

37/03-06DD 7111 Cedar Ave
Takoma Park Historic District, 37/03



File Copy

HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 6/23/06

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Tania Tully, Senior Planner ^{TGT}
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #422419, conversion of existing rear deck into screened porch

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the 6/21/2006 meeting.

1. Skylights will have very low profiles.
2. New window in 2nd level will be wood.
3. The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Joel Soloman & Fleischman

Address: 7111 Cedar Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

FILE T

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Denise Estep

Daytime Phone No.: 717-977-1884

* Tax Account No.: 01069772

Name of Property Owner: Solomon/Fleischman Daytime Phone No.: _____

Address: 7111 Cedar Ave Takoma Park Md
Street Number City State Zip Code

Contractor: MGD Design/Build Phone No.: (301) 587-8535

Contractor Registration No.: _____

Agent for Owner: Denise Estep Daytime Phone No.: 717-977-1884

Shawn Staples
MGD
4306 Howard Av
Kensington 20895

LOCATION OF BUILDING/PREMISE

House Number: 7111 Street: Cedar Ave

Town/City: Takoma Park Nearest Cross Street: Eastern Ave

Lot: 28 Block: 4 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Fence/Wall (complete Section 4)
- Other: _____

Interior remodel & convert existing deck into a screened in porch.

1B. Construction cost estimate: \$ 48,300

1C. If this is a revision of a previously approved active permit, see Permit # n/a

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

D. Estep
Signature of owner or authorized agent

05-25-06
Date

Approved: WITH CONDITIONS _____
Signature of Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 6/21/06

Application/Permit No.: 422419 Date Filed: 5/26/06 Date Issued: _____
EMC

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Convert existing deck, in rear of house, into
a screened in porch

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Convert existing rear yard deck into a
screened in porch. Remove &/or install new
windows as shown on plans.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

Estep Permit Service
13663 Donovan Drive
Greencastle, PA 17225
(717) 977-1884
DeniseEstep@comcast.net

TRANSMITTAL

To: Tania Tully
Company: mont. Co. - Historic Pres. Comm.
Address: 1109 Spring St, Ste 801
Silver Spring, md 20910

From: Denise Estep
Date: 06-22-06

Project: 7111 Cedar Ave - Approved @ 6/21/06
Solomon meeting.

Enclosed are the following, as requested:

<u>Quantity:</u>	<u>Description:</u>
<u>1</u>	<u>Fed-Ex Return Envelope</u>
<u>* 2</u>	<u>Sets of Building Plans for</u> <u>7111 Cedar Ave.</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

* please note changes on window schedule per your recommendations.
Please send approved plans to me in envelope enclosed.
Thank you for your business. Please give me a call if you need assistance with future projects.

Thanks!
Denise

Tully, Tania

From: joelasolomon@aol.com
Sent: Wednesday, June 21, 2006 4:58 PM
To: Tully, Tania
Subject: 7111 Cedar Ave

Tania,

I am writing to follow up on our conversation Monday about the porch project at 7111 Cedar Ave., in Takoma Park. As I noted, we are fine with the three conditions. I called the arborist after you and I spoke, and he called me back yesterday.

The arborist said that his concern would be soil compaction, and I explained that, although the trees are not far from the deck, one is down a set of stairs and through a gate and the other is through a gate and on a slope. There is a large, flat area in front of the deck with no tree exposure that would be the only logical place for construction materials. In any case, he agreed to swing by the property and let me know what he thought. I will let you know as soon as I hear from him.

Thank you. Joel Solomon

Check out AOL.com today. Breaking news, video search, pictures, email and IM. All on demand. Always Free.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7111 Cedar Ave, Takoma Park	Meeting Date:	6/21/2006
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	6/14/2006
Applicant:	Joel Soloman & Fleischman (Denise Estep, Agent)	Public Notice:	6/7/2006
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-06DD	Staff:	Tania Tully

PROPOSAL: conversion of existing rear deck into screened porch

RECOMMENDATION: Approve with Conditions **EX**

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following conditions:

1. Skylights will have very low profiles.
2. New window in 2nd level will be wood.
3. The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the **Takoma Park Historic District**
STYLE: Bungalow
DATE: c1910-20

HISTORIC CONTEXT

The following are excerpts from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

“Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century.

“Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape

the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment."

PROPOSAL:

- Convert existing rear deck into a screened porch (Circles 8 - 11).
- Slightly reconfigure deck to accommodate new use (Circles 12 & 13).
- Reconfigure/replace windows and skylights in non-historic rear addition.
- Replace one window in main structure (Circle 17).

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.

2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation (Circle 4)

STAFF DISCUSSION

Except for one window replacement, none of the proposed alterations impact historic fabric. Nor will any of the work be visible from the public right-of-way or increase lot coverage. The materials and design of the screened porch are compatible with the historic district and will not negatively affect the streetscape of the historic district. Staff is recommending approval with conditions.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Secretary of the Interior's Standards for Rehabilitation

1. A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that has acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE, MD 20850
240/777-6370

DPS - #8

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HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Denise Estep

(Daytime Phone No.): 717-977-1884

Account No.: 01069772

Name of Property Owner: Soloman/Fleischman (Daytime Phone No.): _____

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Street Number City State Zip Code

Contractor: MGD Design/Build Phone No.: (301) 587-8535

Contractor Registration No.: _____

Agent for Owner: Denise Estep Daytime Phone No.: 717-977-1884

LOCATION OF BUILDING/PREMISE

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Town/City: Takoma Park Nearest Cross Street: Eastern Ave

Lot: 2B Block: 4 Subdivision: _____

Libor: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

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- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
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- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Fence/Wall (complete Section 4)
- Other: _____

Interior remodel +
convert existing deck into
a screened in porch.

1B. Construction cost estimate: \$ 48,300

1C. If this is a revision of a previously approved active permit, see Permit # n/a

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D. Estep
Signature of owner or authorized agent

05-25-06
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No: 422419 Date Filed: 5/26/06 Date Issued: _____
Emc

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

WRITTEN DESCRIPTION OF PROJECT

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Contrib-

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7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

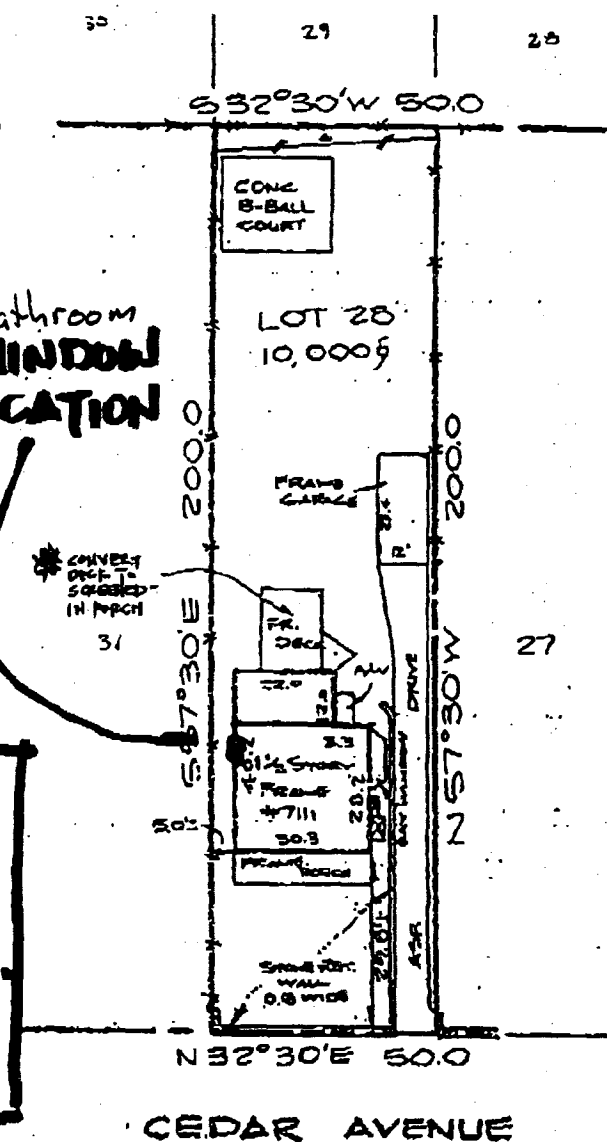
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

CONSUMER INFORMATION NOTES

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing (financing or re-financing).
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Plat Plan

Plat Plan
7111 Cedar Ave.
Takoma Park



Notes :

1. Flood Zone "C" per H.U.D. panel No. 0200C
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.5 FEET.

LOCATION DRAWING
 LOT 28 BLOCK 4
 B.F. GILBERT'S ADDITION TO
TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE
 "THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."

Signature

REFERENCES
PLAT BK. A
PLAT NO. 3
LIBER



SNIDER & ASSOCIATES
 SURVEYORS - ENGINEERS
 LAND PLANNING CONSULTANTS
 2 Professional Drive, Suite 310
 Gaithersburg, Maryland 20878
 301/848-3100, Fax 301/848-1298

DATE OF LOCATIONS	SCALE: 1"=50'
WALL CHECK:	DRAWN BY: J.S.
HSE. LOC: 11-17-05	

7

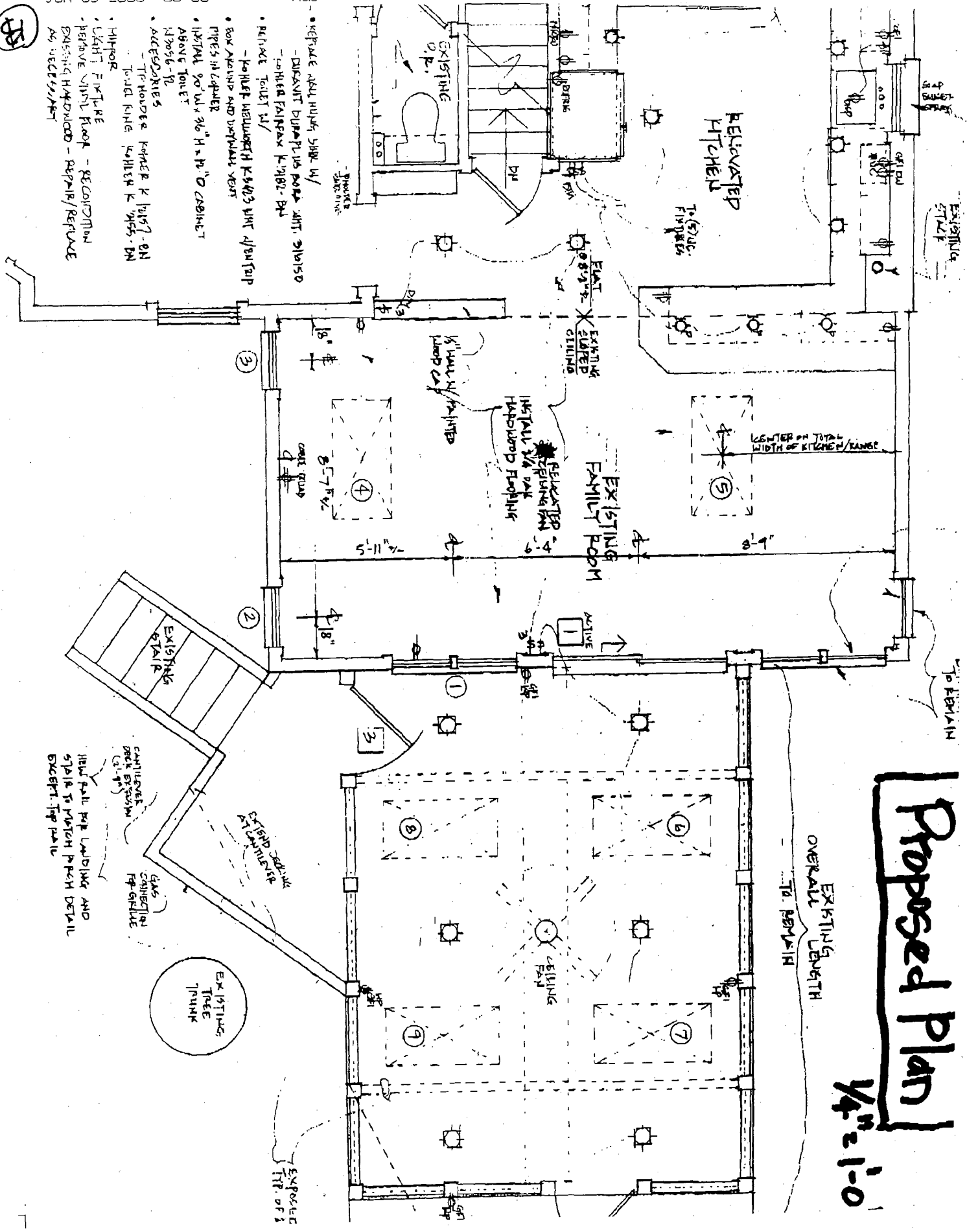
5/18/2006

422419



Proposed Plan

1/4" = 1'-0"



- REFRIGERATE ABOVE HURDLY SHED W/
- DISCONNECT BURNER PLUS BOILER UNIT. SHUT OFF GAS
- INSTALL FAIRFAX K-2182-BA
- REMOVE TOILET W/
- KITCHEN REWORK WITH K-5403 UNIT above FAIR
- BOX ABOVE AND DETACHMENT VENT
- PIPES IN CLOSET
- INSTALL 90" W x 36" H x 12" D CABINET
- ABOVE TOILET
- 120036-72
- ACCESSORIES
- TO-HOUSE KITCHEN K-1157-BA
- TO-OLD KITCHEN K-1157-BA
- HATHOR
- LIGHT FIXTURE
- REMOVE VISIT FLOOR - RECONSTRUCTION
- EXISTING HARDWOOD - REPAIR/REPLACE AS NECESSARY

(B)

HEAD RAIL FOR LANDING AND STAIRS TO MATCH P-RCH DETAIL EXCEPT FOR RAIL

EXISTING TREE TRUNK

EXPOSED TR. OF S

EXISTING LENGTH TO REMAIN

TO REMAIN

MAIN HOUSE

28

ROOF OVERLAY

Floor Joists

DBL 2x6 KD PERIMETER HEADER

3/4" x 14" RIGID I.D. LVL (6' 8")
± ROOF LOAD = NO FLOOR

(TYP. POST NOTE)

- 6x6 POSTS NOTCHED FOR PERIMETER HEADER
- 15 POSTS

2x10 KD 8'10" OC ROOF RAFTERS

SKYLIGHT

SKYLIGHT

(2) 3/4" x 14" RIGID I.D. LVL (SPAN 17')

PROVIDE 2x COLLAR TIE @ BOTTOM OF LVL

4x4 POST TO FOUNDATION

SKYLIGHT

SKYLIGHT

DBL 2x10

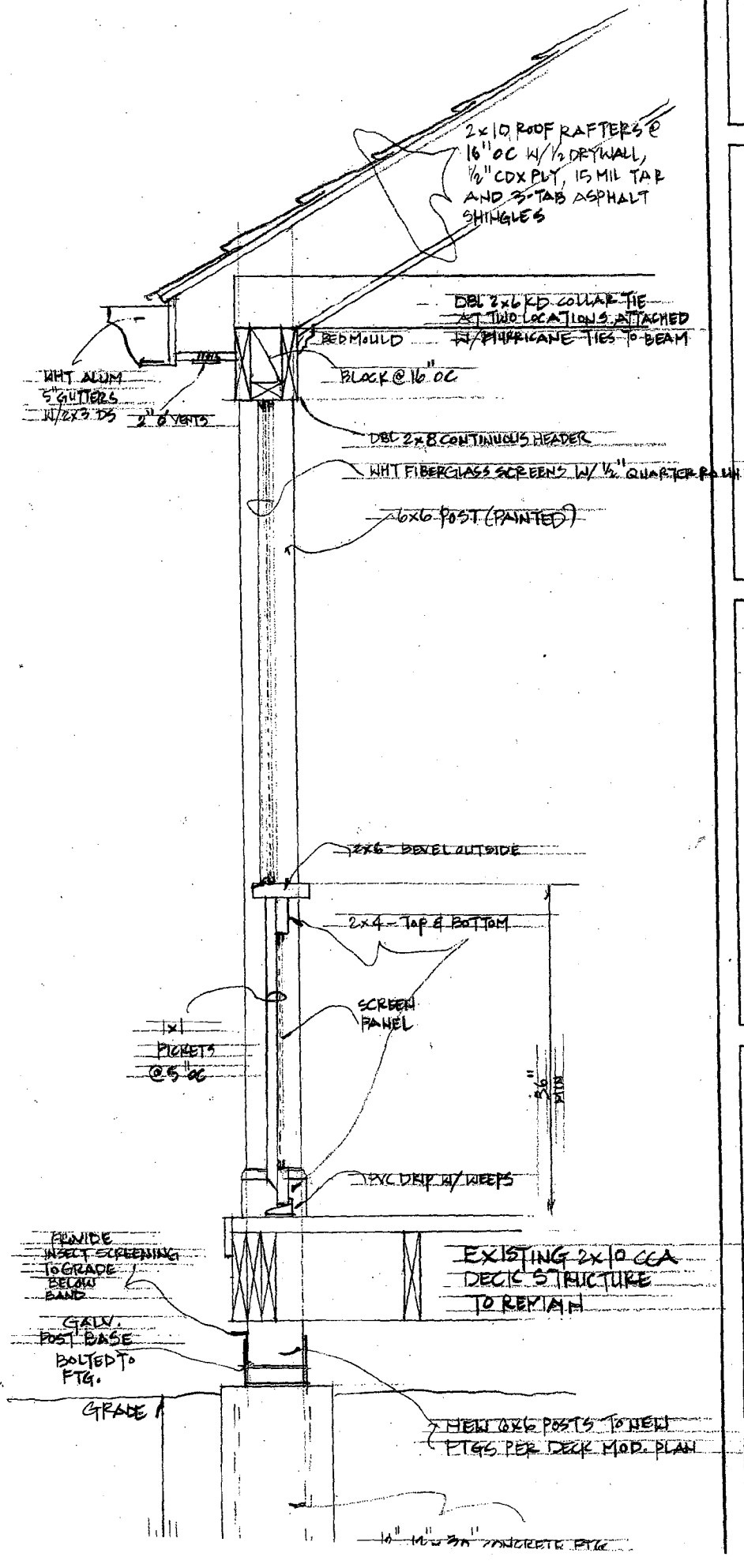
DBL 2x10

(TYP. OF 2)

DBL 2x6 KD ROOF TIES STRAPPED TO PERIMETER BEAM AND 6x6 POSTS W/ HURRICANE STRAPS

ROOF FRAMING
SCALE 1/4" = 1'-0"

15



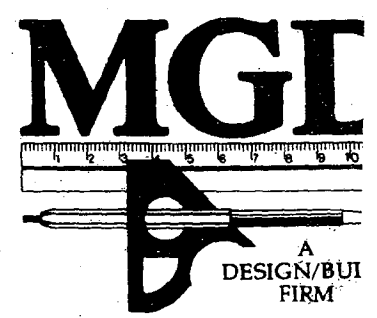
REVISIONS:

Project:
 SOLOMON / FLEISCHMA
 7111 CEDAR AVENUE
 TAKOMA PARK, MD
 20912

Job Number: 1429

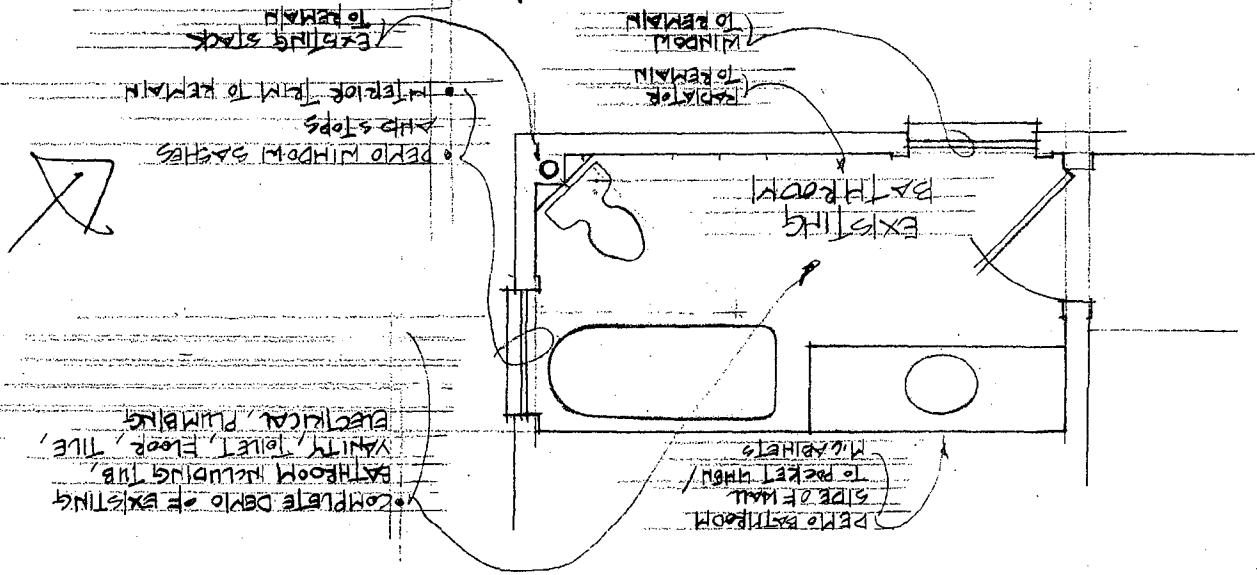
Drawn By: SHS

Scale:
 AS NOTED

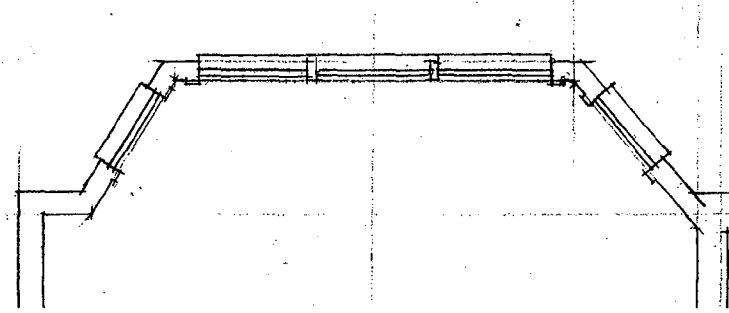


SHEET: 16
 FOUNDATION PLAN
 DECK FLOOR FRAM1

2ND FLOOR DEMO PLAN (PARTIAL - HALLBATH ONLY)



1ST FLOOR DEMO PLAN (PARTIAL)



ALICE EXP. WITH SIM. ATK.
 AIR TO MATCH PORCH DETAIL
 CEILING TRAIL

DOOR SCHEDULE

LOCATION	MAKE	MODEL	SIZE	DESCRIPTION	HARDWARE
1	EAGLE	SLIDER FRS 6068 XD	RD 6 1/4" x 6 8 1/2"	NO SCREEN, FOOTBOLT	INC.
2	COLONIST OR EQUAL	5-RAISED PANEL SOLID CORE	28 68 SLAB	SLAB	REUSE
3	TW PERRY	SCREEN DOOR	3068	SLAB	STD. WHT. W/CLOSER
4	"	"	3068	SLAB	"

Drawn By: SHS

Scale:

AS NOTED

WINDOW SCHEDULE

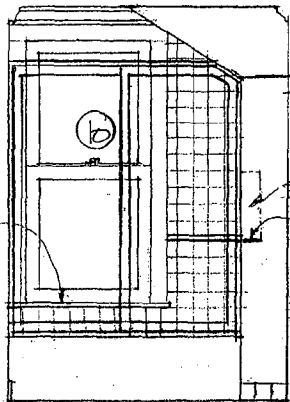
LOCATION	MAKE	MODEL	SIZE	DESCRIPTION
1	EAGLE	DBL-DBL HUNG	2046-2 RD 5 1/2" x 4 6 1/2"	WHT. CLAD, PRIMED INT. NO GRILLES, LOW E ARGON
2	"	DBL. HUNG	2046 RD 2 1/2" x 4 6 1/2"	"
3	"	"	"	"
4	VELUX	FS 106 FIXED	RD 2 1/2" x 46 7/8"	CODE 75 GLAZING EDL STEP FLASHING
5	"	"	"	"
6	"	"	"	"
7	"	"	"	"
8	"	"	"	"
9	"	"	"	"
10	RJT	VINYL DBL. HUNG	RD 3 7/8" x 66"	FROSTED GLASS LOW E ARGON, NO GRILLES

ok

MGD



A
DESIGN/BUILD
FIRM



ELEVATION 'B'

HUNG ON BACK
 WALL (16" x 16" x 4 1/2")
 CANTILEVER MARBLE
 NICHE LEDGE

CANTILEVER
 MARBLE
 SILL

SHEET:
 PROPOSED FIRST FLOOR

PROPOSED HALL BATH

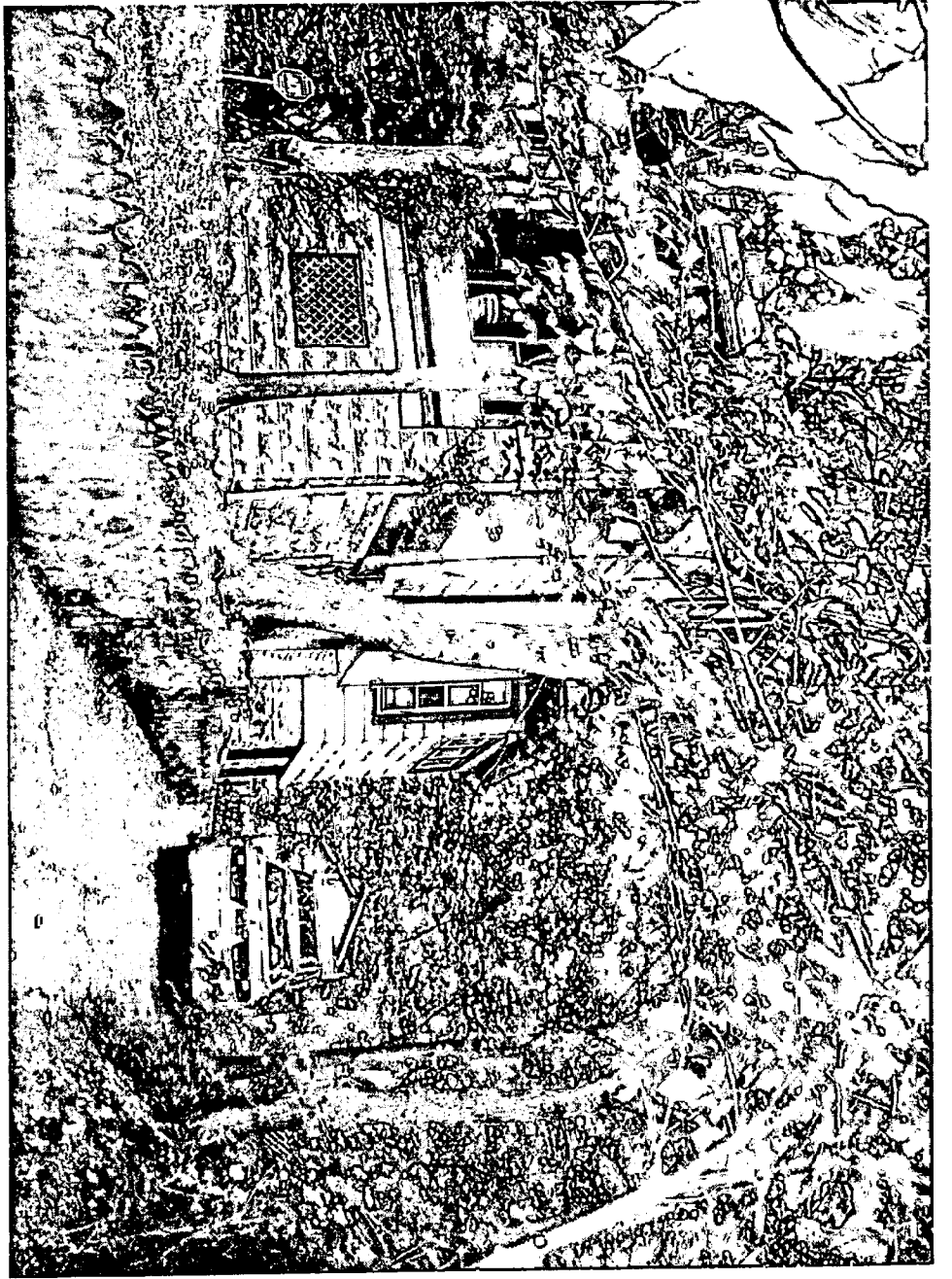
3 OF 6

10

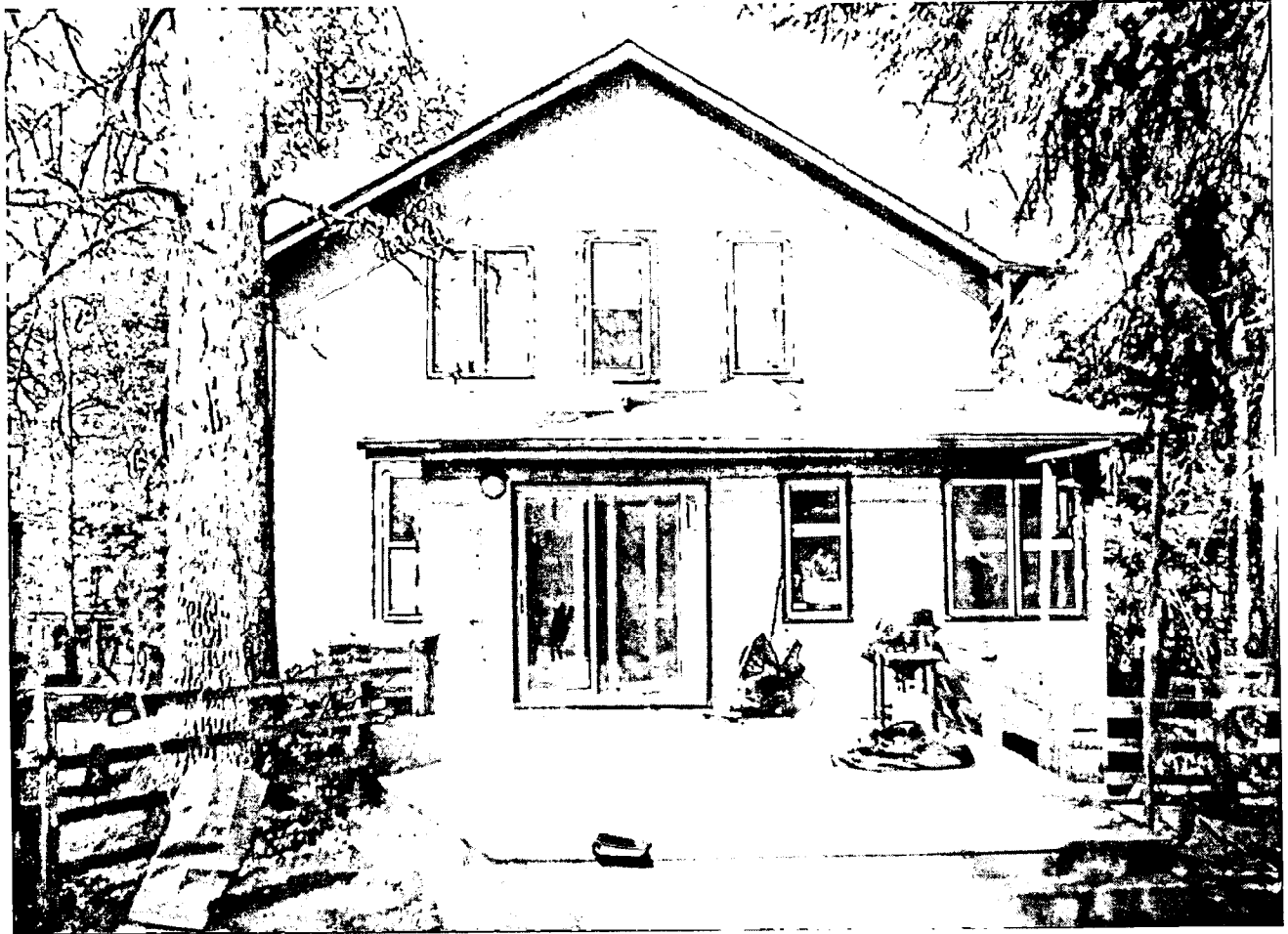
no

20 #1





21



CONSUMER INFORMATION NOTES:

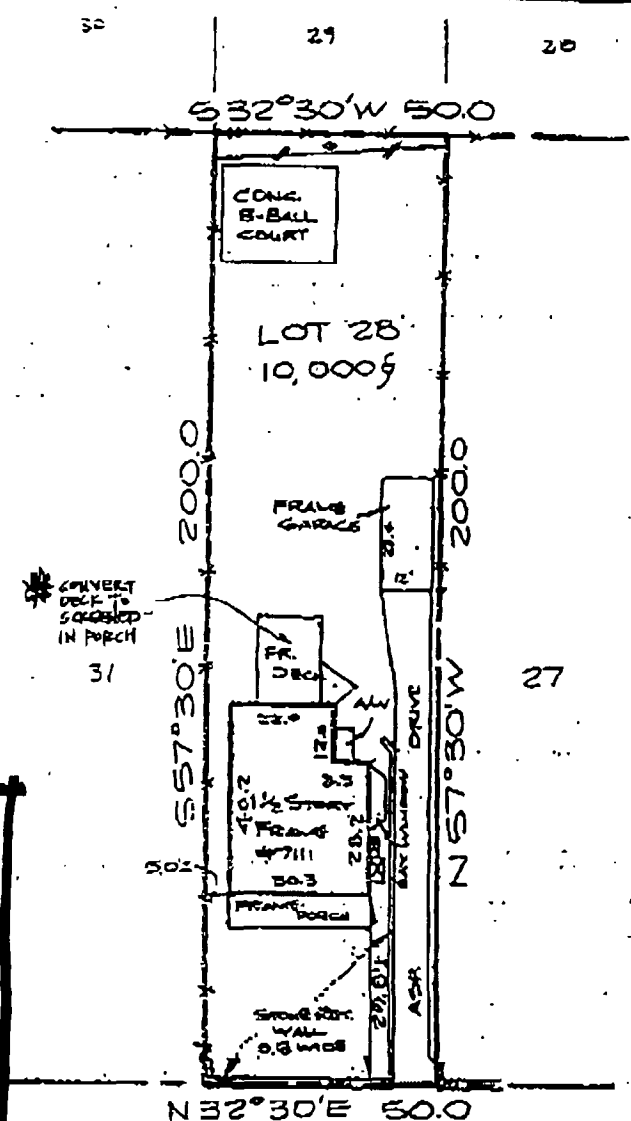
1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Plat Plan

Notes:

1. Flood zone "C" per H.U.D. panel No. 0200C
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.5 feet.

Plat Plan
7111 Cedar Ave.
Takoma Park



CEDAR AVENUE

LOCATION DRAWING
 LOT 28 BLOCK 4
 B.F. GILBERT'S ADDITION TO
TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE

"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."

REFERENCES

- PLAT BK. A
- PLAT NO. 3



SNIDER & ASSOCIATES
 SURVEYORS - ENGINEERS
 LAND PLANNING CONSULTANTS

2 Professional Drive, Suite 218
 Gaithersburg, Maryland 20878
 301/948-8100 Fax 301/948-1238

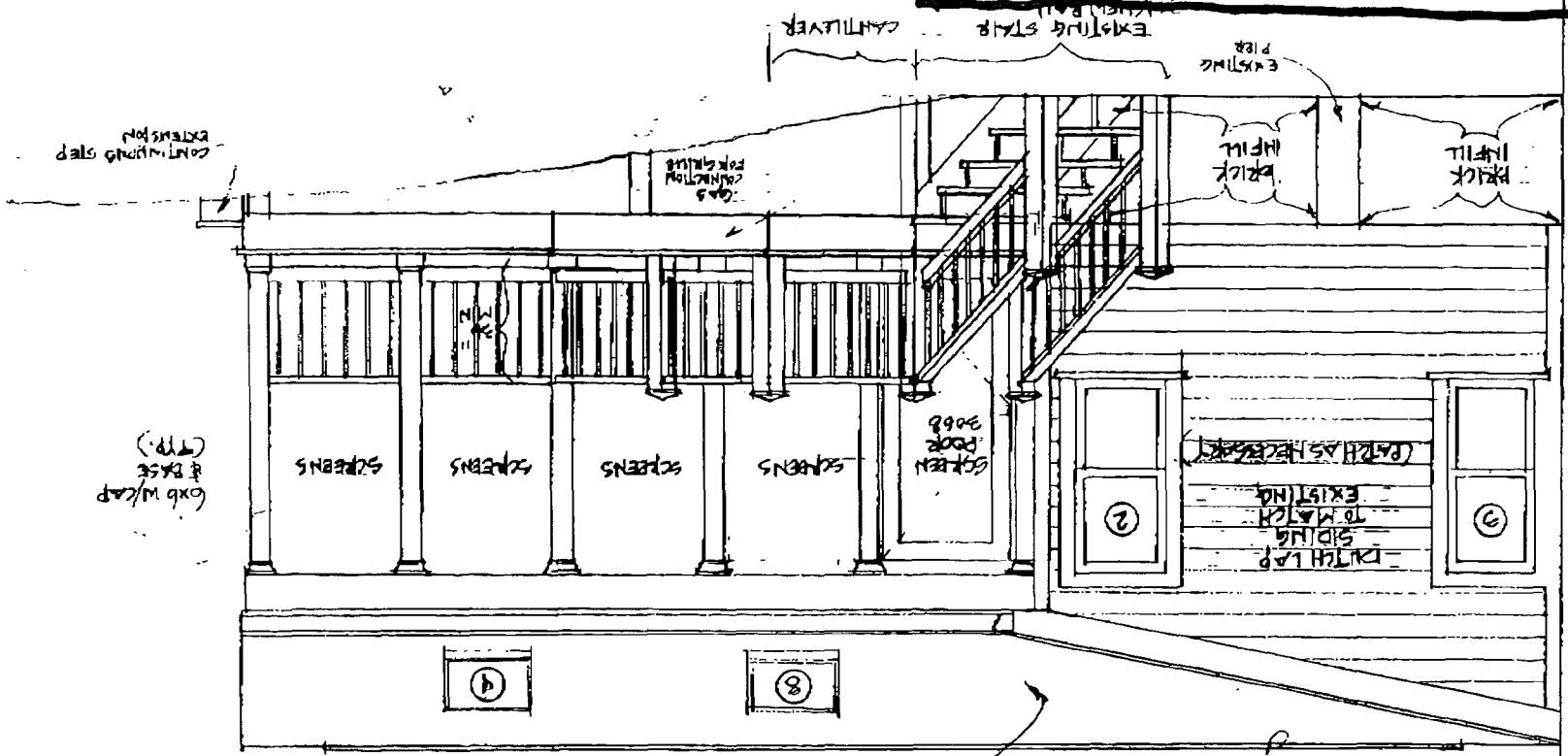
DATE OF LOCATIONS

SCALE: 1" = 30'

LIBER

WALL CHECK

PRIVACY SIDE ELEVATION



CONTINUING STEP EXTENSION

EXISTING PORCH RAILING

EXISTING STAIR

EXISTING STAIR

EXISTING PIER

BRICK INFILL

BRICK INFILL

60x W/CAP & BASE (C/P)

SCREENS

SCREENS

SCREENS

SCREENS

SCREEN POOR DOOR

2

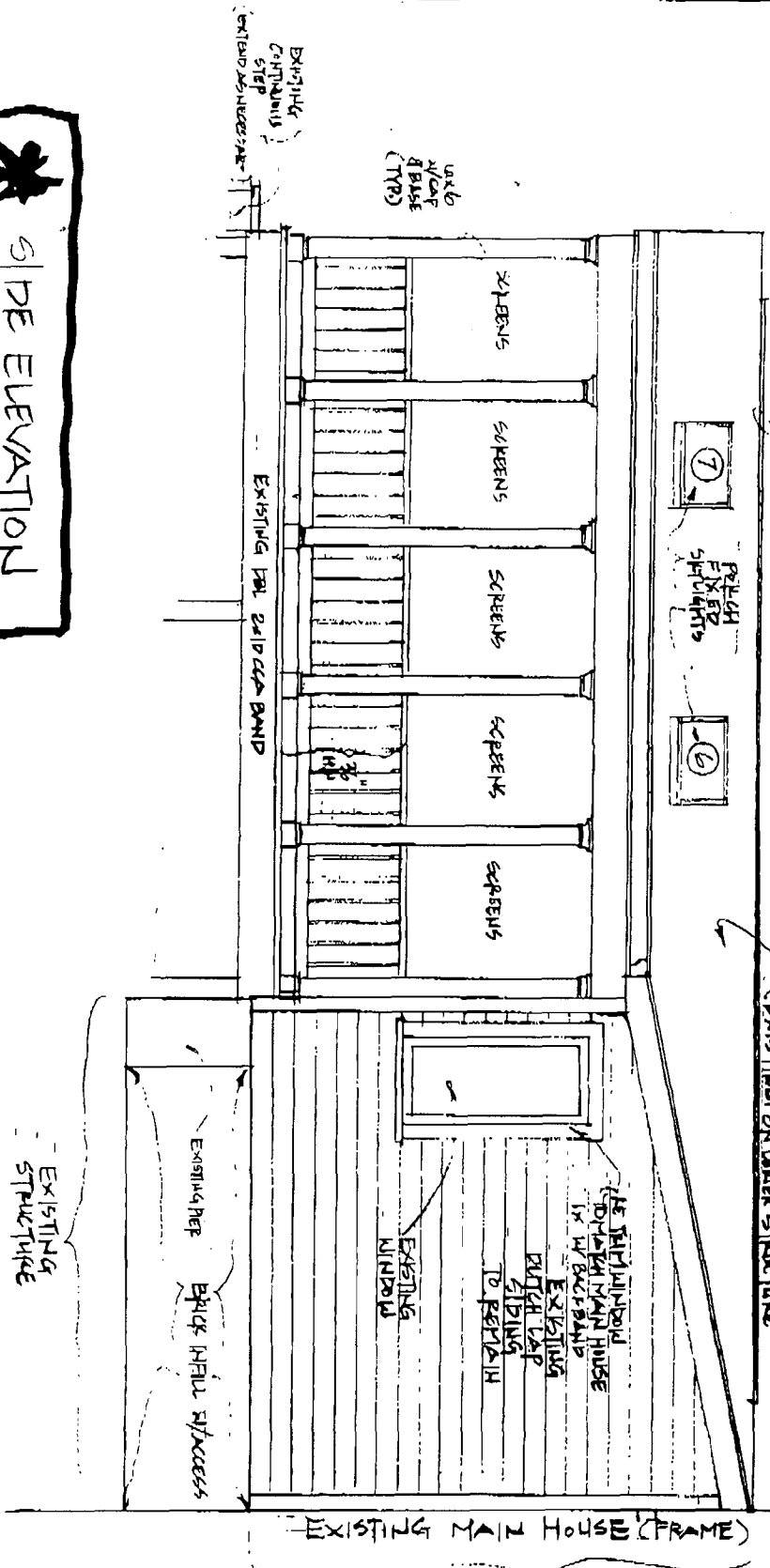
3

EXISTING SIDEING TO MATCH EXISTING (PART AS NOTED)

STAIR AS PRACT SHOWN TO MATCH EXISTING AS FAR AS POSSIBLE AND REPLACE EXISTING ON LOWER STRUCTURE

7 RAKE VENT

*** SIDE ELEVATION**



EXISTING CONTIGUOUS STEP
 EXISTING BRICK WALL ACCESS

WOOD VENEER BRICK (TYP)

EXISTING BAL BALCONY BAND

ALDGE VENT

7

PUSH FIXER SQUIGGLITS

6

3 TOP SHINGLES TO MATCH EXISTING
 AS CLOSE AS POSSIBLE AND REPLACE
 EXISTING ON LOWER STRUCTURE

EXISTING WINDOW
 EXISTING DOOR
 EXISTING BRICK WALL ACCESS
 EXISTING STRUCTURE

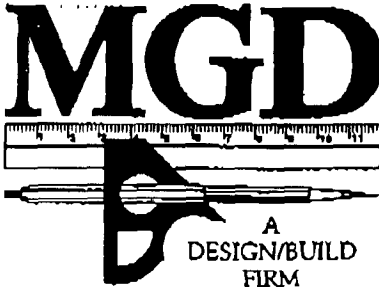
EXISTING BRICK WALL ACCESS
 EXISTING STRUCTURE

EXISTING FAMILY ROOM ADDITION

EXISTING



422419



4306 Howard Avenue, Suite 200
Kensington, MD 20895-2420

FAX SHEET

COMPANY: Historic Preservation
 ATTENTION: Abigail Thompson
 FAX #: 301.563.3412
 DATE: 6.5.06
 # OF PAGES: 8

FROM: MICHAEL DENT
 JOHN CHANEY
 LISA MCCALLISTER
 SHAWN STAPLES
 JENNIFER KILPATRICK
 JIM GRISSOM
 CAROL COOKE

REFERENCE/DIRECTIVE:

Hope this is what you need - Please
call to confirm that this is ok.

Thanks Shawn.

RETURN FAX # (301) 214-1457

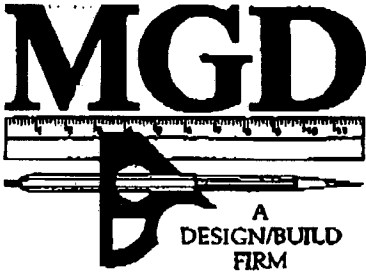
301 214 1457 P.03

MGD DESIGN/BUILD CO.

JUN-05-2006 08:38



*** EXISTING REAR**



4306 Howard Avenue, Suite 200
Kensington, MD 20895-2420

FAX SHEET

COMPANY: M.C. Historic Preservation

ATTENTION: Ms. Tania Tully

FAX #: 301-563-3412

DATE: 6-7-06

OF PAGES: 2

FROM: MICHAEL DENT

JOHN CHANEY

LISA MCCALLISTER

SHAWN STAPLES

JENNIFER KILPATRICK

JIM GRISSOM

CAROL COOKE

REFERENCE/DIRECTIVE:

RE: Window Replacement Location
7111 Cedar Avenue
Takoma Park, MD 20912

Plat Plan.

RETURN FAX # (301) 214-1457

CONSUMER INFORMATION NOTES:

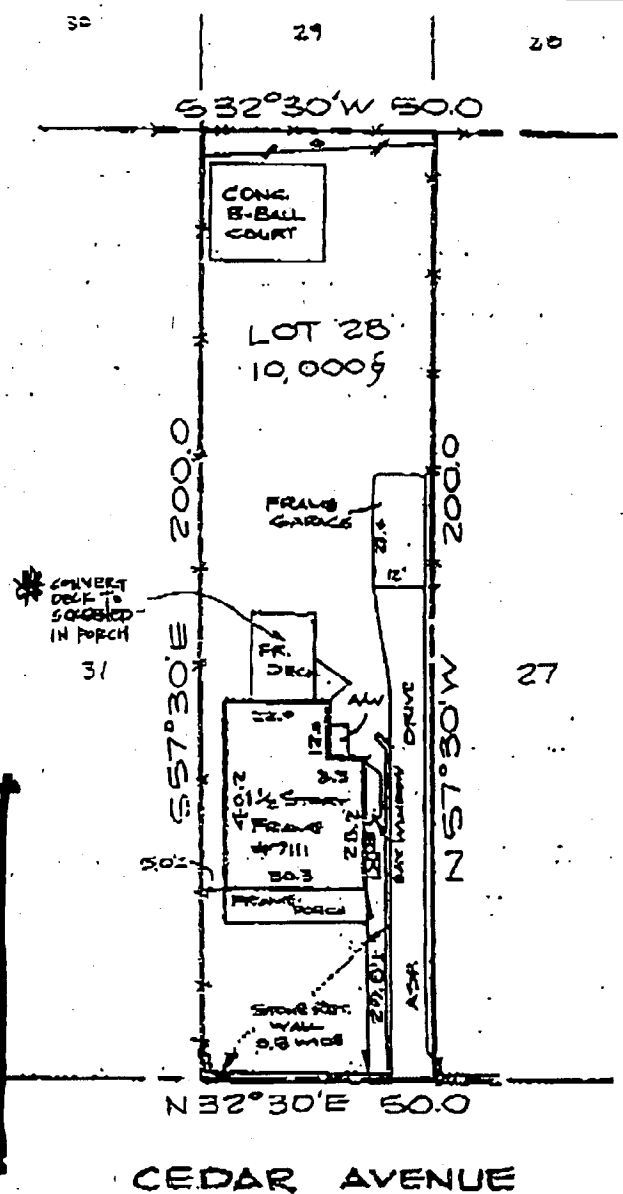
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Plat Plan

Notes:

1. Flood zone "C" per H.U.D. panel No. 0200C
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.5 feet.

Plat Plan
7111 Cedar Ave.
Takoma Park



LOCATION DRAWING
 LOT 28 BLOCK 4
 B.F. GILBERT'S ADDITION TO
TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE

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REFERENCES

PLAT BK. A
 PLAT NO. 3



SNIDER & ASSOCIATES
 SURVEYORS - ENGINEERS
 LAND PLANNING CONSULTANTS

3 Professional Drive, Suite 218
 Gaithersburg, Maryland 20878
 301/946-6100, Fax 301/946-1258

DATE OF LOCATIONS

SCALE: 1" = 50'

USER

WALL CHECK

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7111 Cedar Ave, Takoma Park	Meeting Date:	6/21/2006
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	6/14/2006
Applicant:	Joel Soloman & Fleischman (Denise Estep, Agent)	Public Notice:	6/7/2006
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-06DD	Staff:	Tania Tully

PROPOSAL: conversion of existing rear deck into screened porch

RECOMMENDATION: Approve with Conditions

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following conditions:

1. Skylights will have very low profiles.
2. New window in 2nd level will be wood.
3. The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the **Takoma Park Historic District**
STYLE: Bungalow
DATE: c1910-20

HISTORIC CONTEXT

The following are excerpts from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

“Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century.

“Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape

the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment."

PROPOSAL:

- Convert existing rear deck into a screened porch (Circles 8 - 11).
- Slightly reconfigure deck to accommodate new use (Circles 12 & 13).
- Reconfigure/replace windows and skylights in non-historic rear addition.
- Replace one window in main structure (Circle 17).

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.

2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation (Circle 4)

STAFF DISCUSSION

Except for one window replacement, none of the proposed alterations impact historic fabric. Nor will any of the work be visible from the public right-of-way or increase lot coverage. The materials and design of the screened porch are compatible with the historic district and will not negatively affect the streetscape of the historic district. Staff is recommending approval with conditions.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Secretary of the Interior's Standards for Rehabilitation

1. A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that has acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

Contact Person: Denise Estep
 Daytime Phone No.: 717-977-1884

f Tax Account No.: 01069772

Name of Property Owner: Solomon/Fleischman Daytime Phone No.: _____
 Address: 7111 Cedar Ave Takoma Park md
Street Number City Street Zip Code
 Contractor: MGD Design/Build Phone No.: (301) 587-8535
 Contractor Registration No.: _____
 Agent for Owner: Denise Estep Daytime Phone No.: 717-977-1884

LOCATION OF BUILDING/PREMISE

House Number: 7111 Street: Cedar Ave
 Town/City: Takoma Park Nearest Cross Street: Eastern Ave
 Lot: 2B Block: 4 Subdivision: _____
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: Interior remodel & convert existing deck into a screened in porch.
 1B. Construction cost estimate: \$ 48,300
 1C. If this is a revision of a previously approved active permit, see Permit # n/a

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

D Estep 05-25-06
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: 422419 Date Filed: 5/26/06 Date Issued: _____
Emc

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Convert existing deck, in rear of house, into
a screened in porch

Contrib.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Convert existing rear yard deck into a
screened in porch. Remove &/or install new
windows as shown on plans

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

CONSUMER INFORMATION NOTES

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2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
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Plat Plan

Plat Plan
7111 Cedar Ave.
Takoma Park

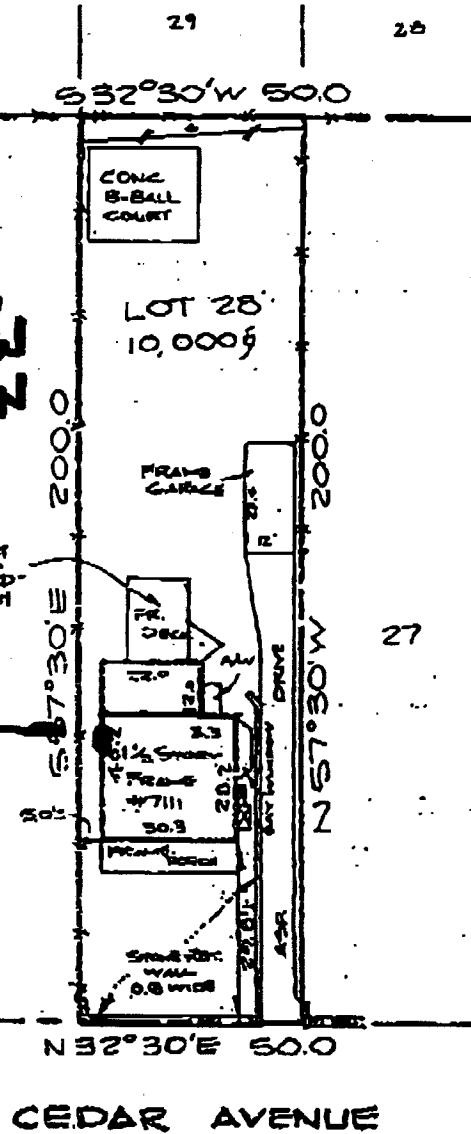
Notes :

1. Flood zone "C" per H.U.D. panel No.0200C
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.5 feet.

Bathroom WINDOW LOCATION

CONVERT DECK - SCREENED IN PORCH

31



LOCATION DRAWING
 LOT 28 BLOCK 4
 B.F. GILBERT'S ADDITION TO
TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE

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Signature

REFERENCES

- PLAT BK. A
- PLAT NO. 3

LIBER



SNIDER & ASSOCIATES
 SURVEYORS - ENGINEERS
 LAND PLANNING CONSULTANTS
 2 Professional Drive, Suite 210
 Gaithersburg, Maryland 20878
 301/948-5100, Fax 301/948-1299

DATE OF LOCATIONS

SCALE: 1"=30'

WALL CHECK:

DRAWN BY: J.S.

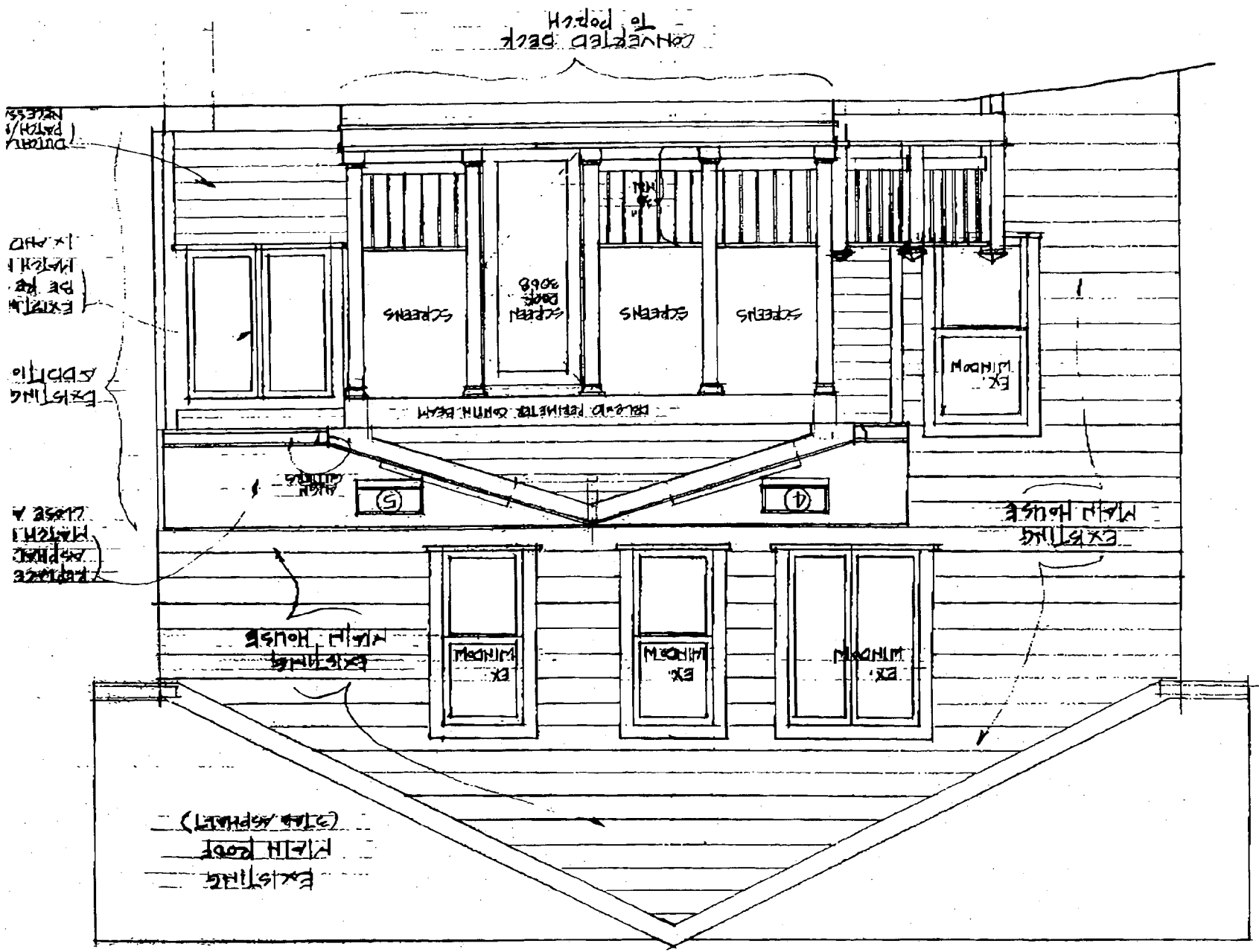
HSE. LOC.: 11-17-05



422419

2

REAR ELEVATION



Converted Deck to Porch

दरवाजा/पार्श्व/निर्देश

अधिकांश

अधिकांश

अधिकांश

SCREENS

SCREENS

SCREENS

SCREENS

EX. WINDOW

5

4

अधिकांश

अधिकांश

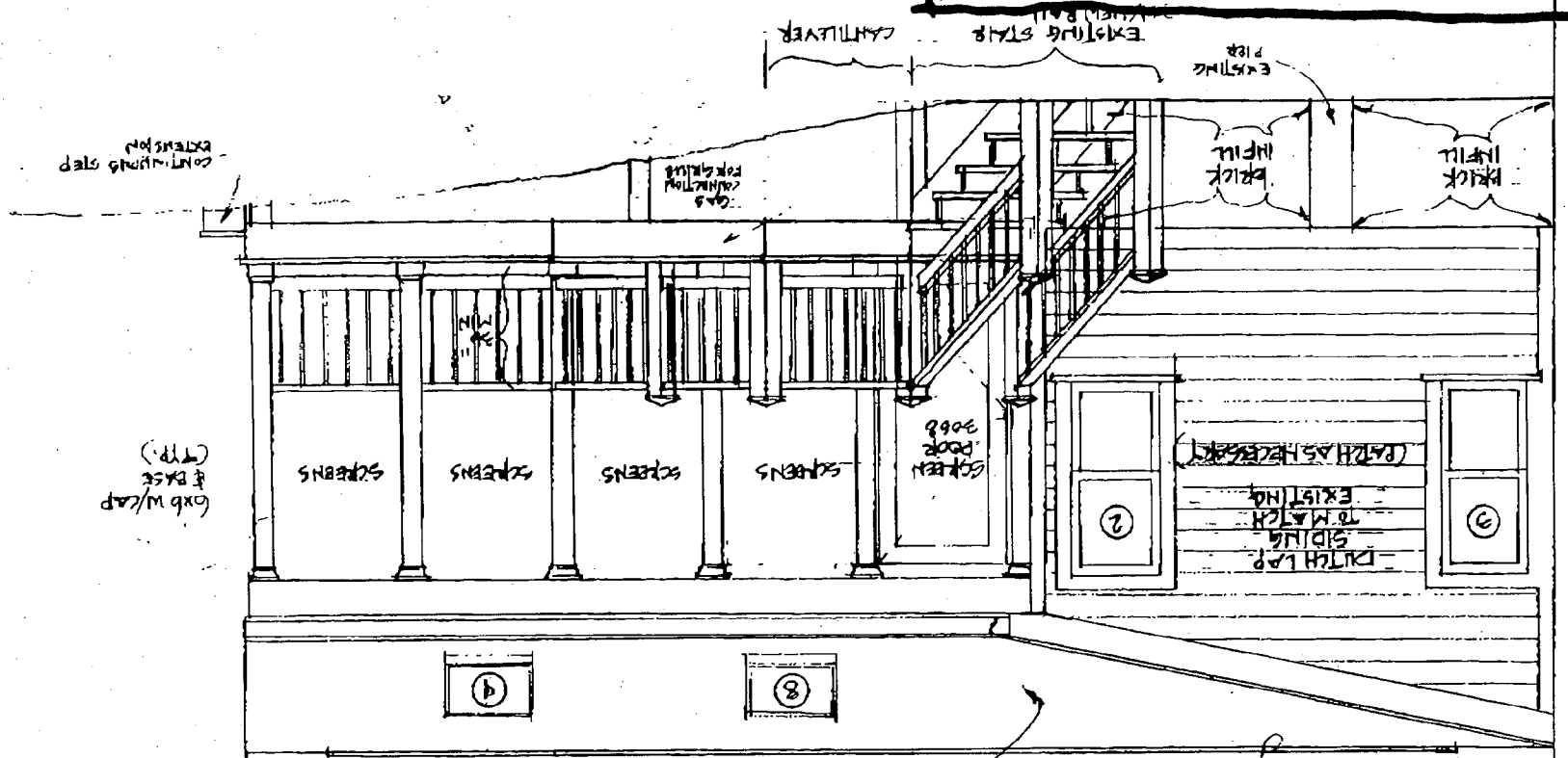
EX. WINDOW

EX. WINDOW

EX. WINDOW

अधिकांश

RIVERKAT SIDE ELEVATION



EXISTING ON LOWER STRUCTURE
AS FAR AS POSSIBLE AND REPLACE
STAIRS THAT SHOWS TO MATCH EXISTING

PIPE VENT

6'0x6 W/CAP
(CRP)

SCREENS

SCREENS

SCREENS

SCREENS

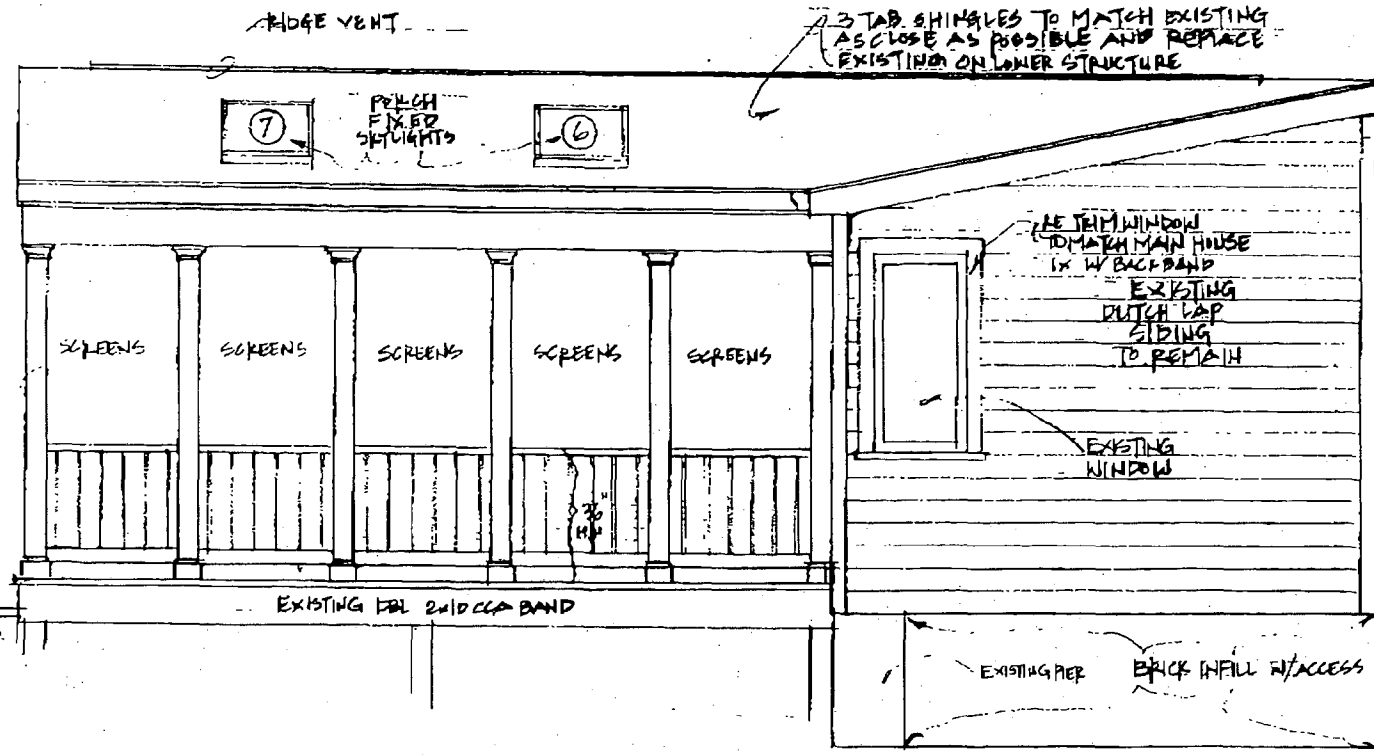
SCREEN DOOR

2

3

4

5

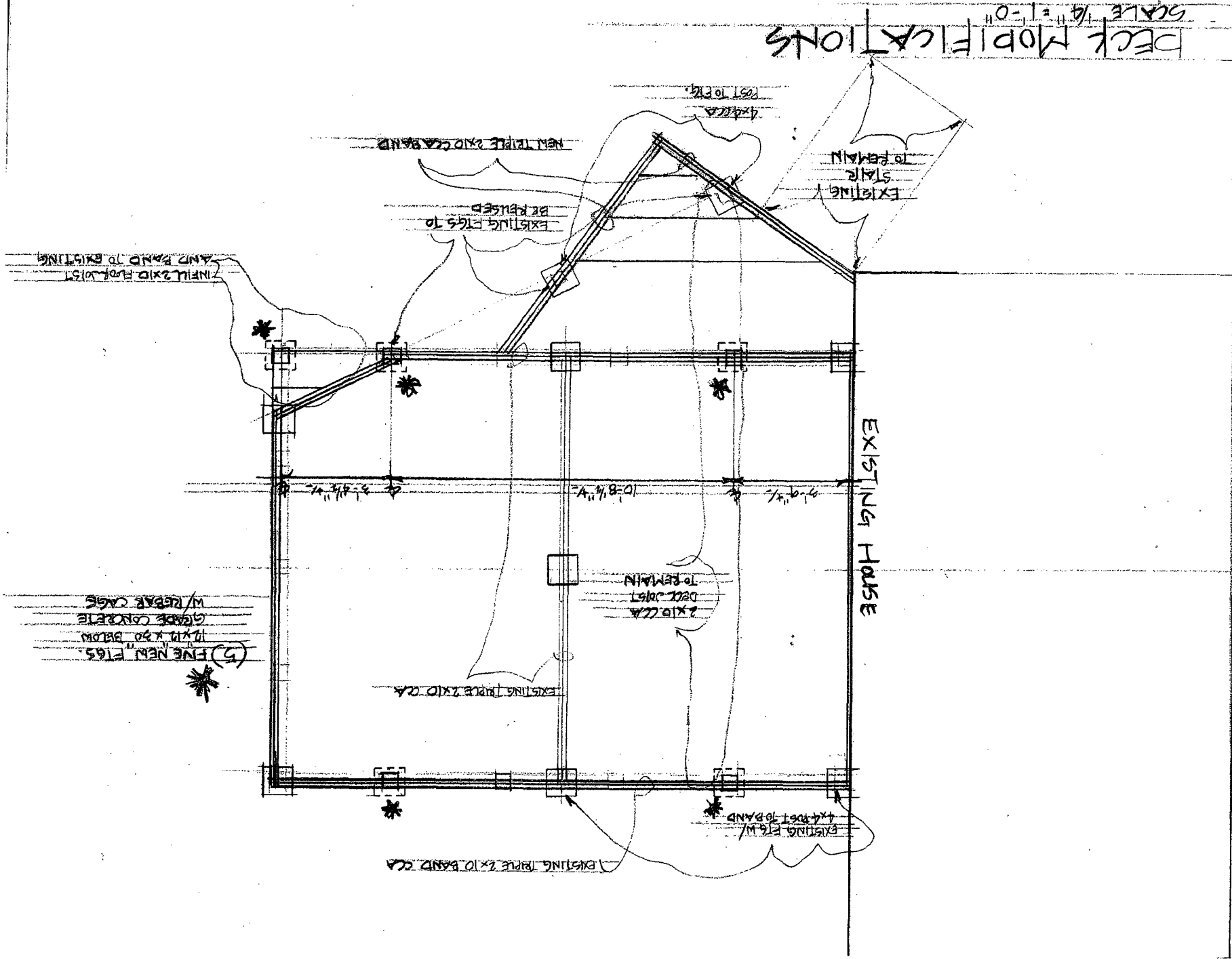


EXISTING FAMILY ROOM ADDITION

 SIDE ELEVATION

DECK MODIFICATIONS

SCALE 1/4" = 1'-0"



EXISTING HOUSE

EXISTING STAIR TO REMAIN

4x4 C/A
POST TO FIG.

NEW TRIPLE 2X10 C/A BAND

EXISTING FIGS TO BE REUSED

7/8\"/>

2 X 10 C/A
DECK JOIST
TO REMAIN

EXISTING TRIPLE 2X10 C/A

EXISTING FIGS TO REMAIN

EXISTING TRIPLE 2X10 BAND C/A

(5) FIVE NEW FIGS.
12 X 12 X 30 BRDM
GRADE CONCRETE
W/ REBAR CAGE

MAIN HOUSE

20

ROOF OVERLAY

Floor Joists

2 1/4" x 14" RIGID IAM LVL (16'8")
I & ROOF LOAD
NO FLOOR

DBL 2x8 KD PERIMETER HEADER

(TYP. POST NOTE)
6x6 POSTS NEEDED FOR PERIMETER HEADER
15 POSTS

2x10 KD 916" OC ROOF RAFTERS

(2) 2 1/4" x 14" RIGID IAM LVL (SPAN 17'7")

PROVIDE 2x COLLAR TIE @ BOTTOM OF LVL

4x4 POST TO FOUNDATION

SKYLIGHT

SKYLIGHT

SKYLIGHT

SKYLIGHT

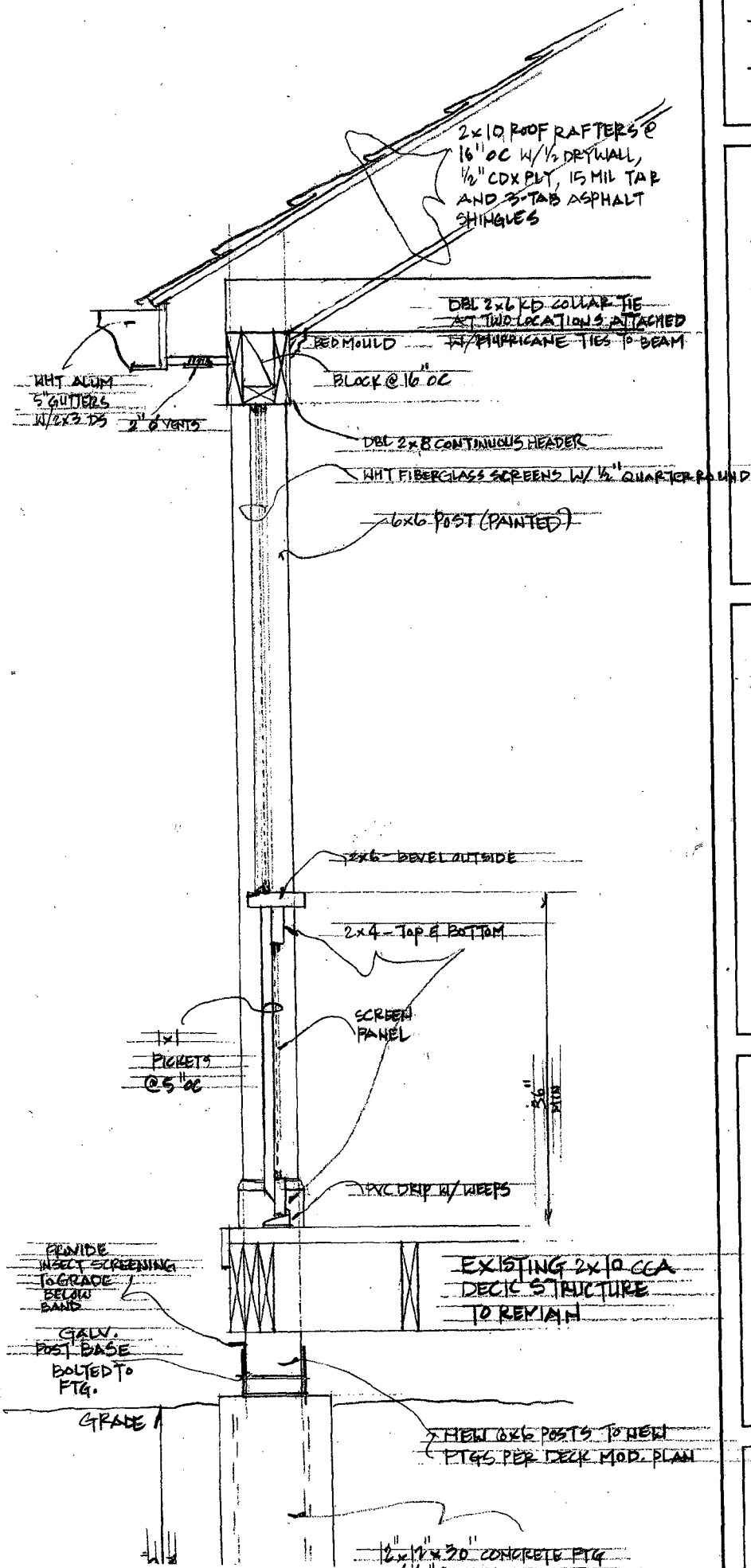
DBL 2x10

DBL 2x10

(TYP. OF 2)
DBL 2x10 KD ROOF TIES STRAPPED TO PERIMETER BEAM AND 6x6 POSTS w/ HURRICANE STRAPS

15

ROOF FRAMING
SCALE 1/4" = 1'-0"



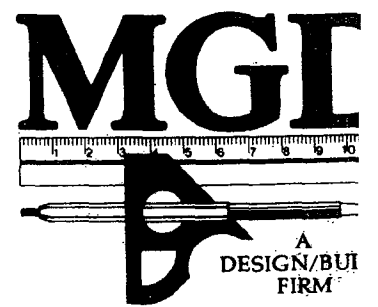
REVISIONS.

Project:
 SOLOMON / FLEISCHMA
 7111 CEDAR AVENUE
 TAKOMA PARK, MD
 20912

Job Number: 1429

Drawn By: SHS

Scale:
 AS NOTED



SHEET: 16
 FOUNDATION PLAN
 DECK FLOOR FRAM1

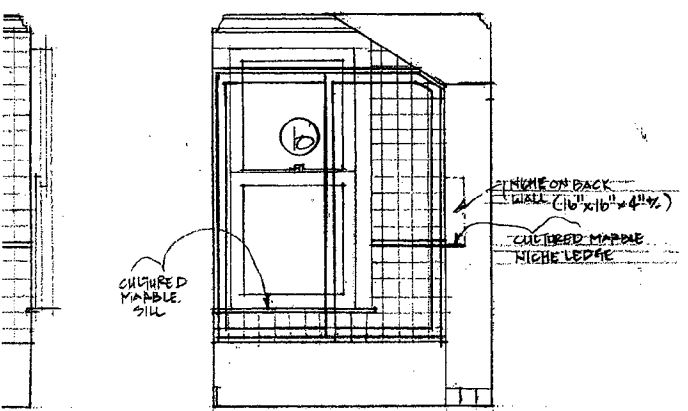
DOOR SCHEDULE TO MATCH ARCH. DETAIL EXCEPT TOP RAIL

DOOR SCHEDULE

LOCATION	MAKE	MODEL	SIZE	DESCRIPTION	HARDWARE
1	EAGLE	SLIDER FRS 6068 X0	6068 RO 6 1/4" x 6 8 1/2"	NO SCREEN, FOOTBOLT	INC.
2	COLONIST OR EQUAL	5-RAISED PANEL SOLID CORE	2868 SLAB	SLAB	REUSE
3	TW PERRY	SCREEN DOOR	3068	SLAB	STD. WHT. H/CLOSER
4	"	"	3068	SLAB	"

WINDOW SCHEDULE

LOCATION	MAKE	MODEL	SIZE	DESCRIPTION
1	EAGLE	DBL-DBL HUNG	2046-2 RO 5 1/2" x 4 1/2"	WHT. GLAD, PRIMED INT. NO GRILLES, LOW E ARGON
2	"	DBL. HUNG	2046 RO 2 1/2" x 4 1/2"	"
3	"	"	"	"
4	VELUX	FS 106 FIXED	RO 2 1/2" x 46 7/8"	CODE 75 GLAZING EDL STEP FLASHING
5	"	"	"	"
6	"	"	"	"
7	"	"	"	"
8	"	"	"	"
9	"	"	"	"
10	RJT	VINYL DBL. HUNG	RO 3 5/8" x 66"	FROSTED GLASS LOW E ARGON, NO GRILLES

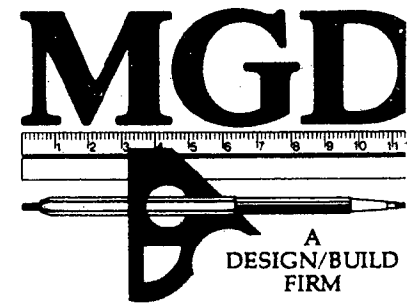


ELEVATION 'B'

Drawn By: SHS

Scale:

AS NOTED



SHEET:
PROPOSED FIRST FLOOR
PROPOSED HALL BATH

12

no



44
22

12

