

37/03-050 7051 Carroll Ave  
Takoma Park Historic District



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

HISTORIC AREA WORK  
PERMIT

IssucDate: 4/19/2005

Permit No: 377619  
Expires:  
XRef:  
Rev. No:

**Approved With Conditions**

THIS IS TO CERTIFY THAT:

JACQUELINE M. KARP VERIZON 7051  
CARROLL AVENUE. TAKOMAPARK  
MD 20912

HAS PERMISSION TO:

INSTALL

PERMIT CONDITIONS:

Telecommunications Facility 1. In addition to the antennas, any cables and mounting equipment will match the color of the existing building 2. The applicant should meet the conditions set forth in the attached April 13,2005 letter from the City of Takoma Park's Facade Advisory Board.

PREMISE ADDRESS

7051 CARROLL AVE  
TAKOMAPARK MD 20912-

LOT 2  
LIBER  
FOLIO  
PERMIT

BLOCK F ELECTION DISTRICT  
SUBDIVISION FEE: 50.00 TAX ACCOUNT NO.:  
**HISTORIC APPROVAL ONLY**  
**BUILDING PERMIT REQUIRED**

PARCEL ZONE C-1 PLATE  
GRID  
HISTORIC MASTER: HISTORIC ATLAS:

y  
N

*M^>FUL/*

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Director, Department of Permitting Services

**Manarolla, Kevin**

**From:** Ilona Blanchard [IlonaB@takomagov.org]  
**Sent:** Thursday, May 24, 2007 10:49 AM  
**To:** Fothergill, Anne  
**Cc:** Silver, Joshua; Manarolla, Kevin  
**Subject:** RE: 7051 Carroll

→ June 27 next HPC  
will be heard if FAB doesn't have  
any problems w/ equip/generator

The Board reviewed three properties:

7051 Carroll - Requested applicant return for special June 19 board meeting w/ elevations, information on decibel level of generator, information on fuel.

7009 Carroll - motion to approve, I will send you a letter with specific information.

7001 Carroll - Requested applicant return with fabric samples, color, and font to June 19th meeting.

Thanks for the reminder.

Ilona

Ilona Blanchard  
Senior Planner/Community Development Coordinator  
Economic and Community Development  
City of Takoma Park  
7500 Maple Avenue  
Takoma Park, MD 20912

tel: (301) 891-7205  
fax: (301) 270-4568

[IlonaB@takomagov.org](mailto:IlonaB@takomagov.org)

<http://www.takomaparkmd.gov/>

> Stephanie Pittaway  
Approval in 2005 (240) 401-6967

- Antenna } Approval 1st '05  
- Shelter }

- Generator Ap Address just

4/05  
APK 37/03/050  
Approval  
TP FAB  
equip/gen  
HAWP 9/19/200  
377619

**Tully, Tania**

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**From:** Tully, Tania  
**Sent:** Tuesday, February 20, 2007 5:19 PM  
**To:** 'Nathan B. Campbell'  
**Cc:** Stephanie Petway  
**Subject:** RE: Permit renewal for HAWP #377619

Nathan -

I pulled the file and looked at the approval memo and you will need to formally apply for a revision to the HAWP. The approval was conditioned upon color matching and will compliance to conditions set by the Takoma Park Facade Advisory Board. One of those conditions is the elimination of the then proposed brick enclosure. The new proposed location is also more visible from the public right-of-way.

To apply for a revision, you essentially file a new application and reference the first one. You will also need to get approval from the Takoma Park Advisory Board before applying for the HAWP.

Sorry this wasn't as simple as I'd hoped.

Tania Georgiou Tully  
Historic Preservation Planner  
Montgomery County Planning Department  
8787 Georgia Avenue  
Silver Spring, MD 20910  
301-563-3400  
301-563-3412 (fax)  
[www.mc-mncppc.org/historic](http://www.mc-mncppc.org/historic)

-----Original Message-----

**From:** Nathan B. Campbell [mailto:ncampbell@nbcllc.com]  
**Sent:** Tuesday, February 20, 2007 3:40 PM  
**To:** Tully, Tania  
**Cc:** Stephanie Petway  
**Subject:** RE: Permit renewal for HAWP #377619

Tania -

A copy of the revised site plan/elevations for Verizon Wireless's installation is attached. As you will see the only change to the site is the relocation of the proposed generator and the addition of brick screening walls around the generator pad. Please let me know if you have any questions or need any additional information.

Thank you,

Nathan B. Campbell  
Zoning Manager  
Network Building & Consulting, LLC

-----Original Message-----

4/3/2007

**From:** Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]  
**Sent:** Tuesday, February 20, 2007 1:47 PM  
**To:** Nathan B. Campbell  
**Cc:** Stephanie Petway; Jackie Karp; Butch Salamone  
**Subject:** RE: Permit renewal for HAWP #377619

Ms. Campbell -

A new HAWP is not required; you can amend the existing permit. Depending on the new location of the emergency generator I may be able to approve the change at the Staff level. If you can email or send a hard copy of plans/elevations showing the change I can be more specific.

-Tania Tully

Tania Georgiou Tully  
Senior Planner  
Montgomery County Historic Preservation Commission  
1109 Spring Street, Suite 801  
Silver Spring, MD 20910  
301-563-3400

-----Original Message-----

**From:** Nathan B. Campbell [mailto:ncampbell@nbdlc.com]  
**Sent:** Tuesday, February 20, 2007 1:34 PM  
**To:** Tully, Tania  
**Cc:** Stephanie Petway; Jackie Karp; Butch Salamone  
**Subject:** Permit renewal for HAWP #377619

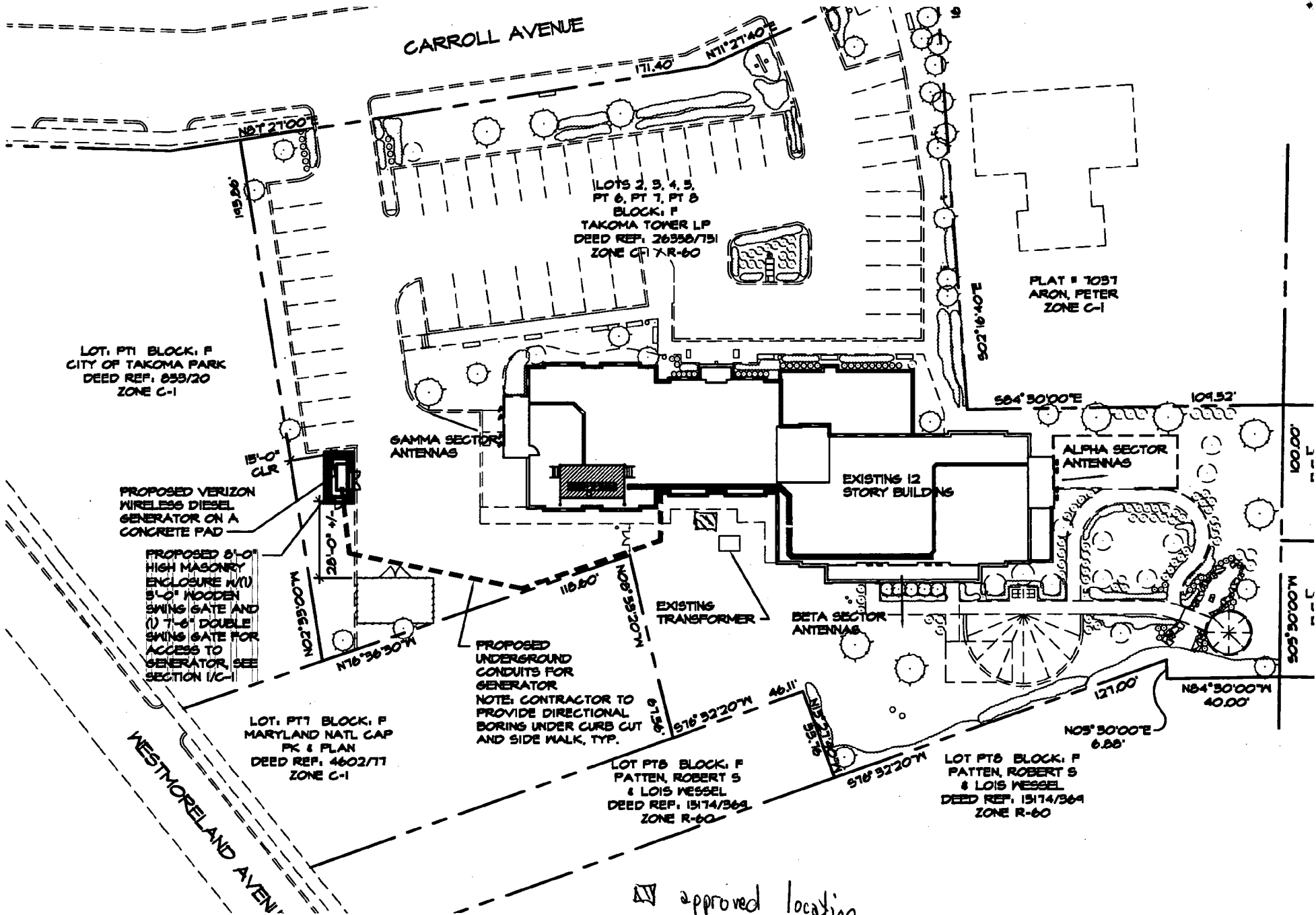
Ms. Tully,

Verizon Wireless is seeking to renew its Montgomery County Building Permit for the telecommunications installation at 7051 Carrol Avenue, Takoma Park, MD 20912. I'd like to know if we need to renew the associated Historic Area Work Permit (# 377619, issued 4/19/2005) as well. In the interim since the original application the proposed emergency generator has been relocated and screened with architecturally-consistent ornamental brick walls. Do we have to submit a new HAWP application, or can we amend the existing permit? If we have to start from the beginning, can you give me a rough idea of how long the review process might take?

Thanks for your help,

Nathan B. Campbell  
*Zoning Manager*  
**Network Building & Consulting, LLC**  
7380 Coca Cola Drive, Suite 106  
Hanover, MD 21076

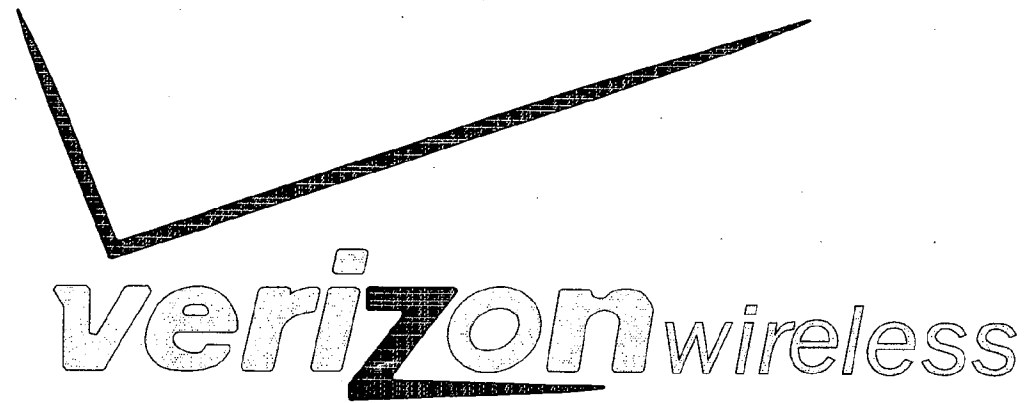
(410) 712-7092 x1082 [office]  
(410) 712-4056 [fax]  
(703) 201-7709 [mobile]



☐ approved location.

**GENERAL NOTES**

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK, THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE VERIZON WIRELESS REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS OTHERWISE NOTED OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY, OR LOCAL GOVERNMENT AUTHORITY.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVEMENTS, CURBS, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE CONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
13. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE CONTRACTOR SHALL NOTIFY THE VERIZON WIRELESS REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL A RESOLUTION IS REACHED BY THE VERIZON WIRELESS REPRESENTATIVE.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
16. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR ALL EQUIPMENT/MATERIALS AS DIRECTED IN THESE DRAWINGS. SHOP DRAWINGS SHALL BE SUBMITTED FOR ELECTRICAL, SERVICE EQUIPMENT ETC.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL BUILDING RULES PERTAINING TO THE EXISTING BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO USE OF EXISTING WATER, POWER, ELEVATOR, ETC.



**PINEY BRANCH  
TAKOMA TOWERS RETIREMENT CENTER  
7051 CARROLL AVENUE  
TAKOMA PARK, MARYLAND 20912**

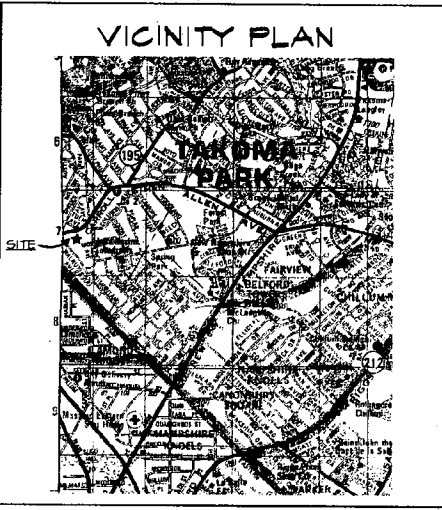
COPYRIGHT ADC THE MAP PEOPLE  
PERMITTED USE NUMBER 20506142  
MONTGOMERY COUNTY  
ADC MAP NO. 40 GRID: A-7

**INDEX OF DRAWINGS**

CS-1	SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS
C-1	SITE PLAN
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CC-2	EQUIPMENT PLAN AND ANTENNA CABLE ROUTING DETAILS
S-1	PLATFORM DETAILS AND NOTES
S-2	GENERATOR FRAME AND DETAILS
E-1	ELECTRICAL SPECIFICATIONS, SYMBOLS LIST, AND SCHEDULES
E-2	POWER RISER AND NOTES
E-3	BOILER ROOM PART PLAN, ROUTING PLANS, AND NOTES
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E-5	GROUNDING PLANS AND NOTES
E-6	GROUNDING RISER DIAGRAM, GENERAL NOTES AND DETAILS

**CODE ANALYSIS**

APPLICABLE BUILDING CODE:	IBC 2003
DESCRIPTION OF WORK:	CONSTRUCT COMMUNICATION EQUIPMENT PLATFORM ON BUILDING ROOF
USE GROUP:	R-2 (RESIDENTIAL)
CONSTRUCTION TYPE:	IB
NUMBER OF STORIES ABOVE GRADE:	TWELVE (12)
NUMBER OF STORIES BELOW GRADE:	NONE
FIRE PROTECTION:	YES (SPRINKLERED)
BUILDING AREA (VERIZON):	62.0 SQ. FT.
HIGH RISE REQUIREMENTS:	YES



**PROJECT DESCRIPTION**

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A TELECOMMUNICATIONS EQUIPMENT PLATFORM ON THE EXISTING BUILDING'S ROOF AND A 60 KW DIESEL GENERATOR ON GRADE. THE ASSOCIATED ANTENNAS WILL BE MOUNTED ON THE BUILDING EXTERIOR WALL.

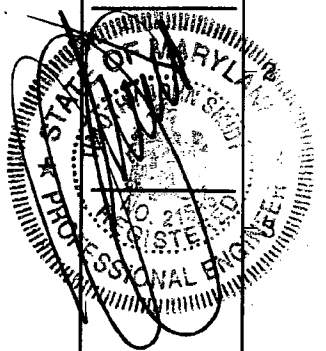
**DIRECTIONS TO SITE**

FROM ANNAPOLIS JUNCTION:  
 - TAKE I-495 SOUTH TOWARDS WASHINGTON  
 - TAKE I-495 WEST TOWARDS SILVER SPRING  
 - TAKE NEW HAMPSHIRE AVENUE/MD 650 SOUTH TOWARDS TAKOMA PARK EXIT #28B  
 - CONTINUE ON PINEY BRANCH ROAD  
 - CONTINUE ON CARROLL AVENUE  
 - SITE IS ON LEFT

**VERIZON REVIEW**

BUILDING OWNER	DATE
ENGINEERING	DATE
OPERATIONS	DATE
CONSTRUCTION	DATE

**GSE**  
GLOCK SMIDT  
ENGINEERING, INC.



**verizon wireless**  
**PINEY BRANCH**  
(MONTGOMERY CO., MARYLAND)

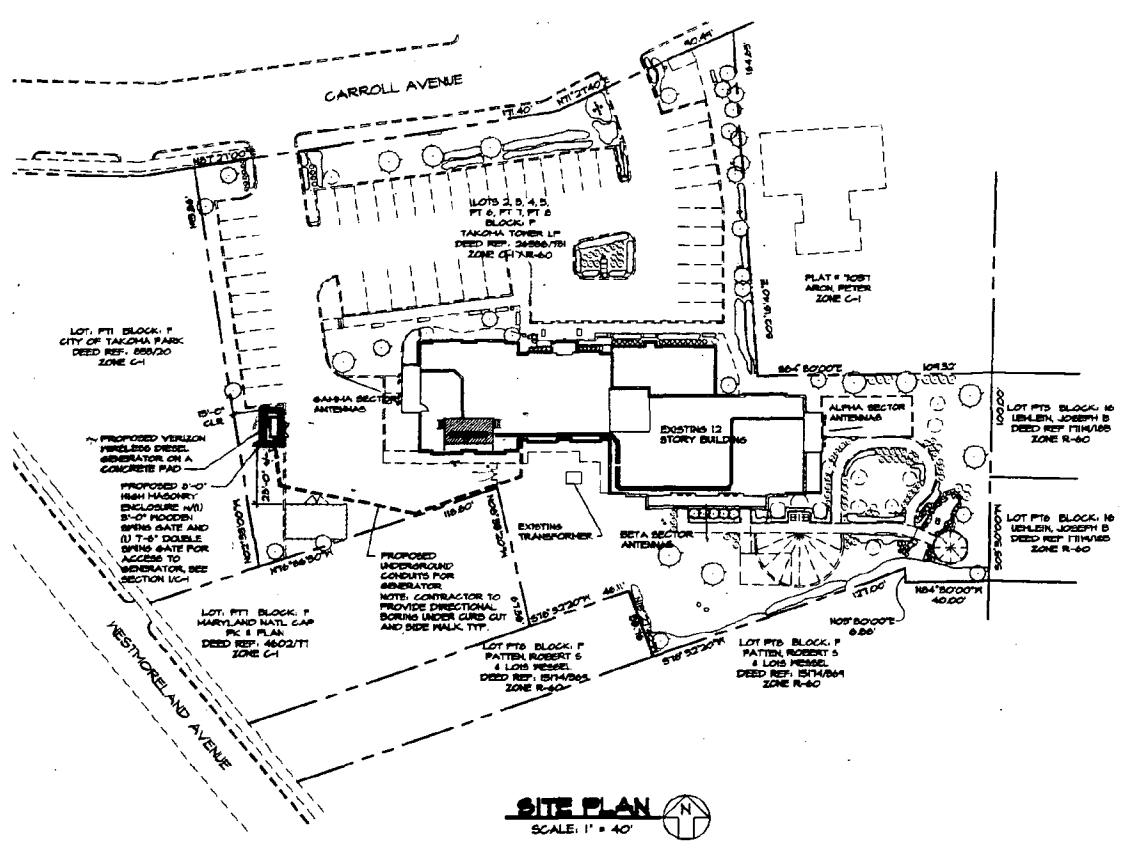
**REVISIONS:**

NO.	DESCRIPTION	DATE

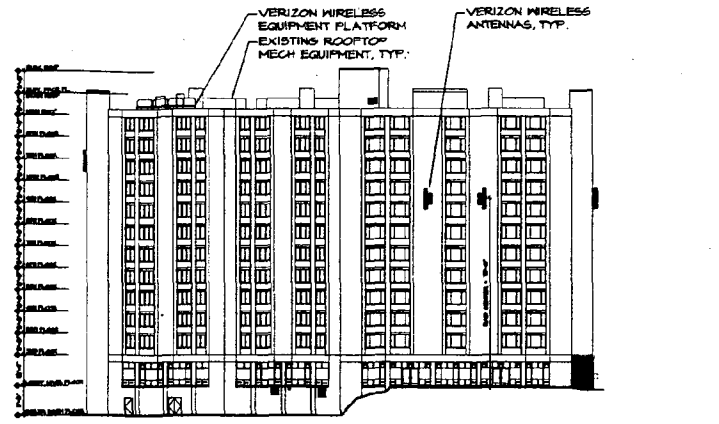
**LAST REV.:**  
PROJECT NO: 050031  
DATE: JUNE 23, 2005  
SCALE: AS NOTED

**TITLE:**  
SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS

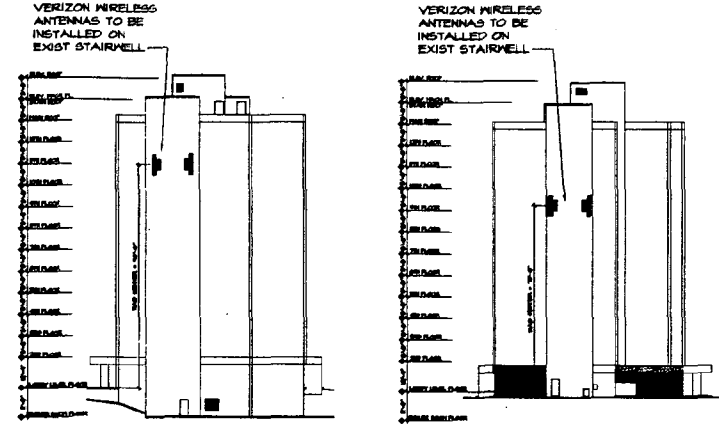
**SHEET:**  
CS-1



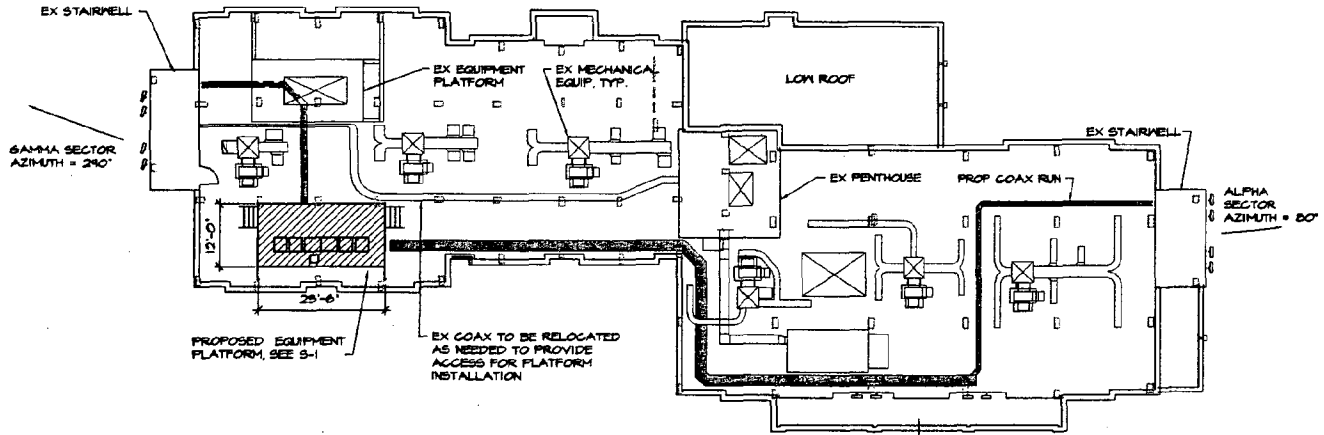
**SITE PLAN**  
SCALE: 1" = 40'



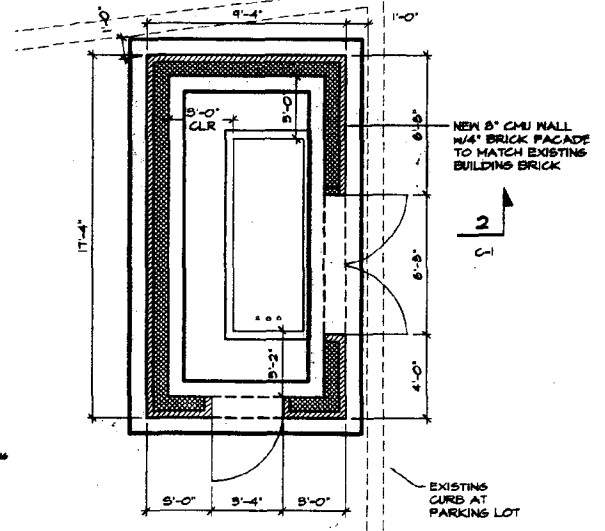
**SOUTH (BETA)**



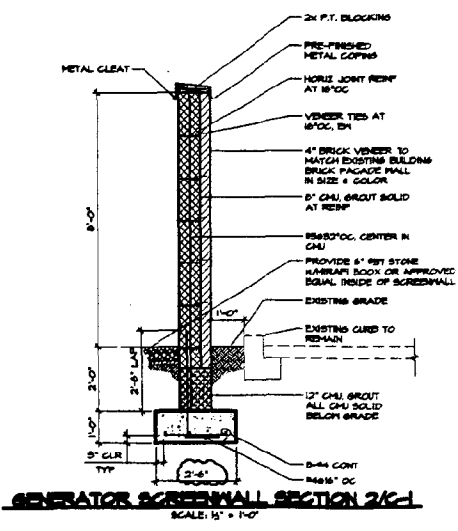
**ELEVATIONS**  
NOT TO SCALE



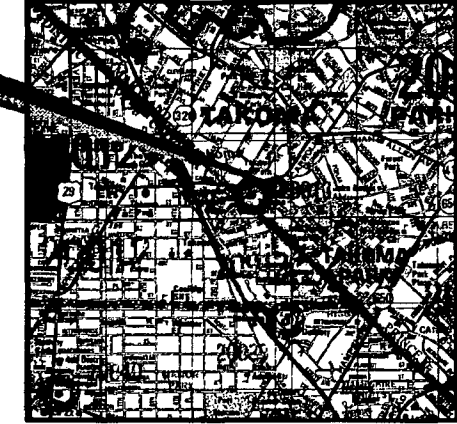
**EXISTING ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**GENERATOR ENCLOSURE FOUNDATION PLAN 1/8"**  
SCALE: 1" = 1'-0"



**GENERATOR SCREEN WALL SECTION 2/8"**  
SCALE: 1/2" = 1'-0"



**VICINITY MAP**  
N.T.S.

**VERIZON WIRELESS STANDARDS:**

- THE ANTENNAS SHALL COMPLY WITH THE FOLLOWING STANDARDS:
  - ALL WIRELESS DEVICES SHALL BE CONCEALED WITHIN THE OPPOSITE EXTERIOR OF A STRUCTURE ATTACHED TO A PUBLIC UTILITY, RADIO, TELEVISION OR TELECOMMUNICATIONS TRANSMISSIONS TOWER OR POLE. A FULLY ENCLOSED PLATFORM AT LEAST 8 FEET IN HEIGHT, A STRUCTURE OWNED BY A MUNICIPALITY, THE BOARD OF EDUCATION FOR PRINCE GEORGE'S COUNTY, OR A STRUCTURE OWNED AND PRIMARILY USED BY A GOVERNMENT ENTITY THAT IS EXEMPT FROM THE REQUIREMENTS OF THIS SECTION OF THE SUBSTITUTION ACT SHALL BE ACCEPTABLE.
  - IT SHALL NOT EXCEED MORE THAN 10 FEET ABOVE THE HEIGHT OF THE TOWER OR STRUCTURE TO WHICH IT IS ATTACHED.
  - IT SHALL NOT EXCEED THE FOLLOWING DIMENSIONS:
    - THIRTY FEET IN LENGTH AND SEVEN FEET IN DIAMETER FOR PIPES.
    - FOUR FEET IN LENGTH AND TWO FEET IN DIAMETER FOR PIPES.
    - NO MORE THAN ONE FOOT IN DIAMETER FOR COLUMNS OR
    - NO MORE THAN ONE FOOT IN DIAMETER FOR PARABOLIC DISHES.
  - ON PRIVATELY OWNED LAND, IT SHALL NOT SUPPORT LIGHTS OR SIGNS UNLESS REQUIRED FOR AIRCRAFT SAFETY OR OTHER SAFETY REASONS.
- THE RELATED TELECOMMUNICATIONS EQUIPMENT BUILDING OR ENCLOSURE SHALL COMPLY WITH THE FOLLOWING STANDARDS:
  - IT SHALL NOT EXCEED SEVEN (7) FEET ABOVE THE ROOF AREA OR 12 FEET IN HEIGHT.
  - IF ATTACHED TO AN EXISTING BUILDING, IT SHALL MATCH THE CONSTRUCTION MATERIAL AND COLOR OF THE BUILDING.
  - IF NOT CONSTRUCTED AS A FREESTANDING BUILDING, IT SHALL BE CONSTRUCTED OF BRICK AND ITS DESIGN SHALL COORDINATE WITH THE DESIGN OF ANY EXISTING MAIN BUILDING ON THE SAME LOT OR ON AN ADJOINING LOT.
  - THE BUILDING OR ENCLOSURE SHALL BE UNPAINTED, WITH SPREADSHEET COLOR OR PAINT FOR YEARLY VISITS BY MAINTENANCE PERSONNEL, AND WITH ACCESS AND PARKING FOR NO MORE THAN ONE VEHICLE.

**APPLICANT:** VERIZON WIRELESS  
4000 JUNCTION DRIVE  
ANNAPOLIS, MARYLAND 20701  
TEL: (800) 832-3000  
FAX: (800) 832-3000

**APPLICANT'S ATTORNEY:** H.S. DIAMOND  
THE LAW OFFICES OF H. STEVEN DIAMOND, P.C.  
444 EAST FOSTER HIGHWAY SUITE 400  
BETHESDA, MARYLAND 20814-2848  
(301) 464-8241

**PROPERTY OWNER:** TAKOMA TOWER LP  
3400 BRIDGEVIEW LANE SUITE 200  
BETHESDA, MD 20814-2000  
CONTACT:

**DATE:** TAX MAP JMI, PARCEL 2  
PLAT: TAX ACCOUNT: 01072014  
DEED BOOK: 28082 PAGES 78  
TRACT AREA: 1.02 AC +/-  
ELECTION DISTRICT: 87B  
ADDRESS: 3081 CARROLL AVE  
TAKOMA PARK, MD 20912  
EXISTING USE: COMMERCIAL  
PROPOSED USE: U

**CURRENT ZONING:** R-40

**HORIZONTAL & VERTICAL CONTROL:** SHOWN HEREON IS BASED ON A 6"X6" OBSERVATION TAPEN BY JOHN C. HELLEMA SR., INC. ON FEBRUARY 4, 2005.

<b>BUILDING CORNER</b>	115° 00' 00" 04"	115° 00' 00" 04"
<b>CORNERS:</b>	115° 00' 00" 04"	115° 00' 00" 04"
<b>SOURCE (SHADES)</b>	115° 00' 00" 04"	115° 00' 00" 04"
<b>CORNERS:</b>	115° 00' 00" 04"	115° 00' 00" 04"
<b>SOURCE (SHADES)</b>	115° 00' 00" 04"	115° 00' 00" 04"
<b>TOP OF PARAPET ELEVATION:</b>	115° 00' 00" 04"	115° 00' 00" 04"
<b>SURFACE OF ROOF:</b>	115° 00' 00" 04"	115° 00' 00" 04"
<b>SURFACE OF ELEVATION ROOF:</b>	115° 00' 00" 04"	115° 00' 00" 04"
<b>GROUND AT CORNER OF BUILDING:</b>	115° 00' 00" 04"	115° 00' 00" 04"

**TOTAL DISTURBED AREA = 0 SF**

1. THE PROPOSED FACILITIES SHALL CONSIST OF ONE (1) 12'-0" X 8'-0" STEEL PLATFORM AND TWELVE (12) ANTENNAS MOUNTED ON THE WALLS OF THE EXISTING 12'-0" TALL BUILDING BETWEEN THE 7TH FLOOR AND THE 8TH FLOOR FOR TRANSMISSION AND RECEPTION OF WIRELESS TELECOMMUNICATIONS. A NEW GENERATOR SHALL BE INSTALLED ON 10'-0" CONCRETE PAD AT GRADE.

2. THE STRUCTURE SHALL NOT SUPPORT LIGHTS OR SIGNS UNLESS REQUIRED FOR AIRCRAFT SAFETY OR OTHER SAFETY REASONS.

3. THE APPLICANT SHALL PROVIDE A CERTIFICATION FROM A REGISTERED ENGINEER THAT THE STRUCTURE WILL MEET THE APPLICABLE DESIGN STANDARDS FOR WIND LOADS, OF THE ELECTRIC INSTITUTE (EIA).

4. IF THE ANTENNAS ARE NO LONGER USED FOR TELECOMMUNICATIONS PURPOSES FOR A CONTINUOUS PERIOD OF ONE (1) YEAR, THEY SHALL BE REMOVED BY VERIZON WIRELESS AT THEIR EXPENSE.

5. NO WATER OR SANITARY UTILITIES ARE REQUIRED FOR THE OPERATION OF THIS FACILITY.

6. THIS SITE IS EXEMPT FROM THE FOREST CONSERVATION ACT APPLICABLE TO MONTGOMERY COUNTY PROPERTIES UNDER THE COUNTY CODE, CHAPTER 22A, SECTION 22A-28A(U).

7. STORM-WATER MANAGEMENT NOTE: NO STORM-WATER MANAGEMENT IS REQUIRED FOR THIS SITE.

8. BOUNDARY SHOWN PER COUNTY RECORDS. EXISTING SITE FEATURES SHOWN PER EXISTING DRAWINGS BY PERVA ARCHITECTS WITH A REVISION DATE OF MARCH 11, 2004.

9. THIS PLAN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. PLAN IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

10. ALL DETAILS SHOWN ARE "STANDARD" OR "TYPICAL" FOR REFERENCE ONLY. FOR ACTUAL DETAILS, SEE ARCHITECTURAL, STRUCTURAL OR CONSTRUCTION PLANS BY OTHERS.

11. THE COMMUNICATIONS PLATFORM SHALL BE UNPAINTED, WITH SPREADSHEET VISITS (FOUR OR FIVE PER YEAR) BY MAINTENANCE PERSONNEL, AND WITH ACCESS AND PARKING FOR NO MORE THAN ONE VEHICLE. THE PROPOSED FACILITY IS NOT FOR HUMAN HABITATION AND THEREFORE HANDICAP ACCESS IS NOT REQUIRED.

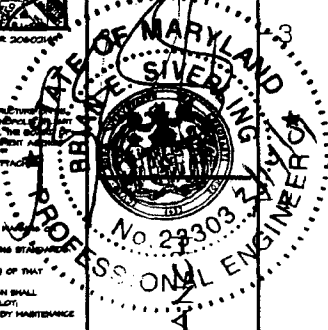
12. THE PROPOSED COMMUNICATIONS PLATFORM, ANTENNAS AND RELATED MOUNTING DEVICES DO NOT EXCEED TWELVE (12) FEET IN TOTAL HEIGHT.

**GENERAL NOTES:**

- CONTRACTOR SHALL NOTIFY "311" (1-800-251-7777) 48 HOURS PRIOR TO DOING ANY EXCAVATION IN THIS AREA. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT AS NECESSARY. LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND ASSURES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES OR DAMAGE TO UTILITIES OR PROPERTY OF OTHER BY THE CONTRACTOR DURING CONSTRUCTION. DAMAGE TO UTILITIES OR PROPERTY OCCASIONED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES, THE LATEST EDITION THEREOF.
- ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENT AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSESSING ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS.
- THESE PLANS ARE NOT FOR RECORDATION OR CONVEYANCE.
- EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.

**GSE**  
GLOCK SMIDT  
ENGINEERING, INC.  
1574 W. JARRETTVILLE ROAD  
ROBERT HILL, MARYLAND 21050  
PHONE: 410-893-6293  
FAX: 410-893-9295

**MRA**  
MORRIS & RITCHIE  
ASSOCIATES, INC.  
1000 East-West Highway, Suite 200  
Columbia, Maryland 21046  
410-261-3800  
410-261-3748 Fax



**verizon wireless**  
TAKOMA TOWERS / FINEY BRANCH  
Carroll Ave & Westmoreland Ave  
Montgomery County, MD

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	PERMIT DRAWINGS	2/21/07
2	Permit Review Comments	02/26/07
3	BID DRAWINGS	11/26/06
4	GEN SCREENWALL	7/17/06
5	GEN LOCATION	3/1/06
6	GEN LOCATION	2/3/06
7	PENAL DRAWINGS	9/6/05

**LAST REV:**  
PROJECT NO. 10427.171  
DATE: March 15, 2005  
SCALE: AS NOTED  
TITLE:

**Site Plan**  
SHEET:  
**C-1**



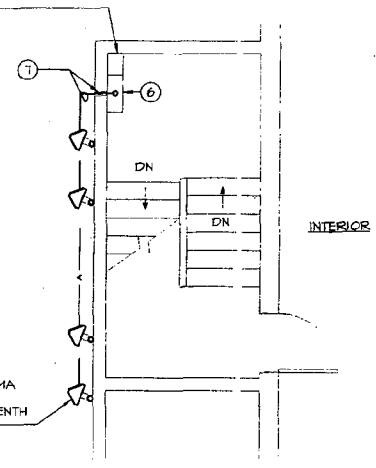
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CSS SA-1460-2D ANTEL BSA-185065/8CF-2D  
**VERIZON - ANTENNA DETAILS**  
NOT TO SCALE



A B C D E F G H J K L M N P Q R

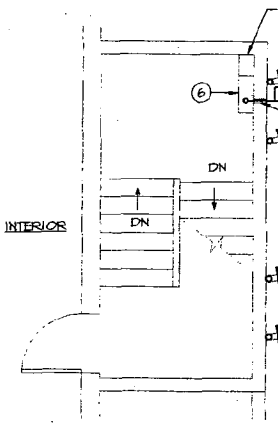
EXISTING BUILDING COLUMN



4 PROPOSED VERIZON WALL MOUNTED GAMMA ANTENNA SECTOR @ ELEVATION OF ELEVENTH FLOOR (AZ 240')

**WEST STAIR TOWER**  
SCALE: 1/4" = 1'-0" (ELEVENTH LEVEL)

EXISTING BUILDING COLUMN



4 PROPOSED VERIZON WALL MOUNTED ALPHA ANTENNA SECTOR @ ELEVATION OF NINTH FLOOR (AZ 00')

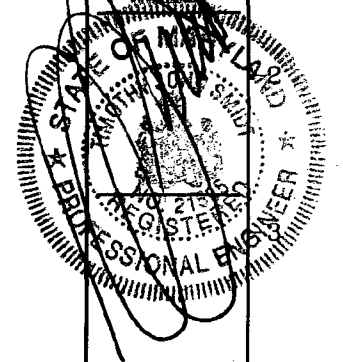
**EAST STAIR TOWER**  
SCALE: 1/4" = 1'-0" (NINTH LEVEL)

**DRAWING NOTES**

- 1 PROPOSED VERIZON WIRELESS EQUIPMENT PLATFORM. REFER TO STRUCTURAL DRAWINGS FOR PLATFORM LOCATION AND CONSTRUCTION.
- 2 PROPOSED ROUTING OF 12" WIDE ANTENNA WALKWAY/SUPPORT. REFER TO DETAIL SHEET GC-2 FOR ADDITIONAL INFORMATION. COORDINATE EXACT ROUTING WITH EXISTING ROOF CONDITIONS IN THE FIELD.
- 3 PROPOSED ROUTING OF 24" WIDE ANTENNA WALKWAY/SUPPORT REFER TO DETAIL SHEET GC-2 FOR ADDITIONAL INFORMATION. COORDINATE EXACT ROUTING WITH EXISTING ROOF CONDITIONS IN THE FIELD.
- 4 PROPOSED VERIZON WIRELESS ANTENNAS. REFER TO SITE PLAN AND STRUCTURAL SHEETS FOR MOUNTING DETAILS.
- 5 PROPOSED LOCATION OF VERIZON WIRELESS COAX CABLES UP STAIR TOWER EXTERIOR WALL. PENETRATE CABLES INTO CEILING SPACE OF STAIRWELL AND CONTINUE TO OPPOSITE WALL. EXTENSION OF COAX CABLES ACROSS CEILING OF STAIRWELL SHALL BE ENCLOSED IN A THREE-SIDED, 2-HOUR RATED SHAFT WALL ENCLOSURE. REFER TO DETAIL, SHEET GC-2.
- 6 EXTEND COAX CABLES DOWN INSIDE OF STAIRWELL EXTERIOR WALL TO NINTH FLOOR (COORDINATE WITH FINAL ANTENNA MOUNTING HEIGHT IN THE FIELD. CORE DRILL FLOOR SLABS AS REQUIRED) SEAL FLOOR PENETRATIONS WITH ULL APPROVED FIRE STOP MATERIAL AFTER INSTALLATION OF COAX CABLES. ENCLOSE CABLES FROM CEILING TO FLOOR DECK IN A THREE-SIDE, 2-HOUR RATED SHAFT WALL ENCLOSURE. REFER TO DETAIL, SHEET GC-2.
- 7 EXTEND NEW CABLES FROM SHAFT WALL, THROUGH STAIRWELL EXTERIOR HALL AND CONTINUE THROUGH BUILDING EXTERIOR FACE TO NEW ANTENNAS. PENETRATION THROUGH WALL TO EXTERIOR FACE SHALL SLEEVED AT A 45° ANGLE FACING DOWNWARD TOWARDS OUTSIDE. THRU-WALL PENETRATIONS SHALL OCCUR JUST ABOVE ANTENNA COAX CONNECTION POINT. COORDINATE PENETRATION LOCATION WITH FINAL ANTENNA MOUNTING HEIGHT/LOCATION IN THE FIELD. SEAL PENETRATION WEATHERTIGHT. SECURE CABLES ACROSS EXTERIOR FACE USING KINDORF CHANNELS AND SNAP IN CABLE HANGERS SPACED EVERY 2'-0". PAINT CABLES AND SUPPORTS TO MATCH BUILDING EXTERIOR FINISH. REFER TO SLEEVE DETAIL, SHEET GC-2.
- 8 EXTEND NEW COAX CABLES DOWN BUILDING EXTERIOR FACE TO BETA SECTOR ANTENNAS. CONCEAL CABLES BEHIND NEW THREE-SIDED, SHEET METAL ENCLOSURE PAINTED TO MATCH BUILDING EXTERIOR FINISH. REFER TO DETAIL, SHEET GC-2.
- 9 PROVIDE FRAMED OPENINGS IN NEW PLATFORM FOR EXTENSION OF COAX CABLES FROM ROOF TO EQUIPMENT CABINET. COORDINATE SIZE/LOCATION WITH VERIZON REPRESENTATIVE. REFER TO STRUCTURAL FOR FRAMING INFORMATION.
- 10 CONTRACTOR SHALL ROUTE ANTENNA CABLES BENEATH NEW EQUIPMENT PLATFORM SECURED TO STRUCTURAL STEEL BEAMS USING BEAM CLAMPS, KINDORF CHANNELS, AND SNAP IN CABLE HANGERS.



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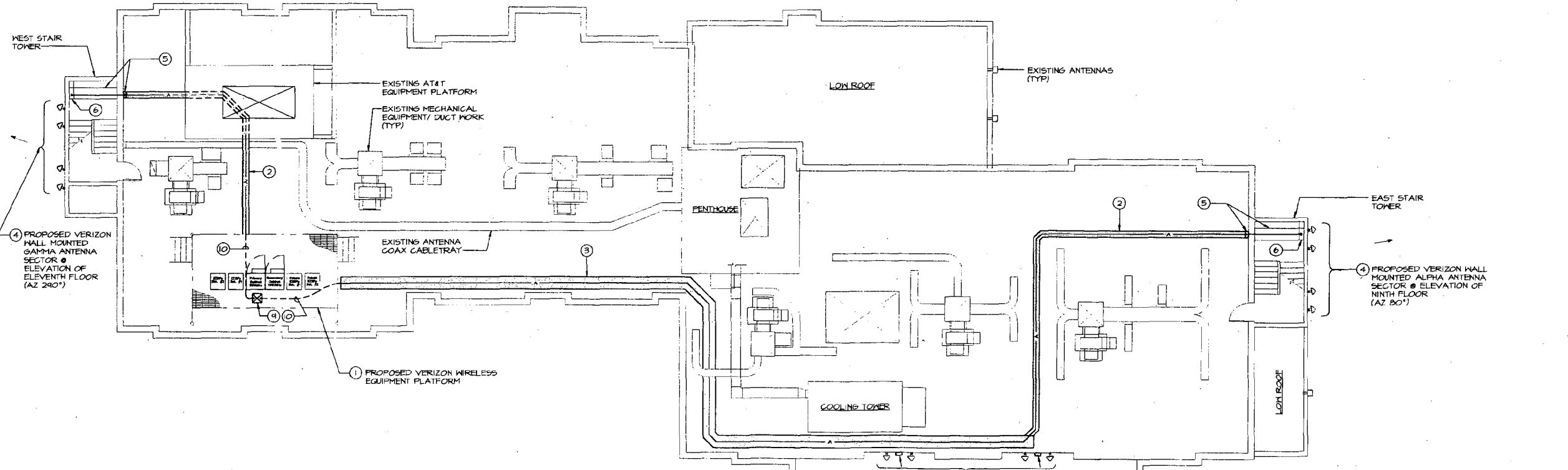
NO.	DESCRIPTION	DATE
1	END DRAWINGS	10/26/06
2	GEN. LOCATION	3/1/06
3	FINAL DRAWINGS	9/16/05
4	PERMIT DRGS.	6/23/05

LAST REV.  
PROJECT NO: 050031  
DATE: JUNE 23, 2005  
SCALE: AS NOTED

TITLE:  
ANTENNA CABLE ROUTING PLANS AND NOTES

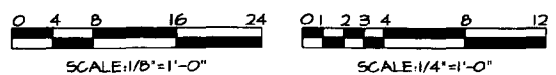
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GC-1

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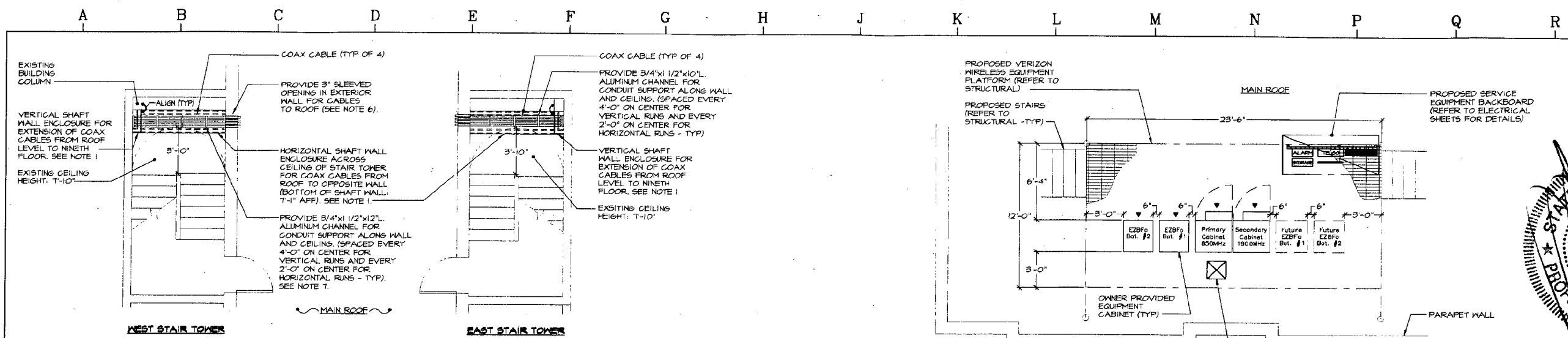


4 PROPOSED VERIZON WALL MOUNTED GAMMA ANTENNA SECTOR @ ELEVATION OF ELEVENTH FLOOR (AZ 240')

**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



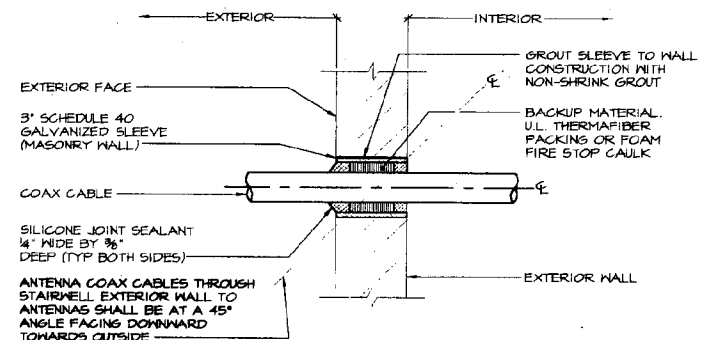
4 PROPOSED VERIZON WALL MOUNTED BETA ANTENNA SECTOR @ ELEVATION OF NINTH FLOOR (AZ 100')



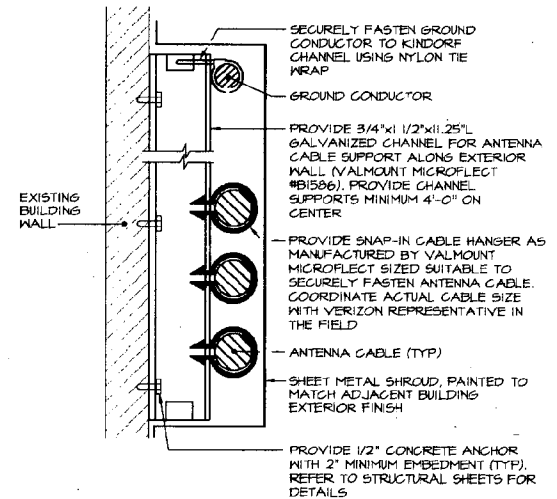
- NOTES:**
1. SHAFT WALL ENCLOSURE - FURNISH AND INSTALL 2 HOUR SHAFT WALL ASSEMBLY COMPLYING WITH UL DESIGN # U491. THE SHAFT WALL ENCLOSURE SHALL CONSIST OF 1" TYPE X GYPSUM PANEL, 2 1/2" STEEL STUDS, AND 2 LAYERS OF 1/2" TYPE X GYPSUM BOARD, PTD. HORIZONTAL SHAFT WALL ENCLOSURE SHALL BE SIMILAR CONSTRUCTION AND SHALL ALSO COMPLY WITH THE APPLICABLE NATIONAL EVALUATION REPORTS (NER-506 AND NER-258). FURNISH AND INSTALL RESILIENT BASE AT BOTTOM OF SHAFT WALL ENCLOSURE.
  2. ENTIRE ROUTING OF NEW ANTENNA COAX CABLES THROUGH STAIR WELL SHALL BE ENCLOSED IN A 2-HOUR RATED SHAFT WALL ENCLOSURE.
  3. EXISTING STAIRS SHALL MAINTAIN 3'-0" CLEAR EGRESS PATH AT EACH LANDING.
  4. ALL FLOOR CORE DRILLS SHALL BE SEALED WITH UL APPROVED FIRE STOP MATERIAL AFTER INSTALLATION OF COAX CABLE. FIRE STOP SYSTEM SHALL BE EQUAL TO UL SYSTEM NUMBER CAJ-3045 FOR CABLE PENETRATIONS THROUGH CONCRETE FLOORS OR APPROVED EQUAL.
  5. CONTRACTOR SHALL X-RAY PRIOR TO CORE DRILLINGS TO LOCATE ALL EXISTING OBJECTS WITHIN FLOOR SLAB. BUILDING IS NOT OF POST TENSION CONSTRUCTION.
  6. CONTRACTOR SHALL SLEEVE WALL FOR EXTENSION OF COAX CABLES THROUGH BUILDING EXTERIOR WALLS TO ROOF AND TO ANTENNAS MOUNTED ON OUTSIDE FACE. REFER TO DETAIL THIS SHEET.
  7. PROVIDE SNAP-IN CABLE HANGERS (SIZED SUITABLE TO SECURELY FASTEN CABLES) TO SECURE ANTENNA CABLES TO KINDORF CHANNELS. COORDINATE ACTUAL CABLE SIZE WITH VERIZON WIRELESS REPRESENTATIVE IN THE FIELD.
  8. FURNISH AND INSTALL FLUSH FIRE-RATED METAL ACCESS DOORS IN SHAFT WALL ASSEMBLY AT EVERY FLOOR. COORDINATE SIZE OF DOOR WITH DEPTH OF SHAFT WALL ENCLOSURE. ACCESS DOORS SHALL BE EQUAL TO 1 SERIES AS MANUFACTURED BY NYSTRON OR APPROVED EQUAL.
  9. EXTERIOR CABLE PENETRATIONS THROUGH THE WALL SHALL BE SEALED WITH BACKING ROOF AND APPROVED EXTERIOR SEALANT AS MANUFACTURED BY TREMCO OR APPROVED EQUAL.

**DETAIL - COAX ROUTING THROUGH STAIRWELLS**  
SCALE: 1/4" = 1'-0"

**EQUIPMENT PLAN**  
SCALE 1/4" = 1'-0"

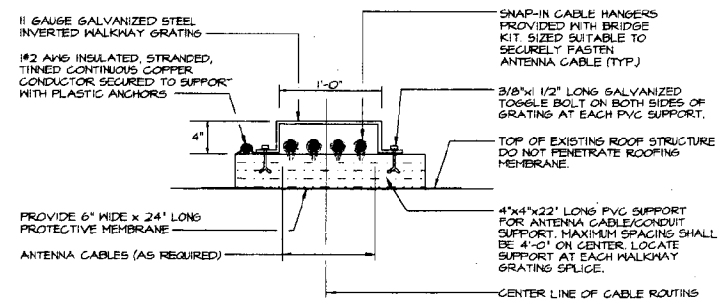


**DETAIL - PIPE SLEEVE FOR ANTENNA COAX CABLE**  
NO SCALE



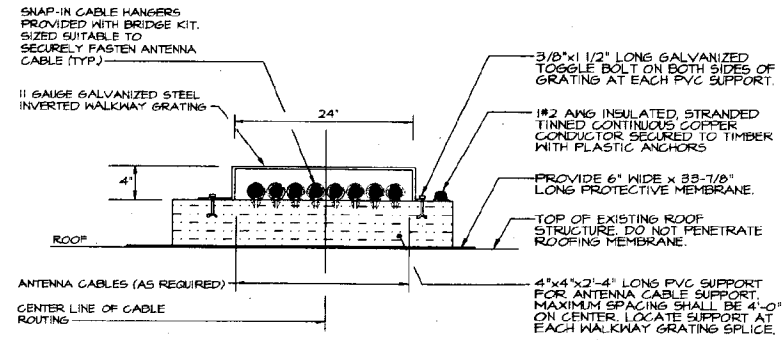
**DETAIL - WALL MOUNTED ANTENNA CABLES**  
NO SCALE (VERTICAL)

\* ALL COMPONENTS SHALL BE GALVANIZED STEEL



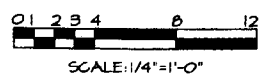
**DETAIL - 12" WIDE ANTENNA WALKWAY**  
NO SCALE

NOTE: ALL PARTS NOTED ABOVE ARE INCLUDED IN THE ROOF MOUNTED COAX BRIDGE KIT MICROFLECT (CATALOG #B1542-1).

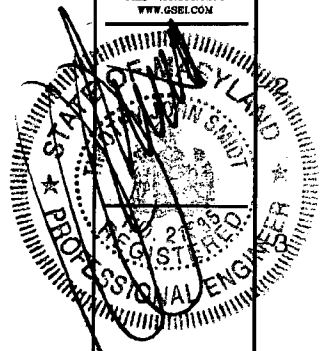


**DETAIL - 24" WIDE ANTENNA WALKWAY**  
NO SCALE

NOTE: ALL PARTS NOTED ABOVE ARE INCLUDED IN THE ROOF MOUNTED COAX BRIDGE KIT (CATALOG #B1543).



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WWW.GSEI.COM



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REVISIONS:		
NO	DESCRIPTION	DATE
1	BID DRAWINGS	10/26/06
2	GEN LOCATION	3/1/06
3	GEN LOCATION	2/3/06
4	FINAL DRAWINGS	9/16/05
5	PERMIT DINGS	6/23/05

**LAST REV.:**  
PROJECT NO: 050031  
DATE: JUNE 23, 2005  
SCALE: AS NOTED

**TITLE:**  
EQUIPMENT PLAN AND ANTENNA CABLE ROUTING DETAILS

**SHEET:**  
GC-2





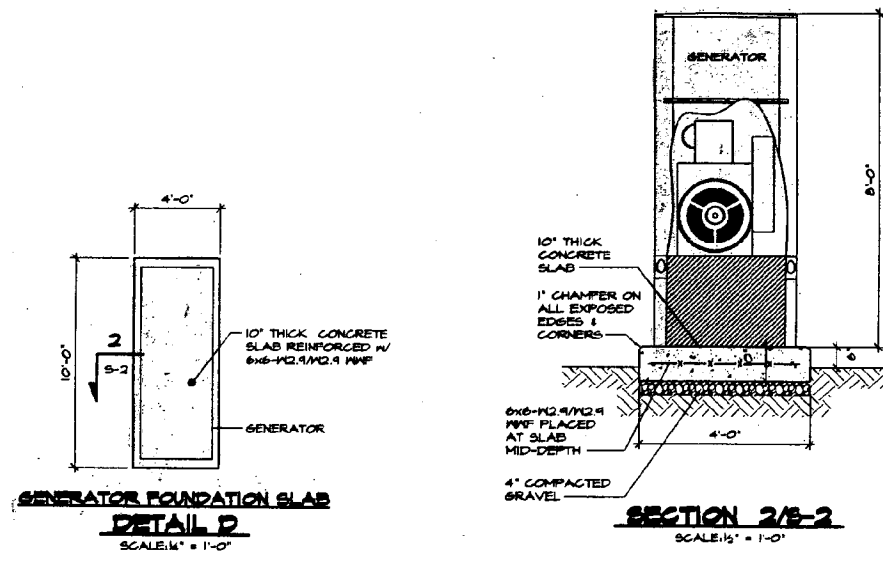
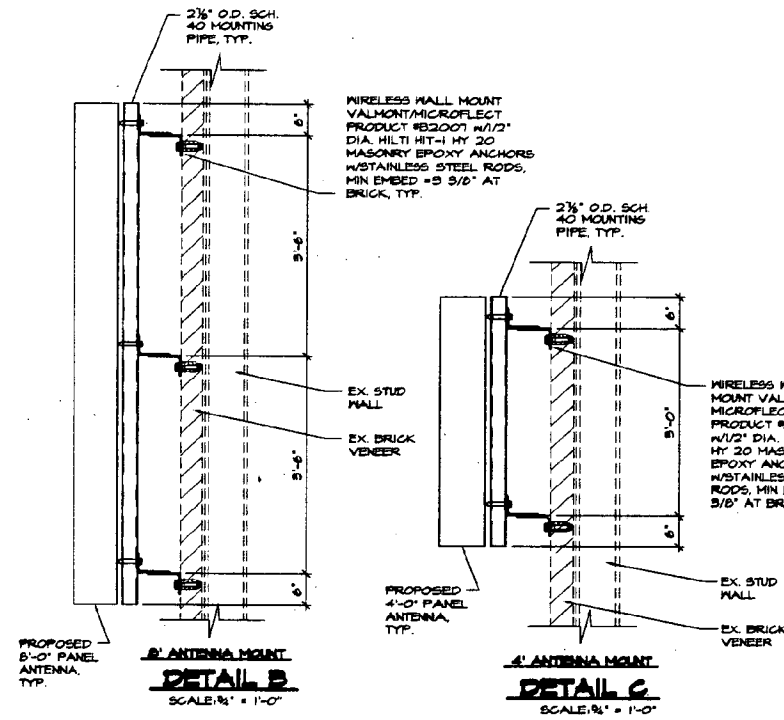
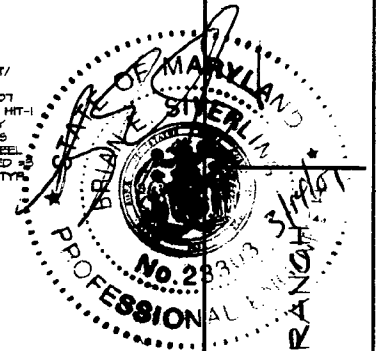
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MORRIS & RITCHE  
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Structural Engineers  
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NO.	DESCRIPTION	DATE
	PERMIT DRAWINGS	2/21/07
	BID DRAWINGS	11/26/06
	GEN SCREENWALL	7/77/06
	GEN LOCATION	3/1/06
	GEN LOCATION	2/3/06
	FINAL DRAWINGS	9/8/06

LAST REV.:  
PROJECT NO: 10421.17H  
DATE: March 15, 2005  
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TITLE:  
**Generator  
Frame &  
Details**

SHEET:  
**S-2**



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# ELECTRICAL SPECIFICATION

- SECTION 1600 - BASIC ELECTRICAL REQUIREMENTS
    - THE WORK INCLUDED FURNISHING AND INSTALLING THE MATERIAL, EQUIPMENT AND SYSTEMS COMPARE AS SPECIFIED IN THE DRAWINGS. THE ELECTRICAL INSTALLATIONS, WHEN FINISHED, SHALL BE COMPLETE AND COORDINATED AND READY FOR SATISFACTORY SERVICE.
    - ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, STATE, LOCAL AND NATIONAL ELECTRICAL CODES.
    - THE CONTRACTOR SHALL COORDINATE THE ELECTRICAL EQUIPMENT INSTALLATION WITH ALL TRADES.
    - THE CONTRACTOR SHALL MAKE APPLICATION AND PAY ALL CHARGES FOR ALL NECESSARY PERMITS, LICENSES AND INSPECTIONS AS REQUIRED UNDER THE ABOVE CODES. UPON COMPLETION OF THE WORK, THE CUSTOMARY CERTIFICATIONS OF APPROVAL SHALL BE FURNISHED.
    - NO MATERIALS OR EQUIPMENT SHALL BE USED IN THE WORK UNTIL APPROVED. ALL MATERIALS SHALL BE U.L. LISTED.
    - THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND SPECIFICATIONS AND SHALL INSPECT THE EXISTING CONDITIONS OF THE SITE. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR COMPLYING WITH THE CONTRACT DOCUMENTS.
    - THE DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL INSTALLATIONS. DETAILS OF PROPOSED DEPARTURES DUE TO ACTUAL FIELD CONDITIONS OR OTHER CAUSES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. REWORK OF COMPLETED ITEMS DUE TO IMPROPER FIELD COORDINATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
    - PROVIDE SUFFICIENT ACCESS AND CLEARANCE FOR ALL ITEMS OF EQUIPMENT REQUIRING SERVICING AND MAINTENANCE.
    - THE CONTRACTOR SHALL PERFORM ALL NECESSARY CUTTING AND PATCHING AS REQUIRED TO COMPLETE THE INSTALLATIONS. PATCHING OF WALLS, FLOORS, CEILING, ETC. SHALL MATCH THE ADJACENT SURFACES.
    - THE CONTRACTOR SHALL PREPARE THREE (3) COPIES OF A RECORD AND INFORMATION BOOKLET. THE BOOKLET SHALL BE BOUND IN A THREE RING LOOSE-LEAF BINDER AND INCLUDE ALL ITEMS OF ELECTRICAL EQUIPMENT (E.G. PANELBOARDS, LIGHTING FIXTURES, LAMPS, ETC.).
    - UPON COMPLETION OF THE ELECTRICAL INSTALLATION, THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF PRINTS OF THE ELECTRICAL CONTRACT DRAWINGS WHICH SHALL BE LEGIBLY MARKED IN RED TO SHOW ALL CHANGES AND DEPARTURES OF THE INSTALLATIONS COMPARED WITH THE ORIGINAL DESIGN. THEY SHALL BE SUITABLE FOR USE IN PREPARATION OF RECORD DRAWINGS AS A MINIMUM. THE CONTRACTOR SHALL ADDRESS THE FOLLOWING:
      - SOURCE, ORIGIN, AND/OR ROUTING OF VERIZON FEEDER.
      - CIRCUIT NUMBERING. CONTRACTOR SHALL ATTACH TO THE AS-BUILT A COPY OF THE FINAL TYPEWRITTEN PANEL SCHEDULE AS LEFT IN EACH PANELBOARD.
      - LOCATION OF MAJOR PIECES OF DISTRIBUTION EQUIPMENT SUCH AS KILOWATT HOUR METER AND VERIZON FEEDER AND/OR TRANSFER DEVICES.
      - LOCATION OF THE EMERGENCY GENERATOR AND AUTOMATIC TRANSFER SWITCH.
    - WARRANTY: ALL NEW ELECTRICAL INSTALLATIONS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR BEGINNING THE DAY OF THE FINAL ACCEPTANCE OF THE WORK OR IDENTICAL OCCUPANCY OF THE OWNER, WHICHEVER OCCURS FIRST. THE ABOVE SHALL NOT IN ANY MANNER VOID OR ABROGATE EQUIPMENT MANUFACTURER'S WARRANTY OR WARRANTY. CERTIFICATES OF GUARANTEE SHALL BE DELIVERED TO THE OWNER UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE ELECTRICAL INSTALLATION DURING THE GUARANTEE PERIOD. NEW REPLACEMENT PARTS SHALL BE FURNISHED AND INSTALLED PROMPTLY AND AT NO COST TO VERIZON.
    - ANY ELECTRICAL WORK WHICH WILL INTERFERE WITH THE NORMAL USE OF THE BUILDING IN ANY MANNER SHALL BE DONE AT SUCH TIME OR TIMES AS SHALL BE MUTUALLY AGREED UPON BETWEEN THE CONTRACTOR AND THE VERIZON REPRESENTATIVE.
    - ALL EXISTING ELECTRICAL SYSTEMS IN OCCUPIED AREAS SHALL BE KEPT IN OPERATION DURING THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS SHALL BE PROVIDED TO ALL SYSTEMS OR EQUIPMENT, WHERE NECESSARY TO MAINTAIN CONTINUOUS OPERATION UNTIL THE NEW SYSTEMS AND EQUIPMENT ARE READY FOR OPERATION.
    - WHEN THE WORK SPECIFIED HEREIN CONNECTS TO ANY EXISTING CONDUIT, WIRING OR OTHER EQUIPMENT, THE CONTRACTOR SHALL PERFORM ALL NECESSARY ALTERATIONS, CUTTINGS AND PATCHING OF THE EXISTING WORK AS MAY BE NECESSARY OR REQUIRED TO MAKE SATISFACTORY CONNECTIONS BETWEEN THE NEW AND EXISTING WORK AND SHALL LEAVE COMPLETED WORK IN A FINISHED AND WORKMANLIKE CONDITION TO THE ENTIRE SATISFACTION OF THE ENGINEER.
    - SUPPORTS, HANGERS, AND FOUNDATIONS. PROVIDE ALL SUPPORTS, HANGERS, BRACES, ATTACHMENTS, AND FOUNDATIONS REQUIRED FOR THE WORK. SUPPORT AND SET THE WORK IN A THOROUGH, SUBSTANTIAL, AND WORKMANLIKE MANNER WITHOUT PLACING STRAINS ON THE MATERIALS, EQUIPMENT, OR THE BUILDING STRUCTURE. SUPPORTS, HANGERS, BRACES AND ATTACHMENTS SHALL BE STANDARD MANUFACTURED ITEMS OR FABRICATED STRUCTURAL STEEL SHAPES.
    - THERE SHALL BE NO INTERRUPTION OF POWER TO EXISTING ELECTRICAL SYSTEMS WITHOUT PRIOR CONSENT OF THE BUILDING OCCUPANTS. WORK SHALL BE KEPT TO A MINIMUM AND SHALL BE SCHEDULED WITH THE OWNER AT LEAST THREE BUSINESS DAYS IN ADVANCE OF THE OUTAGE, ANY COST FOR WORK THAT MUST BE DONE ON AN OVERTIME BASIS SHALL BE INCLUDED IN THE BID.
    - MOUNTING AND SUPPORTING OF ALL EQUIPMENT PROVIDED BY THIS CONTRACTOR SHALL BE COORDINATED WITH VERIZON IN THE FIELD.
    - PREPARE AND SUBMIT TO VERIZON CATALOG CUTS FOR THE FOLLOWING: PANELBOARDS, LIGHTING FIXTURES, KILOWATT HOUR METER.
    - PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR THE INSTALLATION OF THE ELECTRICAL WORK. ANY DAMAGE DONE TO THE WORK ALREADY IN PLACE BY REASON OF THIS WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BY A QUALIFIED MECHANIC EXPERIENCED IN SUCH WORK. PATCHING SHALL BE UNIFORM IN APPEARANCE AND SHALL MATCH THE SURROUNDING SURFACE. DO NOT CUT STRUCTURAL MEMBERS WITHOUT APPROVAL BY VERIZON. ALL PENETRATIONS THROUGH WALLS OF NEW ROOM SHALL BE SEALED TO PREVENT PASSAGE OF PESTICIDES. WHERE PENETRATIONS ARE NECESSARY THROUGH THE ROOF, PROVIDE ALL NECESSARY GUTTERS, FLASHINGS, SHIELDS, FLASHINGS, FITTINGS, AND CALLINGS TO MAKE THE PENETRATIONS ABSOLUTELY WATER-TIGHT.
    - IN GENERAL, POWER WIRING AND MOTOR STARTING EQUIPMENT FOR SYSTEMS ARE INCLUDED UNDER THIS SPECIFICATION. CONTROL AND INTERLOCK WIRING FOR HVAC SYSTEMS IS INCLUDED UNDER MECHANICAL SPECIFICATION. CAREFULLY REVIEW THE CONTRACT DOCUMENTS AND COORDINATE THE ELECTRICAL WORK UNDER THE VARIOUS DIVISIONS.
- SECTION 1600 - BASIC ELECTRICAL MATERIALS & METHODS
  - CONDUIT & BOXES:
    - INSTALL ALL WIRING IN CONDUIT (EXCEPT AS OTHERWISE INDICATED - SEE PART B WIRING & CABLE) AND PROVIDE EMPTY CONDUIT FOR SPECIAL SYSTEMS DESCRIBED ELSEWHERE. MINIMUM CONDUIT SIZE SHALL BE 3/4". INSTALL ALL CONDUIT CONCEALED UNLESS OTHERWISE INDICATED. SUPPORT ALL CONDUIT SO THAT STRAIN IS NOT TRANSMITTED TO OUTLET BOXES AND PULL BOXES. ETC. SUPPORTS SHALL BE SUFFICIENTLY RIGID TO PREVENT DISTORTION OF CONDUITS DURING WIRE PULLING.
    - SUPPORT SINGLE RUNS OF SUSPENDED FEEDER CONDUIT WITH KINDORF C-144 OR C-150 ADJUSTABLE HANGERS USING 3/8" RODS FOR CONDUITS UP TO 2" AND 1/2" RODS FOR CONDUITS LARGER THAN 2". SUPPORT SURFACE RUNS OF CONDUIT USING ONE OR TWO HOLE PIPE STRAPS. STRAP SPACING 6 FOOT ON CENTERS. MAXIMUM.
    - FASTEN CONDUIT STRAPS TO CONCRETE USING INERTS OR EXPANSION BOLTS AND TO HOLLOW MASONRY USING TOGGLE BOLTS. WOODEN PLUGS ARE UNACCEPTABLE.

- PROVIDE HOT-DIP GALVANIZED, RIGID STEEL CONDUIT FOR WORK EXPOSED TO WEATHER. PROVIDE ELECTRICAL METALLIC TERMINITY FOR CONCEALED WORK ABOVE SUSPENDED CEILING AND WITHIN INTERIOR PARTITIONS. PROVIDE FLEXIBLE METAL CONDUIT (GREENFIELD) IN SHORT LENGTHS FOR THE CONNECTION OF RECESSED LIGHTING FIXTURES, MOTORS, AND ANY VIBRATING EQUIPMENT. PROVIDE FULL SIZE EQUIPMENT GROUND WIRE WHERE LENGTHS EXCEED SIX (6) FEET. ALUMINUM CONDUIT IS PROHIBITED. SET SCREW TYPE CONDUIT FITTINGS ARE PROHIBITED.
  - ALL OUTLET, SWITCH AND JUNCTION BOXES, ETC. SHALL BE SHEAR-DORIZED OR GALVANIZED STAMPED STEEL AS MANUFACTURED BY STEEL CITY, RAGO, APPLETON, OR GENERAL ELECTRICAL. PROVIDE BOX AT EACH OUTLET SWITCH, ETC. ALL BOXES SHALL BE SIZED PER THE NEC OF A TYPE SUITABLE FOR THE DUTY INTENDED AND SUPPLIED WITH APPROPRIATE RINGS.
  - JUNCTION AND PULL BOXES SHALL BE FURNISHED AND INSTALLED AS SHOWN OR WHERE REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES. SUCH BOXES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. ALL BOXES FOR CONCEALED WORK SHALL BE CONSTRUCTED OF #12 GAUGE USS GALVANIZED SHEET STEEL MINIMUM UNLESS OTHERWISE SPECIFIED OR INDICATED AND PROVIDED WITH MOUNTING BRACKETS AND FLAT SCREEN COVERS, SECURED IN POSITION BY ROUND HEAD BRASS OR STAINLESS STEEL, 300 GRADE MACHINE SCREWS. GASKETED COVER PLATES SHALL BE FURNISHED FOR OUTDOOR INSTALLATIONS.
  - ALL OUTLET BOXES USED FOR SUPPORTING FIXTURES SHALL BE FURNISHED WITH HANGABLE IRON FIXTURE STUDS OF "NO-BOLT" TYPE SECURED BY LOCKWATS.
  - ALL BOXES, WHETHER OUTLET, JUNCTION, PULL, OR EQUIPMENT SHALL BE FURNISHED WITH APPROPRIATE COVERS.
  - NO SECTORIZED BOXES SHALL BE USED.
  - OUTLET, JUNCTION, AND PULL BOXES SHALL BE SHEET STEEL, WHERE REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES. SUCH BOXES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS.
  - CONDUIT SHALL BE COMPRESSION FITTING TYPE ONLY.
- WIRING & CABLE:
    - BUILDING WIRE, UNLESS OTHERWISE INDICATED, SHALL BE 600 VOLT, TYPE THHN INSULATION FOR INTERIOR AND EXTERIOR USE. CONDUCTORS SHALL BE SOFT DRAWN COPPER OF NOT LESS THAN 40% CONDUCTIVITY FOR BRANCH CIRCUITS (UNDER 50 AMPS) INSTALLED ABOVE DROPPED CEILING AND WITHIN DRYWALL PARTITIONS. TYPE MC CABLE (METAL CLAD) MAY BE USED WHERE PERMITTED BY THE NEC AND LOCAL CODES. NO RHO-TEX OR AC 100 CABLE WILL BE ALLOWED ON THE PROJECT.
    - NO WIRE SMALLER THAN NO. TWELVE (12) AWG SHALL BE USED UNLESS OTHERWISE INDICATED. CONDUCTORS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET AND FROM TERMINAL BOARD TO POINT OF FINAL CONNECTION AND NO SPLICE SHALL BE MADE EXCEPT WITHIN OUTLET OR JUNCTION BOXES. ALL CONDUCTORS SHALL BE OF THE SIZES AS INDICATED. ALL WIRES NO. EIGHT (8) AWG AND LARGER SHALL BE STRANDED. THE CONTRACTOR SHALL MAKE WIRING CONNECTIONS OF ALL ELECTRICAL EQUIPMENT REQUIRING ELECTRICAL WIRES AND CABLES SHALL BE AS MANUFACTURED BY PIRELLI, ROYAL, AND TRIANGLE OR EQUIVALENT.
    - ALL WIRING SHALL BE COLOR CODED. MATCH EXISTING SYSTEM COLOR CODING WHERE APPLICABLE.
    - WIRING FOR GENERAL 20 AMP BRANCH CIRCUIT WORK SHALL BE AS FOLLOWS UNLESS OTHERWISE INDICATED:
 

HOME RUN LENGTH AND WIRE SIZE	CIRCUIT LENGTH AND WIRE SIZE
0' - 60' #12	0' - 100' #12
60' - 100' #10	100' AND UP, #10
  - DISCONNECTS:
    - FURNISH AND INSTALL SAFETY SWITCHES WHERE INDICATED AND AS REQUIRED FOR MOTOR OUTLETS OR OTHER EQUIPMENT. SWITCHES SHALL BE OF SIZE, NUMBER OF POLES AND PHASE OR NON-PHASE, AS REQUIRED FOR JOB CONDITIONS AND THE NATIONAL ELECTRICAL CODE.
  - WIRING DEVICES:
    - THE FOLLOWING WIRING DEVICES SHALL BE FURNISHED AND INSTALLED WHERE CALLED FOR ON THE DRAWINGS. MISCELLANEOUS ITEMS SHALL BE OF THE MANUFACTURER'S LABORATORIES STANDARD CONFORMING TO THE NEC. ALL DEVICES SHALL BE OF THE SAME MANUFACTURER. DEVICES SHALL BE ARRON HART, BRYANT, PARS 4, SEYDOR, OR HUBBELL AND EQUAL TO THE ARRON HART NUMBERS LISTED BELOW.
    - WALL SWITCHES, TOGGLE SWITCHES SHALL BE OF THE SILENT MECHANICAL TYPE RATED 20 AMPERE, 120/277VOLT. A 2 SINGLE POLE SWITCHES SHALL BE ARRON HART #491 FOR 20 AMPERE. THREE-WAY SWITCHES SHALL BE OF THE SAME MANUFACTURER AND GRADE. ALL DEVICES SHALL BE WHITE.
    - RECEPTACLES, RECEPTACLES FOR WALL OUTLETS SHALL BE RATED 20 AMPERE, 125 VOLTS, DUPLEX, THREE-WIRE WITH THIRD POLE GROUNDING. OUTLETS SHALL BE ARRON HART #5862N FOR 20 AMPERE. GFCI SHALL BE #6920 RATED 15 AMPERE, 120 VOLT. ALL DEVICES SHALL BE WHITE.
  - GROUNDING:
    - PROVIDE GROUND FOR ALL RACEWAYS, DEVICES, AND UTILIZATION EQUIPMENT PERMANENTLY AND EFFECTIVELY IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, AS HEREINAFTER SPECIFIED. ALL GROUNDING AND BONDING CONNECTIONS SHALL BE SOLDERLESS.
    - PROVIDE INSULATED GROUNDING CONDUCTORS FOR FEEDER AND BRANCH CIRCUIT WIRING AS CALLED FOR ON THE PLANS. PROVIDE GROUNDING BLOCKS, TERMINALS, ETC. FOR CONNECTION OF GROUND WIRE IN ALL DISTRIBUTION EQUIPMENT, OUTLETS, JUNCTION BOXES, AND UTILIZATION EQUIPMENT.
- SECTION 1600 - SERVICE & DISTRIBUTION
  - ELECTRICAL SERVICE:
    - ELECTRICAL SERVICE TO THE SITE SHALL BE EXTENDED FROM THE EXISTING BUILDING METER PANEL IN BOILER ROOM ON LOWER LEVEL.
  - PANELBOARDS:
    - THE CONTRACTOR SHALL BALANCE THE LOADS ON ALL PANELBOARDS AS CLOSELY AS POSSIBLE AND TO THE SATISFACTION OF THE ENGINEER.
    - FURNISH AND INSTALL, WHERE INDICATED ON THE DRAWINGS, AUTOMATIC CIRCUIT BREAKER PANELBOARDS COMPLETE WITH ENCLOSURE CABINETS, ENCLOSURES SHALL BE NEMA 1 FOR RECESSED OR SURFACE MOUNTING AS INDICATED. PANELBOARDS AND ENCLOSURE CABINETS SHALL CONFORM TO STANDARDS ESTABLISHED BY UNDERWRITERS LABORATORIES, INC. AND REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE.
    - ALL PANELBOARD INTERIORS SHALL BE FACTORY ASSEMBLED, COMPLETE WITH CIRCUIT BREAKERS, DISCONNECTS, SCHEDULED OR DESIGNED OVERCURRENTS SHALL BE DESIGNED AND ASSEMBLED SO THAT ANY INDIVIDUAL BREAKER CAN BE REPLACED WITHOUT DISTURBING ADJACENT UNITS, WITHOUT REMOVING MAIN BUS, AND SHALL EMPLOY SEQUENCE BUSSES, MAIN BUSES AND BACK PANS OF DISTRIBUTION AND POWER PANELBOARDS SHALL BE OF SUCH DESIGN THAT BRANCH CIRCUITS MAY BE CHANGED WITHOUT ADDITIONAL DRILLING, MACHINING, OR TAPPING. ALL CIRCUIT BREAKERS SHALL BE QUICK-MAKE AND SHALL BE TRIP INDICATING.

# ELECTRICAL SYMBOLS LIST

- NOTE: ALL MOUNTING HEIGHTS ARE TO CENTER LINE OF THE OUTLET BOX UNLESS OTHERWISE INDICATED.
- ⊗ LIGHT FIXTURE - FLOOD
  - ⊗ SWITCH-SINGLE POLE, THINNER SUBSCRIPT DENOTES FUTURE CONTROLLED
  - ⊗ RECEPTACLE-20A-125 VOLTS DUPLEX MH. 1'-6"
  - ⊗ JUNCTION BOX
  - ⊗ PANELBOARD 120/208 VOLTS-MH. 6'-6" TO TOP
  - ⊗ AUTOMATIC TRANSFER SWITCH
  - ⊗ TELEPHONE TERMINAL BACKBOARD
  - ⊗ DRAWING NOTE
  - 6 — BRANCH CIRCUIT
  - P — GROUND CONDUCTOR
  - T — POWER FEEDER CONDUIT
  - T — TELEPHONE CONDUIT
  - ⊗ HOMERUN TO PANEL-LETTER AND NO. INDICATES CIRCUIT NUMBER. NO. OF CROSSELS INDICATES NO. OF CONDUCTORS WHEN MORE THAN 3.
  - ⊗ DISCONNECT SWITCH-UNFUSED, RATED MH. 5'-6" TO TOP
  - ⊗ METER
  - ⊗ GROUND CONNECTION
  - ⊗ TERMINAL PANEL-AS NOTED
  - ⊗ GROUND BAR PLATE
  - ⊗ FRONT OF EQUIPMENT

# ABBREVIATIONS

- GRD - GROUND
- MH - MOUNTING HEIGHT
- AF - ABOVE FINISHED FLOOR
- WP - WEATHERPROOF
- C, CDT - CONDUIT
- DWS - DRAWING
- GFI - GROUND FAULT INTERRUPTER
- MTD - MOUNTED
- MCA - MINIMUM CIRCUIT AMPS
- GB - GROUND BAR
- FSP - FM 200 SYSTEM PANEL
- ISP - INTRUSION SYSTEM PANEL
- GCP - CLIMATE CONTROL PANEL

# EXISTING PANEL MDP

120/208 VOLTS, 3Ø 4 WIRE 200 AMP MAIN C.B.			
DESCRIPTION	QTY	NO.	DESCRIPTION
VERIZON WIRELESS (46 FLA)	3P200	1	2 3P225 PANEL L (180 FLA)
PANEL B (120 FLA)	3P150	3	4 3P200 AT&T (89 FLA)
ENC (100 FLA)	3P125	5	6 3P150 PANEL A (120 FLA)
CONDENSATOR WATER PUMP (40.3 FLA)	3P100	7	8 3P100 STANDBY PUMP #4 (40.3 FLA)
CONDENSATOR WATER PUMP (32.2 FLA)	3P60	9	10 3P100 COOLING TOWER (80 FLA)
CONDENSATOR WATER PUMP (32.2 FLA)	3P60	11	12 3P100 BOILER HOUSE PUMP (40.3 FLA)
SPACE	3P60	13	14 3P100 SPARE
CONDENSATOR WATER PUMP (17.5 FLA)	3P30	15	16 3P50 B1 (40.0 FLA)
CONDENSATOR WATER PUMP (17.5 FLA)	3P30	17	18 3P30 HOT H2O HEAT EXCHANGE PUMP #1 (24.0 FLA)
SPACE	-	19	20 3P100 SPARE
SPACE	-	21	22 - SPACE
CALCULATED LOAD			
EXISTING LOAD		356.7 KVA	
NEW VERIZON LOAD		35.6 KVA	
TOTAL LOAD		348.3 KVA = 1042.9 AMPS @ 120/208V, 3Ø, 4W	

\* RE-USE EXISTING SPARE BREAKER  
PUMP LOADS ARE BASED ON NEC TABLE 430.150  
REMAINING BREAKERS ARE BASED ON 80% OF BREAKER RATINGS

# PANEL GEN

120/208 VOLTS 1Ø 3 WIRE 100 AMP MAIN L.O.			
DESCRIPTION	QTY	NO.	DESCRIPTION
MAIN C.B.	4Ø	1	2 2Ø BATTERY CHARGER
SPACE	-	3	4 2Ø BLOCK HEATER
SPACE	-	5	6 2Ø TELCO RECEPTACLE
SPACE	-	7	8 - SPACE
SPACE	-	9	10 - SPACE
SPACE	-	11	12 - SPACE
TOTAL LOAD:			
1.87 KVA x 125% = 2.34 KVA = 11.1A @ 120/208V, 1Ø, 3W			

# (NEMA 3R) PANEL PPI


120/208 VOLTS 3Ø 4 WIRE 200 AMP MAIN C.B.			
DESCRIPTION	QTY	NO.	DESCRIPTION
Ø50MMHz PRIMARY CABINET	00	1	2 1ØØ SECONDARY CABINET
GFI RECEPTACLE	20	5	6 20 SPARE
LIGHTING	20	7	8 20 SPARE
SPACE	20	9	10 - SPACE
SPACE	20	11	12 - SPACE
SPACE	-	13	14 - SPACE
SPACE	-	15	16 - SPACE
SPACE	-	17	18 - SPACE
SPACE	-	19	20 - SPACE
SPACE	-	21	22 - SPACE
SPACE	-	23	24 - SPACE
SPACE	-	25	26 - SPACE
SPACE	-	27	28 - SPACE
SPACE	-	29	30 - SPACE
SPACE	-	31	32 - SPACE
SPACE	-	33	34 - SPACE
SPACE	-	35	36 - SPACE
SPACE	-	37	38 - SPACE
SPACE	-	39	40 - SPACE
SPACE	-	41	42 - SPACE
LIGHTING LOAD: .75 x 125% = 0.94 KVA			
RECEPTACLE LOAD: 0.18 KVA			
OTHER EQUIPMENT: 2.16 KVA			
TOTAL LOAD: 3.28 KVA = 84.5A @ 120/208V, 3Ø, 4W			
RECEPTACLE LOAD: 120/208V, 3Ø, 4W			

# VERIZON SERVICE CALCULATION

PANEL PPI:	32.3 KVA
PANEL GEN:	2.3 KVA
TOTAL LOAD:	34.6 KVA = 96.0A @ 120/208V, 3Ø, 4W

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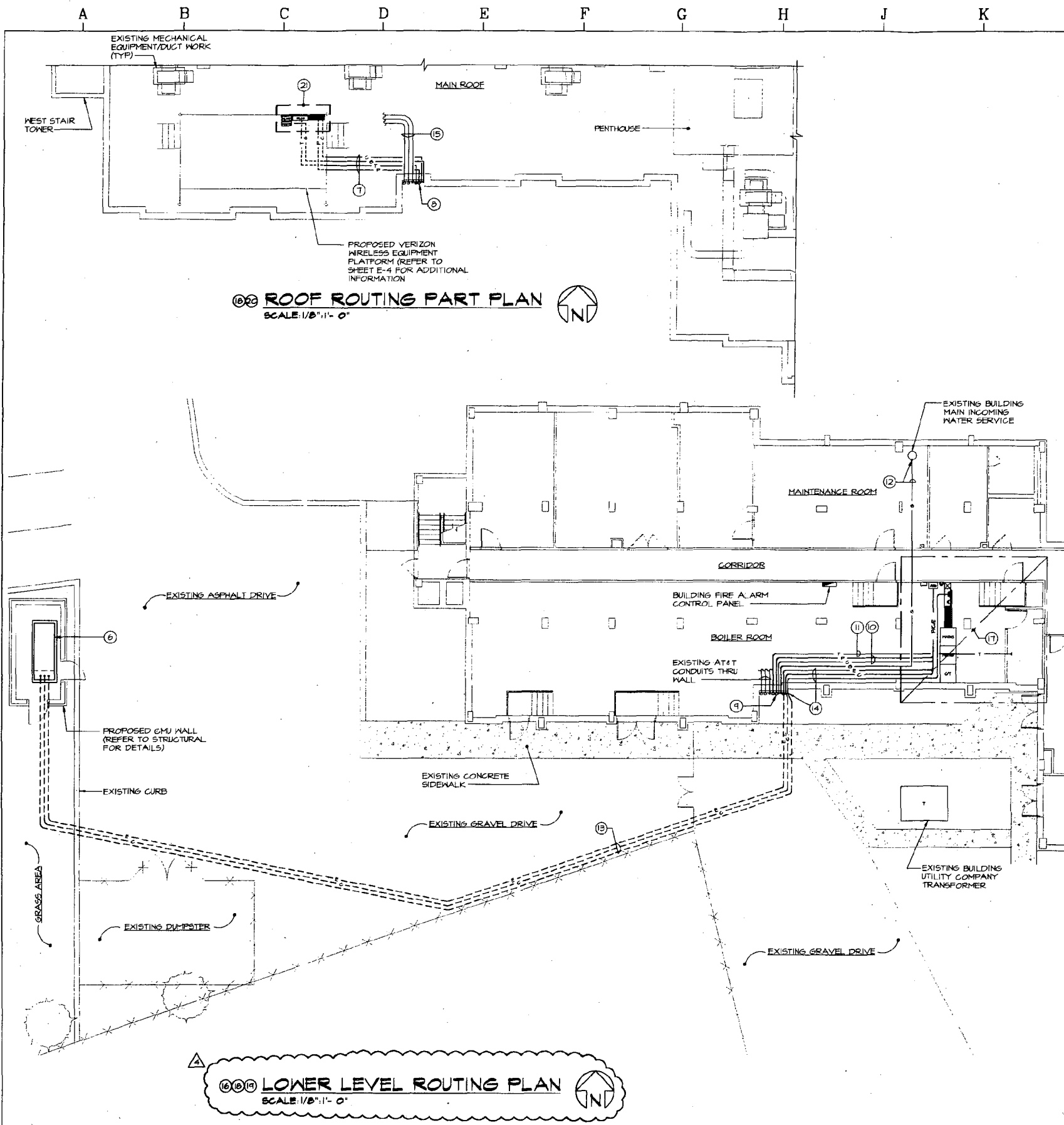
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2	GEN. LOCATION	3/1/06
3	GEN. LOCATION	2/3/06
4	FINAL DRAWINGS	9/6/05
5	PERMIT DWGS	1/23/05

LAST REV.:  
PROJECT NO.: 050031  
DATE: JUNE 23, 2005  
SCALE: AS NOTED

NOTE: CONTRACTOR SHALL FIELD COORDINATE OVERCURRENT PROTECTION WITH MANUFACTURER'S RECOMMENDATIONS.

E-1



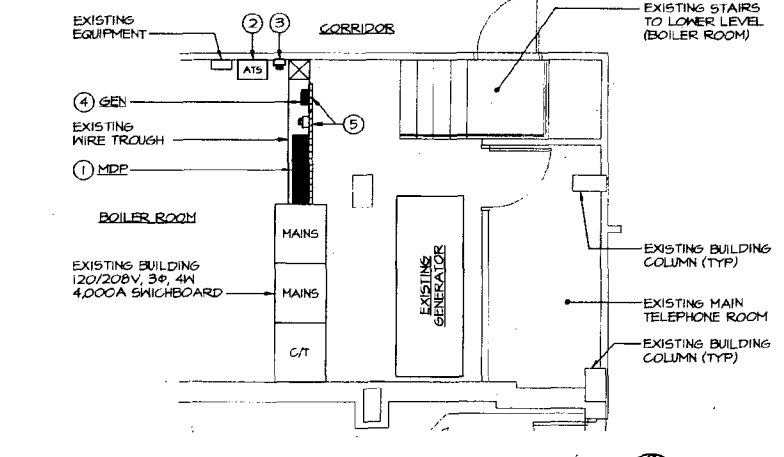


**②② ROOF ROUTING PART PLAN**  
SCALE: 1/8" = 1'-0"

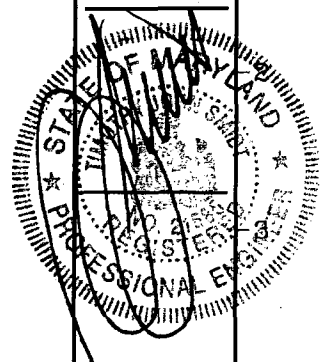
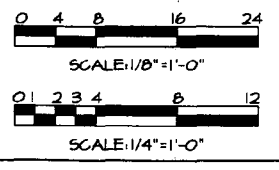
**②② LOWER LEVEL ROUTING PLAN**  
SCALE: 1/8" = 1'-0"

**DRAWING NOTES**

- ① EXISTING 120/208V, 3Ø, 4W, 1200A PANEL, "MDP" IN BUILDING BOILER ROOM ON LOWER LEVEL. REFER TO POWER RISER, SHEET E-2 FOR ADDITIONAL INFORMATION AND PANEL SCHEDULE, SHEET E-1.
- ② VERIZON WIRELESS PROVIDED. CONTRACTOR INSTALLED 240 VOLT RATED, 3Ø, 200A AUTOMATIC TRANSFER SWITCH (ATS), MOUNT ATS ON BOILER ROOM INTERIOR WALL, ADJACENT TO SWITCHBOARD. REFER TO SPECIFICATIONS, SHEET E-1 FOR DETAILS.
- ③ PROVIDE AND INSTALL NEW 240 VOLT RATED, 3Ø, 200 AMP ELECTRONIC TENANT SUB-METER. MOUNT SUB-METER ON BOILER ROOM WALL, ADJACENT TO NEW VERIZON ATS. EXTEND CONTROL WIRING AS REQUIRED. PROVIDE PHENOLIC NAMEPLATE READING "VERIZON WIRELESS."
- ④ PROVIDE NEW LOAD CENTER "GEN." REFER PANEL SCHEDULE, SHEET E-1.
- ⑤ EXISTING KINDORF BACKBOARD FOR MOUNTING OF EXISTING AT&T SUB-METER. CONTRACTOR SHALL PROVIDE ADDITIONAL KINDORF CHANNELS AS REQUIRED FOR MOUNTING OF NEW VERIZON WIRELESS LOAD CENTER "GEN."
- ⑥ VERIZON WIRELESS PROVIDED. CONTRACTOR INSTALLED 120/208 VOLT, 3Ø, 4W, 60 KW DIESEL, POWERED GENERATOR WITH A 225 GALLON SKID BASE FUEL TANK MOUNTED IN A WEATHERPROOF, SOUND ATTENUATED ENCLOSURE REFER TO SHEET C-1 FOR GENERATOR LOCATION AND DETAILS, SHEET E-6.
- ⑦ EXTEND NEW CONDUITS (ELECTRIC FEEDER/TELEPHONE/CONTROL) AND GROUND CONDUCTOR ACROSS BUILDING ROOF SUPPORT CABLES OFF OF ROOF USING 4"Ø PVC SLEEPERS SPACED EVERY 10'-0" ON CENTER, OR AS REQUIRED. COORDINATE EXACT ROUTING WITH EXISTING CONDITIONS IN THE FIELD. REFER TO DETAIL, SHEET E-4.
- ⑧ EXTEND NEW CONDUITS (ELECTRIC FEEDER/TELEPHONE/CONTROL) AND GROUND CONDUCTOR DOWN BUILDING EXTERIOR WALL, ADJACENT TO EXISTING CONDUITS. SUPPORT CONDUITS DOWN EXTERIOR WALL USING KINDORF SUPPORTS SPACED EVERY 10'-0" ON CENTER. PAINT CONDUITS AND SUPPORTS TO MATCH BUILDING ADJACENT EXTERIOR FINISH. REFER TO DETAIL, SHEET E-4.
- ⑨ PENETRATE CONDUITS (ELECTRIC FEEDER/TELEPHONE/CONTROL) AND GROUND CONDUCTOR THROUGH EXTERIOR WALL INTO CEILING SPACE OF BOILER ROOM. SEAL PENETRATIONS WEATHERPROOF, ADJACENT TO EXISTING CONDUITS. REFER TO DETAIL, SHEET E-4.
- ⑩ EXTEND CONDUITS (ELECTRIC FEEDER/CONTROL) ACROSS BOILER ROOM CEILING AND TERMINATE AT RESPECTIVE LOCATIONS AT NEW VERIZON WIRELESS ATS.
- ⑪ EXTEND NEW TELEPHONE CONDUIT ACROSS BOILER ROOM CEILING AND INTO MAIN TELEPHONE ROOM. COORDINATE EXACT TERMINATION LOCATION WITH VERIZON WIRELESS REPRESENTATIVE IN THE FIELD.
- ⑫ EXTEND GROUND CONDUCTOR ACROSS BOILER ROOM, ABOVE CEILING OF CORRIDOR AND INTO MAINTENANCE ROOM. CONTINUE CONDUIT TO ACROSS MAINTENANCE ROOM AND TERMINATE AT STRIKE SIDE OF BUILDING MAIN INCOMING WATER SERVICE.
- ⑬ EXTEND NEW CONDUITS (EMERGENCY/BRANCH CIRCUIT/CONTROL) BELOW GRADE FROM GENERATOR AND TURN UP AT BUILDING EXTERIOR WALL. CONTRACTOR SHALL EXTEND CONDUITS IN EXISTING GRAVEL DRIVE TO FULLEST EXTENT POSSIBLE. CONTRACTOR SHALL DIRECTIONALLY BORE UNDER EXISTING ASPHALT DRIVEWAY AND CONCRETE SIDEWALK. AT NO POINT SHALL THE ASPHALT AND CONCRETE SURFACES BE DISTURBED. EXTENSION OF CONDUITS BELOW GRADE SHALL BE SCHEDULE 40 PVC. COORDINATE EXACT ROUTING IN THE FIELD. PATCH AND REPAIR GRASS SURFACE AFTER TRENCHING AND CONDUIT INSTALLATION TO RETURN TO ORIGINAL CONDITIONS.
- ⑭ EXTEND NEW CONDUITS (EMERGENCY/BRANCH CIRCUIT/CONTROL) UP BUILDING EXTERIOR WALL AND PENETRATE INTO CEILING SPACE OF LOWER LEVEL BOILER ROOM. CONTINUE CONDUITS ACROSS BOILER ROOM CEILING AND TERMINATE AT RESPECTIVE LOCATIONS (ATS/LOAD CENTER "GEN"). SEAL PENETRATIONS WEATHERPROOF.
- ⑮ EXISTING CONDUITS EXTENDING ACROSS ROOF TO EXISTING AT&T EQUIPMENT PLATFORM. CONTRACTOR SHALL MAKE ADJUSTMENTS TO CONDUITS AS REQUIRED FOR INSTALLATION OF NEW VERIZON WIRELESS EQUIPMENT PLATFORM. COORDINATE REQUIRED ADJUSTMENTS WITH VERIZON WIRELESS REPRESENTATIVE IN THE FIELD.
- ⑯ SUPPORT CONDUITS EXTENDING HORIZONTALLY THROUGH BUILDING USING KINDORF SUPPORTS SPACED EVERY 10'-0" ON CENTER. SEAL ALL INTERIOR PENETRATIONS WITH UL APPROVED FIRE STOP MATERIAL. REFER TO DETAIL, SHEET E-4.
- ⑰ REFER TO BOILER ROOM PART PLAN, THIS SHEET FOR WORK IN THIS AREA.
- ⑱ CONTRACTOR SHALL CLEARLY LABEL ALL VERIZON WIRELESS CONDUITS USING STENCIL OR STICKERS WITH BLOCK STYLE LETTERING READING "VERIZON WIRELESS". CONDUIT SHALL BE LABELED EVERY 10'-0".
- ⑲ CONTRACTOR SHALL CONTACT M&E UTILITY 12 HOURS PRIOR TO TRENCHING FOR REMOTE GENERATOR CONDUITS TO LOCATE ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL HAND DIG TRENCH WITHIN 5'-0" OF ALL UNDERGROUND UTILITIES.
- ⑳ CONTRACTOR SHALL TIE INTERSECT PANEL INTO NORMAL POWER FAILURE ALARM CIRCUIT. IN THE EVENT OF A POWER FAILURE IN THE INTERSECT PANEL (IE, TRIPPED BREAKER) AN ALARM SHALL BE INITIATED TO NOTIFY VERIZON WIRELESS THAT A POWER FAILURE HAS OCCURRED.
- ㉑ REFER TO POWER RISER, SHEET E-2 AND PLATFORM POWER PLAN, SHEET E-4 FOR ADDITIONAL INFORMATION.



**BOILER ROOM PART PLAN**  
SCALE: 1/4" = 1'-0"



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**PINEY BRANCH**  
(MONTGOMERY CO., MARYLAND)

**REVISIONS:**

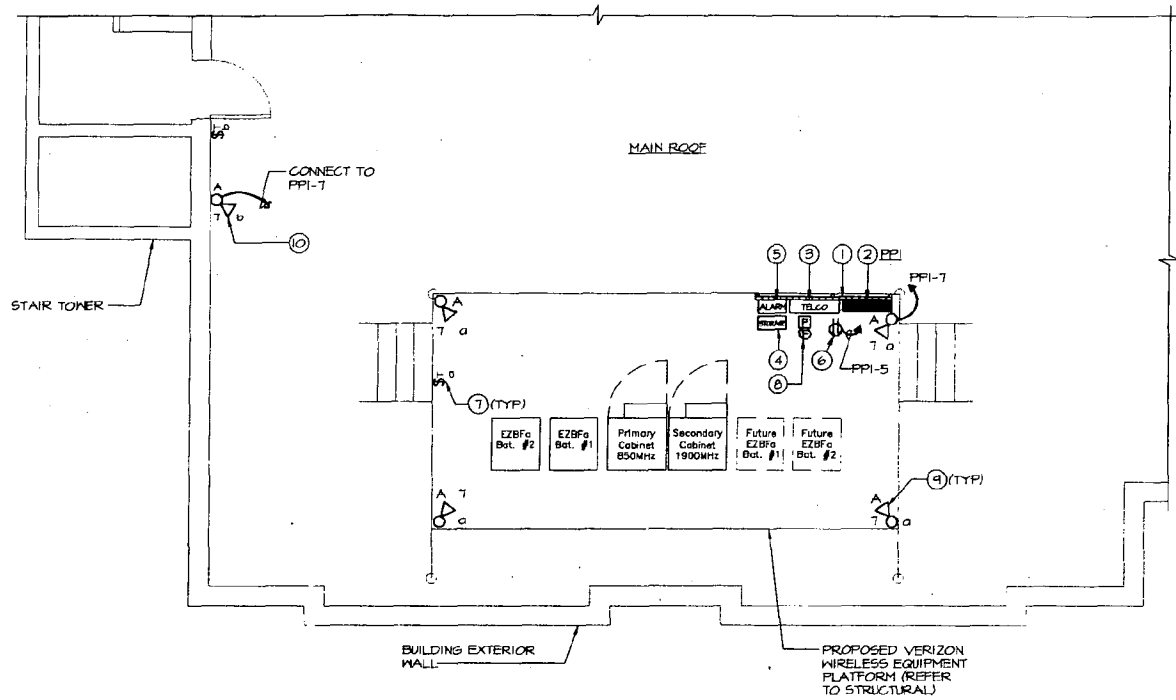
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Δ	GEN. LOCATION	3/1/06
Δ	GEN. LOCATION	2/3/06
Δ	FINAL DRAWINGS	9/16/05
Δ	PERMIT DINGS	6/23/05

**LAST REV.:**  
PROJECT NO: 050031  
DATE: JUNE 23, 2005  
SCALE: AS NOTED

**TITLE:**  
BOILER ROOM  
PART PLAN,  
ROUTING PLANS,  
AND NOTES

**SHEET:**  
E-3

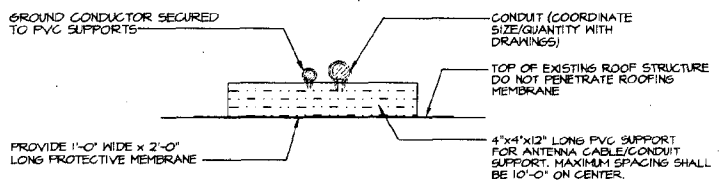
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**PLATFORM POWER PLAN**  
SCALE: 1/4"=1'-0"

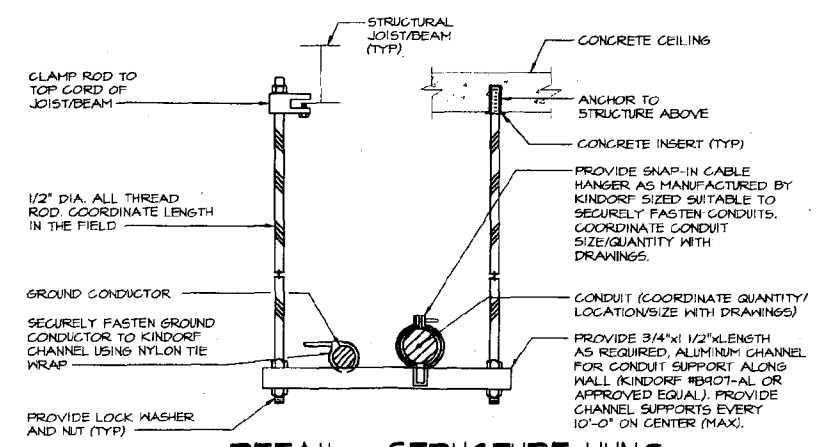
**LIGHTING FIXTURE SCHEDULE**

TYPE	LAMPS	MOUNTING	DESCRIPTION/VOLTAGE	CATALOG NO.
A	1-150W QUARTZ	SURFACE	UL LISTED WET LOCATION QUARTZ FLOOD FIXTURE WITH FINISH TO MATCH EXISTING BUILDING (120V).	STONCO EQUISOLBRZ (OR AN APPROVED EQUAL)



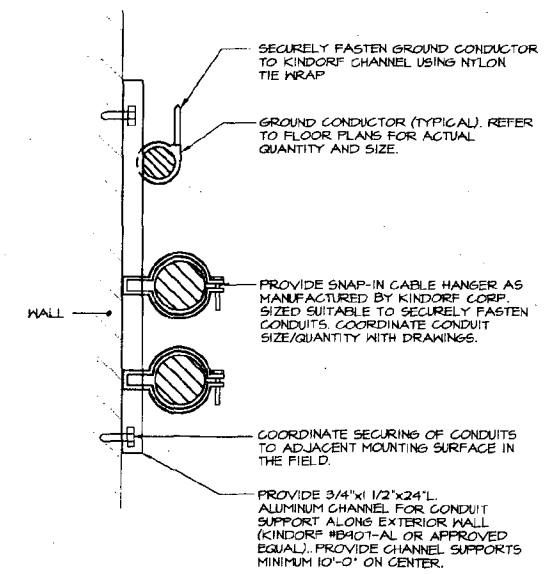
**DETAIL - CONDUIT SUPPORT OFF ROOF**  
NO SCALE

NOTE: SUPPORTS SHOWN ARE PROVIDED BY ELECTRICAL CONTRACTOR. COORDINATE FINAL ROUTING WITH OWNER'S REPRESENTATIVE IN THE FIELD.



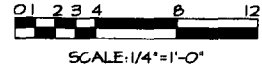
**DETAIL - STRUCTURE HUNG CONDUIT SUPPORT**  
NO SCALE

NOTE: CONTRACTOR SHALL MOUNT CONDUIT(S) TIGHT TO UNDERSIDE OF CEILING TO MINIMIZE OBSTRUCTION BELOW. COORDINATE CEILING STRUCTURE IN THE FIELD.



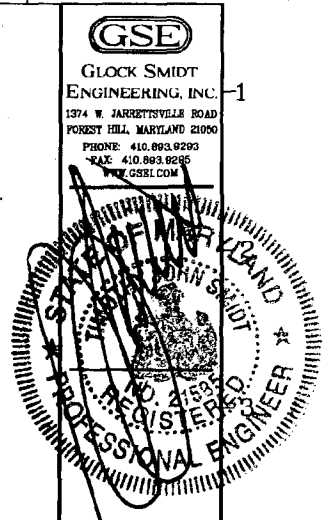
**DETAIL - WALL MOUNTED CONDUIT SUPPORT**  
NO SCALE

NOTE: PAINT CONDUITS AND SUPPORTS TO MATCH BUILDING EXTERIOR FINISH.



**DRAWING NOTES**

- 1 PROVIDE NEW 7'-0" KINDORF BACKBOARD MOUNTED ON NEW VERIZON WIRELESS EQUIPMENT PLATFORM. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL MOUNTING INFORMATION.
- 2 PROVIDE AND INSTALL WEATHERPROOF 120/208 VOLT, 3Ø, 4W, 200 AMP MCB PANEL WITH INTEGRATED MANUAL TRANSFER SWITCH MOUNT PANEL ON NEW BACKBOARD ON EQUIPMENT PLATFORM. REFER TO PANEL SCHEDULE AND SPECIFICATIONS SHEET PFI FOR ADDITIONAL INFORMATION. COORDINATE ALL REQUIREMENTS WITH VERIZON WIRELESS REPRESENTATIVE PRIOR TO ORDERING.
- 3 PROVIDE AND INSTALL 30"x30"x8" WEATHERPROOF HOFFMAN BOX WITH PADLOCK PROVISIONS FOR TERMINATION OF TELEPHONE CONDUIT/CABLES.
- 4 PROVIDE AND INSTALL EMPTY WEATHERPROOF 10"x10"x8" HINGED WEATHERPROOF JUNCTION BOX (HOFFMAN) FOR STORAGE OF LOG BOOKS AND/OR TOOLS, ETC.
- 5 CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING 10"x10"x8" WEATHERPROOF HOFFMAN BOX WITH PAD LOCK PROVISIONS TO HOUSE ALARM LEADS. COORDINATE EXACT MOUNTING LOCATION WITH VERIZON REPRESENTATIVE IN THE FIELD.
- 6 PROVIDE AND INSTALL 6FL, 120 VOLT, 20 AMP WEATHERPROOF DUPLEX RECEPTACLE MOUNTED ON KINDORF BACKBOARD FOR EQUIPMENT SERVICING.
- 7 PROVIDE AND INSTALL EXTERIOR GRADE SPRING WOUND TIMER SWITCH IN WEATHERPROOF ENCLOSURE FOR CONTROL OF PLATFORM AREA LIGHTING. TIMER SWITCH SHALL BE PASS & SET HOUR CATALOG #T18160-1 WITH 60 MINUTE MAXIMUM SETTING. MOUNT SWITCH NEAR PLATFORM ACCESS LOCATION AND ON STAIR TOWER EXTERIOR WALL. COORDINATE EXACT MOUNTING LOCATION WITH VERIZON REPRESENTATIVE IN THE FIELD.
- 8 PROVIDE WEATHERPROOF AUDIBLE/VISUAL FIRE ALARM DEVICE TO MATCH BUILDING STANDARD MOUNTED ON NEW KINDORF BACKBOARD (ABOVE ALL EQUIPMENT). EXTEND SIGNAL CABLE TO LOCATION AS DIRECTED BY BASE BUILDING FIRE ALARM CONTRACTOR. CONNECTION TO BUILDING SYSTEM SHALL BE COMPLETED BY BASE BUILDING FIRE ALARM CONTRACTOR. FIRE ALARM CONTROL PANEL (NOTIFIER NFS 30-30 INTELLIGENT PANEL) IS LOCATED IN BOILER ROOM ON LOWER LEVEL.
- 9 PROVIDE LIGHT FIXTURE AS DESIGNATED BY AND UPPER CASE SUBSCRIPT. MOUNT LIGHT FIXTURE ON NEW 7/8 GALV ANKRED STEEL POST MOUNTED TO NEW PLATFORM HANDRAIL. MOUNT LIGHT FIXTURES @ 6'-0" ABOVE PLATFORM.
- 10 PROVIDE LIGHT FIXTURE AS DESIGNATED BY AN UPPER CASE SUBSCRIPT. MOUNT LIGHT FIXTURE ON EXISTING STAIR TOWER EXTERIOR WALL @ 8'-0" ABOVE ROOF.



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**REVISIONS:**

NO	DESCRIPTION	DATE
1	BID DRAWINGS	10/26/06
2	GEN LOCATION	3/1/06
3	GEN LOCATION	2/3/06
4	FINAL DRAWINGS	4/6/05
5	PERMIT DINGS	6/23/05

**LAST REV.:**

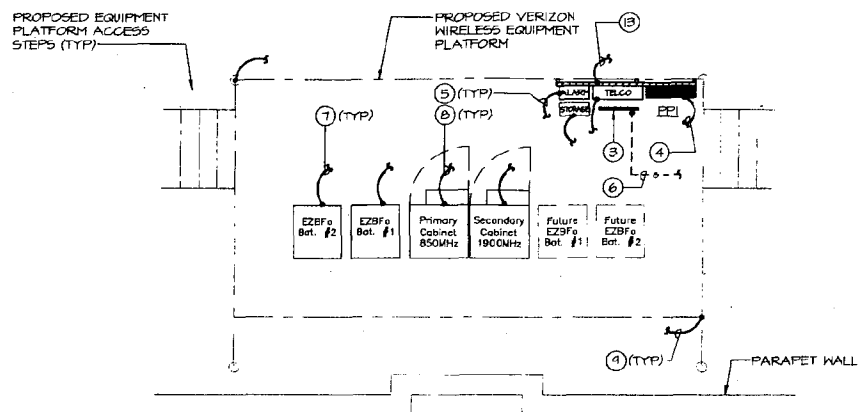
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DATE: JUNE 23, 2005  
SCALE: AS NOTED

**TITLE:**  
PLATFORM POWER PLAN, DETAILS, AND NOTES

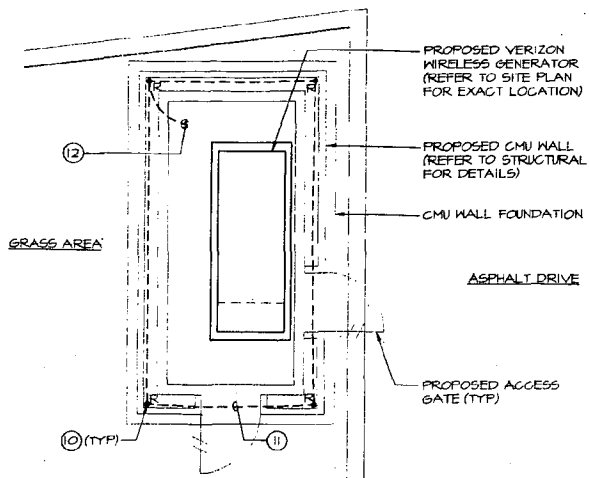
SHEET:  
**E-4**



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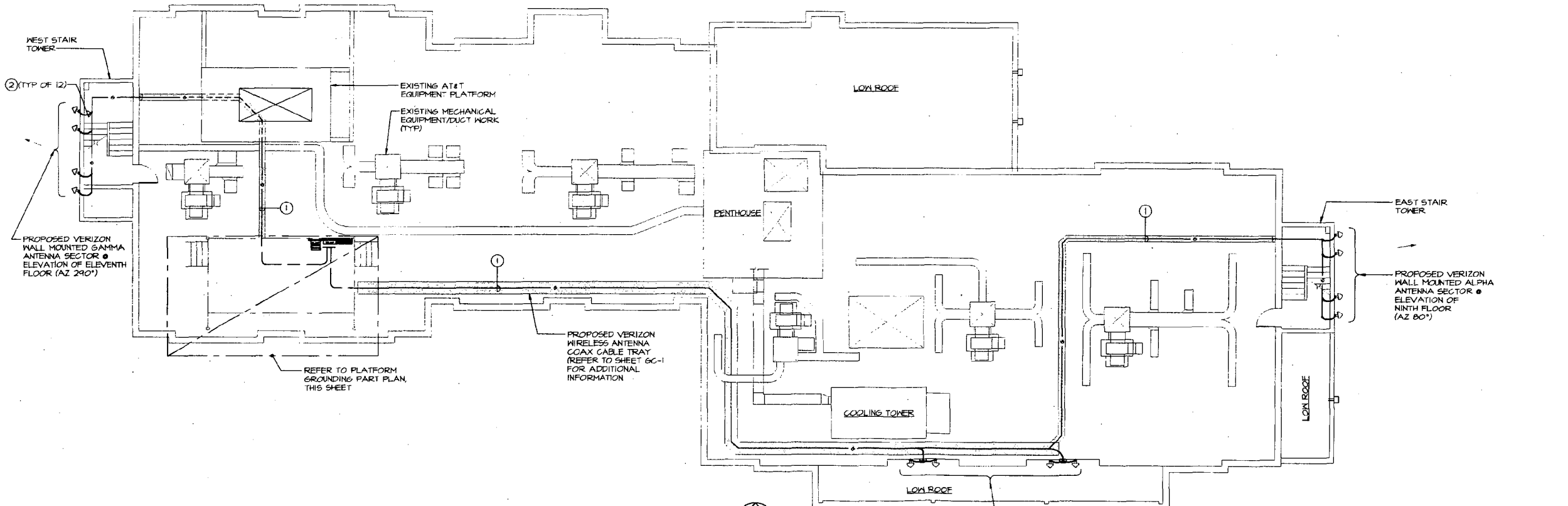
**PLATFORM GROUNDING PART PLAN**  
SCALE: 1/4"=1'-0"



**GENERATOR GROUNDING PART PLAN**  
SCALE: 1/4"=1'-0"

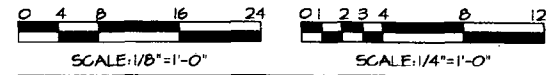
**DRAWING NOTES**

- ① EXTEND #2 AWG, GREEN INSULATED, STRANDED COPPER GROUND CONDUCTOR FOR BONDING CONNECTION OF ROOF GROUND RING. EXTEND GROUND CONDUCTOR WITH ANTENNA CABLES AND BOND TO GROUND BAR ON NEW BACKBOARD. REFER TO SHEET GC-1 FOR ROUTING OF NEW ANTENNA COAX CABLES.
- ② PROVIDE BONDING CONNECTION BETWEEN ANTENNA MAST AND ROOF GROUND CONDUCTOR.
- ③ PROVIDE AND INSTALL 24"x3"x1/4" THICK GROUND BAR MOUNTED ON INSULATED STANDOFFS (MASTER GROUND BAR).
- ④ PROVIDE BONDING CONNECTION FROM ENCLOSURE OF INTEGRATED LOAD CENTER PANEL TO MASTER GROUND BAR.
- ⑤ EXTEND GROUND CONDUCTOR FROM METAL ENCLOSURE OF EQUIPMENT JUNCTION BOXES MOUNTED ON BACKBOARD AND CONNECT TO MASTER GROUND BAR PLATE.
- ⑥ EXTEND #4/0 INSULATED, COPPER GROUND CONDUCTOR FROM GROUND BAR MOUNTED ON BACKBOARD AND CONNECT TO STREET SIDE OF EXISTING MAIN WATER SERVICE LOCATED IN THE MAINTENANCE SHOP ON LOWER LEVEL. REFER TO ROUTING PLANS, SHEET E-3 ADDITIONAL ROUTING INFORMATION.
- ⑦ EXTEND #2 AWG, BARE, TINNED, SOLID COPPER GROUND CONDUCTOR FROM BATTERY AND BOND TO GROUND BAR.
- ⑧ EXTEND #2 AWG, BARE, TINNED, SOLID COPPER GROUND CONDUCTOR FROM PROPOSED EQUIPMENT CABINETS PER MANUFACTURER'S REQUIREMENTS.
- ⑨ EXTEND #2 AWG, BARE, TINNED, SOLID COPPER GROUND CONDUCTOR FROM MGB TO PROPOSED STEEL PLATFORM FRAMING (TYP. OF 2, 180" APART).
- ⑩ PROVIDE 5/8" Ø x 8'-0" LONG COPPER CLAD, STEEL GROUND ROD IN NEW CONCRETE FOUNDATION. GROUND ROD SHALL BE DRIVEN VERTICALLY INTO GRADE SO THAT TOP OF GROUND ROD IS 6" ABOVE BOTTOM OF SHELTER FOOTING. COORDINATE EXACT PLACEMENT WITH FOUNDATION INSTALLING CONTRACTOR.
- ⑪ PROVIDE UFER GROUND RING CONSISTING OF #2 AWG, BARE, TINNED, SOLID COPPER CONDUCTOR. UFER GROUND RING SHALL BE INSTALLED WITHIN CONCRETE FOUNDATION AND ADEQUATELY SECURED TO STRUCTURAL REBAR EVERY 24" ON CENTER. ALL CONNECTIONS TO UFER GROUND RING SHALL BE CADWELDED. COORDINATE PLACEMENT OF GROUND RING AND ASSOCIATED RODS WITH STRUCTURAL DRAWINGS AND INSTALLING CONTRACTOR IN THE FIELD.
- ⑫ EXTEND #2 AWG, BARE, TINNED, SOLID COPPER GROUND CONDUCTOR FROM GROUND ROD AND CONNECT TO GENERATOR FRAME PER MANUFACTURER'S RECOMMENDATIONS.
- ⑬ PROVIDE BONDING CONNECTION FROM NEW EQUIPMENT BACKBOARD AND BOND TO MASTER GROUND BAR.



**ANTENNA GROUNDING PLAN**  
SCALE: 1/8"=1'-0"

NOTE:  
PLAN IS FOR INFORMATIONAL PURPOSES ONLY. ROOF GROUND RING CONDUCTOR SHALL FOLLOW SAME PATH AS NEW ANTENNA CABLES. REFER TO SHEET GC-1 FOR ROUTING OF NEW ANTENNA COAX CABLES TO EACH ANTENNA SECTOR.



**GSE**  
GLOCK SMIDT  
ENGINEERING, INC.  
1374 W. JARROTTSVILLE ROAD  
FOREST HILL, MARYLAND 21050  
PHONE: 410-326-1100  
FAX: 410-326-1101

PROFESSIONAL ENGINEER  
NO. 21589  
STATE OF MARYLAND

**verizon wireless**  
**PINEY BRANCH**  
(MONTGOMERY CO., MARYLAND)

REVISIONS:

NO	DESCRIPTION	DATE
1	END DRAWING	10/26/06
2	GEN LOCATION	3/1/06
3	GEN LOCATION	2/3/06
4	FINAL DRAWING	1/16/06
5	PERMIT DWG	6/23/05

LAST REV:  
PROJECT NO: 050031  
DATE: JUNE 23, 2005  
SCALE: AS NOTED

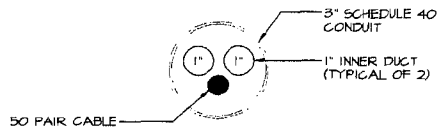
TITLE:  
**GROUNDING PLANS AND NOTES**

SHEET:  
**E-5**

A B C D E F G H J K L M N P Q R

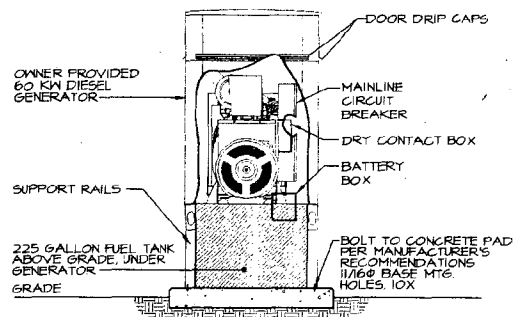
**GENERAL NOTES - GROUNDING**

- ALL BENDS SHALL BE MADE WITH THE GREATEST PRACTICAL RADIUS AND SHALL NOT BE LESS THAN ONE (1) FOOT.
- USE OF 90° BENDS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
- PROVIDE ANDREW 36" GROUNDING CABLE REQUIRING FIELD ATTACHABLE CRIMP-ON LUGS. DO NOT USE THE LUGS PROVIDED WITH THE GROUNDING KIT. PROVIDE TWO HOLE LUGS AS SHOWN IN COAXIAL ANTENNA CABLE GROUNDING DETAIL. GROUNDING CABLE SHALL BE CUT TO SHORTEST LENGTH POSSIBLE. ALL BONDING CONNECTIONS TO THE EXTERIOR GROUND BAR PLATE SHALL BE MADE USING STAINLESS STEEL NUTS AND BOLTS. CORROSION INHIBITOR SHALL BE APPLIED BETWEEN NUTS AND BOLTS AND GROUND BAR PLATE.
- ALL EXTERIOR GROUND CONDUCTORS SHALL BE #2 AWG BARE, TINNED SOLID COPPER, UNLESS NOTED OTHERWISE.
- ALL GROUND CONNECTIONS ABOVE GRADE SHALL BE TWO-HOLE COPPER COMPRESSION TYPE WITH STANDARD LENGTH BARRIL (BURNIDY # Y42CL - 2TC14E1) UNLESS OTHERWISE SPECIFIED. SINGLE HOLE LUGS ARE NOT ACCEPTABLE.
- ALL GROUNDING SHALL BE IN ACCORDANCE WITH VERIZON BALTIMORE/WASHINGTON REGION GROUNDING STANDARDS.
- ALL MOUNTING HARDWARE FOR EXTERIOR LOCATIONS SHALL BE STAINLESS STEEL, INCLUDING NUTS, BOLTS, FLAT AND LOCK WASHERS.
- ALL EXTERIOR MECHANICAL CONNECTIONS SHALL BE MADE USING OXIDE-INHIBITING JOINT COMPOUND. THE COMPOUND SHALL BE APPLIED TO ALL SURFACES OF BOLTS, WASHERS, NUTS AND CONNECTING SURFACES OF GROUND BAR PLATES. ALL BARE COPPER SURFACES OF CONDUCTORS SHALL BE COATED PRIOR TO LUGGING. JOINT COMPOUND SHALL BE BURNIDY ELECTRICAL PENTREX E, OR EQUIVALENT.
- TYPICAL SPECIFIED DIRECTIONAL/BI-DIRECTIONAL BONDING CONNECTIONS SHALL BE MADE USING DOUBLE CRIMP TYPE 'C' TAP CONNECTORS.
- ALL EXPOSED EXOTHERMIC WELD CONNECTIONS SHALL BE SPRAYED WITH COLD-GALVANIZE AFTER COOL DOWN.
- ALL CONDUIT USED AS SLEEVES FOR GROUNDING OR BONDING CONDUCTORS SHALL BE PVC.
- PRIOR TO START OF GROUNDING WORK, THE CONTRACTOR SHALL OBTAIN THE LATEST COPY OF THE VERIZON BALTIMORE/WASHINGTON REGION GROUNDING STANDARDS. ANY OMISSION OF INFORMATION ON THIS DOCUMENT DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY. ALL VERIZON GROUNDING REQUIREMENTS SHALL BE MET AS OUTLINED IN VERIZON'S GROUNDING STANDARDS.

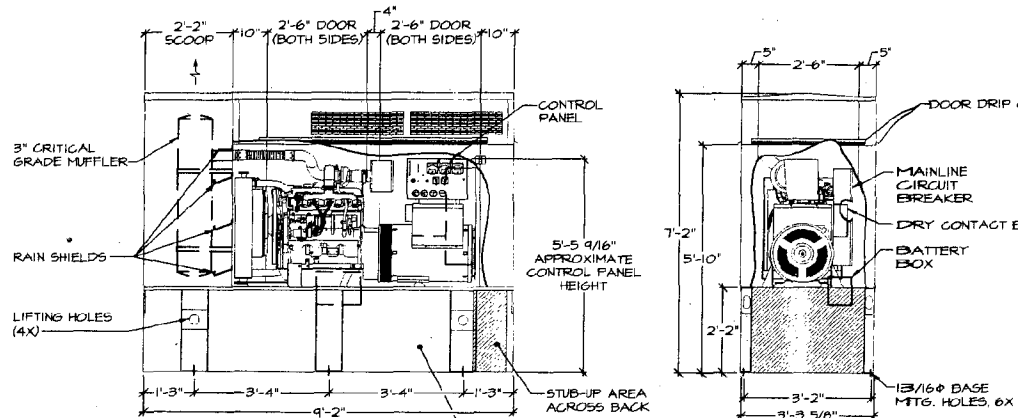
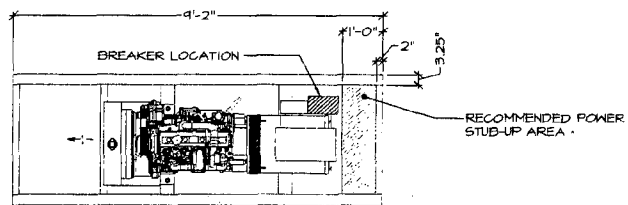


**DETAIL - 3" TELCO CONDUIT**  
NO SCALE

NOTE: ENTIRE TELCO CONDUIT PATHWAY SHALL NOT CONTAIN ANY LB FITTINGS. ALL BENDS SHALL BE OF LONG SNEEPS OR MADE BY USING JUNCTION BOXES.

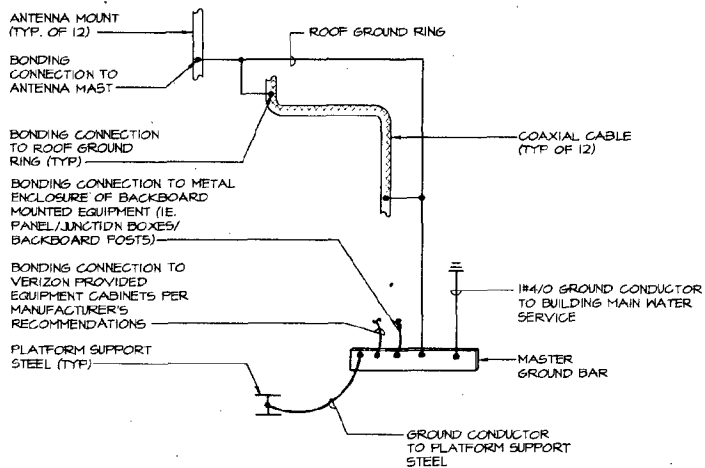


**DETAIL - GENERATOR**  
NO SCALE



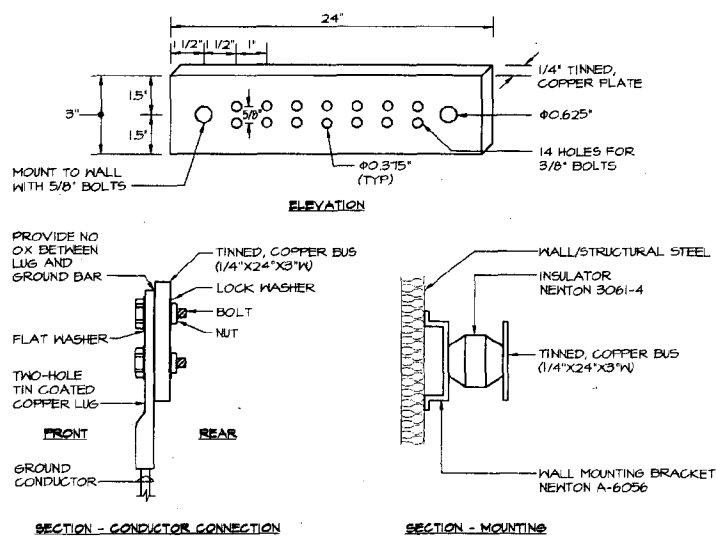
- NOTES:
- UNIT OFFSET LEFT 1/2"
  - MUFFLER NOT SHOWN ON TOP VIEW
  - APPROXIMATE WEIGHTS:  
DRY WEIGHT: 3550#  
WET WEIGHT: 5150#
  - REFERENCE TANK DRAWING 109-621
  - REFERENCE ENCLOSURE DRAWING 103-235-ALUM
  - TOP VIEW SHOWN LESS ENCLOSURE
  - SOUND LEVEL: 65 DBA @ 25'

**DETAIL - 60 KW KATOLIGHT GENERATOR**  
NO SCALE

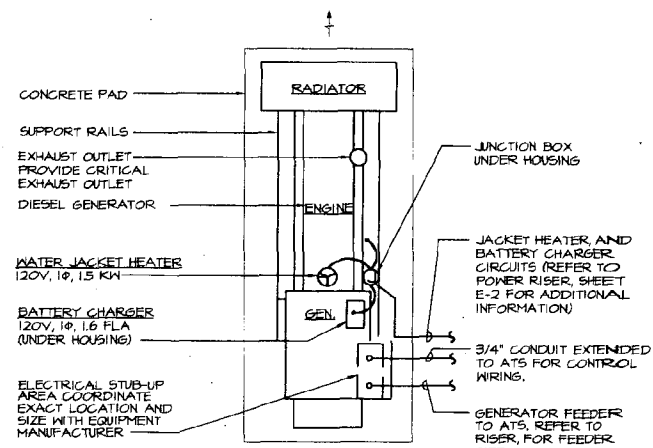


NOTE: ALL GROUND CONDUCTORS SHALL BE #2 AWG COPPER UNLESS OTHERWISE STATED.

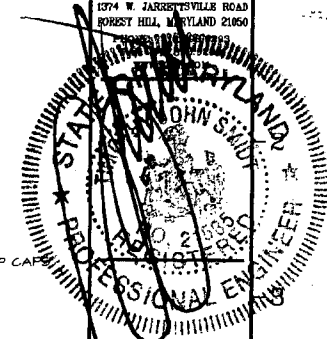
**GROUNDING SYSTEM DIAGRAM**  
NO SCALE



**DETAIL - EXTERIOR GROUND BAR (EGB)**  
NO SCALE



**DETAIL - GENERATOR CONNECTION**  
NO SCALE

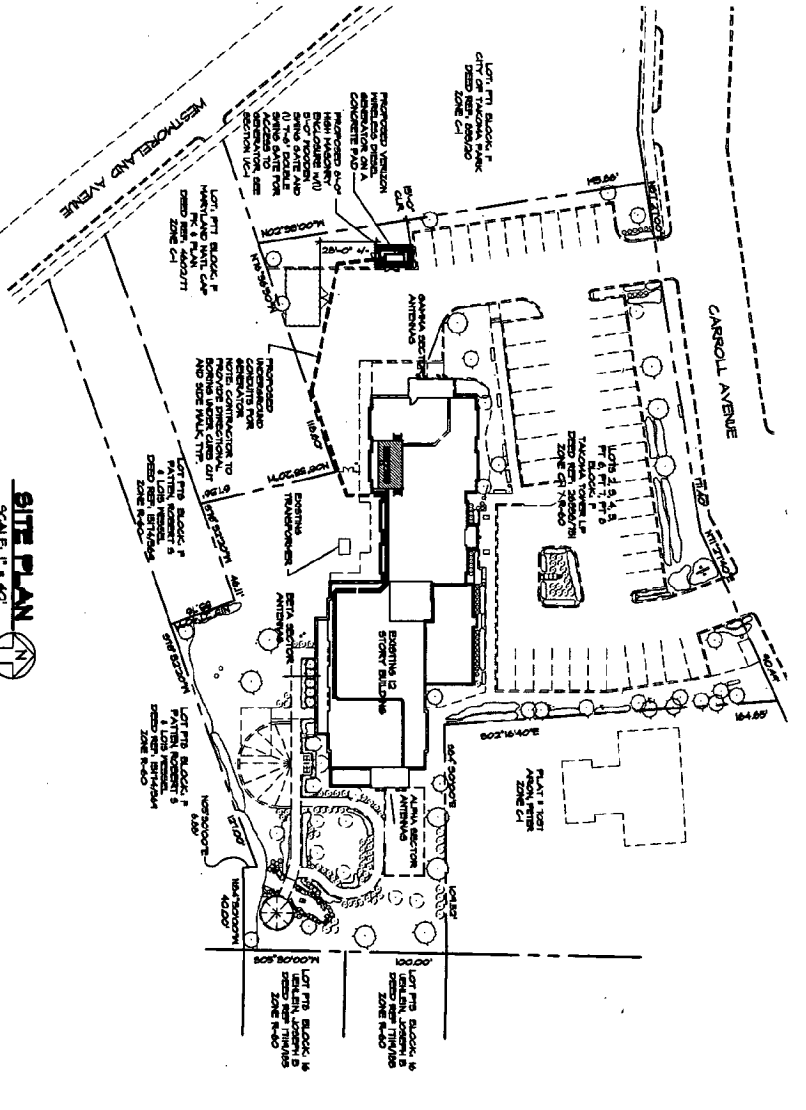


verizon wireless  
PINEY BRANCH  
(MONTGOMERY CO., MARYLAND)

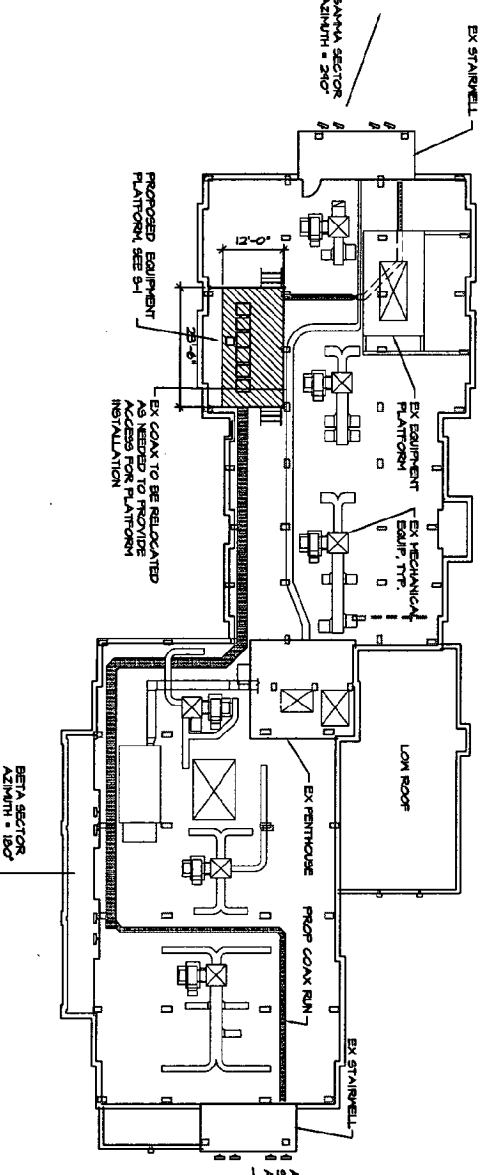
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NO.	DESCRIPTION	DATE
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2	GEN. LOCATION	3/1/06
3	GEN. LOCATION	2/3/06
4	FINAL DRAWING	4/6/05
5	PERMIT DING	6/23/05
LAST REV.:		
PROJECT NO: 050031		
DATE: JUNE 23, 2005		
SCALE: AS NOTED		
TITLE:		
GROUNDING RISER DIAGRAM, GENERAL NOTES AND DETAILS		

SHEET:  
E-6

A B C D E F G H I J K L M N P Q R



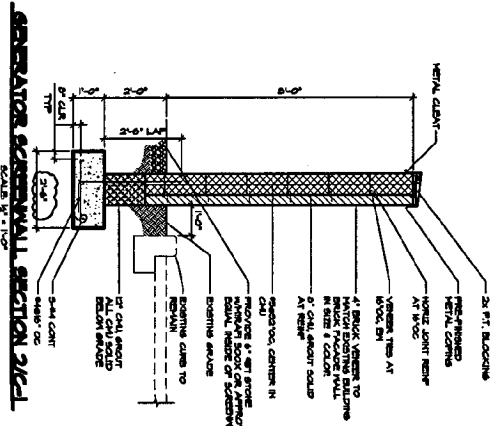
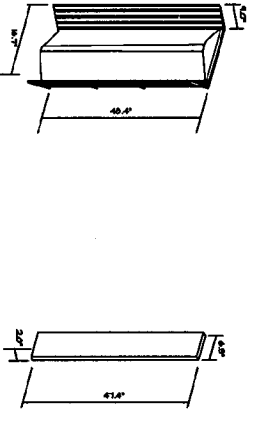
**SITE PLAN**  
SCALE: 1" = 40'



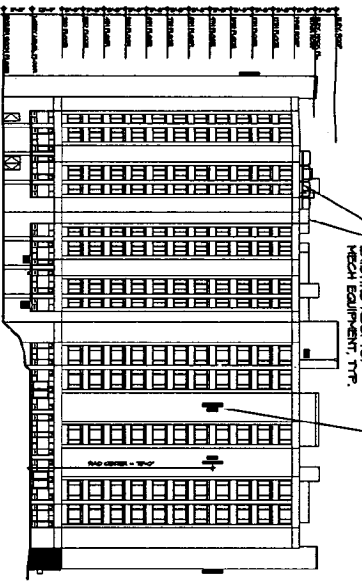
**EXISTING ROOF PLAN**  
SCALE: 1/4" = 1'-0"



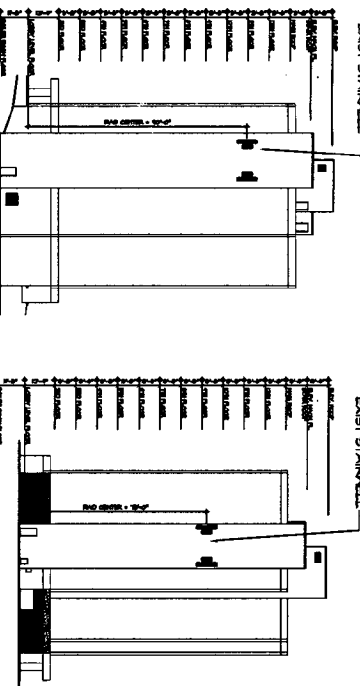
CS5 SA-1460-2D ANTEL BSA-185065/BCF-2D  
VERIZON - ANTENNA DETAILS  
NOT TO SCALE



**GENERATOR ENCLOSURE SECTION 2/2d**  
SCALE: 1/4" = 1'-0"

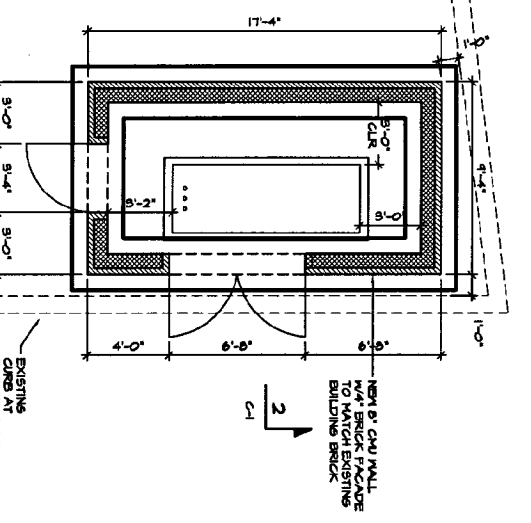


**SOUTH (BETA)**

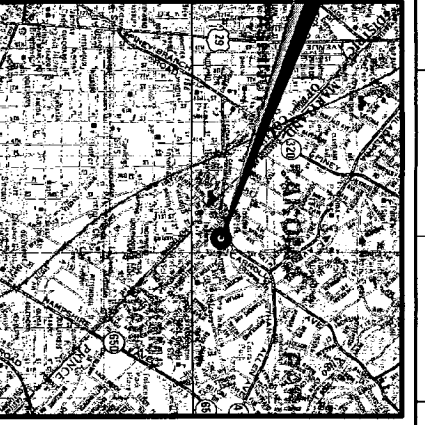


**EAST (ALPHA)**

**ELEVATIONS**  
NOT TO SCALE



**FOUNDATION PLAN 1/2c-1**  
SCALE: 1/4" = 1'-0"



**VICINITY MAP**  
NOT TO SCALE

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION AND STRUCTURE OF THE BUILDING TO BE OCCUPIED BY THE ANTENNAS AND SHALL BE RESPONSIBLE FOR ANY NECESSARY REPAIRS OR REINFORCEMENT.
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**verizon wireless**  
**TAKOMA TOWERS / PINEY BRANCH**  
Carroll Ave & Westmoreland Ave  
Montgomery County, MD

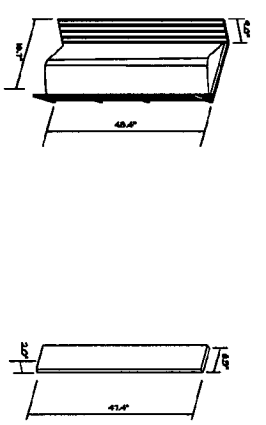
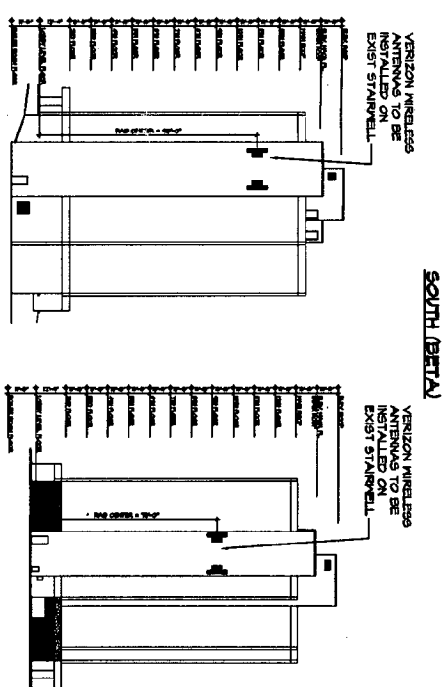
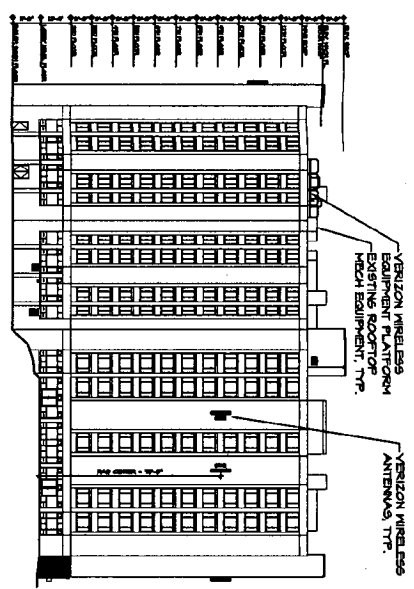
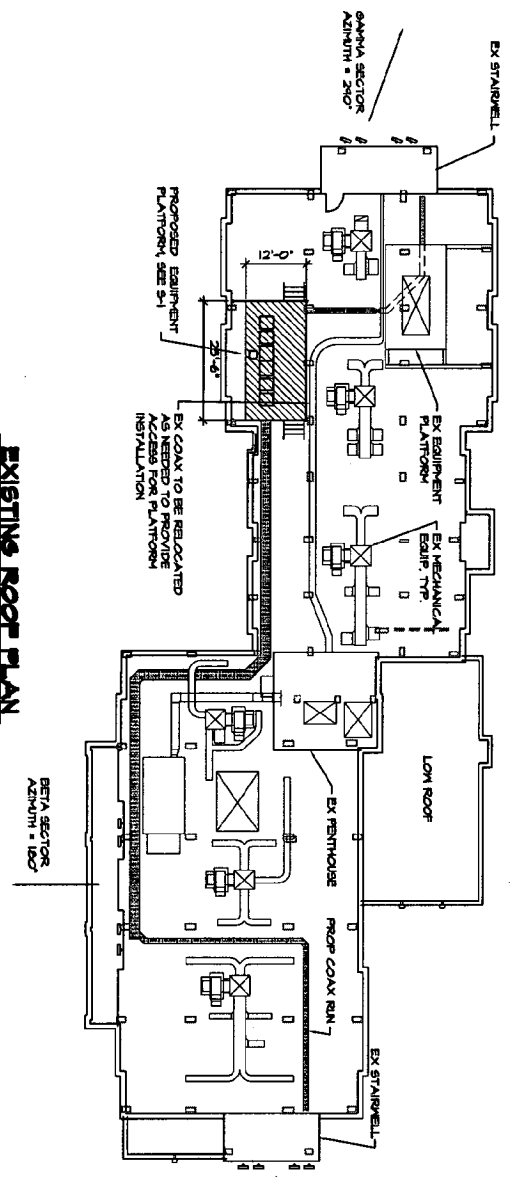
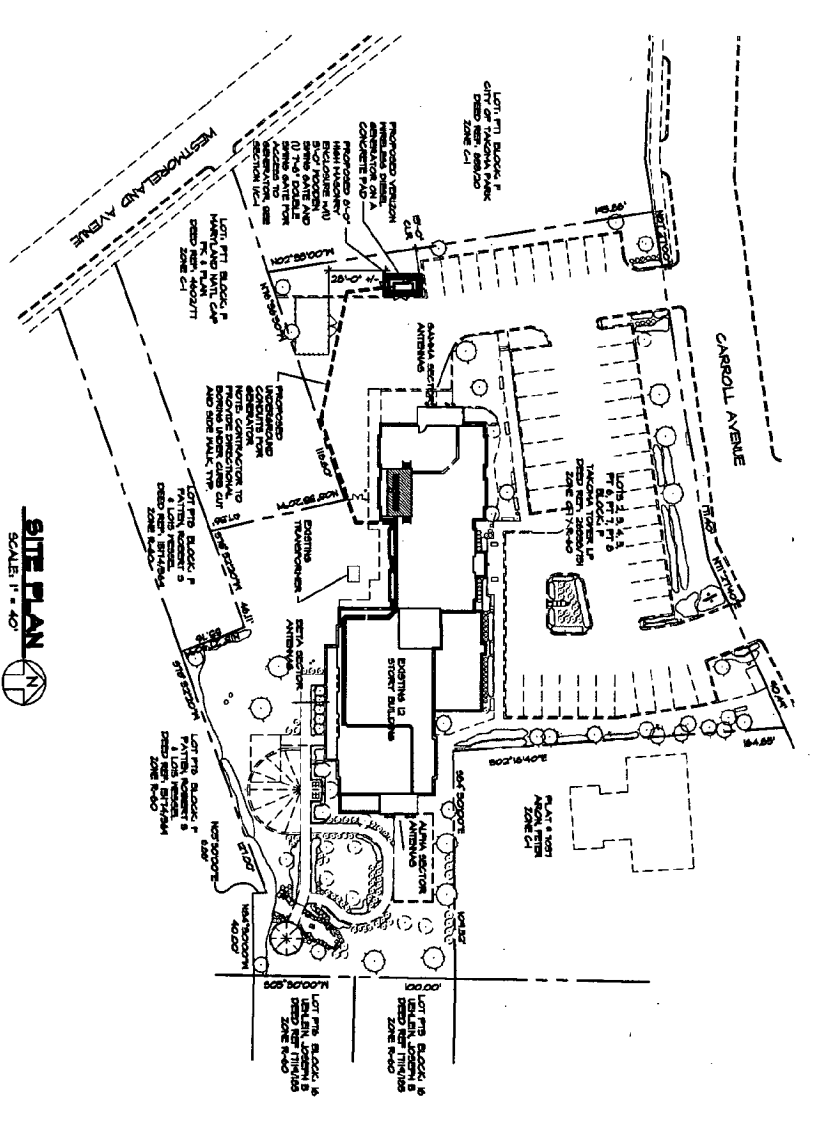
**GSE**  
GLOCK SMIDT  
ENGINEERING, INC.  
1574 K LANCASTER ROAD  
PRESTON, MD 21134  
PHONE: 410-485-8999  
FAX: 410-895-8995

**MIRA**  
MORRIS & RITCHIE  
ASSOCIATES, INC.  
2200 C STREET, SUITE 200  
BETHESDA, MD 20814  
PHONE: 301-462-1100  
FAX: 301-462-1101

NO.	DESCRIPTION	DATE
1	PROJECT DRAWINGS	2/2/07
2	REVISED DRAWINGS	2/2/07
3	REVISED DRAWINGS	2/2/07
4	REVISED DRAWINGS	2/2/07
5	REVISED DRAWINGS	2/2/07
6	REVISED DRAWINGS	2/2/07
7	REVISED DRAWINGS	2/2/07
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9	REVISED DRAWINGS	2/2/07
10	REVISED DRAWINGS	2/2/07

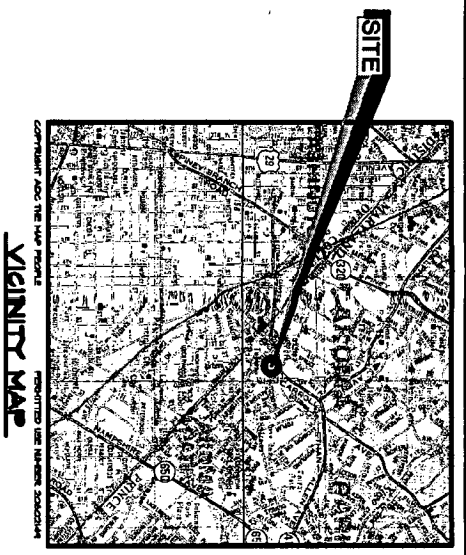
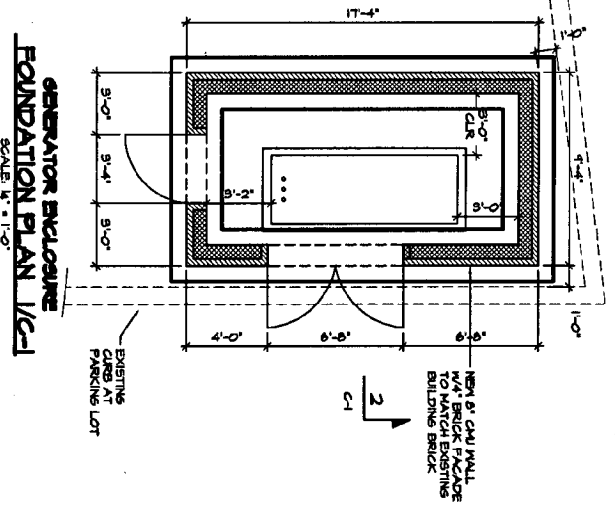
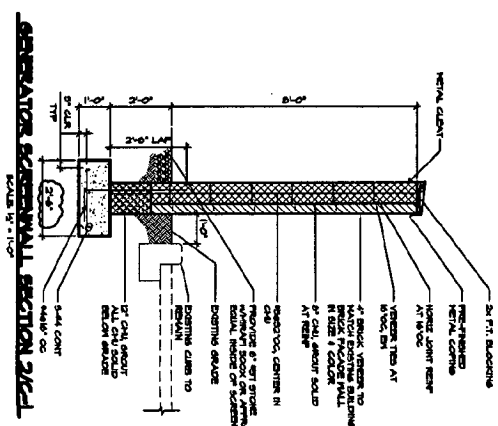
DATE: HEAD B, 2005  
SCALE: AS NOTED  
TITLE: Site Plan  
SHEET: C-1

A B C D E F G H J K L M N P Q R



**BEFORE YOU DIG!**  
CALL UTILITY LOCATION SERVICES ITS THE LAW! MISS UTILITY 1-800-257-7777

**CSS SA-1460-2D ANTEL BSA-185065/8CF-2D**  
**VERIZON - ANTENNA DETAILS**  
NOT TO SCALE



- GENERAL NOTES:**
1. THE PROPOSED ANTENNA SHALL BE LOCATED ON ONE (1) EXISTING ROOF PLATFORM AND THE (1) ANTENNA MOUNTED ON THE WALLS OF THE EXISTING 12' X 12' BUILDING STRUCTURE. THE ANTENNA SHALL BE MOUNTED ON A CONCRETE FOUNDATION. A 12' X 12' CONCRETE FOUNDATION SHALL BE PROVIDED FOR EACH ANTENNA. THE FOUNDATION SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER AND AT LEAST 4" THICK. THE FOUNDATION SHALL BE FINISHED WITH A 2" THICK CONCRETE TOP SURFACE. THE FOUNDATION SHALL BE FINISHED WITH A 2" THICK CONCRETE TOP SURFACE. THE FOUNDATION SHALL BE FINISHED WITH A 2" THICK CONCRETE TOP SURFACE.
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**GSE**  
GLOCK SMIDT  
ENGINEERING, INC.  
5741 & LEBANONVILLE ROAD  
PINEY BRANCH, MONTGOMERY COUNTY, MD 20885  
TEL: 410-683-8995  
FAX: 410-683-8996

**MIRA**  
MORSE & RITCHIE  
ASSOCIATES, INC.  
2000 LEE ROAD, SUITE 200  
BETHESDA, MD 20814  
TEL: 301-278-1100  
FAX: 301-278-1101

**verizon wireless**  
**TAKOMA TOWERS / PINEY BRANCH**  
Carroll Ave & Westmoreland Ave  
Montgomery County, MD

NO.	DESCRIPTION	DATE
1	REVISIONS	
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	
11	REVISIONS	

DATE: Nov 15, 2005  
SCALE: AS NOTED  
TITLE: Site Plan  
SHEET: C-1

# NETWORK BUILDING & CONSULTING

May 1, 2007

Montgomery County, Maryland Historic Preservation Commission  
MNCPPC  
1109 Spring Street  
8<sup>th</sup> Floor  
Silver Spring, Maryland

RE: HAWP Request- 7501 Carroll Avenue, Takoma Park, Maryland  
Applicant: Verizon Wireless

To Whom It May Concern:

Please supplement the pending HAWP request for Verizon Wireless at 7501 Carroll Avenue with the revised C-1 sheet. The revision shows the proposed rooftop shelter, to be shifted, approximately 10 feet.. This move is necessary in order to properly align shelter and it's platform with the supporting columns of the building. Verizon respectfully request that this minor change, be addressed that the Takoma Park's meeting on May 8 and the Montgomery County meeting on May 23, along with the current Verizon request for its generator at the same property.

Should you have any questions or concerns with this request, please feel to contact me at 240-401-0907.

Sincerely,



Stephanie Petway  
Zoning Consultant for Verizon Wireless  
Network Building & Consulting  
240-401-0907  
[spetway@nbcllc.com](mailto:spetway@nbcllc.com)

7380 COCA COLA DRIVE  
SUITE 106  
HANOVER, MARYLAND 21076

# NETWORK BUILDING & CONSULTING

May 1, 2007

Montgomery County, Maryland Historic Preservation Commission  
MNCPPC  
1109 Spring Street  
8<sup>th</sup> Floor  
Silver Spring, Maryland

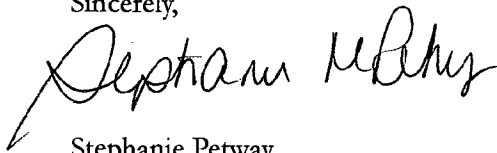
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Sincerely,



Stephanie Petway  
Zoning Consultant for Verizon Wireless  
Network Building & Consulting  
240-401-0907  
[spetway@nbcllc.com](mailto:spetway@nbcllc.com)

7380 COCA COLA DRIVE  
SUITE 106  
HANOVER, MARYLAND 21076



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: April 14, 2005

**MEMORANDUM**

TO: Robert Hubbard, Director

FROM: Tania Georgiou Tully, Senior Planner TGT  
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 377619

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with CONDITIONS**.

1. In addition to the antennas, any cables and mounting equipment will match the color of the existing building
2. The applicant should meet the conditions set forth in the attached April 13, 2005 letter from the City of Takoma Park's Façade Advisory Board.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Michael Coles  
c/o Takoma Towers L/P (Jacqueline Karp, Agent)

Address: 5430 Grosvenor Lane, Suite 210 Bethesda

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: April 14, 2005

MEMORANDUM

TO: Takoma Towers L/P (Jacqueline Karp, Agent)  
7051 Carroll Avenue, Takoma Park Historic District

FROM: Tania Georgiou Tully, Senior Planner <sup>TGT</sup>  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application # 377619

STAMPED 7/20/05 in JT's  
done

Your Historic Area Work Permit application for wireless antennas was approved with conditions by the Historic Preservation Commission at its April 13, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



# City of Takoma Park, Maryland

HOUSING AND  
COMMUNITY DEVELOPMENT

TELEPHONE: (301) 891-7119  
FAX: (301) 270-4568



7500 MAPLE AVENUE  
TAKOMA PARK, MD 20912

13 April 2005

Ms. Julia O'Malley, Chair  
Historic Preservation Commission  
1109 Spring Street, Suite 801  
Silver Spring, Maryland 20910

RE: HPC Case No. 37/03-050  
7051 Carroll Avenue, Takoma Park

Dear Ms. O'Malley:

The Takoma Park Facade Advisory Board met on Tuesday, April 12, 2005, to review the HAWP application submitted by Takoma Tower L/P for the installation of telecommunication antennae at 7051 Carroll Avenue. The application is to be considered by the Historic Preservation Commission on April 13, 2005.

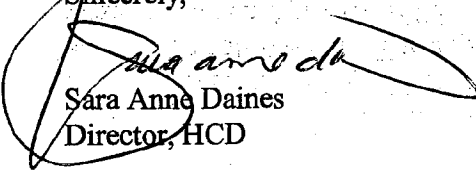
The Board found the proposal to be in general compliance with the design guidelines developed for the Old Town/Takoma Junction area and endorsed the proposal with the following recommendations:

- The elimination of the brick walls to be constructed around the equipment platform.
- All roof mounted equipment, including the proposed equipment platform and all existing mechanical equipment, be painted to match the color of the building's brick facade.
- All antennas and associated mounting equipment be painted to match the color of the building's brick facade.
- The elimination of any exposed cabling on the exterior facade of the building.

If you have any questions regarding our support of the pending HAWP, please call.

Thank you for the ongoing efforts of the Commission to preserve the unique architectural character of our historic business district.

Sincerely,

  
Sara Anne Daines  
Director, HCD

CC: Tania Tully, Historic Preservation Planner



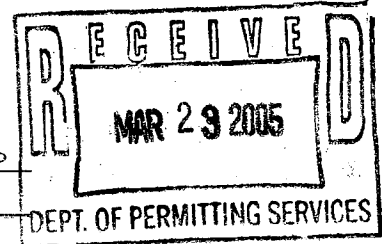
RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

Spec Exception

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT



Contact Person: Jacqueline M. Karp  
Daytime Phone No.: (703) 851-6777

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Takoma Towers LLP Daytime Phone No.: \_\_\_\_\_  
Address: 5430 Grosvenor Lane, Bethesda, MD 20912  
Street Number City State Zip Code  
Applicant: Verizon Wireless Phone No.: \_\_\_\_\_  
Contractor: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Jacqueline M. Karp Daytime Phone No.: (703) 851-6777  
(Network Building + Consulting)

**LOCATION OF BUILDING/PREMISE**  
House Number: 7051 Street: Cerrill  
Town/City: Takoma Park Nearest Cross Street: Westmoreland  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Litter: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  Move  Install  Wreck/Remove  Revision  Repair  Revocable  
CHECK ALL APPLICABLE:  A/C  Slab  Room Addition  Porch  Deck  Shed  Solar  Fireplace  Woodburning Stove  Fence/Wall (complete Section 4)  Other: Telecommunications Facility (as shown on attached drawings)  
1B. Construction cost estimate: \$ Approximately \$30,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: N/A  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: N/A

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jacqueline M. Karp Signature of owner or contractor Date: 3/23/05

Approved: with conditions for Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: Julia O'Malley Date: 4/13/05  
Application/Permit No.: 377619 Date Filed: 3/25/05 Date of Test: \_\_\_\_\_  
emc

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The proposed installation will be placed on an existing apartment building (Takoma Towers) at 7051 Carroll Avenue in Takoma Park.

When we called the Montgomery County Historic Preservation Commission, we learned that this parcel is within the jurisdiction of the Commission.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed installation will be painted to match the existing structure and will not be visible from nearby parcels. In addition, collocation on an existing building avoids more-obtrusive towers and antenna types. The proposed installation will not affect the historic character of the parcel.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

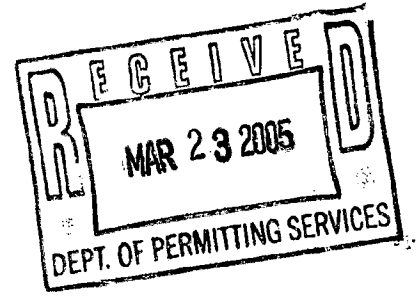
If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

(K)



March 23, 2005

Department of Permitting Services  
255 Rockville Pike  
Rockville, MD 20850

RE: Proposed Telecommunications Installation  
Verizon Wireless  
Site: Takoma Towers (7051 Carroll Ave., Takoma Park)

To Whom It May Concern:

In support of our application for proposed telecommunications facilities at the above-named site, please find each of the following:

- (1) Completed Application for Historic Area Work Permit;
- (2) Mailing addresses for notification of adjacent property owners;
- (3) Photo simulations of the proposed facilities; and
- (4) Two (2) sets of 8-1/2" x 11" site plans.

Please feel free to call me at (703) 851-6777 with any questions or concerns.

Best Regards,

*Jacqueline M. Karp*

Jacqueline M. Karp  
Zoning Manager  
Network Building & Consulting, LLC  
Consultants to Verizon Wireless









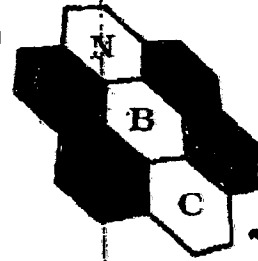


**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>                  Takoma Tower L/P                  5430 Grosvenor Ln., Suite 210                  Bethesda, MD 20912</p>	<p><b>Owner's Agent's mailing address</b>                  Michael Coles (% Takoma Towers L/P)                  5430 Grosvenor Ln., Suite 210                  Bethesda, MD 20912</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>7053 Carroll Avenue LLC                  203 Hilltop Rd.                  Silver Spring, MD 20910</p>	<p>James M. Greenan                  5804 McLean Dr.                  Bethesda, MD 20814</p>
<p>SBK, LLC                  7003 Sycamore Ave.                  Takoma Park, MD 20912</p>	<p>Peter Aron                  7212 Willow Ave.                  Takoma Park, MD 20912</p>
<p>Robert S. Petten + Lois Wessel                  7005 Westmoreland Ave.                  Takoma Park, MD 20912</p>	<p>Md. National Capital Park + Planning Comm'n                  8787 Georgia Ave.                  Silver Spring, MD 20910</p>

<p>City of Takoma Park 7500 Maple Ave. Takoma Park, MD 20912</p>	<p>Joseph B. Uehlein 11 Pine Ave. Takoma Park, MD 20912</p>
--	---

NETWORK  
 BUILDING &  
 CONSULTING, LLC



☺

To:

NAME Tanya Tully	DATE AND TIME OF TRANSMISSION 3/31, 1:15PM
COMPANY Mont. County Historic Pres. Committee	FAX NUMBER 301-563-3412

☺

From:

NAME Jackie Karp	SENDER'S PHONE 703-857-6777
---------------------	--------------------------------

☺

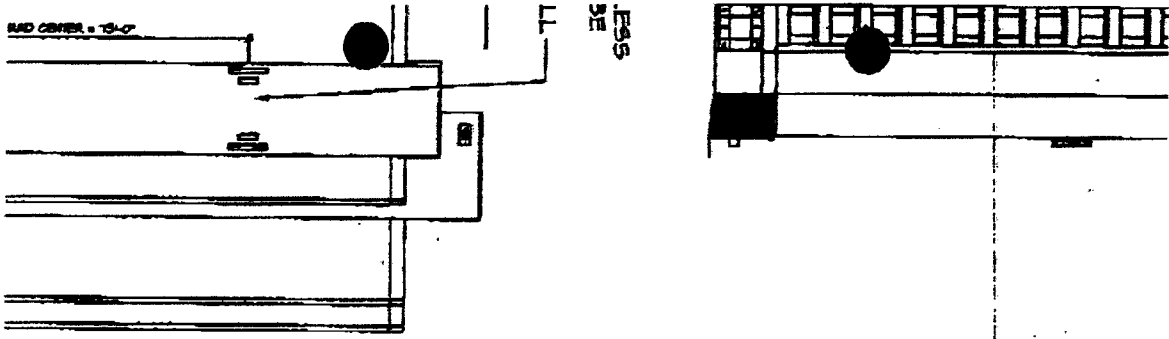
Reference:

SUBJECT: Takoma Towers... Enlarged copy of text
--

**This Facsimile Message May Contain Confidential or Proprietary Information. If the reader of this message is not the intended recipient, you are notified that any disclosure, distribution or reproduction of this facsimile is strictly prohibited. If you have received this facsimile in error, please notify the sender immediately to arrange for the return of the original transmission at no cost to you.**

☺

Tanya,  
 Attached please find zoomed-in versions of the text/notes on the zoning drawings we submitted on behalf of Verizon Wireless. Please call me w/ questions.  
 Thank you for your recommendation of approval for our proposal.  
 Best Regards, Jackie Karp



**PER SECTION 22-43(b)(4)**

1. THE ABOVE SHALL CONFORM WITH THE FOLLOWING STANDARDS, A. ALL SIGNS OR OTHER PROTRUSING DEVICES SHALL BE CONSIDERED WITH THE OPACQUE EXTENSION OF A STRUCTURE OR BE ATTACHED TO A PUBLIC UTILITY, RADIO, TELEVISION OR TELECOMMUNICATIONS BROADCASTING TOWER/MONOPOLAR, A LIGHT POLE, A HELIOPHOTOGRAPHIC SHELLING AT LEAST 8 STORES HEIGHT A STRUCTURE OWNED BY A MUNICIPALITY, THE BOARD OF EDUCATION FOR PUBLIC SCHOOLS COUNTY OR A STRUCTURE OWNED AND PRIMARILY USED BY A GOVERNMENT AGENCY THAT IS EXEMPT FROM THE REQUIREMENTS OF THIS SUBTITLE; B. IT SHALL NOT EXCEED MORE THAN 15' ABOVE THE HEIGHT OF THE TOWER OR STRUCTURE TO WHICH IT IS ATTACHED; C. IT SHALL NOT EXCEED THE FOLLOWING DIMENSIONS: (I) TWENTY FEET IN LENGTH AND SEVEN INCHES IN DIAMETER FOR PIPES, (II) TEN FEET IN LENGTH AND TWO FEET IN WIDTH FOR PANELS, (III) SEVEN FEET IN DIAMETER FOR PARABOLIC DISKS (IV) SEVEN FEET IN DIAMETER FOR CYLINDERS, OR D. ON PRIVATELY OWNED LAND, IT SHALL NOT SUPPORT LIGHTS OR SIGNS UNLESS REQUIRED FOR AIRCRAFT WARNING OR OTHER SAFETY REASONS; E. THE RELATED TELECOMMUNICATIONS EQUIPMENT BUILDING OR ENCLOSURE SHALL CONFORM WITH THE FOLLOWING STANDARDS, A. IT SHALL NOT EXCEED 8 FEET IN GROSS FLOOR AREA OR 12' FEET IN HEIGHT; B. WHEN ATTACHED TO AN EXISTING BUILDING, IT SHALL MATCH THE CONSTRUCTION MATERIAL AND COLOR(S) OF THAT BUILDING; C. WHEN CONSTRUCTED AS A FREE-STANDING BUILDING, IT SHALL BE CONSTRUCTED OF BRICK AND ITS DESIGN SHALL COORDINATE WITH THE DESIGN OF ANY EXISTING MAIN BUILDING ON THE SAME LOT OR ON AN ADJOINING LOT; D. THE BUILDING OR ENCLOSURE SHALL BE UNMANNED WITH INFREQUENT GOER OR FEWER PER YEAR VISITS BY MAINTENANCE PERSONNEL, AND WITH ACCESS AND PARKING FOR NO MORE THAN ONE VEHICLE

N.T.S.

**SITE NOTES**

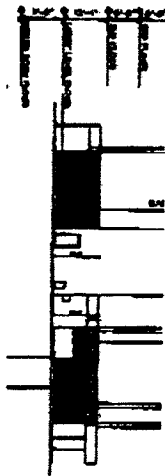
1. APPLICANT: VERIZON WIRELESS  
4000 JUNCTION DRIVE  
ANNAPOLIS JUNCTION, MD 20710  
TEL. (301) 512-3000  
FAX (301) 512-3186
- APPLICANT'S ATTORNEY: M.A. DIAMOND  
THE LAW OFFICES OF M. GREGG DIAMOND, P.C.  
4416 EAST WEST HIGHWAY SUITE 400  
BETHESDA, MARYLAND 20814-4866  
(301) 634-8181
2. PROPERTY OWNER: TAKOMA TOWER LP  
8480 GROSSVENOR LN SUITE 210  
BETHESDA, MD 20814-3100  
CONTACT:
3. SITE DATA: TAX MAP JN41, PARCEL 2  
PLAT: TAX ACCOUNT, 01072074  
DEED BOOK: 26380 PAGE: 751  
TRACT AREA: 1.82 AC +/-  
ELECTION DISTRICT: 18TH  
ADDRESS: TORI CARROLL AVE  
TAKOMA PARK, MD 20912  
EXISTING USE: COMMERCIAL
4. CURRENT ZONING: R-60

**rizon wireless**

OWNERS / PINEY BRANCH

estmoreland Ave

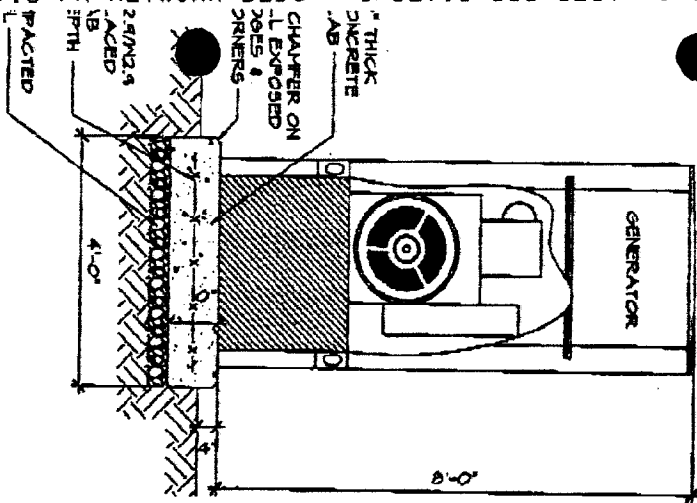
111 MD



EAST (ALPHA)

ELEVATIONS

NOT TO SCALE



SECTION 1/S-1  
SCALE 1/4" = 1'-0"

1. LATTICES: NORTH BUILT. SECOND ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER) ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER) ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER)
2. LATTICES: NORTH BUILT. SECOND ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER) ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER) ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER)
3. HORIZONTAL & VERTICAL CORNER, BROWN HORIZONTAL IS BASED ON A 5/8" OBSERVATION TAKEN BY JOHN G. HELLERBAUM INC. ON FEBRUARY 4, 2004.
4. BUILDING CORNER: HORIZONTAL CORNER: 2002.6' ANGL. (AT BUILDING CORNER) ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER) ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER)
5. BUILDING CORNER: HORIZONTAL CORNER: 2002.6' ANGL. (AT BUILDING CORNER) ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER) ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER)
6. BUILDING CORNER: HORIZONTAL CORNER: 2002.6' ANGL. (AT BUILDING CORNER) ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER) ELEVATION: 2002.6' ANGL. (AT BUILDING CORNER)
7. THE PROPOSED FACILITIES WILL CONSIST OF ONE (1) 120KV/575V STEEL PLATFORM AND TWELVE (12) ANTENNAS MOUNTED ON THE WALLS OF THE EXISTING 120' TALL BUILDING BETWEEN THE 7TH FLOOR AND THE 9TH FLOOR FOR TRANSMISSION AND RECEPTION OF WIRELESS TELECOMMUNICATIONS. A NEW GENERATOR SHALL BE INSTALLED AT GRADE ON A 10' x 10' CONCRETE PAD.
8. THE STRUCTURES WILL NOT SUPPORT LIGHTS OR OTHER UTILITIES REQUIRED FOR AIRCRAFT MAINTENANCE OR OTHER SAFETY REQUIREMENTS.
9. THE APPLICANT WILL PROVIDE A CERTIFICATION FROM A REGISTERED ENGINEER THAT THE STRUCTURES WILL MEET THE APPLICABLE DESIGN STANDARDS FOR WIND LOADS, OR THE ELECTRONIC INDUSTRIES ASSOCIATION (EIA).
10. IF THE ANTENNAS ARE NO LONGER USED FOR TELECOMMUNICATIONS PURPOSES FOR A CONTINUOUS PERIOD OF ONE (1) YEAR THEY SHALL BE REMOVED BY THE ANTENNA OWNER AT OWNER'S EXPENSE.
11. NO WATER OR SANITARY UTILITIES ARE REQUIRED FOR THE OPERATION OF THIS FACILITY.
12. THIS SITE IS SUBJECT TO THE FOREST CONSERVATION ACT APPLICABLE TO HANCOCK COUNTY PROTECTED UNDER THE FOREST CONSERVATION ACT, CHAPTER 22A, SECTION 22A-56(a)(1).
13. STORAGE/HAZARD MANAGEMENT: NO STORAGE/HAZARD MANAGEMENT IS REQUIRED FOR THIS SITE.
14. BOUNDARY SHOWN FROM COUNTY RECORDS. EXISTING SITE FEATURES SHOWN PER EXISTING DRAWINGS BY H&A ARCHITECTS, WITH A REVISION DATE OF MARCH 17, 2004.
15. THIS PLAN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. PLAN IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
16. ALL DETAILS SHOWN ARE STANDARD OR TYPICAL FOR REFERENCE ONLY. FOR ACTUAL DETAILS, SEE ARCHITECTURAL, STRUCTURAL, OR CONSTRUCTION PLANS BY OTHERS.
17. THE COMMUNICATION PLATFORM SHALL BE UNMANNED WITH INSUFFICIENT VISIBILITY FROM OR NEAR PUBLIC TRAVEL BY UNMANNED PERSONNEL, AND WITH ACCESS AND EGRESS TO THE PLATFORM FROM ONLY ONE VEHICLE. THE PROPOSED FACILITY IS NOT FOR HUMAN HABITATION AND THEREFORE HUMAN ACCESS IS NOT REQUIRED.
18. THE PROPOSED COMMUNICATIONS PLATFORM, ANTENNAS AND RELATED HEATING DEVICES DO NOT EXCEED TWELVE (12) FEET IN TOTAL HEIGHT.

**ve**

TAKOMA TC  
Carroll Ave & W  
Montgomery Count

REVISIONS:

NO.	DESCRIPTION	DATE
1	Issue Consulted	02/16/05

LAST REV: \_\_\_\_\_

PROJECT NO: 10427111

DATE: March 15, 2005

SCALE: AS NOTED

TITLE: \_\_\_\_\_

Site Plan

SHEET: \_\_\_\_\_

C-1

11

H

J

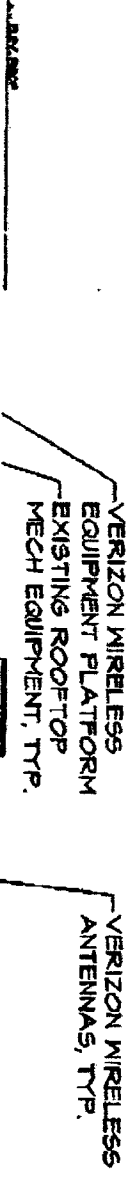
K

L

M

GENERAL NOTES

1. CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-291-7777) 48 HOURS PRIOR TO DOING ANY EXCAVATION IN THIS AREA. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT AS NECESSARY. LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. DAMAGE TO UTILITIES OR PROPERTY OF OTHER BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES, THE LATEST EDITION THEREOF.
3. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
4. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS.
5. THESE PLANS ARE NOT FOR RECORDATION OR CONVEYANCE.
6. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.





**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	7051 Carroll Avenue, Takoma Park	<b>Meeting Date:</b>	04/13/05
<b>Applicant:</b>	Takoma Towers L/P (Jacqueline Karp, Agent)	<b>Report Date:</b>	04/06/05
<b>Resource:</b>	Non-Contributing Resource <b>Takoma Park Historic District</b>	<b>Public Notice:</b>	03/30/05
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	37/03-050	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Wireless antennas	<b>RECOMMENDATION:</b>	Approval with conditions

**STAFF RECOMMENDATION:**

Staff is recommending approval with the following condition:

- In addition to the antennas, any cables and mounting equipment will match the color of the existing building.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource within the **Takoma Park Historic District**  
**DATE:** post 1935

**PROPOSAL:**

The applicant is proposing to install twelve antenna panels on three sides of the non-contributing 12-story Takoma Towers building. (eight 4'x 0.5' and four 4'x 1' as shown on Circles 6-9) The antennas will be painted to match the existing building. The antennas will be accompanied by a 12'x25' steel equipment platform mounted on the roof of the building. An 8' generator will also be installed on a 10'x4' concrete pad at the base of the building near an existing transformer.

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.



### ***Takoma Park Historic District***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

### ***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

### **STAFF DISCUSSION**

The proposed antennas will match the color of this non-contributing building and not have an adverse effect on the Historic District. Staff recommends that any mounting equipment and cables also be matched in color to the existing building. Due to the color and the height of installation, the antennas will be minimally noticeable.

Telecommunication antennas require a Special Exception from the County. Typically staff would require the applicant to get the special exception prior to obtaining a HAWP. However, due to the beginning nature of this application, staff recommend that the applicant move forward with both applications simultaneously. The applicants should proceed to the County to receive any other required permits.

### **STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter

24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation*.

and provided the conditions listed on Circle 1 are met;

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



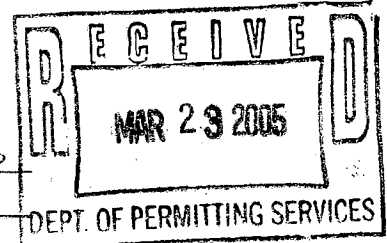
RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

Spec Exception

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT



Contact Person: Jacqueline M. Karp  
Daytime Phone No.: (703) 851-6777

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Takoma Towers LLP Daytime Phone No.: \_\_\_\_\_  
Address: 5430 Grosvenor Lane, Bethesda, MD 20912  
Street Number City State Zip Code  
Applicant: Verizon Wireless Phone No.: \_\_\_\_\_  
Contractor: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Jacqueline M. Karp Daytime Phone No.: (703) 851-6777  
(Network Building + Consulting)

**LOCATION OF BUILDING/PREMISE**  
House Number: 7051 Street: Cecroll  
Town/City: Takoma Park Nearest Cross Street: Westmoreland  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
- Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed
- Move  Install  Wreck/Reuse  Solar  Fireplace  Woodburning Stove  Single Family
- Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: Telecommunications Facility (as shown on attached drawings)
- 1B. Construction cost estimate: \$ Approximately \$30,000
- 1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: N/A
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: N/A

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jacqueline M. Karp 3/23/05  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 377619 Date Filed: 3/23/05 Date Issued: \_\_\_\_\_  
Emc

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The proposed installation will be placed on an existing apartment building (Takoma Towers) at 7051 Carroll Avenue in Takoma Park.

When we called the Montgomery County Historic Preservation Commission, we learned that this parcel is within the jurisdiction of the Commission.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed installation will be painted to match the existing structure and will not be visible from nearby parcels. In addition, collocation on an existing building avoids more-obtrusive towers and antenna types. The proposed installation will not affect the historic character of the parcel.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5

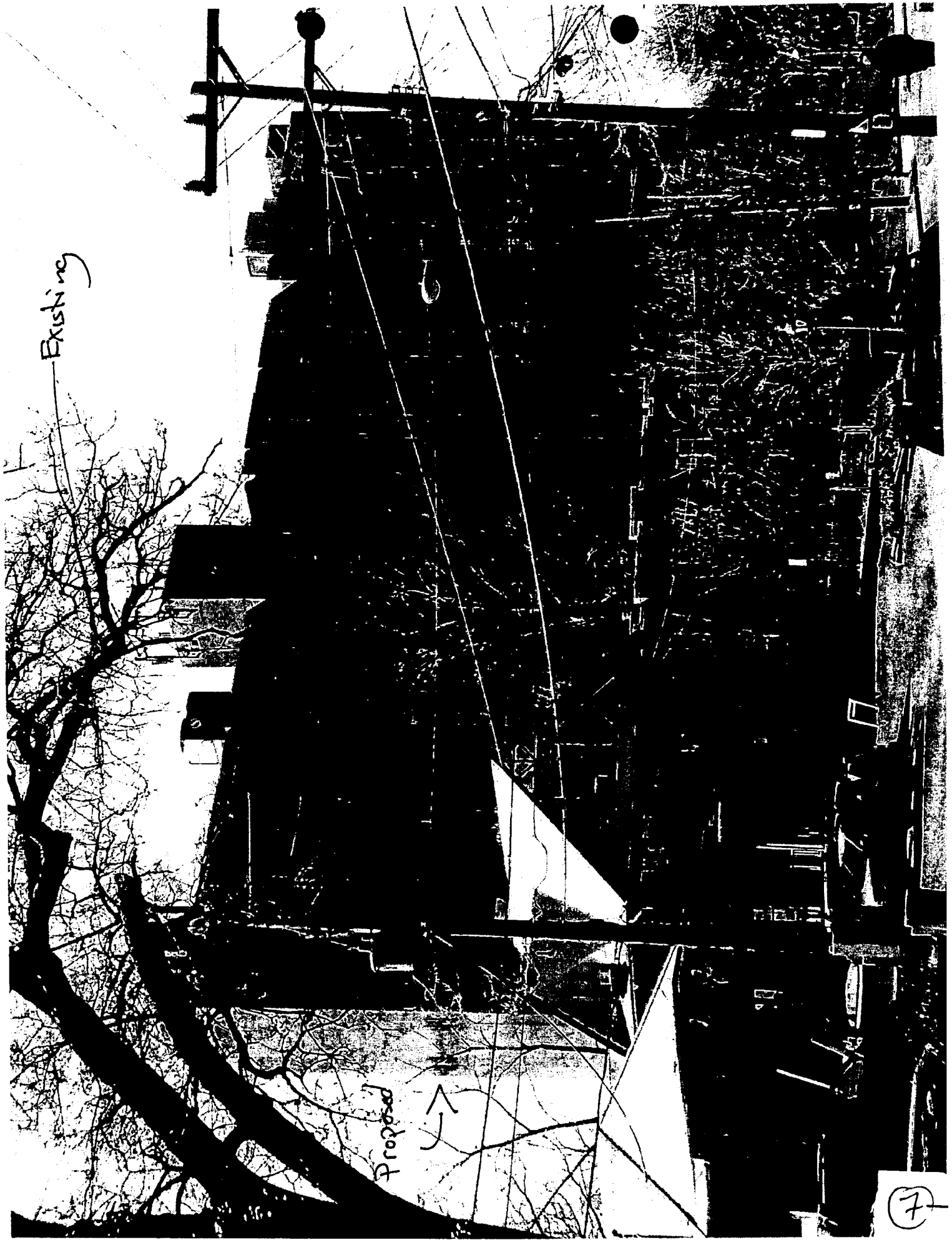


Existing

Proposed

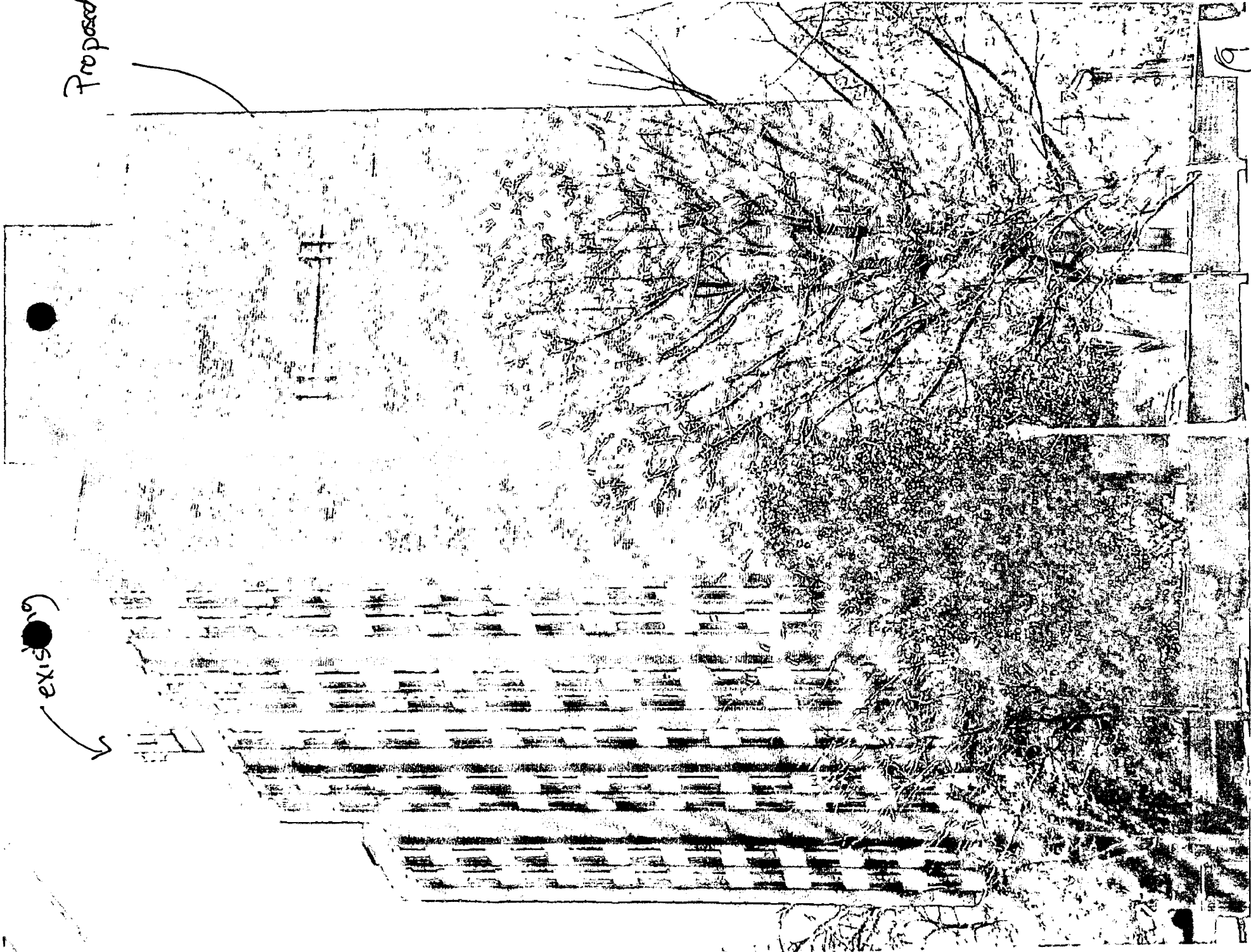


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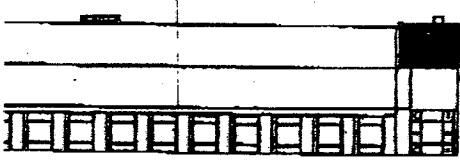
Proposed



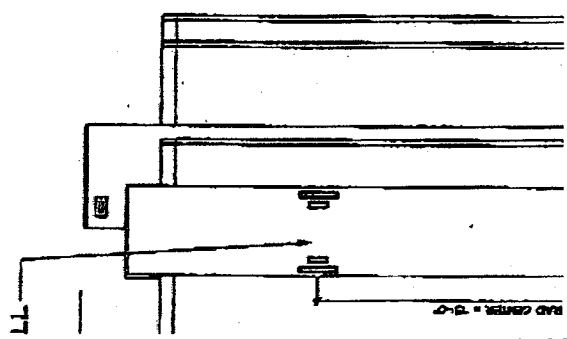
existing

9





LESS  
3E



RD CENTER - 11-0

101

N.T.S.

**PER SECTION 21-143.02(A)**

1. THE ANTENNAS SHALL COMPLY WITH THE FOLLOWING STANDARDS:
  - A. UNLESS OTHERWISE SPECIFIED, BELOW IT SHALL BE CONSIDERED WITHIN THE OPACABLE EXTERIOR OF A STRUCTURE OR BE ATTACHED TO A PUBLIC UTILITY, RADIO, TELEVISION OR TELECOMMUNICATIONS BROADCASTING TOWER/MONOPOLE, A LIGHT POLE, A MULTIFAMILY DWELLING AT LEAST 5 STORIES IN HEIGHT, A STRUCTURE OWNED BY A MUNICIPALITY, THE BOARD OF EDUCATION FOR PRINCE GEORGE'S COUNTY, OR A STRUCTURE OWNED AND PRIMARILY USED BY A GOVERNMENT AGENCY THAT IS EXEMPT FROM THE REQUIREMENTS OF THIS SUBTITLE;
  - B. IT SHALL NOT EXTEND MORE THAN 15' ABOVE THE HEIGHT OF THE TOWER OR STRUCTURE TO WHICH IT IS ATTACHED;
  - C. IT SHALL NOT EXCEED THE FOLLOWING DIMENSIONS:
    - (I) TWENTY FEET IN LENGTH AND SEVEN INCHES IN DIAMETER FOR Masts;
    - (II) TEN FEET IN LENGTH AND TWO FEET IN WIDTH FOR PANELS;
    - (III) SEVEN FEET IN LENGTH AND ONE FOOT IN DIAMETER FOR CYLINDERS; OR
    - (IV) SEVEN FEET IN DIAMETER FOR PARABOLIC DISHES.
  - D. ON PRIVATELY OWNED LAND, IT SHALL NOT SUPPORT LIGHTS OR SIGNS UNLESS REQUIRED FOR AIRCRAFT MARKING OR OTHER SAFETY REASONS.
2. THE RELATED TELECOMMUNICATIONS EQUIPMENT BUILDINGS OR ENCLOSURES SHALL COMPLY WITH THE FOLLOWING STANDARDS:
  - A. IT SHALL NOT EXCEED SEVEN FEET FLOOR AREA OR 12 FEET IN HEIGHT.
  - B. WHEN ATTACHED TO AN EXISTING BUILDING, IT SHALL MATCH THE CONSTRUCTION MATERIAL AND COLOR(S) OF THAT BUILDING;
  - C. WHEN CONSTRUCTED AS A FREE-STANDING BUILDING, IT SHALL BE CONSTRUCTED OF BRICK AND ITS DESIGN SHALL COORDINATE WITH THE DESIGN OF ANY EXISTING MAIN BUILDING ON THE SAME LOT OR ON AN ADJOINING LOT;
  - D. THE BUILDING OR ENCLOSURE SHALL BE UNMANNED, WITH INFREQUENT (FOUR OR FEWER PER YEAR) VISITS BY MAINTENANCE PERSONNEL, AND WITH ACCESS AND PARKING FOR NO MORE THAN ONE VEHICLE.

**SITE NOTES:**

1. APPLICANT:
 

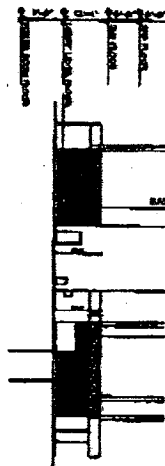
VERIZON WIRELESS  
9000 JUNCTION DRIVE  
ANNAPOLIS JUNCTION MD 20701  
TEL. (800) 912-3000  
FAX (800) 912-2186
- APPLICANT'S ATTORNEY:
 

M.S. DIAMOND  
THE LAW OFFICES OF M. GREGG DIAMOND, P.C.  
4418 EAST WEST HIGHWAY SUITE 400  
BETHESDA, MARYLAND 20814-4966  
(301) 634-8181
2. PROPERTY OWNER:
 

TAKOMA TOWER LP  
8480 GROSVENOR LN, SUITE 210  
BETHESDA, MD 20814-3100  
CONTACT:
3. SITE DATA:
 

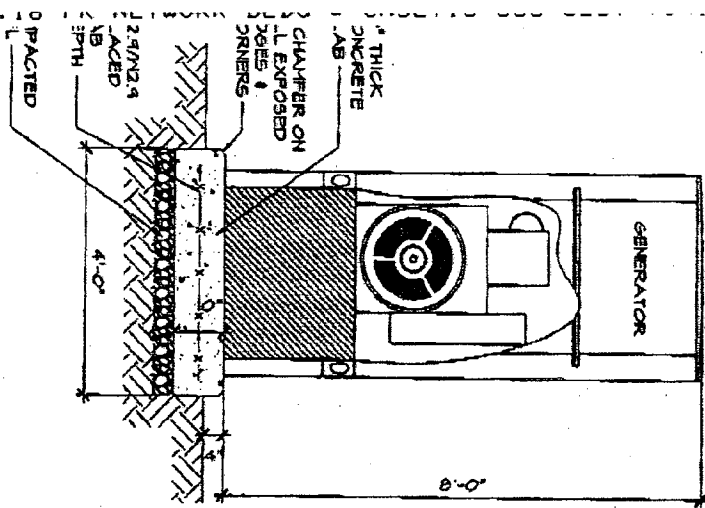
TAX MAP JMI1, PARCEL 2  
PLAT: TAX ACCOUNT 01072074  
DEED BOOK: 20383 PAGE: 751  
TRACT AREA: 152 AC. +/-  
ELECTION DISTRICT: 15TH  
ADDRESS: TONI CARROLL AVE  
TAKOMA PARK, MD 20912  
EXISTING USE: COMMERCIAL
4. CURRENT ZONING: R-60

**Verizon Wireless**  
 OWNERS / PINEY BRANCH  
 2300 Piney Branch Ave  
 #11 MD



**EAST ALPHA**

**ELEVATIONS**  
NOT TO SCALE



**SECTION 1/S-1**  
SCALE: 1/4" = 1'-0"

1. THE PROPOSED FACILITIES WILL CONSIST OF ONE (1) 12'x24'x4' STEEL PLATFORM AND ONE (1) ANTENNA MOUNTED ON THE EAST SIDE OF THE EXISTING TOWER. THE PLATFORM AND ANTENNA SHALL BE INSTALLED ON THE EAST SIDE OF THE TOWER AND THE ENTIRE PLATFORM AND ANTENNA SHALL BE INSTALLED ON A 4'-0" DEEP CONCRETE PAD.
2. THE STRUCTURE WILL NOT SUPPORT LIGHTS OR SIGNS UNLESS REQUIRED FOR AIRCRAFT NAVIGATION OR OTHER SAFETY REASONS.
3. THE APPLICANT WILL PROVIDE A DEDICATED PERSON FROM TRADESMANSHIP AND REGISTRATION OF VERTICAL MINERALS ASSOCIATED (TVM).
4. IF THE ANTENNAS ARE NO LONGER USED FOR TELECOMMUNICATIONS PURPOSES FOR A CONTINUOUS PERIOD OF ONE (1) YEAR THEY SHALL BE REMOVED BY THE ANTENNA OWNER AT OWNER'S EXPENSE.
5. NO WATER OR SANITARY UTILITIES ARE REQUIRED FOR THE OPERATION OF THIS FACILITY.
6. THIS SITE IS BORDERED FROM THE FOREST CONSERVATION ACT APPLICABLE TO WASHINGTON COUNTY PROTECTED UNDER THE COUNTY CODE, CHAPTER 22A, SECTION 22A-04(1).
7. STORMWATER MANAGEMENT NOTE: NO STORMWATER MANAGEMENT IS REQUIRED FOR THIS SITE.
8. BOUNDARY SHOWN PER COUNTY RECORDS. EXISTING SITE FEATURES SHOWN PER DISTRICT ORDINANCES BY H&A ARCHITECTS, WITH A REVISION DATE OF MARCH 17, 2004.
9. THIS PLAN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. PLAN IS SUBJECT TO EXISTING AND RESTRICTIONS OF RECORD.
10. ALL DETAILS SHOWN ARE STANDARD OR TYPICAL FOR REFERENCE ONLY. FOR ACTUAL DETAILS, SEE ARCHITECTURAL, STRUCTURAL, OR CONSULTATION PLANS BY OTHERS.
11. THE COMMUNICATION PLATFORM SHALL BE UNMANNED, WITH INFREQUENT VISITORS FROM THE TOWER FOR MAINTENANCE PURPOSES, AND WITH ACCESS AND PARKING FOR NO MORE THAN ONE VEHICLE. THE PROPOSED FACILITY IS NOT FOR HUMAN HABITATION AND THEREFORE HUMAN ACCESS IS NOT REQUIRED.
12. THE PROPOSED COMMUNICATIONS PLATFORM, ANTENNAS AND RELATED HEARING DEVICES DO NOT EXCEED TWELVE (12) FEET IN TOTAL HEIGHT.

**ve**  
**TAKOMA TC**  
Carroll Ave & W  
Montgomery Count

NO	DESCRIPTION	DATE
1	Issue	02/15/05
2	Revised	03/15/05
3	Revised	03/15/05
4	Revised	03/15/05
5	Revised	03/15/05
6	Revised	03/15/05
7	Revised	03/15/05
8	Revised	03/15/05
9	Revised	03/15/05
10	Revised	03/15/05
11	Revised	03/15/05

LAST REV. \_\_\_\_\_

PROJECT NO: 10427111

DATE: March 15, 2005

SCALE: AS NOTED

TITLE: \_\_\_\_\_

**Site Plan**

SHEET: \_\_\_\_\_

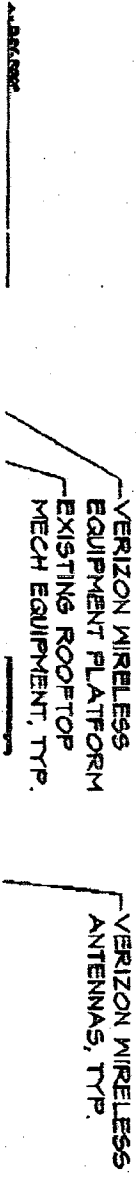
**C-1**

2

H J K L M

GENERAL NOTES

1. CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-257-TTTT) 48 HOURS PRIOR TO DOING ANY EXCAVATION IN THIS AREA. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT AS NECESSARY. LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. DAMAGE TO UTILITIES OR PROPERTY OF OTHER BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES, THE LATEST EDITION THEREOF.
3. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
4. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS.
5. THESE PLANS ARE NOT FOR RECORDATION OR CONVEYANCE.
6. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b></p> <p>Takoma Tower L/P          5430 Grosvenor Ln., Suite 210          Bethesda, MD 20912</p>	<p><b>Owner's Agent's mailing address</b></p> <p>Michael Coles (% Takoma Towers L/P)          5430 Grosvenor Ln., Suite 210          Bethesda, MD 20912</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>7053 Carroll Avenue LLC          203 Hilltop Rd.          Silver Spring, MD 20910</p>	<p>James M. Greenan          5604 McLean Dr.          Bethesda, MD 20814</p>
<p>SBK, LLC          7003 Sycamore Ave.          Takoma Park, MD 20912</p>	<p>Peter Aron          7212 Willow Ave.          Takoma Park, MD 20912</p>
<p>Robert S. Patten + Lois Wessel          7005 Westmoreland Ave.          Takoma Park, MD 20912</p>	<p>Md. National Capital Park + Planning Comm'n          8787 Georgia Ave.          Silver Spring, MD 20910</p>

<p>City of Takoma Park 7500 Maple Ave. Takoma Park, MD 20912</p>	<p>Joseph B. Uehlein 11 Pine Ave. Takoma Park, MD 20912</p>
--	---

# Vertically Polarized, Panel 65° / 17.5 dBi

## BSA-185065/8CF

When ordering, replace "\_\_\_" with connector type.

### Mechanical specifications

Length	1204 mm	47.4 in
Width	160 mm	6.3 in
Depth	50 mm	2.0 in
4) Weight	3.3 kg	7.3 lbs
Wind Area		
Front	0.193 m <sup>2</sup>	2.07 ft <sup>2</sup>
Side	0.060 m <sup>2</sup>	0.65 ft <sup>2</sup>
Rated Wind Velocity (Safety factor 2.0)		
	>349 km/hr	>217 mph
Wind load @ 100 mph (161 km/hr)		
Front	287 N	64.5 lbs
Side	114 N	25.7 lbs

Antenna consisting of aluminum alloy with brass feedlines covered by a UV safe fiberglass radome.

### Mounting & Downtilting:

Wall mounted or pole tower mount with mounting brackets.

Mounting bracket kit #26799997

Downtilt bracket kit #26799999

The downtilt bracket kit includes the mounting bracket kit.

### Electrical specifications

Frequency Range	1850-1990 MHz
Impedance	50Ω
3) Connector	NE, E-DIN
1) VSWR	≤1.4:1
Polarization	Vertical
1) Gain	17.5 dBi
2) Power Rating	250 W
1) Half Power Angle	
H-Plane	65°
E-Plane	7°
1) Electrical Downtilt	0°
1) Null Fill	10%
Lightning Protection	Direct Ground

<sup>1)</sup> Typical Values

<sup>2)</sup> Power Rating limited by connector only.

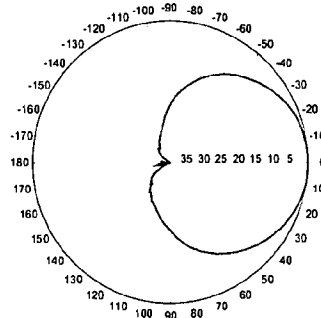
<sup>3)</sup> NE indicates an elongated N Connector.

E-DIN indicates an elongated DIN Connector.

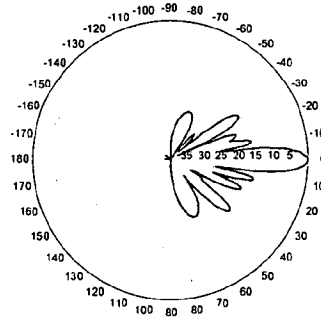
<sup>4)</sup> The antenna weight listed above does not include the bracket weight.

Improvements to mechanical and/or electrical performance of the antenna may be made without notice.

### Radiation-pattern<sup>1)</sup>



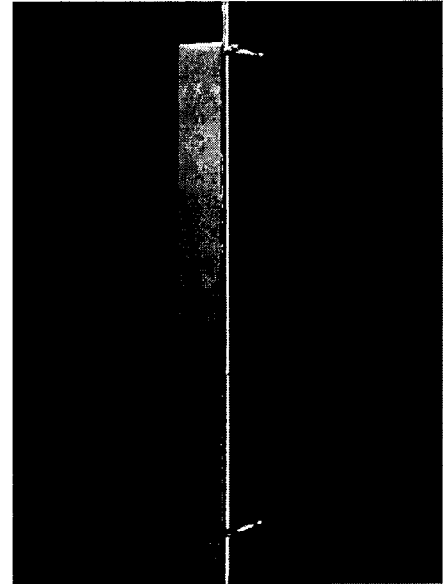
Horizontal



Vertical

Radiation patterns for all antennas are measured with the antenna mounted on a fiberglass pole.

Mounting on a metal pole will typically improve the Front-to-Back Ratio.



Amphenol Antel's Exclusive 3T (True Transmission Line Technology) Antenna Design:

- Watercut brass feedline assembly for consistent performance.
- Unique feedline design eliminates the need for conventional solder joints in the signal path.
- A non-collinear system with access to every radiating element for broad bandwidth and superior performance.
- Air as insulation for virtually no internal signal loss.

Every Amphenol Antel antenna is under a five-year limited warranty for repair or replacement.

Antenna can be ordered with center-fed or bottom-fed connector. For bottom-fed connector, order model number BSA-185065/8 + connector (NE, E-DIN).

Example: BSA-185065/8 E-DIN

## 1850-1990 MHz

**Amphenol Antel, Inc.**  
The Antenna Technology Company

Revision Date: 6/3/04

1300 Capital Drive Rockford, IL 61109 Toll-Free (888) 417-9562 Tel. (815) 399-0001  
Fax. (815) 399-0156 Email: antel@antelinc.com www.antelinc.com

15

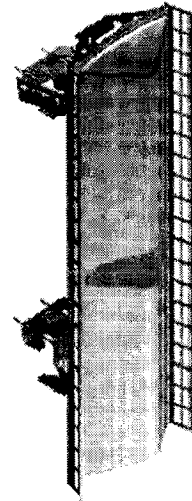


Directing our energies for you.

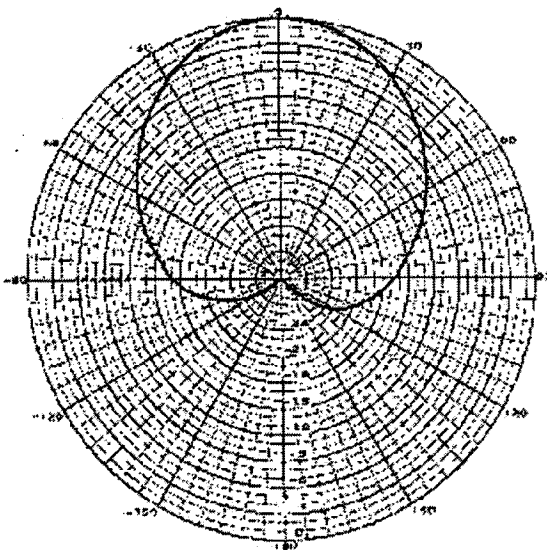
# Stripline Array SA14-60

## 60 degree Azimuth Beam and 13.6 dBd Gain

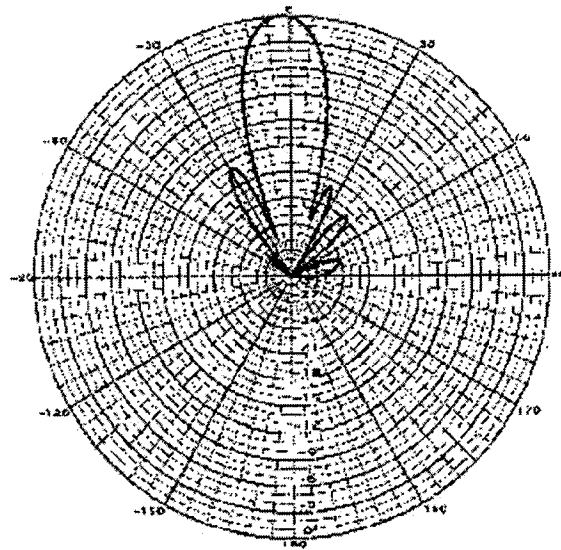
- Vertically Polarized
- Stripline Feed Eliminates Internal Cabling Network
- Anti-Corrosion Design for Superb IM Performance
- Equalized Aerodynamic Design



*Azimuth Beam: 60 degree*



*Elevation Beam: 15 degree*





Directing our energies for you.

# Stripline Array SA14-60

## Electrical Specifications

Frequency Range	806-900 MHz
Gain	13.6 dBd
Electrical Downtilt Options	0, 2, 4 or 6 Degrees
VSWR	1.35:1 Maximum
Front-to-Back at Horizon	> 30 dB
Upper Side Lobe Suppression	< -18 dB
Elevation Beam (3-dB Points)	15 Degrees
Azimuth Beam (3-dB Points)	60 Degrees
Polarization	Vertical
Impedance	50 Ohms
Power Input Rating	500 CW
Intermodulation Specification	<-110dBm at 2x10W

## Mechanical Specifications

Input Connector (female)	Back Mounted 7/16 DIN or N-Type (Silver Finish)
Antenna Dimensions (LxWxD)	48.4 x 16.7 x 9 Inches
Antenna Weight	20.2 lbs
Bracket Weight	10.5 lbs
Lightning Protection	Direct Ground
RF Distribution	Silver Plated Brass
Radome	Ultra High-Strength Luran
Weatherability	UV Stabilized, ASTM D1925
Radome Water Absorption	ASTM D570, 0.45%
Environmental	MIL-STD-810E
Wind Survival	150 mph
Front Wind Load at 100 mph	141 lbs
Front Flat Plate Equivalent	2.89 sq-ft.(c=2)
Mounting Brackets	Fits 2.5 to 3 Inch Schedule 40 Pipe
Mechanical Downtilt Range	0-12 Degrees in 1 Degree Increments
Clamps/Bolts	Hot Dip Galvanized Steel/Stainless Steel

## Ordering Information

Model	Options
SA14-60-xD	7/16 DIN Connector, x=Electrical Downtilt in Degrees (0, 2, 4 or 6)
SA14-60-xN	N-Type Connector, x=Electrical Downtilt in Degrees (0, 2, 4 or 6)

CSS Antenna, Inc.  
Tel: 410-612-0080 Fax: 410-612-0336  
www.cssantenna.com





**Notice:**  
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 Copyright ©1998

Casual User Application



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
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