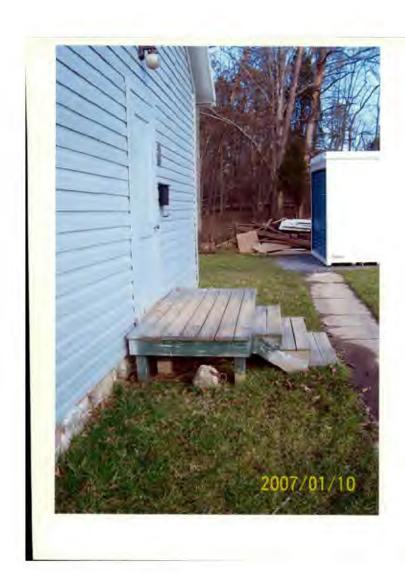
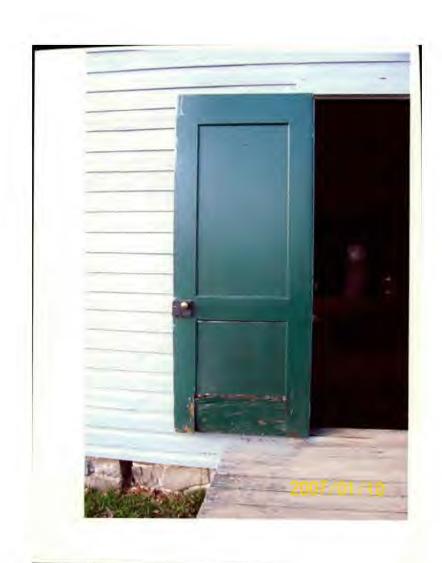
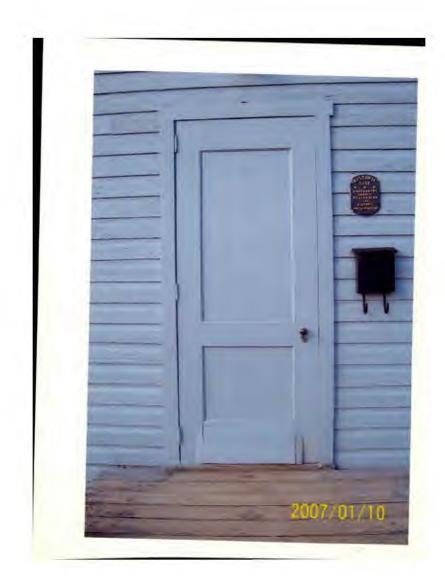
18/11-07A 19510 WHITE GROUND RD Boyds Negro School, 18/011















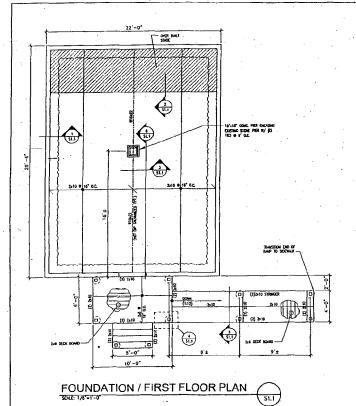


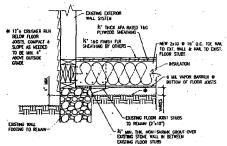
Smislova, K

6101 Executi Rockville, Ma Telephone (3)

Project 07-900

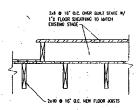
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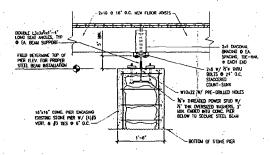
SECTION @ EXTERIOR WALL FOOTING

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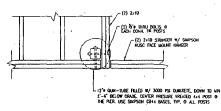


SECTION @ STAGE

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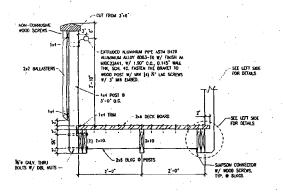


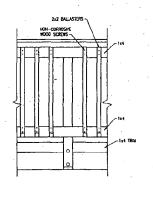
TYP. SECTION @ FLOOR JOIST BEARING

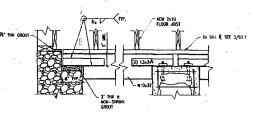


POST & SUPPORT DETAILS

4







TYP. STEEL BEAM BEARING DETAIL

STRUCTURAL NOTES

- 1. ALL WOOD WEMBERS CONTACTING GROUND AND EXPOSED TO WEATHER SHALL BE PRESSURE TREAT
- 2. USE HEM FIR #2 FOR FLOOR JOISTS.
- 1 STEEL BEAUS, ANCHORING DEVICES, AND JOIST HANDERS SIMIL BE CALVANIZED, U.H.O.
- 4. FIELD VERIFY ALL DIMENSIONS TO MATCH M/ EXISTING BUILDING



TYP. RAMP SECTION & ELEVATION

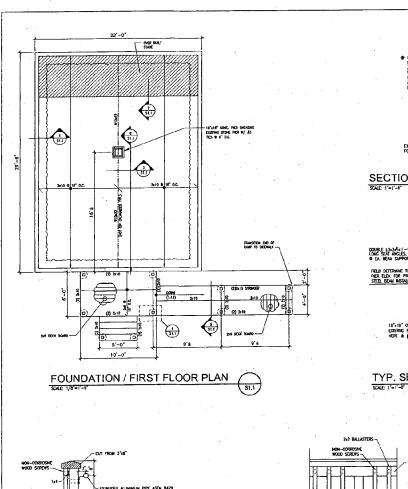
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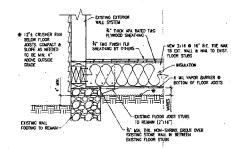
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Date . 01/05/.

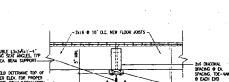
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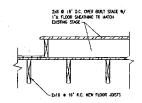


SECTION @ EXTERIOR WALL FOOTING



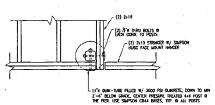
110x22 W/ PRE-DRULED HOLES

TYP. SECTION @ FLOOR JOIST BEARING



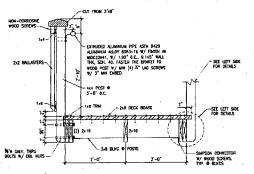
SECTION @ STAGE

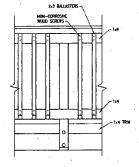


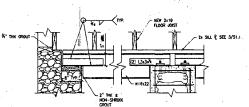


POST & SUPPORT DETAILS









TYP. STEEL, BEAM BEARING DETAIL



SK&A

Associates, P.A. Consulting Structural Engineers

6101 Executive Boulevard Rockville, Maryland 20852 Telephane (301) 881-1441

Project No.

07-900

SCHOOL RENOVATION BOYD'S

Drawing Title

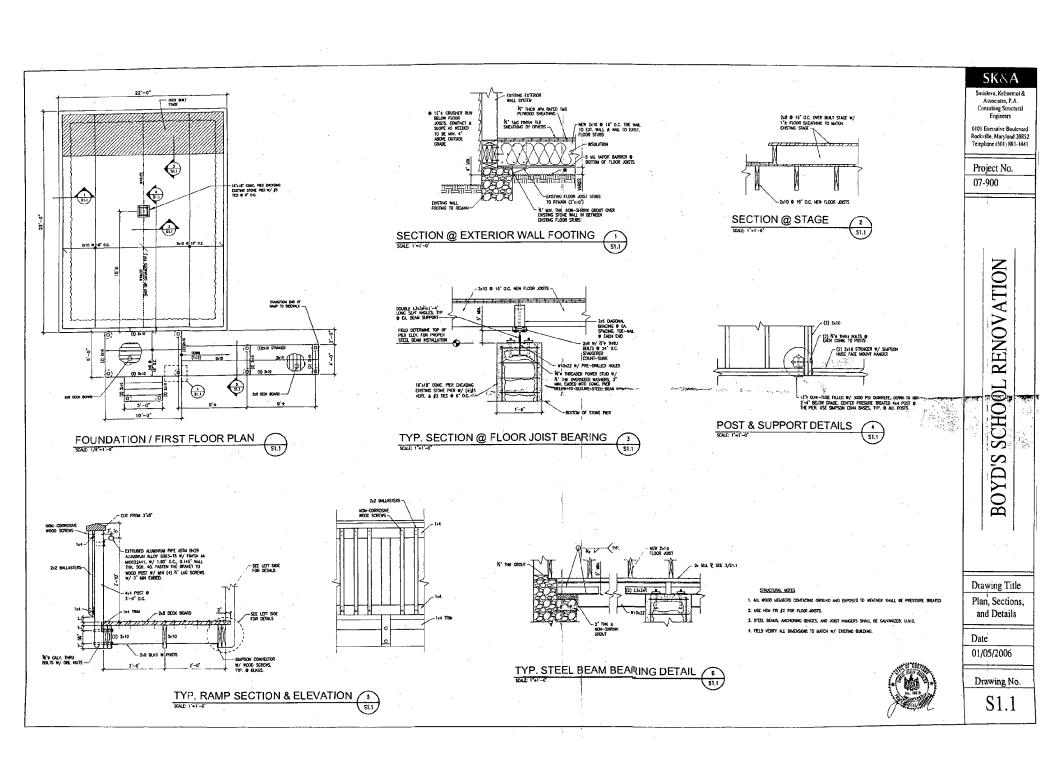
Plan, Sections, and Details

Date 01/05/2006

Drawing No.

S1.1

TYP. RAMP SECTION & ELEVATION (5)





DPS - #8

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

mailing address
POBDX 161

RMIT Boyds MD

		Contact Person:	steve (alb SON
		Daytime Phone No.:	301-40	18-0671
Tax Account No.: 009919 384	<u>'</u>			
Name of Property Owner: BOYOS - CCARKS ISU.	e6 HIST	S O Daytime Phone No.:		
Address: 19510 WHITE GROU				
Contractor:		Phone No.:		
Contractor Registration No.:				
Agent for Owner:		Oaytime Phone No.:		
LOCATION OF BUILDING/PREMISE				
House Number: 19510 white GR	Street	WHITE	GROUN	o RO
Town/City: BOYDS MD	Nearest Cross Street:	HOYLES	MILL	Rp.
Lot: Block: Subdivision:				
Liber: <u>5556</u> Folio: <u>694</u> Parcel:				
RART ONE: TYPE OF PERMIT ACTION AND USE				
1A. CHECK ALL APPLICABLE:	CHECK VI	APPLICABLE:		
© Construct □ Extend □ Alter/Renovate	□ A/C		Addition (ELPn	fich Deck Deck
☐ Move		☐ Fireplace ☐ Wood		☐ Single Family
		•	-	hand: cap Ramp
☐ Revision ☐ Repair ☐ Revocable 18. Construction cost estimate: \$			e uner:	Mane, Lap Kam
1C. If this is a revision of a previously approved active permit, s	16 Permit #		······································	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AN	D EXTEND/ADDIT		4	<i>i i i c</i>
2A. Type of sewage disposal: 01 🗀 WSSC	02 🗆 Septic	03 🔁 Other:	Portable	e toilets
2B. Type of water supply: 01 □ WSSC	02 🗆 Well	03 🗷 Other:	BUTTLED	
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING	WALL			
3A. Height feet inches				
38. Indicate whether the fence or retaining wall is to be const	ructed on one of the	following locations:		
On party line/property line	nd of owner	On public right o	f way/easement	
I hereby certify that I have the authority to make the foregoing approved by all agencies listed and I hereby acknowledge and	application, that the	application is correct, an condition for the issuance	d that the construct e of this permit.	ion will comply with plans
1				
: Steven C. Sham			111710	. 7
Signature of owner or authorized agent				Date
Approved:	Fac Chair	person, Historic Preserve	stion Commission	
	rar chair	peison, misione rieserve		
Disapproved: Signature:		1/20/07	Date:	

SEE REVERSE SIDE FOR INSTRUCTIONS

Edit 6/21/99

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1.

1.	WE	ITTEN DESCRIPTION OF PROJECT
	a.	Description of existing structure(s) and environmental setting, including their historical features and significance: One Your School house which is a historic site.
	b.	General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district. 1 NS fall (NS hond: Cap Vamp! INC luding, Veplace west 1 A of Ferrian find of the line (100/den Sheps)
		at entrance.
2.	<u>SI</u>	TE PLAN
	Sit	e and environmental setting, drawn to scale. You may use your plat. Your site plan must include:
	a.	the scale, north arrow, and date;
	b.	dimensions of all existing and proposed structures; and
	C.	site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.
3.	Pi	ANS AND ELEVATIONS
	Υp	u must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.
	a.	Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
	b.	Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
4.	M	ATERIALS SPECIFICATIONS
		neral description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your sign drawings.
5.	Pł	IOTOGRAPHS
	8.	Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
	b.	Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.
6.	IF	IEE SURVEY
	15	way are preparing construction ediceant to as within the drinking of one tree 6° as become in disconstant for approximately A feet should the ground? You

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

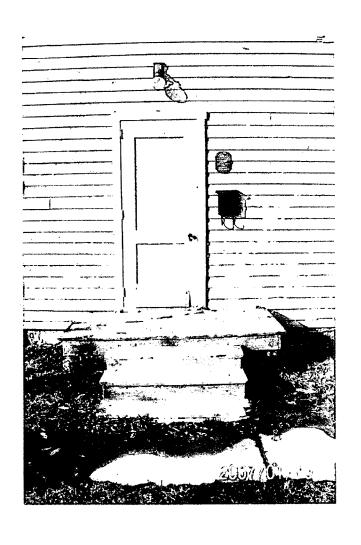
must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

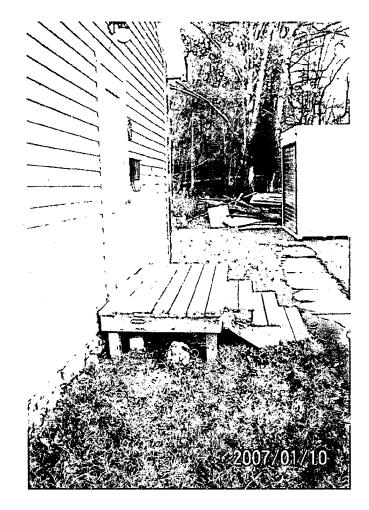
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the percel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

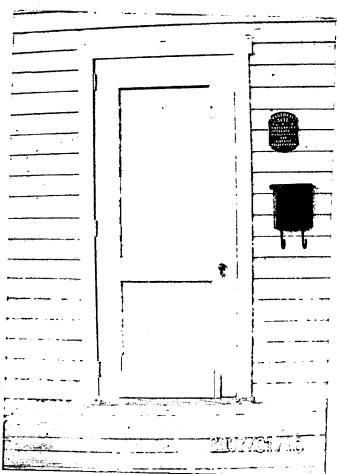
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

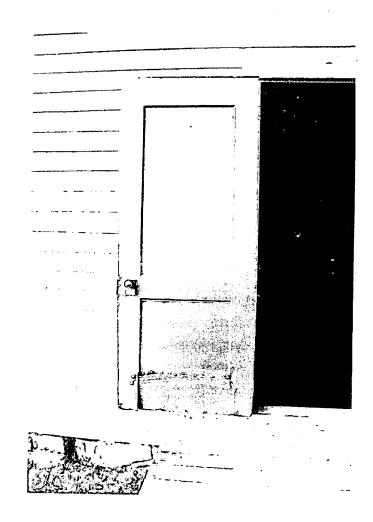
White Grounds Road

Parcel	Owner	Property Address	Mailing Address				
Adjoining							
P876	Boyds-Clarksburg Historical Society, Inc.	19510 White Ground Rd.	P. O. Box 161 Boyds MD 20841				
P851	Board of Education	White Ground Rd.	850 Hungerford Dr. Rockville MD 20840				
P927	Giles, Ralph W. et al	19500 White Ground Rd.	38 Kettering Dr.				
Across White Groun	d Rd.		Upper Marlboro MD 20774				
PN983	Board of Education	19501 White Ground Rd.	850 Hungerford Dr. Rockville MD 20850				
P033	Scott L. Wilson	19515 White Ground Rd.	19515 White Ground Rd. Boyds MD 20841				
Behind Rear Lot Line							
P747	MDR-RCS LLC		c/o Capitol Investments 5454 Wisconsin Ave. #1265 Chevy Chase MD 20815 Resident Agent: Michael D. Rubin				









LIBER 5556 FOLIO 694

FILED HOWARD M. SMITH CLERKS OFFICE MONTGOMERY CO. HD.

1

THIS DEED made this 64 day of August, in the year Nineteen Hundred and Eighty, by and between Henrietta Randolph, party of the first part and the Boyds-Clarksburg Historical Society, Inc., a Maryland nonprofit corporation, party of the second part,

WITNESSETH, that for and in consideration of the sum of Seventeen Thousand Dollars (\$17,000.00), the said party of the first part does grant unto the said party of the second part, in fee simple, the following described land and premises, with the improvements, easements and appurtenances thereunto belonging, situate, lying and being in Montgomery County, State of STT Maryland, namely:

> It being part of a tract of land called time kesurvey to of Wolfe's Cow", and included within the metes land bounds, 15 courses and distances following, to wit: Beginning for the same at a stone planted on the North side of the road leading from Dawsonville to Boyd's Station, and on the third line of a conveyance from the said Mary H. DeLauder and Edgar C. Pelauder to John Brown and running thence reversing said line North fifteen and three-fourths degrees West, Nineteen and one-fourth perches to a stone at the beginning of said line; thence North seventy-four and one-fourth degrees East, four and three-twentieths perches to a stone; thence South fifteen and three-fourths degrees East, nineteen and one-fourth perches to a stone on the North side of the aforesaid public road; thence South fifteen and threefourths degrees West, four and three-twentieths perches to the place of beginning, containing one-half acre of land, more or less.

Together with all of the buildings, rights, ways, waters and privileges thereto belonging or in anywise appertaining

By separate agreement the party of the second part has agreed with Montgomery County, Maryland, a municipal corporation, in consideration of funds granted by Montgomery County to the party of the second part, to restore, maintain, and operate the within-described property as a community public building. Should the party of the second part fail to restore, maintain, or operate said property as a community public building, then and in any of

COURT (Land Records) MSA CH 63-55141 HMS 5655613

LIBER 5556 FOLIO 695

such events title and ownership to said property shall vest in said Montgomery County, Maryland. Should any such events occur, and upon demand of the County, the party of the second part agrees to execute any documentation required to effectuate transfer to said Montgomery County, Maryland.

BEING the same land described in liber 2646, folio 213 and liber 2553, folio 575.

TO HAVE AND TO HOLD the same unto and to the use of said party hereto of the second part, in fee simple.

AND the said party of the first part does hereby covenant to warrant specially the property hereby conveyed, and to execute such further assurances of said land as may be requisite.

WITNESS $\ensuremath{\mathtt{my}}$ hand and seal on the day and year first hereinbefore written.

Signed, sealed and delivered in presence of,

Allan A. Noble

Hannette Randolph

(SEAL)

272

 $\langle V \rangle$

Henrietta Randolph

STATE OF MARYLAND, MONTGOMERY COUNTY, to wit:

I HEREBY CERTIFY that on this 6 day of August, 1980, before me, the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared Henrietta Randolph, and did acknowledge the aforegoing Deed to be her act and deed.

WITNESS my hand and Notarial Seal.

Notary Public

My Commission Expires

201 2017

admitted to practice before the Court of Al of Maryland and that the within instrumen prepared under fay supervision.

Allan'

AUG 7 1980

p85616 1 11

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Md. by J. J. J. Blow been palle Dept. of
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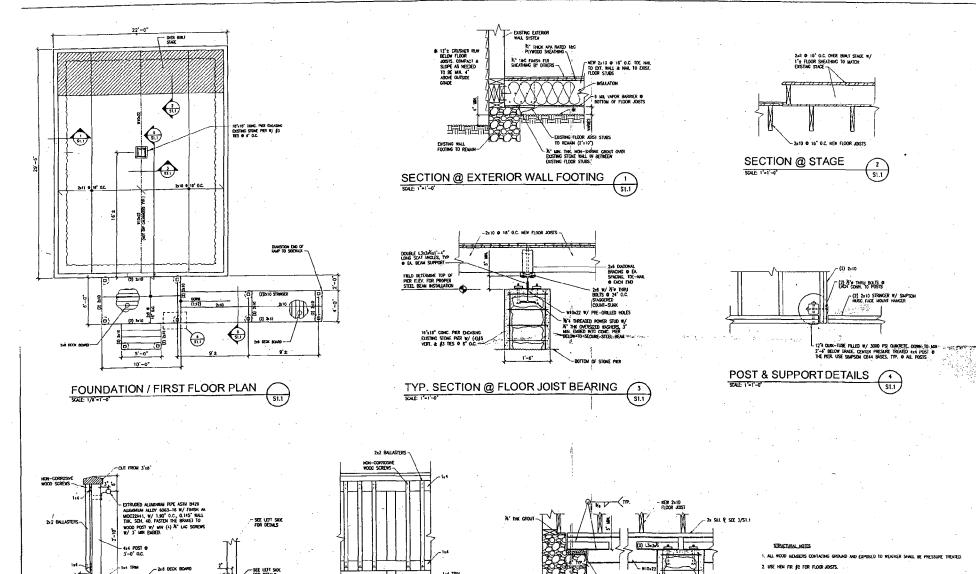
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MONIGORER COUNTY, MARYLAND

HEREBY CERTILY FILES PAULTON FAND BEEN LULE TRANSFERPED ON THE MONTGOMERY COUNTY
ASSESSMENT BOOKS

Blekelin # 13315

ATT.



TYP. STEEL BEAM BEARING DETAIL

\$1.1

SCALE: 1'-1'-0

TYP. RAMP SECTION & ELEVATION

\$1.1

Drawing Plan, Sect

SKS

Associates, i Consulting Str

6101 Executive B Rockville, Maryla Telephone (301):

Project No 07-900

SCHOOL RENOVATION

BOYD'S

Fingineer

Date 01/05/20(

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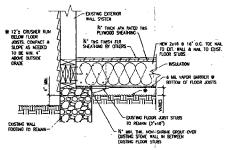
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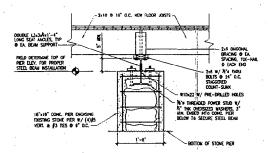
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Drawir



SECTION @ EXTERIOR WALL FOOTING



TYP. SECTION @ FLOOR JOIST BEARING

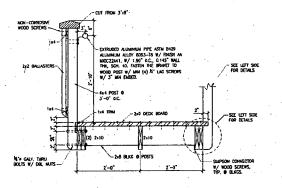
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2:8 0 16" O.C. OVER BUILT STAGE W, 1"± FLOOR SHEATHING TO MATCH EXISTING STAGE—

POST & SUPPORT DETAILS

SECTION @ STAGE

2 \$1.1



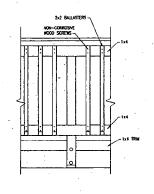
- OVER BUILT STAGE

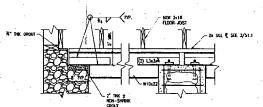
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(1)

5' --0"

FOUNDATION / FIRST FLOOR PLAN





TYP. STEEL BEAM BEARING DETAIL

TYP. RAMP SECTION & ELEVATION

SI

Oaks, Michele

From: Oaks, Michele

Sent: Monday, May 14, 2007 1:17 PM

To: 'Ginger Gibson'

Subject: Negro School Ramp Project

Ginger,

Please call Betsy Lucking at 240-777-1256 at the Commission on People with Disabilities. They contacted us and indicated they think they can help you design a ramp that the Trust would approve. Keep me informed! Michele

Michele Oaks, Planner Coordinator
Historic Preservation Section
Montgomery County Department of Planning
Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)
(301) 563-3412 (fax)
michele.oaks@mncppc-mc.org
www.montgomeryplanning.org

----Original Message-----

From: Ginger Gibson [mailto:ginger.gibson13@verizon.net]

Sent: Wednesday, April 25, 2007 2:38 PM

To: Oaks, Michele

Subject: Fw: Status of County permit

Michelle,

I thought that I should send you a copy of my E-Mail which shows where we stand on the permits.

If you have any thoughts or suggestions they would be appreciated.

Thanks

Steve & Ginger

---- Original Message -----

From: Ginger Gibson

To: Jane Mote; elaine fors; Cathy Hulley; Candice Wilson at work; Betty Hawkins; Maggie Bartlett at

work; Andy Fuhrmann

Sent: Wednesday, April 25, 2007 2:34 PM

Subject: Status of County permit

Michele Oaks was out of the office on Monday.

On Tuesday after my root canal in the morning, Ginger & I went to MNCPPC to talk to Michele about what our next step would be.

She provided us with a letter which indicated that we were not required to have their approval and should be issued a building permit.

We then went to the county permits office to get the proper form to be

filled out but by then it was too late to get fast track approval.

On Wednesday morning we took the completed form back to the county permits office and spent about 2 hours, most talking to Mike Hanyok who explained why this project did not qualify for fast track permitting. He had a number of concerns about the existing condition and details about the proposed work. He thought that we were showing a use change. We tried to explain that there was no use change since around 1980. It had been used as a museum since then and would still be used as a museum. I think that they thought it was previously shown as education use.

Mike's recommendation is to call 240-777-6210 to make an appointment for a pre-design meeting. This would need a licensed architect or engineer to be available to answer any questions they may have. It may take several weeks to set up a pre-design meeting. After the pre-design meeting and updated plans are available we could request an expedited plan review (extra cost) to get the permit.

Ginger and I will be attending the St Marks - Taylor School meeting this evening and will try to find out if someone knows anyone who might be able to help us. If any one has any suggestions please let us know.

Notes about some of the areas of concern from the plans:

There was some concern with the lack of information about the existing condition of the building.

Ventilation through the foundation

Will there be 1 support beam or 2 and if 2 how are they connected?

Upon a review of the plans it implies that there is only one.

Is there the proper clearance above the grade level to the bottom of the floor joists?

2003 IBC expected to be used through applications received prior to the end of May (then 2006)

Is pressure treated wood being used?

This is specified on the plans.

How many floor joists are being used?

The plans specify that they are 16" OC.

A 'Code Analysis' must be provided.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

19510 White Ground Road, Boyds

Meeting Date:

02/14/07

Applicant:

Clarksburg Historical Society

Report Date:

02/07/07

(Steve Gibson, Agent)

Resource:

Boyds Negro School

Public Notice:

01/31/07

Master Plan Site #18/11

Review:

HAWP

Tax Credit:

No

Case Number:

18/011-07A

encouragoStaff:

Michele Oaks

PROPOSAL: Handicap ramp installation

Approve with Conditions

options: railing pipe national park service brief +32

RECOMMEND:

STAFF RECOMMENDATION: Staff recommends that the Commission approve this HAWP application with the conditions that:

1. The balustrade for the subject handicap ramp will be detailed as an "inset".

The modified design will be reviewed and the detailed as an "inset". installation.

2. The balustrade will be painted or stained.

PROJECT DESCRIPTION:

SIGNIFICANCE:

Master Plan Individual Site: Boyds Negro School

STYLE:

Vernacular

DATE:

1895

The Boyds Negro School is important as a surviving example of early education for rural black children in the County. Using material provided by the School Board, local residents built the 30' x 40' school that opened in 1895. Previously, local black children attended classes held in St. Mark's Church. One teacher taught students in grades 1-8 in one large, well-lit room warmed by a wood stove. Since the building had no plumbing, drinking water was hauled from Gum Spring and restrooms were in two outdoor privies. High school classes were not available for black students until a high school opened in 1936. The same year the Boyds Negro School closed and students transferred to the Clarksburg Negro School. The Boyds-Clarksburg Historical Society has restored the school and placed a preservation easement on the building and land.

PROPOSAL:

The applicant is proposing to construct a handicapped ramp measuring 28' L x 6' W at the entrance to the historic school building. The ramp will be constructed of wood with an applied picket balustrade.

No trees will need to be removed from the property for this project.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to individually designated Master Plan historic resources, two main documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Montgomery County Code Chapter 24A (Chapter 24A) and the Secretary of Interior's Standards for Rehabilitation (Standards). The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

- 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
- 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of Interior's Standards for Rehabilitation

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

- Standard #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- Standard #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- Standard #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The owners are seeking the proposed handicap ramp, in order to provide accessibility into their museum facility.

The design of the ramp does not negatively impact the existing façade of the historic resource. The ramp will be self-supporting, and will not require connections to the building except for a threshold. As such, the ramp is considered a reversible change. The Commission generally supports accessibility designs that are fabricated of wood and are designed not to negatively impact the historic resource and are a reversible change.

However, the detail for the ramp's balustrade is not a typical design, which is generally supported by the Commission. The applied picket balustrade is a detail more commonly found on a rear deck. As this ramp will be located at the front of this very significant historic resource, a balustrade with an inset picket, which are more commonly found on porch railings is a more compatible treatment.

STAFF RECOMMENDATION:

Staff recommends that the Commission approve the HAWP application with the conditions specified on Circle 1 as being consistent with Chapter 24A-8(b)(1) & (2);

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the 3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans.





Edit 6/21/99

mailing address **APPLICATION FOR HISTORIC AREA WORK PERM**

POBOX161
BOYDS MD

		Daytime Phone No.:	301- 43	28-0671
x Account No.: 120 919 384				
ame of Property Owner: Boyos - CCARESBURG	1405 - 50	Daytime Phone No.:		
ddress: 19510 WHITE GROUND City				24541
			•	Zip Code
omrector:		Phone No.:		
ontractor Registration No.:				
gent for Owner:		_ Daytime Phone No.:		
OCATION OF BUILDING/PREMISE				
ouse Number: 19510 White GR	Street: (NHAE	GROUM	ORD
own/City: Bo YOS MO Nearest				
ot: Block: Subdivision:			- 	
1016				
ART ONE: TYPE OF PERMIT ACTION AND USE				
A. CHECK ALL APPLICABLE:	CHECK ALL	APPLICABLE:		•
☑ Construct ☐ Extend ☐ Alter/Renovate	□ A/C □	Slab 🗆 Room	Addition 🖳	Porch Deck Shed
☐ Move ☐ Install ☐ Wreck/Raze	☐ Solar ☐	Fireplace	=	☐ Single Family
☐ Revision ☐ Repair ☐ Revocable	☐ Fence/W	all (complete Section 4)	Other:	hand, cap Ra
B. Construction cost estimate: \$				·
C. If this is a revision of a previously approved active permit, see Perr	nit #			
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXT	FND/AODITIC	ONS		
	Septic		Portol	le toilets
	⊇ Well	-		70
in type of Water Supply.	3 77011	or H 201011		
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WAL	Ī		· .	
BA. Height feet inches				
3B. Indicate whether the fence or retaining wall is to be constructed	on one of the fo	ollowing locations:		
	nwner	On public right o	fwav/easement	
☐ On party line/property line ☐ Entirely on land of o	****			
		· · · · · · · · · · · · · · · · · · ·		uction will comply with plans
☐ On party line/property line ☐ Entirely on land of on the control of the contro	ation, that the a	application is correct, ar	nd that the constr	uction will comply with plans
I hereby certify that I have the authority to make the foregoing applic	ation, that the a	application is correct, ar	nd that the constr	uction will comply with plans
I hereby certify that I have the authority to make the foregoing applications approved by all agencies listed and I hereby acknowledge and acception to the second	ation, that the a	application is correct, ar	nd that the constr	uction will comply with plans
I hereby certify that I have the authority to make the foregoing applic	ation, that the a	application is correct, ar	nd that the constr	uction will comply with plans 7 Date
I hereby certify that I have the authority to make the foregoing application approved by all agencies listed and I hereby acknowledge and accept the second	ation, that the a	application is correct, a condition for the issuant	d that the constr e of this permit.	Oote 7
I hereby certify that I have the authority to make the foregoing applications approved by all agencies listed and I hereby acknowledge and acception to the second	ation, that the a	application is correct, ar	d that the constr e of this permit.	Oote 7

SEE REVERSE SIDE FOR INSTRUCTIONS



THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

Sec. M. State Office .

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b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6: TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6° or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street,

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



White Grounds Road

Parcel	Owner	Property Address	Mailing Address
Adjoining			
P876	Boyds-Clarksburg Historical Society, Inc.	19510 White Ground Rd.	P. O. Box 161 Boyds MD 20841
P851	Board of Education	White Ground Rd.	850 Hungerford Dr. Rockville MD 20840
P927	Giles, Ralph W. et al	19500 White Ground Rd.	38 Kettering Dr. Upper Marlboro MD 20774
Across White G	round Rd.		
PN983	Board of Education	19501 White Ground Rd.	850 Hungerford Dr. Rockville MD 20850
P033	Scott L. Wilson	19515 White Ground Rd.	19515 White Ground Rd. Boyds MD 20841
Behind Rear Lot	Line		
P747	MDR-RCS LLC		c/o Capitol Investments 5454 Wisconsin Ave. #1265 Chevy Chase MD 20815 Resident Agent: Michael D. Rubin

1980 AUG -7 PM 4: 08

LIBER 5556 FOLIO 694

FILED HOWARD M. SMITH CLERKS OFFICE MONTGOMERY CO. MD.

THIS DEED made this 6th day of August, in the year Nineteen Hundred and Eighty, by and between Henrietta Randolph, party of the first part and the Boyds-Clarksburg Historical Society, Inc., a Maryland nonprofit corporation, party of the second part,

WITNESSETH, that for and in consideration of the sum of Seventeen Thousand Dollars (\$17,000.00), the said party of the first part does grant unto the said party of the second part, in fee simple, the following described land and premises, with the improvements, easements and appurtenances thereunto belonging, situate, lying and being in Montgomery County, State of RTX STI

It being part of a tract of land called the Resurvey of Wolfe's Cow", and included within the metes land council, courses and distances following, to wit: Beginning for the same at a stone planted on the North side of the road leading from bawsonville to Boyd's Station, and on the third line of a conveyance from the said Mary H. DeLauder and Edgar C. PeLauder to John Brown and running thence reversing said line North fifteen and three-fourths degrees West, Nineteen and one-fourth perches to a stone at the beginning of said line; thence North seventy-four and one-fourth degrees East, four and three-twentieths perches to a stone; thence South fifteen and three-fourths degrees East, nineteen and one-fourth perches to a stone on the North side of the aforesaid public road; thence South fifteen and three-fourths degrees West, four and three-twentieths perches to the place of beginning, containing one-half acre of land, more or less.

Together with all of the buildings, rights, ways, waters and privileges thereto belonging or in anywise appertaining.

By separate agreement the party of the second part has agreed with Montgomery County, Maryland, a municipal corporation, in consideration of funds granted by Montgomery County to the party of the second part, to restore, maintain, and operate the within-described property as a community public building. Should the party of the second part fail to restore, maintain, or operate said property as a community public building, then and in any of

14.80 85.

COURT (Land Records) [MSA CE 63-5514] HMS 5556, p. (1954) Printe

9

W.

LIBER 5556 FOLIO 695

such events title and ownership to said property shall vest in said Montgomery County, Maryland. Should any such events occur, and upon demand of the County, the party of the second part agrees to execute any documentation required to effectuate transfer to said Montgomery County, Maryland.

BEING the same land described in liber 2646, folio 213 and liber 2553, folio 575.

TO HAVE AND TO HOLD the same unto and to the use of said party hereto of the second part, in fee simple.

AND the said party of the first part does hereby covenant to warrant specially the property hereby conveyed, and to execute such further assurances of said land as may be requisite.

WITNESS my hand and seal on the day and year first hereinbefore written.

Signed, sealed and delivered in presence of,

Allan A. Noble

Henritte Rendolph

(SEAL)

272

Henrietta Randolph

STATE OF MARYLAND, MONTGOMERY COUNTY, to wit:

I HEREBY CERTIFY that on this 6 day of August, 1980, before me, the subscriber a Notary Public in and for the State and County aforesaid, personally appeared Henrietta Randolph, and did acknowledge the aforegoing Deed to be her act and deed.

WITNESS my hand and Notarial Seal

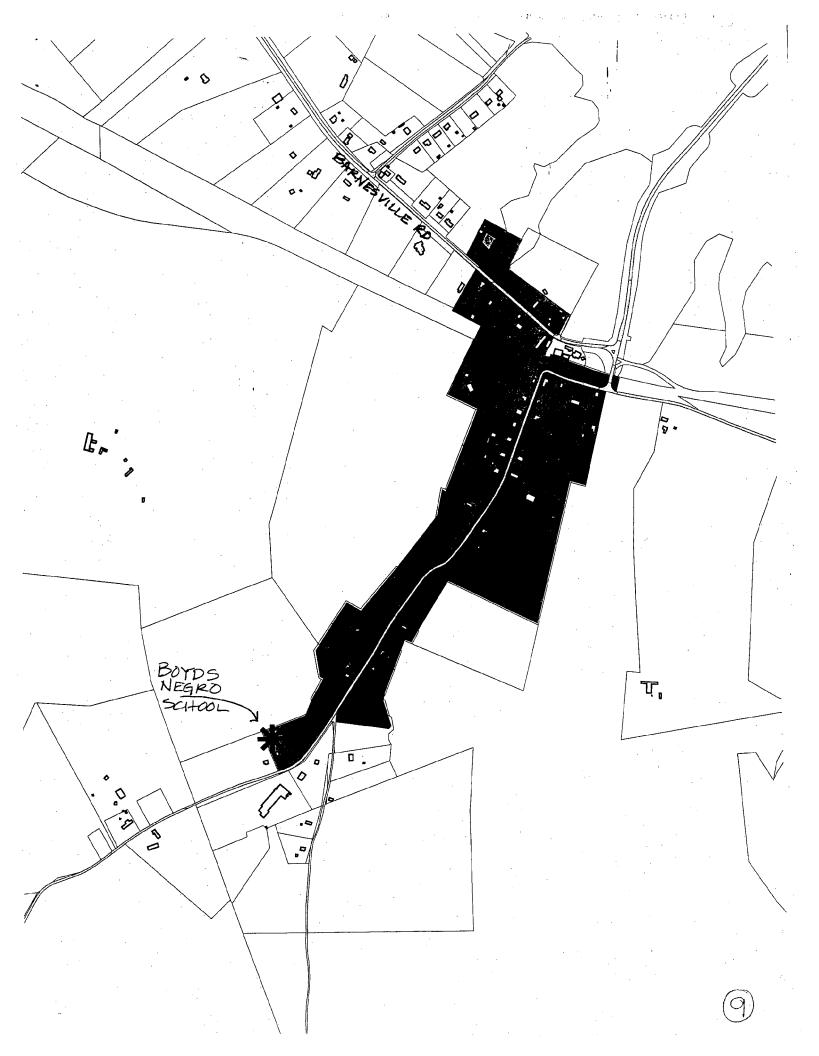
Notary Public

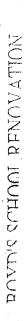
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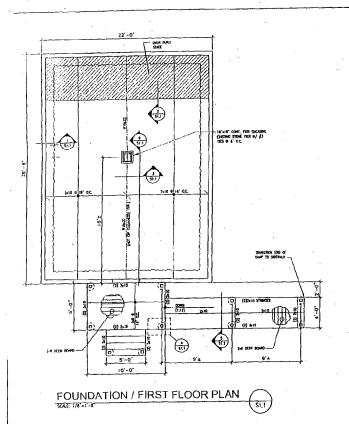
My Commission Expires

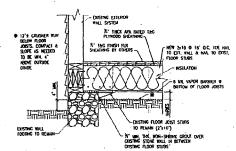
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I hereby certify that I am an anomety and admitted to practice before the Court of Appa of Maryland and that the within instrument we prepared under fly supervision.



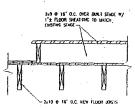






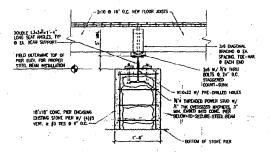
SECTION @ EXTERIOR WALL FOOTING



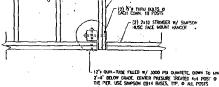


SECTION @ STAGE



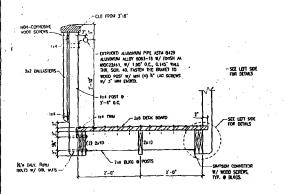


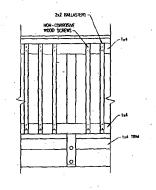
TYP. SECTION @ FLOOR JOIST BEARING

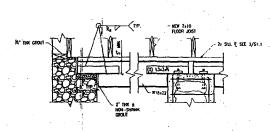


POST & SUPPORT DETAILS









TYP. STEEL BEAM BEARING DETAIL

STRUCTURAL HOTES



TYP. RAMP SECTION & ELEVATION

Project N 07-900

Consulting St

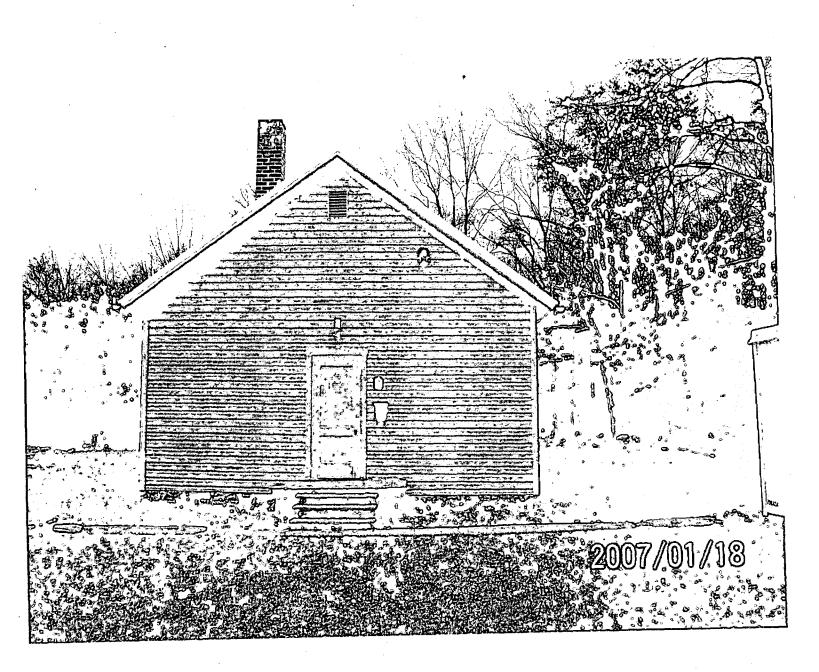
Engance 6101 Executive Rockville, Maryl Telephone (301)

Drawin Plan, S

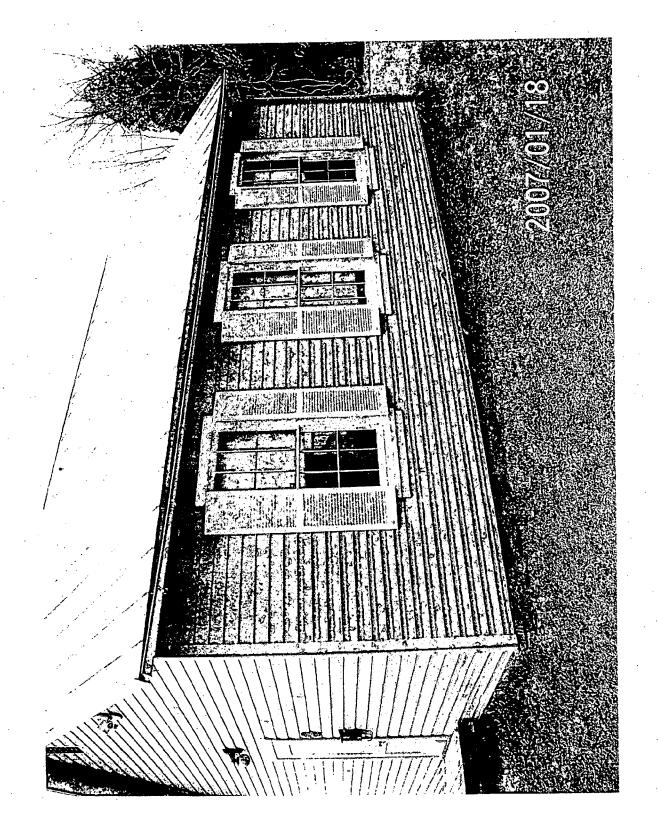
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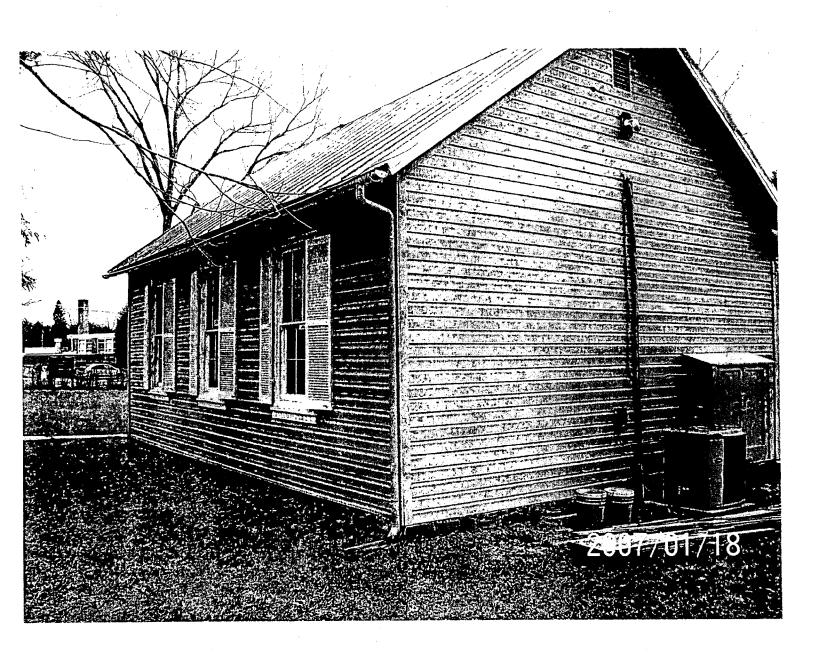
Date 01/05/;

Draw

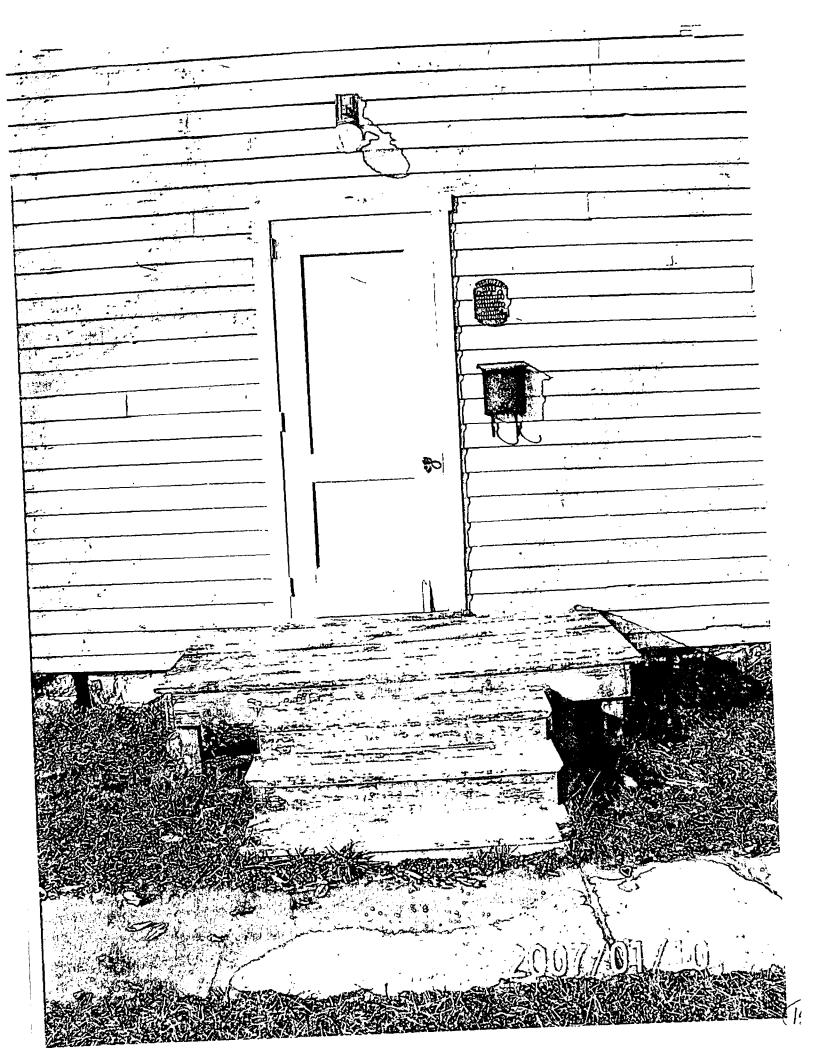


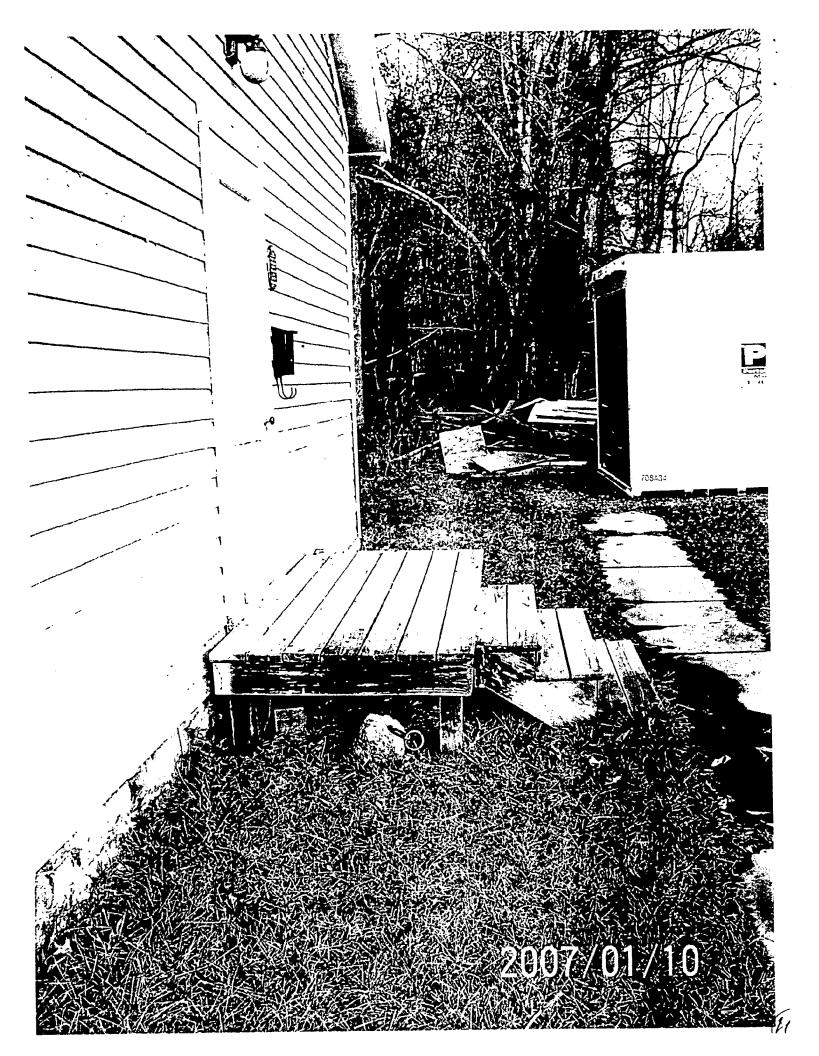




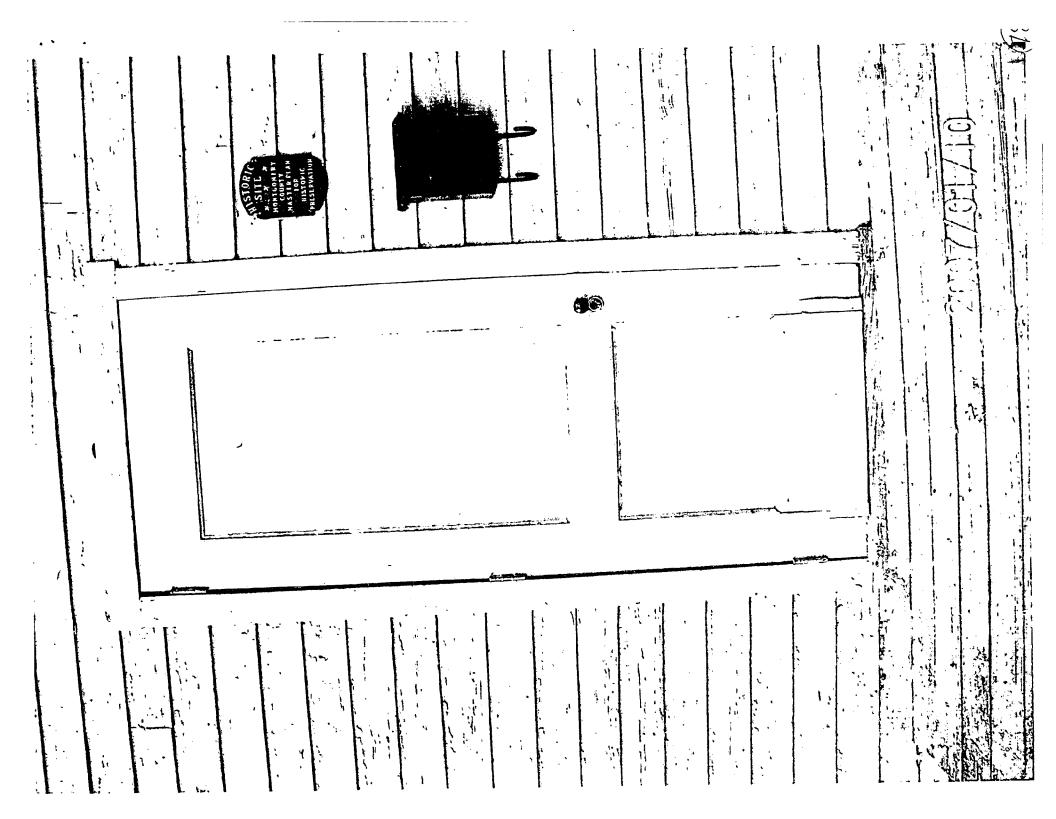












HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

19510 White Ground Road, Boyds

Meeting Date:

02/14/07

Applicant:

Clarksburg Historical Society

Report Date:

02/07/07

(Steve Gibson, Agent)

Resource:

Boyds Negro School Master Plan Site #18/11 **Public Notice:**

01/31/07

Review:

HAWP

Tax Credit:

No

Case Number:

18/011-07A

Staff:

Michele Oaks

PROPOSAL: Handicap ramp installation

RECOMMEND:

Approve with Conditions

STAFF RECOMMENDATION: Staff recommends that the Commission approve this HAWP application with the conditions that:

- 1. The balustrade for the subject handicap ramp will be detailed as an "inset picket". The modified design will be reviewed and approved by staff prior to installation.
- 2. The balustrade will be painted or stained.

PROJECT DESCRIPTION:

SIGNIFICANCE:

Master Plan Individual Site: Boyds Negro School

STYLE:

Vernacular

DATE:

1895

The Boyds Negro School is important as a surviving example of early education for rural black children in the County. Using material provided by the School Board, local residents built the 30' x 40' school that opened in 1895. Previously, local black children attended classes held in St. Mark's Church. One teacher taught students in grades 1-8 in one large, well-lit room warmed by a wood stove. Since the building had no plumbing, drinking water was hauled from Gum Spring and restrooms were in two outdoor privies. High school classes were not available for black students until a high school opened in 1936. The same year the Boyds Negro School closed and students transferred to the Clarksburg Negro School. The Boyds-Clarksburg Historical Society has restored the school and placed a preservation easement on the building and land.

PROPOSAL:

The applicant is proposing to construct a handicapped ramp measuring 28' L x 6' W at the entrance to the historic school building. The ramp will be constructed of wood with an applied picket balustrade.

No trees will need to be removed from the property for this project.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to individually designated *Master Plan* historic resources, two main documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A* (Chapter 24A) and the Secretary of Interior's Standards for Rehabilitation (Standards). The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

- 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
- 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of Interior's Standards for Rehabilitation

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

- Standard #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- Standard #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- Standard #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

- Standard #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- Standard #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The owners are seeking the proposed handicap ramp, in order to provide accessibility into their museum facility.

The design of the ramp does not negatively impact the existing façade of the historic resource. The ramp will be self-supporting, and will not require connections to the building except for a threshold. As such, the ramp is considered a reversible change. The Commission generally supports accessibility designs that are fabricated of wood and are designed not to negatively impact the historic resource and are a reversible change.

However, the detail for the ramp's balustrade is not a typical design, which is generally supported by the Commission. The applied picket balustrade is a detail more commonly found on a rear deck. As this ramp will be located at the front of this very significant historic resource, a balustrade with an inset picket, which are more commonly found on porch railings is a more compatible treatment.

STAFF RECOMMENDATION:

Staff recommends that the Commission approve the HAWP application with the conditions specified on Circle 1 as being consistent with Chapter 24A-8(b)(1) & (2);

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the 3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



Edit 6/21/99

APPLICATION FOR HISTORIC AREA WORK PERM

mailing address
POBDX 161

ERMIT BOYAS MD
2084

20841

	Contact Person: STEVE (218 SON
	Daytime Phone No.: 301- 428-0671
ccount No.: 190 919 384	
of Property Owner: Boyos - CCARES BURG	If ST SUDaytime Phone No.:
sec 19510 LATE GROUPE	RO BOYOS MO 20841
Street Number City	RD BOYDS MD 2411 Start Zip Code
actorr:	Phone No.:
ractor Registration No.:	
it for Owner:	Daytime Phone No.:
ATION OF BUILDING/PREMISE	- Carren 25
se Number: 19310 Whit GR	Street WH HE GROUND RD Cross Street HOYLES MILL RD.
vn/City: <u>136 Vp 5</u> Mearest	Cross Street HoyLos MULL RD.
Block: Subdivision:	
er: <u>5556 </u>	
RT ONE: TYPE OF PERMIT ACTION AND USE	
•	CHECK ALL APPLICABLE:
CHECK ALL APPLICABLE:	
Construct	A/C Slab Room Addition Porch Deck Shed
☐ Move ☐ Install ☐ Wreck/Raze	□ Solar □ Fireplace □ Woodburning Stove □ Single Family
☐ Revision ☐ Repair ☐ Revocable	□ Fence/Wall (complete Section 4) ☑ Other: <u>Nand. Lap Ra</u>
. Construction cost estimate: \$	
. If this is a revision of a previously approved active permit, see Perm	nit #
ART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXT	0.11.4.11
. Type of water supply: 01 🗆 WSSC 02 🗆	Well 03 🛭 Other: BUTTLED
ART THREE: COMPLETE ONLY FOR FENCE/RETAINING WAL	
. Height feet inches	
. Indicate whether the fence or retaining wall is to be constructed	on one of the following locations
☐ On party line/property line ☐ Entirely on land of o	On public right of way, eastman
hereby contity that I have the authority to make the foregoing applica	ation, that the application is correct, and that the construction will comply with plans
proved by all agencies listed and I hereby acknowledge and accep	t this to be a condition for the issuance of this permit.
-0	
Aleven a Silson	1/17/07
Signatura of owner or authorized agent	Date
pproved:	For Chairperson, Historic Preservation Commission
isapproved:Signature:	Date:
pplication/Permit No.: 444191	Date Filed: 1/30/07 Date Issued:

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

2.

6.

Description of existing structure(s) and environmental setting, including	g their historical features	and significance	historie	. c. L
On your School house	EWHER	15 4	NIS JUNIZ	
			· · · · · · · · · · · · · · · · · · ·	
				·
	· · · · · · · · · · · · · · · · · · ·			
. General description of project and its effect on the historic resource(s)	, the environmental settir	ng, and, where ap	plicable, the historic o	fistrict:
installing handicap vai	Mp' INC	luding	, ve plac	emert
et deteriorating and	rotting	Wade	dea Ste	ps
at entrance.				<u> </u>
	<u> </u>		· · · · · · · · · · · · · · · · · · ·	
				·
SITE PLAN				
ite and environmental setting, drawn to scale. You may use your plat. Yo	our site plan must include	:		
the scale, north arrow, and date;		•	•	
dimensions of all existing and proposed structures; and		٠		
site features such as walkways, driveways, fences, ponds, streams,	trash dumpsters, mechan	ical equipment, a	and landscaping.	
		•	***	
PLANS AND ELEVATIONS	·			
fou must submit 2 copies of plans and elevations in a format no larger th	an 11" x 17". Plans on 8	1/2" x 11" paper a	re preferred.	
 Schematic construction plans, with marked dimensions, indicating fixed features of both the existing resource(s) and the proposad work 	g location, size and gener (.	al type of walls,	window and door op	enings, and oth
 Elevations (facades), with marked dimensions, clearly indicating pro All materials and fixtures proposed for the exterior must be noted on facade affected by the proposed work is required. 	posed work in relation to the elevations drawings.	existing construction An existing and	ction and, when appro a proposed elevation	priate, context drawing of each
MATERIALS SPECIFICATIONS				
General description of materials and manufactured items proposed for it	non-protion in the work	of the project. Th	ic information may be	: included on vo
General description of materials and manufactured items proposed for a design drawings	icorporauon in the work	oi ase biolace in	is intoffication they be	included on ye
•		· · ·		
PHOTOGRAPHS	•			
 Clearly labeled photographic prints of each facade of existing resource front of photographs. 	ce, including details of the	e affected portion	s. All labels should be	placed on the
h. Chardy label above reading arises of the security as viscond from the	nublic right of way and s	of the adjoining o	ronartiae All Iahale eh	nuld be nisced
 Clearly label photographic prints of the resource as viewed from the the front of photographs. 	puone right-of-way and t	n ne enhannig bi	operusa. All tabels St	ovin ne hiiren
TREE SURVEY				

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For <u>ALL</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which the directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you

must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



White Grounds Road

Parcel	Owner	Property Address	Mailing Address
Adjoining			
P876	Boyds-Clarksburg Historical Society, Inc.	19510 White Ground Rd.	P. O. Box 161 Boyds MD 20841
P851	Board of Education	White Ground Rd.	850 Hungerford Dr. Rockville MD 20840
P927	Giles, Ralph W. et al	19500 White Ground Rd.	38 Kettering Dr. Upper Marlboro MD 20774
Across White Groun	nd Rd.		
PN983	Board of Education	19501 White Ground Rd.	850 Hungerford Dr. Rockville MD 20850
P033	Scott L. Wilson	19515 White Ground Rd.	19515 White Ground Rd. Boyds MD 20841
Behind Rear Lot Lin	<u>1e</u>		
P747	MDR-RCS LLC		c/o Capitol Investments 5454 Wisconsin Ave. #1265 Chevy Chase MD 20815 Resident Agent: Michael D. Rubin



LIBER 5556 FOLIO 694

1980 AUG -7 PM 4: 08

FILED HOWARD M. SMITH CLERKS OFFICE NONTGOMERY CO. MD.

THIS DEED made this 6th day of August, in the year Nineteen Hundred and Eighty, by and between Henrietta Randolph, party of the first part and the Boyds-Clarksburg Historical Society, Inc., a Maryland nonprofit corporation, party of the second part,

WITNESSETH, that for and in consideration of the sum of Seventeen Thousand Dollars (\$17,000.00), the said party of the first part does grant unto the said party of the second part, in fee simple, the following described land and premises, with the improvements, easements and appurtenances thereunto belonging, situate, lying and being in Montgomery County, State of STT Maryland, namely:

> It being part of a tract of land called tripe Resurvey of Wolfe's Cow", and included within the metes and bounds in courses and distances following, to wit: Beginning for the same at a stone planted on the North side of the road leading from Dawsonville to Boyd's Station, and on the third line of a conveyance from the said Mary H. DeLauder and Edgar C. PeLauder to John Brown and running thence reversing said line North fifteen and three-fourths degrees West Nineteen and one-fourth perches to a stone at the beginning of said line; thence North seventy-four and one-fourth degrees East, four and three-twentieths perches to a stone; thence South fifteen and three-fourths degrees East, nineteen and one-fourth perches to a stone on the North side of the aforesaid public road; thence South fifteen and threefourths degrees West, four and three-twentieths perches to the place of beginning, containing one-half acre of land, more or less.

Together with all of the buildings, rights, ways, waters and privileges thereto belonging or in anywise appertaining

By separate agreement the party of the second part has agreed with Montgomery County, Maryland, a municipal corporation, in consideration of funds granted by Montgomery County to the party of the second part, to restore, maintain, and operate the within-described property as a community public building. the party of the second part fail to restore, maintain, or operate said property as a community public building, then and in any of

UNTY CIRCUIT COURT (Land Records) [MSA CE 63-5514] HMS 5556, p. 0954, Printe

LIBER 5556 FOLIO 695

such events title and ownership to said property shall vest in said Montgomery County, Maryland. Should any such events occur, and upon demand of the County, the party of the second part agrees to execute any documentation required to effectuate transfer to said Montgomery County, Maryland.

BEING the same land described in liber 2646, folio 213 and liber 2553, folio 575.

TO HAVE AND TO HOLD the same unto and to the use of said party hereto of the second part, in fee simple.

AND the said party of the first part does hereby covenant to warrant specially the property hereby conveyed, and to execute such further assurances of said land as may be requisite.

WITNESS my hand and seal on the day and year first hereinbefore written.

Signed, sealed and delivered in presence of,

Allan A. Noble

Henriette Randolph

(SEAL)

出作

(1)

Henrietta Randolph

STATE OF MARYLAND, MONTGOMERY COUNTY, to wit:

I HEREBY CERTIFY that on this day of August, 1980, before me, the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared Henrietta Randolph, and did acknowledge the aforegoing Deed to be her act and deed.

WITNESS my hand and Notarial Seal.

Notary Public

Allan

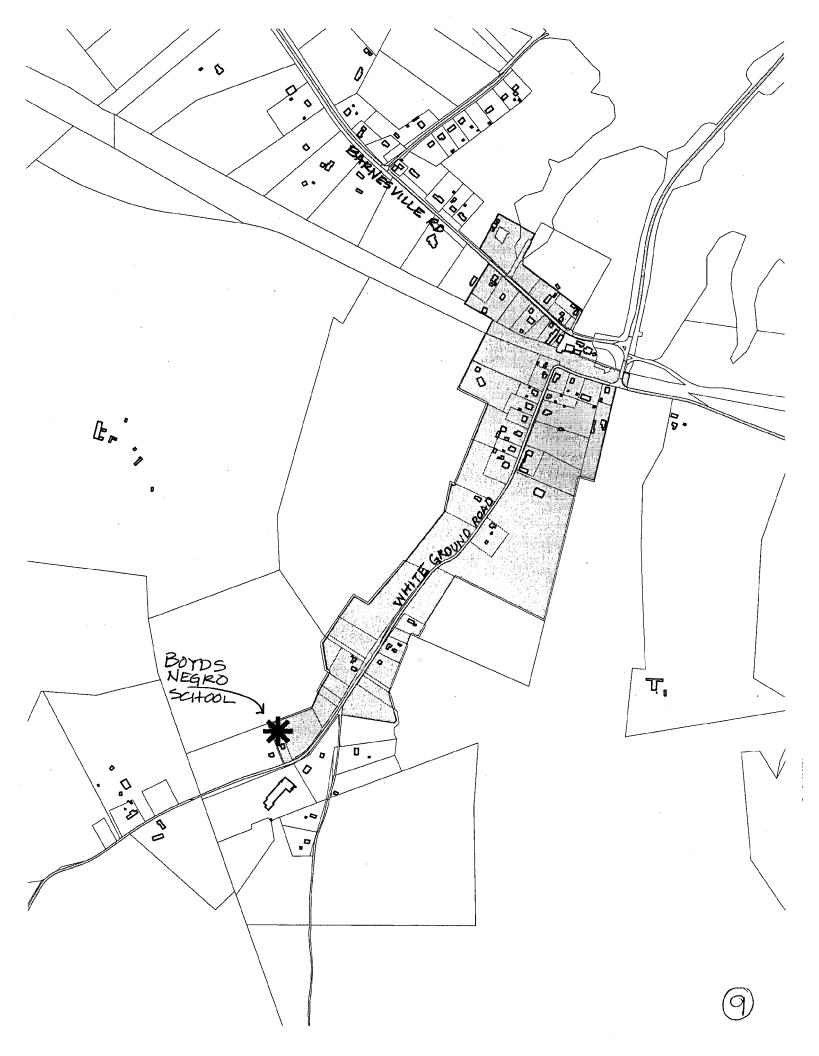
3. 7.3

My Commission Expires:

22. 23.00.7

I hereby certify that I am an antorney admitted to practice before the Court of Ap of Maryland and that the within instrument prepared under the supervision.

as of 0.701/2006.

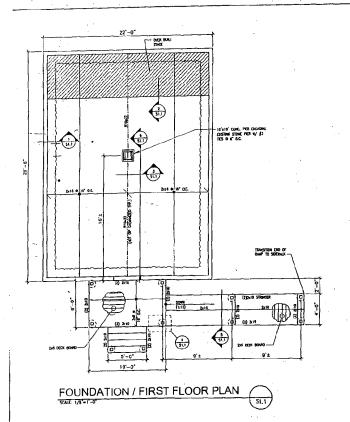


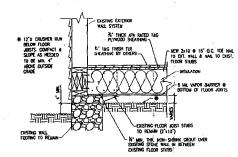
Smislova, Kele

Associates, Consulting St

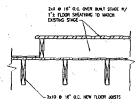
Enginee
6101 Executive
Rockville, Maryl
Telephone (301)

Project N
07-900



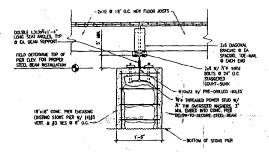


SECTION @ EXTERIOR WALL FOOTING

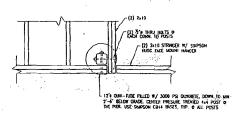


SECTION @ STAGE

S1.1

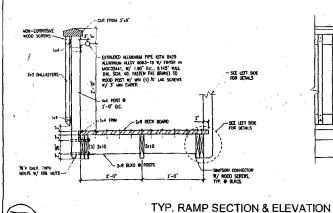


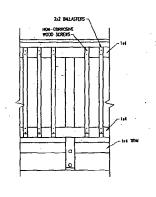
TYP. SECTION @ FLOOR JOIST BEARING 3
SOLE (*-1-3*)



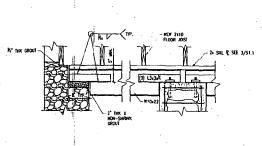
POST & SUPPORT DETAILS

S (\$1,1)





S1.1



\$1.1

TYP. STEEL BEAM BEARING DETAIL

STRUCTURAL AQUES

- ML WOOD MEMBERS CONTACTING GROUND AND EXPOSED ID WEATHER SHALL BE PRESSURE TREATED.
- 2. USE HEN FIR #2 FOR FLOOR JOISTS.
- 3. STEEL BEAKS, ANCHORING DEVICES, AND JOIST HANGERS SHALL BE CALVANIZED, U.H.
- 4. FIELD VERIFY ALL DINENSORS TO MATCH W/ EXISTING BUILDING



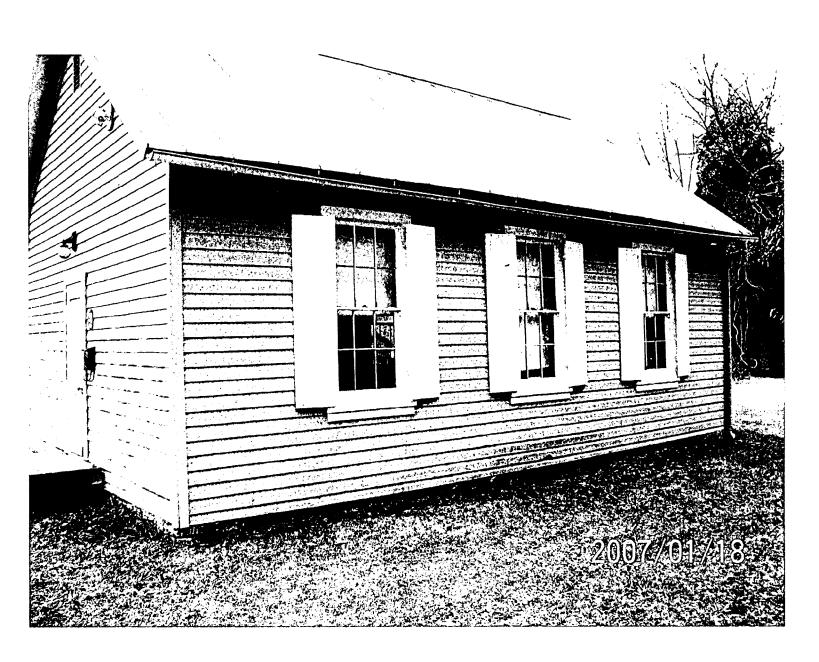
Date 01/05/2

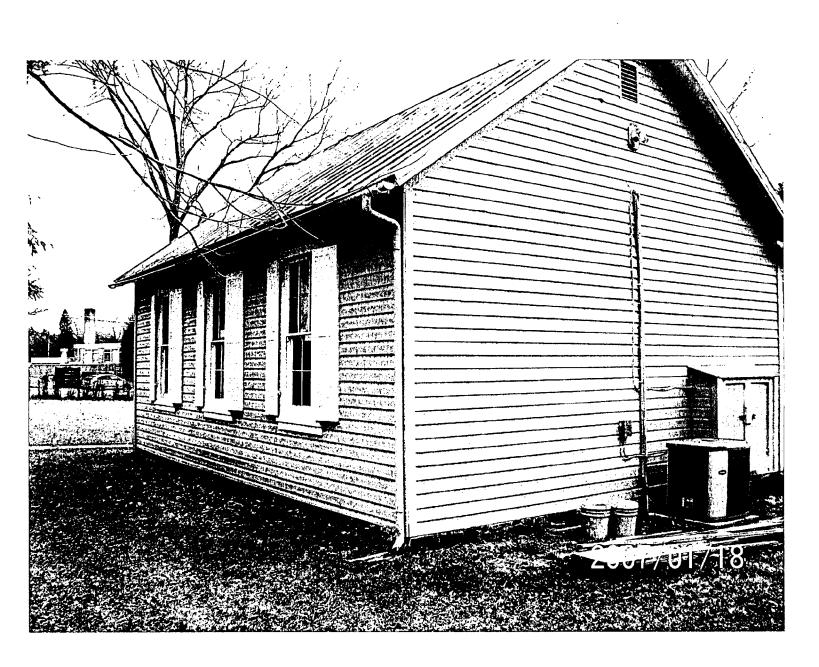
Drawin

Drawing

Plan, Se and De

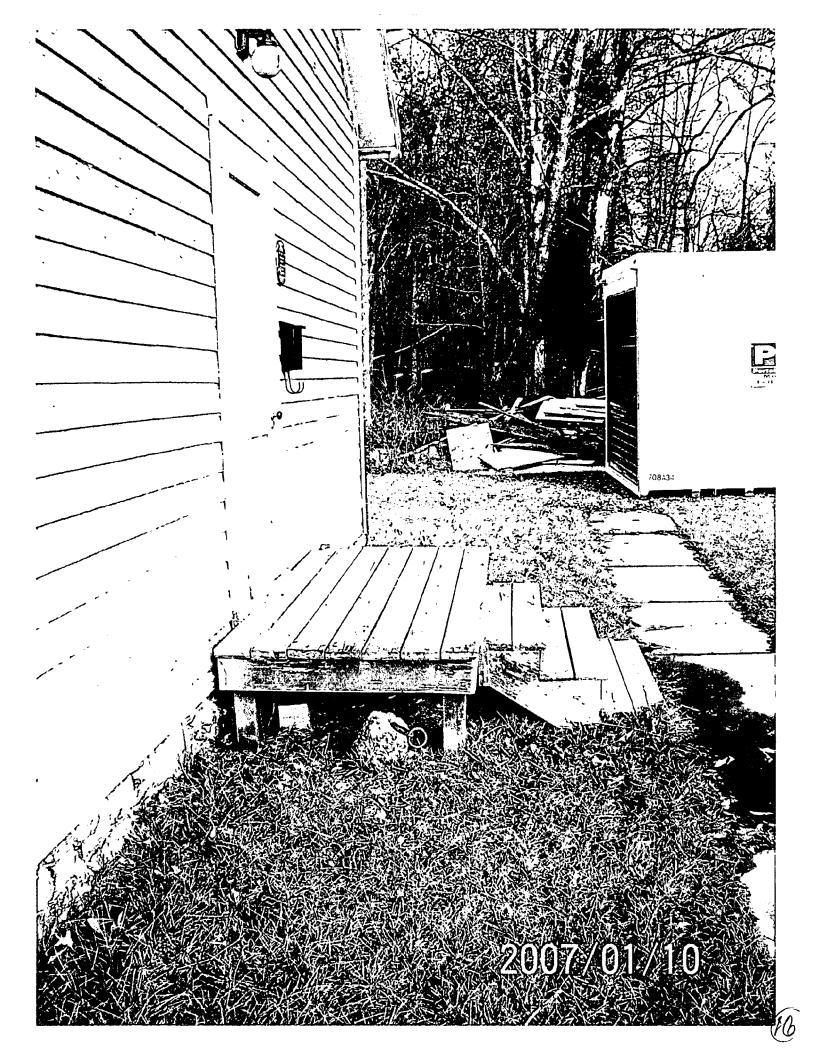


















All Taxes on appearants certified to the Cellecter of asks for Montgomery County Md. by ### Days been paid Dept. of Finance Mo. 15 of the purpose of permitting reconstition and is not appurate against further taxation even for prior periods, nor does if guarantee satisfaction of autatandleg tax sales.

TRANSEER TAX PAID COUNTY, MARYLAND

TRANSFER TAX PAID CEMITY MARYLAND

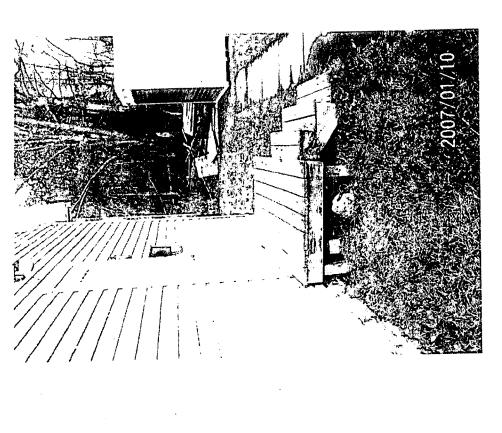
TAX MENTGOMERY COUNTY, MARYLAND

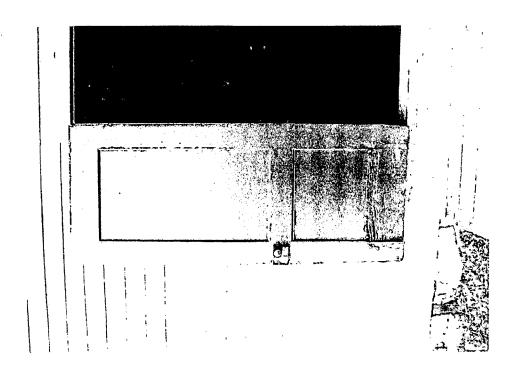
HEREBY CERTIFY HIS PROPERTY AND GEEN DUEY TRANSFERRED ON THE MONTGOMERY COUNTY ASSESSMENT BOOKS.

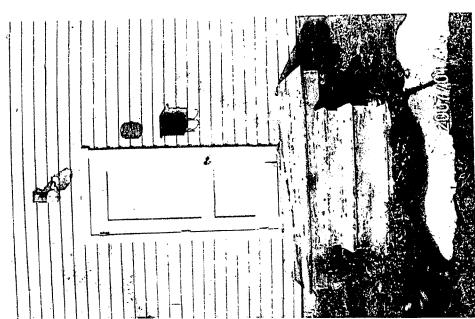
BWILKELOW # 13315
THANSFER CLERK, ASSESSMENT DEPARTMENT

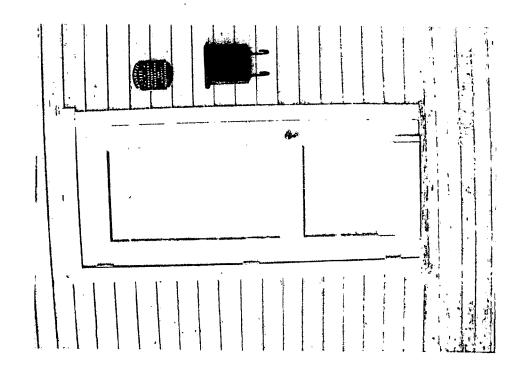
11-1-919384

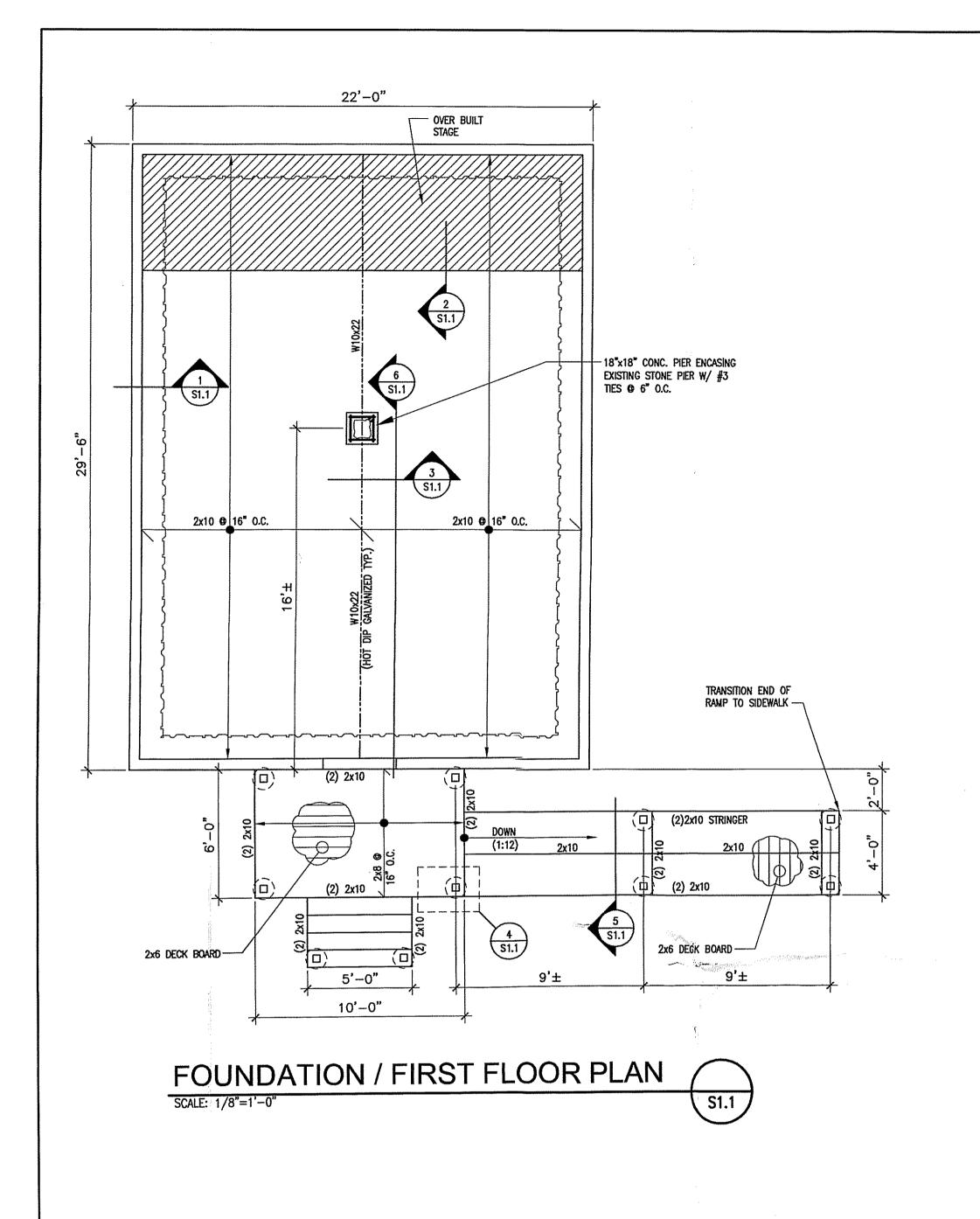
(Land

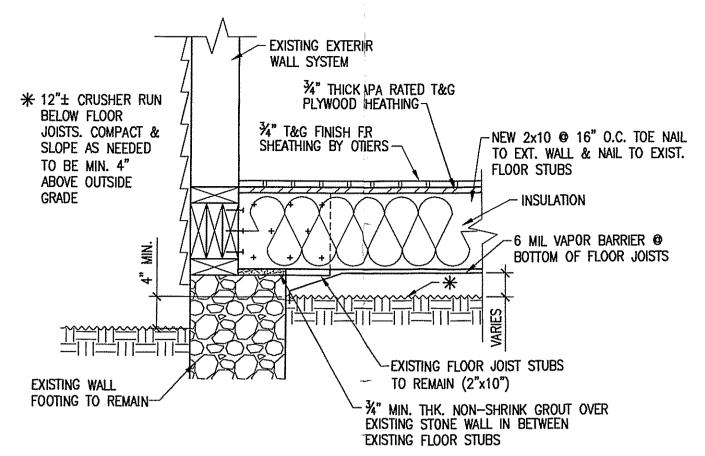




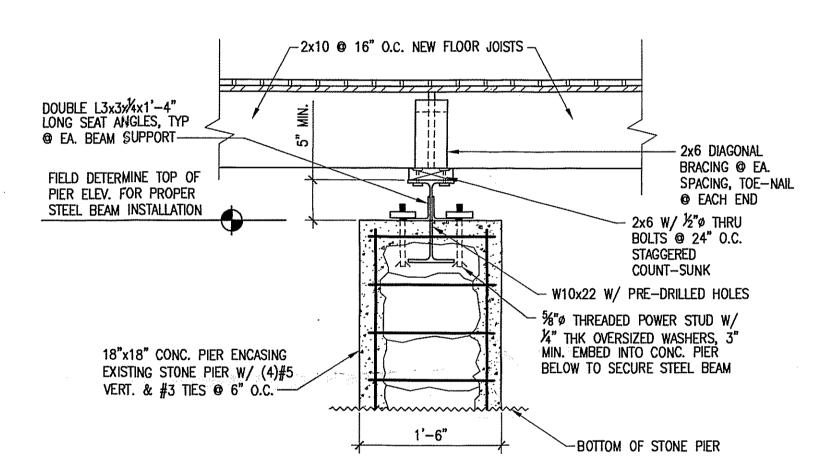




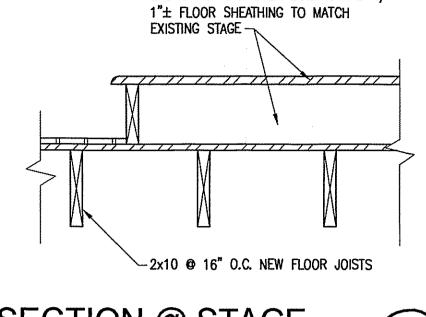




SECTION @ EXTERIOR WALL FOOTING SCALE: 1"=1'-0" S1.1



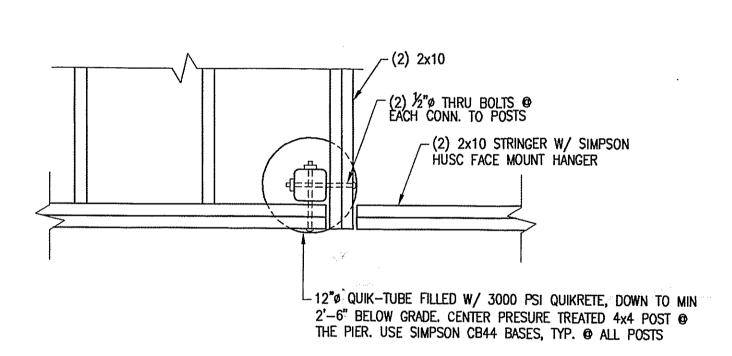
TYP. SECTION @ FLOOR JOIST BEARING SCALE: 1"=1'-0" S1.1



2x8 @ 16" O.C. OVER BUILT STAGE W/

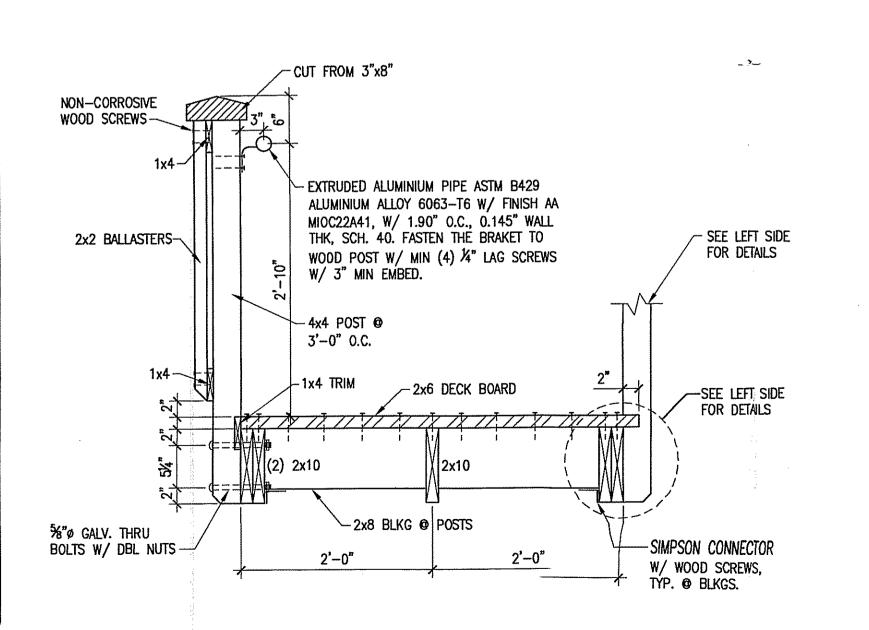
SECTION @ STAGE SCALE: 1"=1'-0"

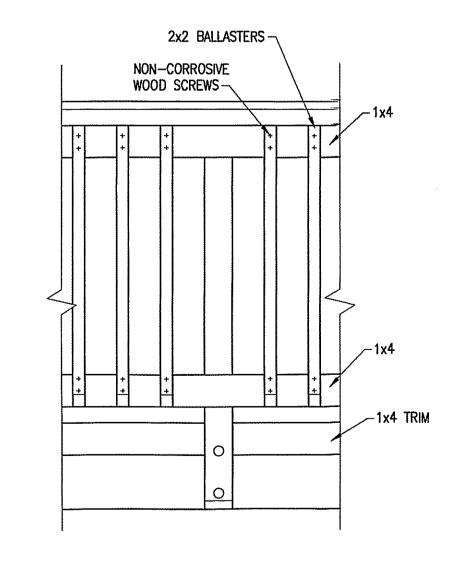
S1.1

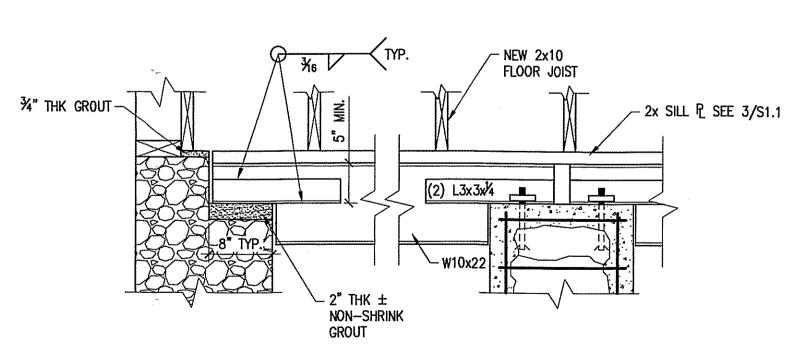


POST & SUPPORT DETAILS

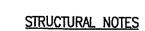
S1.1







TYP. STEEL BEAM BEARING DETAIL 6



- 1. ALL WOOD MEMBERS CONTACTING GROUND AND EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
- 2. USE HEM FIR #2 FOR FLOOR JOISTS.
- 3. STEEL BEAMS, ANCHORING DEVICES, AND JOIST HANGERS SHALL BE GALVANIZED, U.N.O.
- 4. FIELD VERIFY ALL DIMENSIONS TO MATCH W/ EXISTING BUILDING.



SK&A

Smislova, Kehnemui & Associates, P.A. Consulting Structural Engineers

6101 Executive Boulevard Rockville, Maryland 20852 Telephone (301) 881-1441

Project No. 07-900

RENO S M

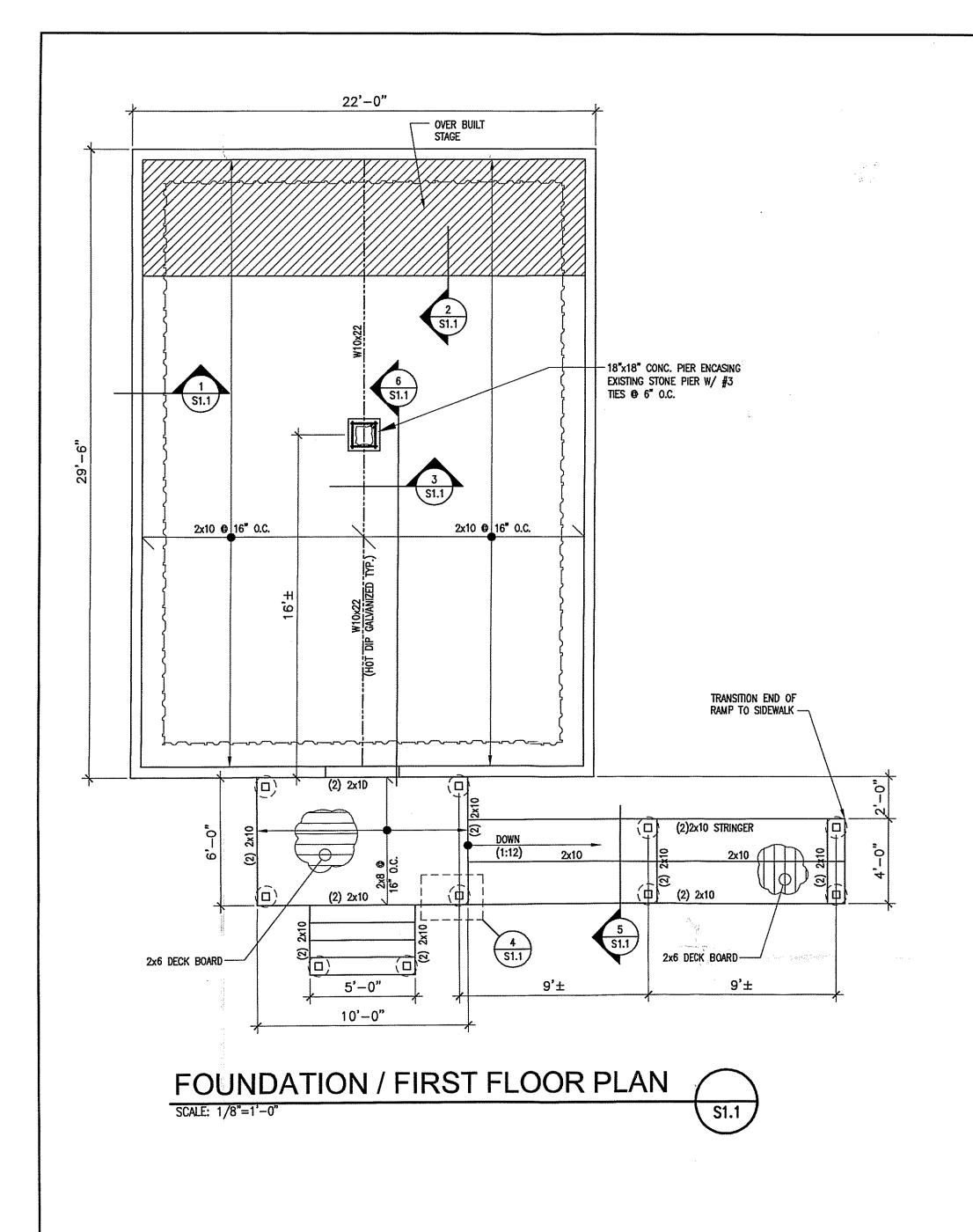
Drawing Title

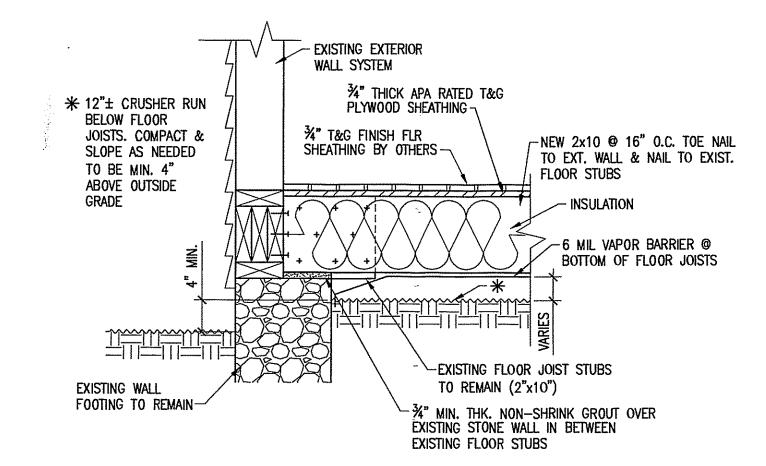
Plan, Sections, and Details

Date 01/05/2006

Drawing No.

TYP. RAMP SECTION & ELEVATION 5 SCALE: 1"=1'-0"





SECTION @ EXTERIOR WALL FOOTING

-2x10 ♥ 16" O.C. NEW FLOOR JOISTS -



- 2x6 DIAGONAL Bracing @ Ea.

@ EACH END

- 2x6 W/ ½"ø THRU BOLTS @ 24" O.C.

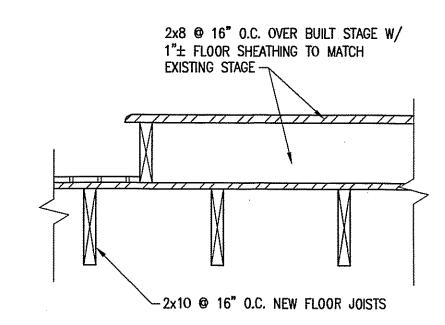
STAGGERED COUNT-SUNK

- W10x22 W/ PRE-DRILLED HOLES

%"ø THREADED POWER STUD W/ ¼" THK OVERSIZED WASHERS, 3" MIN. EMBED INTO CONC. PIER

BELOW TO SECURE STEEL BEAM

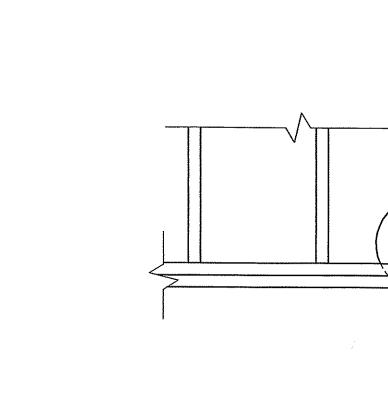
SPACING, TOE-NAIL



SECTION @ STAGE SCALE: 1"=1'-0"

S1.1

(2) ½"ø THRU BOLTS @ EACH CONN. TO POSTS



POST & SUPPORT DETAILS

S1.1

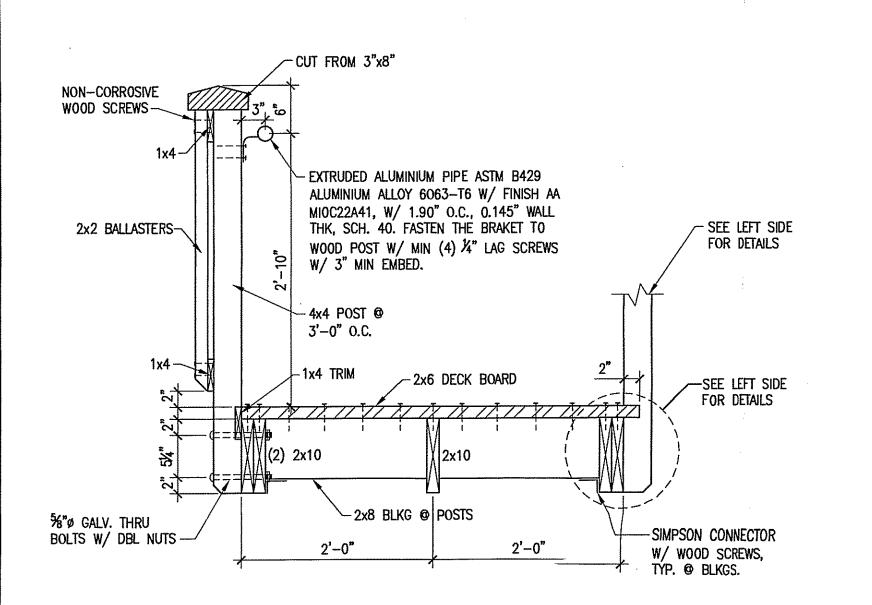
(2) 2x10 STRINGER W/ SIMPSON HUSC FACE MOUNT HANGER

12"0 QUIK-TUBE FILLED W/ 3000 PSI QUIKRETE, DOWN TO MIN

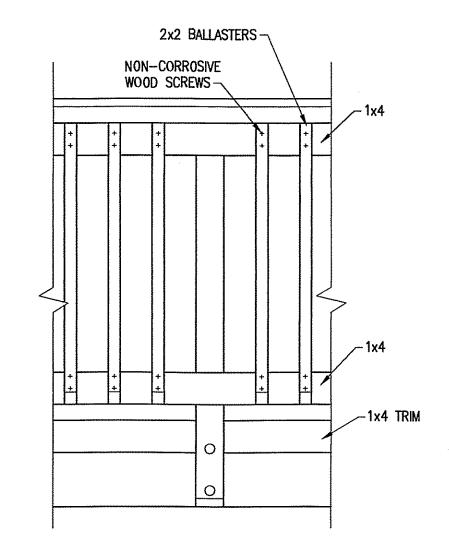
2'-6" BELOW GRADE. CENTER PRESURE TREATED 4x4 POST © THE PIER. USE SIMPSON CB44 BASES, TYP. © ALL POSTS

TYP. SECTION @ FLOOR JOIST BEARING SCALE: 1"=1'-0"

1'-6"



TYP. RAMP SECTION & ELEVATION 5



DOUBLE L3x3x4x1'-4" LONG SEAT ANGLES, TYP @ EA. BEAM SUPPORT-

FIELD DETERMINE TOP OF

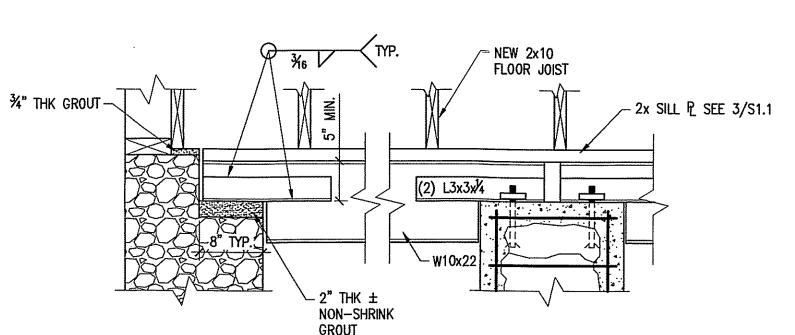
PIER ELEV. FOR PROPER

STEEL BEAM INSTALLATION

18"x18" CONC. PIER ENCASING

EXISTING STONE PIER W/ (4)#5

VERT. & #3 TIES ❷ 6" O.C. —



STRUCTURAL NOTES

1. ALL WOOD MEMBERS CONTACTING GROUND AND EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.

2. USE HEM FIR #2 FOR FLOOR JOISTS.

3. STEEL BEAMS, ANCHORING DEVICES, AND JOIST HANGERS SHALL BE GALVANIZED, U.N.O.

4. FIELD VERIFY ALL DIMENSIONS TO MATCH W/ EXISTING BUILDING.

TYP. STEEL BEAM BEARING DETAIL 6





SK&A

Smislova, Kehnemui & Associates, P.A. Consulting Structural Engineers

6101 Executive Boulevard Rockville, Maryland 20852 Telephone (301) 881-1441

Project No.

07-900

ENO S BOY

Drawing Title

Plan, Sections, and Details

Date

01/05/2006

Drawing No.