

9 West Lanox Street, Chevy Chase
(HPC Case No. 35/13-085)
Chevy Chase Village Historic District

Expedite

CHEVY CHASE VILLAGE
5906 CONNECTICUT AVENUE
CHEVY CHASE, MD 20815
Telephone (301) 654-7300
Fax (301) 907-9721
ccv@montgomerycountymd.gov

GEOFFREY B. BIDDLE
Village Manager
DAVID R. PODOLSKY
Legal Counsel

7/9/2009

Property Owner Name: Conley

Contractor Name: Carl Petty Associates


Location of Requested Building Permit:
Address: 9 West Lenox Street
City, State, Zipcode Chevy Chase, MD 20815

Proposed Scope of Work: Revision of a previously approved Village Building Permit to add 85 square feet to the rear terrace.

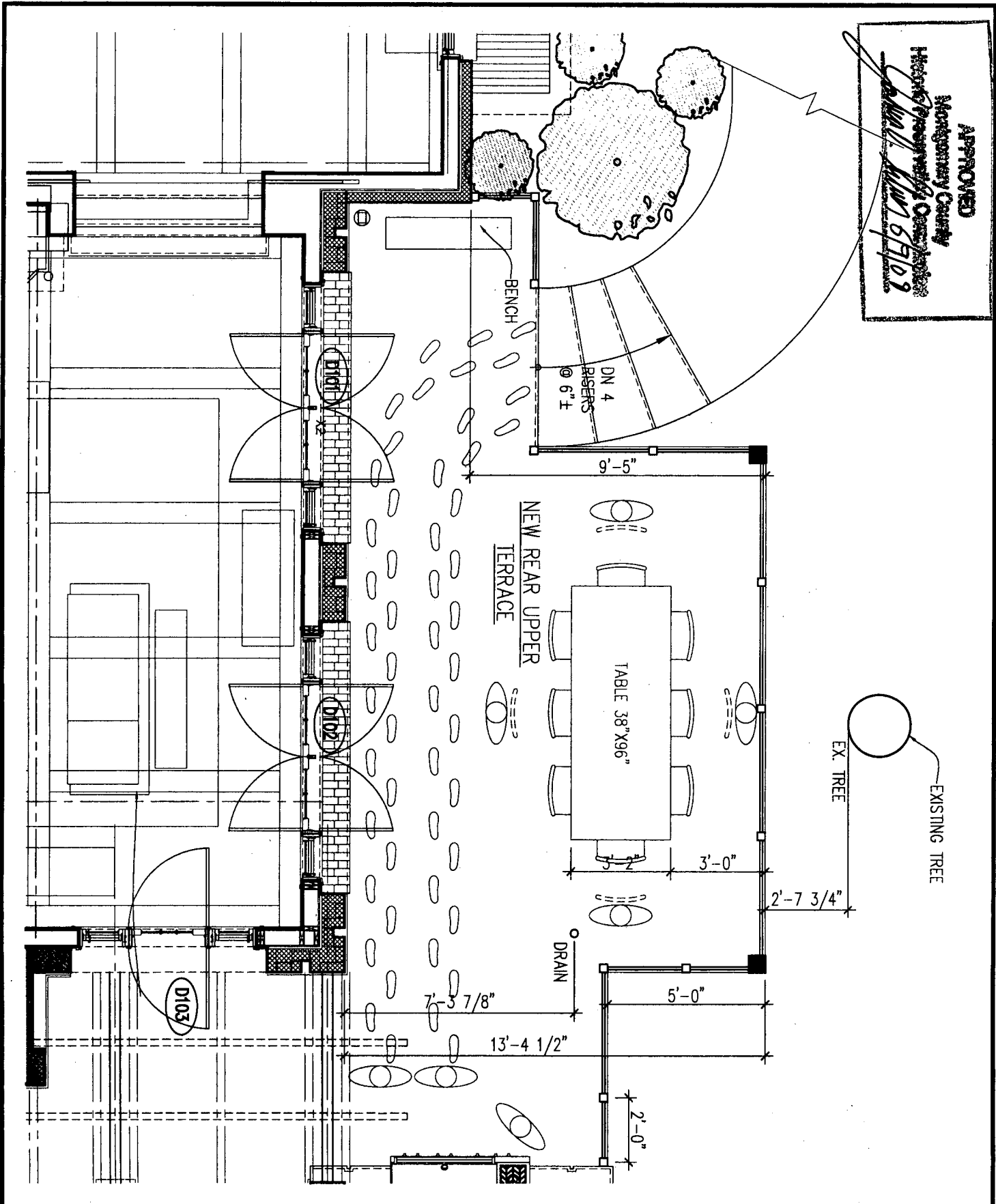
Dear Department of Permitting Services:

The above homeowner/contractor has notified Chevy Chase Village that they are planning to apply for both County and Municipal permits for the above summarized construction project. We have supplied them with a full set of the appropriate regulations, and they fully understand that a permit from the County does not guarantee a permit from this municipality, unless they comply with all the rules and regulations given to them with this letter. They have been provided with this information and the appropriate instructions to file for a Building Permit and/or variance form from this municipality.

Sincerely,


Geoffrey Biddle

APPROVED
 Montgomery County
 Historic Preservation & Design
 [Signature]
 6/10/09



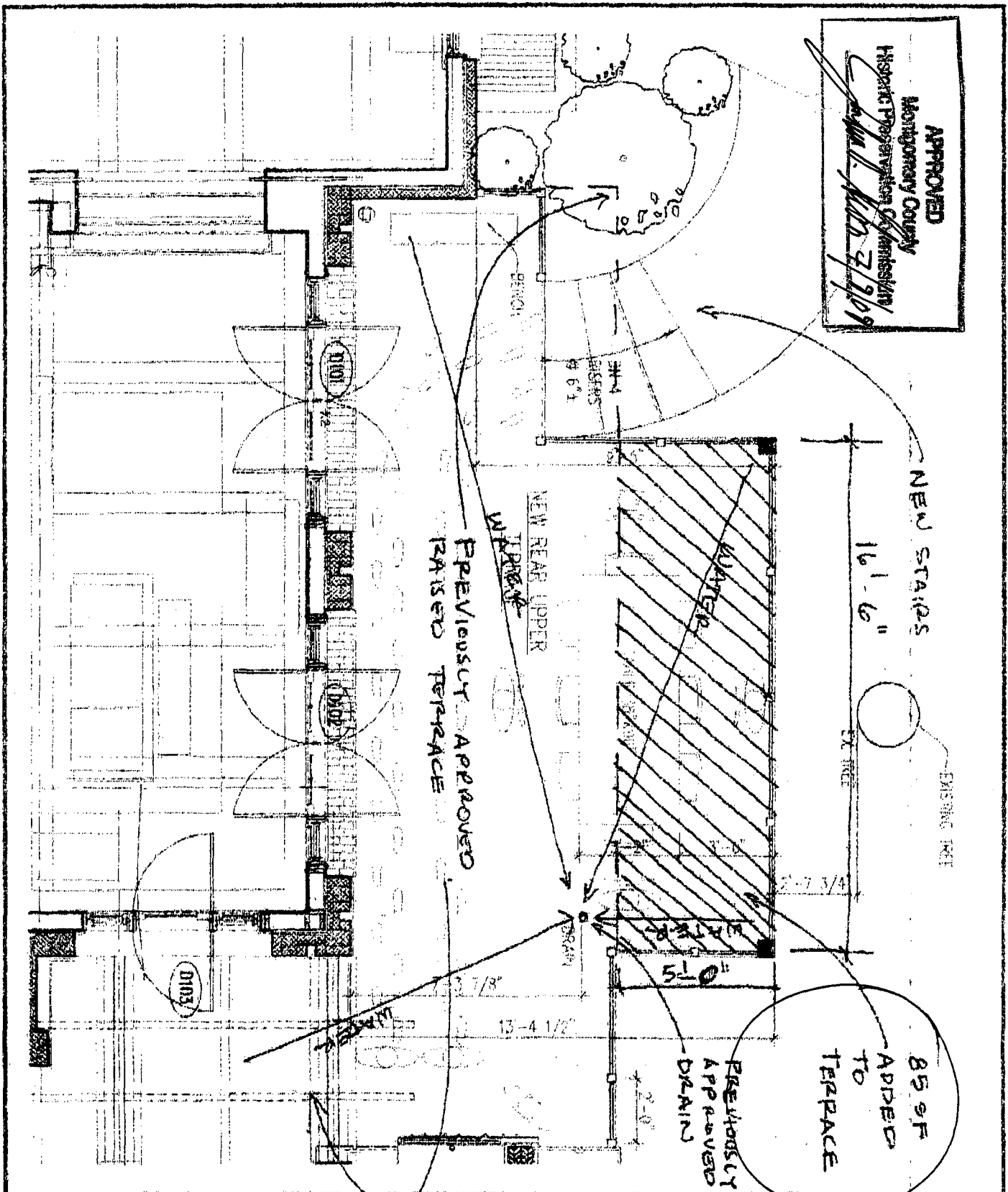
DONALD LOCOCO
 ARCHITECTS, LLC
 3413 1/2 M Street, NW Washington, DC 20007
 Tel: 202-337-4422 Fax: 202-337-2622

OFFICE
 REFERENCE

Dwg Name: REAR TERRACE-OPTION A
Project: CONLEY RESIDENCE
 9 WEST LENOX STREET
 CHEVY CHASE, MD 20815

Date: 05/15/09
Scale: 1/4"=1'-0"

DESIGN SKETCH
SK-34A



APPROVED
 Montgomery County
 Historic Preservation Commission
William L. Mohr 7/19/09

NEW STAIRS
 16'-6"

PREVIOUSLY APPROVED
 RAISED TERRACE

NEW REAR UPPER
 TERRACE

PREVIOUSLY
 APPROVED
 DRAIN

85 SF
 ADDED
 TO
 TERRACE

DONALD LOCOCO
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 REFERENCE

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 9 WEST LENOX STREET
 CHEVY CHASE, MD 20815

Date:
 05/15/09

Scale:
 1/4"=1'-0"

DESIGN SKETCH

SK-34A

STAFF ITEM

STAFF MEMBER: JOSH SILVER

SUBJECT: Revision to approved HAWP (Case 35/13-08S), for rear terrace installation at 9 West Lenox Street, Chevy Chase, **Chevy Chase Village Historic District**

DATE: May 27, 2009

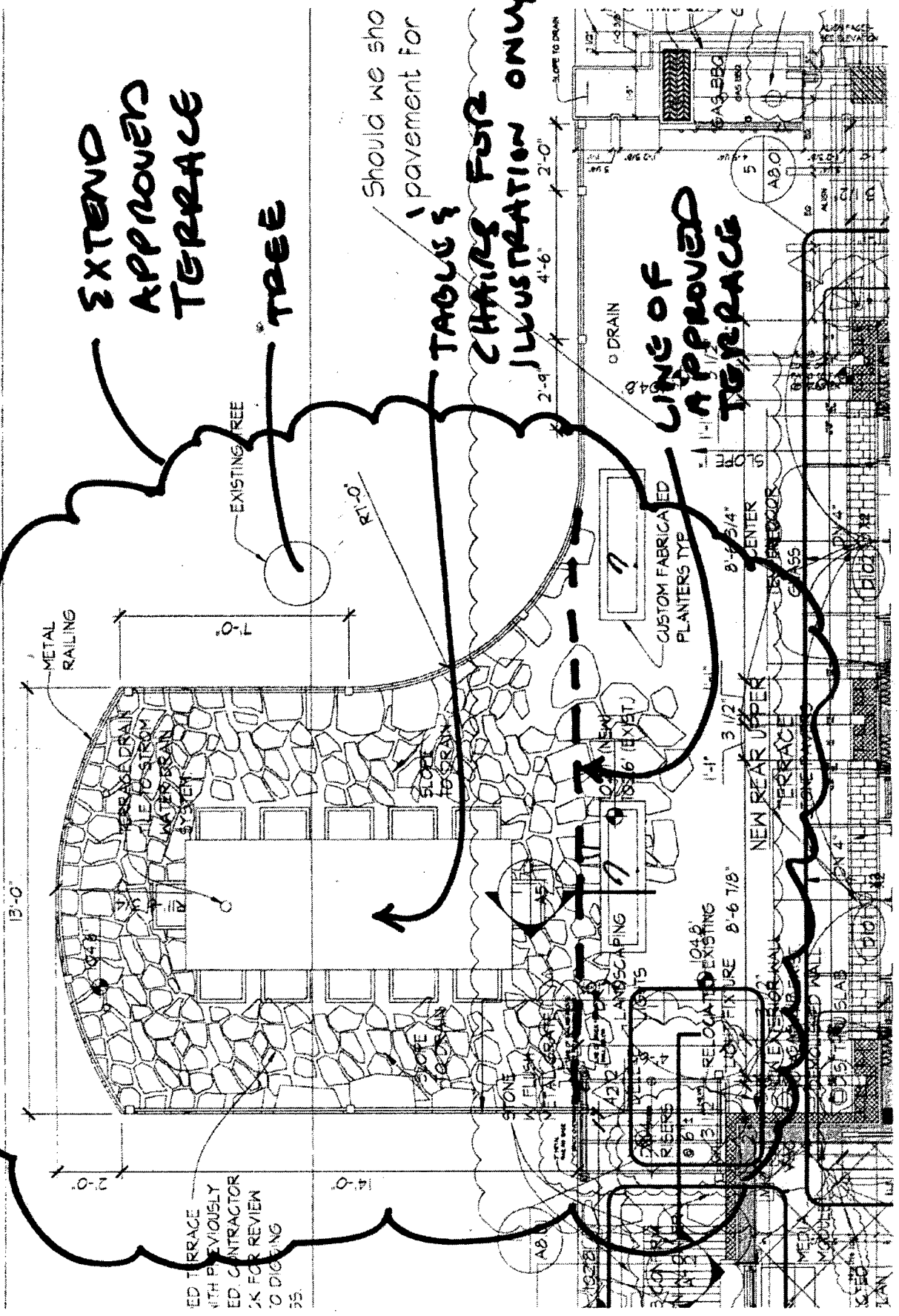
BACKGROUND: On September 10, 2008 the HPC reviewed and approved the installation of a rear yard terrace at the subject property.

PROPOSAL: The applicant is proposing to modify the configuration of the HPC approved rear yard terrace and install new brick stairs. All materials for the proposed terrace will remain the same.

STAFF RECOMMENDATION: Staff is recommending that the HPC approve this change.

HPC DECISION:

APPROVED



EXTEND APPROVED TERRACE

TREE

Should we show pavement for
TABLES & CHAIRS FOR ILLUSTRATION ONLY

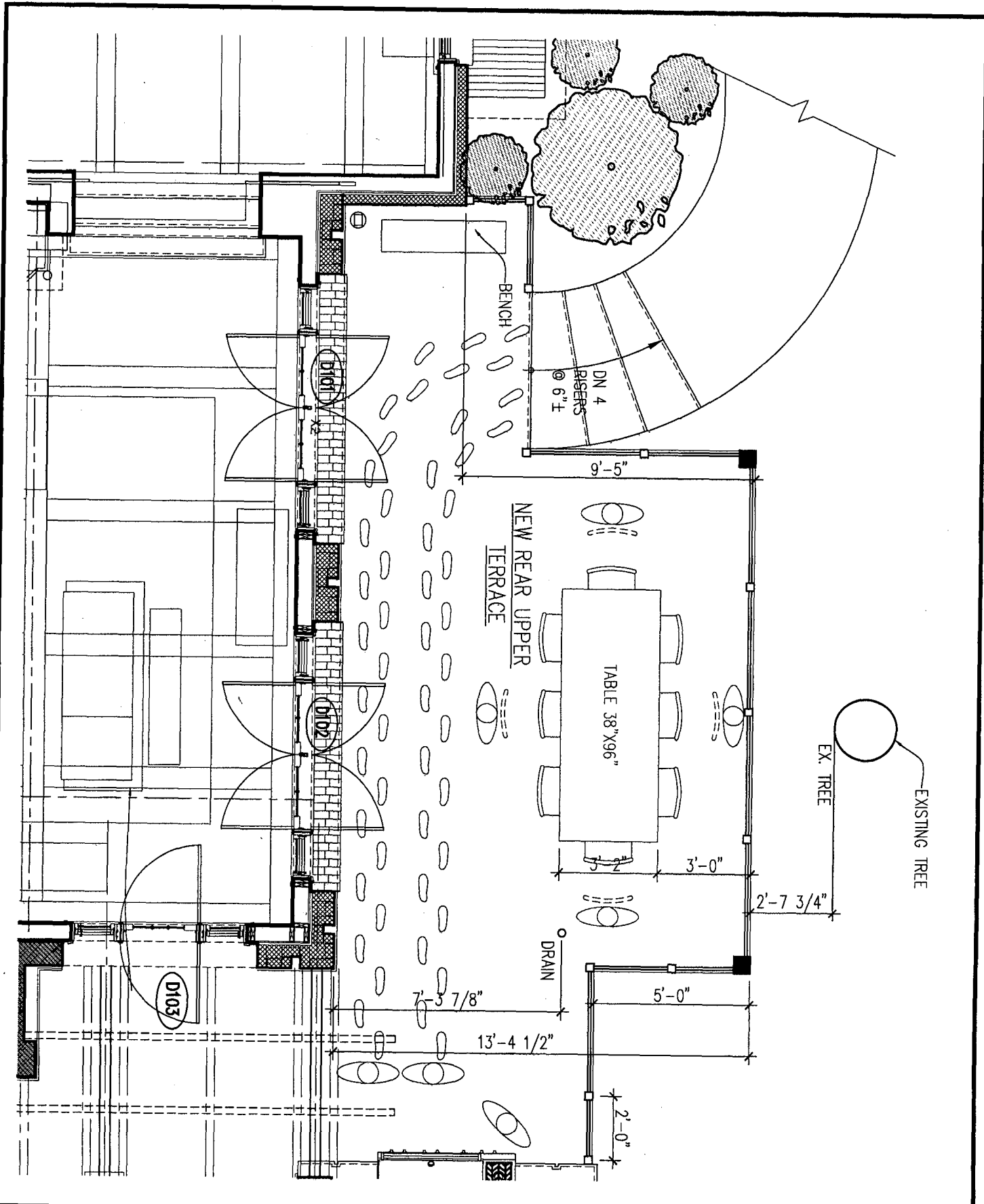
LINE OF APPROVED TERRACE

2/25/09

1/4" = 1'-0"

CONWAY

ORIGINAL PROPOSAL



<p>DONALD LOCOCO ARCHITECTS, LLC</p> <p>3413 1/2 M Street, NW Washington, DC 20007 Tel: 202-337-4422 Fax: 202-337-2622</p>	<p>OFFICE REFERENCE</p>	<p>Dwg Name: REAR TERRACE-OPTION A</p> <p>Project: CONLEY RESIDENCE 9 WEST LENOX STREET CHEVY CHASE, MD 20815</p>	<p>Date: 05/15/09</p> <p>Scale: 1/4"=1'-0"</p>	<p>DESIGN SKETCH</p> <p>SK-34A</p>
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STAFF ITEM

SUBJECT: 9 West Lenox Street, Chevy Chase (**Chevy Chase Village Historic District**)
DATE: May 28, 2008
STAFF MEMBER: Josh Silver

BACKGROUND: The HPC reviewed and approved a rear addition and installation of a patio at the subject property on February 13, 2008. In reviewing the permit set of plans staff identified several minor design changes to what was reviewed and approved by the HPC on February 13, 2008.

PROPOSAL: *[All proposed design changes are located on the c.1990 rear addition and/or the HPC reviewed and approved rear addition]*

Left Elevation:

1. Remove two non-historic, double-hung windows from the c.1990 addition and install a new simulated divided light wooden window on the 1st story.

Right Elevation:

1. Remove one French door from the c.1990 addition and install a new simulated divided light wooden French door in the same location.

Rear Elevation:

1. Install two simulated divided light wooden French doors on the 2nd story. The proposed doors will serve as access to the proposed balcony on the new addition.
2. Install two double-hung simulated divided light wooden basement level windows.

STAFF RECOMMENDATION: Staff is recommending the HPC allow staff level approval for the proposed changes.

HPC DECISION:

Approved

DONALD LOCOCO
ARCHITECTS, LLC

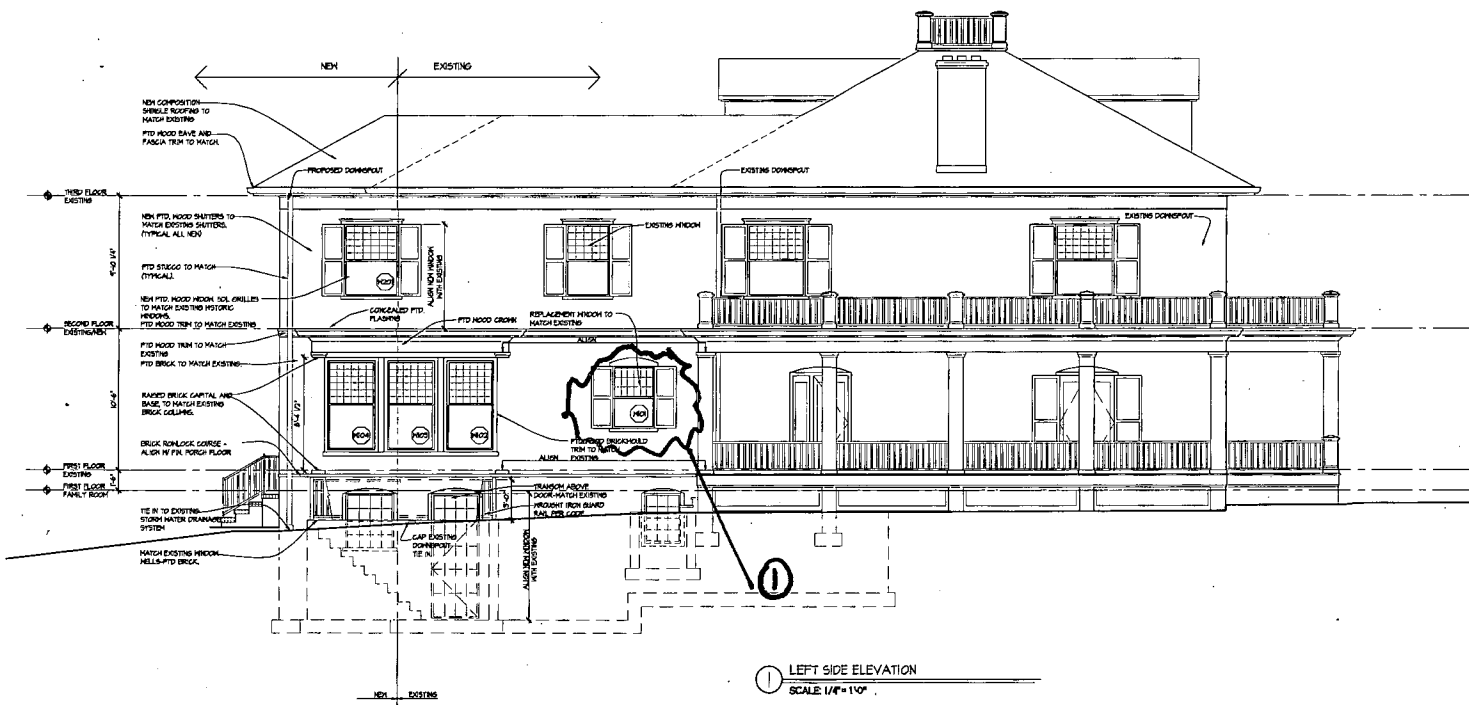
3413 1/2 M Road, NW
Washington, DC 20007
Tel: 202-337-4432
Fax: 202-337-2832

PERMIT
MAY 9, 2008

LEFT SIDE ELEVATION
1/8" = 1'-0"

CONLEY RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MD 20815

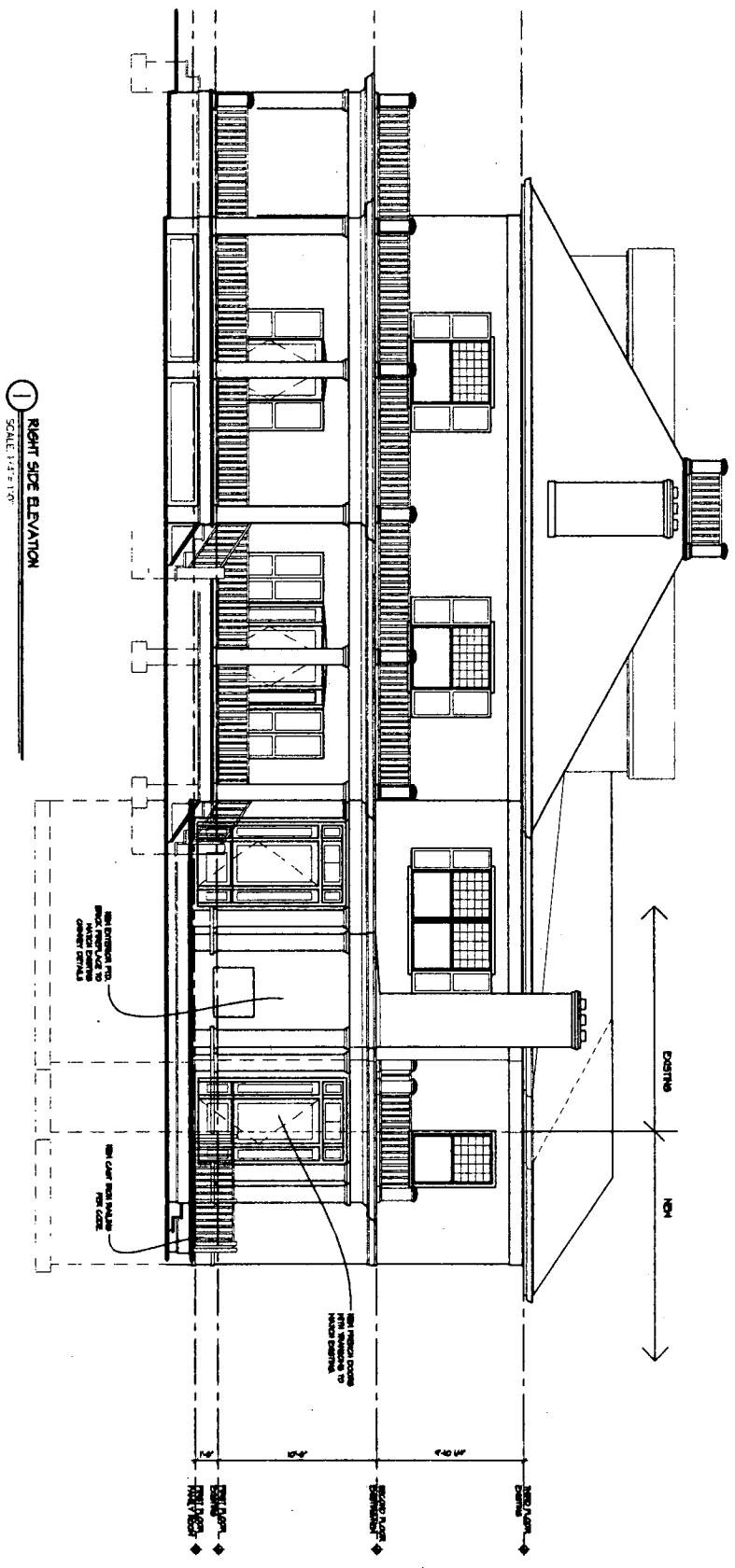
A4.4



① LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

REVISED PLANS

14



① RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

ORIGINAL PLANS A4.2

<p>Project: CONLEY RESIDENCE 9 WEST LENOX STREET CHEVY CHASE, MARYLAND</p>	<p>Sheet Title: RIGHT SIDE ELEVATION Scale: 1/4" = 1'-0"</p>	<p>HISTORIC PRESERVATION SUBMITTAL JAN 23, 2008</p>	<p>DONALD TOCCO ARCHITECTS 1111 17th Street NW Washington, DC 20036 Tel: 202-331-4122 Fax: 202-331-2822</p>
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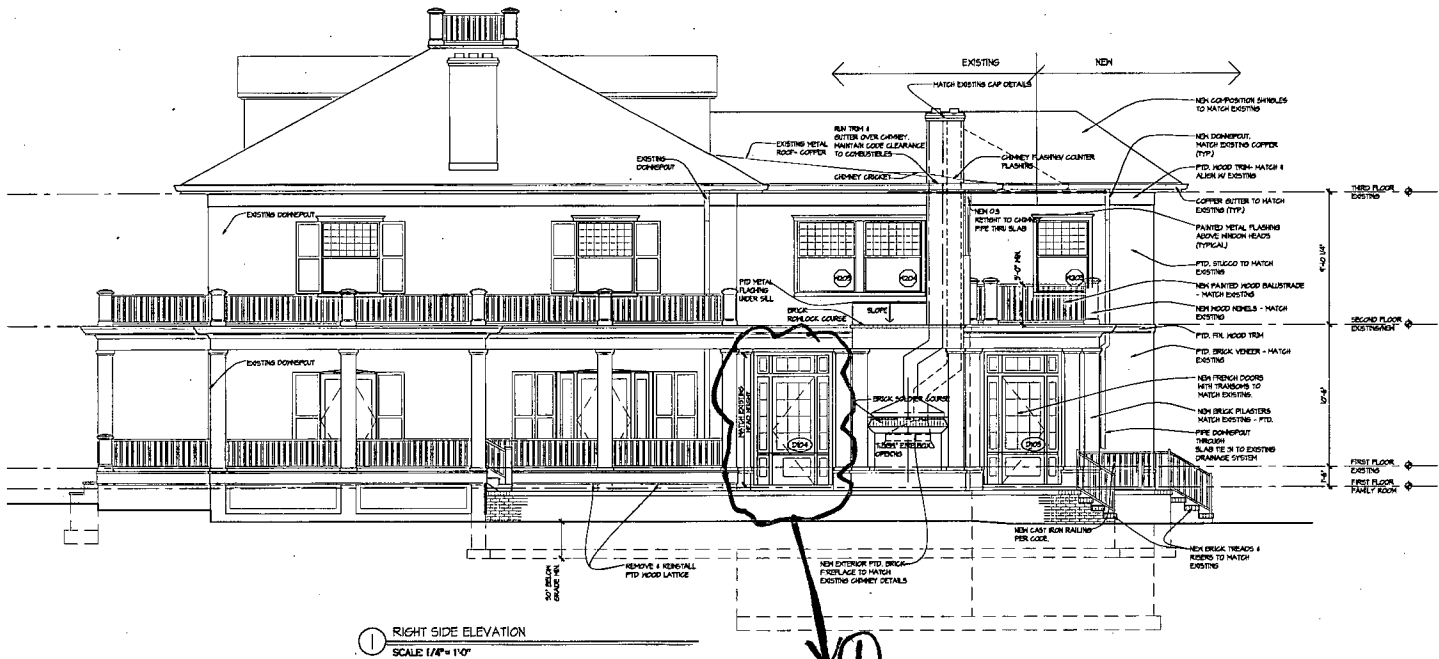
PERMIT
MAY. 9, 2008

RIGHT SIDE ELEVATION

1/4" = 1'-0"

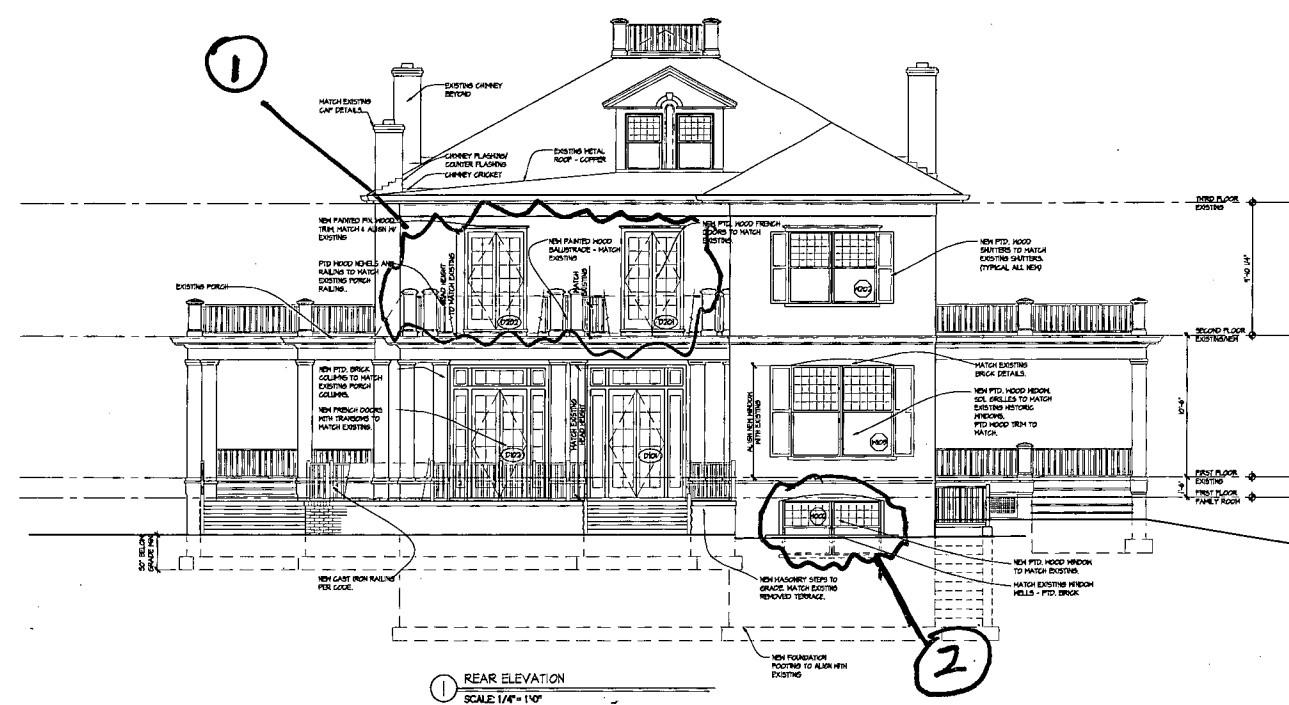
CONLEY RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MD 20815

A4.2



1 RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

REVISED PLANS



1 REAR ELEVATION
SCALE 1/4" = 1'-0"

REVISED PLANS

SUBJECT: Revision to approved HAWP (35/13-08S), for garage roof replacement and dovecote installation and minor revisions to an approved HAWP at 9 West Lenox Street, Chevy Chase Village Historic District

DATE: February 25, 2009

BACKGROUND: On September 10, 2008 the HPC reviewed and approved the removal of an existing asphalt roof and the installation of a slate roof and wooden dovecote on the roof peak of a non-historic garage (constructed 1995) located in the side yard of the property.

REVISED PROPOSAL: The applicant is withdrawing their proposal to install a wooden dovecote and is requesting approval to remove the existing eyebrow dormers from the east and west roof planes of the garage and install wooden eyebrow dormers with louvers on the north and south roof planes. The revised proposal also includes the removal of a wooden trellis at the rear of the garage and a minor expansion to the approved rear yard terrace behind the approved house addition.

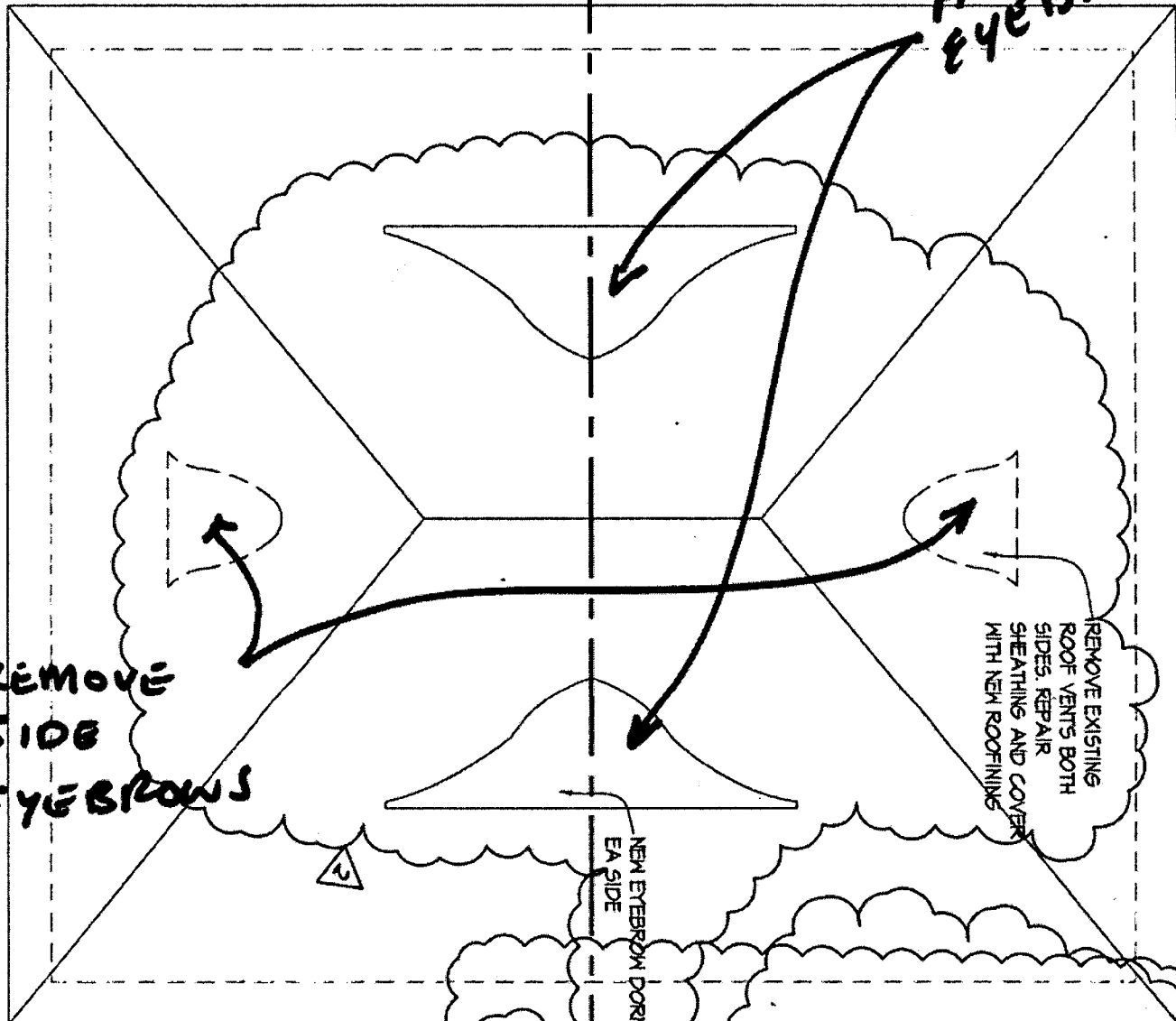
STAFF RECOMMENDATION: The revised proposal is consistent with the Chevy Chase Village Historic District Guidelines for alterations to a detached garage; which recommend lenient scrutiny and compatibility with the main building. Staff is recommending that the HPC allow this change to be approved at the staff level.

HPC DECISION: APPROVED 02/25/09

DRIVEWAY,
STREET SIDE



ADD
EYEBROWS



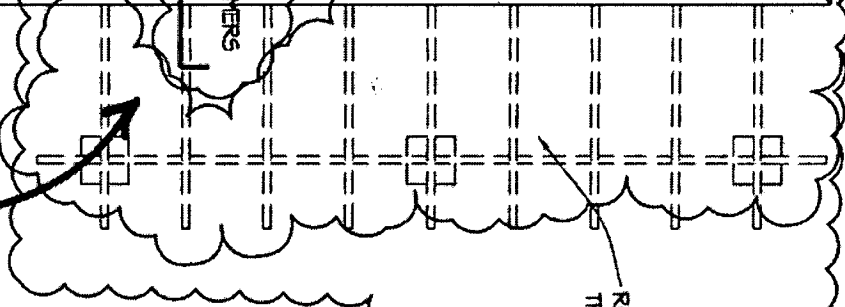
REMOVE EXISTING
ROOF VENTS BOTH
SIDES, REPAIR
SHEATHING AND COVER
WITH NEW ROOFING

REMOVE
SIDE
EYEBROWS

NEW EYEBROW DORMERS
EA SIDE



REMOVE
TRELLIS.

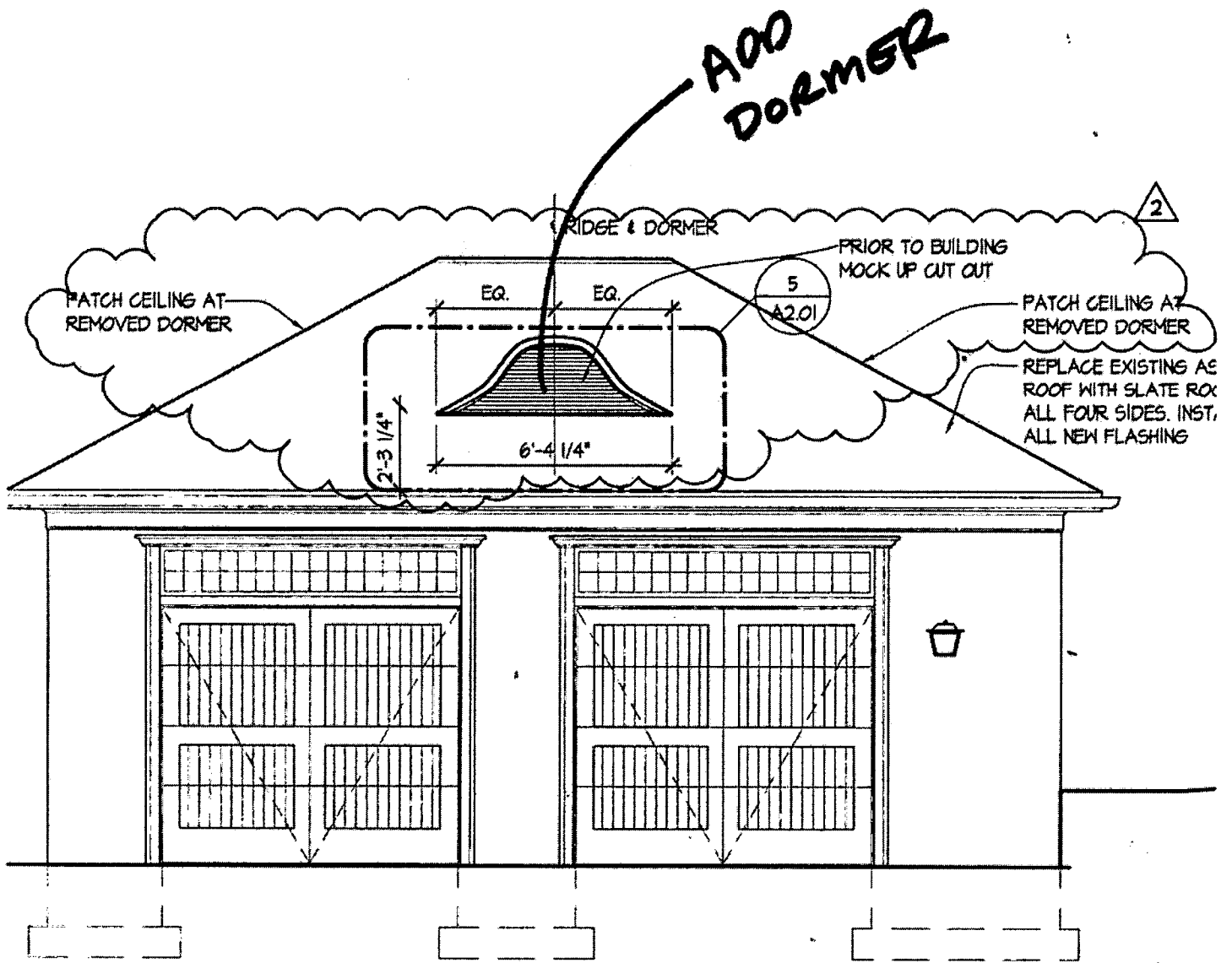


REMOVE EXISTING
TRELLIS AND COLUMNS

2/25/09

CONLEY

1/4" = 1'-0"

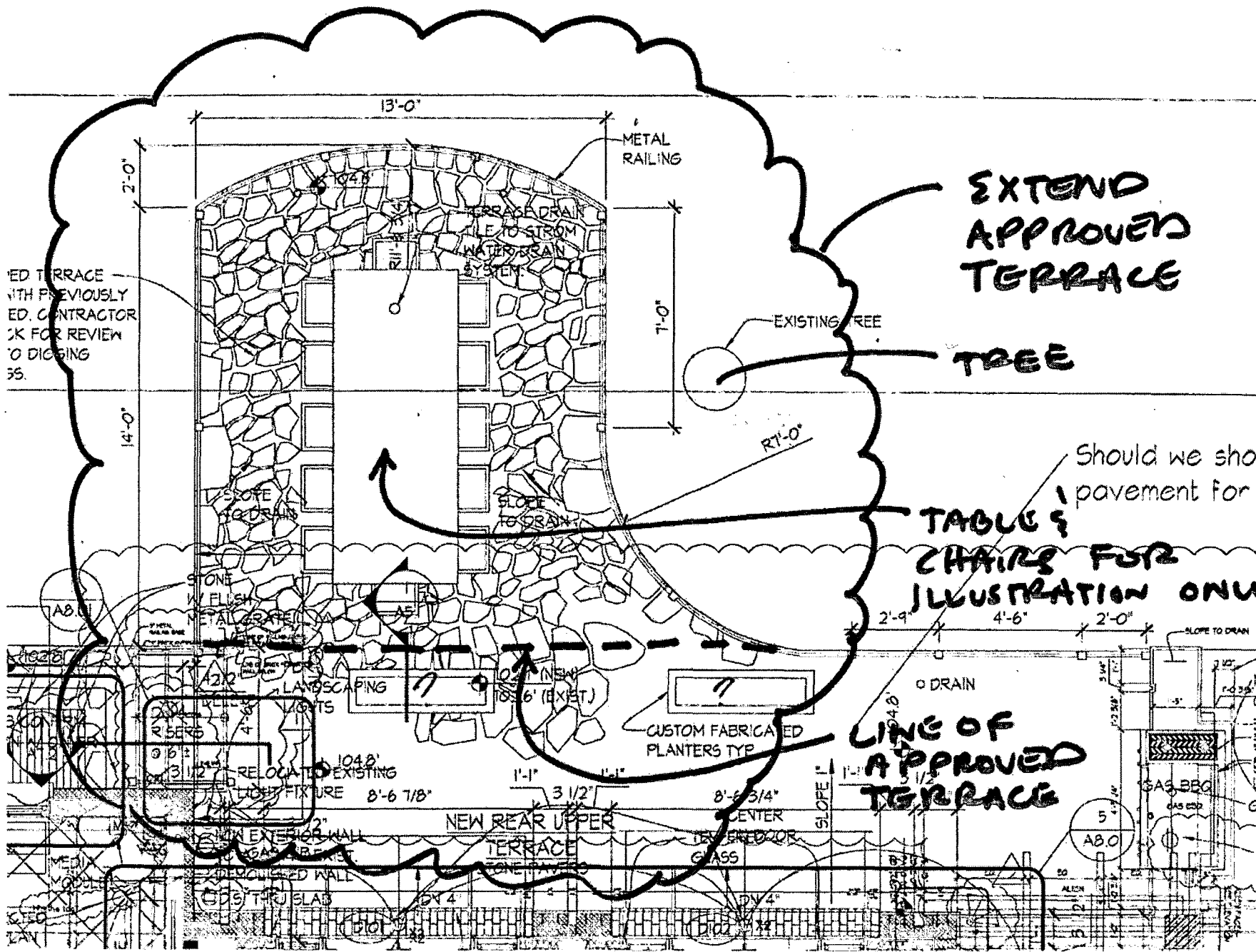


DRIVEWAY ELEVATION

2/25/09

③ GARAGE - FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

CONVEY 1/4" = 1'-0"



EXTEND APPROVED TERRACE

TREE

TABLE & CHAIRS FOR ILLUSTRATION ONLY

Should we show pavement for

LINE OF APPROVED TERRACE

CONLEY

$1/4" = 1'-0"$

2/25/09



Front of House from Lenox Street.



Front & SW Side of House from Lenox Street



South-west Side of House from
Lenox Street



South West Side of House &
Garage from Lenox Street

9 WEST LENOX
202 3

100 3
West Lenox

Rear of House



Front of House Looking at Laurel Parkway

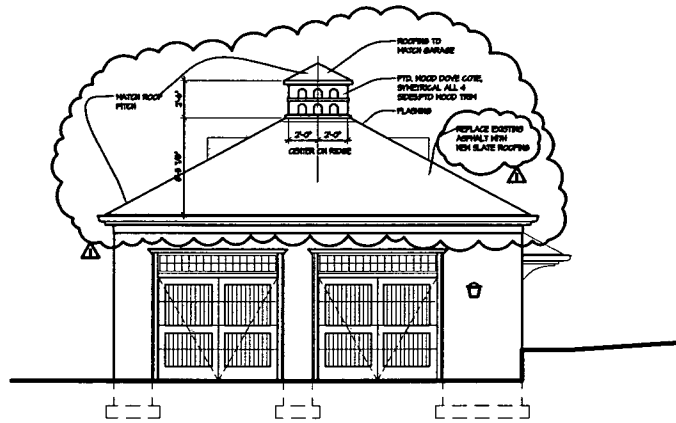


Front of House Looking at West Lenox Street



Side of House Looking from West Lenox Street





② GARAGE ELEVATION
SCALE: 1/4" = 1'-0"



① FRONT ELEVATION
SCALE: 1/4" = 1'-0"

DONALD
LOCOCO
ARCHITECTS, LLC

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HISTORIC
SUBMITTAL
AUGUST, 2008

HISTORIC
SUBMITTAL
REVISIONS
AUGUST 20,
2008

Sheet Title: FRONT ELEVATION
Scale: 1/4" = 1'-0"

Project: CONLEY RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MD 20815

A4.1

SET IS DEEMED INCOMPLETE WITHOUT THE FOLLOWING DOCUMENTS:

- A COMPLETE SET OF THE MOST CURRENT DRAWINGS
- STRUCTURAL NOTES FROM ROBERT SILMAN ASSOCIATES PLLC STRUCTURAL ENGINEERS
- UPDATED SPECIFICATIONS

PLA NOTES & STANDARDS FOR RENOVATION

1. ALL EXTERIOR WALLS 2 x 6 U.G.
2. ALL INTERIOR WALLS 2 x 4 UNLESS NOTED OR SCALED OTHERWISE
3. ALL ELEVATION POINTS ARE TO TOP OF FIN FLOOR U.G.
4. ALL ELEVATION POINTS ARE TO TOP OF SLAB U.G.
5. ALL ELEVATION REAR POINTS ARE TO TOP OF JOISTS OR TRUSS U.G.
6. ALL EXTERIOR DOORS AND WINDOWS ARE LOCATED TO THEIR R.O.
7. ALL INTERIOR DOORS ARE LOCATED TO THE DOOR SLAB SIZES
8. ALL EXTERIOR MASONRY DIMENSIONS TO FACE OF CONCRETE U.G.
9. ALL EXTERIOR FRAMING DIMENSIONS TO FACE OF SHEATHING U.G.
10. ALL INTERIOR FRAMING DIMENSIONS TO FACE OF DRYWALL U.G.

GENERAL KEY

- NEW CONSTRUCTION (SITE PLAN)
- EXISTING WALL TO REMAIN
- RENOVATED WALL
- NEW WALL
- BELLEHARD / OBJECT ABOVE U.G.
- DOWNPOUT
- THERMAL INSULATION ABOVE
- THERMAL INSULATION
- FIBER INSULATION
- FURRED CONCRETE
- BRICK
- CM BLOCK
- SOFT INSULATION
- RIGID INSULATION
- 1/2" DROP IN CEILING
- 4" DROP IN CEILING
- 8 1/2" DROP IN CEILING
- HATCH SYMBOL
- DOOR SYMBOL

FOR SELECT SOIL SYMBOLS SEE SD
FOR STRUCT. SYMBOLS SEE STRUCT. SHEETS

LIST OF ABBREVIATIONS

ADJ - ADJUSTABLE	OC - ON CENTER
APP - AT FINISHED FLOOR	PORC - PORCELAIN
BEDRM - BEDROOM	PROPAG - PROPAGATED
BATH/ENCL - BATH/ENCL	PROJ - PROJECT
CAB - CABINET	PTD - PAINTED
CLIP - CLIP	R - R
CLB - CLOSET	R & D - ROD & SHELF
COL - COLUMN	REF - REFRIGERATOR
CON - CONCRETE MASONRY UNIT	RM - ROOM
DR - DOOR	RO - ROOM OPENING
DL - DOOR	SHT - SHEET
DO - DOWNPOUT	STD - STANDARD
DW - DRYWALL	STOR - STORAGE
DWB - DOWNPOUT	SUPP - SUPPLIED
ELC - ELECTRICAL	T - TREAD
EX. EXTER - EXTERIOR	TWB - THROUGH
EXT. EXTER - EXTERIOR	TWB - THROUGH & ABOVE
EXT - EXTERIOR	TYP - TYPICAL
ELEV - ELEVATOR	WF - W/FR
FR - FRESH	WD - W/DRIVER
FP - FLASHING	W/DR - W/DRIVER
HORIZ - HORIZONTAL	WD - W/DRIVER
INT - INTERIOR	W/DR - W/DRIVER
MAN - MASONRY	W/DR - W/DRIVER
MCH - MECHANICAL	W/DR - W/DRIVER
MR - MASONRY	W/DR - W/DRIVER
TR - TRUSS	W/DR - W/DRIVER

THE CURRENT SPECS ARE DATED MECHANICAL

SPECS MUST BE ACCESSIBLE AT ALL TIMES.

REFER TO ROBERT SILMAN ASSOCIATES PLLC STRUCTURAL ENGINEERS FOR ALL FOUNDATION AND STRUCTURAL INFORMATION INCLUDING DIMENSIONS AND DETAILS.

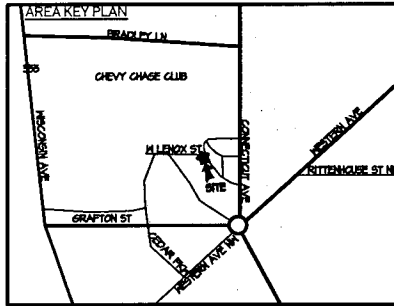
VERIFY MOST CURRENT SUBMITTALS WITH ARCH. CONTRACTOR

VERIFY ALL SHEETS LISTED ARE INCLUDED IN THIS SET

REQUEST ANY MISSING SHEETS FROM THE ARCHITECT



CONLEY RESIDENCE
9 WEST LENOX STREET CHEVY CHASE, MD 20815



REVISION RECORDS

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DRAWING INDEX

- A1.1 INDEX COVER
- EXTERIOR AND INTERIOR
- A1.2 DOOR SCHEDULES
- A1.3 WINDOW AND FINISH SCHEDULES
- A3.1 FLOOR PLAN - CELLAR / FOUNDATION
- A3.2 FLOOR PLAN - FIRST FLOOR
- A3.3 FLOOR PLAN - SECOND FLOOR
- A3.4 FLOOR PLAN - ATTIC / ROOF PLAN
- A4.1 FRONT ELEVATION
- A4.2 RIGHT ELEVATION
- A4.3 REAR ELEVATION
- A4.4 LEFT ELEVATION

DONALD LOCOCO
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HISTORIC
SUBMITTAL

AUGUST, 2008

HISTORIC
SUBMITTAL
REVISIONS
AUGUST 20,
2008

Sheet No: INDEX
Scale: N/A

CONLEY RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MD 20815

Sheet
A1.1

EXTERIOR DOOR SCHEDULE

GENERAL REQUIREMENTS:
 - REFER TO SUPPLEMENT TO CONTRACT, SPECIFICATIONS AND LOCATIONS ON ORDER.
 - ALL GLASS IN TRANSOMS OVER DOORS IN SAME PLANE AS GLASS IN DOORS.
 - ALL DOORS TO BE PAINTED WOOD EXTERIORS WITH PAINT LAYER DOWEL LOCKS, MAINTENANCE PROFILE TO MATCH EXISTING. HARDWARE/ACTUATOR TO BE DET. SHOWN IN PLAN OR CONSTRUCTION NOTES/PROFILES.

NUMBER	ROOM NAME / LOCATION	MAKE/ STYLE/ MODEL	DOOR TYPE	ROUGH OPENING		DOOR & TRANSOM	MILLED DIST. BET. PAIRED UNITS (FRAME TO FRAME)	MILLED DIST. BET. DOOR & TRANSOM (FRAME TO FRAME)	SCREEN DOOR REQUIRED	HARDWARE SETGRADE	PRIMARY	NOTES
				HEIGHT	WIDTH							
CELLAR EXTERIOR DOORS												
D001	REAR ENTRANCE	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	---	---	---	---	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D002	REAR ENTRANCE	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	---	---	---	---	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
FIRST FLOOR EXTERIOR DOORS												
D001	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	---	---	---	---	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D002	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	---	---	---	---	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D003	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	---	---	---	---	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D004	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	---	---	---	---	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
SECOND FLOOR EXTERIOR DOORS												
D001	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	---	---	---	---	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D002	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	---	---	---	---	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM

INTERIOR DOOR SCHEDULE

GENERAL REQUIREMENTS:
 - REFER TO SUPPLEMENT TO CONTRACT, SPECIFICATIONS AND LOCATIONS ON ORDER.
 - ALL GLASS IN TRANSOMS OVER DOORS IN SAME PLANE AS GLASS IN DOORS.
 - ALL DOORS TO BE PAINTED WOOD EXTERIORS WITH PAINT LAYER DOWEL LOCKS, MAINTENANCE PROFILE TO MATCH EXISTING. HARDWARE/ACTUATOR TO BE DET. SHOWN IN PLAN OR CONSTRUCTION NOTES/PROFILES.

NUMBER	ROOM NAME / LOCATION	MAKE/ STYLE/ MODEL	DOOR TYPE	DOOR SIZE		HARDWARE SETGRADE	NOTES
				HEIGHT	WIDTH		
CELLAR INTERIOR DOORS							
D001	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
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D003	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D004	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D005	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
FIRST FLOOR INTERIOR DOORS							
D001	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D002	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D003	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D004	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
D005	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
SECOND FLOOR INTERIOR DOORS							
D001	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
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D005	REAR PORCH	DOOR 1 DOOR	PREP. WOOD FRAME MILLED-DOOR DOOR	2'-4"	4'-3 1/2"	---	DOOR TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM TO BE SET IN PLACE AND 3 TRANSOM
ATTIC FLOOR INTERIOR DOORS							

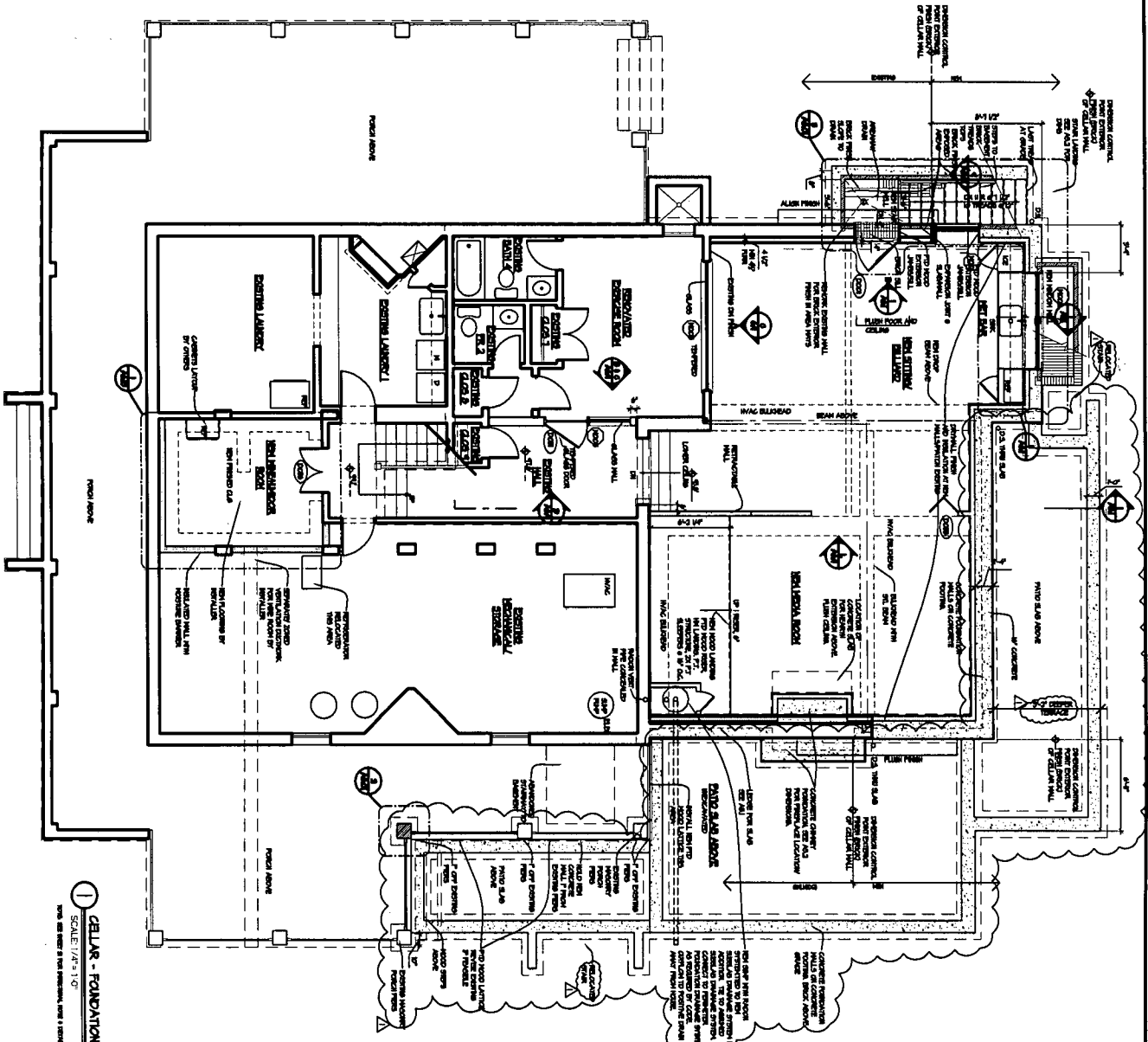
WINDOW SCHEDULE

- EXTENDED SILL HORNS AS REQUIRED TO COVER TRIM WORK.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- REFER TO SUPPLIER TO CONFIRM SAFETY GLASS LOCATIONS ON ORDER.
- ALL WINDOWS TO BE PAINTED WOOD EXTERIORS WITH SIMULATED DIVIDED LIGHTS, MUNTIN WIDTH/PROFILE TO MATCH EXISTING. MANUFACTURE TO BE DETERMINED AT TIME OF CONSTRUCTION.

NUMBER	ROOM NAME / LOCATION	WAVE/ STYLE/ MODEL	WINDOW TYPE (FIXED vs OPERABLE)	ROUGH OPENING WIDTH		ROUGH OPENING HEIGHT		CALLED OUT DET. PAINTED WITH PROFILE TO MATCH	CALLED OUT DET. WINDOW & TRANSOM (FRAME TO PAINT)	SCREEN	BRICK MLD CONDITION	EXTERIOR TRIM DETAILS	NOTES
				W/TH	W/TH GROUPS	W/TH	W/TH TRANSOM						
CELLAR WINDOWS													
W001	RENOVATED CELLAR	KOLBE 1 KOLBE	OPERABLE	4'-0"		4'-0"							SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W002	RENOVATED CELLAR	KOLBE 1 KOLBE	OPERABLE	5'-7"		7'-0"							SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W003	RENOVATED CELLAR	KOLBE 1 KOLBE	OPERABLE	5'-7"		7'-0"							SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W004	EXERCISE ROOM	INTEROR KOLBE & KOLBE	FIXED	5'-0 1/2"		5'-0"							WANT ONE HALF (1/2) IN FRONT ROOM TO ALIGN W/ ADJACENT DOOR.
W005	EXERCISE ROOM	INTEROR KOLBE & KOLBE	FIXED	5'-0 1/2"		5'-0"							WANT ONE HALF (1/2) IN FRONT ROOM TO ALIGN W/ ADJACENT DOOR.
FIRST FLOOR WINDOWS													
W006	RENOVATED KITCHEN	DOUBLE HUNG	OPERABLE	4'-0"		5'-0"							POSSIBLE SAVED FROM EXISTING WINDOW IN SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W007	RENOVATED BREAKFAST ROOM	DOUBLE HUNG	OPERABLE	5'-4 1/2"		5'-4"							POSSIBLE SAVED FROM EXISTING WINDOW IN SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W008	RENOVATED BREAKFAST ROOM	DOUBLE HUNG	OPERABLE	5'-4 1/2"		5'-4"							POSSIBLE SAVED FROM EXISTING WINDOW IN SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W009	RENOVATED BREAKFAST ROOM	DOUBLE HUNG	OPERABLE	5'-4 1/2"		5'-4"							POSSIBLE SAVED FROM EXISTING WINDOW IN SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W010	RENOVATED BREAKFAST ROOM	DOUBLE HUNG	OPERABLE	5'-4 1/2"		5'-4"							POSSIBLE SAVED FROM EXISTING WINDOW IN SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W011	RENOVATED BREAKFAST ROOM	DOUBLE HUNG	OPERABLE	5'-4 1/2"		5'-4"							POSSIBLE SAVED FROM EXISTING WINDOW IN SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
SECOND FLOOR WINDOWS													
W012	NEW DRESSING ROOM	DOUBLE HUNG	OPERABLE	5'-0 1/2"		5'-0"							SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W013	NEW DRESSING ROOM	DOUBLE HUNG	OPERABLE	5'-0 1/2"		5'-0"							SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W014	NEW DRESSING ROOM	DOUBLE HUNG	OPERABLE	5'-0 1/2"		5'-0"							SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W015	NEW DRESSING ROOM	DOUBLE HUNG	OPERABLE	5'-0 1/2"		5'-0"							SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
W016	NEW DRESSING ROOM	DOUBLE HUNG	OPERABLE	5'-0 1/2"		5'-0"							SEE ELEVATIONS FOR TRIM PATTERNS. PROVIDE SILL.
ATTIC FLOOR WINDOWS													

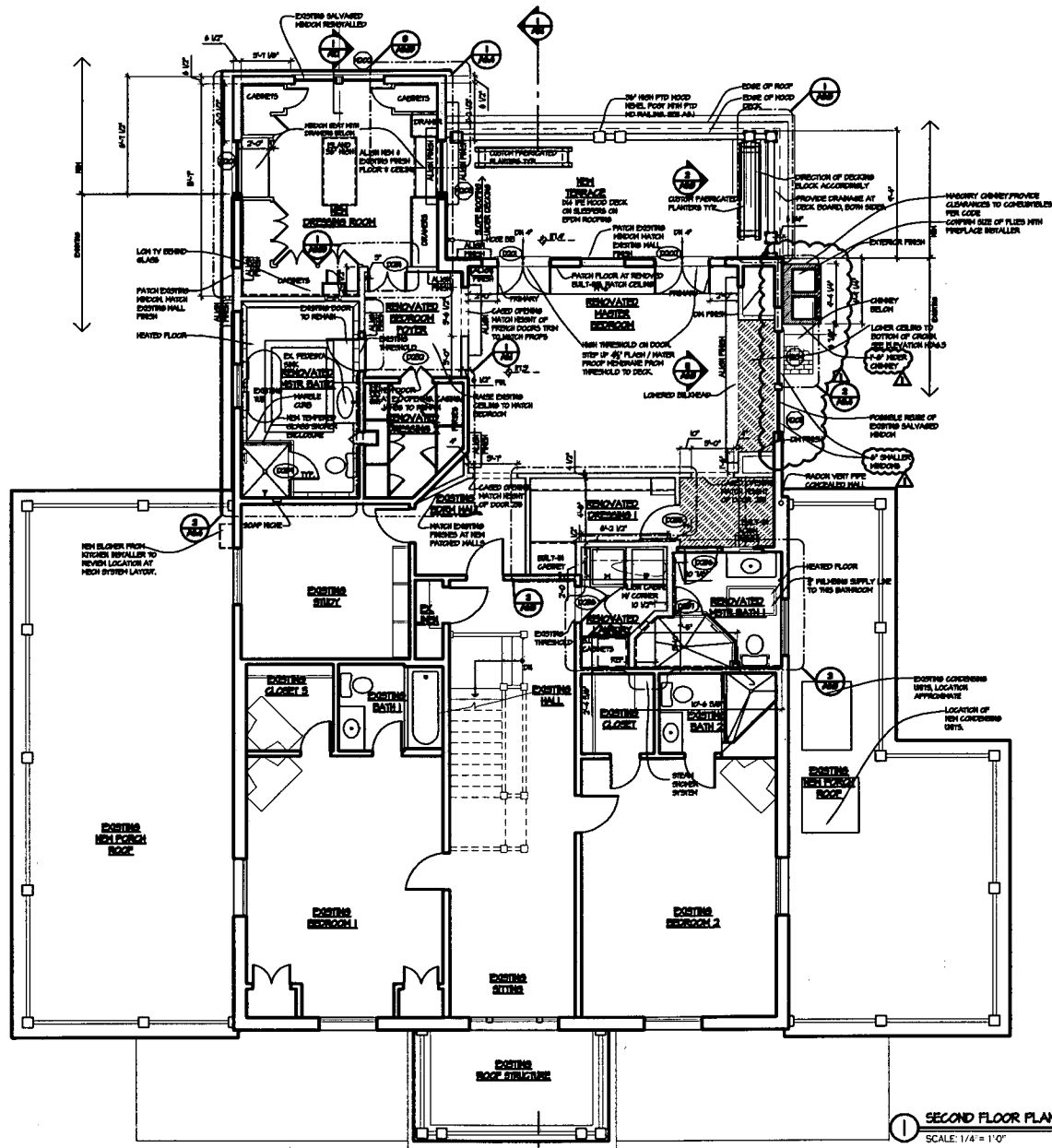
FINISH SCHEDULE (ALL TRIM PAINTED W/LG)

ROOM NAME	FLOOR	BASEBOARD	CASING SINK & IN TRIM APPLIED TO 1/2" W/O	MULL	CROWN MOLD	CEILING	NOTES
CELLAR FINISHES							
NEW STIMBELLARDS	CARPET W/ UNDERLAYMENT	HASH BRUSH, IN.	ADD IN BEHIND TRIM ACCEPT PLANTATION BATTERS AT WINDOWS	PTD. DRYWALL	SHOVS 2 PIECE	PTD. DRYWALL	
NEW MEDIA ROOM	CARPET W/ UNDERLAYMENT	HASH BRUSH, IN.		PTD. DRYWALL	SHOVS 2 PIECE	PTD. DRYWALL	
RENOVATED STORAGE	TILE			PTD. DRYWALL	SHOVS 2 PIECE	PTD. DRYWALL	
RENOVATED LABORY	TILE			PTD. DRYWALL	-	PTD. DRYWALL	
EXISTING HALL	CARPET	HASH BRUSH.		PTD. DRYWALL	SHOVS 2 PIECE	PTD. DRYWALL	
NEW HIRSHMANOR ROOM	CONC.	CROWN SHARED TRIM	CROWN SHARED TRIM	CROWN SHARED TRIM	CROWN SHARED TRIM	CROWN SHARED TRIM	TO BE DEFINED UNDER COORDINATED W/ JUNE ROOM BLD CONTRACTOR.
RENOVATED EXERCISE ROOM	CARPET	HASH EX.		PTD. DRYWALL	-	PTD. DRYWALL	
FIRST FLOOR FINISHES							
RENOVATED FAMILY ROOM	HASH EXIS.	HASH EXIS.	HASH EXIS.	PTD. DRYWALL SEE FINISH SCHEDULE	NO CROWN	PTD. DRYWALL	BY THE RECLAIMER UNPAID HOOD BOARDS AND RECLAIMED WOOD IN THE ROOM.
RENOVATED KITCHEN & PANTRY				PTD. DRYWALL ACCEPT PLANTATION BATTERS AT WINDOWS	NO CROWN	PTD. DRYWALL	PTD. DRYWALL BEHIND RECLAIMED IN PAINTED TRIMS
RENOVATED BREAKFAST ROOM				ADD IN BEHIND TRIM ACCEPT PLANTATION BATTERS AT WINDOWS	NO CROWN	PTD. DRYWALL	PTD. DRYWALL BEHIND RECLAIMED IN PAINTED TRIMS
SECOND FLOOR FINISHES							
NEW DRESSING ROOM	HASH EXIS.	HASH EXIS.	HASH EXIS.	PTD. DRYWALL	1 PIECE CROWN	PTD. DRYWALL	
RENOVATED MASTER BEDROOM COVER	CARPET	HASH EXIS.	ADD IN BEHIND TRIM ACCEPT PLANTATION BATTERS AT WINDOWS	PTD. DRYWALL	HASH EXIS.	PTD. DRYWALL	ADD ADDITIONAL LAYER OF 1/2" PLY TO ENDS
RENOVATED HIRSHMAN I	G.T. W/ MLAY		ADD IN BEHIND TRIM ACCEPT PLANTATION BATTERS AT WINDOWS	PTD. DRYWALL	PTD. HD 3 PIECE CROWN/MULL	PTD. DRYWALL	GT TO GLA. IN BOWER
RENOVATED HIRSHMAN II	G.T. W/ MLAYED PANELING		ADD IN BEHIND TRIM ACCEPT PLANTATION BATTERS AT WINDOWS	PTD. DRYWALL	PTD. HD 3 PIECE CROWN/MULL	PTD. DRYWALL	GT TO GLA. IN BOWER
RENOVATED DRESSING 1	HASH EXIS.	HASH EXIS.	HASH EXIS.	PTD. DRYWALL	-	PTD. DRYWALL	
RENOVATED DRESSING 2	HASH EXIS.	HASH EXIS.	HASH EXIS.	PTD. DRYWALL	-	PTD. DRYWALL	
RENOVATED LABORY	G.T.	HASH EXIS.	HASH EXIS.	G.T.	-	PTD. DRYWALL	
ATTIC FLOOR FINISHES							



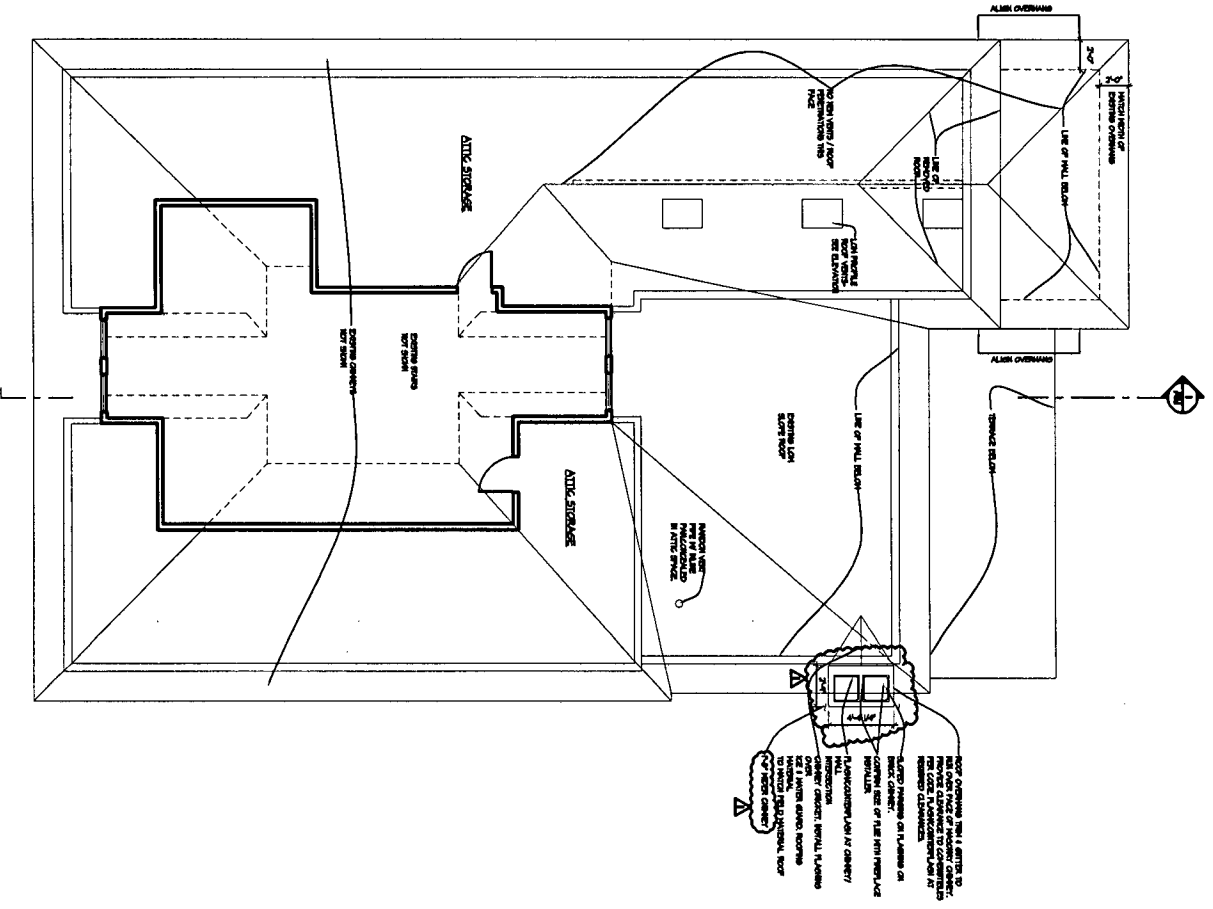
1 CELLAR - FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 THIS SET SHOULD BE REFERENCED TO SHEET A.3.1

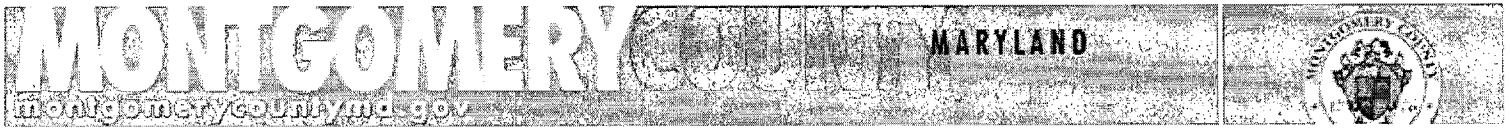
<p>A.3.1</p>	<p>Project: CONLEY RESIDENCE 9 WEST LENOX STREET CHEVY CHASE, MD 20815</p>	<p>Sheet Title: FLOOR PLAN - CELLAR / FOUNDATION</p> <p>Scale: 1/4" = 1'-0"</p>	<p>HISTORIC SUBMITTAL REVISIONS AUGUST 2008</p>	<p>AUGUST 2008 HISTORIC SUBMITTAL</p>	<p>DONALD LOCOCO ARCHITECTS, LLC 3417 10TH STREET, NW WASHINGTON, DC 20018 TEL: 202-331-4422 FAX: 202-331-2822</p>
---------------------	----------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------	---------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 ATTIC / ROOF PLAN
SCALE: 1/4" = 1'-0"





DPS/Application Details

Status

Historic Area Work Permit

Permit/License: 493647

Application Details

[Help](#)

Permit Number 493647
Application Date 08/20/2008
Issue Date
Final Date
Work Type Add
Square Footage 0
Value \$100,000.00

Site Address
 9 W Lenox ST
 Chevy Chase
 MD 20815-4208
Lot - Block - Subdiv. Chevy Chase Sec 2
Application Status
 In Process

Contractors

ID	Name	Address
Not available		

Licenses

Contractor License	Name	Address
Not available		

[Alert](#) | [Awards](#) | [Privacy Policy](#) | [User Rights](#) | [Accessibility](#) | [Disclaimer](#) | [County Code](#) | [RSS](#)

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Best viewed with IE 5.0 or Netscape 6.0 and higher

GEOFFREY B. BIDDLE
Village Manager
 DAVID R. PODOLSKY
Legal Counsel

CHEVY CHASE VILLAGE
 5906 CONNECTICUT AVENUE
 CHEVY CHASE, MD 20815
 Telephone (301) 654-7300
 Fax (301) 907-9721
 ccv@montgomerycountymd.gov

BOARD OF MANAGERS
 DOUGLAS B. KAMEROW

Chair
 DAVID L. WINSTEAD
Vice Chair
 SUSIE EIG
Secretary
 GAIL S. FELDMAN
Treasurer
 BETSY STEPHENS
Assistant Treasurer
 PETER M. YEO
Board Member
 ROBERT L. JONES
Board Member

8/15/2008

Property Owner Name: Mr. Stephen C. Conley

Contractor Name: Lifecraft

Location of Requested Building Permit:

Address: 9 West Lenox Street

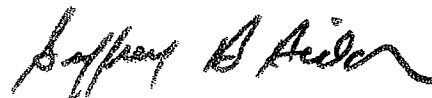
City, State, Zipcode Chevy Chase, MD 20815

Proposed Scope of Work: Replace existing house and garage asphalt shingle roofs with slate; add pergola on side yard patio; add dovecote on roof of existing garage; extend the previously approved patio 3'2" into the rear of the property; change the paving from brick to stone; add a fixed gas BBQ in a masonry surround; relocate the stairs to grade; widen the previously approved chimney by approx. 1'; change the sizes of two previously approved windows by approx. 1'.

Dear Department of Permitting Services:

The above homeowner/contractor has notified Chevy Chase Village that they are planning to apply for both County and Municipal permits for the above summarized construction project. We have supplied them with a full set of the appropriate regulations, and they fully understand that a permit from the County does not guarantee a permit from this municipality, unless they comply with all the rules and regulations given to them with this letter. They have been provided with this information and the appropriate instructions to file for a Building Permit and/or variance form from this municipality.

Sincerely,



Geoffrey Biddle



North - East Side of House



North-East Side of House looking
from Laurel Parkway



North-east side of House
looking from Laurel Pkwy



Front of House from Intersection
of Lenox Street & Laurel Pkwy.

9 WEST LENOX
30F. 3



F

HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

David Rotenstein
Chairperson

Date: April 23, 2009

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner *JDS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #493647, roof replacement and minor revisions to approved HAWP

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the September 10, 2008 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Stephen and Ellen Conley

Address: 9 West Lenox Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

REVISION

RECEIVED
AUG 20 2009
Division of Casework Management

Division of Casework Management

Contact Person: DONALD LOCOCO

Daytime Phone No.: 202-337-4422

Tax Account No.: 00456183

Name of Property Owner: STEPHEN ELLEN CONLEY Daytime Phone No.: 301-986-9654

Address: 9 WEST LENOX CHEVY CHASE, MD 20815
Street Number City Street Zip Code

Contractor: LIFE CRAFT Phone No.: 202-362-3830

Contractor Registration No.: 15711

Agent for Owner: DONALD LOCOCO Daytime Phone No.: 202-337-4422

LOCATION OF BUILDING/PREMISE

House Number: 9 Street: WEST LENOX

Town/City: CHEVY CHASE Nearest Cross Street: LAVREL PARKWAY

Lot: 1 Block: 42 Subdivision: 9

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: PATLDS TRELLIS

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # 476437

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITDINS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

Aug 19 09
Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: *[Signature]* Date: 4/24/09

Application/Permit No.: 49-3217 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CIRCA 1910 STUCCO HOUSE WITH BRICK AND
SIDING. PROPERTY REMODELED IN 1990 WITH
REAR ADDITION AND NEW GARAGE THAT MATCHES
EXISTING HOUSE. LARGE COVERED PORCHES
WITH SQUARE BRICK PIERS

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REVISION OF PREVIOUS APPROVED APPLICATION
ADDITION OF SLATE TO NEW & EXISTING ROOF OF
MAIN HOUSE AND GARAGE. ADDITION OF TRELLIS/
PARGOLA TO SIDE PATIO.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

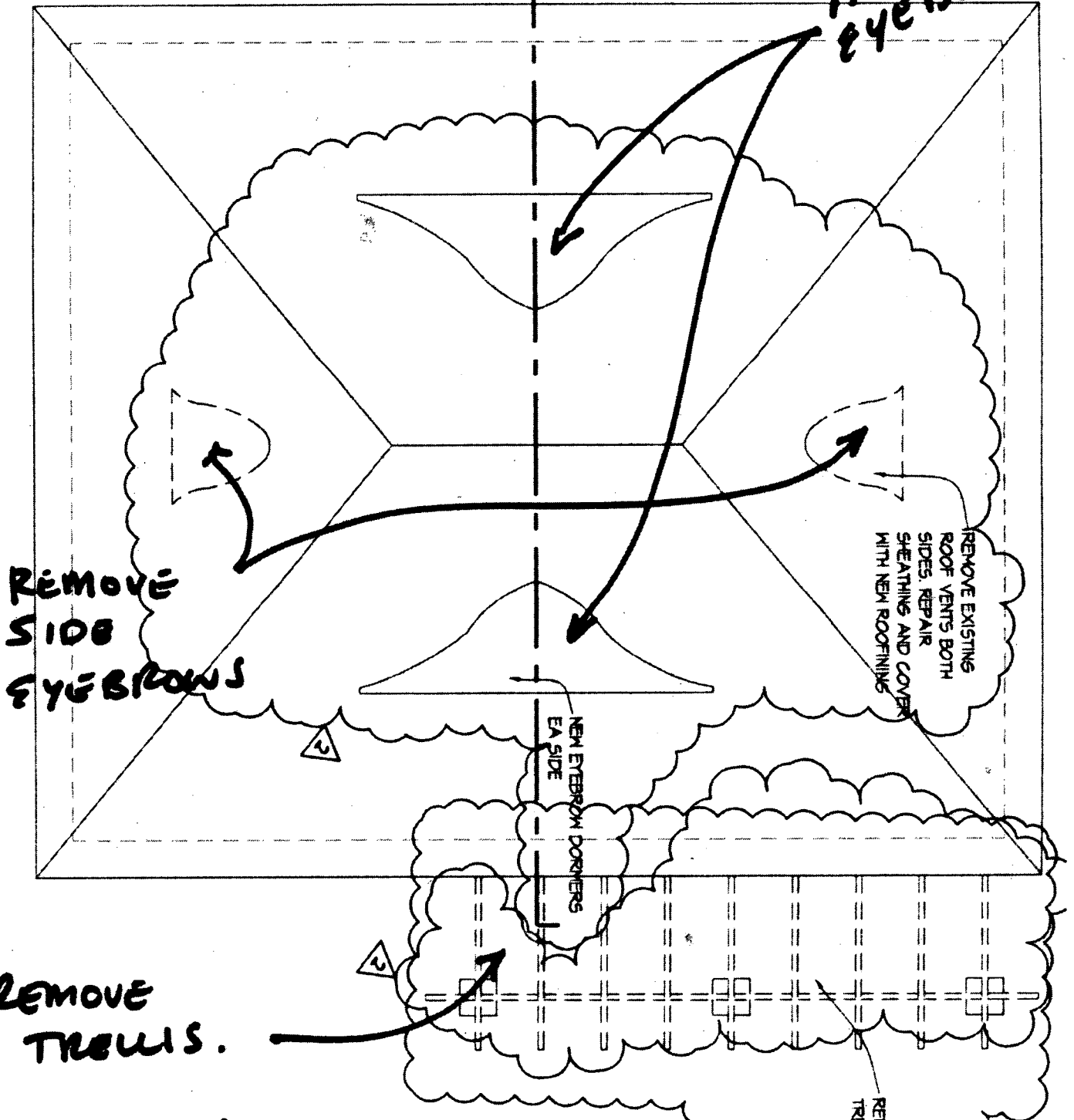
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which tie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

DRIVEWAY,
STREET SIDE

ADD
EYEBROWS



REMOVE
TRELLIS.

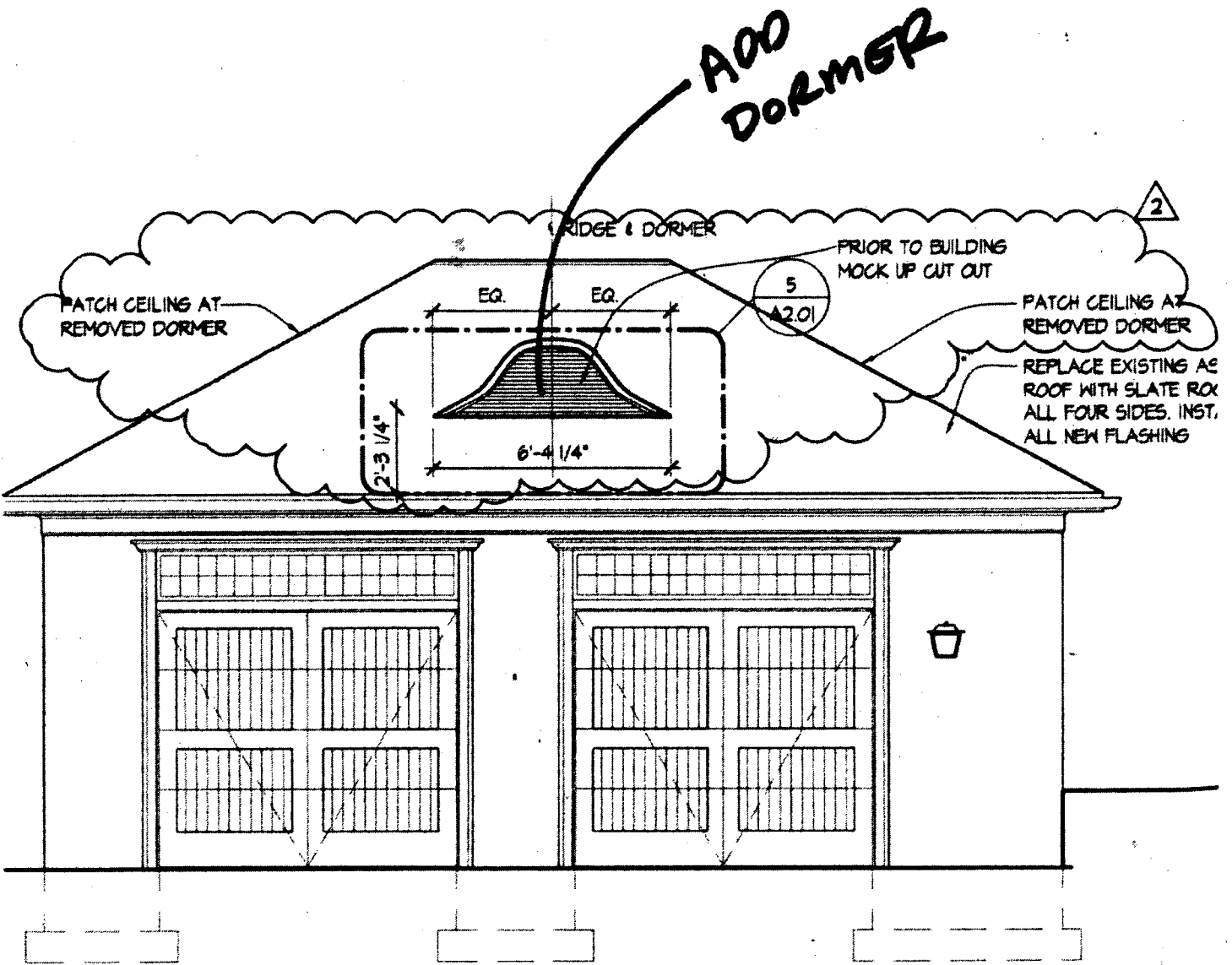
2/25/09

CONLEY

1/4" = 1'-0"

APPROVED

 4/24/09



DRIVEWAY ELEVATION

2/25/09

③ GARAGE - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

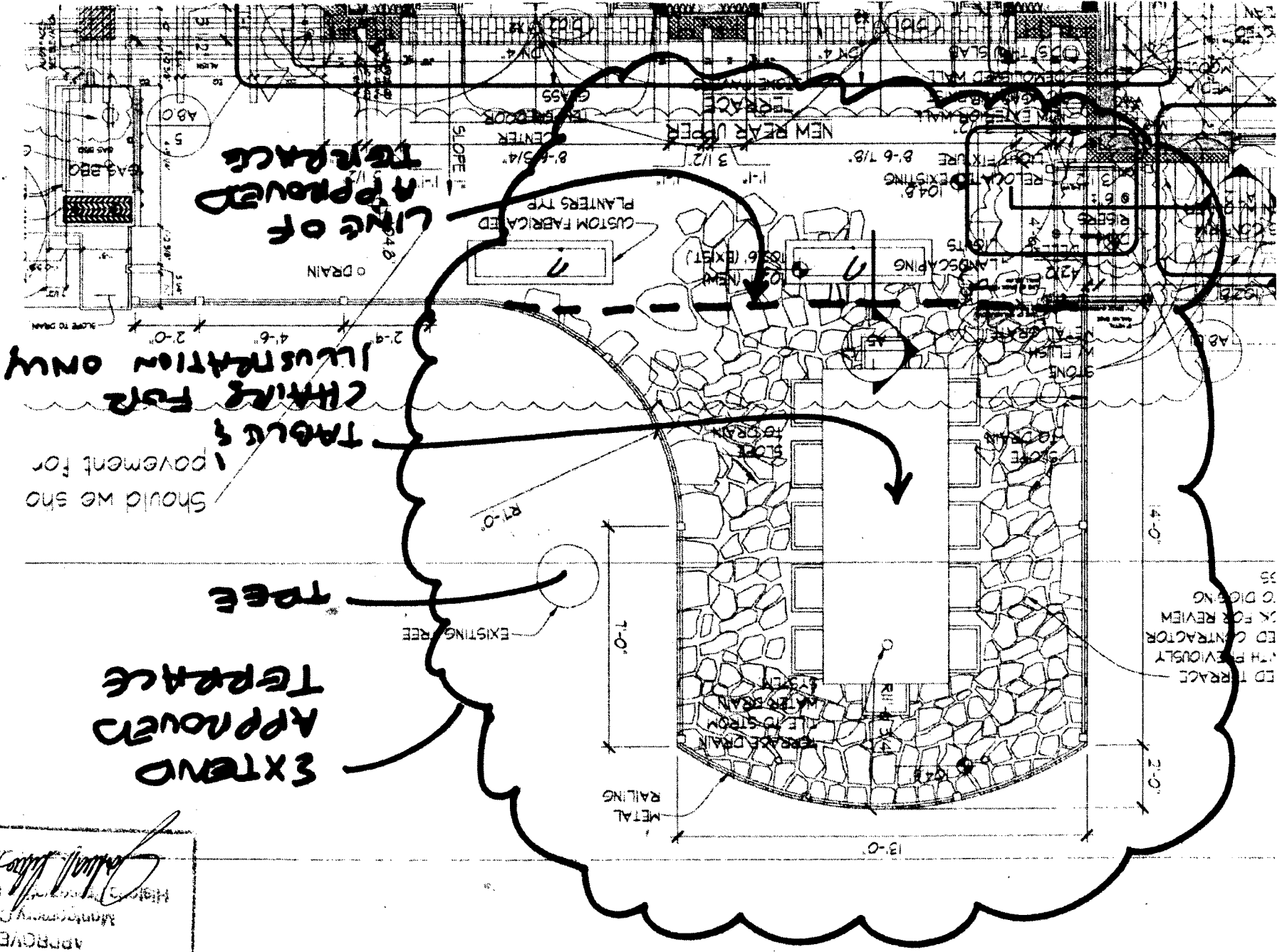
CONVEY 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 9/24/09

CONCRETE

1/4" = 1'-0"

2/25/09



LINE OF APPROVED TERRACE

TABLE & CHAIRS FOR ILLUSTRATION ONLY

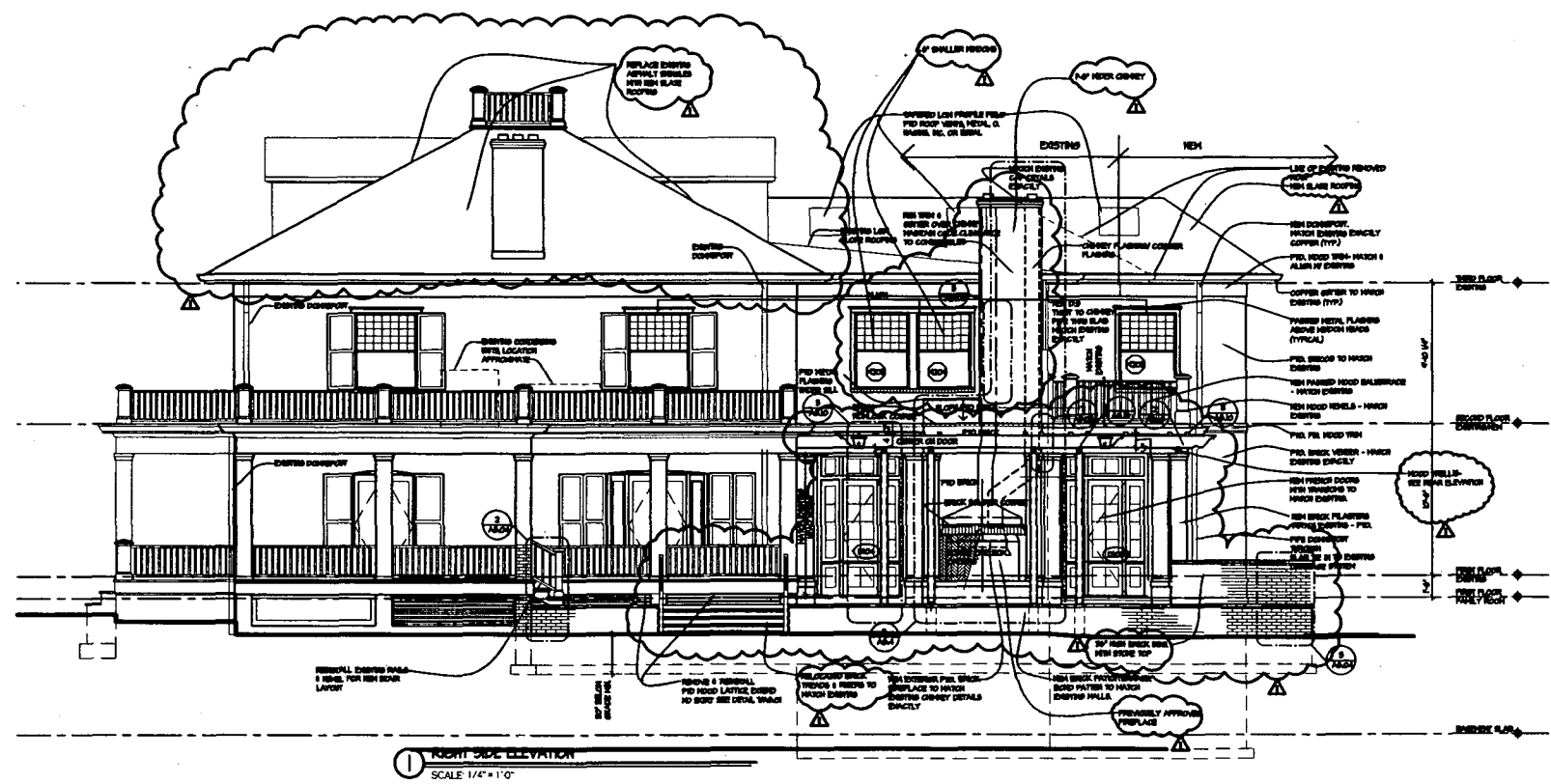
EXTEND APPROVED TERRACE

APPROVED
 [Signature]
 2/25/09

APPROVED
 Montgomery County
 Historic Preservation Commission
Charles Lubie 4/24/09

DONALD
 LOCOCO
 ARCHITECTS, LLC
 3417 LT M Street, NW
 Washington, DC 20017
 Tel: 202.337.4422
 Fax: 202.337.5622

HISTORIC
 SUBMITAL
 AUGUST, 2008
 HISTORIC
 SUBMITAL REVISIONS:
 AUGUST 20,
 2008



Sheet Title: RIGHT SIDE ELEVATION
 Scale: 1/4" = 1'-0"

Project: CONLEY RESIDENCE
 9 WEST LENOX STREET
 CHEVY CHASE, MD 20815

A4.2

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	9 West Lenox Street, Chevy Chase	Meeting Date:	9/10/2008
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	9/3/2008
Applicant:	Stephen and Ellen Conley (Donald Locco, Architect)	Public Notice:	8/27/2008
Review:	HAWP	Tax Credit:	No
Case Number:	35/13-08S	Staff:	Josh Silver
PROPOSAL:	Roof replacement and minor revisions to approved HAWP		

STAFF RECOMMENDATION:

Approval

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival/Four-Square
DATE OF CONSTRUCTION: 1892-1912

PROPOSAL:

The applicants are proposing to remove an existing asphalt shingle roof from the historic massing and install a new slate roof.

The applicants are also proposing several minor revisions to their previously approved HAWP for a new rear addition and other alterations. The proposed revisions include:

- Installation of a slate roof on the approved rear addition and existing asphalt shingle garage
- Installation of a wooden dovecote on the roof of the existing garage
- Installation of an open style wooden trellis on the approved side yard patio
- Installation of a stone surface on the approved side yard patio in place of brick
- Installation of a fixed gas BBQ in masonry surround on the approved side yard patio
- Widening (1') of the approved chimney that serves the approved exterior fireplace on the right side of the house
- Relocation of the brick stairs at the rear of the approved side yard patio and installation of a side loading stair unit on the right side elevation
- Minor resizing of three windows on the existing 1990 rear addition in order to accommodate the proposed design changes to the chimney.

APPLICABLE GUIDELINES:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RECEIVED

Division of Casework Management

RETURN TO DEPARTMENT OF PERMITTING SERVICES 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

REVISION

Division of Casework Management

AUG 20 2008

RECEIVED

Contact Person: DONALD LOCOCO

Daytime Phone No.: 202-337-4422

Tax Account No.: 00456183

Name of Property Owner: STEPHEN & ELLEN CONLEY Daytime Phone No.: 301-986-9654

Address: 9 WEST LENOX CHEVY CHASE, MD 20815

Contractor: LIFE CRAFT Phone No.: 202-362-3830

Contractor Registration No.: 15711

Agent for Owner: DONALD LOCOCO Daytime Phone No.: 202-337-4422

LOCATION OF BUILDING/PREMISE

House Number: 9 Street: WEST LENOX

Town/City: CHEVY CHASE Nearest Cross Street: LAVREL PARKWAY

Lot: 1 Block: 42 Subdivision: 9

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable

CHECK ALL APPLICABLE:

- A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other: PATLO & TRELIS

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # 476437

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other:

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date: Aug 19 08

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 493647 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CIRCA 1910 STUCCO HOUSE WITH BRICK AND
SIDING. PROPERTY REMODELED IN 1990 WITH
REAR ADDITION AND NEW GARAGE THAT MATCHES
EXISTING HOUSE. LARGE COVERED PORCHES
WITH SQUARE BRICK PIERS

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

REVISION OF PREVIOUS APPROVED APPLICATION
ADDITION OF SLATE TO NEW & EXISTING ROOF OF
MAIN HOUSE AND GARAGE. ADDITION OF TRELLIS/
PORCHOLA TO SIDE PATIO.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

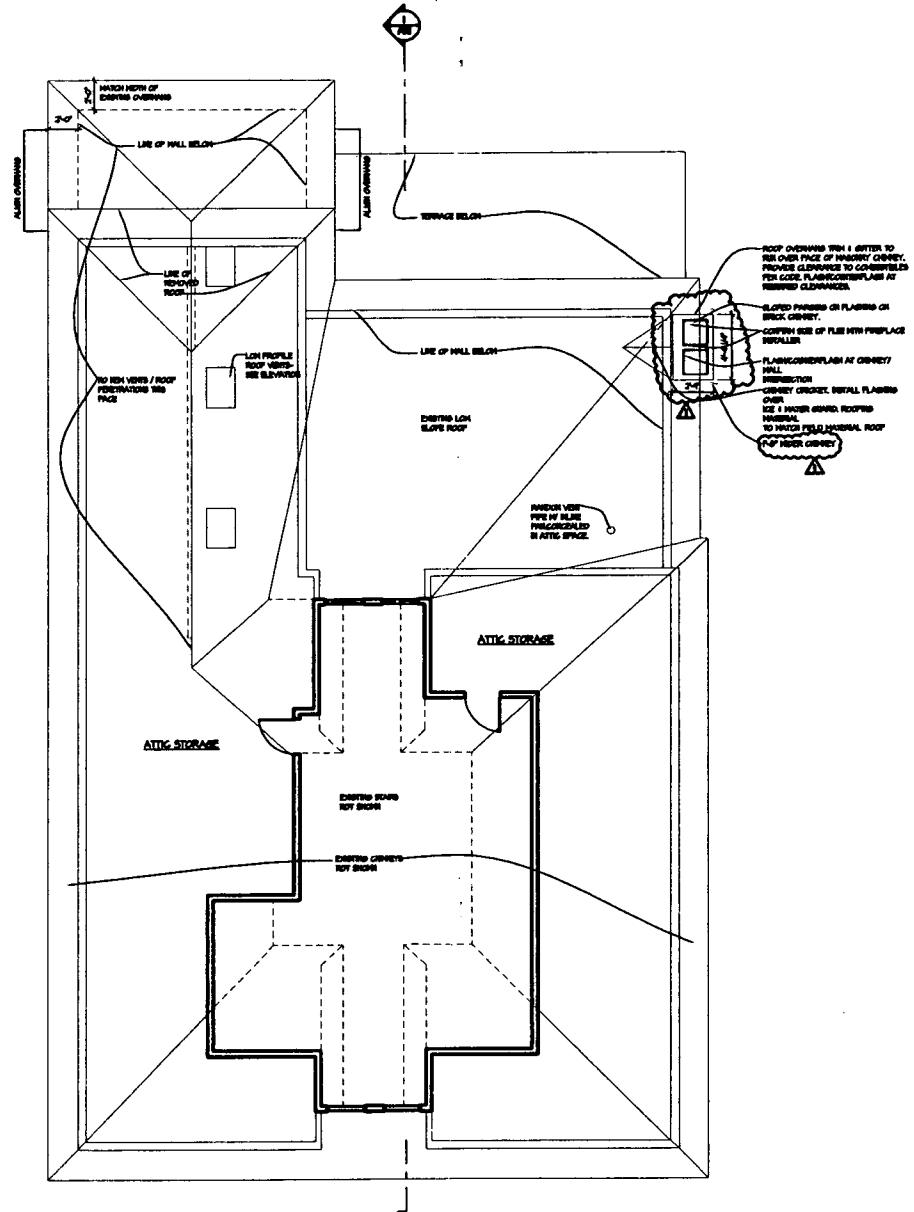
4

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Addresses may be acquired from "Real Property Data Search" online: <http://www.dat.state.md.us/>

Owner's mailing address	Owner's Agent's mailing address
Conley 9 West Lenox Street Chevy Chase MD	DONALD LOCO ARCHITECTS 3413 1/2 M STREET N/W SUITE A WASHINGTON, DC 20007
Adjacent and confronting Property Owners mailing addresses	
Joyce 10 Laurel Parkway Chevy Chase, MD 20815	Gellman 11 West Lenox Street Chevy Chase, MD 20815
Bennett 4 Laurel Parkway Chevy Chase, MD 20815	Fox 8 West Lenox Street Chevy Chase, MD 20815



1 ATTIC / ROOF PLAN
SCALE: 1/4" = 1'-0"

9

PREVIOUSLY APPROVED
ONE STORY ADDITION

NEW OPEN TRELLIS
ON BRICK / WOOD
POSTS

PREVIOUSLY APPROVED
ADDITION (1490)
2 STORY

EXISTING HOUSE

NEW STEPS TO
GRADE

LAUREL PARKWAY

EXISTING
WALKS

EXISTING
TREES TO
REMAIN

NEW BBQ
WITH STONE TOP

EXISTING TREES
TO REMAIN.

NEW STEPS TO
GRADE
PREVIOUSLY APPROVED
2 STORY
ADDITION

EXISTING
GARAGE

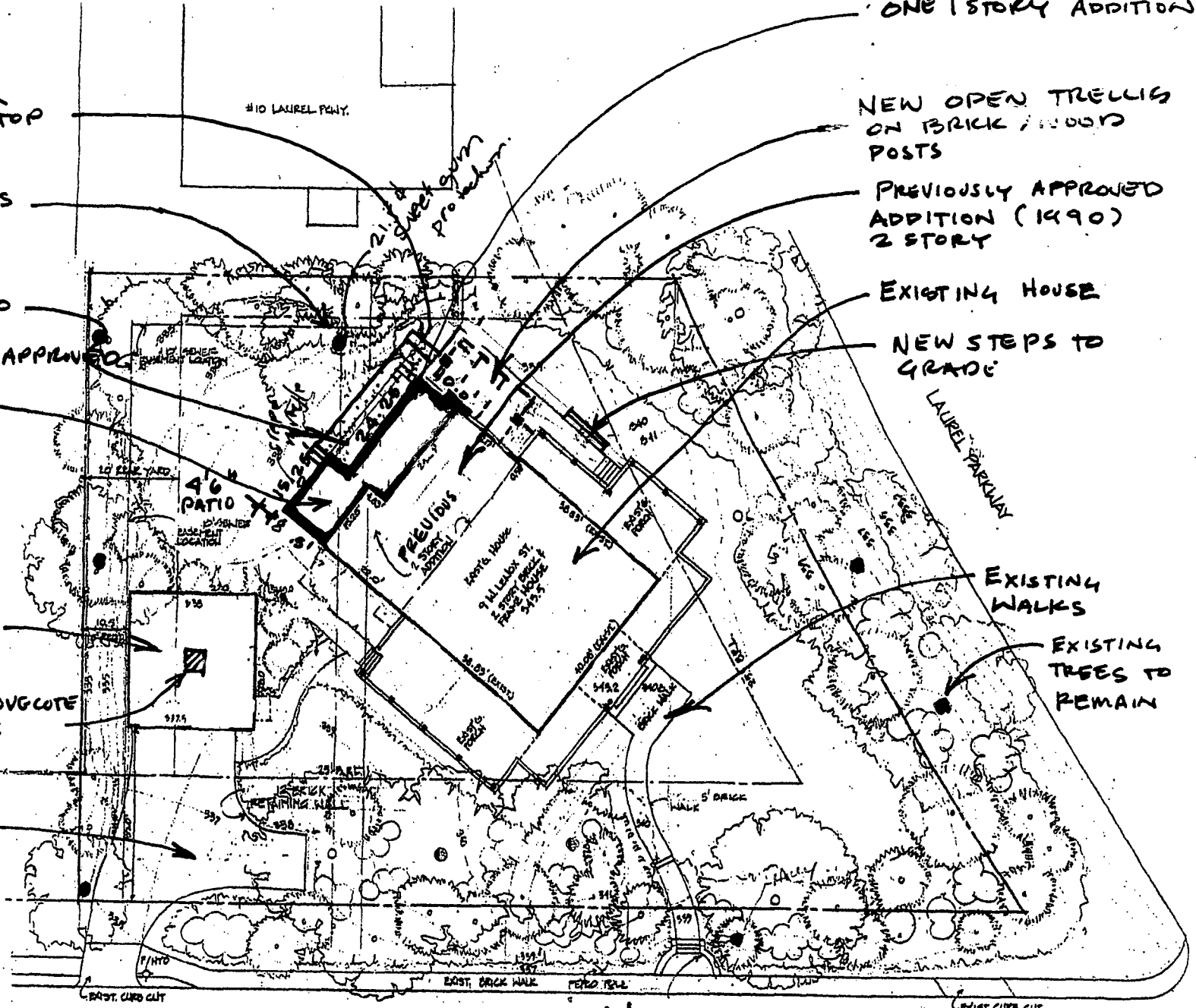
PROPOSED DOUGLITE
ON GARAGE
ROOF

EXISTING
DRIVE

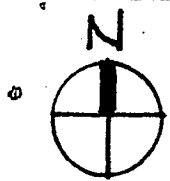
#10 LAUREL PENNY

21' x 4' Sweet gum
protection

IF 11 WEST LENOX



WEST LENOX STREET



SITE PLAN

SCALE = 1" = 30'

9 WEST LENOX

NOTE:
ALL INFORMATION BASED ON JOB NO. 99-100
BY BETHESSA ENGINEERS & SURVEYORS INC.
4424 MONTGOMERY AVE BETHESDA MD 20814

DONALD LOCOCO ARCHITECTS



SET IS PROVIDED INCOMPLETE WITHOUT THE FOLLOWING DOCUMENTS:

- A COMPLETE SET OF THE MOST CURRENT DRAWINGS
- STRUCTURAL NOTES FROM ROBERT SILVER ASSOCIATES PLLC STRUCTURAL ENGINEERS
- DATED SPECIFICATIONS

PLA NOTES & STANDARDS FOR RENOVATION

- ALL EXTERIOR WALLS 2 x 6 UGA.
- ALL INTERIOR WALLS 2 x 4 UNLESS NOTED OR SCALED OTHERWISE
- ALL ELEVATION PORTS ARE TO TOP OF FIN FLOOR UGA.
- ALL ELEVATION PORTS ARE TO TOP OF SLAB UGA.
- ALL ELEVATION REAR PORTS ARE TO TOP OF JOISTS OR TRUSS UGA.
- ALL EXTERIOR DOORS AND WINDOWS ARE LOCATED TO THEIR FLO.
- ALL INTERIOR DOORS ARE LOCATED TO THE DOOR SLAB SIZE.
- ALL EXTERIOR MASONRY DIMENSIONS TO FACE OF CONCRETE UGA.
- ALL EXTERIOR FRAMING DIMENSIONS TO FACE OF SHEATHING UGA.
- ALL INTERIOR FRAMING DIMENSIONS TO FACE OF DRYWALL UGA.

GENERAL KEY

- NEW CONSTRUCTION SITE PLAN
- EXISTING WALL TO REMAIN
- DEMOLISHED WALL
- NEW WALL
- BALCONY / COLLECT ABOVE UGA.
- DOWNSTAIR
- UPSTAIR
- INTERNAL INSULATION ABOVE
- INTERNAL INSULATION
- FURRED CONCRETE
- STAIR
- CMU BLOCK
- AGED INSULATION
- ACROUSTIC CEILING
- 2" DROP IN CEILING
- 4" DROP IN CEILING
- 6" DROP IN CEILING
- HIDDEN SYMBOL
- DOOR SYMBOL

FOR SLIGHT LINE SYMBOLS SEE ID FOR SPEC. SYMBOLS SEE SPEC. SHEETS

LIST OF ABBREVIATIONS

ADJ	- ADJUSTABLE	CC	- CR CENTER
APP	- AT FINISHED FLOOR	PCPC	- PORCELAIN
BDRM	- BEDROOM	PREPDR	- PREFABRICATED
BRKFRM	- BREAKFAST	PROJ	- PROJECT
CAB	- CABINET	FRD	- FRAMED
CLB	- CLOSET	R	- RAISE
CLCB	- CLOSET	R & S	- RIB & SHELF
COL	- COLUMN	REP	- REPAIR/REPLACE
CMP	- CONCRETE MASONRY UNIT	RM	- ROOM
CR	- CORNER	RO	- ROOM OPENING
DR	- DOOR	SMT	- SHEET
DR	- DOORWAY	SHD	- SHOWER
DN	- DRYWALL	SHD	- SHOWER
DRS	- DRAWINGS	SHS	- SHIMS
DRS	- ELECTRICAL	SPP	- SUPPLY
EL	- ELECTRICAL	T	- TRIM
EL EXST	- EXISTING ELECTRICAL	TRM	- TRIMISH
EDT	- ENTRANCE	TUB	- TUB & BROOD
ELVBR	- ELEVATORS	TYP	- TYPICAL
FR	- FRESH	W	- WITH
FR	- FRESH	WD	- MEMBER 1 DETER
FR	- FRESH	WD	- MEMBER 2 DETER
FR	- FRESH	WD	- MEMBER 3 DETER
FR	- FRESH	WD	- MEMBER 4 DETER
FR	- FRESH	WD	- MEMBER 5 DETER
FR	- FRESH	WD	- MEMBER 6 DETER
FR	- FRESH	WD	- MEMBER 7 DETER
FR	- FRESH	WD	- MEMBER 8 DETER
FR	- FRESH	WD	- MEMBER 9 DETER
FR	- FRESH	WD	- MEMBER 10 DETER
FR	- FRESH	WD	- MEMBER 11 DETER
FR	- FRESH	WD	- MEMBER 12 DETER
FR	- FRESH	WD	- MEMBER 13 DETER
FR	- FRESH	WD	- MEMBER 14 DETER
FR	- FRESH	WD	- MEMBER 15 DETER
FR	- FRESH	WD	- MEMBER 16 DETER
FR	- FRESH	WD	- MEMBER 17 DETER
FR	- FRESH	WD	- MEMBER 18 DETER
FR	- FRESH	WD	- MEMBER 19 DETER
FR	- FRESH	WD	- MEMBER 20 DETER

THE CURRENT SPEC ARE DATED REVISIONS

SPEC MUST BE ACCESSIBLE AT ALL TIMES

REFER TO ROBERT SILVER ASSOCIATES PLLC STRUCTURAL ENGINEERS FOR ALL FOUNDATION AND STRUCTURAL INFORMATION INCLUDING DIMENSIONS AND DETAILS

VERIFY MOST CURRENT SUBMITTALS WITH GEL CONTRACTOR

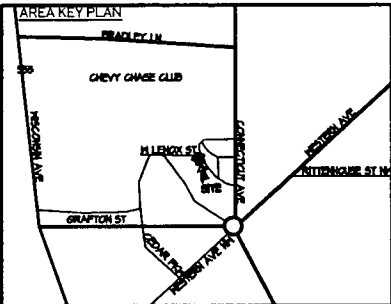
VERIFY ALL SHEETS LISTED ARE INCLUDED IN THIS SET

REMOVE ANY MISSING SHEETS FROM THE PROJECT



CONLEY RESIDENCE

9 WEST LENOX STREET CHEVY CHASE, MD 20815



REVISION RECORDS

DRAWING INDEX

- A1.1 INDEX COVER
- EXTERIOR AND INTERIOR
- A1.2 DOOR SCHEDULES
- A1.3 WINDOW AND FINISH SCHEDULES
- A3.1 FLOOR PLAN - CELLAR / FOUNDATION
- A3.2 FLOOR PLAN - FIRST FLOOR
- A3.3 FLOOR PLAN - SECOND FLOOR
- A3.4 FLOOR PLAN - ATTIC / ROOF PLAN
- A4.1 FRONT ELEVATION
- A4.2 RIGHT ELEVATION
- A4.3 REAR ELEVATION
- A4.4 LEFT ELEVATION

DONALD LOCOCO ARCHITECTS, LLC

1817 1/2 M Street, NW
Washington, DC 20007
Tel: 202 337-4422
Fax: 202 337-2672

HISTORIC SUBMITTAL

AUGUST, 2008

HISTORIC SUBMITTAL REVISIONS AUGUST 20, 2008

Sheet Title: INDEX
Date: N/A

CONLEY RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MD 20815

Project:

Sheet

A1.1

8

WINDOW SCHEDULE

- EXTENDED SILL WORKS AS REQUIRED TO COVER TRIM WORK.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
- REFER TO SUPPLIER TO CONFIRM SAFETY GLASS LOCATIONS ON ORDER
- ALL WINDOWS TO BE PAINTED WOOD EXTERIORS WITH SIMULATED DIVIDED LIGHTS, MUNTIN WIDTH/PROFILE TO MATCH EXISTING MATERIALS TO BE DELIVERED AT TIME OF CONSTRUCTION

INDEX	ROOM NAME / LOCATION	HANE/ STYLE/ MODEL	WINDOW TYPE (FIXED OR OPERABLE)	COLON OPERING WIDTH		COLON OPERING HEIGHT		HALLED CASE SET PLANNED UNITS (FRAME TO FRAME)	HALLED CASE SET. WINDOW & TRANSOM FRAME TO FRAME	SCREENS	BRICK MTD. CONDITION ALL WORK EXTENDERS	EXTENSION TRIM DETAILS	NOTES
				MINION	MINION	MINION	MINION & TRANSOM						
CELLAR WINDOWS													
H001	RENOVATED CELLAR	DOUBLE HING	OPERABLE	4'-0"	4'-0"								SEE ELEVATIONS FOR TRIM
H002	RENOVATED CELLAR	DOUBLE HING	OPERABLE	3'-7"	7'-0"	4'-0"							SEE ELEVATIONS FOR TRIM
H003	ENERGY ROOM	MINOR KOLBE & KOLBE	FIXED	3'-0 1/2"	3'-0"								SEE ELEVATIONS FOR TRIM
H004	ENERGY ROOM	MINOR KOLBE & KOLBE	FIXED	3'-0 1/2"	3'-0"								SEE ELEVATIONS FOR TRIM
FIRST FLOOR WINDOWS													
H001	RENOVATED KITCHEN	DOUBLE HING	OPERABLE	4'-0"	4'-0"								POSSIBLY SALVAGED FROM
H002	RENOVATED BREAKFAST ROOM	DOUBLE HING	OPERABLE	3'-1 1/2"	4'-0"								POSSIBLY SALVAGED FROM
H003	RENOVATED BREAKFAST ROOM	DOUBLE HING	OPERABLE	3'-1 1/2"	4'-0"								POSSIBLY SALVAGED FROM
H004	RENOVATED BREAKFAST ROOM	DOUBLE HING	OPERABLE	3'-1 1/2"	4'-0"								POSSIBLY SALVAGED FROM
H005	RENOVATED BREAKFAST ROOM	SALVAGED DOUBLE HING	OPERABLE	3'-0"	3'-0"								POSSIBLY SALVAGED FROM
SECOND FLOOR WINDOWS													
H001	REN OPERING ROOM	DOUBLE HING	OPERABLE	3'-0 1/2"	3'-0"								SEE ELEVATIONS FOR TRIM
H002	REN OPERING ROOM	SALVAGED DOUBLE HING	OPERABLE	3'-0"	3'-0"								SEE ELEVATIONS FOR TRIM
H003	REN OPERING ROOM	DOUBLE HING	OPERABLE	3'-0 1/2"	3'-0"								SEE ELEVATIONS FOR TRIM
H004	RENOVATED HALL	DOUBLE HING	OPERABLE	3'-0"	3'-0"								SEE ELEVATIONS FOR TRIM
H005	RENOVATED HALL	DOUBLE HING	OPERABLE	3'-0"	3'-0"								SEE ELEVATIONS FOR TRIM
ATTIC FLOOR WINDOWS													

FINISH SCHEDULE (ALL TRIM PAINTED UNGO)

ROOM NAME	FLOOR	BASEBOARD	CASING SINK & IN TO BE LEFT TO A.S. UGO	HALL	CROWN MOLD	CEILING	NOTES
CELLAR FINISHES							
REN HYDRANT BELLWELL	CARPET IN UNDERLAYMENT	WAXED BRICK. IN.	ADD IN BRICK WITH ACCEPT PLASTER SYSTEMS AT INTERIOR	PIEL DRYWALL	SHOVS 3 PIECE	PIEL DRYWALL	
REN HEDA ROOM	CARPET IN UNDERLAYMENT	WAXED BRICK. IN.		PIEL DRYWALL	SHOVS 3 PIECE	PIEL DRYWALL	
RENOVATED STORAGE	TILE	TILE		PIEL DRYWALL	SHOVS 3 PIECE	PIEL DRYWALL	
RENOVATED LABORY	TILE	TILE		PIEL DRYWALL	SHOVS 3 PIECE	PIEL DRYWALL	
RENOVATED HALL	CARPET	WAXED BRICK. IN.		PIEL DRYWALL	SHOVS 3 PIECE	PIEL DRYWALL	
REN HEDR-BOOR ROOM	CORC	CROWN SHARED YES	CROWN SHARED YES	CROWN SHARED YES	CROWN SHARED YES	CROWN SHARED YES	TO BE COORDINATED WITH OTHER TRADES
RENOVATED ENERGY ROOM	CARPET	WAXED DL.		PIEL DRYWALL		PIEL DRYWALL	
FIRST FLOOR FINISHES							
RENOVATED FAMILY ROOM	WAXED EBK.	WAXED EBK.	WAXED EBK.	PIEL DRYWALL	NO CROWN	PIEL DRYWALL	IF THE RECLAIMED REPAIRED WOOD BOARDS ARE RECLAIMED WOOD TRIM IS RECLAIMED IN PHASED TRIM
RENOVATED KITCHEN & BREAKFAST ROOM			ADD IN BRICK WITH ACCEPT PLASTER SYSTEMS AT INTERIOR	PIEL DRYWALL	NO CROWN	PIEL DRYWALL	IF THE RECLAIMED REPAIRED WOOD BOARDS ARE RECLAIMED WOOD TRIM IS RECLAIMED IN PHASED TRIM
RENOVATED BREAKFAST ROOM			ADD IN BRICK WITH ACCEPT PLASTER SYSTEMS AT INTERIOR	PIEL DRYWALL	NO CROWN	PIEL DRYWALL	IF THE RECLAIMED REPAIRED WOOD BOARDS ARE RECLAIMED WOOD TRIM IS RECLAIMED IN PHASED TRIM
SECOND FLOOR FINISHES							
REN OPERING ROOM	WAXED EBK.	WAXED EBK.	WAXED EBK.	PIEL DRYWALL	1 PIECE CROWN	PIEL DRYWALL	ADD ADDITIONAL LAYER OF 1/2" PLY TO EBK
RENOVATED HALLWAY	CARPET	WAXED EBK.	WAXED EBK.	PIEL DRYWALL	WAXED EBK.	PIEL DRYWALL	
RENOVATED HALL BATH 1	G.L. IN SLAB		ADD IN BRICK WITH ACCEPT PLASTER SYSTEMS AT INTERIOR	PIEL DRYWALL	PIEL DRYWALL	PIEL DRYWALL	GT TO CL. IN BATH
RENOVATED HALL BATH 2	G.L. IN SLAB WITH PANELS		ADD IN BRICK WITH ACCEPT PLASTER SYSTEMS AT INTERIOR	PIEL DRYWALL	PIEL DRYWALL	PIEL DRYWALL	GT TO CL. IN BATH
RENOVATED OPERING 1	WAXED EBK.	WAXED EBK.	WAXED EBK.	PIEL DRYWALL		PIEL DRYWALL	
RENOVATED OPERING 2	WAXED EBK.	WAXED EBK.	WAXED EBK.	PIEL DRYWALL		PIEL DRYWALL	
RENOVATED LABORY	G.L.	WAXED EBK.	WAXED EBK.	G.L.		PIEL DRYWALL	
ATTIC FLOOR FINISHES							

DONALD LOCOCO ARCHITECTS, LLC

411 1/2 M Street, NW
Washington, DC 20007
Tel: 202 537 4422
Fax: 202 537 5622

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AUGUST, 2008

HISTORIC SUBMITAL REVISIONS: AUGUST 20, 2008

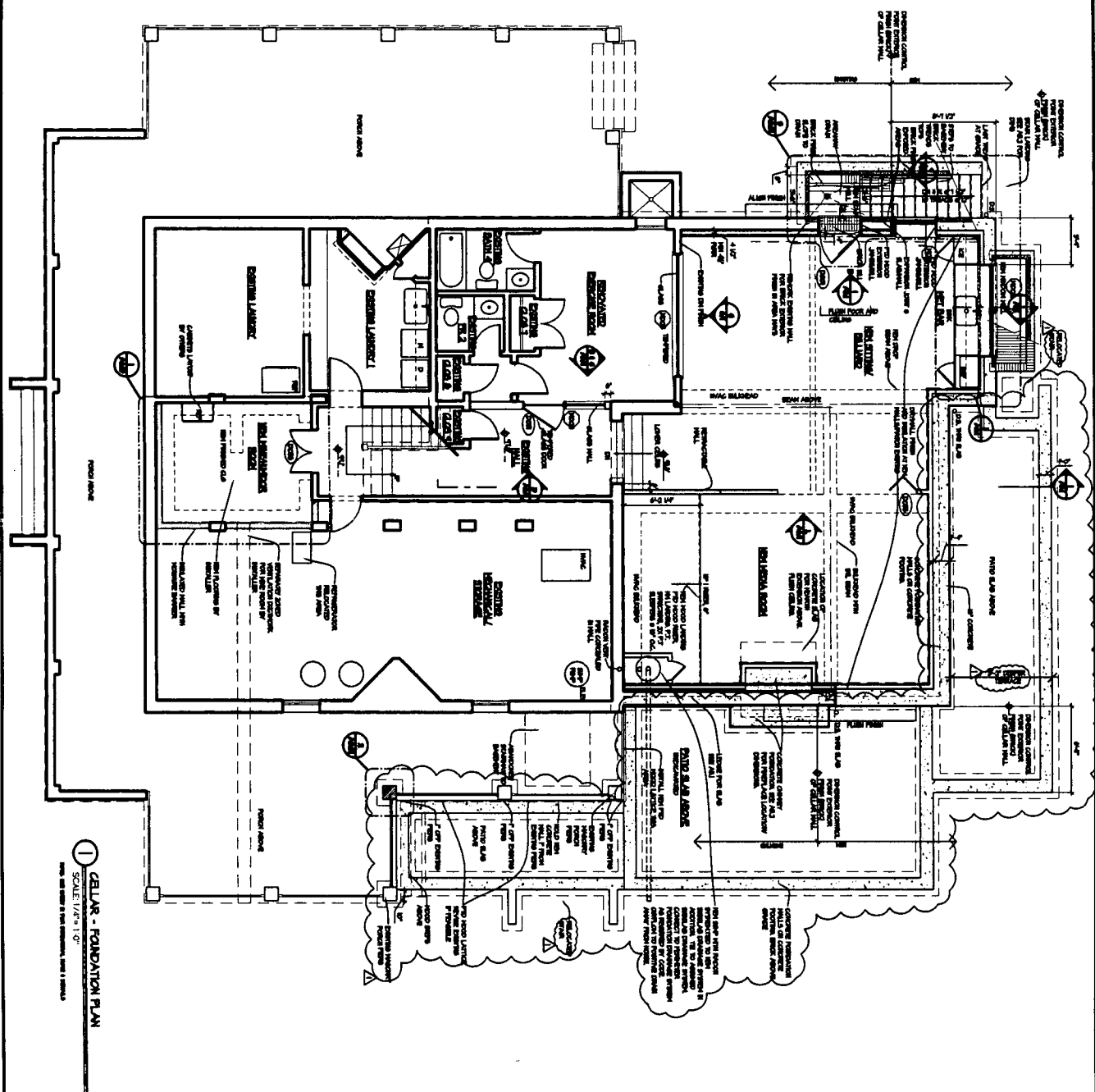
WINDOW & FINISH SCHEDULES
Sheet Title: N/A

CONLEY RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MD 20815

Sheet A1.3

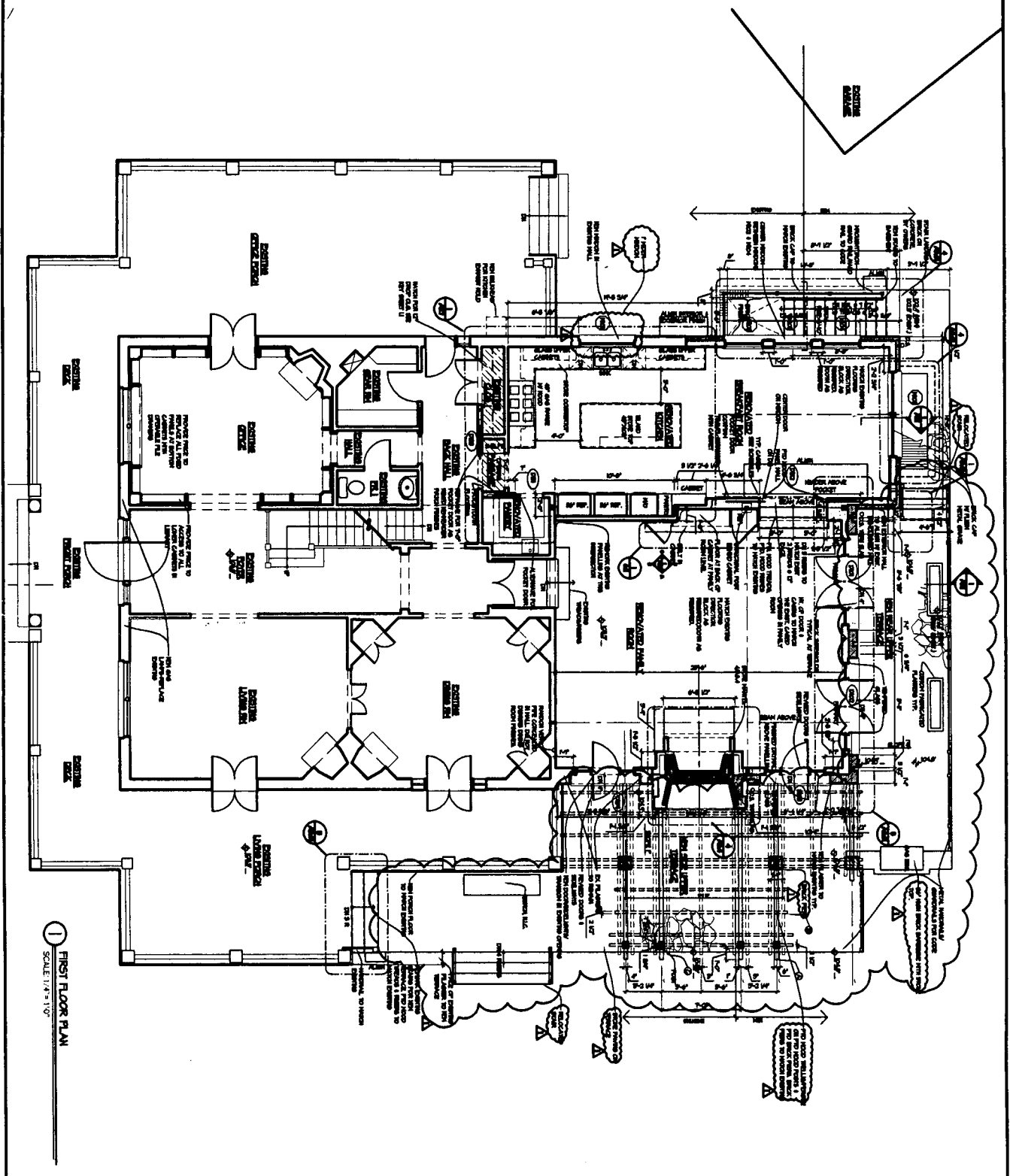
10

11



1 CELLAR - FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 THIS PLAN IS PART OF THE CONSTRUCTION SET FOR SHEET 1 OF 1

A3.1	CONLEY RESIDENCE 9 WEST LENOX STREET CHEVY CHASE, MD 20815	Sheet Title: FLOOR PLAN - CELLAR / FOUNDATION	Scale: 1/4" = 1'-0"	HISTORIC SUBMITTAL REVISIONS AUGUST 20 2008	HISTORIC SUBMITTAL AUGUST 2008	DONALD LOCOCO ARCHITECTS, LLC	3413 147th Street, NW Washington, DC 20007 TEL: 202.333.4422 FAX: 202.333.2822
	FRAMES	Sheet No.: 2008					



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

A3.2

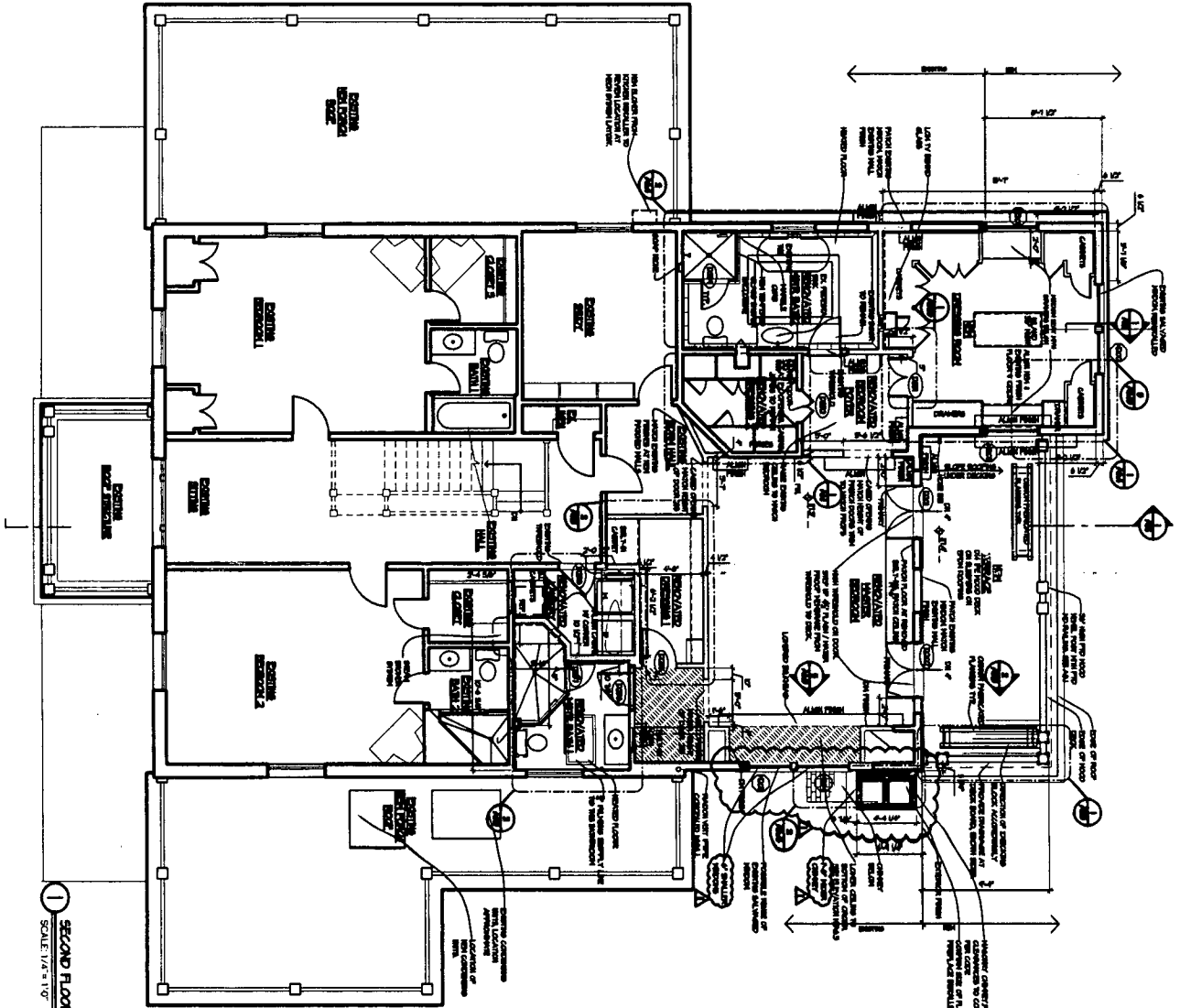
Project: CONLEY RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MD 20815

Sheet Title: FLOOR PLAN - FIRST FLOOR
Scale: 1/4" = 1'-0"

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AUGUST 2008
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AUGUST 2008

3411 1/2 N. SHILOH, N.W.
WASHINGTON, DC 20007
TEL: 202.537.4422
FAX: 202.537.2262

DONALD LOCCO ARCHITECTS, LLC



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

A3.3

Project:
CONLEY RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MD 20815

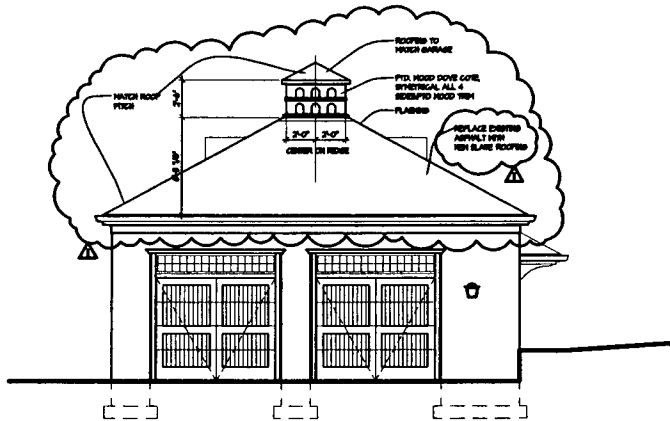
Sheet Title:
FLOOR PLAN - SECOND FLOOR
Scale:
1/4" = 1'-0"

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AUGUST 2008

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AUGUST 2008

1411 17th Street, NW
Washington, DC 20037
Tel: 202 331-4422
Fax: 202 331-2822

DONALD
LOCOCO
ARCHITECTS, PC

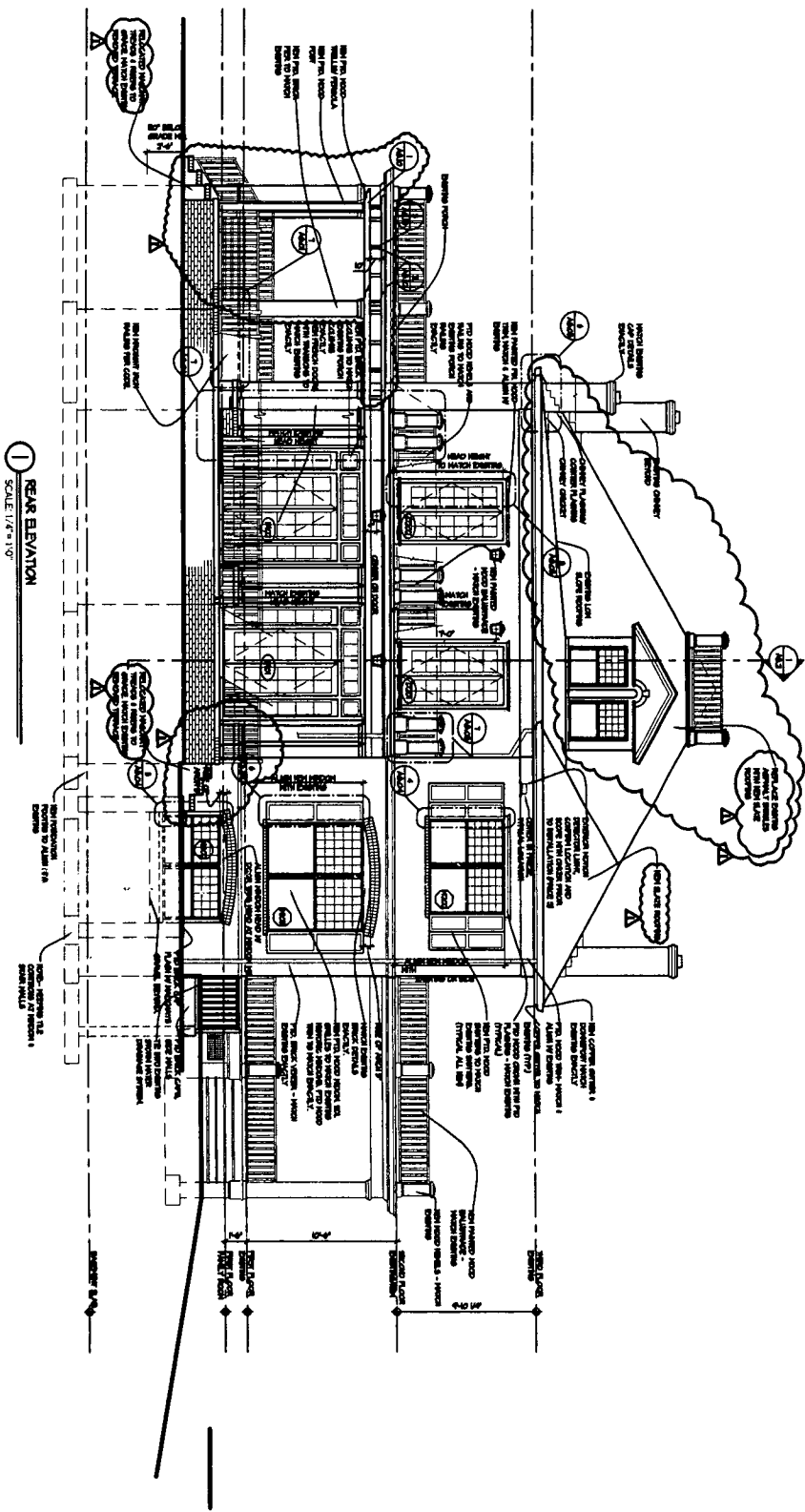


② GARAGE ELEVATION
SCALE: 1/4" = 1'-0"

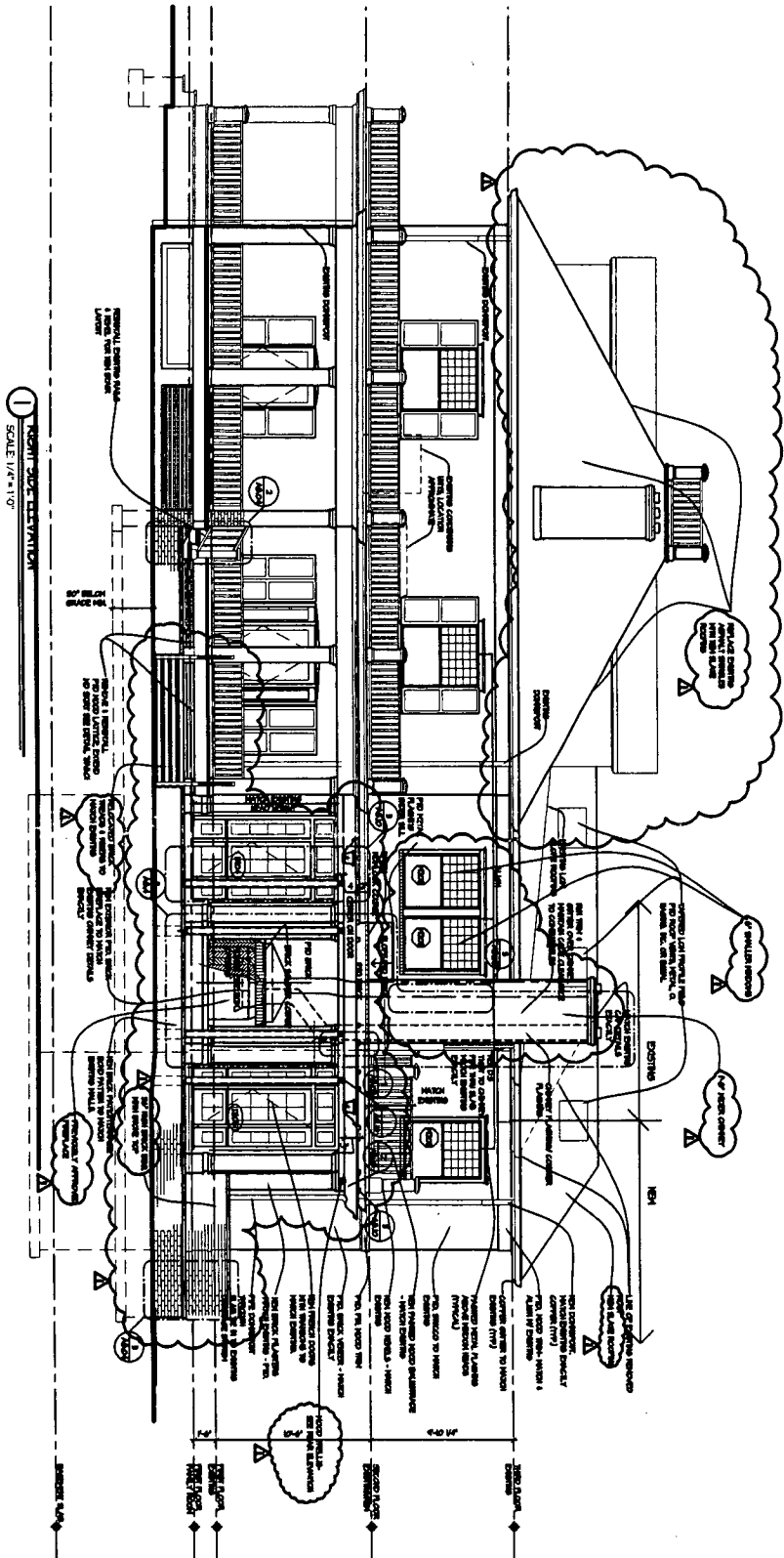


① FRONT ELEVATION
SCALE: 1/4" = 1'-0"

AI



<p>A4.3</p>	<p>Project: CONLEY RESIDENCE 9 WEST LENOX STREET CHEVY CHASE, MD 20815</p>	<p>Sheet Title: REAR ELEVATION</p> <p>Scale: 1/4" = 1'-0"</p>	<p>HISTORIC SUBMITTAL REVISIONS AUGUST 20, 2008</p>	<p>HISTORIC SUBMITTAL AUGUST 2008</p>	<p>DONALD LOCOCO ARCHITECTS, LLC 3415 17th St. NW Washington, DC 20007 TEL: 202.333.4422 FAX: 202.333.2522</p>
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A4.2

Project: CONLEY RESIDENCE
9 WEST LENOX STREET
CHEVY CHASE, MD 20815

Sheet Title: RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

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AUGUST 2008

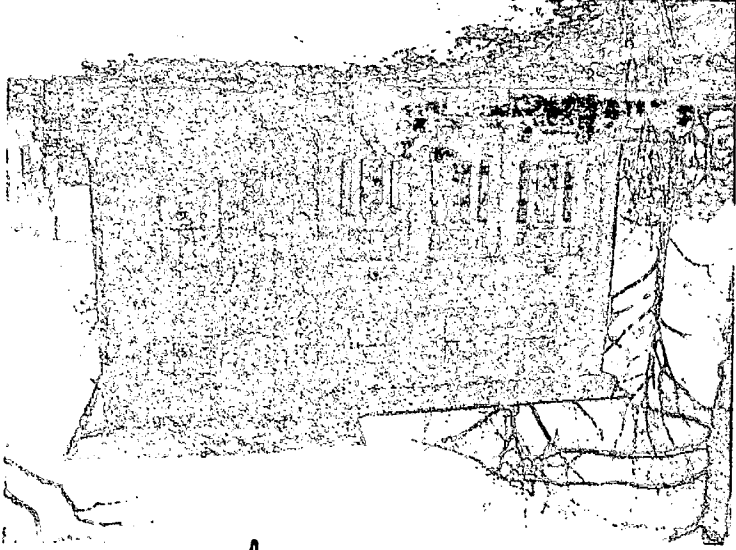
DONALD LOCOCO ARCHITECTS, LLC
3411 172nd Street, NW
Washington, DC 20030
Tel: 202-333-4422
Fax: 202-333-5222

9 West Lenox Street, Chevy Chase
Chevy Chase Village



9 West Lenox
100 3

Rear of House



Front of House Looking at
Lateral Parkway.



Front of House Looking
at West Lenox Street



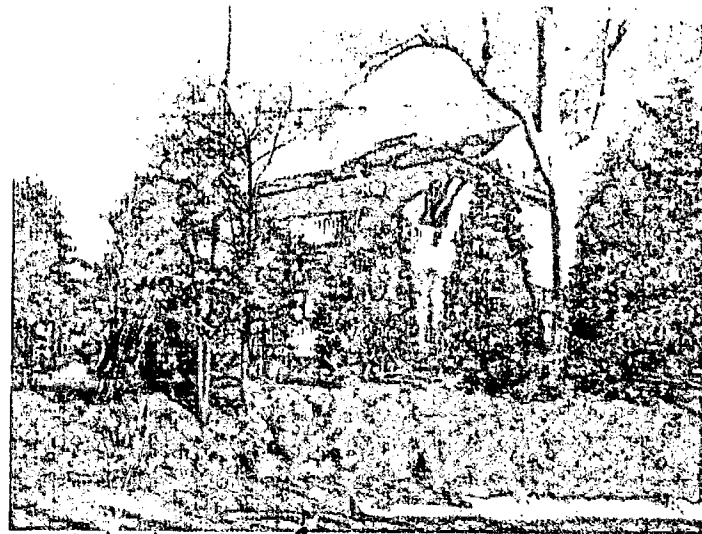
Side of House Looking from
West Lenox Street



(17)



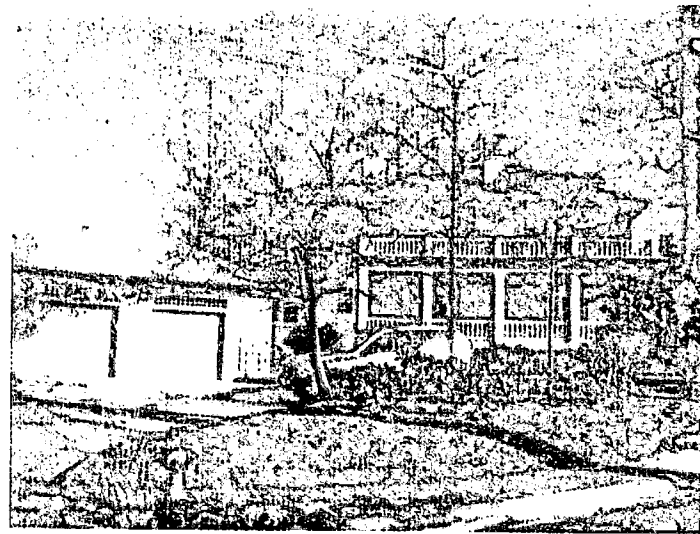
Front of House from Lenox Street.



Front & SW Side of House from Lenox Street

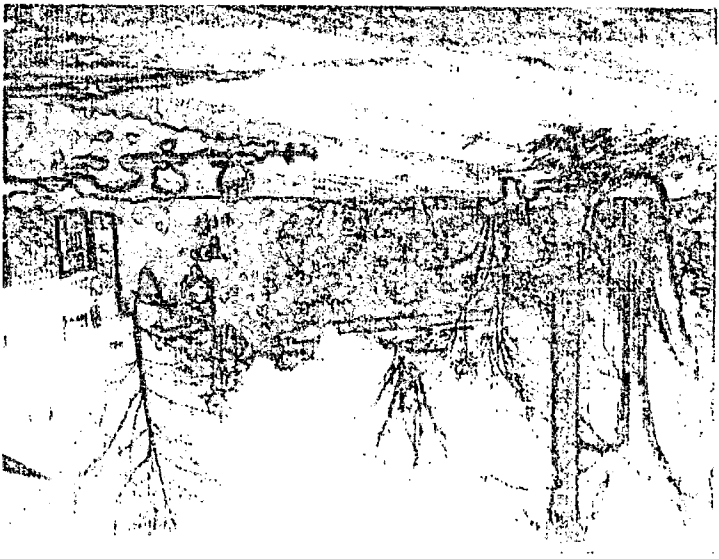


South-west Side of House from
Lenox Street

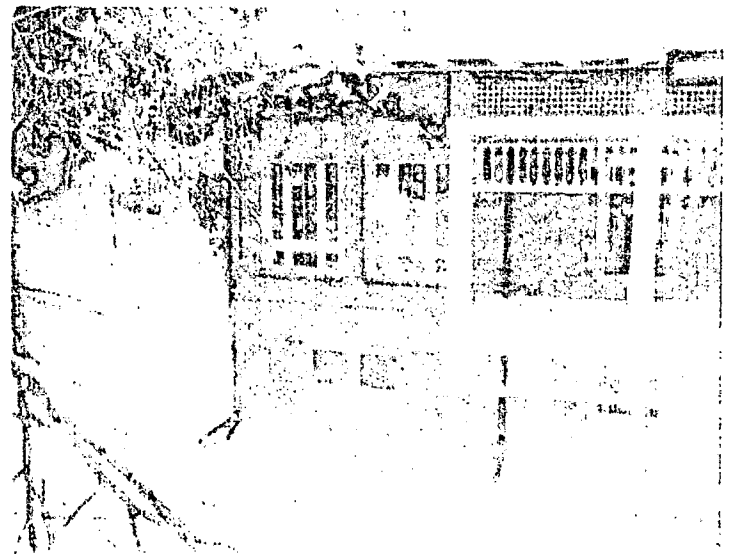


South West Side of House &
Garage from Lenox Street

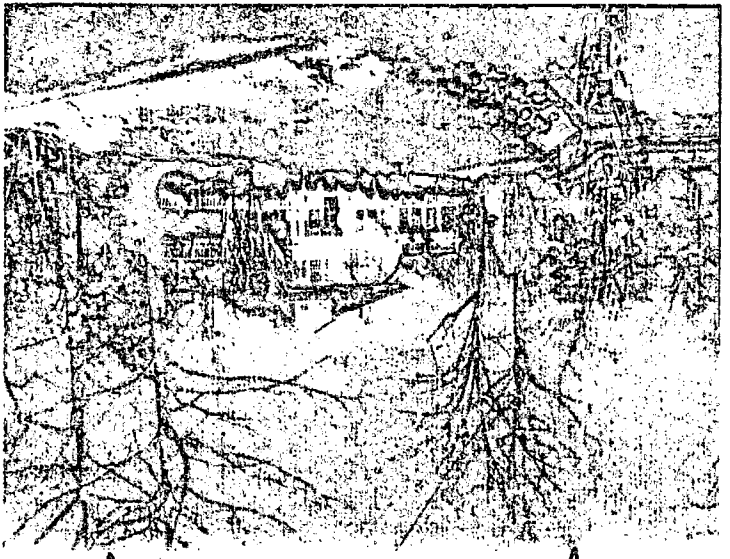
North-east side of House looking from Laurel Pkwy



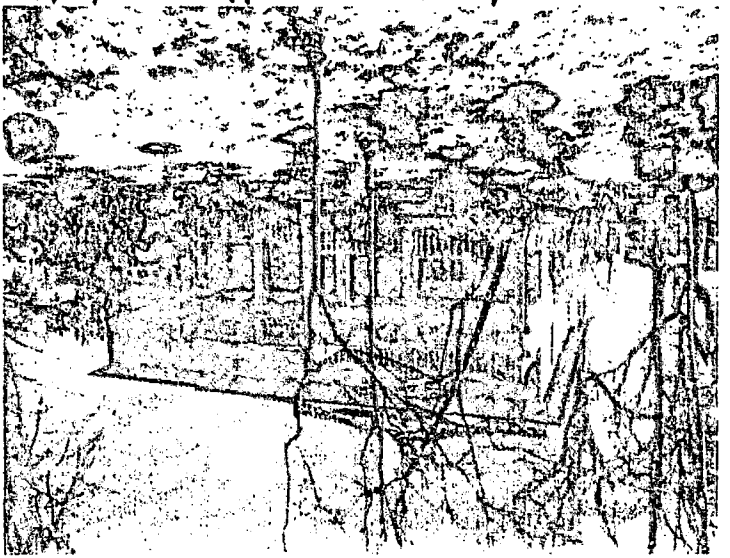
North-East side of House



Front of House from Intersection of Lenox Street & Laurel Pkwy.



North-East Side of House looking from Laurel Parkway



GEOFFREY B. BIDDLE
Village Manager
DAVID R. PODOLSKY
Legal Counsel

CHEVY CHASE VILLAGE
5906 CONNECTICUT AVENUE
CHEVY CHASE, MD 20815
Telephone (301) 654-7300
Fax (301) 907-9721
ccv@montgomerycountymd.gov

BOARD OF MANAGERS
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GAIL S. FELDMAN
Treasurer
BETSY STEPHENS
Assistant Treasurer
PETER M. YEO
Board Member
ROBERT L. JONES
Board Member

8/15/2008

Property Owner Name: Mr. Stephen C. Conley

Contractor Name: Lifecraft

Location of Requested Building Permit:
Address: 9 West Lenox Street
City, State, Zipcode Chevy Chase, MD 20815

Proposed Scope of Work: Replace existing house and garage asphalt shingle roofs with slate; add pergola on side yard patio; add dovecote on roof of existing garage; extend the previously approved patio 3'2" into the rear of the property; change the paving from brick to stone; add a fixed gas BBQ in a masonry surround; relocate the stairs to grade; widen the previously approved chimney by approx. 1'; change the sizes of two previously approved windows by approx. 1'.

Dear Department of Permitting Services:

The above homeowner/contractor has notified Chevy Chase Village that they are planning to apply for both County and Municipal permits for the above summarized construction project. We have supplied them with a full set of the appropriate regulations, and they fully understand that a permit from the County does not guarantee a permit from this municipality, unless they comply with all the rules and regulations given to them with this letter. They have been provided with this information and the appropriate instructions to file for a Building Permit and/or variance form from this municipality.

Sincerely,



Geoffrey Biddle