

15130 and 15134 Barnesville Road, Boyds
#18108 -07c Boyds Historic District



civil engineering
surveying
land planning

ENGINEERING

A Division of CAS Enterprises, Inc.

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senior design technician
jim@casengineering.com

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Mount Airy, Maryland 21771
phone 301/607-8031
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www.casengineering.com

STAFF ITEM

STAFF MEMBER: JOSH SILVER

SUBJECT: Revision to approved HAWP (Case 18/08-07C), for new construction at 15130 & 15134 Barnesville Road, Boyds, Master Plan Historic District #18/08, Boyds Historic District

DATE: August 12, 2009

BACKGROUND: On November 14, 2007 the HPC reviewed and approved with conditions a Historic Area Work Permit application for:

1. A new, two-story, 1,950 s.f., retail space, sited at the 10' (BRL), facing Barnesville Road.
2. A new, single-story, 2,200 s.f., office building, sited approximately 70' from the property line and behind the new two-story, retail space.
3. A new tar and chip driveway/parking area, and exposed aggregate concrete walkways.
4. The construction of a 5'5" high, wooden retaining wall located at the southeast corner of the property.
5. The installation of trees and landscaping along the western property boundary.

REVISED PROPOSAL: The revised proposal is limited to modifications of fenestration locations and a section of a standing seam metal shed roof on the 2,200 s.f., office building only.

North Elevation: Eliminate the installation of one single-acting entry door, one double-hung simulated divided light wooden window and section of a standing seam metal shed roof from the first story. Install four 6/1 simulated divided light wooden windows on the first story wall plane.

West Elevation: Eliminate the installation of one simulated divided light wooden window. Install one single-acting entry door with shed roof above and add one 6/1 simulated divided light wooden window on the right side first story wall plane.

East Elevation: Eliminate the installation of one simulated divided light wooden window from the first story wall plane.

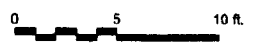
STAFF RECOMMENDATION: Staff is recommending that the HPC approve the revised proposal.

HPC DECISION:

APPROVED



- Elevation Materials**
- Foundation - Parged Concrete
 - Siding - Fiber Cement Siding Painted
 - Trim - Wood Painted
 - Windows - Wood with simulated divided lights - Painted
 - Doors - Wood Painted
 - Roofing - Standing seam metal
 - Walkways - Brick pavers

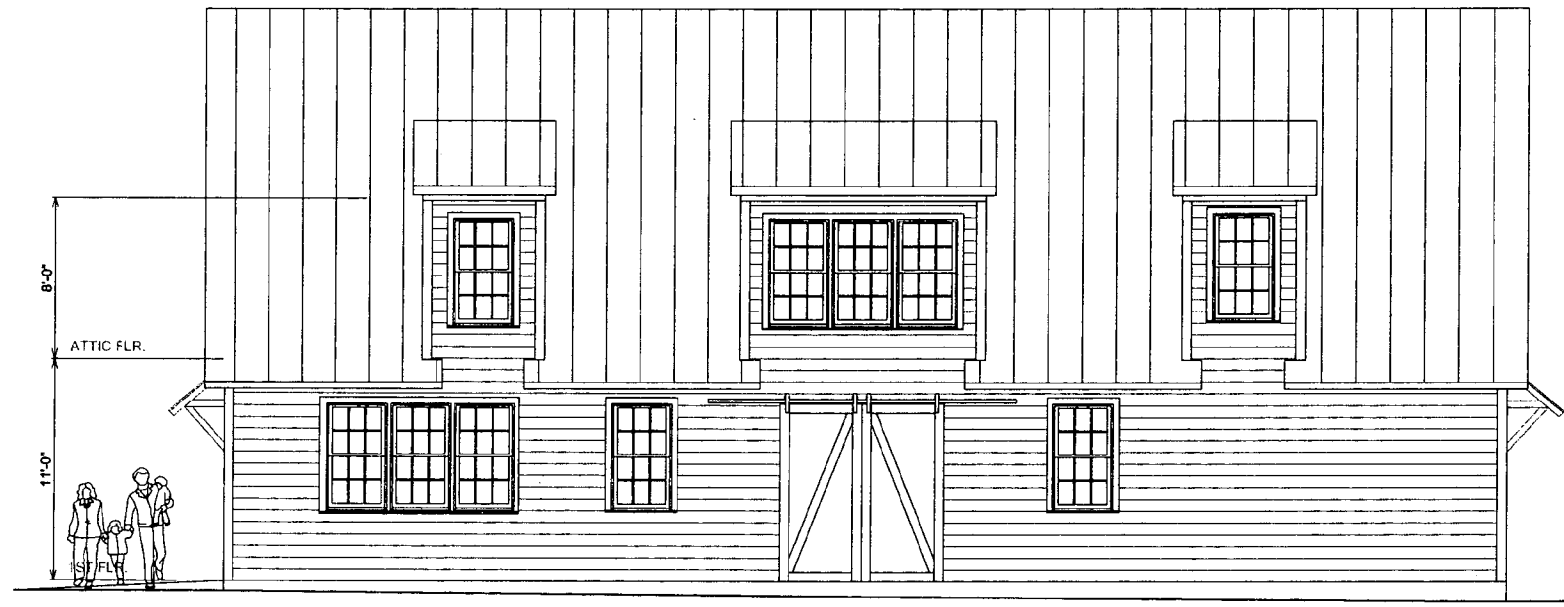


NORTH ELEVATION
1/4" = 1'-0"

18

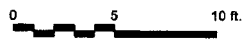
ORIGINAL

1



8'-0"
 ATTIC FLR.
 11'-0"
 1st FLR

Elevation Materials
 Foundation - Parged Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lights - Painted
 Doors - Wood Painted
 Roofing - Standing seam metal

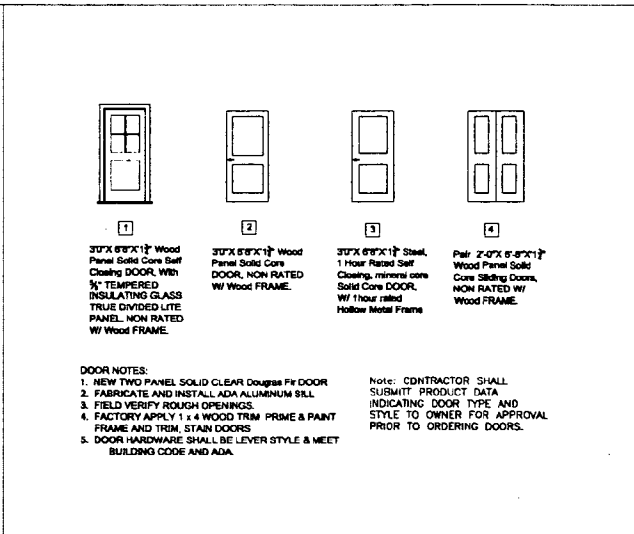
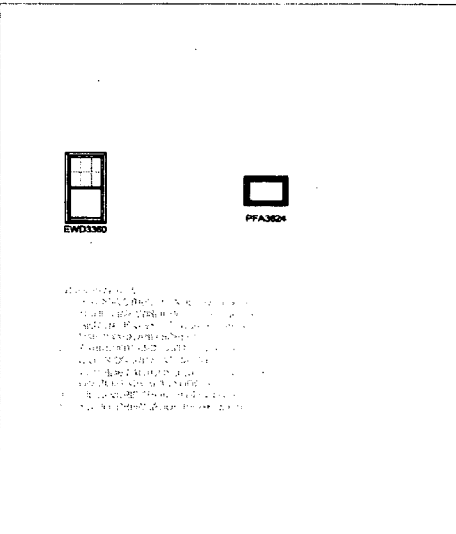


WEST ELEVATION
1/4" = 1'-0"

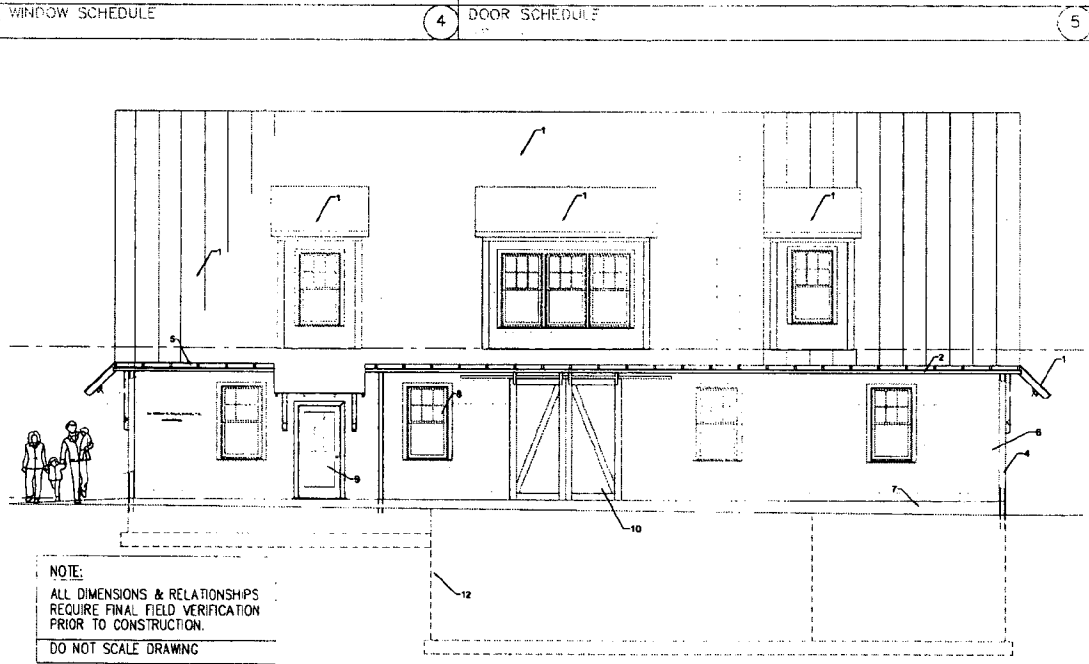
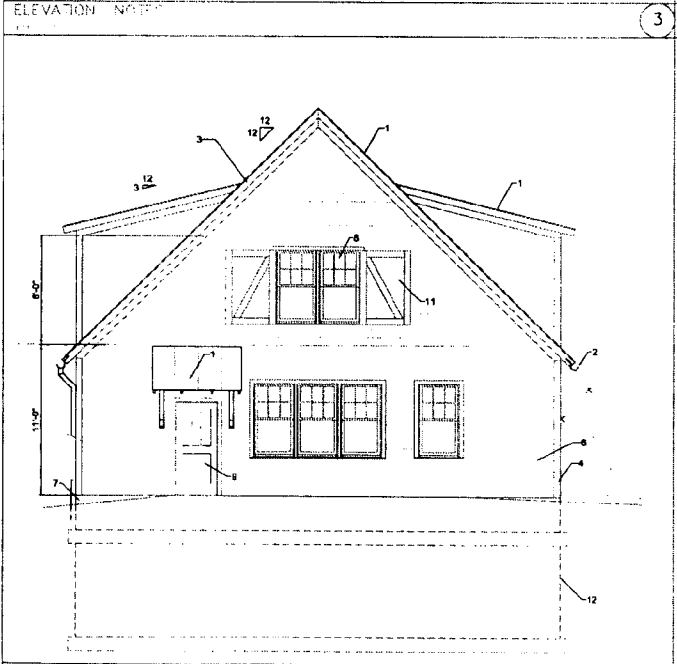
ORIGINAL

19

1. ALL DIMENSIONS & RELATIONSHIPS REQUIRE FINAL FIELD VERIFICATION PRIOR TO CONSTRUCTION.
 2. DO NOT SCALE DRAWING.
 3. WINDOW SCHEDULE
 4. DOOR SCHEDULE

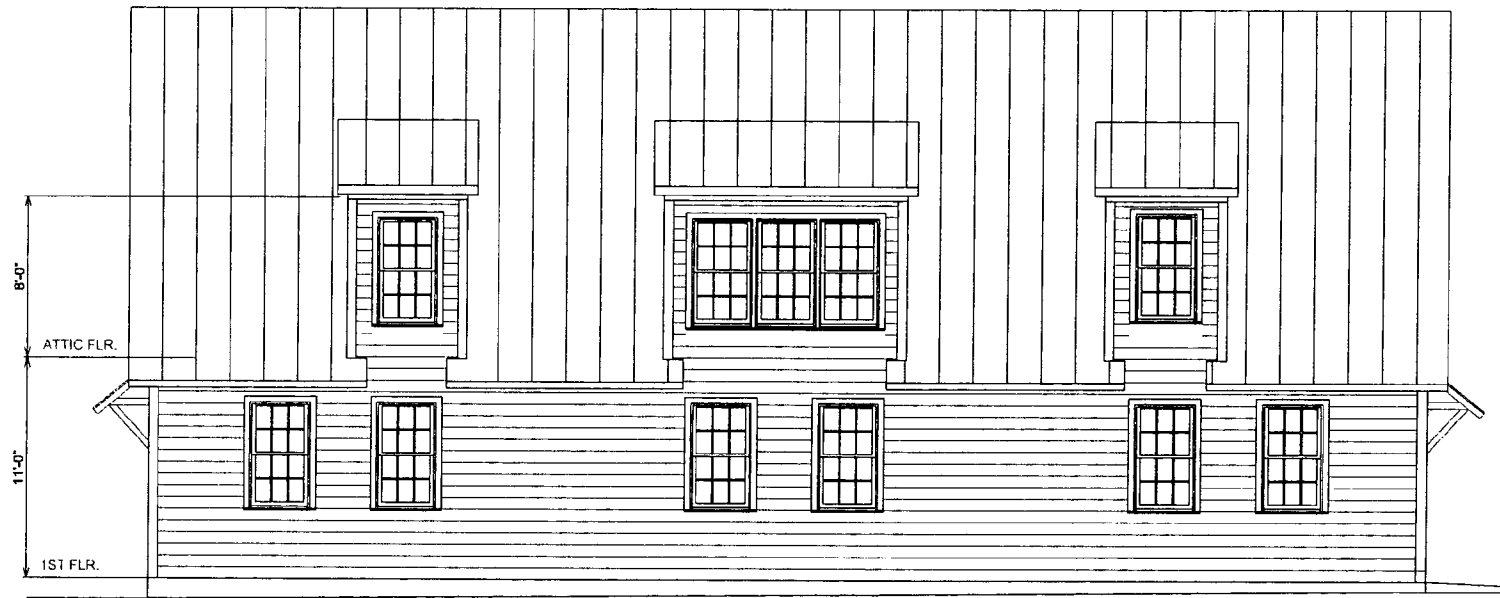


ARCHITECTS
 PLANNERS
 HISTORIC
 PRESERVATION
 THOMAS J. TAL TAVELL
 ARCHITECTS
 301 960 1847
 Professional Seal

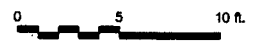


ELEVATIONS
 Revision
 Drawing Title
 Date JULY 28, 2005
 Drawing Number
 PREPARED BY DR. WILLIAM R. DZYAK
 1514 BARNESVILLE ROAD
 BARNESVILLE, MARYLAND

REVISED



Elevation Materials
 Foundation - Parged Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lights - Painted
 Doors - Wood Painted
 Roofing - Standing seam metal



EAST ELEVATION
1/4" = 1'-0"

21

ORIGINAL



THOMAS J. TALVAL
ARCHITECTS
ARCHITECTS PLANNERS HISTORIC PRESERVATION
307.440.1847

Professional Seal

ELEVATIONS

Revisions
Drawing Title

Date: JULY 28, 2009

PROPOSED BUILDING NO. 2 FOR
DR. WILLIAM R. DZYAK
1518 BARNESVILLE ROAD
BARNESVILLE, MARYLAND

Drawing Number

ELEVATION NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. FINISH GRADE TO BE DETERMINED BY FIELD SURVEY.

3. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

4. ROOFING TO BE AS SHOWN OR APPROVED BY THE ARCHITECT.

5. EXTERIOR WALLS TO BE CONCRETE BLOCK WITH STUCCO FINISH.

6. INTERIOR WALLS TO BE GYPSONUM BOARD WITH PLASTER FINISH.

7. FLOORING TO BE AS SHOWN OR APPROVED BY THE ARCHITECT.

8. CEILING TO BE GYPSONUM BOARD WITH PLASTER FINISH.

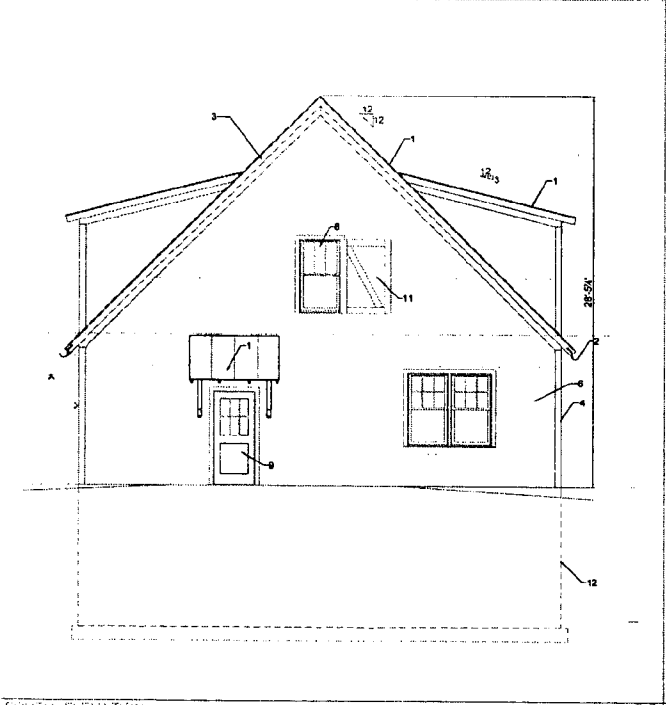
9. DOORS TO BE 1 1/2" MINIMUM THICKNESS WITH 6 PANEL DESIGN.

10. WINDOWS TO BE 1 1/2" MINIMUM THICKNESS WITH 6 PANEL DESIGN.

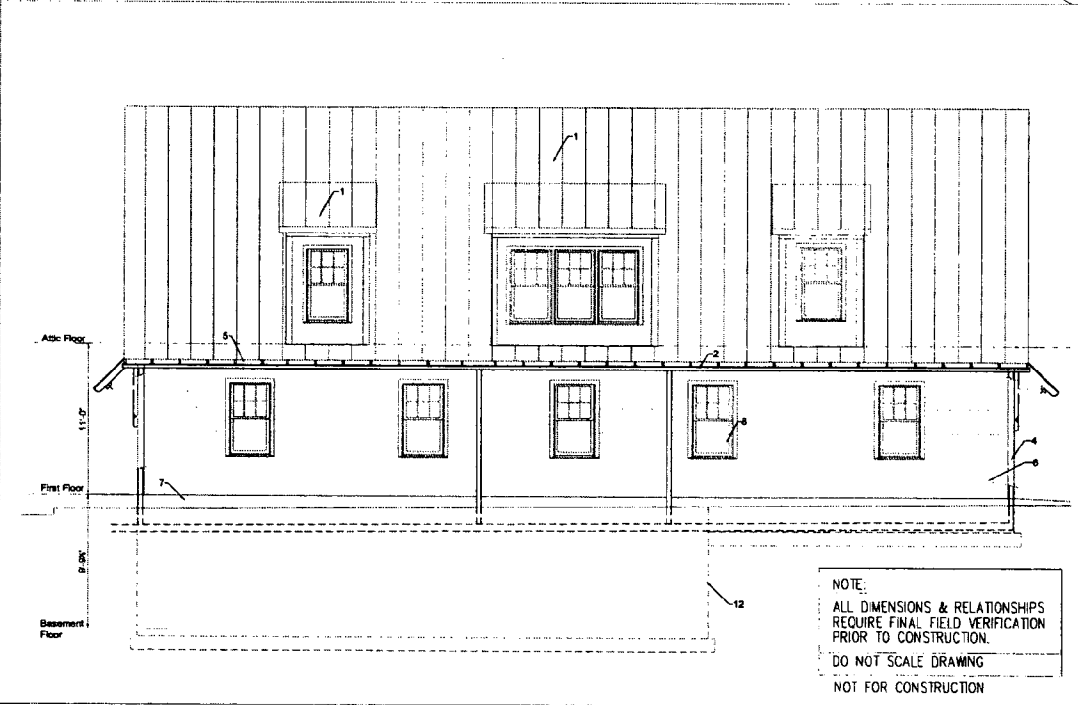
11. WINDOW OPERATIONS TO BE AS SHOWN OR APPROVED BY THE ARCHITECT.

12. FOUNDATION TO BE CONCRETE WITH FINISH GRADE TO BE DETERMINED BY FIELD SURVEY.

ELEVATION NOTES



SOUTH ELEVATION



EAST ELEVATION

NOTE:
ALL DIMENSIONS & RELATIONSHIPS
REQUIRE FINAL FIELD VERIFICATION
PRIOR TO CONSTRUCTION.
DO NOT SCALE DRAWING
NOT FOR CONSTRUCTION

REVISED

SUBJECT: Revision to approved HAWP (18/08-07C), for new construction at 15134 Barnesville Road, Boyds Historic District

DATE: February 11, 2009

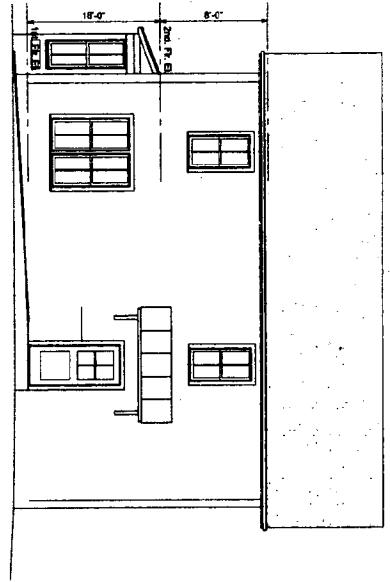
BACKGROUND: On November 14, 2007 the HPC reviewed and approved a new development at the subject property consisting of a new 1,950 s.f., two-story commercial building and 2,200 s.f., one-story office space.

REVISED PROPOSAL: The applicant is requesting to remove the approved wooden shake roofing material on the two-story commercial building from their proposal and ~~replace it with~~ install a pre-finished, standing seam metal roof. No changes to the building footprint or details are proposed.

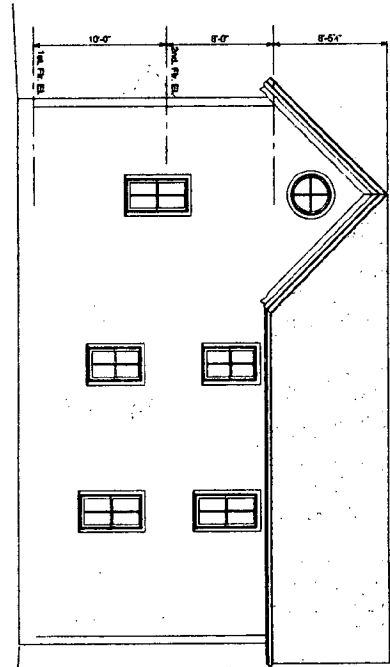
STAFF RECOMMENDATION: Staff is recommending that the HPC allow this change to be approved at the staff level.

HPC DECISION:

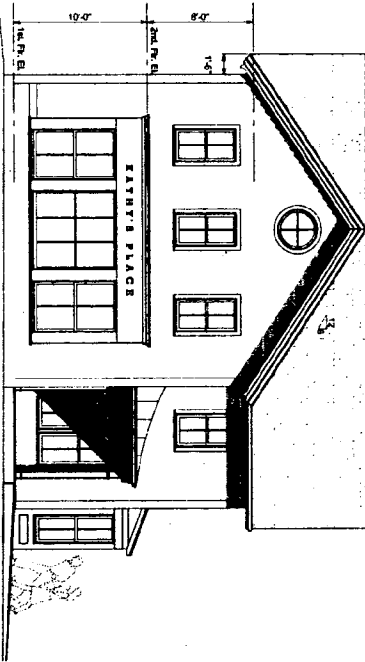
Approved



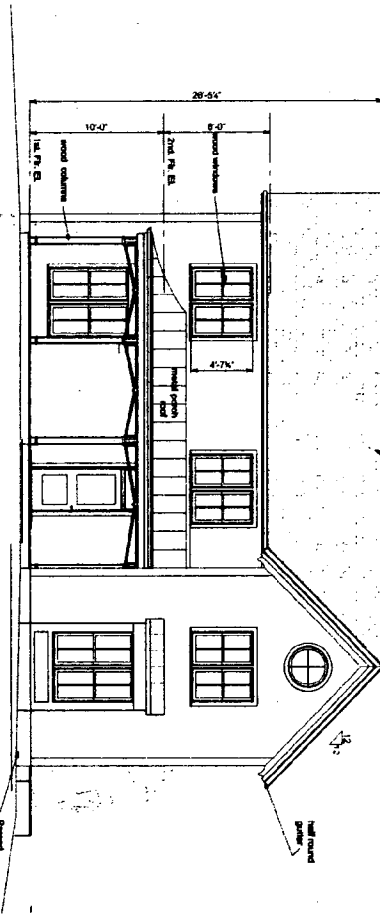
Exterior Materials
 Foundation - Project Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lites - Painted
 Doors - Wood Painted
 Roofing - Wood Cedar Shake
 Walkways & Stairs - Solid Pavers



Exterior Materials
 Foundation - Project Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lites - Painted
 Doors - Wood Painted
 Roofing - Wood Cedar Shake
 Walkways & Stairs - Solid Pavers



Exterior Materials
 Foundation - Project Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lites - Painted
 Doors - Wood Painted
 Roofing - Wood Cedar Shake
 Walkways & Stairs - Solid Pavers



Exterior Materials
 Foundation - Project Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lites - Painted
 Doors - Wood Painted
 Roofing - Wood Cedar Shake
 Walkways & Stairs - Solid Pavers

1 SOUTH ELEVATION

2 EAST ELEVATION

3

1

2

2

HPC APPROVED PLAN

PROPOSED RETAIL BUILDING FOR
 DR. WILLIAM R. DZYAK
 15133 BARNESVILLE ROAD
 BARNESVILLE, MARYLAND

Drawing Number

Revisions
 Drawing Title

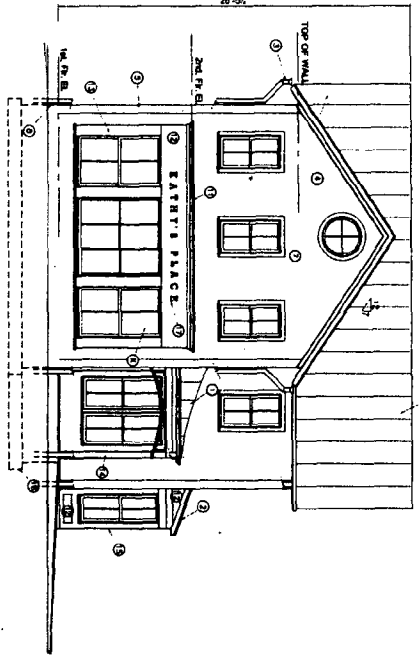
ELEVATIONS

ARCHITECTS
 PLANNING
 &
 INTERIORS
 CONSULTANTS

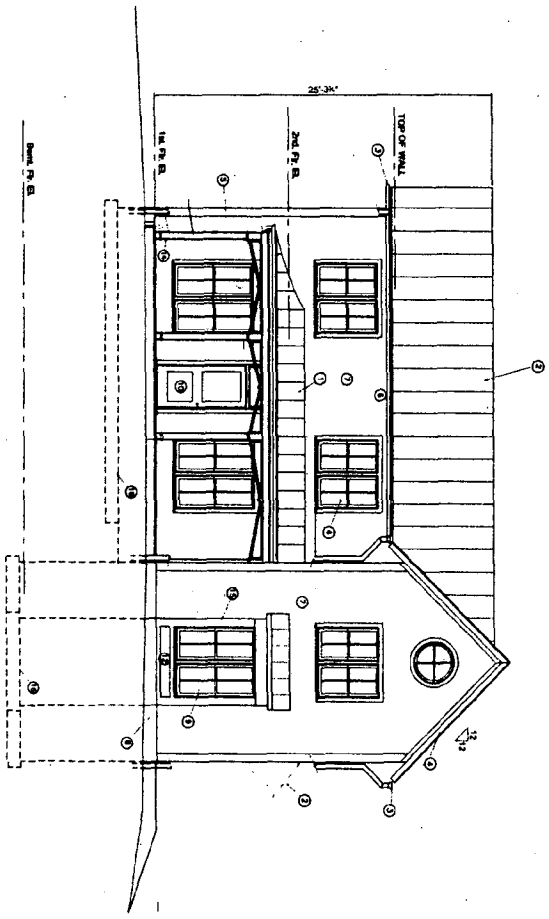
THOMAS A. McFARLAND
 ARCHITECT
 201 W. 10th St.
 201 W. 10th St.

- 1 POOR ROOFING TO MATCH MAIN ROOF. PROVIDE ONLY TWO ROWS OF SHINGLES.
- 2 PREPARED STEAMING STEEL METAL ROOFING. SAME PRODUCT DATA TO APPLY FOR INSURANCE AND APPROVAL. METAL TO BE 24 GAUGE STEEL WITH 1/2" RIBS. PROVIDE 2" AIR SPACE ABOVE METAL TO PERMIT CONDENSATION TO DRAIN.
- 3 METAL TO BE 24 GAUGE STEEL WITH 1/2" RIBS. PROVIDE 2" AIR SPACE ABOVE METAL TO PERMIT CONDENSATION TO DRAIN.
- 4 2x6 CEILING RAFTERS SPACED 24" ON CENTER. PROVIDE INSULATION.
- 5 1/2" x 4" WOOD CORNER BRIMS. PAINTED. TYPICAL.
- 6 PROVIDE 1" O.C. CIRCULAR VENTILATION FREEZE BOARD BETWEEN EACH RAFTER BAY. EXCEPT AT 2 HOUR RATED WALL.
- 7 NEW INSULATION BOARD. SELECT CEILING WALL. PREPARED METAL WITH 2" EXPOSURE.
- 8 FRAMED CONCRETE SCOURATION WALL.
- 9 WOOD WINDOWS WITH APPLIED 1/2" x 4" WOOD WINDOW CASING & SILL. PAINT. PROVIDE METAL HEAD FLASHING TYPICAL. SEE WINDOW SCHEDULE.
- 10 NEW SOLID WOOD PANEL DOORS AND GLASS TRANSOM ABOVE. TRANSOM TO HAVE INSULATED GLASS PANELS. WOOD TRIM TO MATCH WINDOW. DOOR HARDWARE SHALL BE SELECTED BY ARCHITECT AND INSTALLED BY CONTRACTOR.
- 11 WOOD CROWN MOULDING WITH METAL.
- 12 1" WOOD PLYWOOD PANEL.
- 13 1 x 6 WOOD TRIM.
- 14 6x6 PRESURE TREATED WOOD POST. TRIM OUT IN 1 x 4 WOOD PAINT.
- 15 BORED BAY WINDOW. TRIM OUT IN 1 x 4 WOOD PAINT.
- 16 LINE OF CONCRETE FOUNDATION AND FOOTING.
- 17 PAINTED LETTERING ON WOOD PLYWOOD TRIM.

ELEVATION NOTES



NORTH ELEVATION

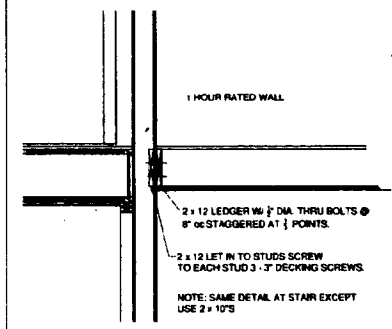
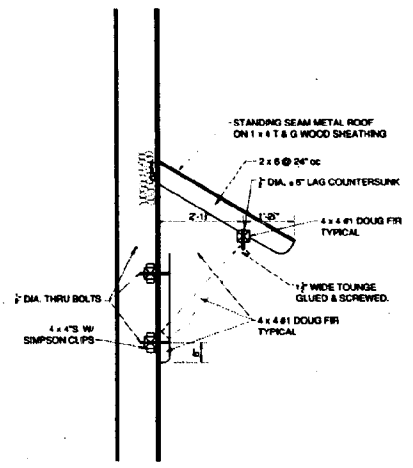


WEST ELEVATION

REVISED PLAN

DR. WILLIAM R. DZYAK 15154 BARNESVILLE ROAD BARNESVILLE, MARYLAND	Revisions Revised 8-8-08 Permit comments	
	Drawing Title ELEVATIONS	

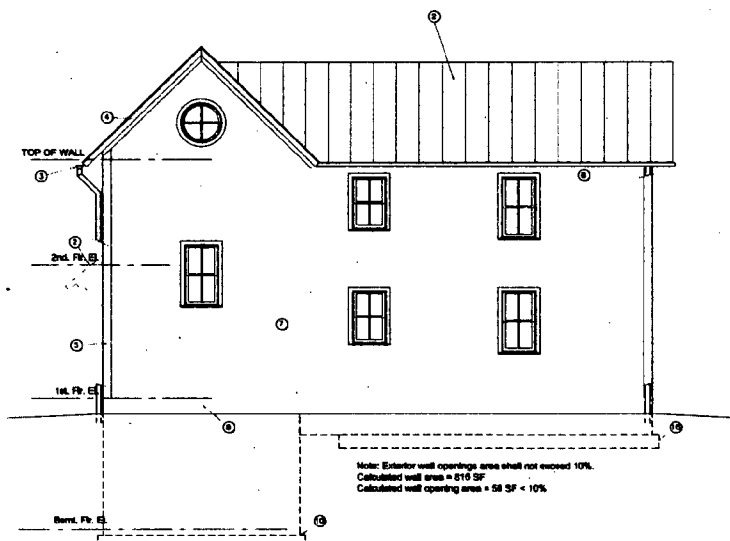
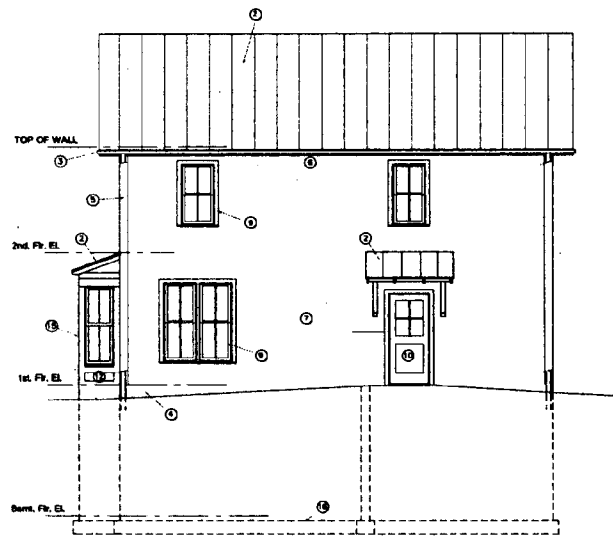
- ① PORCH ROOFING TO MATCH MAIN ROOF, PROVIDE ONLY TWO ROWS OF SNOWGUARDS.
- ② PREFINISHED STANDING SEAM METAL ROOFING. SUBMIT PRODUCT DATA TO ARCHITECT FOR REVIEW AND APPROVAL. INSTALL NO. 20 SNOWGUARDS. INSTALL 3 ROWS @ 24" oc. FIRST ROW OVER TOP OF EXTERIOR WALL, STAGGERED.
- ③ INSTALL 22 GAUGE 1/2" HALF ROUND GALVANIZED STEEL GUTTERS AND 28 GAUGE 4" DOWNSPOUTS. TIE EACH DOWNSPOUT INTO UNDERGROUND STORM PIPING. SEE SITE PLANS FOR LOCATIONS AND DETAIL.
- ④ 2 x 6 CLEAR RAKE BOARD PAINTED, PROVIDE RADIUS END.
- ⑤ 1/2" x 6 WOOD CORNER BOARDS - PAINTED. TYPICAL.
- ⑥ PROVIDE 1" @ CIRCULAR VENTS AT FREEZE BOARD BETWEEN EACH RAFTER BAY, EXCEPT AT 2 HOUR RATED WALL.
- ⑦ NEW HARDBOARD SIDING, SELECT CEDAR MILL, PREFINISHED INSTALL WITH 1" EXPOSURE.
- ⑧ PARGED CONCRETE FOUNDATION WALL.
- ⑨ WOOD WINDOWS WITH APPLIED 1/2" x 4 WOOD WINDOW CASING & SILL, PAINT. PROVIDE METAL HEAD FLASHING TYPICAL. SEE WINDOW SCHEDULE.
- ⑩ NEW SOLID WOOD PANEL DOORS AND GLASS TRANSOM ABOVE. TRANSOM TO HAVE INSULATED GLASS PANELS. WOOD TRIM TO MATCH WINDOWS. DOOR HARDWARE SHALL BE SELECTED BY ARCHITECT AND INSTALLED BY CONTRACTOR.
- ⑪ WOOD CROWN CAPPED WITH METAL.
- ⑫ 1" MDO PLYWOOD PANEL.
- ⑬ 1 x 10 WOOD TRIM.
- ⑭ 6 x 6 PRESSURE TREATED WOOD POST, TRIM OUT IN 1 x 6 WOOD, PAINT.
- ⑮ BOXED BAY WINDOW, TRIM OUT IN 1 x 6 WOOD TRIM PAINT.
- ⑯ LINE OF CONCRETE FOUNDATION AND FOOTINGS.
- ⑰ PAINTED LETTERING ON MDO PLYWOOD TRIM



ELEVATION NOTES

SECTION 3 SIDE ENTRANCE ROOF

SECTION 4 EXIT STAIR LEDGER



Note: Exterior wall openings area shall not exceed 10%.
 Calculated wall area = 810 SF
 Calculated wall opening area = 58 SF < 10%



THOMAS J. TAYLOR
 ARCHITECT
 100 BURNESVILLE ROAD
 BARNESVILLE, MD 21015
 301.860.1817

Professional Seal

Professional Seal

Revised 8-8-08 Permit comments
 ELEVATIONS
 Drawing Title

Date: April 10, 2008

PROPOSED BUILDING NO 1 FOR:
 DR. WILLIAM R. DZYAK
 100 BURNESVILLE ROAD
 BARNESVILLE, MARYLAND

Drawing Number

REVISED PLAN

PLANS IN BEICE
BIN IN MAIN
OFFICE



F

HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: November 15, 2007

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Joshua Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #467387, new construction [**Note: the subject approval is for the 2 story retail building only. The project architect will submit the final drawings for the approved 1 story office building to HPC staff for review prior to applying for a building permit*]

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the November 14, 2007 meeting.

1. The applicant will submit a lighting and landscaping plan for the property to staff for final approval.
2. The tar and chip driveway/parking area will be tinted brown or similar color. (Details to be shown on permit set of drawings).
3. The applicant will consult with a certified arborist to develop a tree protection plan for the project. The tree protection plan must be implemented prior to beginning construction.
4. The permit set of drawings must show the roof slopes and true finished grades of both buildings. (Both the roof slopes and finished grades will not be altered unless approved in writing by the HPC).
5. The applicant will work with staff to identify the appropriate window, door and signage fixtures for both buildings. (A door and window schedule will be submitted to staff prior to stamping permit set of drawings).





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Bill Dzyak

Address: 15130 & 15134 Barnesville Road, Boyds

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





OFFICE OF THE HISTORIC PRESERVATION COMMISSION
1000 PENNSYLVANIA AVENUE, SUITE 200
BETHESDA, MARYLAND 20814

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Tom Taltavull

Daytime Phone No.: (301) 840-1847

Tax Account No.: 00916940

Name of Property Owner: Bill Dzyak Daytime Phone No.: (301) 942-4900

Address: 10605 Concord Street, Suite 200 Kensington Maryland 20895
Street Number City State Zip Code

Contractor: Not yet selected Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Thomas J. Taltavull, Architect Daytime Phone No.: (301) 840-1847

LOCATION OF BUILDING/PREMISE

House Number: 15130 & 15134 Street: Barnesville Road

Town/City: Boyd's Nearest Cross Street: Clarksburg Road

Lot: _____ Block: _____ Subdivision: _____

Liber: 6259 Folio: 233 Parcel: 55 & 107

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|---|----------------------------------|---|---|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input checked="" type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet 5 1/2 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas J. Taltavull Oct. 3, 2007
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 7/8/2008

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The northern commercial section of the Boyds historic district contains seven private residences and three commercial buildings. The structures on the northern side are all private residences. The three commercial buildings front the southern side of the road and establish a rural streetscape by their setbacks, scale, proportion and materials.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project consists of a new two story frame and siding retail building that is similar in size and scale to the existing streetscape buildings. The proposed 1 1/2 story office building is located behind the retail building and is similar in character to a rural accessory structure in size, scale and detailing.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



F

HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: April 10, 2008

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Joshua Silver, Senior Planner *JDS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #467387, new construction **(Note: the attached plans are only for the HPC approved Building Permit Site Plan, Stormwater Management and Sediment Control Plan, and Landscape and Lighting Plans associated with the project).*

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the November 14, 2007 meeting.

1. The applicant will submit a lighting and landscaping plan for the property to staff for final approval.
2. The tar and chip driveway/parking area will be tinted brown or similar color. (Details to be shown on permit set of drawings).
3. The applicant will consult with a certified arborist to develop a tree protection plan for the project. The tree protection plan must be implemented prior to beginning construction.
4. The permit set of drawings must show the roof slopes and true finished grades of both buildings. (Both the roof slopes and finished grades will not be altered unless approved in writing by the HPC).
5. The applicant will work with staff to identify the appropriate window, door and signage fixtures for both buildings. (A door and window schedule will be submitted to staff prior to stamping permit set of drawings).





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

The HPC staff has reviewed and stamped the attached construction drawings.

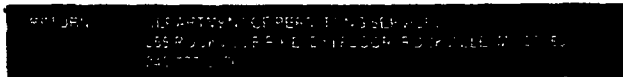
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Bill Dzyak

Address: 15130 & 15134 Barnesville Road, Boyds

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Tom Taltavull

Daytime Phone No.: (301) 840-1847

Tax Account No.: 00916940

Name of Property Owner: Bill Dzyak Daytime Phone No.: (301) 942-4900

Address: 10605 Concord Street, Suite 200 Kensington Maryland 20895

Contractor: Not yet selected Phone No.:

Contractor Registration No.:

Agent for Owner: Thomas J. Taltavull, Architect Daytime Phone No.: (301) 840-1847

LOCATION OF BUILDING/PREMISE

House Number: 15130 & 15134 Street: Barnesville Road

Town/City: Boyds Nearest Cross Street: Clarksburg Road

Lot: Block: Subdivision:

Liber: 6259 Folio: 233 Parcel: 55 & 107

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Reza, Revision, Repair, Revocable, A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall (complete Section 4), Other.

1B. Construction cost estimate: \$

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other.

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other.

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet 5 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date: Oct. 3, 2007

Approved: [Signature]

Disapproved: [Signature] Date: 4/10/08

Application/Permit No.: 467387 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The northern commercial section of the Boyds historic district contains seven private residences and three commercial buildings. The structures on the northern side are all private residences. The three commercial buildings front the southern side of the road and establish a rural streetscape by their setbacks, scale, proportion and materials.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project consists of a new two story frame and siding retail building that is similar in size and scale to the existing streetscape buildings. The proposed 1 1/2 story office building is located behind the retail building and is similar in character to a rural accessory structure in size, scale and detailing.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which edjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

David Rotenstein
Chairperson

Date: August 14, 2009

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Joshua Silver, Senior Planner ^(SDS)
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #467387, new construction [**1 story office building**]

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved with Conditions at the November 14, 2007 meeting.

1. The applicant will submit a lighting and landscaping plan for the property to staff for final approval.
2. The tar and chip driveway/parking area will be tinted brown or similar color. (Details to be shown on permit set of drawings).
3. The applicant will consult with a certified arborist to develop a tree protection plan for the project. The tree protection plan must be implemented prior to beginning construction.
4. The permit set of drawings must show the roof slopes and true finished grades of both buildings. (Both the roof slopes and finished grades will not be altered unless approved in writing by the HPC).
5. The applicant will work with staff to identify the appropriate window, door and signage fixtures for both buildings. (A door and window schedule will be submitted to staff prior to stamping permit set of drawings).





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

David Rotenstein
Chairperson

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Bill Dzyak

Address: 15130 & 15134 Barnesville Road, Boyds

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Tom Taltavull

Daytime Phone No.: (301) 840-1847

Tax Account No.: 00916940

Name of Property Owner: Bill Dzyak Daytime Phone No.: (301) 942-4900

Address: 10605 Concord Street, Suite 200 Kensington Maryland 20895

Contractor: Not yet selected Phone No.:

Contractor Registration No.:

Agent for Owner: Thomas J. Taltavull, Architect Daytime Phone No.: (301) 840-1847

LOCATION OF BUILDING/PREMISE

House Number: 15130 & 15134 Street: Bamesville Road

Town/City: Boyds Nearest Cross Street: Clarksburg Road

Lot: Block: Subdivision:

Liber: 6259 Folio: 233 Parcel: 55 & 107

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Reza, Revision, Repair, Revocable, Fence/Wall, etc.

1B. Construction cost estimate: \$

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet 5 inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Thomas J. Taltavull Date: Oct. 3, 2007

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: [Signature] Date: 4/10/08
Application/Permit No.: 467387 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The northern commercial section of the Boyds historic district contains seven private residences and three commercial buildings. The structures on the northern side are all private residences. The three commercial buildings front the southern side of the road and establish a rural streetscape by their setbacks, scale, proportion and materials.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

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2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
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5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	15130 & 15134 Barnesville Road, Boyds	Meeting Date:	11/14/2007
Resource:	Contributing Resource Boyds Master Plan Historic District #18/08	Report Date:	11/7/2007
Applicant:	Bill Dzyak	Public Notice:	10/31/2007
Review:	HAWP	Tax Credit:	N/A
Case Number:	18/08-07C	Staff:	Joshua Silver
PROPOSAL:	New construction		

STAFF RECOMMENDATION:

Staff is recommending the Commission **approve** this HAWP application with the following conditions:

1. The applicant will submit a lighting and landscaping plan for the property to staff for final approval.
2. The tar and chip driveway/parking area will be tinted brown or similar color. (Details to be shown on permit set of drawings).
3. The applicant will consult with a certified arborist to develop a tree protection plan for the project. The tree protection plan must be implemented prior to beginning construction.
4. The permit set of drawings must show the roof slopes and true finished grades of both buildings. (Both the roof slopes and finished grades will not be altered unless approved in writing by the HPC).
5. The applicant will work with staff to identify the appropriate window, door and signage fixtures for both buildings. (A door and window schedule will be submitted to staff prior to stamping permit set of drawings).

BACKGROUND

On October 11, 2006 the Historic Preservation Commission (HPC) reviewed a Preliminary Plan Application for the development of the existing site for a commercial/retail space. The proposal included the construction of two new buildings, a new asphalt driveway/parking area, and new well and other site modifications. The HPC forwarded a letter of support to the Planning Board recommending approval of the Preliminary Plan. (See circle 27).

When the HPC reviewed the Preliminary Plan Application they were asked to comment on the overall development of the site, including the placement of the proposed buildings. The HPC was generally supportive of plan and proposed new construction/infill at the hearing, and provided comments about the proposed new building construction and driveway/parking area. These included:

- The proposed location and massing of both buildings on the site was in agreement with the rural character of the historic district
- The variable setback, shape, and siting of the proposed buildings was desirable for preserving

green space on the site

- The proposed two-story house should be located on the Building Restriction Line (BRL) of the property to maintain the current development pattern of the historic district
- The proposed two-story house should be compatible with the existing two-story historic house on the property, but not replicate it exactly.
- The driveway/parking area should not be asphalt.

HISTORIC CONTEXT

Boyd's, a well-preserved and cohesive rural village in western Montgomery County, is representative of post-Civil War development and growth generated by the coming of the railroad to the area in the last quarter of the 19th century. It illustrates the impact of social and technical change on the area's agricultural community over the past century. It also reflects the early role of black citizens in rural parts of the County.

There are three general areas within the historic district of Boyd's: the commercial area north of the railroad along Barnesville Road, the Victorian village streetscape along Clopper and upper White Ground Road, and the folk architecture of the freed black community farther south along White Ground Road.

Boyd's was originally settled in 1753 on a tract of land named *Resurvey of Gum Spring*. The area was primarily farmed as a tobacco plantation, and the first residents were brought as slaves to the area. Following the abolition of slavery in 1864, some of the freedmen purchased property adjacent to the plantation. They built several of the houses and community buildings that stand along the southern section of White Ground Road.

Colonel James A. Boyd, a well-traveled Scottish contractor and stone mason who participated in the building of the Metropolitan Branch of the B&O Railroad, established the village of Boyd's. In 1873, Boyd purchased 1100 acres of land on both sides of the newly-laid railroad track and built some of the first dwellings in Boyd's to house railroad workmen. He then built his own residence as a progressive farming operation called *Bonnie Brae*, with several tenant houses and a dairy. His innovative dairy barn was a model of efficiency. An engine on the clean concrete floor shelled corn, cut hay, sawed wood, and pumped water to feed the cows and cool the milk before shipment on the railroad.

In a broad sense, the railroad had a major impact on Montgomery County's agricultural industry. Fertilizers brought in by rail, for example, was said to triple farm yields. New and revolutionary farming ideas soon caught on, and Montgomery County entered a golden age of agriculture in the last quarter of the 19th century. Hoyles Mill, at 15100 Barnesville Road, is one of only a handful of frame grist mills surviving in the County.

Boyd's thrived because of its agricultural activities and its proximity to the railroad. By 1879, the village had a population of 100. In addition, the railroad brought summer residents to the Boyd's area to enjoy the rural setting away from the heat and congestion of the city.

PROPOSAL:

The applicants are proposing to develop the existing site for a new commercial/retail space. The project includes:

1. A new, two-story, 1,950 sf, retail space, sited at the 10' (BRL), facing Barnesville Road.
2. A new, single-story, 2,200 sf, office building, sited approximately 70' from the property line and

- behind the new two-story, retail space.
3. A new tar and chip driveway/parking area, and exposed aggregate concrete walkways.
 4. The construction of a 5'5" high, wooden retaining wall located at the southeast corner of the property.
 5. The installation of trees and landscaping along the western property boundary.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Boyds Master Plan Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Although, the Commission generally reviews new construction/infill development projects as preliminary consultations before an applicant proceeds to HAWP, this case is being reviewed as HAWP because the Commission reviewed this proposal in October 2006 and was generally supportive of the overall plan and proposed new construction at the site. (See attached transcripts Circle 28).

Staff would like to first commend the applicants and their design team for their continued cooperation with the development of this project. The current proposal incorporates many of the comments the applicants and their design team have received from staff and the Commission.

When reviewing proposals for new construction/infill in historic districts the Commission's review should place emphasis on the height, scale, setback and massing of new buildings. The current proposal is similar to what the Commission reviewed in October 2006 and satisfies many of the design review elements for new building construction.

In general, the massing, scale and height of both buildings is complementary to other buildings in the historic district similar in size. Furthermore, both buildings will utilize appropriate materials for new construction including: paintable fiber-cement siding, wooden windows, doors and trim. The two-story retail building will be sheathed with wooden cedar shakes and the one-story office building will have a standing seam metal roof. Staff is recommending the applicants use a brick or stone veneer foundation instead of the proposed parged concrete.

Two-story retail building

The massing, scale and ridge height (26.5') of the proposed two-story retail building is consistent with other residential structures located in the district. The style of the building is also compatible, but does not replicate exactly the style of the existing historic house on the property. The setback of the building is also desirable for preserving the existing building pattern of the historic district.

One-story office building

Although, the ridge height of the proposed one-story office building (29') high, will be 2.5' higher than the ridge height of the proposed two-story retail space, its location toward the back of the property (90' from the edge of the road) significantly reduces the buildings impact on the streetscape of the historic district and adjacent properties. The roof structure of the building contains shed roof dormers on the east and west elevations, which break-up the massing of the building and distinguish it from the other buildings on the property.

Driveway/parking and walkway areas

As discussed at the Preliminary Plan Application hearing, the use of asphalt is not something the Commission would approve. The applicants have considered several material options for improving the driveway/parking area of the property and have selected tar and chip. Although, staff initially recommended using pea gravel in these areas, the proposed use as a retail space and medical practice make using loose gravel a less desirable option for safety reasons. Staff is recommending the applicants select an earthen tone for the surface application to help soften the driveways appearance from the public right-of-way. The use of exposed aggregate concrete for the walkways and ramps is a supportable material selection.

Staff supports the design of both buildings. Staff biggest concern with the project is the fenestration on both buildings. Although, both buildings utilize simulated divided light wooden windows and wooden doors, the current configuration and style of the proposed windows and doors are inappropriate for the buildings. Staff would like to work with the applicant to simplify the windows and doors on the one-story office building, and improve the solid to void ratio of the windows on the two-story retail building. Staff is recommending the applicant explore removing the hipped roof bay-window projection on the west elevation of the two-story retail building in order to preserve the vernacular style of the structure.

The applicants and their design team will include a landscape buffer on the west side of the property to help reduce the visual intrusion of the project on the adjacent property. The landscape and lighting plan should be submitted to staff for final review and approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on circle 1** as being consistent with Chapter 24A-8(b), (1) and (2);

and with the *Secretary of Interior Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



DEPARTMENT OF PERMITTING SERVICES
150 ROCKVILLE PIKE, SUITE 1000, ROCKVILLE, MARYLAND 20850
301-771-1000

DPS - #8

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Tom Taltavull

Daytime Phone No.: (301) 840-1847

Tax Account No.: 00916940

Name of Property Owner: Bill Dzyak Daytime Phone No.: (301) 942-4900

Address: 10605 Concord Street, Suite 200 Kensington Maryland 20895
Street Number City Street Zip Code

Contractor: Not yet selected Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Thomas J. Taltavull, Architect Daytime Phone No.: (301) 840-1847

LOCATION OF BUILDING/PREMISE

House Number: 15130 & 15134 Street: Barnesville Road

Town/City: Boyd Nearest Cross Street: Clarksburg Road

Lot: _____ Block: _____ Subdivision: _____

Liber: 6259 Folio: 233 Parcel: 55 & 107

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet 5 1/2 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas J. Taltavull Oct. 3, 2007
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

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- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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6. TREE SURVEY

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7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address WILLIAM R. DZYAK, D.D.S. 10605 CONCORD ST., SUITE 200 KENSINGTON, MARYLAND 20895	Owner's Agent's mailing address THOMAS J. TALTAVULL, ARCHITECT 20650 PLUM CREEK CT. GAITHERSBURG, MARYLAND 20882
Adjacent and confronting Property Owners mailing addresses	
EARLA J. NICHOLSON 15140 BARNESVILLE ROAD BOYDS, MARYLAND 20841	TAMARA Jo HILDERBRAND 15131 BARNESVILLE, Md. 20841
NATIONAL SOLVENTS Co. 15114 BARNESVILLE ROAD BOYDS, MARYLAND 20841	

GENERAL NOTES

SEQUENCE OF CONSTRUCTION

SEPTIC DESIGN CHART

Lot	Area	Volume	Capacity	Notes
A	20	4 & 15	7	A, D & 15

Lot	Area	Volume	Capacity	Notes
	102.7	102.5	102.6	102.5
	26.7	116.4	A	7,842
	102.7	117		

NOTE: EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THEY ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY. ALL UTILITY LOCATIONS MUST BE FIELD VERIFIED.

RELATED REQUIRED PERMITS

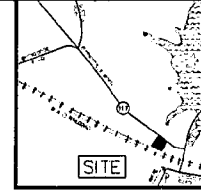
TYPE OF PERMIT	REQD.	NOT REQD.	PERMIT NO.	EXPIRATION DATE	WORK RESTRICTION DATES
NEUTRALIZATION		X			
WATER QUALITY CONTROL		X			
SEWER USE		X			
NON POINT SOURCE		X			
WATER QUALITY CONTROL		X			
SEWER USE		X	N/A	N/A	10/21/07
WATER QUALITY CONTROL		X			

LEGEND

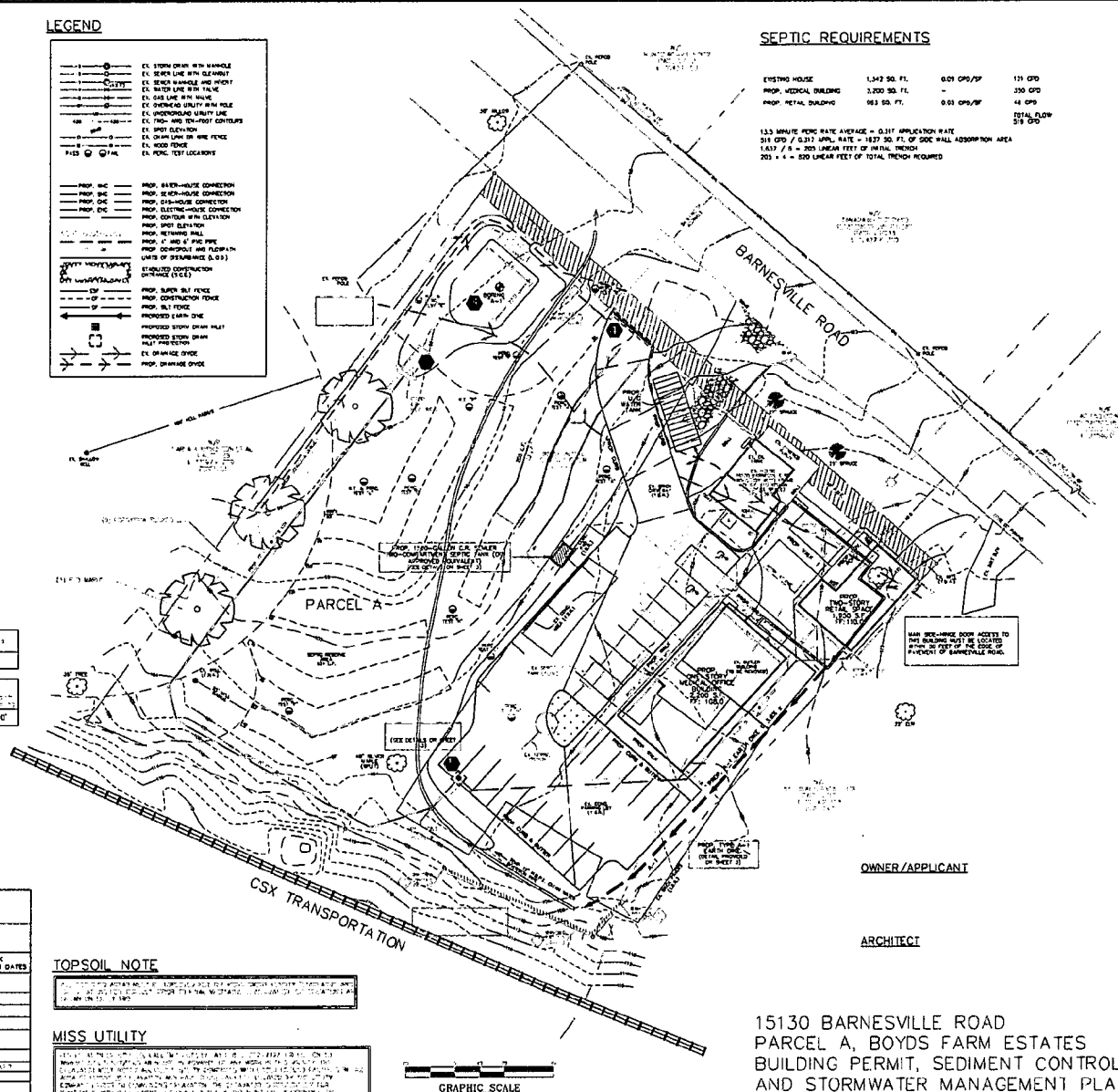
SEPTIC REQUIREMENTS

EXISTING HOUSE 1,342 SQ. FT. 0.01 OPS/DF 131 OPD
 PROP. MEDICAL BUILDING 2,200 SQ. FT. - - 230 OPD
 PROP. RETAIL BUILDING 363 SQ. FT. 0.01 OPS/DF 44 OPD
 TOTAL FLOOR 3,905 SQ. FT.

1.53 MINIMUM PUMP RATE INVERAGE = 0.517 APPLICATION RATE
 518 OPD / 0.517 APPLICATION RATE = 1027.26 FT. OF 300 WALL ABSORPTION AREA
 1437' / 5' = 287.400 LINEAR FEET OF METAL TRENCH
 203' x 4' = 800 LINEAR FEET OF TOTAL TRENCH REQUIRED



VICINITY MAP
 400 MAP 11, 600 MAP 1
 SCALE 1" = 2000'



TOPSOIL NOTE

TOPSOIL TO BE REMOVED FROM ALL AREAS TO BE EXCAVATED FOR SEWER TRENCHES AND SEPTIC SYSTEM COMPONENTS. TOPSOIL TO BE STORED IN A PROTECTED AREA AND REAPPLIED TO THE EXCAVATED AREAS.

MISS UTILITY

MISSING UTILITIES SHOWN ON THIS PLAN ARE BASED UPON AVAILABLE RECORDS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.



DATE	BY	REVISION
07/2007		
04-091	JMO	JMO
04-091	JMO	JMO
04-091	JMO	JMO
04-091	JMO	JMO

PAGE NO. 1

BOYDS FARM ESTATES

BUILDING PERMIT, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT PLAN

ENGINEERING

MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES APPROVED FOR:

STORMWATER MANAGEMENT:

SEDIMENT CONTROL TECHNICAL REQUIREMENTS:

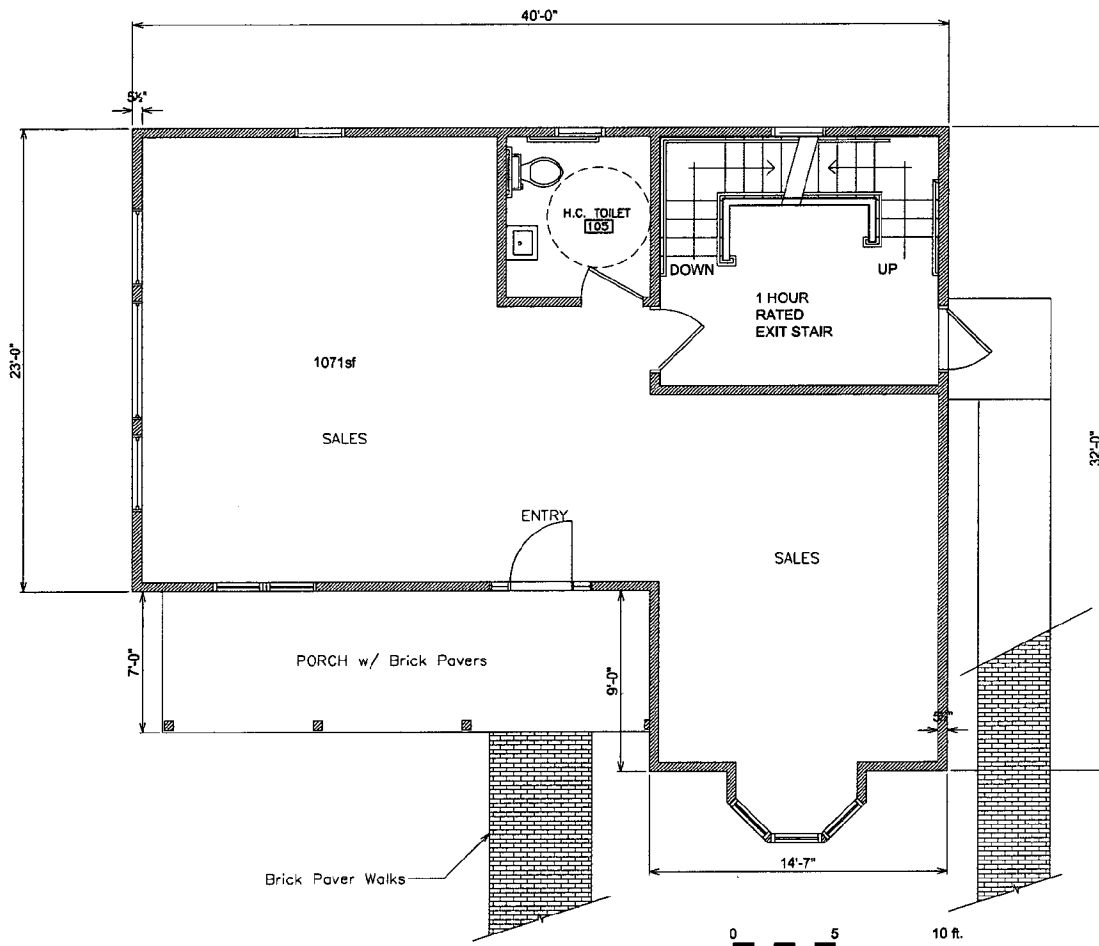
ADMINISTRATIVE REQUIREMENTS:

NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED OF A MCDPS ACCESS PERMIT.

15130 BARNESVILLE ROAD
 PARCEL A, BOYDS FARM ESTATES
 BUILDING PERMIT, SEDIMENT CONTROL,
 AND STORMWATER MANAGEMENT PLAN
 PERMIT NO. -

6

© Montgomery and Sedimentation Control Engineering 10/17/2007 10:58:11 PM DT




 ARCHITECTS
 PLANNERS
 HISTORIC
 PRESERVATION
 THOMAS J. TALTAVULL
 ARCHITECT
 201.846.1947

Revision
 Drawing Title

FLOOR PLANS
 Drawing Title

Date: Oct. 3, 2007

PROPOSED RETAIL BUILDING FOR
 DR. WILLIAM R. DZYAK
 15101 BARNESVILLE ROAD
 BARNESVILLE, MARYLAND

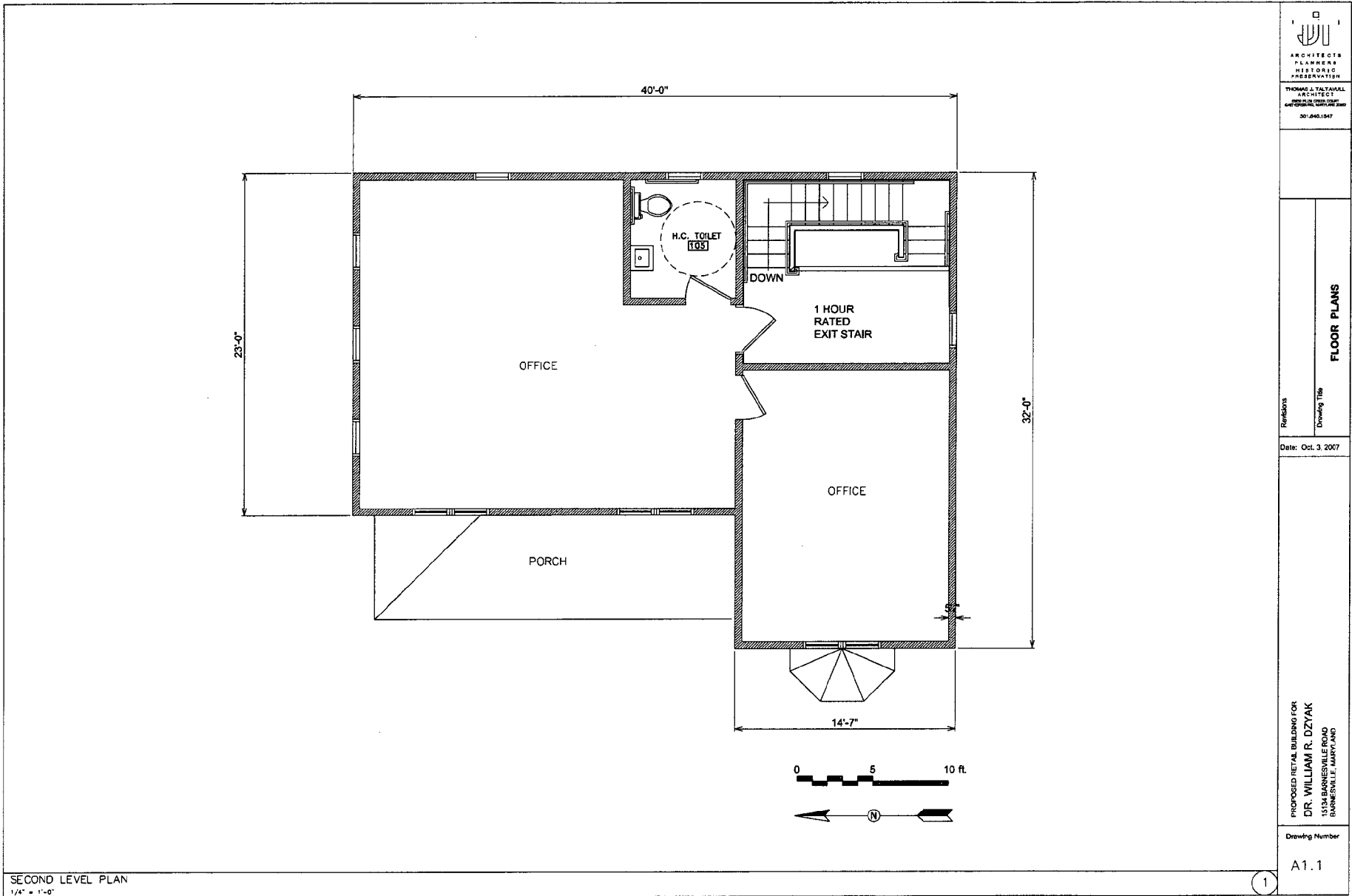
Drawing Number

A1.0

FIRST LEVEL PLAN

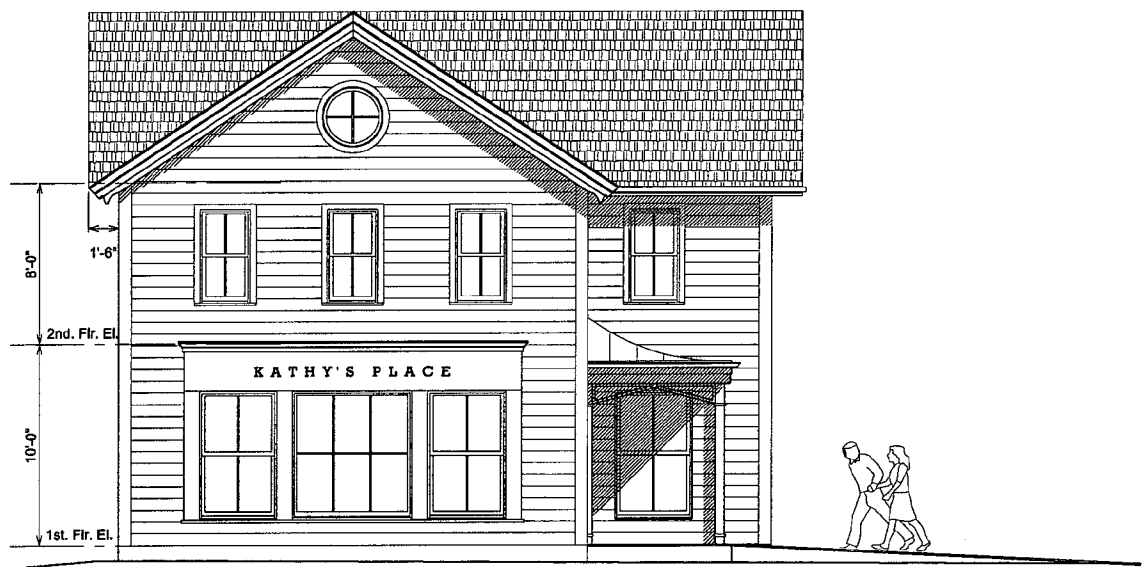
1/4" = 1'-0"





SECOND LEVEL PLAN
1/4" = 1'-0"





Elevation Materials
 Foundation - Parged Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lights - Painted
 Doors - Wood Painted
 Roofing - Wood Cedar Shake
 Walkways & Ramps - Brick Pavers

ELEVATIONS
 Drawing Title
 Revisions

Date: Oct. 3, 2007

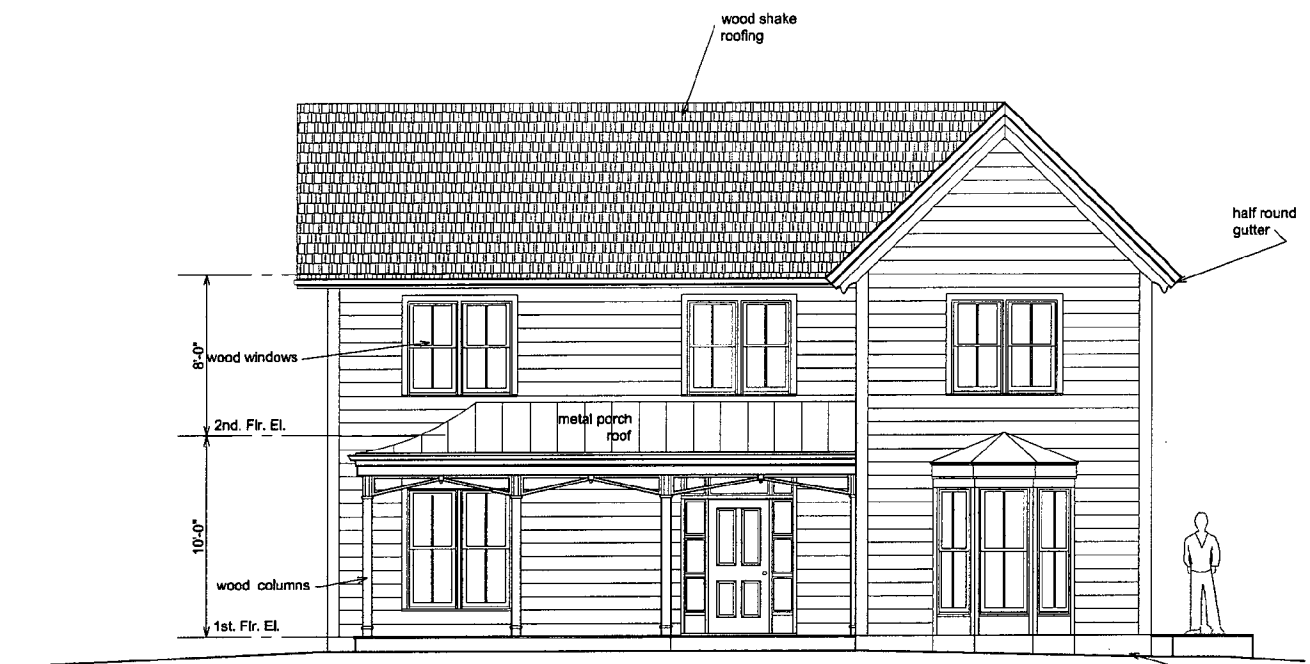
PROPOSED RETAIL BUILDING FOR
 DR. WILLIAM R. DZYAK
 15100 BARBERS BLVD SUITE 200
 BARRERSVILLE, MARYLAND

Drawing Number

A2.0

NORTH ELEVATION
1/4" = 1'-0"

12



- Elevation Materials**
- Foundation - Parged Concrete
 - Siding - Fiber Cement Siding Painted
 - Trim - Wood Painted
 - Windows - Wood with simulated divided lights - Painted
 - Doors - Wood Painted
 - Roofing - Wood Cedar Shake
 - Walkways & Ramps - Brick Pavers

WEST ELEVATION

1/4" = 1'-0"

13

1



ARCHITECTS
PLANNERS
HISTORIC
PRESERVATION

THOMAS J. TALAMULL
ARCHITECT
1524 BARNESWILE ROAD
BARTLETT, MISSISSIPPI 38902
201.840.1847

Revisions

Drawing Title

ELEVATIONS

Date: Oct. 3, 2007

PROPOSED RETAIL BUILDING FOR
DR. WILLIAM R. DZYAK
1524 BARNESWILE ROAD
BARTLETT, MISSISSIPPI

Drawing Number

A2.2



- Elevation Materials**
- Foundation - Parged Concrete
 - Siding - Fiber Cement Siding Painted
 - Trim - Wood Painted
 - Windows - Wood with simulated divided lights - Painted
 - Doors - Wood Painted
 - Roofing - Wood Cedar Shake
 - Walkways & Ramps - Brick Pavers

SOUTH ELEVATION
1/4" = 1'-0"

1





THOMAS A. TALAVALL
ARCHITECT
15134 BARNESVILLE ROAD
301.240.1847

ELEVATIONS

Revisions

Drawing Title

Date: Oct. 3, 2007

PROPOSED RETAIL BUILDING FOR
DR. WILLIAM R. DZYAK
15134 BARNESVILLE ROAD
BARNESVILLE, MARYLAND

Drawing Number

A2.3

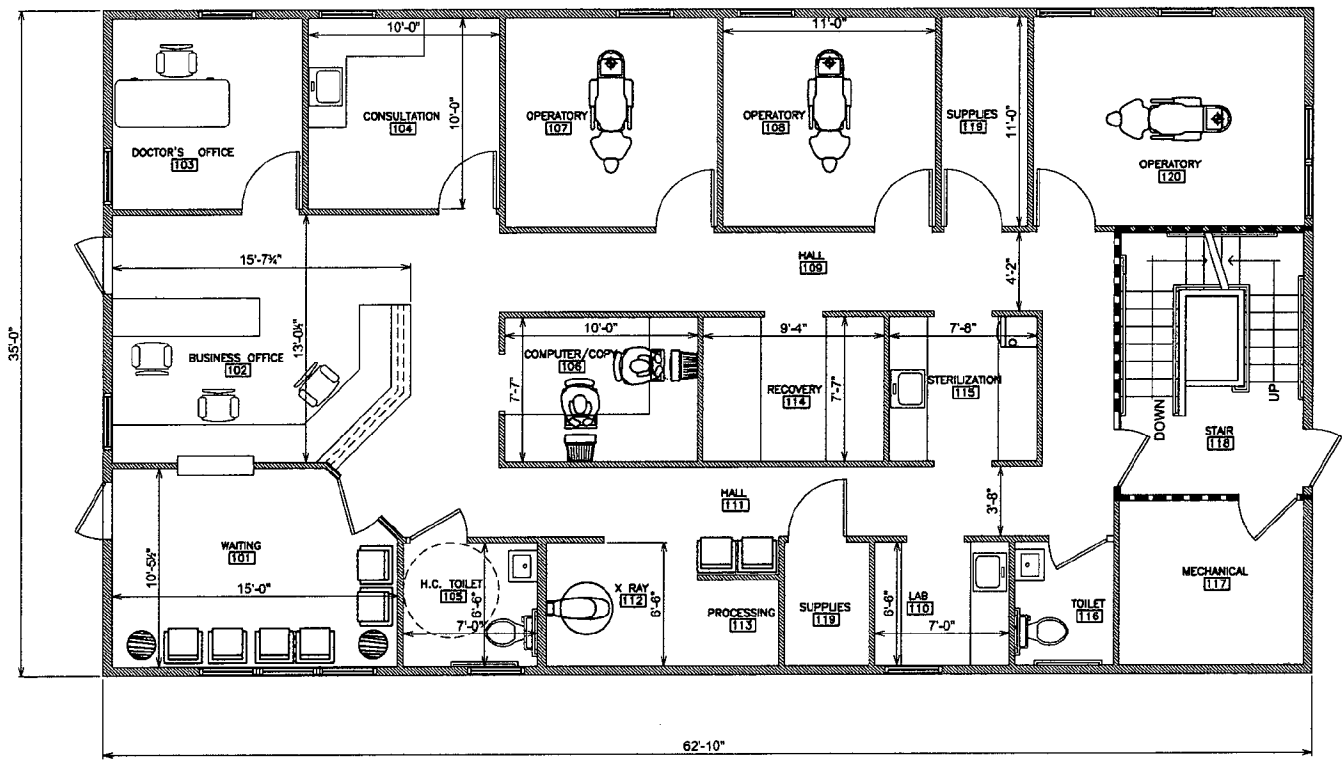
1



- Elevation Materials**
 Foundation - Parged Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lights - Painted
 Doors - Wood Painted
 Roofing - Wood Cedar Shake
 Walkways & Ramps - Brick Pavers

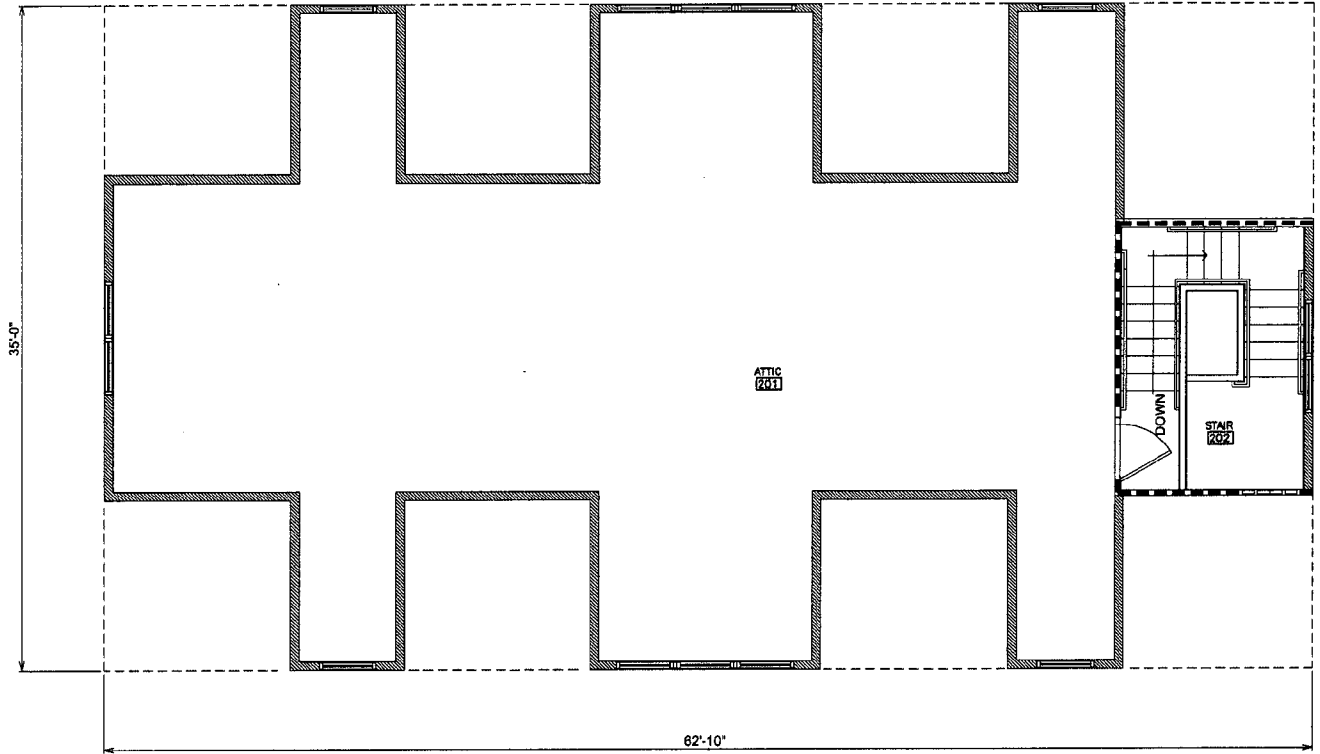
EAST ELEVATION
1/4" = 1'-0"

15



FIRST LEVEL PLAN

91

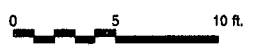


ATTIC LEVEL PLAN
 1/4" = 1'-0"

17

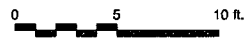


Elevation Materials
 Foundation - Parged Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lights - Painted
 Doors - Wood Painted
 Roofing - Standing seam metal
 Walkways - Brick pavers





Elevation Materials
 Foundation - Parged Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lights - Painted
 Doors - Wood Painted
 Roofing - Standing seam metal



WEST ELEVATION
 1/4" = 1'-0"

1

19



THOMAS J. TAL TAULL
ARCHITECT
1000 STATE STREET
BARNSTABLE, MASSACHUSETTS
501.840.1847

ELEVATIONS

Revisions

Drawing Title

Date: Oct. 3, 2007

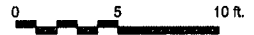
PROPOSED OFFICE BUILDING FOR
DR. WILLIAM R. DZYAK
1536 BARNESVILLE ROAD
BARNSTABLE, MASSACHUSETTS

Drawing Number

A2.2



Elevation Materials
Foundation - Parged Concrete
Siding - Fiber Cement Siding Painted
Trim - Wood Painted
Windows - Wood with simulated divided lights - Painted
Doors - Wood Painted
Roofing - Standing seam metal



SOUTH ELEVATION

1/4" = 1'-0"

1

20



Elevation Materials
 Foundation - Parged Concrete
 Siding - Fiber Cement Siding Painted
 Trim - Wood Painted
 Windows - Wood with simulated divided lights - Painted
 Doors - Wood Painted
 Roofing - Standing seam metal



EAST ELEVATION
1/4" = 1'-0"

21



Picture 1: Picture of house (commercial zoning) at 15140 Barnesville Road



Picture 2: Picture of house (commercial zoning) at 15140 Barnesville Road.



Picture 3: Picture of house (residential) at 15200 Barnesville Road



Picture 4: Picture of house (residential) at 15200 Barnesville Road



Picture 5: Picture of Post Office (Not in Historic District)



Picture 6: Picture of house (residential) at 15215 Barnesville Road



Picture 7: Picture of property (residential) at 15215 Barnesville Road



Picture 8: Picture of property (residential) at Parcel P2



Picture 9: Picture of house (residential) at 15131 Barnesville Road



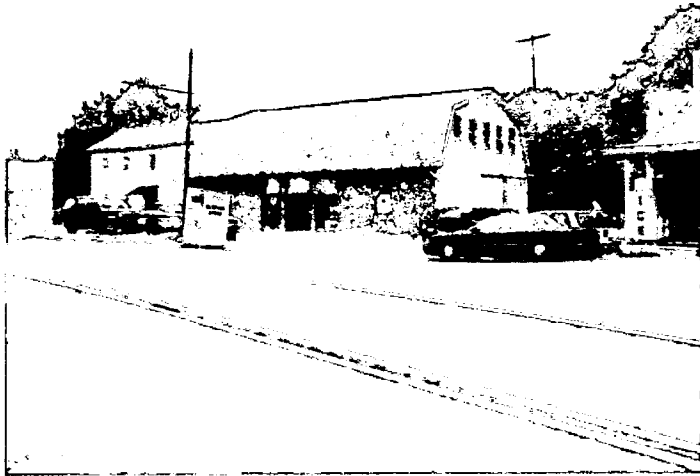
Picture 10: Picture of house (residential) at 15121 Barnesville Road



Picture 11: Picture of house (residential) at 15115 Barnesville Road



Picture 12: Picture of Boyd's Country Store at 15110 Barnesville Road



Picture 13: Picture of commercial buildings next to Boyd's Country Store (Not in Historic District)



Picture 14: Picture of Boyd's Station Antiques at 15114 Barnesville Road



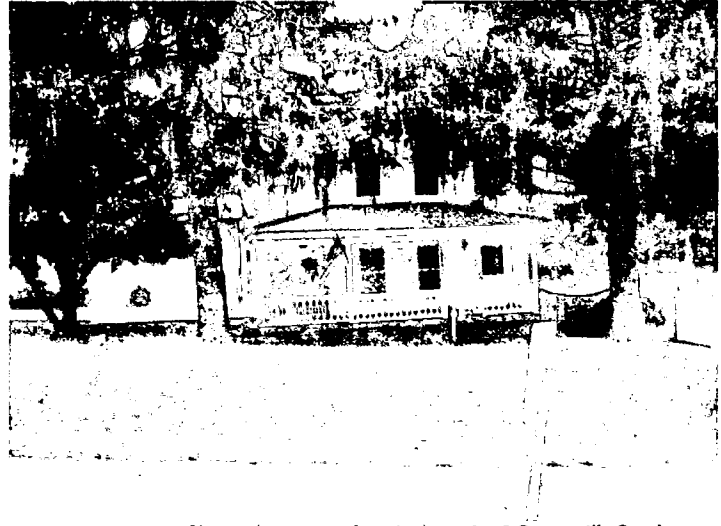
Picture 15: Picture of Boyd's Station Antiques



Picture 16: Picture of house (commercial zoning) at 15120 Barnesville Road



Picture 17: Picture of house and shed (commercial zoning) at 15130 Barnesville Road



Picture 18: Picture of house (commercial zoning) at 15130 Barnesville Road



Picture 19: Picture of shed (commercial zoning) at 15130 Barnesville Road



Picture 20: Picture of rear of Boyd's Antiques Station at 15114 Barnesville Road



HISTORIC PRESERVATION COMMISSION

Ike Leggett
County Executive

Jef Fuller
Chairman

May 10, 2007

Royce Hanson, Chair
Montgomery County Planning Board
8787 Georgia Avenue
Silver Spring, MD 20910

Dear Mr. Hanson:

On Wednesday, October 11, 2006, the Montgomery County Historic Preservation Commission (HPC) reviewed a preliminary plan (#1-05067) for the creation of Lot 1 from Parcels 107 and 55 located at 15130/15134 Barnesville Road within the Boyds *Master Plan* Historic District. The property currently contains a c1890 dwelling being utilized as an office, which has been completely rehabilitated by the applicant. The house is a three-bay, cross-gable, frame farmhouse with Victorian detailing. The first story is decorated with a wrap-around front porch with a cut-out picket balustrade, while the second fashions bargeboard in the gable end, and a box cornice. A two-story gable ell projects from the building's east elevation.

The Boyds Historic District is a significant resource within Montgomery County because of its cohesive grouping of residential, religious, and commercial structures that are characteristic of a 19th century agricultural town. Founded by Col. James A. Boyd, the town was conveniently located for farmers along the B & O railroad who were transporting produce for shipment. As a result, railroad workers constructed many of the first dwellings in Boyds.

The design, setting, and building materials of the existing buildings in the district have not changed significantly since their original construction. The Boyds Historic District, from its originally mill era buildings to eventually B & O railroad era buildings, recalls a sense of place, circa 1900, as a rural Maryland agricultural community.

The HPC is recommending that the Planning Board support this proposed plan with the following Historic Preservation related condition:

Any proposed construction, alterations of existing structures, or grading within the boundary of the Boyd's Historic District will require review and approval through the Historic Preservation Commission's Historic Area Work Permit process.

If you have any questions, please feel free to contact Michele Oaks in the Historic Preservation Office.

Sincerely,

Jef Fuller, Chairman
Historic Preservation Commission



TRANSCRIPTS
OCTOBER 11, 2006
HPC MEETING

1 125
 THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
 2
 3 - - - - - X
 4 HISTORIC AREA WORK PERMIT - : HPC Case No.
 7113 Holly Avenue :
 5 :
 - - - - - X
 6 :
 7 PRELIMINARY CONSULTATION - :
 57 Walnut, Takoma Park :
 8 :
 - - - - - X
 9 PRELIMINARY CONSULTATION - :
 2805 Beechbank Avenue :
 10 :
 - - - - - X
 11 :
 12 SUBDIVISION - :
 15130 & 15134 Barnesville Road: :
 13 :
 - - - - - X

14 A meeting in the above-entitled matter was held on
 15 October 11, 2006, commencing at 7:41 p.m., in the MRO
 16 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
 17
 18 20910, before:

19 COMMISSION CHAIRMAN

20 Julia O'Malley

21 COMMISSION MEMBERS

22
 23 Timothy Duffy
 Warren Fleming
 24 Caroline Alderson
 25 Tom Jester

ALSO PRESENT:

Tania Tully, Staff
Michele Oaks, Staff
Gwen Wright, Staff
Anne Fothergill, Staff

APPEARANCES

STATEMENT OF:

PAGE

Greg Bordynowski	6
Margo Kabel	12
Maggie Little	18
Juan Castro	38
Daniel Monias	55
Scott Elm	55
David Tom	55
Curt Schrepner	72
Tom Tultavull	72
Bill Dyzak	72

1 and that's what makes it really tuck here. And the others
2 in the district that while it does have some two story
3 buildings it's still a modest residential scale.

4 MR. JESTER: I would strongly recommend a story
5 preliminary. I don't know how other Commissioners feel. I
6 just think given the comments you've heard tonight I think
7 it would be wise to submit again before actually submitting
8 the application.

9 MS. O'MALLEY: A different design altogether. Mr.
10 Fleming, do you want to make any comments?

11 MR. FLEMING: No comment.

12 MS. O'MALLEY: Do we have any other specific
13 suggestions?

14 MR. MONIAS: Thank you very much.

15 MS. O'MALLEY: Thank you. Look forward to seeing
16 you again.

17 MR. MONIAS: Thank you.

18 MS. O'MALLEY: The next item on the agenda is 4-A.
19 4-A is historic district 18-A.

20 MS. OAKS: The subject property is a contributing
21 resource within the Boyd's Master Plan Historic District.
22 The applicant is proposing to construct two buildings on the
23 subject lot to develop the existing site.

24 The current blocks are parcel 55 and parcel 107
25 and identified on circle 2 the explanation of both the lots.

1 The site currently contains a two-story frame house which
2 has been identified as a contributing resource. And that is
3 located on parcel 107. It's currently zoned commercial and
4 I believe currently occupied. The existing house is sited
5 approximately 29 feet from the existing edge of Barnesville
6 Road. The parcel 107 is where the two buildings are going
7 to be residing. The applicant is proposing a new two story
8 2,000 square foot retail space. It's going to be sited at
9 the 10 foot ERL. They're also proposing a new single-story
10 2200 square foot office building and that will be
11 approximately 70 feet from the property line and behind the
12 new two-story retail space.

13 They're also proposing a new asphalt driveway
14 parking lot for the new development and drilling a new well
15 in the front of the property and the removal of at least two
16 trees on the subject property. There also will be two
17 septic fields on parcel 55 and a new storm water management
18 system.

19 Because this is the Boyds Master Plan Historic
20 District you will be looking at the project when it comes to
21 you in terms of the Secretary of Interior standards. And
22 I've attached those on circle 3. I will remind you that
23 when you're reviewing this as a subdivision proposal you are
24 sitting as a advisory capacity to the Planning Board. And
25 they're asking for feedback from you and recommendations.

1 You are not making a physical decision. This is not a vote
2 tonight. We're asking for a recommendation.

3 With that said, staff has been working with the
4 applicant for quite a while on this proposal. There's been
5 a lot of different iterations and I think that bringing the
6 building up to the BRL is maintaining the existing
7 development pattern and it's where we strongly encourage
8 them in that direction. We are very concerned about putting
9 any buildings back and having that sort of inconsistency in
10 any in fill. So we strongly support having that two-story
11 massing at the BRL and then breaking up those two massings.

12 In addition we are concerned, it's part of the
13 subdivision requirements. They are required to do a
14 definition of their right of way. And part of that is
15 typically the inclusion and the construction of a sidewalk.
16 And we are concerned that Boyds does not have sidewalks. It
17 is inconsistent with the development plan and so we feel
18 that we need to encourage the Planning Board to not support
19 that part of the application. Sidewalks are not going to be
20 continued anywhere else in Boyds. This is built. It's
21 going to look silly because it's just going to be in the
22 front of this property. So I, you know, urge you to
23 consider that in your recommendation.

24 In addition, there is they are proposing currently
25 asphalt for the surface area. We would like to see a more

1 gentler treatment, something along the line of gravel. We'd
2 like to talk to the various DPS agencies in terms of
3 commercial development, but I don't see any reason why we
4 can't do some sort of alternative. And so I'll ask again
5 that would be a recommendation on those kinds of issues.

6 With that said, the applicant and their team is
7 here this evening. And I'll run through some aerial
8 photographs to kind of orient you to the site. And I'll be
9 happy to entertain questions. Again, this is the subject
10 site you see currently is very developed in terms of paving
11 and it currently also has an outbuilding on the site. This
12 is the historic house that I was referring to earlier. And
13 this is the adjacent parcel where the storm water management
14 and the septic field will be located. Another view.

15 I'd like to just point out that the historic
16 district and also the other buildings and their sizes. This
17 is the market here and the large addition that has been put
18 onto that building over time. And then also the other
19 larger buildings within the district. You want me to go
20 back?

21 MS. O'MALLEY: Yeah, can we go over that again.
22 The historic house is right --

23 MS. OAKS: This is the historic house here. They
24 have an outbuilding here at the barn above the building.
25 And this is, you know, all currently paved in various paving

1 materials. They have landscaping business so it has various
2 little paving materials kind of like a showplace at one
3 time.

4 MS. ALDERSON: Can you orient us to the town and
5 the commercial area. I'm thinking, for example, the little
6 market, the antique shop. Is this right next door?

7 MS. OAKS: This is the market. This is the
8 antique shop. This is Barnesville Road. This is the
9 railroad tracks. This would be that intersection where you
10 kind of come under the bridge. And then the reservoir. And
11 this is residential.

12 MR. JESTER: Could you just generally point out
13 the second parcel, 55, which is just to the --

14 MS. OAKS: This is --

15 MR. JESTER: That's what I thought.

16 MS. OAKS: And in your packet I tried to highlight
17 that as well in the three dimensional photographs or three
18 dimensional sketches. Just kind of a closer view. The
19 slide's a little fuzzy but one trying to get closer. This
20 is the one parcel. Again -- This is directly looking down.
21 The entire parcel here and then Barnesville Road. This is
22 the core of the district or core of the commercial district.

23 MS. O'MALLEY: And the property between the
24 subject property and the commercial district is just open or
25 does a house --

1 MS. OAKS: I'm sorry?

2 MS. O'MALLEY: The property between the market and
3 the proposed, just open land --

4 MS. OAKS: There's a pretty kind of steep grade in
5 between these two right now, but it's open.

6 MS. WRIGHT: The modern Boyds Post Office is at
7 the far left of the site. It's almost this entire stretch
8 of Barnesville Road on this side of the road except for one
9 or two properties is commercial in nature. It is sort of
10 downtown Boyds. And the property in question, the house has
11 been for commercial activities for a long time. It was
12 originally a house, but it has been used for commercial
13 activities for a long time. It was originally a house but
14 it has been used for commercial activities.

15 MS. ALDERSON: Having just been there two weeks
16 ago, it's very consistent with the nature of that little
17 section of Boyds. I think that your work with the applicant
18 on configuring that it can be, blend into this is terrific.
19 And specifically I think that in agreement the character of
20 this little area is that the buildings are not all lined,
21 they're not identical. There's variation and that the
22 subdivision encourages that breaking up the buildings, not
23 having them all in a row. That's a good thing and certainly
24 encouraging more world treatment of gravel or exposed
25 aggregate concrete roads. Certainly blacktop. That's what

1 would concern me, would be blacktop. We shouldn't see any
2 black. Grey is okay. And I am in complete agreement that
3 the character of this section of being rural not suburban
4 and not village main street. That there's no place for a
5 sidewalk here. It has been noticed not to make into
6 anything. And so we strongly discourage adding a sidewalk
7 where it really doesn't belong.

8 MS. O'MALLEY: Any more questions for staff?
9 Would the applicants come up.

10 MR. SCHREPNER: Good evening. My name is Curt
11 Schrepner with Cass Engineering. We prepared the
12 preliminary subdivision plan. To my left is Dr. William
13 Dzyak, the applicant, and to my right, Tom Tultavall, the
14 architect. Let me first say that Michelle has worked
15 closely with the applicant, Tom to arrive at the current
16 plan and we thank her for that. And I think her report,
17 staff report speaks for itself. I won't bore you by
18 reiterating the points contained therein.

19 We're in agreement that the sidewalk is
20 inappropriate. I believe that requirement was made either
21 Park and Planning's transportation department I would
22 imagine or possibly State Highway. In any event, my
23 experience has been especially with the support of another
24 department or HPC in this case that the Planning Board will
25 support a waiver and State Highway is very good about

1 honoring those type of requests. I don't really see that as
2 a problem and we, you know, look forward to working with
3 Michele on the final design issues including the parking lot
4 treatment. And as she pointed out we will be coming back to
5 you for a historic area work permit at which time all those
6 details will be worked out. So, we have plans and photos
7 and we're here to answer questions if you have any at this
8 stage, but we would hope that you would follow staff's
9 recommendation and forward a letter of support to the
10 Planning Board and perhaps answer any questions you might
11 have.

12 MS. O'MALLEY: Questions?

13 MR. FLEMING: When you designed this site, did you
14 talk to the neighbors and the community to see what their
15 feeling was for what you were going to do?

16 MR. SCHREPNER: We had no meetings with the
17 neighbors. They were all notified through the subdivision
18 process and received copies of the plan and then they'll be
19 notified again prior to the Planning Board hearing. But we
20 haven't had any meetings with them. Have you had any
21 interaction with the neighbors?

22 MR. DYZAK: Well, Mr. Fleming, I've discussed this
23 with virtually every neighbor in the community and they're
24 fully aware of our project. Frankly we know most of the
25 people in the area and have actually treated many of the

1 people in the area. I would sense that they welcome this.
2 Of course, I don't know. They were invited to the past
3 hearing and I don't believe anyone came to that hearing.
4 But again as Mr. Schrepner mentioned, I'm sure that there
5 will be a point in time where they'll be invited to come to
6 evaluate the final plans and give their feedback and we
7 encourage them to do that.

8 MR. FLEMING: Just curious, did you talk to up
9 County Regional Center, the people who work in Germantown in
10 that area to talk about this new center?

11 MR. WITMER: Personally no, sir. But if that is
12 the issue we will of course discuss with anyone you
13 recommend.

14 MS. WRIGHT: One thing I want to just mention
15 because it was actually an event I attended is that the
16 house in front had been vacant and curiated and the
17 applicant did a good job of fixing that house up. And after
18 it was fixed up he actually had an event where all the
19 neighbors were invited to come. The folks who had grown up
20 in the house were invited to come who still in, near the
21 Boyds area and a number of the you know, local Boyds
22 residents, village leaders, that sort of thing, so, you
23 know, and they did come. And so certainly it has not been
24 that this is a project that's been, you know, I attended
25 that same event and there were a number of people from the

1 community who came to see the house. At that point the
2 discussion wasn't necessarily what new building could we
3 build? It was really more focused on the house being fixed
4 up. But there certainly has been contact.

5 MR. FLEMING: Thank you.

6 MR. WITMER: Yes, sir, thank you.

7 MS. O'MALLEY: So that house they've retained?

8 MR. SCHREPNER: Of course, yes, ma'am.

9 MS. OAKS: If you look on your site plan it shows
10 the main event, the new houses, the new building is next to
11 it and another building behind it.

12 MS. O'MALLEY: So we're not really looking at the
13 design of the new building?

14 MS. OAKS: No. You will look at that at the
15 historic work area permit. They're not up for the sizes of
16 anything tonight or architectural changes approving. But
17 they can have buildings on this lot.

18 MS. ALDERSON: We appreciate your sharing your
19 vision all the same.

20 MR. SCHREPNER: Thank you.

21 MR. DUFFY: I have a few thoughts. It's good to
22 hear that in general I'm very positive about what you're
23 proposing to do. And I think it's great that you're willing
24 to work towards waiver on the sidewalks. But would you be
25 comfortable with what is staff is recommending for the

1 paving of peat gravel?

2 MR. SCHREPNER: Well, I don't want to limit us to
3 the two options they gave us. I understand their concern
4 with asphalt and we're certainly willing to work with them
5 during the historic area work permit --

6 MR. DUFFY: Uh-huh.

7 MR. SCHREPNER: -- to explore alternative --

8 MR. DUFFY: I understand this early. So --

9 MR. SCHREPNER: Right.

10 MR. DUFFY: That's adequate for now. I mean I
11 trust that you will work on staff with that. I think that
12 the massing is good. I in general I think it's positive.
13 One comment that I would make is and this is as you develop
14 the design, I'm supportive of the comments that staff makes
15 in the report so I won't reiterate them. But the new, the
16 new house like structure on the street that will be adjacent
17 to the existing, I would just advise not to be too
18 replicative or to make a mirror of the existing. You know,
19 it should be certainly compatible, but I wouldn't make it
20 identical. And certainly, you know staff I'm sure will be
21 happy to work with you towards something comfortable along
22 those lines. And the unit which I understand is very
23 preliminary. It almost looks like a perfect mirror. So
24 something concept like that I think is great, but the
25 details, but not, I think it's a great proposal.

1 MR. SCHREPNER: Thank you.

2 MR. JESTER: I don't have anything to add other
3 than what was said.

4 MS. O'MALLEY: I just had a question about the
5 parcel next to it. That's where you will have your field so
6 that the adjacent lot would then stay green always?

7 MR. SCHREPNER: Correct. Actually the two parcels
8 and they are deeded parcels not recorded lots which is why
9 we're going through the subdivision process, will be
10 combined into one lot of record. So you know, barring a new
11 subdivision or public lawyer and see where we're getting the
12 woods or something that, yeah, will remain open space to the
13 west, I believe, to the right, correct.

14 MR. DUFFY: There was one item I forgot to
15 mention. As this develops we'll be very interested in storm
16 water management. Maybe Tom was about to mention that. It
17 can go over well or not so well or someday in between. But
18 we would hope to see storm water management that will be
19 very naturalistic and not all that visible in this context.

20 MR. SCHREPNER: We're aware of those concerns.

21 MR. DUFFY: Okay.

22 MR. SCHEPNER: And we'll do everything we can to
23 meet, of course, the State and County requirements and
24 address your concerns as well.

25 MR. DUFFY: Thanks.

1 MR. JESTER: I think it's especially true since
2 you're giving the location you're showing -- more prominent
3 front on the property, both the treeside.

4 MS. ALDERSON: I'd just like to apologize for
5 being out of order. I should not have been offering comment
6 before you had gotten up and I apologize which I'm jumping
7 the gun. You certainly have a right to speak before I
8 volunteer comments. Otherwise, it's so lovely to see you
9 joined two lots so that you could preserve some green in
10 this area and preserve what is a very pleasant arrangement
11 of alternating green with buildings that have variable
12 setbacks and variable shapes. And I think your goal in
13 maintaining that is laudable.

14 MS. OAKS: It sounds as though the Commission will
15 recommend supporting this or other support, the Planning
16 Board with the recommendation that we discussed. Thank you.

17 MR. SCHREPNER: Thank you. I would ask that
18 perhaps the letter could be rephrased to, you know
19 addressing the parking lot just to allow a little more
20 leeway, not just the two options. So --

21 MS. ALDERSON: Would you like to suggest phrasing
22 that would make you comfortable?

23 MR. SCHREPNER: Work with staff --

24 MS. OAKS: Work with staff --

25 MR. SCHREPNER: Explore --

1 MS. WRIGHT: Work with staff. All of that will be
2 part of the historic work permit approval. So basically
3 just a sentence that says the parking lot material will be
4 approved in the future through the historic area work permit
5 process.

6 MR. SCHREPNER: That's fine. Okay. Thank you.

7 MS. O'MALLEY: All right. Thank you. Approval of
8 September 13th minutes.

9 MR. DUFFY: September 13th minutes. There are a
10 few minor, a few minor corrections. But first a question or
11 two. The first page lists only the two cases. It lists the
12 name and address and the case numbers have only been two
13 cases that were heard. It does not list the specifics of
14 those that were expedited and perhaps that's been discussed
15 with us and that's acceptable.

16 MS. O'MALLEY: We know that they submit the agenda
17 with it. Gwen, could you be more specific.

18 MS. WRIGHT: If you'd like, we'll make sure they
19 list all cases on the front cover page. It's really almost
20 like a table of contents and I think that's probably why the
21 cases are, that didn't have a lot of discussion aren't
22 mentioned. But if you'd like all the cases listed we can
23 get them all in.

24 MR. DUFFY: Let me ask other Commissioners how
25 they feel about that.

1 MS. O'MALLEY: I think as long as the agenda is
2 attached.

3 MR. DUFFY: I agree. As long as the agenda
4 attached. As long as the agenda attached and okay then the
5 other comment I have is under the table of contents it lists
6 expedited cases with about a dozen cases and then there's a
7 space Case F, Case L but doesn't say cases heard.

8 MS. WRIGHT: We can get that added.

9 MR. DUFFY: I think that should be added but then
10 I think with the agenda attached. Those issues are fine.

11 MS. O'MALLEY: I think if you have specific line
12 corrections you can forward them to Abbey.

13 MR. DUFFY: Okay. I have several specific line
14 corrections I should simply forward those to Abbey. I'll do
15 that. Then I make a motion to approve the minutes from --

16 MS. O'MALLEY: September 13th.

17 MR. DUFFY: -- September 13th with the corrections
18 as submitted.

19 MS. O'MALLEY: Is there a second?

20 MR. FLEMING: I second.

21 MS. O'MALLEY: Moved. All in favor? All right.
22 Thank you. Do we have a volunteer tonight for next times --

23 UNIDENTIFIED VOICE: I did it tonight.

24 MS. O'MALLEY: It would be for the September 27th
25 minutes. And I will not be here the next meeting. So I'll

1 have to check with Jeff. So I think there's an issue that I
2 wanted to discuss and that is the grants committee.
3 Currently the grants committee under direction of Susan
4 Soderberry includes myself and David Rotenstein and Anhtar
5 Nuray who are not here. And we've been having trouble with
6 the dates that we can get together. And I wondered if as we
7 look at next week, Monday, Tuesday or Wednesday and I
8 wondered if there's one night that I, two nights that I
9 couldn't come and one night that Nuray couldn't come. If
10 they pick a night, is there someone else --

11 MS. ALDERSON: Any day but Thursday.

12 MS. O'MALLEY: Okay. So you could be a substitute
13 if we can't arrange for a night.

14 MS. WRIGHT: And here is a packet of all grants.
15 We have an extra packet --

16 MS. O'MALLEY: Okay.

17 MS. WRIGHT: So we will tell Susan to try to set
18 up and Caroline will be the alternate if you can't get a
19 group to all agree upon.

20 MS. O'MALLEY: Okay.

21 MS. ALDERSON: Any day but Thursday.

22 MS. O'MALLEY: And last night was the NHBC
23 training which I attended with Lee Burstyn. It was on
24 Heirich Portison (phonetic sp.) and was quite interesting.
25 I think Lee will give us the background of the whole program

1 the state, NIHTA, and then Peggy Ariston (phonetic sp.) told
2 us about the local program and three area heritage areas
3 which are agriculture, innovative technology, and
4 underground railroad. And Glenn came and gave a briefing on
5 the underground railroad. So that was good. Did anyone go
6 to the Rockville program? Oh and Antonia was there last
7 night as well. And I just to check was it that we're still
8 clear for December 9th, 9:00 to 12:00? So it will be good
9 if we started to circulate an e-mail with a list of the
10 things that we want to include in that.

11 MR. DUFFY: I think at the last hearing or
12 afterwards you talked about, or actually it was September
13 15th, right. I think that was pretty substantial and I
14 think staff was saying that was enough material to cover.

15 MS. WRIGHT: We'll look at the agenda from the
16 13th, or the minutes from the 13th --

17 MS. ALDERSON: One of the issues was the materials
18 themselves. To have some offline conversation and if you
19 have samples for some of the ones that we had trouble with.

20 MS. O'MALLEY: And it's always good to look at
21 projects that have been approved and what worked and what
22 hasn't.

23 MS. OAKS: We'd love to get a little heads up on
24 what you'd like us to prepare for you.

25 MS. ALDERSON: I think one of the issues was what

1 substitutes and threshold situations.

2 MR. DUFFY: What substitutes and that went into
3 discussion of materials in general such as and then that
4 went into discussion of terminology to be used consistently
5 and between those maybe that was enough. We talked about
6 design you know, corroborate that maybe that's too much for
7 one day.

8 MS. OAKS: And if there's things you want us to
9 like handouts or some things like that you know, shoot us an
10 e-mail --

11 MR. DUFFY: Okay.

12 MS. OAKS: -- so we can get that stuff --

13 MS. ALDERSON: And anything that's a material
14 discussion you can have visuals when possible real samples.

15 MS. OAKS: Yeah, if you give it the final ahead of
16 time we can call in --

17 MS. O'MALLEY: Well, I think we also talked about
18 what are the jurisdictions around this hearing.

19 UNIDENTIFIED VOICE: Some of the tough issues like
20 windows?

21 MS. O'MALLEY: Windows and siding yeah.

22 MR. FLEMING: One of the things I voted for I make
23 a motion that the, there's so many historical places that
24 have wood and these places are being used. But the people
25 who tried to keep up with it cannot keep up with it because

1 it's so expensive. And my argument was if we can maybe put
2 siding on instead of using the wood in some of these places
3 because I know it's a number of places that are old and
4 people can't replace the wood. And my thing is if you're
5 not really preserving the wood you try and preserve the
6 shape.

7 MS. ALDERSON: That's a discussion for the event.

8 MS. WRIGHT: Well, we'll make sure we, you know,
9 obviously have to have a discussion from Sue to us. And
10 where do we allow wood to be replaced or covered up and if
11 so what with? And have that discussion on all fronts.

12 MS. O'MALLEY: Okay. Commission items.

13 MR. FLEMING: Saturday I did attend the, Anita
14 Powell had a historical, heritage day at Maryland University
15 where they had workshops on how to go about preserving
16 places, preserving a historical site and also showing people
17 how to create a museum and it was just a lot of wealth of
18 information so it was a good session.

19 MS. ALDERSON: Judicial writing conference -- and
20 maybe we can compare notes later. I got some material that
21 may be of use, and some of the issues that may be helpful in
22 your consultation with applicants, exposed material.

23 MS. WRIGHT: And there was a Chevy Chase History
24 Day last weekend sponsored by the Chevy Chase Historical
25 Society. Although I didn't attend I understand it was very

1 good. I heard that former Commissioner Kim Williams was
2 there and she sold out of the Chevy Chase history books that
3 she brought along with her, the ones that we had published a
4 number of years ago. So it was a popular book. We have one
5 staff item.

6 MS. FOTHERGILL: I have one staff item --

7 MS. O'MALLEY: Before get to that --

8 MR. JESTER: Can I mention that Dave Rotenstein
9 bought the, because Dave mentioned Magical Montgomery Bear
10 two weeks ago.

11 MS. ALDERSON: Is that Silver Spring?

12 MR. JESTER: In Silver Spring and it was very
13 interesting and well attended.

14 MS. O'MALLEY: You had people coming for the food?

15 MR. JESTER: We did.

16 MS. WRIGHT: That was the cold day. Wasn't it?

17 MR. JESTER: I think it rained early in the
18 morning and then cleared up.

19 MS. WRIGHT: It wasn't too bad. It wasn't last
20 week that it was really heavy.

21 MR. FLEMING: This is just a FYI. You all know
22 that I'm also the Vice President of the Damascus Heritage
23 Society and I'm holding an event in my house October 23rd,
24 inviting all the Damascus business people to come in and see
25 if they will support us in building the first museum in

1 Damascus.

2 MS. O'MALLEY: All right. Staff items.

3 MS. FOTHERGILL: So this is 4101 Standford Street
4 in Chevy Chase, the Commission recently approved a variation
5 for this house. And as they got further on in their sets of
6 plans the applicant came to two changes they would like to
7 make. And they are attached here in circle 3. The one good
8 thing is they no longer need to relocate the second-story
9 window on the rear elevation and so that's good. They would
10 like in circle 4 where they were going to put a panel door
11 put a four panel door and would like staff approval I mean
12 your, you can allow staff to approve that change. But the
13 other change is that they realized on the left side
14 elevation three windows that they had thought were original
15 and they were going to remain are not in fact original and
16 they would like to replace those with true divided light
17 wood windows, but it is a change also approved. And both
18 those changes staff is requesting approval for that, for
19 those.

20 MS. O'MALLEY: Is that what the windows look like
21 this same type and all?

22 MS. FOTHERGILL: They're wood, true divided light,
23 to match. In fact, two of them are being moved to a section
24 of the house that's getting the rear addition. So they're
25 moving replacement window that would be to match.

1 MS. O'MALLEY: So the two, there are three on the
2 second story of the original.

3 MS. FOTHERGILL: Uh-huh.

4 MR. JESTER: I'm not terribly concerned about the
5 window changes but I think even though the French doors are
6 on the rear --

7 MS. FOTHERGILL: That's the rear. And there's
8 already a change. The three bound doors are new.

9 MS. WRIGHT: You approved three categories. They
10 just want to make it four.

11 MS. FOTHERGILL: That section has been altered
12 right now has a porch and an entry, a portico. So this is a
13 change and they want to change the change.

14 MS. ALDERSON: I don't have an issue with it.
15 It's on the back and so I think there's a little bit more
16 room for flexibility --

17 MR. JESTER: Are they keeping the chimney?

18 MS. FOTHERGILL: So do I have a nodding of heads
19 that it's okay?

20 MS. O'MALLEY: Yes, you may go ahead.

21 MS. WRIGHT: Well, I think that's it for staff.

22 MS. O'MALLEY: Then we can adjourn.

23 (Whereupon, at 10:06 p.m., the meeting was adjourned.)

24

25

% Digitally signed by Caroline Gibson

ELECTRONIC CERTIFICATE

DEPOSITION SERVICES, INC., hereby certifies that
the foregoing pages represent an accurate transcript of the
electronic sound recording of the proceedings before the

Montgomery County Historic

Preservation Commission.

A handwritten signature in cursive script that reads "Caroline A. Gibson". The signature is written in black ink and is positioned to the left of the typed name "Caroline Gibson".

Caroline Gibson

10/16/06

Silver, Joshua

From: Thomas Taltavull [tjtarchitects@msn.com]
Sent: Thursday, March 06, 2008 9:17 AM
To: Silver, Joshua
Subject: Fw: Dzyak
Attachments: Landscape_1_rev.pdf; Landscape_2_rev.pdf; swm_landscape_sheet4_rev.pdf; ATT00034.txt

Josh,

Attached are proposed landscaping and site lighting plans for Dr. Dzyak's project. Please review and let me know if you have any questions or comments.

Hopefully soon I will be bringing the completed drawings to you for your final review prior to building permit submission.

Thanks for your guidance and help.

Tom Taltavull

----- Original Message -----

From: James Ochs
To: Dzyak Bill
Cc: Chuck Dzyak ; Taltavall Tom
Sent: Wednesday, March 05, 2008 5:04 PM
Subject: Fwd: Dzyak

Bill,

Final plans from Benning & Associates. Let us know if there is anything you'd like to discuss or change.

Jim

Tom,

Would you mind handling the submission of the landscape and lighting plan to Historic? It seems to make the most sense since you've dealt with them to this point. Let me know if you want me to plot copies out for you.

I will be incorporating the landscape plan for the infiltration trench into the rest of our Stormwater Management and Sediment Control Plan. I'll then submit it as mylar to DPS for final signature. Should be ready to send in by the end of the week.

Jim

James M. Ochs
Senior Designer

CAS ENGINEERING
108 W. Ridgeville Blvd, Suite 101
Mount Airy, Maryland 21771
301.607.8031 ext 16
301.607.8045 fax
jim@casengineering.com

Begin forwarded message:

From: benninglandplan@aol.com
Date: March 5, 2008 4:20:35 PM EST
To: jim@casengineering.com
Cc: TJTARCHITECTS@msn.com
Subject: Dzyak

Jim,

I am attaching full size PDF files again for your use. Plans have been revised per your comments from Friday. I am also forwarding our CAD file for the project (in follow-up email). All of our sheets are included in this file. If you have any questions about the set up of the stormwater landscape plan, contact Peter here. He may have copied and moved the plan prior to creating the paperspace view for our plan.

I moved the light fixture some to be as far from each septic line as possible. It seems there is enough space. I think the light is needed given the sharpness of the turn at the driveway.

I am happy to send full size plans in lieu of the attached. Please let me know if you need me to do this.

Thanks,
Dave

David W. McKee

Benning & Associates, Inc.
Land Planning Consultants
8933 Shady Grove Court
Gaithersburg, MD 20877
(301)948-0240
(301)948-0241 fax
benninglandplan@aol.com

Supercharge your AIM. Get the [AIM toolbar](#) for your browser.

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Senior Designer

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> Supercharge your AIM. Get the AIM toolbar for your browser.

Silver, Joshua

From: Silver, Joshua
Sent: Tuesday, February 12, 2008 2:24 PM
To: 'Thomas Taltavull'
Subject: RE: Dzyak Exterior Lighting 2-12-2008
Attachments: Lantern.jpg; Lantern II.jpg; Post.jpg

Hi Tom,

Thanks for the e-mail. Generally a HAWP is required for installation of an exterior light pole. However, this requirement has already been satisfied because a condition of approval for this HAWP application is the applicant will submit a lighting and landscaping plan for the property to staff for final approval. This is good news!

Not to my knowledge does the HPC have a preferred style for exterior lights. I envision something relatively simple for the property. Perhaps something like a metal gooseneck post attached to a simple base with a nondescript bulb cover/shade might work well for the property. Similarly a single metal pole with an attached lantern might also be appropriate. Another possibility is a simpler post with a vertical light. I like this one because it is supposedly very energy efficient. I would make energy efficiency a top priority if possible. See attached examples.

If I can think of anything else or come across some examples I'll e-mail you.

Talk to you soon,
Josh

From: Thomas Taltavull [mailto:tjtarchitects@msn.com]
Sent: Tuesday, February 12, 2008 12:17 PM
To: Silver, Joshua
Subject: Dzyak Exterior Lighting 2-12-2008

Josh,

Does the HPC have a preferred exterior light pole that is acceptable for small commercial property similar to Dr. Dzyak's? Any help would be much appreciated.

Tom Taltavull

Dyzak Record Plat

Easement Agreement

between Pepco-Verizon-

owner — to adjust

PUE. Amend Rec. Plat to

reflect prelim. plan

location map.

Silver, Joshua

From: James Ochs [jim@casengineering.com]
Sent: Tuesday, October 02, 2007 2:45 PM
To: Silver, Joshua
Subject: dzyak
Attachments: Dzyak_confronthouse.jpg; ATT143284.htm; Dzyak_HCParking.jpg; ATT143285.htm; Dzyak_HCParking2.jpg; ATT143286.htm; 04091_topo_100207.pdf; ATT143287.htm

Josh,

A PDF is attached showing just existing features, just as you asked. It still has my BPSP/SWM/Sediment Control border on it though. Hope that is OK.

Also I've attached three photos for you to take a look at when you get a chance. Two show the existing asphalt handicap spaces on Dr. Dzyak's property.

The third shows the existing asphalt driveway across Barnesville Road from Dr. Dzyak's property.

Let me know if you need anything else.

Jim

GENERAL NOTES

1. WATER CATEGORY - 4 SEWER CATEGORY - 4
2. BOUNDARY INFORMATION BASED ON A BOUNDARY SURVEY PERFORMED BY CAS ENGINEERING, DATED JUNE, 2004.
3. 340-FOOT CONTIGUOUS DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED JUNE, 2004.
4. TOTAL LOT AREA PROPOSED LOT 1 = 62,669 S.F. (1.436 ACRES) PARCEL 55 = 29,382 S.F. (PER PLAT) PARCEL 107 = 34,287 S.F. (PER PLAT).
5. PROPERTY SHOWN ON TAX MAP DL 42, PARCELS 107 & 66, BUTTS.
6. PROPERTY SHOWN ON HIRC 2007 SHEET 227 NM 6.
7. PROPERTY SHOWN ON PORTICOUNTY COUNTY SOLID SURVEY MAP No. 12, SOIL TYPE(S), MC 2 MS.
8. FLOOD ZONE "C" FOR H.U.D. FROM MAPS, COMPLEY PANEL No. 2400R 0900 C.
9. SITE IS LOCATED IN THE LITTLE BENDEA CREEK WATERSHED.
10. LOCAL UTILITIES INCLUDE: WATER & SEWER - PRIVATE TELEPHONE - VERIZON GAS - NAT.
11. ALL VISIBLE WELLS AND SEPTIC SYSTEMS WITHIN 80 FEET OF THE PROPERTY HAVE BEEN SHOWN HEREON.
12. THE EXISTING SEPTIC SHALL BE UNCOVERED, PUMPED BY A LICENSED SCAVENGER, AND DISPOSLED.

SEPTIC DESIGN CHART

Test Site	Rate (MPD)	Test Depth (FT)	Rate (GPD)	Test Depth (FT)	Rate (GPD)	Rate (GPD)	Rate (GPD)	Rate (GPD)	Rate (GPD)	Rate (GPD)
D	21	6	4	14	18	4	24	4	8	16
F	8	5.6	1.4	7	4.8	1.8	24	7	15.8	

TREE DATA

Tree No.	Species	D.B.H. (Inches)	Condition	Comments
8	WEeping HELLON	30	POOR	DEAD OFF PROPERTY
42	PITCH PINE	30	FAIR	SOME DEADWOOD
48	SILVER MAPLE	MULTI	POOR	HAZARD, V-CRACKED, SEAM DECAY, POOR STRUCTURE
4	PLICE OAK	27	FAIR	SOME HAZARD LIFES
5	NORWAY SPRUCE	25	FAIR	SOME HAZARD LIFES
1	BLACK LOCUST	25	POOR	HAZARD DIRM, SPLIT DECAY, POOR STRUCTURE
47	CUCUMBER TREE	38	FAIR	OFF PROPERTY DECAY, DEAD LIMBS
46	AFRICAN BILT	32	FAIR	OFF PROPERTY SOME DEADBCK

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMITS OF DISTURBANCE (L.O.D.)
- EXISTING SLOPE (%)
- DC. TREE
- DC. SPECIMEN TREE
- PROPOSED SOIL DEDICATION (AT FRONT CENTERLINE OF ROAD)
- SOIL BOUNDARY
- PROPOSED ASPHALT PARKING LOT
- WATER TABLE AROUND PERC TEST LOCATION

PARKING SPACE CALCULATIONS

- PROPOSED USE:**
 RETAIL (2,000 S.F.)
 DENTAL OFFICE (2,000 S.F.)
 PROFESSIONAL OFFICE (1,340 S.F.)
- PARKING REQUIRED:**
 9 SPACES / 1,000 S.F. (RETAIL)
 5 SPACES / 1,000 S.F. (DENTAL OFFICE)
 2.5 SPACES / 1,000 S.F. (PROFESSIONAL OFFICE)
- CALCULATED PARKING:**
 (2,000 / 1,000) + (2,000 / 1,000) + (1,340 / 1,000) = 25 - 4 SPACES (PROFESSIONAL OFFICE)
- HANDICAP PARKING:**
 1 SPACE/25 SPACES = 1 SPACE REQUIRED
- SPACES PROVIDED:**
 25 TOTAL SPACES PROVIDED
 24 (24 x 8') HANDICAP SPACES, INCLUDING 2 HANDICAP SPACES
 4 (7' x 21') PARALLEL PARKING SPACES

PERC. TESTING RESULTS

TEST SITE	RATE (MPD)	TEST DEPTH (FT)	COMMENT
PPERC-1A	30	6" @ 6"	
PPERC-1B	14	8" @ 12"	
PPERC-1C	6	12"	NT @ 9" @ 3.5', 4.8' 2A'
PPERC-1D	21	8" @ 6"	
PPERC-1E	27	12"	NT @ 2.5', 3.0' @ 8'-10"
PPERC-1F	9	3.5' @ 14"	
PPERC-1G	FAIL	1' @ 14.5'	NT @ 3' @ 4.5', 8.0' @ 14.5'
PPERC-1H	14	12"	NT @ 3' @ 2.5'
PPERC-1I	NT	2.5' @ 8"	
PPERC-1J	7	4.5' @ 8"	
PPERC-1K	34	8" @ 6"	NT @ 4.5' @ 8.5'
PPERC-1L	8	7"	

* INDICATES PASSING PERC. TESTS

SEPTIC FLOW CALCULATIONS (G.P.D.)

- DESIGNER USE & DESIGN PARAMETERS:**
 RETAIL (1,500 S.F.) / USE 0.05 GPD/SF (DAILY FLOW)
 DENTAL SURGEONS OFFICE (2,000 S.F.) / USE 300 GALLONS PER DAY (DAILY FLOW)
 PROFESSIONAL OFFICE (1,340 S.F.) / USE 0.05 GPD/SF (DAILY FLOW)
- CALCULATED DAILY FLOW (RETAIL SPACE):**
 TOTAL AREA OF RETAIL SPACE: 1,500 S.F.
 1,500 S.F. x 0.05 GPD/SF = 75 G.P.D.
- CALCULATED DAILY FLOW (PROFESSIONAL OFFICE SPACE):**
 TOTAL AREA OF PROFESSIONAL SPACE: 1,340 S.F.
 1,340 S.F. x 0.05 GPD/SF = 67 G.P.D.
- CALCULATED DAILY FLOW (DENTAL SURGEONS OFFICE):**
 TOTAL DAILY FLOW FOR DENTAL SURGEONS OFFICE: 300 G.P.D.
- TOTAL DESIGN SEPTIC FLOW:**
 300 G.P.D. (DENTAL SURGEONS OFFICE) + 75 G.P.D. (RETAIL) + 67 G.P.D. (OFFICE)
 442 G.P.D. = 442 G.P.D.

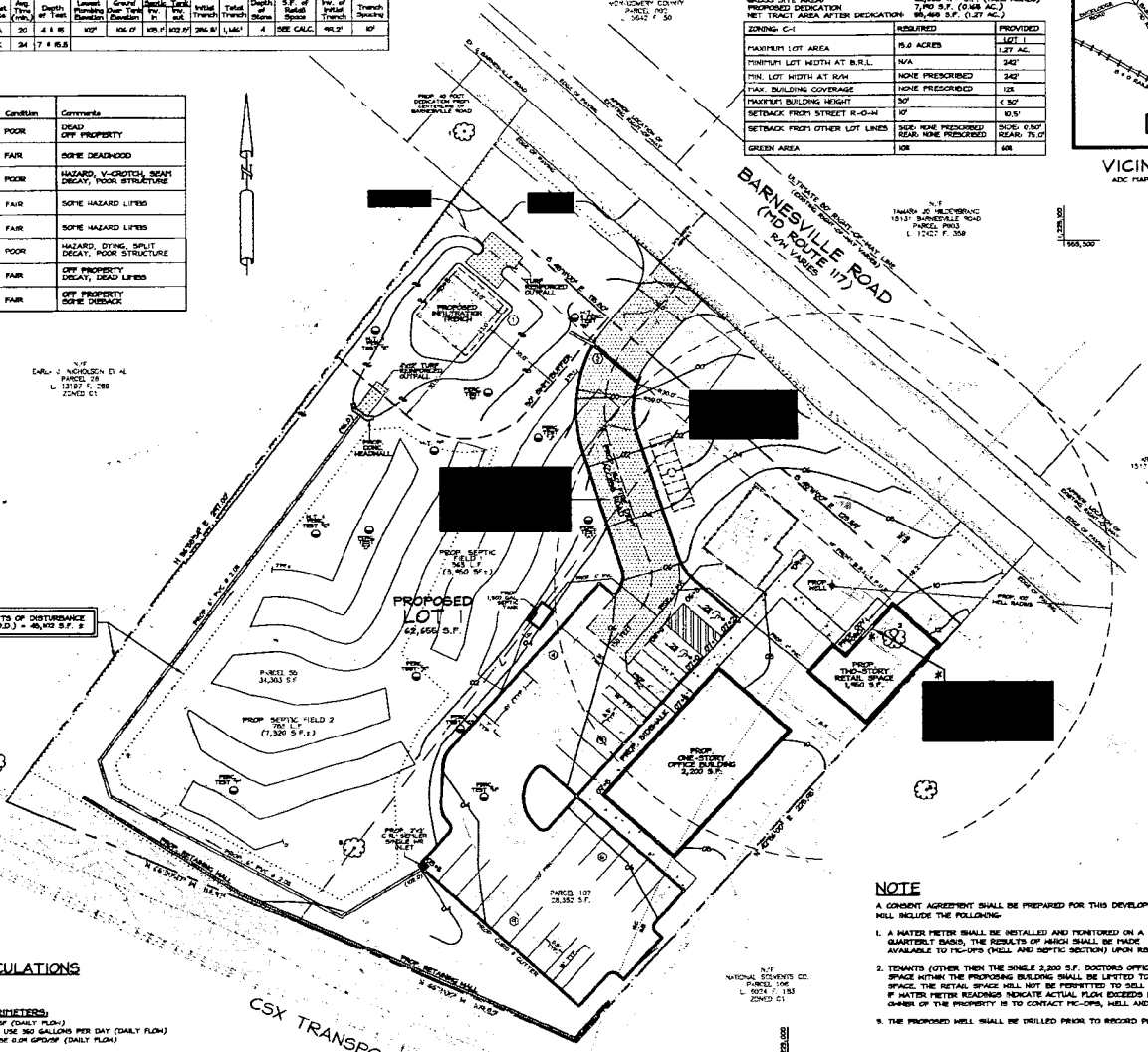
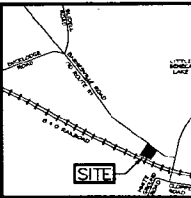
MISS UTILITY

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-957-7777. OR LOG ON TO WWW.PUBLICUTILITIES.NET/CA 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH LOWER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 66A OF THE PORTICOUNTY COUNTY CODE.

ZONING STANDARDS

GROSS SITE AREA: 62,669 S.F. (1.436 ACRES)
 PROPOSED DEDICATION: 1,500 S.F. (0.034 AC)
 NET TRACT AREA AFTER DEDICATION: 61,169 S.F. (1.37 AC)

ZONING: C-1	REQUIRED	PROVIDED
MINIMUM LOT AREA	15.0 ACRES	1.427 AC
MINIMUM LOT WIDTH AT B.R.L.	N/A	127 AC
MIN. LOT WIDTH AT RUSH	NONE PRESCRIBED	242'
MAX. BUILDING COVERAGE	NONE PRESCRIBED	128
MINIMUM BUILDING HEIGHT	30'	4' 8.0'
SETBACK FROM STREET R-0-4H	10'	10.5'
SETBACK FROM OTHER LOT LINES	50K: NONE PRESCRIBED 25K: NONE PRESCRIBED	50K: 0.50' 25K: 75.0'
GREEN AREA	10%	68



NOTE

1. A CONSENT AGREEMENT SHALL BE PREPARED FOR THIS DEVELOPMENT WHICH SHALL INCLUDE THE FOLLOWING:
2. A WATER METER SHALL BE INSTALLED AND MAINTAINED ON A QUARTERLY BASIS, THE RESULTS OF WHICH SHALL BE MADE AVAILABLE TO THE OPS (MILL AND SEPTIC SECTION) UPON REQUEST.
3. TENANTS (OTHER THAN THE SINGLE 2,000 S.F. DENTISTS OFFICE SPACE) UTILIZING SPACE WITHIN THE PROPOSED BUILDING SHALL BE LIMITED TO GENERAL RETAIL SPACE. THE RETAIL SPACE SHALL NOT BE PERMITTED TO SELL FOOD OR BEVERAGES IF WATER METER READINGS INDICATE ACTUAL FLOW EXCEEDED DESIGN FLOW. THE OWNER OF THE PROPERTY IS TO CONTACT THE OPS, MILL AND SEPTIC.
4. THE PROPOSED WELL SHALL BE DRILLED PRIOR TO RECORD PLAT APPROVAL.

PROPOSED LOT 1
 15130 & 15134 BARNESVILLE RD
 PARCELS 55 & 107
 DZYAK PROPERTY
 PRELIMINARY PLAN # 1-05067

OWNER/APPLICANT
 WILLIAM B. DZYAK, D.O.B., P.C.
 5405 GONING STREET, SUITE 200
 EDENSMITH, MARYLAND 20638
 (301) 640-6100



PROJECT: 01/2005
 SHEET: 04-091
 DRAWING: JWW
 CHECKED: JWW
 DATE: 11-20'

15130 & 15134 BARNESVILLE ROAD
 L. 625A F. 233
DZYAK PROPERTY
 BARNESVILLE (TOWN) ELECTRIC DISTRICT
 PORTICOUNTY COUNTY, MARYLAND
 PRELIMINARY PLAN # 1-05067



ENGINEERING
 CIVIL - SURVEYING - LAND PLANNING
 A DIVISION OF CAS ENTERPRISES, INC.
 100 West Ridgecrest Blvd., Suite 101, Mount Airy, NC 27777
 PO Box 1000, 807-883-7445
 NC REG. NO. 001-107-0005

→ Exposed aggregate concrete w/ pea gravel
 Ex: Sandy Spring

NOTES

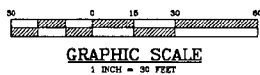
1. WATER CATEGORY: 6 SEWER CATEGORY: 6
2. THE PROPERTY THAT IS THE SUBJECT OF THIS RECORD PLAT IS IN THE C-1 ZONE AS OF THE DATE OF PLAT RECORDATION.
3. RCF = REBAR WITH CAP FOUND
IPS = IRON PIN WITH CAP SET
4. THIS PROPERTY IS SHOWN ON TAX MAP DP 62.
5. THIS PROPERTY IS SHOWN ON M.S.C. 200-FOOT SHEET 227 NH 15.
6. SEPTIC BUILDING RESTRICTION LINES (S.B.R.L.) ARE SUBJECT TO CHANGE WITH MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES APPROVAL.
7. SEPTIC EASEMENTS ARE SHOWN THUS  SEPTIC BUILDING RESTRICTION LINES ARE SHOWN THUS .
8. ALL TERMS, CONDITIONS, AGREEMENTS, LIMITATIONS, AND REQUIREMENTS ASSOCIATED WITH ANY PRELIMINARY PLAN, SITE PLAN, PROJECT PLAN, OR OTHER PLAN ALLOWING DEVELOPMENT OF THIS PROPERTY AS APPROVED BY THE MONTGOMERY COUNTY PLANNING BOARD ARE INTENDED TO SURVIVE UNLESS MODIFIED BY FURTHER ACTION BY THE BOARD. THE OFFICIAL PUBLIC FILES FOR ANY SUCH PLAN ARE MAINTAINED BY THE PLANNING BOARD AND ARE AVAILABLE FOR PUBLIC REVIEW DURING NORMAL BUSINESS HOURS.
9. THIS SUBDIVISION RECORD PLAT IS NOT INTENDED TO SHOW EVERY MATTER AFFECTING THE OWNERSHIP AND USE, NOR EVERY MATTER RESTRICTING THE OWNERSHIP AND USE, OF THIS PROPERTY. THE SUBDIVISION RECORD PLAT IS NOT INTENDED TO REPLACE AN EXAMINATION OF TITLE OR TO DEPICT OR NOTE ALL MATTERS AFFECTING TITLE.
10. THE PROPERTY SHOWN HEREON IS LIMITED TO THE USES AND CONDITIONS AS REQUIRED BY PRELIMINARY PLAN 1-050670.
11. THE PROPERTY SHOWN HEREON IS EXEMPT FROM THE REQUIREMENTS OF CHAPTER 22A, MONTGOMERY COUNTY FOREST CONSERVATION LAW, F.C.E.# 4-05046E.

OWNER'S CERTIFICATE

WE, SOARING EAGLE, LLC, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION.
 WE FURTHER GRANT A VARIABLE-WIDTH PUBLIC UTILITY EASEMENT, SHOWN HEREON AS 'VARIABLE-WIDTH P.U.E.' TO THOSE PARTIES NAMED IN THE DOCUMENT ENTITLED 'DECLARATION OF TERMS AND PROVISIONS OF PUBLIC UTILITY EASEMENTS', AS RECORDED IN LIBER 3834 AT FOLIO 467 AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND.
 WE FURTHER DEDICATE TO PUBLIC USE THE AREA SHOWN THUS  AND DESCRIBED HEREON, HAVING 9,661.43 SQUARE FEET OF LAND, AND ALSO GRANT A REVERSIBLE SLOPE EASEMENT SHOWN THUS  AND DESCRIBED HEREON, HAVING 2,157.15 SQUARE FEET OF LAND. SAID SLOPE EASEMENT SHALL BE EXTINGUISHED AUTOMATICALLY AT SUCH TIME AS THE PUBLIC IMPROVEMENTS ON THE ADJUTING RIGHT-OF-WAY (BARNESVILLE ROAD) HAVE BEEN LAWFULLY COMPLETED AND ACCEPTED FOR MAINTENANCE BY THE MARYLAND STATE HIGHWAY ADMINISTRATION.
 THERE ARE NO SUITS, ACTIONS AT LAW, LEASES, LIENS, MORTGAGES, OR TRUSTS AFFECTING THE PROPERTY SHOWN HEREON.

DATE _____ WILLIAMS R. DZYAK, WITNESS
 SOARING EAGLE, LLC

DATE _____ KATHY D. DZYAK, WITNESS
 SOARING EAGLE, LLC



PLAT TABULATION

NUMBER OF LOTS	1
NUMBER OF PARCELS	0
AREA OF LOT(S)	54,702 S.F.
AREA OF PARCEL(S)	54,702 S.F.
AREA OF STREET DEDICATION	9,661.43 S.F.
TOTAL AREA	64,363.43 SQ. FT. (1.476 ACRES)

Department of Permitting Services
 Montgomery County, Maryland

Date: _____
 Approved: _____ Director

The Maryland National Capital Park and Planning Commission
 Montgomery County Planning Board

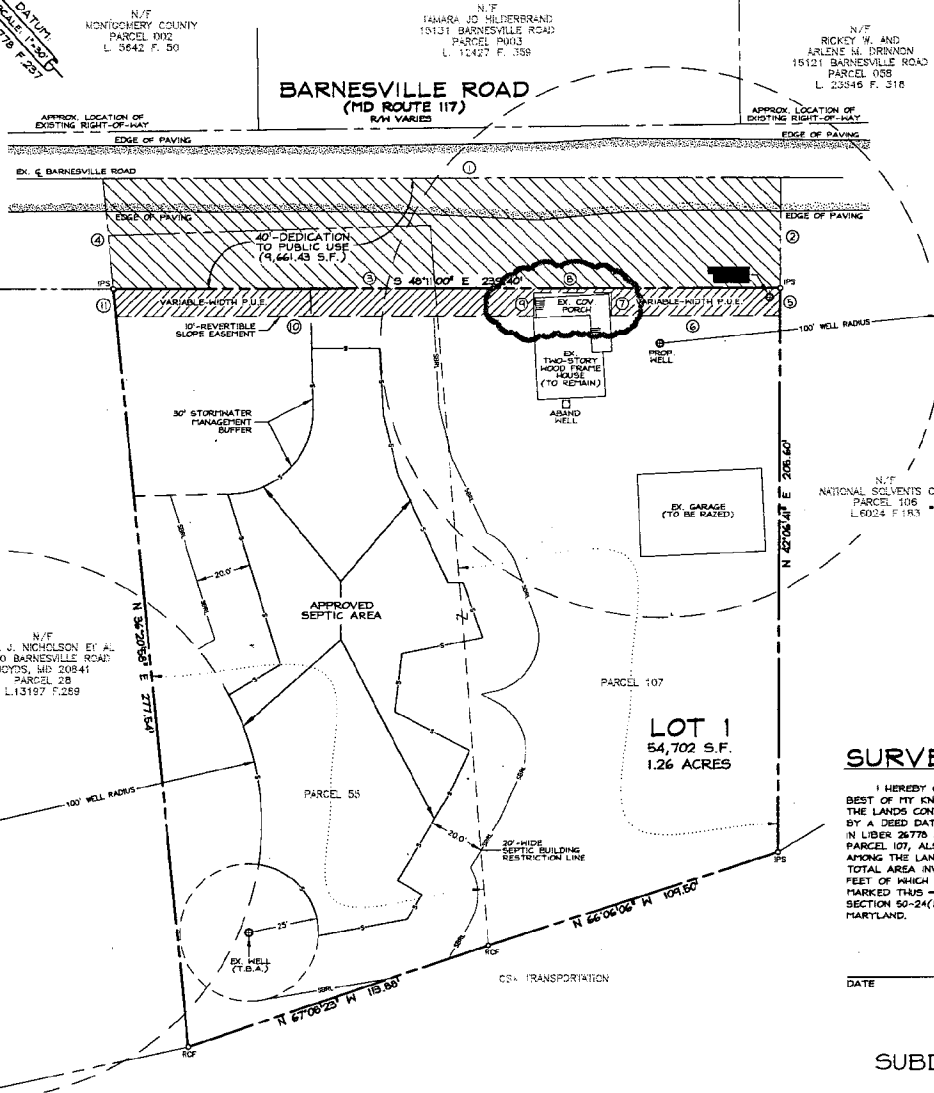
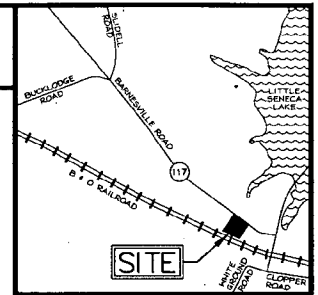
Approved: _____ Chairman _____ Asst. Secretary - Treasurer

M.N.C.P. & P.C. Record File No. _____

Recorded _____
 Plat No. _____

CAS ENGINEERING
 CIVIL • SURVEYING • LAND PLANNING
 A DIVISION OF CAS ENTERPRISES, INC.
 100 West Ridgeville Boulevard, Suite 101, Mount Airy, Maryland 21771
 DC Metro (301) 607-8033 FAX (301) 607-8045


PLAT No. _____



AREA CONVEYED TO THE MARYLAND STATE HIGHWAY ADMINISTRATION (SHA)

1	S 48°10'42" E	243.43'
2	S 42°06'41" W	10.00'
3	N 48°11'00" E	239.40'
4	N 36°20'58" E	40.21'


FEE SIMPLE AREA
 9,661.43 SQ. FT. OR 0.2216 ACRES

SHOWN THUS: 


AREA OF REVERSIBLE SLOPE EASEMENT

3	S 48°11'00" E	239.40'
5	S 42°06'41" W	10.00'
6	N 48°11'00" W	60.89'
7	N 41°44'00" E	9.36'
8	N 48°11'00" W	27.73'
9	S 41°44'00" W	8.56'
10	N 48°11'00" W	149.76'
11	N 36°20'58" E	10.05'

EASEMENT AREA
 2,157.15 SQ. FT. OR 0.0496 ACRES

SHOWN THUS: 



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT IT IS A RESUBDIVISION OF ALL OF THE LANDS CONVEYED BY TENNYSON PROPERTIES, LLC UNTO SOARING EAGLE, LLC, BY A DEED DATED FEBRUARY 17, 2004, AND RECORDED FEBRUARY 26, 2004, IN LIBER 26776 AT FOLIO 237, ALSO BEING A RESUBDIVISION OF PARCEL 55 AND PARCEL 107, ALSO KNOWN AS 1530 AND 1534 BARNESVILLE ROAD, AS RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND, AND THAT THE TOTAL AREA INVOLVED IN THIS PLAT IS 64,363.43 SQUARE FEET, 9,661.43 SQUARE FEET OF WHICH IS DEDICATED TO PUBLIC USE, AND THAT ALL PROPERTY CORNERS MARKED THUS  ARE IN PLACE AS SHOWN HEREON IN ACCORDANCE WITH SECTION 50-24(E) OF THE SUBDIVISION REGULATIONS OF MONTGOMERY COUNTY, MARYLAND.

DATE _____ DAVID JOHN RITCHIE
 PROFESSIONAL LAND SURVEYOR
 MD REG. NO. 21172

SUBDIVISION RECORD PLAT
LOT 1
DZYAK PROPERTY
 A SUBDIVISION OF PARCELS 55 AND 107
 ALSO KNOWN AS 1530 & 1534 BARNESVILLE ROAD
 BARNESVILLE (11TH) ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND
 SCALE: 1" = 30' JULY, 2007

Silver, Joshua

From: rddickey@pepco.com [rddickey@pepco.com] **Sent:** Tue 9/25/2007 7:42 AM
To: James Ochs
Cc: Beatty Jay; Silver, Joshua; Smith, Stephen
Subject: Re: Fwd: Dzyak
Attachments:  Dzyak_PrePlan.pdf(517KB)  Dzyak_RecPlat.pdf(256KB)

Jim,

Thanks for calling ahead so we could resolve this issue together so we don't have a problem in the future when the project is forwarded to Pepco for construction.

Regards,

Bobbie

Roberta D. Dickey
201 West Gude Drive
Rockville, MD 20850
email rddickey@pepco.com

301-548-4305 (OFC)
240-375-4154 (CELL)

James Ochs <jim@casengineering.com>

09/24/2007 08:18 AM

To Dickey Roberta <rddickey@pepco.com>

cc Smith Stephen <Stephen.Smith@mncppc-mc.org>, Beatty Jay
<jay.beatty@montgomerycountymd.gov>, Joshua Silver
<Joshua.Silver@mncppc-mc.org>

Subject Fwd: Dzyak

Bobby,

As you requested, I am resending my original email regarding the Dzyak PUE, with cc's to Steve Smith and Jay Beatty (Josh Silver of historic as well). Based on our conversation I'll revise the PUE so it runs up against, but not over the existing historic porch.

Thanks for taking the time to talk to me about this. I look forward to your reply.

Jim

James M. Ochs
Senior Designer

CAS ENGINEERING

108 W. Ridgeville Blvd, Suite 101
Mount Airy, Maryland 21771
301.607.8031 ext 16
301.607.8045 fax
jim@casengineering.com

Begin forwarded message:

From: James Ochs <jim@casengineering.com>
Date: September 14, 2007 2:36:15 PM EDT
To: rddickey@pepco.com
Subject: Fwd: Dzyak

Roberta,

I have record plat in the works that has a historic porch that falls inside the 10' PUE (after r/w dedication). My first thought was to show the PUE around the porch, but I don't know if this is acceptable. I have been referred to you by Steve Smith of MNCPPC. No one is sure what exactly needs to be done to resolve the issue. A copy of the plat and corresponding Preliminary Plan are attached. Please give me a call to discuss how best to address the PUE on the record plat.

Thanks for your assistance.

Jim Ochs-----

James M. Ochs
Senior Designer

CAS ENGINEERING

108 W. Ridgeville Blvd, Suite 101
Mount Airy, Maryland 21771
301.607.8031 ext 16
301.607.8045 fax
jim@casengineering.com

Begin forwarded message:

From: "Smith, Stephen" <Stephen.Smith@mncppc-mc.org>
Date: September 12, 2007 5:58:49 PM EDT
To: "James Ochs" <jim@casengineering.com>
Subject: RE: Dzyak

Jim,

I can't recall any situations in rural areas where we didn't get the PUE – My initial thought is to have the applicant and

Utilities record a separate deed easement which allows the utilities subsurface access with NO disturbance to the historic porch (maybe via a conduit(s) or something) and then reference that deed on the record plat. I'm not certain how flexible they will be. BTW - Roberta Dickey (rddickey@pepco.com) at PEPCO may also be able to help. If you have a possible solution, or need me to chime in on something let me know. I'm interested to find out how this is handled.

Stephen J. Smith

Subdivision Review Section
Montgomery County Planning Department
(301) 495 - 4522

From: James Ochs [<mailto:jim@casengineering.com>]
Sent: Friday, September 07, 2007 8:10 AM
To: Smith, Stephen
Subject: Fwd: Dzyak

Steve,

I've been trying to determine how to show a PUE on the Dzyak plat. The porch of the historic house encroaches about 8 feet into the 10 foot PUE.

On the record plat I show the PUE drawn around the porch but on the Prel. Plan I had it running running through the porch (10 feet wide across the entire frontage).

Have you seen a similar scenario? Any thoughts? Jay Beatty questioned my suggestion of going around the porch.

I asked Erin Grayson to send me contact info for Doug Raby and Bob Thompson to discuss it. I'll do I'll do just that but wondered if you had any suggestions since you probably look at more plats than plats than most people.

Thanks,

Jim

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don't know if this is acceptable. I have been referred to you by Steve Smith of MNCPPC. No one is sure what exactly needs to be done to resolve the issue. A copy of the plat and corresponding Preliminary Plan are attached. Please give me a call to discuss how best to address the PUE on the record plat.

Thanks for your assistance.

Jim Ochs

**MARYLAND-NATIONAL CAPITAL PARK AND PLAN
FOREST CONSERVATION RECOMI**

TO: SITE INSPECTOR, Development Review Division

SUBJECT: Project Name 15130 + 15134 Barnesville Road
Date Recd January 4, 2005
NRI/FSD # 4-05045E

The above-referenced plan has been reviewed by the Environm
to determine the requirements of Chapter 22A of the Montgome
Conservation Law). A determination has been made that the pl
following exemption:

EXEMPTION:

Small Property

Activity occurring on a tract less than or equal to 1.5 acre in si
forest and afforestation requirements would be less than 10,000
specimen or champion trees will be disturbed;

Activity occurring on a tract less than or equal to 1 acre in size
in the clearing of more than 30,000 square feet of existing forest
champion trees, and reforestation requirements would be less th

**Note: Tree Save Plan, including preservation and/or replanting of
in lieu of a FCP where trees are impacted. Forest within a
be preserved.**

NOTE: Per section 22A-6(b) of the Forest Conservation Law, Tree Save Plans may b
Conservation Plans on properties where the proposed development is exempt from F
involves clearing of specimen or champion trees.

This property is not subject to a Tree Save Plan.

Tree protection measures are required; sediment control p
released until MNCPPC staff has approved the Tree Save P

James M. Ochs
Senior Designer

CAS ENGINEERING
108 W. Ridgeville Blvd, Suite 101
Mount Airy, Maryland 21771
301.607.8031 ext 16
301.607.8045 fax
jim@casengineering.com

Begin forwarded message:

From: "Grayson, Erin" <Erin.Grayson@mncppc-mc.org>
Date: May 3, 2007 10:57:38 AM EDT
To: "James Ochs" <jim@casengineering.com>
Subject: RE: Dzyak Property

I did get the answer from Mark...you don't need a tree save plan. That's fine about the noticing, just be aware that to go on June 7th, recipients of the revised plan would need it by Monday, May 7, at the latest.

Erin Grayson
Planner
M-NCPPC, Montgomery County
Development Review Division
8787 Georgia Ave.
Silver Spring, MD 20910
301.495.4598

-----Original Message-----

From: James Ochs [<mailto:jim@casengineering.com>]
Sent: Thursday, May 03, 2007 10:52 AM
To: Grayson, Erin
Subject: Dzyak Property

Erin,

Did you ever clear up the Tree Save Plan issue with Mark P.? What's the latest?

Jim

James M. Ochs
Senior Designer

CAS ENGINEERING
108 W. Ridgeville Blvd, Suite 101
Mount Airy, Maryland 21771
301.607.8031 ext 16
301.607.8045 fax
jim@casengineering.com

Silver, Joshua

From: Silver, Joshua
Sent: Thursday, March 06, 2008 4:49 PM
To: 'James Ochs'; Taltavall Tom
Cc: Dzyak Bill; Chuck Dzyak
Subject: RE: Dzyak Property

Jim,

Thanks for providing me with a copy of the tree save plan exemption letter from our Environmental Planning Department. This clearly satisfies the condition of approval:

"The applicant will consult with a certified arborist to develop a tree protection plan for the project. The tree protection plan must be implemented prior to beginning construction."

I appreciate your willingness to add a note to the final site plan that documents the driveway and parking lot areas will consist of a tinted tar and chip application. I do not have anything you can add to the plan that illustrates what the tar and chip application would look like. I would be satisfied with just a note on the final site plan I will be stamping for approval and the design team will submit to DPS for permits. I trust that the application will be installed correctly and look appropriate for the setting of the property.

Thanks for contacting me. As always please let me know if you have questions.

Regards,

Josh

From: James Ochs [mailto:jim@casengineering.com]
Sent: Thursday, March 06, 2008 1:52 PM
To: Taltavall Tom; Silver, Joshua
Cc: Dzyak Bill; Chuck Dzyak
Subject: Fwd: Dzyak Property

Josh,

Tom said you asked whether or not we need a Tree Save Plan. None was ever required. A copy of the exemption letter is attached. Also, see an email below from Erin Grayson who asked for and received confirmation from Mark Pfefferle that a tree save plan was not necessary.

I will add a note to our plan that shows the proposed driveway and parking lot to be tinted tar and chip. I don't have a detail. Do either you (or Tom) have something I can add to the plan, if necessary?

Jim

Silver, Joshua

From: James Ochs [jim@casengineering.com]
Sent: Thursday, March 06, 2008 1:52 PM
To: Taltavall Tom; Silver, Joshua
Cc: Dzyak Bill; Chuck Dzyak
Subject: Fwd: Dzyak Property

Josh,

Tom said you asked whether or not we need a Tree Save Plan. None was ever required. A copy of the exemption letter is attached. Also, see an email below from Erin Grayson who asked for and received confirmation from Mark Pfefferle that a tree save plan was not necessary.

I will add a note to our plan that shows the proposed driveway and parking lot to be tinted tar and chip. I don't have a detail. Do either you (or Tom) have something I can add to the plan, if necessary?

Jim

Silver, Joshua

From: T Tamburrino [TTamburrino@mdp.state.md.us]
Sent: Thursday, May 15, 2008 10:59 AM
To: Silver, Joshua
Subject: RE: Boyds Farm Estates (Boyds Historic District)

Josh,

Thanks for sending along the plans and photos for our review. Based on the plan, it appears that the existing shoulder width at the current driveway entrance would be extended across the length of the property. It also appears that the roadway shoulder varies in width throughout the district and that the proposed 4' shoulder would not diminish the overall character of the district or directly impact any significant features on the subject property. In fact, a commercial property just east of the Dzyak Property has an informal parking lot immediately adjacent to the roadway. If the project were submitted to our office for review today, we would most likely determine that the project would have no adverse effect on historic properties. I think this is a good compromise that fits this particular situation.

Thanks,
Tim

Tim Tamburrino

Maryland Historical Trust / MDP
100 Community Place
Crownsville, MD 21032
p. 410.514.7637
f. 410.987.4071

ttamburrino@mdp.state.md.us

www.marylandhistoricaltrust.net

Preserving Maryland's Past and Planning Our Future

From: Silver, Joshua [mailto:Joshua.Silver@mncppc-mc.org]
Sent: Wednesday, May 14, 2008 2:28 PM
To: T Tamburrino
Subject: Boyds Farm Estates (Boyds Historic District)

Hi Tim,

Please review the attached SHA Access Plan for the above-mentioned property provided by the project engineer. As we discussed the SHA is requesting the existing shoulder of the road be widened 4' to mitigate what they describe as an increase in vehicular traffic as a result of the new construction.

To be honest I haven't made my mind up yet if this is a battle I want to pick. The applicant has consulted with a certified arborist who indicated widening the shoulder 4' would not present any imminent danger to the two pine trees located near the road. There is any existing berm that runs the length of the property as well. It is not clear to what, if any level this berm will be disturbed if the shoulder is widened.

I will also forward you an e-mail from the SHA engineer explaining the how the berm will be installed. With that e-mail I will include a couple photos of the existing conditions. Perhaps we can arrange to discuss this soon and figure out the appropriateness of the proposal.

Thanks for your help, Tim.

Josh

From: James Ochs [mailto:jim@casengineering.com]

Sent: Thursday, May 08, 2008 11:37 AM

To: Silver, Joshua; Dzyak Bill; Chuck Dzyak

Subject: Dzyak Property

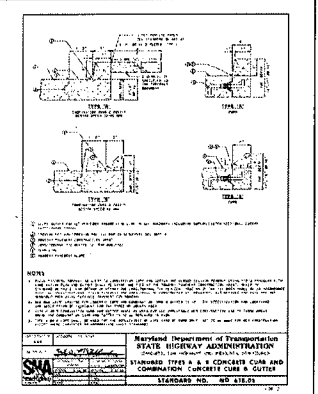
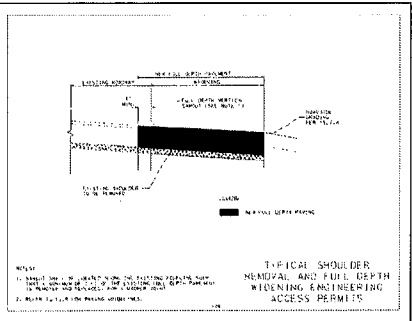
Josh,

I've attached a PDF of our latest SHA Access Plan for you to discuss with Tim at MHT. This plan shows the proposed 4' shoulder (from white line) plus I shifted the entrance to meet the new shoulder location.

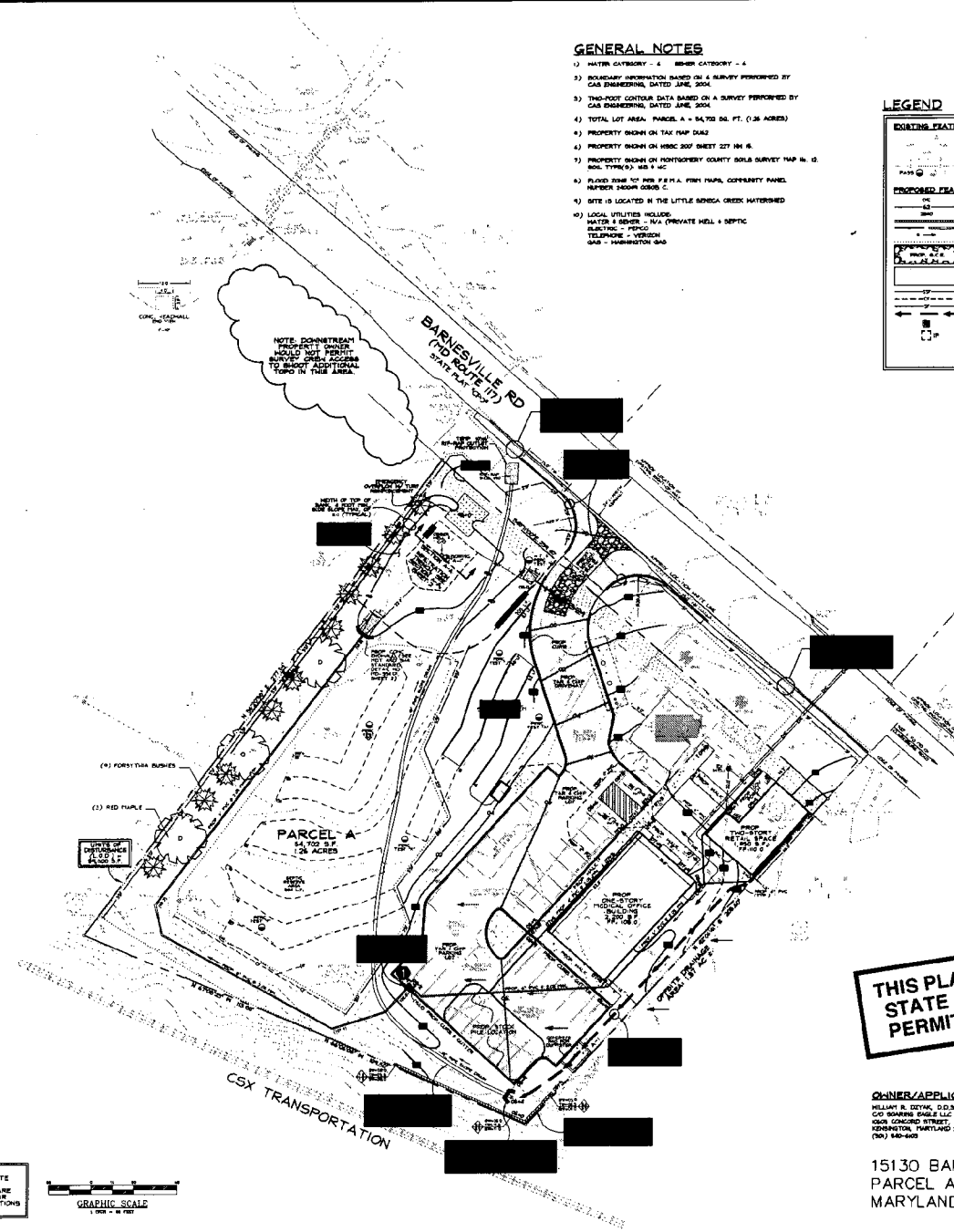
Please let me know if HPC and MHT will support or oppose the widening of the shoulder.

Thanks

Jim



*NOT SHOWN DETAIL FIG. 200 (2) (ABOVE) FOR USE IN S.U.A. RIGHT-OF-WAY
CHULT. POINT, COUNTY COMBINATION CONCRETE CURB AND GUTTER DETAIL
PG-1000 MUST BE USED ON-SITE



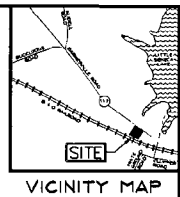
GENERAL NOTES

- 1) WATER CATEGORY - E - RISK CATEGORY - 4
- 2) BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED JUNE, 2004.
- 3) TYPICAL CONTROLS DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED JUNE, 2004.
- 4) TOTAL LOT AREA, PARCEL A - 14,700 SQ. FT. (0.36 ACRES)
- 5) PROPERTY SHOWN ON TAX MAP D622
- 6) PROPERTY SHOWN ON H&R 2002 SHEET 277 184 B.
- 7) PROPERTY SHOWN ON MONTGOMERY COUNTY SOLA SURVEY MAP 10 16 (MONTGOMERY COUNTY SOLA SURVEY MAP 10 16)
- 8) FLOOD ZONE FOR PARCEL A IS A FLOOD HAZARD CONVEYANCE PANEL NUMBER 3A09A 0006 C.
- 9) SITE IS LOCATED IN THE LITTLE SPIGEE CREEK WATERSHED
- 10) LOCAL UTILITIES INCLUDE:
WATER & SEWER - M&D PRIVATE HELL & SEPTIC
ELECTRIC - PEPCO
TELEPHONE - VERIZON
GAS - HANOVERIAN GAS

LEGEND

EXISTING FEATURES	
	OVERHEAD UTILITY WITH BOLTS
	10' AND 15' CONTOUR LINES
	EARTH RETENTION WALL
	CHAIN-LINK WIRE FENCE
	WOOD FENCE
	FENCE TEST LOCATIONS

PROPOSED FEATURES	
	ELECTRIC-UTILITY CONNECTION
	HIGH CONSTRUCTION IN THE ELEVATION
	HIGH SPOT ELEVATION
	HIGH RETAINING WALL
	HIGH DRIVEWAY
	HIGH SIDEWALK AND PLATFORM
	HIGH (WITH DEPTH OF DISTURBANCE) (100.0)
	PROPOSED CONSTRUCTION
	STORMWATER MANAGEMENT STRUCTURE
	HIGH SUPER SALT FORCE
	HIGH CONSTRUCTION FENCE
	HIGH SALT FENCE
	PROPOSED 24" CURB
	PROPOSED STORM DRAIN INLET
	AT-GRADE INLET PROTECTION
	DRAINAGE EASEMENT
	HIGH DRAINAGE DIVIDE



DATE:	04/2008
DRAWN BY:	JMO
CHECKED BY:	JMO
SCALE:	1" = 20'
PROJECT NO.:	04-091

BOYDS FARM ESTATES
BARNESVILLE (MD) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND
MARYLAND STATE HIGHWAY ACCESS PLAN

ENGINEERING
CAS
CIVIL, SURVEYING, LAND PLANNING
A Division of CAS Enterprises, Inc.
9050 CONCORD STREET, SUITE 300
KENSINGTON, MARYLAND 20885
(301) 540-8400 FAX (301) 540-8400
DC REG. NO. 14010020377, VA REG. NO. 01721

THIS PLAN FOR MARYLAND STATE HIGHWAY ACCESS PERMIT APPROVAL ONLY

OWNER/APPLICANT ARCHITECT
MILLIAM B. DEVAE, D.D.A., P.E.
C/O BOYDS FARM ESTATES LLC
9050 CONCORD STREET, SUITE 300
KENSINGTON, MARYLAND 20885
(301) 540-8400
THOMAS J. FALTAPELLI
THOMAS J. FALTAPELLI ARCHITECT
2800 FLYING CREEK COURT
GANTHERSBURG, MARYLAND 20885
(301) 540-8400

15130 BARNESVILLE ROAD
PARCEL A, BOYDS FARM ESTATES
MARYLAND STATE HIGHWAY ACCESS PLAN

MISS UTILITY

FOR LOCATION OF UTILITIES, ONLY "MISS UTILITY" AT 1000-PT-1111, OR LOGS ON TO 1000-PT-1111 LOCATED 48 FEET IN ADVANCE OF ANY HOME IN THIS VICINITY. THIS EXCAVATION MUST REVEAL ALL PUBLIC UTILITY SPACES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THEM FACED WITH CONCRETE OR BRICK. THIS EXCAVATION MUST BE TO THE DEPTH OF THE UTILITY SPACES PRIOR TO CORRECTING ELEVATION. THE EXCAVATOR IS RESPONSIBLE FOR CORRELATION WITH REQUIREMENTS OF CHAPTER 20A OF THE MONTGOMERY COUNTY CODE

NOTE: EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THEY ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR KNOWLEDGE. ALL UTILITY LOCATIONS MUST BE FIELD VERIFIED.



Maryland Department of Transportation

May 25, 2007

Ms. Catherine Conlon
Supervisor, Development Review
Subdivision Division
Maryland National Capital
Park & Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Re: Montgomery County
Dzyak Property
MD 117
Mile Post: 4.80

Dear Ms. Conlon:

The State Highway Administration (SHA) appreciates your patience concerning the complex issues associated with the Dzyak property development. We are pleased to provide a decision concerning the SHA recommendation on this development.

This response is intended to outline our position on the proposed 2,200 square foot office building and 1,950 square foot retail building with access from Barnesville Road (MD 117) in the Village of Boyds. As you know, there has been significant discussion regarding the proposed sidewalk has taken place since SHA's March 7, 2007 letter. We have no objection to inclusion of the Dzyak Property development on the next available M-NCPPC Planning Board agenda.

The following comments and chronology are offered for background purposes:

- SHA approved the developer's Traffic Impact Statement in a September 15, 2006 letter with the condition that the developer constructs partial acceleration and deceleration lanes to support the proposed MD 117 entrance.
- The Montgomery County Historic Preservation Commission (HPC) raised objections to the required acceleration and deceleration lanes, as well as the proposed sidewalk, in a November 16, 2006 letter. This appeal was based primarily on HPC's finding that MD 117 is within the Boyds Historic District.
- SHA considered the HPC appeal, completed the necessary design variance forms and notified HPC in a December 18, 2006 letter that SHA would agree to HPC's request and waive the otherwise warranted auxiliary lanes. The sidewalk was requirement that was upheld because M-NCPPC initially recommended sidewalk and because it was very unclear why sidewalk would adversely affect the Historic District.

My telephone number/toll-free number is _____

Maryland Relay Service for Impaired Hearing or Speech: 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone: 410.545.0300 • www.marylandroads.com

- SHA conditionally approved the proposed MD 117 entrance location in a March 7, 2007 letter to CAS Engineering. The entrance location received final approval by email on March 18, 2007 to CAS Engineering because the entrance location was shifted far enough west to achieve minimally acceptable sight distance.
- The M-NCPPC Transportation Planning Office recommended that the developer extend the required sidewalk along a paper street to the existing Boyds MARC train station in an April 24, 2007 memorandum to HPC. This extension would provide better pedestrian mobility, and function for the sidewalk.
- It is our understanding that the HPC conditionally approved the proposed office/retail development. One condition requires the developer to construct a 3-foot wide meandering and paved footpath, instead of conventional sidewalk. SHA's American with Disabilities Act (ADA) coordinator reviewed this proposal. The 3-foot wide sidewalk is substandard by SHA's normal practices, primarily because a 5 foot width is typically required except where a situation may require special treatment for a limited distance.
- Since that approval of the 3-foot wide sidewalk path, SHA was notified that the Maryland Historic Trust (MHT) would consider this sidewalk an adverse impact.
- The developer is required to dedicate 7,190 square feet of right-of-way along the development MD 117 frontage to SHA to satisfy the County's Master Plan requirements. Right-of-way dedication typically facilitates future roadway improvements either by the developer or by SHA.
- The SHA conducted a review of the development and sidewalk requirement through our Project Planning Division Historic and Cultural Resources Section. They are in agreement with the conclusions reached by HPC and MHT. This includes the auxiliary lanes and sidewalk within the MD 117 right-of-way, which would also be within the historic district and, therefore be considered an adverse impact.

The SHA has looked at this development and the complex safety and development issues objectively and continued to advocate the MD 117 improvements because of the proposed development activity. SHA routinely requires access related roadway improvements including pedestrian and cyclist accommodation within the right of way as part of the development and access permit process. These efforts generally support SHA's primary goal to provide a safe highway system for all roadway facility users.

In conclusion, the issues for this development are quite complex with conflicting needs that must be balanced. To this end, the SHA agrees that the proposed sidewalk can be deleted from the current plans. Given the proposed uses on this development and from a safety



perspective, a four-foot wide shoulder would be appropriate along the property frontage due to the increased traffic volume to the site. The SHA understands that this shoulder may potentially be considered an adverse impact to the historic district. The SHA recommends that the development be allowed to proceed forward with approval based upon the addition of the four foot wide shoulder with a stipulation that for HPC and MHT concurrence. Roadside safety and historic resources are both very important elements. Therefore, the existing shoulder may remain with appropriate entrance treatments in the event that HPC or MHT determines this shoulder is considered an adverse impact.

If you have any questions, please feel contact me at 410-545-5601, toll free at 800-876-4742 or via email at sfoster1@sha.state.md.us.

Sincerely,



Steven D. Foster, Chief
Engineering Access Permits Division

SDF/rbb

cc: ~~City of~~ Engineering, 108 West Ridgeville Boulevard, Mt. Airy, Maryland 21771

Mr. Shahriar Etemadi, M-NCPPC

Ms. Michele Oaks, Historic Preservation Commission

8787 Georgia Ave, Silver Spring, Maryland 20910

Dr. Julie Schablitsky

Mr. Jeffrey Wentz

Ms. Kate Mazzara

Mr. Augustine Rebish

Silver, Joshua

From: James Ochs [jim@casengineering.com]
Sent: Tuesday, November 06, 2007 4:02 PM
To: Silver, Joshua
Subject: 15130 Barnesville Road, Dzyak

Josh, I'm not sure if Bill Dzyak or Tom Taltavull called you, but we're going to propose Tar & Chip for the driveway and parking lot and exposed aggregate concrete for the sidewalks....

Let me know if you have any questions.

James M. Ochs
Senior Designer

CAS ENGINEERING
108 W. Ridgeville Blvd, Suite 101
Mount Airy, Maryland 21771
301.607.8031 ext 16
301.607.8045 fax
jim@casengineering.com

GENERAL NOTES

- 1) WATER CATEGORY - 6 SEWER CATEGORY - 6
- 2) BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED JUNE, 2004.
- 3) THE ROOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED JUNE, 2004.
- 4) TOTAL LOT AREA: PARCEL A = 54,702 SQ. FT. (1.25 ACRES)
- 5) PROPERTY SHOWN ON TAX MAP D12.
- 6) PROPERTY SHOWN ON MDCS 2007 SHEET 2277 N/A 15.
- 7) PROPERTY SHOWN ON MONTGOMERY COUNTY SOLID SURVEY MAP No. 12, SOIL TYPE(S) U6B & U6C.
- 8) FLOOD ZONE 1' PER FEMA, FIRM 17A99, COMMUNITY PANEL NUMBER 26049 0206 C.
- 9) SITE IS LOCATED IN THE LITTLE SEWER CREEK WATERSHED.
- 10) LOCAL UTILITIES INCLUDE:
WATER & SEWER MAIN (PRIVATE WELL & SEPTIC)
ELECTRIC - PERCO
TELEPHONE - PERCO
GAS - MONTGOMERY COUNTY

SEQUENCE OF CONSTRUCTION

- 1) PRIOR TO CLEARING OF TREES, INSTALLING SEWER CONTROL DEVICES, OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE CONDUCTED ON-SITE WITH THE OWNER REPRESENTATIVE AND THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (DPS) SEWER CONTROL INSPECTOR, 200-777-6210 (24 HOURS NOTICE). THE LIMITS OF DISTURBANCE MUST BE FIELD MARKED PRIOR TO CLEARING OF TREES, DISTURBANCE ACTIVITIES.
- 2) CLEAR AND GRADE FOR INSTALLATION OF SEWER CONTROL DEVICES.
- 3) INSTALL CONSTRUCTION FENCING TO PREVENT DISTURBANCE TO THE RESERVE.
- 4) INSTALL ALL SEWER CONTROL DEVICES WITH THE EXCEPTION OF THE BATH DRAIN AND CLEAN WATER DIVERSION PIPE. THESE SEWER CONTROL DEVICES MUST BE CORNER OF THE PROPERTY COMPLETE.
- 5) THE DESIGN ENGINEER MAY BE USED TO INITIALLY USED TO ACCESS THE SITE SIZE THEST BE INSTALLED IN LOCATION OF THE PROPOSED DRIVEWAY IN ORDER TO REMOVE THE EXISTING DRIVE.
- 6) ONCE ALL SEWER CONTROL DEVICES ARE INSTALLED, THE PERMITTEE MUST OBTAIN WRITTEN APPROVAL FROM THE SEWER INSPECTOR BEFORE PROCEEDING WITH ANY ADDITIONAL CLEARING, GRADING, OR GRADING.
- 7) INSTALL STORM DRAIN INLET (1) AT EACH DRAIN PIPE, CONCRETE BODYPAN (2) AND DRAIN (3). CAP EACH OUTLET PIPE AT INLET.
- 8) INSTALL BASE COURSE FOR DRIVEWAY, PARKING LOT, SIDEWALKS, CONSTRUCT MEDICAL OFFICE AND RETAIL BUILDING, ETC.
- 9) REMOVE BATH DRAIN, GRADE AND STABILIZE THE AREA, COMPLETE FINAL GRADING AND PERMANENTLY STABILIZE ALL REMAINING AREAS.
- 10) ONCE THE DRAINAGE AREA IS STABILIZED, THE STORM DRAIN SYSTEM MUST BE FLUSHED, AND ANY TEMPORARY PIPES REMOVED, AND THE CONSTRUCTION OR MAINTENANCE OF ANY PERMANENT PIPES.
- 11) INSTALL/CONSTRUCT INFILTRATION TRENCH, ONCE THE MEDIA IS IN PLACE FOR THE INFILTRATION TRENCH, THE INFILTRATION TRENCH MUST BE PROTECTED FROM CONTAMINATION UNTIL ALL SURROUNDING AREAS ARE STABILIZED WITH GRADE.
- 12) OBTAIN WRITTEN APPROVAL FROM SEWER INSPECTOR, PRIOR TO THE REMOVAL OF ANY AND ALL REMAINING SEWER CONTROL DEVICES.
- 13) SEWER AS-BUILT OR INFILTRATION STRUCTURE.

INITIAL SEPTIC SYSTEM REQUIREMENTS

STRUCTURE	FINISHED SPACE (CU. FEET)	APPLICATION RATE (GPD/24HRS)	DAILY FLOW (GPD)
EXISTING HOUSE	1,562 SQ. FT.	0.04 GPD/SQ. FT.	63 GPD
PROP. MEDICAL BUILDING	2,200 SQ. FT.	0.04 GPD/SQ. FT.	88 GPD
PROP. RETAIL BUILDING	465 SQ. FT.	0.05 GPD/SQ. FT.	23 GPD
TOTAL FLOW			174 GPD

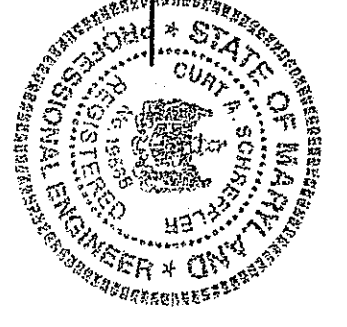
INITIAL SYSTEM COMPENSATIONS:
1.55 MINUTE PERC RATE AVERAGE (TERS A & J) = 0.937 APPLICATION RATE
59 GPD / 0.937 APPL. RATE = 63.1 SQ. FT. OF SIDE WALL ABSORPTION AREA
1.697 / 8 = 205 LINEAR FEET OF INITIAL TRENCH
205 LINEAR FEET PROVIDED

TOTAL SYSTEM COMPENSATIONS:
16 MIN. PERC RATE AVE. (TERS A, J, D, F & K)
= 0.248 APPLICATION RATE
59 GPD / 0.248 APPL. RATE = 239 SQ. FT. OF SIDE WALL ABSORPTION AREA
2,093 / 8 = 262 LINEAR FEET OF TOTAL TRENCH
262 ± 4 = 1,046 LINEAR FEET REQUIRED
1,070 LINEAR FEET PROVIDED

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN MEETS MDCPS CRITERIA FOR BUILDING PERMIT APPLICATIONS.

DATE: 02/29/08
 C. A. SCHWABER, P.E.
 MD REG. NO. 18548



RELATED REQUIRED PERMITS

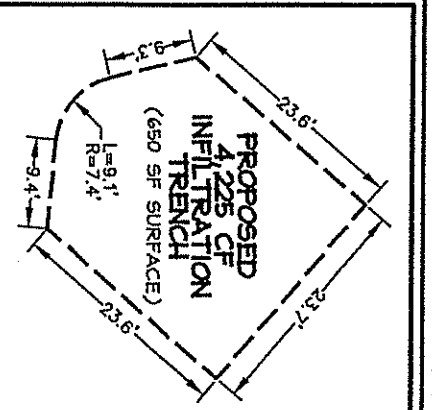
To be completed by the permittee and returned to the State of Maryland Department of General Services, Office of Permitting and Licensing, 500 North E Street, Annapolis, MD 21401.

TYPE OF PERMIT	REQD	PERMIT NO.	EXPIRATION DATE	WORK RESTRICTION DATES
ADCPIS	X			
Throughway/Driveway	X			
Waterways/Wetland(s)	X			
Grading	X			
Corp. of Engineers	X			
Mid. Water	X			
Quality Certification	X			
Mid. Dam Safety	X			
NPDES	X			
Notice of Intent	X			
Others (Please List)	X			

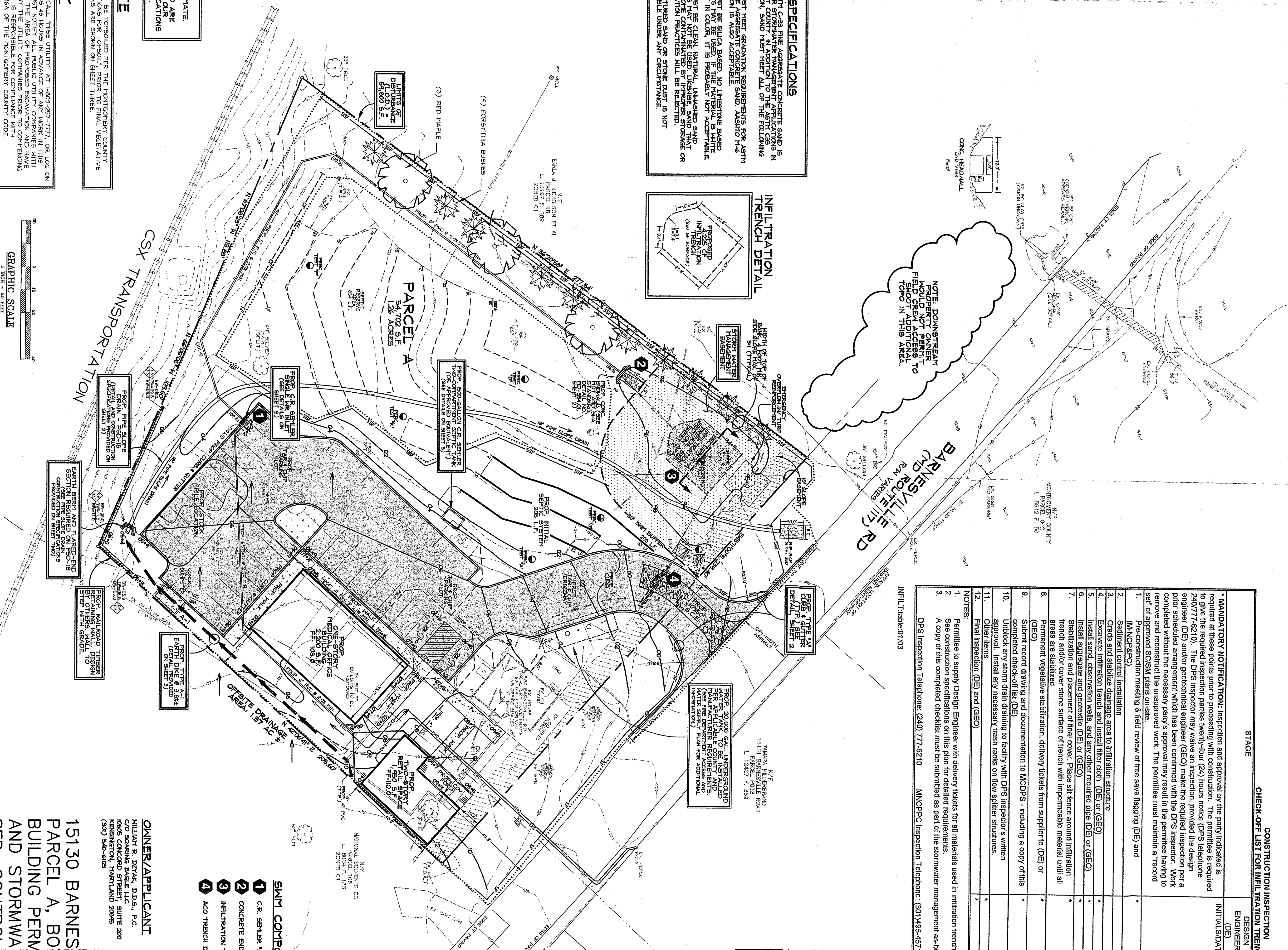
SAND SPECIFICATIONS

1. SAND MUST BE FINE AGGREGATE CONCRETE SAND AS DEFINED BY MARYLAND DEPARTMENT OF TRANSPORTATION AND PUBLIC SAFETY (DPT) SECTION 202.01 IN THE MARYLAND CONSTRUCTION CODE.
2. SAND MUST BE FINE AGGREGATE CONCRETE SAND, ASTM #4-4.
3. SAND MUST BE CLEAN, NATURAL, UNWASHED SAND OR GRAVY IN COLOR. IT IS PROBABLY NOT ACCEPTABLE.
4. MANUFACTURED SAND OR STONE DUST IS NOT ALLOWED.

INFILTRATION TRENCH DETAIL



NOTE: DOWNSTREAM FIELD CANNOT BE ACCESS TO TOPO IN THIS AREA.



CONSTRUCTION INSPECTION CHECK-OFF LIST FOR INFILTRATION TRENCH (IMP)

STAGE	DESIGN ENGINEER (DE)	INITIAL/DATE	GEOTECHNICAL ENGINEER (GEO)	INITIAL/DATE	COUNTY INSPECTOR	INITIAL/DATE	MDCPS/PC	OTHER	INITIAL/DATE
1. Mandatory notification, inspection and approval by the party indicated is required at these points prior to proceeding with construction. The permittee is required to give the required inspection parties twenty-four (24) hours notice (DPS telephone 240-777-6210). The DPS Inspector may waive an inspection, provided the design engineer (DE) and/or geotechnical engineer (GEO) make the required inspection per a prior scheduled arrangement which has been confirmed with the DPS Inspector. Work completed without the necessary party's approval may result in the permittee having to set of approved SCSSM plans on-site.									
2. Pre-construction meeting & field review of tree save flagging (DE) and (MDCPS/PC)									
3. Sediment control installation									
4. Excavate infiltration trench and install filter cloth (DE) or (GEO)									
5. Install sand, observation wells, and any other required pipe (DE) or (GEO)									
6. Install aggregate and geotextile (DE) or (GEO)									
7. Stabilization and placement of final cover. Place silt fence around infiltration trench and/or cover stone surface of trench with impermeable material until all pipes are stabilized.									
8. Permittee to provide vegetation stabilization, delivery tickets from supplier to (DE) or (GEO)									
9. Submit record drawing and documentation to MDCPS - including a copy of this completed check-off list (DE)									
10. Unblock any storm drain leading to facility with DPS Inspector's written approval. Install any necessary trash racks on flow splitter structures.									
11. Other items									
12. Final inspection (DE) and (GEO)									

NOTES:
 1. Permittee to supply Design Engineer with delivery tickets for all materials used in infiltration trench construction.
 2. See construction specifications on this plan for detailed requirements.
 3. A copy of this completed check-off must be submitted as part of the stormwater management as-built package.
 DPS Inspection Telephone: (240) 777-6210 MDCPS/PC Inspection Telephone: (301) 955-4571
 INF/LTR:table/0103

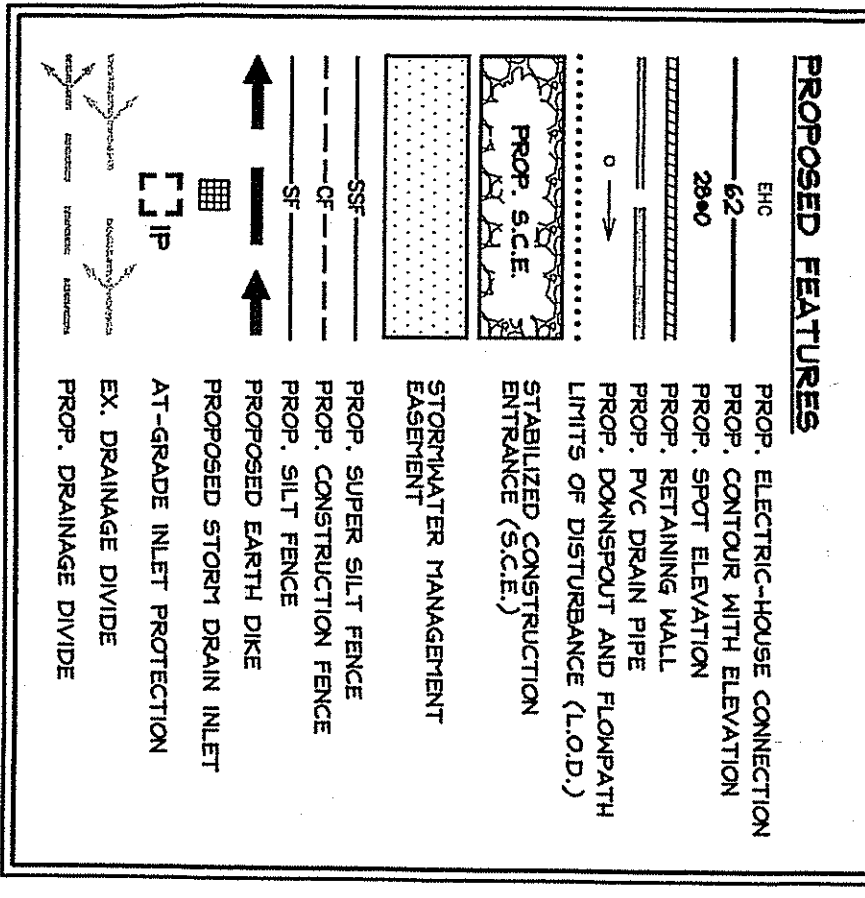
PERCOLATION TEST RESULTS

Test No.	Area (sq. ft.)	Depth of Test (ft.)	Time (min)	Depth of Trench (ft.)	Area of Trench (sq. ft.)
A	20	4 & 15	7	4.5 & 15	21
F	8	3.5 & 14	K	24	7 & 15.5

SEPTIC DESIGN CHART

Flow Rate (gpd)	Ground Elevation (ft.)	Septic Tank Inlet (ft.)	Septic Tank Outlet (ft.)	Total Trench (ft.)	Depth of Stone (ft.)	Area (sq. ft.)	Area of Trench (sq. ft.)
108.0	100.5	100.5	100.2	205	190.0	4	519
							96.27
							10'

LEGEND



SWM COMPONENTS

1. CR. SUMPER SINGLE AND STORM SEWER INLET
2. CONCRETE BODYPAN WITH ROCK OUTLET PROTECTION
3. INFILTRATION TRENCH (PER QUALITY AND BEHAVOR)
4. ACO TRENCH DRAIN WITH ROCK OUTLET PROTECTION

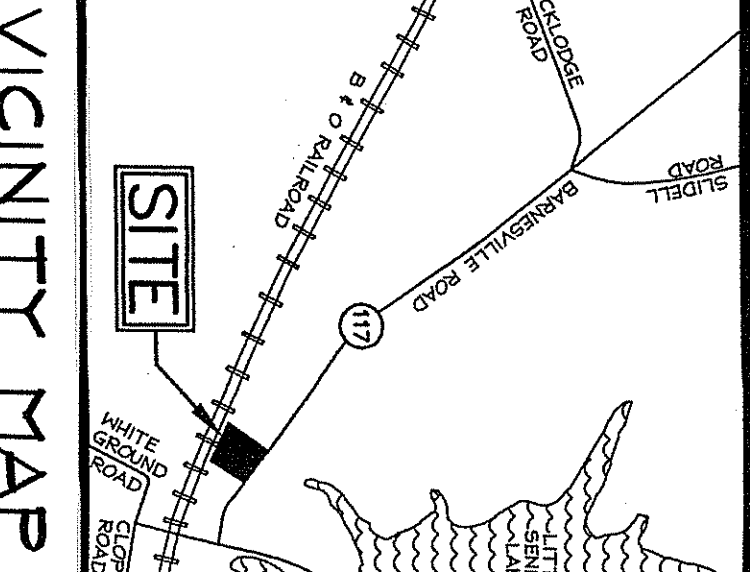
OWNER/APPLICANT

HILLARY R. BOYDS, D.D.S., P.C.
 2060 RUMBLE CREEK COURT
 BARNESVILLE, MARYLAND 20868
 (301) 840-6100

ARCHITECT

THOMAS J. TAYLOR
 2060 RUMBLE CREEK COURT
 BARNESVILLE, MARYLAND 20868
 (301) 840-6100

15130 BARNESVILLE ROAD
 PARCEL A, BOYDS FARM ESTATES
 BUILDING PERMIT, SEDIMENT CONTROL,
 AND STORMWATER MANAGEMENT PLAN
 SED. CONTROL PERMIT #2332488

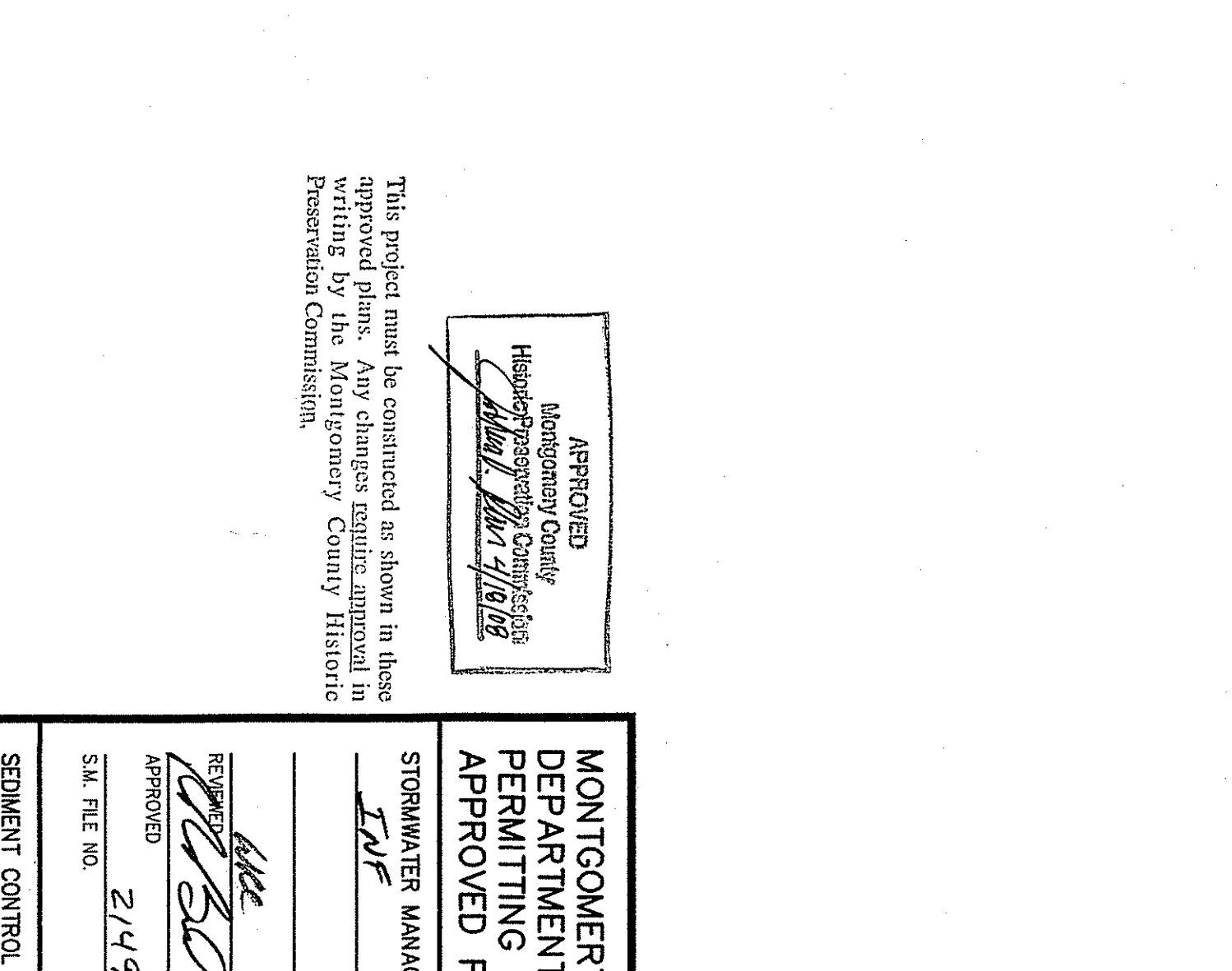
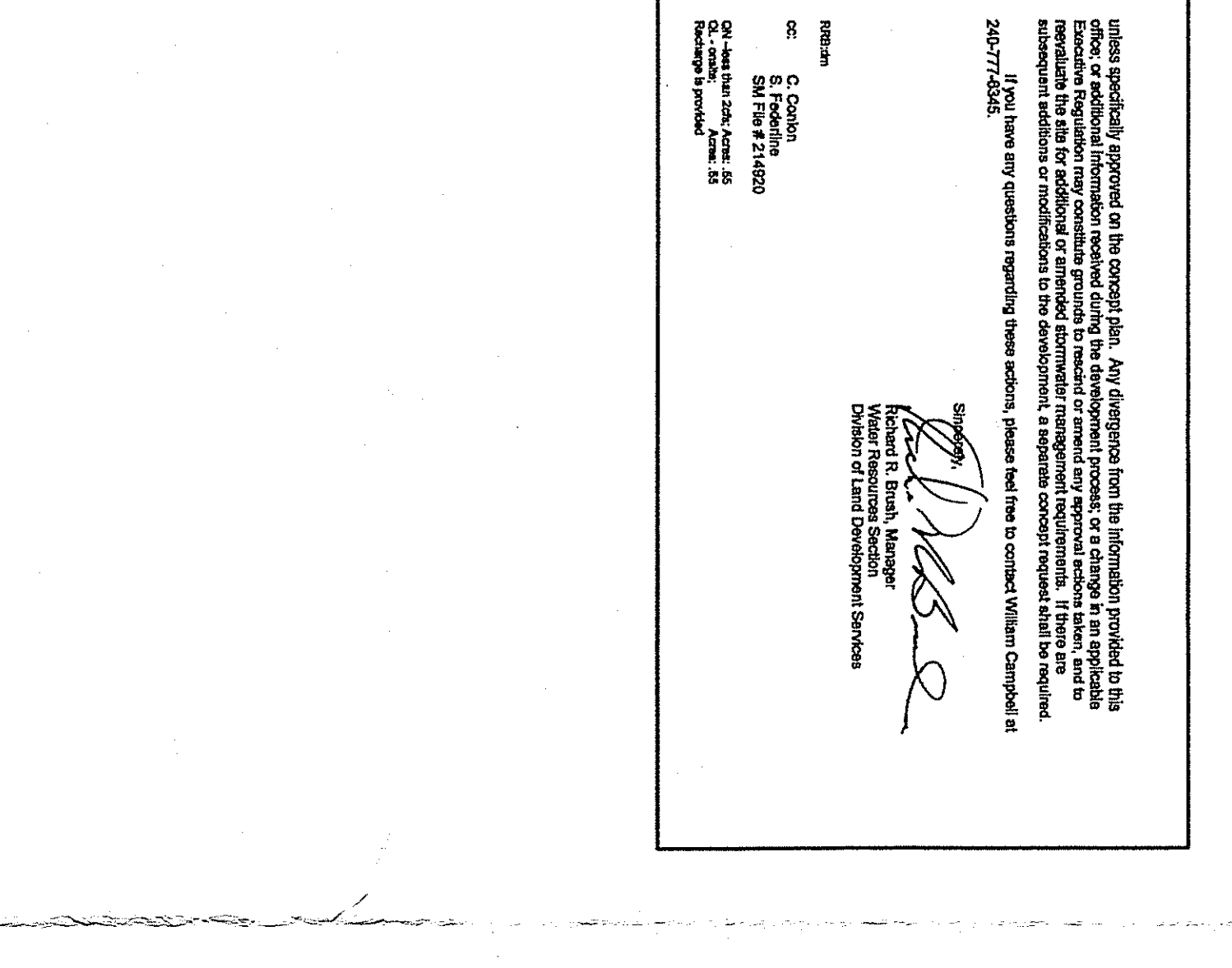
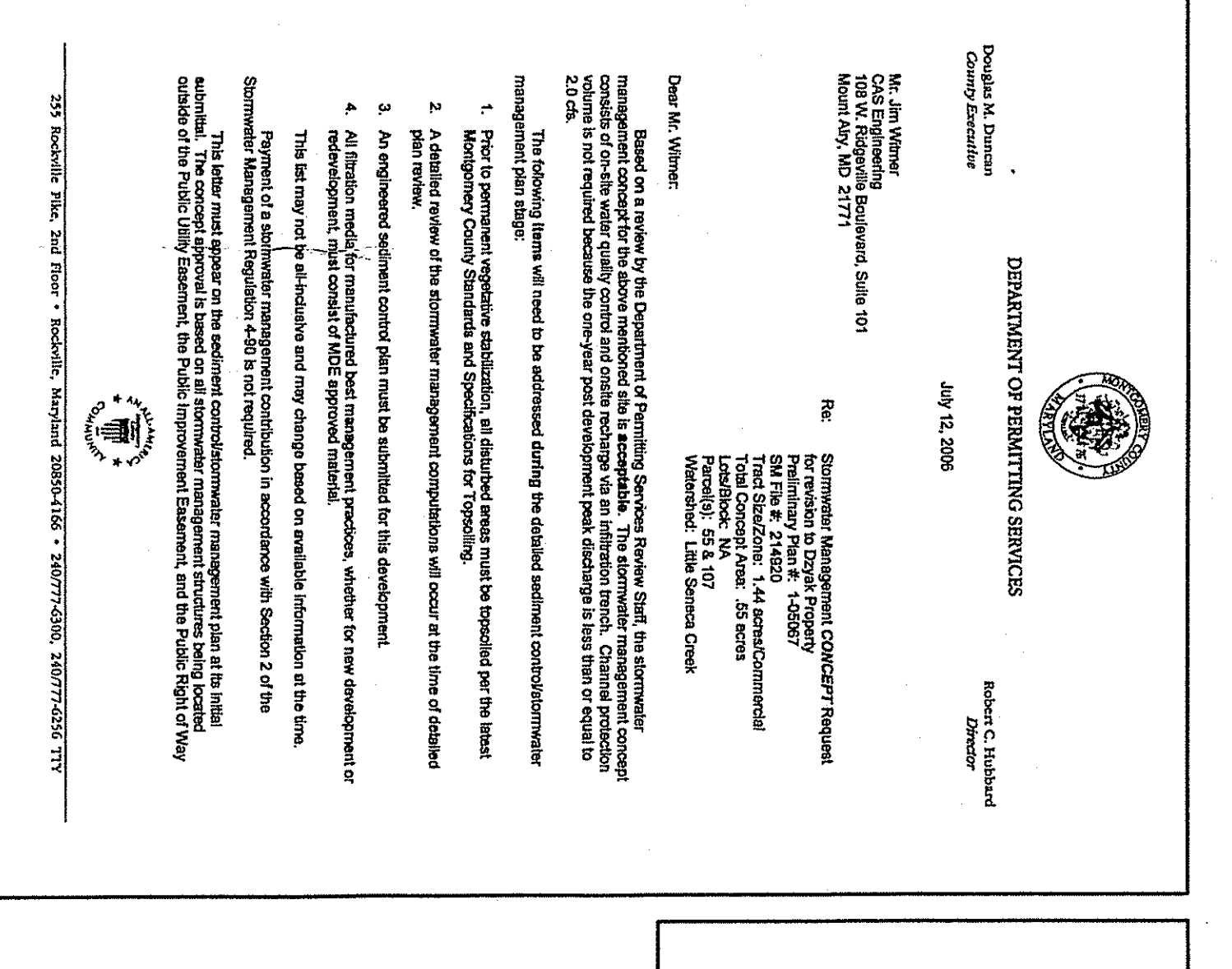
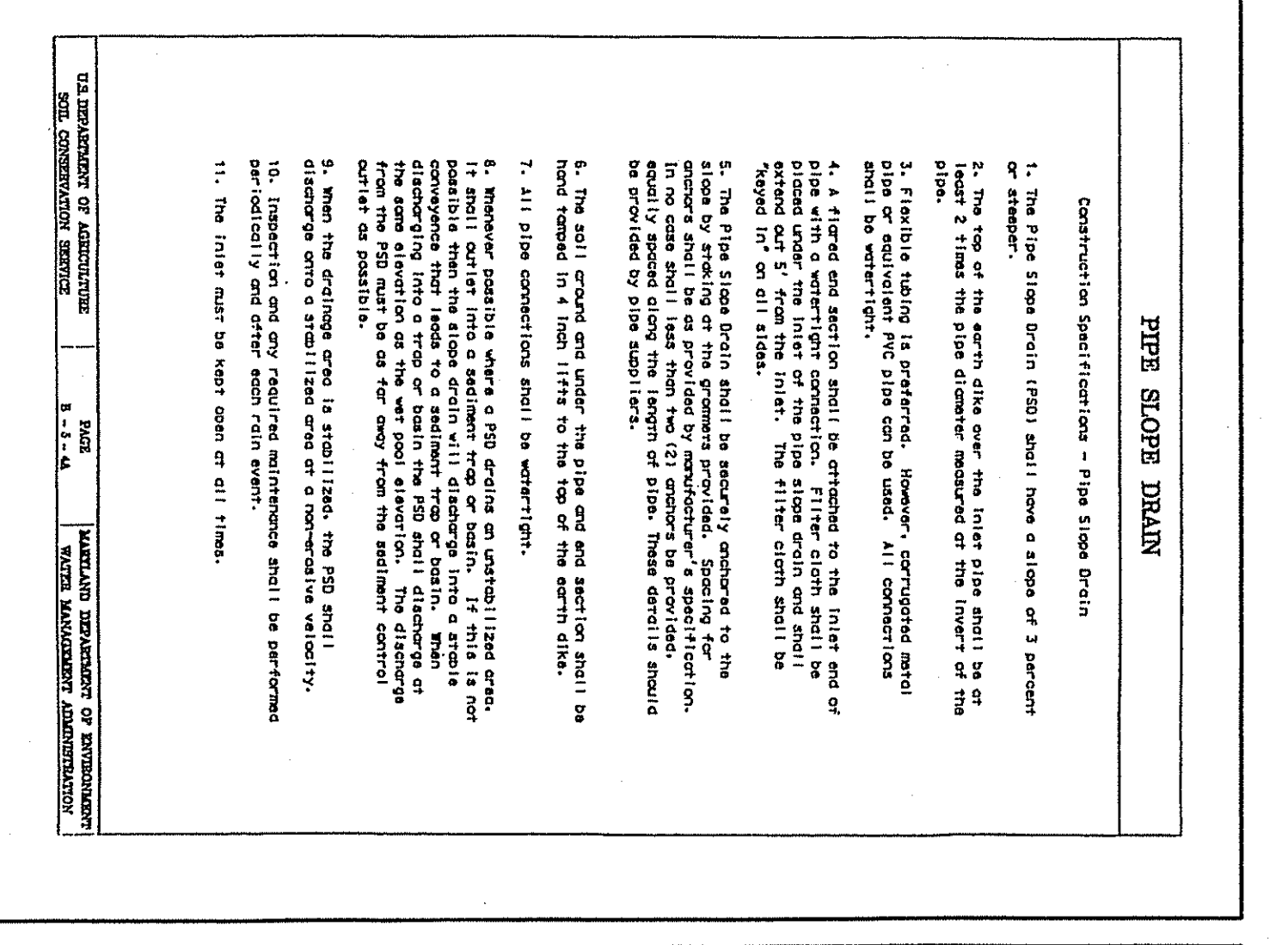
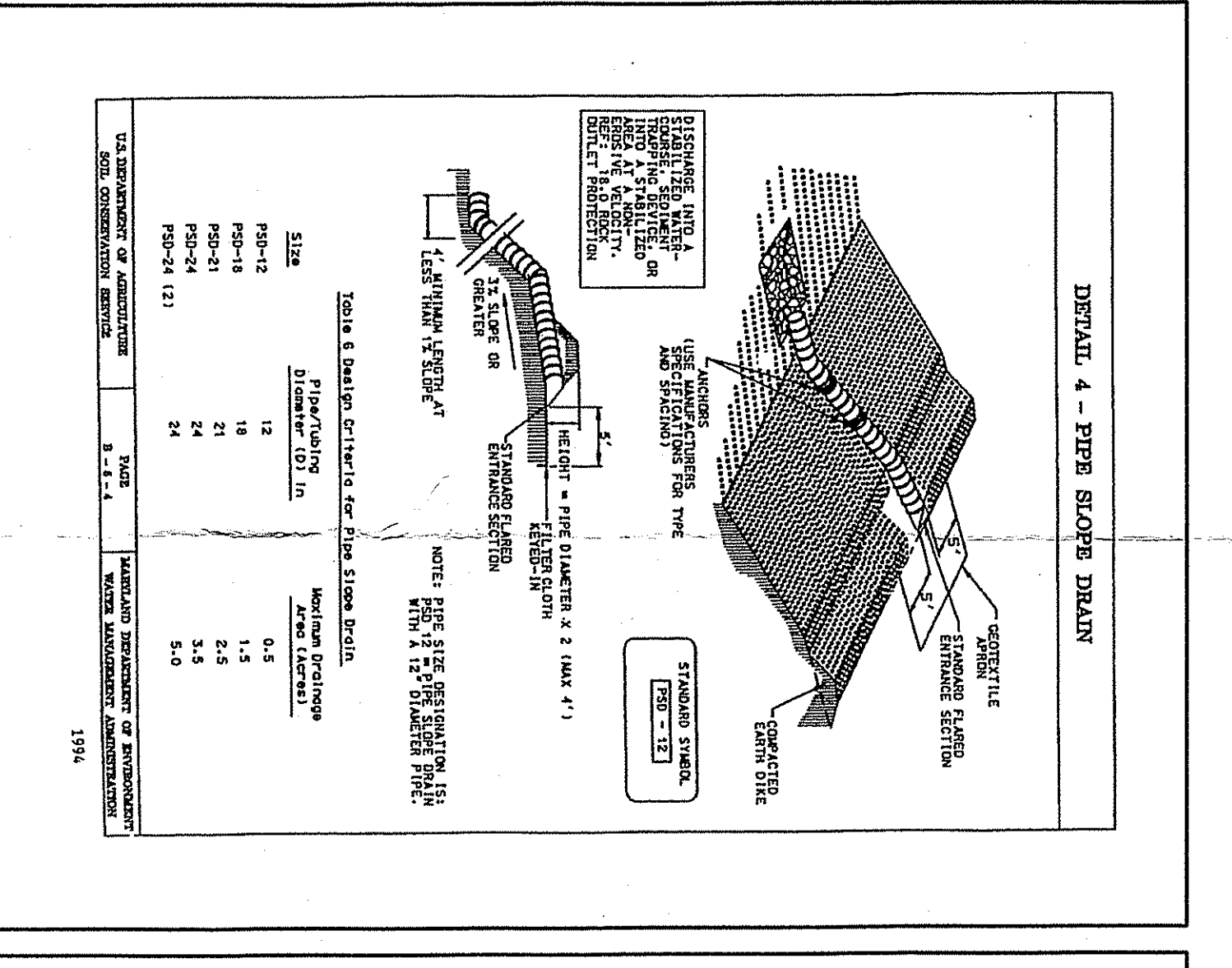
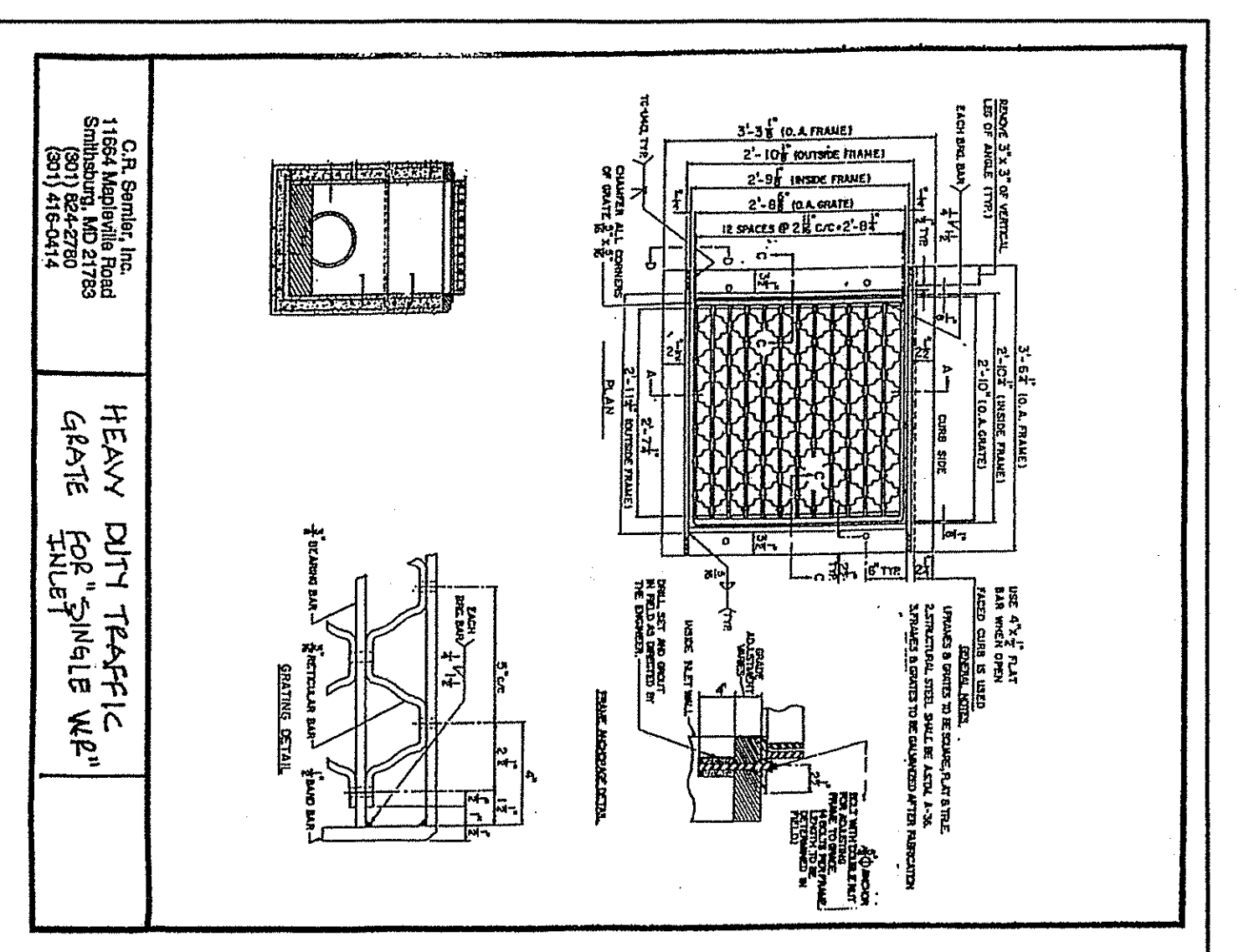
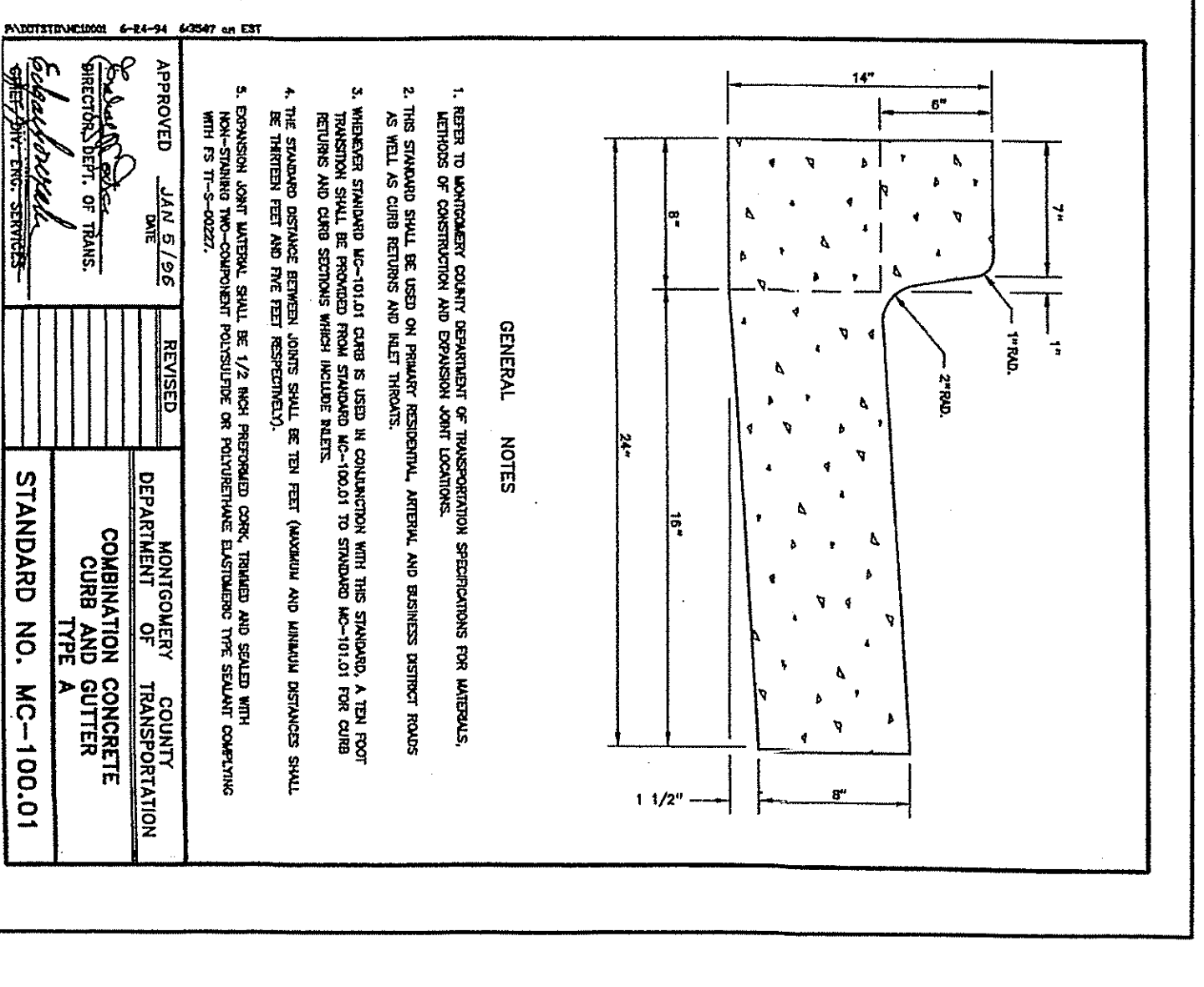
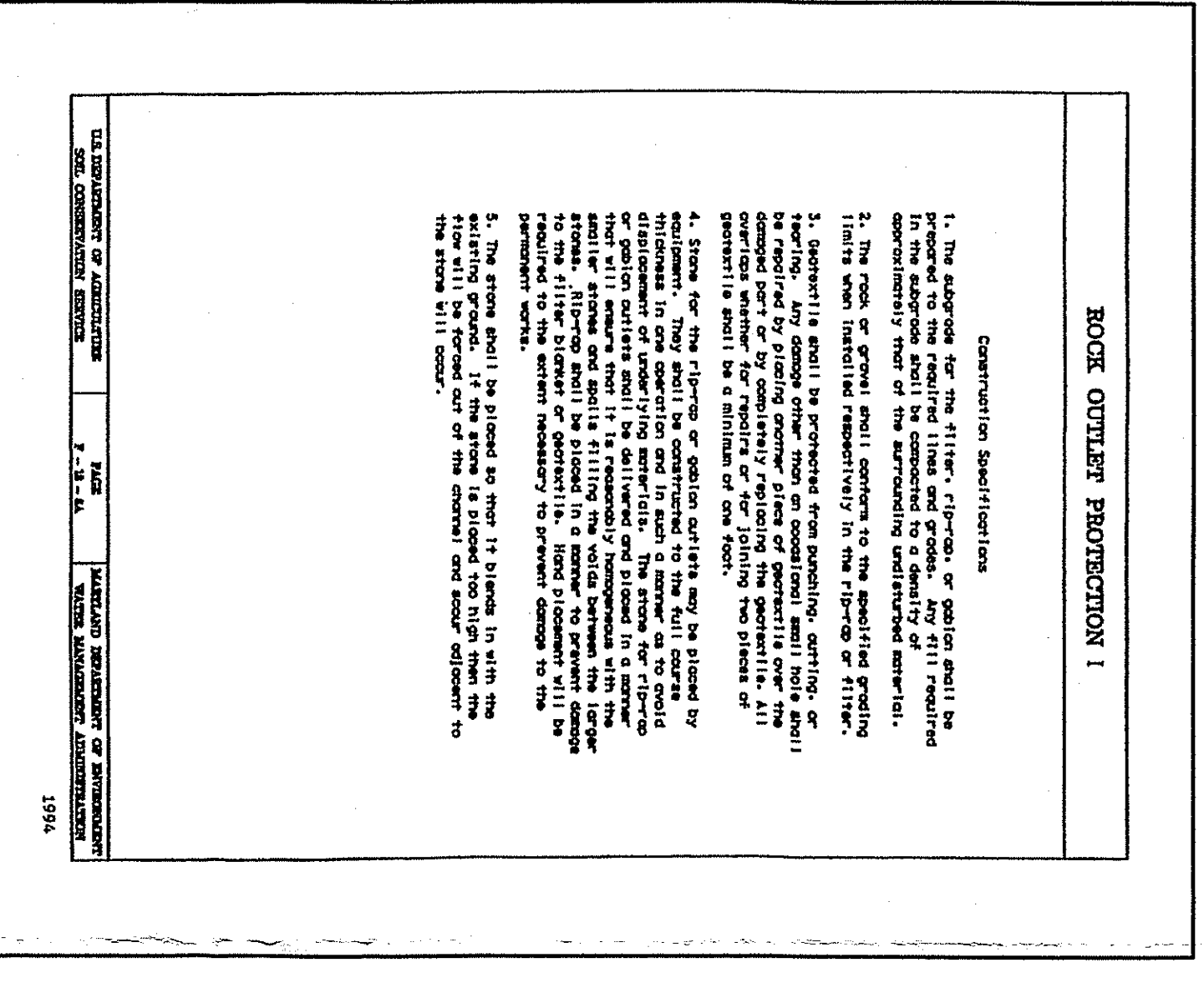
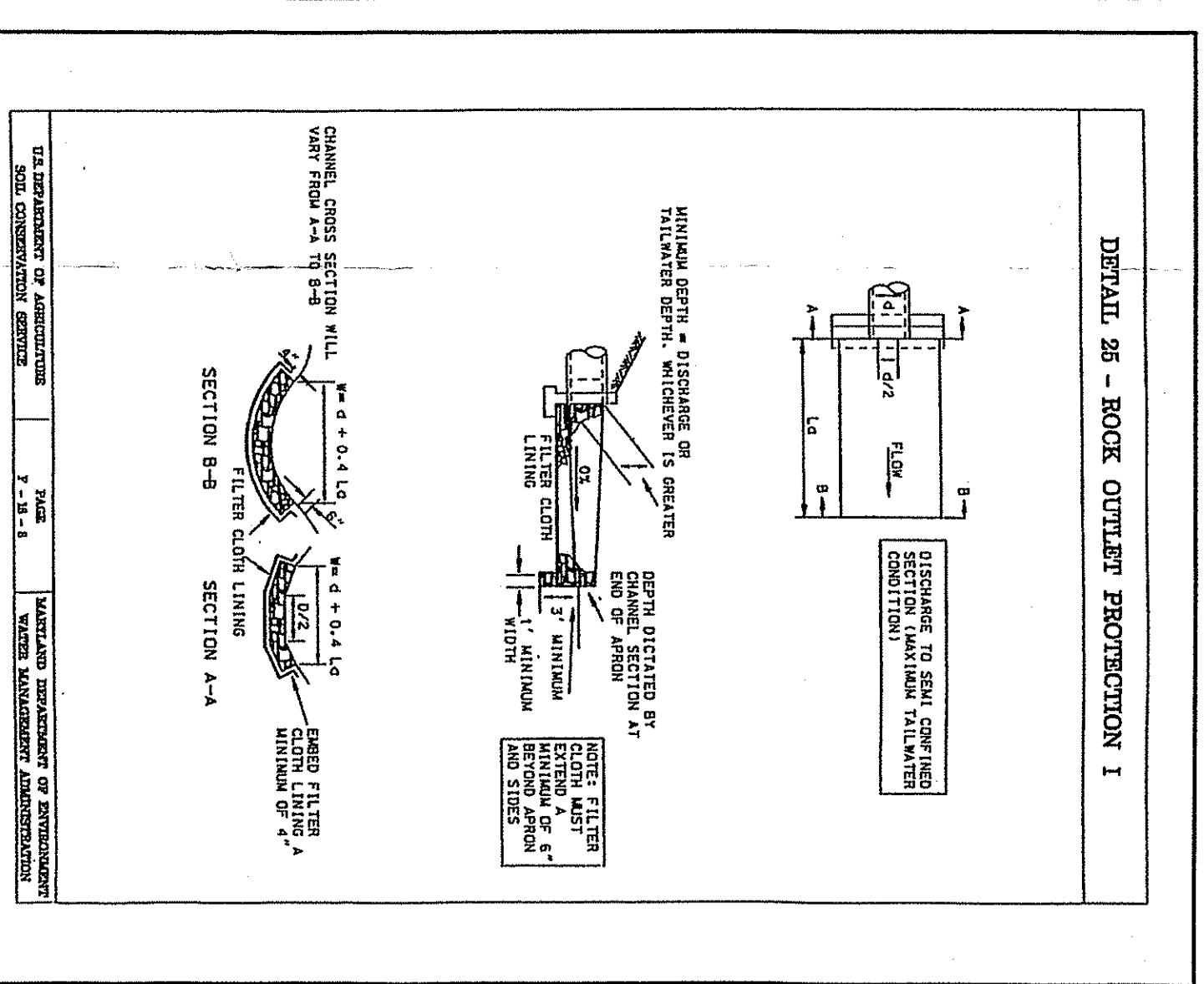
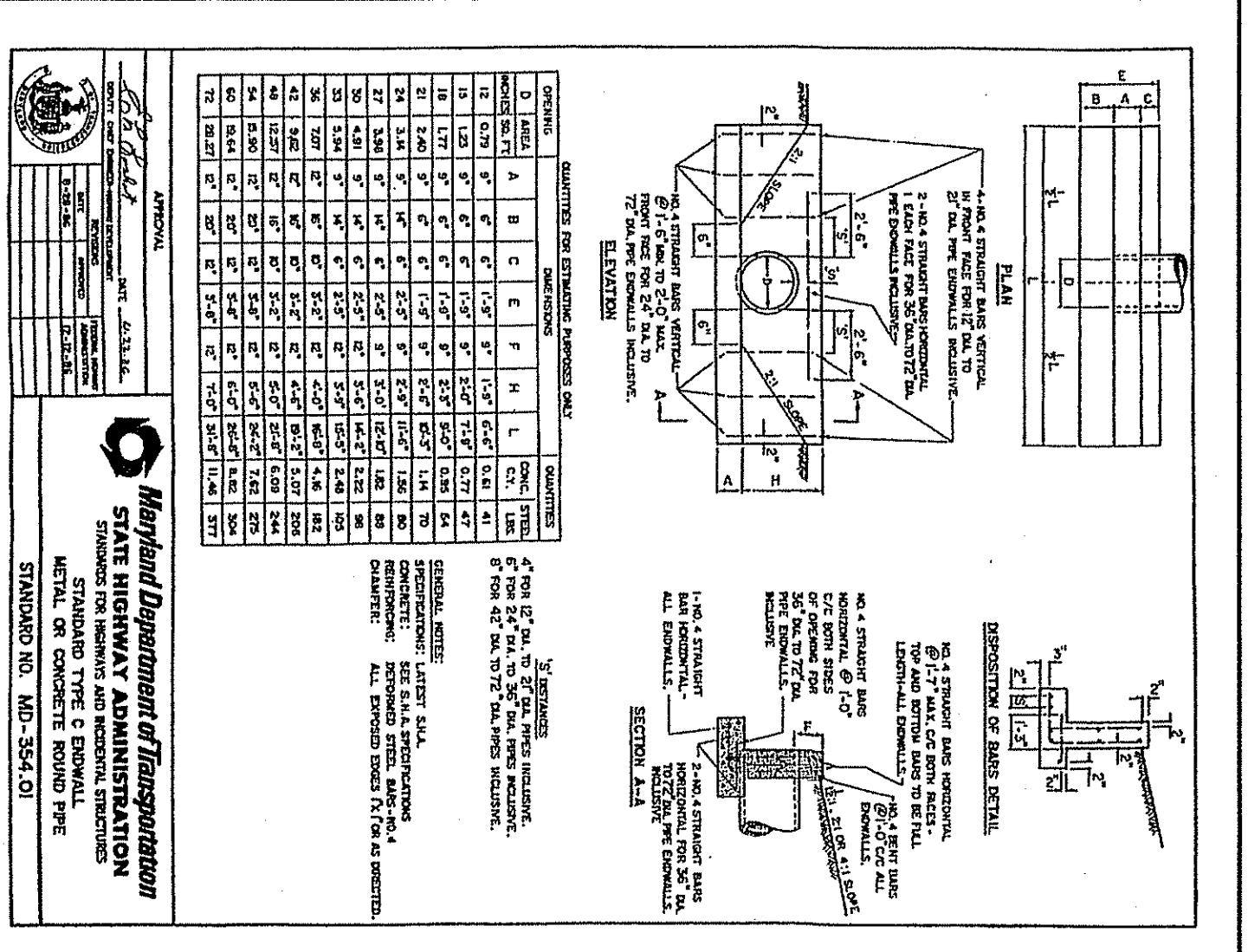
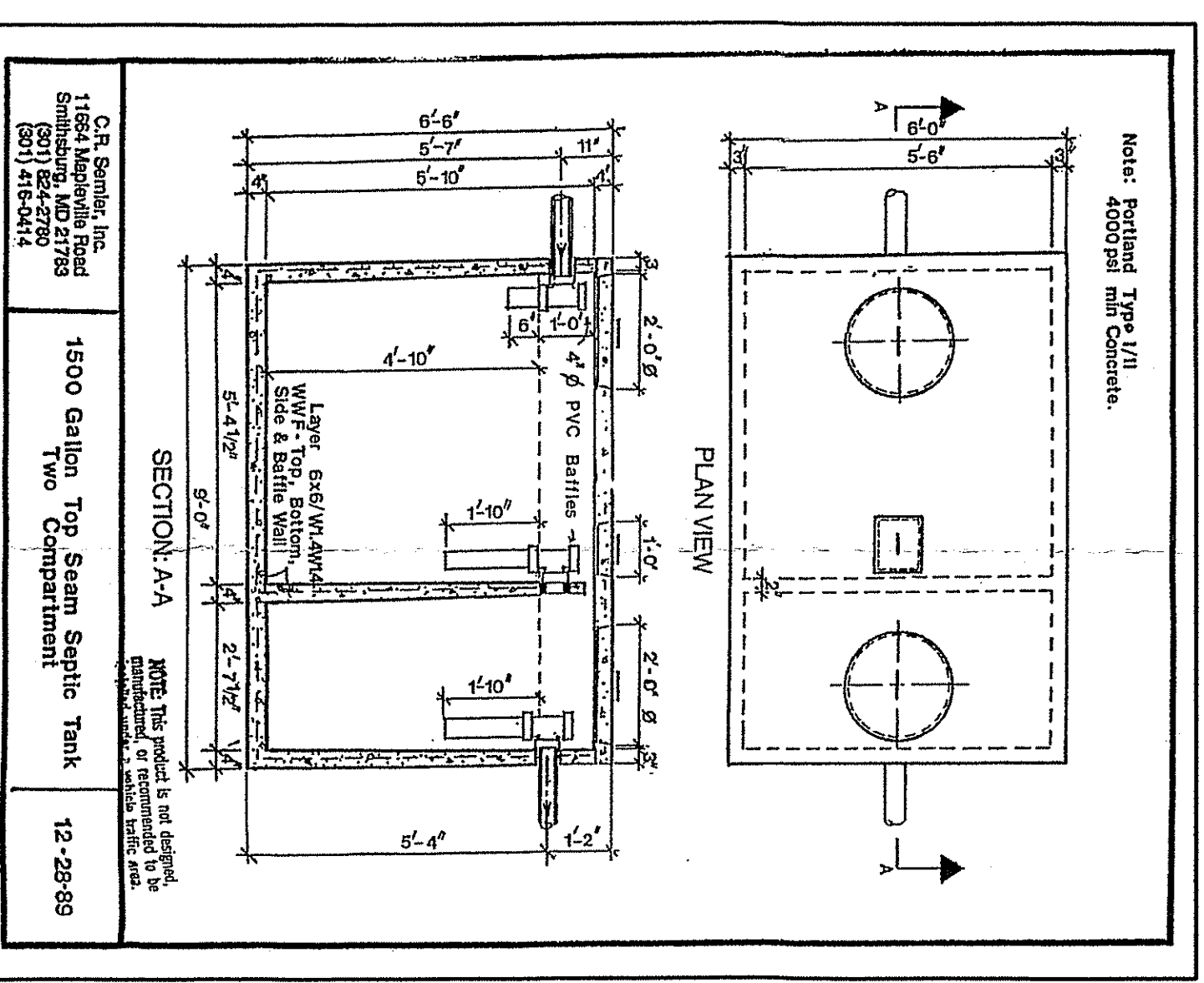
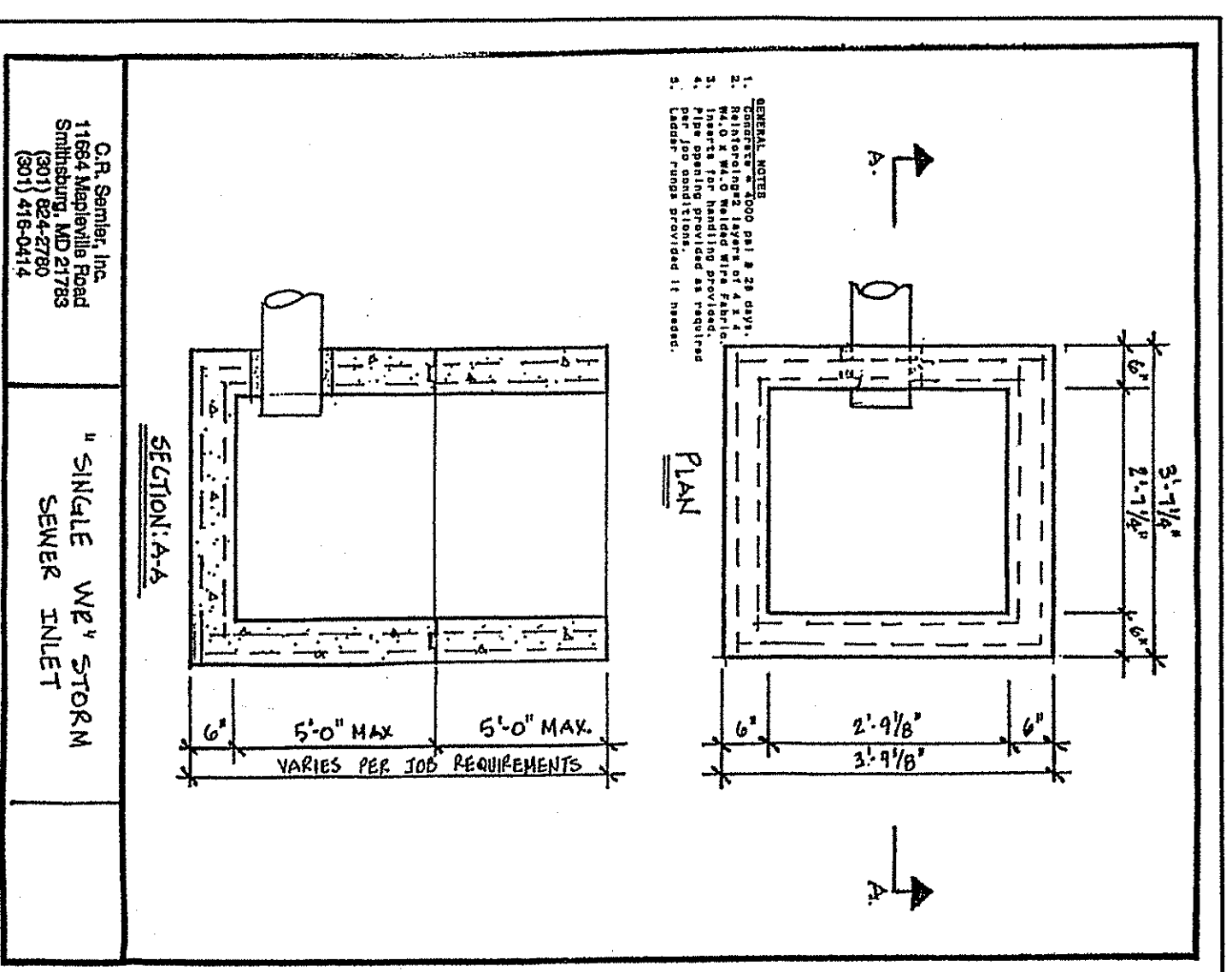
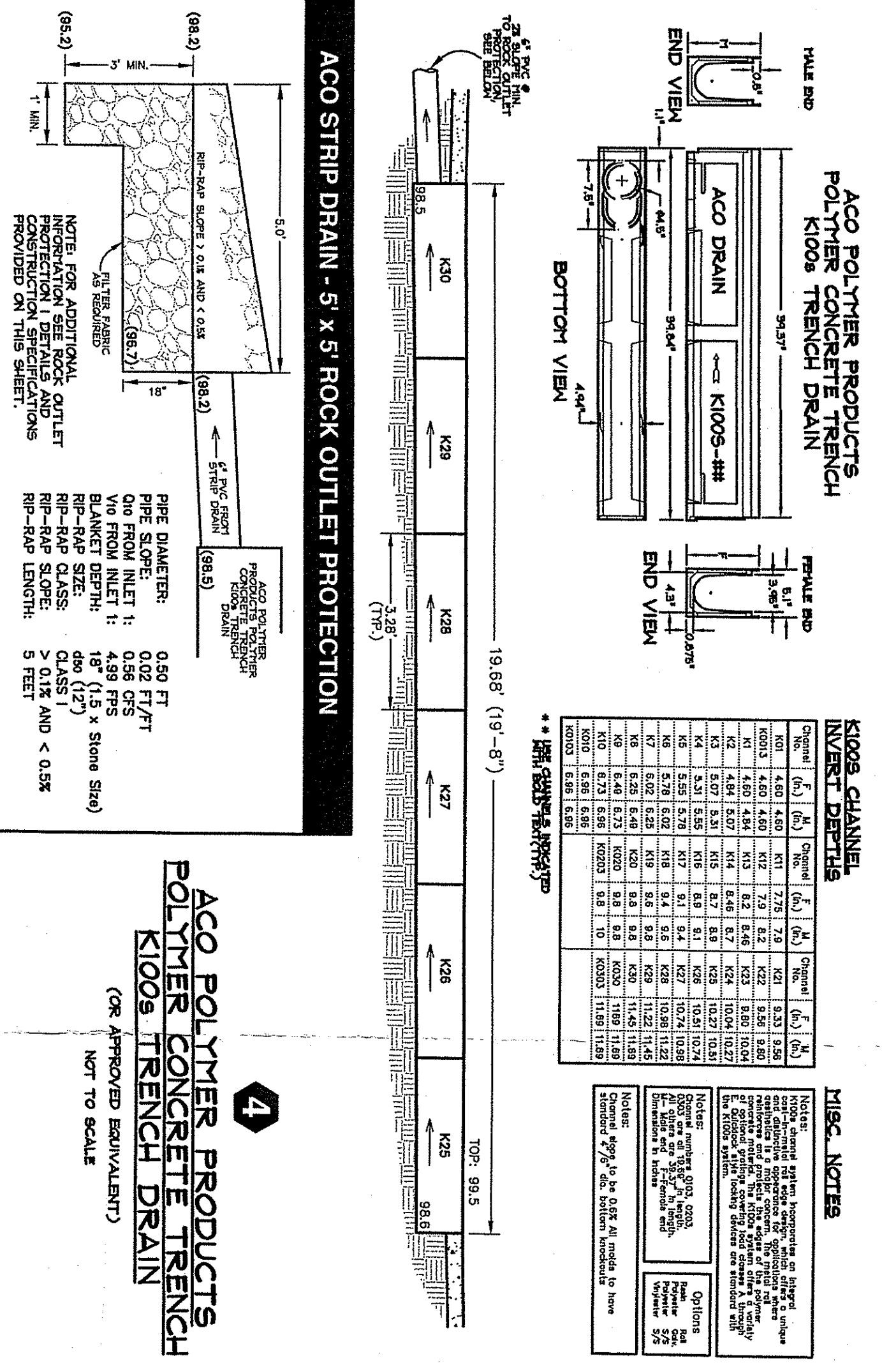
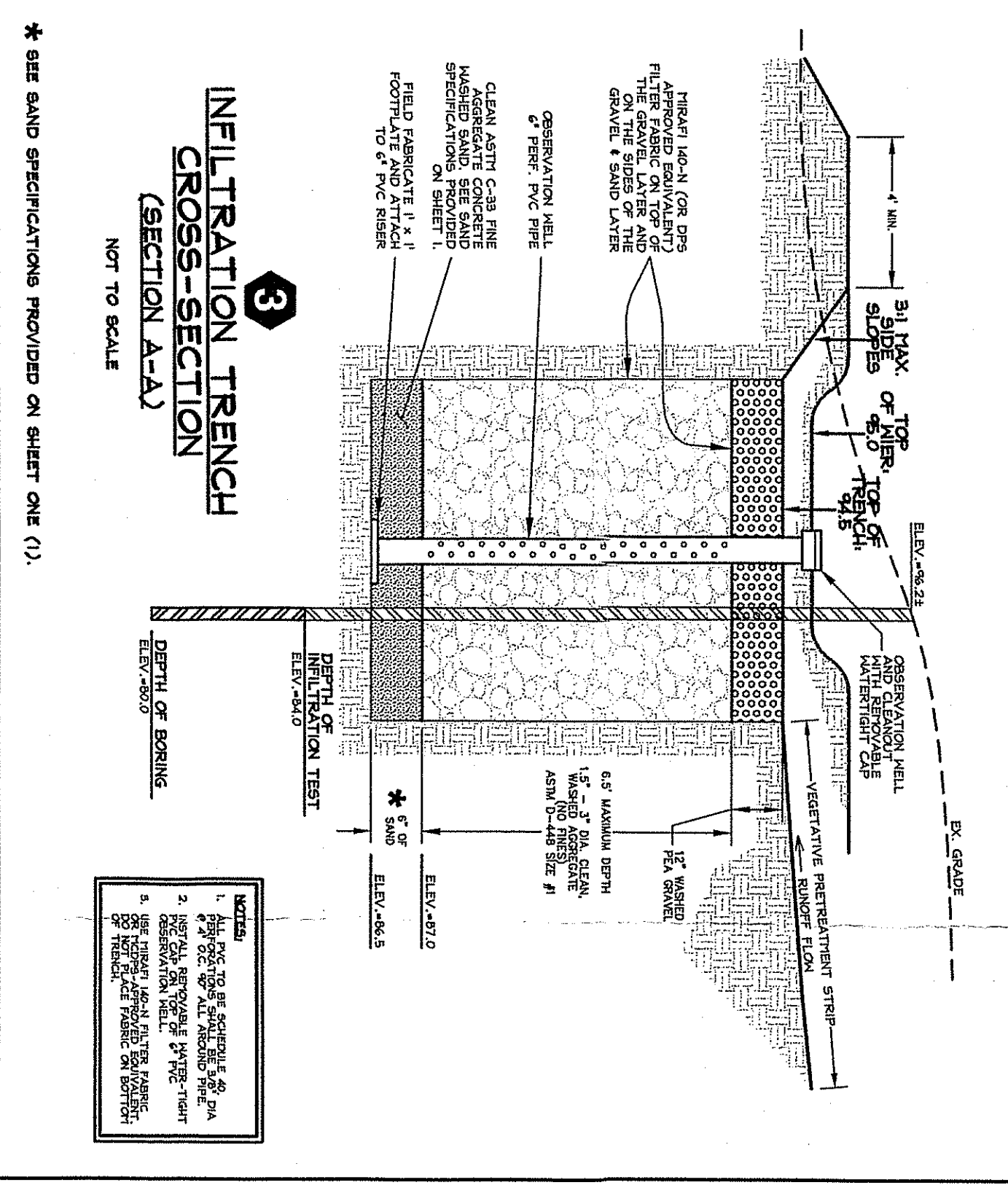
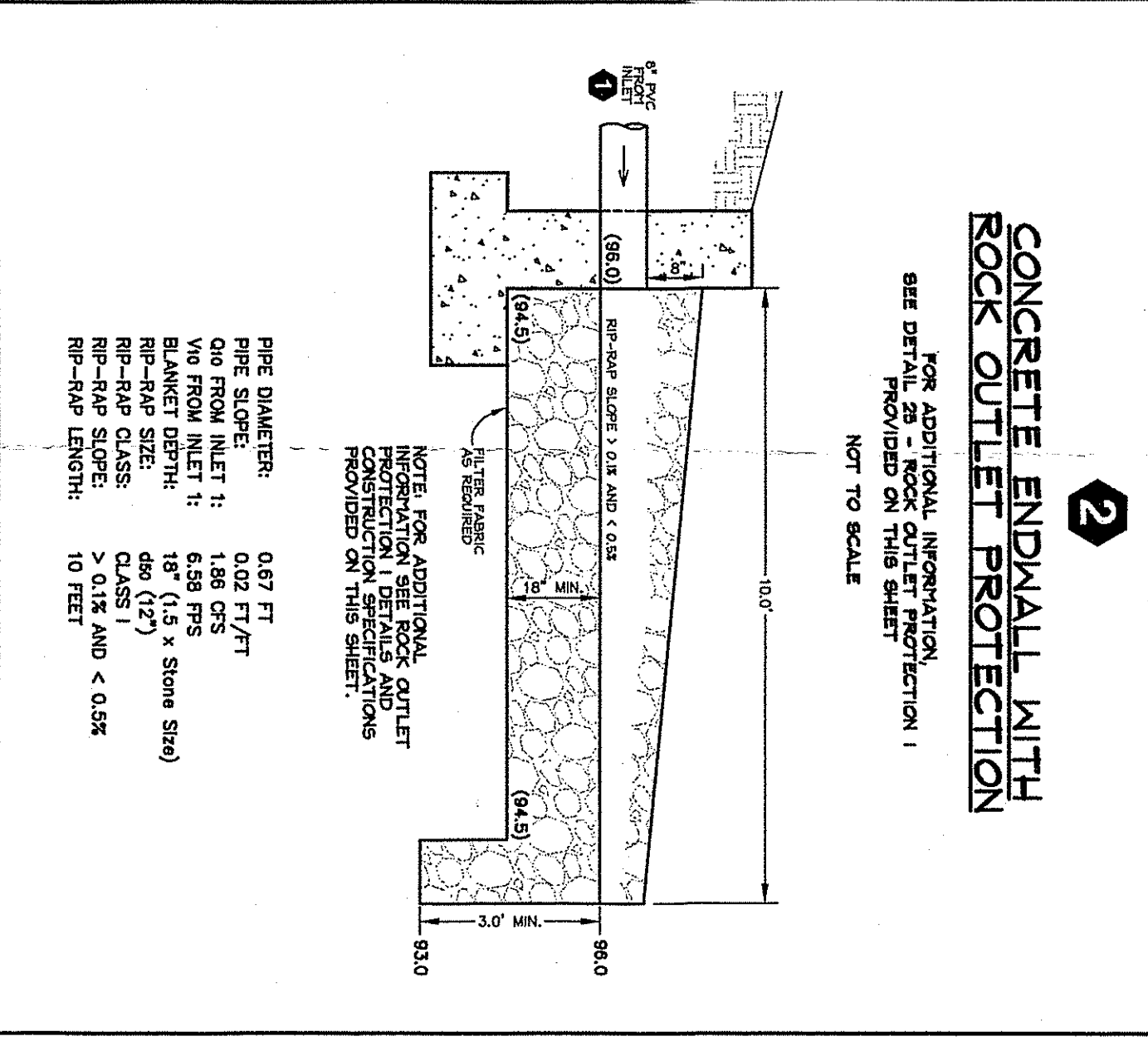
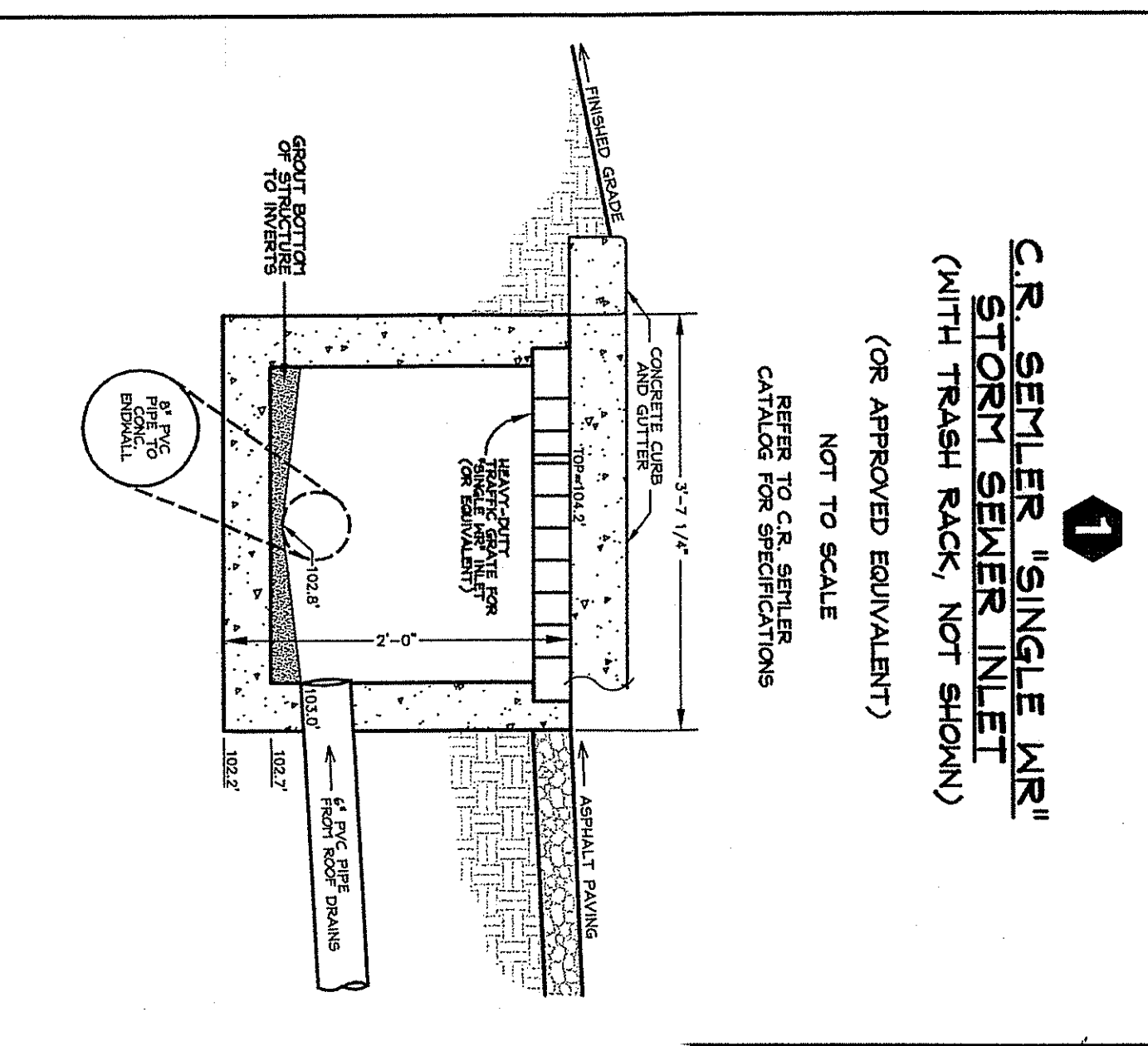


VICINITY MAP

DATE	BY	REVISION	PROJECT	DATE
10/30/07	JMO	FIRST SUBMITTAL TO MDCPS-WRS	04-091	10/2007
01/08/08	JMO	REVISED PLAN TO MDCPS-WELL & SEPTIC	JMO	JMO
01/24/08	JMO	SECOND SUBMITTAL TO MDCPS-WRS	JMO	JMO
02/28/08	JMO	SHEET 3 TO CLIENT FOR SIGNATURE	JMO	JMO

LIBER 6259, FOLIO 233
BOYDS FARM ESTATES
 BARNESVILLE (1TH) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND
 BUILDING PERMIT, SEDIMENT CONTROL AND STORMWATER MANAGEMENT PLAN

ENGINEERING
 CIVIL • SURVEYING • LAND PLANNING
 A DIVISION OF CAS ENTERPRISES, INC.
 108 West Ridgeville Boulevard, Suite 101, Mount Airy, Maryland 21771
 DC Metro (301) 607-8031 FAX (301) 607-8045



1. The drainage for the infiltration trench shall be provided by the infiltration trench. The infiltration trench shall be constructed in accordance with the specifications for infiltration trenches in the Montgomery County Department of Public Works Engineering Manual, Section 10.01.01.

2. The infiltration trench shall be constructed in accordance with the specifications for infiltration trenches in the Montgomery County Department of Public Works Engineering Manual, Section 10.01.01.

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19. The infiltration trench shall be constructed in accordance with the specifications for infiltration trenches in the Montgomery County Department of Public Works Engineering Manual, Section 10.01.01.

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15130 BARNESVILLE ROAD PARCEL A

LIBER 6259, FOLIO 233

BOYDS FARM ESTATES

BARNESVILLE (11TH) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND

BUILDING PERMIT, SEDIMENT CONTROL AND STORMWATER MANAGEMENT PLAN

DATE: 10/30/07 BY: JMO REVISION: FIRST SUBMITTAL TO MCDPS-WRS

DATE: 01/08/08 BY: JMO REVISION: REVISED PLAN TO MCDPS-WRS

DATE: 01/24/08 BY: JMO REVISION: SECOND SUBMITTAL TO MCDPS-WRS

DATE: 02/29/08 BY: JMO REVISION: SHEET 3 TO CLIENT FOR SIGNATURE

PROJECT: 04-091 DATE: 10/2007

ILLUSTRATION: JMO ENGINEERING

SCALE: 1"=20' APPROVAL: JMO

CAS

OWNER/APPLICANT: MULLIN R. DYKAL DDS, P.C. 1066 CONCORD STREET, SUITE 400 KENSINGTON, MARYLAND 20905 (301) 540-4400

ARCHITECT: THOMAS J. TALENTI 1066 CONCORD STREET, SUITE 400 KENSINGTON, MARYLAND 20905 (301) 540-4400

15130 BARNESVILLE ROAD PARCEL A, BOYDS FARM ESTATES BUILDING PERMIT, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT PLAN SED. CONTROL PERMIT #232488

APPROVED: Montgomery County Department of Public Works Engineering Manual, Section 10.01.01

STANDARD NO. MC-100.01

REVISIONS: 1. DATE: 10/30/07 BY: JMO 2. DATE: 01/08/08 BY: JMO 3. DATE: 01/24/08 BY: JMO 4. DATE: 02/29/08 BY: JMO

SEDIMENT CONTROL TECHNICAL REQUIREMENTS: 1. DATE: 10/30/07 BY: JMO 2. DATE: 01/08/08 BY: JMO 3. DATE: 01/24/08 BY: JMO 4. DATE: 02/29/08 BY: JMO

ADMINISTRATIVE REQUIREMENTS: 1. DATE: 10/30/07 BY: JMO 2. DATE: 01/08/08 BY: JMO 3. DATE: 01/24/08 BY: JMO 4. DATE: 02/29/08 BY: JMO

NOTE: MCDPS APPROVAL DOES NOT NEARLY THE NEED OF A MCDPS ACCESS PERMIT.

2 of 4

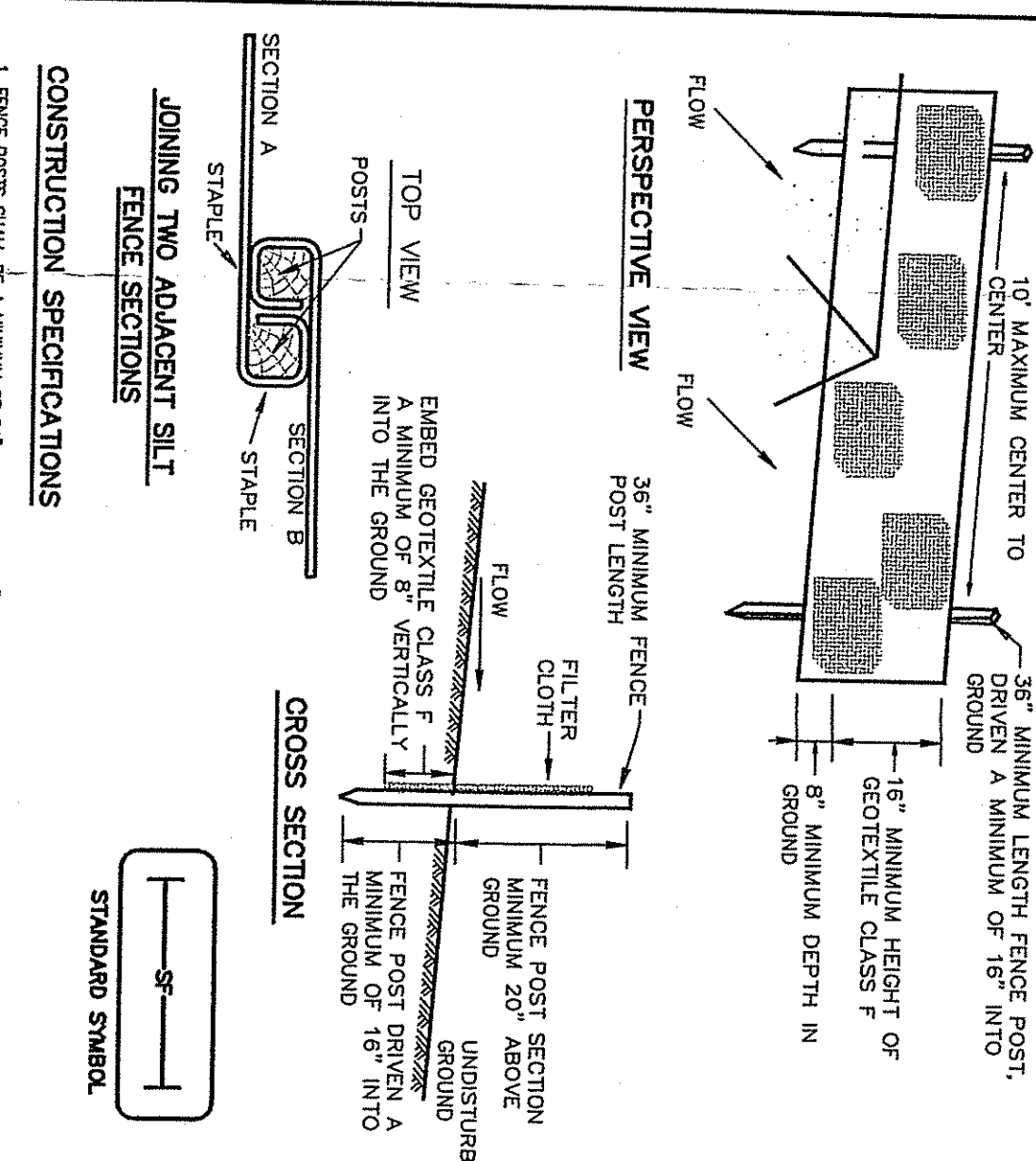
CS ENGINEERING CIVIL - SURVEYING - LAND PLANNING A DIVISION OF CAS ENTERPRISES, INC. 108 West Ridgeville Boulevard, Suite 101, Mount Airy, Maryland 21771 DC Metro (301) 607-8031 FAX (301) 607-8045

STANDARD EROSION AND SEDIMENT CONTROL NOTES

January 2003

1. The permittee shall notify the Department of Permitting Services (DPS) forty-eight (48) hours before a pre-construction meeting between the permittee and the Department, and be required to submit representative drawings of the project.
2. The permittee must obtain inspection and approval by DPS at the following points:
 - A. Following final grading, erosion control measures and prior to any other construction activities.
 - B. Following final grading, erosion control measures and prior to any other construction activities.
 - C. Structure of the required inspection points (erosion control measures) on the project.
 - D. Prior to construction of any sediment control structure(s).
 - E. Prior to final completion.
3. The permittee shall conduct an erosion and sediment control inspection per the approved plan and any other documents on file with the Department. If the Department determines that the erosion and sediment control measures are not in accordance with the approved plan or other documents on file with the Department, the permittee shall be required to immediately rework or remove any non-compliant erosion and sediment control measures which have been stopped or removed by the permittee or any other person.
4. The permittee shall protect all points of construction ingress and egress to prevent the location of erosion and sediment control measures until such time as they are removed or replaced by permanent erosion and sediment control measures which have been stopped or removed by the permittee or any other person.
5. All sediment basins, top maintenance, perimeter ditches, and all disturbed areas shall be cleared of debris and approved sediment mulch. Weed their mulch may only be used for erosion control purposes. Approved sediment mulch shall be applied to all disturbed areas. Areas of erosion control shall be maintained until such time as they are removed or replaced by permanent erosion and sediment control measures which have been stopped or removed by the permittee or any other person.
6. The permittee shall install a silt fence at the bottom of each downspout unless the downspout is connected by a drain line to an on-site catchment.
7. For finished grading, the permittee shall provide erosion control on all (1) exposed earthwork on the surface of areas more than twenty-four (24) hours after the end of an eight-hour (8h) work shift and (2) exposed earthwork on all buildings, foundations or openings.
8. Sediment traps or basins are not permitted within 20 feet of a building which is existing or under construction. No building may be constructed within 20 feet of a sediment trap or basin.
9. All erosion control measures shall be installed at the time of construction.
10. The adjacent school inspector has the option of requiring additional sediment control measures, as deemed necessary.
11. All top elevations are relative to the outlet elevation, which must be on an existing undisturbed ground.
12. Sediment stabilization shall be performed in accordance with the Standards and Specifications for Sediment Stabilization (SS) attached.
13. Temporary sediment traps shall be designed out and returned to the original dimensions when sediment has accumulated to the top of the trap (1/2 the wet volume of the trap or when required by the adjacent school inspector).
14. Sediment removed from traps shall be placed and stabilized in approved areas but not within a 10-foot radius.
15. All sediment basins and traps must be surrounded with a welded wire safety fence. The fence must be a minimum of 4 feet high and 4 feet wide. The fence must be constructed of galvanized steel pipe with a minimum of 14 gauge wire safety fence must be maintained in good condition at all times.
16. No excavation in the area of existing utilities is permitted unless their location has been determined. Call Mass Utility at 1-800-297-7771, 48 hours prior to the start of work.
17. All utility lines shall be marked with a minimum of 4 inches of the highest, regardless of the depth of the utility line.
18. The adjacent school inspector has the option of requiring additional sediment control measures, as deemed necessary.
19. All top elevations are relative to the outlet elevation, which must be on an existing undisturbed ground.
20. Sediment stabilization shall be performed in accordance with the Standards and Specifications for Sediment Stabilization (SS) attached.
21. Temporary sediment traps shall be designed out and returned to the original dimensions when sediment has accumulated to the top of the trap (1/2 the wet volume of the trap or when required by the adjacent school inspector).
22. Sediment removed from traps shall be placed and stabilized in approved areas but not within a 10-foot radius.
23. All sediment basins and traps must be surrounded with a welded wire safety fence. The fence must be a minimum of 4 feet high and 4 feet wide. The fence must be constructed of galvanized steel pipe with a minimum of 14 gauge wire safety fence must be maintained in good condition at all times.
24. No excavation in the area of existing utilities is permitted unless their location has been determined. Call Mass Utility at 1-800-297-7771, 48 hours prior to the start of work.
25. Off-site spoil or borrow areas must have prior approval by DPS.
26. The grade away from foundation walls shall fall a minimum of 6 inches within the first 10 feet beyond the foundation walls and a minimum of 1/4 inch per foot thereafter.
27. Sediment traps and basins shall be designed out and returned to the original dimensions when sediment has accumulated to the top of the trap (1/2 the wet volume of the trap or when required by the adjacent school inspector).
28. The permittee shall notify the Department of all utility construction activities within the permitted limits of disturbance prior to commencement of those activities.
29. Topsoil must be applied to all disturbed areas within the limits of disturbance prior to permanent stabilization in accordance with Montgomery County Standards and Specifications for Topsoiling.

DETAIL 22 - SILT FENCE

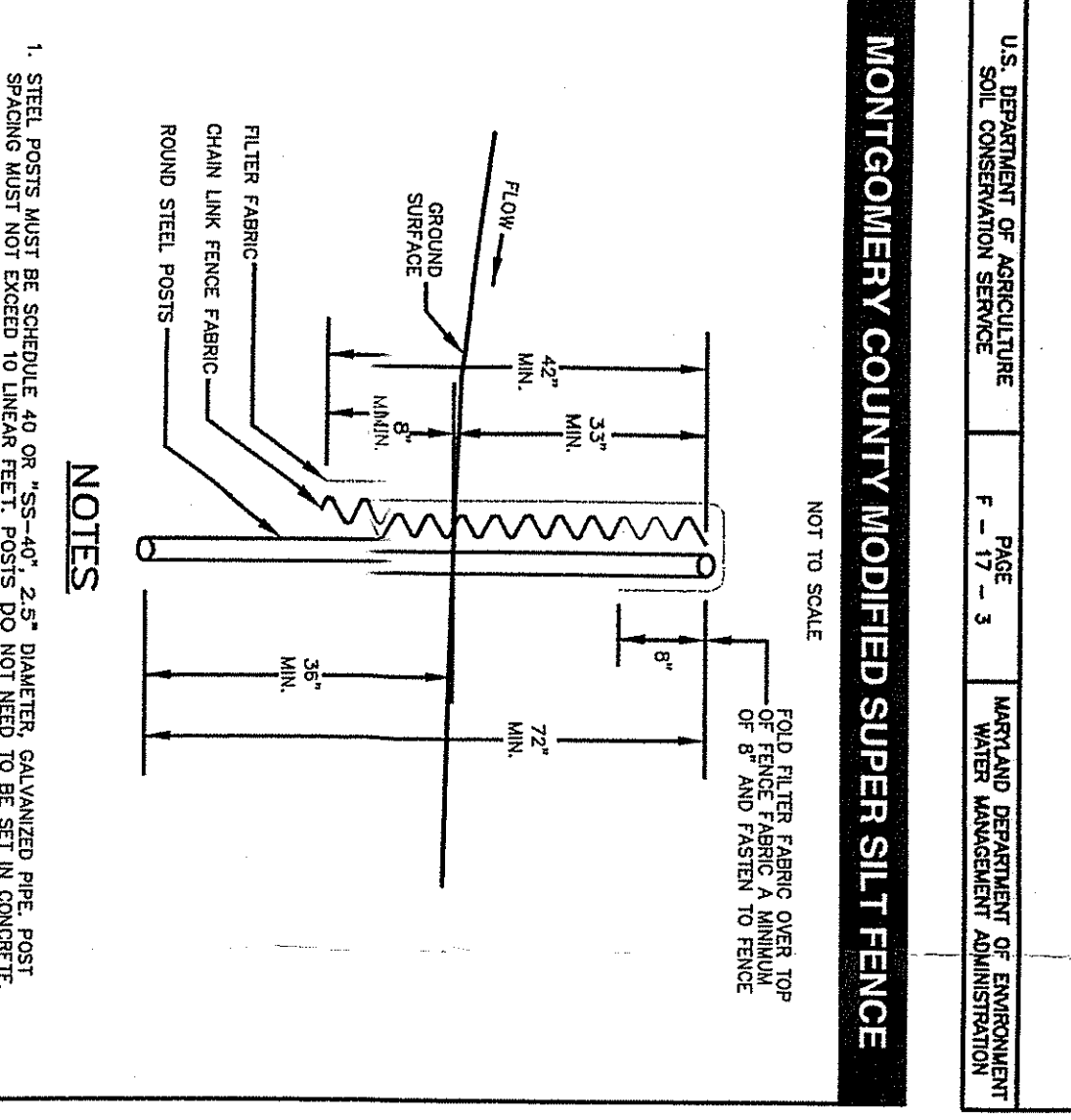
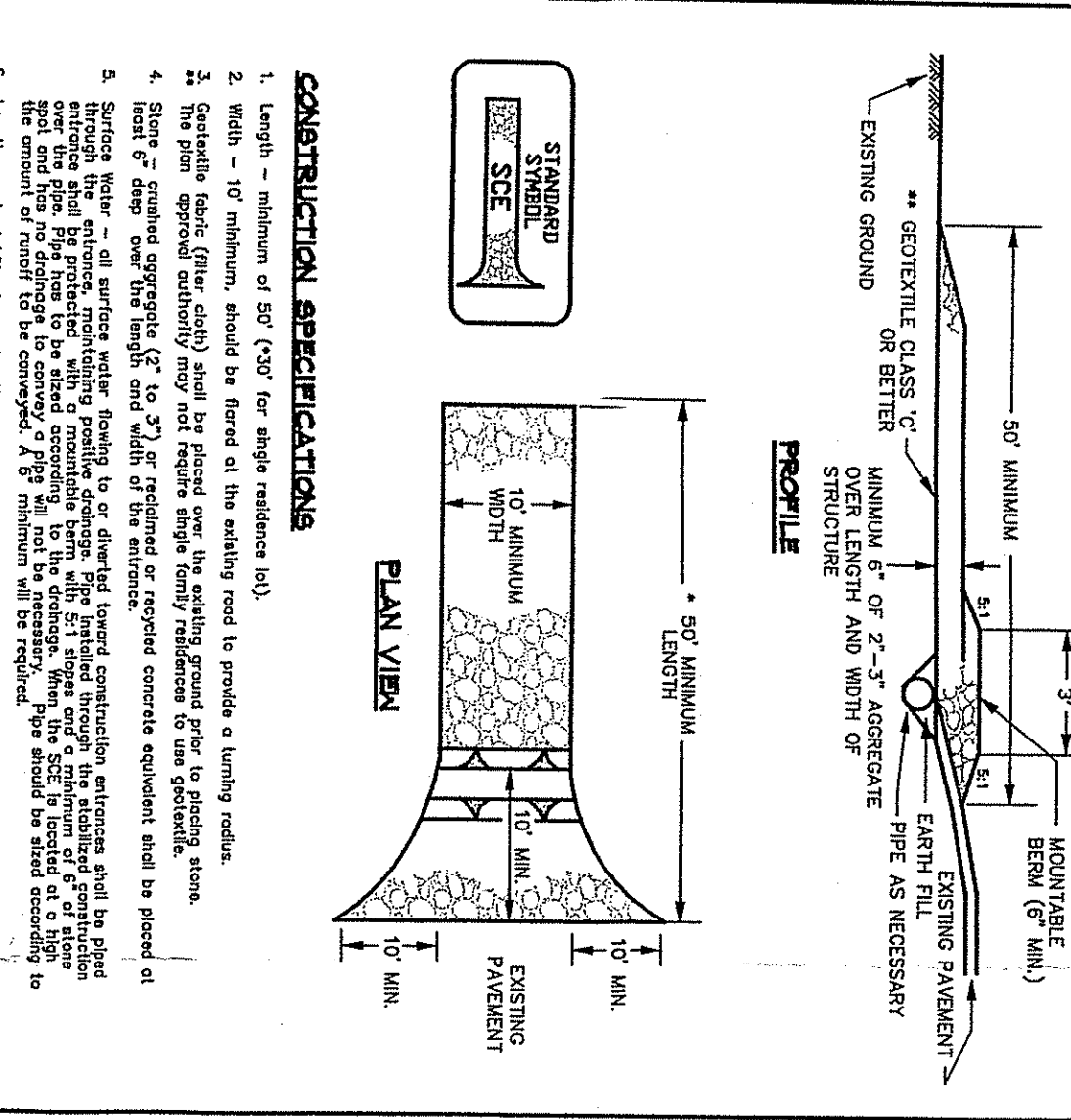


CONSTRUCTION SPECIFICATIONS

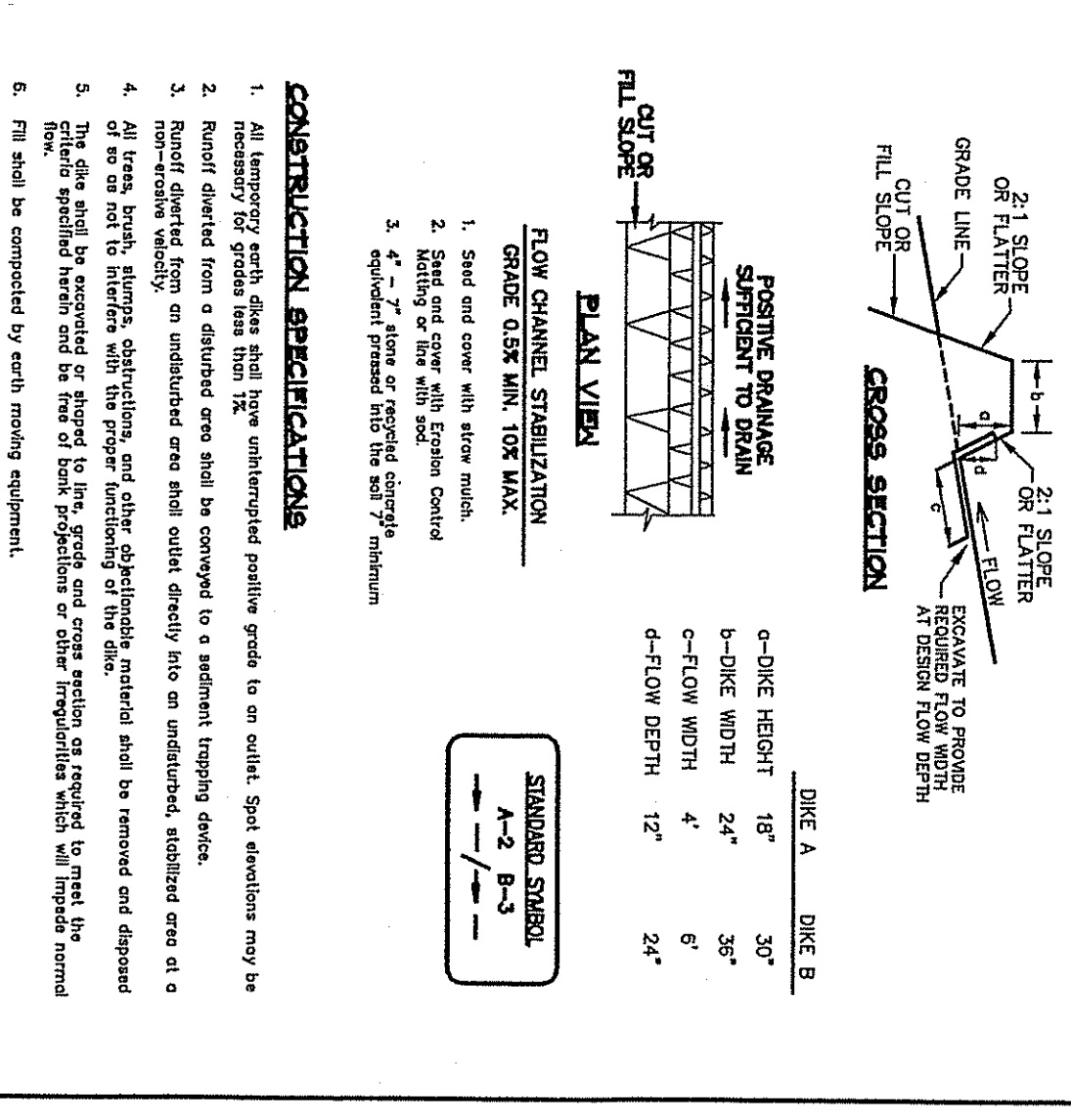
1. Silt fence shall be installed on a minimum of 1/4 inch of compacted subgrade and shall be installed on a minimum of 1/4 inch of compacted subgrade.
2. Silt fence shall be installed on a minimum of 1/4 inch of compacted subgrade and shall be installed on a minimum of 1/4 inch of compacted subgrade.

GRADE STRENGTH	SCORE LENGTH	(MINIMUM)	(MAXIMUM)
UNGRADED	100 FEET	100 FEET	100 FEET
1% TO 2%	125 FEET	100 FEET	150 FEET
3% TO 4%	150 FEET	100 FEET	200 FEET
5% TO 8%	200 FEET	100 FEET	250 FEET
9% TO 12%	250 FEET	100 FEET	300 FEET
13% TO 15%	300 FEET	100 FEET	350 FEET
16% TO 20%	350 FEET	100 FEET	400 FEET
21% TO 25%	400 FEET	100 FEET	450 FEET
26% TO 30%	450 FEET	100 FEET	500 FEET
31% TO 35%	500 FEET	100 FEET	550 FEET
36% TO 40%	550 FEET	100 FEET	600 FEET
41% TO 45%	600 FEET	100 FEET	650 FEET
46% TO 50%	650 FEET	100 FEET	700 FEET
51% TO 55%	700 FEET	100 FEET	750 FEET
56% TO 60%	750 FEET	100 FEET	800 FEET
61% TO 65%	800 FEET	100 FEET	850 FEET
66% TO 70%	850 FEET	100 FEET	900 FEET
71% TO 75%	900 FEET	100 FEET	950 FEET
76% TO 80%	950 FEET	100 FEET	1000 FEET
81% TO 85%	1000 FEET	100 FEET	1050 FEET
86% TO 90%	1050 FEET	100 FEET	1100 FEET
91% TO 95%	1100 FEET	100 FEET	1150 FEET
96% TO 100%	1150 FEET	100 FEET	1200 FEET

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



DETAIL - EARTH DIKE



CONSTRUCTION SPECIFICATIONS

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2. Silt fence shall be installed on a minimum of 1/4 inch of compacted subgrade and shall be installed on a minimum of 1/4 inch of compacted subgrade.

CERTIFICATION OF THE QUANTITIES

I hereby certify that the estimated total amount of material on this plan has been computed in accordance with the approved plan and specifications and that the total amount of material on this plan has been determined to be 59,800 square feet.

Curt A. Schreffler, P.E.
DATE: 02/29/2008
REGISTRATION NUMBER: No. 19566

MAINTENANCE CERTIFICATION ON PRIVATE LANDS

I/We hereby certify that I/we assume maintenance responsibilities for all stormwater management structures shown hereon. I/we agree to apply the Montgomery County Stormwater Management Plan (MSMP) to the structures shown hereon. I/we agree to maintain the structures in accordance with the MSMP and to provide the necessary maintenance to the structures shown hereon. I/we agree to provide a copy of this document (signed by both parties) transferring said maintenance responsibilities at that time.

William B. DeZak
DATE: 3-4-08

OWNER'S/DEVELOPER'S CERTIFICATION

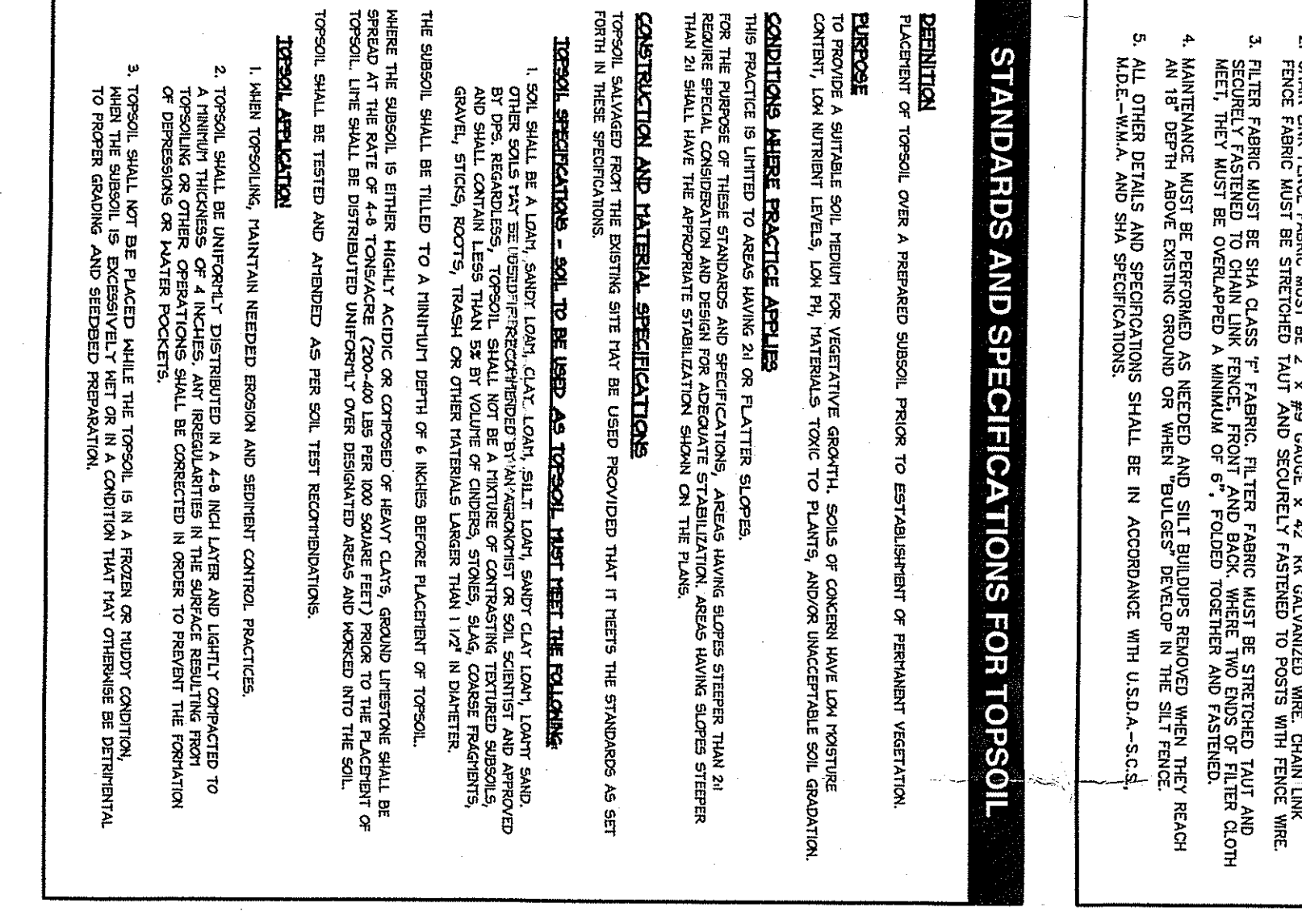
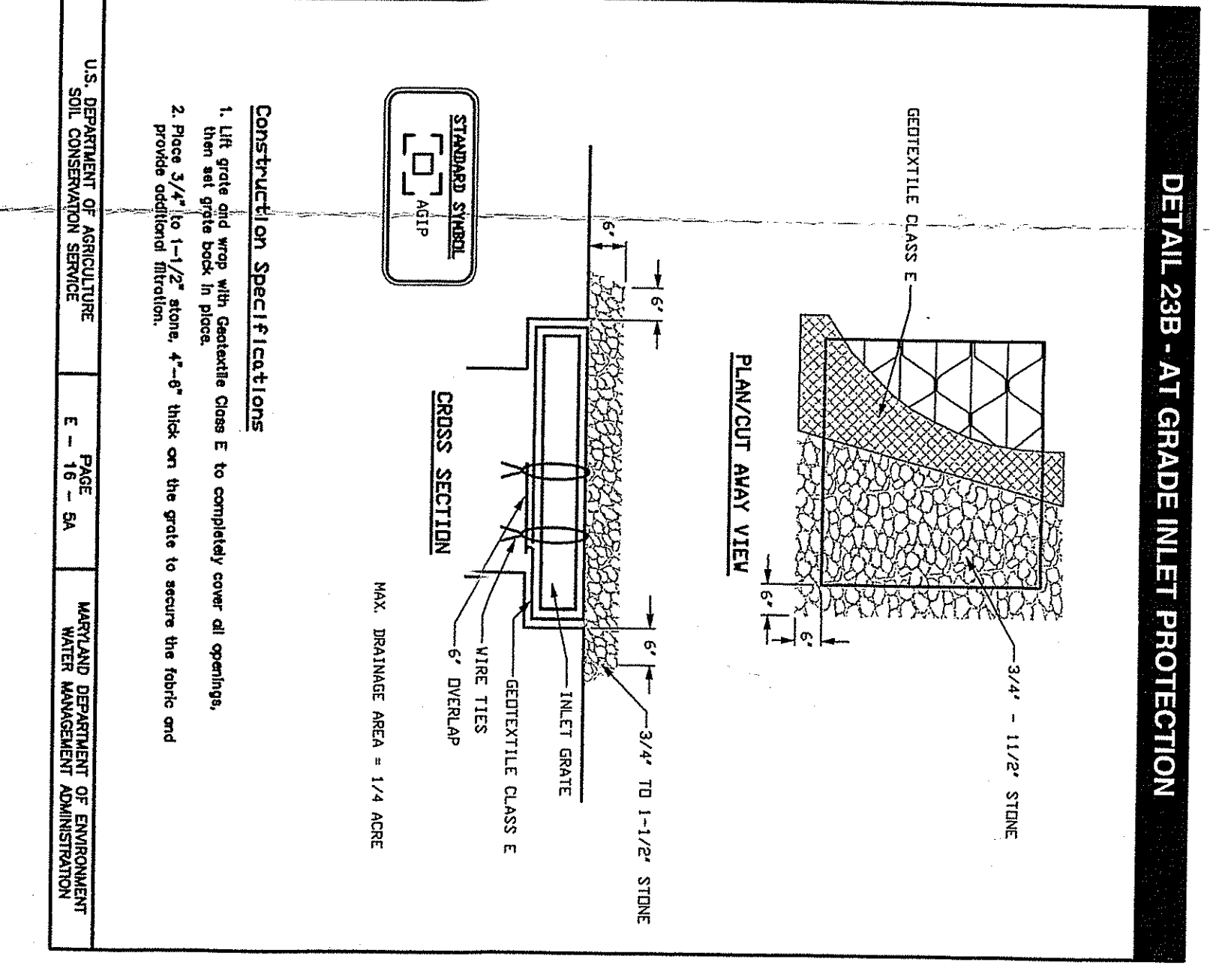
I/We hereby certify that all clearing, grading, construction and other activities shown on this plan have been completed in accordance with the approved plan and specifications and that any responsible personnel involved in the construction project will have a Certificate of Attendance of a Department of Natural Resources approved Training program. I/we agree to provide a copy of this document (signed by both parties) beginning the project.

William B. DeZak
DATE: 3-4-08

DESIGN CERTIFICATION

I hereby certify that this plan has been prepared in accordance with the approved plan and specifications for Soil Erosion and Sediment Control Measures and that any responsible personnel involved in the design project will have a Certificate of Attendance of a Department of Natural Resources approved Training program. I/we agree to provide a copy of this document (signed by both parties) August 1988.

Curt A. Schreffler, P.E.
DATE: 02/29/2008
REGISTRATION NUMBER: No. 19566



APPROVED
Montgomery County
Department of Permitting Services

Curt A. Schreffler, P.E.
DATE: 02/29/2008
REGISTRATION NUMBER: No. 19566

15130 BARNESVILLE ROAD
PARCEL A

LIBER 6254, FOLIO 233

BOYDS FARM ESTATES

BARNESVILLE (11TH) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND

BUILDING PERMIT, SEDIMENT CONTROL AND STORMWATER MANAGEMENT PLAN

OWNER/APPLICANT
MILLIANT R. DRYAK, D.D.S., F.C.
DRYAK & ASSOCIATES, P.C.
2000 RURAL CREEK COURT
KENSINGTON, MARYLAND 20895
(301) 540-4108

ARCHITECT
THOMAS J. TALTAVULL
2000 RURAL CREEK COURT
KENSINGTON, MARYLAND 20895
(301) 540-4108

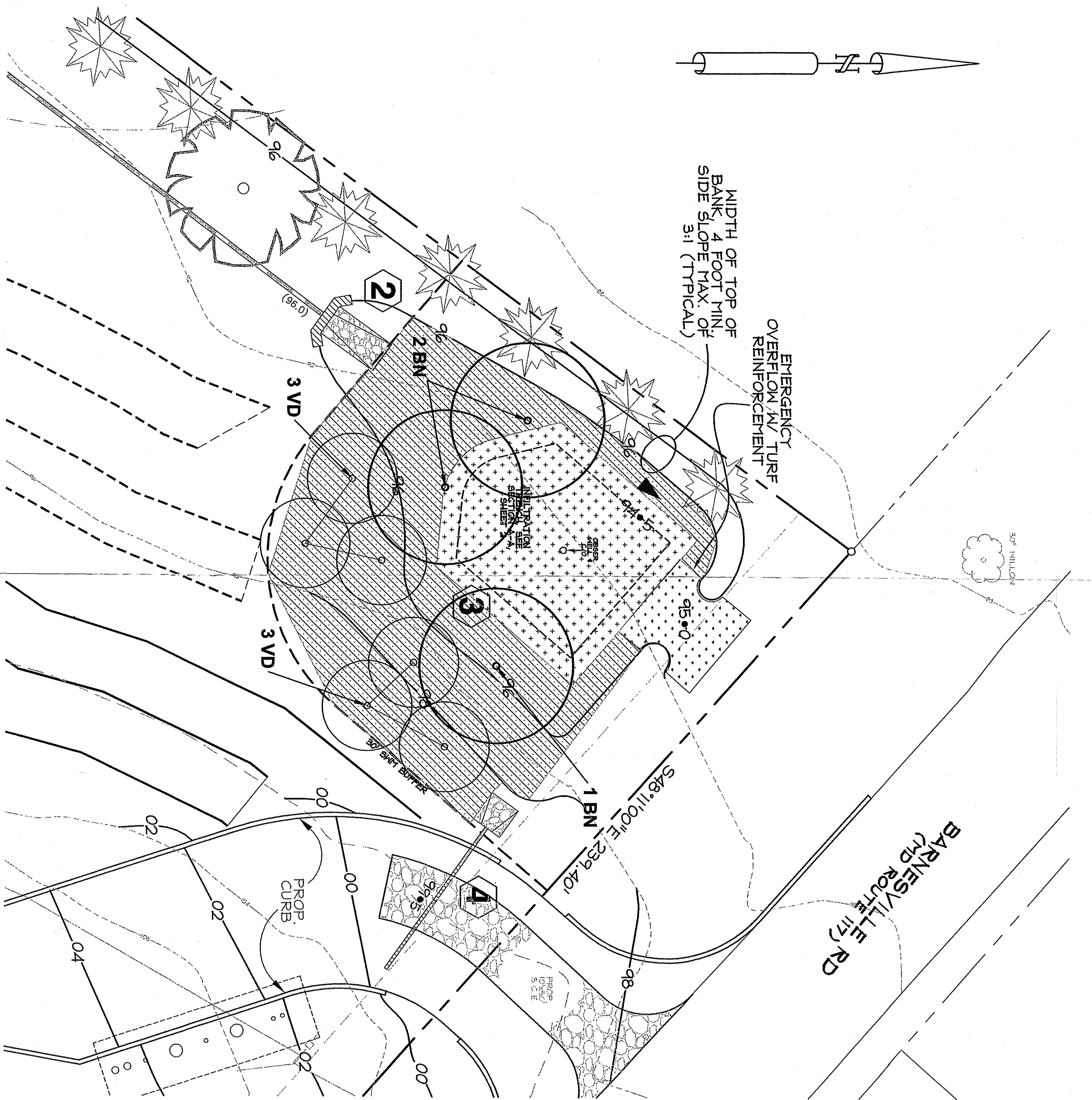
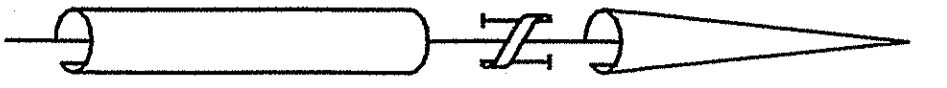
15130 BARNESVILLE ROAD
PARCEL A, BOYDS FARM ESTATES
BUILDING PERMIT, SEDIMENT CONTROL,
AND STORMWATER MANAGEMENT PLAN
SED. CONTROL PERMIT #232488

DATE	BY	REVISION
10/30/07	JMO	FIRST SUBMITTAL TO MCDPS-WRS
01/08/08	JMO	REVISED PLAN TO MCDPS-WELL & SEPTIC
01/24/08	JMO	SECOND SUBMITTAL TO MCDPS-WRS
02/29/08	JMO	SHEET 3 TO CLIENT FOR SIGNATURE

PROJECT 04-091
DATE 10/2007
ILLUSTRATION JMO
SCALE 1"=20'
APPROVAL CAS

ENGINEERING
CIVIL • SURVEYING • LAND PLANNING
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108 West Ridgeville Boulevard, Suite 101, Mount Airy, Maryland 21771
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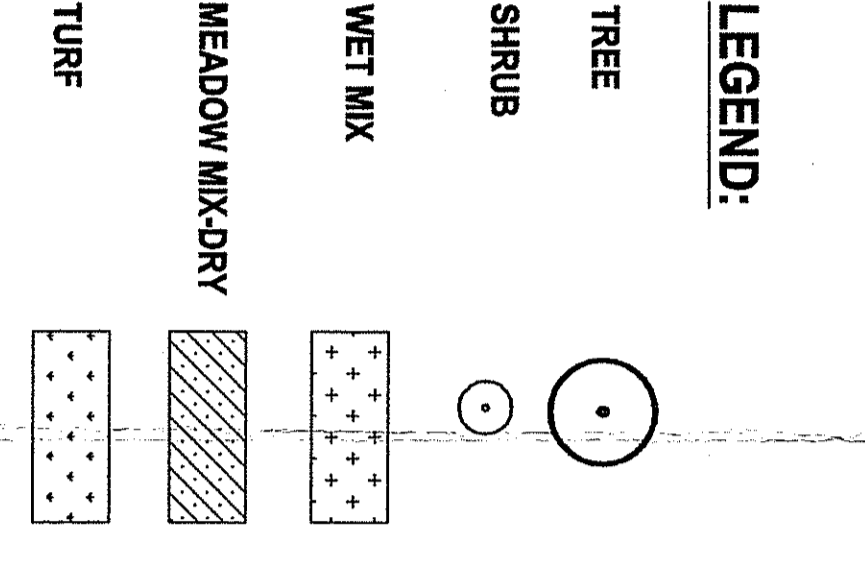
PLANT SCHEDULE - RECOMMENDED SPECIES LIST

Table with 5 columns: KEY, QUANTITY, SIZE, SCIENTIFIC NAME, COMMON NAME, SPACING COMMENTS. Includes rows for River Birch, Viburnum dentatum, and Arrowwood Vitaceum.

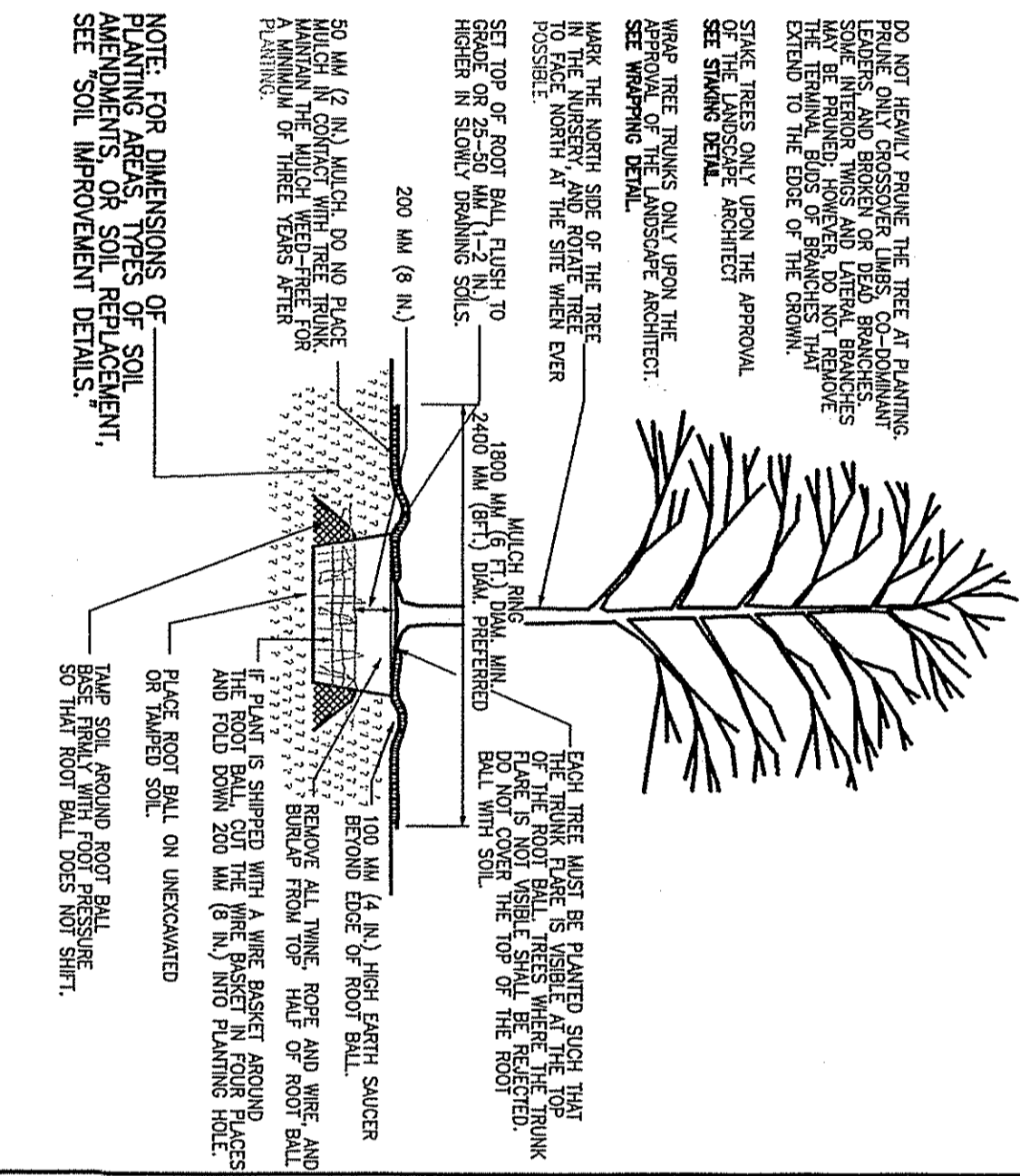
NOTE: ENGINEER UTILITY LOCATIONS ARE APPROXIMATE. THEY ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY. ALL UTILITY LOCATIONS MUST BE FIELD VERIFIED.

TOPSOIL NOTE: ALL DISTURBED AREAS MUST BE TOPSOILED PER THE MONTGOMERY COUNTY TOPSOIL SPECIFICATIONS. TOPSOIL SHALL BE STORED ON SITE AND PROTECTED FROM WEATHER. SPECIFICATIONS ARE SHOWN ON SHEET 1-111.

MISS UTILITY: FOR LOCATION OF UTILITIES CALL THESE UTILITIES AT 1-800-877-7777 OR CALL ON TO MONTGOMERY COUNTY UTILITIES DEPARTMENT. ADVANCE OF ANY WORK IN THIS AREA MUST BE APPROVED BY THE UTILITIES DEPARTMENT. THESE UTILITIES ARE LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF CHAPTER 58A OF THE MONTGOMERY COUNTY CODE.



INTERNATIONAL SOCIETY OF ARBORICULTURE



GENERAL PLANTING NOTES:

- 1. The contractor shall locate and verify the existence of all utilities prior to any excavation work.
2. The contractor shall supply all plant materials in quantities equal to that shown on plan.
3. All plant material shall conform to the guidelines established in the current American Standard for Nursery Stock as published by the American Association of Nurserymen.

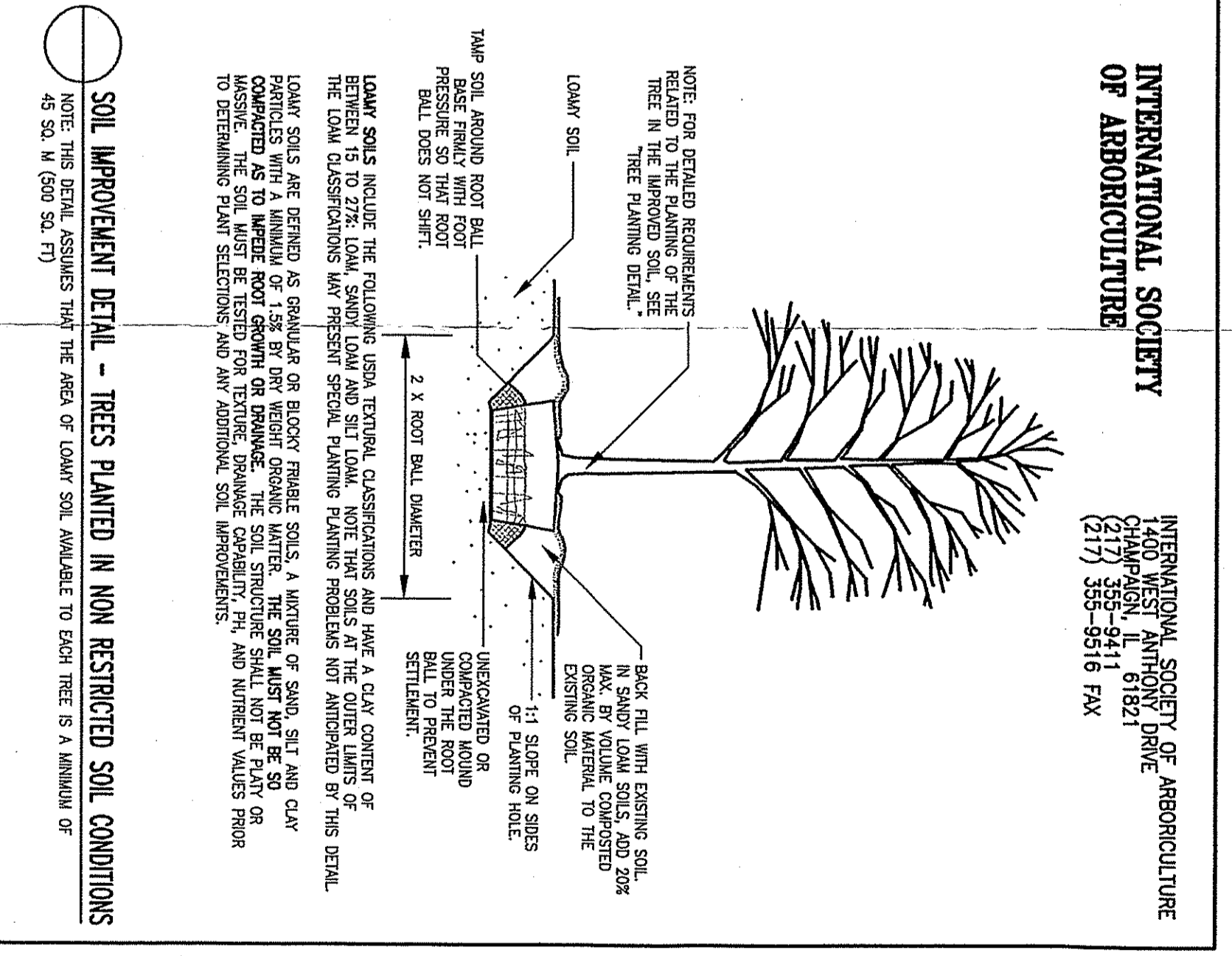
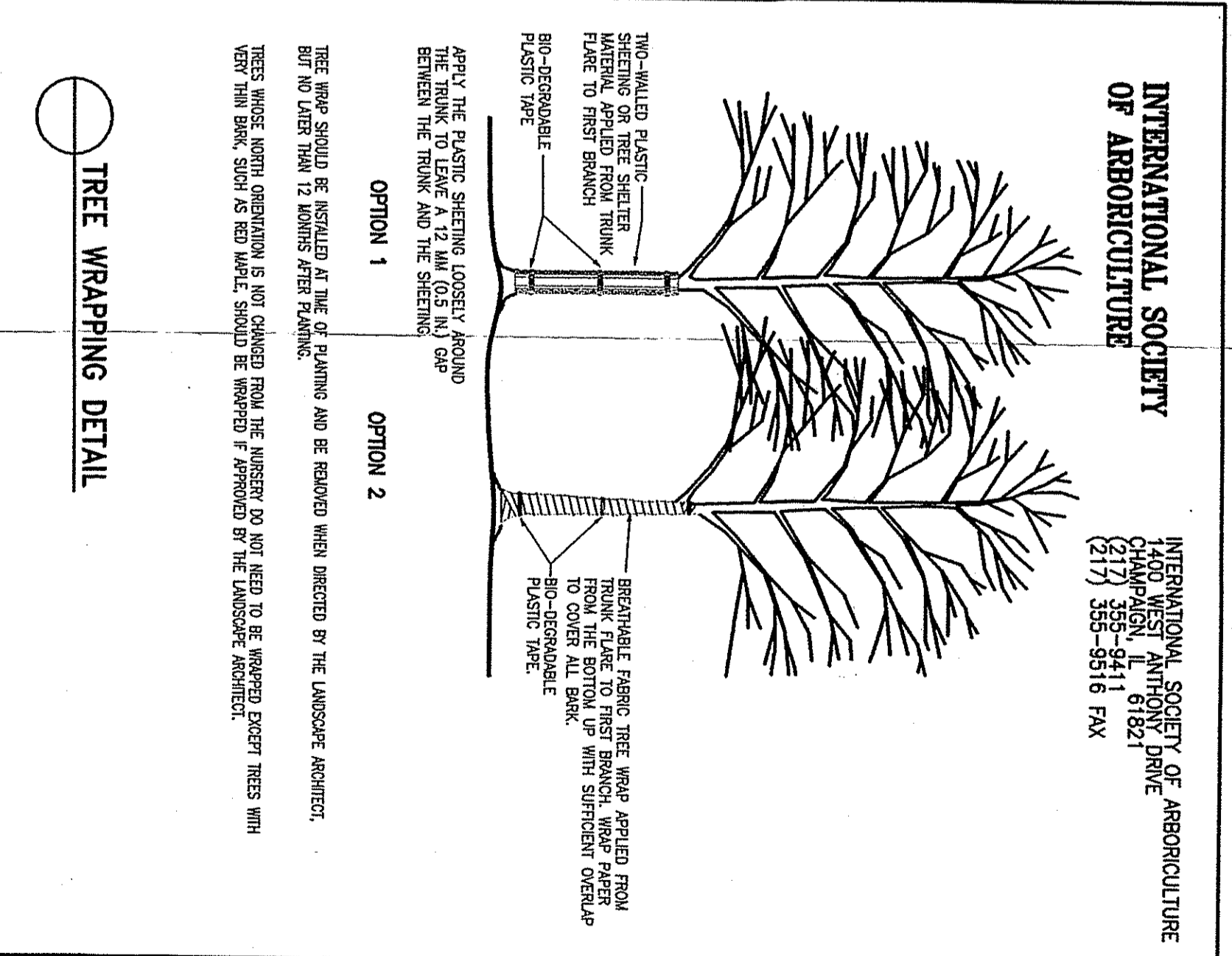
SITE PREPARATION NOTES:

- 1. Soil tests are to be performed by contractor in all areas proposed for planting to determine deficiencies.
2. Soil amendments, if necessary, should be applied before planting and are to be determined by Cooperative Extension Service or other qualified professional.
3. Topsoil for planting shall be uniform composition, free of subsoil, clay lumps, stones, stumps, roots or similar objects larger than 1 inch.

MAINTENANCE:

- 1. The owner's maintenance of new planting shall consist of watering, cultivating, weeding, mulching, installing tree shelters, replacement of tree shelters, resetting plants to proper grades or upright position, and furnishing and applying such pesticide sprays and fungicides as are necessary to keep the plants free of insects and disease and in thriving condition.

PLANTING DETAIL - SHRUB



Professional stamps and signatures for David Williams, State of Maryland, and various project approvals. Includes dates like 2/29/08 and 3/25/08.

OWNER/APPLICANT: 15130 BARNESVILLE ROAD, PARCEL A, BOYDS FARM ESTATES, BUILDING PERMIT, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT PLAN, SED. CONTROL PERMIT #232488

Project information table with columns: DATE, BY, REVISION, PROJECT, DATE, ILLUSTRATION, PHS, SCALE, APPROVAL, DATE, ENGINEERING, DWM, APPROVAL, CAS.

Engineering and project information section including BOYDS FARM ESTATES, LANDSCAPE PLAN (FOR SWM FACILITY), and CAS ENGINEERING logo.

The Preservation and Protection Program

The purpose of this program is to ensure that the historic resources identified in the historic preservation study are protected and preserved. The program is designed to ensure that the historic resources are protected and preserved in a manner that is consistent with the historic preservation study. The program is designed to ensure that the historic resources are protected and preserved in a manner that is consistent with the historic preservation study.

1. All archaeological findings shall be protected and preserved in a manner that is consistent with the historic preservation study.

2. All archaeological findings shall be protected and preserved in a manner that is consistent with the historic preservation study.

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CONSTRUCTION TREE PRESERVATION MEASURES

The purpose of this program is to ensure that the historic resources identified in the historic preservation study are protected and preserved. The program is designed to ensure that the historic resources are protected and preserved in a manner that is consistent with the historic preservation study. The program is designed to ensure that the historic resources are protected and preserved in a manner that is consistent with the historic preservation study.

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ARBORIST CERTIFICATION

I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS ILLUSTRATED ON THESE PLANS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARBORIST IN THE STATE OF MARYLAND.

DATE: 5-23-08

JAMES H. WINTER
ARBORIST
15130 BARNESVILLE ROAD
PARCEL A
L 20348 F 318

GENERAL NOTES

1) WATER CATEGORY - 6 SHADER CATEGORY - 6
2) EXISTING INFORMATION BASED ON A SURVEY PERFORMED BY BOYDS FARM ESTATES, DATED JUNE 2004.
3) THE FRONT CONTROL DATA BASED ON A SURVEY PERFORMED BY BOYDS FARM ESTATES, DATED JUNE 2004.
4) TOTAL LOT AREA: PARCEL A = 64,702 SQ. FT. (1.28 ACRES)
5) PROPERTY SHOWN ON BEAC 2007 SHEET 227 N.M. 15.
6) PROPERTY SHOWN ON MONTGOMERY COUNTY ZONING ORDINANCE NO. 2007-01, DATED JUNE 2007.
7) SURVEY TAPED BY: DR. BOB TYPPEL, 488 W. W. STREET, WASHINGTON, DC 20005.
8) SITE IS LOCATED IN THE LITTLE SENeca CREEK WATERSHED.
9) LOCAL UTILITIES INCLUDE (PRIVATE) WELL, SEPTIC TANK, ELECTRIC, FIBER OPTIC, AND GAS.
10) LOCAL UTILITIES INCLUDE (PUBLIC) WATER, SEWER, AND GAS.

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10) LOCAL UTILITIES INCLUDE (PUBLIC) WATER, SEWER, AND GAS.

ARBORIST CERTIFICATION

I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS ILLUSTRATED ON THESE PLANS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARBORIST IN THE STATE OF MARYLAND.

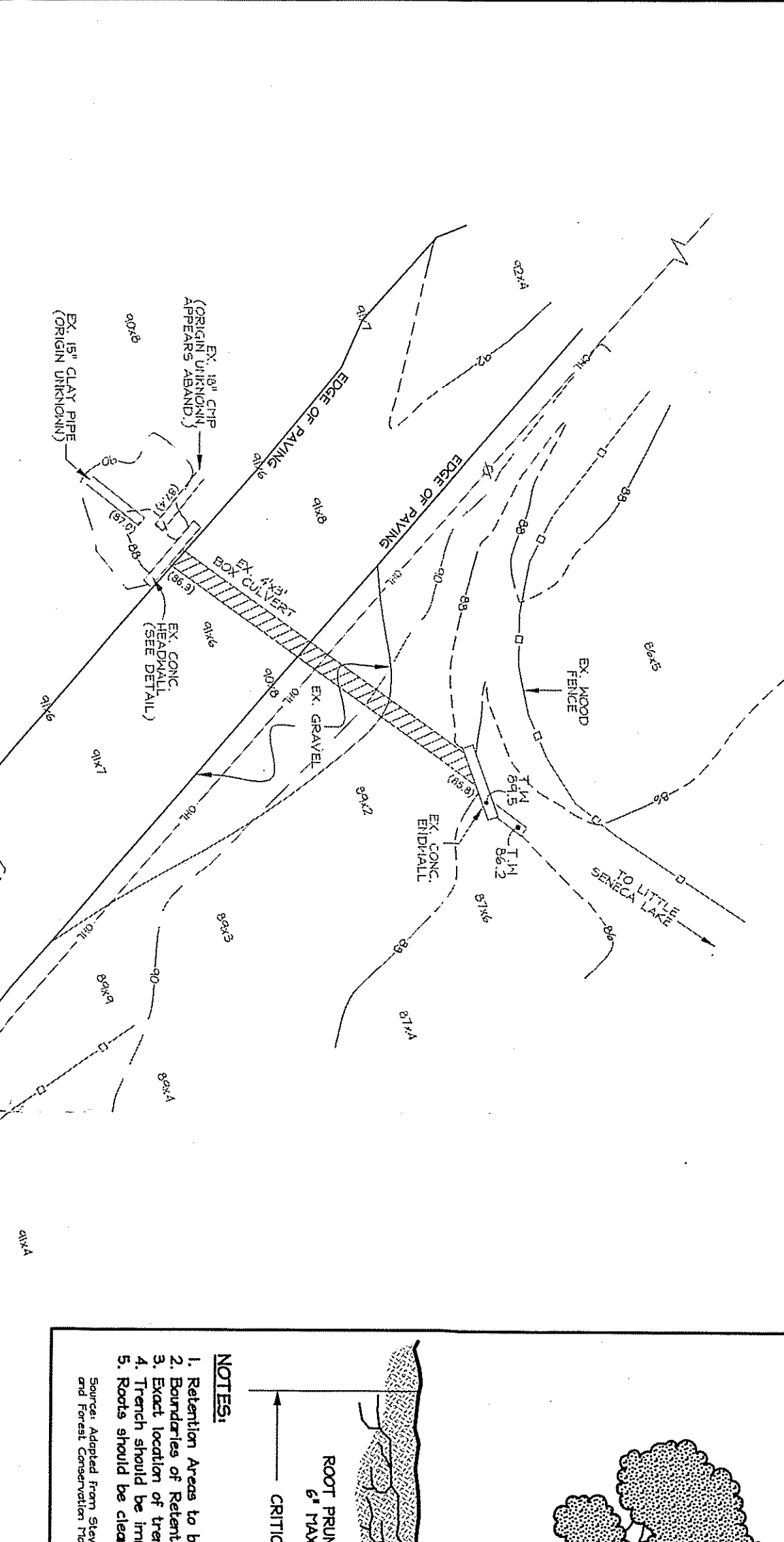
DATE: 5-23-08

JAMES H. WINTER
ARBORIST
15130 BARNESVILLE ROAD
PARCEL A
L 20348 F 318

GENERAL NOTES

1) WATER CATEGORY - 6 SHADER CATEGORY - 6
2) EXISTING INFORMATION BASED ON A SURVEY PERFORMED BY BOYDS FARM ESTATES, DATED JUNE 2004.
3) THE FRONT CONTROL DATA BASED ON A SURVEY PERFORMED BY BOYDS FARM ESTATES, DATED JUNE 2004.
4) TOTAL LOT AREA: PARCEL A = 64,702 SQ. FT. (1.28 ACRES)
5) PROPERTY SHOWN ON BEAC 2007 SHEET 227 N.M. 15.
6) PROPERTY SHOWN ON MONTGOMERY COUNTY ZONING ORDINANCE NO. 2007-01, DATED JUNE 2007.
7) SURVEY TAPED BY: DR. BOB TYPPEL, 488 W. W. STREET, WASHINGTON, DC 20005.
8) SITE IS LOCATED IN THE LITTLE SENeca CREEK WATERSHED.
9) LOCAL UTILITIES INCLUDE (PRIVATE) WELL, SEPTIC TANK, ELECTRIC, FIBER OPTIC, AND GAS.
10) LOCAL UTILITIES INCLUDE (PUBLIC) WATER, SEWER, AND GAS.

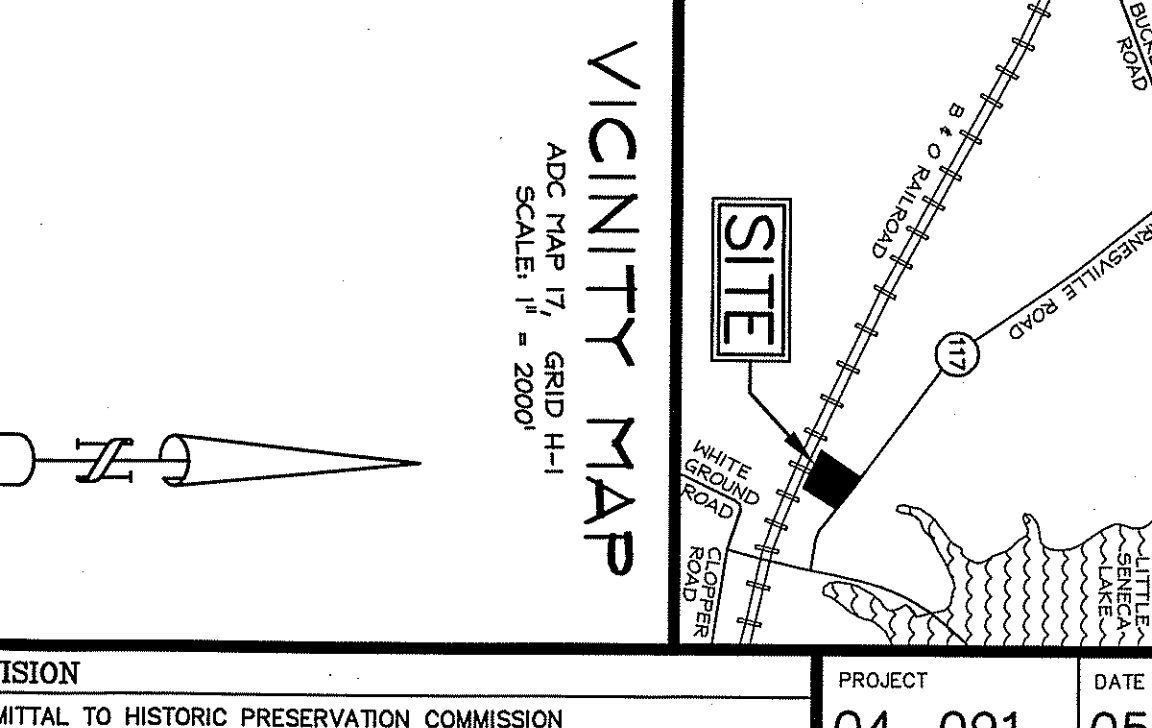
DETAIL - ROOT PRUNING



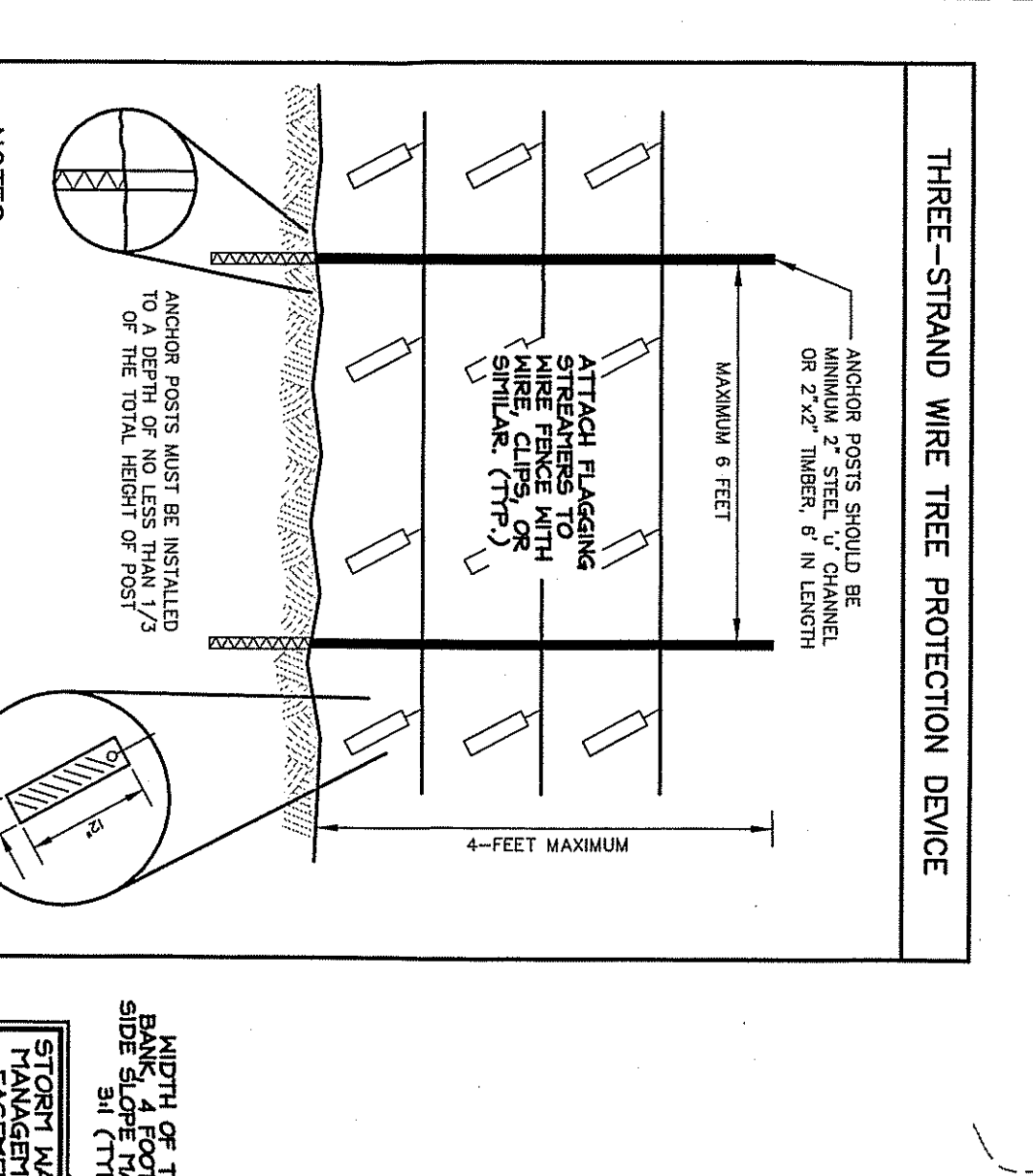
SEQUENCE OF CONSTRUCTION

- 1) PRIOR TO CLEANING OF TREES, INSTALLING SEDIMENT CONTROL, TREASURES, OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE CONDUCTED ON-SITE WITH THE HISTORIC PRESERVATION COMMISSION AND THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (DCPS) SEDIMENT CONTROL INSPECTOR, 240-777-4210 (48 HOURS NOTICE).
- 2) THE LIMITS OF DISTURBANCE MUST BE FIELD MARKED PRIOR TO CLEANING OF TREES, INSTALLATION OF SEDIMENT CONTROL, TREASURES, CONSTRUCTION OF OTHER LAND DISTURBANCE ACTIVITIES.
- 3) CLEAR AND GRADE FOR INSTALLATION OF SEDIMENT CONTROL DEVICES.
- 4) INSTALL CONSTRUCTION FENCING TO PREVENT DISTURBANCE TO THE RESERVE SEDIMENT CONTROL DEVICES.
- 5) INSTALL ALL SEDIMENT CONTROL DEVICES WITH THE EXCEPTION OF THE EARTH DIRT AND CLEAN WATER DIVERSION PIPE. THESE SEDIMENT CONTROL DEVICES MUST BE INSTALLED AFTER CONSTRUCTION OF THE REMAINING WALL ALONG THE SOUTHWEST CORNER OF THE PROPERTY IS COMPLETE.
- 6) THE EXISTING DRIVEWAY MAY BE USED TO INITIALLY USED TO ACCESS THE SITE. SEE THE EXISTING DRIVEWAY PLAN FOR THE EXISTING DRIVEWAY.
- 7) ONCE ALL SEDIMENT CONTROL DEVICES ARE INSTALLED, THE PERMITTEE SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENT CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.
- 8) INSTALL STORM DRAIN INFILTRATION TRENCH (1) AND TRENCH DRAIN (2) AND TRENCH DRAIN (3) CAP EACH OUTLET PIPE AT INLET.
- 9) INSTALL BASE COURSE OF DRIVEWAY PAVING, LOT SIDEWALKS, CONSTRUCTION CONTROL OFFICE AND RETAIL BUILDING, ETC.
- 10) REMOVE EARTH DIRT AND STABILIZE THE AREA, COMPLETE FINAL GRADING AND PERMANENTLY STABILIZE ALL REMAINING AREAS.
- 11) ONCE THE DRIVEWAY AREA IS STABILIZED, THE STORM DRAIN SYSTEM MUST BE FLUSHED AND ANY TEMPORARY PIPES REMOVED, AND THE CONSTRUCTION OF ANY PERMANENT PIPES.
- 12) INSTALL CONSTRUCT INFILTRATION TRENCH, ONCE THE MEDIA IS IN PLACE FOR THE INFILTRATION TRENCH, THE INFILTRATION TRENCH MUST BE PROTECTED FROM CONTAMINATION UNTIL ALL SURROUNDING AREAS ARE STABILIZED WITH GRASS.
- 13) OBTAIN WRITTEN APPROVAL FROM DCPS INSPECTOR, PRIOR TO THE REMOVAL OF ANY AND ALL REMAINING SEDIMENT CONTROL DEVICES.
- 14) SUBMIT AS-BUILT OF INFILTRATION STRUCTURE.

VICINITY MAP



THREE-STRAND WIRE TREE PROTECTION DEVICE



LEGEND

EXISTING FEATURES

- EX. OVERHEAD UTILITY WITH POLE
- EX. TPO AND TPO-ROOT CONTACT
- EX. CHAIN LINK OR WIRE FENCE
- EX. MOIST FENCE LOCATIONS
- EX. FENCE TEST LOCATIONS

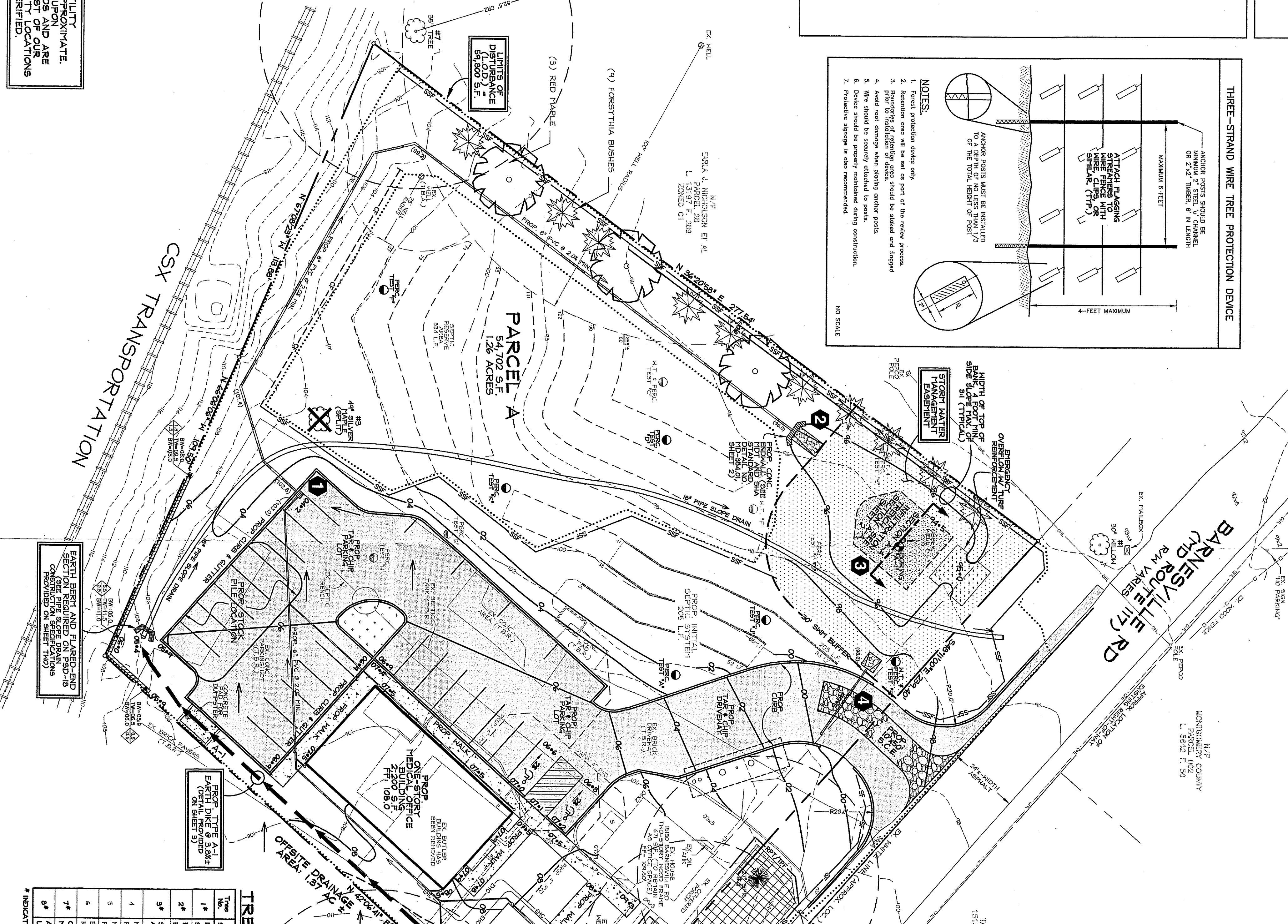
PROPOSED FEATURES (GEN'L)

- PROP. STABILIZED CONSTRUCTION ENTRANCE (S.C.E.)
- PROP. SPOT GRASSING AND TREE PROTECTION FENCE
- PROP. SALT FENCE, ROOT PRUNING AND TREE PROTECTION FENCE
- PROP. SALT FENCE
- PROP. ROOT ABANDONMENT MATTING

PROPOSED FEATURES (S.C.E.)

- PROP. STABILIZED CONSTRUCTION ENTRANCE (S.C.E.)
- PROP. SPOT GRASSING AND TREE PROTECTION FENCE
- PROP. SALT FENCE, ROOT PRUNING AND TREE PROTECTION FENCE
- PROP. SALT FENCE
- PROP. ROOT ABANDONMENT MATTING

NOTE: EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THESE ARE BASED UPON THE BEST AVAILABLE INFORMATION. ALL UTILITY LOCATIONS MUST BE FIELD VERIFIED.



Type	Species	DBH (inches)	Condition	Comments	Additional Comments
1*	ASHBURNING MULDIN	30	POOR	DEAD	REMOVE
2*	FRAX	30	FAIR	TO BE REMOVED	
3*	SILVER MAPLE	48	POOR	TO BE REMOVED	
4	NORWAY SPRUCE	27	FAIR	TO BE REMOVED	
5	FRAX	35	FAIR	TO BE REMOVED	
6	BLACK LOCUST	38	POOR	REMOVE	
7*	COCKERBERRY	35	FAIR	REMOVE	
8*	AMERICAN BIRCH	32	FAIR	REMOVE	
9*	INDICATOR SPECIES TREES	N/A	N/A	N/A	N/A

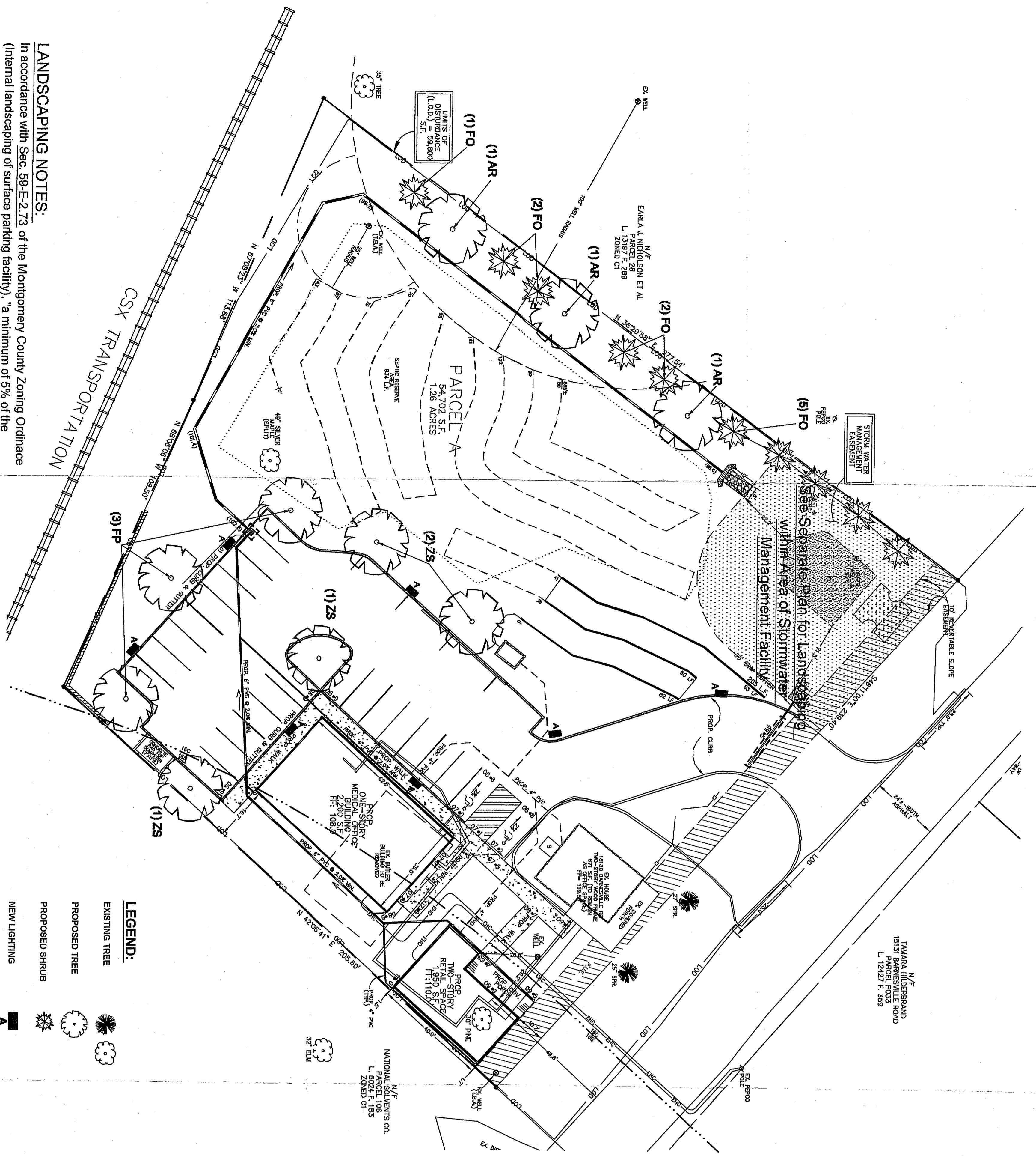
THIS PLAN FOR TREE SAVE MEASURES ONLY!

OWNER/APPLICANT: BOYDS FARM ESTATES
ARCHITECT: THOMAS J. TALAVALLI
15130 BARNESVILLE ROAD
PARCEL A
BOYDS FARM ESTATES
TREE SAVE PLAN

ENGINEERING: CAS ENGINEERING
CIVIL • SURVEYING • LAND PLANNING
A DIVISION OF CAS ENTERPRISES, INC.
108 West Ridgeville Boulevard, Suite 101, Mount Airy, Maryland 21771
DC Metro (301) 607-8031 FAX (301) 607-8045

LIBER 6259, FOLIO 233
BOYDS FARM ESTATES
BARNESVILLE (11TH) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND
TREE SAVE PLAN

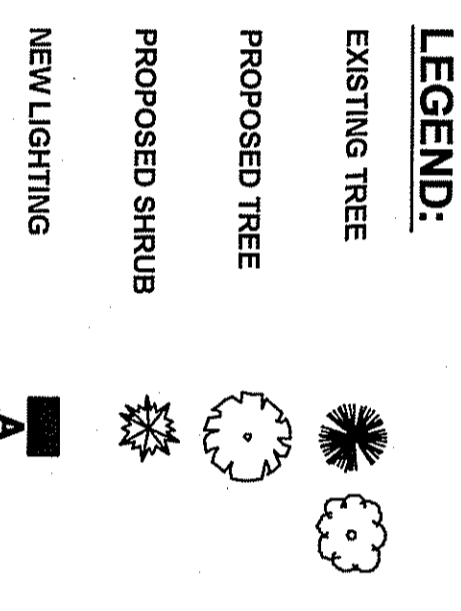
DATE: 06/22/08 BY: JMO REVISION: SUBMITTAL TO HISTORIC PRESERVATION COMMISSION
PROJECT: 04-091 DATE: 05/2008
ILLUSTRATION: JMO ENGINEERING: JWW
SCALE: 1" = 20' APPROVAL: CAS



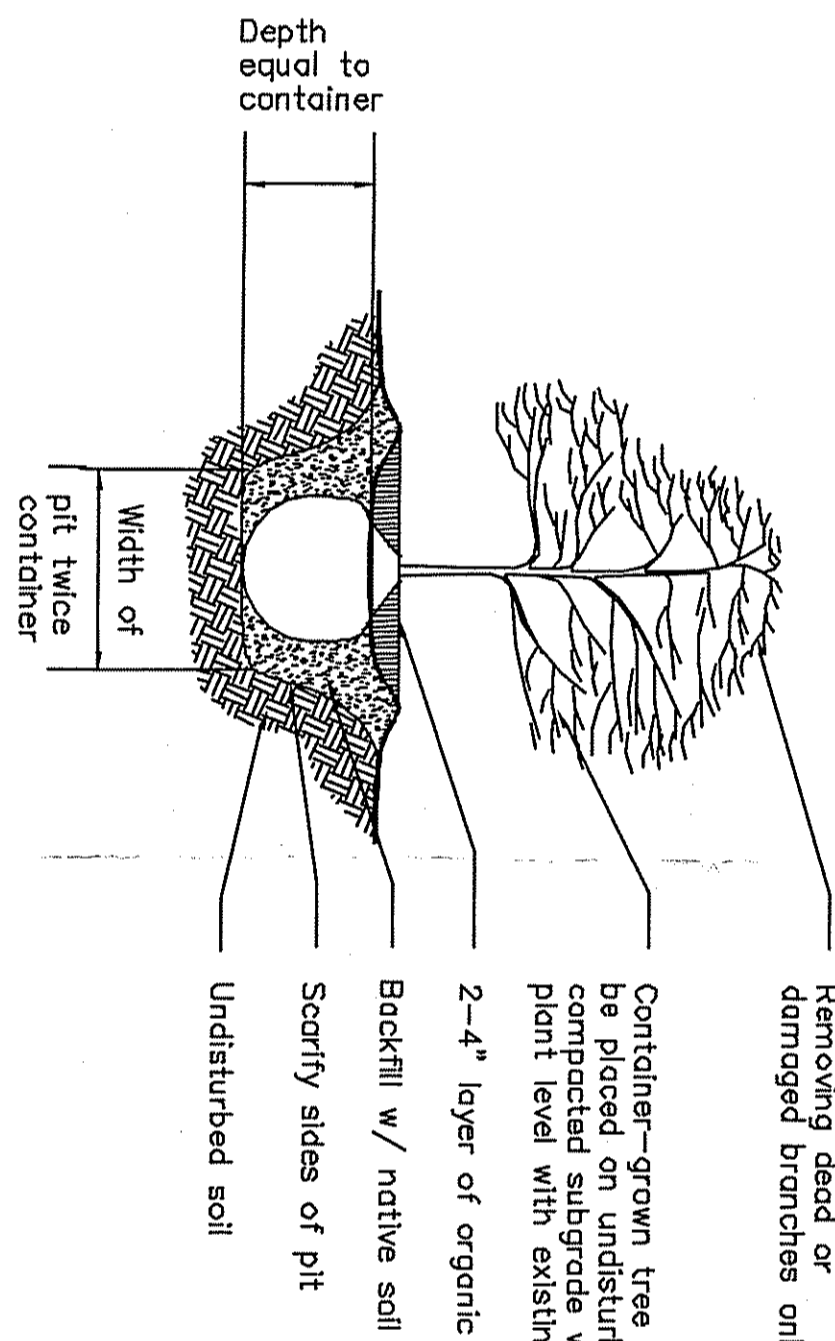
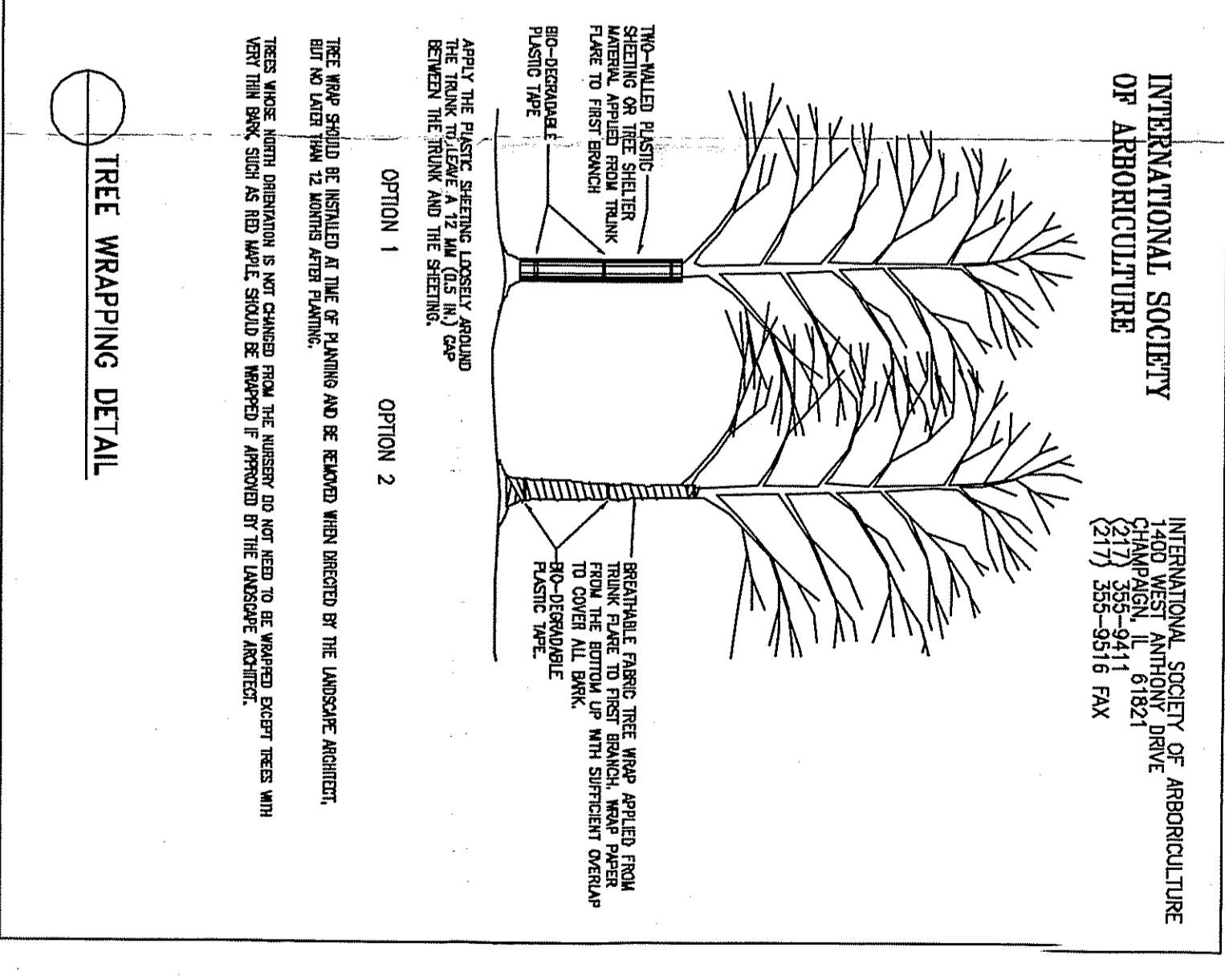
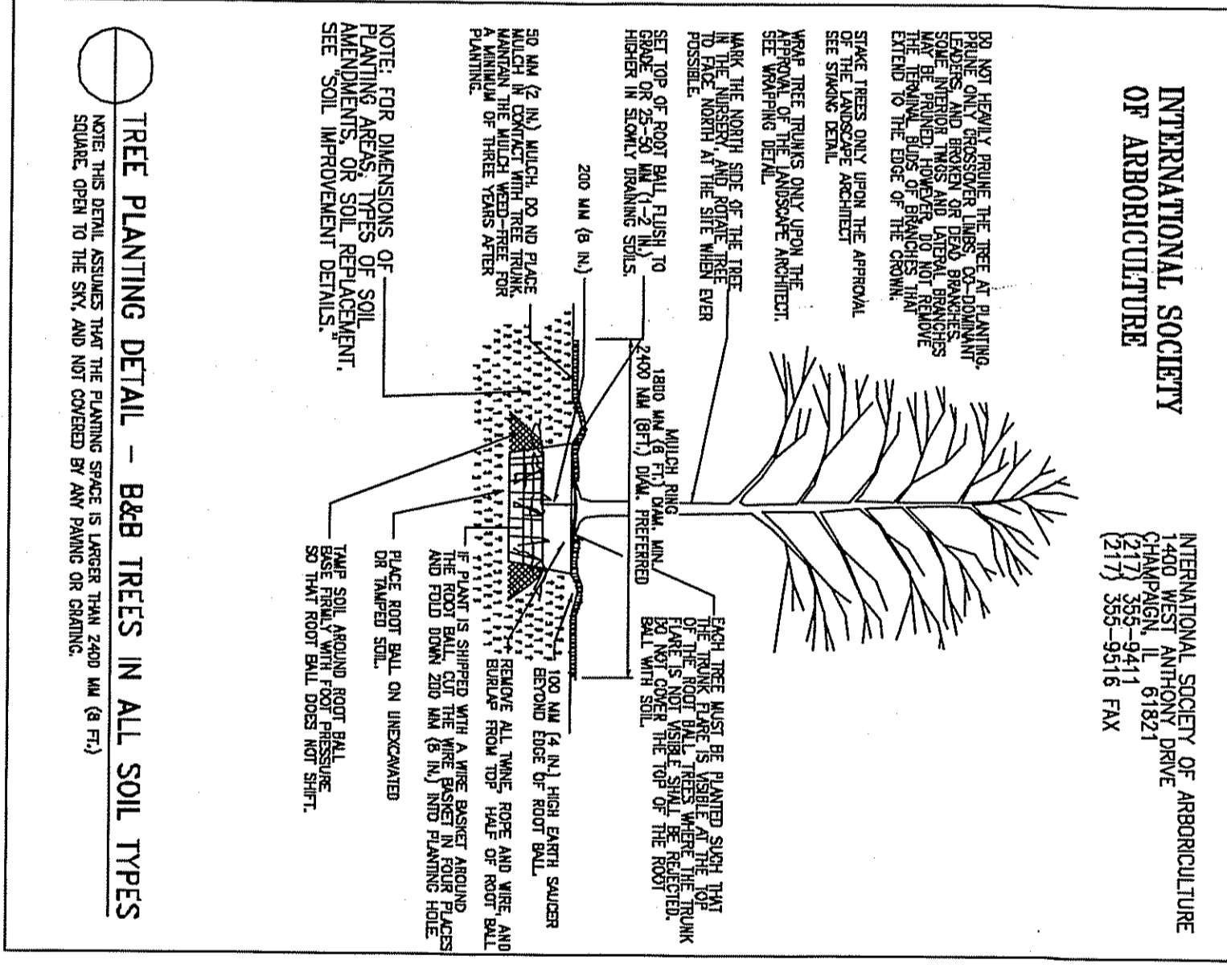
LANDSCAPING NOTES:
 In accordance with Sec. 59-E-2.73 of the Montgomery County Zoning Ordinance (Internal landscaping of surface parking facility), "a minimum of 5% of the internal area of a surface parking facility shall be landscaped with shade trees."
 Area of surface parking facility - 8,960 sq. ft.
 Area of green space within parking facility -
 (Corners & Islands) - 748 sq. ft. or 8.3%
 In accordance with Sec. 59-E-2.72 of the Montgomery County Zoning Ordinance (Perimeter landscape area adjoining property other than street right-of-way), landscaped areas shall be provided along the perimeter of a parking facility. These areas shall contain "one shade tree for every 40 feet of lot perimeter". Length of lot perimeter adjacent to parking facility - 142 feet
 Number of trees required @ 1 tree per 40 feet - 3.55
 Total trees provided - 4

PLANT SCHEDULE - RECOMMENDED SPECIES LIST

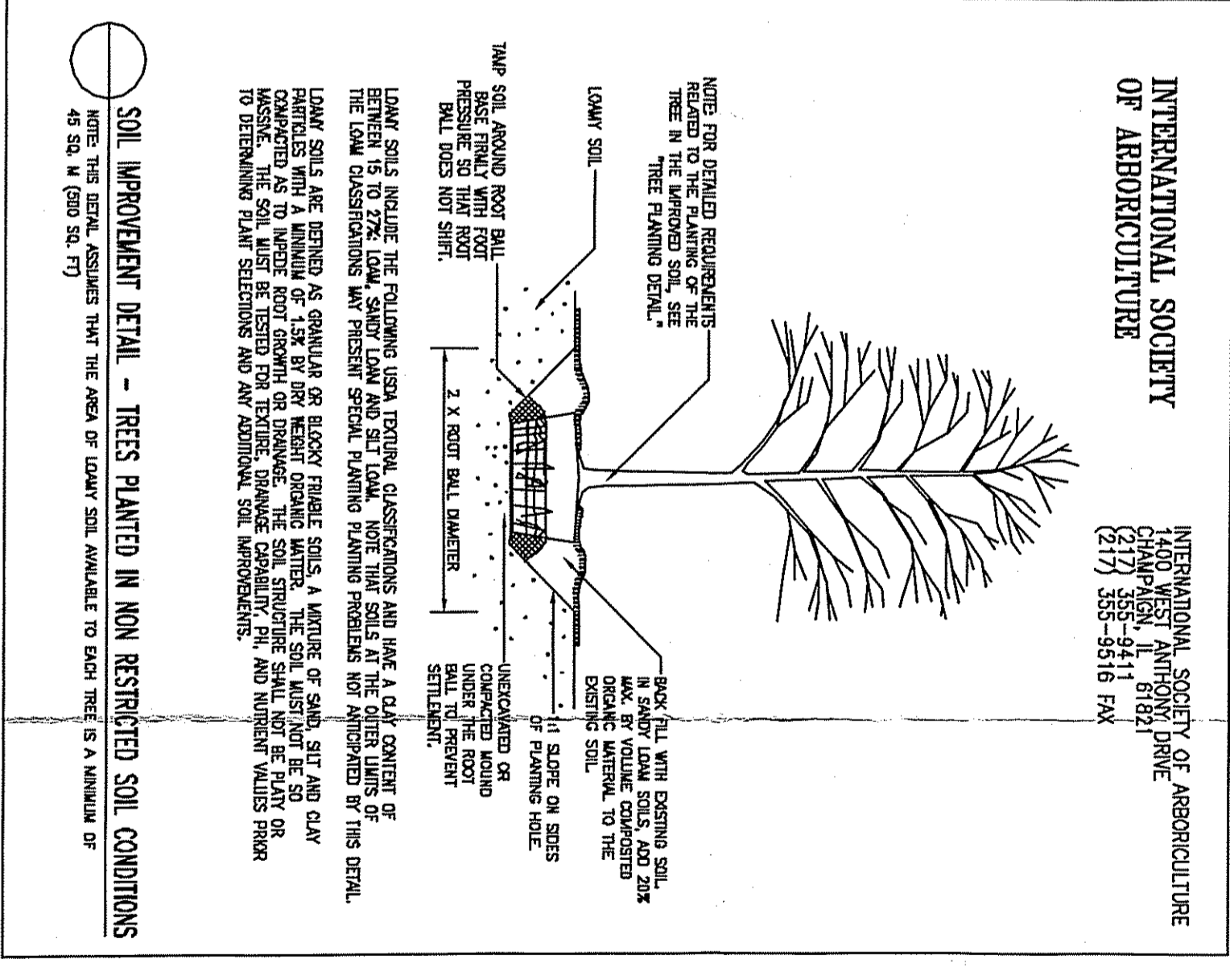
KEY	QUANTITY	SIZE	SCIENTIFIC NAME	COMMON NAME	SPACING	COMMENTS
AR	3	3/4" - 1" CD	Aster rubrum	Royal Wreath Aster	AS SHOWN	ES-3
FP	3	3/4" - 1" CD	Fragaria virginiana	Green Ash	ES-3	ES-3
ZS	4	3/4" - 1" CD	Zelkova serrata	Laguncularia	ES SHOWN	ES-3
FO	10	2" - 3"	Forsythia intermedia	Forsythia	AS SHOWN	ES-3



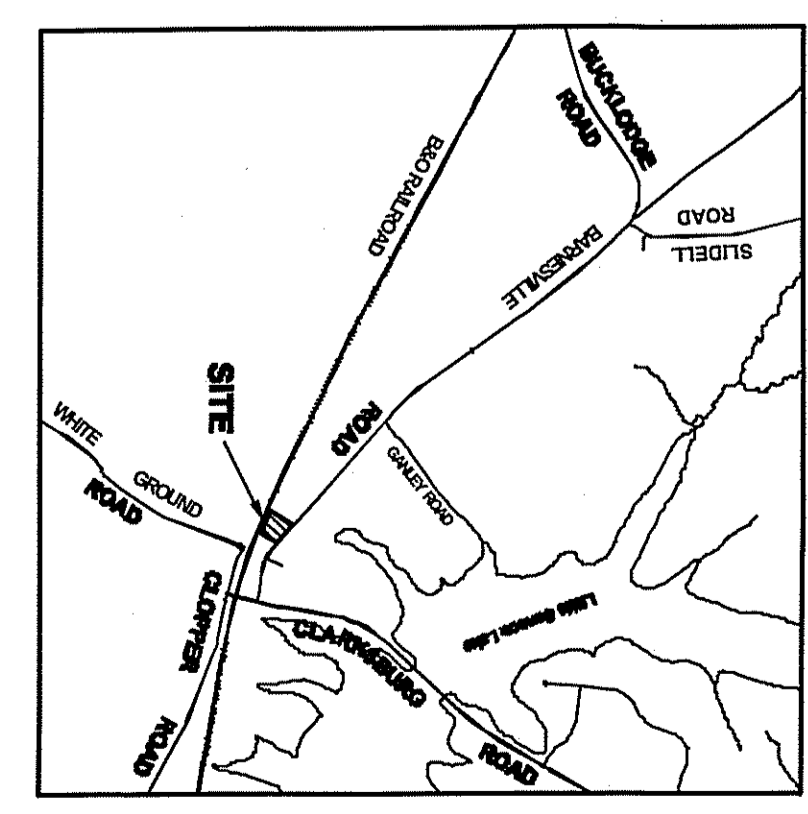
- GENERAL PLANTING NOTES:**
- Prior to any planting on the site, a pre-planting meeting with the M-NCP & FC Inspector must be arranged.
 - The contractor shall locate and verify the existence of all utilities prior to any excavation work.
 - The contractor shall supply all plant materials in quantities equal to that shown on plan.
 - All plant material shall conform to the guidelines established in the current American Standard for Nursery Stock as published by the American Nursery and Landscape Association.
 - All plants shall bear the same relationship to finished grade as the plant's original grade.
 - All plants shall be balled & burlapped or container grown as specified. Container grown stock that is root bound will not be acceptable.
 - With container grown stock, the container shall be removed and the ball shall be cut through the surface in two vertical locations.
 - All plants shall be sprayed with an antidesiccant within 24 hours after planting.
 - All plants shall be installed as per details.
 - All plants and stakes shall be set plum unless otherwise specified.
 - The landscape contractor shall provide loam fill as needed.
 - All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered weekly or more often, if necessary, during the first growing season.
 - Landscaping including on-site forest mitigation within the stream buffer, to be installed and approved prior to occupancy and use of the facility.
- PLANTING NOTES:**
- Prior to planting, inspect planting stock. Plants not conforming to the American Standard for Nursery Stock specifications for size, form, vigor or roots, or due to trunk wounds, insects and disease should be replaced.
 - Plants planted should be mulched after planting unless tree shelters are provided.
 - Water heavily to fill any air pockets in soil.



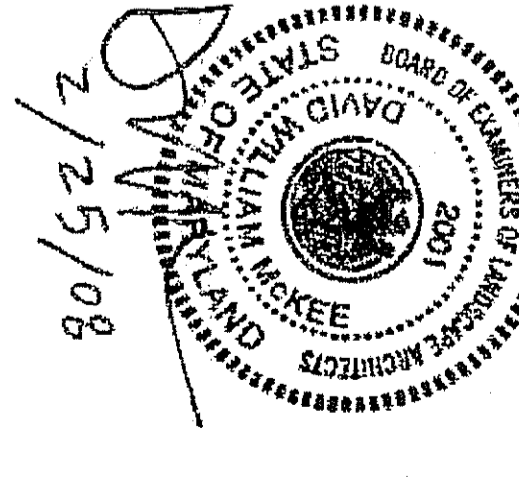
PLANTING DETAIL - SHRUB
 Container Grown



APPROVED
 Montgomery County
 Historic Preservation Commission
 Hannah J. Wilson 4/18/18



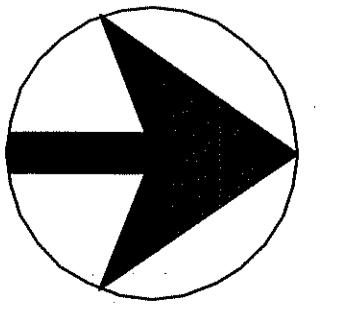
PREPARED FOR:
WILLIAM R. DZYAK, D.D.S., P.C.
 CO. SCARING ENGLE LLC
 10605 CONCORD STREET SUITE 200
 KENNESAW, MD 20885
 301-540-6103



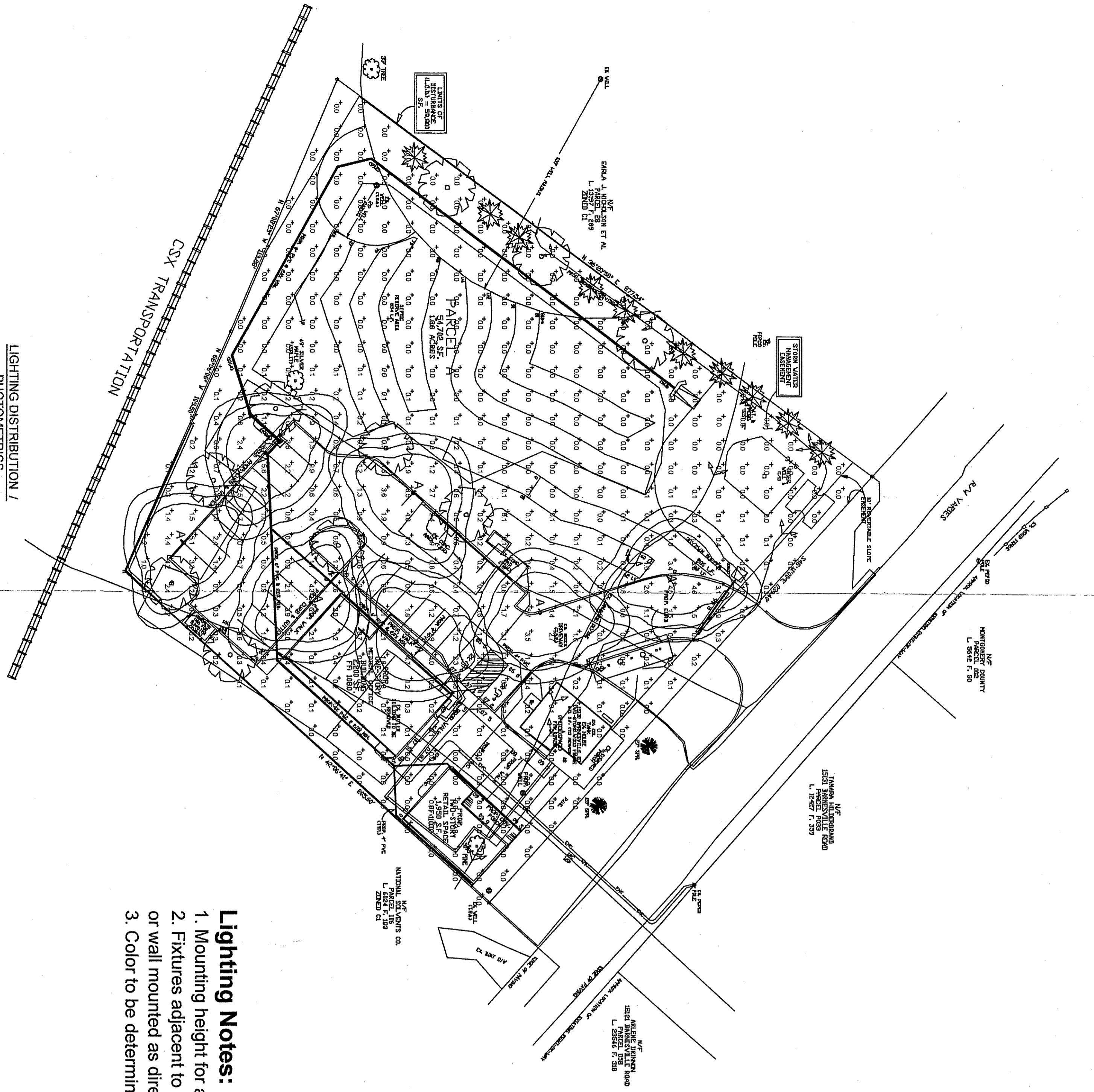
LANDSCAPE & LIGHTING PLAN
BOYDS FARM ESTATES
 (Parcel A; L. 6259 F. 233)
 Montgomery County, Maryland

B&A
 Benning & Associates, Inc.
 Land Planning & Consulting
 8928
 Lady Grove Court
 Gaithersburg, MD 20877
 (301)944-0240

date: 02/18/08
 scale: 1" = 20'



Sheet 1 of 2
 Rescaled



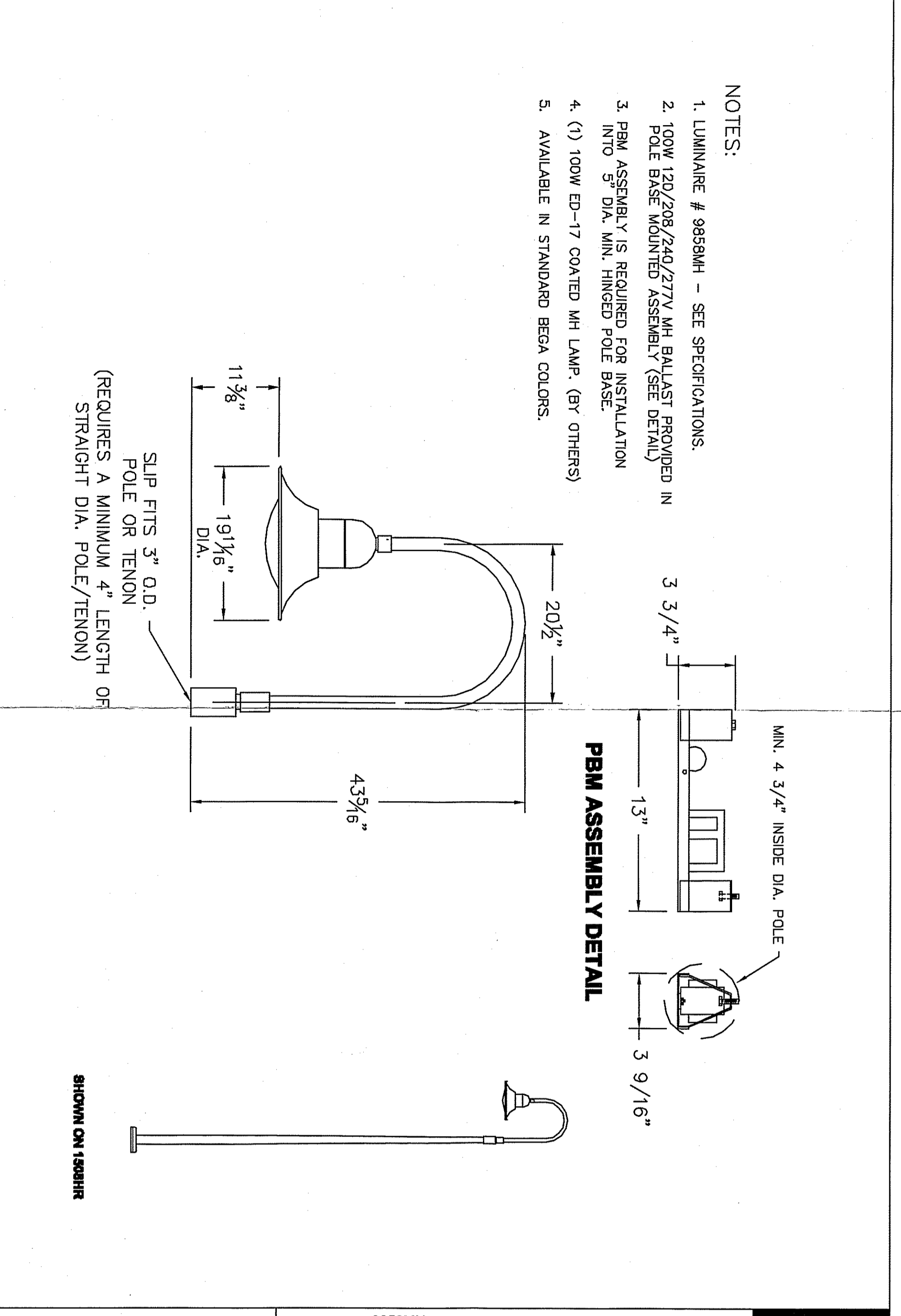
- Lighting Notes:**
1. Mounting height for all fixtures is 12'.
 2. Fixtures adjacent to building (2) can be pole mounted or wall mounted as directed by architect or owner.
 3. Color to be determined by architect and/or owner.

LUMINAIRE SCHEDULE

Symbol	Level	Qty	Quantity Number	Description	Lamp	Fix	Mounting	LTZ	HAZ
⊙	A	7	9858MH	POLE TOP LUMINAIRE ASYMMETRICAL, 100W ED-17 MH	9858MH	800	0/2	100	

STATISTICS

Description	Symbol	Qty	Avg	Max	Min	Max/Min	Avg/Min
02/25/08	+	138	8.88	0.28	231	51	



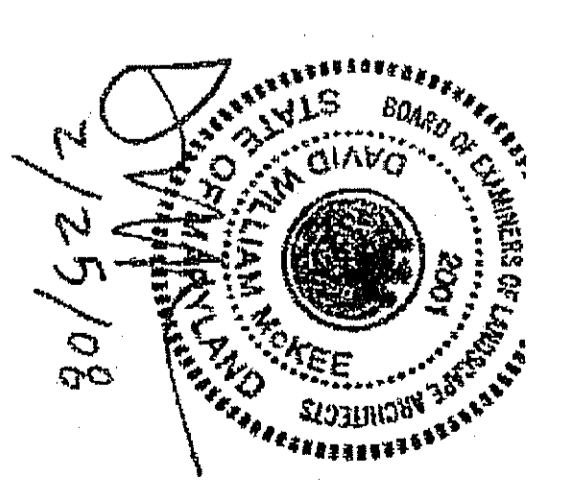
- NOTES:**
1. LUMINAIRE # 9858MH - SEE SPECIFICATIONS.
 2. 100W ED-17 COATED MH BALLAST PROVIDED IN POLE BASE MOUNTED ASSEMBLY (SEE DETAIL).
 3. PBM ASSEMBLY IS REQUIRED FOR INSTALLATION INTO 3" DIA. MIN. HINGED POLE BASE.
 4. (1) 100W ED-17 COATED MH LAMP. (BY OTHERS)
 5. AVAILABLE IN STANDARD BEGA COLORS.

This print contains confidential information which is the property of BEGA/US. By accepting this information, the borrower agrees that it will not be used for any other purpose other than that which is was loaned.

Catalog No.: 9858MH
 Description: POLE TOP - ASYMMETRICAL
 Drawn by: DEM Date: 8/31/05 File Name: 9858MH
 SCALE: NONE - DO NOT SCALE DRAWING

BEGA
 1000 Bega Way
 Carpinteria, Ca. 93013
 (805) 684-0533

APPROVED
 Historic Preservation Commission
 Montgomery County
 2/25/08



LANDSCAPE & LIGHTING PLAN
BOYDS FARM ESTATES
 (Parcel A; L. 6259 F. 233)
Montgomery County, Maryland

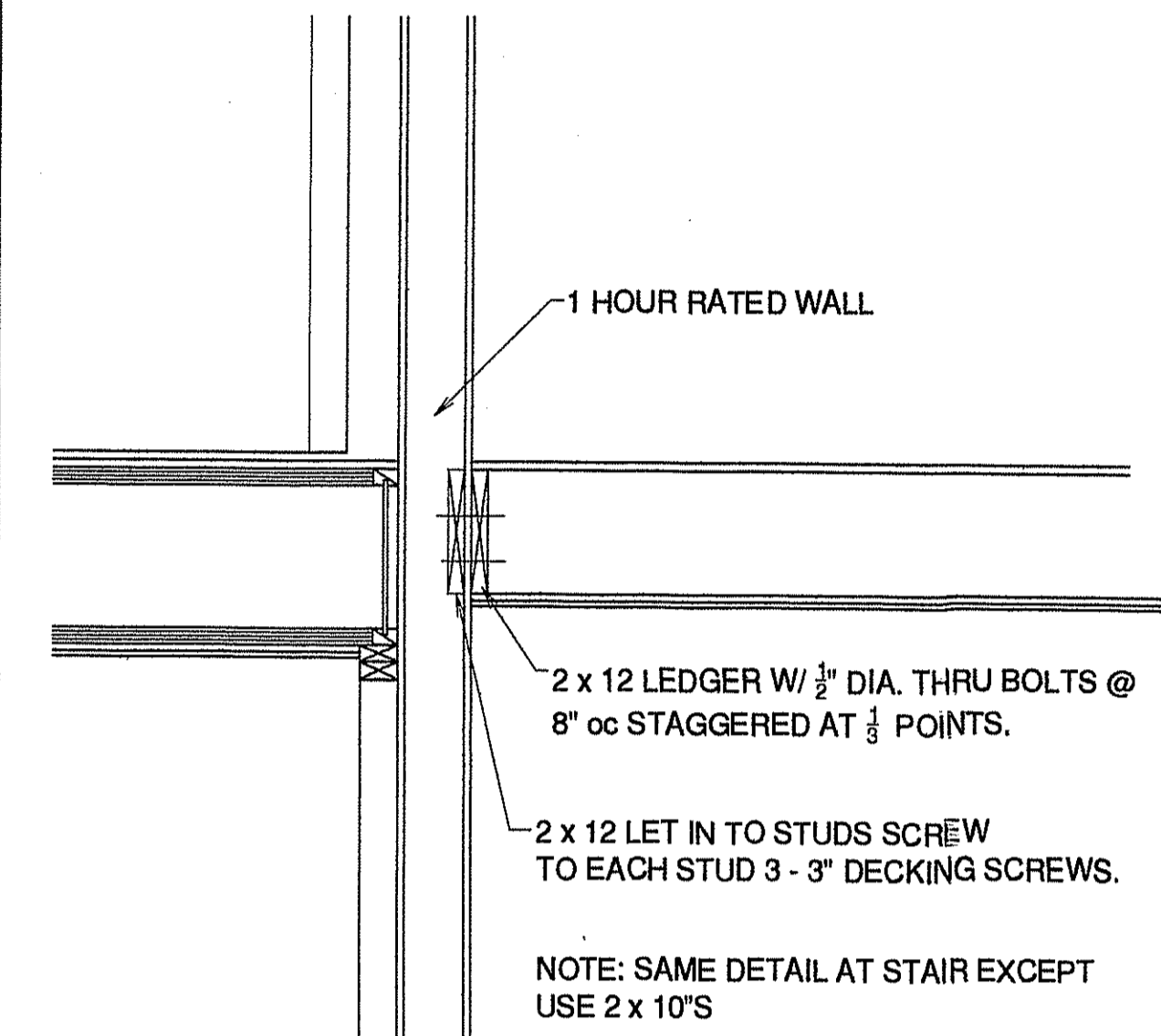
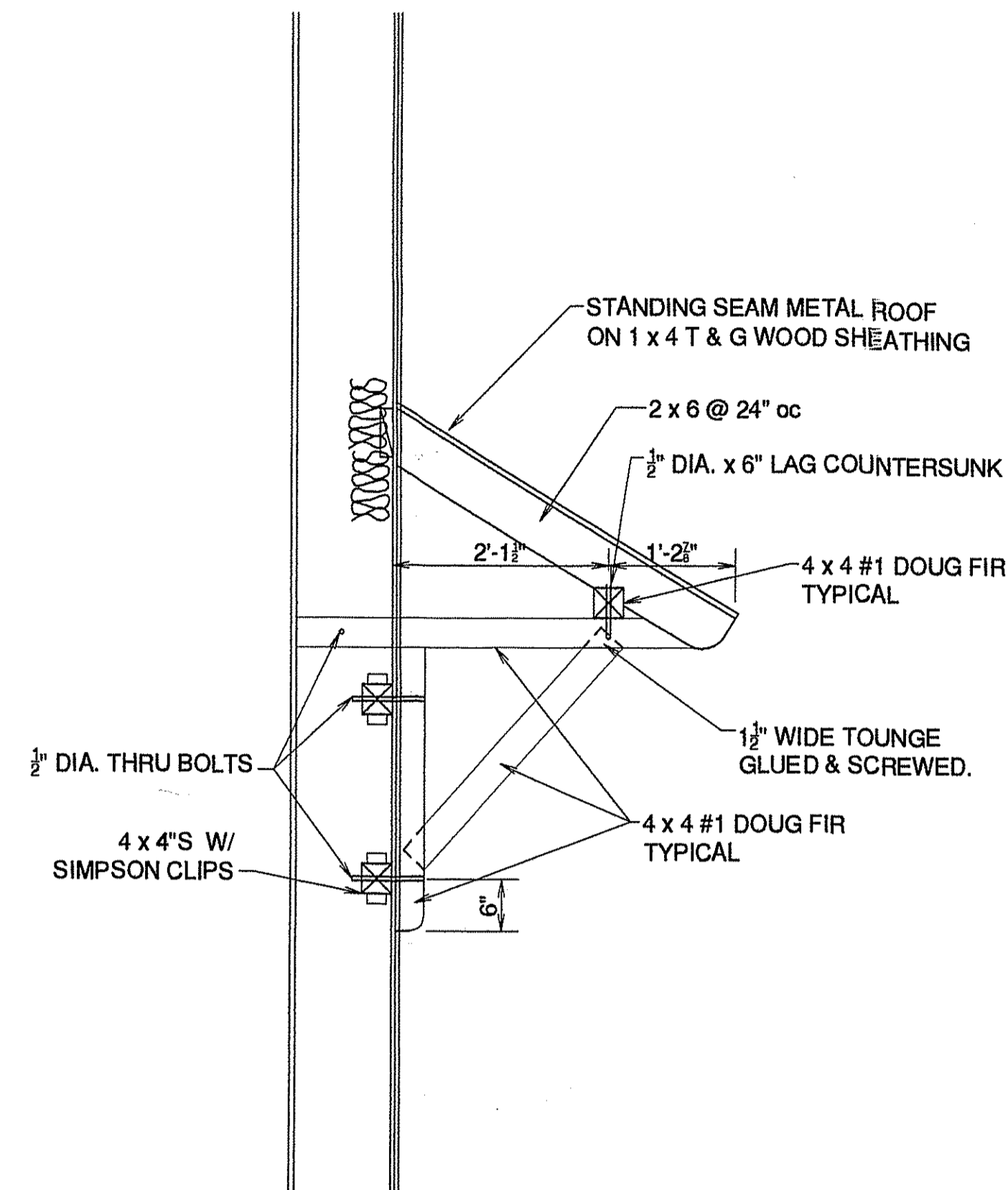
B&A
 Benning & Associates, Inc.
 Land Planning Consultants
 8933 Shady Grove Court
 Gaithersburg, MD 20877
 (301)948-0240

date: 02/18/08
 scale:

Sheet 2 of 2
 Revisions

ELEVATION NOTES:

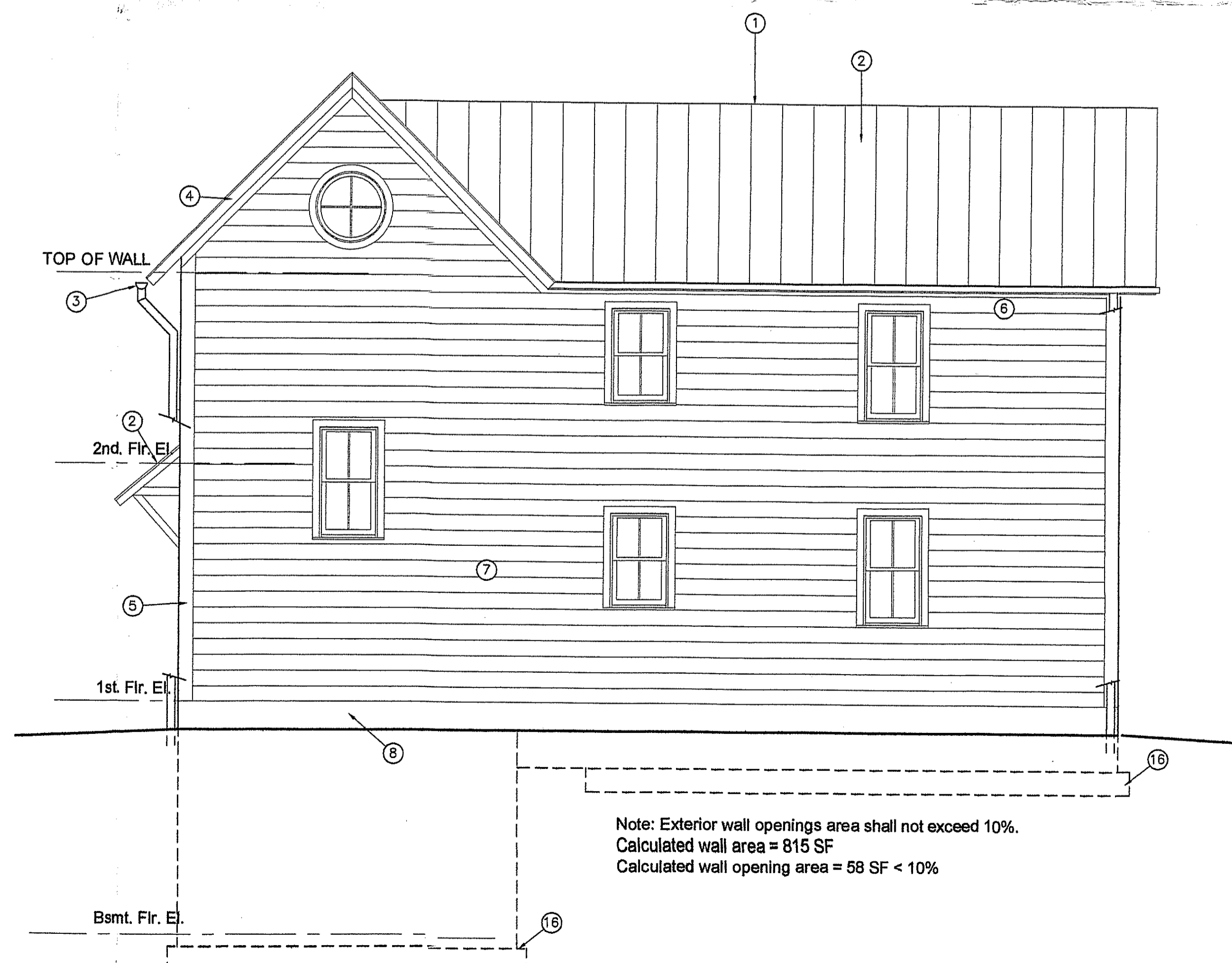
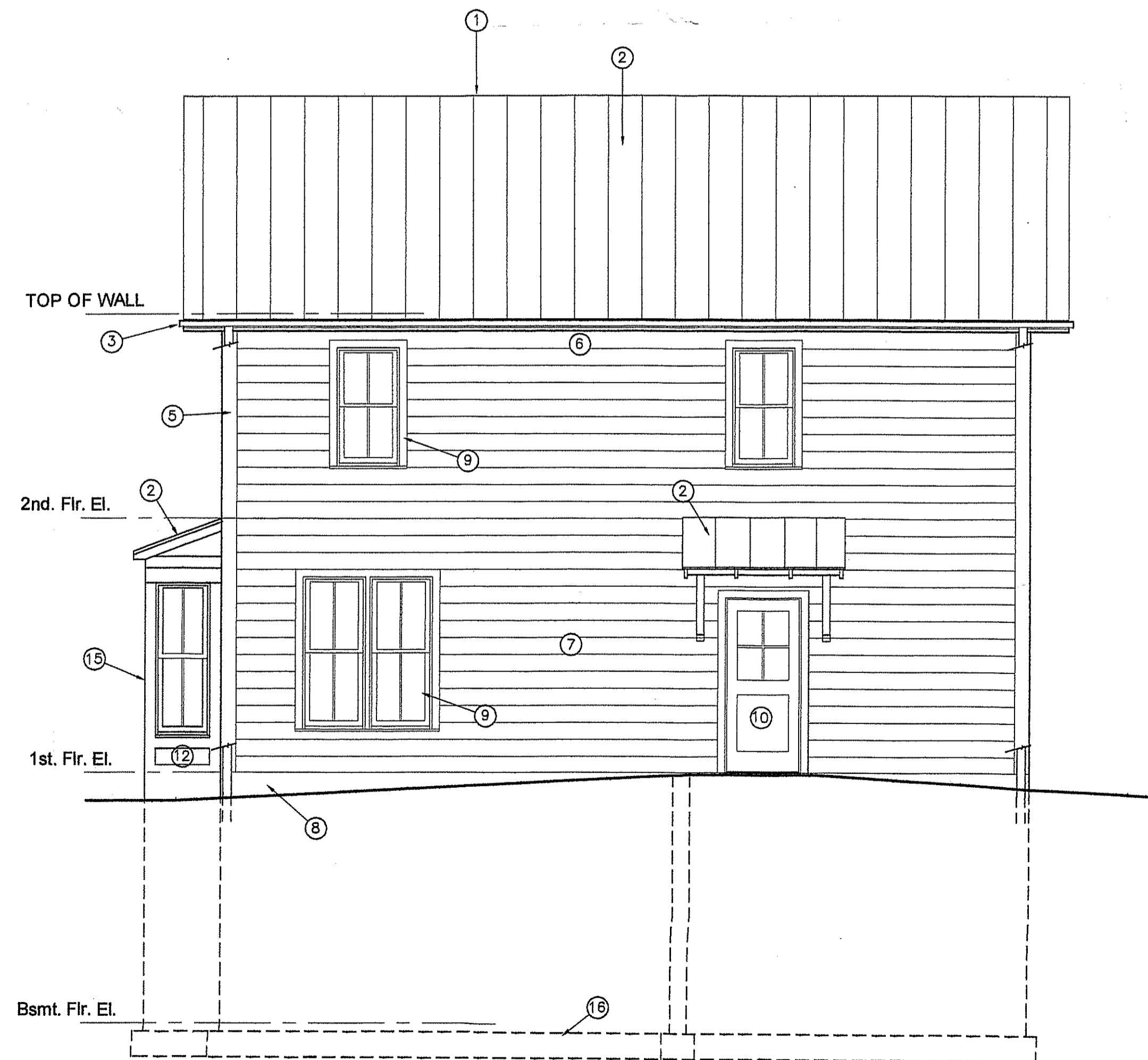
- ① CONTINUOUS METAL RIDGE VENT.
- ② PREFINISHED STANDING SEAM METAL ROOFING, SUBMIT PRODUCT DATA TO ARCHITECT FOR REVIEW AND APPROVAL. INSTALL NO. 20 SNOWGUARDS, INSTALL 3 ROWS @ 24" oc, FIRST ROW OVER TOP OF EXTERIOR WALL, STAGGERED..
- ③ INSTALL 22 GAGE 6" HALF ROUND GALVANIZED STEEL GUTTERS AND 26 GAGE 4" DOWNSPOUTS. TIE EACH DOWNSPOUT INTO UNDERGROUND STORM PIPING. SEE SITE PLANS FOR LOCATIONS AND DETAIL.
- ④ 2 x 6 CLEAR RAKE BOARD PAINTED, PROVIDE RADIUS END.
- ⑤ 5/4 x 6 WOOD CORNER BOARDS - PAINTED. TYPICAL
- ⑥ PROVIDE 1" Ø CIRCULAR VENTS AT FRIEZE BOARD BETWEEN EACH RAFTER BAY, EXCEPT AT 2 HOUR RATED WALL..
- ⑦ NEW HARDIBOARD SIDING, SELECT CEDAR MILL, PREFINISHED INSTALL WITH 7" EXPOSURE.
- ⑧ PARGED CONCRETE FOUNDATION WALL.
- ⑨ WOOD WINDOWS WITH APPLIED 5/4 X 4 WOOD WINDOW CASING & SILL, PAINT. PROVIDE METAL HEAD FLASHING TYPICAL. SEE WINDOW SCHEDULE.
- ⑩ NEW SOLID WOOD PANEL DOORS AND GLASS TRANSOM ABOVE. TRANSOM TO HAVE INSULATED GLASS PANELS. WOOD TRIM TO MATCH WINDOWS. DOOR HARDWARE SHALL BE SELECTED BY ARCHITECT AND INSTALLED BY CONTRACTOR.
- ⑪ WOOD CROWN CAPPED WITH METAL.
- ⑫ 3/4" MDO PLYWOOD PANEL
- ⑬ 5/4 x 10 WOOD TRIM
- ⑭ 6 x 6 PRESSURE TREATED WOOD POST, TRIM OUT IN 1 x 8 WOOD, PAINT.
- ⑮ BOXED BAY WINDOW, TRIM OUT IN 1 x WOOD TRIM, PAINT.
- ⑯ LINE OF CONCRETE FOUNDATION AND FOOTINGS.
- ⑰ PAINTED LETTERING ON MDO PLYWOOD TRIM
- ⑱ DECORATIVE WOOD SHUTTERS & LOUVERS TO SIMULATE WINDOW OPENINGS NOT ALLOWED IN RATED WALL.



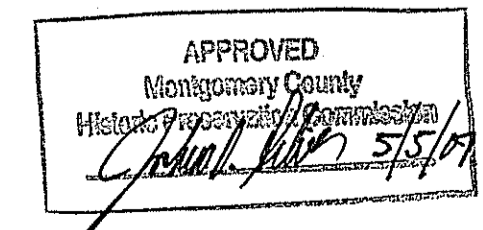
ELEVATION NOTES
NO SCALE

SECTION @ SIDE ENTRANCE ROOF
3/4" = 1'-0"

SECTION @ EXIT STAIR LEDGER
3/4" = 1'-0"



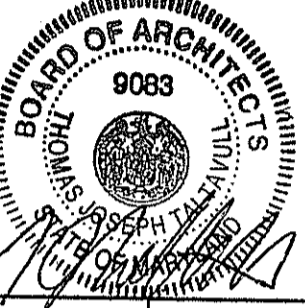
Note: Exterior wall openings area shall not exceed 10%.
Calculated wall area = 815 SF
Calculated wall opening area = 58 SF < 10%



THOMAS J. TALTAVULL
ARCHITECT
2080 PLUM CREEK COURT
GAITHERSBURG, MARYLAND 20882
301.840.1847

Professional Certification.
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2010

Professional Seal



Revisions
Revised 8-8-08 Permit comments
Drawing Title

Date: June 23, 2008

PROPOSED BUILDING NO. 1 FOR:
DR. WILLIAM R. DZYAK
15134 BARNESVILLE ROAD
BARNESVILLE, MARYLAND

Drawing Number

A2.1

SOUTH ELEVATION
1/4" = 1'-0"

EAST ELEVATION
1/4" = 1'-0"

2

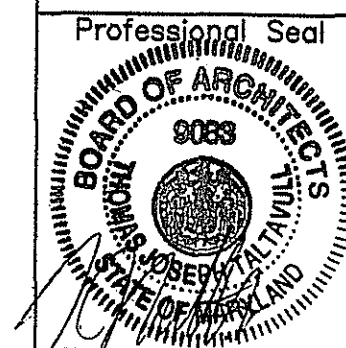
ELEVATION NOTES:

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- ② PREFINISHED STANDING STEAM METAL ROOFING. SUBMIT PRODUCT DATA TO ARCHITECT FOR REVIEW AND APPROVAL. INSTALL NO. 20 SNOWGUARDS, INSTALL 3 ROWS @ 24" oc, FIRST ROW OVER TOP OF EXTERIOR WALL, STAGGERED..
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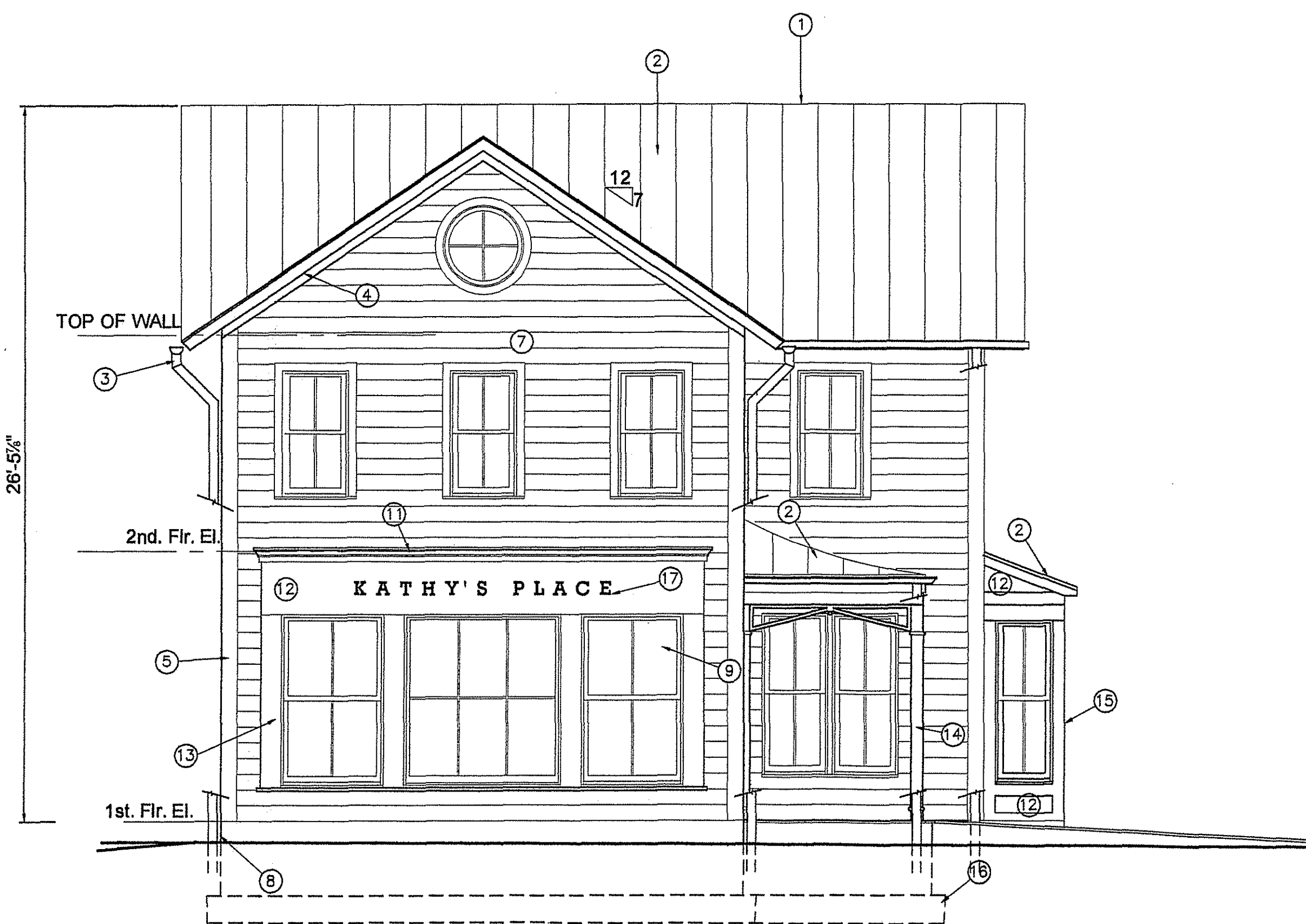
THOMAS J. TALTAVALLL
ARCHITECT
2030 PLUM CREEK COURT
GATHERSBURG, MARYLAND 20882
301.840.1847

Professional Certification.
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2010



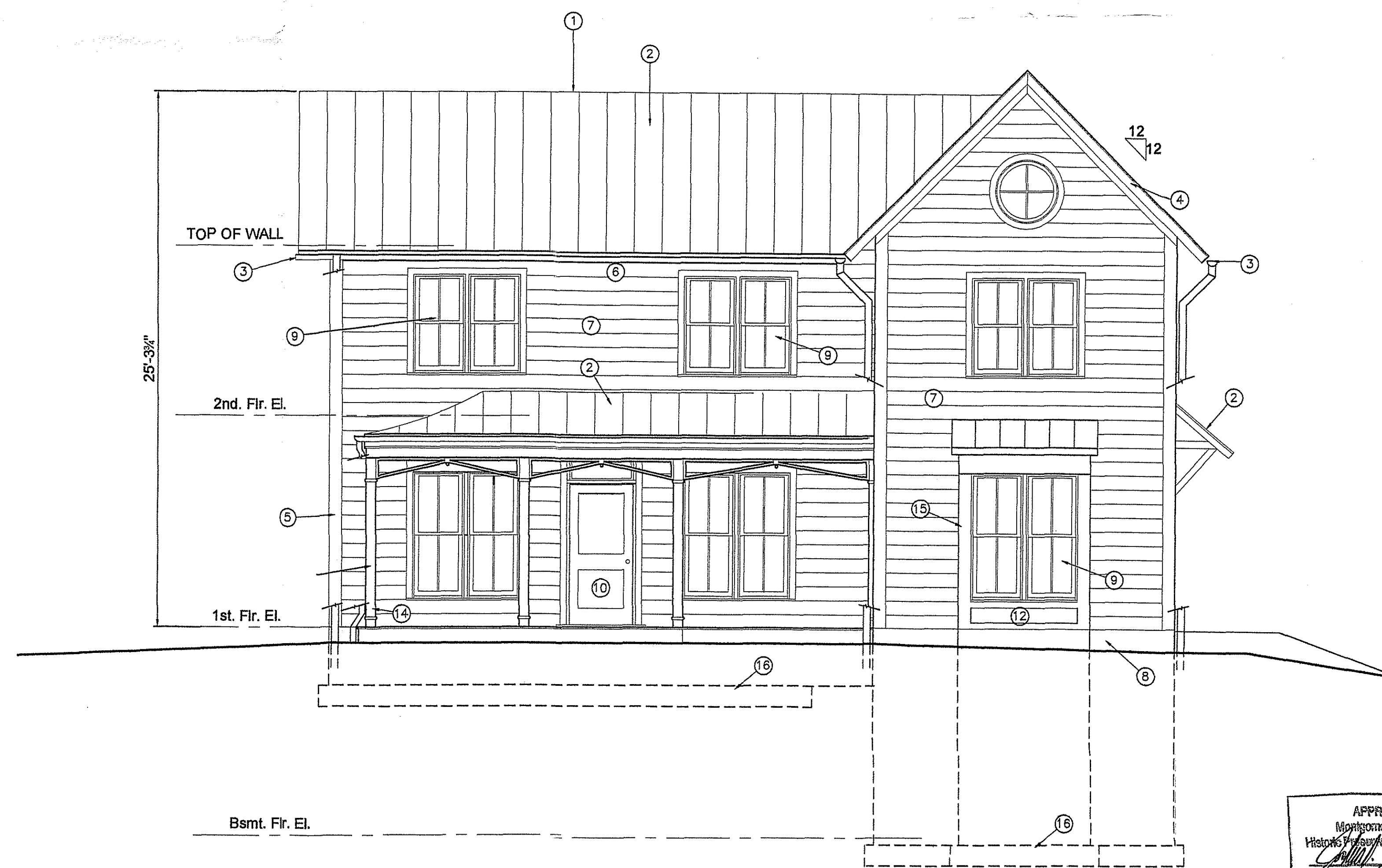
ELEVATION NOTES

NO SCALE



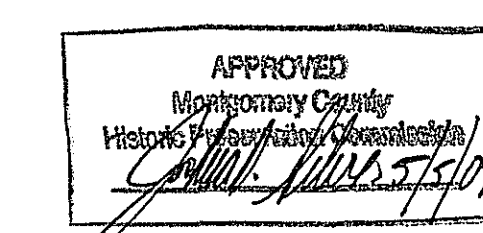
NORTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



Revisions
Revised 8-8-08 Permit comments

Drawing Title

ELEVATIONS

Date: June 23, 2008

PROPOSED BUILDING NO. 1 FOR:
DR. WILLIAM R. DZYAK
15134 BARNESVILLE ROAD
BARNESVILLE, MARYLAND

Drawing Number

A2.0

1 125
2 THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

3	----- X	:	
4	HISTORIC AREA WORK PERMIT -	:	HPC Case No.
	7113 Holly Avenue	:	
5	----- X	:	
6	PRELIMINARY CONSULTATION -	:	
7	57 Walnut, Takoma Park	:	
8	----- X	:	
9	PRELIMINARY CONSULTATION -	:	
	2805 Beechbank Avenue	:	
10	----- X	:	
11	SUBDIVISION -	:	
12	15130 & 15134 Barnesville Road:	:	
13	----- X	:	

14 A meeting in the above-entitled matter was held on
15 October 11, 2006, commencing at 7:41 p.m., in the MRO
16 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
17 20910, before:
18

19 COMMISSION CHAIRMAN

20 Julia O'Malley

21 COMMISSION MEMBERS

22 Timothy Duffy
23 Warren Fleming
24 Caroline Alderson
25 Tom Jester

ALSO PRESENT:

Tania Tully, Staff
Michele Oaks, Staff
Gwen Wright, Staff
Anne Fothergill, Staff

APPEARANCES

STATEMENT OF:

PAGE

Greg Bordinowski	6
Margo Kabel	12
Maggie Little	18
Juan Castro	38
Daniel Monias	55
Scott Elm	55
David Tom	55
Curt Schrepner	72
Tom Tultavull	72
Bill Dyzak	72

1 and that's what makes it really tuck here. And the others
2 in the district that while it does have some two story
3 buildings it's still a modest residential scale.

4 MR. JESTER: I would strongly recommend a story
5 preliminary. I don't know how other Commissioners feel. I
6 just think given the comments you've heard tonight I think
7 it would be wise to submit again before actually submitting
8 the application.

9 MS. O'MALLEY: A different design altogether. Mr.
10 Fleming, do you want to make any comments?

11 MR. FLEMING: No comment.

12 MS. O'MALLEY: Do we have any other specific
13 suggestions?

14 MR. MONIAS: Thank you very much.

15 MS. O'MALLEY: Thank you. Look forward to seeing
16 you again.

17 MR. MONIAS: Thank you.

18 MS. O'MALLEY: The next item on the agenda is 4-A.
19 4-A is historic district 18-A.

20 MS. OAKS: The subject property is a contributing
21 resource within the Boyd's Master Plan Historic District.
22 The applicant is proposing to construct two buildings on the
23 subject lot to develop the existing site.

24 The current blocks are parcel 55 and parcel 107
25 and identified on circle 2 the explanation of both the lots.

1 The site currently contains a two-story frame house which
2 has been identified as a contributing resource. And that is
3 located on parcel 107. It's currently zoned commercial and
4 I believe currently occupied. The existing house is sited
5 approximately 29 feet from the existing edge of Barnesville
6 Road. The parcel 107 is where the two buildings are going
7 to be residing. The applicant is proposing a new two story
8 2,000 square foot retail space. It's going to be sited at
9 the 10 foot ERL. They're also proposing a new single-story
10 2200 square foot office building and that will be
11 approximately 70 feet from the property line and behind the
12 new two-story retail space.

13 They're also proposing a new asphalt driveway
14 parking lot for the new development and drilling a new well
15 in the front of the property and the removal of at least two
16 trees on the subject property. There also will be two
17 septic fields on parcel 55 and a new storm water management
18 system.

19 Because this is the Boyds Master Plan Historic
20 District you will be looking at the project when it comes to
21 you in terms of the Secretary of Interior standards. And
22 I've attached those on circle 3. I will remind you that
23 when you're reviewing this as a subdivision proposal you are
24 sitting as a advisory capacity to the Planning Board. And
25 they're asking for feedback from you and recommendations.

1 You are not making a physical decision. This is not a vote
2 tonight. We're asking for a recommendation.

3 With that said, staff has been working with the
4 applicant for quite a while on this proposal. There's been
5 a lot of different iterations and I think that bringing the
6 building up to the BRL is maintaining the existing
7 development pattern and it's where we strongly encourage
8 them in that direction. We are very concerned about putting
9 any buildings back and having that sort of inconsistency in
10 any in fill. So we strongly support having that two-story
11 massing at the BRL and then breaking up those two massings.

12 In addition we are concerned, it's part of the
13 subdivision requirements. They are required to do a
14 definition of their right of way. And part of that is
15 typically the inclusion and the construction of a sidewalk.
16 And we are concerned that Boyds does not have sidewalks. It
17 is inconsistent with the development plan and so we feel
18 that we need to encourage the Planning Board to not support
19 that part of the application. Sidewalks are not going to be
20 continued anywhere else in Boyds. This is built. It's
21 going to look silly because it's just going to be in the
22 front of this property. So I, you know, urge you to
23 consider that in your recommendation.

24 In addition, there is they are proposing currently
25 asphalt for the surface area. We would like to see a more

1 gentler treatment, something along the line of gravel. We'd
2 like to talk to the various DPS agencies in terms of
3 commercial development, but I don't see any reason why we
4 can't do some sort of alternative. And so I'll ask again
5 that would be a recommendation on those kinds of issues.

6 With that said, the applicant and their team is
7 here this evening. And I'll run through some aerial
8 photographs to kind of orient you to the site. And I'll be
9 happy to entertain questions. Again, this is the subject
10 site you see currently is very developed in terms of paving
11 and it currently also has an outbuilding on the site. This
12 is the historic house that I was referring to earlier. And
13 this is the adjacent parcel where the storm water management
14 and the septic field will be located. Another view.

15 I'd like to just point out that the historic
16 district and also the other buildings and their sizes. This
17 is the market here and the large addition that has been put
18 onto that building over time. And then also the other
19 larger buildings within the district. You want me to go
20 back?

21 MS. O'MALLEY: Yeah, can we go over that again.
22 The historic house is right --

23 MS. OAKS: This is the historic house here. They
24 have an outbuilding here at the barn above the building.
25 And this is, you know, all currently paved in various paving

1 materials. They have landscaping business so it has various
2 little paving materials kind of like a showplace at one
3 time.

4 MS. ALDERSON: Can you orient us to the town and
5 the commercial area. I'm thinking, for example, the little
6 market, the antique shop. Is this right next door?

7 MS. OAKS: This is the market. This is the
8 antique shop. This is Barnesville Road. This is the
9 railroad tracks. This would be that intersection where you
10 kind of come under the bridge. And then the reservoir. And
11 this is residential.

12 MR. JESTER: Could you just generally point out
13 the second parcel, 55, which is just to the --

14 MS. OAKS: This is --

15 MR. JESTER: That's what I thought.

16 MS. OAKS: And in your packet I tried to highlight
17 that as well in the three dimensional photographs or three
18 dimensional sketches. Just kind of a closer view. The
19 slide's a little fuzzy but one trying to get closer. This
20 is the one parcel. Again -- This is directly looking down.
21 The entire parcel here and then Barnesville Road. This is
22 the core of the district or core of the commercial district.

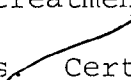
23 MS. O'MALLEY: And the property between the
24 subject property and the commercial district is just open or
25 does a house --

1 MS. OAKS: I'm sorry?

2 MS. O'MALLEY: The property between the market and
3 the proposed, just open land --

4 MS. OAKS: There's a pretty kind of steep grade in
5 between these two right now, but it's open.

6 MS. WRIGHT: The modern Boyds Post Office is at
7 the far left of the site. It's almost this entire stretch
8 of Barnesville Road on this side of the road except for one
9 or two properties is commercial in nature. It is sort of
10 downtown Boyds. And the property in question, the house has
11 been for commercial activities for a long time. It was
12 originally a house, but it has been used for commercial
13 activities for a long time. It was originally a house but
14 it has been used for commercial activities.

15 MS. ALDERSON: Having just been there two weeks
16 ago, it's very consistent with the nature of that little
17 section of Boyds. I think that your work with the applicant
18 on configuring that it can be, blend into this is terrific.
19 And specifically I think that in agreement the character of
20 this little area is that the buildings are not all lined,
21 they're not identical. There's variation and that the
22 subdivision encourages that breaking up the buildings, not
23 having them all in a row. That's a good thing and certainly
24 encouraging more world treatment of gravel or exposed
25 aggregate concrete roads.  Certainly blacktop. That's what

1 would concern me, would be blacktop. We shouldn't see any
2 black. Grey is okay. And I am in complete agreement that
3 the character of this section of being rural not suburban
4 and not village main street. That there's no place for a
5 sidewalk here. It has been noticed not to make into
6 anything. And so we strongly discourage adding a sidewalk
7 where it really doesn't belong.

8 MS. O'MALLEY: Any more questions for staff?
9 Would the applicants come up.

10 MR. SCHREPNER: Good evening. My name is Curt
11 Schrepner with Cass Engineering. We prepared the
12 preliminary subdivision plan. To my left is Dr. William
13 Dzyak, the applicant, and to my right, Tom Tultavall, the
14 architect. Let me first say that Michelle has worked
15 closely with the applicant, Tom to arrive at the current
16 plan and we thank her for that. And I think her report,
17 staff report speaks for itself. I won't bore you by
18 reiterating the points contained therein.

19 We're in agreement that the sidewalk is
20 inappropriate. I believe that requirement was made either
21 Park and Planning's transportation department I would
22 imagine or possibly State Highway. In any event, my
23 experience has been especially with the support of another
24 department or HPC in this case that the Planning Board will
25 support a waiver and State Highway is very good about

1 honoring those type of requests. I don't really see that as
2 a problem and we, you know, look forward to working with
3 Michele on the final design issues including the parking lot
4 treatment. And as she pointed out we will be coming back to
5 you for a historic area work permit at which time all those
6 details will be worked out. So, we have plans and photos
7 and we're here to answer questions if you have any at this
8 stage, but we would hope that you would follow staff's
9 recommendation and forward a letter of support to the
10 Planning Board and perhaps answer any questions you might
11 have.

12 MS. O'MALLEY: Questions?

13 MR. FLEMING: When you designed this site, did you
14 talk to the neighbors and the community to see what their
15 feeling was for what you were going to do?

16 MR. SCHREPNER: We had no meetings with the
17 neighbors. They were all notified through the subdivision
18 process and received copies of the plan and then they'll be
19 notified again prior to the Planning Board hearing. But we
20 haven't had any meetings with them. Have you had any
21 interaction with the neighbors?

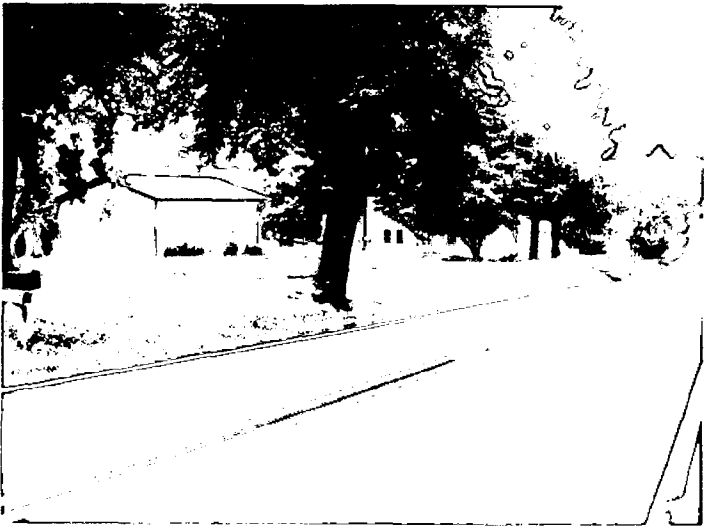
22 MR. DYZAK: Well, Mr. Fleming, I've discussed this
23 with virtually every neighbor in the community and they're
24 fully aware of our project. Frankly we know most of the
25 people in the area and have actually treated many of the



Picture 17: Picture of house and shed (commercial zoning) at 15130 Barnesville Road



Picture 18: Picture of house (commercial zoning) at 15130 Barnesville Road



Picture 19: Picture of shed (commercial zoning) at 15130 Barnesville Road



Picture 20: Picture of rear of Boyd's Antiques Station at 15114 Barnesville Road

1 people in the area. I would sense that they welcome this.
2 Of course, I don't know. They were invited to the past
3 hearing and I don't believe anyone came to that hearing.
4 But again as Mr. Schrepner mentioned, I'm sure that there
5 will be a point in time where they'll be invited to come to
6 evaluate the final plans and give their feedback and we
7 encourage them to do that.

8 MR. FLEMING: Just curious, did you talk to up
9 County Regional Center, the people who work in Germantown in
10 that area to talk about this new center?

11 MR. WITMER: Personally no, sir. But if that is
12 the issue we will of course discuss with anyone you
13 recommend.

14 MS. WRIGHT: One thing I want to just mention
15 because it was actually an event I attended is that the
16 house in front had been vacant and curiated and the
17 applicant did a good job of fixing that house up. And after
18 it was fixed up he actually had an event where all the
19 neighbors were invited to come. The folks who had grown up
20 in the house were invited to come who still in, near the
21 Boyds area and a number of the you know, local Boyds
22 residents, village leaders, that sort of thing, so, you
23 know, and they did come. And so certainly it has not been
24 that this is a project that's been, you know, I attended
25 that same event and there were a number of people from the

1 community who came to see the house. At that point the
2 discussion wasn't necessarily what new building could we
3 build? It was really more focused on the house being fixed
4 up. But there certainly has been contact.

5 MR. FLEMING: Thank you.

6 MR. WITMER: Yes, sir, thank you.

7 MS. O'MALLEY: So that house they've retained?

8 MR. SCHREPNER: Of course, yes, ma'am.

9 MS. OAKS: If you look on your site plan it shows
10 the main event, the new houses, the new building is next to
11 it and another building behind it.

12 MS. O'MALLEY: So we're not really looking at the
13 design of the new building?

14 MS. OAKS: No. You will look at that at the
15 historic work area permit. They're not up for the sizes of
16 anything tonight or architectural changes approving. But
17 they can have buildings on this lot.

18 MS. ALDERSON: We appreciate your sharing your
19 vision all the same.

20 MR. SCHREPNER: Thank you.

21 MR. DUFFY: I have a few thoughts. It's good to
22 hear that in general I'm very positive about what you're
23 proposing to do. And I think it's great that you're willing
24 to work towards waiver on the sidewalks. But would you be
25 comfortable with what is staff is recommending for the

1 paving of peat gravel?

2 MR. SCHREPNER: Well, I don't want to limit us to
3 the two options they gave us. I understand their concern
4 with asphalt and we're certainly willing to work with them
5 during the historic area work permit --

6 MR. DUFFY: Uh-huh.

7 MR. SCHREPNER: -- to explore alternative --

8 MR. DUFFY: I understand this early. So --

9 MR. SCHREPNER: Right.

10 MR. DUFFY: That's adequate for now. I mean I
11 trust that you will work on staff with that. I think that
12 the massing is good. I in general I think it's positive.
13 One comment that I would make is and this is as you develop
14 the design, I'm supportive of the comments that staff makes
15 in the report so I won't reiterate them. But the new, the
16 new house like structure on the street that will be adjacent
17 to the existing, I would just advise not to be too
18 replicative or to make a mirror of the existing. You know,
19 it should be certainly compatible, but I wouldn't make it
20 identical. And certainly, you know staff I'm sure will be
21 happy to work with you towards something comfortable along
22 those lines. And the unit which I understand is very
23 preliminary. It almost looks like a perfect mirror. So
24 something concept like that I think is great, but the
25 details, but not, I think it's a great proposal.

1 MR. SCHREPNER: Thank you.

2 MR. JESTER: I don't have anything to add other
3 than what was said.

4 MS. O'MALLEY: I just had a question about the
5 parcel next to it. That's where you will have your field so
6 that the adjacent lot would then stay green always?

7 MR. SCHREPNER: Correct. Actually the two parcels
8 and they are deeded parcels not recorded lots which is why
9 we're going through the subdivision process, will be
10 combined into one lot of record. So you know, barring a new
11 subdivision or public lawyer and see where we're getting the
12 woods or something that, yeah, will remain open space to the
13 west, I believe, to the right, correct.

14 MR. DUFFY: There was one item I forgot to
15 mention. As this develops we'll be very interested in storm
16 water management. Maybe Tom was about to mention that. It
17 can go over well or not so well or someday in between. But
18 we would hope to see storm water management that will be
19 very naturalistic and not all that visible in this context.

20 MR. SCHREPNER: We're aware of those concerns.

21 MR. DUFFY: Okay.

22 MR. SCHEPNER: And we'll do everything we can to
23 meet, of course, the State and County requirements and
24 address your concerns as well.

25 MR. DUFFY: Thanks.

1 MR. JESTER: I think it's especially true since
2 you're giving the location you're showing -- more prominent
3 front on the property, both the treeside.

4 MS. ALDERSON: I'd just like to apologize for
5 being out of order. I should not have been offering comment
6 before you had gotten up and I apologize which I'm jumping
7 the gun. You certainly have a right to speak before I
8 volunteer comments. Otherwise, it's so lovely to see you
9 joined two lots so that you could preserve some green in
10 this area and preserve what is a very pleasant arrangement
11 of alternating green with buildings that have variable
12 setbacks and variable shapes. And I think your goal in
13 maintaining that is laudable.

14 MS. OAKS: It sounds as though the Commission will
15 recommend supporting this or other support, the Planning
16 Board with the recommendation that we discussed. Thank you.

17 MR. SCHREPNER: Thank you. I would ask that
18 perhaps the letter could be rephrased to, you know
19 addressing the parking lot just to allow a little more
20 leeway, not just the two options. So --

21 MS. ALDERSON: Would you like to suggest phrasing
22 that would make you comfortable?

23 MR. SCHREPNER: Work with staff --

24 MS. OAKS: Work with staff --

25 MR. SCHREPNER: Explore --

1 MS. WRIGHT: Work with staff. All of that will be
2 part of the historic work permit approval. So basically
3 just a sentence that says the parking lot material will be
4 approved in the future through the historic area work permit
5 process.

6 MR. SCHREPNER: That's fine. Okay. Thank you.

7 MS. O'MALLEY: All right. Thank you. Approval of
8 September 13th minutes.

9 MR. DUFFY: September 13th minutes. There are a
10 few minor, a few minor corrections. But first a question or
11 two. The first page lists only the two cases. It lists the
12 name and address and the case numbers have only been two
13 cases that were heard. It does not list the specifics of
14 those that were expedited and perhaps that's been discussed
15 with us and that's acceptable.

16 MS. O'MALLEY: We know that they submit the agenda
17 with it. Gwen, could you be more specific.

18 MS. WRIGHT: If you'd like, we'll make sure they
19 list all cases on the front cover page. It's really almost
20 like a table of contents and I think that's probably why the
21 cases are, that didn't have a lot of discussion aren't
22 mentioned. But if you'd like all the cases listed we can
23 get them all in.

24 MR. DUFFY: Let me ask other Commissioners how
25 they feel about that.

