

35/13-05L 10 Laurel Parkway
Chevy Chase Historic District




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: June 23, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator 
Historic Preservation

SUBJECT: Historic Area Work Permit #_382849_

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED.**

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Rodney and Jane Joyce

Address: 10 Laurel Parkway, Chevy Chase, MD 20815

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

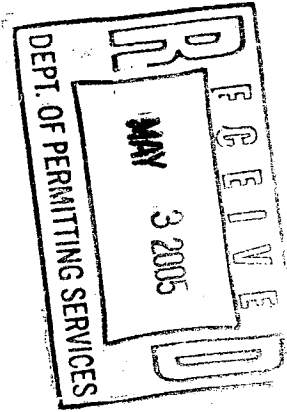
DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Holt Jordan
Daytime Phone No.: 202.737.0451

Tax Account No.:
Name of Property Owner: Rodney i Jane Joyce Daytime Phone No.: 301.718.6347
Address: 10 Laurel Parkway Chevy Chase MD 20815
Contractor: N/A Phone No.: N/A
Contractor Registration No.: N/A
Agent for Owner: Holt Jordan Daytime Phone No.: 202.737.6451
Jordan Honeyman L.A.



LOCATION OF BUILDING/PREMISE
House Number: 10 Street: Laurel Parkway
Town/City: Chevy Chase Nearest Cross Street:
Lot: 18 Block: 42 Subdivision: Chevy Chase section no. 2.
Parcel: plat bk: 2, plat # 106

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
Construct Extend Alter/Renovate A/C Slab Room Addition Perch Deck Shed
Move Install Wreck/Reze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other: driveway
1B. Construction cost estimate: \$ 40,000
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/ADDITIONS

2A. Type of sewage disposal: 01 [X] WSSC 02 [] Septic 03 [] Other:
2B. Type of water supply: 01 [X] WSSC 02 [] Well 03 [] Other:

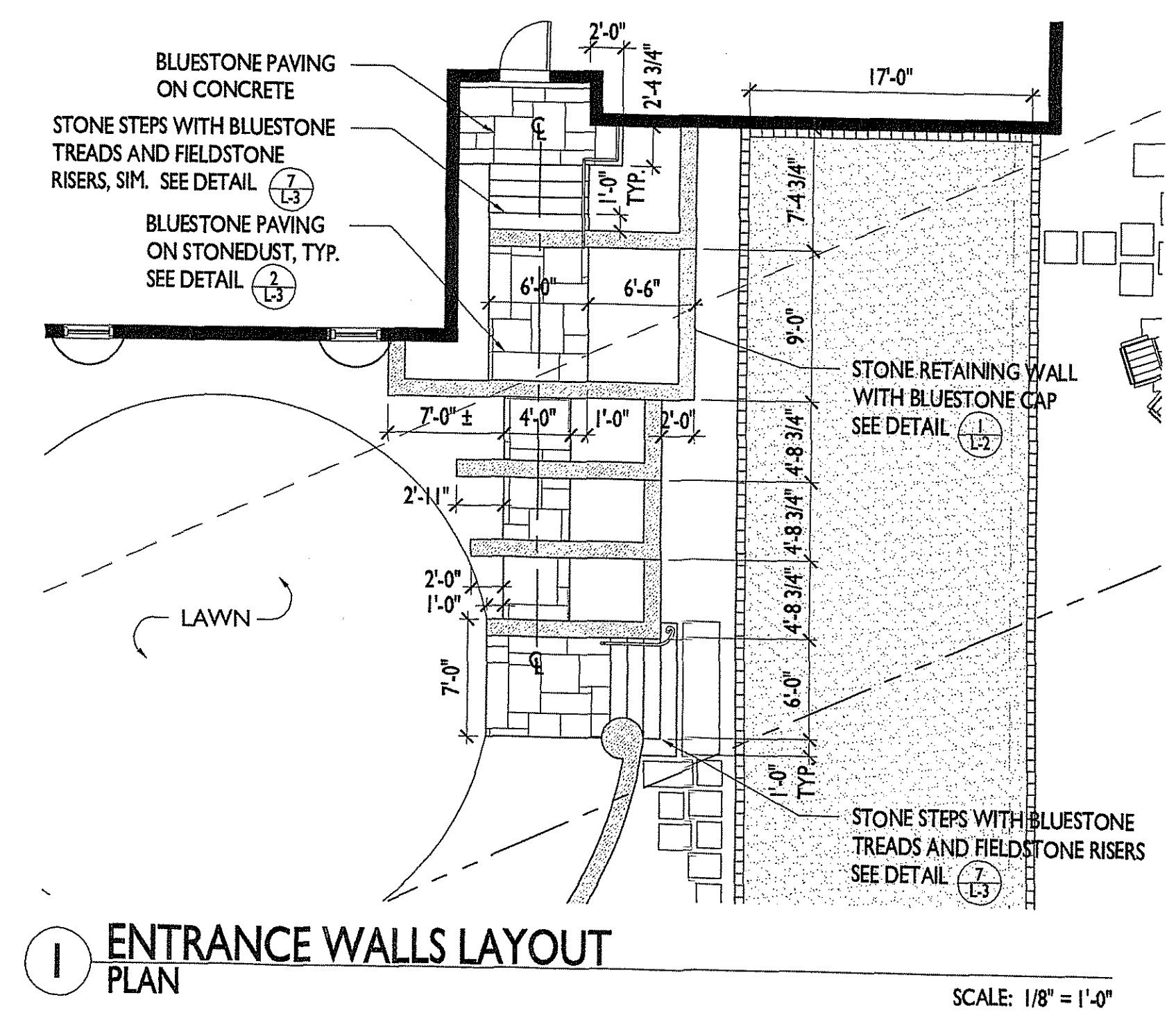
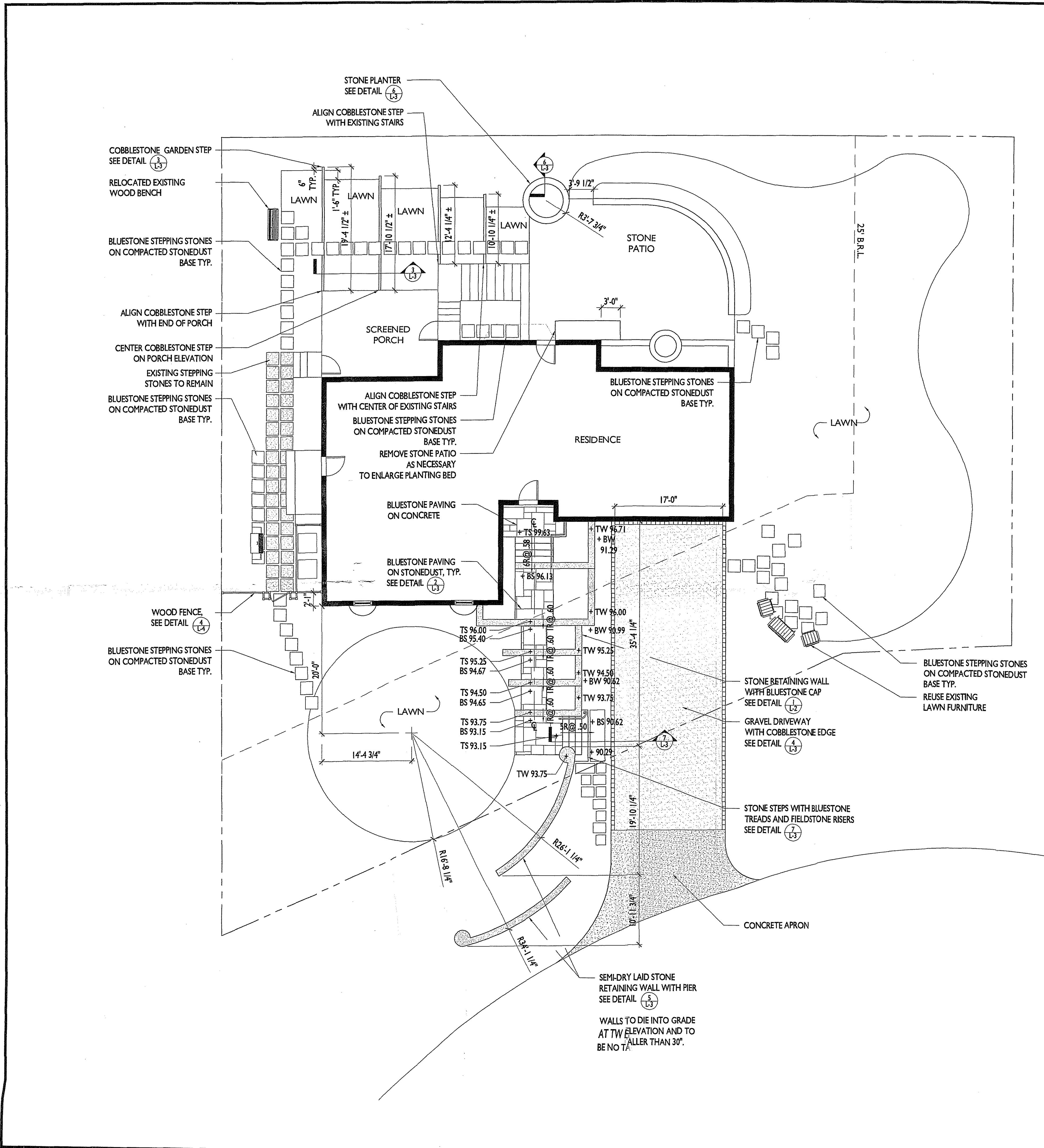
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet 6 inches may - height varies from 30" to 5'-6" tall
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [X] On public right of way/easement
fence - 6'-5" (wood)

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

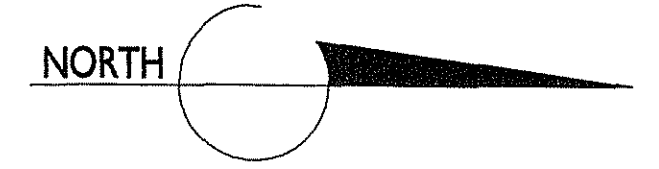
Signature of owner or authorized agent: [Signature] Date: 05/02/05

Approved: [Checkmark] For Chairperson, Historic Preservation Commission
Disapproved: Signature: Julia O'Malley AP Date: 6-23-05
Application/Permit No.: 382849 Date Filed: 5-10-05 Date Issued:



1 ENTRANCE WALLS LAYOUT PLAN

APPROVED
Montgomery County
Historic Preservation Commission
Julian D. Malley
6-23-05



JORDAN HONEYMAN Landscape Architecture, LLC
1001 K Street NW
Suite 800
Washington, DC 20001
202.237.2451
202.237.2452 FAX

Scale: 1/8" = 1'-0"
Date: 04.13.05
Revisions:

Joyce Residence
10 Laurel Parkway
Chevy Chase, MD 20815

Layout &
Grading Plan

L-1

STRUCTURAL INFORMATION AND SPECIFICATIONS BY:

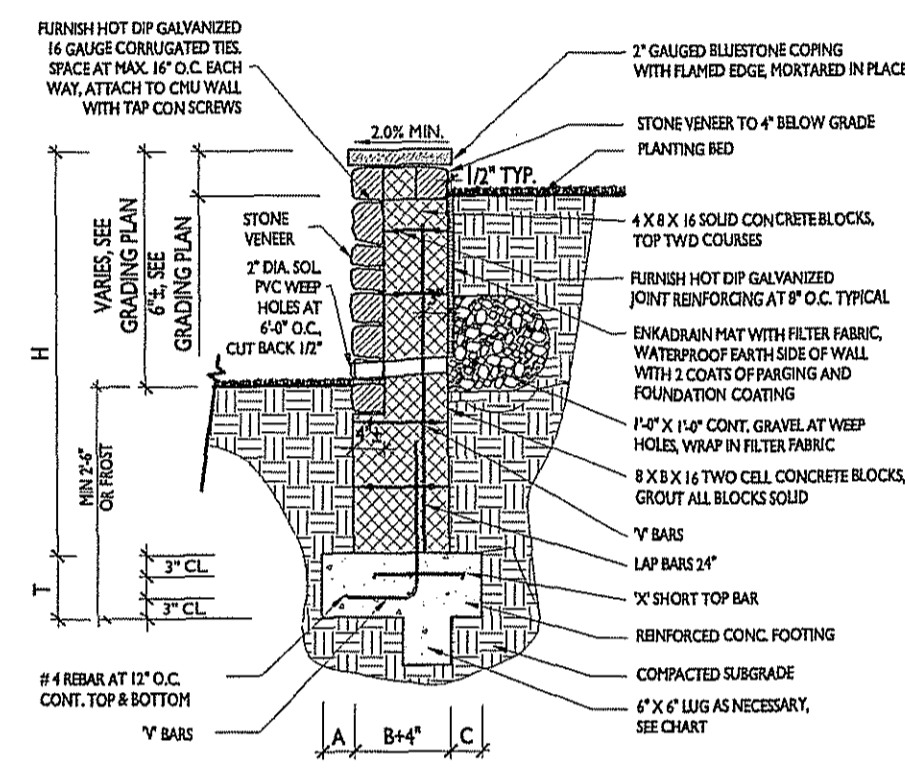
WOLFMAN & ASSOCIATES, P.C.

CONSULTING STRUCTURAL ENGINEERS

8720 Georgia Avenue, Suite #908
Silver Spring, MD 20910

Phone: 301-587-0260
Fax: 301-587-0470

"H"	"A"	"B"	"C"	"T"	"V"	"X"	LLUG
UP TO 2'-8"	10"	8"	6"	1'-0"	—	—	NO
2'-8" TO 4'-0"	10"	8"	1'-3"	1'-0"	#4 @ 24"	#4 @ 24"	NO
4'-1" TO 6'-0"	1'-3"	8"	2'-3"	1'-1"	#5 @ 16"	#4 @ 16"	NO
6'-1" TO 8'-0"	1'-8"	1'-0"	2'-8"	1'-3"	#6 @ 16"	#5 @ 16"	YES
8'-1" TO 9'-6"	2'-0"	1'-0"	3'-8"	1'-3"	#6 @ 8"	#5 @ 16"	YES



STONE RETAINING WALL SECTION SCALE: 1/2" = 1'-0"

STRUCTURAL NOTES

24-01

BUILDING CODE: International Residential Code 2000
CONSTRUCTION SAFETY: Loads greater than the applicable design loads shall not be placed on the structure. Provisions shall be made for adequate bracing and support of adjacent construction, utilities and excavations. Job site safety and construction procedures are the responsibility of the Contractor.
FOUNDATION BEARING: Assumed at 3000 psf. Field verification shall be made by a qualified Soils Engineer prior to placing foundations. If excavation shows soil to be other than assumed, foundations will be subject to redesign. See Structural Fill note.

FOUNDATIONS: All foundations shall be placed on undisturbed soil or certified structural fill. Exterior foundations shall be placed not less than 2'-6" below adjacent finished exterior grade. Utility lines shall not be placed through or below foundations without the Structural Engineer's approval. Maintain 2:1 slope from bottom edge of footing to the bottom of any adjacent excavation. All excavations shall be approved by proper authorities prior to the placing of foundations. See Structural Fill note.

FOUNDATION WALLS: Foundation walls are designed for an assumed lateral earth pressure of 45pcf (equivalent fluid pressure). A geotechnical engineer registered in the local code jurisdiction shall verify that the assumed lateral earth pressure is compatible with actual soil conditions encountered in the field.

BACKFILL: All backfill shall be accomplished using material consisting of bank run gravel, crushed stone and/or material approved by and placed under the direction of a Registered Soils Engineer, from site excavation with optimum moisture content for compacting and shall be free of any debris. The backfill shall be compacted to 95% of maximum density as determined by ASTM D698 Standard Proctor Test. No backfill material shall be placed against walls without provisions for adequate bracing of these walls. See Structural Fill note.

STRUCTURAL FILL: All structural fill shall be placed according to information furnished under backfill notes. Supervision of the placement of compacted structural fill and certification of its proper placement will be by a Registered Soils Engineer. Footings placed on compacted structural fill have been designed for a gross bearing of 3000 psi.

CONCRETE: Shall be mixed and placed in accordance with the current "American Concrete Institute (ACI 318-) Building Code Requirements for Reinforced Concrete". A copy of this code shall be available on the project at all times. All concrete to have a compressive strength (f_c) of 3000 psi, unless otherwise noted. Concrete cylinder tests shall be made by an independent qualified testing agency, retained and paid for by the Contractor, in accordance with ASTM Specification for "Compression Tests of Concrete". A minimum of 4 field cured test cylinders shall be made for each 50 cubic yards of concrete placed; two tested at seven days and two tested at twenty-eight days. Samples must be taken and tested for each days work performed. The testing agency shall be responsible for obtaining samples and for storage and curing of test cylinders. Results of tests to be submitted immediately to the Contractor, Owner and Landscape Architect.

All concrete exposed to the weather (decks, sidewalks, patio, etc.) to have a compressive strength of $f_c = 3500$ psi (6% air entrained, w/c ratio not to exceed .45, minimum cement 564 pounds per cu yd).

REINFORCING STEEL: Shall conform to ASTM Specification A615, Grade 60 for bars and ASTM Specification A185 for welded wire mesh (WWM). Fabrication, including accessories, allowance for concrete protection and minimum area of steel required, shall be in accordance with the ACI Building Code and CRSI Manual of Standard Practice.

MASONRY: All masonry construction shall be in accordance with the Building Code Requirements and Specifications for Masonry Structures ACI 530.1-95/ASCE 6-95. Retaining walls, planter walls and piers to consist entirely of load bearing units conforming to ASTM C90, C145, C55, C62 or C216. Provide a minimum of 24" depth and 16" length of 100% solid masonry below bearing ends of beams and a minimum of 8" depth and 4" continuous length of 100% solid masonry at joist, slab or deck bearing. Except as required above or unless noted "100%Solid" on plans, solid masonry may be load bearing units having a net cross-sectional area of 75% or more of its cross-sectional area (ASTM C-145).

All masonry shall be laid in Type S mortar 1800 psi on the job with full head, collar and bed joints. Fill collar joints solid. All mortar shall be proportioned and mixed at the job site in accordance with Brick Institute of America and ASTM C-270.

Unless otherwise noted, furnish 4-5 gallon buckets of sand per bag of cementitious material. Proportion mortar mix according to ACI 530.1R Table 2.2.2.1, unless otherwise noted. Grout shall conform to ASTM C 476. Wall sections and piers less than 4 square feet in cross-sectional area shall be of solid masonry. All piers and partitions shall be bonded to adjacent masonry walls. All bonding shall be in accordance with ANSI Specifications. Contractor to provide required bracing and support for all masonry work until permanent construction is in place. Provide hot dip galvanized truss type horizontal joint reinforcing at 16" on center vertically in all walls. Lap all reinforcing 6". Control joints shall be spaced per plan or at a maximum spacing 40'-0".

EXISTING CONSTRUCTION: It should be noted that there may be items which were not visible or may not have been brought to the attention of the Structural Engineer but may become apparent at a later date. It is the Contractor's obligation to notify the Structural Engineer of any and all discrepancies and to follow the contract drawings during construction.

Ehler/Bryan, Inc. has done no analysis to verify the adequacy of existing construction on the job site. We assume no responsibility for the structural system beyond the scope of our investigation and calculations. To the best of our knowledge, based on the information furnished by (OWNER), and revealed by our observations at the above referenced project, this structural work is in accordance with standard engineering practice.

SUBMITTALS: Shop drawings for all structural items mentioned above are part of the structural design of this project and must be submitted and reviewed by our office. If a contractor or owner fails to submit shop drawings for our review, Ehler/Bryan, Inc. will not be responsible for the structural design of this project.

The contractor is required to submit shop drawings and calculations (if any) for the following items to the Contractor, Owner and Landscape Architect for review prior to the fabrication or construction of those items:

1. Concrete mix design according to A.C.I. requirements.
2. Mortar mix design, horizontal masonry joint reinforcing.
3. Concrete/Masonry Reinforcing Steel.

The review of shop drawings by the Structural Engineer does not relieve the contractor, subcontractor or fabricator from meeting the requirements of the design documents. A minimum of two weeks shall be allowed for the Structural Engineer to review any submittal.

ORDAN
HONEYMAN
Landscape Architects, LLC
1033 K Street NW
Suite 810
Washington, DC 20001
202.371.0461
202.371.0461 FAX



Scale: 1/8" = 1'-0"
Date: 04.13.05
Revisions:

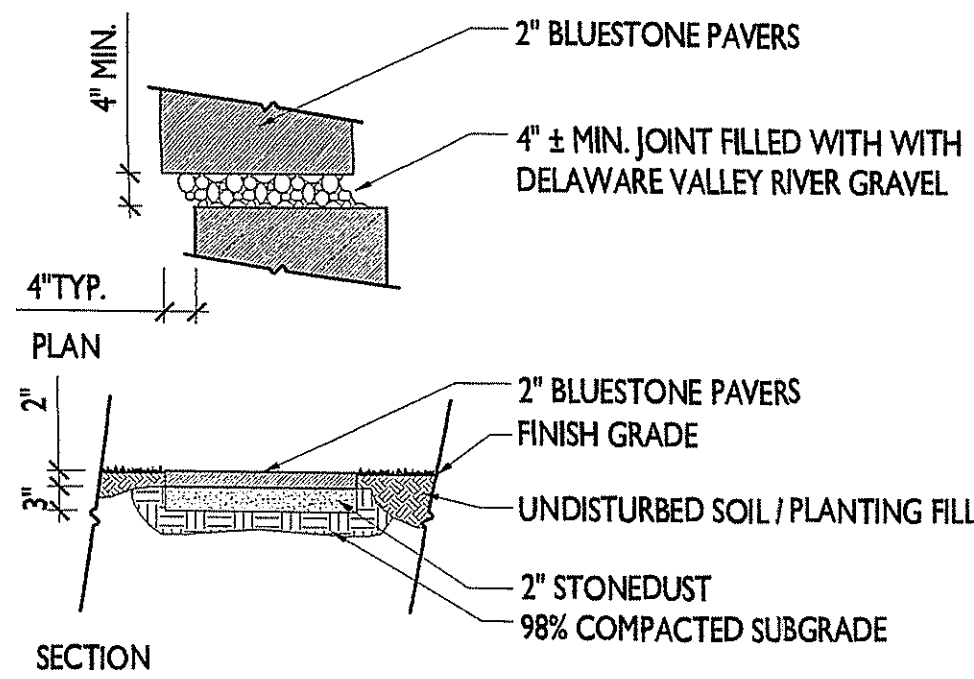
Joyce Residence
10 Laurel Parkway
Chevy Chase, MD 20815

Retaining Wall
Details

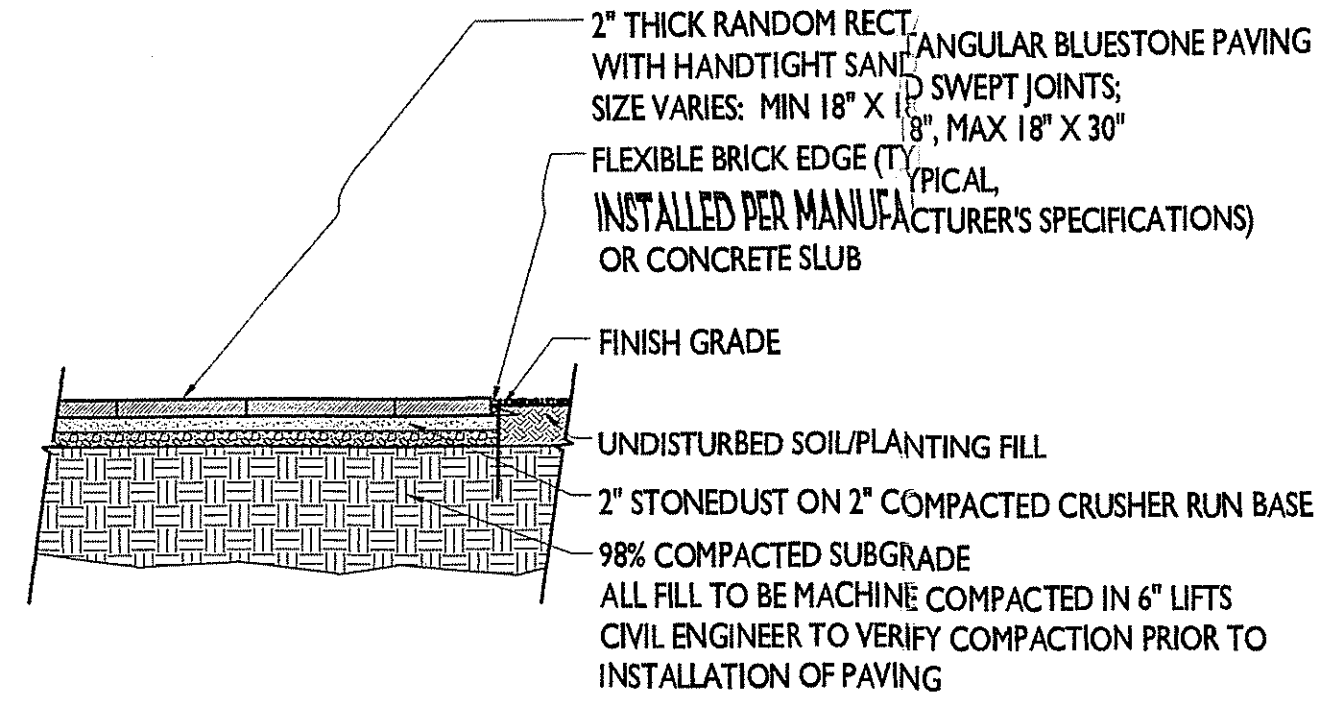
L-2



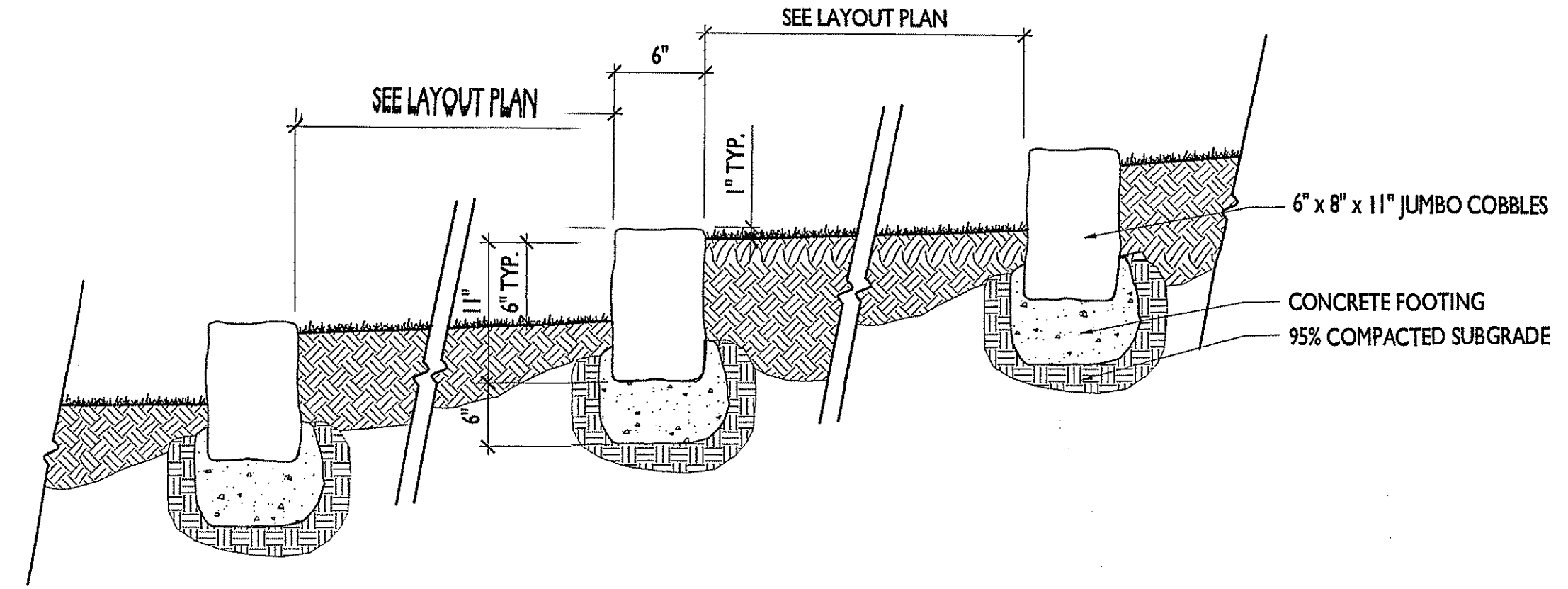
NOTES:
 1. STEPPING STONES IN YARD TO BE 24 X 24, 2" THICK BLUESTONE PAVERS. SEE LAYOUT PLAN FOR PATTERN, LA TO APPROVE LAYOUT IN FIELD.
 2. STEPPING STONES NEAR DRIVEWAY TO BE 18 X 18, 18 X 24, AND 18 X 36, 2" THICK BLUESTONE PAVERS. SEE LAYOUT PLAN FOR PATTERN, LA TO APPROVE LAYOUT IN FIELD.



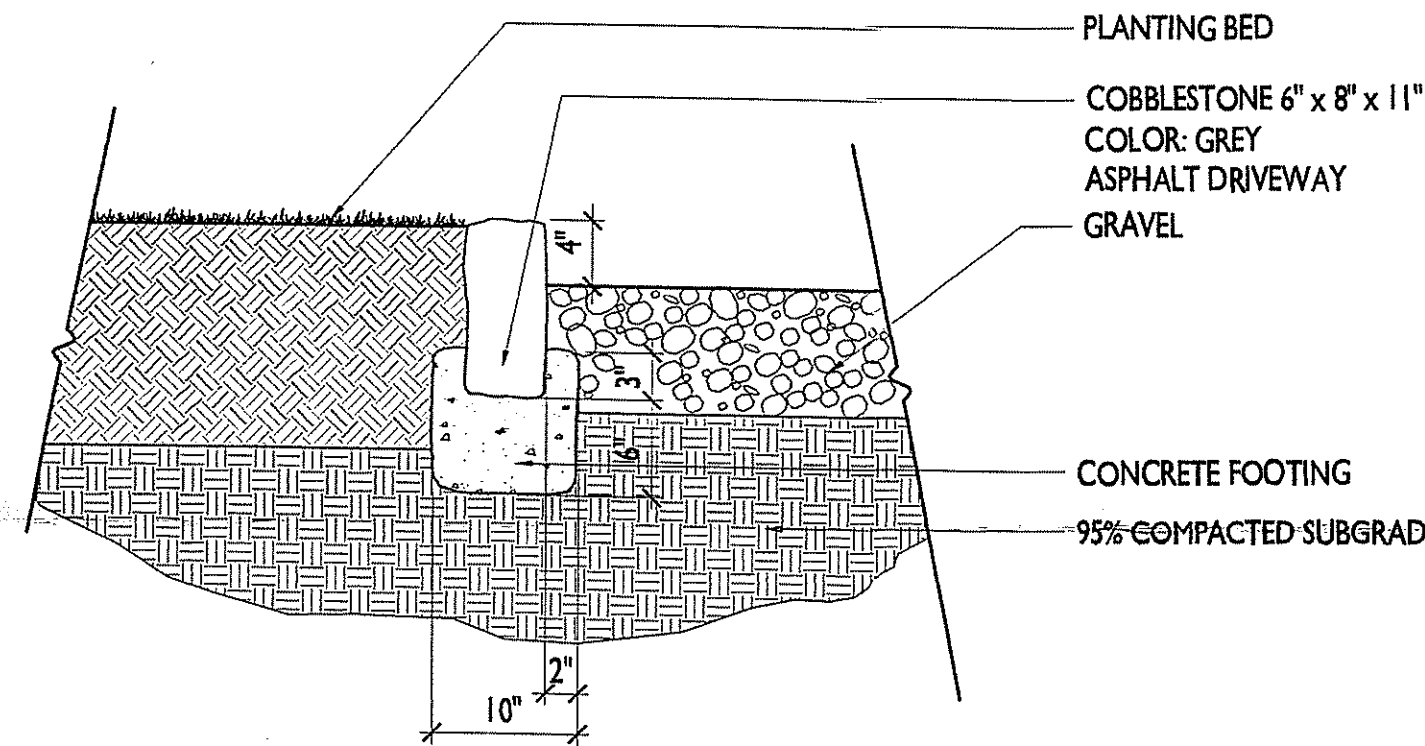
1 BLUESTONE STEPPING STONES SCALE: 1/2" = 1'-0"



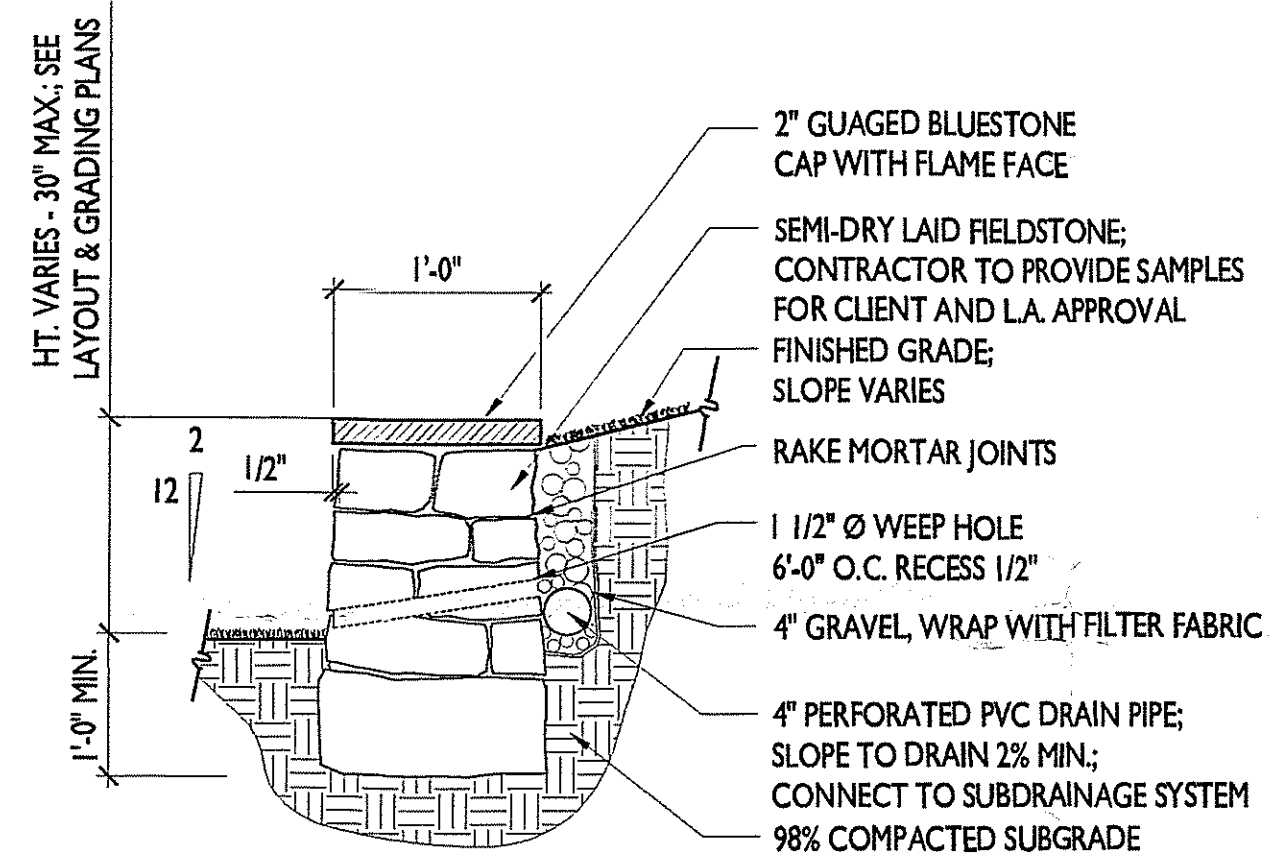
2 BLUESTONE PAVING ON STONEDUST SCALE: 1/2" = 1'-0"



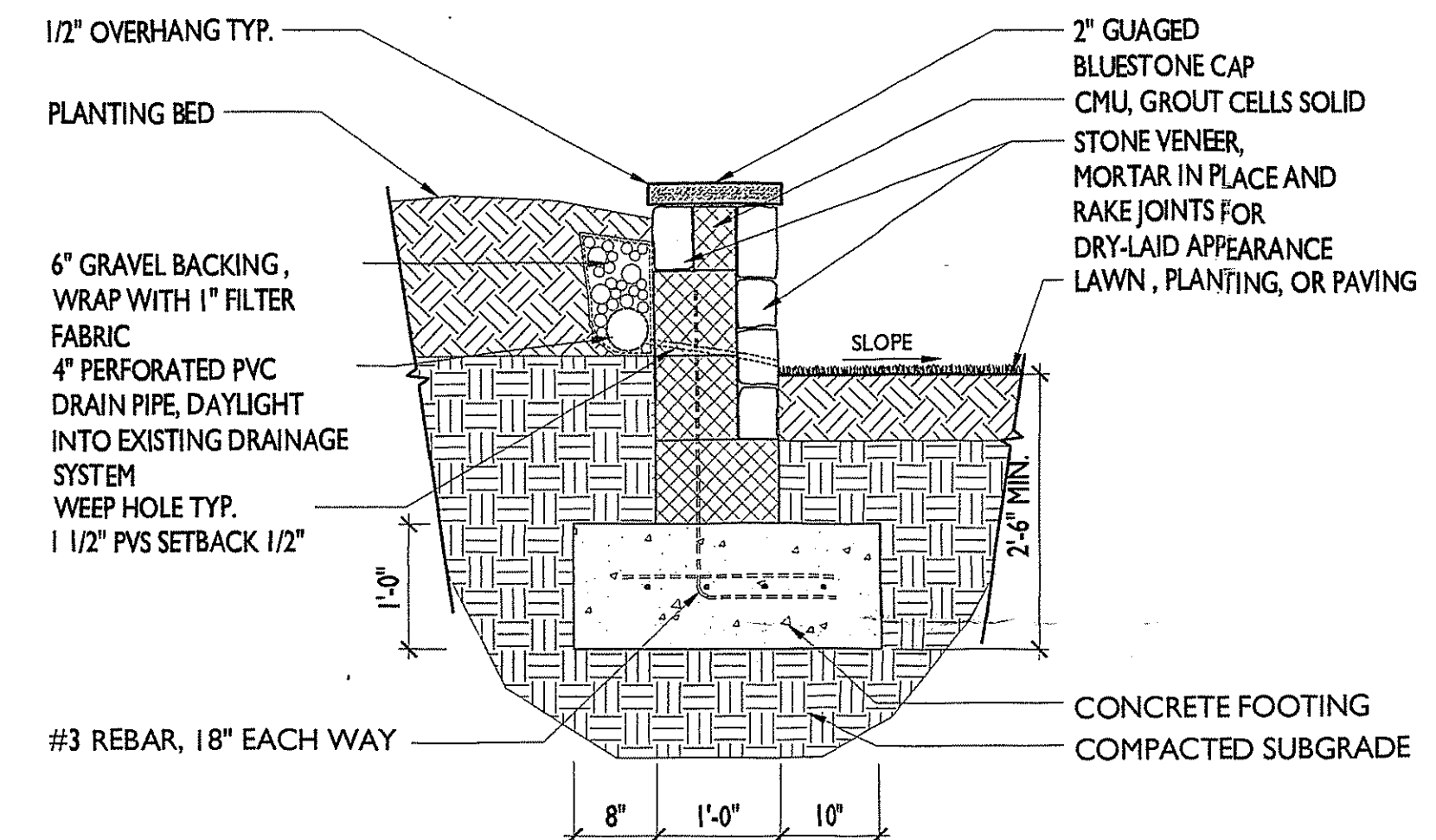
3 COBBLESTONE GARDEN STEPS SCALE: 1" = 1'-0"



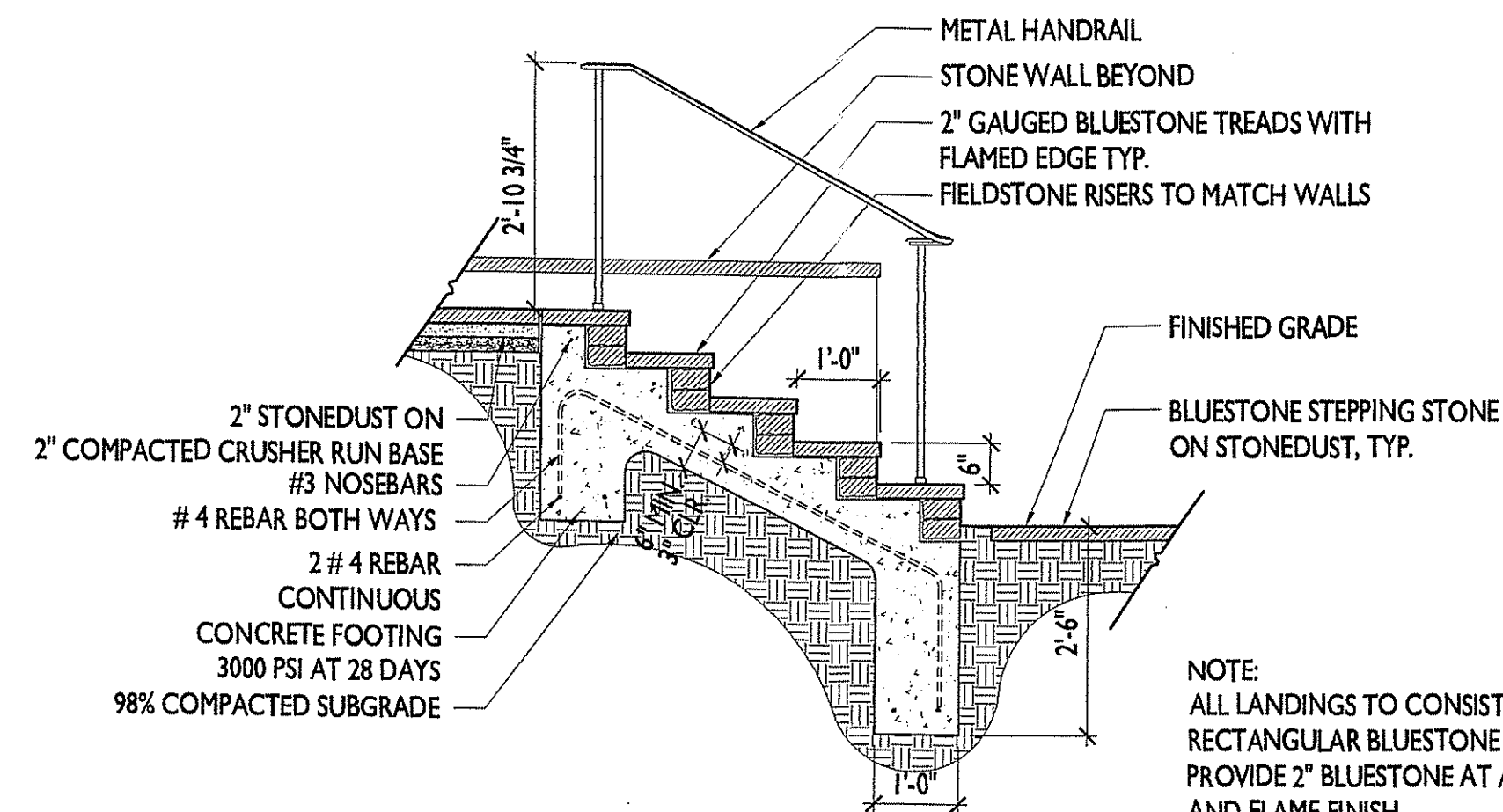
4 COBBLE EDGED GRAVEL DRIVEWAY SECTION SCALE: 1" = 1'-0"



5 SEMI-DRY LAID STONE RETAINING WALL SECTION SCALE: 3/4" = 1'-0"



6 RAISED STONE PLANTER SECTION SCALE: 3/4" = 1'-0"



7 STONE STEPS WITH HANDRAIL SECTION SCALE: 1/2" = 1'-0"

NOTE:
 ALL LANDINGS TO CONSIST OF 1 1/2" RANDOM RECTANGULAR BLUESTONE SET IN STONEDUST. PROVIDE 2" BLUESTONE AT ALL EXPOSED EDGES AND FLAME FINISH.

APPROVED
 Montgomery County
 Historic Preservation Commission

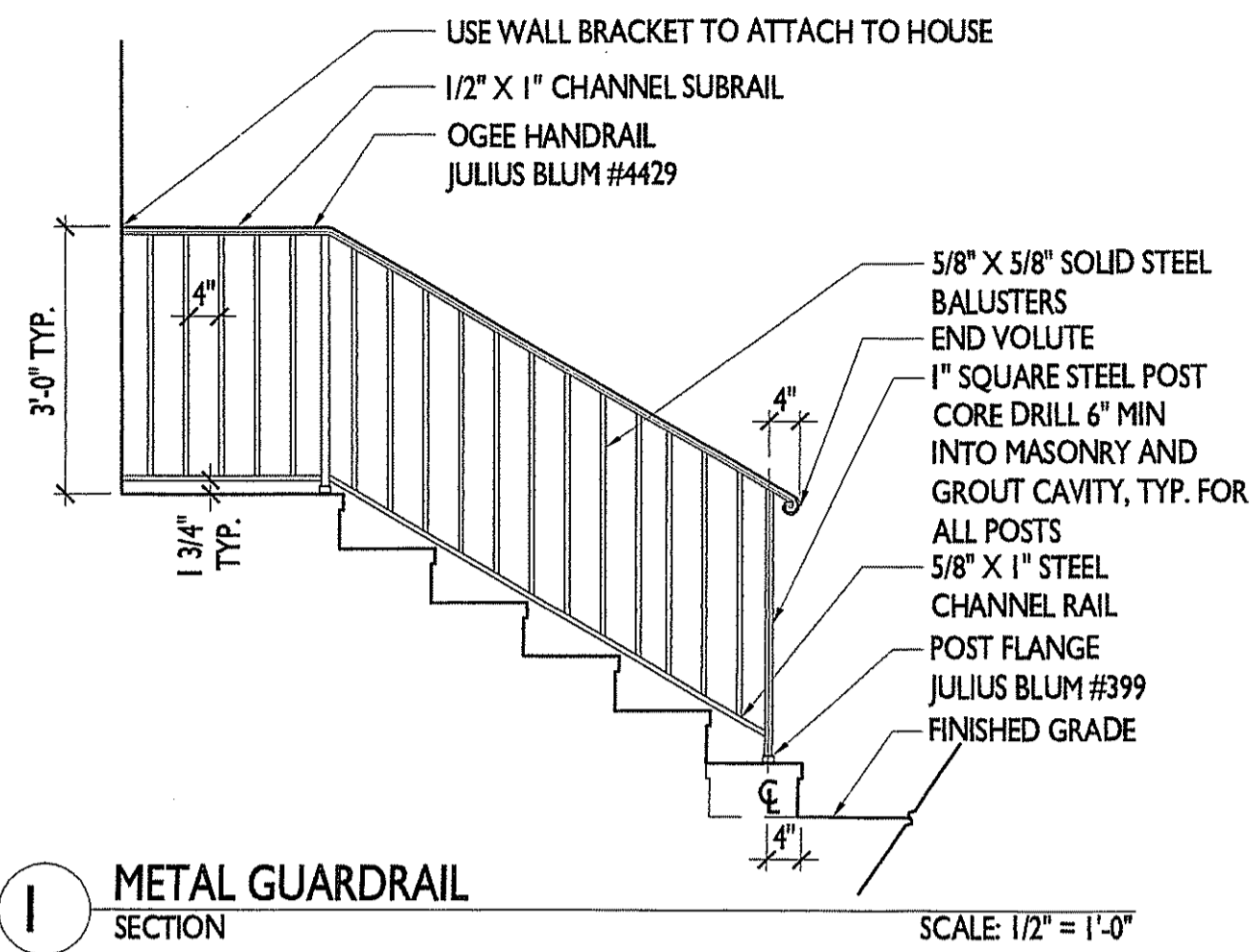
JORDAN
 FONETMAN
 Landscape Architecture, LLC
 1023 K Street NW
 Suite 810
 Washington, DC 20001
 202.777.0451
 202.777.0452 FAX

Scale: 1/8" = 1'-0"
 Date: 04.13.05
 Revisions:

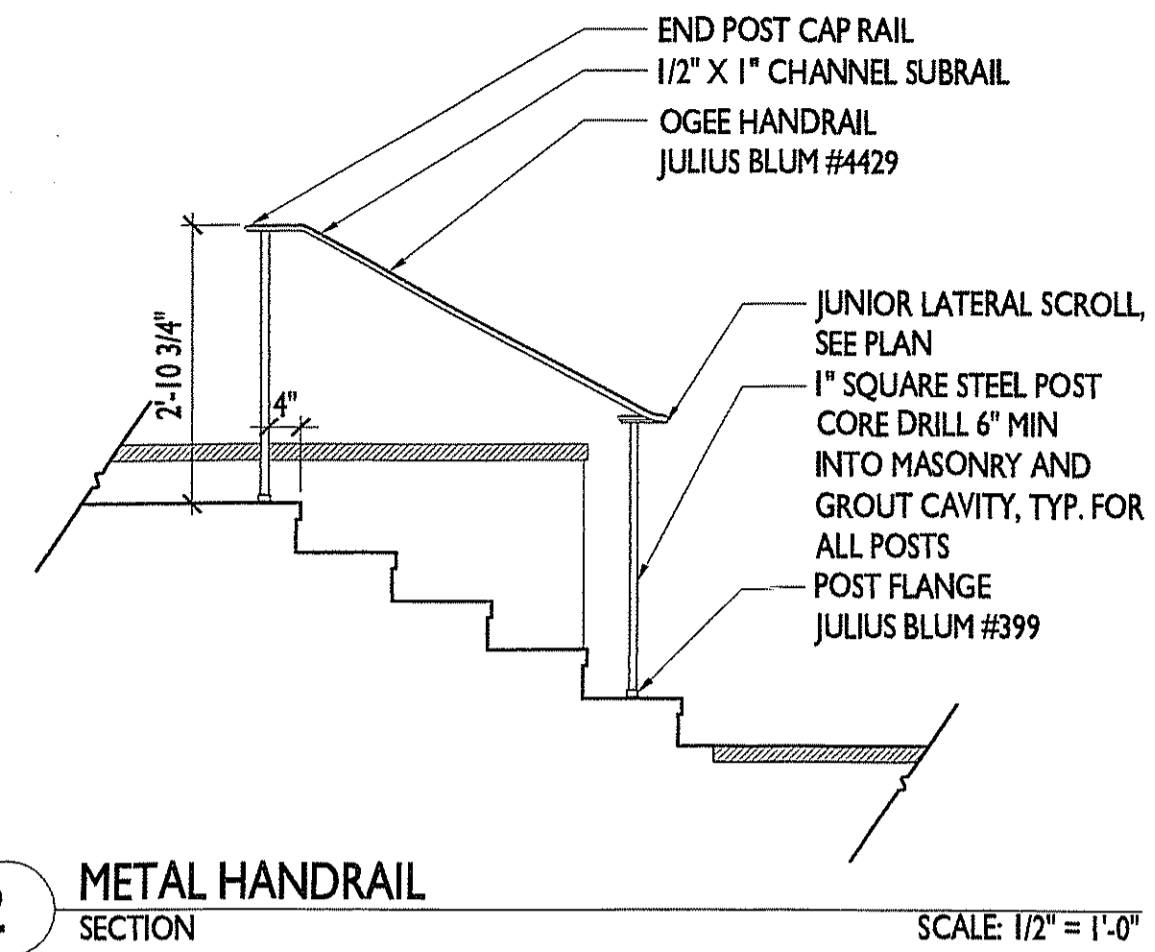
Joyce Residence
 10 Laurel Parkway
 Chevy Chase, MD 20815

Details

L-3



1 METAL GUARDRAIL SECTION SCALE: 1/2" = 1'-0"



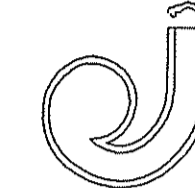
2 METAL HANDRAIL SECTION SCALE: 1/2" = 1'-0"

HANDRAIL/GUARDRAIL PARTS
 NOTE: ALL ARE JULIUS BLUM & CO., INC.
 (800) 526-6293
 WWW.JULIUSBLUM.COM

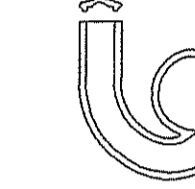
PART No. 4429
 HANDRAIL



PART No. 4429-N
 END POST CAP RAIL



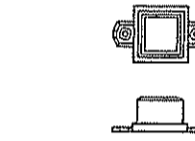
PART No. 4429-JL
 LEFT JUNIOR LATERAL



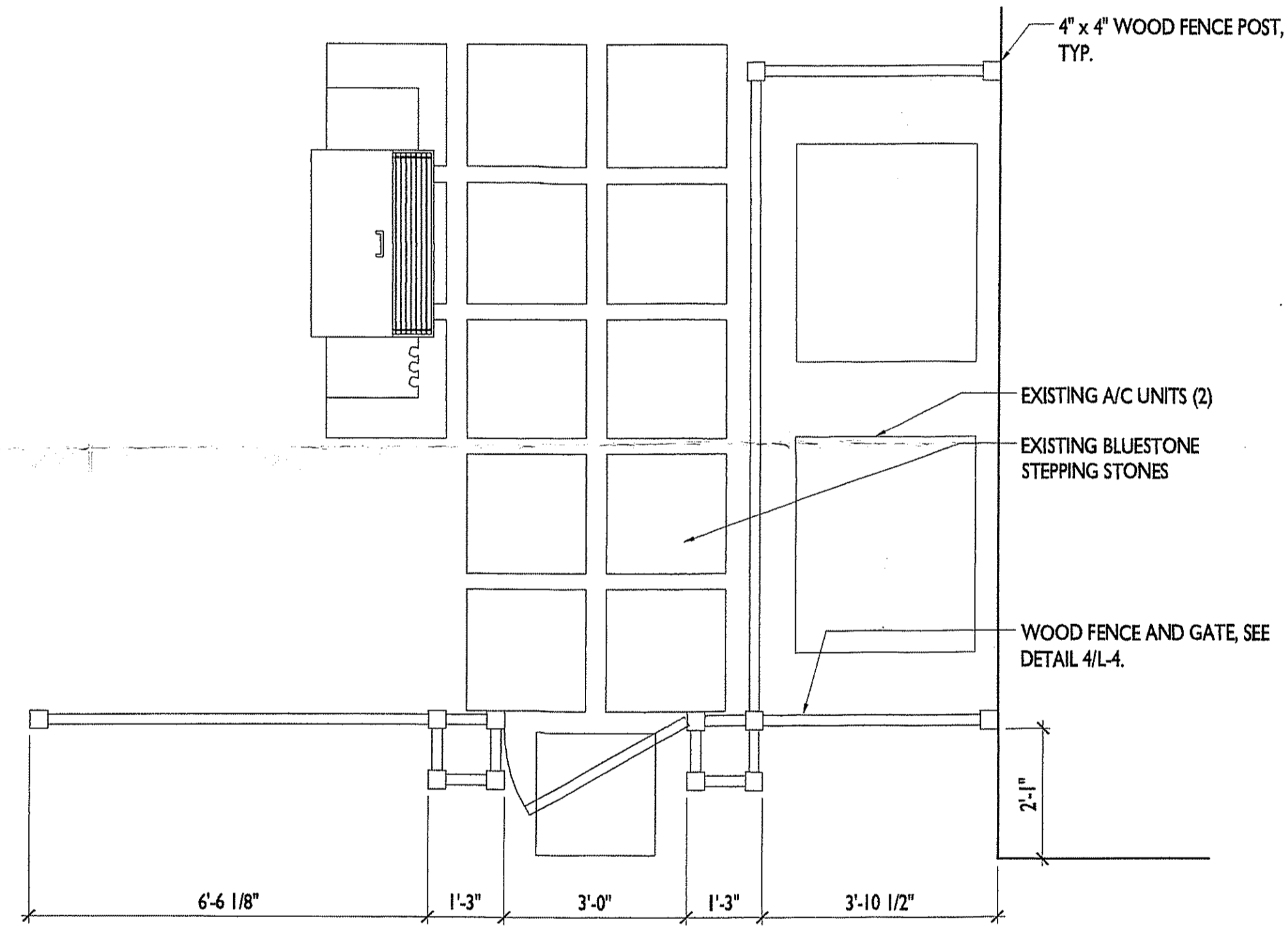
PART No. 4429-JR
 RIGHT JUNIOR LATERAL



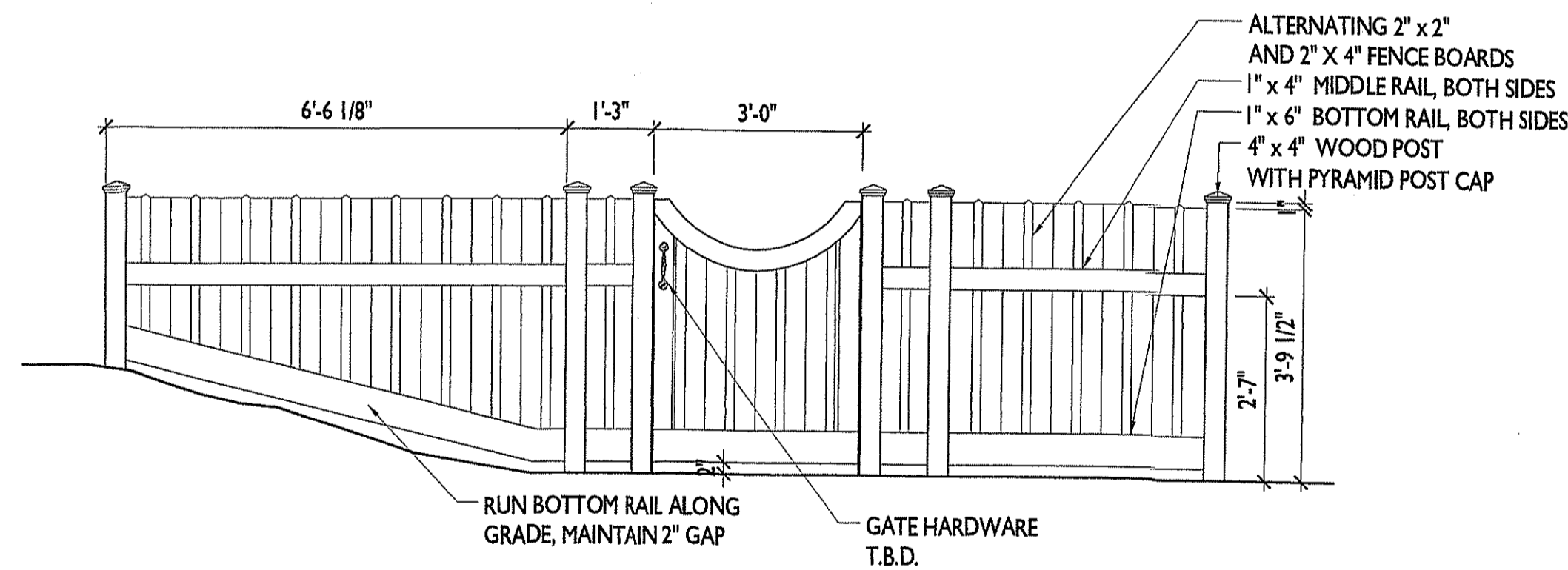
PART No. 4429-V
 END VOLUTE



PART No. 399
 POST FLANGE



3 WOOD FENCE/GATE LAYOUT PLAN SCALE: 1/2" = 1'-0"



4 WOOD FENCE ELEVATION SCALE: 1/2" = 1'-0"

JORDAN HONEYMAN Landscape Architecture, LLC
 1103 K Street NW
 Suite 808
 Washington, DC 20001
 303.727.6451
 703.727.6453 FAX



Scale: 1/8" = 1'-0"
 Date: 04.13.05
 Revisions:

Joyce Residence
 10 Laurel Parkway
 Chevy Chase, MD 20815

Details

L-4

APPROVED
 Montgomery County
 Historic Preservation Commission

CASE NO. A-4939(a)
Appeal of Mr. and Mrs. Rodney Joyce
(Hearing held June 13, 2005)

DECISION OF THE BOARD OF MANAGERS

This proceeding involves an application for a variance pursuant to Section 8-12(b) of the Chevy Chase Village Code. The applicants propose to replace the existing brick retaining wall in the front yard of their property with new stone retaining walls with a maximum height of 5 feet 6 inches between the front lot line and the front building restriction line.

The application seeks a variance from the requirements of Section 8-22(d) which provides: "No person shall construct any fence or wall at any location between the front lot line and the front building restriction line which exceeds forty-eight (48) inches in height."

The subject property is known as Lot 18, Block 42, in the Chevy Chase, Section 2 subdivision, also known as 10 Laurel Parkway, Chevy Chase, Maryland 20815, in the R-60 zone. Notice of the hearing in this matter was posted at the Village Hall, posted at the property and mailed to all abutting property owners on June 1, 2005.

This case was heard in conjunction with Case A-4939(b) in which the applicants requested permission to replace and widen the existing 16-foot wide concrete driveway with a 17-foot wide pea gravel driveway with a cobblestone edge from the garage to

the edge of the concrete apron, and to replace the 42-foot wide concrete driveway apron with an apron that would be 36 feet wide.

The applicants submitted an application, a location drawing showing existing improvements, site plans showing the location of the existing and proposed retaining walls and driveway, and correspondence from the applicants and their landscape architects explaining the nature of and reasons for the applications. Photographs of existing conditions, taken by Village staff, were submitted for the record.

Mr. Joyce appeared along with his landscape architects, Holt Jordan and Trish Rice of Jordan Honeyman Landscape Architecture, LLC. Mr. Joyce explained that the applicants are renovating their front yard. He testified that most of the new retaining wall will be 48 inches or less in height. However, a 10-foot 2-inch long section of the retaining wall would exceed the 48-inch height limit. Approximately one-half of this section would be approximately 4 ½ feet in height and the remainder would be approximately 5 feet high. Mr. Joyce testified that the existing retaining wall exceeds 48 inches in height for 12 linear feet. He explained that the amount of height in excess of 48 inches would be reduced both vertically and horizontally.

Mr. Joyce testified that the applicants' property is unusual in several respects. He pointed out that the property has an unusual topography that requires the use of retaining

walls for the driveway. Also, the front property line along Laurel Parkway is curved. Mr. Joyce asserted that the regulations limiting the height of fences and walls in the front yard does not serve the usual purpose of maintaining open vistas and a consistent streetscape in the case of the applicants' property because there are no other houses on the same block that directly face Laurel Parkway. He stated that the Chevy Chase Country Club is directly to the north of the applicants' property. A park is located across Laurel Parkway from the applicants' property. The house to the south of the applicants' property is 80 to 100 feet away from the applicants' house and is oriented at a 45 degree angle from the applicants' house. Mr. Joyce asserted that, as a result of the conditions he described, the goal of preserving a uniform streetscape along Laurel Parkway does not apply. He testified that because the terrain slopes in two directions in front of the applicants' house, the applicants do not have much choice in the size and length of the retaining wall.

Holt Jordan, one of the applicants' landscape architects, testified that the existing retaining wall is failing. In designing the new retaining walls, he tried to move the wall away from the driveway to allow space for landscaping. The new retaining wall would be stepped down so as to be lower than the existing retaining wall.

No correspondence or testimony in opposition to the application was presented.

Based upon the testimony and evidence of record, the Board makes the following findings in connection with this matter.

1. The subject property is an oddly shaped lot with a curved front line.
2. The subject property has an unusual topography requiring the use of retaining walls.
3. To the north of the applicants' house is the Chevy Chase Country Club.
4. A park is located across Laurel Parkway from the applicants' property.
5. The house to the south of the applicants' property is 80 to 100 feet away from the applicants' house and is oriented at a 45 degree angle from the applicants' house.
6. The reasons for limiting the height of walls in front yards are less applicable under the unusual circumstances of the applicants' property.
7. There is an existing brick retaining wall along the driveway.
8. The proposed retaining walls would be shorter and the excess height would extend fewer linear feet than the existing retaining wall.

9. The new retaining walls would be set back from the driveway to allow more space for landscaping than currently exists.

10. The foregoing findings lead to the conclusion that the proposed retaining walls would not materially alter any views, sight lines or the character of the neighborhood.

11. The proposed retaining walls would not violate any covenant applicable to the subject property.

12. The proposed retaining walls would not impair any necessary sight lines or visibility at the intersection of the applicants' driveway and Laurel Parkway.

13. The proposed retaining walls would not block the flow of light or air to any other property.

14. No objections to the proposed retaining walls have been raised.

Based upon the foregoing findings, the Board concludes that:

1. The proposed variance is required because special conditions exist whereby the enforcement of the requirements of the Village Building Code would result in unwarranted hardship and injustice to the owners;

2. The proposed variance will most nearly accomplish the intent and purpose of the requirements of the Village Building Code; and

3. The proposed construction would not violate any covenants applicable to the subject property.

Accordingly, the requested variance from the requirement that "no person shall construct any fence or wall at any location between the front lot line and the front building restriction line which exceeds forty-eight (48) inches in height", is granted, provided however, that:

1. The retaining walls described above shall be constructed and maintained in accordance with the plans and specifications submitted for the record in this matter; and

2. The construction shall be completed on or before the 13th day of June, 2006.

The Chevy Chase Village Board of Managers hereby adopts the following Resolution:

BE IT RESOLVED by the Board of Managers of Chevy Chase Village that the decision stated above be adopted as the decision as required by Section 8-12(d) of the Chevy Chase Village Code, and the Village Manager be and he is hereby authorized and directed to issue a building permit for the construction of the retaining walls in accordance with this decision.

The foregoing Resolution was adopted by the Chevy Chase Village Board of Managers with the following members voting in favor: George L. Kinter, Douglas B. Kamerow, Peter Yeo, David Winstead, Betsy Stephens, Gail Feldman and Susie Eig.

I HEREBY CERTIFY, that the foregoing Decision and Resolution were approved and adopted by the Chevy Chase Village Board of Managers on the _____ day of June, 2005.

Susie Eig, Secretary
Board of Managers

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CASE NO. A-4939(b)
Appeal of Mr. and Mrs. Rodney Joyce
(Hearing held June 13, 2005)

DECISION OF THE BOARD OF MANAGERS

This proceeding is an application for a special permit pursuant to Section 8-12(b) of the Chevy Chase Village Code. The applicants propose to replace an existing driveway with a 17-foot wide pea gravel driveway with cobblestone edging and to replace the existing 42-foot wide apron with a 36-foot wide apron. The application is filed pursuant to the requirements of Section 8-26 which provides: "Any driveway on private property may not exceed 15 feet in width without a special permit from the Board of Managers, except that the apron in front of a two car garage may extend the full width of the two car garage, provided that such apron does not exceed 20 feet in length."

The subject property is known as Lot 18, Block 42, in the Chevy Chase, Section 2 subdivision, also known as 10 Laurel Parkway, Chevy Chase, Maryland 20815, in the R-60 zone. Notice was mailed to all abutting property owners, posted at the Village Hall and posted on the property on June 1, 2005.

This case was heard in conjunction with Case A-4939(a) in which the applicants requested permission to replace the existing brick retaining wall in the front yard of their property with new stone retaining walls with a maximum height of 5 feet 6 inches between the front lot line and the front building restriction line.

The applicants submitted an application, a location drawing showing existing improvements, site plans showing the location of the existing and proposed retaining walls and driveway, and correspondence from the applicants and their landscape architects explaining the nature of and reasons for the applications. Photographs of existing conditions, taken by Village staff, were submitted for the record.

Mr. Joyce appeared at the hearing along with his landscape architects, Holt Jordan and Trish Rice, and testified in support of the application. Mr. Joyce explained the applicants currently have a 16-foot wide concrete driveway. They propose to install a 17-foot wide pea gravel driveway. The driveway would be framed by a row of 6-inch wide cobblestones on each side. He stated that the concrete apron is currently 42 feet wide at the curb. The applicants propose to install a new apron that would be 36 feet wide at the curb. Mr. Joyce testified that there is a lack of safe parking on Laurel Parkway. Accordingly, the applicants must park all of their vehicles on their property. The applicants own three cars. The extra width of the driveway would allow the applicants to park their third car in the driveway and permit the other cars to access the garage or park next to the third car without moving the third car out of the driveway. He emphasized that the curvature of Laurel Parkway in front of the applicants' property makes parking on the street less safe. Mr. Joyce asserted that the driveway is below the adjacent grade so

that the higher elevation of the front yard screens the view of the driveway. In addition, nearby properties would not be impacted by a wide driveway because the property to the north is part of the Chevy Chase Country Club, the property across the street is a park and the house on the property to the south is located 80 to 100 feet away from the applicants' house and is oriented at a 45 degree angle from the applicants' house. He added that there are no sidewalks along Laurel Parkway and, therefore, the extra width of the apron and driveway provide a place where pedestrians can step out of the street to avoid vehicular traffic. Finally, Mr. Joyce asserted that the proposed new driveway and apron would be an aesthetic improvement over existing conditions.

No testimony or evidence in opposition to the application was submitted.

Based upon the testimony and evidence of record, the Board finds that the special permit is authorized by the Village building regulations; will not adversely affect the public health, safety and welfare nor the reasonable use of adjoining properties; will not violate any Village covenants; and can be granted without substantial impairment of the purpose and intent of the Chevy Chase Village building regulations, provided however, that the applicants comply with the conditions set forth in the following paragraph.

Accordingly, the requested special permit to construct a driveway and apron in excess of fifteen (15) feet in width is granted subject to the following conditions:

(1) The construction shall be in accordance with the plans and specifications submitted for the record of this matter; and

(2) The applicants shall complete construction of the driveway and apron on or before the 13th day of June, 2006.

The Chevy Chase Village Board of Managers hereby adopts the following Resolution:

BE IT RESOLVED by the Board of Managers of Chevy Chase Village that the Decision stated above be adopted as the decision as required by Section 8-12 (d) of the Chevy Chase Village Code, and the Village Manager be and he is hereby authorized and directed to issue a building permit for the construction of the driveway and apron, provided the same complies with all other applicable codes.

The foregoing Resolution was adopted by the Chevy Chase Village Board of Managers with the following members voting in favor: George L. Kinter, Douglas B. Kamerow, Peter Yeo, David Winstead, Betsy Stephens, Gail Feldman and Susie Eig.

I HEREBY CERTIFY that the foregoing Decision and Resolution were approved and adopted by the Chevy Chase Village Board of Managers on this ____ day of June, 2005.

Susie Eig, Secretary
Board of Managers

Fothergill, Anne

Subject: FW: 10 Laurel Parkway

-----Original Message-----

From: Trish Atkins [mailto:trish@jordanhoneyman.com]

Sent: Wednesday, June 22, 2005 10:31 AM

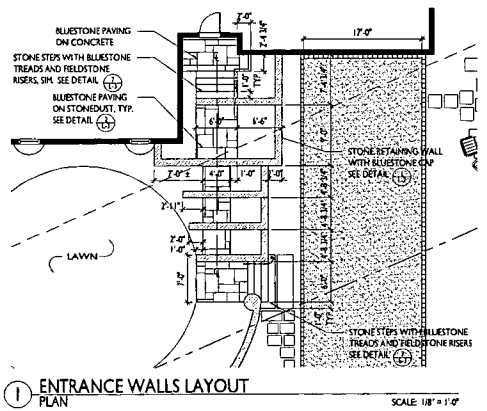
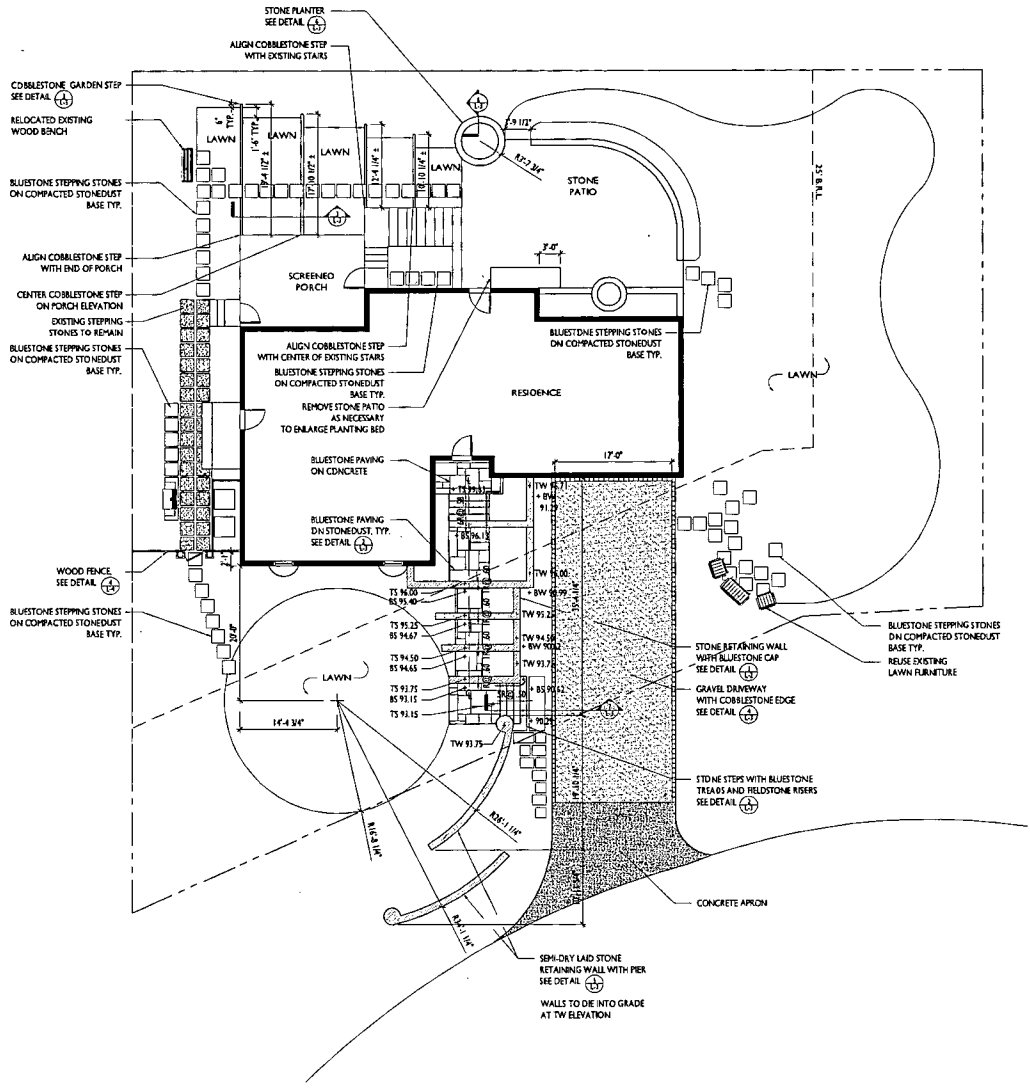
To: Fothergill, Anne

Subject: RE: 10 Laurel Parkway

We had originally relied on the plat for the driveway width so it appears on your plan as 19' 10 3/4" (after a 2' requested widening), after confirming this in the field we discovered that the existing driveway is 16' wide. We proposed to CCV to widen the gravel portion to 17' with a 6" cobble border on each side, therefore a total width of 18' down the length of the driveway. That was the only change.

Thanks,
Trish

10 Laurel Pkwy - driveway ^{2 feet} narrower
than shown on previous plan



1 ENTRANCE WALLS LAYOUT PLAN SCALE: 1/8" = 1'-0"



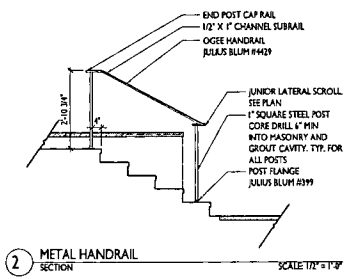
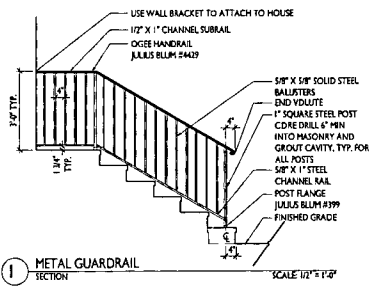
JORDAN HORNE PLANS
LANDSCAPE ARCHITECTURE
1015 E. BROADWAY
ANNAPOLIS, MD 21403
TEL: 410.291.1111
WWW.JORDANHORNEPLANS.COM

Scale: 1/8" = 1'-0"
DATE: 04.11.15
PROJECT:

Joyce Residence
10 Laurel Parkway
Chevy Chase, MD 20815

Layout & Grading Plan





HANDRAIL/GUARDRAIL PARTS
 NDTE: ALL ARE JULIUS BLUM & CO., INC.
 (800) 526-4293
 WWW.JULIUSBLUM.COM

PART No. 4429
 HANDRAIL



PART No. 4429-N
 END POST CAP RAIL



PART No. 4429-JL
 LEFT JUNIOR LATERAL



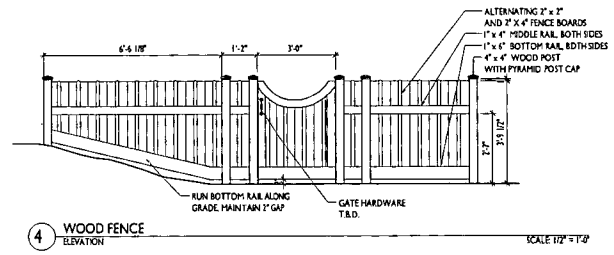
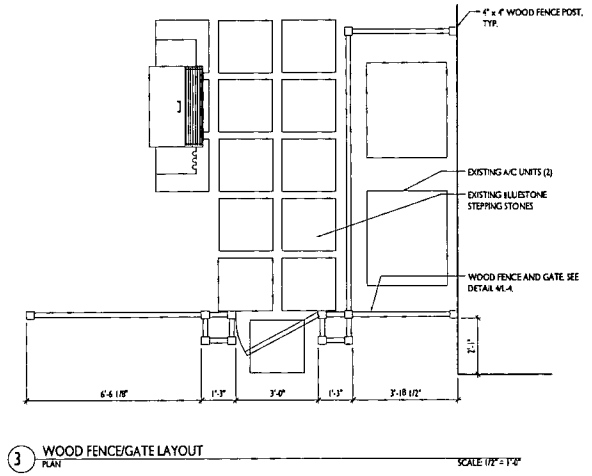
PART No. 4429-JR
 RIGHT JUNIOR LATERAL



PART No. 4429-V
 END VOLUTE



PART No. 399
 POST FLANGE



JORDAN
 HORTON
 ARCHITECTS
 1000 N. WISCONSIN
 SUITE 200
 WASHINGTON, DC 20004
 (202) 775-1111

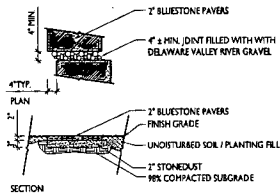
Scale: 1/8" = 1'-0"
 Date: 04.13.05
 Revision:

Joyce Residence
 10 Laurel Parkway
 Chevy Chase, MD 20815

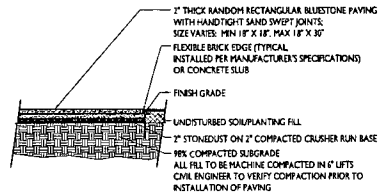
Details

L-4

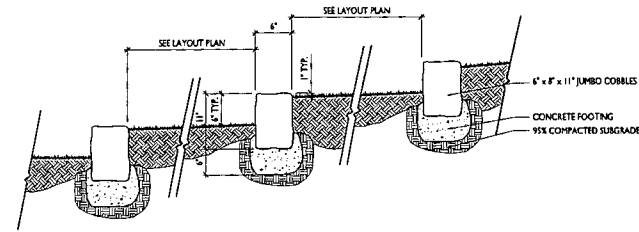
- NOTES:
 1. STEPPING STONES IN YARD TO BE 24 X 24, 2" THICK BLUESTONE PAVERS. SEE LAYOUT PLAN FOR PATTERN. LA TO APPROVE LAYOUT IN FIELD.
 2. STEPPING STONES NEAR DRIVEWAY TO BE 18 X 18, 18 X 24, AND 18 X 36, 2" THICK BLUESTONE PAVERS. SEE LAYOUT PLAN FOR PATTERN. LA TO APPROVE LAYOUT IN FIELD.



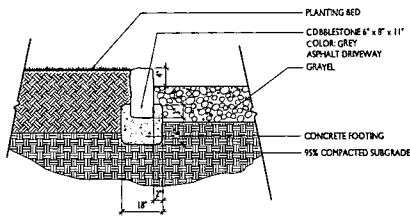
1 BLUESTONE STEPPING STONES SCALE: 1/2" = 1'-0"



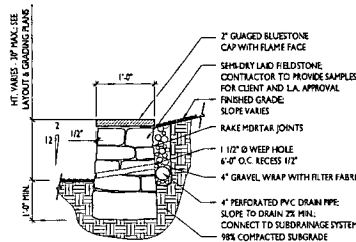
2 BLUESTONE PAVING ON STONEDUST SCALE: 1/2" = 1'-0"



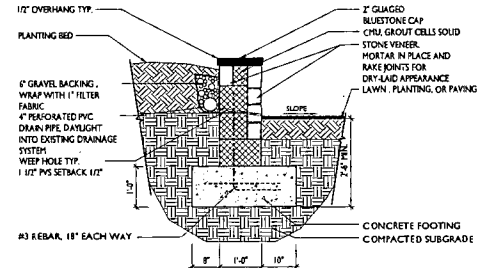
3 COBBLESTONE GARDEN STEPS SCALE: 1" = 1'-0"



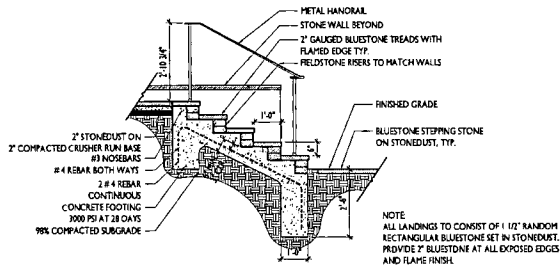
4 COBBLE EDGED GRAVEL DRIVEWAY SCALE: 1" = 1'-0"



5 SEMI-DRY LAID STONE RETAINING WALL SCALE: 3/4" = 1'-0"



6 RAISED STONE PLANTER SCALE: 3/4" = 1'-0"



7 STONE STEPS WITH HANDRAIL SCALE: 1/2" = 1'-0"

[LOGO]
 [CONTACT INFO]
 [REVISIONS TABLE]

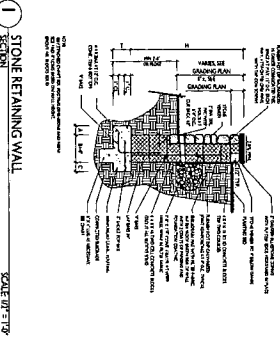
Joyce Residence
 10 Laurel Parkway
 Chevy Chase, MD 20815

Details

L-3

STRUCTURAL INFORMATION AND SPECIFICATIONS BY:
WOLPMAN & ASSOCIATES, P.C.
 CONSULTING STRUCTURAL ENGINEERS
 8720 Georgia Avenue, Suite 3908
 Silver Spring, MD 20910
 Phone: 301-587-4260
 Fax: 301-587-4470

Section	H	X	W	V	T	V	X	W	V
Section 1	10'	10'	10'	10'	10'	10'	10'	10'	10'
Section 2	10'	10'	10'	10'	10'	10'	10'	10'	10'
Section 3	10'	10'	10'	10'	10'	10'	10'	10'	10'
Section 4	10'	10'	10'	10'	10'	10'	10'	10'	10'



REINFORCING BARS: Reinforcing bars shall be as specified in the specifications and shall conform to the requirements of the American Institute of Steel Construction, Inc. (AISC) Specification for Structural Steel Buildings, 13th Edition, 2005, and the American Concrete Institute (ACI) Code for Reinforcing Bars, 308.4R-95. The bars shall be furnished by the contractor and shall be installed in accordance with the specifications and drawings. The bars shall be lap spliced in accordance with the requirements of the ACI Code. The lap length shall be not less than 36 bar diameters for bars in tension and 48 bar diameters for bars in compression. The bars shall be furnished in the form of straight lengths and shall be cut and bent as specified on the drawings. The bars shall be furnished in the form of straight lengths and shall be cut and bent as specified on the drawings. The bars shall be furnished in the form of straight lengths and shall be cut and bent as specified on the drawings.

CONCRETE: The concrete shall be as specified in the specifications and shall conform to the requirements of the American Concrete Institute (ACI) Code for Structural Concrete, 308-95. The concrete shall be furnished by the contractor and shall be installed in accordance with the specifications and drawings. The concrete shall be furnished in the form of ready-mix concrete and shall be placed and finished as specified on the drawings. The concrete shall be furnished in the form of ready-mix concrete and shall be placed and finished as specified on the drawings. The concrete shall be furnished in the form of ready-mix concrete and shall be placed and finished as specified on the drawings.

Joyce Residence
 10 Laurel Parkway
 Chevy Chase, MD 20815

Scale: 1/8" = 1'-0"
 Date: 04.13.05
 Revisions:

JORDAN
HOENEKMAN
Landscape Architects, LLC

1993 E. South West
 Suite 300
 Washington, DC 20011
 (202) 739-0801
 (202) 739-0802 FAX

L-2

Retaining Wall Details

EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	10 Laurel Parkway	Meeting Date:	06/22/05
Applicant:	Rodney and Jane Joyce (Holt Jordan, Agent)	Report Date:	06/01/05
Resource:	Non-Contributing Resource Chevy Chase Village Historic District	Public Notice:	05/25/05
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-05L	Staff:	Anne Fothergill

PROPOSAL: Driveway and retaining wall alterations

RECOMMENDATION: Approval

SIGNIFICANCE:

- Individual Master Plan Site
- Within a Master Plan Historic District
- Primary Resource
- Contributing Resource
- Non-contributing/Out-of-Period Resource

PROJECT DESCRIPTION:

SIGNIFICANCE: Non-Contributing Resource, Chevy Chase Village
STYLE: Modern split level
DATE: 1957

PROPOSAL:

The applicants are proposing to:

- Replace the existing concrete driveway with gravel with cobblestone edge
- Replace the existing brick retaining wall, steps, and landings with stone
- Replace existing side wood fence with new wood fence of same height and style (in-kind replacement, doesn't require a HAWP)
- Plant new trees, shrubs and plantings in front and back yards
- Construct cobblestone terraces in back yard
- Replace existing planter wall in back yard with raised stone planter wall next to existing patio

See Circles _____ for plans and photos of existing conditions.

Chevy Chase Village has reviewed and approved this proposal.

RECOMMENDATION:

- Approval
- Approval with conditions

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

The following site improvements are proposed for the property located at 10 Laurel Parkway, located in Chevy Chase Village. The improvements shall maintain and compliment the established character of the existing house.

Front/Side Improvements:

- Remove existing brick retaining wall, steps and landings leading to front door and replace with stone walls, steps and landings. The walls will vary in height, with the tallest wall being 5.5' tall. The wall will then step in 6" increments, with the shortest wall being 3.25' tall. Walls on the lower half of the driveway are to be stone as well but will die into grade and will be no taller than 30" in height. See drawing for clarification.
- Replace the existing concrete driveway and surface with a pea gravel driveway with cobblestone edge.
- Add wood fence and gate to separate the front and rear garden and to screen utility area of yard (trash and air compressors).
- Plant new trees, shrubs, and perennial plantings to enhance existing landscape.

Rear Improvements:

- Construct cobblestone terraces in rear to level grade.
- Remove existing raised planter wall and replace with raised stone planter wall in area adjacent to existing stone patio.
- Plant new trees, shrubs, and perennial plantings to enhance existing landscape.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address
Rodney and Jane Joyce
10 Laurel Parkway
Chevy Chase, MD 20815

Owner's Agent's mailing address
Jordan Honeyman Landscape Architecture
1003 K Street NW
Suite 840
Washington, DC 20001

Adjacent and confronting Property Owners mailing addresses

William S. and Alice R. Janes
9 West Lenox Street
Chevy Chase, MD 20815

Michael C. and Susie Gelman
11 West Lenox Street
Chevy Chase, MD 20815



← rear yard:
install cobblestone
terraces to level grade.



side yard - install screening (6.5' tall)
to screen utility area.



side yard - utility screening and new
plantings.



Front elevation



existing steps to be removed & replaced.

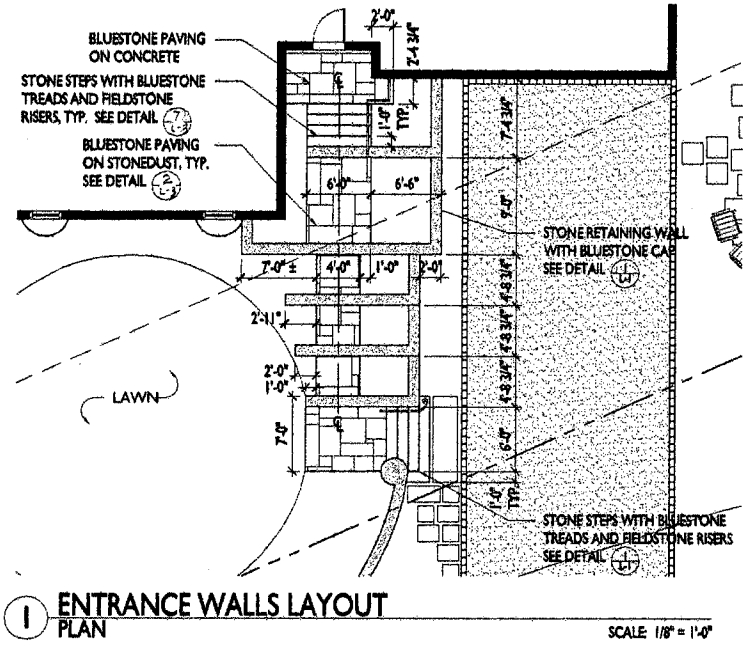
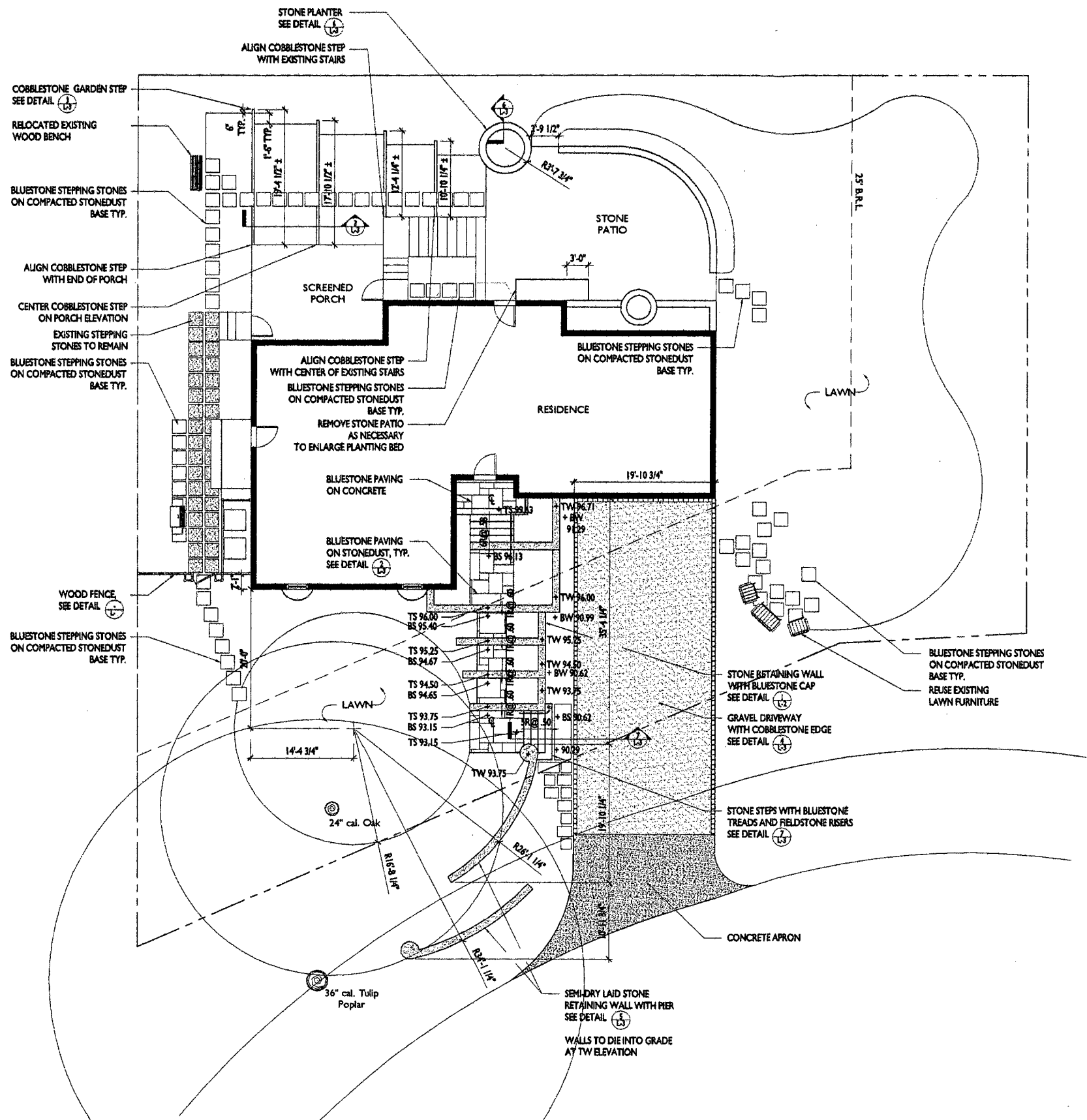


Front elevation

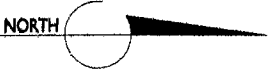


existing walls to be removed and replaced with stone retaining walls.





1 ENTRANCE WALLS LAYOUT PLAN



Scale: 1/8" = 1'-0"
 Date: 04.13.05
 Revisions:

Joyce Residence
 10 Laurel Parkway
 Chevy Chase, MD 20815

Layout &
 Grading Plan

