


7200-7300 Blocks of Carroll Avenue
HPC Case No. 37/03-08FF
Takoma Park Historic District

 **Pendaflex**
 **Esselte**

4350 1/3 RED 10%  P4

Helene - left message w/ D. Brian Thawanti -
asked her to return my call

- New installation 7100 block -

2 year ago -

- 6800-7000 all original - 20 year ago

- recent in 7100

- Historic Takoma - Suboma

talked to Scott - talked to Historic Takoma

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7200-7300 Carroll Avenue, Takoma Park	Meeting Date:	6.25.2008
Resource:	Takoma Park Historic District/various	Report Date:	6.18.2008
Applicant:	City of Takoma Park Daryl Braithwaite, Agent	Public Notice:	6.11.2008
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-08FF	Staff:	Rachel Kennedy
PROPOSAL:	New Streetlights in the 7200-7300 Blocks of Carroll Avenue		

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application.

ARCHITECTURAL DESCRIPTION

The streetlights will be in the Takoma Junction commercial district, an area that retains much of its early twentieth century commercial architecture and landscaping features.

HISTORIC CONTEXT

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the one of the earliest railroad suburbs of Washington. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist.

Benjamin Franklin Gilbert was the developer of Takoma Park, which he promoted for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. The substantial houses had spacious settings, with deep, narrow lots of 50 feet by 200-300 feet, with 40-foot setback requirements. Extensive numbers of these houses (built from 1883 to 1900) remain, particularly concentrated along Maple, Cedar, and Holly

Avenues. The earliest houses were built on Cedar Avenue (originally known as Oak Avenue). Gilbert was more than just the developer of the community - he was a resident and civic leader. He built one of the first houses in the new community for himself and later became the town's first mayor. By 1886, Takoma Park had a post office and a new railroad station. Fifteen trains a day ran between Washington and Takoma Park and the population had reached 100.

By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period.

The first multi-family buildings in Montgomery County were built in Takoma Park. The earliest documented multi-family dwelling is the *Ford House* at 7137-39 Maple Avenue. Brothers Byron and Seth Ford built this large, elaborate, frame double-house in 1885 for their families. The next multi-family dwellings to be built in the county were not constructed until 1907.

The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues. Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era.

Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.

PROPOSAL:

The applicant proposes to replace twenty-five older nonhistoric steel streetlights in the 7200-7300 blocks of Carroll Avenue to match the aluminum streetlights installed in the 6800-7000 blocks of Carroll Avenue (installed circa 1980s) and the aluminum streetlights installed in the 7100 block of Carroll Avenue, approved by the HPC in June 2005.

The existing double-headed steel streetlights from 7200-7300 Carroll Avenue are over twenty years old and have deteriorated due to exposure to the elements. The city proposes to replace these streetlights with single-headed energy efficient aluminum lights to match the lights adjacent in the district. The new streetlights will be located in the same spot as the old lights and no additional lights will be introduced.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, ordinances for Takoma Old Town, the ordinance for Takoma Junction, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

The Takoma Park guidelines and the city ordinances outlined above are largely silent with regard to major streetscape improvements not directly attached to a building. The guidelines do state that open space and mature trees should be preserved and that landscaping be done to "create the minimal disturbance possible to these types of natural features." Additionally, the Master Plan Amendment encourages the State Highway Administration and the Montgomery County DOT to exercise utmost care when considering streetscape improvements; a prescription that no doubt applies to the city of Takoma Park as well. They state, "road and sidewalk improvements are done in such a way so as to enhance, rather than detract, from the historic ambiance of Takoma Park."

Montgomery County Code; Chapter 24A

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or

2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation:

- # 3 Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- # 10 New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff is recommending that the Commission approve this HAWP application as being consistent with the *Guidelines and Standards*. The streetlight project is one phase in a multi-year effort to revitalize the district and the HPC has approved the same streetlight for elsewhere in the district, as noted above. Additionally, the streetlights appear modern, yet appropriate to the district. By selecting these lights, the applicants do not attempt to create a false sense of history through utilization of a light that would appear historic, but was in fact not original to the district. Furthermore, this project is a replacement in-kind at the same location as the old lamps. Therefore, no major disturbances will be created to the overall streetscape of commercial Takoma Park.

Staff also notes that Historic Takoma and the Façade Advisory Board supports this application. The FAB and the city will meet again to come to an agreement with regard to the wattage of the lights.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2) with the conditions listed on page one above;

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits, if applicable;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Daryl Braithwaite
Daytime Phone No.: 301-891-7615

Tax Account No.:
Name of Property Owner: City of Takoma Park Daytime Phone No.: 301-891-7615
Address: 7500 Maple Avenue Takoma Park Maryland 20912
Street Number City Street Zip Code
Contractor: unknown Phone No.:
Contractor Registration No.:
Agent for Owner: Daryl Braithwaite Daytime Phone No.: 301-891-7615

LOCATION OF BUILDING/PREMISE

House Number: 7200-7300 blocks Street: Carroll Avenue
Town/City: Takoma Park Nearest Cross Street: Ethan Allen
Lot: Block: Subdivision:
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other:
1B. Construction cost estimate: \$ 95,000
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A
2B. Type of water supply: 01 WSSC 02 Well 03 Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Daryl Braithwaite
Signature of owner or authorized agent Date

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 486401 Date Filed: 5/29/08 Date Issued:



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing decorative street lamps are over 20 years old. They are made of steel and have rusted to the point of needing to be replaced. There are a total of 25 decorative street lamps that are located on Carroll Avenue beginning at the intersection of Carroll and Philadelphia Avenue (RT 410) up to Carroll Avenue and Grant Avenue.

Lee

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

This project will replace the existing decorative street lights with new ones that match the streetlamps located in the 6800 to 7100 blocks of Carroll Avenue. The new light poles will be made of aluminum and the fixtures will be more energy efficient and include reflectors to direct the light to the ground below rather than above the light.

2. SITE PLAN - Page 3

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS Page 4

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS Page 4

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS 6 submitted

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY Not Applicable

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355). *240-314-4570*

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

⑥

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

The proposed project takes place entirely within the right of way of Carroll Avenue.

Marie LaMour
7142 Carroll Avenue
Takoma Park, MD 20912

Ryan Celeste
7200 Carroll Avenue
Takoma Park, MD 20192

Kathleen Moseley and C.P. Cook
7206 and 7212 Carroll Avneue
Takoma Park, MD 20912

Roland Dawes
7214 Carroll Avenue
Takoma Park, MD 20912

Ozone Enterprises
7216 Carroll Avenue
Takoma Park, MD 20912

R & S Automotice, Inc.
7222 Carroll Avenue
Takoma Park, MD 20912

Oliff Thomas
7300 Carroll Avenue
Takoma Park, MD 20912

Ralph & D.J. Scaggs
7310 Carroll Avenue
Takoma Park, MD 20912

Mark Stewart Howard
7312 Carroll Avenue
Takoma Park, MD 20912

Bruce Behnami
7316 Carroll Avenue
Takoma Park, MD 20912

Renee Yates
7320 Carroll Avenue
Takoma Park, MD 20912

Karl Kessler
7322 Carroll Avenue
Takoma Park, MD 20912

Karl Kessler
7324 Carroll Avenue
Takoma Park, MD 20912

Historic Takoma
7328 Carroll Avenue
Takoma Park, MD 20912

Karl Kessler
7330 Carroll Avenue
Takoma Park, MD 20912

7334 Carroll Ave LLC
7334 Carroll Avenue
Takoma Park, MD 20912

Robert Turner
201 Ethan Allen Avenue
Takoma Park, MD 20912

Takoma Park Auto Clinic
7221 Carroll Avenue
Takoma Park, MD 20912

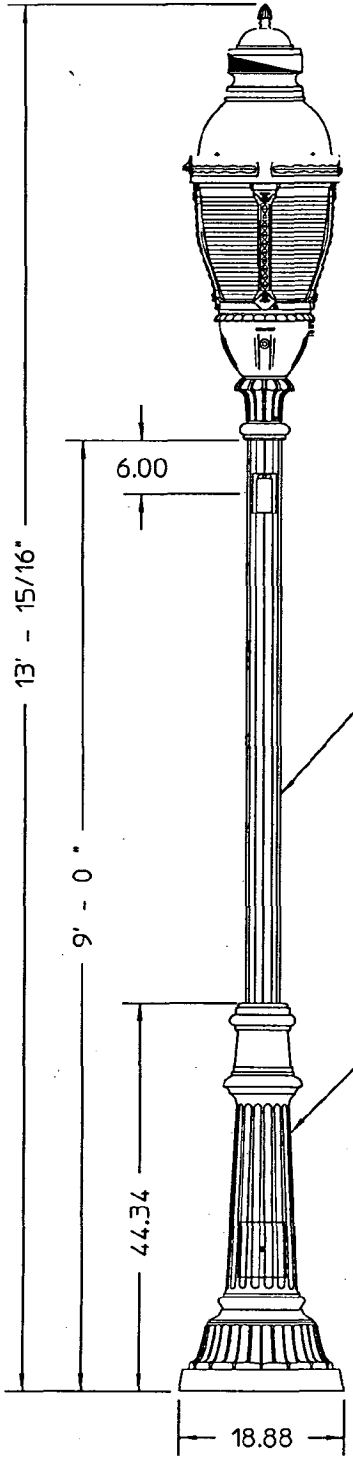
Inan Phillips
7211 Carroll Avenue
Takoma Park, MD 20912

Montgomery County Maryland
Takoma Park Fire Station
7201 Carroll Avenue
Takoma Park, MD 20912



Ordering Guide:
 C1888A: LUMINAIRE
 CP1888: POLE

Luminaire Detail
 Scale 1:16

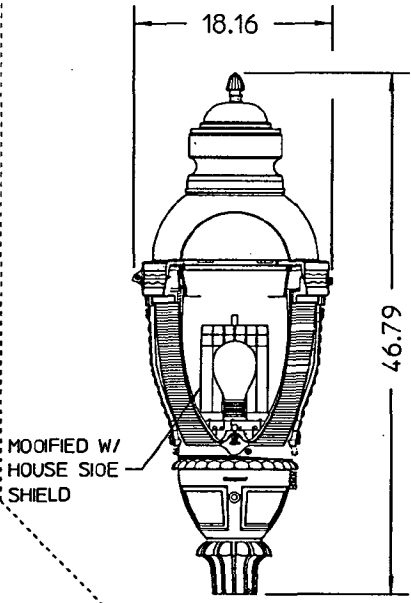


Color:
 Black

POLE:
 4" STRAIGHT FLUTED
 W/ 3" TENON
 0.125" WALL THICKNESS
 6005-T5 ALUMINUM
 W/ GFI DUPLEX OUTLET

BASE:
 CAST ALUMINUM
 #356HM ALLOY
 W/ ACCESS DOOR

BASE DETAIL:
 REFERENCE TEMPLATE
 #T01000395



Luminaire Matrix

- COLOR:
- X BLACK
 - _ WHITE
 - _ VEROE
 - _ BRONZE
 - _ GREEN

- OPTICS:
- X TYPE IV REFR. PANEL
 - _ TYPE V REFR. PANEL
 - _ TYPE III CUTOFF
 - _ TYPE V CUTOFF

- PHOTO CONTROL:
- X BUTTON EYE
 - _ TWIST-LOCK RECEPT.
 - _ NONE

- SOCKET: MODIFIED
- _ MECIUM
 - _ MOGUL
 - X INOUCION

- WATTAGE: MODIFIED
- _ 70W HPS
 - _ 100W HPS
 - _ 150W HPS
 - _ 250W HPS
 - _ 70W MH
 - _ 100W MH
 - _ 150W MH
 - _ 175W MH
 - _ 250W MH
 - X 85W INOUCION

- VOLTAGE:
- X 120V
 - _ 208V
 - _ 240V
 - _ 277V
 - _ 347V

PRODUCT APPROVALS

HAOCO **SMK**

CUST.

CONFIDENTIAL:

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NOTICE:
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Full
 Specification
 (Complete Assembly)
 Drawing

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is a Philips group brand

100 Craftway P.O. Box 128
 Lillesstown, Pennsylvania 17340-0128
 Phone 717-359-7131
 Fax 717-359-9515
 www.hodco.com

JOB NAME:

Takoma Junction

REP. TERRITORY:

14

DRAWN BY:

JRS

SCALE: DATE:

1:20

05.09.08

DRAWING NUMBER:

C1888-DWG01

REP:

Lightoller-Baltimore

REV: **A**

PCN: **08-035**

BY:

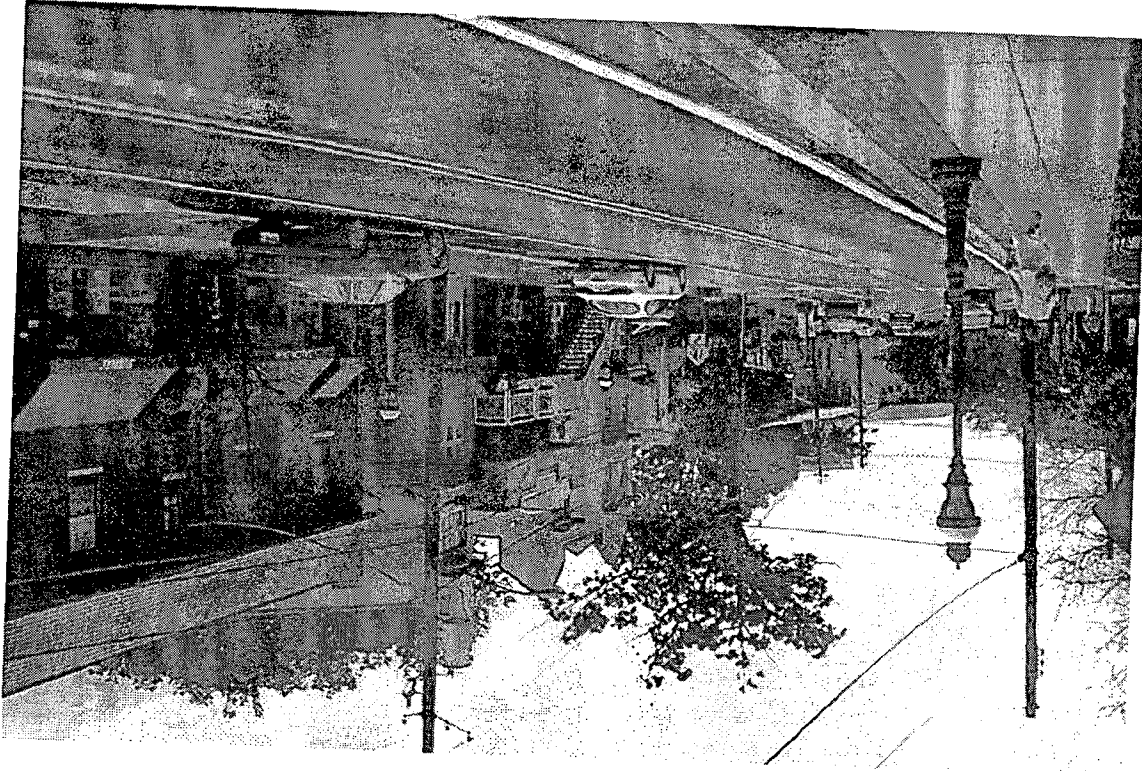
DATE:

Material Specification
 Plans & ~~Specifications~~

10

Existing decorative street lights
in Old Town Takoma
6800-7000 blocks of Carroll Ave
This style is to be matched for
proposed Takoma Junction lights.

①



②



Last year, City installed additional decorative streetlights in 7100 block of Cornell Ave, to match Old Town style.

2

21

Photo shows old street lights in 2200 block of
Carroll Avenue. These double head street lights
are scheduled to be replaced with single lamp
posts matching style found in Old Town.

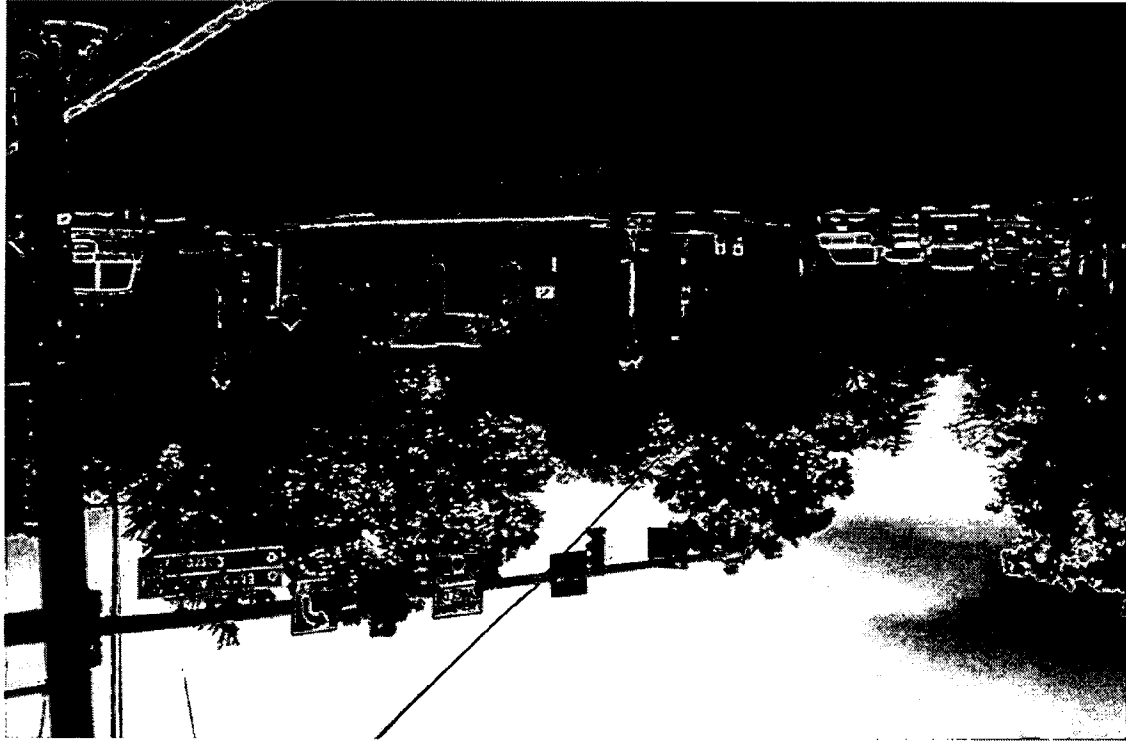


3

13

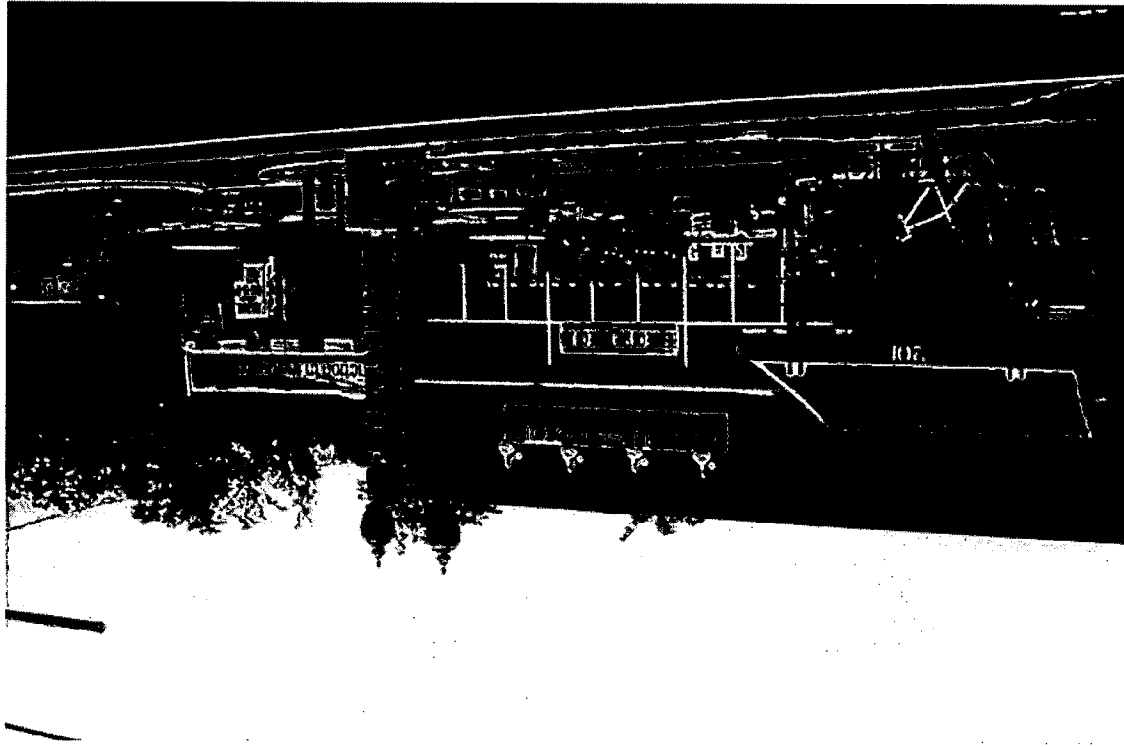
Existing condition at B.Y. Morrison Park
7300 block of Cornell Avenue

(4)



(14)

5) Photo of existing double road, street light in Takama Junction.



15

⑥ Existing street lights in 7300 block of Cornell.



⑥1

City of Takoma Park, Maryland

Housing & Community Development

Telephone: (301) 891-7119
Fax: (301) 270-4568



7500 Maple Avenue
Takoma Park, MD 20912

June 17, 2008

Mr. Jef Fuller, Chair
Historic Preservation Commission
1109 Spring Street, Suite 801
Silver Spring, Maryland 20910

RE: Takoma Junction light pole replacement, 7200-7300 Carroll Avenue, Takoma Park.

Dear Mr. Fuller:

The Takoma Park Facade Advisory Board met on Monday, June 17, 2008, to review a proposal submitted by Daryl Braithwaite on behalf of the City of Takoma Park, for the installation of replacement light poles on the 7200-7300 blocks of Carroll Avenue and Ethan Allen Avenue. The existing decorative street lamps, dating to the 1980s will be replaced with decorative street lamps that are the same as those installed in the past five years on the 7100 block of Carroll Avenue, and matching those installed in Old Town. The application is to be considered by the Historic Preservation Commission later this summer.

The Board found the proposal for the light poles to be in general compliance with the design guidelines developed for the area and strongly endorsed the light pole replacement with poles those matching those in the 7100 block of Carroll Avenue with the following condition:

1. That the light pole luminaire output will be brighter, as befitting a commercial area, than the lamps currently installed on the residential section of Carroll Avenue.

If you have any questions regarding the Board's action, please call (301) 891-7205.

Thank you for the ongoing efforts of the Commission to preserve the unique architectural character of our historic business district.

Sincerely,

Ilona Blanchard
Community Development Coordinator

cc: Daryl Braithwaite, Director, Public Works

(17)



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 06/26/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Rachel Kennedy *rk*
Senior Planner
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #486401 – Streetlight replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the June 25, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: City of Takoma Park (Daryl Braithwaite, Agent)
Address: 7200-7300 blocks of Carroll Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

R

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Daryl Braithwaite

Daytime Phone No.: 301-891-7615

Tax Account No.: _____

Name of Property Owner: City of Takoma Park Daytime Phone No.: 301-891-7615

Address: 7500 Maple Avenue Takoma Park Maryland 20912
Street Number City Street Zip Code

Contractor: unknown Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Daryl Braithwaite Daytime Phone No.: 301-891-7615

LOCATION OF BUILDING/PREMISE

House Number: 7200-7300 blocks Street: Carroll Avenue

Town/City: Takoma Park Nearest Cross Street: Ethan Allen

Lot: _____ Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Plaze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 95,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A

2B. Type of water supply: 01 WSSC 02 Well 03 Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Daryl Braithwaite
Signature of owner or authorized agent

Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 6-26-08

Application/Permit No.: 486401 Date Filed: 5/29/08 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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Lee

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2. SITE PLAN - Page 3

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- a. the scale, north arrow, and date;
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6. TREE SURVEY Not Applicable

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355. 240-314-4570

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

R

70007



SITE PLAN

Dyl Pruzna
Page 3 of 8

07336

07325

07321

00211

00209

7321

00207

00205

00211

07324

00203

07133

07137

07129

00006

07301

00026

00007

00013

00201

GRANT

07222

00012

00008

07216

07214

07212

X Proposed location
⊕ lamp pole missi

07206

07211

00010

80000

90000

07200

07223

07221

PHILADELPHIA

00410

00044

50 25 0 50 100 150 200

Feet

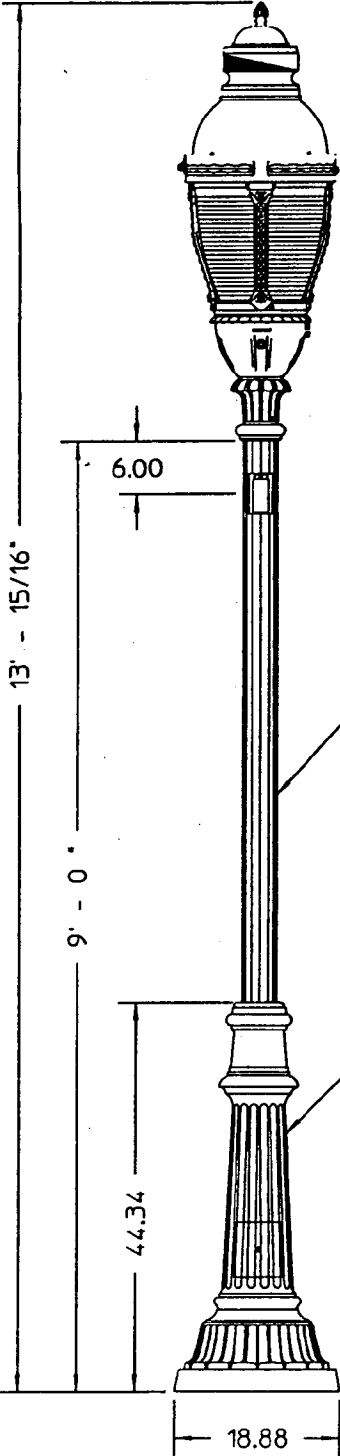
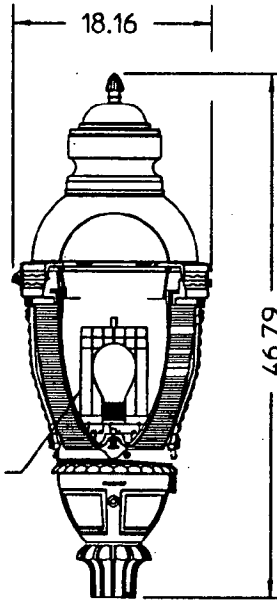
07135

00040

Ordering Guide:
 C1888A: LUMINAIRE
 CP1888: POLE

APPROVED
 Temporary Council
 [Signature]

Luminaire Detail
 Scale 1:16



Color:
 Black

POLE:
 4" STRAIGHT FLUTED
 W/ 3" TENON
 0.125" WALL THICKNESS
 6005-T5 ALUMINUM
 W/ GFI DUPLEX OUTLET

BASE:
 CAST ALUMINUM
 #356HM ALLOY
 W/ ACCESS DOOR

BASE DETAIL:
 REFERENCE TEMPLATE
 #T01000395

Luminaire Matrix

- COLOR:
 X BLACK
 - WHITE
 - VERDE
 - BRONZE
 - GREEN
- OPTICS:
 X TYPE IV REFR. PANEL
 - TYPE V REFR. PANEL
 - TYPE III CUTOFF
 - TYPE V CUTOFF

- PHOTO CONTROL:
 X BUTTON EYE
 - TWIST-LOCK RECEPT.
 - NONE

- SOCKET: MODIFIED
 - MEDIUM
 - MOGUL
 X INDUCTION

- WATTAGE: MODIFIED
 - 70W HPS
 - 100W HPS
 - 150W HPS
 - 250W HPS
 - 70W MH
 - 100W MH
 - 150W MH
 - 175W MH
 - 250W MH
 X 85W INDUCTION

- VOLTAGE:
 X 120V
 - 208V
 - 240V
 - 277V
 - 347V

PRODUCT APPROVALS

HADCO

SMK

CUST.

CONFIDENTIAL:

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NOTICE:
 THIS DRAWING IS FOR REFERENCE ONLY. CHECK FOR LATEST REVISION PRIOR TO ORDERING

Full
 Specification
 (Complete Assembly)
 Drawing

HADCO
 is a Philips group brand

100 Craftway P.O. Box 128
 Littlestown, Pennsylvania 17340-0128
 Phone 717-359-7131
 Fax 717-359-9515
 www.hadco.com

JOB NAME:

Takoma Junction

REP. TERRITORY:

14

DRAWN BY:

JRS

SCALE: DATE:

1:20

05.09.08

DRAWING NUMBER:

C1888-DWG01

REP:

Lightoller-Baltimore

REV: A

PCN: 08-035

BY:

DATE:

Material Specification
 Plans & Elevations

APPROVED
 2007/11/11
 11/11/2007

25 June 2008
 Case ID
 Rachel Kennel
 PAGE 02

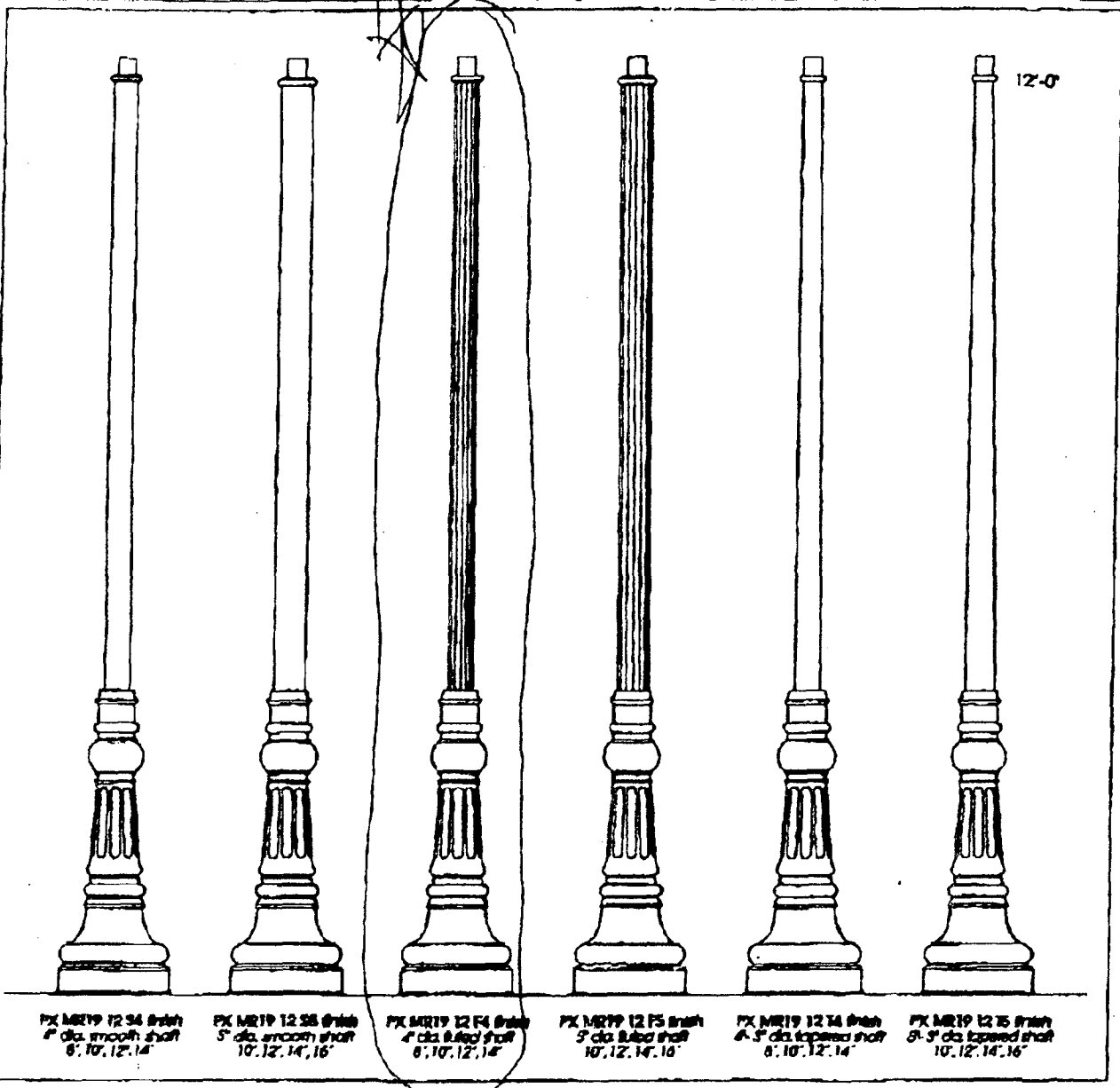
301-910-0075

ALUMINUM MATERIALS

CATALOGUE # PK MR19 P4 ANBK

Cast Aluminum Posts
 extruded shafts

MARINER Series
 19" dia. base



PK MR19 12 34 finish
 8" dia. smooth shaft
 8, 10, 12, 14"

PK MR19 12 35 finish
 8" dia. smooth shaft
 10, 12, 14, 16"

PK MR19 12 F4 finish
 4" dia. fluted shaft
 8, 10, 12, 14"

PK MR19 12 F5 finish
 5" dia. fluted shaft
 10, 12, 14, 16"

PK MR19 12 T4 finish
 8" dia. tapered shaft
 8, 10, 12, 14"

PK MR19 12 T5 finish
 8" dia. tapered shaft
 10, 12, 14, 16"

SPECIFICATIONS

DESCRIPTION: The lighting post shall be all aluminum one-piece construction, with a classical tapered base design. The shaft shall be _____ (insert shaft options from back page). The post shall be Antique Street Lamp catalog number PK MR19 ~~XX~~ ~~XX~~ finish.

MATERIALS: The base shall be heavy wall, copper free, cast aluminum produced from certified ASTM 356.1 ingot per ASTM B-179-95a or ASTM B26-95. The straight shafts shall be extruded from aluminum, ASTM 6061 alloy, heat treated to a T6 temper. The tapered shaft shall be extruded from aluminum, ASTM 6063 alloy, spun to a tapered shape, then heat treated to a T6 temper. All hardware shall be temper resistant stainless steel. Anchor bolts to be completely hot-dip galvanized.

CONSTRUCTION: The shaft shall be double welded to the base casting and shipped as one piece for maximum structural integrity. The shaft shall be circumferentially welded inside the base casting at the top of the access dock and externally where the shaft exits the base. All exposed welds below 8" shall be ground smooth. All welding shall be per ANSI/AWS

D1.2-90. All welders shall be certified per Section 5 of ANSI/AWS D1.2-90.

DIMENSIONS: The post shall be 2' - 2 1/2' in height with a 19" diameter base. The shaft diameter shall be 2 1/2". (see back page) At the top of the post, an integral 5" O.D. x 3" tenon with a transitional conical shall be provided for luminaire mounting.

INSTALLATION: The post shall be provided with four hot-dip galvanized L-type anchor bolts to be installed on a 14" diameter bolt circle. A door shall be provided in the base for anchorage and wiring access. A grounding screw shall be provided inside the base opposite the door.
 For finish specifications and color options, see "Finish" section in catalog.

ANTIQUE Street Lamps

FAX TRANSMISSION

CITY OF TAKOMA PARK

Department of Public Works

31 Oswego Avenue

Silver Spring, MD 20910

Phone: 301-891-7633

Fax: 301-585-2405

TO: Rechel Kennedy **DATE:** 6/18/08

FAX: 301-563-3412 **PAGE(S):** 2

FROM: Doug **PHONE:** 301-891-7615

SUBJECT: Correct pole detail

COMMENTS: _____

25 June 2008
 Case ID.
 Rachel Kennedy

TOTAL P.02
 11/17/11 15:01 301-014-105

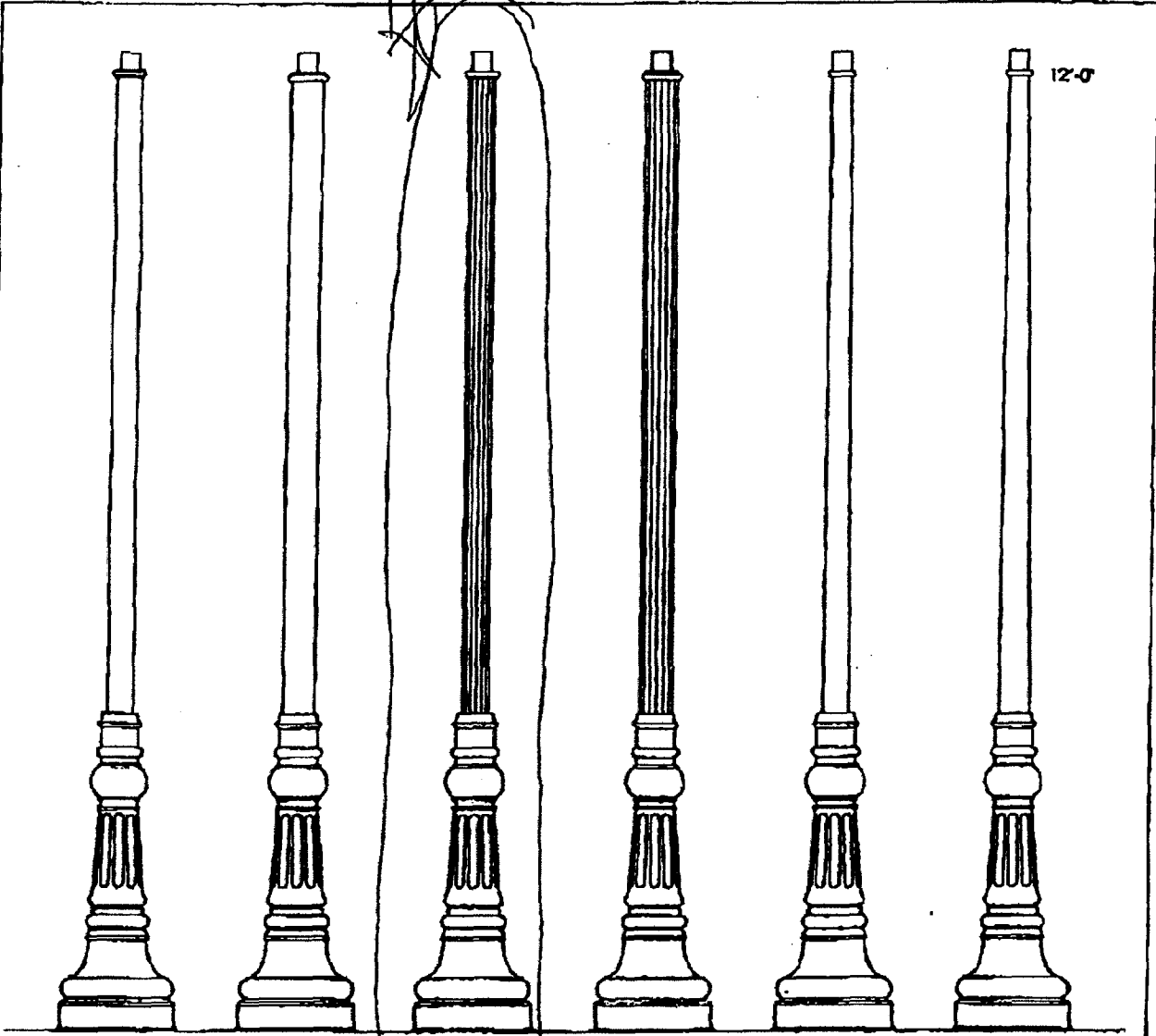
ALUMINUM MATERIALS

PAGE 02

CATALOGUE# PX MR19 Q4 P4 ANBK

Cast Aluminum Posts
 extruded shafts

MARINER Series
 19" dia. base



PX MR19 12 34 0 shaft
 4" dia. smooth shaft
 8', 10', 12', 14'

PX MR19 12 35 0 shaft
 5" dia. smooth shaft
 10', 12', 14', 16'

PX MR19 12 F4 0 shaft
 4" dia. fluted shaft
 8', 10', 12', 14'

PX MR19 12 F5 0 shaft
 5" dia. fluted shaft
 10', 12', 14', 16'

PX MR19 12 T4 0 shaft
 4.5" dia. tapered shaft
 8', 10', 12', 14'

PX MR19 12 T5 0 shaft
 5.5" dia. tapered shaft
 10', 12', 14', 16'

SPECIFICATIONS

DESCRIPTION: The lighting post shall be all aluminum, one-piece construction, with a classical tapered base design. The shaft shall be _____ (insert shaft options from back page). The post shall be Antique Street Lamps' catalog number PX MR19 ~~XX~~ ~~XX~~ shaft.

MATERIALS: The base shall be heavy wall, copper free, cast aluminum produced from certified ASTM 360.1 ingot per ASTM B-179-95 or ASTM B26-95. The straight shaft shall be extruded from aluminum, ASTM 6061 alloy, heat treated to a T6 temper. The tapered shaft shall be extruded from aluminum, ASTM 6063 alloy, spun to a tapered shape, then heat treated to a T6 temper. All hardware shall be temper resistant stainless steel. Anchor bolts to be completely hot-dip galvanized.

CONSTRUCTION: The shaft shall be double welded to the base casting and shipped as one piece for maximum structural integrity. The shaft shall be circumferentially welded inside the base casting at the top of the access door, and externally where the shaft enters the base. All exposed welds below 8" shall be ground smooth. All welding shall be per ANS/AWS

D1.2-90. All welds shall be certified per Section 5 of ANS/AWS D1.2-90.

DIMENSIONS: The post shall be 2' - 28" in height with a 19" diameter base. The shaft diameter shall be 22". (see back page) At the top of the post, an integral 3" O.D. x 3" tenon with a traditional dovetail shall be provided for luminaire mounting.

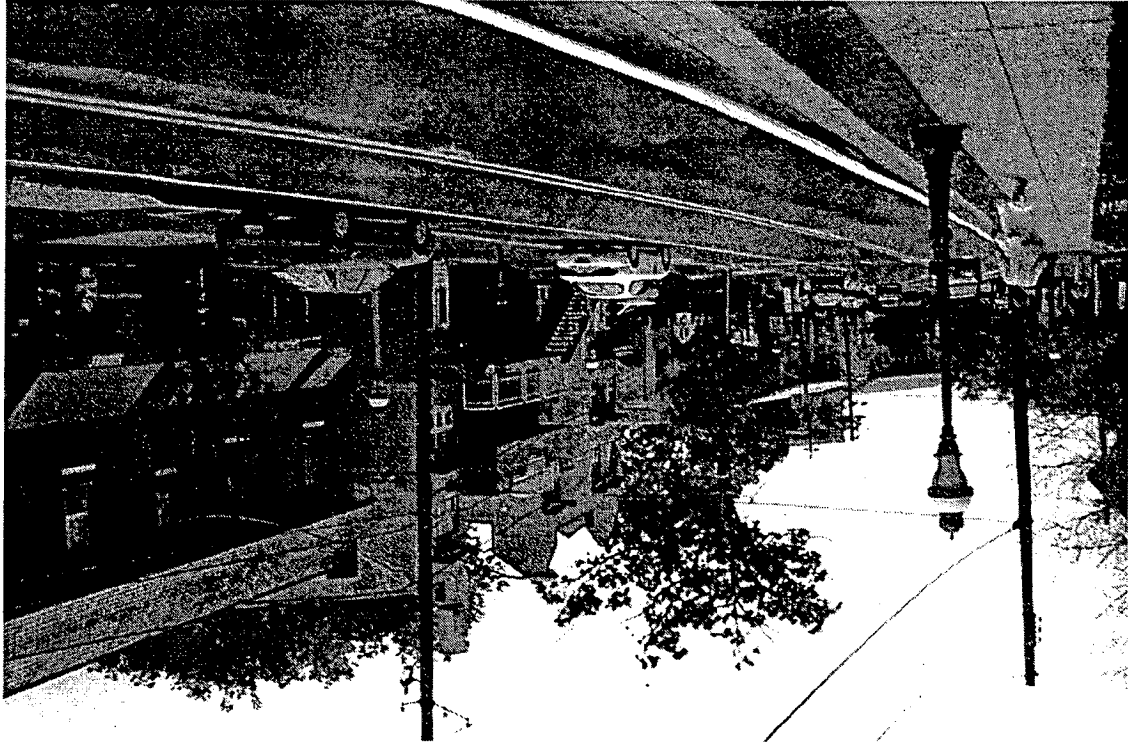
INSTALLATION: The post shall be provided with four hot-dip galvanized L-type anchor bolts to be installed on a 14" diameter bolt circle. A door shall be provided in the base for anchorage and wiring access. A grounding screw shall be provided inside the base opposite the door.

For finish specifications and color options, see "Finish" section in catalog.

ANTIQUE Street Lamps

Existing decorative street lights
in Old Town Talcoma
6800-7200 blocks of Carroll Ave
This style is to be matched for
proposed Talcoma Junction lights.

①





(2)

Last year, City installed additional decorative streetlights in 7100 block of Carroll Ave, to match Old Town style.

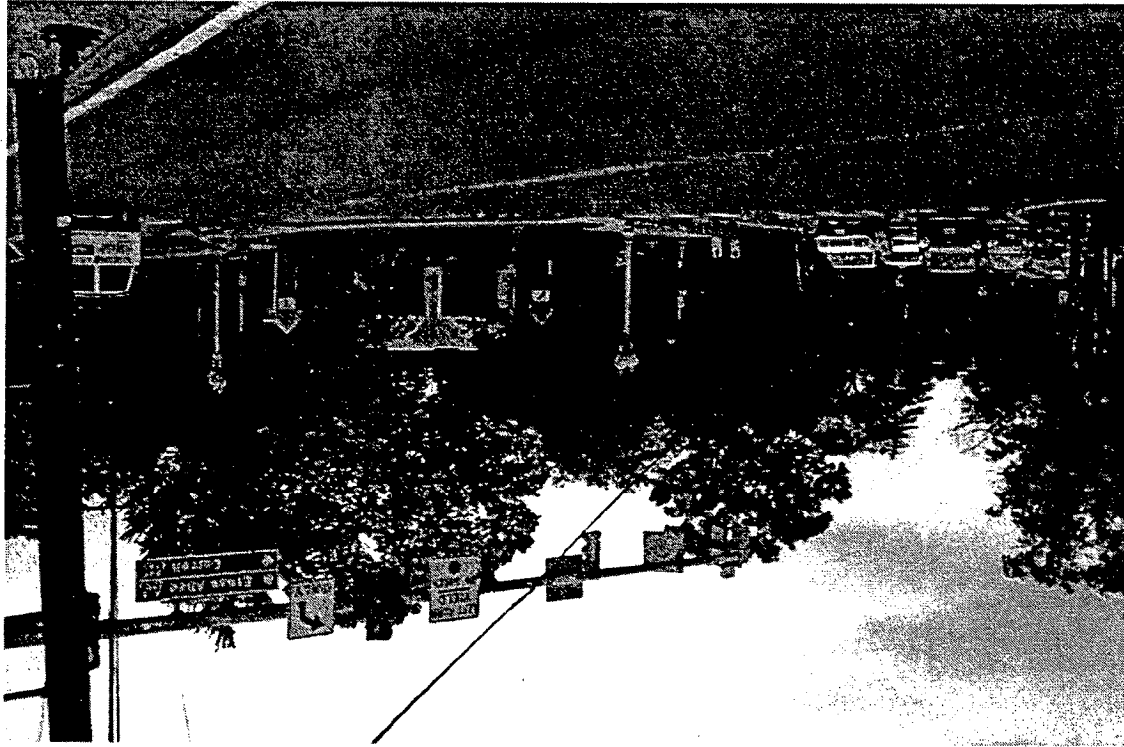
Photo shows old street lights in 2200 block of
Carroll Avenue. These double head street lights
are scheduled to be replaced with single lamp
posts matching style found in Old Town.

3

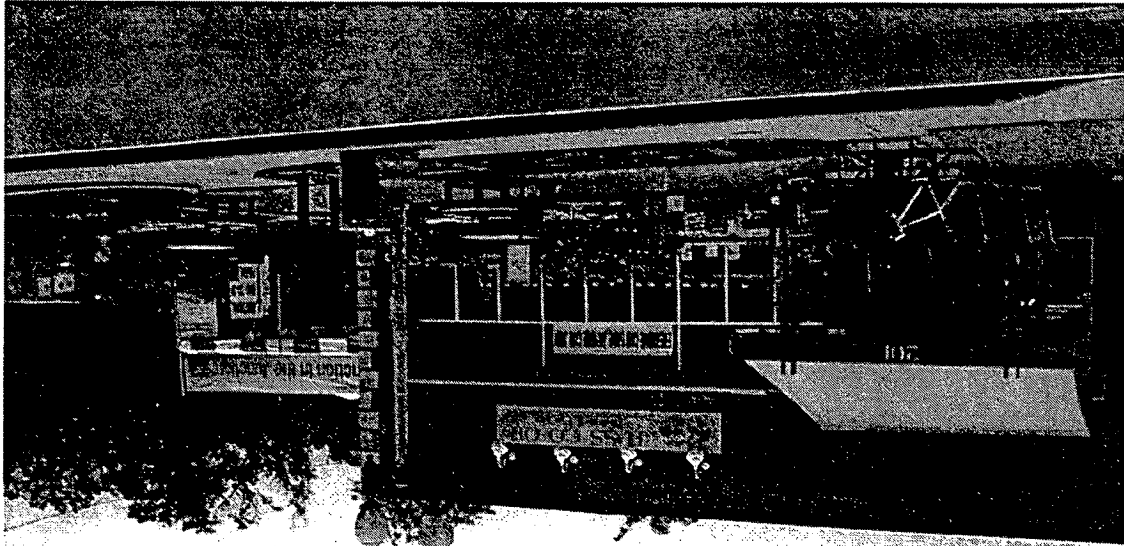


Existing condition at B.Y. Morrison Park
7300 block of Cornell Avenue

(4)



5) Photo of existing double road, street light in Takoma Junction.



⑨ Existing street light in 7300 block of Carroll.



ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

The proposed project takes place entirely within the right of way of Carroll Avenue.

Marie LaMour
7142 Carroll Avenue
Takoma Park, MD 20912

Ryan Celeste
7200 Carroll Avenue
Takoma Park, MD 20192

Kathleen Moseley and C.P. Cook
7206 and 7212 Carroll Avneue
Takoma Park, MD 20912

Roland Dawes
7214 Carroll Avenue
Takoma Park, MD 20912

Ozone Enterprises
7216 Carroll Avenue
Takoma Park, MD 20912

R & S Automotice, Inc.
7222 Carroll Avenue
Takoma Park, MD 20912

Oliff Thomas
7300 Carroll Avenue
Takoma Park, MD 20912

Ralph & D.J. Scaggs
7310 Carroll Avenue
Takoma Park, MD 20912

Mark Stewart Howard
7312 Carroll Avenue
Takoma Park, MD 20912

Bruce Behnami
7316 Carroll Avenue
Takoma Park, MD 20912

Renee Yates
7320 Carroll Avenue
Takoma Park, MD 20912

Karl Kessler
7322 Carroll Avenue
Takoma Park, MD 20912

Karl Kessler
7324 Carroll Avenue
Takoma Park, MD 20912

Historic Takoma
7328 Carroll Avenue
Takoma Park, MD 20912

Karl Kessler
7330 Carroll Avenue
Takoma Park, MD 20912

7334 Carroll Ave LLC
7334 Carroll Avenue
Takoma Park, MD 20912

Robert Turner
201 Ethan Allen Avenue
Takoma Park , MD 20912

Takoma Park Auto Clinic
7221 Carroll Avenue
Takoma Park, MD 20912

Inan Phillips
7211 Carroll Avenue
Takoma Park, MD 20912

Montgomery County Maryland
Takoma Park Fire Station
7201 Carroll Avenue
Takoma Park, MD 20912

Come with letter from City regarding Facade Ad. Board
(Comments)

540-12

Table 540-3. RECOMMENDED LEVELS OF ILLUMINATION

Area/activity	Outdoor facilities	Lux (lx)	Footcandles (fc)	Area/activity	Outdoor facilities	Lux (lx)	Footcandles (fc)
Building exterior				Local Roads			
Entry				Commercial areas*		9	0.9
Active use		50	5.0	Intermediate areas*		7	0.6
Locked or infrequent use		10	1.0	Residential areas*		4	0.4
Vital locations or structures		50	5.0	Walkways			
Building surrounds		10	1.0	Along roadside			
Building and monuments (floodlighted)				Commercial areas*		10	0.9
Bright Surroundings				Intermediate areas*		5	0.5
Light surfaces		150	15.0	Residential areas*		2	0.2
Medium light surfaces		200	20.0	Distant from roadside		5	0.5
Medium dark surfaces		300	30.0	Park walkways		5	0.5
Dark surfaces		500	50.0	Pedestrian tunnels		20	2.0
Dark surroundings				Pedestrian overpasses		2	0.2
Light surfaces		50	5.0	Pedestrian stairways			
Medium light surfaces		100	10.0	Light surfaces		200	20.0
Medium dark surfaces		150	15.0	Dark surfaces		500	50.0
Dark surfaces		200	20.0	Gardens			
Bikeways				General lighting		5	0.5
Along roadside				Path, steps away from home		10	1.0
Commercial areas*		10	0.9	Backgrounds, fences, walls, trees, shrubbery		20	2.0
Intermediate areas*		5	0.5	Flower beds, rock gardens		50	5.0
Residential areas*		2	0.2	Trees, shrubs (when emphasized)		50	5.0
Distant from roadside		5	0.5	Focal points (large)		100	10.0
Bulletin and posterboards, signs				Focal points (small)		200	20.0
Bright surroundings				Loading and unloading platforms			
Light surfaces		5	0.5			200	20.0
Dark surfaces		1000	100.0	Parking areas			
Dark surroundings				Self parking		10	1.0
Light surfaces		200	20.0	Attendant parking		20	2.0
Dark surfaces		500	50.0	Piers			
Roadways				Freight		200	2.0
Expressways				Passenger		200	2.0
Commercial areas*		14	1.4	Active shipping area surrounding		50	5.0
Intermediate areas*		12	1.2	Playground			
Residential areas*		9	.9			50	5.0
Major Roads				Badminton (outdoor)			
Commercial areas*		17	1.7	Recreational		100	10
Intermediate areas*		13	1.3	Club		200	20
Residential areas*		9	.9	Baseball			
Collector roads				Recreational			
Commercial areas*		12	1.2	Infield		105	15
Intermediate areas*		9	0.9	Outfield		100	10
Residential areas*		6	0.6	Junior League (Class I and II)			

540 Outdoor Lighting

**Office of Housing and
Community Development**



**The City of
Takoma Park**

**7500 Maple Avenue
Takoma Park, MD 20912
Tel: (301) 891-7119
Fax: (301) 270-4568**

To:	Rachel / Anne
Fax:	301 563 3412
From:	Ilena Blanchard
Subject:	Light Poles Takoma Park
Date:	6/17/08
Pages:	3, including cover sheet

**If you did not receive all pages of this fax transmission, please call 301-891-7119.
Thank you.**

37103 - 04 KK

Previous HWWP -



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
265 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
740/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

RECEIVED
JUL 07 2004
DEPT OF PERMITTING SERVICES
265 ROCKVILLE PIKE, 2ND FLOOR
ROCKVILLE, MD 20850

Contact Person: ILONA BLANCHARD

Daytime Phone No.: 301 891 7205

Tax Account No.: N/A

Name of Property Owner: CITY OF TAKOMA PARK / STATE HIGHWAY ADMINISTRATION

Address: 7500 MAPLE AVE TAKOMA PARK MD 20912

Contractor: KCI TECHNOLOGIES Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: _____ Street: CARROLL AVENUE
Town/City: _____ Nearest Cross Street: PHILADELPHIA AVE TO EASTERN AVE
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Removate
- Move
- Install
- Wreck/Reuse
- Revision
- Repair
- Removeable

CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: STREET SCAPES

1B. Construction cost estimate: \$ 490,000

1C. If this is a revision of a previously approved active permit, use Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A

2B. Type of water supply: 01 WSSC 02 Well 03 Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

JA Height 2 feet 6 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

7/7/2004
Date

Approved: ✓ w/one condition For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 6-29-05

Application/Permit No.: 351053 Date Filed: 7-8-04 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

**HISTORIC AREA WORK
PERMIT**

IssueDate: 7/12/2005

Permit No: 351053
Expires:
X Ref:
Rev. No:

Approved With Conditions

THIS IS TO CERTIFY THAT:

ILONA BLANCHARD CITY OF TAKOMA PARK/STATE HWY ADMINISTRATIONS
7500 MAPLE AVE
TAKOMA PARK MD 209120000

HAS PERMISSION TO:

ALTER

PERMIT CONDITIONS:

Fence/Wall - Street Scape @ Carroll Avenue cross street Philadelphia Ave to Eastern Avenue.
SEE ATTACHED HISTORIC PRESERVATION APPROVAL FOR CONDITIONS OF APPROVAL

PREMISE ADDRESS

7500 MAPLE AVE
TAKOMA PARK MD 20912-

LOT
LIBER
FOLIO
PERMIT FEE: \$0.00

BLOCK
ELECTION DISTRICT 13
SUBDIVISION
TAX ACCOUNT NO.:

PARCEL
PLATE

ZONE
GRID

HISTORIC MASTER: N
HISTORIC ATLAS: N

**HISTORIC APPROVAL ONLY
BUILDING PERMIT REQUIRED**

Director, Department of Permitting Services

- Case ^{37/03} 08FF

- Street lamps in Takoma PK - ^{7200-7300 blocks of Carroll Avenue}

D= Existing 20+ years old - listed steel
25 located on Carroll Avenue
at intersection of Carroll & Philadelphia
up to Carroll & Lee Avenue

Current - replace existing decorative street
lamps - to match those located
in 6800 - 7100 blocks of Carroll Avenue

Aluminum - More energy efficient
✓ Include reflectors to direct the light
to the ground level - rather than
above the light

~~12/1/03 - Asked Kevin where old H&A~~

~~12/1/03~~ ^{might be} I mailed locals to get their
take on the project -

Kennedy, Rachel

From: Kennedy, Rachel
Sent: Thursday, June 12, 2008 12:39 PM
To: 'S.BARON@STARPOWER.NET'; 'Ljpearsall@aol.com'
Subject: Utility Poles and Streetlamps

Ms Baron and Ms Pearsall,

I am a new historic work area permit reviewer at the Montgomery County Preservation Office. Anne Fothergill gave me your names and email addresses. I have in my possession two HAWPs for the Takoma Park district. One seeks to install new streetlights in the 7200-7400 blocks of Carroll Avenue, presumably to match the streetlights between 6800 and 7100 Carroll Avenue.

The other is to install banner arms to hold temporary display banners on existing pepco poles, better known as utility poles in some locales, in Takoma Park Junction. Anyway, I am wondering what your take on both these projects is. I understand that you will have a an opportunity to voice any comments at the city's façade advisory board on 16 June, but I thought I would get a jump on this and see where Historic Takoma stands. I do understand that Historic Takoma is not a Local Advisory Panel, but again your take on this is very important.

Any thought you have about these projects would be greatly appreciated. One quick question: when were the streetlamps on 6800-7100 part of Carroll Ave installed?

I look forward to hearing from you and making your acquaintance.
Rachel

Rachel Kennedy
Senior Planner
Countywide Planning | Historic Preservation Section
Maryland-National Capital Park and Planning Commission
301-563-3400 phone | 301-563-3412 fax
1109 Spring Street, Suite 801
Silver Spring, MD 20910
rachel.kennedy@mncppc-mc.org, <http://www.mc-mncppc.org/historic/>
Mailing Address:
8787 Georgia Avenue
Silver Spring, MD 20910