

35/13-05B 28 West Kirke Street  
Chevy Chase Historic District

# Proposed Addition for the Evers Residence

28 West Kirke Street

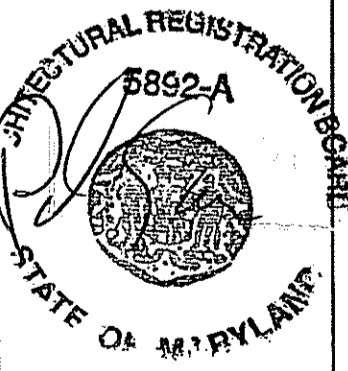
Chevy Chase, MD

REVISIONS	BY
PERMIT SET 03-08-05	

4963 ELM STREET SUITE 103 BETHESDA, MARYLAND 20814-2940  
PH. (301) 651-3020 FX. (301) 651-3050  
P.G.A. Architect

**Evers Residence**  
28 West Kirke Street  
Bethesda, MD

4963 ELM STREET SUITE 103 BETHESDA, MARYLAND 20814-2940  
PH. (301) 651-3020 FX. (301) 651-3050  
P.G.A. Architect



Date: 12-2-2004  
Scale: 1/4" = 1' - 0"  
Drawn: DEXTER  
Job:  
Sheet: C5  
Of: 8 sheets

## Abbreviations

AB	ANCHOR BOLT	FT	FEET	RR	ROOF RAFTER
ABV	ABOVE	FTG	FOOTING	SC	SHEAR CONNECTOR
ADD'L	ADDITIONAL	GA	GAUGE	SCH	SCHEDULE
ADJ	ADJACENT	GALV	GALVANIZE(D)	SCH	SCHEDULE
ALT	ALTERNATE	GB	GRADE BEAM	SW(SHRUL)	SHEARWALL
AFF	ABOVE FINISHED FLOOR	GLB	GLUE-LAMINATED BEAM	SHT	SHEET
APPROX	APPROXIMATE(LY)	GYFBD	GYPSUM WALL BOARD	SIM	SIMILAR
ARCH	ARCHITECTURAL	HD	HOLD DOWN	SIMP	SIMPSON
@	AT	HDR	HEADER	SKW	(SKEWED)
BNFR	BALLOON FRAMED	HGR	HANGER	SFC	SPACE(SXING)
BE	BELOW	HORIZ (H)	HORIZONTAL	SPEC	SPECIFICATIONS
BF	BRACED FRAME	HS	HIGH STRENGTH	SG	SQUARE
BLDG	BUILDING	HGB	HIGH STRENGTH BOLT	SS	SELECT STRUCTURAL
BLK	BLOCKING	HT	HEIGHT	STD	STANDARD
BM	BEAM	IF	INSIDE FACE	STGR	STAGGER(ED)
BN	BOUNDARY NAILING	IN (")	INCHES	STIF	STIFFENER
BOF	BOTTOM OF FOOTING	INT	INTERIOR	STIR	STIRRUPS
BOB	BOTTOM OF STEEL	JST	JOIST	STRUC	STRUCTURAL
BRG	BEARING	JT	JOINT	SUSP	SUSPENDED
BTM (B)	BOTTOM	KSI	KIPS PER SQUARE INCH	T 4 B	TOP AND BOTTOM
BTUN	BETWEEN	L	ANGLE	T 4 G	TONGUE AND GROOVE
C	CAMBER(ED)	LB	LAG BOLT	TEMP	TEMPERATURE
CANT	CANTILEVER	LG (#)	LONG (TUDINAL)	TG	TAPERED GIRDER
CIP	CAST-IN-PLACE	LDGR	LEDGER	THK	THICK
CLG	CENTERLINE	LG	LONG (TUDINAL)	THRD	THREADED
CLR	CEILING	LLH	LONG LEG HORIZONTAL	TMFRY	TEMPORARY
COL	CLEAR	LLV	LONG LEG VERTICAL	TN	TOE NAIL
CONC BLK	CONCRETE BLOCK	LWT	LIGHTWEIGHT	TO	TOP OF
CONN	CONNECTION	MAS	MASONRY	TOB	TOP OF BEAM
CONST	CONSTRUCTION	MAT'L	MATERIAL	TOC	TOP OF CONCRETE
CSK	COUNTERSINK	MAX	MAXIMUM	TOF	TOP OF FOOTING
CTR	CENTER(ED)	MB	MACHINE BOLT	TOP	TOP OF PARAPET
g	PENNY (NAILS)	MECH	MECHANICAL	TOS	TOP OF STEEL
DBL	DOUBLE	MEZZ	MEZZANINE	TOT	TOTAL
DEPT	DEPARTMENT	MF	MOMENT FRAME	TOW	TOP OF WALL
DF	DOUGLAS FIR	MFR	MANUFACTURER	TP	TOP OF FLYWOOD
DIA (?)	DIAMETER	MIN	MINIMUM	TRNSV	TRANSVERSE
DIAG	DIAGONAL	MISC	MISCELLANEOUS	TS	TUBE STRUCTURE
DIAPH	DIAPHRAGM	MR	MOMENT RESISTING	TYP	TYPICAL
DIM	DIMENSION	MTL	METAL	UNO	UNLESS NOTED OTHERWISE
DN	DOWN	(N)	NEW	VERT (V)	VERTICAL
DO	DITTO (REPEAT)	NBU	NON-BEARING WALL	VIF	VERIFY IN FIELD
DP	DEEP (DEPTH)	NO. (#)	NUMBER	W	NEAR SIDE
DWG	DRAWING	NS	NON-SHRINK GROUT	W/	WITH
DWL	DOVEL(S)	NSG	NON-SHRINK GROUT	WD	WOOD
EA	EACH	NTS	NOT TO SCALE	W/P	WATER PROOF
EB	EDGE OF BEAM	OC	ON CENTER	WF	WORK POINT
EF	EACH FACE	OF	OUTSIDE FACE	WFJ	WEAKENED PLANE JOINT
EJ	EXPANSION JOINT	OH	OPPOSITE HAND	WS	WELDED STUDS
EL	ELEVATION	OPNG	OPENING	WT	WEIGHT
ELEC	ELECTRICAL	ORNT	ORIENT(ATION)	WUF	WELDED WIRE FABRIC
ELEV	ELEVATOR	OWJ	OPEN WEB JOISTS		
EMBD	EMBED(MENT)	PAR (II)	PARALLEL		
EN	EDGE NAILING	P/C	PRECAST CONCRETE		
EQPT	EQUIPMENT	PERP	PERPENDICULAR		
ES	EACH SIDE	PCF	POUNDS PER CUBIC FOOT		
EW	EACH WAY	PLT	PLATE		
EXST (E)	EXISTING	PLY	PLYWOOD		
EXT	EXTERIOR	PFS	POUNDS PER SQUARE FOOT		
FCN	FACE NAILING	PFI	POUNDS PER SQUARE INCH		
FF	FINISHED FLOOR	PT	PRESSURE TREATED		
FIN	FINISH(ED)	PT	POST-TENSIONED		
FLG	FLANGE	(FRESTRESSED)	(FRESTRESSED)		
FLR	FLOOR	QTY	QUANTITY		
FN	FIELD NAILING	RAD	RADIUS		
FND	FOUNDATION	RCP	REINFORCED CONCRETE		
FOC	FACE OF COLUMN	REF	REFERENCE		
FOM	FACE OF MASONRY	REINF	REINFORCEMENT		
FOS	FACE OF STUD	REQ'D	REQUIRED		
FOU	FACE OF WALL	RJ	ROUGH JOIST		
FRM	FRAMING	RO	ROUGH OPENING		
FS	FAR SIDE				

## Project Description

**FIRST FLOOR**  
- New Front Portico Roof w/ Brackets  
- New Masonry Fireplace on Existing Den

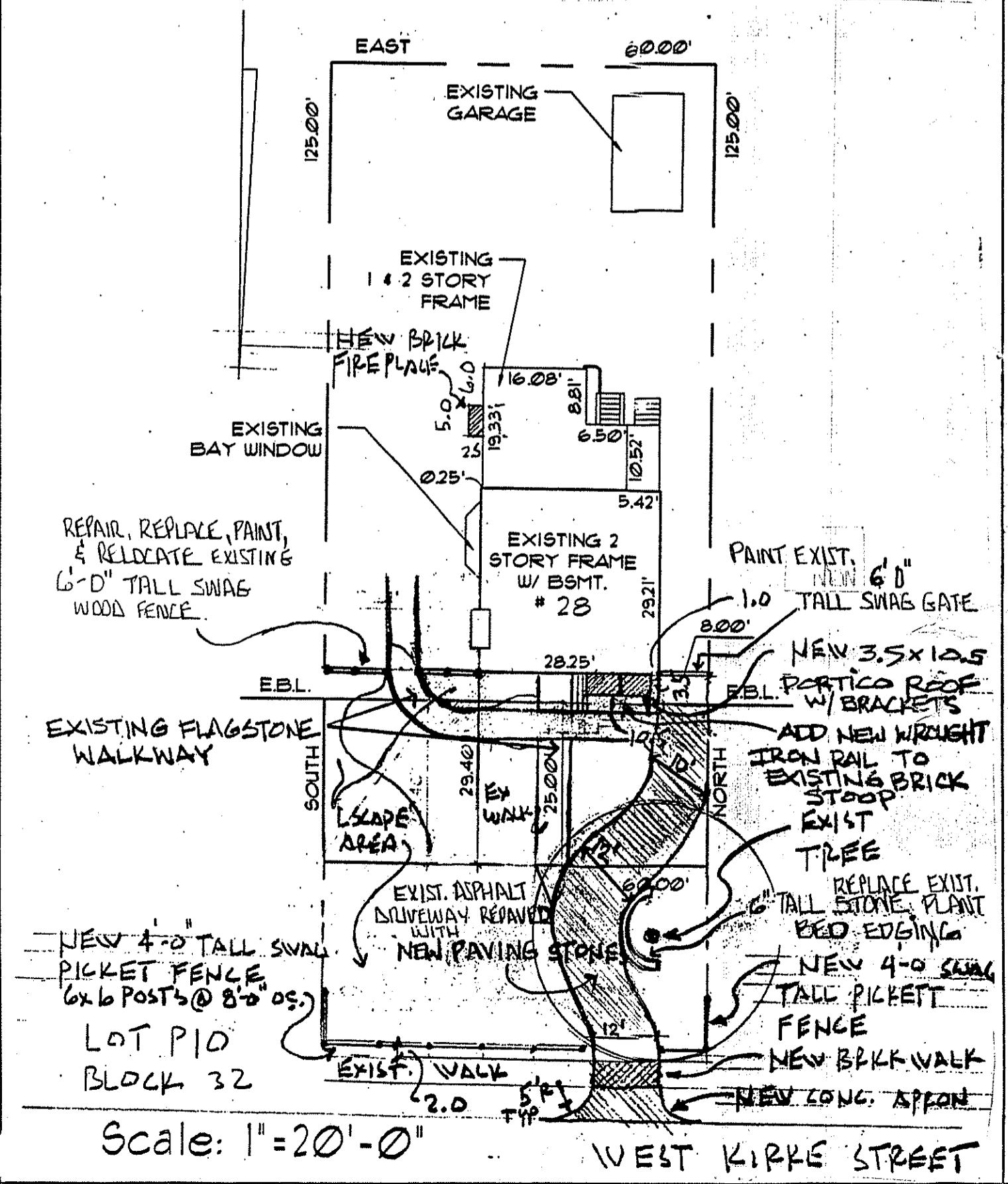
### Owner

Donna & Robert Evers  
28 West Kirke Street  
Bethesda, MD 20814

### Architect

PGA Design-Build  
4963 Elm Street Suite 103  
Bethesda, MD 20814  
Tel. - 301-651-3020  
Fax - 301-651-3050  
E-mail - pgadb@aol.com

## Site Plan



## Sheet Index

C5 Coversheet, Project Information, Sheet Index, and General Notes.  
A1 First Floor Plan & Roof Framing Plan  
A2 Elevations.

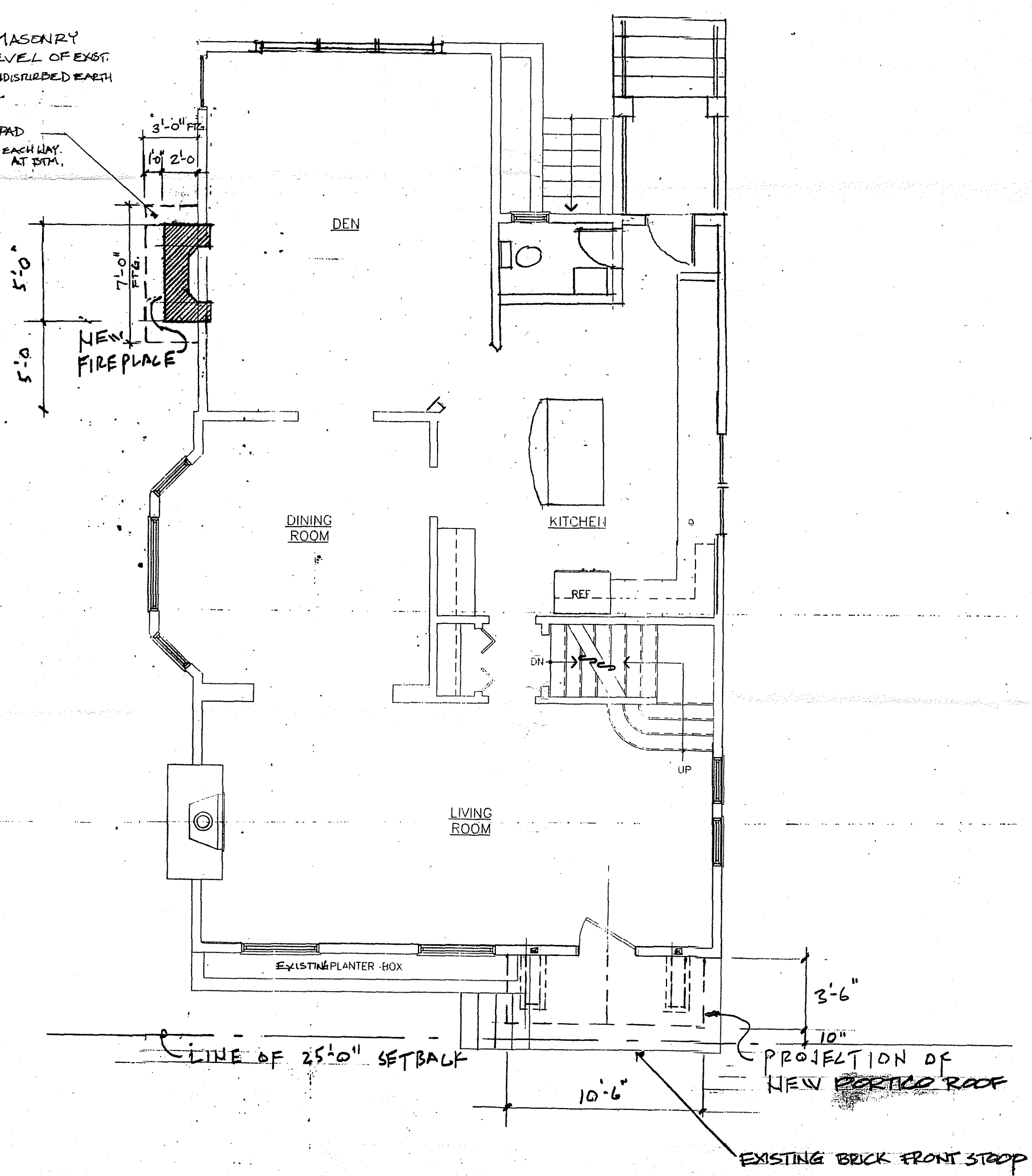
## General Notes

- NOTE: All Drawings Compliant with the International Residential Code(IRC) 2000 as amended by Montgomery County.
- Work performed shall comply with the following:
- These General Notes (unless noted otherwise), latest edition of the Building Code, and all applicable municipal codes, ordinances, and regulations in effect at the time permits are issued for this project.
  - On-site verification of all dimensions and conditions shall be the responsibility of the Contractor. Noted dimensions take precedence over scale. Dimensions on plans are shown as finished dimensions, unless noted otherwise on the drawings.
  - The Contractor shall compare and coordinate all drawings; when in the opinion of the Contractor a discrepancy exists, the Contractor shall promptly report it to the Architect within three (3) work days for proper adjustment before proceeding with the work.
  - In the event that certain features of the construction are not fully shown on the drawings, then their construction shall be the same character as for similar conditions that are shown or noted. In either instance, the Contractor shall promptly notify the architect of such within three (3) work days for positive clarification.
  - No structural member shall be omitted, notched, cut, blocked out, or relocated without prior approval by the Architect, unless otherwise indicated on the drawings.
  - Overall dimensions take precedence over dimensioning discrepancies arising out of the use of nominal and actual dimensions. Adjust unit dimensions accordingly to achieve established elevations. Shim as required. Should a discrepancy exceed 1" the Contractor shall notify the Architect and obtain the Architect's approval prior to the installation of work affected by the discrepancy.
  - During demolition and construction, the site shall be kept clean at all times.
  - All finishes to comply with Section 804.3

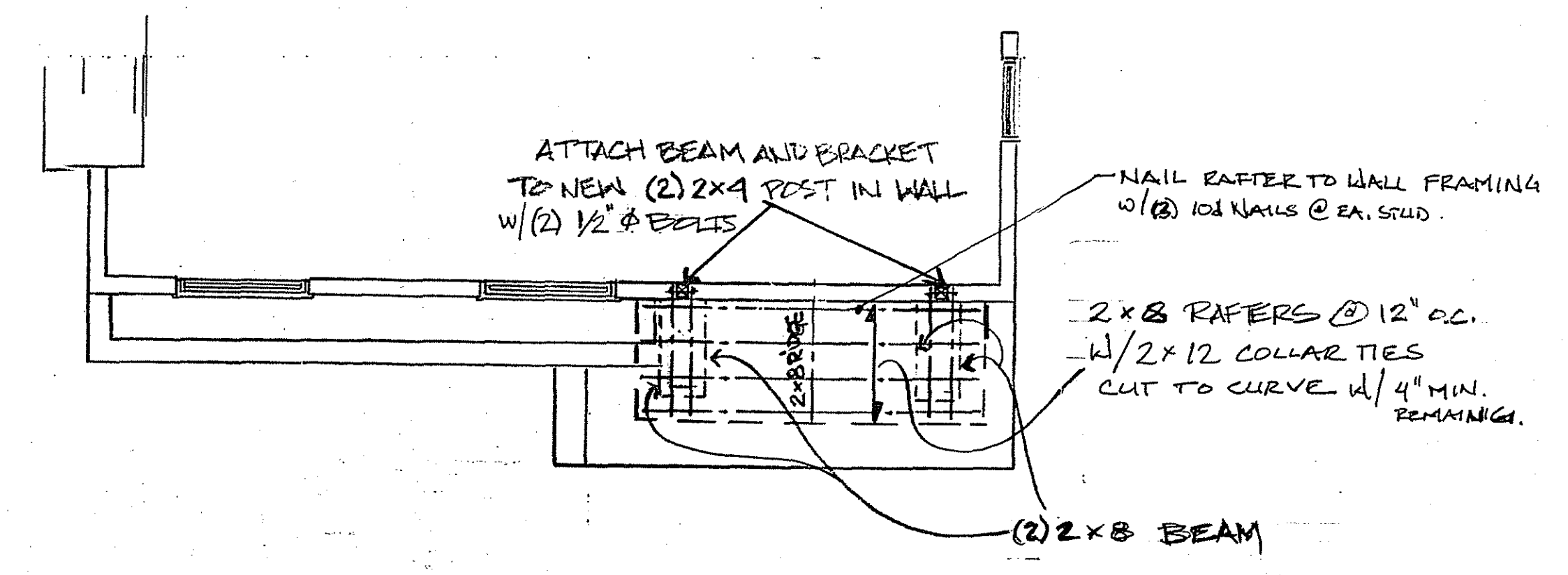
APPROVED  
Montgomery County  
Historic Preservation Commission  
Date: 12/2/04

FTG. FOR NEW MASONRY  
FIREPLACE AT LEVEL OF EXIST.  
HOUSE FTG. OR ON UNDISTURBED EARTH  
50" MIN BELOW GRADE.

36" x 84" x 12" CONC. PAD  
W/ #4 BARS @ 8" OC. EACH WAY  
AT BTH.



**FIRST FLOOR PLAN**  
SCALE 1/4" = 1'-0"

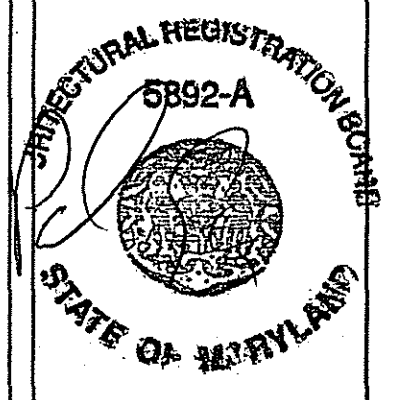


**PORTICO ROOF FRAMING PLAN**  
SCALE 1/4" = 1'-0"

REVISIONS	BY
PERMIT SET 08-08-05	

4963 ELY  
SUITE 103  
BETHESDA  
20814-1840  
PH. (301) 451-3020  
FX. (301) 451-3090  
Paul Ginner Architect

**Evers Residence**  
28 West Kirke Street  
Bethesda, MD



Date:  
Scale: 1/4" = 1'-0"  
Drawn: Evers  
Job: Monteverde

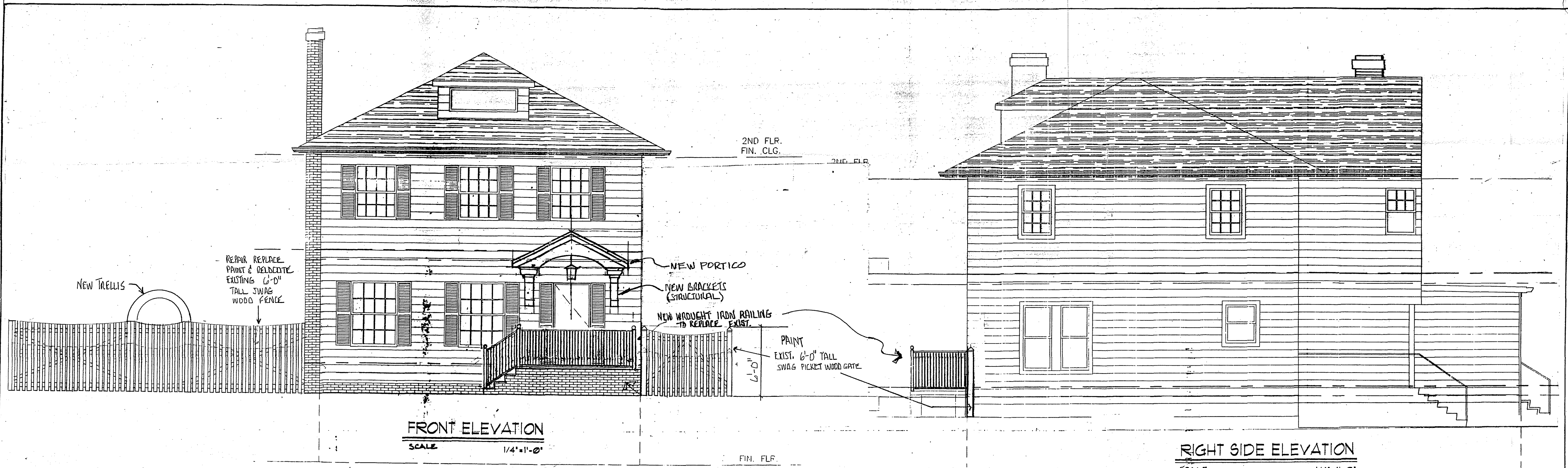
APPROVED  
Montgomery County  
Historic Preservation Commission  
January 11, 2005

Sheet  
**A-1**  
Of 2 Sheets

REVISIONS	BY
2/1/05	DI
PERMIT SET	
03-08-05	

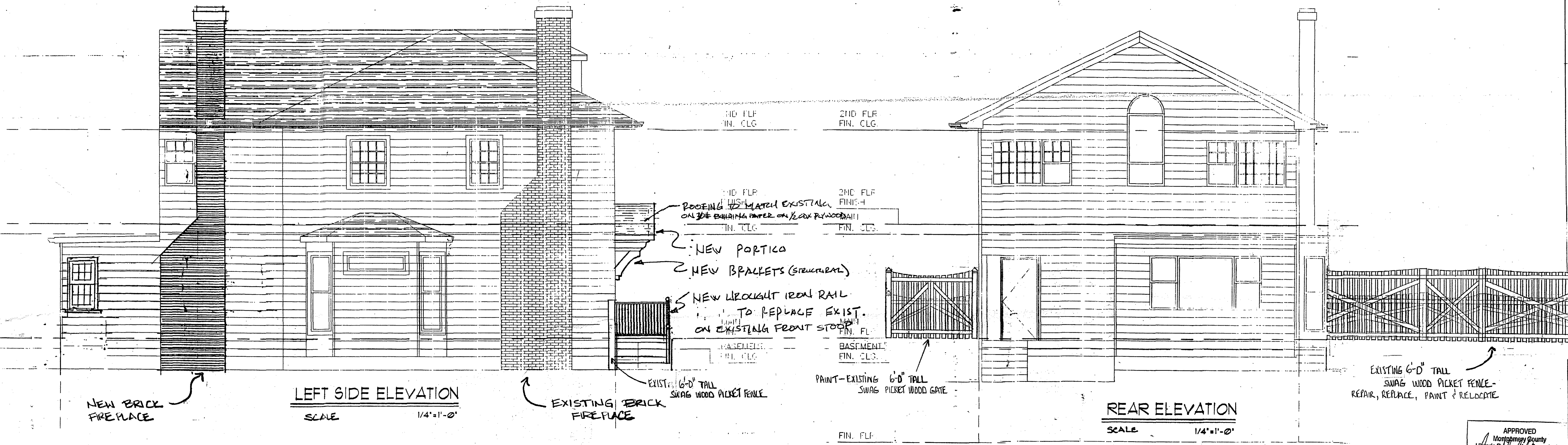
4963 ELLIOTT  
SUITE 103  
BETHESDA  
MONTGOMERY COUNTY  
20814-2940  
PH: (301) 657-5020  
FX: (301) 657-5050  
D. Guier Architects

Evers Residence  
28 West Kirke Street  
Bethesda, MD  
STRUCTURAL REGISTRATOR  
5892-A  
STATE OF MARYLAND



**FRONT ELEVATION**  
SCALE 1/4"=1'-0"

**RIGHT SIDE ELEVATION**  
SCALE 1/4"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/4"=1'-0"

**REAR ELEVATION**  
SCALE 1/4"=1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
3/1/05



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: February 24, 2005

MEMORANDUM

TO: Donna & Robert Evers (Paul Gaiser, Agent)  
28 W. Kirke Street, Chevy Chase Village Historic District

FROM: Tania Georgiou Tully, Senior Planner  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application # 367269

---

Your Historic Area Work Permit application for front porch addition, fencing & driveway was **approved** by the Historic Preservation Commission at its February 23, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must **schedule a meeting** with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: February 24, 2005

**MEMORANDUM**

TO: Robert Hubbard, Director

FROM: Tania Georgiou Tully, Senior Planner  
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 367 269

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Donna & Robert Evers

Address: 28 W. Kirke Street, Chevy Chase

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
355 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: PAUL GAISER

Daytime Phone No.: 301-657-3020

Tax Account No.: 00455224

Name of Property Owner: DONNA & ROBERT EVERS Daytime Phone No.: 301-654-5806

Address: 28 W. KIRKE ST. CHEVY CHASE MARYLAND 20815  
Street Number City State Zip Code

Contractor: T.B.D. Phone No.:

Contractor Registration No.:

Agent for Owner: PAUL GAISER ARCHITECTS Daytime Phone No.: 301-657-3020

### LOCATION OF BUILDING/PREMISE

House Number: 28 Street: W. KIRKE STREET

Town/City: CHEVY CHASE Nearest Cross Street:

Lot: P10 Block: 32 Subdivision: 9

Liber: Folio: Parcel:

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: DRIVEWAY

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit #

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other:

2B. Type of water supply: 01  WSSC 02  Well 03  Other:

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 0 inches 4  
4 FEET 0 INCHES

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*PLG*  
Signature of owner or authorized agent

12-20-04  
Date

Approved:  For Chairperson, Historic Preservation Commission

Disapproved: Signature: Julia O'Malley Date: 12/23/05

Application/Permit No. 367269 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THIS IS A TWO STORY FRAMED HOUSE IN CHEVYCHASE VILLAGE,  
BUILT IN 1913.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

A NEW FRONT PORTICO OVER EXISTING FRONT STOOP,  
A NEW FENCE ON FRONT OF YARD S SIDE OF HOUSE,  
A NEW MASONRY FIREPLACE IN EXISTING DEN,  
A NEW DRIVEWAY AS SHOWN ON SITE PLAN,  
A NEW WROUGHT IRON RAIL ON EXISTING BRICK STOOP

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the *cruciform* of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville. (301/279-1355).





**MONTGOMERY COUNTY**  
**DEPARTMENT OF PERMITTING SERVICES**  
 255 Rockville Pike, 2<sup>nd</sup> Floor  
 Rockville, Maryland 20850-4166

# NOTICE OF VIOLATION

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that:

On, 1-4-03 the recipient of this NOTICE, Ronald D. ...  
Date Recipient's Name

who represents the permittee/defendant, Ronald D. ...  
Permittee's Name

is notified that a violation of Montgomery County Code: 24A-6, 24A-7, 24A-8, 24A-9, 24A-10, 24A-11, 24A-12, 24A-13, 24A-14, 24A-15, 24A-16, 24A-17, 24A-18, 24A-19, 24A-20, 24A-21, 24A-22, 24A-23, 24A-24, 24A-25, 24A-26, 24A-27, 24A-28, 24A-29, 24A-30, 24A-31, 24A-32, 24A-33, 24A-34, 24A-35, 24A-36, 24A-37, 24A-38, 24A-39, 24A-40, 24A-41, 24A-42, 24A-43, 24A-44, 24A-45, 24A-46, 24A-47, 24A-48, 24A-49, 24A-50, 24A-51, 24A-52, 24A-53, 24A-54, 24A-55, 24A-56, 24A-57, 24A-58, 24A-59, 24A-60, 24A-61, 24A-62, 24A-63, 24A-64, 24A-65, 24A-66, 24A-67, 24A-68, 24A-69, 24A-70, 24A-71, 24A-72, 24A-73, 24A-74, 24A-75, 24A-76, 24A-77, 24A-78, 24A-79, 24A-80, 24A-81, 24A-82, 24A-83, 24A-84, 24A-85, 24A-86, 24A-87, 24A-88, 24A-89, 24A-90, 24A-91, 24A-92, 24A-93, 24A-94, 24A-95, 24A-96, 24A-97, 24A-98, 24A-99, 24A-100

exists at: 28 W. Kipling St. Chevy Chase, MD  
Location Case #

The following corrective action(s) must be performed immediately as directed, Dr. ...  
For a ...  
...

**See attached Inspection Report(s) for additional violations and/or required corrective actions.**

An inspection fee of \$ 946.00 is required in addition to any application fee(s).

Re-inspection Date(s): \_\_\_\_\_ Permit Number: \_\_\_\_\_ Code/Edition: \_\_\_\_\_

**Failure to comply with this notice will result in the issuance of one or more \$500.00 civil citations.**

**A STOP WORK ORDER is also issued this date at the above referenced project. All construction activities on these premises must cease immediately. Only those activities required to correct violations may continue. Permission is required to resume construction.**

ISSUED BY: [Signature] [Signature] 1-4-03  
Printed Name Signature Date

Phone No. 240 777 5211

RECEIVED BY: [Signature] [Signature] 1-4-03  
Printed Name Signature Date

Phone No. \_\_\_\_\_ Sent by Registered Mail/Return Receipt On: \_\_\_\_\_

**RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION**

7





# Paul Gaiser Architects LLC

Historic Preservation Commission  
1109 Spring Street  
Suite 801  
Silver Spring, Md. 20910  
February 2, 2005

Dear Historic Committee,

I am writing this letter to request additional changes of proposed work on my initial application that was submitted for Robert and Donna Evers property located at 28 Kirke street Chevy Chase, Maryland 20815.

#### Description of proposed work:

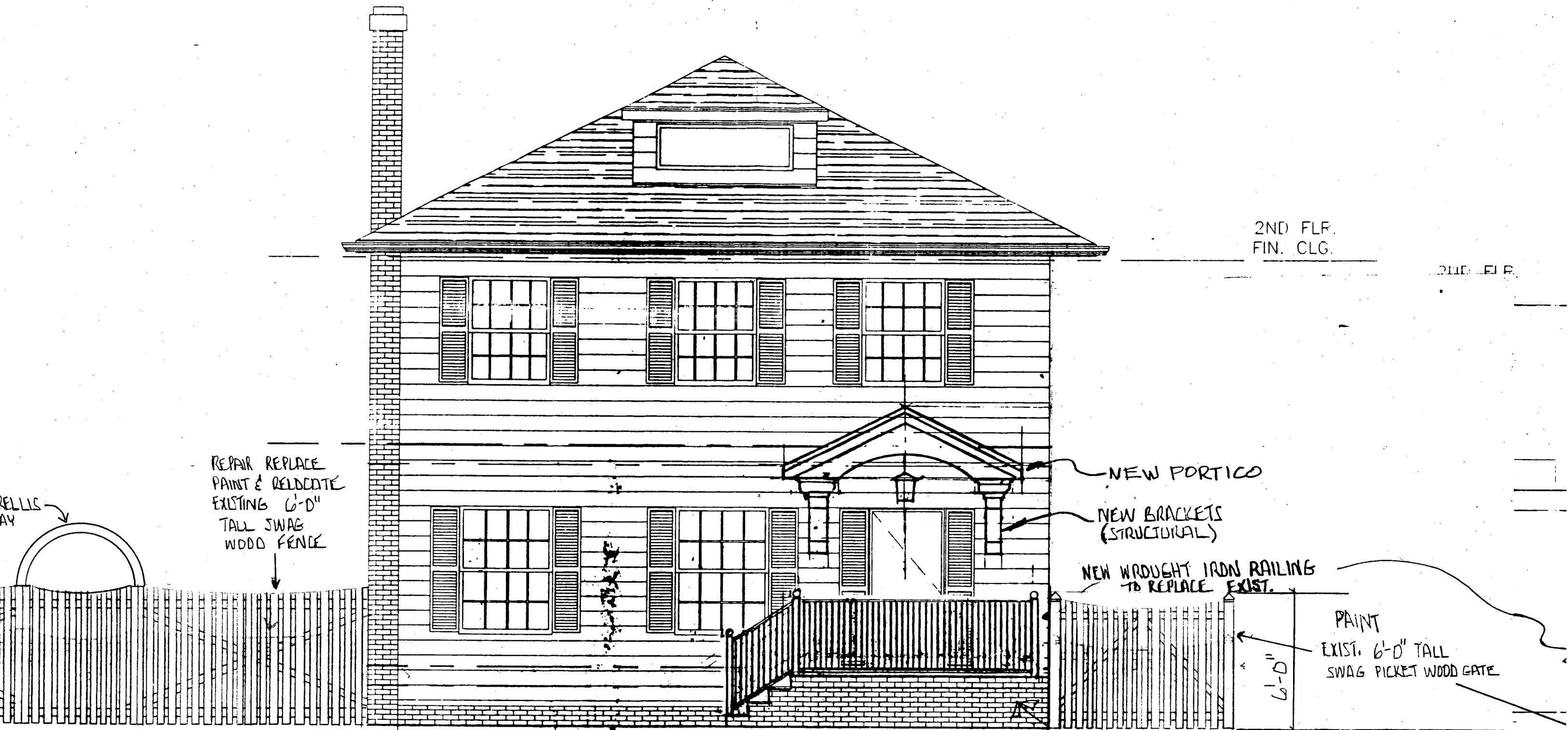
1. Repair, Replace, Paint, & relocate existing 6' tall fence on the left side of the house to line up with the existing fence on the right side of the house.
2. Paint existing 6' tall fence on the right side of the house.
3. Add a new 4' tall swag picket fence with 6" X 6" posts along the front yard.
4. Replace existing deteriorated black top driveway with new stone pavers.

I would also request retroactive permission to remove existing vinyl siding on the top half of the house and repair existing stucco/wood siding.

Thank you .

4963 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940

♦  
Pho. (301) 657-3020  
Fax. (301) 657-3050



REPAIR REPLACE  
PAINT & RELOCATE  
EXISTING 6'-0"  
TALL SWAG  
WOOD FENCE

NEW PORTICO

NEW BRACKETS  
(STRUCTURAL)

NEW WROUGHT IRON RAILING  
TO REPLACE EXIST.

PAINT  
EXIST. 6'-0" TALL  
SWAG PICKET WOOD GATE

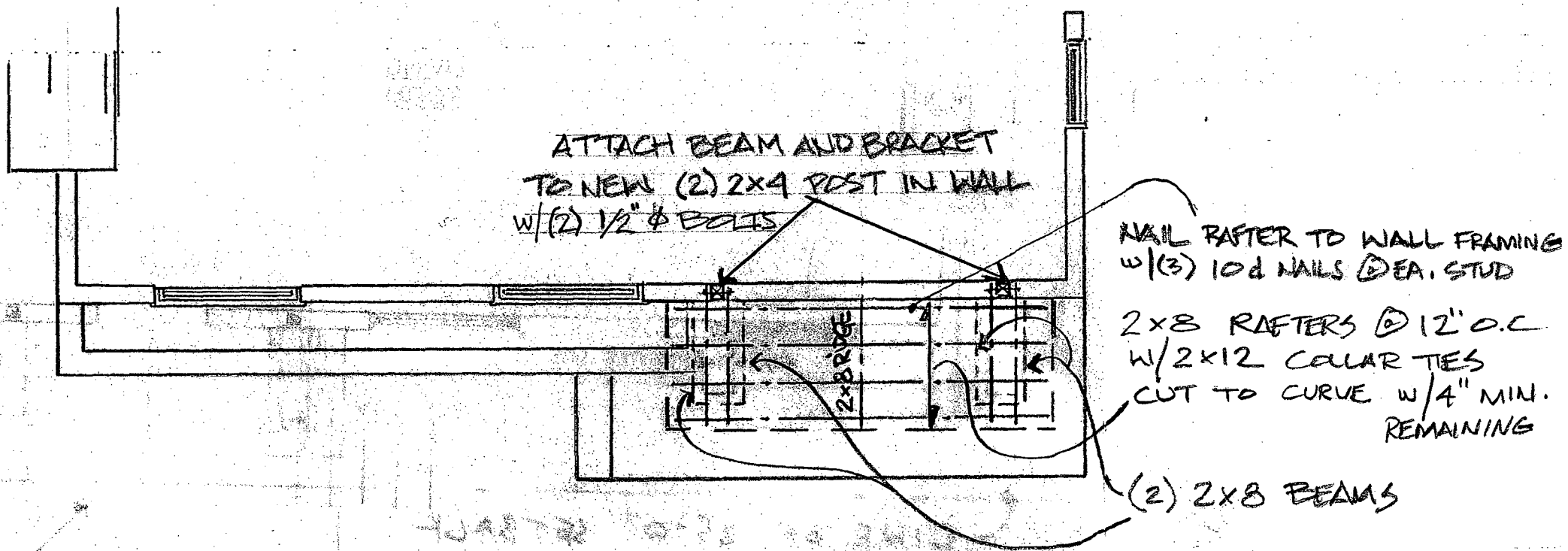
# FRONT ELEVATION

SCALE 1/4" = 1'-0"

2ND FLR.  
FIN. CLG.

FIN. FLR.

FIN. FLR.



PORTICO ROOF FRAMING PLAN

SCALE

1/4" = 1'-0"



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

January 5, 2005

Donna & Robert Evers  
28 W. Kirke Street  
Chevy Chase, MD 20815

Dear Mr. & Mrs. Evers:

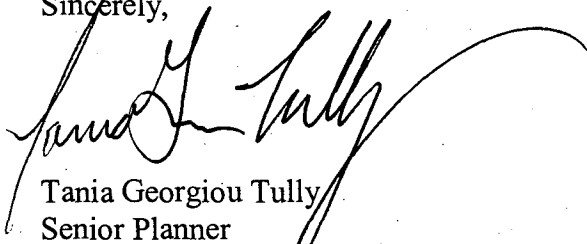
We are in receipt of your Historic Area Work Permit (HAWP) application dated December 6, 2004. After reviewing your application and making a site visit we have determined that the application is incomplete and cannot be processed at this time. It has been removed from the January 12, 2005 agenda and will not be rescheduled until our office receives an accurate application.

Upon visiting the site January 3, 2005, staff observed that much of the work proposed in the HAWP application was already completed. This includes the new driveway and a low wall. In addition, staff also observed new 6' fencing and siding alterations that were completed without a HAWP. Please submit a revised HAWP application (no new number from DPS is needed) that fully describes and illustrates all of the work completed and proposed. Photographs submitted with the application should reflect the existing conditions. Once this is received the application will be placed on the agenda for the next available meeting of the Historic Preservation Commission.

Staff also spoke with Geoffrey Biddle, Chevy Chase Village Town Manager regarding this application. During this discussion it became apparent that the work approved by the Village is not the same as that requested per your HAWP application. Specifically, Mr. Biddle expressed surprise that the application proposed a 4' wall around the tree rather than the low wall already in place. In addition, he also has no record of the 6' fence.

We look forward to receiving the information needed to complete your application and proceeding with the review. Please call 301-563-3400 if you have any questions.

Sincerely,



Tania Georgiou Tully  
Senior Planner  
Historic Preservation Section

cc: file



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Contact Person: PAUL GAISER  
Daytime Phone No.: 301-657-3020

Tax Account No.: 00455224

Name of Property Owner: DONNA & ROBERT EVERS Daytime Phone No.: 301-654-5806

Address: 28 W. KIRKE ST. CHEVYCHASE MARYLAND 20815  
Street Number City State Zip Code

Contractor: TBD Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: PAUL GAISER ARCHITECTS Daytime Phone No.: 301-657-3020

**LOCATION OF BUILDING/PREMISE**

House Number: 28 Street: W. KIRKE STREET

Town/City: CHEVY CHASE Nearest Cross Street: \_\_\_\_\_

Lot: P 10 Block: 32 Subdivision: 3

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Move
- Install
- Wreck/Raze
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Revision
- Repair
- Revocable
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

6.5.2004  
Date

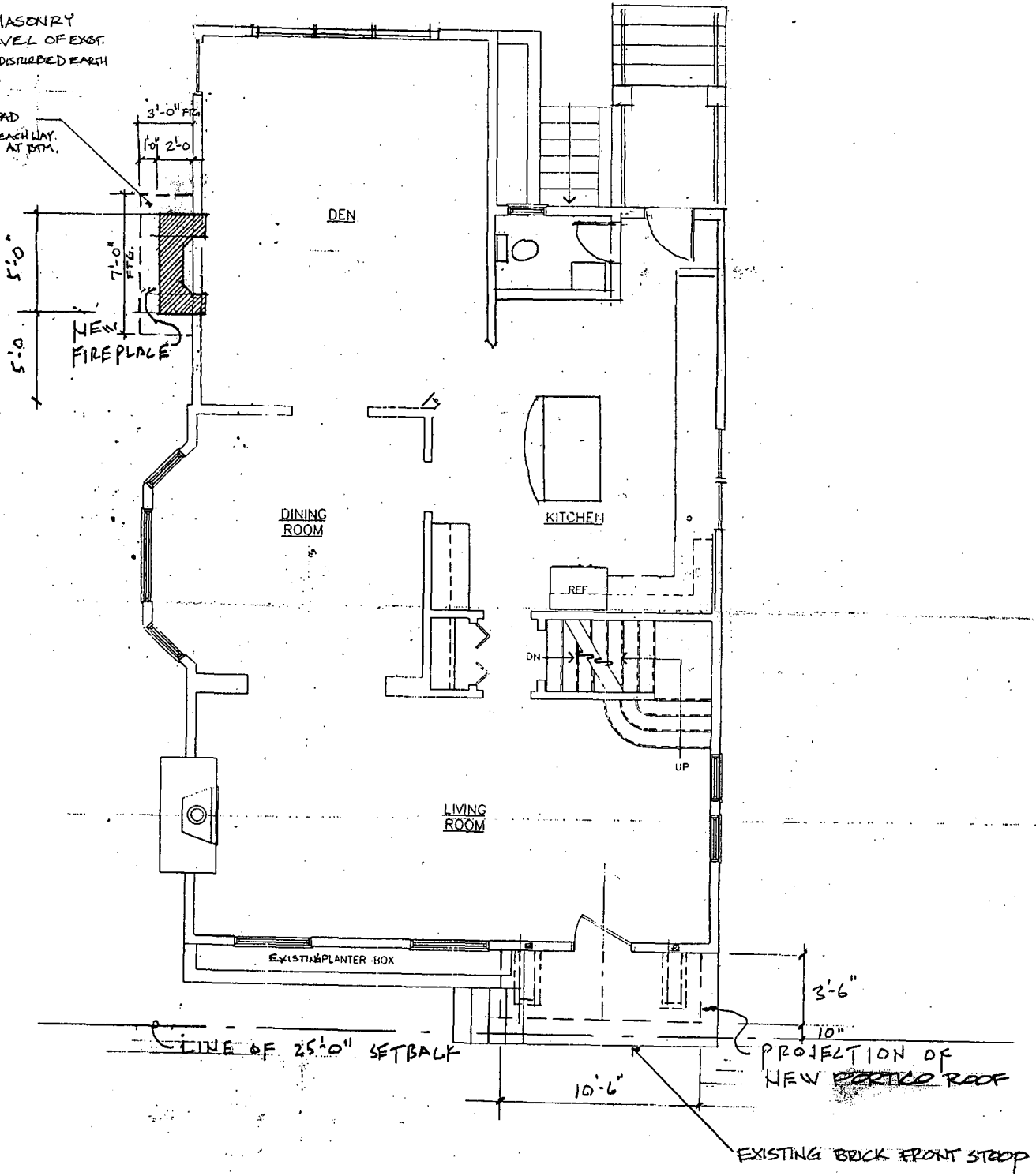
Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 347750 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

FTG. FOR NEW MASONRY  
 FIREPLACE AT LEVEL OF EXIST.  
 HOUSE FTG. OR ON UNDISTURBED EARTH  
 30" MIN BELOW GRADE

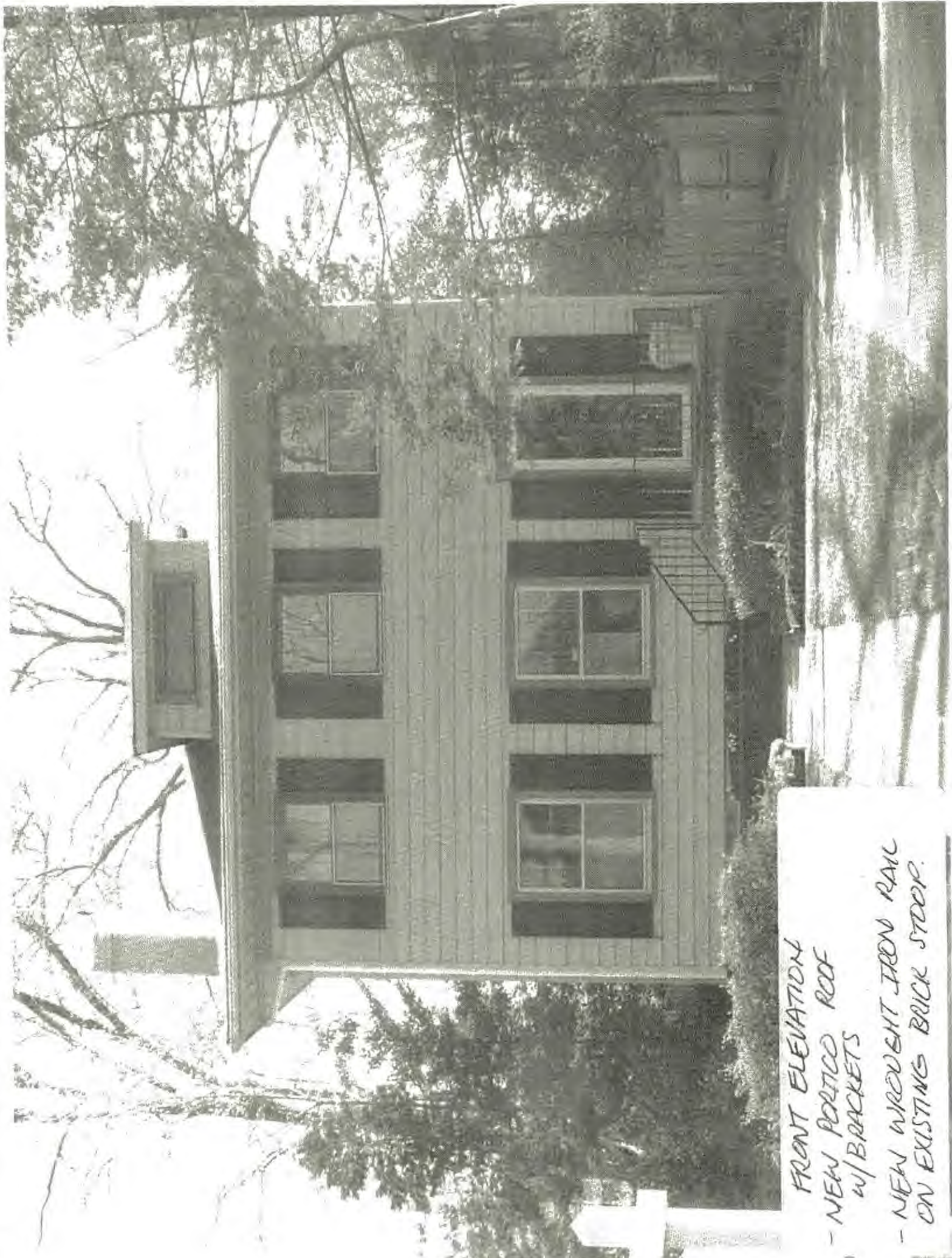
36" x 84" x 12" CONC. PAD  
 W/ #4 BARS @ 8" O.C. EACH WAY  
 AT DTM.



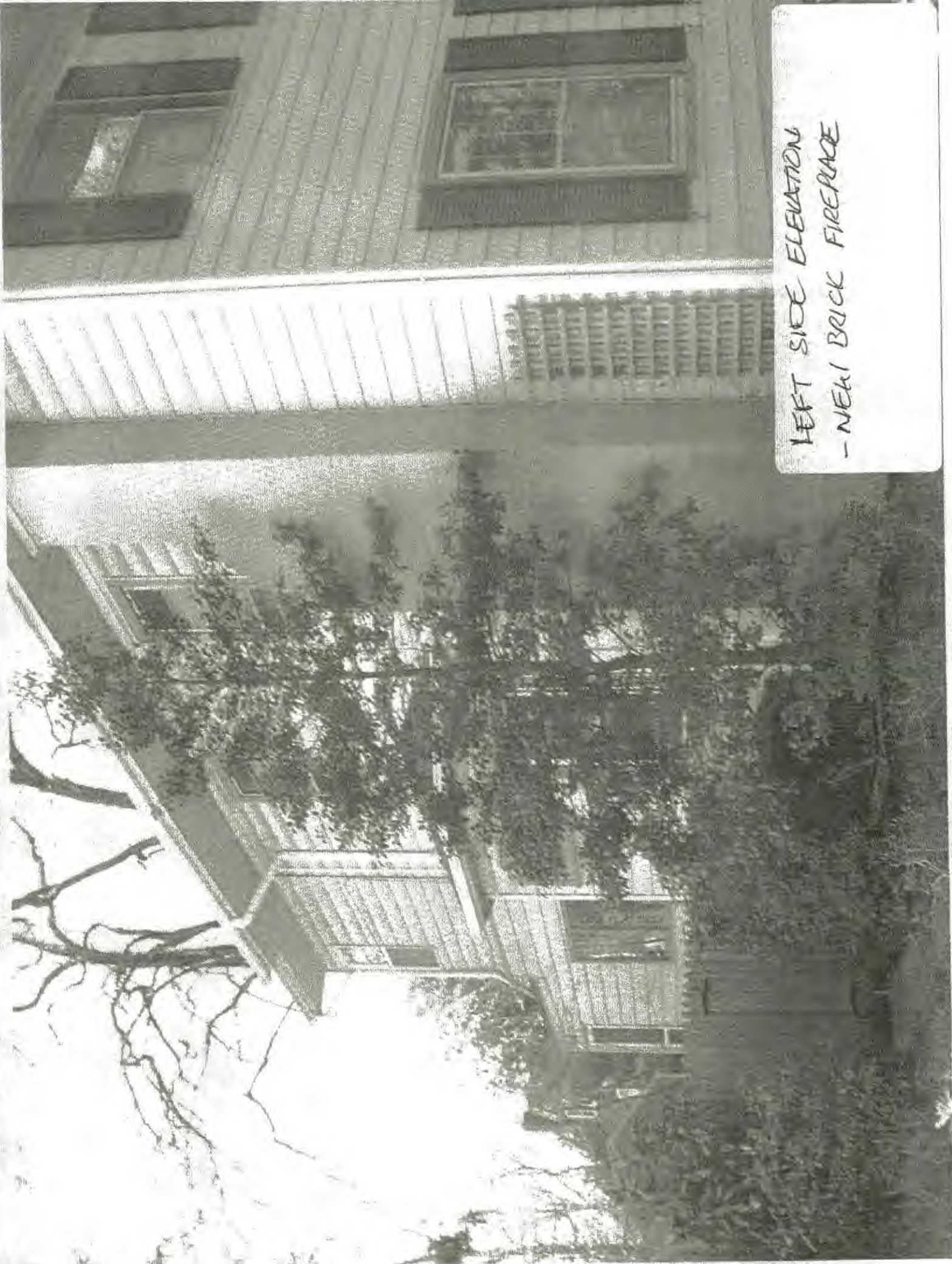
EXISTING FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"





FRONT ELEVATION  
- NEW PORTICO ROOF  
w/ BRACKETS  
- NEW WROUGHT IRON RAIL  
ON EXISTING BRICK STOOP.



LEFT SIDE ELEVATION  
- NEAR BRICK FIREPLACE

ADJACENT AND CONFRONTING PROPERTY OWNERS : TO ROBERT J. &  
DONNA EVERS.

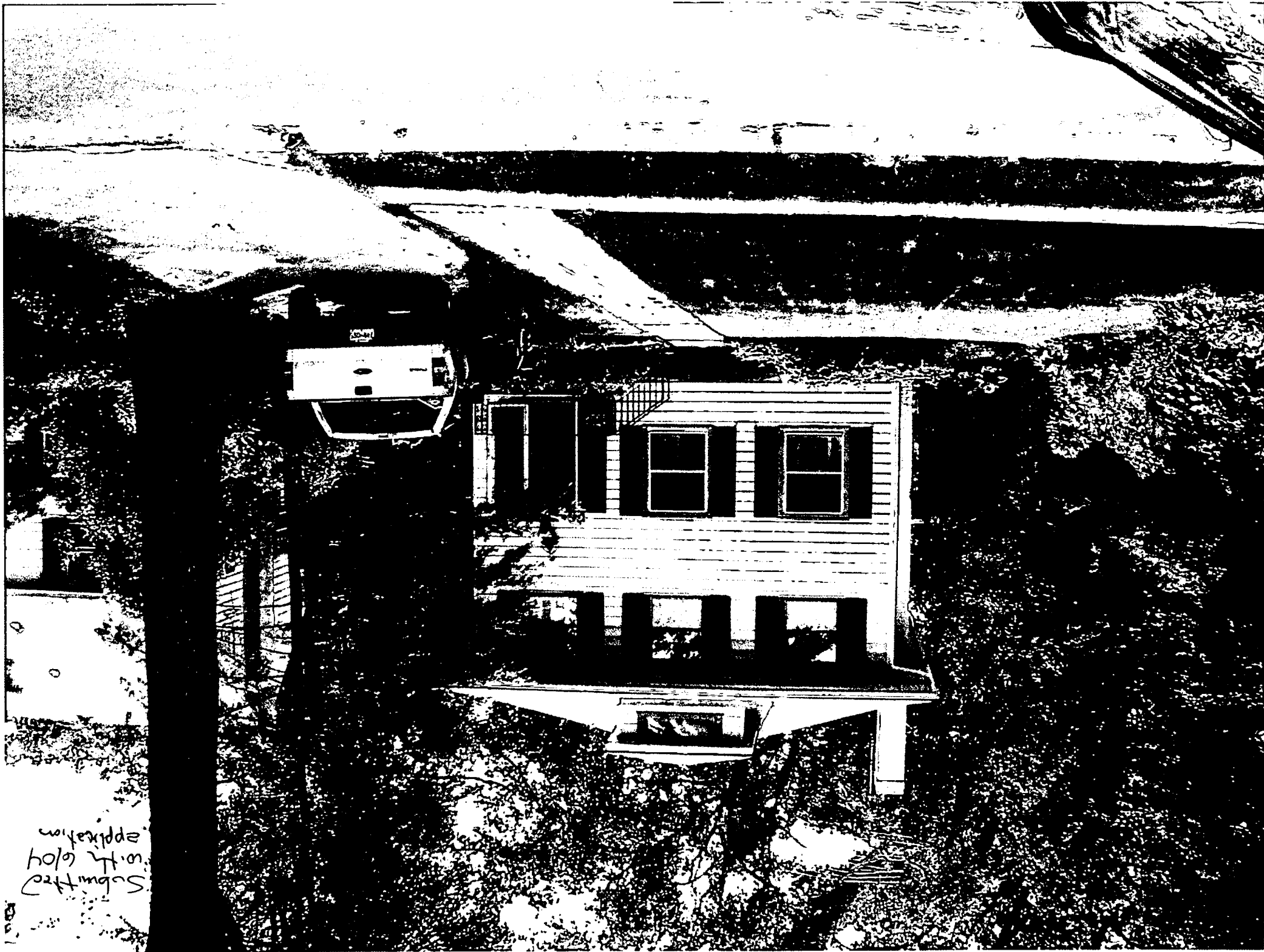
MARY A. TUOHEY  
29 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815

DANN THOMAS S & MELISSA SHACKLETON DANN  
27 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815-4260

RICHARD A & SUSANNE W.LEACH  
26 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815-4261

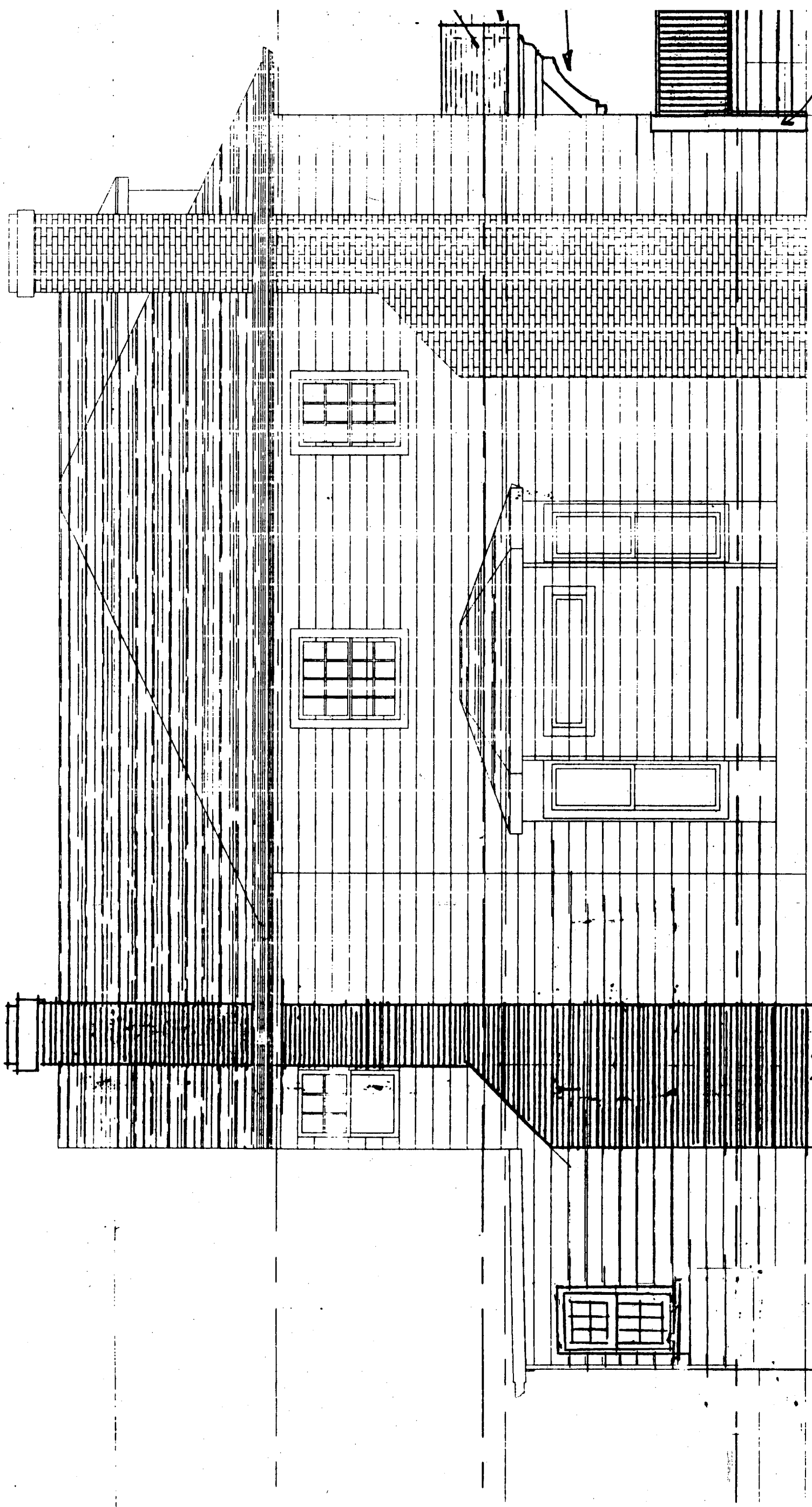
WILLIAM R & DOOLEY  
31 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815

ANTHONY F & MARRA  
30 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815



Submitted  
with 6/04  
application



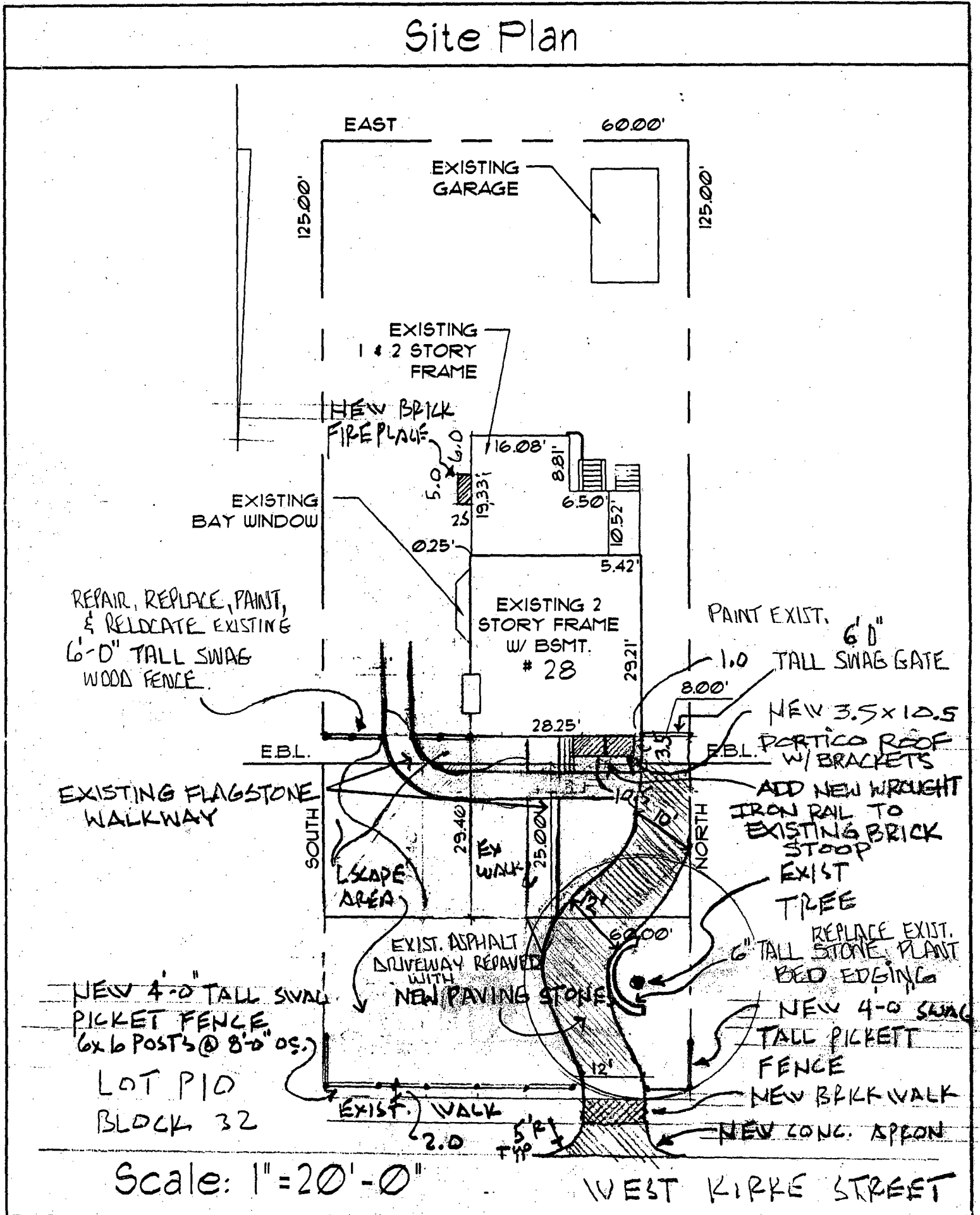


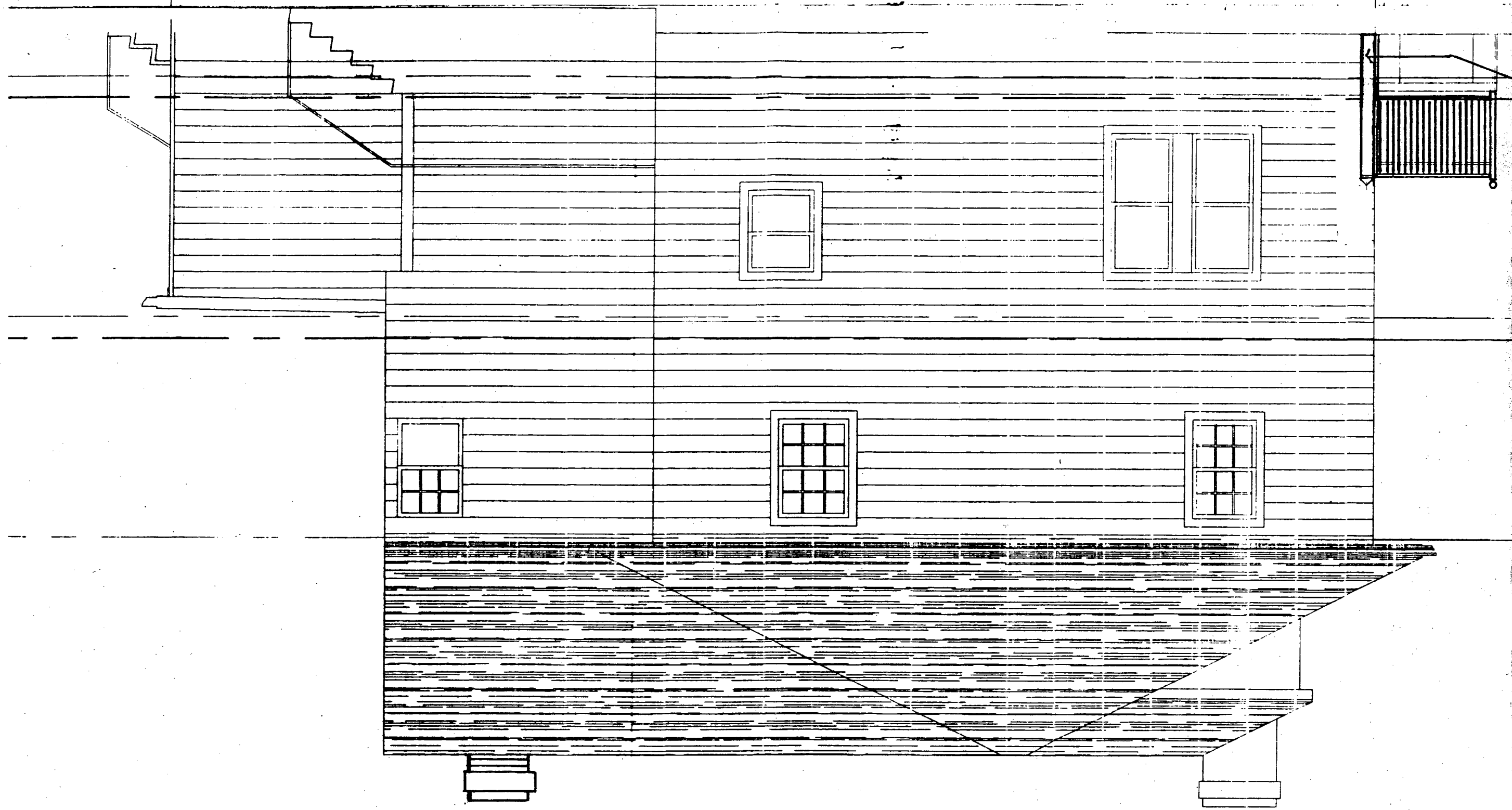
EXISTING BRICK  
FIREPLACE

LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

NEW BRICK  
FIREPLACE

# Site Plan

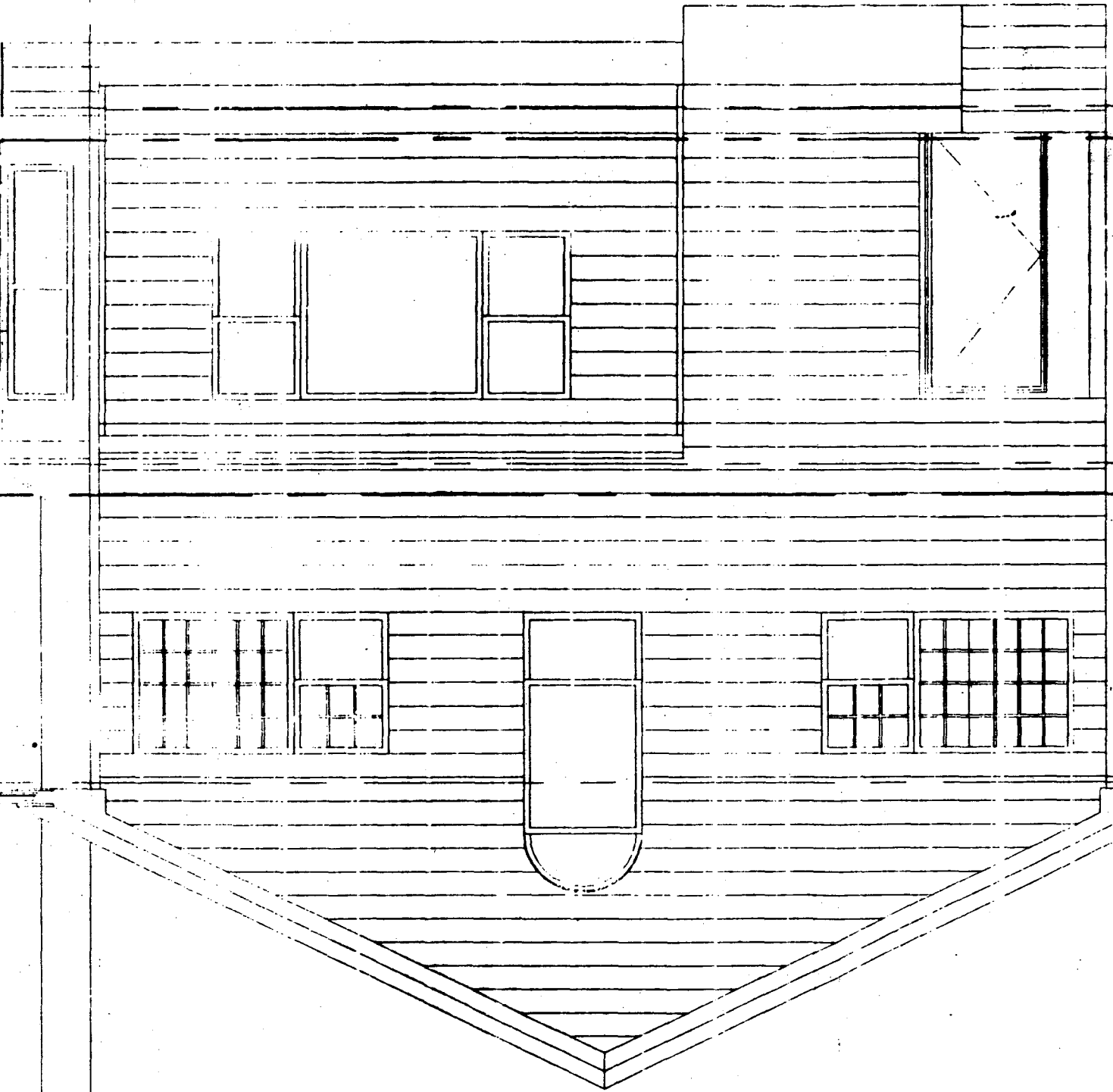
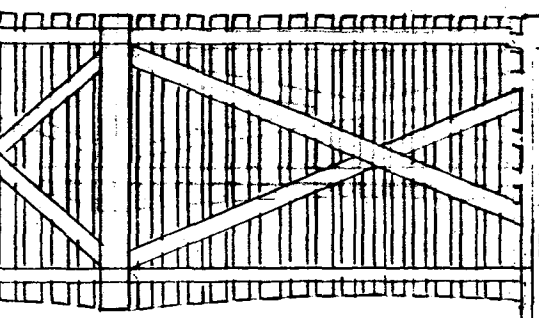




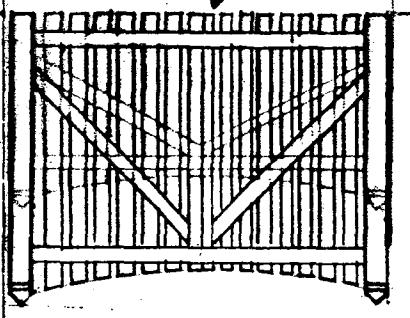


REAR ELEVATION  
SCALE 1/4"=1'-0"

EXISTING 6'-0" TALL  
SWAG WOOD PICK  
REPAIR, REPLACE, PAINT



PAINT-EXISTING 6'-0" TALL  
SWAG PICKET WOOD GATE  
FIN. FLE.  
FIN. CLG.  
BASTMENT



NEW PORTICO  
NEW BRACKETS (STAIRS)  
NEW BROUGHT IRON RAIL  
TO REPLACE EXIST.  
ON EXISTING FRONT STOP  
FIN. FLE.  
FIN. CLG.  
BASTMENT

PROTECT TO MATCH EXISTING  
ON 3RD FLOOR ON 1/2" x 4" WOOD  
FIN. FLE.  
FIN. CLG.

2ND FLE.  
FIN. CLG.

6'-0" TALL  
SWAG WOOD PICKET FENCE

FIN. FLE.  
FIN. CLG.  
BASTMENT

FIN. CLG.

2ND FLE.  
FIN. CLG.

**PULLED FROM AGENDA**

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	28 W. Kirke Street, Chevy Chase Village	<b>Meeting Date:</b>	01/12/05
<b>Applicant:</b>	Donna & Robert Evers Paul Gaiser, Agent	<b>Report Date:</b>	01/04/05
<b>Resource:</b>	Non-Contributing Resource Chevy Chase Village Historic District	<b>Public Notice:</b>	12/29/04
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-05B	<b>Staff:</b>	Tania Tully

**RECOMMENDATION:**  
Conditional Approval

**PROPOSAL:** Front porch addition, fence & driveway.

**STAFF RECOMMENDATION:**

Staff is recommending approval with the following condition:

- All work surrounding the tree will follow tree protection measures developed by a certified arborist.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Foursquare  
**DATE:** c.1913

The property does not retain its architectural integrity due to the artificial siding and other modifications.

**PROPOSAL:**

The applicant is proposing to construct the following:

- A wood portico over the existing front stoop to be supported by structural brackets.
- A wrought iron rail on the existing front stoop to replace existing. — *should look like a repair*
- A brick fireplace and chimney on the left side at the rear of the house. — *OK*
- A new wood 4' high picket fence at the front of the house. — *OK so long as set 1/2' from sidewalk*
- A redesigned driveway. — *OK w/out the "stem"*
- A new 4' high stone wall around the tree. — *OK if only 12-18" high & no foundation needed.*

*Spoke w/ Geoff Bickel 1/4/05  
 his comments  
 ↓  
 -OK*

**APPLICABLE GUIDELINES:**

*Sent letter to apps 1/4/05  
 Violation calls*

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Guidelines***

HAWP applications for exterior alterations, changes, and/or additions to non-contributing/out-of-period resources should receive the most lenient level of review. Most alterations and additions should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure, which affect the surrounding streetscape and/or landscape and could impair the character of the district as a whole.

### ***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
  
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

### ***Secretary of the Interior's Standards for Rehabilitation:***

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

### **STAFF DISCUSSION**

Since this property is a non-contributing resource, all modifications are reviewed for possible impacts on the district as a whole and will generally be reviewed with leniency. Staff believes that the new fireplace/chimney, stoop railing, and portico meet all applicable guidelines and do not have an impact on the district.

The new fence, stone wall and driveway are intended to create a courtyard setting in the front yard. After driving through the neighborhood.....

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

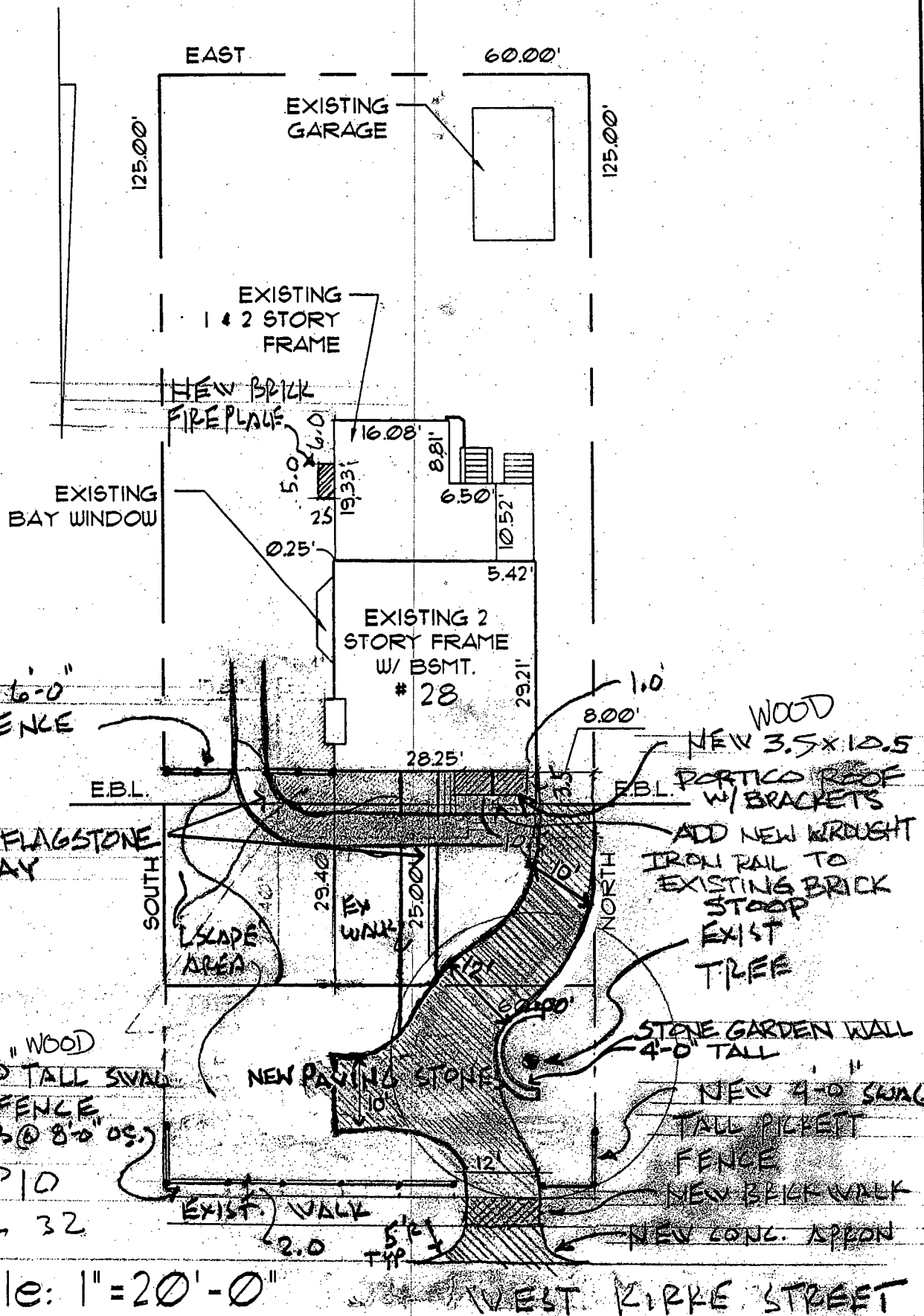
and with the *Secretary of the Interior's Standards for Rehabilitation #9*.

and with the condition as stated on Circle 1.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.

# Site Plan

12/6/04



Scale: 1" = 20'-0"

WEST KIRKE STREET

LOT P10  
BLOCK 32



2ND FL  
FIN. CL

2ND FL  
FINISH

MAIN

EXISTING WOOD  
SIDING

10'-6"

PAINTED WOOD

NEW PORTICO

NEW BRACKETS  
(STRUCTURAL)

NEW WROUGHT IRON  
RAIL  
TO REPLACE EXISTING

EXISTING BRICK FRONT  
STEEP

SCALE - 1/4" = 1'-0"

FRONT ELEVATION

EXISTING BRICK FIRE PLACE

1/8" = 1'-0"

SCALE

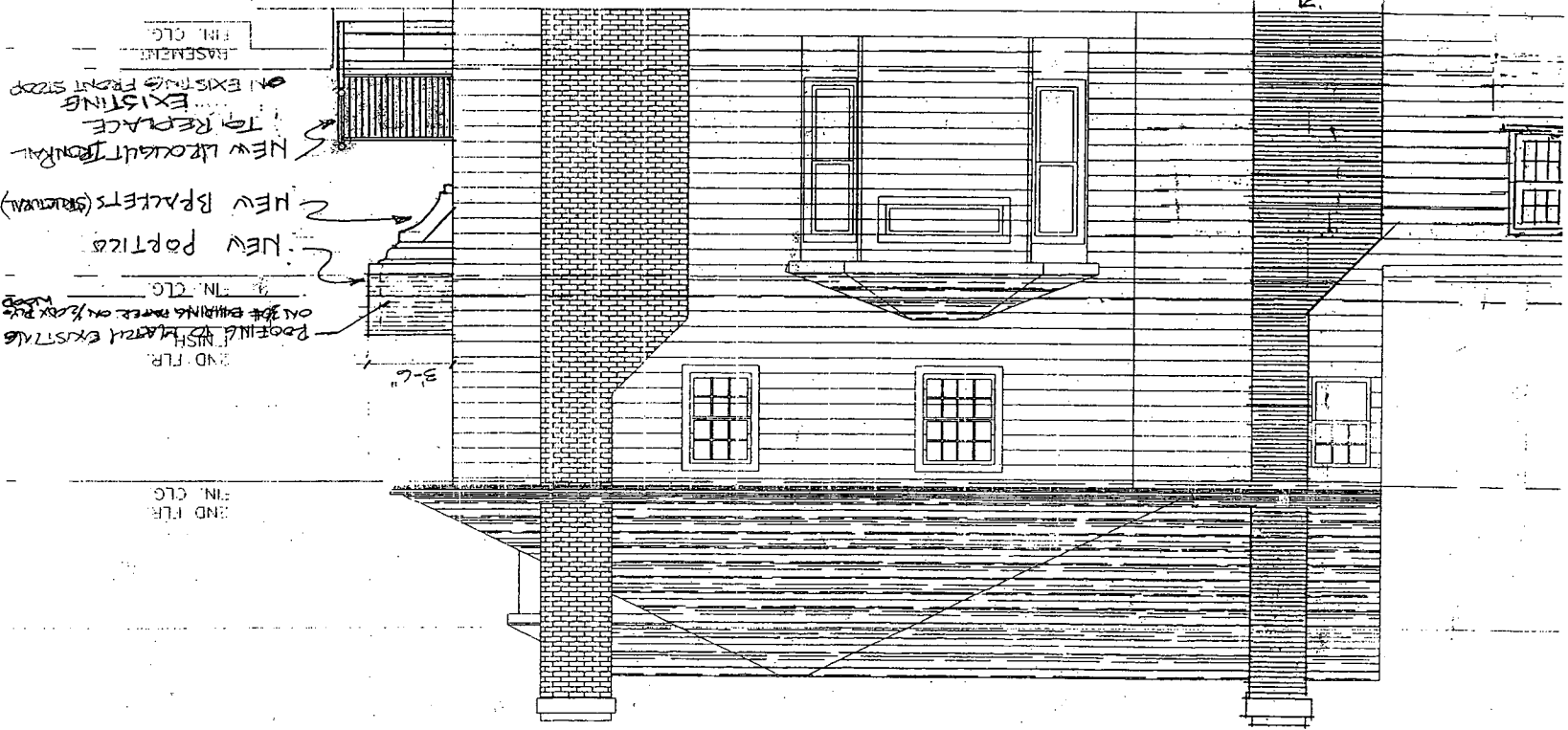
LEFT SIDE ELEVATION

5'-0"

NEW BRICK FIRE PLACE

BASEMENT FIN. CLG.  
 ON EXISTING FRONT STAIR  
 EXISTING  
 TO REPLACE  
 NEW BRACKET IRON RAIL  
 NEW BRACKETS (STRUCTURAL)  
 NEW PORTICO  
 IN. CLG.  
 ON 3RD BRICKING NUMBER ON 1/2 BOX PIG  
 PROFILE AND PLACED EXISTING

2ND FLR. FIN. CLG.





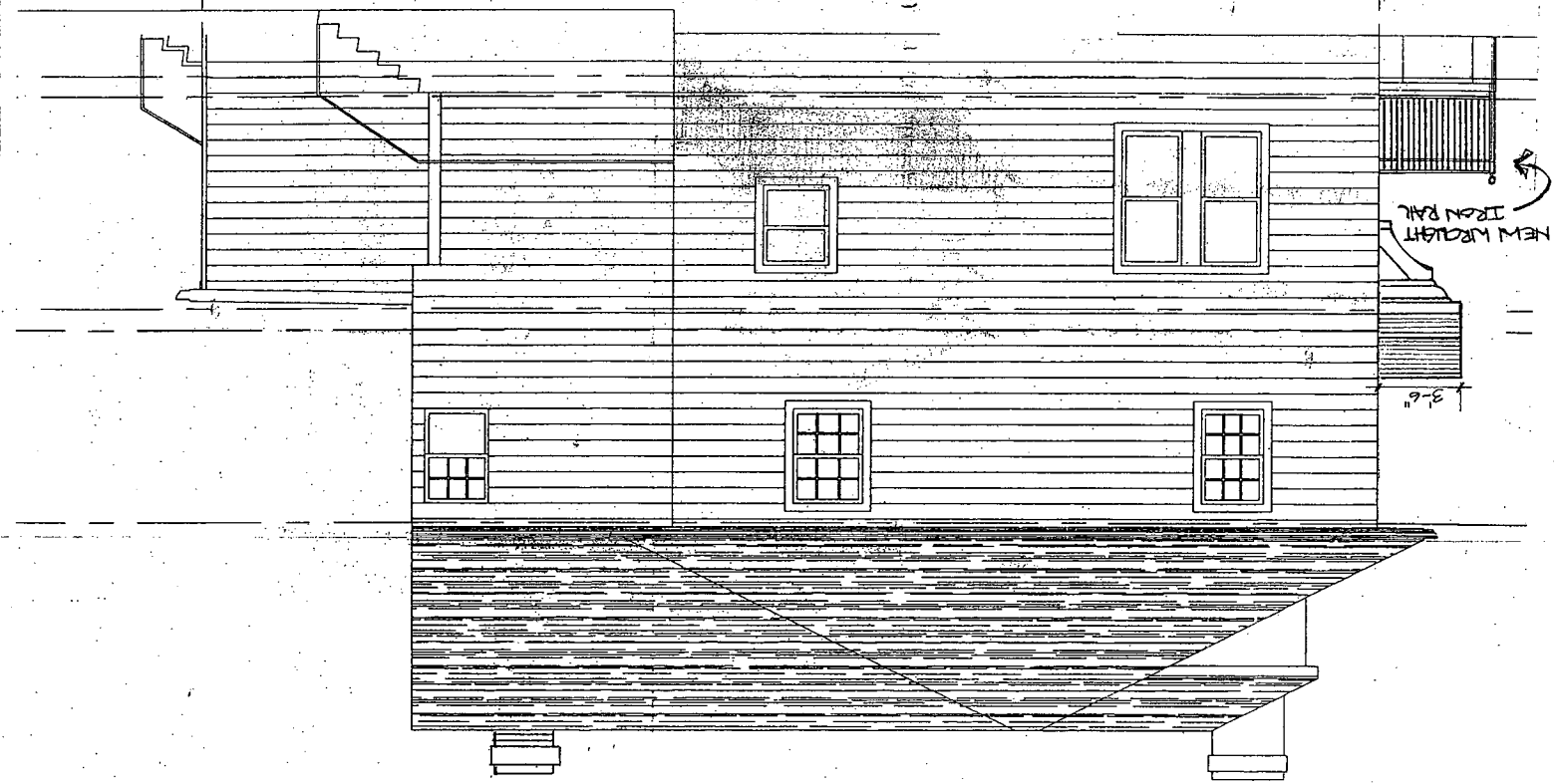
REAR ELEVATION

SCALE

1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE 1/8"=1'-0"





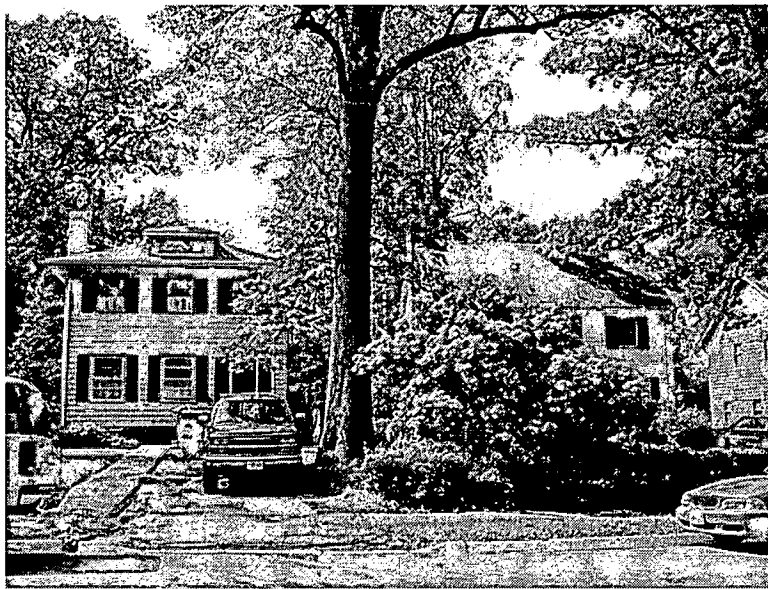
4/3/05



7/29/04



1/3/05



7/29/04



1/3/05




7/29/04



4/3/05

Click here for a plain text ADA compliant screen.

	<b>Maryland Department of Assessments and Taxation</b> <b>MONTGOMERY COUNTY</b> <b>Real Property Data Search</b>	<a href="#">Go Back</a> <a href="#">View Map</a> <a href="#">New Search</a> <a href="#">Ground Rent</a>
---	--	--

**Account Identifier:** District - 07 **Account Number -** 00455224

**Owner Information**

<b>Owner Name:</b> EVERS, ROBERT J & DONNA L  <b>Mailing Address:</b> 28 W KIRKE ST CHEVY CHASE MD 20815-4261	<b>Use:</b> RESIDENTIAL <b>Principal Residence:</b> YES <b>Deed Reference:</b> 1) /27636/ 732 2)
--	---

**Location & Structure Information**

<b>Premises Address</b>	<b>Legal Description</b>
28 W KIRKE ST CHEVY CHASE 20815-4261	PT LT 11 CH CH SEC 2

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Group	Plat No:
HN41				9		32	P10	81	Plat Ref:
				Town Ad Valorem Tax Class 19					
				CHEVY CHASE VILLAGE					
<b>Primary Structure Built</b>			<b>Enclosed Area</b>		<b>Property Land Area</b>		<b>County Use</b>		
1913			2,018 SF		7,500.00 SF		111		
<b>Stories</b>		<b>Basement</b>		<b>Type</b>			<b>Exterior</b>		
2		YES		STANDARD UNIT			FRAME		

**Value Information**

	Base Value	Value Phase-in Assessments		
		As Of 01/01/2005	As Of 07/01/2004	As Of 07/01/2005
<b>Land:</b>	369,000	846,450		
<b>Improvements:</b>	303,210	341,210		
<b>Total:</b>	672,210	1,187,660	672,210	844,026
<b>Preferential Land:</b>	0	0	0	0

**Transfer Information**

<b>Seller:</b> DOYLE, ROBERT C ET AL TR	<b>Date:</b> 06/21/2004	<b>Price:</b> \$1,200,000
<b>Type:</b> IMPROVED ARMS-LENGTH	<b>Deed1:</b> /27636/ 732	<b>Deed2:</b>
<b>Seller:</b>	<b>Date:</b> 06/12/1990	<b>Price:</b> \$0
<b>Type:</b> NOT ARMS-LENGTH	<b>Deed1:</b> / 9353/ 819	<b>Deed2:</b>
<b>Seller:</b>	<b>Date:</b>	<b>Price:</b>
<b>Type:</b>	<b>Deed1:</b>	<b>Deed2:</b>

**Exemption Information**

✓ Call Gary Biddle  
① CCV

• Call architect  
say we're fully  
from agenda  
until a complete  
app is received

• Call Pete H.

• Left MSSS  
1/4/05 2M

Spoke to Gaiser 4/30/05 am

Need - material  
details

- letter from app.  
w/ drawing prior  
app; cant yard like
- reason for pad-  
like bump out
- ~~the protection plan  
for asphalt removal~~
- pres of fence &  
wrought iron rail
- drawing plan w/ exist.  
conditions.



ADJACENT AND CONFRONTING PROPERTY OWNERS : TO ROBERT J. &  
DONNA EVERS.

MARY A. TUOHEY  
29 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815

DANN THOMAS S & MELISSA SHACKLETON DANN  
27 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815-4260

RICHARD A & SUSANNE W.LEACH  
26 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815-4261

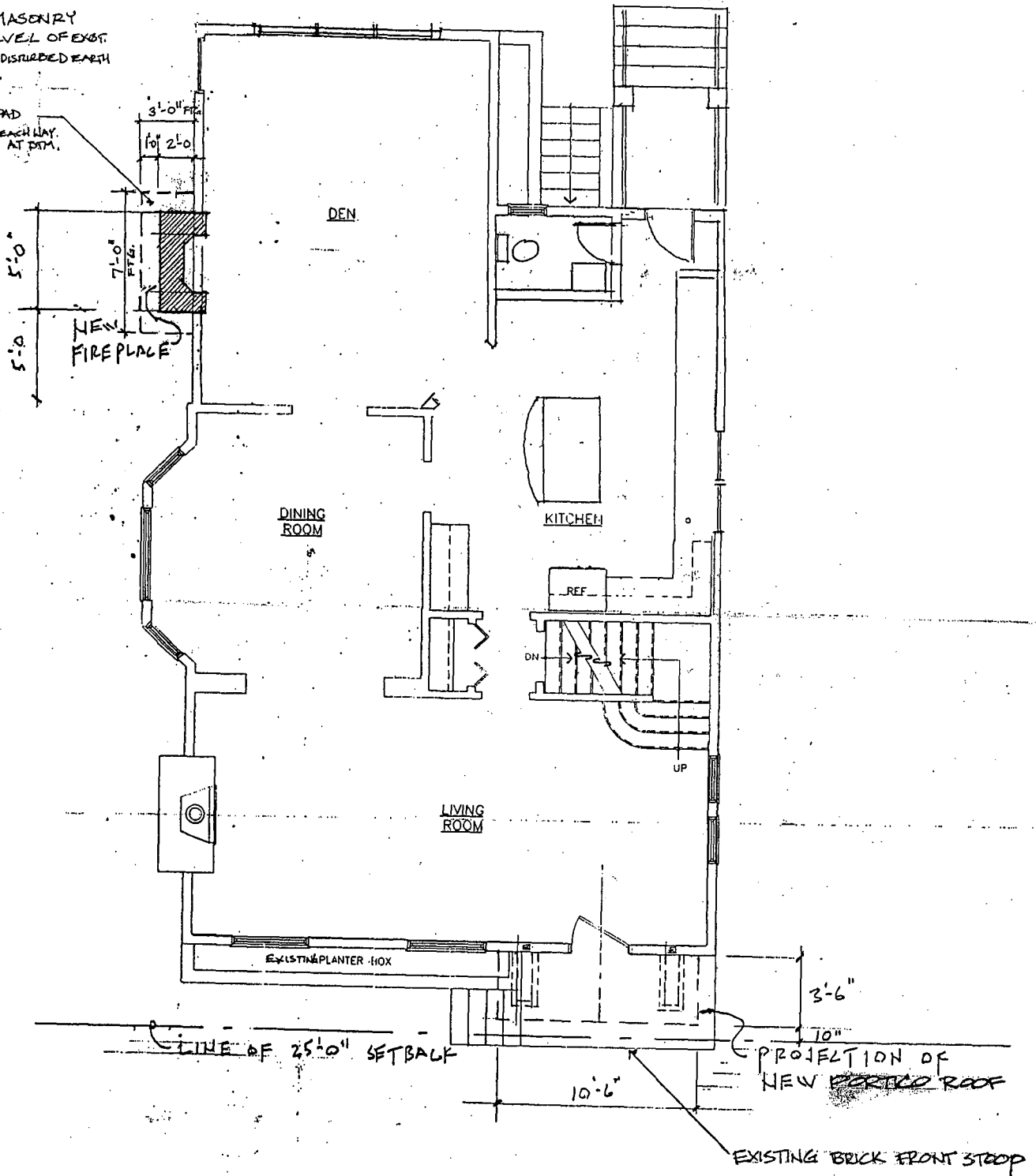
WILLIAM R & DOOLEY  
31 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815

ANTHONY F & MARRA  
30 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815



FTG. FOR NEW MASONRY  
 FIREPLACE AT LEVEL OF EXIST.  
 HOUSE FTG. DR ON UNDISTURBED EARTH  
 30" MIN BELOW GRADE.

36" x 84" x 12" CONG. PAD  
 W/ #4 BARS @ 8" O.C. EACH WAY  
 AT PTM.



EXISTING FIRST FLOOR PLAN

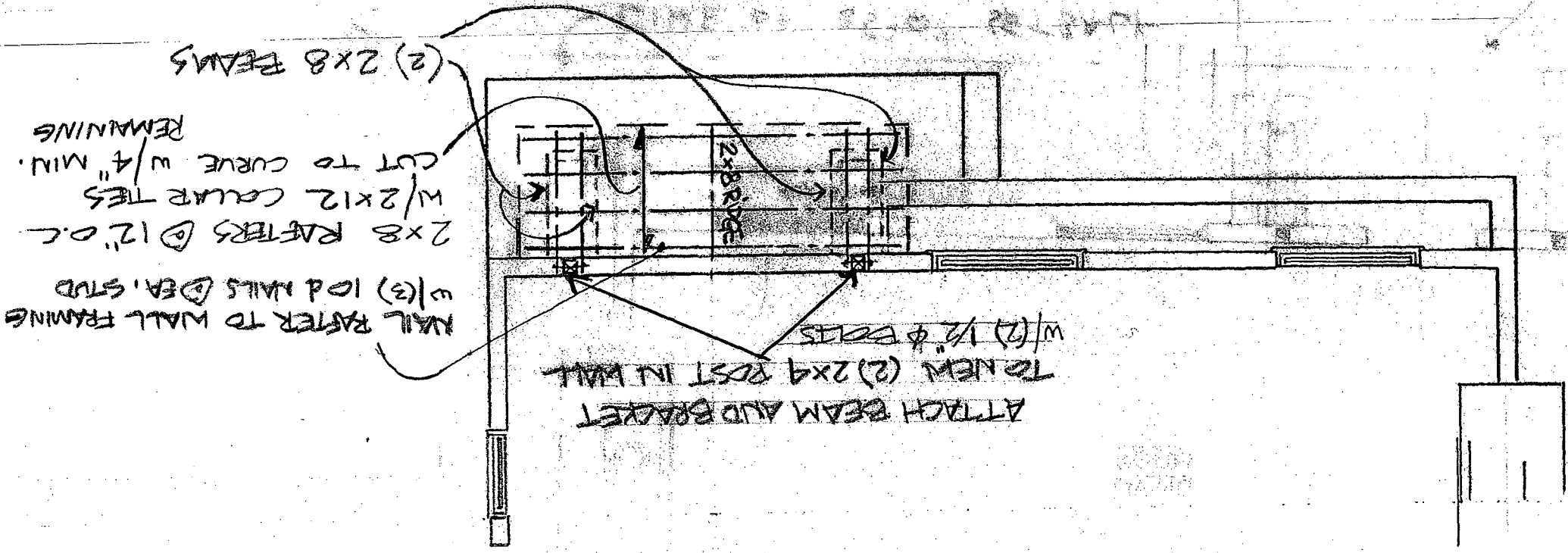
SCALE

1/4" = 1'-0"

PORCH ROOF FRAMING PLAN

SCALE

1/4" = 1'-0"



(2) 2x8 BEAMS

2x8 RAFTERS @ 12" O.C.  
w/ 2x12 COURTES  
CUT TO CURVE w/ 1/4" MIN.  
REMAINING

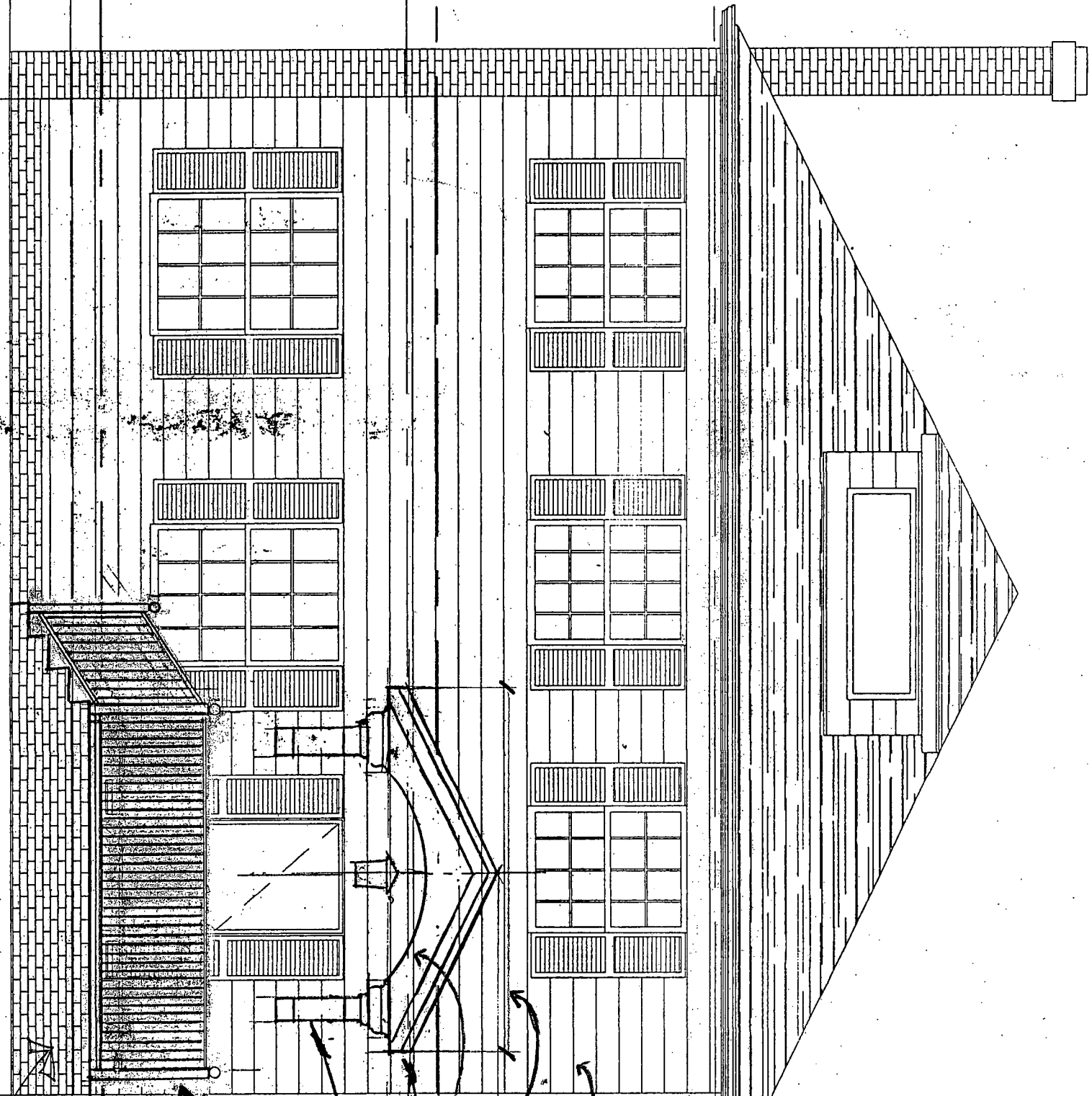
NAIL RAFTER TO WALL FRAMING  
w/ (3) 10d NAILS @ EA. STUD

ATTACH BEAM AND BRACKET  
TO NEW (2) 2x9 POST IN WALL  
w/ (2) 1/2" BOLTS

2x8 RIDGE

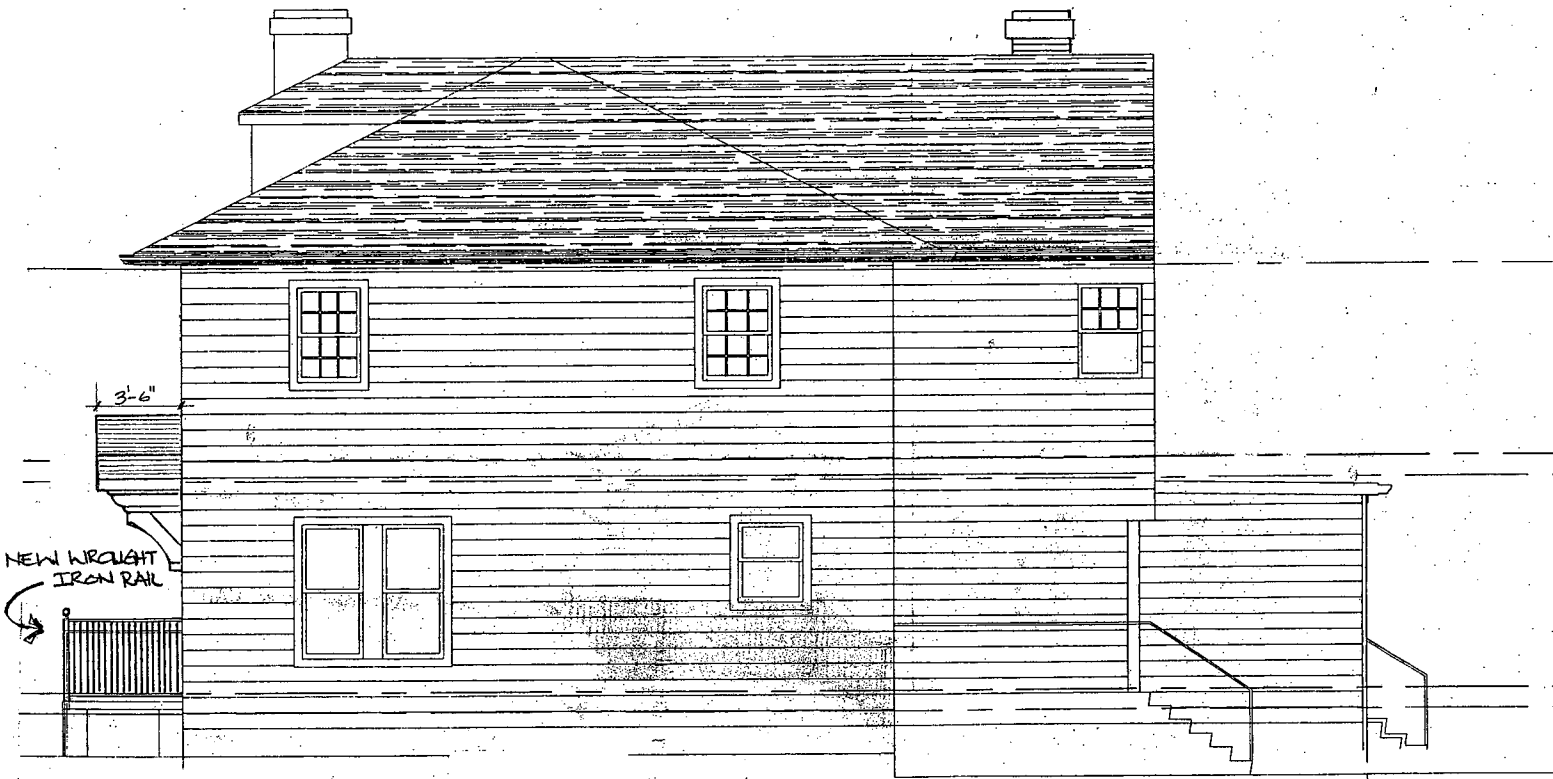
SCALE - 1/4" = 1'-0"

FRONT ELEVATION



- EXISTING WOOD SIDING
- 10'-6"
- EXISTING & BRICK FRONT STEOP
- NEW WROUGHT IRON RAIL TO REPLACE EXISTING
- NEW BRACKETS (STRUCTURAL)
- NEW PORTICO
- PAINTED WOOD

2ND FL  
FIN: CL  
2ND FL  
FINISH  
MAIN



RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



NEW BRICK FIRE PLACE  
5'-0"

LEFT SIDE ELEVATION  
SCALE 1/8" = 1'-0"

EXISTING BRICK FIRE PLACE

END FLR. FIN. CLG.  
END FLR. FINISH MATCH EXISTING ROOFING ON 3/8" SHEATHING PAPER ON 1/2" OSB PLUS WOOD  
3'-6"  
NEW PORTICO  
NEW BRACKETS (STRUCTURAL)  
NEW WROUGHT IRON RAIL TO REPLACE EXISTING ON EXISTING FRONT STOOP  
BASEMENT FIN. CLG.

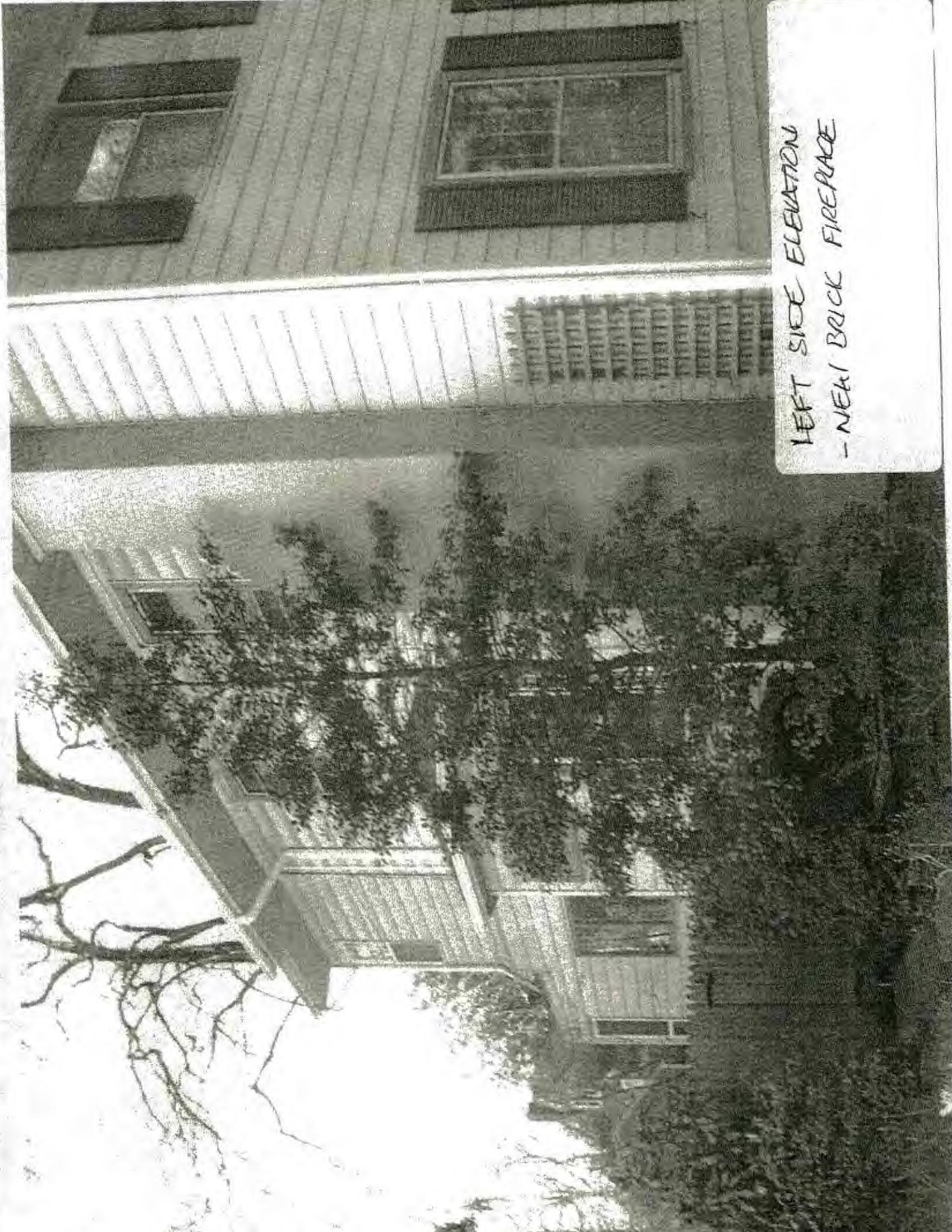


REAR ELEVATION

SCALE

1/4" = 1'-0"





LEFT SIDE ELEVATION  
- NEAR BRICK FIREPLACE



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: PAUL GAISER
Daytime Phone No.: 301-657-3020

Tax Account No.: 00455224

Name of Property Owner: DONNA & ROBERT EVERS Daytime Phone No.: 301-654-5800

Address: 28 W. KIRKE ST. CHEVYCHASE MARYLAND 20815
Street Number City State Zip Code

Contractor: TDD Phone No.:

Contractor Registration No.:

Agent for Owner: PAUL GAISER ARCHITECTS Daytime Phone No.: 301-657-3020

LOCATION OF BUILDING/PREMISE

House Number: 28 Street: W. KIRKE STREET

Town/City: CHEVY CHASE Nearest Cross Street:

Lot: P10 Block: 32 Subdivision: 3

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, A/C, Slab, Room Addition, Porch, Deck, Shed, Move, Install, Wreck/Raze, Solar, Fireplace, Woodburning Stove, Single Family, Revision, Repair, Revocable, Fence/Wall, Other.

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other:

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

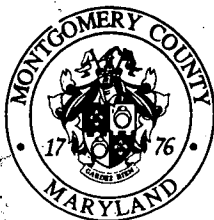
Signature of owner or authorized agent

Date: 6.9.2004

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 347750 Date Filed: Date Issued:



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Contact Person: PAUL GAISER

Daytime Phone No.: 301.657.3020

Tax Account No.: 00455224

Name of Property Owner: CONNIE & ROBERT EVERS Daytime Phone No.: 301.654.5806

Address: 28 W. KIRKE ST. CHEVYCHASE MARYLAND 20815  
Street Number City State Zip Code

Contractor: TED Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: PAUL GAISER ARCHITECTS Daytime Phone No.: 301.657.3020

**LOCATION OF BUILDING/PREMISE**

House Number: 28 Street: W. KIRKE STREET

Town/City: CHEVY CHASE Nearest Cross Street: \_\_\_\_\_

Lot: P10 Block: 32 Subdivision: 3

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- Construct
  - Extend
  - Alter/Renovate
  - Move
  - Install
  - Wreck/Raze
  - Revision
  - Repair
  - Revocable
- CHECK ALL APPLICABLE:
- A/C
  - Slab
  - Room Addition
  - Porch
  - Deck
  - Shed
  - Solar
  - Fireplace
  - Woodburning Stove
  - Single Family
  - Fence/Wall (complete Section 4)
  - Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
  - Entirely on land of owner
  - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 6.9.2004 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 347750 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_



## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

August 16, 2004

Donna and Robert Evers  
28 W. Kirke Street  
Chevy Chase, MD 20815

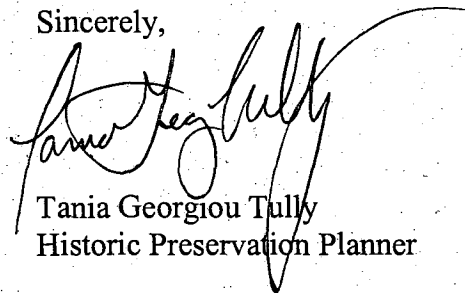
Dear Mr. & Mrs. Evers,

We are writing to inform you that the application for an Historic Area Work Permit (#347750) cannot be processed at this time. As illustrated in the application, the proposal requires a variance from Chevy Chase Village. The Historic Preservation Commission will not review the application until written evidence of a variance has been received or the proposal has been redesigned such that a variance is not necessary.

This letter serves as a supplement to the verbal notice first to your architect, Paul Gaiser, on July 1, 2004. Staff also spoke with the architect or his staff regarding the need for a variance July 30 and August 13, 2004. In addition, a message about the variance was left for the Evers July 30, 2004.

If you have any questions please do not hesitate to contact me at 301-563-3400. We look forward reviewing the application.

Sincerely,



Tania Georgiou Tully  
Historic Preservation Planner

cc: Geoffrey Biddle, Chevy Chase Village  
Paul Gaiser, Architect



Met 7/1/04 - review completed app.

Spoke after mtg to inform about  
setback issue in Chevy  
Chase.

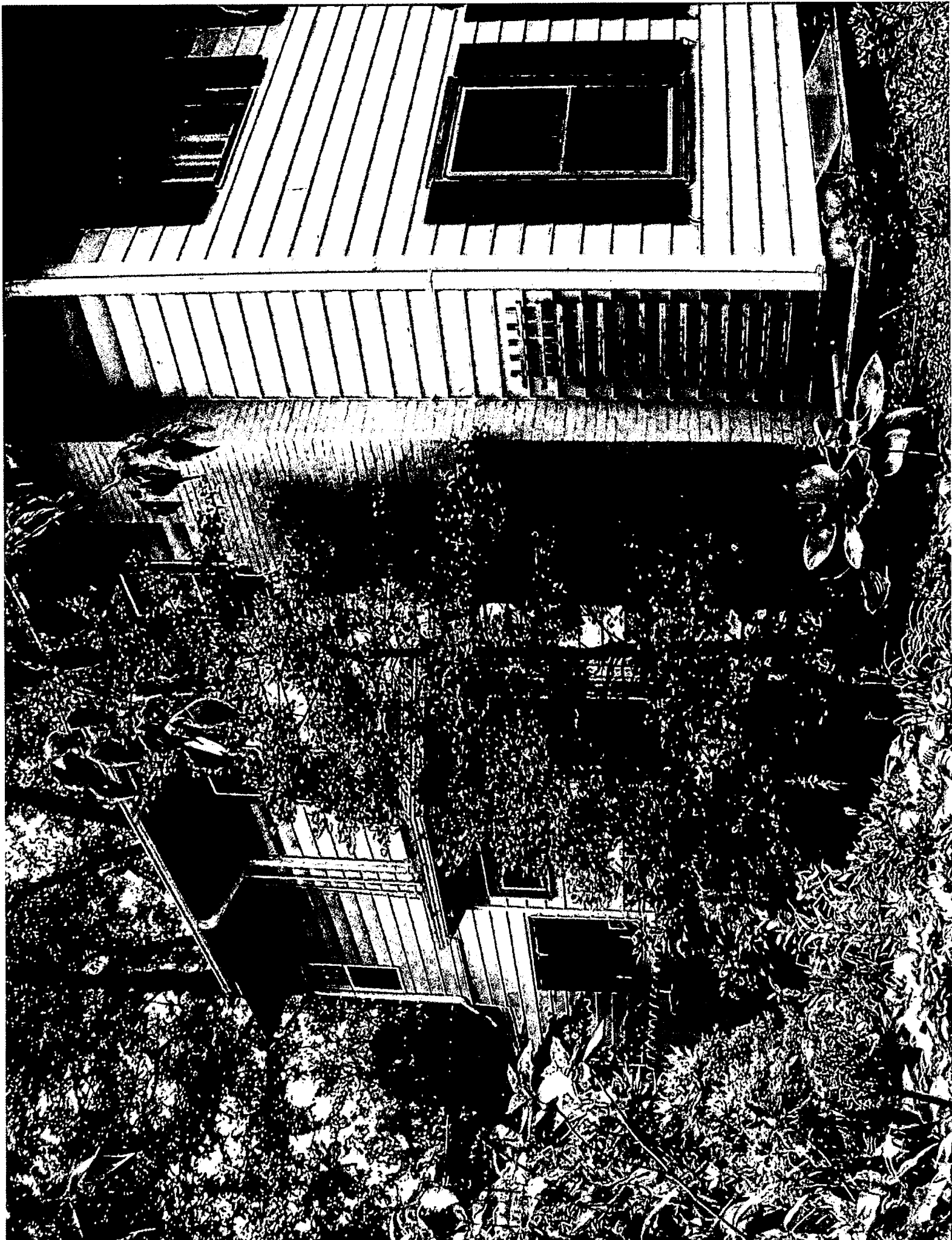
R60 - 25' minimum  
must get variance from  
Village 1st

TGT

spoke w/ staff @ P.G. enclosed  
8/13/04  
again to tell them the  
need variance from  
CCV 1st

Michelle Nauer spoke w/ enclosed 7/30/04  
& left msg w/ Donna Evers. The  
same day regarding variance

Letter sent 8/16/04





# Paul Gaiser Architects

July 1, 2004  
Paul Gaiser  
PGA Design Build

To Historic Preservation Commission:

Scope of work for the Evers Residence located at 28 West Kirke Chevy Chase, Maryland. We are proposing a New Covered Porch that will wrap around to the existing 2 story frame house. The porch will project out 9 feet and 7.9 feet from the left side of the property.

Paul Gaiser  
Paul Gaiser Architects

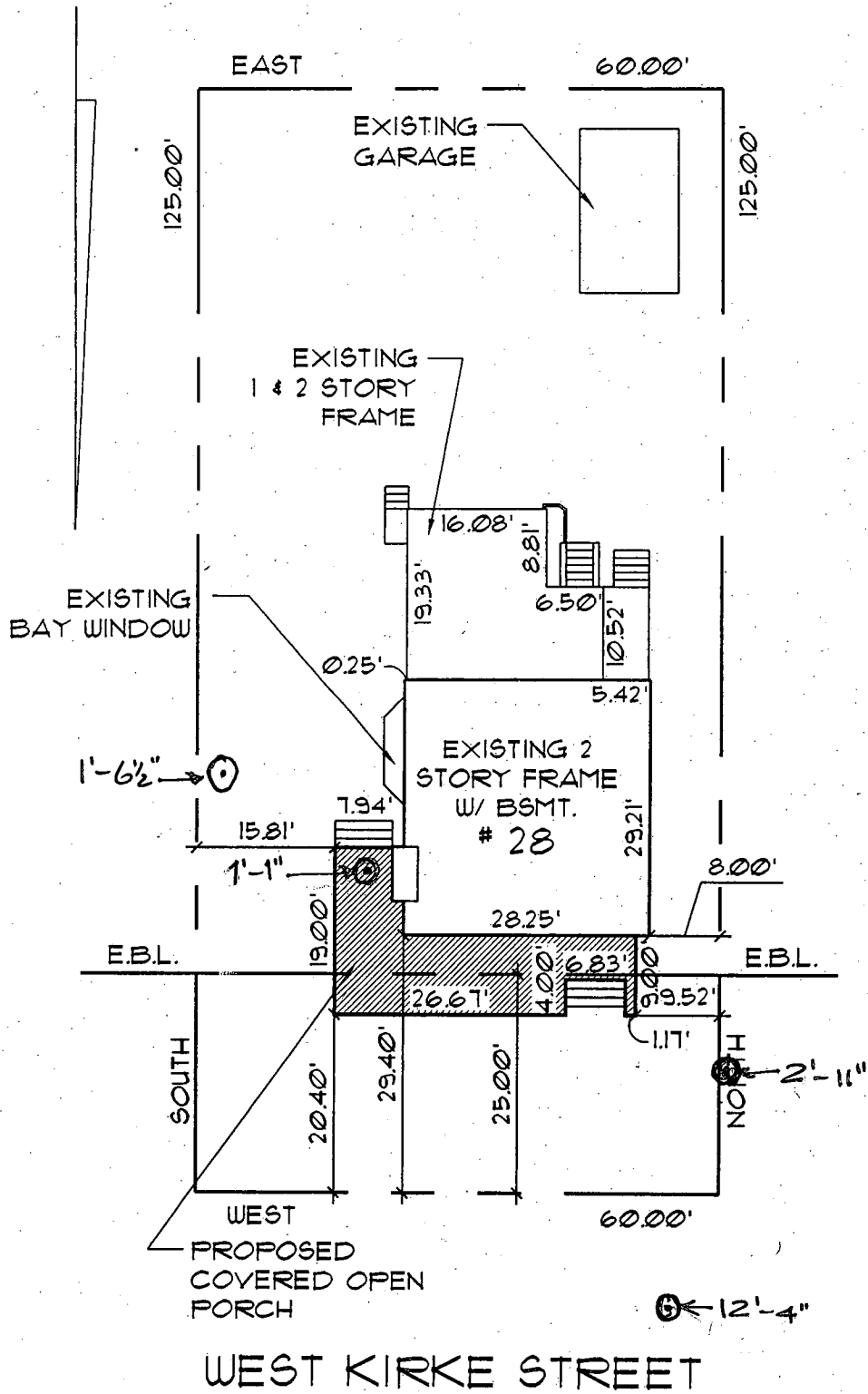
4963 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940

◆  
Pho. (301) 657-3020  
Fax. (301) 657-3050





# Site Plan



Scale: 1" = 20'-0" Lot: P10 Block: 32

# Proposed Addition for the Evers Residence

28 West Kirke Street

Bethesda, MD

REVISIONS	BY

4862 BLK  
BETHESDA  
MONTGOMERY  
COUNTY, MD  
10800  
P.O. BOX 401-10800  
BETHESDA, MONTGOMERY, PA 15301-010800

B. Shaw/Architect  
P. Shaw/Architect  
P.O. Box 401-10800  
Bethesda, MD

Evers Residence  
28 West Kirke Street  
Bethesda, MD

Date: 5-21-2004  
Scale: 1/4" = 1'-0"  
Drawn: Evers  
Job: Montevardo  
Sheet  
CS  
OR Sheets

## Abbreviations

AB	ANCHOR BOLT	FT	FEET
ABV	ABOVE	FTG	FOOTING
ADD'L	ADDITIONAL	GA	GAUGE
ADJ	ADJACENT	GALV	GALVANIZED
ALT	ALTERNATE	GB	GRADE BEAM
APP	ABOVE FINISHED FLOOR	GLB	GLUE LAMINATED BEAM
APPROX	APPROXIMATE(LY)	GYPBD	GYPSPUM WALL BOARD
ARCH	ARCHITECTURAL	HD	HOLD DOWN
AT	AT	HDR	HEADER
BNFR	BALLOON FRAMED	HGR	HANGER
BE	BELOW	HORIZ (H)	HORIZONTAL
BF	BRACED FRAME	HS	HIGH STRENGTH
BLDG	BUILDING	HSS	HIGH STRENGTH BOLT
BLK	BLOCKING	HT	HEIGHT
BM	BEAM	IF	INSIDE FACE
BN	BOUNDARY NAILING	IN (")	INCHES
BOF	BOTTOM OF FOOTING	INT	INTERIOR
BOB	BOTTOM OF STEEL	JST	JOIST
BSG	BEARING	JT	JOINT
BTM (B)	BOTTOM	K	KIPS (1000)
BTUN	BETWEEN	KSI	KIPS PER SQUARE INCH
C	CAMBER(ED)	L	ANGLE
CANT	CANTILEVER	LB	LAG BOLT
CIP	CAST-IN-PLACE	lb (*)	POUND(S)
C	CENTERLINE	LDGR	LEDGER
CLG	CEILING	LONG	LONGITUDINAL
CLR	CLEAR	LLH	LONG LEG HORIZONTAL
COL	COLUMN	LLV	LONG LEG VERTICAL
CONC BLK	CONCRETE BLOCK	LTWT	LIGHTWEIGHT
CONN	CONNECTION	MAS	MASONRY
CONST	CONSTRUCTION	MATL	MATERIAL
CSK	CONSTRUCTION CENTER(ED)	MAX	MAXIMUM
CTR	FENNY (NAILS)	MB	MACHINE BOLT
d	DOUBLE	MCH	MECHANICAL
DBL	DEPARTMENT	MEZZ	MEZZANINE
DEPT	DIAMETER	MF	MOMENT FRAME
DF	DIAGONAL	MFR	MANUFACTURER
DIA (")	DIAPHRAGM	MIN	MINIMUM
DIAG	DIMENSION	MISC	MISCELLANEOUS
DIAPH	DIMITO (REPEAT)	MOR	MOMENT RESISTING
DN	DEEP (DEPTH)	MRF	FRAME
DN	DRAWING	MTL	METAL
do	DOUBLES	(N)	NEW
DP	EACH	NB	NON-BEARING WALL
DWG	EDGE OF BEAM	NO. (*)	NUMBER
DUAL	EACH FACE	NS	NEAR SIDE
EA	ELEVATION	NSG	NON-SHRINK GROUT
EB	ELECTRICAL	NTS	NOT TO SCALE
ELEC	ELEVATOR	OC	ON-CENTER
ELEV	EMBEDMENT	OF	OPPOSITE FACE
EMBD	EDGE NAILING	OPNG	OPENING
EN	EQUIPMENT	ORNT	ORIENT(ATION)
EQPT	EACH SIDE	OWJ	OPEN WEB JOISTS
ES	EACH WAY	PAR (II)	PARALLEL
EW	EXISTING	PAR	PARALLEL
EWST (E)	EXTERIOR	PC	PERPENDICULAR
EXT	FACE NAILING	PCF	POUNDS PER CUBIC FOOT
FCN	FINISHED FLOOR	PLT	PLATE
FF	FINISHED FLOOR	PLY	PLYWOOD
FN	FLANGE	PS	POUNDS PER SQUARE FOOT
FLR	FLOOR	PSI	POUNDS PER SQUARE INCH
FLR	FIELD NAILING	PT	PRESURE TREATED
FND	FOUNDATION	PT	POST-TENSIONED
FOC	FACE OF COLUMN	QTY	QUANTITY
FOM	FACE OF MASONRY	RAD	RADIUS
FOS	FACE OF STUD	RCP	REINFORCED CONCRETE
FOW	FACE OF WALL	REF	REFERENCE
FRTM	FRAMING	REINF	REINFORCEMENT
FS	FAR SIDE	REQ'D	REQUIRED
		RJ	ROUGH JOIST
		RO	ROUGH OPENING

RR	ROOF RAFTER	SC	SCHEDULE
SC	SHEAR CONNECTOR	SC	SCHEDULE
SC	SCHEDULE	SHR	SHRIMP
SHR	SHRIMP	SHR	SHRIMP
SHR	SHRIMP	SIM	SIMILAR
SIM	SIMILAR	SIMP	SIMPSON
SKW	SKEWED	SKW	SKEWED
SFC	SPACE(S)/ING/	SFC	SPACE(S)/ING/
SPEC	SPECIFICATIONS	SPEC	SPECIFICATIONS
SQ	SQUARE	SS	SELECT STRUCTURAL
SS	SELECT STRUCTURAL	STD	STANDARD
STD	STANDARD	STGR	STAGGER(ED)
STGR	STAGGER(ED)	STIF	STIFFENER
STIF	STIFFENER	STR	STIRRUPS
STR	STIRRUPS	STRUC	STRUCTURAL
STRUC	STRUCTURAL	SUSP	SUSPENDED
SUSP	SUSPENDED	T + B	TOP AND BOTTOM
T + B	TOP AND BOTTOM	T + G	TONGUE AND GROOVE
T + G	TONGUE AND GROOVE	TEMP	TEMPERATURE
TEMP	TEMPERATURE	TG	TAPERED GIRDER
TG	TAPERED GIRDER	TKK	THICK
TKK	THICK	THRD	THREADED
THRD	THREADED	TEMP	TEMPORARY
TEMP	TEMPORARY	TOE	TOE NAIL
TOE	TOE NAIL	TO	TOP
TO	TOP	TOB	TOP OF BEAM
TOB	TOP OF BEAM	TOC	TOP OF CONCRETE
TOC	TOP OF CONCRETE	TOP	TOP OF FOOTING
TOP	TOP OF FOOTING	TOP	TOP OF PARAPET
TOP	TOP OF PARAPET	TOS	TOP OF STEEL
TOS	TOP OF STEEL	TOT	TOTAL
TOT	TOTAL	TOU	TOP OF WALL
TOU	TOP OF WALL	TP	TOP OF PLYWOOD
TP	TOP OF PLYWOOD	TRANSV	TRANSVERSE
TRANSV	TRANSVERSE	TS	TUBE STRUCTURE
TS	TUBE STRUCTURE	TYP	TYPICAL
TYP	TYPICAL	UNO	UNLESS NOTED OTHERWISE
UNO	UNLESS NOTED OTHERWISE	VERT	VERTICAL
VERT	VERTICAL	VF	VERIFY IN FIELD
VF	VERIFY IN FIELD	W	STEEL WIDE FLANGE
W	STEEL WIDE FLANGE	W	WITH
W	WITH	WP	WATER PROOF
WP	WATER PROOF	WP	WORK POINT
WP	WORK POINT	WPK	WEAKENED PLANE JOINT
WPK	WEAKENED PLANE JOINT	WS	WELDED STUDS
WS	WELDED STUDS	WT	WEIGHT
WT	WEIGHT	WUF	WELDED WIRE FABRIC
WUF	WELDED WIRE FABRIC		

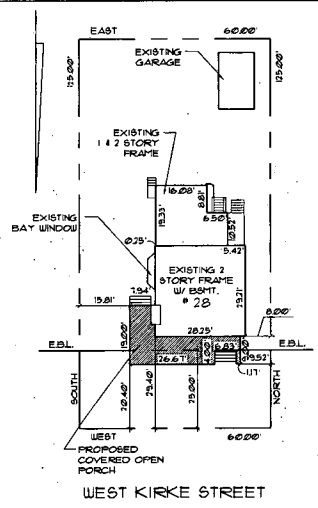
## Project Description

FIRST FLOOR  
- New Covered Open Porch

Owner  
  
Doris & Robert Evers  
28 West Kirke Street  
Bethesda, MD 20814

Architect  
  
PGA Design-Build  
4963 Elm Street Suite 103  
Bethesda, MD 20814  
Tel # - 301-651-3070  
Fax # - 301-651-3050  
E-mail - pgadb@aol.com

## Site Plan



Scale: 1"=20'-0" Lot: P10 Block: 32

## Sheet Index

CS	Coversheet, Project Information, Sheet Index, and General Notes.
DI	Demolition Floor Plan.
A1	First Floor Plan & Elevations.
91	Porch Foundation Plan & Porch Framing Plan.
92	Roof Framing Plan and Roof Plan.
93	Section Detail of Porch.
E1	Basement and First Floor Electrical Plan.

## General Notes

- Work performed shall comply with the following:
- These General Notes (unless noted otherwise), latest edition of the Building Code, and all applicable municipal codes, ordinances, and regulations in effect at the time permits are issued for this project.
  - On-site verification of all dimensions and conditions shall be the responsibility of the Contractor. Noted dimensions take precedence over scale. Dimensions on plans are shown as finished dimensions, unless noted otherwise on the drawings.
  - The Contractor shall compare and coordinate all drawings when in the opinion of the Contractor a discrepancy exists, the Contractor shall promptly report it to the Architect within three (3) work days for proper adjustment before proceeding with the work.
  - In the event that certain features of the construction are not fully shown on the drawings, then their construction shall be the same character as for similar conditions that are shown or noted. In either instance, the Contractor shall promptly notify the architect of such within three (3) work days for positive clarification.
  - No structural member shall be omitted, notched, cut, blocked out, or relocated without prior approval by the Architect, unless otherwise indicated on the drawings.
  - Overall dimensions take precedence over dimensioning discrepancies arising out of the use of nominal and actual dimensions. Adjust unit dimensions accordingly to achieve established elevations. Shim as required. Should a discrepancy exceed 1" the Contractor shall notify the Architect and obtain the Architect's approval prior to the installation of work affected by the discrepancy.
  - During demolition and construction, the site shall be kept clean at all times.
  - All finishes to comply with Section 804.3
- NOTE: All Drawings Compliant with the International Residential Code (IRC) 2000 as amended by Montgomery County.

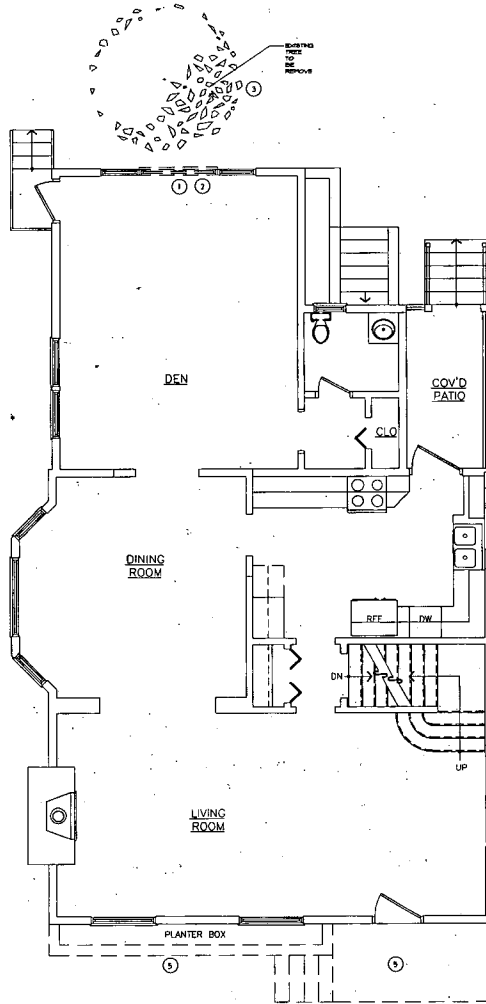
Date: 5-21-2004  
Scale: 1/4" = 1'-0"  
Drawn: Evers  
Job: Montevardo  
Sheet  
CS  
OR Sheets

**DEMOLITION GENERAL NOTES:**

--- TO BE DEMOLISHED.  
 --- TO REMAIN.

- ① REMOVE DOOR OR WINDOW TO BE STORED AT OWNERS APPROVAL STORAGE. UNDO. PATCH AND REPAIR WALL TO MATCH EXISTING.
- ② DEMO WALL. PATCH AND REPAIR WALL TO MATCH EXISTING FINISH PER SPECS.
- ③ REMOVE TREE
- ④ DEMO STOOP AND PLANTER

GENERAL CONTRACTORS NOTE:  
 PRIOR TO PERFORMING ANY WORK, G.C. IS TO SECURE AND/OR SHORE ALL WALLS OR ROOF/CEILING PRIOR TO ANY DEMOLITIONS.



**FIRST FLOOR DEMOLITION PLAN**

SCALE 1/4" = 1'-0"

REVISIONS	BY

4343 BELT  
 BETHESDA  
 MARTINDALE  
 12047-1008  
 P: (301) 441-1600  
 F: (301) 441-2600  
 B. G. Evers Architects, P.C.

**Evers Residence**  
 28 West Kirke Street  
 Bethesda, MD

Date: 5-21-2024  
 Scale: 1/4" = 1'-0"  
 Drawn: Evers  
 Job: Monteverde  
 Sheet  
 D.1  
 Of 3 Sheets

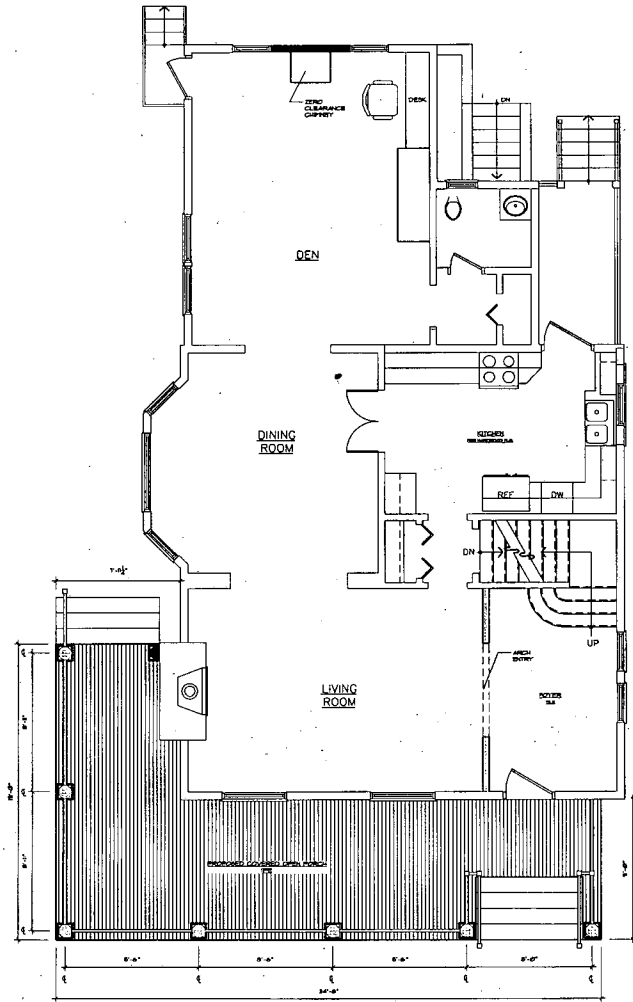
Printed: 5/21/24

REVISIONS	BY
5-11-2004	CM

4883 BLVD  
 WASHINGTON  
 DISTRICT OF COLUMBIA  
 20004

PH: (202) 525-3300  
 FX: (202) 525-3300

Dr. Evers Architects, Inc.



**PROPOSED FIRST FLOOR PLAN**  
 SCALE 1/4" = 1'-0"



**PROPOSED FRONT ELEVATION**  
 SCALE 1/4" = 1'-0"



**PROPOSED LEFT SIDE ELEVATION**  
 SCALE 1/4" = 1'-0"

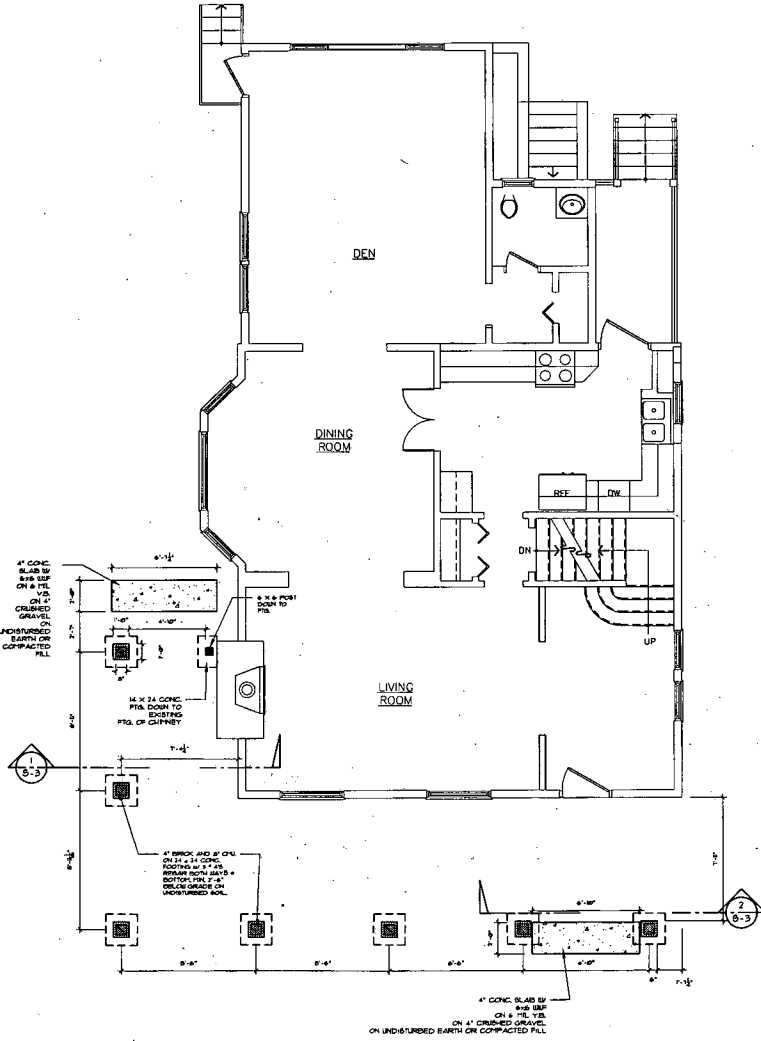
**Evers Residence**  
 28 West Kirke Street  
 Bethesda, MD

REVISIONS	BY
5-11-2004	Q1
6-3-2004	Q1

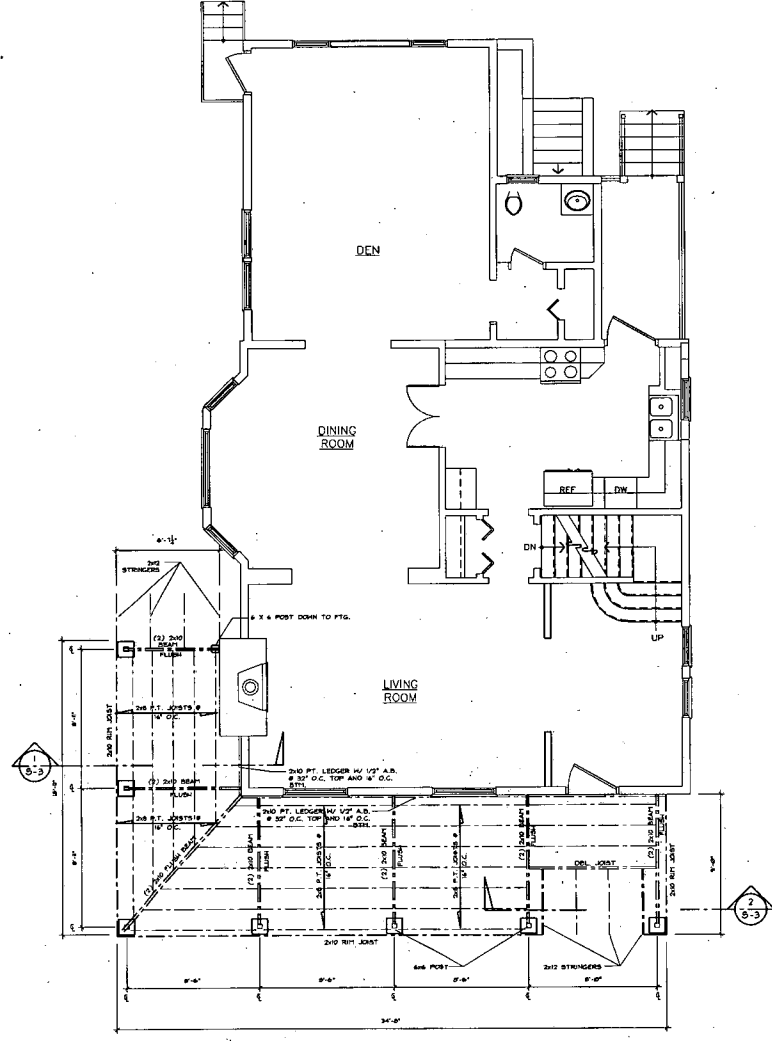
483 BLT  
 ARCHITECTURE  
 INTERIOR AND  
 EXTERIOR  
 1400 W. ...  
 Bethesda, MD  
 Tel: (301) 453-1000  
 Fax: (301) 453-1000

**Evers Residence**  
 28 West Kirke Street  
 Bethesda, MD

Date: 5-21-2004  
 Scale: 1/4" = 1'-0"  
 Drawn: Evers  
 Job: Monteverde  
 Sheet: **S.1**  
 Of: 1 Sheets



**PORCH FOUNDATION PLAN**  
 SCALE 1/4" = 1'-0"



**PORCH FRAMING PLAN**  
 SCALE 1/4" = 1'-0"

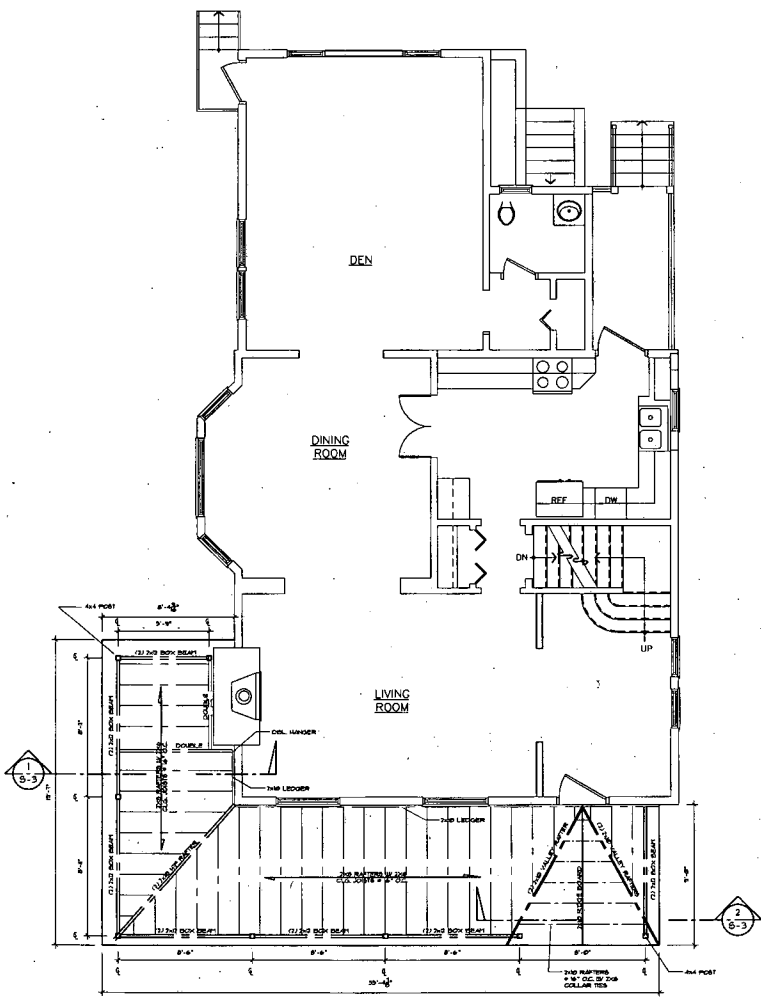
Permit: 001

REVISIONS	BY
5-11-2004	CF

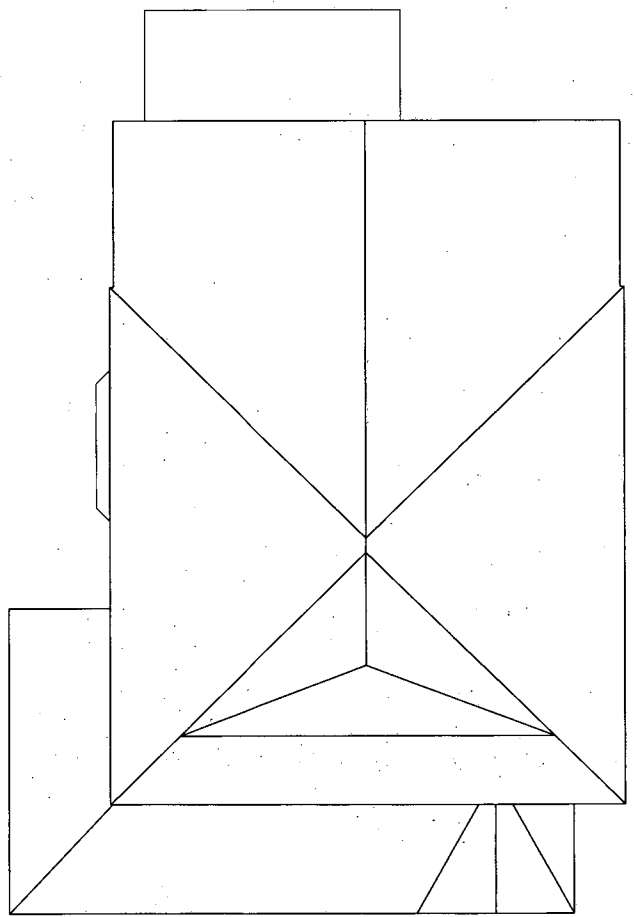
4543 ELT  
 BETHESDA  
 20814  
 PERMIT NO. 1500  
 P. Case Architects, Inc. 1500 4th St. NE  
 Atlanta, GA 30316

**Evers Residence**  
 28 West Kirke Street  
 Bethesda, MD

Date:	5-27-2004
Scale:	1/4" = 1' - 0"
Drawn:	Evers
Job:	Montevideo
Sheet	<b>S.2</b>
of	Sheets

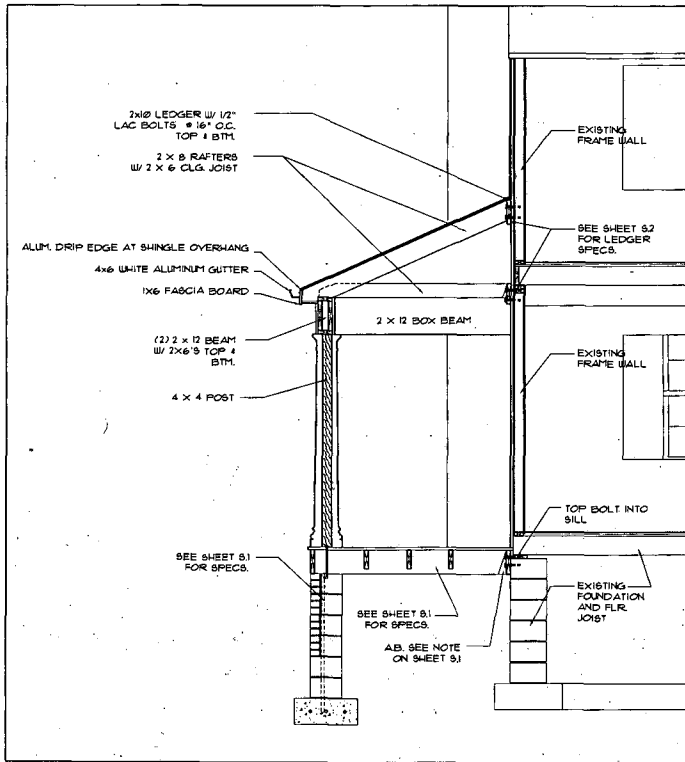


**ROOF FRAMING PLAN**  
 SCALE 1/4" = 1' - 0"

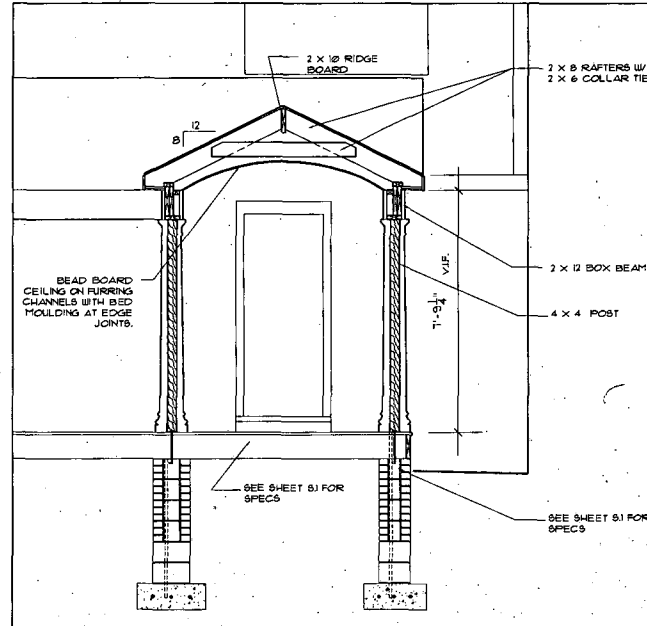


**ROOF PLAN**  
 SCALE 1/4" = 1' - 0"

Permit Set



1 — PORCH DETAIL  
SCALE 1/2" = 1'-0"



1 — PORCH DETAIL  
SCALE 1/2" = 1'-0"

REVISIONS BY

4243 BLT  
5107 BLDG  
8112 DA  
14005  
14005  
14005  
14005  
14005  
14005

Per: J. W. Evers  
P.O. Box 441-328  
14005

Evers Residence  
28 West Kirke Street  
Bethesda, MD

Date: 9-21-2004

Scale: 1/4" = 1'-0"

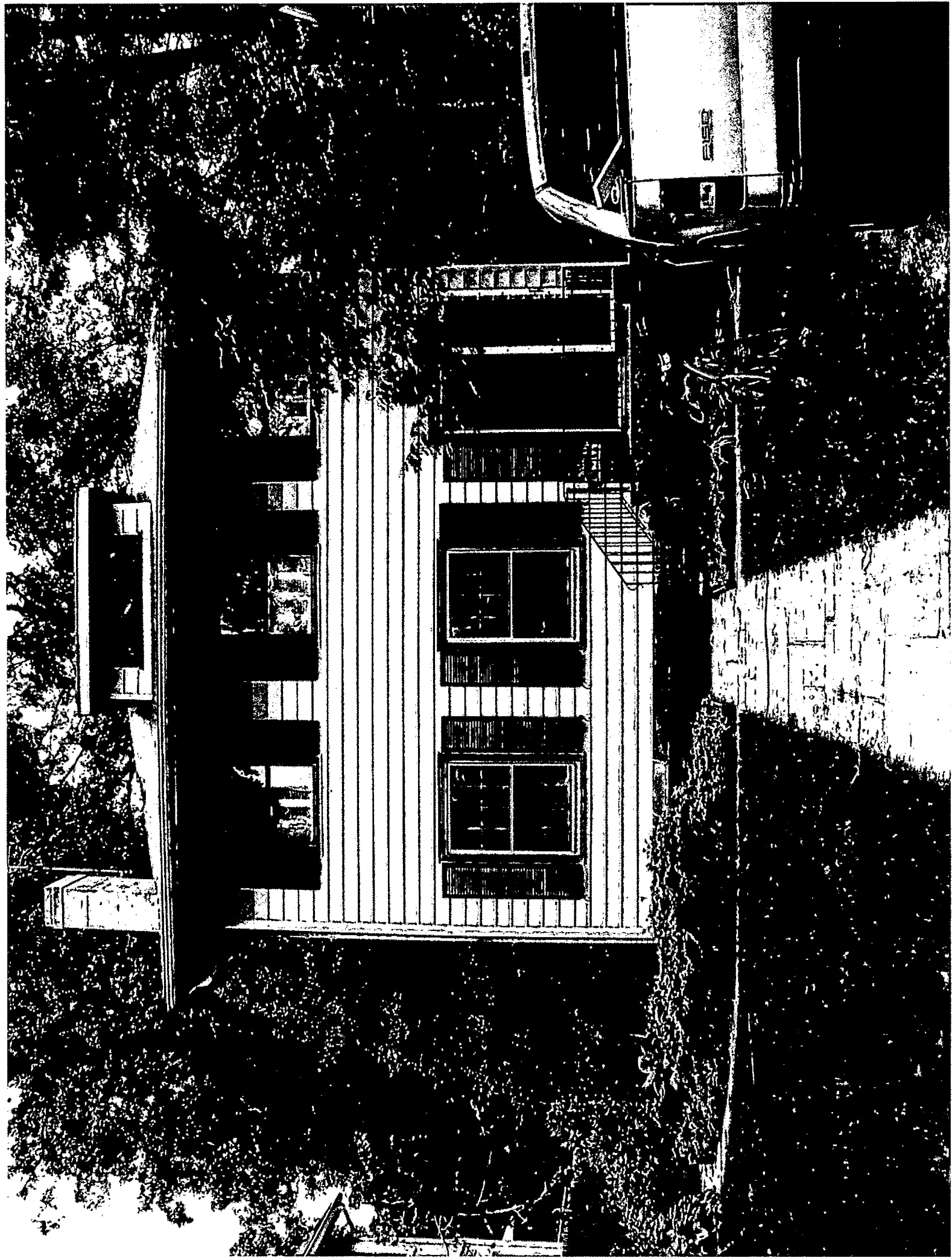
Drawn: Evers

Job: Monteverde

Sheet

6.3

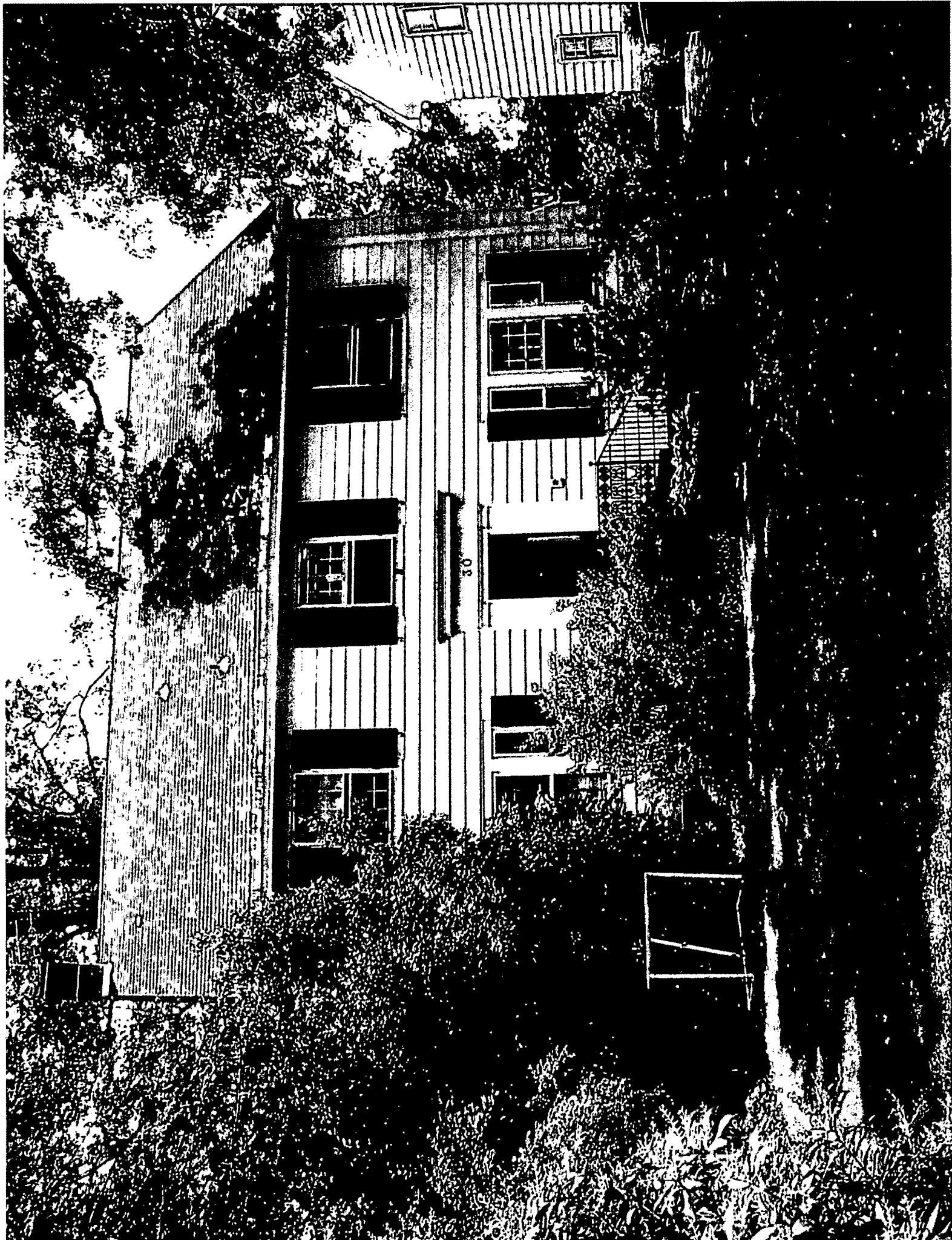
Of Sheets



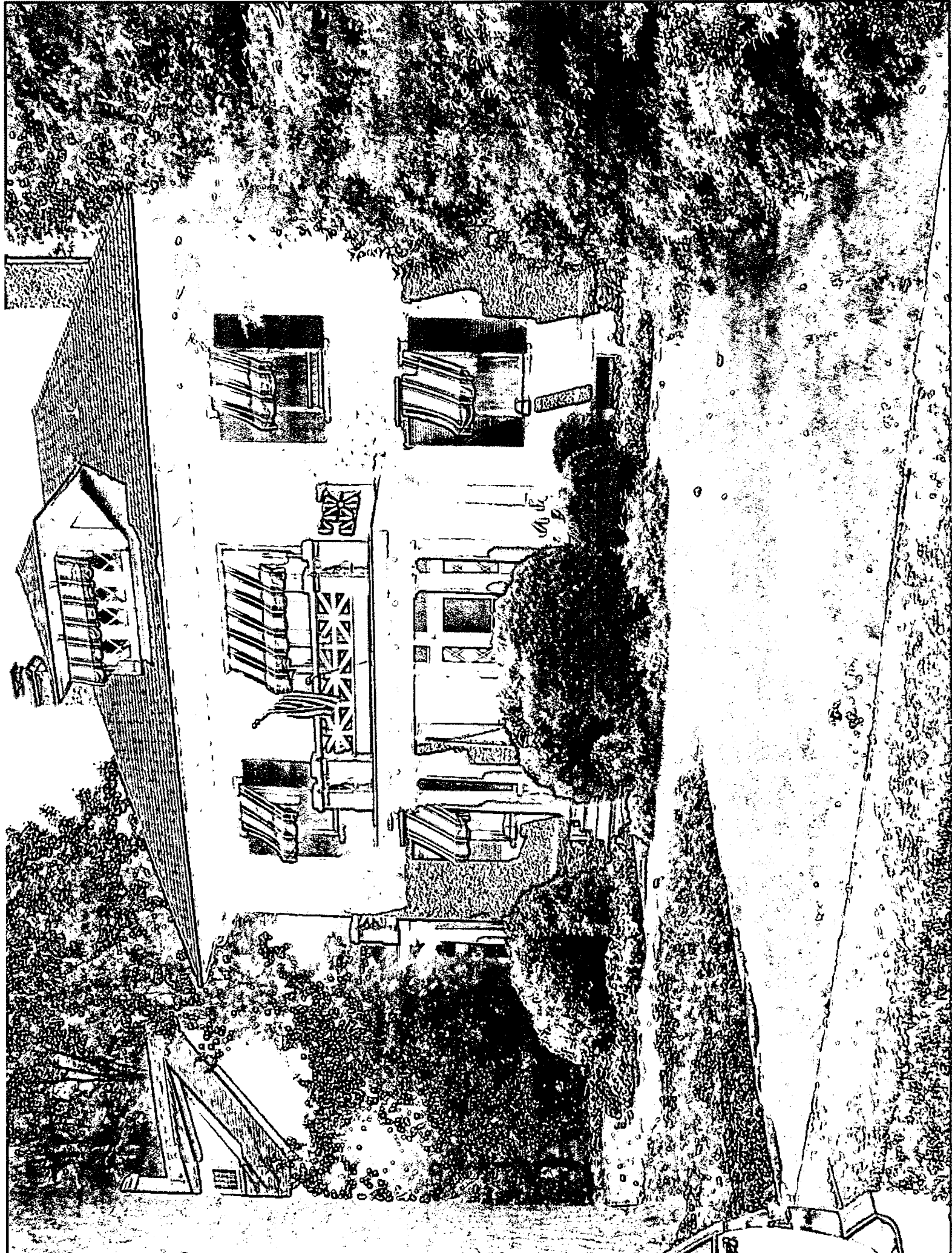


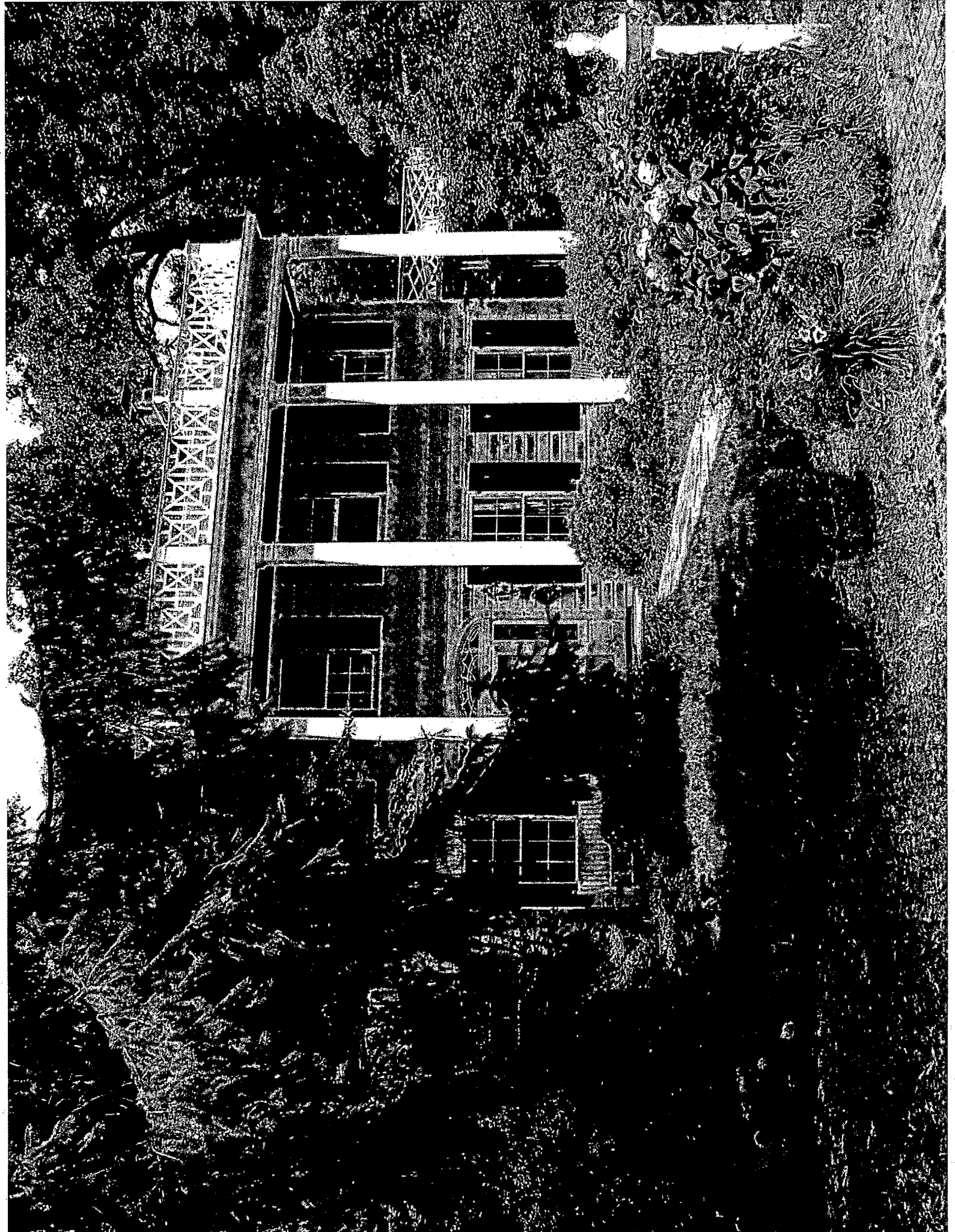


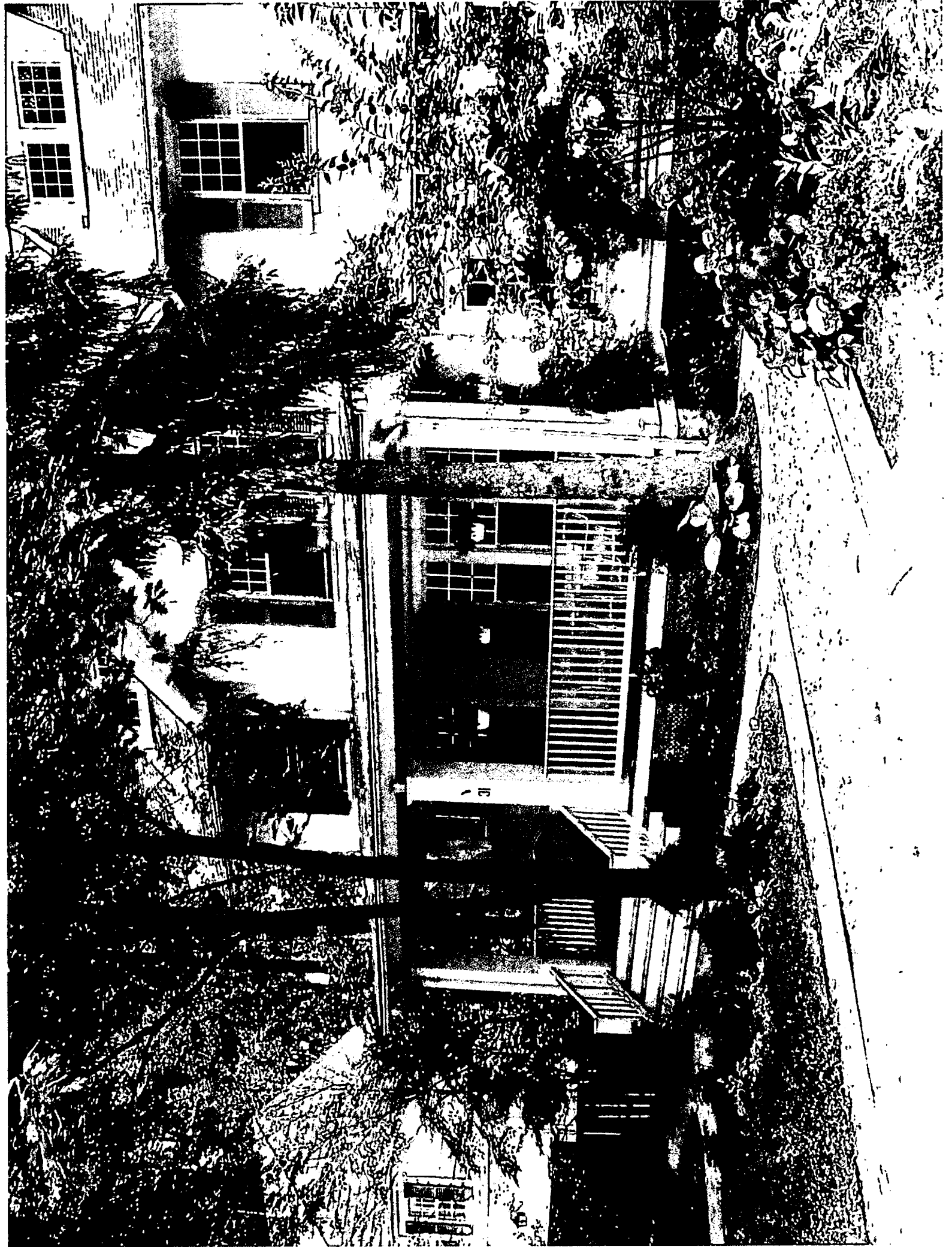




30







# Proposed Addition for the Evers Residence

28 West Kirke Street

Bethesda, MD

## Abbreviations

AB ANCHOR BOLT	FT FEET	RR ROOF RAFTER
ABV ABOVE	FTG FOOTING	SC SHEAR CONNECTOR
ADD'L ADDITIONAL	GA GAUGE	SCH SCHEDULE
ADJ ADJACENT	GALV GALVANIZE(D)	SW(SHRUL) SHEARWALL
ALT ALTERNATE	GB GRADE BEAM	SHT SHEET
AFF ABOVE FINISHED FLOOR	GLB GLUE-LAMINATED BEAM	SIM SIMILAR
APPROX APPROXIMATE(LY)	GYPBD GYPSUM WALL BOARD	SIMP SIMPSON
ARCH ARCHITECTURAL	HD HOLD DOWN	SKW SKEWED)
@ AT	HDR HEADER	SPC SPACE(S'X'ING)
BNFR BALLOON FRAMED	HGR HANGER	SPEC SPECIFICATIONS
BE BELOW	HORIZ (H) HORIZONTAL	SQ SQUARE
BF BRACED FRAME	HS HIGH STRENGTH	SS SELECT STRUCTURAL
BLDG BUILDING	HSB HIGH STRENGTH BOLT	STD STANDARD
BLK BLOCKING	HT HEIGHT	STGR STAGGER(ED)
BM BEAM	IF INSIDE FACE	STIF STIFFENER
BN BOUNDARY NAILING	IN (") INCHES	STIR STIRRUPS
BOF BOTTOM OF FOOTING	INT INTERIOR	STRUC STRUCTURAL
BOS BOTTOM OF STEEL	JST JOIST	SUSP SUSPENDED
BRG BEARING	JT JOINT	T 4 B TOP AND BOTTOM
BTM (B) BOTTOM	K KIPS (1000)	T 4 G TONGUE AND GROOVE
BTWN BETWEEN	KSI KIPS PER SQUARE INCH	TEMP TEMPERATURE
C CAMBER(ED)	L ANGLE	TG TAPERED GIRDER
CANT CANTILEVER	LB LAG BOLT	THK THICK
CIP CAST-IN-PLACE	lb (P) POUND(S)	THRD THREADED
C CENTERLINE	LDGR LEDGER	TMFRY TEMPORARY
CLG CEILING	LG LONG (TUDINAL)	TN TOE NAIL
CLR CLEAR	LLH LONG LEG HORIZONTAL	TO TOP OF
COL COLUMN	LLV LONG LEG VERTICAL	TOB TOP OF BEAM
CONC BLK CONCRETE BLOCK	LTWT LIGHTWEIGHT	TOC TOP OF CONCRETE
CONN CONNECTION	MAS MASONRY	TOF TOP OF FOOTING
CONST CONSTRUCTION	MAT'L MATERIAL	TOS TOP OF PARAPET
CSK COUNTERSINK	MAX MAXIMUM	TOT TOP OF STEEL
CTR CENTER(ED)	MB MACHINE BOLT	TOW TOP OF WALL
d PENNY (NAILS)	MECH MECHANICAL	TP TOP OF PLYWOOD
DBL DOUBLE	MEZZ MEZZANINE	TRANSV TRANSVERSE
DEPT DEPARTMENT	MF MOMENT FRAME	TS TUBE STRUCTURE
DF DOUGLAS FIR	MFR MANUFACTURER	TYP TYPICAL
DIA (") DIAMETER	MIN MINIMUM	UNO UNLESS NOTED OTHERWISE
DIAG DIAGONAL	MISC MISCELLANEOUS	VERT (V) VERTICAL
DIAPH DIAPHRAGM	MOMENT RESISTING FRAME	VIF VERIFY IN FIELD
DIM DIMENSION	MTL METAL	W STEEL WIDE FLANGE
DN DOWN	(N) NEW	WD WOOD
do DITTO (REPEAT)	NBW NON-BEARING WALL	W/P WATER PROOF
DP DEEP (DEPTH)	NO. (P) NUMBER	WP WORK POINT
DWG DRAWING	NS NEAR SIDE	WPJ WEAKENED PLANE JOINT
DWL DOUWL(S)	NSG NON-SHRINK GROUT	WS WELDED STUDS
EA EACH	NTS NOT TO SCALE	WT WEIGHT
EB EDGE OF BEAM	OC ON CENTER	WUF WELDED WIRE FABRIC
EF EACH FACE	OF OUTSIDE FACE	
EJ EXPANSION JOINT	OH OPPOSITE HAND	
EL ELEVATION	OPNG OPENING	
ELEC ELECTRICAL	ORNT ORIENTATE(ION)	
ELEV ELEVATOR	OWJ OPEN WEB JOISTS	
EMBD EMBED(MENT)	PAR (II) PARALLEL	
EN EDGE NAILING	P/C PECAST CONCRETE	
EQPT EQUIPMENT	PERP PERPENDICULAR	
ES EACH SIDE	PCF POUNDS PER CUBIC FOOT	
EW EACH WAY	PLT PLATE	
EXST (E) EXISTING	PLY PLYWOOD	
EXT EXTERIOR	PSF POUNDS PER SQUARE FOOT	
FCN FACE NAILING	PSI POUNDS PER SQUARE INCH	
FF FINISHED FLOOR	PT PRESSURE TREATED	
FIN FINISH(ED)	P/T POST-TENSIONED (PRESTRESSED)	
FLG FLANGE	QTY QUANTITY	
FLR FLOOR	RAD RADIUS	
FN FIELD NAILING	RCP REINFORCED CONCRETE	
FND FOUNDATION	PIPE PIPE	
FOC FACE OF COLUMN	REF REFERENCE	
FOM FACE OF MASONRY	REINF REINFORCEMENT	
FOS FACE OF STUD	REQ'D REQUIRED	
FOW FACE OF WALL	RJ ROOF JOIST	
FRM FRAME(ING)	RO ROUGH OPENING	
FS FAR SIDE		

### ABBREVIATIONS - ASSOCIATIONS & SOCIETIES

AITC AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
APA AMERICAN PLYWOOD ASSOCIATION
ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS AMERICAN WELDING SOCIETY
IRC INTERNATIONAL RESIDENTIAL CODE 2000.
UBC UNIFORM BUILDING CODE
WCLIB WEST COAST LUMBER INSPECTION BUREAU
WUPA WESTERN WOOD PRODUCTS ASSOCIATION

## Project Description

### FIRST FLOOR

- New Covered Open Porch

### Owner

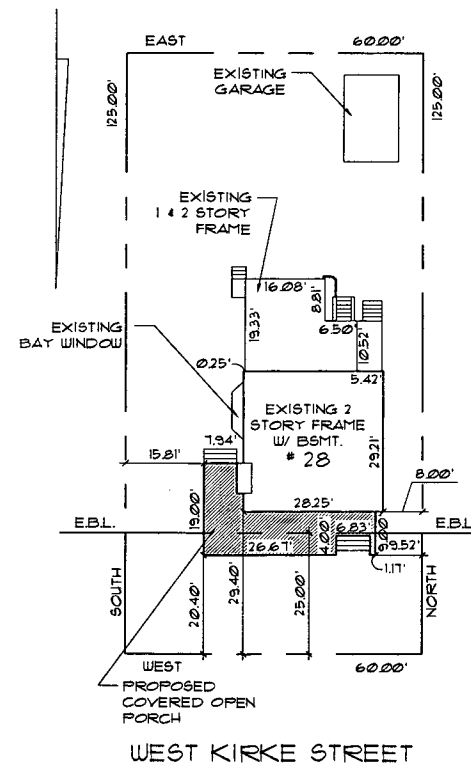
Donna & Robert Evers  
28 West Kirke Street  
Bethesda, MD 20814

### Architect

#### PGA Design-Build

4963 Elm Street Suite 103  
Bethesda, MD 20814  
Tel. # - 301-651-3020  
Fax # - 301-651-3050  
E-mail - pgadb@aol.com

### Site Plan



Scale: 1"=20'-0" Lot: P10 Block: 32

## Sheet Index

C5 Coversheet, Project Information, Sheet Index, and General Notes.

D1 Demolition Floor Plan.

A1 First Floor Plan & Elevations.

S1 Porch Foundation Plan & Porch Framing plan.

S2 Roof Framing Plan and Roof Plan.

S3 Section Detail of Porch.

E1 Basement and First Floor Electrical Plan.

## General Notes

### Work performed shall comply with the following:

- These General Notes (unless noted otherwise), latest edition of the Building Code, and all applicable municipal codes, ordinances, and regulations in effect at the time permits are issued for this project.
  - On-site verification of all dimensions and conditions shall be the responsibility of the Contractor. Noted dimensions take precedence over scale. Dimensions on plans are shown as finished dimensions, unless noted otherwise on the drawings.
  - The Contractor shall compare and coordinate all drawings when in the opinion of the Contractor a discrepancy exists, the Contractor shall promptly report it to the Architect within three (3) work days for proper adjustment before proceeding with the work.
  - In the event that certain features of the construction are not fully shown on the drawings, then their construction shall be the same character as for similar conditions that are shown or noted. In either instance, the Contractor shall promptly notify the architect of such within three (3) work days for positive clarification.
  - No structural member shall be omitted, notched, cut, blocked out, or relocated without prior approval by the Architect, unless otherwise indicated on the drawings.
  - Overall dimensions take precedence over dimensioning discrepancies arising out of the use of nominal and actual dimensions. Adjust unit dimensions accordingly to achieve established elevations. Shim as required. Should a discrepancy exceed 1" the Contractor shall notify the Architect and obtain the Architect's approval prior to the installation of work affected by the discrepancy.
  - During demolition and construction, the site shall be kept clean at all times.
  - All finishes to comply with Section 8043
- NOTE: All Drawings Compliant with the International Residential Code(IRC) 2000 as amended by Montgomery County.

REVISIONS

BY	

4963 ELM STREET SUITE 103 BETHESDA, MARYLAND 20814-7540  
PH. (301) 651-3020  
FAX (301) 651-3050



Paul G. Gieser, Architect

Evers Residence  
28 West Kirke Street  
Bethesda, MD

Date: 5-21-2004

Scale: 1/4" = 1'-0"

Drawn: Evers

Job: Monteverde

Sheet

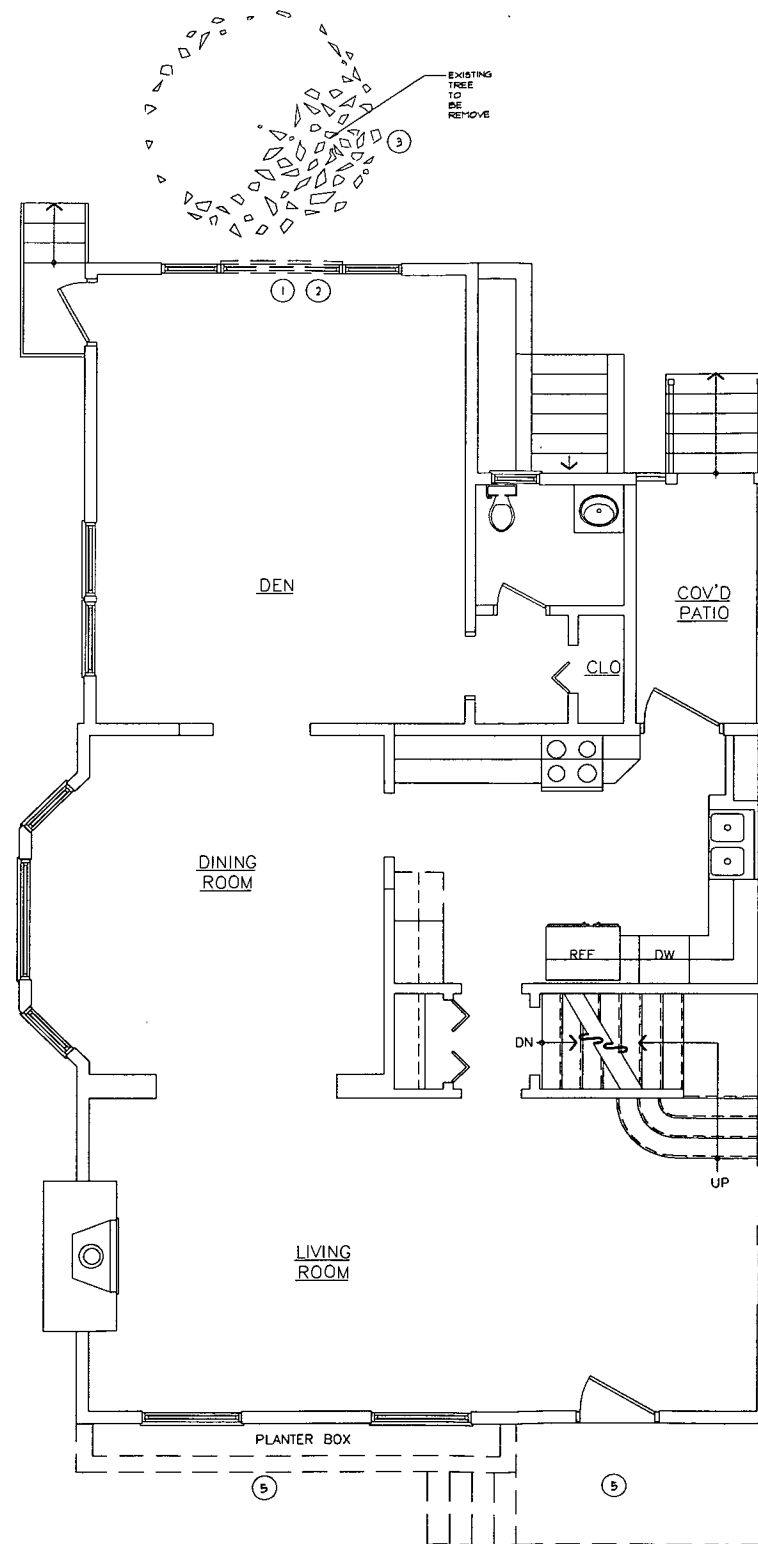
C5  
OF 5 Sheets

# DEMOLITION GENERAL NOTES:

--- TO BE DEMOLISHED.  
 --- TO REMAIN.

- ① REMOVE DOOR OR WINDOW TO BE STORED AT OWNERS APPROVAL STORAGE. UNO. PATCH AND REPAIR WALL TO MATCH EXISTING.
- ② DEMO WALL. PATCH AND REPAIR WALL TO MATCH EXISTING FINISH PER SPECS.
- ③ REMOVE TREE
- ④ DEMO STOOPT AND PLANTER.

GENERAL CONTRACTORS NOTE:  
 PRIOR TO PERFORMING ANY WORK, G.C. IS TO SECURE AND/OR SHORE ALL WALLS OR ROOF/CEILING PRIOR TO ANY DEMOLITIONS.



## FIRST FLOOR DEMOLITION PLAN

SCALE 1/4" = 1'-0"

REVISIONS	BY

4963 ELM  
 SUITE 103  
 BETHESDA  
 MARYLAND  
 20814-7340  
 PH. (301) 651-3020  
 FX. (301) 651-3050  
 Paul Greer Architect  
 P.A.  
 ARCHITECTS  
 BETHESDA, MD

Evers Residence  
 28 West Kirke Street  
 Bethesda, MD

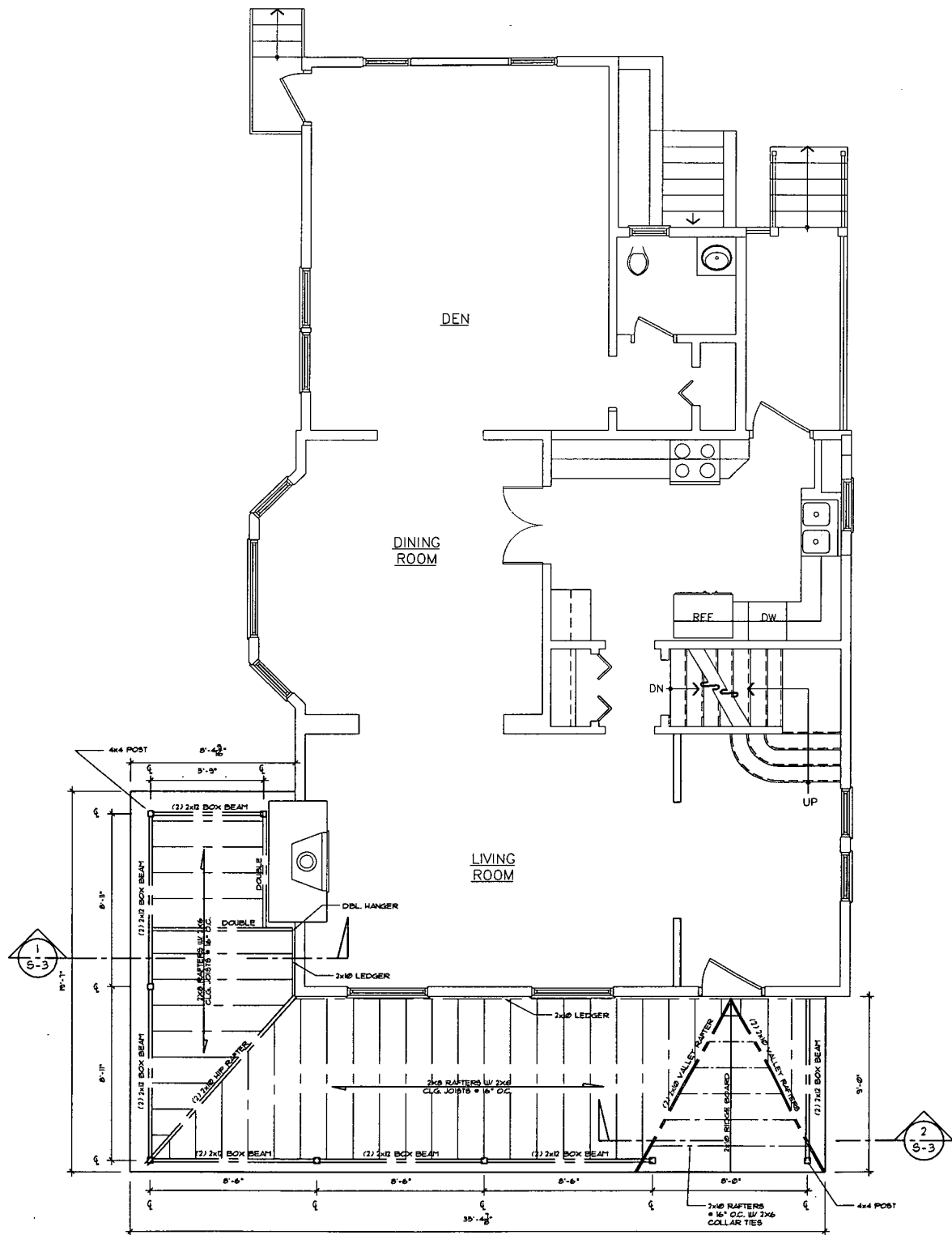
Date: 5-21-2004  
 Scale: 1/4" = 1'-0"  
 Drawn: Evers  
 Job: Monteverde  
 Sheet  
 D.1  
 Of Sheets

Permit Set

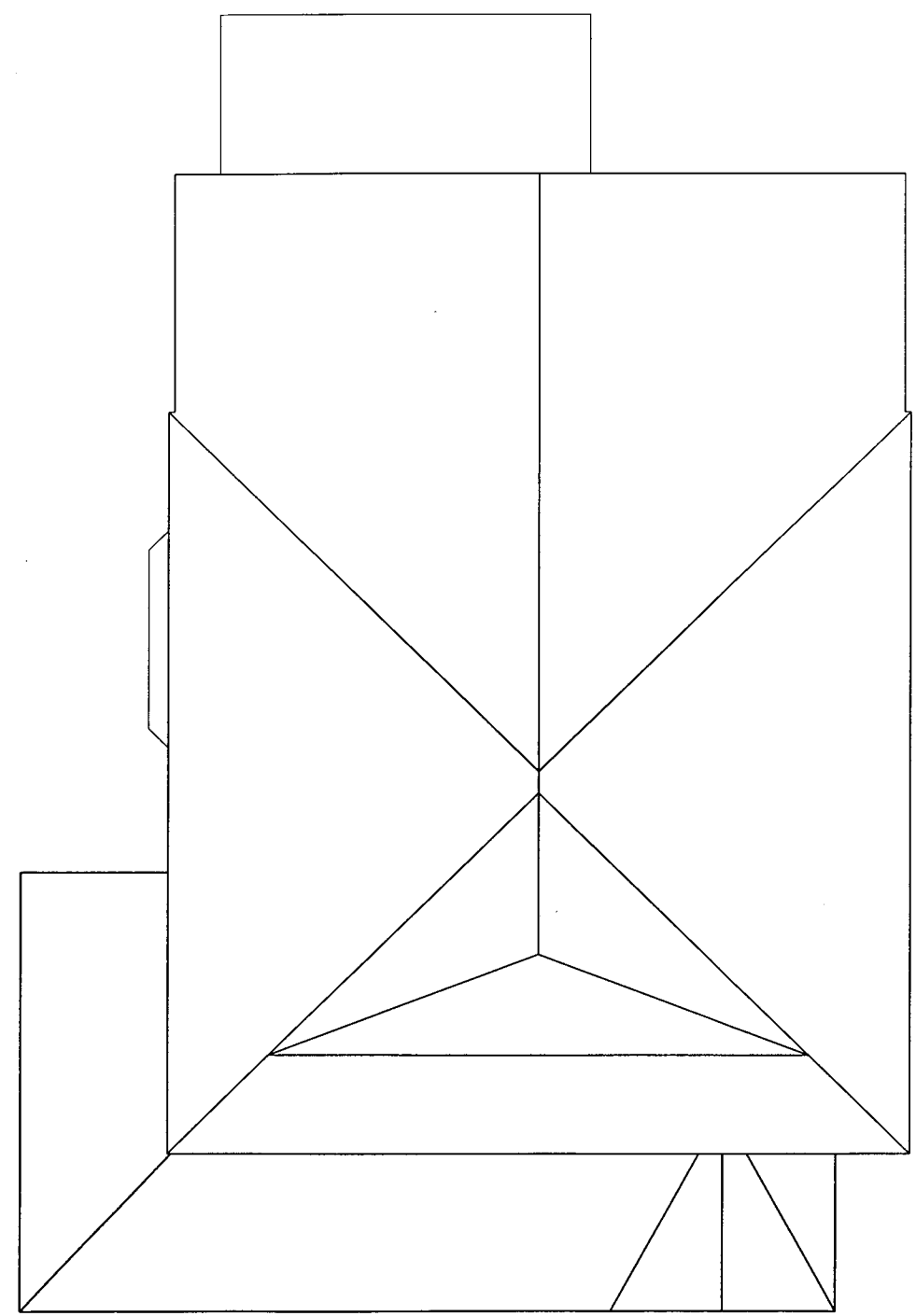








**ROOF FRAMING PLAN**  
SCALE 1/4" = 1'-0"



**ROOF PLAN**  
SCALE 1/4" = 1'-0"

REVISIONS	BY
5-11-2004	CM

4963 ELM  
SUITE 105  
BETHESDA  
MARYLAND  
20814-7540

PH. (301) 651-3020  
FX. (301) 651-3050

P.C.A. Architects, Inc.

**Evers Residence**  
28 West Kirke Street  
Bethesda, MD

Date: 5-27-2004
Scale: 1/4" = 1'-0"
Drawn: Evers
Job: Monteverde
Sheet <b>S.2</b>
Of 

Permit Set



**RETROACTIVE****HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	28 W. Kirke Street, Chevy Chase Village	<b>Meeting Date:</b>	02/23/05
<b>Applicant:</b>	Donna & Robert Evers Paul Gaiser, Agent	<b>Report Date:</b>	02/15/05
<b>Resource:</b>	Non-Contributing Resource Chevy Chase Village Historic District	<b>Public Notice:</b>	02/09/05
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-05B	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Front porch addition, fencing & driveway.	<b>RECOMMENDATION:</b>	Approval

---

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource in the Chevy Chase Village Historic District  
**STYLE:** Colonial Foursquare  
**DATE:** c.1913

**PROPOSAL:**

The applicant is proposing to construct the following: (Circles 4 & 8)

- A wood portico over the existing front stoop to be supported by structural brackets.
- A wrought iron rail on the existing front stoop to replace existing.
- A brick fireplace and chimney on the left side at the rear of the house.
- A new wood 4' high swag wood picket fence in the front yard.

The applicant is seeking retroactive approval for the following: (Circles 4, 8 & 20)

- A new driveway configuration.
- Replacing the asphalt drive with stone pavers.
- Brick sidewalk across the driveway.
- New concrete apron.
- Removal and replacement of 6' fences at the side yards.
- Remove artificial siding

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and

adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Guidelines***

HAWP applications for exterior alterations, changes, and/or additions to non-contributing/out-of-period resources should receive the most lenient level of review. Most alterations and additions should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure, which affect the surrounding streetscape and/or landscape and could impair the character of the district as a whole.

### ***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

### ***Secretary of the Interior's Standards for Rehabilitation:***

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

### **STAFF DISCUSSION**

It is never optimal to review a Historic Area Work Permit application retroactively. Since this property is a non-contributing resource, all modifications are reviewed for possible impacts on the district as a whole and are generally reviewed with leniency. Staff believes that all of the proposed and completed work is in keeping with the lenient guidelines afforded non-contributing resources in the Chevy Chase Village Historic District. The new driveway is farther from the existing large tree and the front fence's swag picket design will reasonably keep the open nature of the neighborhood. Additionally, removal of the artificial siding is definitely a positive change. Staff supports approval of this retroactive application.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation #9*.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



# Paul Gaiser Architects LLC

Historic Preservation Commission  
1109 Spring Street  
Suite 801  
Silver Spring, Md. 20910  
February 2, 2005

Dear Historic Committee,

I am writing this letter to request additional changes of proposed work on my initial application that was submitted for Robert and Donna Evers property located at 28 Kirke street Chevy Chase, Maryland 20815.

Description of proposed work:

1. Repair, Replace, Paint, & relocate existing 6' tall fence on the left side of the house to line up with the existing fence on the right side of the house.
2. Paint existing 6' tall fence on the right side of the house.
3. Add a new 4' tall swag picket fence with 6" X 6" posts along the front yard.
4. Replace existing deteriorated black top driveway with new stone pavers.

I would also request retroactive permission to remove existing vinyl siding on the top half of the house and repair existing stucco/wood siding.

Thank you .

4963 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940

Pho. (301) 657-3020  
Fax. (301) 657-3050

4





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
355 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: PAUL GAISER  
Daytime Phone No.: 301-657-3020

Tax Account No.: 00455224  
Name of Property Owner: DONNA & ROBERT EVERS Daytime Phone No.: 301-654-5806  
Address: 28 W. KIRKE ST. CHEVY CHASE MARYLAND 20815  
Street Number City State Zip Code  
Contractor: T.B.D. Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: PAUL GAISER ARCHITECTS Daytime Phone No.: 301-657-3020

**LOCATION OF BUILDING/PREMISE**

House Number: 28 Street: W. KIRKE STREET  
Town/City: CHEVY CHASE Nearest Cross Street: \_\_\_\_\_  
Lot: P10 Block: 32 Subdivision: 9  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: DRIVEWAY  
1B. Construction cost estimate: \$ 30,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height 6 feet 0 inches 4  
4 FEET 0 INCHES  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*[Signature]*  
Signature of owner or authorized agent

12-20-04  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 367269 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THIS IS A TWO STORY FRAMED HOUSE IN CHEVYCHASE VILLAGE,  
BUILT IN 1913.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

A NEW FRONT PORTICO OVER EXISTING FRONT STOOP,  
A NEW FENCE ON FRONT OF YARD S SIDE OF HOUSE,  
A NEW MASONRY FIREPLACE IN EXISTING DEN,  
A NEW DRIVEWAY AS SHOWN ON SITE PLAN,  
A NEW WROUGHT IRON RAIL ON EXISTING BRICK STOOP

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

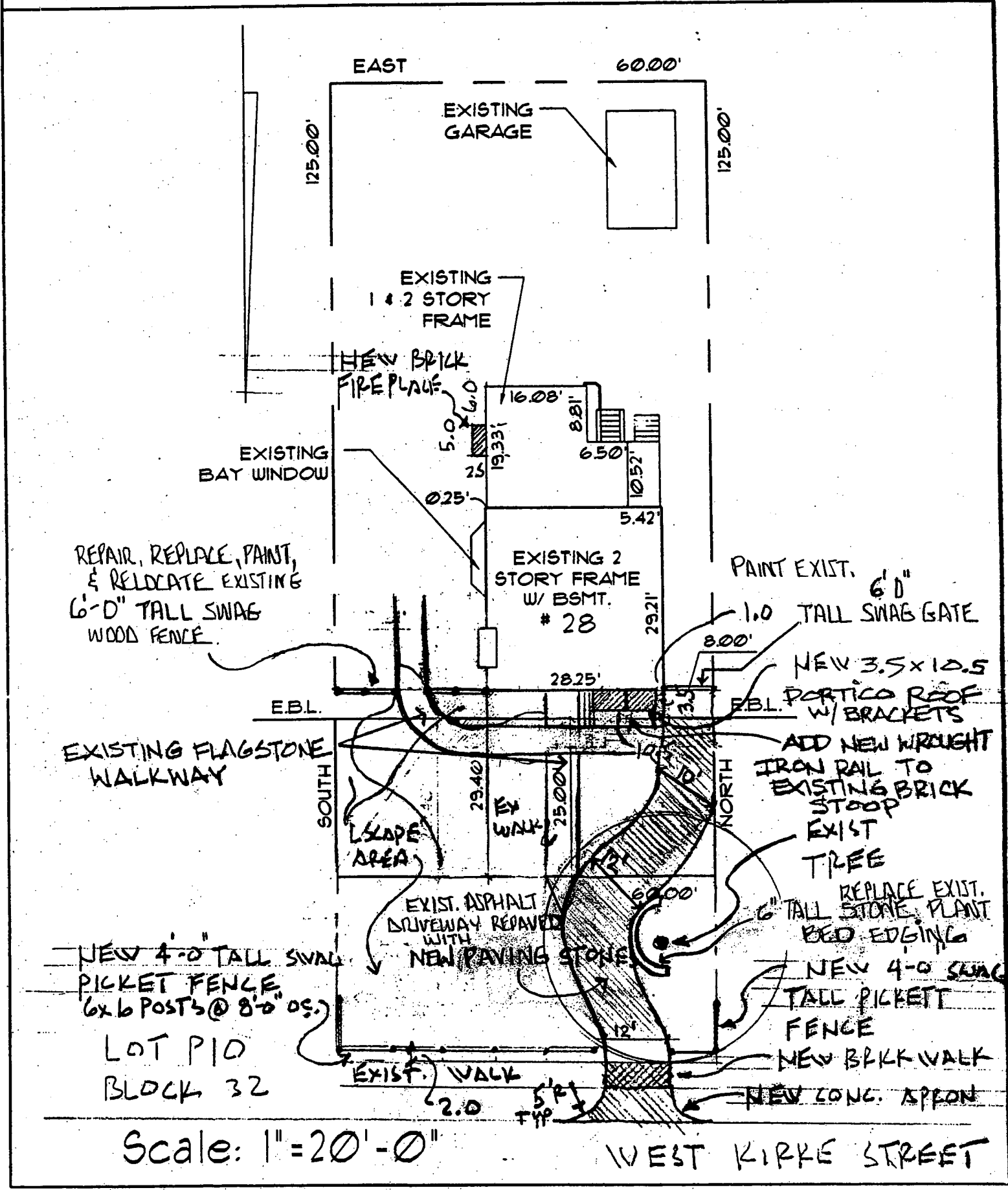
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

# Site Plan

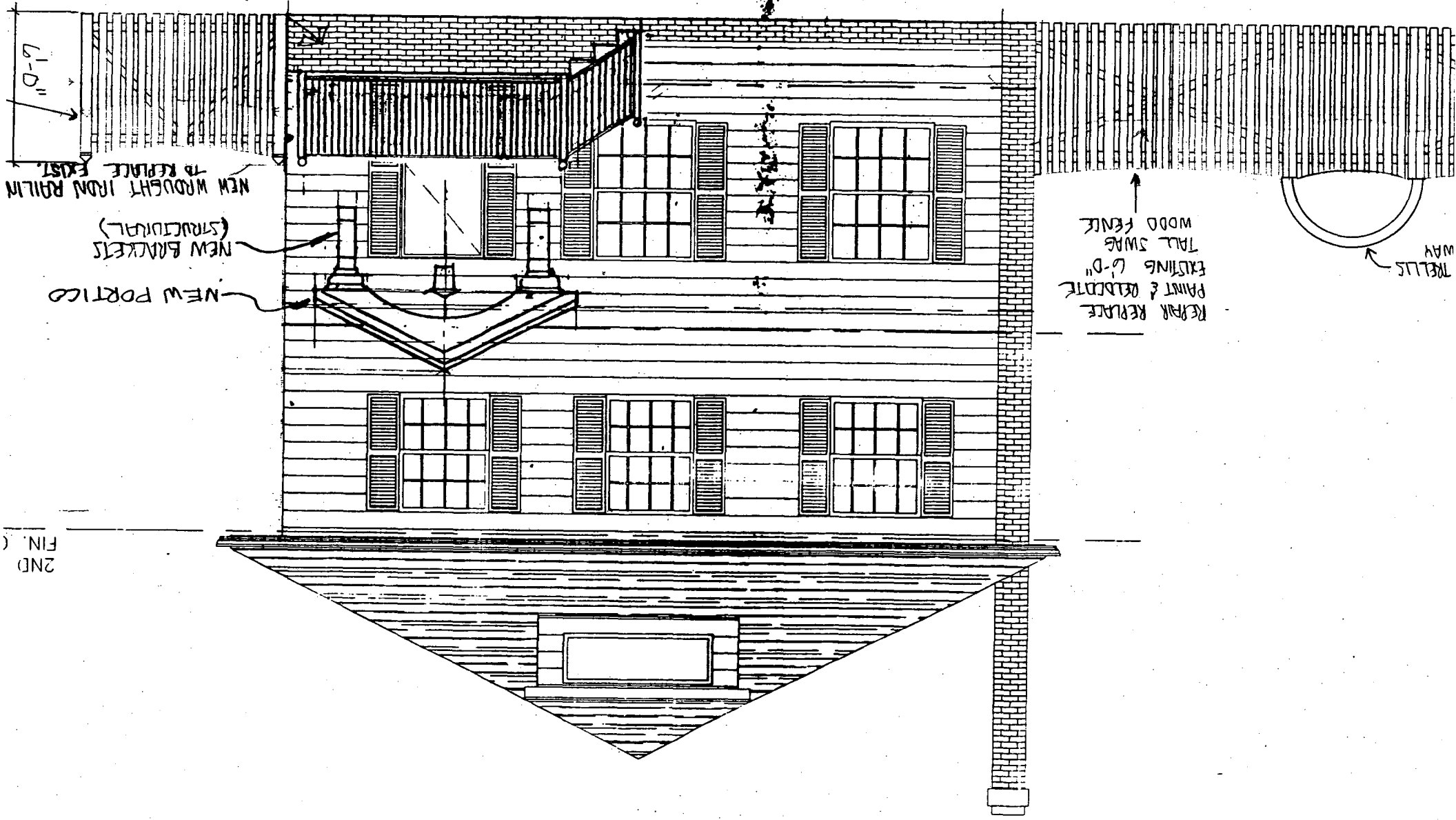


Scale: 1" = 20'-0"

WEST KIRKE STREET

FRONT ELEVATION  
SCALE 1/4" = 1'-0"

FIN. F



NEW PORCH

NEW BRACKETS  
(STRUCTURAL)

NEW WROUGHT IRON RAILING  
TO REPLACE EXIST.

6'-0"

REPAIR REPLACE  
PAINT & REDDOTE  
EXISTING 6'-0"  
TALL SWAG  
WOOD FENCE

TRILLS  
WAV

2ND  
FIN. (



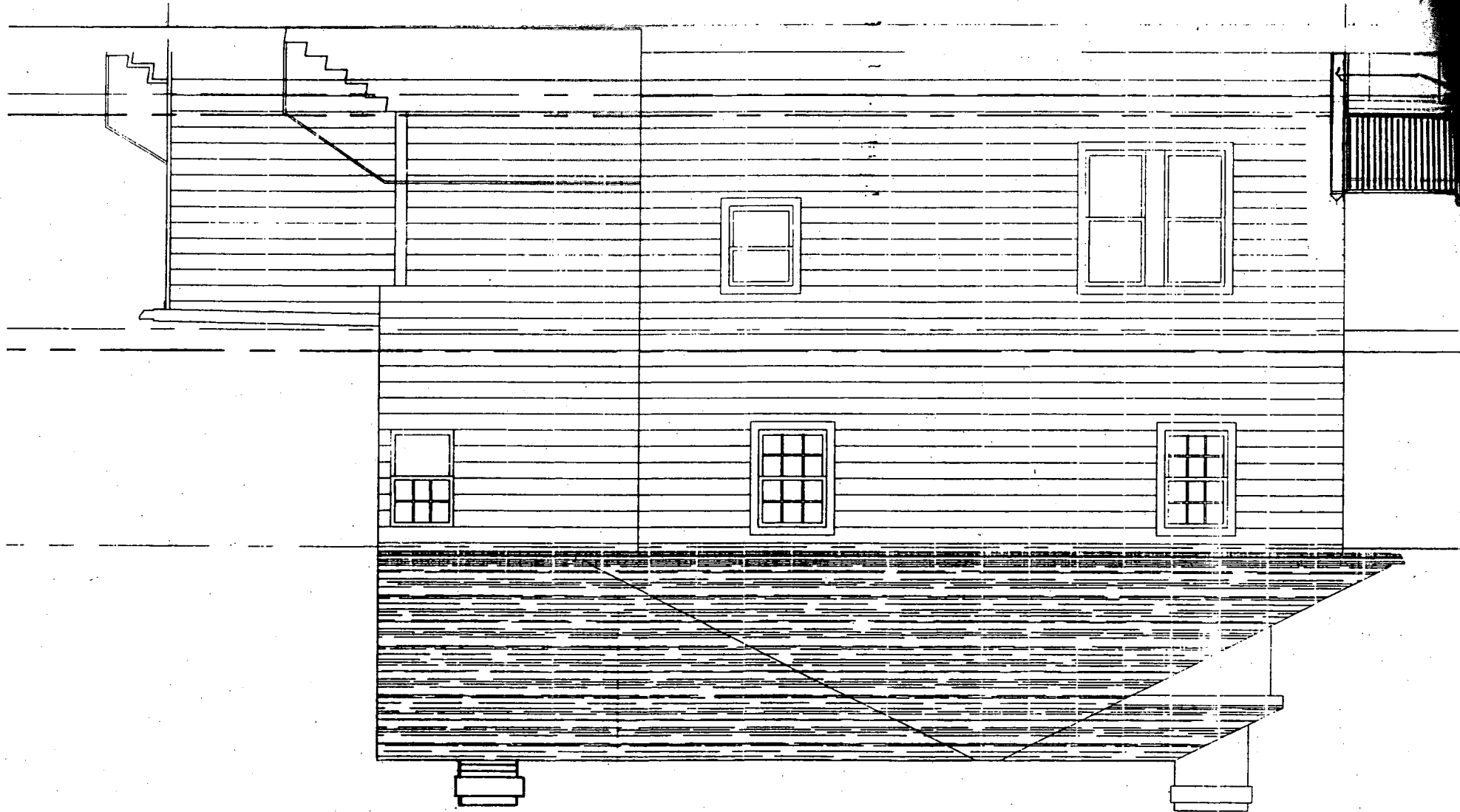
6'-0" TALL  
PICKET WOOD GATE

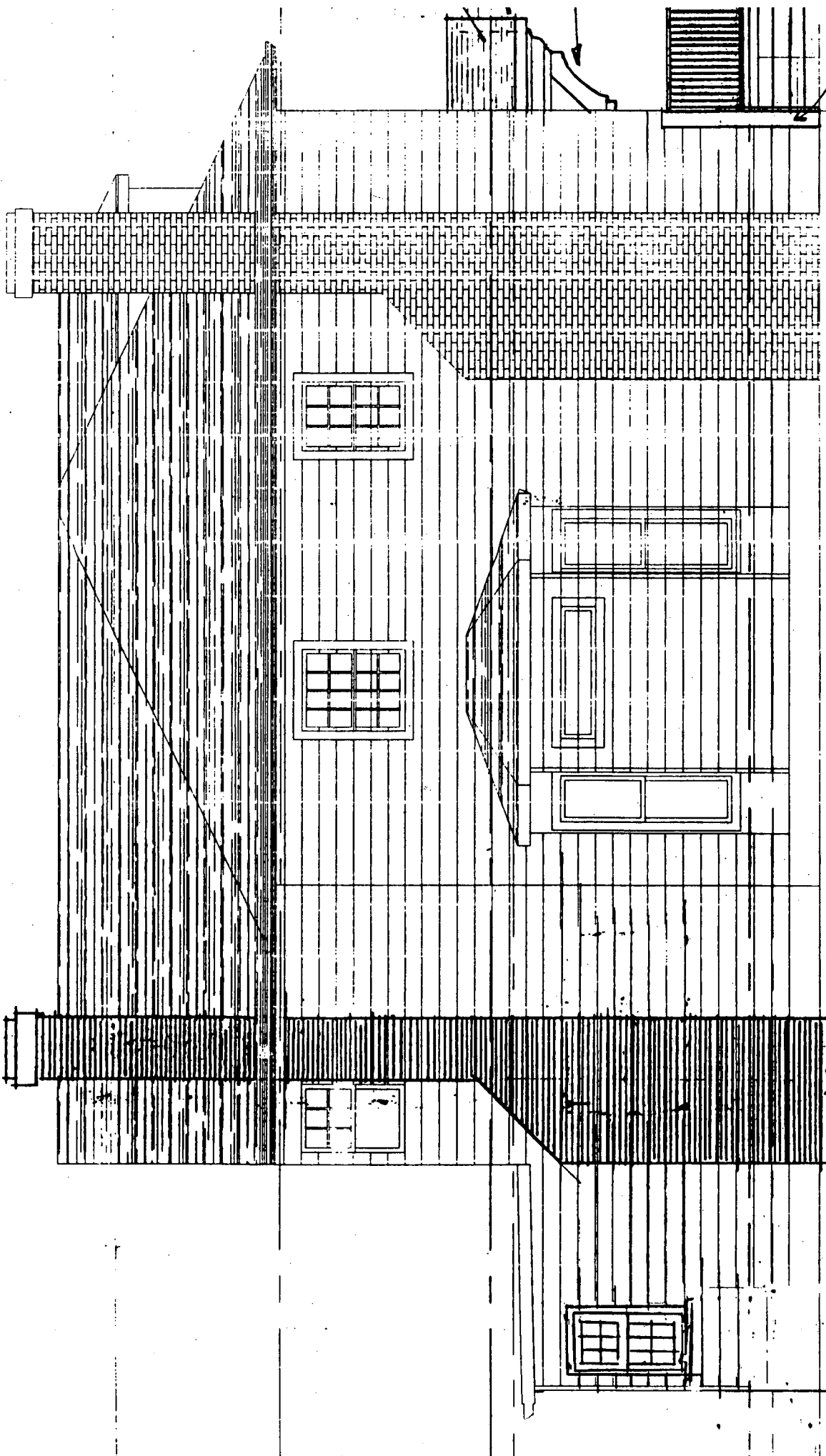
EXISTING 6'-0" TALL  
SWAG WOOD PICKET  
REPAIR, REPLACE, PAINT

REAR ELEVATION

SCALE 1/4" = 1'-0"

RIGHT SIDE ELEVATION





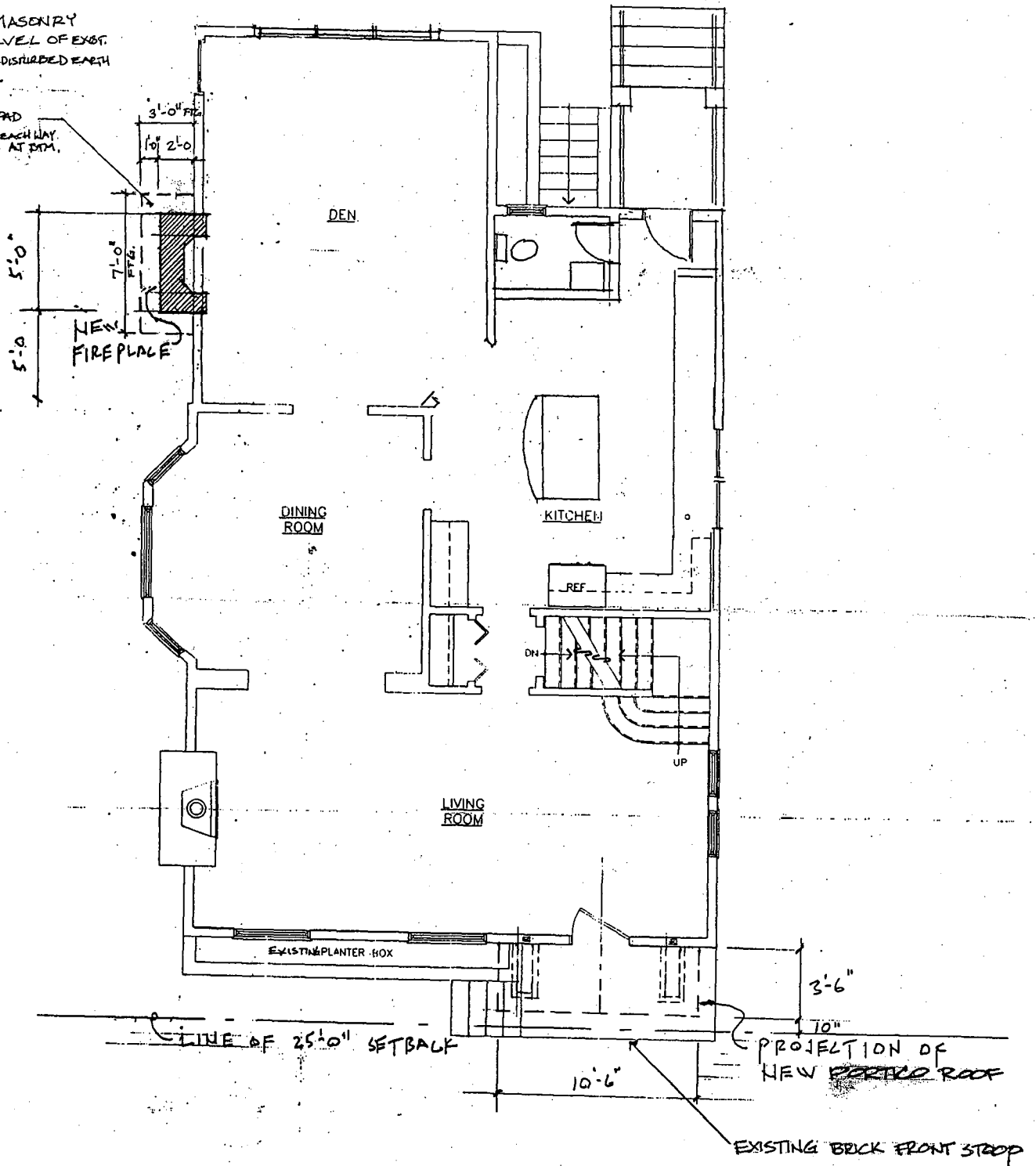
EXISTING BRICK FIRE PLACE

LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

NEW BRICK FIRE PLACE

FTG. FOR NEW MASONRY  
 FIREPLACE AT LEVEL OF EXIST.  
 HOUSE FTG. OR ON UNDISTURBED EARTH  
 30" MIN BELOW GRADE

5' x 84" x 12" CONC. PAD  
 #4 BARS @ 8" O.C. EACH WAY  
 AT DTM.



EXISTING FIRST FLOOR PLAN

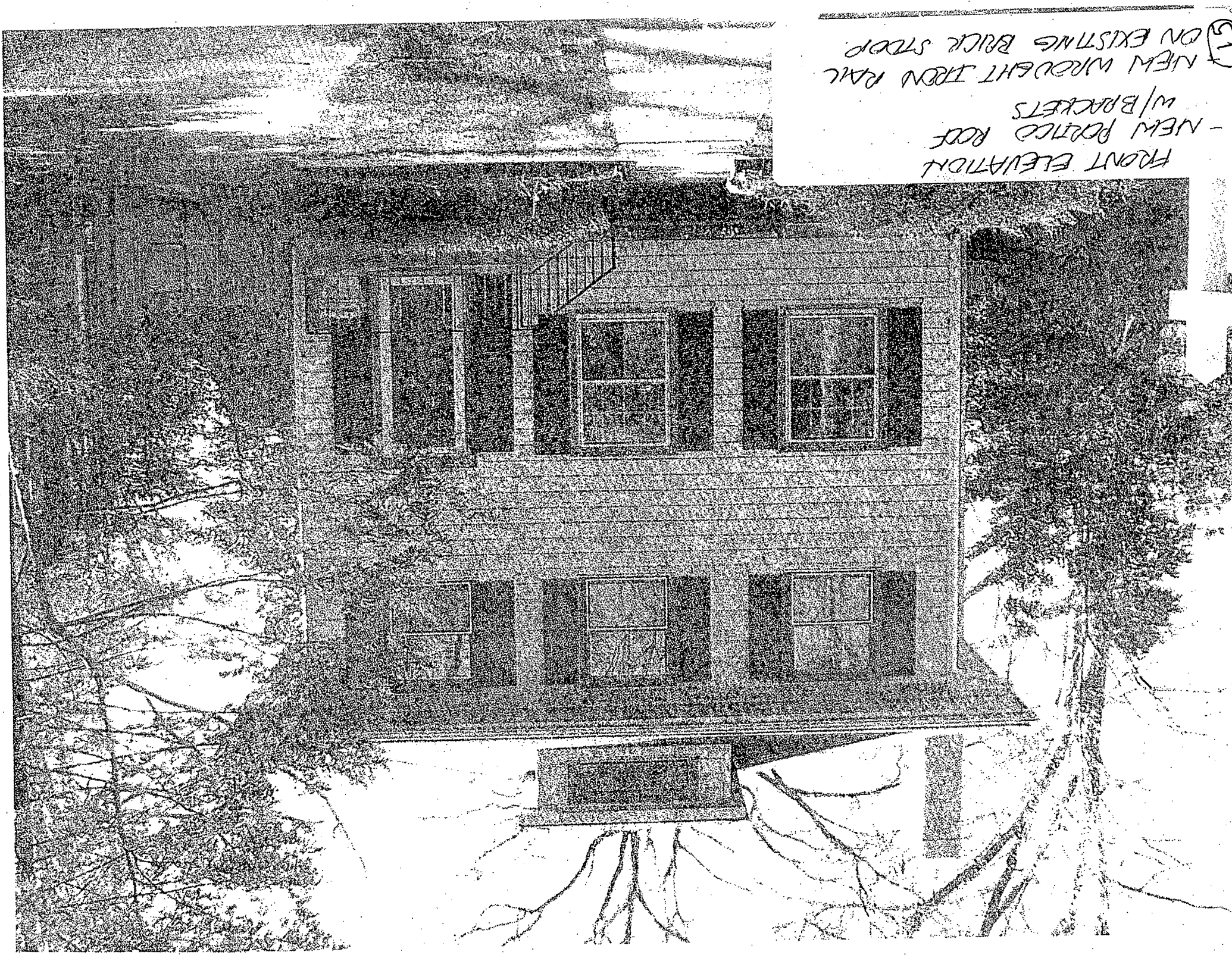
SCALE

1/4" = 1'-0"





FRONT ELEVATION -  
NEW PORCE ROOF  
w/ BRACKETS  
NEW WROUGHT IRON RAIL  
ON EXISTING BRICK STAIR



ADJACENT AND CONFRONTING PROPERTY OWNERS : TO ROBERT J. &  
DONNA EVERS.

MARY A. TUOHEY  
29 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815

DANN THOMAS S & MELISSA SHACKLETON DANN  
27 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815-4260

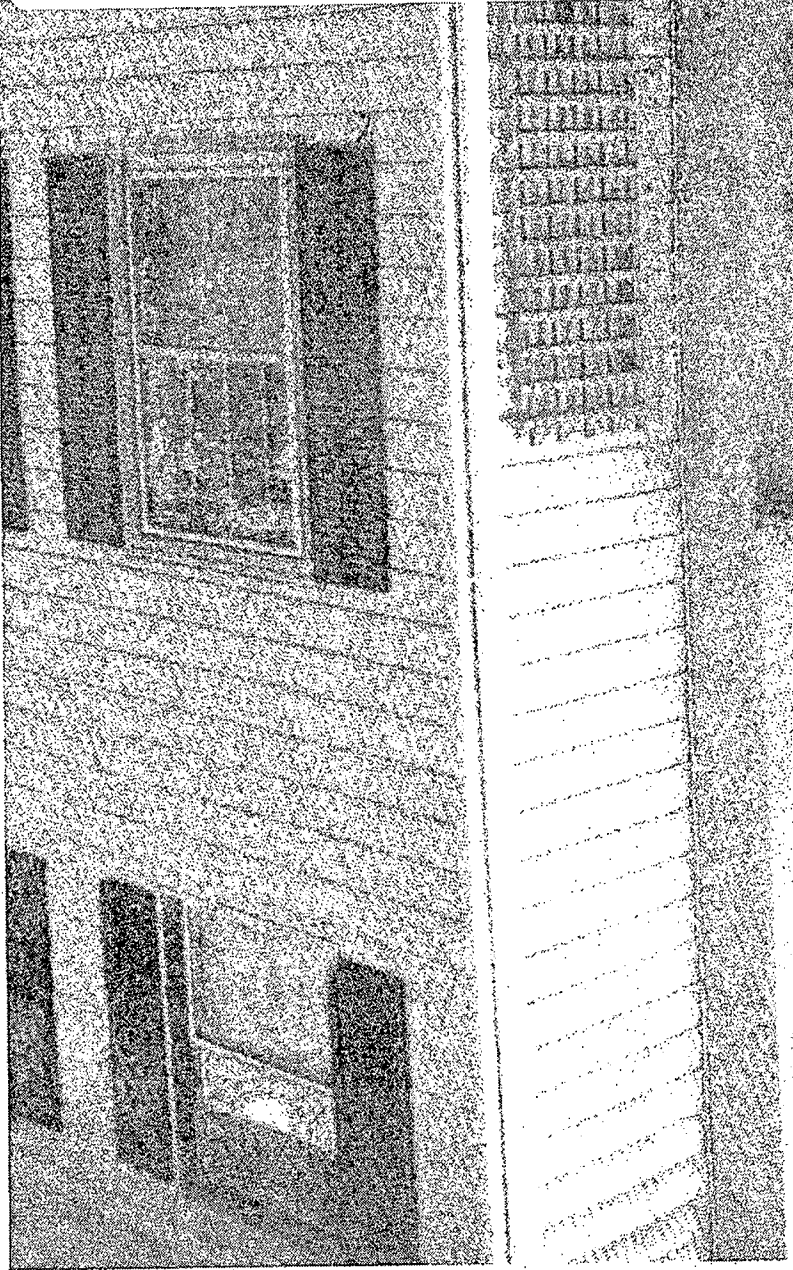
RICHARD A & SUSANNE W.LEACH  
26 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815-4261

WILLIAM R & DOOLEY  
31 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815

ANTHONY F & MARRA  
30 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815

Submitted with 12/04 application

LEFT SIDE ELEVATION  
- NEKI BACK FIREPLACE





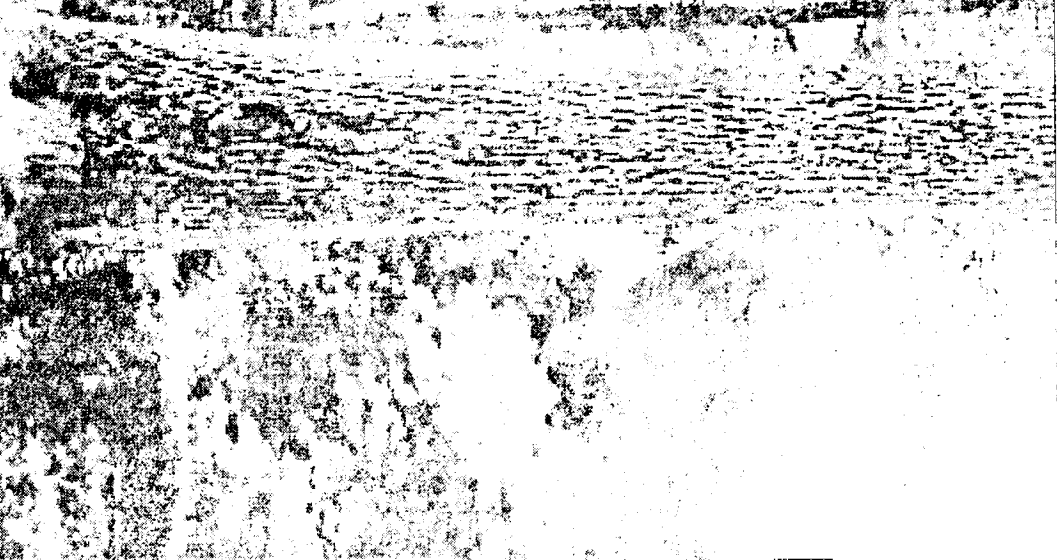
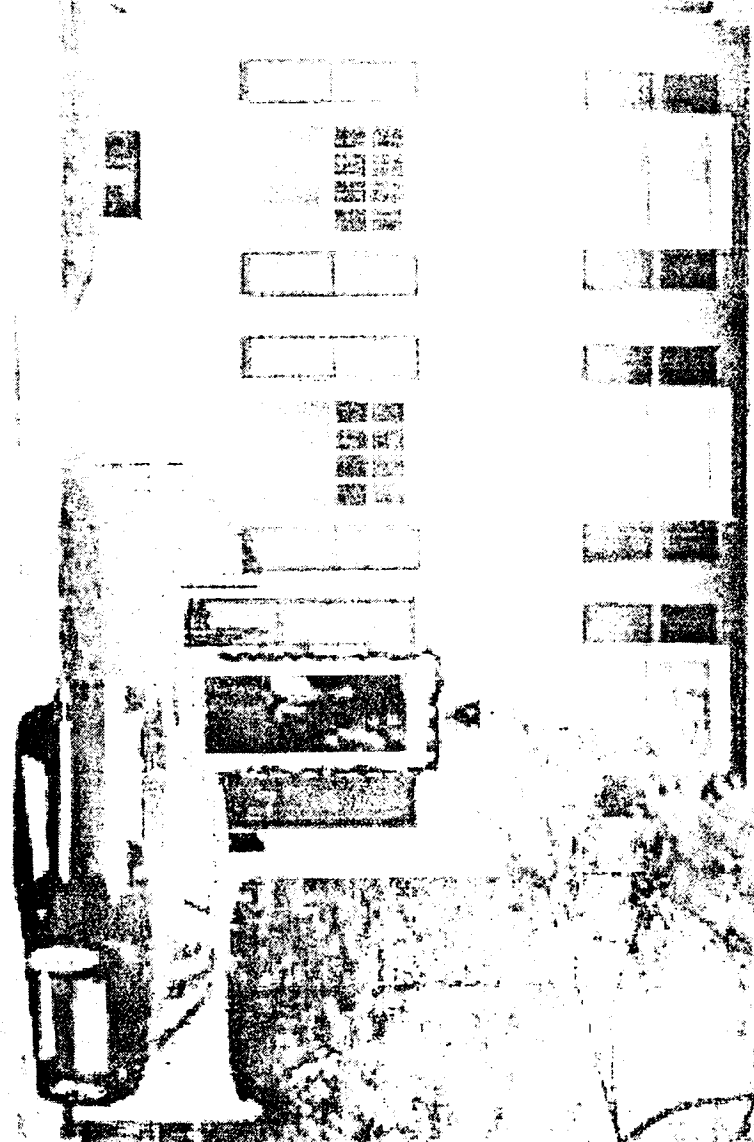
with 6/24  
L. B. Smith



FRONT ELEVATION

- NEW PORTICO ROOF  
W/BRACKETS

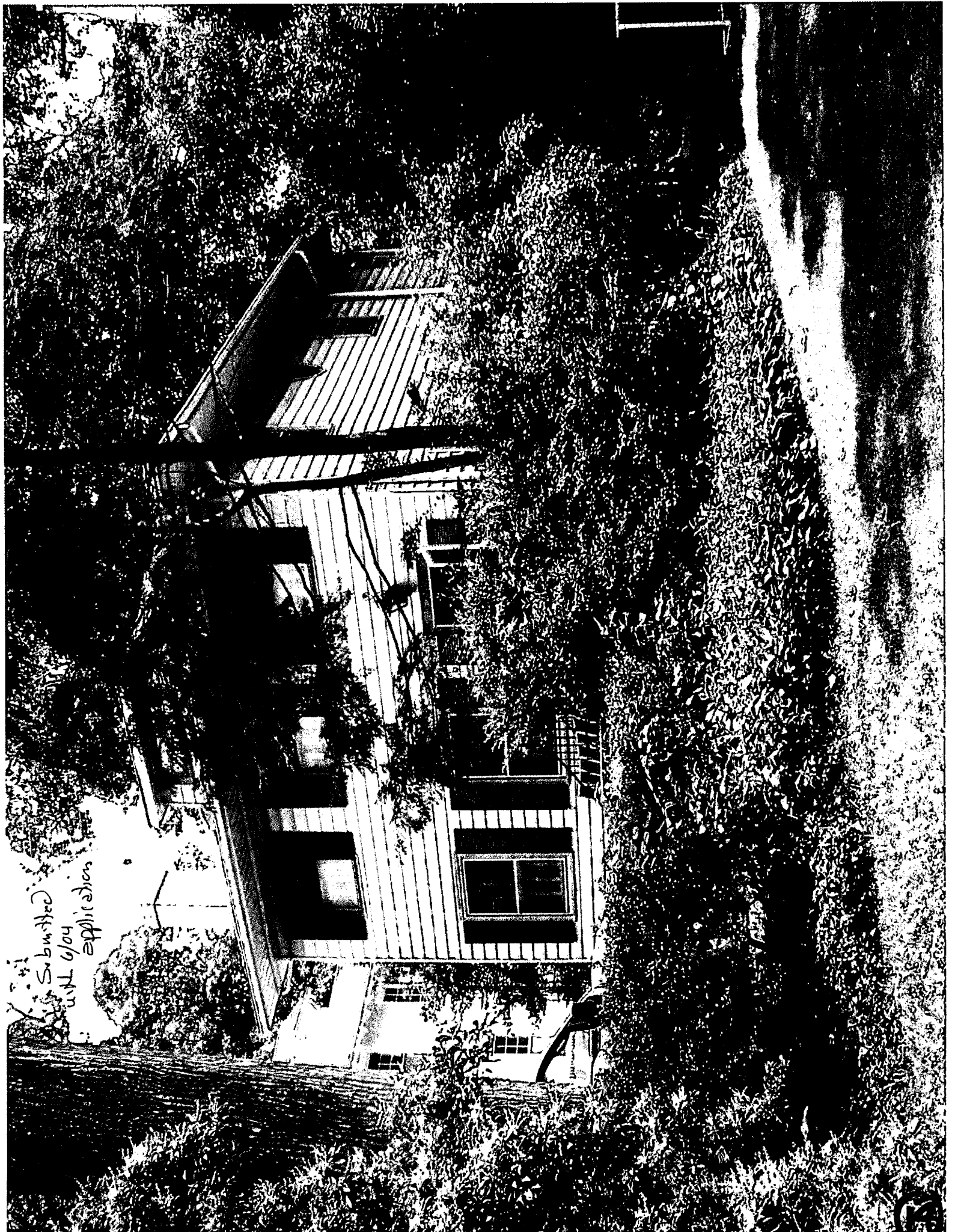
- NEW WROUGHT IRON RAIL  
ON EXISTING BRICK STOOP.





LEFT SIDE ELEVATION  
- NEAR BRICK FIREPLACE  
Submitted with 12/04 application





Submission  
with application  
10/19/79



FRONT ELEVATION

- NEW PORTICO ROOF  
W/BRACKETS
- NEW WROUGHT IRON RAIL  
ON EXISTING BRICK STOOP.



Submitted w/ 12/04 application

59-8-1 2/27



**RETROACTIVE****HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	28 W. Kirke Street, Chevy Chase Village	<b>Meeting Date:</b>	02/23/05
<b>Applicant:</b>	Donna & Robert Evers Paul Gaiser, Agent	<b>Report Date:</b>	02/15/05
<b>Resource:</b>	Non-Contributing Resource Chevy Chase Village Historic District	<b>Public Notice:</b>	02/09/05
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-05B	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Front porch addition, fencing & driveway.	<b>RECOMMENDATION:</b>	Approval

---

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource in the Chevy Chase Village Historic District  
**STYLE:** Colonial Foursquare  
**DATE:** c.1913

**PROPOSAL:**

The applicant is proposing to construct the following: (Circles 4 & 8)

- A wood portico over the existing front stoop to be supported by structural brackets.
- A wrought iron rail on the existing front stoop to replace existing.
- A brick fireplace and chimney on the left side at the rear of the house.
- A new wood 4' high swag wood picket fence in the front yard.

The applicant is seeking retroactive approval for the following: (Circles 4, 8 & 20)

- A new driveway configuration.
- Replacing the asphalt drive with stone pavers.
- Brick sidewalk across the driveway.
- New concrete apron.
- Removal and replacement of 6' fences at the side yards.
- Remove artificial siding

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and

adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Guidelines***

HAWP applications for exterior alterations, changes, and/or additions to non-contributing/out-of-period resources should receive the most lenient level of review. Most alterations and additions should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure, which affect the surrounding streetscape and/or landscape and could impair the character of the district as a whole.

### ***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
  
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

### ***Secretary of the Interior's Standards for Rehabilitation:***

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

### **STAFF DISCUSSION**

It is never optimal to review a Historic Area Work Permit application retroactively. Since this property is a non-contributing resource, all modifications are reviewed for possible impacts on the district as a whole and are generally reviewed with leniency. Staff believes that all of the proposed and completed work is in keeping with the lenient guidelines afforded non-contributing resources in the Chevy Chase Village Historic District. The new driveway is farther from the existing large tree and the front fence's swag picket design will reasonably keep the open nature of the neighborhood. Additionally, removal of the artificial siding is definitely a positive change. Staff supports approval of this retroactive application.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation #9*.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



# Paul Gaiser Architects LLC

Historic Preservation Commission  
1109 Spring Street  
Suite 801  
Silver Spring, Md. 20910  
February 2, 2005

Dear Historic Committee,

I am writing this letter to request additional changes of proposed work on my initial application that was submitted for Robert and Donna Evers property located at 28 Kirke street Chevy Chase, Maryland 20815.

Description of proposed work:

1. Repair, Replace, Paint, & relocate existing 6' tall fence on the left side of the house to line up with the existing fence on the right side of the house.
2. Paint existing 6' tall fence on the right side of the house.
3. Add a new 4' tall swag picket fence with 6" X 6" posts along the front yard.
4. Replace existing deteriorated black top driveway with new stone pavers.

I would also request retroactive permission to remove existing vinyl siding on the top half of the house and repair existing stucco/wood siding.

Thank you .

4963 ELM  
SUITE 103  
BETHESDA  
MARYLAND  
20814-2940

Pho (301) 657-3020  
Fax (301) 657-3050

4



**RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370**

DPS - #8

**HISTORIC PRESERVATION COMMISSION  
301/563-3400**

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: PAUL GAISER  
Daytime Phone No.: 301-657-3020

Account No.: 00455224  
Name of Property Owner: DONNA & ROBERT EVERS Daytime Phone No.: 301-654-5806  
Address: 28 W. KIRKE ST. CHEVY CHASE MARYLAND 20815  
Street Number City State Zip Code  
Contractor: T.B.D. Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: PAUL GAISER ARCHITECTS Daytime Phone No.: 301-657-3020

**LOCATION OF BUILDING/PREMISE**

House Number: 28 Street: W. KIRKE STREET  
Town/City: CHEVY CHASE Nearest Cross Street: \_\_\_\_\_  
Lot: P10 Block: 32 Subdivision: 9  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE:**

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Stab	<input type="checkbox"/> Room Addition	<input checked="" type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input checked="" type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input checked="" type="checkbox"/> Fence/Wall (complete Section 4)	<input checked="" type="checkbox"/> Other: <u>DRIVEWAY</u>				

**1B.** Construction cost estimate: \$ 30,000

**1C.** If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

**2A.** Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
**2B.** Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

**3A.** Height 6 feet 0 inches 4  
4 FEET 0 INCHES  
**3B.** Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

PLS \_\_\_\_\_  
Signature of owner or authorized agent Date: 12-20-04

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 367269 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

5



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THIS IS A TWO STORY FRAMED HOUSE IN CHEVYCHASE VILLAGE,  
BUILT IN 1913.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

A NEW FRONT PORCH OVER EXISTING FRONT STOOP,  
A NEW FENCE ON FRONT OF YARD & SIDE OF HOUSE,  
A NEW MASONRY FIREPLACE IN EXISTING DEN,  
A NEW DRIVEWAY AS SHOWN ON SITE PLAN,  
A NEW WROUGHT IRON RAIL ON EXISTING BRICK STOOP

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of wells, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

6



**MONTGOMERY COUNTY**  
**DEPARTMENT OF PERMITTING SERVICES**  
 255 Rockville Pike, 2<sup>nd</sup> Floor  
 Rockville, Maryland 20850-4166

# NOTICE OF VIOLATION

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that:

On, 1-4-05 the recipient of this NOTICE, Robert + DONNA EVERAS  
Date Recipient's Name

who represents the permittee/defendant, Robert - Donna EVERAS  
Permittee's Name

is notified that a violation of Montgomery County Code: 24A-6, 24-A-11, 824  
CONSTRUCTION OF A FENCE WITHOUT FIRST OBTAINING A  
HAWP HISTORIC AREA WORK PERMIT AND A BUILDING  
PERMIT. INSTALLING NEW SIDING WITHOUT FIRST OBTAINING  
A HAWP. INSTALLING A DRIVEWAY THAT DOES NOT ABIDE  
BY THE CONSTRUCTION OF THE HAWP

exists at: 28 W. KIRKE ST Chevy Chase MD  
Location Case #

The following corrective action(s) must be performed immediately as directed, OBTAIN APPROVAL  
FOR ALL EXTERIOR CHANGES AND A HAWP FROM THE  
HISTORIC PRESERVATION COMMITTEE. OBTAIN A BUILDING  
PERMIT FOR THE FENCE

See attached Inspection Report(s) for additional violations and/or required corrective actions.

An inspection fee of \$ 9460 is required in addition to any application fee(s).

Re-inspection Date(s): \_\_\_\_\_ Permit Number: \_\_\_\_\_ Code/Edition: \_\_\_\_\_

Failure to comply with this notice will result in the issuance of one or more \$500.00 civil citations.

A STOP WORK ORDER is also issued this date at the above referenced project. All construction activities on these premises must cease immediately. Only those activities required to correct violations may continue. Permission is required to resume construction.

ISSUED BY: PEFF HRYCIK [Signature] 1-4-05  
Printed Name Signature Date

Phone No. 242-777-5211

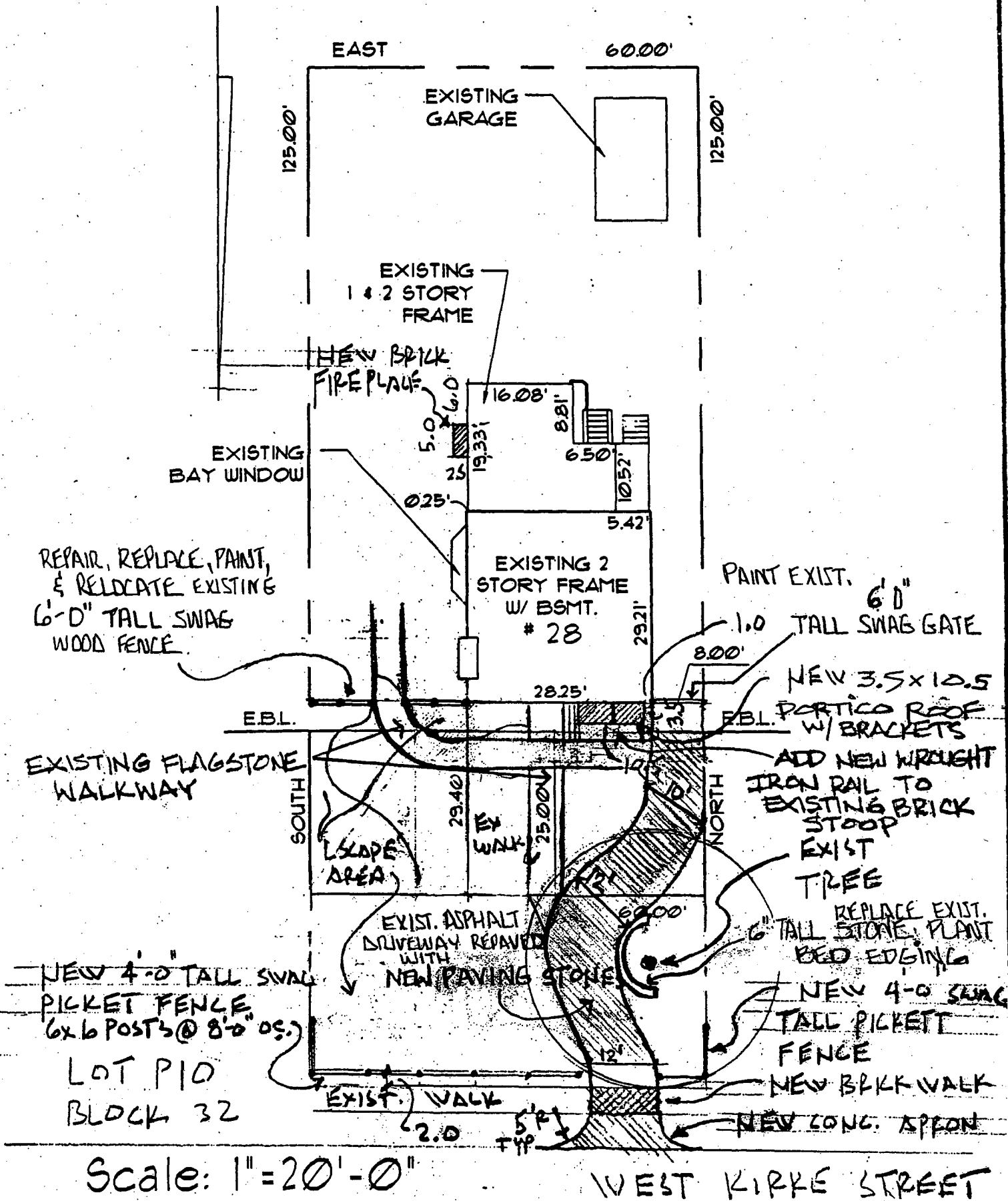
RECEIVED BY: [Signature] 1-4-05  
Printed Name Signature Date

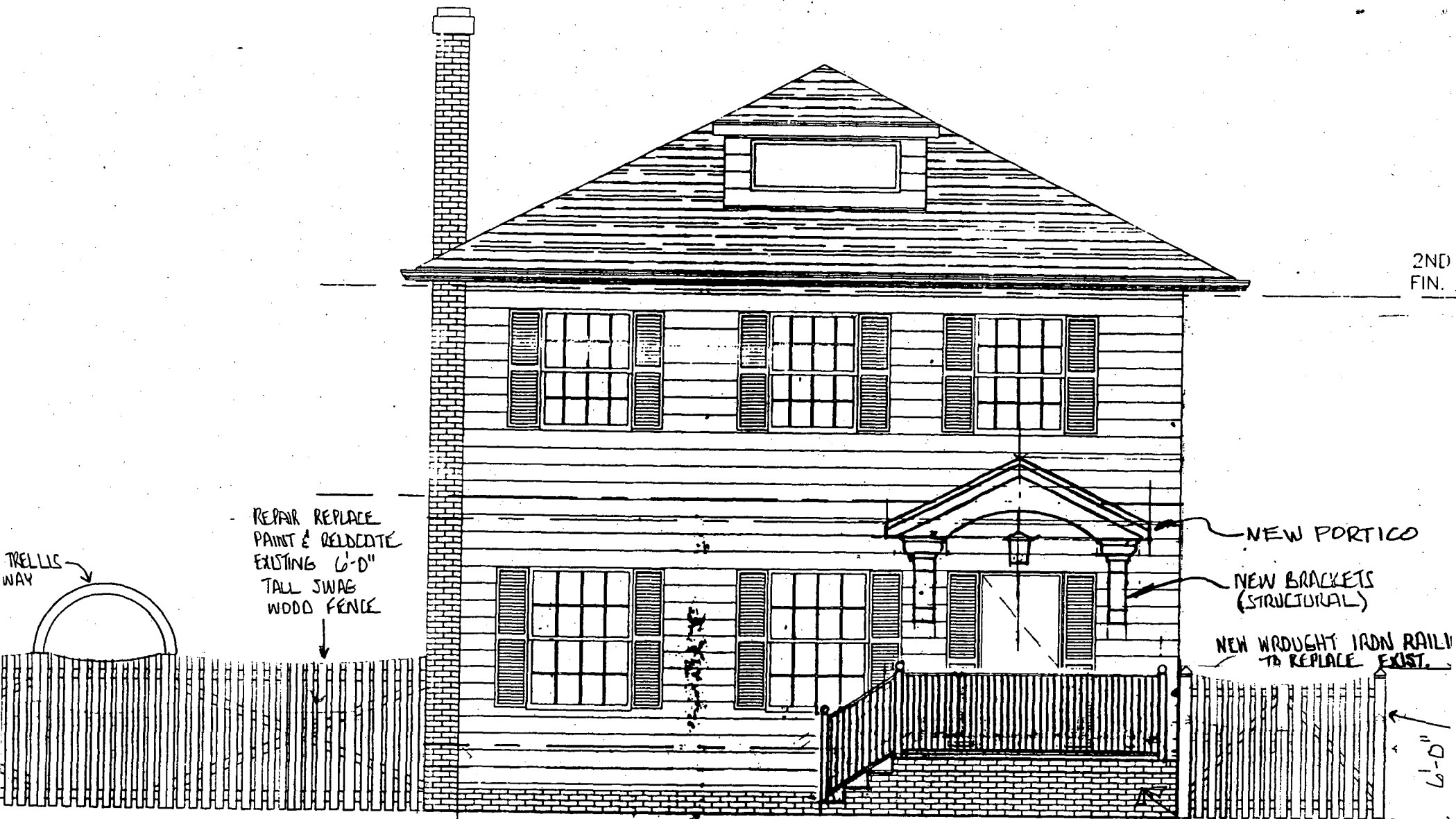
Phone No. \_\_\_\_\_ Sent by Registered Mail/Return Receipt On: \_\_\_\_\_

**RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION**

7

# Site Plan





2ND  
FIN.

TRELLIS  
WAY

REPAIR REPLACE  
PAINT & REEDCOOTE  
EXISTING 6'-0"  
TALL SWAG  
WOOD FENCE

NEW PORTICO

NEW BRACKETS  
(STRUCTURAL)

NEW WROUGHT IRON RAIL  
TO REPLACE EXIST.

6'-0"

FRONT ELEVATION

SCALE

1/4" = 1'-0"

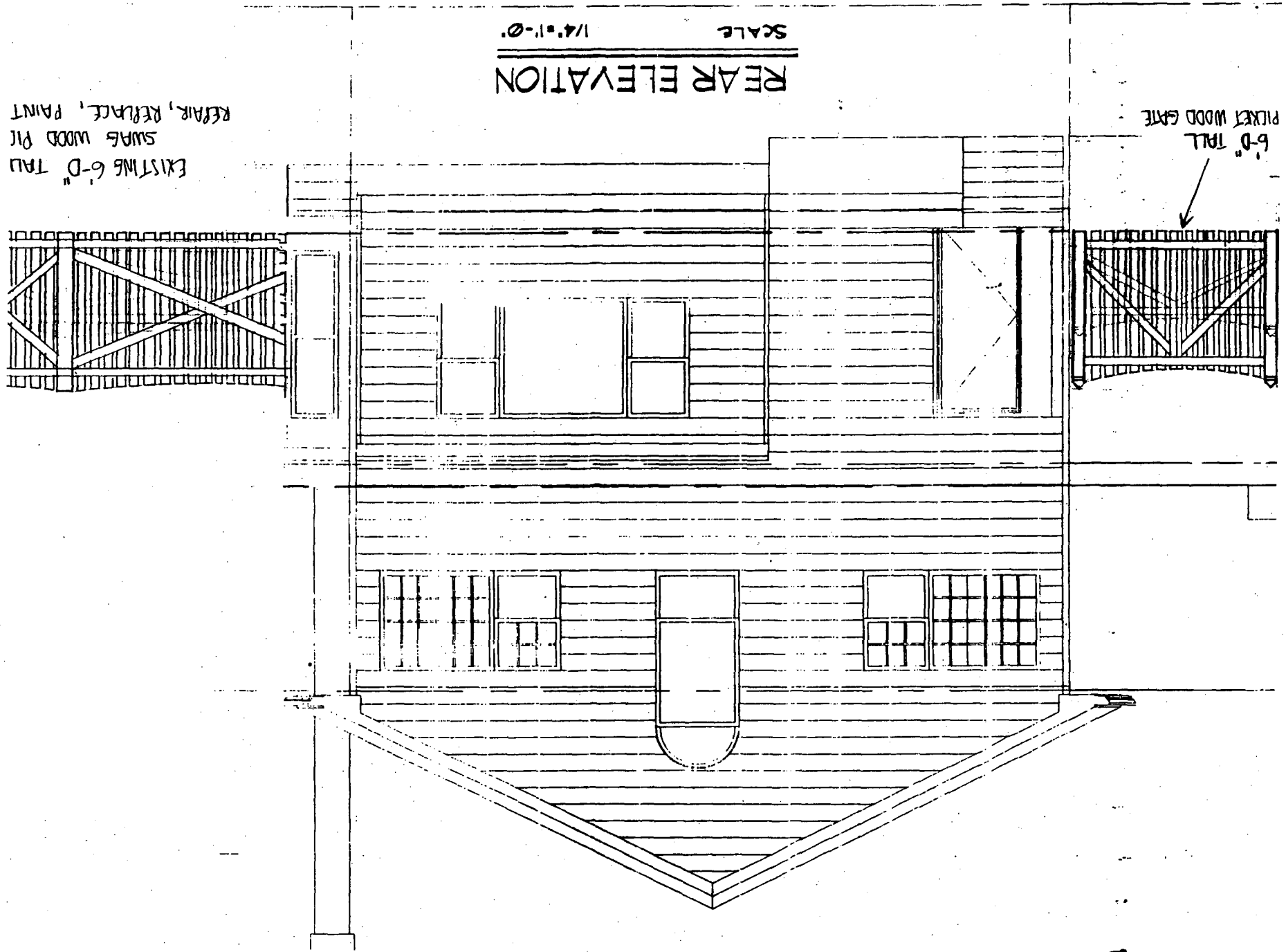
FIN.

9

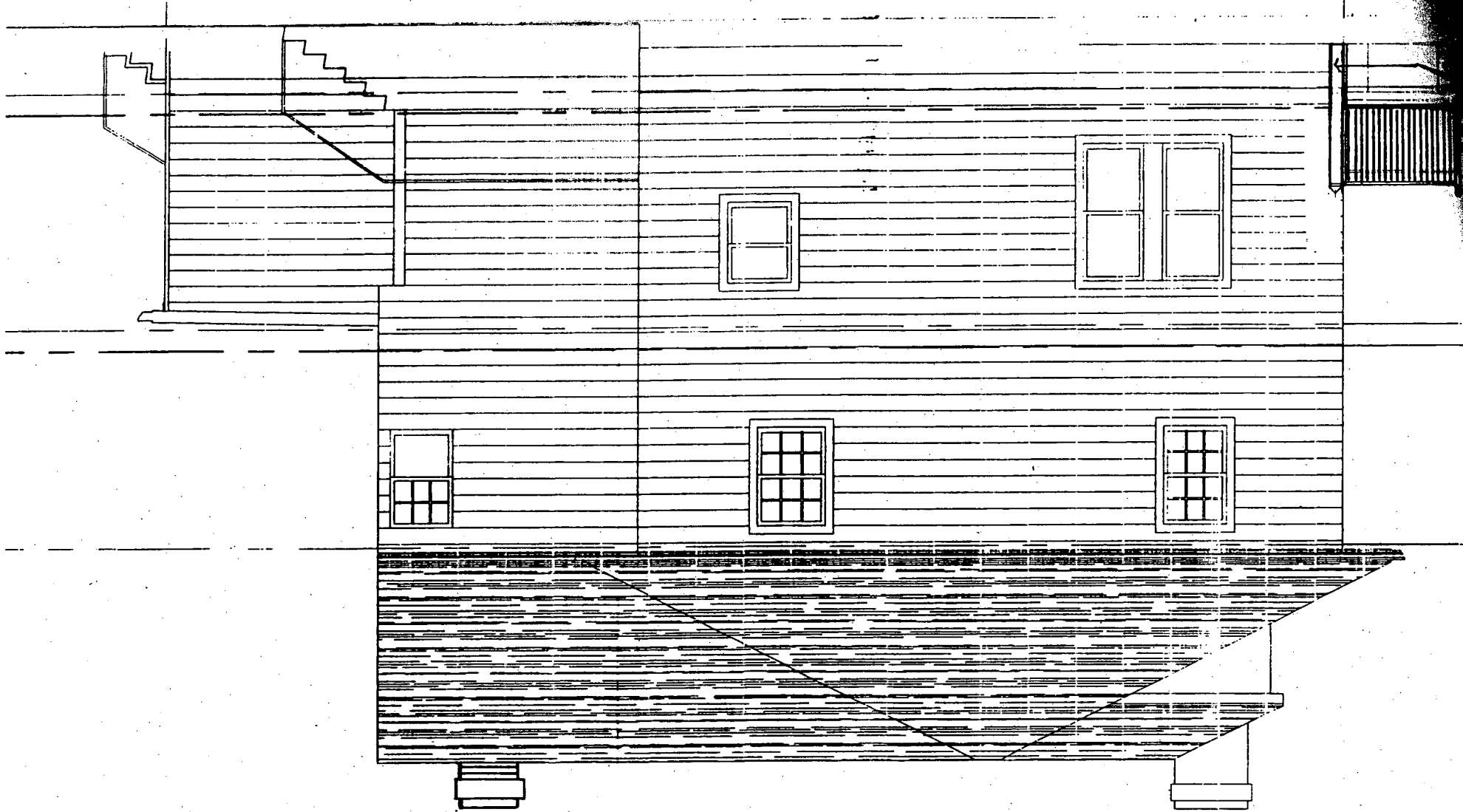
REAR ELEVATION  
SCALE 1/4"=1'-0"

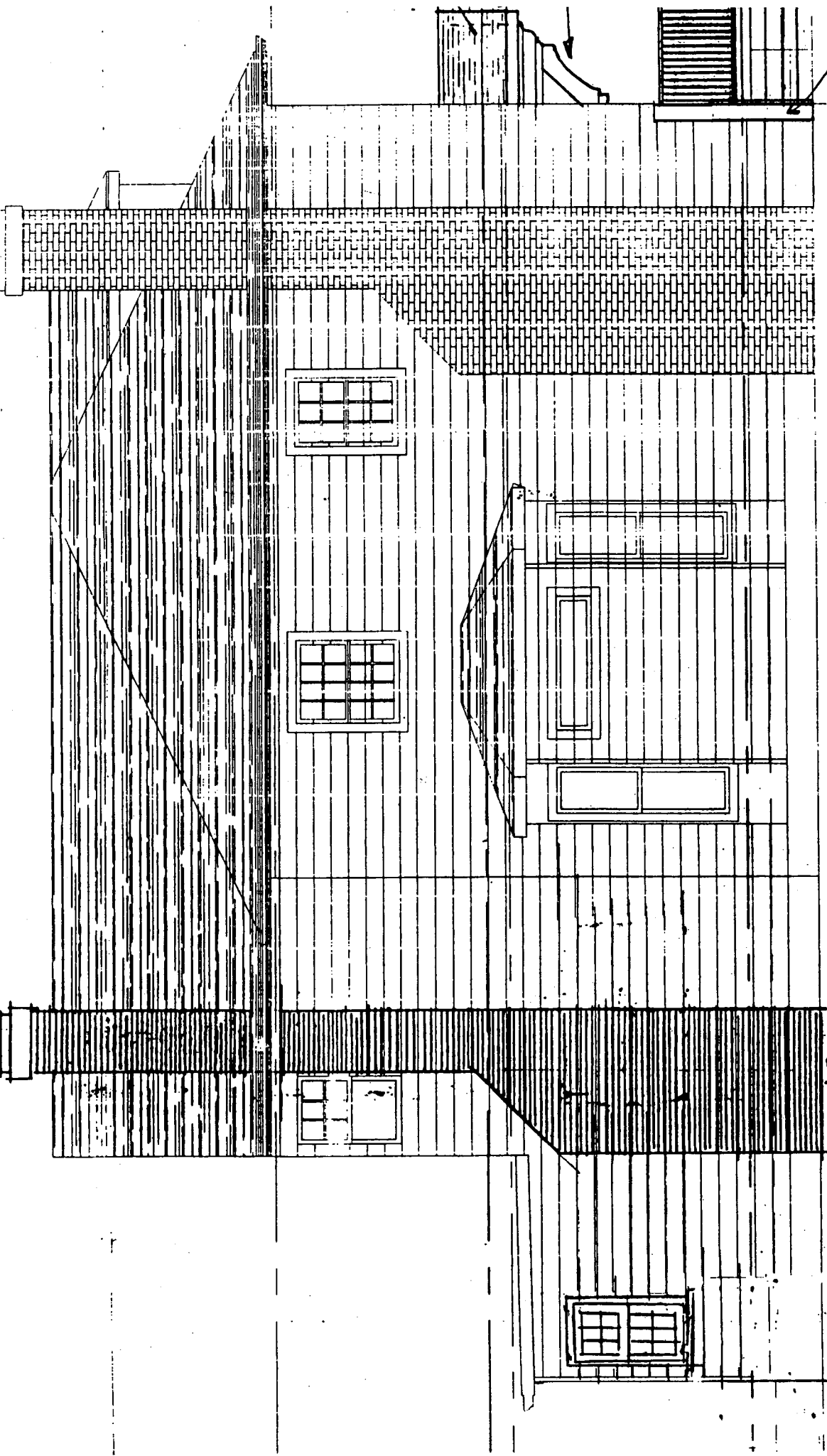
EXISTING 6'-0" TALL  
SWAG WOOD PICKET  
REPAIR, REPLACE, PAINT

6'-0" TALL  
PICKET WOOD GATE



WEST ELEVATION





EXISTING BRICK FIREPLACE



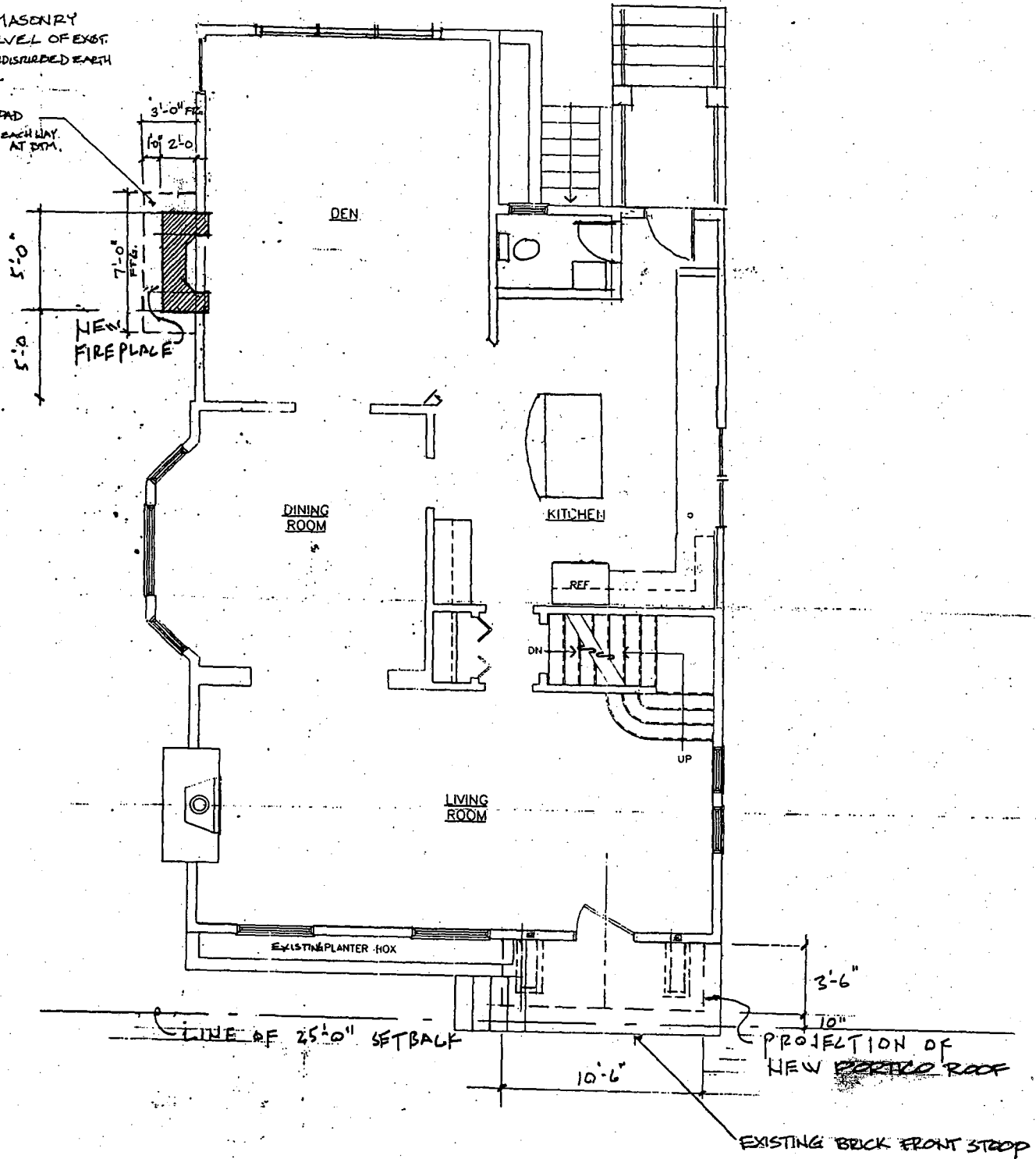
LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

NEW BRICK FIREPLACE



T.G. FOR NEW MASONRY  
 REPLACE AT LEVEL OF EXIST.  
 USE FTG. OR ON UNDISTURBED EARTH  
 3" MIN BELOW GRADE.

x 84" x 12" CONG. PAD  
 #4 BARS @ 8" O.C. EACH WAY  
 AT BTM.

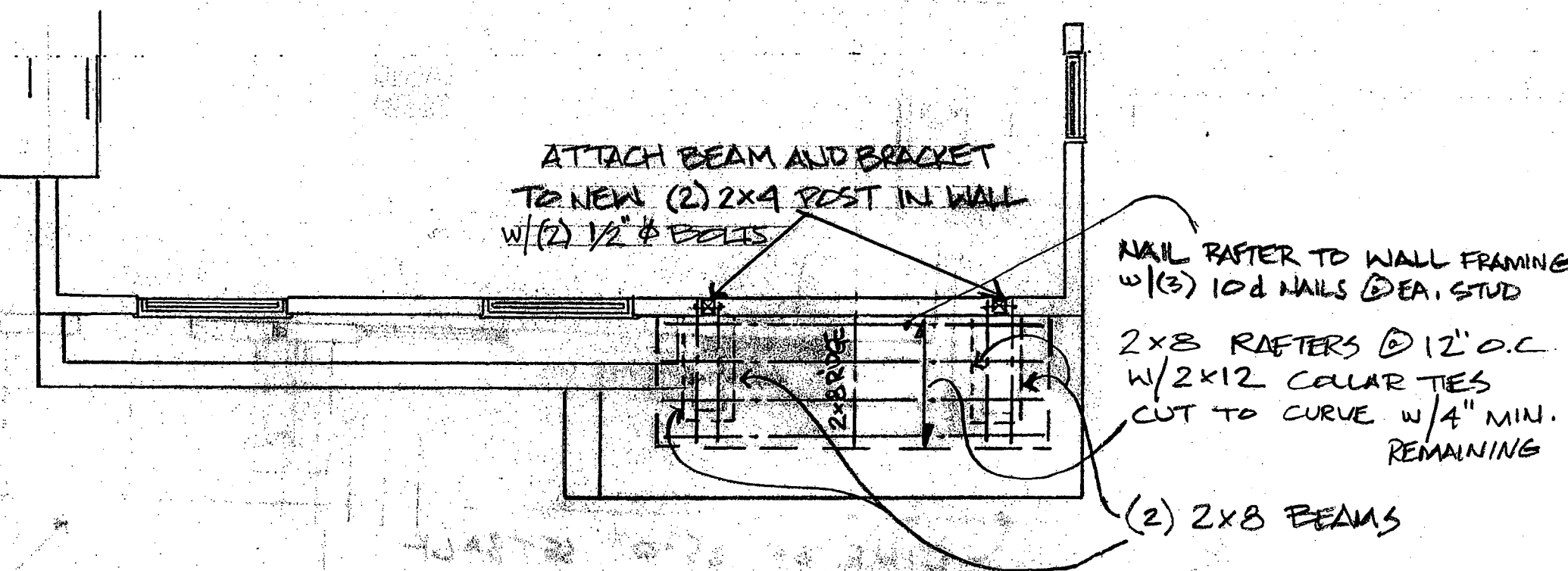


EXISTING FIRST FLOOR PLAN

SCALE

1/4" = 1'-0"





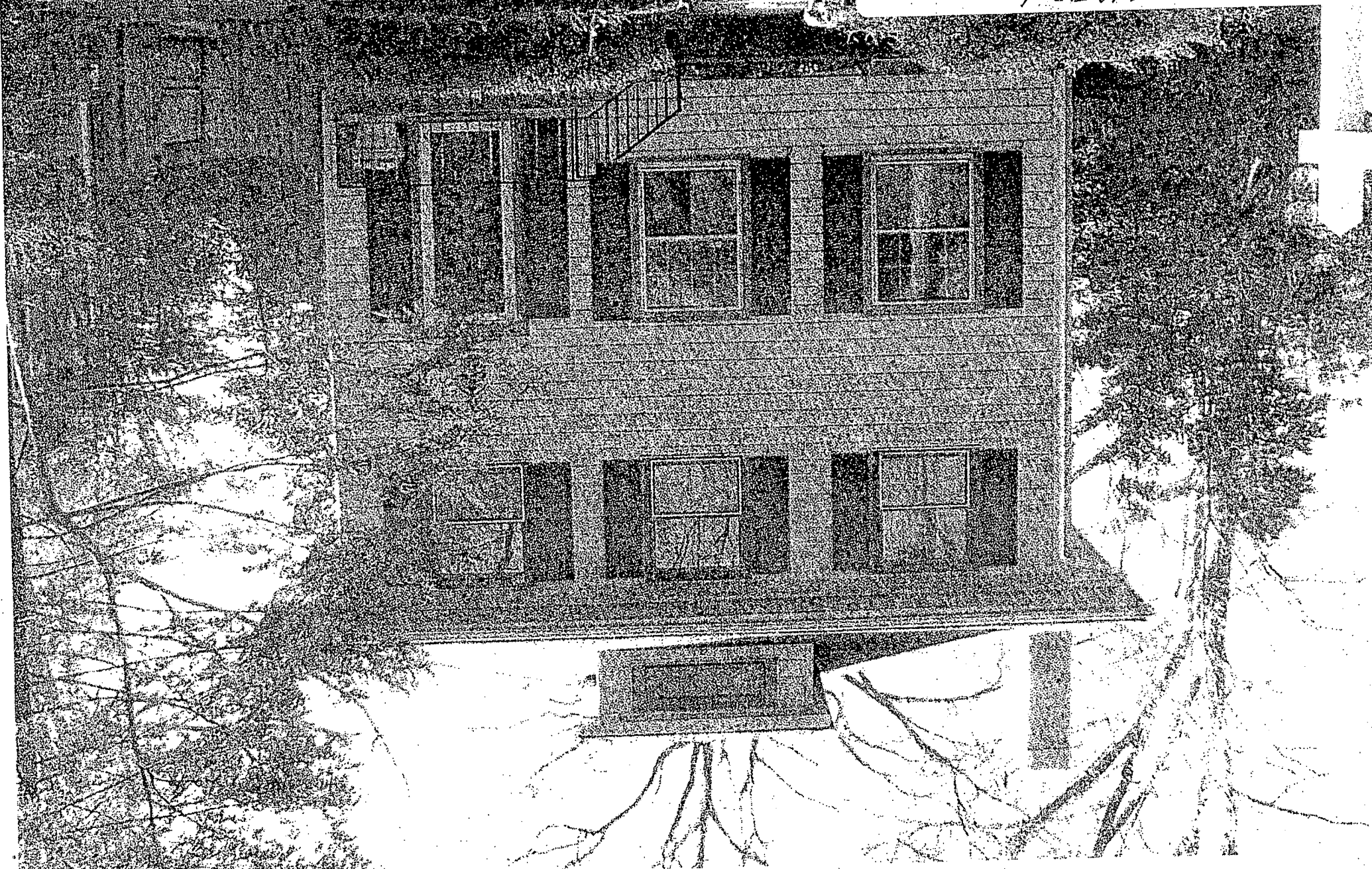
PORTICO ROOF FRAMING PLAN

SCALE

1/4" = 1'-0"

(13)

FRONT ELEVATION  
- NEW PORCH ROOF  
w/ BRACKETS  
NEW WOODEN IRON RAIL  
ON EXISTING BRICK STAIR



ADJACENT AND CONFRONTING PROPERTY OWNERS : TO ROBERT J. &  
DONNA EVERS.

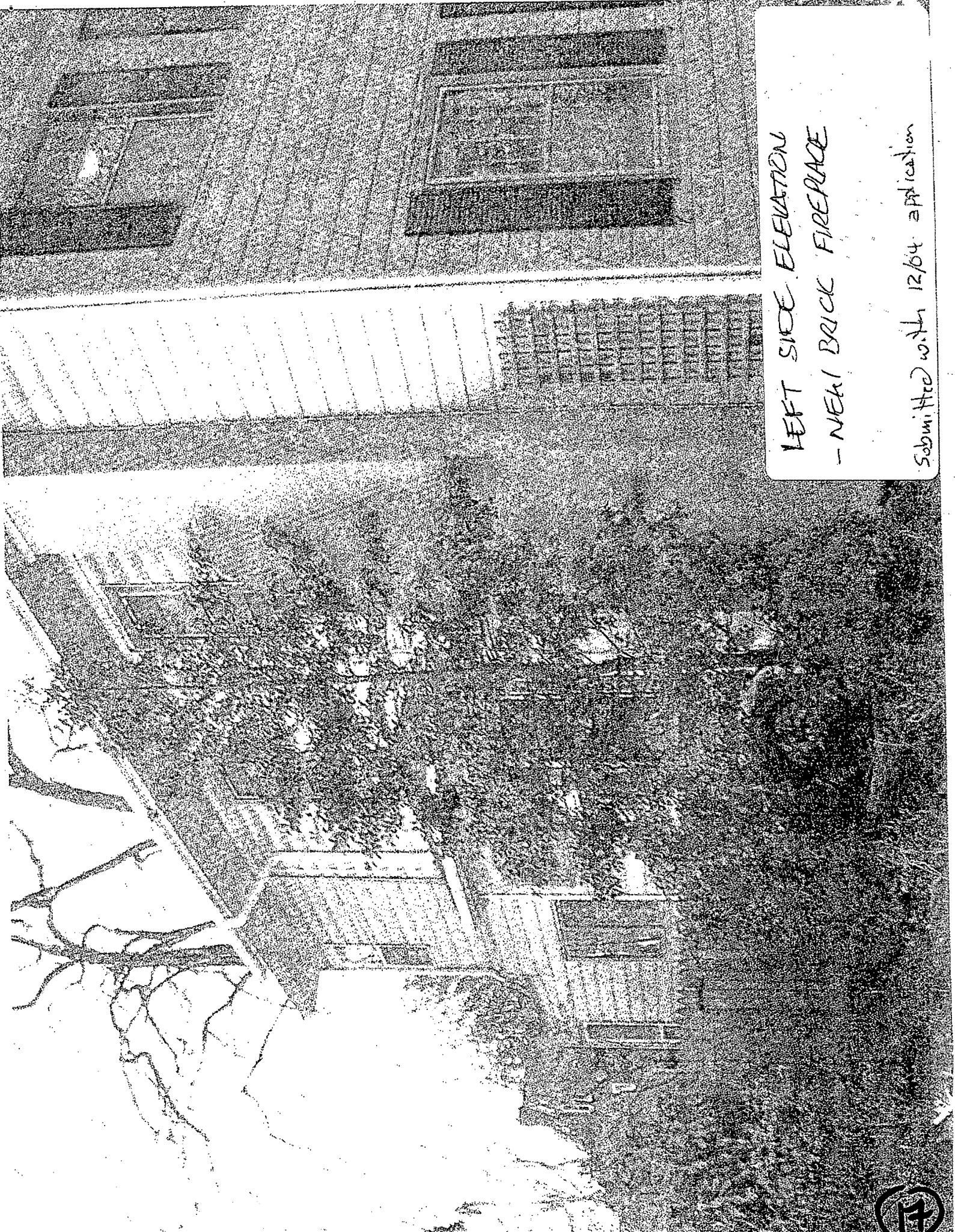
MARY A. TUOHEY  
29 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815

DANN THOMAS S & MELISSA SHACKLETON DANN  
27 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815-4260

RICHARD A & SUSANNE W. LEACH  
26 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815-4261

WILLIAM R & DOOLEY  
31 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815

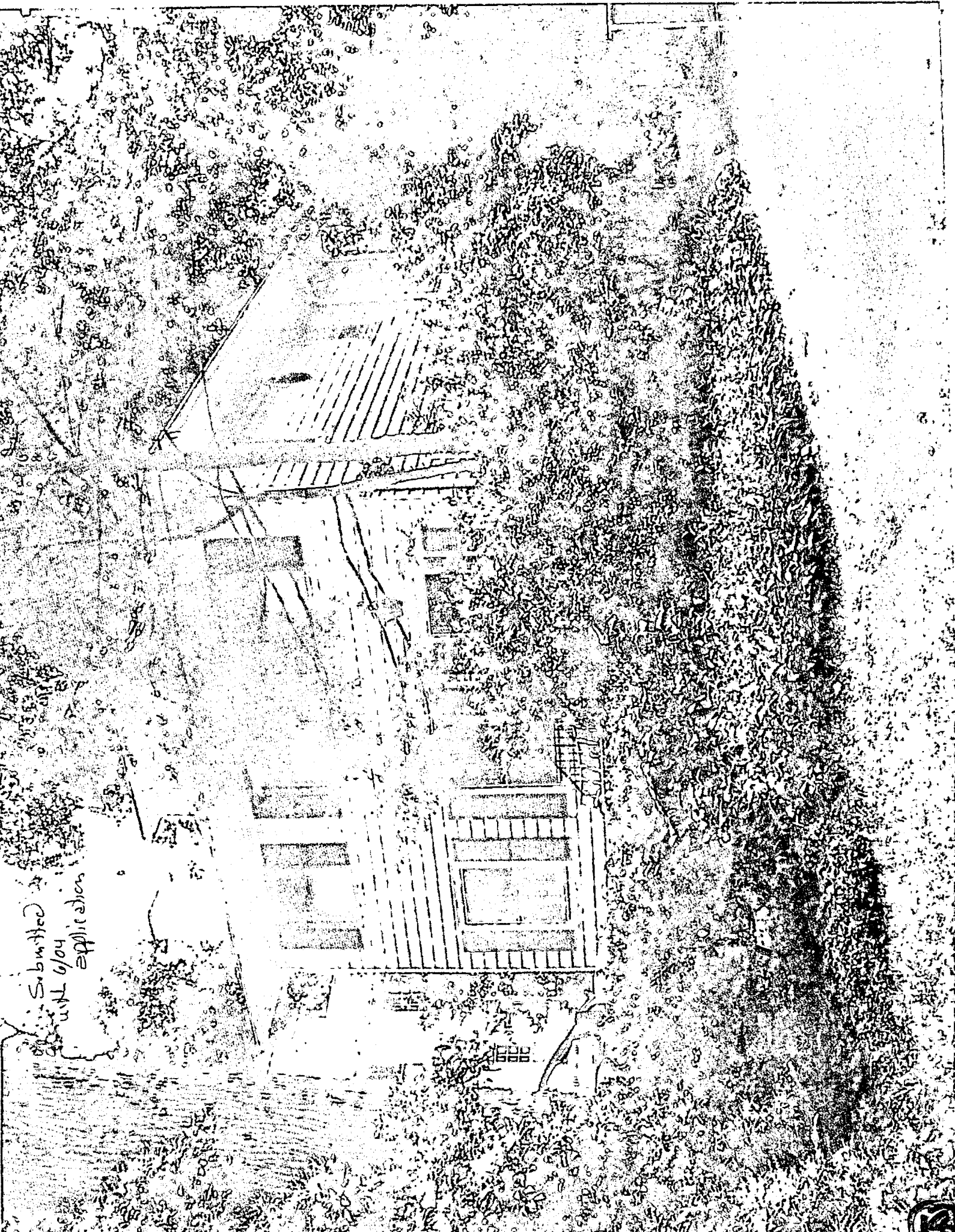
ANTHONY F & MARRA  
30 WEST KIRKE STREET  
CHEVYCHASE, MD. 20815



LEFT SIDE ELEVATION  
- NEAR BRICK FIREPLACE

Submitted with 12/64 application

Submitted  
with clay  
application



FRONT ELEVATION  
- NEW POLICO ROOF  
w/ BRACKETS  
- NEW WROUGHT IRON RAIL  
ON EXISTING BRICK STAIR



50-8-1

18

