

18/11-07A	19510 WHITE GROUND RD
Boys Negro School, 18/011	



2007/01/10

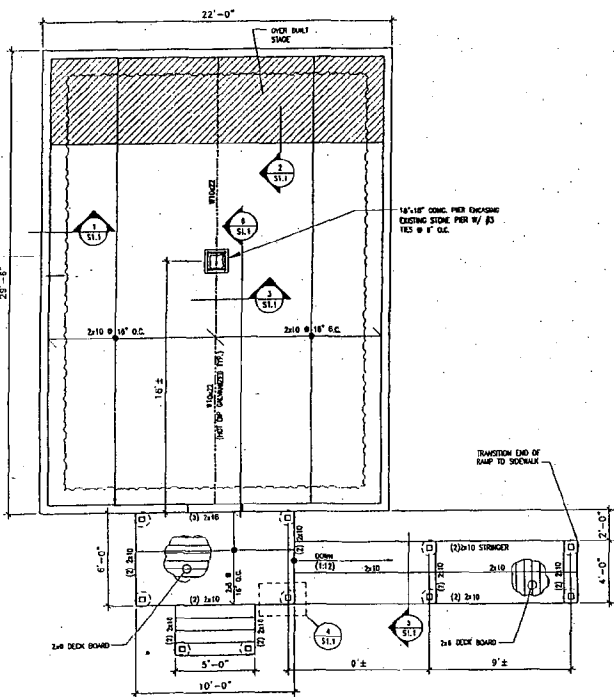




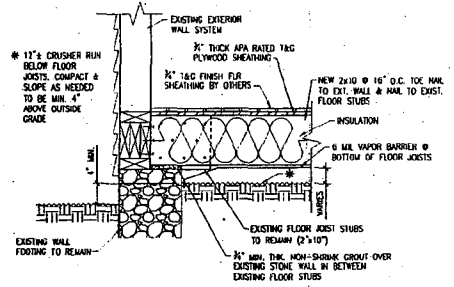


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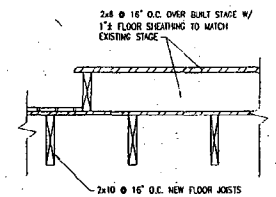




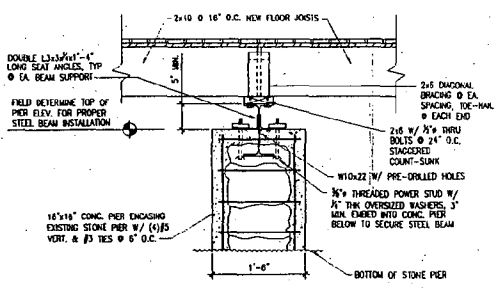
FOUNDATION / FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"
S1.1



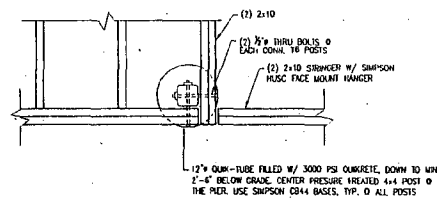
SECTION @ EXTERIOR WALL FOOTING
SCALE: 1"=1'-0"
S1.1



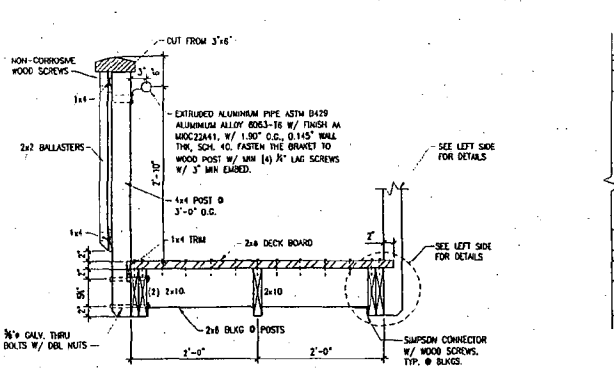
SECTION @ STAGE
SCALE: 1"=1'-0"
S1.1



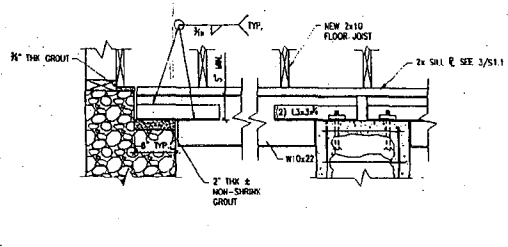
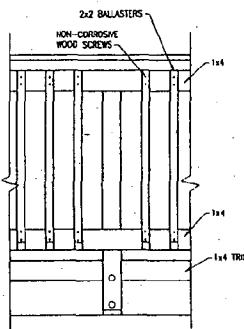
TYP. SECTION @ FLOOR JOIST BEARING
SCALE: 1"=1'-0"
S1.1



POST & SUPPORT DETAILS
SCALE: 1"=1'-0"
S1.1



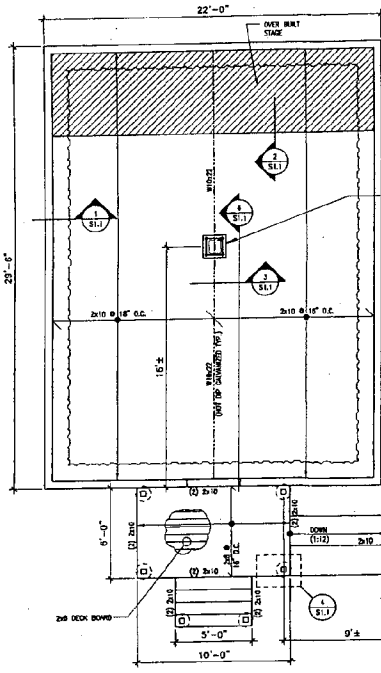
TYP. RAMP SECTION & ELEVATION
SCALE: 1"=1'-0"
S1.1



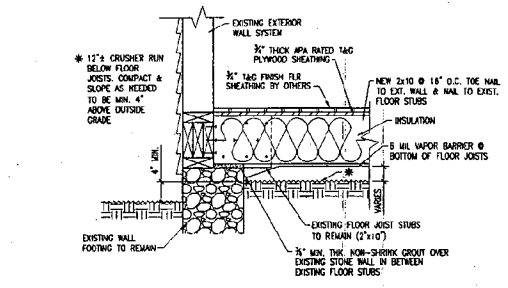
TYP. STEEL BEAM BEARING DETAIL
SCALE: 1"=1'-0"
S1.1

- STRUCTURAL NOTES**
1. ALL WOOD MEMBERS CONTACTING GROUND AND EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
 2. USE MEM FR #2 FOR FLOOR JOISTS.
 3. STEEL BEAMS, ANCHORING DEVICES, AND JOIST HANGERS SHALL BE GALVANIZED, U.S.A.
 4. FIELD VERIFY ALL DIMENSIONS TO MATCH W/ EXISTING BUILDING.

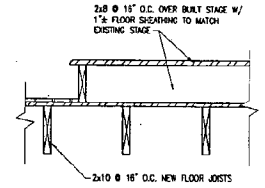




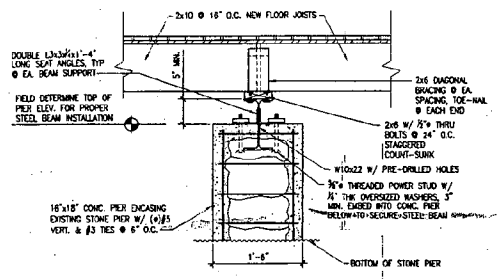
FOUNDATION / FIRST FLOOR PLAN
SCALE: 1/8"=1'-0" S1.1



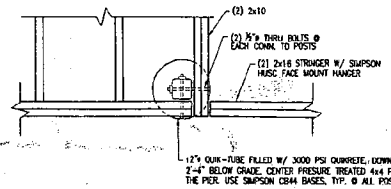
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SCALE: 1"=1'-0" S1.1



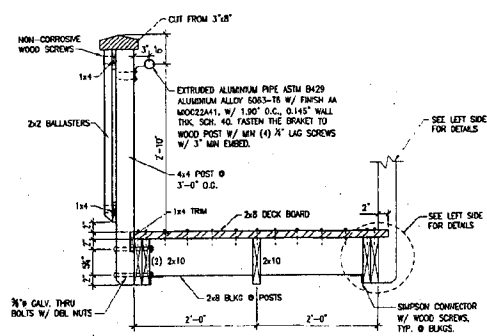
SECTION @ STAGE
SCALE: 1"=1'-0" S1.1



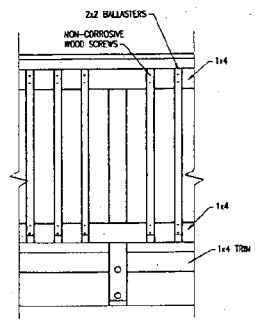
TYP. SECTION @ FLOOR JOIST BEARING
SCALE: 1"=1'-0" S1.1



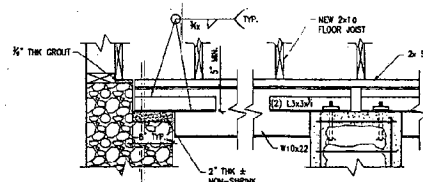
POST & SUPPORT DETAILS
SCALE: 1"=1'-0" S1.1



TYP. RAMP SECTION & ELEVATION
SCALE: 1"=1'-0" S1.1



TYP. STEEL BEAM BEARING DETAIL
SCALE: 1"=1'-0" S1.1



- STRUCTURAL NOTES
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 2. USE HEM FIR #2 FOR FLOOR JOISTS.
 3. STEEL BEAMS, ANCHORING DEVICES, AND JOIST HANGERS SHALL BE GALVANIZED, U.S.A.
 4. FIELD VERIFY ALL DIMENSIONS TO MATCH W/ EXISTING BUILDING.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
246 777-6230

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Mailing address
PO Box 161
Boyd's MD
20841

Contact Person: Steve Gibson
Daytime Phone No.: 301-428-0671

Tax Account No.: 00 919 384
Name of Property Owner: BOYD-CARESIBURG HIST SU Daytime Phone No.: _____
Address: 19510 WHITE GROUND RD BOYD'S MD 20841
Street Number City Street Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 19510 White GR Street: WHITE GROUND RD
Town/City: BOYD'S MD Nearest Cross Street: HOYLES MILL RD.
Lot: _____ Block: _____ Subdivision: _____
Liber: 5556 Folio: 694 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: handicap Ramp
1B. Construction cost estimate: \$ _____
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: Portable toilets
2B. Type of water supply: 01 WSSC 02 Well 03 Other: BOTTLED

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Steven C Gibson
Signature of owner or authorized agent

1/12/07
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 444191 Date Filed: 1/30/07 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

One room school house which is a historic site.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

installing handicap ramps including replacement of deteriorating and rotting wooden steps at entrance.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

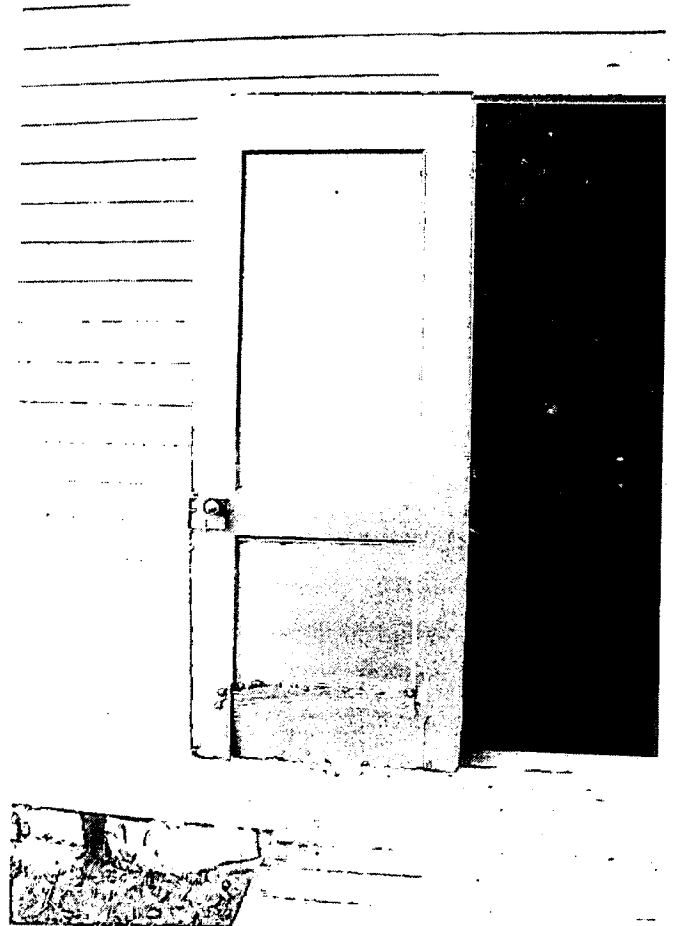
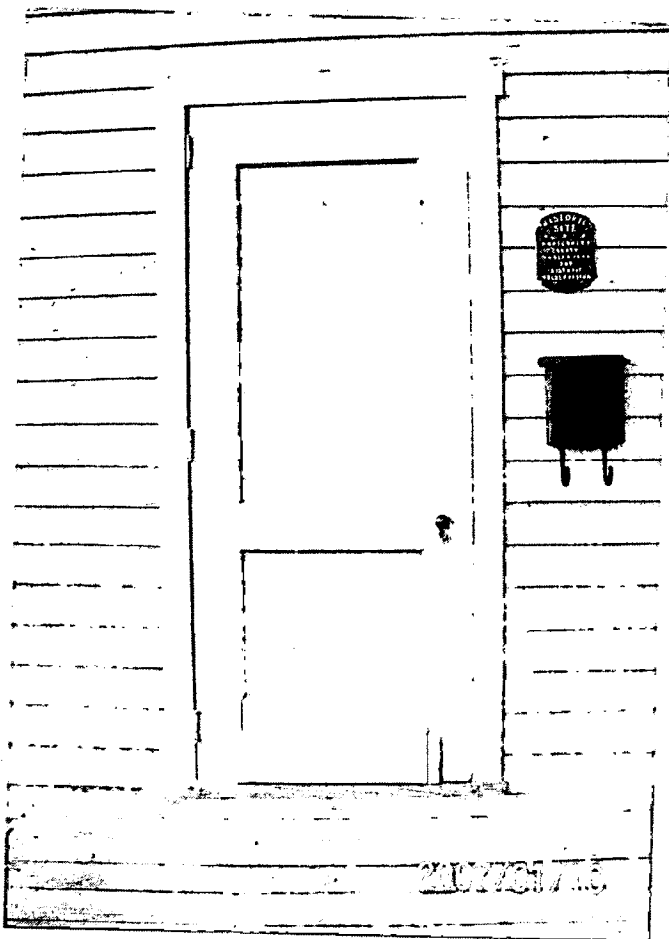
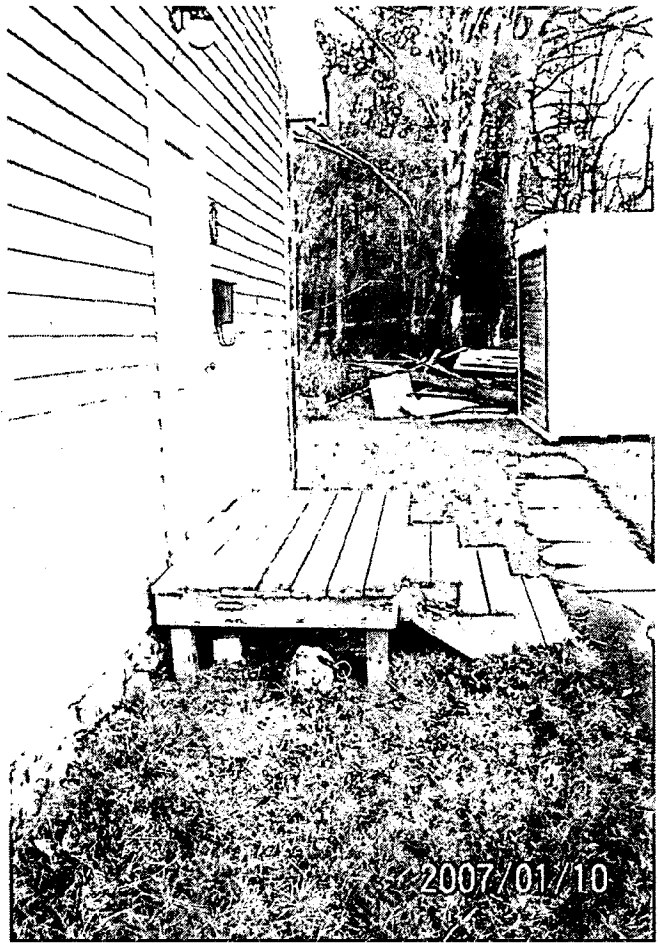
7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

White Grounds Road

<u>Parcel</u>	<u>Owner</u>	<u>Property Address</u>	<u>Mailing Address</u>
<u>Adjoining</u>			
P876	Boyds-Clarksburg Historical Society, Inc.	19510 White Ground Rd.	P. O. Box 161 Boyds MD 20841
P851	Board of Education	White Ground Rd.	850 Hungerford Dr. Rockville MD 20840
P927	Giles, Ralph W. et al	19500 White Ground Rd.	38 Kettering Dr. Upper Marlboro MD 20774
<u>Across White Ground Rd.</u>			
PN983	Board of Education	19501 White Ground Rd.	850 Hungerford Dr. Rockville MD 20850
P033	Scott L. Wilson	19515 White Ground Rd.	19515 White Ground Rd. Boyds MD 20841
<u>Behind Rear Lot Line</u>			
P747	MDR-RCS LLC		c/o Capitol Investments 5454 Wisconsin Ave. #1265 Chevy Chase MD 20815 Resident Agent: Michael D. Rubin



LIBER 5556 FOLIO 694

1980 AUG -7 PM 4: 08

FILED
HOWARD M. SMITH
CLERKS OFFICE
MONTGOMERY CO. MD.

THIS DEED made this 6th day of August, in the year
Nineteen Hundred and Eighty, by and between Henrietta Randolph,
party of the first part and the Boyds-Clarksburg Historical
Society, Inc., a Maryland nonprofit corporation, party of the
second part,

WITNESSETH, that for and in consideration of the sum of
Seventeen Thousand Dollars (\$17,000.00), the said party of the
first part does grant unto the said party of the second part,
in fee simple, the following described land and premises, with
the improvements, easements and appurtenances thereunto belong-
ing, situate, lying and being in Montgomery County, State of
Maryland, namely:

It being part of a tract of land called "Land of Wolfe's Cow", and included within the metes and bounds courses and distances following, to wit: Beginning for the same at a stone planted on the North side of the road leading from Dawsonville to Boyd's Station, and on the third line of a conveyance from the said Mary H. DeLauder and Edgar C. DeLauder to John Brown and running thence reversing said line North fifteen and three-fourths degrees West, Nineteen and one-fourth perches to a stone at the beginning of said line; thence North seventy-four and one-fourth degrees East, four and three-twentieths perches to a stone; thence South fifteen and three-fourths degrees East, nine-teen and one-fourth perches to a stone on the North side of the aforesaid public road; thence South fifteen and three-fourths degrees West, four and three-twentieths perches to the place of beginning, containing one-half acre of land, more or less.

Together with all of the buildings, rights, ways, waters and privileges thereto belonging or in anywise appertaining.

By separate agreement the party of the second part has agreed with Montgomery County, Maryland, a municipal corporation, in consideration of funds granted by Montgomery County to the party of the second part, to restore, maintain, and operate the within-described property as a community public building. Should the party of the second part fail to restore, maintain, or operate said property as a community public building, then and in any of

RTX 74.80
STT 85.00
DEED 8.00
SUBTOTAL 167.80
LATER 11.10
TOTAL 178.90

74.80
85.00
8.

LIBER 5556 FOLIO 695

such events title and ownership to said property shall vest in said Montgomery County, Maryland. Should any such events occur, and upon demand of the County, the party of the second part agrees to execute any documentation required to effectuate transfer to said Montgomery County, Maryland.

BEING the same land described in liber 2646, folio 213 and liber 2553, folio 575.

TO HAVE AND TO HOLD the same unto and to the use of said party hereto of the second part, in fee simple.

AND the said party of the first part does hereby covenant to warrant specially the property hereby conveyed, and to execute such further assurances of said land as may be requisite.

WITNESS my hand and seal on the day and year first hereinbefore written.

Signed, sealed and delivered in presence of,

Allan A. Noble

Allan A. Noble

Henrietta Randolph (SEAL)

Henrietta Randolph

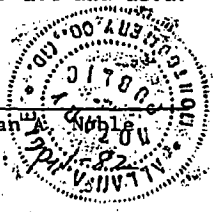
STATE OF MARYLAND, MONTGOMERY COUNTY, to wit:

I HEREBY CERTIFY that on this 6th day of August, 1980, before me, the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared Henrietta Randolph, and did acknowledge the foregoing Deed to be her act and deed.

WITNESS my hand and Notarial Seal.

Allan A. Noble

Notary Public Allan A. Noble
My Commission Expires: 7-22-82



I hereby certify that I am an attorney duly admitted to practice before the Court of Appeals of Maryland and that the within instrument was prepared under my supervision.

Allan A. Noble
ALLAN A. NOBLE

AUG 7 1980

11 1 919384

All Taxes on encumbrants certified to the
Comptroller for Montgomery County
Md. by SP-1180 have been paid Dept. of
Finance, Montgomery County, Md. This
statement is for the purpose of permitting
recognition and is not assurance against
whether taxation even for prior periods, nor
does it guarantee satisfaction of outstand-
ing tax sales.

~~S~~ ~~TRANSFER TAX PAID~~
~~MONTGOMERY COUNTY, MARYLAND~~

BY

~~TRANSFER TAX PAID~~
~~MONTGOMERY COUNTY, MARYLAND~~

BY

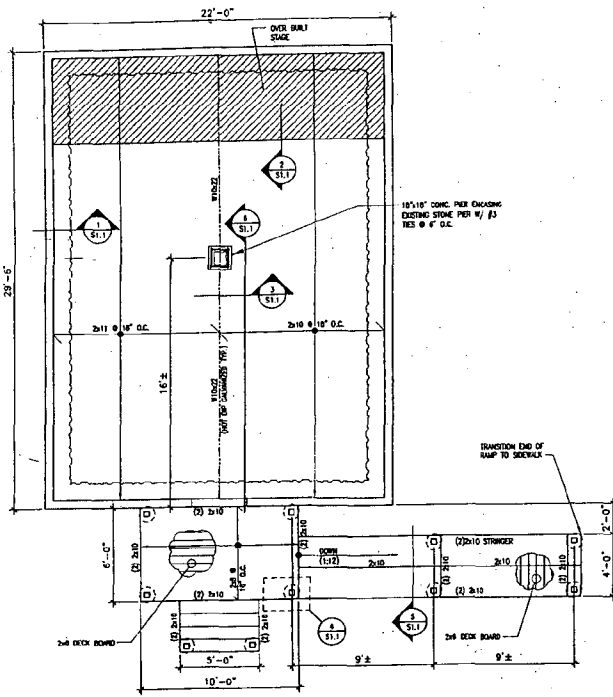
~~EXEMPT FROM TRANSFER TAX AND~~
~~MONTGOMERY COUNTY, MARYLAND~~

BY

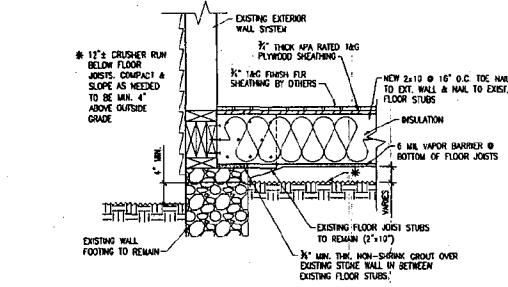
HEREBY CERTIFY THIS PAID TAX HAS BEEN FULLY
TRANSFERRED ON THE MONTGOMERY COUNTY
ASSESSMENT BOOKS

B. Bellin # 13315
TRANSFER CLERK, ASSESSMENT DEPARTMENT

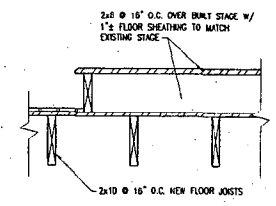
11-1-919384



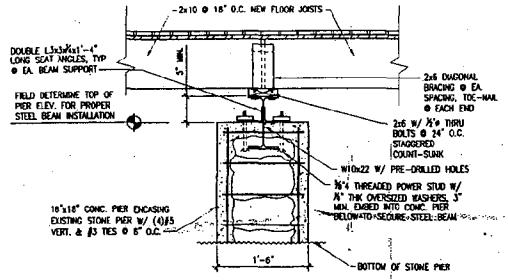
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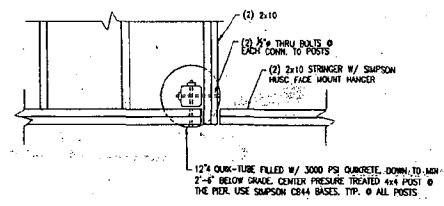
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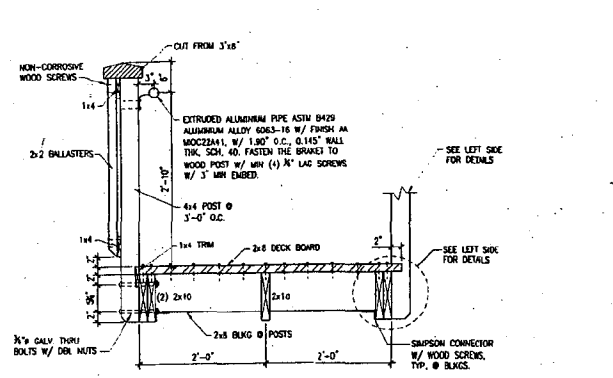
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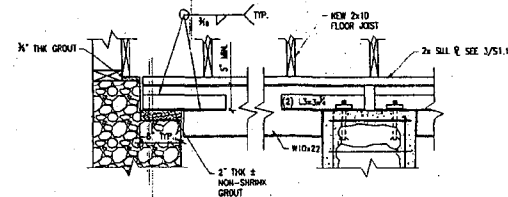
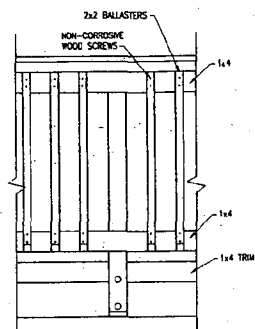
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POST & SUPPORT DETAILS
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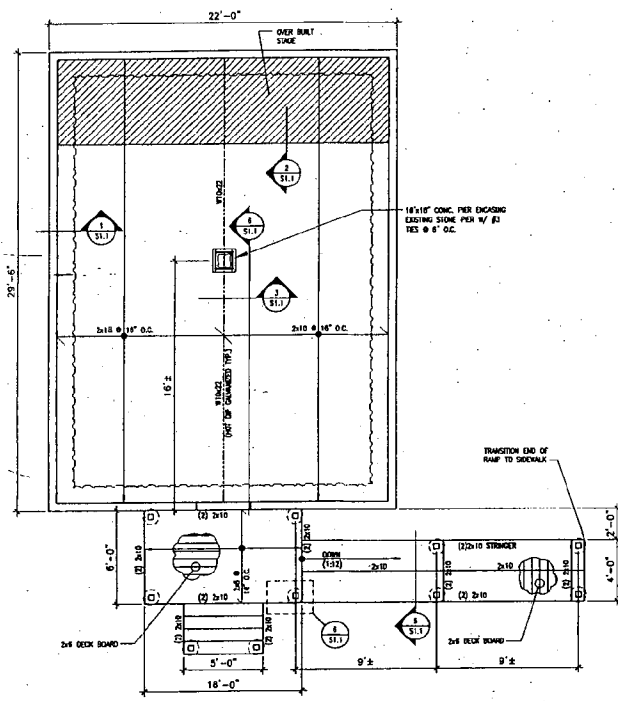
TYP. RAMP SECTION & ELEVATION
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TYP. STEEL BEAM BEARING DETAIL
SCALE: 1"=1'-0"
S1.1

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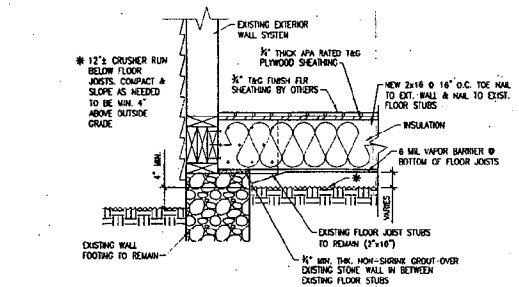




FOUNDATION / FIRST FLOOR PLAN

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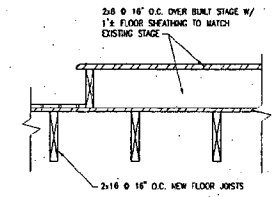
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SECTION @ EXTERIOR WALL FOOTING

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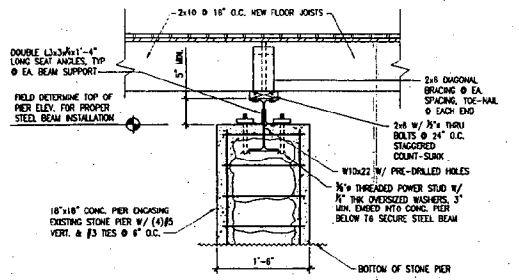
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SECTION @ STAGE

SCALE: 1"=1'-0"

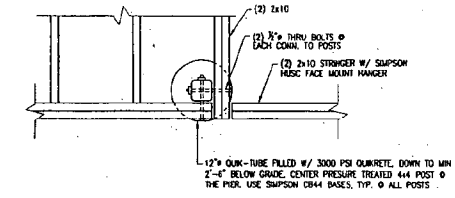
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TYP. SECTION @ FLOOR JOIST BEARING

SCALE: 1"=1'-0"

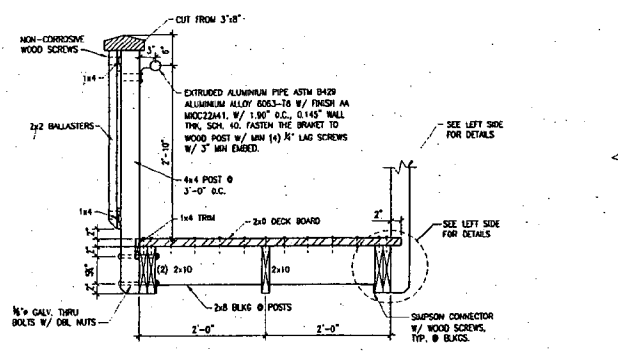
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POST & SUPPORT DETAILS

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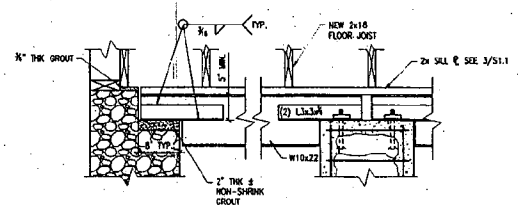
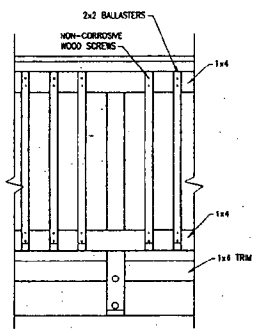
4
 S1.1



TYP. RAMP SECTION & ELEVATION

SCALE: 1"=1'-0"

5
 S1.1



TYP. STEEL BEAM BEARING DETAIL

SCALE: 1"=1'-0"

6
 S1.1

STRUCTURAL NOTES

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Oaks, Michele

From: Oaks, Michele
Sent: Monday, May 14, 2007 1:17 PM
To: 'Ginger Gibson'
Subject: Negro School Ramp Project

Ginger,

Please call Betsy Lucking at 240-777-1256 at the Commission on People with Disabilities. They contacted us and indicated they think they can help you design a ramp that the Trust would approve. Keep me informed!
Michele

Michele Oaks, Planner Coordinator
Historic Preservation Section
Montgomery County Department of Planning
Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)
(301) 563-3412 (fax)
michele.oaks@mncppc-mc.org
www.montgomeryplanning.org

-----Original Message-----

From: Ginger Gibson [mailto:ginger.gibson13@verizon.net]
Sent: Wednesday, April 25, 2007 2:38 PM
To: Oaks, Michele
Subject: Fw: Status of County permit

Michelle,
I thought that I should send you a copy of my E-Mail which shows where we stand on the permits.
If you have any thoughts or suggestions they would be appreciated.
Thanks

Steve & Ginger

----- Original Message -----

From: [Ginger Gibson](#)
To: [Jane Mote](#) ; [elaine fors](#) ; [Cathy Hulley](#) ; [Candice Wilson at work](#) ; [Betty Hawkins](#) ; [Maggie Bartlett at work](#) ; [Andy Fuhrmann](#)
Sent: Wednesday, April 25, 2007 2:34 PM
Subject: Status of County permit

Michele Oaks was out of the office on Monday.

On Tuesday after my root canal in the morning, Ginger & I went to MNCPPC to talk to Michele about what our next step would be. She provided us with a letter which indicated that we were not required to have their approval and should be issued a building permit. We then went to the county permits office to get the proper form to be

6/26/2007

filled out but by then it was too late to get fast track approval.

On Wednesday morning we took the completed form back to the county permits office and spent about 2 hours, most talking to Mike Hanyok who explained why this project did not qualify for fast track permitting. He had a number of concerns about the existing condition and details about the proposed work. He thought that we were showing a use change. We tried to explain that there was no use change since around 1980. It had been used as a museum since then and would still be used as a museum. I think that they thought it was previously shown as education use.

Mike's recommendation is to call 240-777-6210 to make an appointment for a pre-design meeting. This would need a licensed architect or engineer to be available to answer any questions they may have. It may take several weeks to set up a pre-design meeting. After the pre-design meeting and updated plans are available we could request an expedited plan review (extra cost) to get the permit.

Ginger and I will be attending the St Marks - Taylor School meeting this evening and will try to find out if someone knows anyone who might be able to help us. If any one has any suggestions please let us know.

Notes about some of the areas of concern from the plans:

There was some concern with the lack of information about the existing condition of the building.
Ventilation through the foundation
Will there be 1 support beam or 2 and if 2 how are they connected?
Upon a review of the plans it implies that there is only one.
Is there the proper clearance above the grade level to the bottom of the floor joists?
2003 IBC expected to be used through applications received prior to the end of May (then 2006)
Is pressure treated wood being used?
This is specified on the plans.
How many floor joists are being used?
The plans specify that they are 16" OC.
A 'Code Analysis' must be provided.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19510 White Ground Road, Boyds Meeting Date: 02/14/07
 Applicant: Clarksburg Historical Society Report Date: 02/07/07
 (Steve Gibson, Agent)
 Resource: Boyds Negro School Public Notice: 01/31/07
 Master Plan Site #18/11
 Review: HAWP Tax Credit: No
 Case Number: 18/011-07A Staff: Michele Oaks
 PROPOSAL: Handicap ramp installation
 RECOMMEND: Approve with Conditions

encourage
options: railing pipe
National park service brief
→ #32

STAFF RECOMMENDATION: Staff recommends that the Commission approve this HAWP application with the conditions that:

1. The balustrade for the subject handicap ramp will be detailed as an "inset picket". The modified design will be reviewed and approved by staff prior to installation.
2. The balustrade will be painted or stained.

details for balustrade or grading
worked out w/ staff

PROJECT DESCRIPTION:

SIGNIFICANCE: Master Plan Individual Site: Boyds Negro School
 STYLE: Vernacular
 DATE: 1895

The Boyds Negro School is important as a surviving example of early education for rural black children in the County. Using material provided by the School Board, local residents built the 30' x 40' school that opened in 1895. Previously, local black children attended classes held in St. Mark's Church. One teacher taught students in grades 1-8 in one large, well-lit room warmed by a wood stove. Since the building had no plumbing, drinking water was hauled from Gum Spring and restrooms were in two outdoor privies. High school classes were not available for black students until a high school opened in 1936. The same year the Boyds Negro School closed and students transferred to the Clarksburg Negro School. The Boyds-Clarksburg Historical Society has restored the school and placed a preservation easement on the building and land.

PROPOSAL:

The applicant is proposing to construct a handicapped ramp measuring 28' L x 6' W at the entrance to the historic school building. The ramp will be constructed of wood with an applied picket balustrade.

No trees will need to be removed from the property for this project.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to individually designated *Master Plan* historic resources, two main documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of Interior's Standards for Rehabilitation

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

- Standard #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- Standard #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- Standard #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The owners are seeking the proposed handicap ramp, in order to provide accessibility into their museum facility.

The design of the ramp does not negatively impact the existing façade of the historic resource. The ramp will be self-supporting, and will not require connections to the building except for a threshold. As such, the ramp is considered a reversible change. The Commission generally supports accessibility designs that are fabricated of wood and are designed not to negatively impact the historic resource and are a reversible change.

However, the detail for the ramp's balustrade is not a typical design, which is generally supported by the Commission. The applied picket balustrade is a detail more commonly found on a rear deck. As this ramp will be located at the front of this very significant historic resource, a balustrade with an inset picket, which are more commonly found on porch railings is a more compatible treatment.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
355 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240.777.6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

mailing address
PO Box 101
Boyd's MD
20841

Contact Person: Steve Gibson

Daytime Phone No.: 301-428-0671

Tax Account No.: 00 919 384

Name of Property Owner: Boyd's - CLARKSBURG HIST SOC Daytime Phone No.: _____

Address: 19510 WHITE GROUND RD BOYD'S MD 20841
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 19510 White Gr Street: WHITE GROUND RD

Town/City: Boyd's MD Nearest Cross Street: HOYLES MILL RD.

Lot: _____ Block: _____ Subdivision: _____

Liber: 5556 Folio: 694 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: handicap Ramp

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: portable toilets

2B. Type of water supply: 01 WSSC 02 Well 03 Other: BOTTLED

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Steven C Gibson
Signature of owner or authorized agent

1/17/07
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 444191 Date Filed: 1/30/07 Date Issued: _____

4

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

One room school house which is a historic site

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

installing handicap ramps including replacement of deteriorating and rotting wooden steps at entrance.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5

White Grounds Road

<u>Parcel</u>	<u>Owner</u>	<u>Property Address</u>	<u>Mailing Address</u>
<u>Adjoining</u>			
P876	Boyds-Clarksburg Historical Society, Inc.	19510 White Ground Rd.	P. O. Box 161 Boyds MD 20841
P851	Board of Education	White Ground Rd.	850 Hungerford Dr. Rockville MD 20840
P927	Giles, Ralph W. et al	19500 White Ground Rd.	38 Kettering Dr. Upper Marlboro MD 20774
<u>Across White Ground Rd.</u>			
PN983	Board of Education	19501 White Ground Rd.	850 Hungerford Dr. Rockville MD 20850
P033	Scott L. Wilson	19515 White Ground Rd.	19515 White Ground Rd. Boyds MD 20841
<u>Behind Rear Lot Line</u>			
P747	MDR-RCS LLC		c/o Capitol Investments 5454 Wisconsin Ave. #1265 Chevy Chase MD 20815 Resident Agent: Michael D. Rubin

LIBER 5556 FOLIO 694

1980 AUG -7 PM 4: 08

FILED
HOWARD M. SMITH
CLERKS OFFICE
MONTGOMERY CO. MD.

THIS DEED made this 6th day of August, in the year Nineteen Hundred and Eighty, by and between Henrietta Randolph, party of the first part and the Boyds-Clarksburg Historical Society, Inc., a Maryland nonprofit corporation, party of the second part,

WITNESSETH, that for and in consideration of the sum of Seventeen Thousand Dollars (\$17,000.00), the said party of the first part does grant unto the said party of the second part, in fee simple, the following described land and premises, with the improvements, easements and appurtenances thereunto belonging, situate, lying and being in Montgomery County, State of Maryland, namely:

It being part of a tract of land called "Reserve of Wolfe's Cow", and included within the metes and bounds of the same at a stone planted on the North side of the road leading from Dawsonville to Boyd's Station, and on the third line of a conveyance from the said Mary H. DeLauder and Edgar C. DeLauder to John Brown and running thence reversing said line North fifteen and three-fourths degrees West, Nineteen and one-fourth perches to a stone at the beginning of said line; thence North seventy-four and one-fourth degrees East, four and three-twentieths perches to a stone; thence South fifteen and three-fourths degrees East, nineteen and one-fourth perches to a stone on the North side of the aforesaid public road; thence South fifteen and three-fourths degrees West, four and three-twentieths perches to the place of beginning, containing one-half acre of land, more or less.

Together with all of the buildings, rights, ways, waters and privileges thereto belonging or in anywise appertaining.

By separate agreement the party of the second part has agreed with Montgomery County, Maryland, a municipal corporation, in consideration of funds granted by Montgomery County to the party of the second part, to restore, maintain, and operate the within-described property as a community public building. Should the party of the second part fail to restore, maintain, or operate said property as a community public building, then and in any of

RTX 74.00
STT 85.00
DEED 8.00
SUBTOTAL 167.00
LAND RECORDS 13.10
TOTAL 180.10

74.80
85.00
8.

LIBER 5556 FOLIO 695

such events title and ownership to said property shall vest in said Montgomery County, Maryland. Should any such events occur, and upon demand of the County, the party of the second part agrees to execute any documentation required to effectuate transfer to said Montgomery County, Maryland.

BEING the same land described in liber 2646, folio 213 and liber 2553, folio 575.

TO HAVE AND TO HOLD the same unto and to the use of said party hereto of the second part, in fee simple.

AND the said party of the first part does hereby covenant to warrant specially the property hereby conveyed, and to execute such further assurances of said land as may be requisite.

WITNESS my hand and seal on the day and year first hereinbefore written.

Signed, sealed and delivered in presence of,

Allan A. Noble

Allan A. Noble

Henrietta Randolph

(SEAL)

Henrietta Randolph

STATE OF MARYLAND, MONTGOMERY COUNTY, to wit:

I HEREBY CERTIFY that on this 6th day of August, 1980, before me, the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared Henrietta Randolph, and did acknowledge the foregoing Deed to be her act and deed.

WITNESS my hand and Notarial Seal.

Allan A. Noble

Notary Public Allan A. Noble

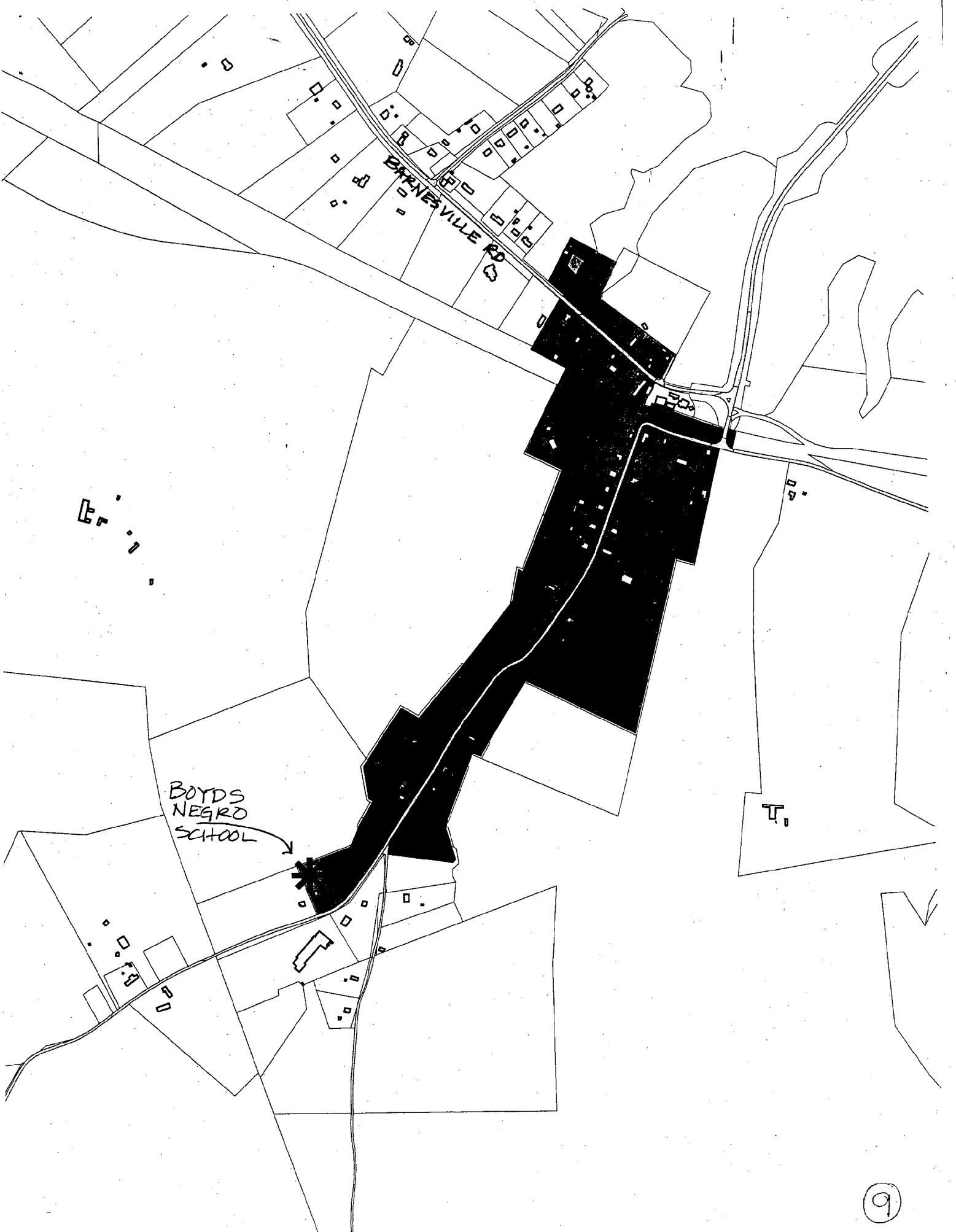
My Commission Expires:



I hereby certify that I am an attorney duly admitted to practice before the Court of Appeals of Maryland and that the within instrument was prepared under my supervision.

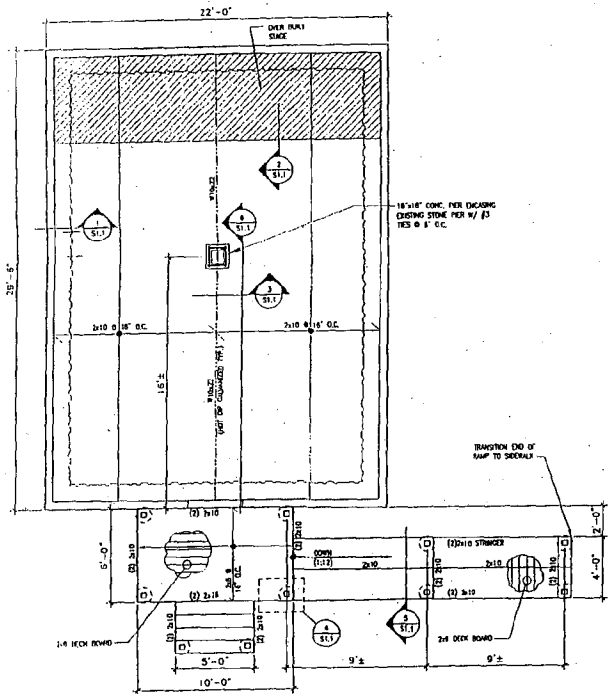
Allan A. Noble
Allan A. Noble

8



BOYDS
NEGRO
SCHOOL

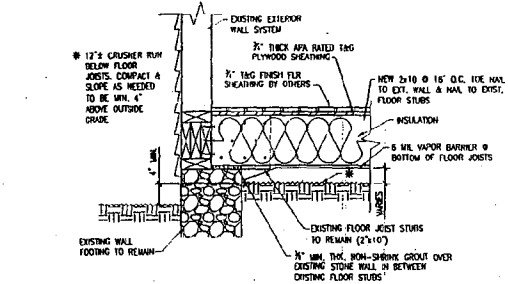
BARNESVILLE RD



FOUNDATION / FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

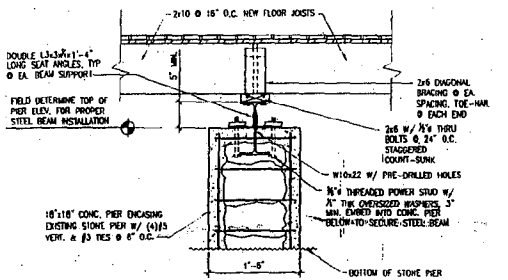
S1.1



SECTION @ EXTERIOR WALL FOOTING

SCALE: 1"=1'-0"

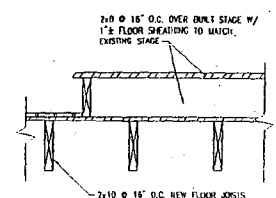
S1.1



TYP. SECTION @ FLOOR JOIST BEARING

SCALE: 1"=1'-0"

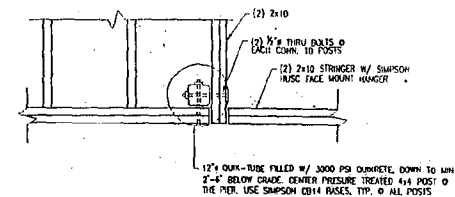
S1.1



SECTION @ STAGE

SCALE: 1"=1'-0"

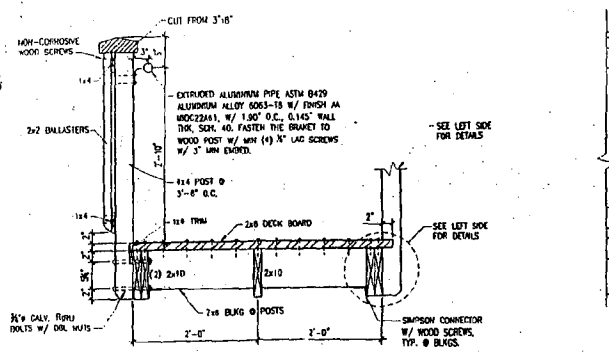
S1.1



POST & SUPPORT DETAILS

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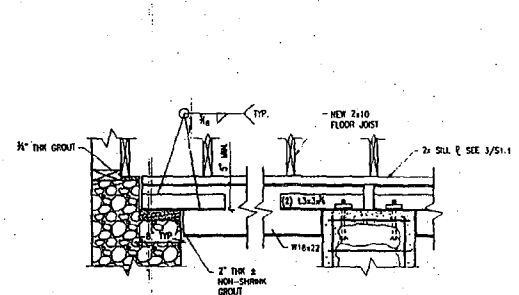
S1.1



TYP. RAMP SECTION & ELEVATION

SCALE: 1"=1'-0"

S1.1



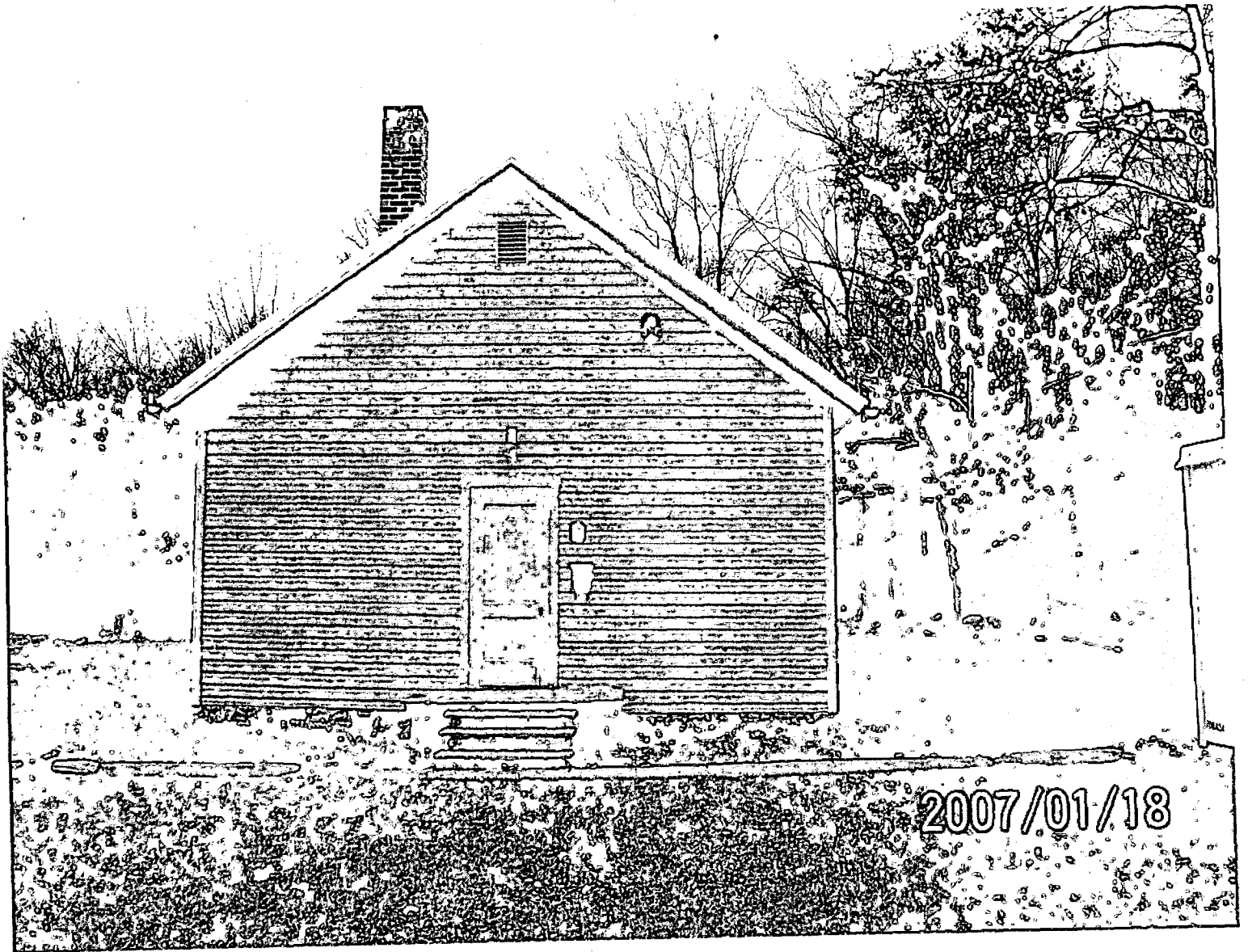
TYP. STEEL BEAM BEARING DETAIL

SCALE: 1"=1'-0"

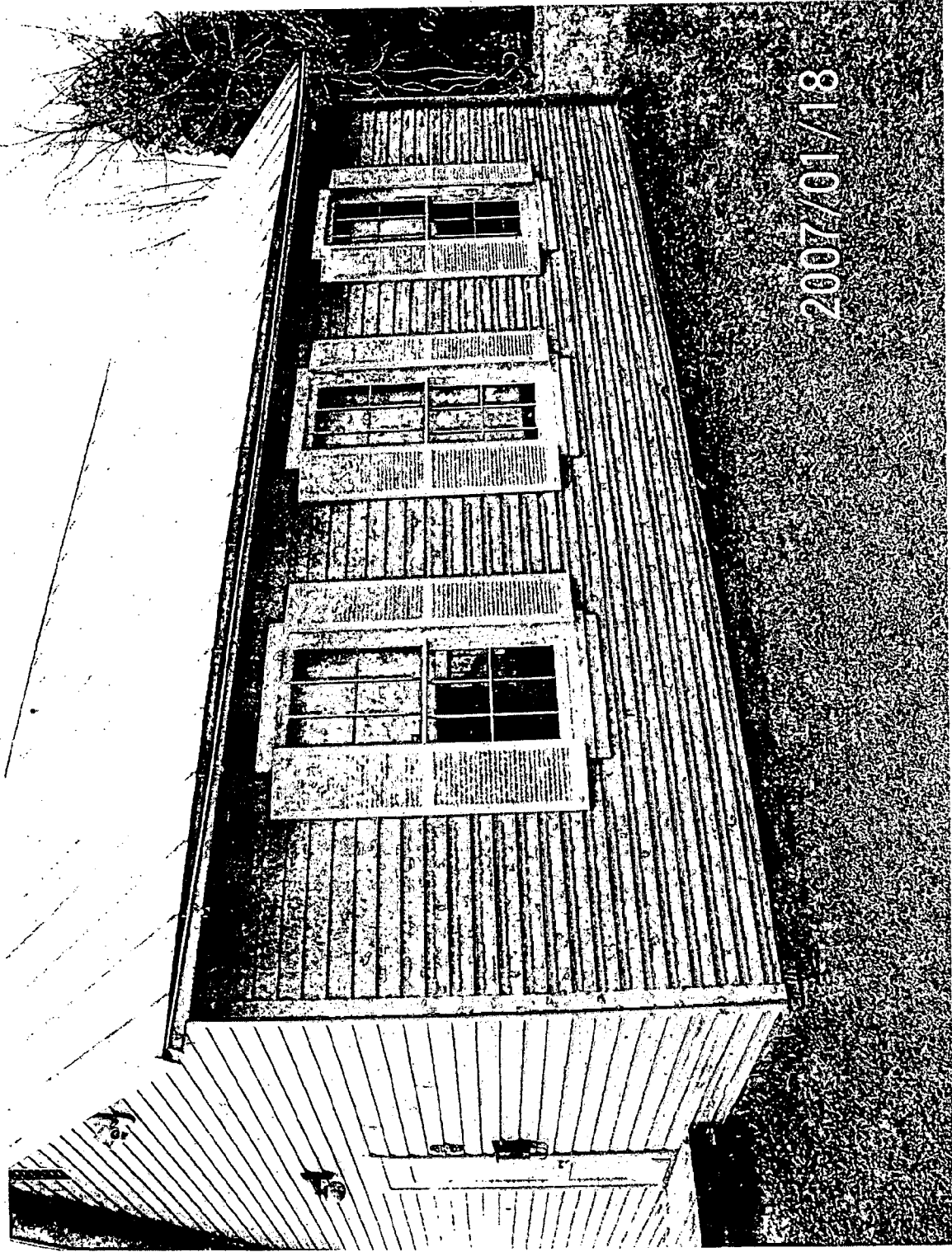
S1.1

- STRUCTURAL NOTES**
1. ALL WOOD MEMBERS CONTACTING GROUND AND EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
 2. USE MEM FR #2 FOR FLOOR JOISTS.
 3. STEEL BEAMS, ANCHORING DEVICES, AND JOIST HANGERS SHALL BE GALVANIZED, U.S.D.
 4. FIELD VERIFY ALL DIMENSIONS TO MATCH W/ EXISTING BUILDING.

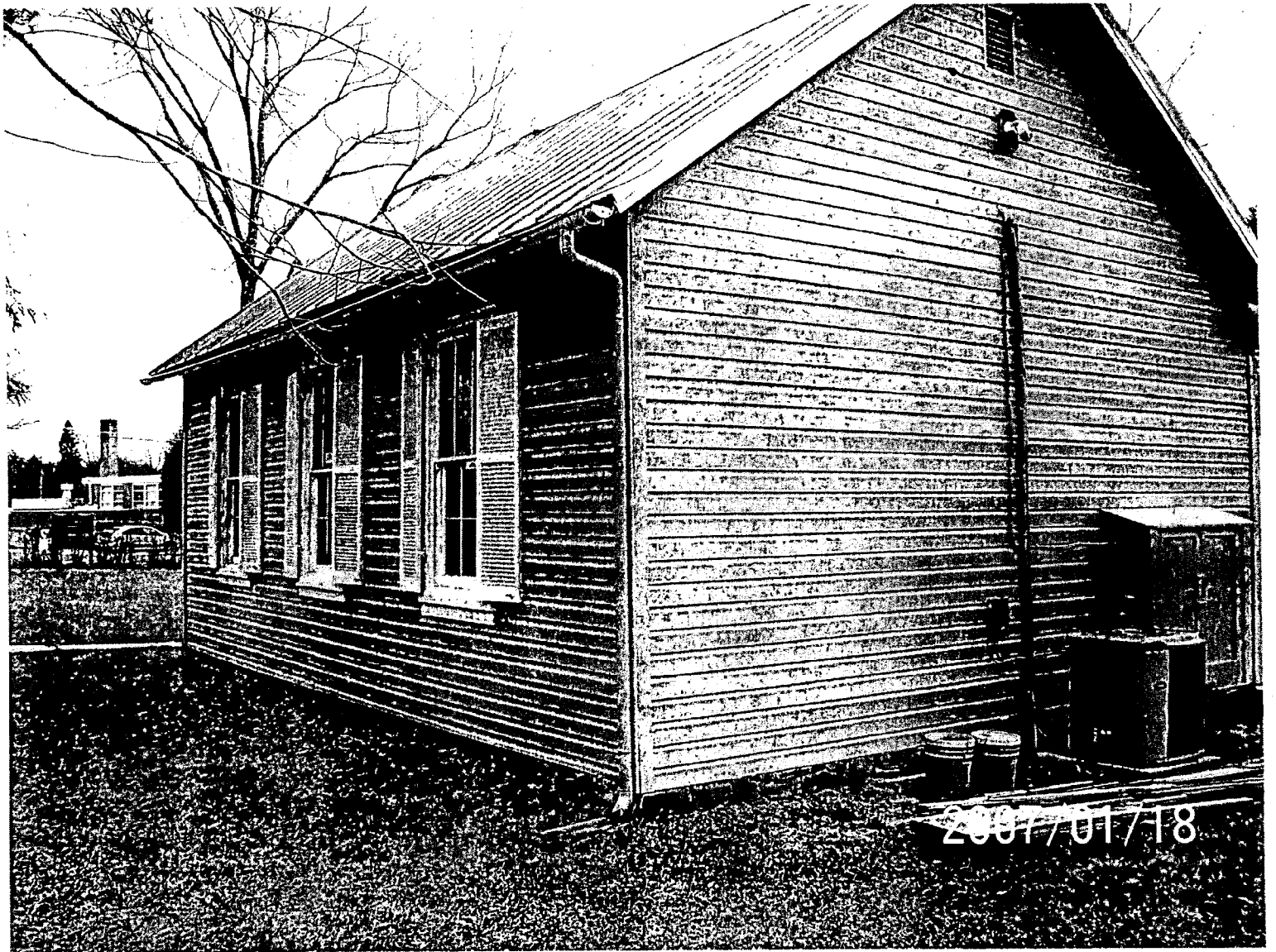


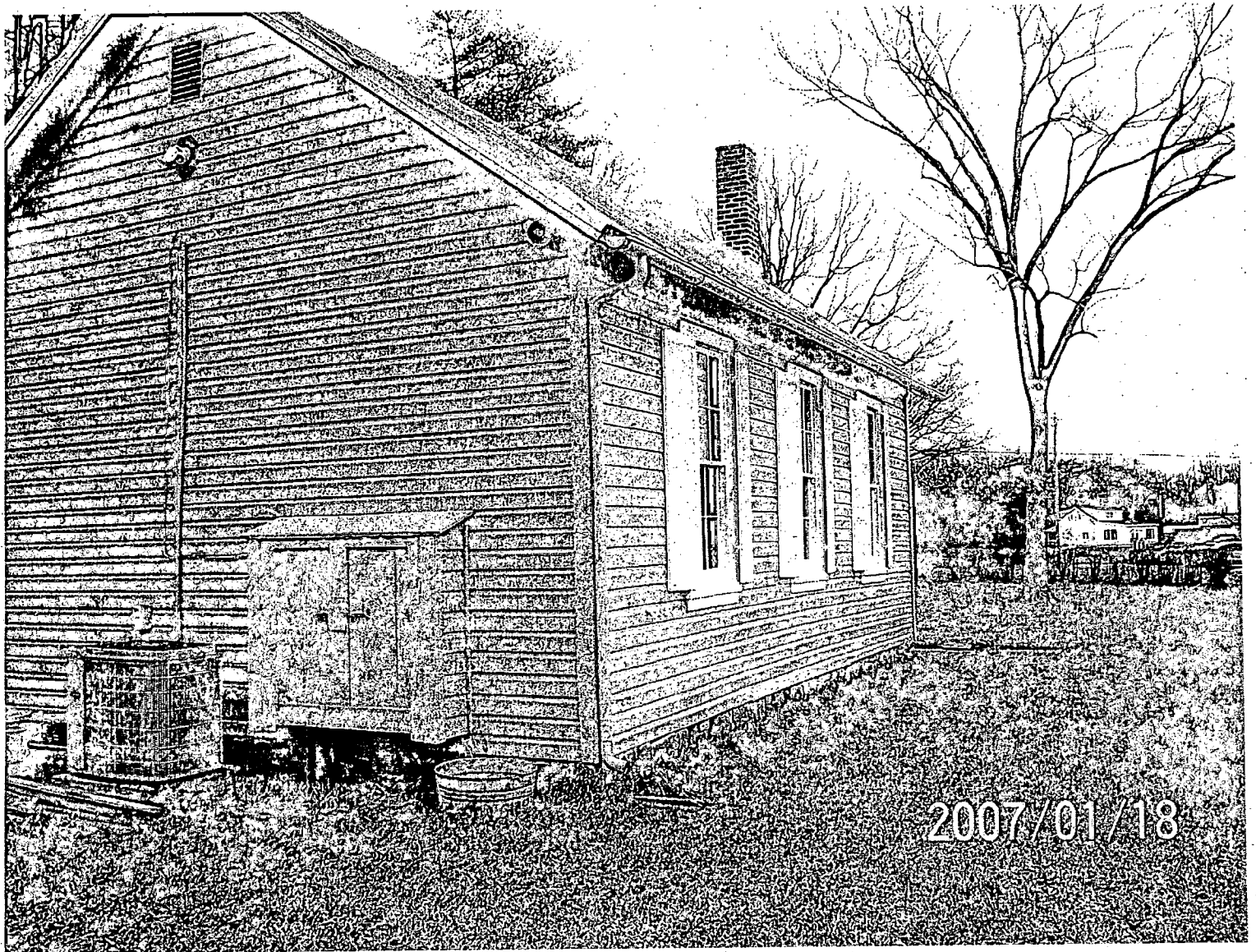


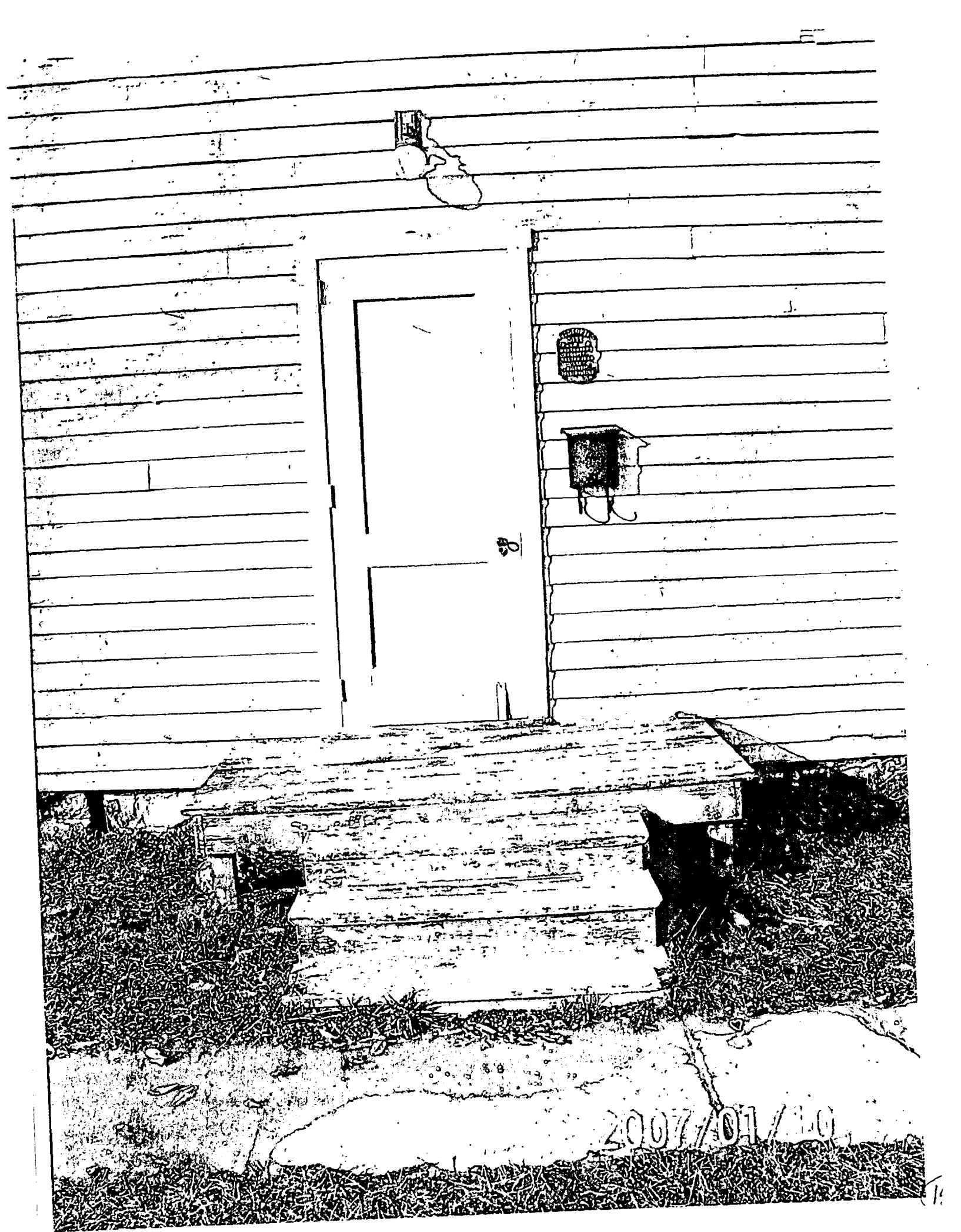
2007/01/18



2007/01/18





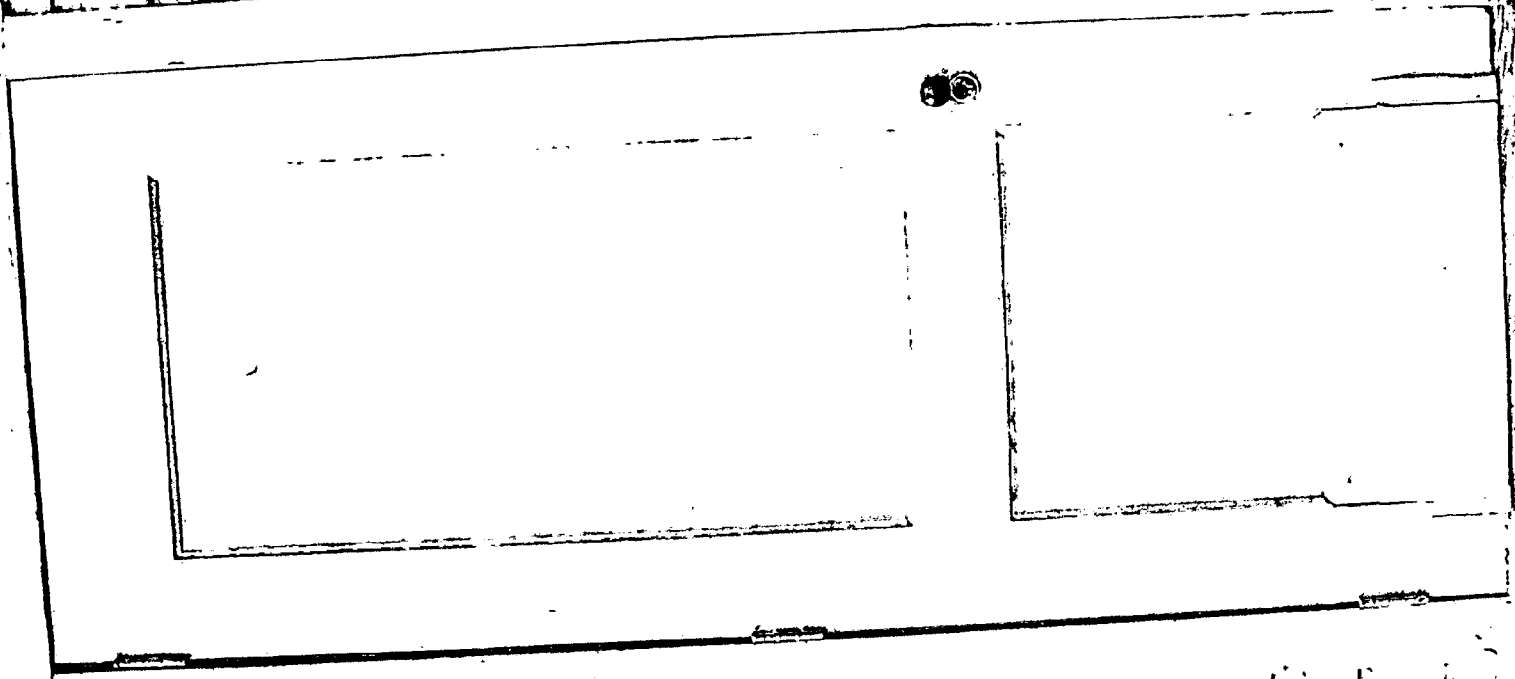




2007/01/10



HISTORIC
SITEL
HORTONIST
COUNTY
MASTER PLAN
HISTORIC
PRESERVATION



01/10/2017

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19510 White Ground Road, Boyds **Meeting Date:** 02/14/07
Applicant: Clarksburg Historical Society **Report Date:** 02/07/07
(Steve Gibson, Agent)
Resource: **Boyd's Negro School** **Public Notice:** 01/31/07
Master Plan Site #18/11
Review: HAWP **Tax Credit:** No
Case Number: 18/011-07A **Staff:** Michele Oaks

PROPOSAL: Handicap ramp installation

RECOMMEND: Approve with Conditions

STAFF RECOMMENDATION: Staff recommends that the Commission approve this HAWP application with the conditions that:

1. The balustrade for the subject handicap ramp will be detailed as an "inset picket". The modified design will be reviewed and approved by staff prior to installation.
2. The balustrade will be painted or stained.

PROJECT DESCRIPTION:

SIGNIFICANCE: *Master Plan* Individual Site: **Boyd's Negro School**
STYLE: Vernacular
DATE: 1895

The Boyd's Negro School is important as a surviving example of early education for rural black children in the County. Using material provided by the School Board, local residents built the 30' x 40' school that opened in 1895. Previously, local black children attended classes held in St. Mark's Church. One teacher taught students in grades 1-8 in one large, well-lit room warmed by a wood stove. Since the building had no plumbing, drinking water was hauled from Gum Spring and restrooms were in two outdoor privies. High school classes were not available for black students until a high school opened in 1936. The same year the Boyd's Negro School closed and students transferred to the Clarksburg Negro School. The Boyd's-Clarksburg Historical Society has restored the school and placed a preservation easement on the building and land.

PROPOSAL:

The applicant is proposing to construct a handicapped ramp measuring 28' L x 6' W at the entrance to the historic school building. The ramp will be constructed of wood with an applied picket balustrade.

No trees will need to be removed from the property for this project.

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STAFF DISCUSSION:

The owners are seeking the proposed handicap ramp, in order to provide accessibility into their museum facility.

The design of the ramp does not negatively impact the existing façade of the historic resource. The ramp will be self-supporting, and will not require connections to the building except for a threshold. As such, the ramp is considered a reversible change. The Commission generally supports accessibility designs that are fabricated of wood and are designed not to negatively impact the historic resource and are a reversible change.

However, the detail for the ramp's balustrade is not a typical design, which is generally supported by the Commission. The applied picket balustrade is a detail more commonly found on a rear deck. As this ramp will be located at the front of this very significant historic resource, a balustrade with an inset picket, which are more commonly found on porch railings is a more compatible treatment.

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Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
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- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

One room school house which is a historic site.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

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Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

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- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5

White Grounds Road

<u>Parcel</u>	<u>Owner</u>	<u>Property Address</u>	<u>Mailing Address</u>
<u>Adjoining</u>			
P876	Boyds-Clarksburg Historical Society, Inc.	19510 White Ground Rd.	P. O. Box 161 Boyds MD 20841
P851	Board of Education	White Ground Rd.	850 Hungerford Dr. Rockville MD 20840
P927	Giles, Ralph W. et al	19500 White Ground Rd.	38 Kettering Dr. Upper Marlboro MD 20774
<u>Across White Ground Rd.</u>			
PN983	Board of Education	19501 White Ground Rd.	850 Hungerford Dr. Rockville MD 20850
P033	Scott L. Wilson	19515 White Ground Rd.	19515 White Ground Rd. Boyds MD 20841
<u>Behind Rear Lot Line</u>			
P747	MDR-RCS LLC		c/o Capitol Investments 5454 Wisconsin Ave. #1265 Chevy Chase MD 20815 Resident Agent: Michael D. Rubin

FILED
HOWARD M. SMITH
CLERKS OFFICE
MONTGOMERY CO. MD.

THIS DEED made this 6th day of August, in the year Nineteen Hundred and Eighty, by and between Henrietta Randolph, party of the first part and the Boyds-Clarksburg Historical Society, Inc., a Maryland nonprofit corporation, party of the second part,

WITNESSETH, that for and in consideration of the sum of Seventeen Thousand Dollars (\$17,000.00), the said party of the first part does grant unto the said party of the second part, in fee simple, the following described land and premises, with the improvements, easements and appurtenances thereunto belonging, situate, lying and being in Montgomery County, State of Maryland, namely:

RTX 74.80
STT 85.00
DEED 8.00
SUBTOTAL 167.80
LATE FEE 18.10
TOTAL 185.90

It being part of a tract of land called "The Reserve of Wolfe's Cow", and included within the metes and bounds of the same at a stone planted on the North side of the road leading from Dawsonville to Boyd's Station, and on the third line of a conveyance from the said Mary H. DeLauder and Edgar C. DeLauder to John Brown and running thence reversing said line North fifteen and three-fourths degrees West, Nineteen and one-fourth perches to a stone at the beginning of said line; thence North seventy-four and one-fourth degrees East, four and three-twentieths perches to a stone; thence South fifteen and three-fourths degrees East, nineteen and one-fourth perches to a stone on the North side of the aforesaid public road; thence South fifteen and three-fourths degrees West, four and three-twentieths perches to the place of beginning, containing one-half acre of land, more or less.

Together with all of the buildings, rights, ways, waters and privileges thereto belonging or in anywise appertaining.

By separate agreement the party of the second part has agreed with Montgomery County, Maryland, a municipal corporation, in consideration of funds granted by Montgomery County to the party of the second part, to restore, maintain, and operate the within-described property as a community public building. Should the party of the second part fail to restore, maintain, or operate said property as a community public building, then and in any of

74.80
85.00
8-

such events title and ownership to said property shall vest in said Montgomery County, Maryland. Should any such events occur, and upon demand of the County, the party of the second part agrees to execute any documentation required to effectuate transfer to said Montgomery County, Maryland.

BEING the same land described in liber 2646, folio 213 and liber 2553, folio 575.

TO HAVE AND TO HOLD the same unto and to the use of said party hereto of the second part, in fee simple.

AND the said party of the first part does hereby covenant to warrant specially the property hereby conveyed, and to execute such further assurances of said land as may be requisite.

WITNESS my hand and seal on the day and year first hereinbefore written.

Signed, sealed and delivered in presence of,

Allan A. Noble

Allan A. Noble

Henrietta Randolph (SEAL)

Henrietta Randolph

STATE OF MARYLAND, MONTGOMERY COUNTY, to wit:

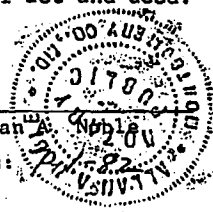
I HEREBY CERTIFY that on this 6th day of August, 1980, before me, the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared Henrietta Randolph, and did acknowledge the foregoing Deed to be her act and deed.

WITNESS my hand and Notarial Seal.

Allan A. Noble

Notary Public Allan A. Noble

My Commission Expires: 7/15/82

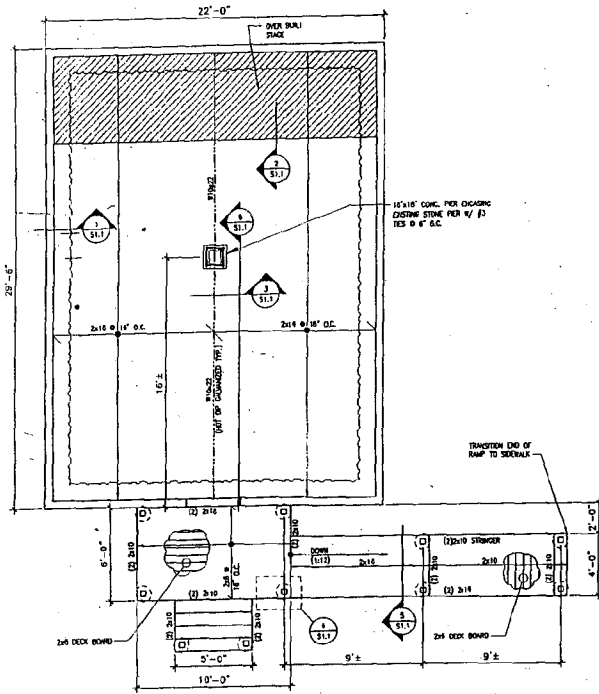


I hereby certify that I am an attorney duly admitted to practice before the Court of Appeals of Maryland and that the within instrument was prepared under my supervision.

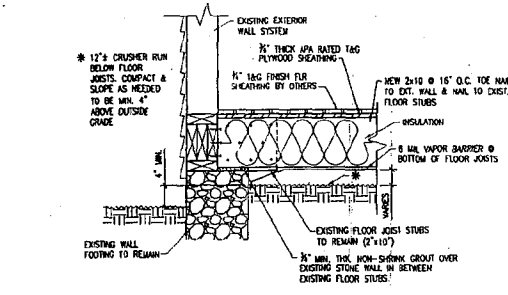
Allan A. Noble
Allan A. Noble

8

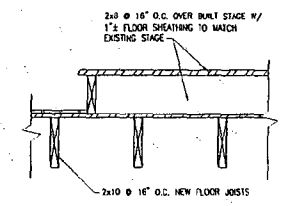




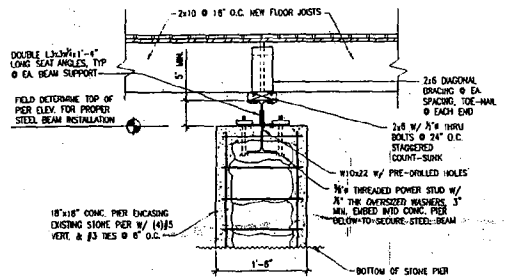
FOUNDATION / FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"
S1.1



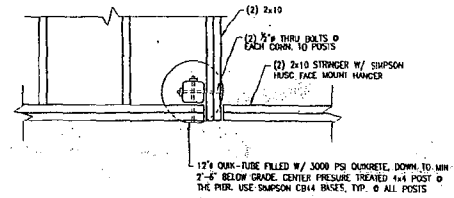
SECTION @ EXTERIOR WALL FOOTING
SCALE: 1"=1'-0"
S1.1



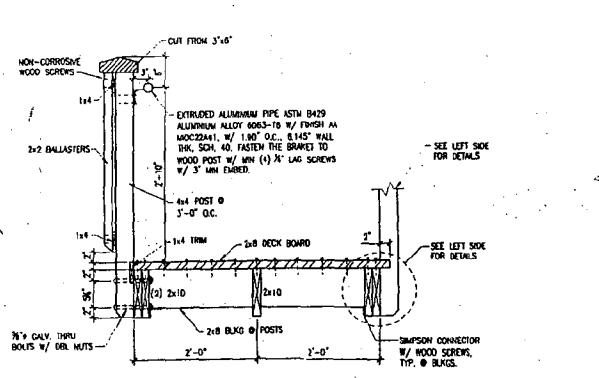
SECTION @ STAGE
SCALE: 1"=1'-0"
S1.1



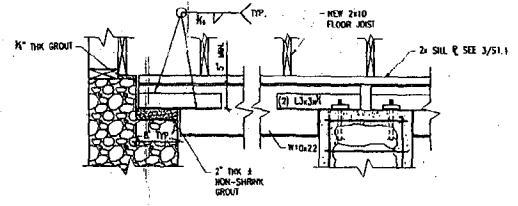
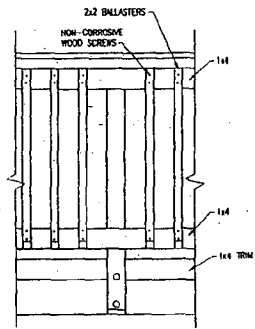
TYP. SECTION @ FLOOR JOIST BEARING
SCALE: 1"=1'-0"
S1.1



POST & SUPPORT DETAILS
SCALE: 1"=1'-0"
S1.1



TYP. RAMP SECTION & ELEVATION
SCALE: 1"=1'-0"
S1.1



TYP. STEEL BEAM BEARING DETAIL
SCALE: 1"=1'-0"
S1.1

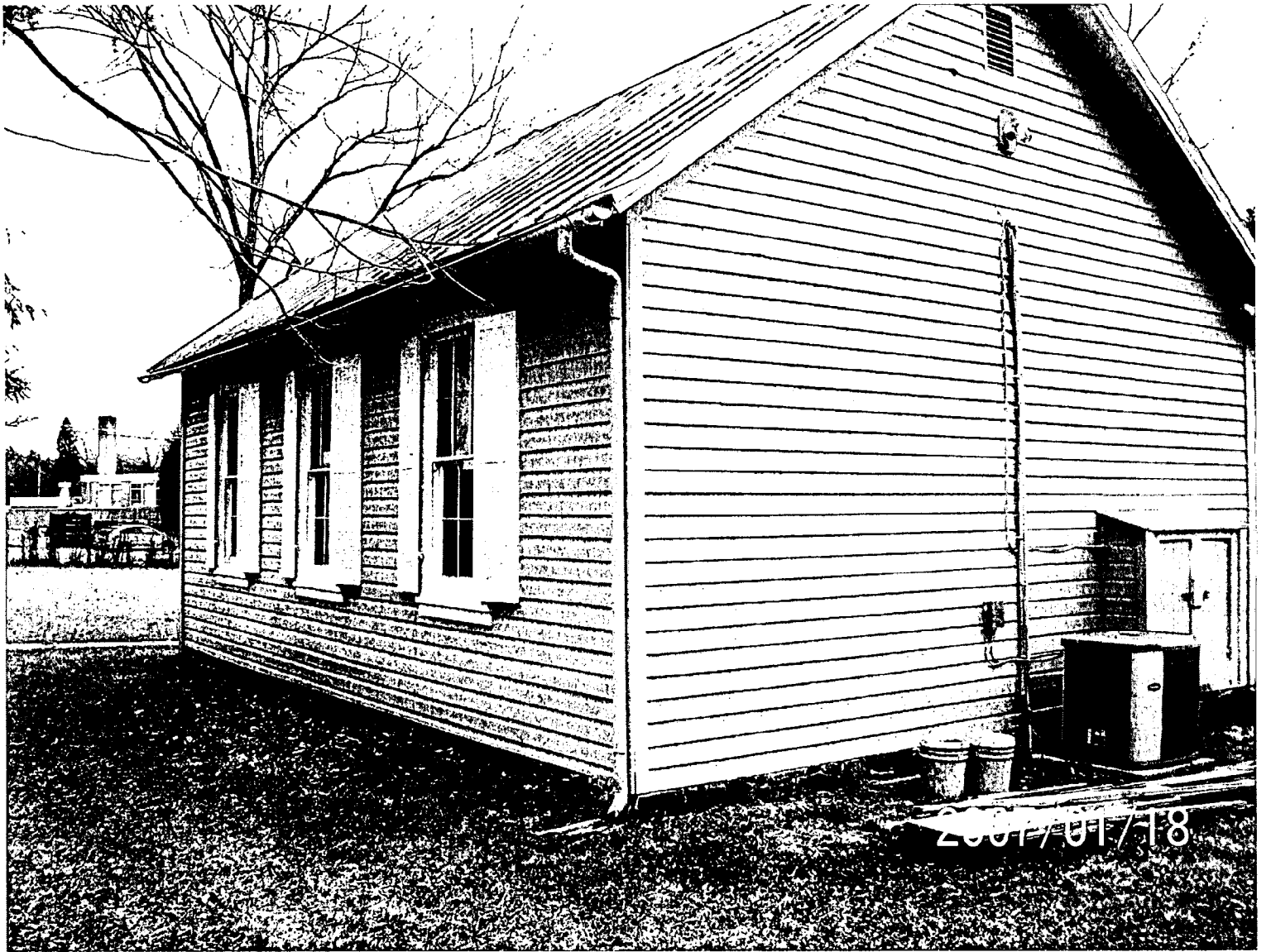
- STRUCTURAL NOTES**
1. ALL WOOD MEMBERS CONTACTING GROUND AND EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
 2. USE NEW FIP #2 FOR FLOOR JOISTS.
 3. STEEL BEAMS, ANCHORING DEVICES, AND JOIST HANGERS SHALL BE GALVANIZED, U.S.S.
 4. FIELD VERIFY ALL DIMENSIONS TO MATCH W/ EXISTING BUILDING.



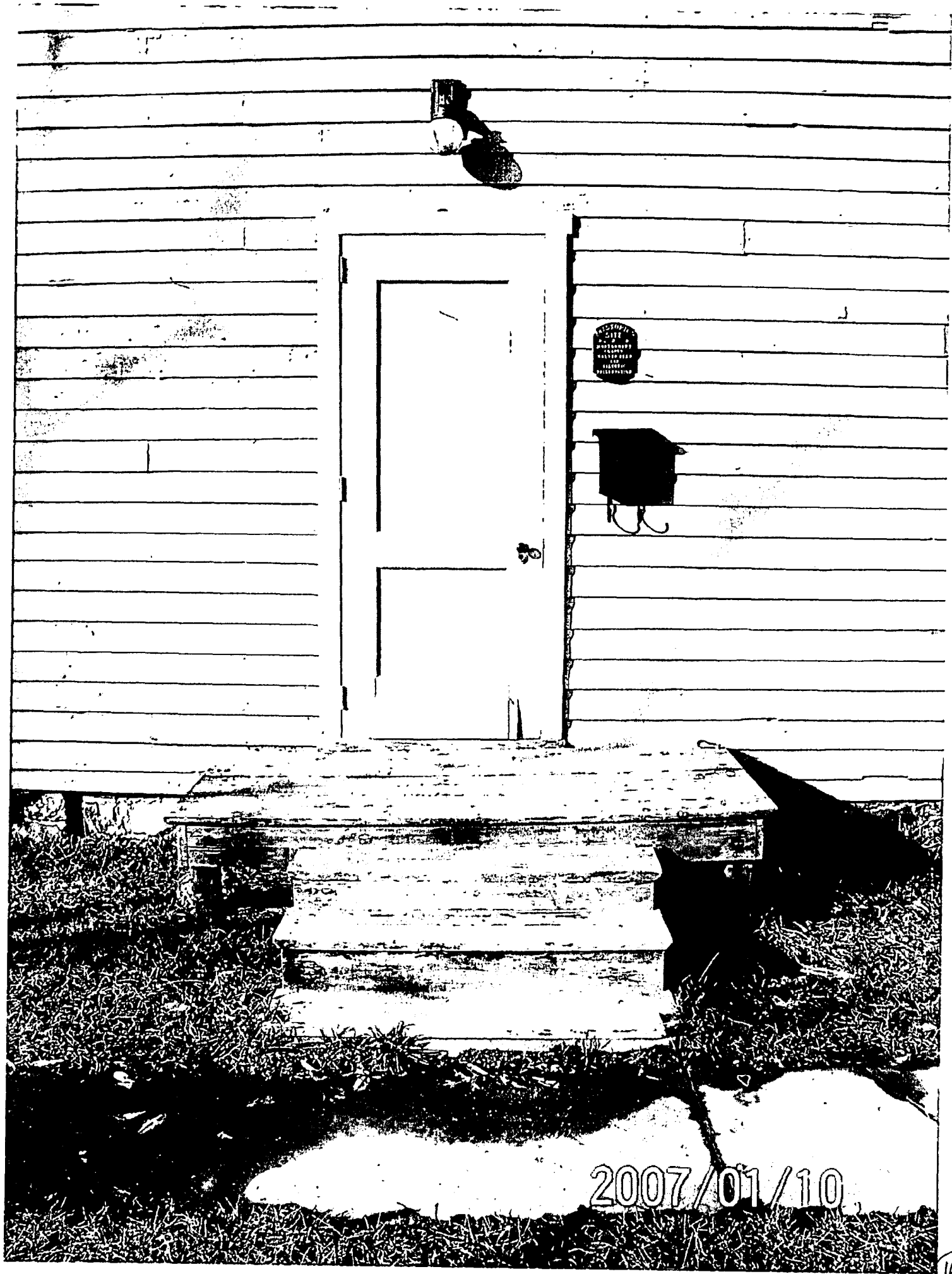


11









2007/01/10



2007/01/10

10



HISTORIC
SITE
MONTGOMERY
COUNTY
MASTER PLAN
FOR
HISTORIC
PRESERVATION



2007/01/10



2007/01/18

AUG 7 1980

11 1 919384

All Taxes on assessments certified to the Collector of Taxes for Montgomery County Md. by 8/7/80 have been paid Dept. of Finance, Montgomery County, Md. This statement is for the purpose of permitting recodification and is not assurance against further taxation even for prior periods, nor does it guarantee satisfaction of outstanding tax sales.

~~S~~ ~~TRANSFER TAX PAID~~
~~MONTGOMERY COUNTY, MARYLAND~~
BY _____

~~E~~ ~~TRANSFER TAX PAID~~
~~MONTGOMERY COUNTY, MARYLAND~~
BY [Signature]

~~EXEMPT FROM TRANSFER TAX~~
~~MONTGOMERY COUNTY, MARYLAND~~
BY [Signature]

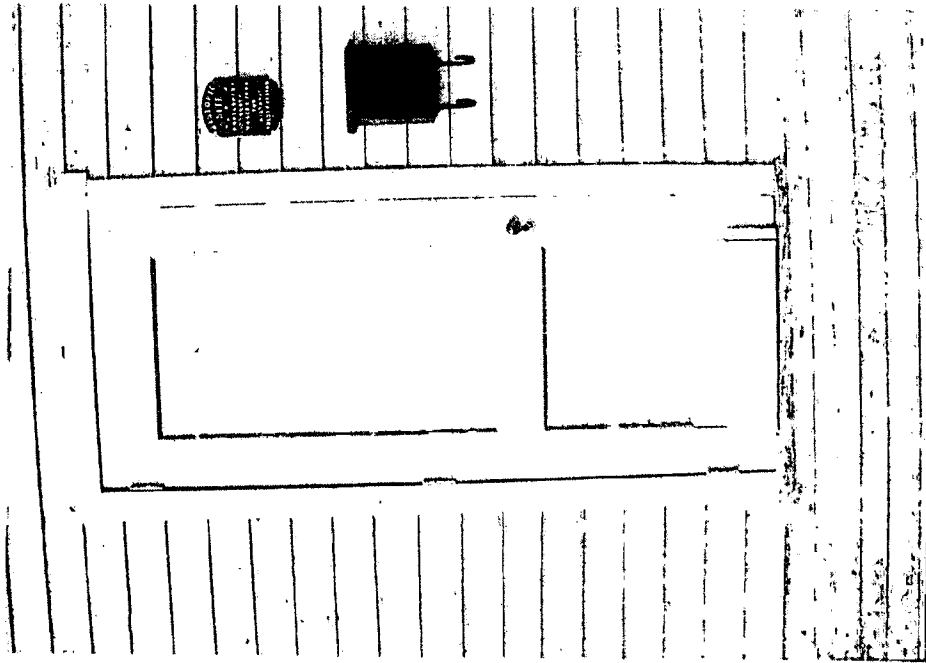
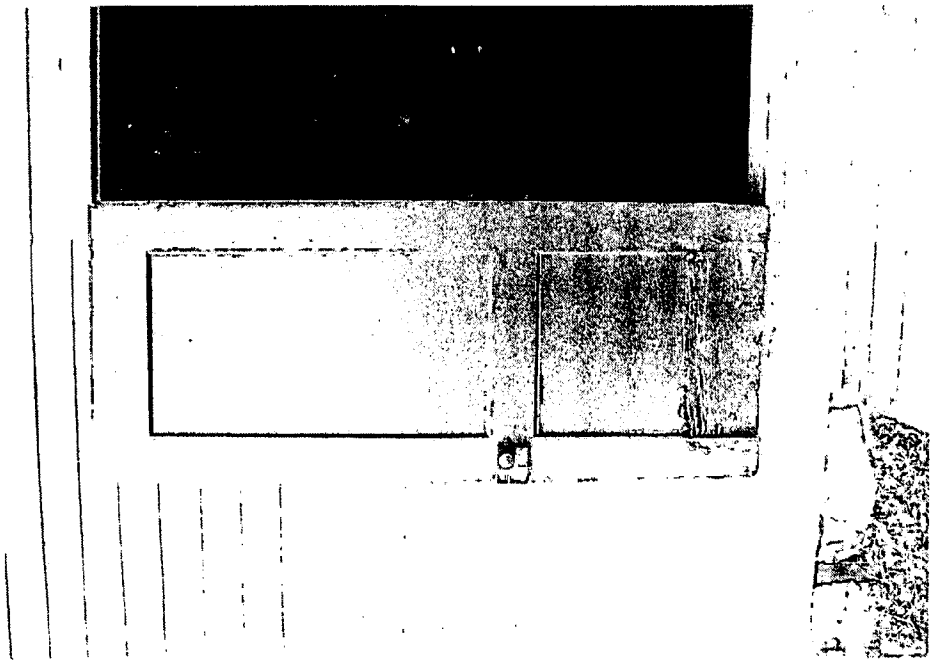
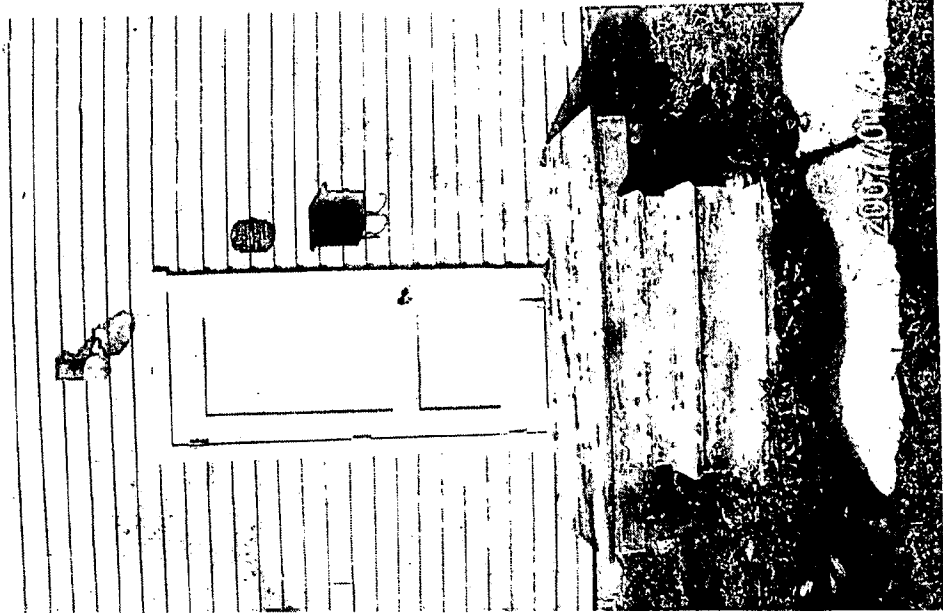
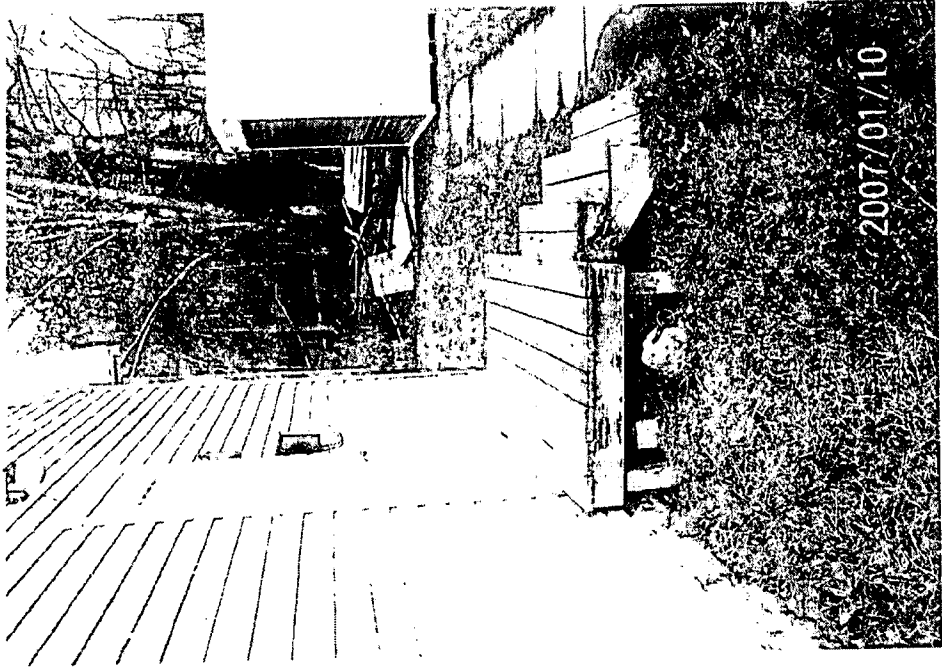
HEREBY CERTIFY THAT THE ABOVE PROPERTY HAS BEEN DULY
TRANSFERRED ON THE MONTGOMERY COUNTY
ASSESSMENT BOOKS.

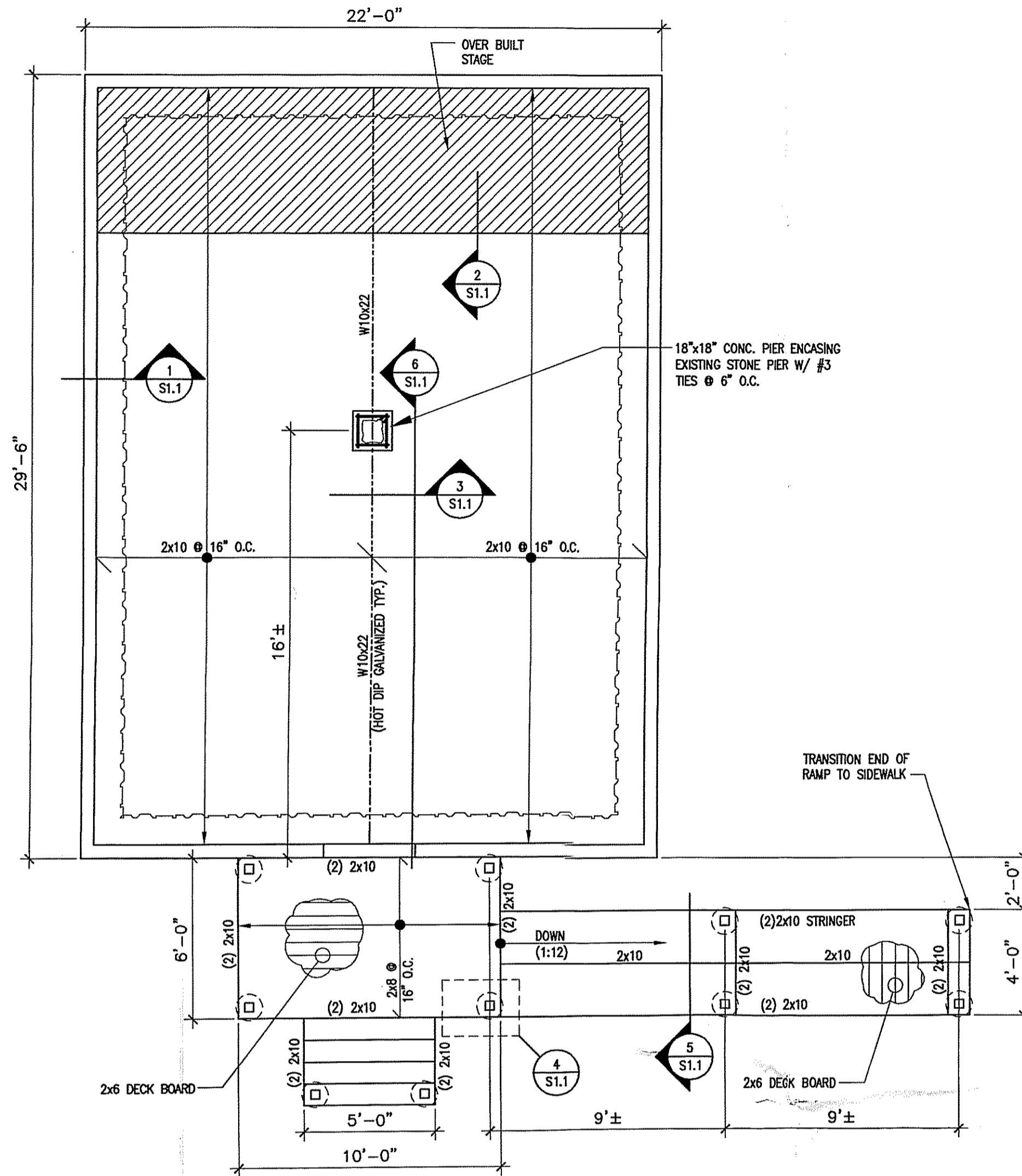
B. Wilhelm #13315
TRANSFER CLERK, ASSESSMENT DEPARTMENT

11-1-919384

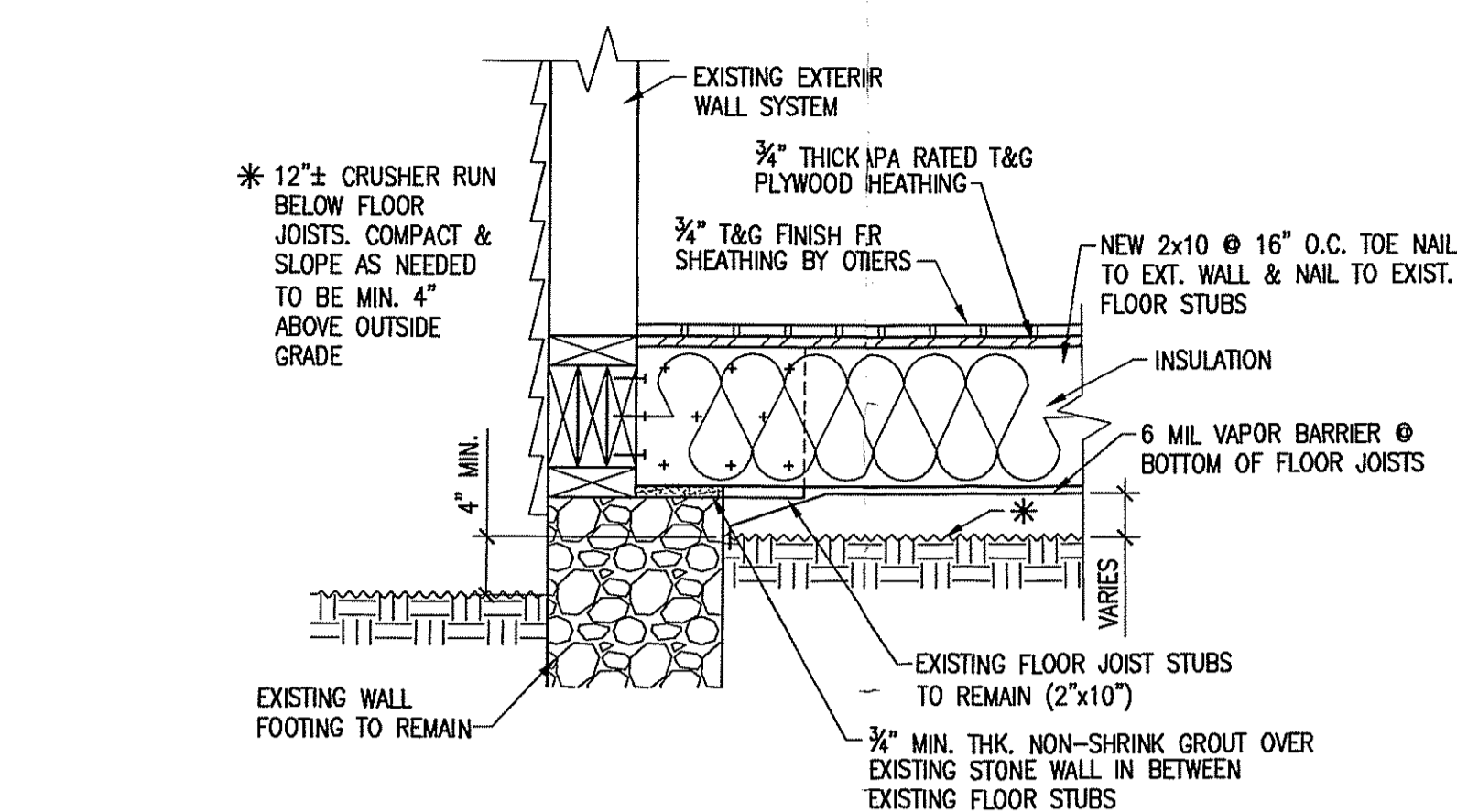
LIBER 5556 FOLIO 696

MONTGOMERY COUNTY CIRCUIT COURT (Land Records) [MSA OF 04-0511] 11-1-919384 p. 0028

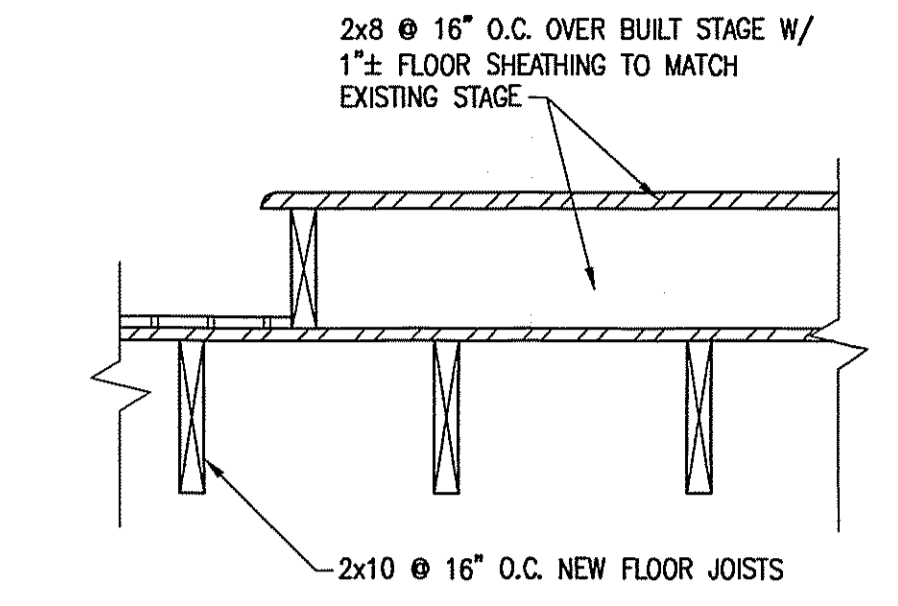




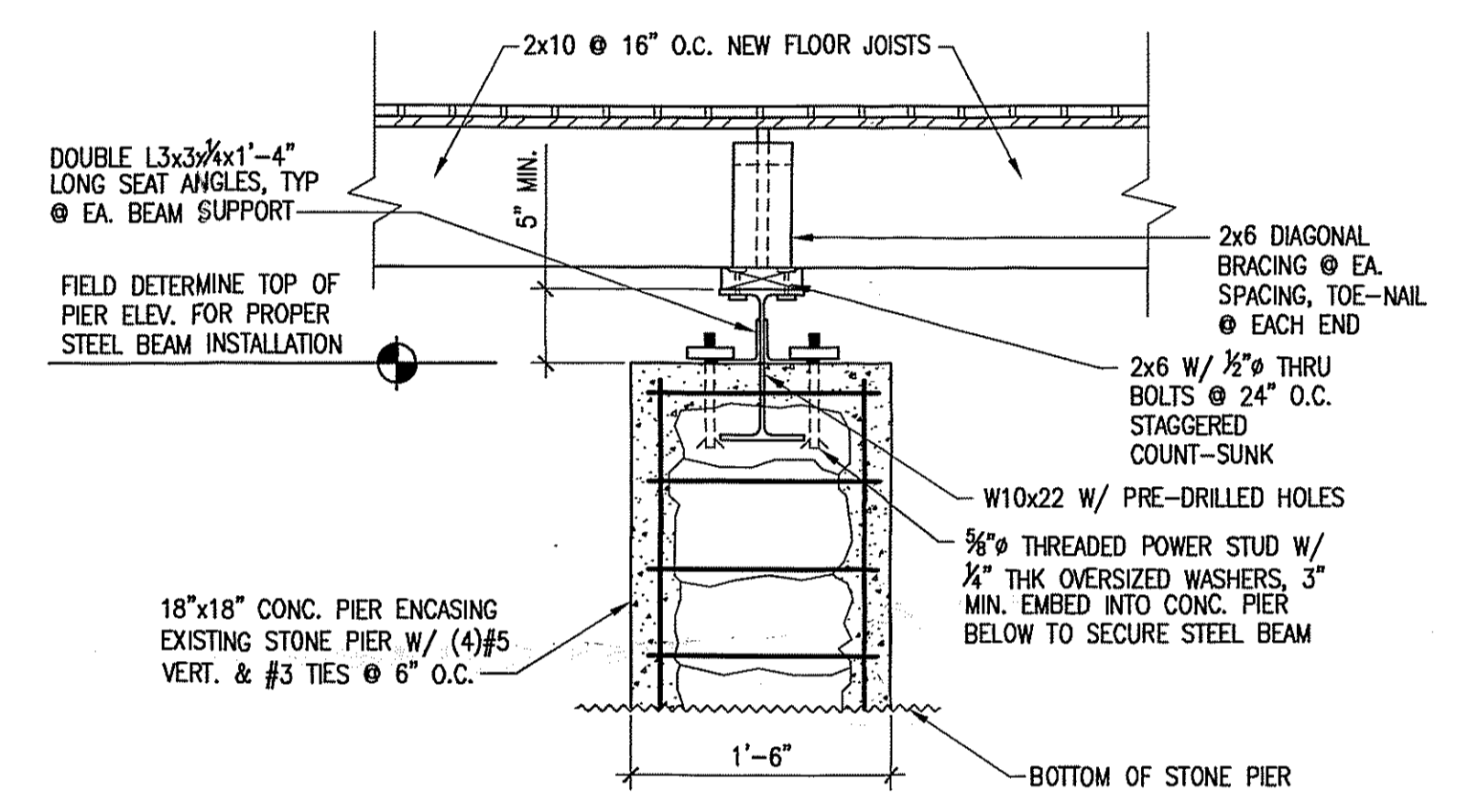
FOUNDATION / FIRST FLOOR PLAN
SCALE: 1/8\"/>



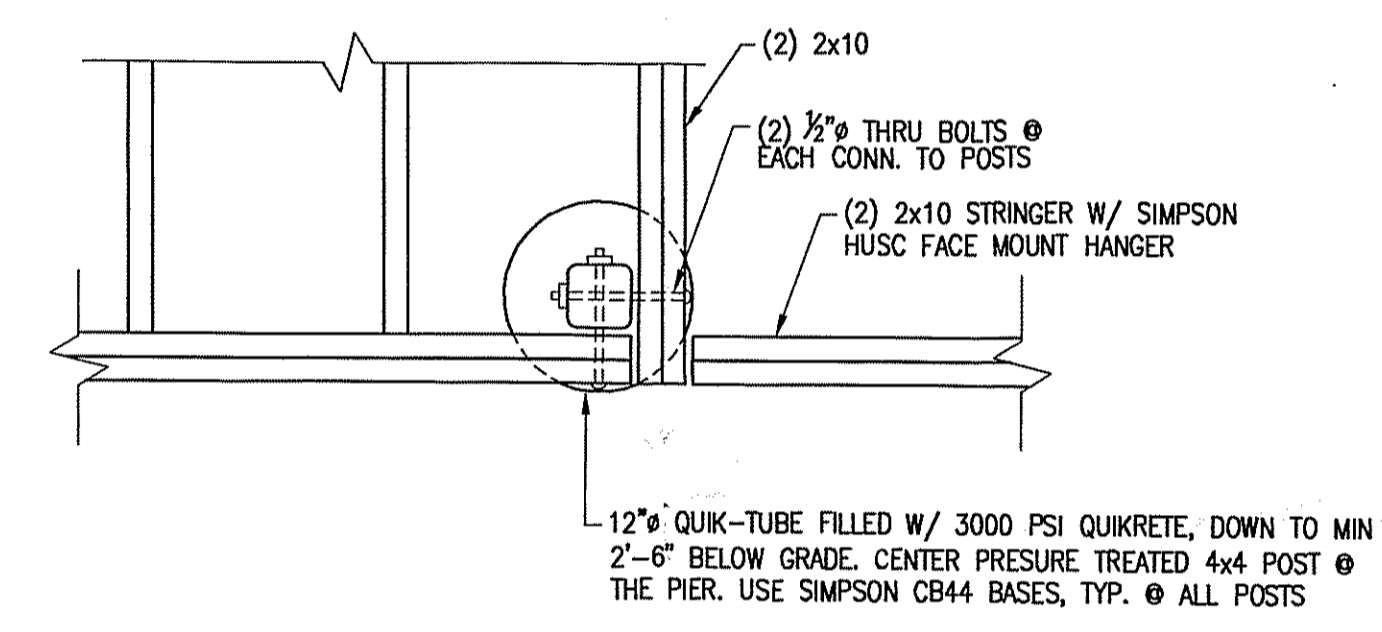
SECTION @ EXTERIOR WALL FOOTING
SCALE: 1\"/>



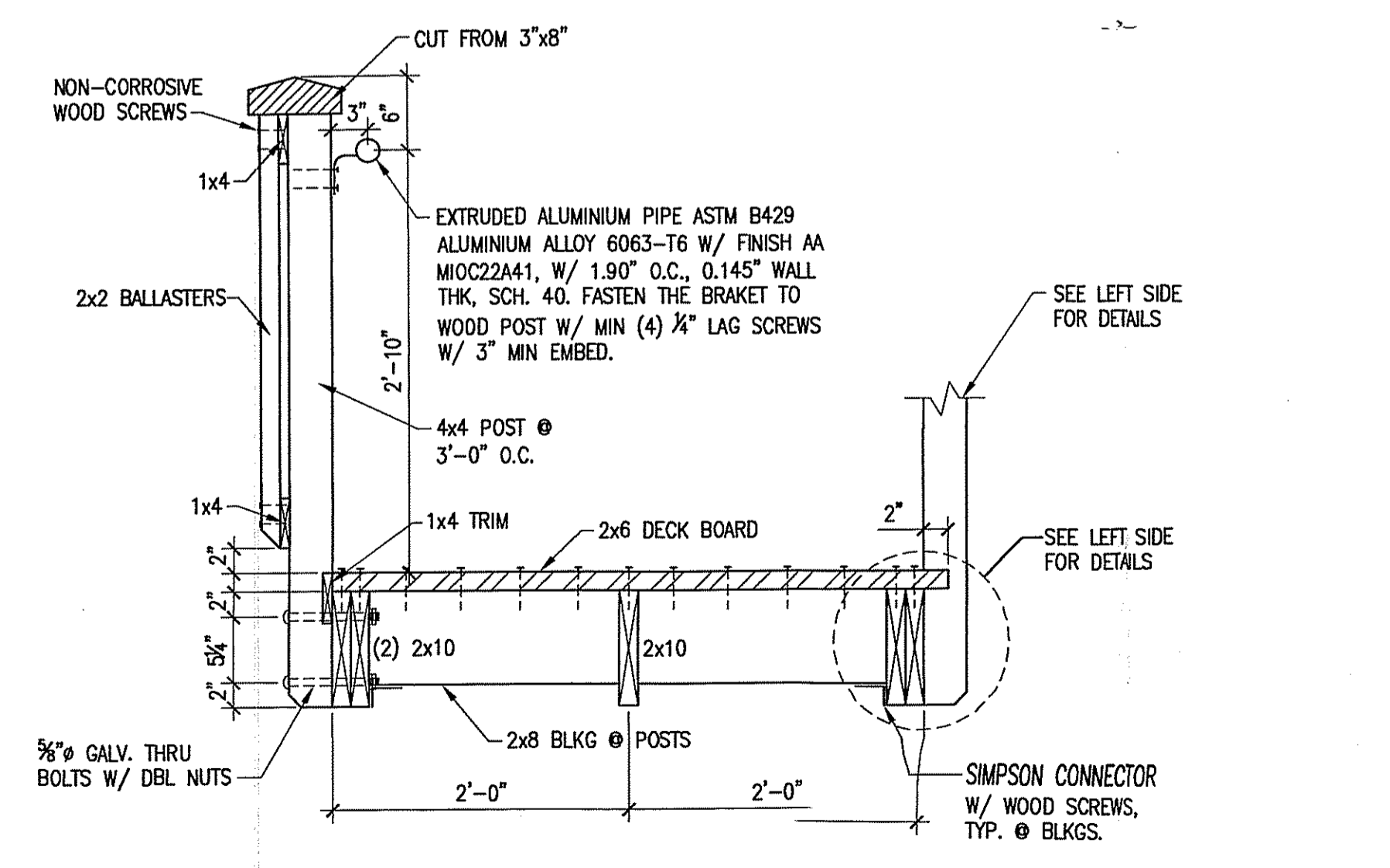
SECTION @ STAGE
SCALE: 1\"/>



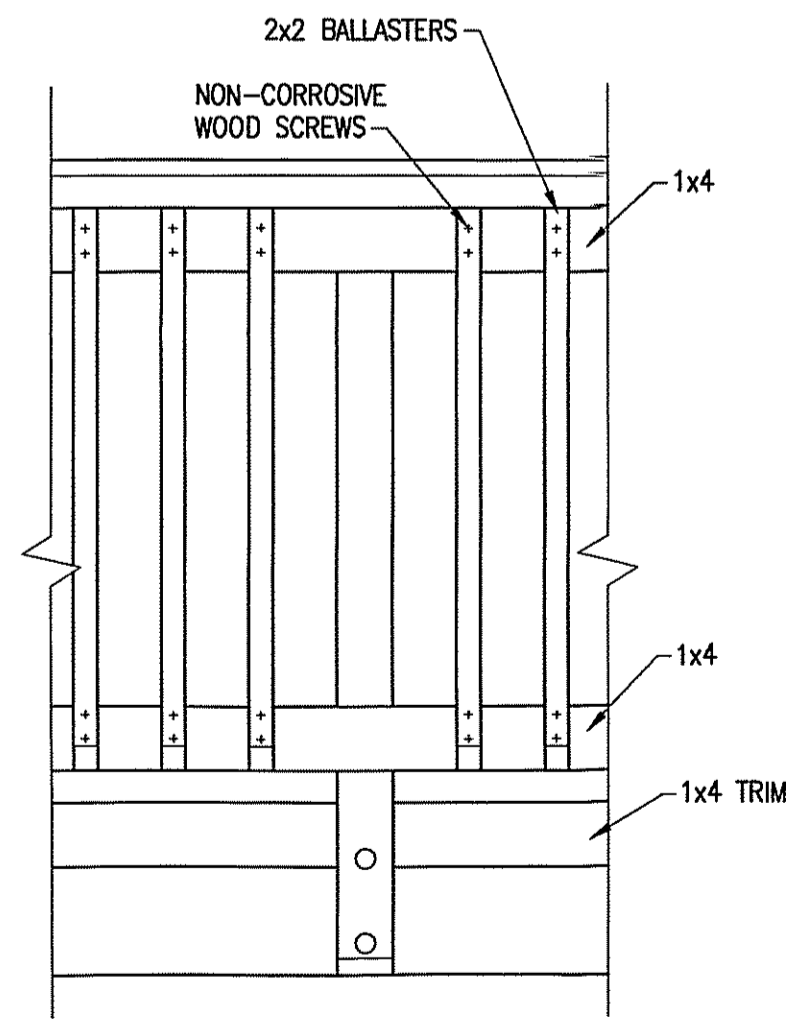
TYP. SECTION @ FLOOR JOIST BEARING
SCALE: 1\"/>



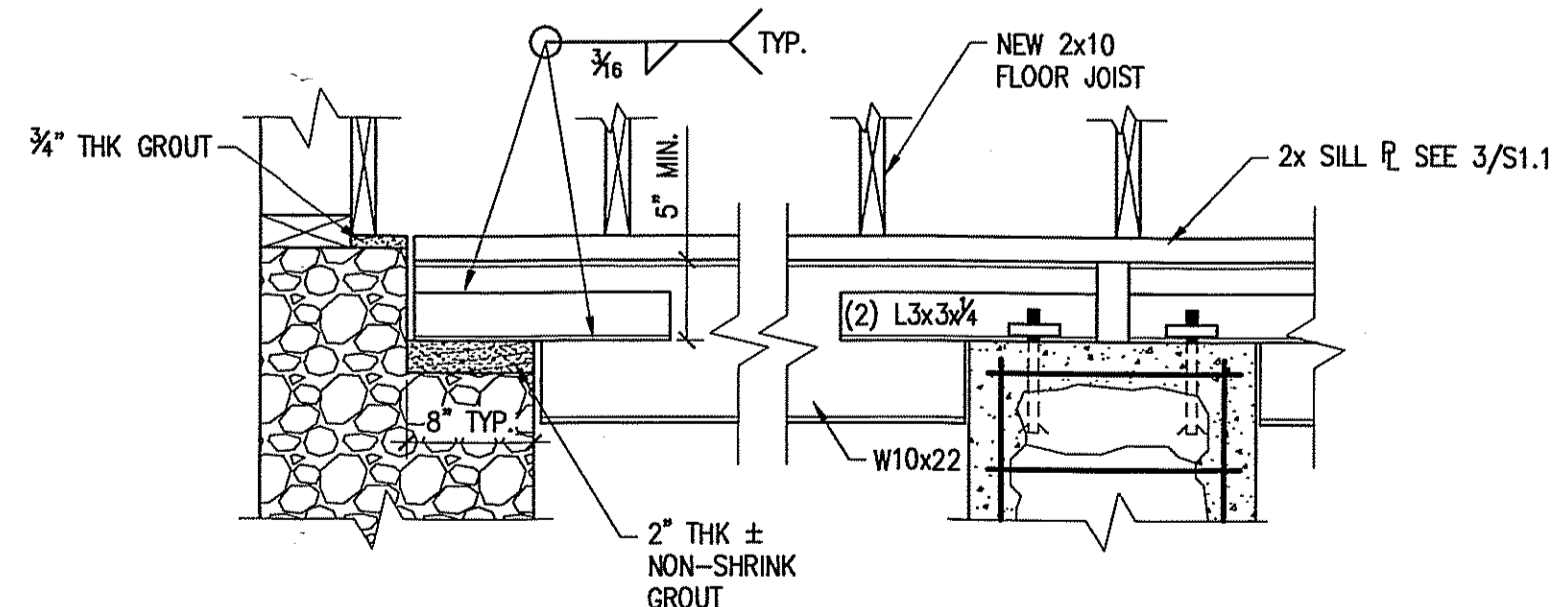
POST & SUPPORT DETAILS
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TYP. RAMP SECTION & ELEVATION
SCALE: 1\"/>



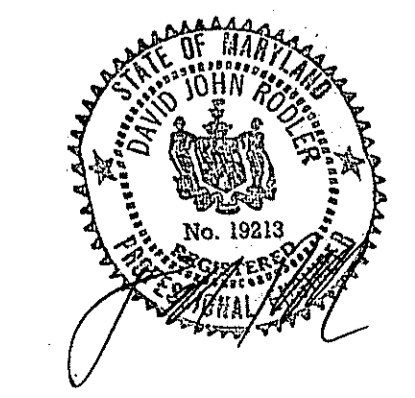
TYP. STEEL BEAM BEARING ELEVATION
SCALE: 1\"/>



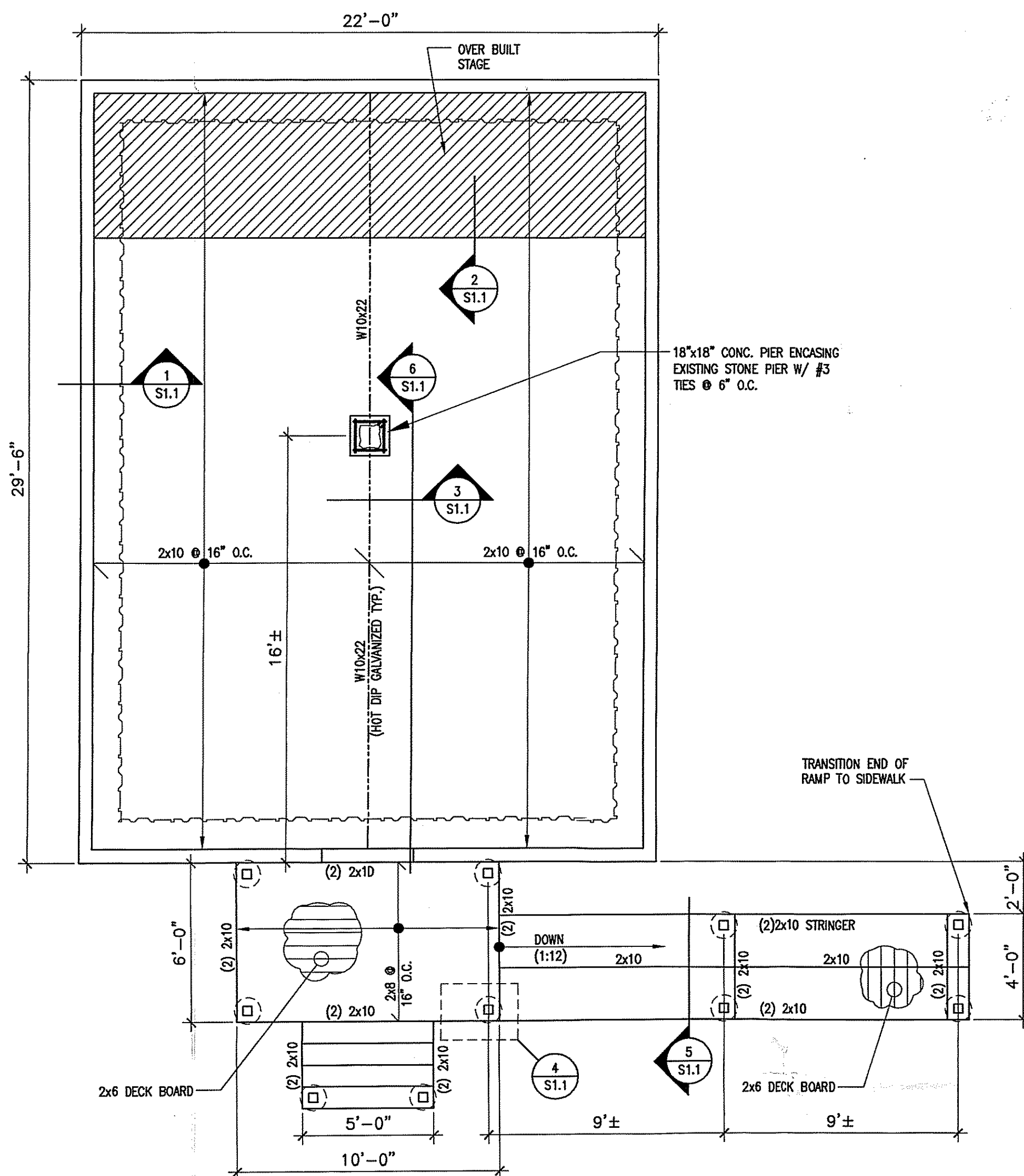
TYP. STEEL BEAM BEARING DETAIL
SCALE: 1\"/>

STRUCTURAL NOTES

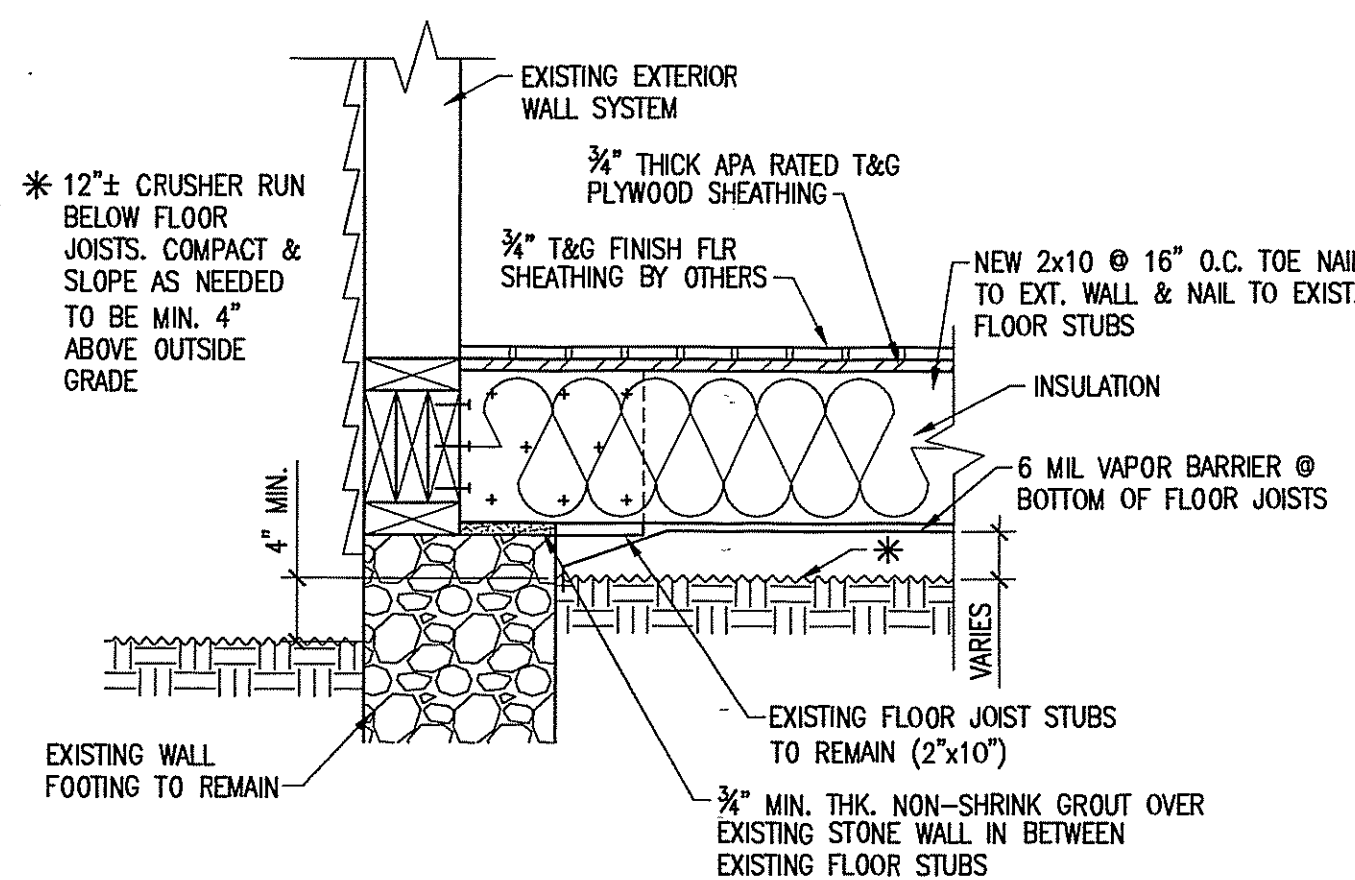
- 1. ALL WOOD MEMBERS CONTACTING GROUND AND EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
- 2. USE HEM FIR #2 FOR FLOOR JOISTS.
- 3. STEEL BEAMS, ANCHORING DEVICES, AND JOIST HANGERS SHALL BE GALVANIZED, U.N.O.
- 4. FIELD VERIFY ALL DIMENSIONS TO MATCH W/ EXISTING BUILDING.



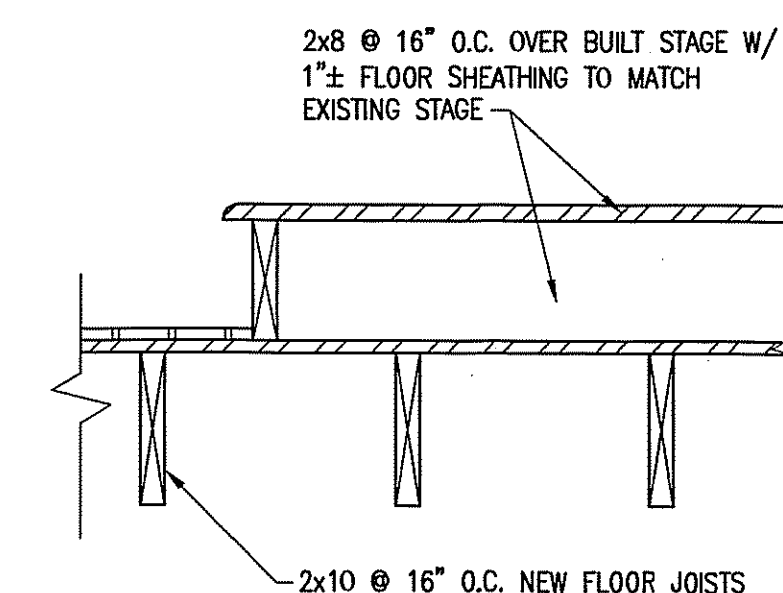
BOYD'S SCHOOL RENOVATION



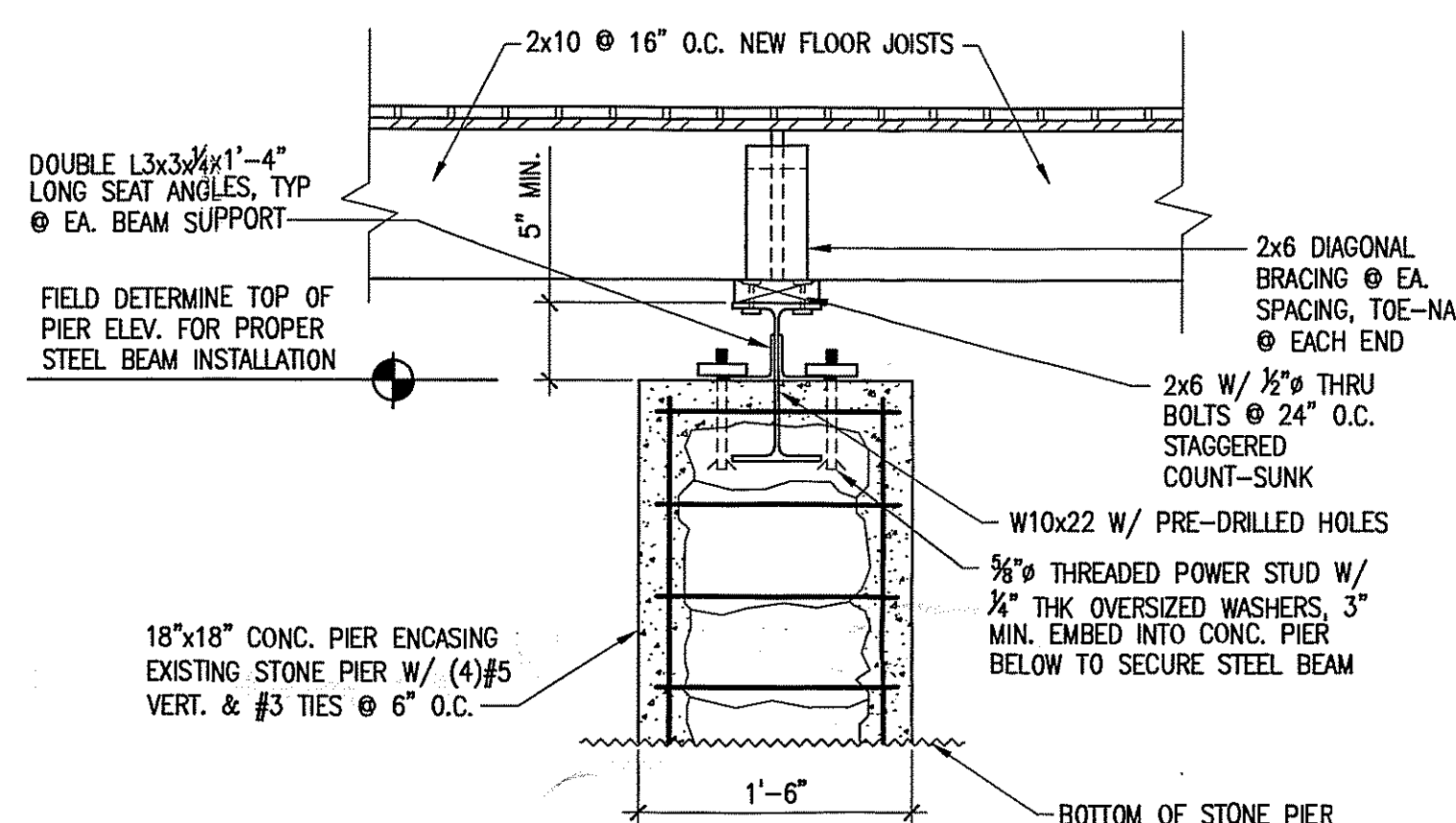
FOUNDATION / FIRST FLOOR PLAN
SCALE: 1/8"=1'-0" S1.1



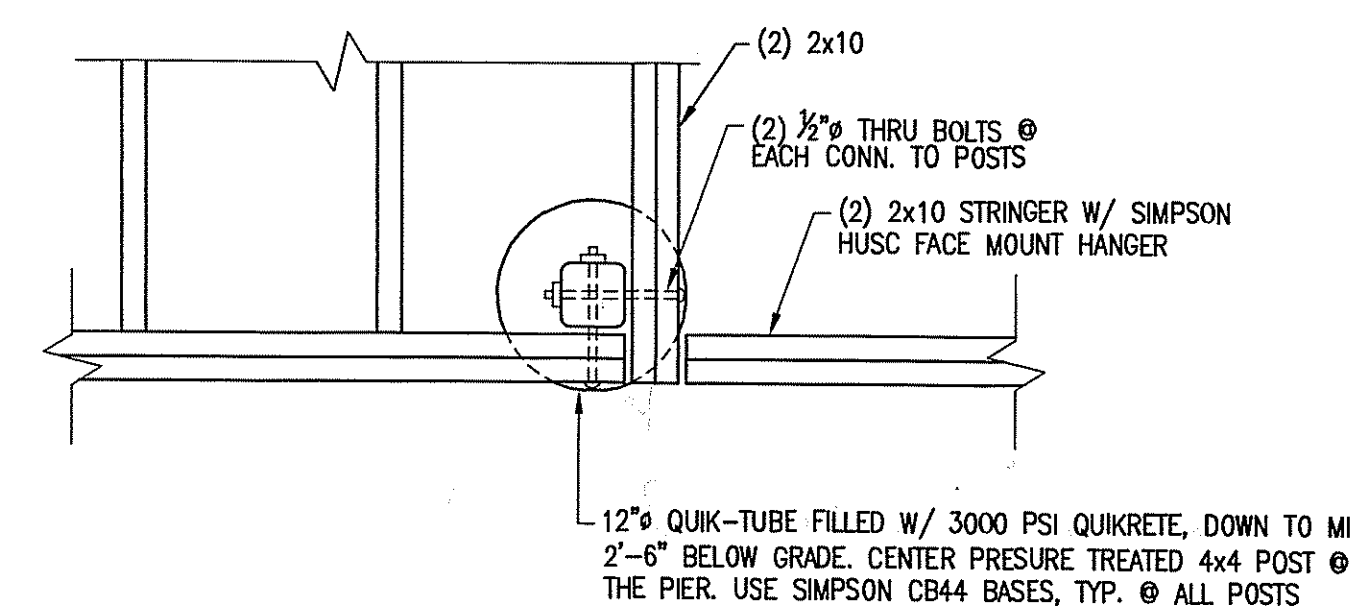
SECTION @ EXTERIOR WALL FOOTING
SCALE: 1"=1'-0" S1.1



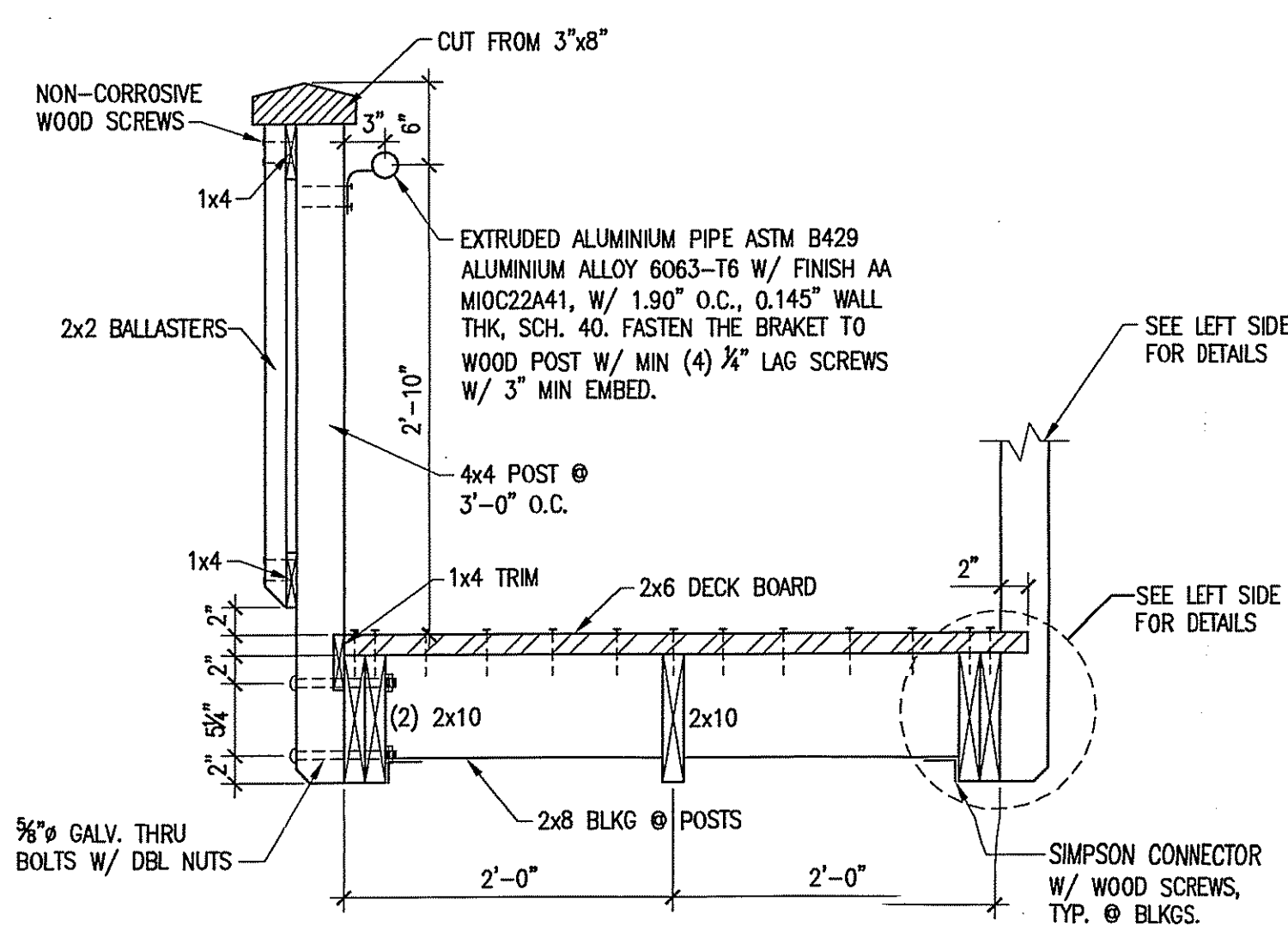
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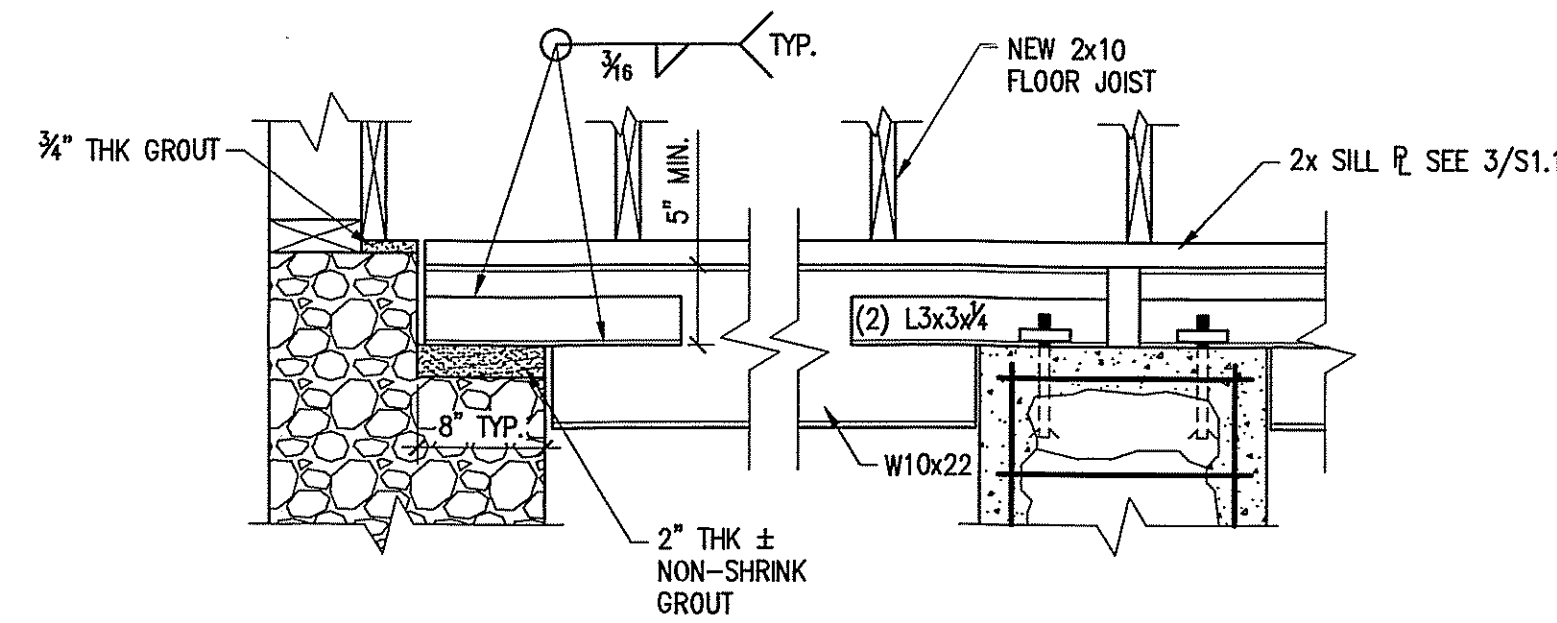
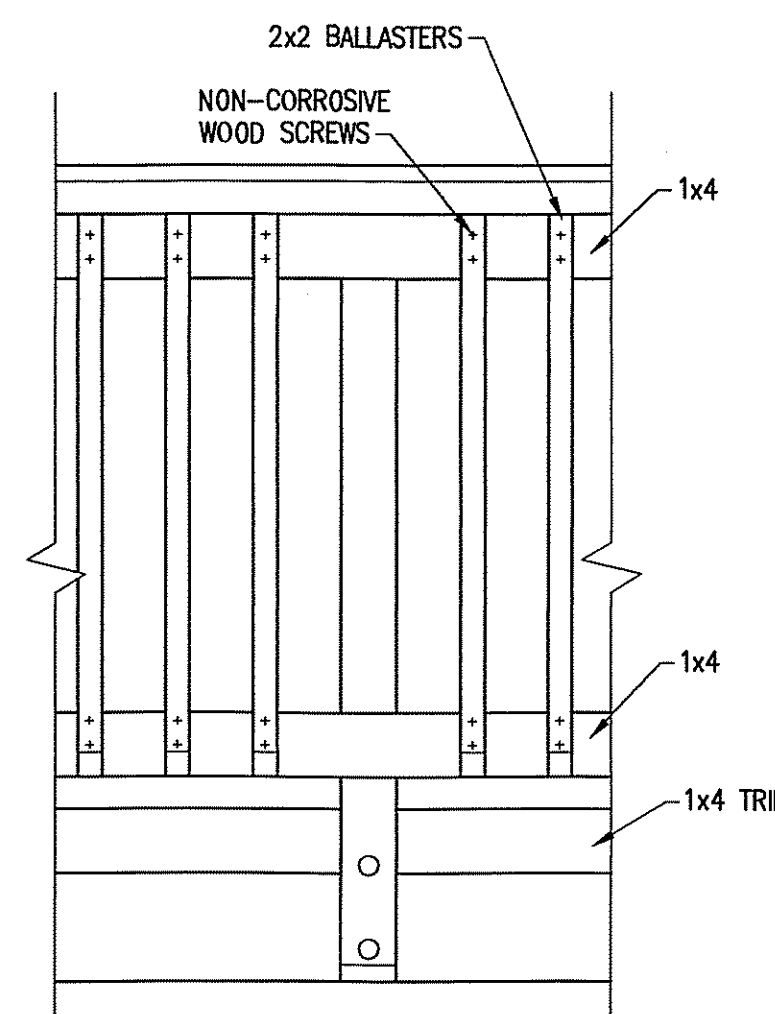
TYP. SECTION @ FLOOR JOIST BEARING
SCALE: 1"=1'-0" S1.1



POST & SUPPORT DETAILS
SCALE: 1"=1'-0" S1.1



TYP. RAMP SECTION & ELEVATION
SCALE: 1"=1'-0" S1.1



TYP. STEEL BEAM BEARING DETAIL
SCALE: 1"=1'-0" S1.1

STRUCTURAL NOTES

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