

7336 Carroll Avenue, Takoma Park
[HPC Case # 37/03-09A]
Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: January 15, 2009

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner **(JOS)**
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #502715, fencing installation and landscape alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the January 14, 2009 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jay and Kerry Danner-McDonald

Address: 7336 Carroll Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jay + Kerry Danner-McDonald

Daytime Phone No.: 301 356 8257

Tax Account No.: _____

Name of Property Owner: Jay & Kerry Danner-McDonald Daytime Phone No.: 301 356 8257

Address: 7336 Carroll Ave Takoma Park 20912
Street Number City State Zip Code

Contractor: Clinton Fence Company / Honeybee Landscaping Phone No.: 301 843 1108 / 301 681 0631

Contractor Registration No.: MHIC: 1705

Agent for Owner: Chuck Eiring # 37847 Daytime Phone No.: 301 758-7600

LOCATION OF BUILDING/PREMISE

House Number: 7336 Street: Carroll Ave

Town/City: TAKOMA PARK Nearest Cross Street: Lee Ave

Lot: 1 Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: walkway + patio

1B. Construction cost estimate: \$ 10,500.-

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

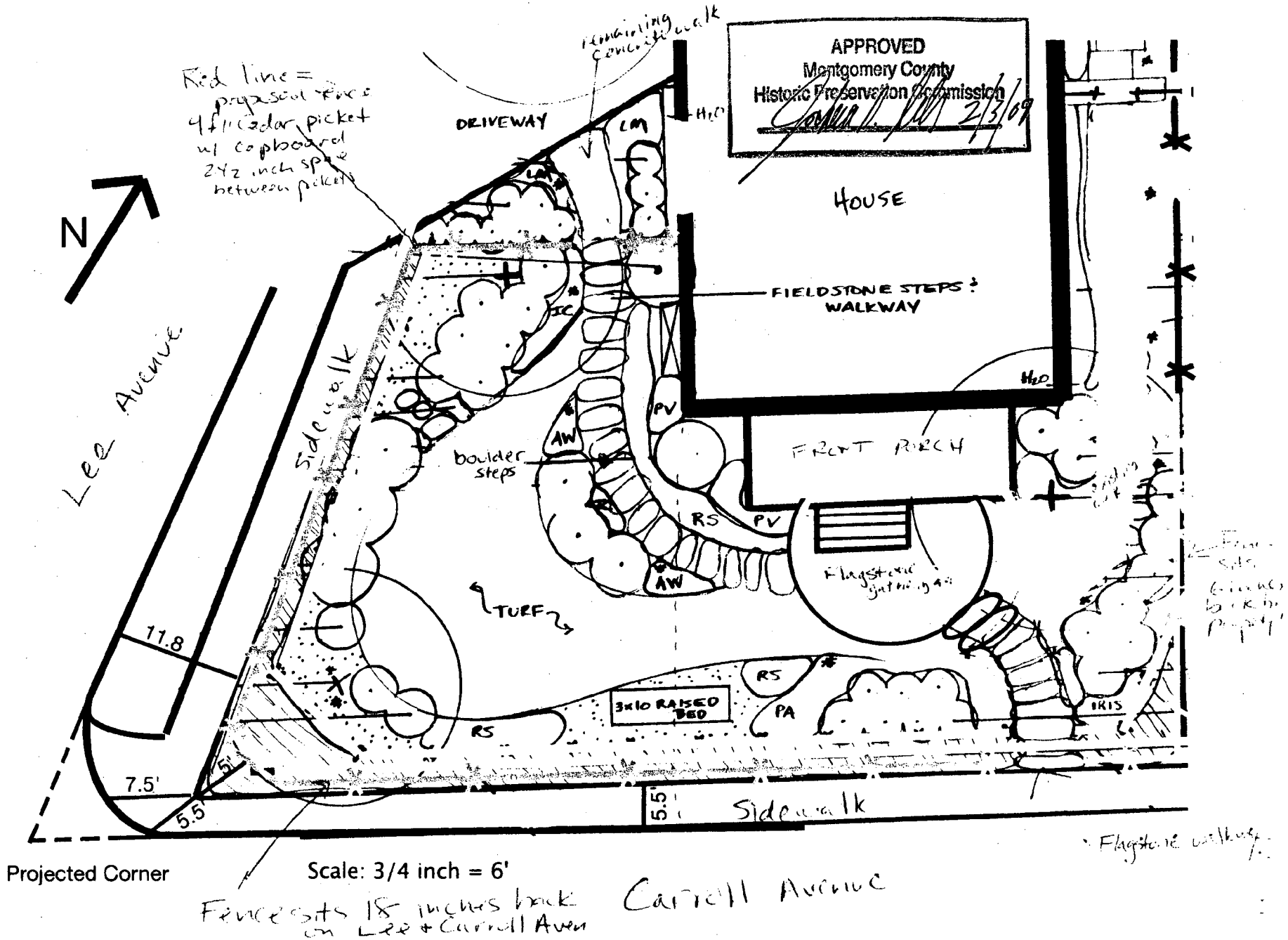
[Signature]
 Signature of owner or authorized agent

11/22/08
 Date

EGLHO Can MWU

Approved: #502715 [Signature] [Signature] 2/3/09
 For Chairperson Historic Preservation Commission

Danner-McDonald
 7336 Carroll Avenue



5

The plan is subject to the approval of the Board of Public Works of the City of Takoma Park, Maryland, and the Board of Public Works of the County of Montgomery, Maryland, and the Board of Public Works of the State of Maryland.

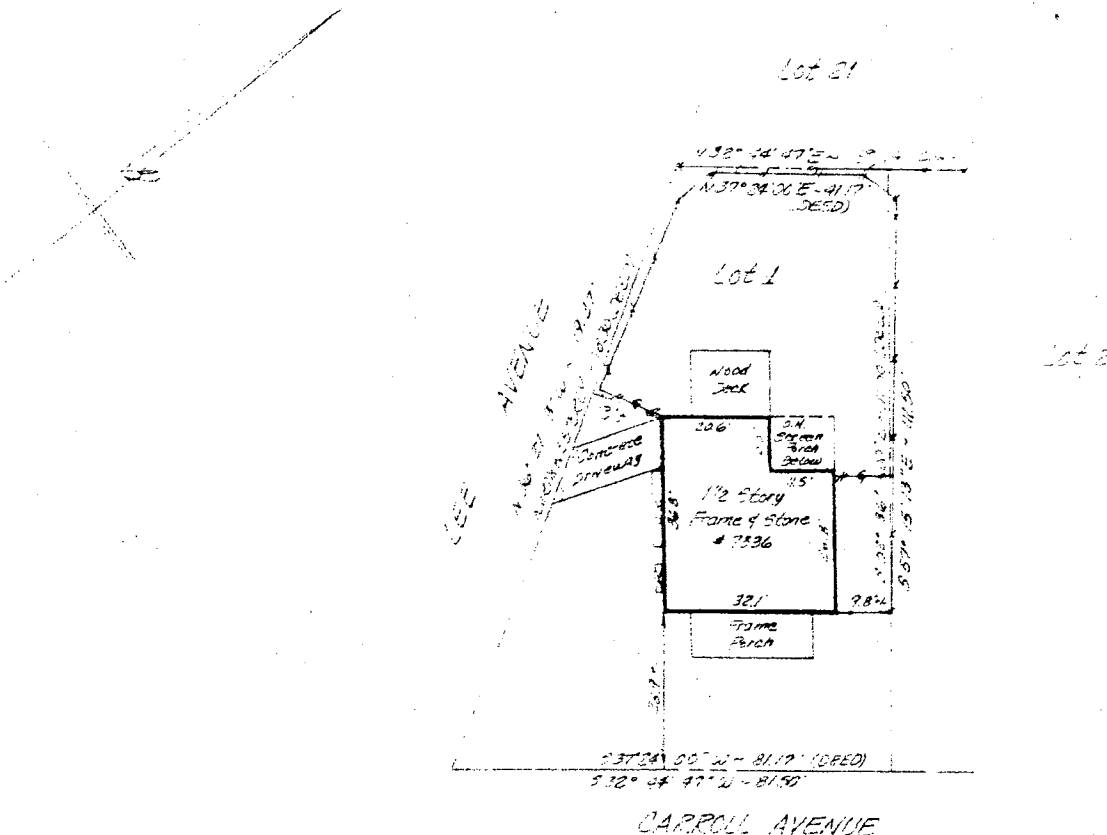
The plan is subject to the approval of the Board of Public Works of the City of Takoma Park, Maryland, and the Board of Public Works of the County of Montgomery, Maryland, and the Board of Public Works of the State of Maryland.

The plan does not provide for the installation of a sewer system, and the applicant is advised that the installation of a sewer system may be required for the installation of a building.

During the use of Wood Lane information is given with available records and a record of the location of the structure.

Lot 1 is shown as shown in the plan, and the structure is shown as shown in the plan. The level of the structure is shown as shown in the plan, and the level of the structure is shown as shown in the plan.

Wood Lane is shown as shown in the plan, and the level of the structure is shown as shown in the plan.




LOCATION DRAWING

LOT 1

SECTION 5

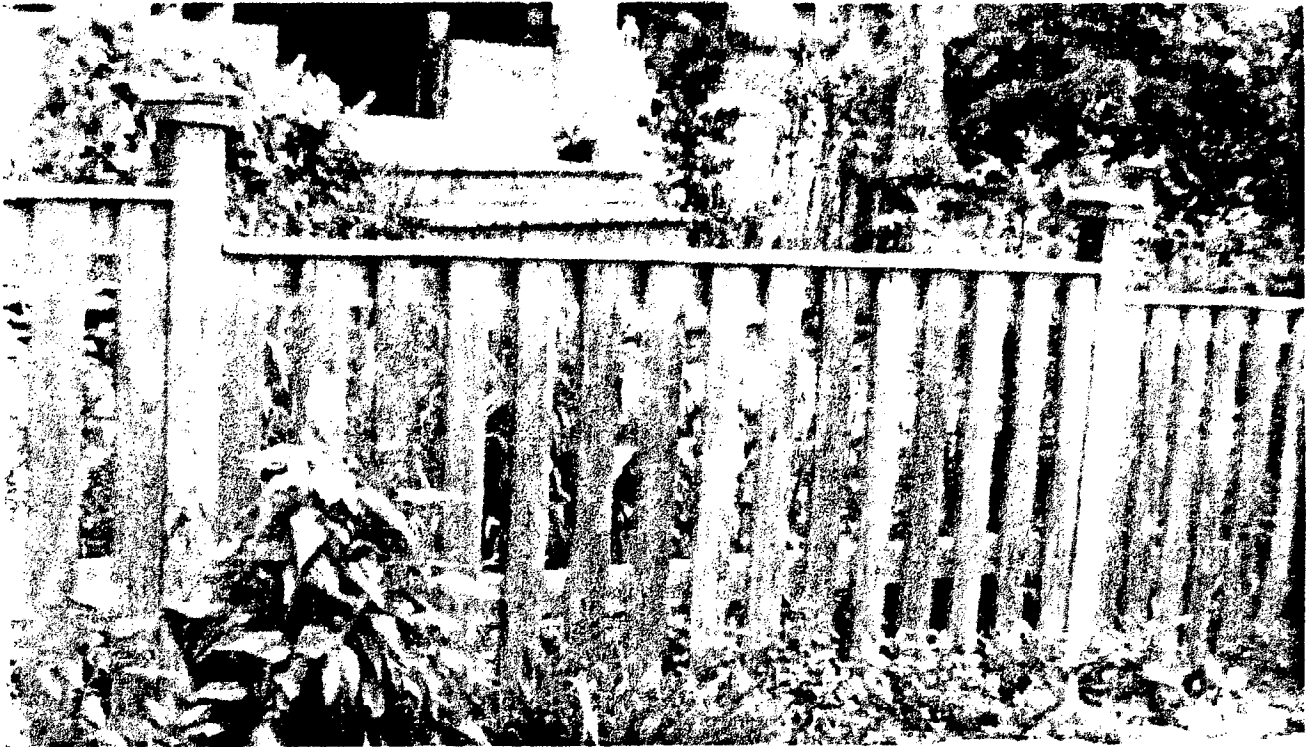
S.S. CARROLL'S ADDITION
TO TAKOMA PARK

MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE	RECORD	DATE OF RECORDING	OWNER & ASSOCIATES
<p>THE INFORMATION ON WHICH THIS CERTIFICATE IS BASED HAS BEEN OBTAINED FROM THE RECORDS OF A FIELD INSPECTION CONDUCTED BY THE SURVEYOR ON THE DATE OF RECORDING. THE SURVEYOR HAS BEEN ADVISED BY THE OWNER THAT THE INFORMATION ON WHICH THIS CERTIFICATE IS BASED IS TRUE AND CORRECT.</p>	<p>PLAN NO. 4</p> <p>PLAN NO. 300</p>		<p>OWNER & ASSOCIATES</p> <p>ARCHITECTS - ENGINEERS</p> <p>PLANNING CONSULTANTS</p> <p>1 Professional Drive, Suite 100</p> <p>Washington, Maryland 20005</p> <p>202-462-1000 Fax 202-462-1001</p>
<p><i>[Signature]</i></p> <p>REGISTERED PROFESSIONAL SURVEYOR</p>	<p>1988</p>	<p>DATE OF RECORDING</p> <p>1988</p>	<p>PLAN NO. 4</p> <p>PLAN NO. 300</p>

Example of Similar Fence Details

Danner-McDonald
7336 Carroll Ave.
Takoma Park, MD



Proposed Fence Details:

Style: 1x4x4 Spaced Picket w/Capboard

Height: 4'

Spacing between pickets: 2.5"

Material: Cedar

Posts: 4x4x8 except at gates which will be 6x6x10

Set in dry packed Cement

Installation: Stair Stepped on Lee Ave., otherwise to grade

Gates: 2 arched or capboard gates (exact style TBD)

Caps: Cedar Caps w/ 2" distance from top capboard to bottom of cedar cap

Contractor: Clinton Fence Co., Inc.

*Placement: set 18" back from property line
caddy corner at Lee + Carroll Ave (please see site plan)
5 feet back from property line
corner*

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 2/3/09

Existing Property Condition Photographs (duplicate as needed)



Detail: Lee Avenue, facing Northurst



Detail: Corner of Carroll & Lee Avenues

owner: Danne, - McDonald, 7336 Carroll Avenue

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7336 Carroll Avenue, Takoma Park	Meeting Date:	1/14/2009
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	1/7/2009
Applicant:	Jay and Kerry Danner-McDonald	Public Notice:	12/31/2008
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-09A	Staff:	Josh Silver
PROPOSAL:	Fencing installation and landscape alterations		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Bungalow
DATE: c1920s

PROPOSAL

The applicants are proposing to:

1. Install a 4' high wooden picket style fence [with 2 ½" spacing] forward of the rear plane of the house along the north, south, east and west boundaries of the subject property. The proposal also includes the installation of one wooden gate in the north and east sections of the proposed fence. The subject property is a corner lot that presently contains no fence.
2. Remove a 17' long concrete walkway that runs between the sidewalk on Carroll Avenue and front porch steps and install a new semi-circular, offset flagstone landing at the base of the stairs and flagstone pathway that will connect the landing to the front sidewalk on Carroll Avenue.
3. Remove a 45' long concrete walkway from the west side of the house that connects the driveway to the front door of the house and install an approximately 30' long boulder step path in the same approximate location to maintain a connection between the house and driveway. The proposed stepping stones will start inside the proposed section of the wooden fence and gate on the west [Lee Avenue] side of the property and extend toward the front door of the house.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several

documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all changes and additions should respect existing environmental settings, landscaping, and patterns of opens space.

Montgomery County Code; Chapter 24A

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed fence installation and landscape alterations at the subject property. The proposed work is consistent with the *Guidelines* and *Standards* for fences and landscape alterations at a Contributing Resource property within the Takoma Park Historic District.

The proposed work respects the existing environmental setting, landscaping and patterns of open space that characterize the historic district, includes appropriate materials, and will not alter the integrity of the historic property or its environment. The location of the proposed fencing, setback approximately 18" from the edge of the property line also diminishes its impact on the streetscape of the historic district.

The proposal is also in keeping with guidance for fencing and landscaping found in *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, which recommends:

- 10.4 Minimize the amount of hard surface paving for patios, terraces, sidewalk planting strips and driveways in the front yard.
- 12.3 Front and side yard fences, gates, and site walls in front of the rear plane of the building should be no greater than 4' in height.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8(b)(1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jay + Kerry Danner-McDonald

Daytime Phone No.: 301 356 8257

Tax Account No.: _____

Name of Property Owner: Jay & Kerry Danner-McDonald Daytime Phone No.: 301 356 8257

Address: 7336 Carroll Ave Takoma Park 20912
Street Number City State Zip Code

Contractor: Clinton Fence Company / Honeybee Landscaping Phone No.: 301 843 1108 / 301 681 0631

Contractor Registration No.: MHIC: 1705

Agent for Owner: Chuck Eiring # 37847 Daytime Phone No.: 301 758-7600

LOCATION OF BUILDING/PREMISE

House Number: 7336 Street: Carroll Ave

Town/City: Takoma Park Nearest Cross Street: Lee Ave

Lot: 1 Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: Walkway + patio

1B. Construction cost estimate: \$ 10,500.-

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jay Danner
Signature of owner or authorized agent

11/21/08
Date

Approved:

#502715

For Chairperson Historic Preservation Commission

(5)

11/21/08

1. Written Description of Project:

- a. **Description of existing structure(s) and environmental setting, including their historical features and significance:**
- i. *Planting Area.* There is a planting bed that runs along the perimeter of the front yard. It is approximately three-feet wide and made of 4 by 4 pressure treated pine. The previous owner installed it sometime between 1992 and 1997. There is no historical significance. The wood will be removed and some of the bed re-graded appropriately (see below for more information).
 - ii. *Seventeen foot concrete walkway from Carroll Avenue to front steps.* This is a concrete walkway that runs from the Carroll Avenue sidewalk to the front steps of the porch. It is 17' long and 45" wide and has varying depths (from about 3 inches to 6 inches). The concrete is broken in several places. There is no historical significance. This will be removed and a flagstone patio and curved walkway will replace it. We have already consulted with the Takoma Park Tree Arborist. His assessment is in process and we have attached the formal communication between Honeybee Inc and Arborist Todd Bolton.
 - iii. *45 foot concrete walkway from driveway to main door on Carroll.* This is a concrete walkway within the property that connects the driveway (off Lee) to the main entrance of the house that is on Carroll. It is concrete and broken in several places. It will be removed beginning at the outcrop of the house, about 15 feet up from the driveway. There is no historical significance of the concrete walkway.
- b. **General description of project and its effect on the historic resources, the environmental setting and where applicable the historic district:**
- i. *General description of project and its effect.* The environment is the front yard of 7336 Carroll Avenue on which a 1922 wood frame bungalow is located. This is a corner lot at Carroll and Lee Avenues. It is also one of the larger front yards and the property had become a meeting spot for neighborhood adults and children. We intend to remove the planters to install a fence as well as create a small sitting area in the front yard.
 1. *Fence*
 - a. *Motivation.* Safety of area children is our primary motivation. Kids really like to play soccer in the front yard and watch the passing cars.
 - b. *Style.* We are proposing a 4-foot tall cedar picket fence. It would have 2.5-inch spaces between boards, a capboard, cedar pyramid caps, and wide arched gates (4 feet wide on Carroll and 42 inch wide on path from driveway). A picture of a similar fence is attached.
 - c. *Placement.* The fence would be placed 18 inches back from the property line to soften the effects on pedestrian traffic and allow for planting of low growing grasses outside the fence. The fence would caddy corner at 15 feet back from the projected line of the corner at Carroll and Lee Avenue (please see diagram.) Low grasses will be planted in the small corner area

outside the fence (but still within the property) at the corner of Carroll and Lee.

2. *Small Flagstone Gathering Area and Walkway*

- a. Motivation. As mentioned above, the property is widely used amongst the neighbors and we seek to create a gathering area and more welcoming atmosphere.
- b. Style and Placement. The 1.5-inch flagstone will sit on crushed gravel in a semi-circle that is offset to the right of the house and abutting the front porch. (Please see diagram.) Its size is less than 200 square feet. The placement is to the right to provide ample kid-friendly turf space to the left as well as to create a curved path onto the seating/gathering area. A picture of a similar walkway is attached.

3. *Boulder Step Path*

- a. Motivation: To replace the cracked concrete walk.
- b. Style and Placement. We propose a boulder step path to connect the driveway to the main entrance. It should provide an organic feel to the front lawn area. It will be approximately 30 feet in length and begin inside the gate on the Lee Avenue side of the house.

- ii. *Environmental setting/historic district.* We believe we have proposed a design to be in keeping with the concerns of the historic district. The cedar fence offers plenty of see through space yet also provides safety to the children who play in the yard. We have tried to create a very charming and welcoming space that is also pedestrian and traffic friendly.

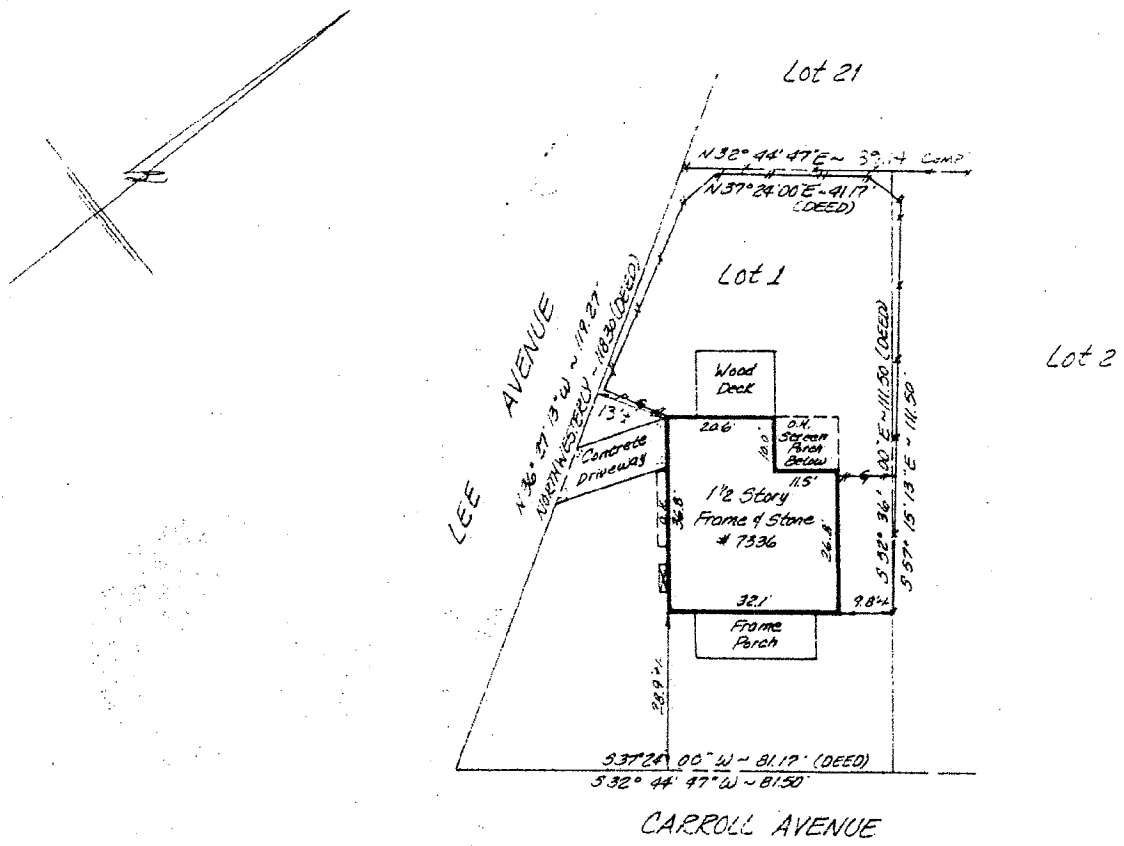
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
DANNY - McDONALD 7336 Carroll Ave Takoma Park, MD 20912	N/A
Adjacent and confronting Property Owners mailing addresses	
Fabio & Analisa Leonesse 7338 Carroll Ave Takoma Park, MD 20912	
Jen Woford & Dan 7327 Carroll Ave Takoma Park, MD 20912	
Nancy Ricks 5 Loc Ave Takoma Park, MD 20912	


GENERAL INFORMATION NOTES

1. This plan is a benefit to a lender insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

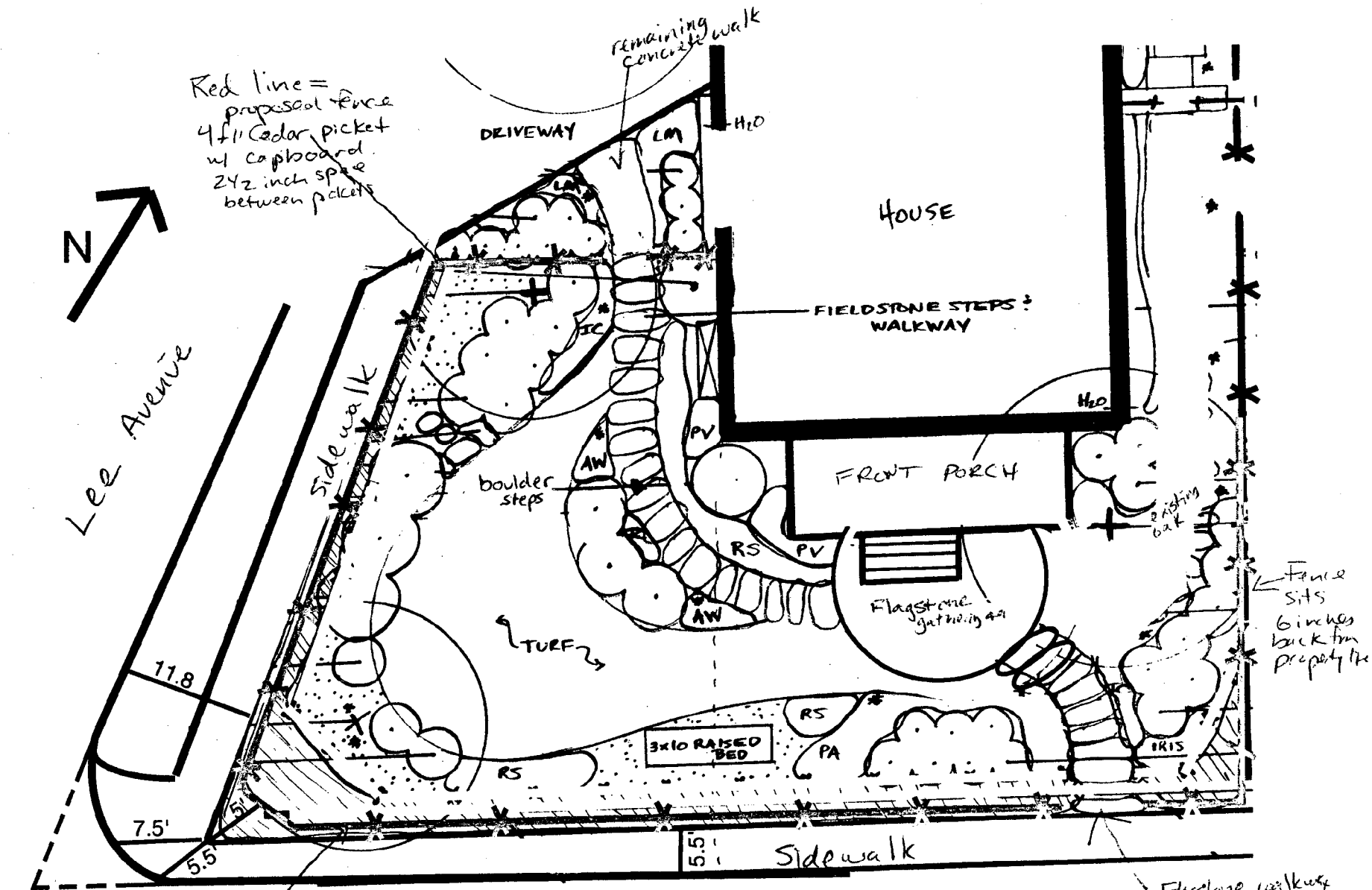
Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 3 FEET.
 Flood Zone "A" per H.U.D. Flood Panel No. 0200C.



LOCATION DRAWING
 LOT 1
 SECTION 5
**S.S. CARROLL'S ADDITION
 TO TAKOMA PARK**
 MONTGOMERY COUNTY, MARYLAND

<p>SURVEYOR'S CERTIFICATE</p> <p>THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.</p> <p><i>Jeffrey A. Foster</i> MARYLAND/PROPERTY LINE SURVEYOR REG. NO. <u>597</u></p>	<p>REFERENCES</p> <p>PLAT BK <u>4</u> PLAT NO <u>300</u></p>	<p></p> <p>SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20879 301/948-5100 Fax 301/948-1286</p>
	<p>LIBER</p> <p>FOLIO</p>	

Danner-McDonald
 7336 Carroll Avenue

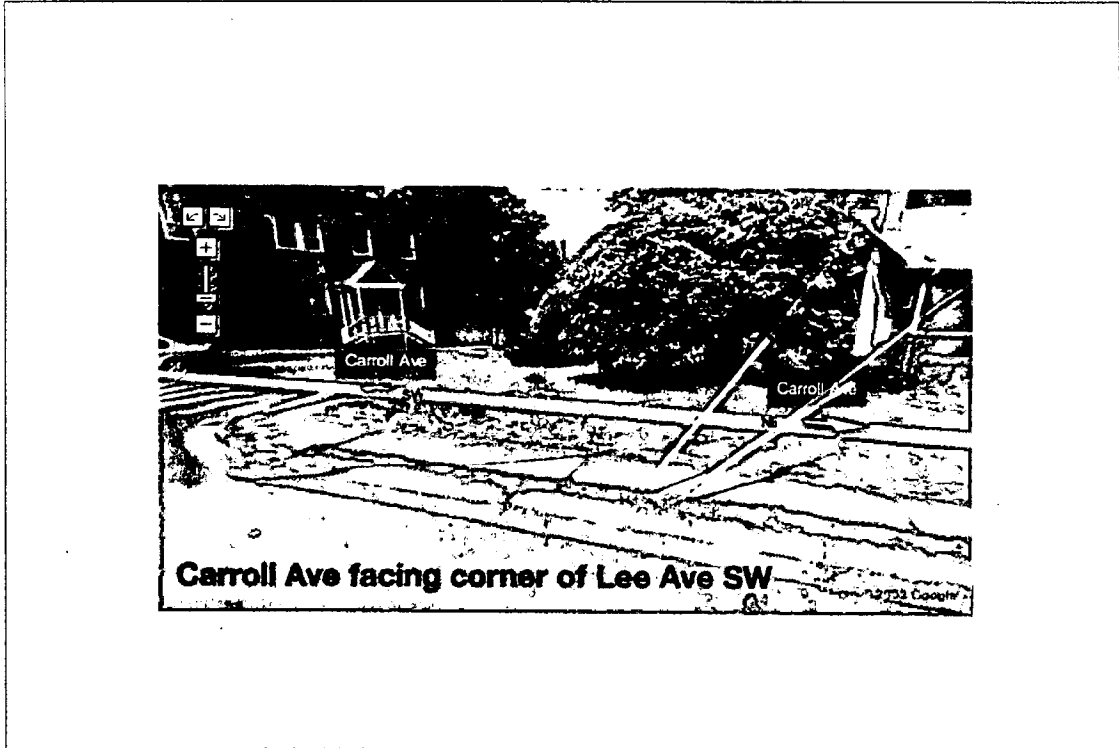


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7336 Carroll Avenue, Takoma Park
Takoma Park Historic District



Existing Property Condition Photographs (duplicate as needed)

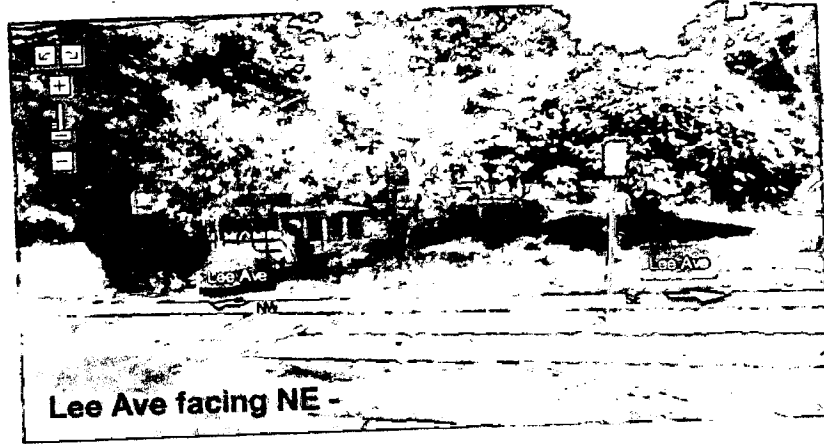


Detail: Carroll Avenue facing corner of Lee Ave, SW



Detail: 7336 Carroll Ave, existing concrete entrance + beds

Existing Property Condition Photographs (duplicate as needed)



Detail: Lee Avenue, facing Northwest



Detail: Corner of Carroll + Lee Avenues

Applicant: Danner - McDonald, 7336 Carroll Avenue

Example of Similar Fence Details

Danner-McDonald
7336 Carroll Ave.
Takoma Park, MD



Proposed Fence Details:

Style: 1x4x4 Spaced Picket w/Capboard

Height: 4'

Spacing between pickets: 2.5"

Material: Cedar

Posts: 4x4x8 except at gates which will be 6x6x10

Set in dry packed Cement

Installation: Stair Stepped on Lee Ave., otherwise to grade

Gates: 2 arched or capboard gates (exact style TBD)

Caps: Cedar Caps w/ 2" distance from top capboard to bottom of cedar cap

Contractor: Clinton Fence Co., Inc.

*Placement: set 18" back from property line
caddy corner at Lee + Carroll Ave (please see site plan)
5 feet back from property line
corner of*

Material Example
Flagstone Patio and Walkway; Boulder Steps

Danner-McDonald
7336 Carroll Ave.
Takoma Park, MD

Above photos for illustrative purposes only



**Irregular Pennsylvania Flagstone
Set in Masonry Sand**



**Boulder Steps
Set in Ground**

Contractor: Honeybee, Inc.

We Anticipate that NO TREE PROTECTION PERMIT
WILL BE REQUIRED.

GM II

See below

Kerry Danner-McDonald <kerrydm@gmail.com>

Danner McDonald residence tree protection measures

beth.ginter@comcast.net <beth.ginter@comcast.net>

Thu, Dec 4, 2008 at 1:52 PM

To: toddb@takomagov.org

Cc: kerrydm@gmail.com

Dear Todd,

It was nice speaking with you on Tuesday afternoon regarding the planned improvements at the Danner-McDonald Residence, 7336 Carroll Ave. In follow up to our conversation, I've listed below a description of the work to be done and the provisions we will take to minimize compaction and disturbance to the existing Oak tree located to the right (northeast) of the front entrance.

Please let me know if you have further questions.

I do not have an electronic copy of the site plan drawing, but I will mail that to you once I can get a copy made. Would you please email me your mailing address?

- A small semi-circular patio (>200 sq ft total dimension) shall be constructed abutting the existing front porch. The diameter of the circle shall be approximately 15' with the patio being centered off the right side of the existing steps. The right edge of the patio will begin approximately 1' from the right corner/edge of the porch.
- The patio site will be excavated to a depth of approximately 6 inches. Irregular 1.5 inch flagstone will be set on 4" bed of stone dust. The patio will be built with a center crown and approximately 1% slope away from the house.
- All work shall be done by hand, using hand tools. No heavy equipment or vehicles will be used on site.
- Any tree roots 0.5<2.0 inches in diameter encountered during excavation will be cleaned cut with loppers or hand spade. Roots greater than 2.0 inches will not be cut.
- All construction staging will occur on the Lee Street (south) side of the property and/or in the driveway. No tools or materials will be stored or held within the critical root zone of the Oak.

Kind regards,

Beth Ginter
The Honeybee Group, LLC

16

GM II

Kerry Danner-McDonald <kerrydm@gmail.com>

Danner McDonald residence tree protection measures

beth.ginter@comcast.net <beth.ginter@comcast.net>
To: kerrydm@gmail.com

Mon, Dec 8, 2008 at 2:47 PM

Hi Kerry-- I wanted to be sure that you saw Todd's reply to my email last week. I mailed the plan to him today.

Also, I went back and looked at the estimate for the boulder stepping stones. If we stop the pathway at the fence line, I expect we can shave off about \$285 from what we originally estimated, so the total cost will run approximately \$2,585. If it turns out we have a greater savings in materials and/or labor, I will pass that along to you, as that is always my policy.

We are ready to start work, but Chris prefers to do the hardscape work first, if we possibly can. Do you have any idea when you might hear back from the city?

Cheers,
Beth

----- Forwarded Message: -----
From: "Todd Bolton" <ToddB@takomagov.org>
To: <beth.ginter@comcast.net>
Subject: Re: Danner McDonald residence tree protection measures
Date: Thu, 4 Dec 2008 21:07:54 +0000

Beth,

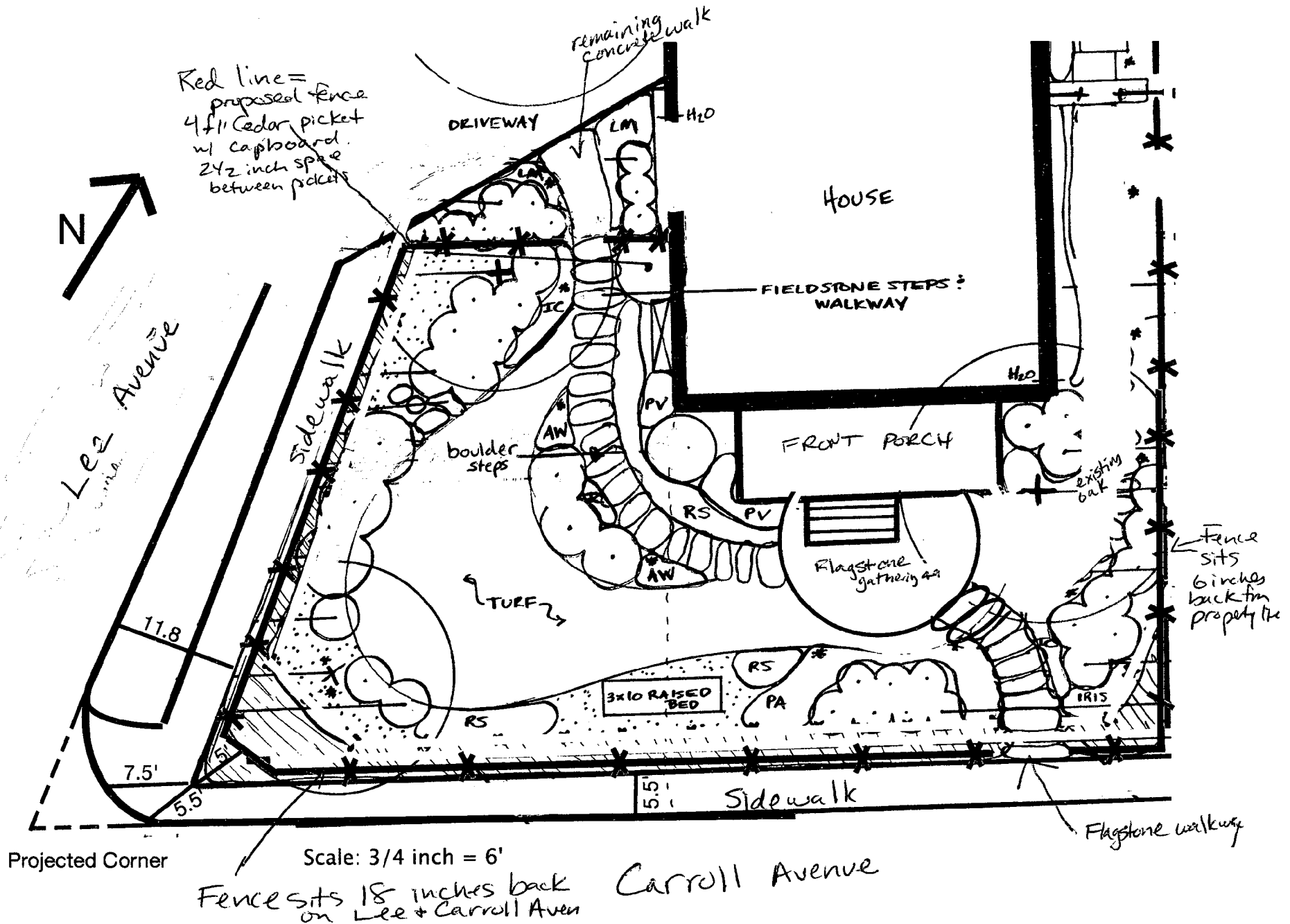
Please send the drawing to 31 Oswego Ave., Takoma Park, MD 20910 and I will place a copy in the file for 7336 Carroll Ave. The drawing and the narrative below will meet the requirements for a Tree Impact Assessment. If the work is done in the manner described below and as represented on the plan, then no Tree Protection Plan Permit will be required. However, if there are significant changes to the plan or work methods please contact me.

Thanks,
Todd Bolton
Arborist, The City of Takoma Park MD

>>> <beth.ginter@comcast.net> 12/4/2008 1:52 PM >>>

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Danner-McDonald
 7336 Carroll Avenue



Example of Similar Fence Details

Danner-McDonald
7336 Carroll Ave.
Takoma Park, MD



Proposed Fence Details:

Style: 1x4x4 Spaced Picket w/Capboard

Height: 4'

Spacing between pickets: 2.5"

Material: Cedar

Posts: 4x4x8 except at gates which will be 6x6x10

Set in dry packed Cement

Installation: Stair Stepped on Lee Ave., otherwise to grade

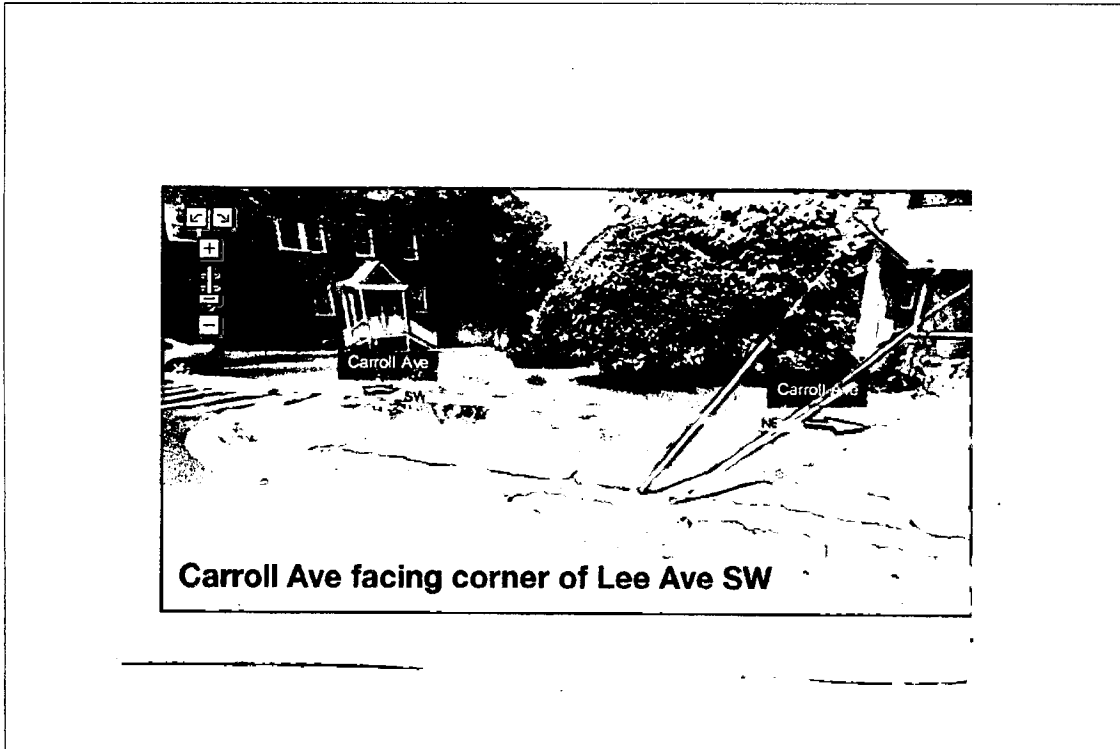
Gates: 2 arched or capboard gates (exact style TBD)

Caps: Cedar Caps w/ 2" distance from top capboard to bottom of cedar cap

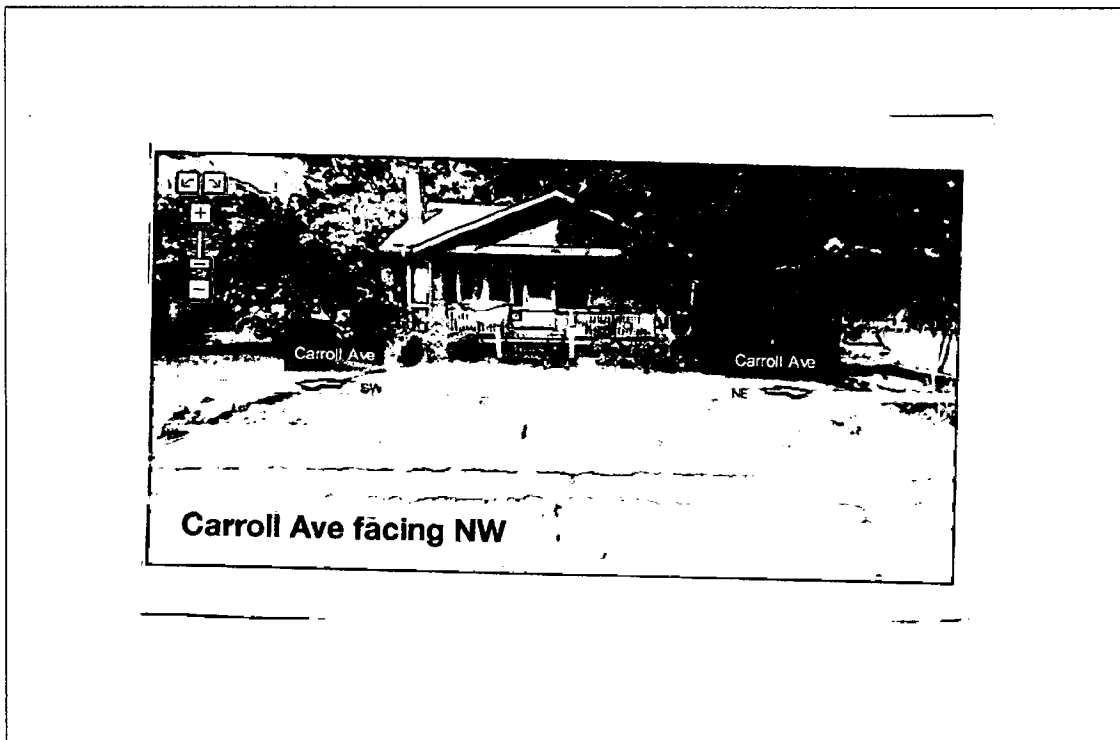
Contractor: Clinton Fence Co., Inc.

*Placement: set 18" back from property line
caddy corner at Lee + Carroll Ave (please see site plan)
5 feet back from property line
corner of*

Existing Property Condition Photographs (duplicate as needed)

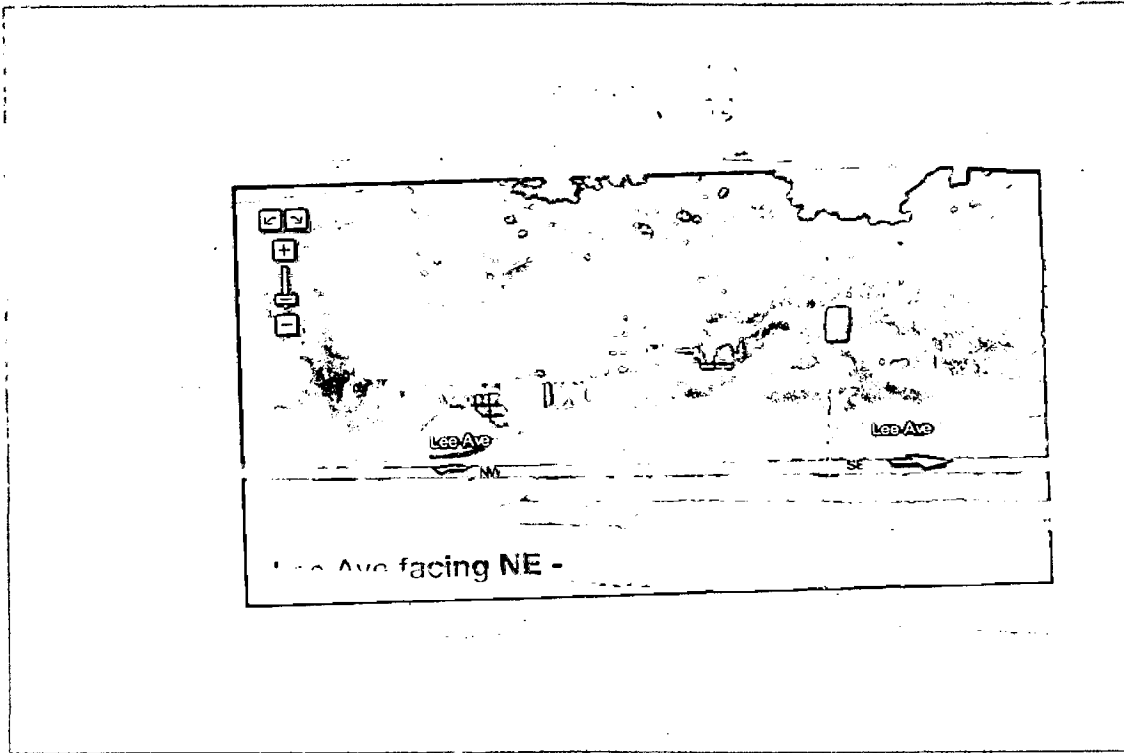


Detail: Carroll Avenue facing Corner of Lee Ave, SW

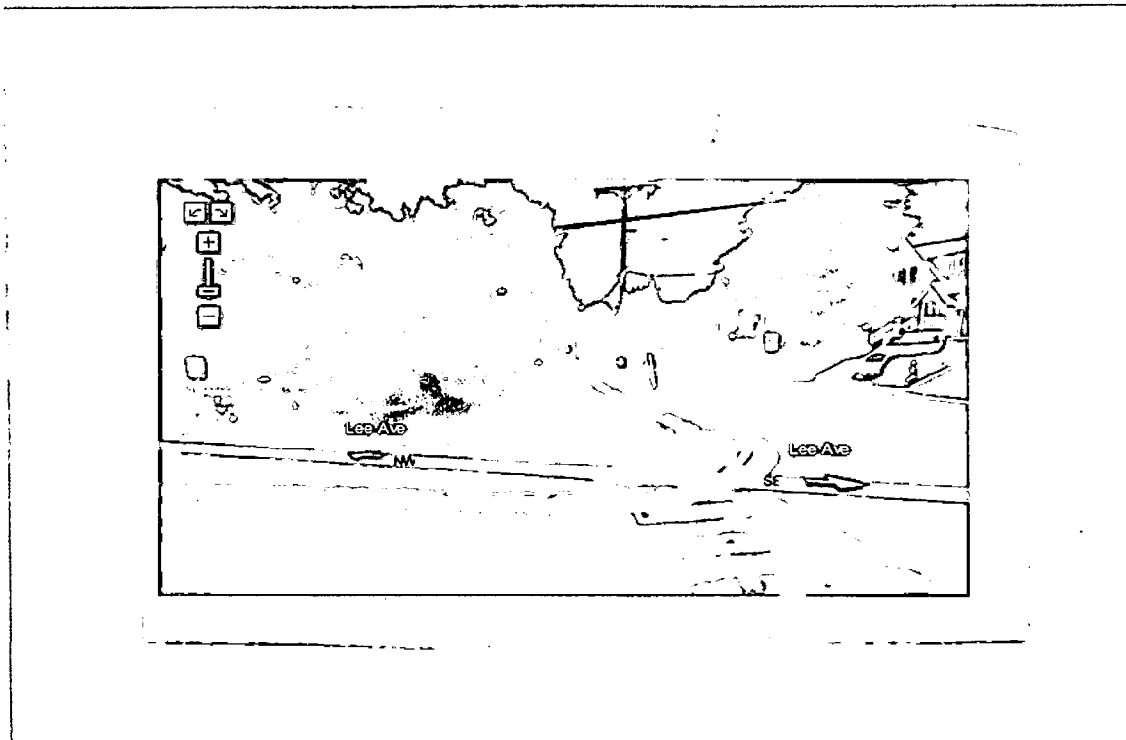


Detail: 7336 Carroll Ave, existing concrete entrance & beds

Existing Property Condition Photographs (duplicate as needed)



Detail: Lee Avenue, facing Northwest



Detail: Corner of Carroll + Lee Avenues

Material Example
Flagstone Patio and Walkway; Boulder Steps

Danner-McDonald
7336 Carroll Ave.
Takoma Park, MD

Above photos for illustrative purposes only



Irregular Pennsylvania Flagstone
Set in Masonary Sand



Boulder Steps
Set in Ground

Contractor: Honeybee, Inc.