

37/03-07 EE 7051 Carroll Avenue,
Takoma Park

STAMPED PLANS
IN JOSH'S
OFFICE



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: September 27, 2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #448661, generator and brick screening wall installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved with Conditions at the September 26, 2007 meeting.

1. *The applicant should meet the conditions set forth in the attached September 13, 2007 letter from the City of Takoma Park Façade Advisory Board.*
2. *The applicant should meet the conditions set forth in previously approved HAWP# (377619).*
3. *The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.*
4. *The applicant will work with staff to develop a landscape plan to buffer the proposed brick screening enclosure.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Takoma Tower LP (Agent: Stephanie Petway)

Address: 7051 Carroll Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.

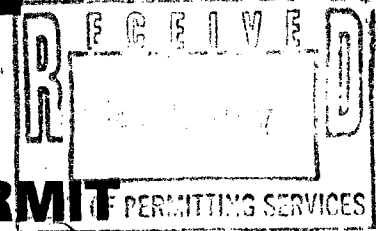




RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240-777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400



APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Stephanie Petway
Daytime Phone No.: 240-401-0907

Tax Account No.: 21072074

Name of Property Owner: Takoma Tower LP Daytime Phone No.:
Address: 5430 Grosvenor Lane, Suite 210 Bethesda, MD 20814
Street Number City State Zip Code

Applicant: Verizon Wireless Services Phone No.: 240-401-0907
Contractor: Verizon Wireless Services

Contractor Registration No.: N/A

Agent for Owner: Stephanie Petway Daytime Phone No.: 240-401-0907

LOCATION OF BUILDING/PREMISE

House Number: 7051 Carroll Ave Street: Carroll Avenue
Town/City: Takoma Park Nearest Cross Street: Westmoreland
Lot: 2 Block: F Subdivision: N/A
Liber: 20358 Folio: 751 Parcel: N/A

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 - Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 - Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 5,000

1C. If this is a revision of a previously approved active permit, see Permit # HANP 377619 HPC 37103

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: N/A 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: N/A 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
 - Entirely on land of owner
 - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stephanie Petway 2/19/08
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 1/18/07
Application/Permit No.: 448661 Date Filed: 3/28/07 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing building is 14-story apartment building
with related parking area.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Please See Attached Statement

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Network Building & Consulting

March 19, 2007

On behalf of Verizon Wireless, this request is submitted to the City of Takoma Park and Montgomery County, Maryland's Historic Preservation Commission, requesting Historic Area Work Permit approval to place a diesel generator on a property located at 7051 Carroll Avenue.

Verizon has a HAWP (#377619) for its proposed telecommunication facility which consist of antennas, equipment shelter to be placed on the roof of the apartment building at subject property and installation of generator to be placed on the ground. After further review of the plans, the property owner requested that the generator be moved from it's originally approved location from the rear of the property to the location shown on the attached plans, which will place in the grassy area next to the dumpster located on the west side of the property. The proposed generator will be approximately 7'2" in height by 35" wide. The proposed generator will be enclosed by a brick screening wall, which will match the brick of the existing building on the property. With the proposed screening the proposed generator installation will have little or no the visual impact of the proposed on the subject property or the adjacent and abutting properties.

Please feel free to contact me, Stephanie Petway, if you have any questions or concerns about this request.

Sincerely,

Stephanie M. Petway
Consultant to Verizon Wireless
240-401-0907
spetway@nbcllc.com

7380 Coca Cola Drive
Hanover, Maryland 20716

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7051 Carroll Avenue, Takoma Park	Meeting Date:	9/26/2007
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	9/19/2007
Applicant:	Takoma Tower LP (Agent: Stephanie Petway)	Public Notice:	9/12/2007
Review:	HAWP (<i>REVISION</i>)	Tax Credit:	None
Case Number:	37/03-07EE	Staff:	Josh Silver
PROPOSAL:	Generator and brick screening wall installation		

STAFF RECOMMENDATION:

Staff is recommending that the HPC **approve** this HAWP with the following conditions:

1. The applicant should meet the conditions set forth in the attached September 13, 2007 letter from the City of Takoma Park Façade Advisory Board. (See page 35).
2. The applicant should meet the conditions set forth in previously approved HAWP# (377619).
3. The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.
4. The applicant will work with staff to develop a landscape plan to buffer the proposed brick screening enclosure.

BACKGROUND:

On April 13, 2005 the HPC reviewed a HAWP application for the installation of antenna panels, a 12' x 25' steel equipment platform mounted on the roof of the building, and 8' tall generator. The HPC **approved** this project with the following conditions:

1. In addition to the antennas, any cables and mounting equipment will match the color of the existing building.
2. The applicant should meet the conditions set forth in the attached April 13, 2005 letter from the City of Takoma Park's Façade Advisory Board. (See page 33).

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource Within The Takoma Park Historic District

STYLE: Modern

DATE: c1950-70s

HISTORIC CONTEXT

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the one of the earliest railroad suburbs of Washington. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist.

Benjamin Franklin Gilbert was the developer of Takoma Park, which he promoted for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. The substantial houses had spacious settings, with deep, narrow lots of 50 feet by 200-300 feet, with 40-foot setback requirements. Extensive numbers of these houses (built from 1883 to 1900) remain, particularly concentrated along Maple, Cedar, and Holly Avenues. The earliest houses were built on Cedar Avenue (originally known as Oak Avenue).

Gilbert was more than just the developer of the community - he was a resident and civic leader. He built one of the first houses in the new community for himself and later became the town's first mayor. By 1886, Takoma Park had a post office and a new railroad station. Fifteen trains a day ran between Washington and Takoma Park and the population had reached 100.

By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period.

The first multi-family buildings in Montgomery County were built in Takoma Park. The earliest documented multi-family dwelling is the *Ford House* at 7137-39 Maple Avenue. Brothers Byron and Seth Ford built this large, elaborate, frame double-house in 1885 for their families. The next multi-family dwellings to be built in the county were not constructed until 1907.

The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made

home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar, lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues. Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era.

Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.

PROPOSAL:

The applicant (Verizon Wireless) is proposing to install a diesel generator to support a previously approved HAWP# (377619) for a telecommunications facility located at 7051 Carroll Avenue. The proposed generator is approximately 7'2" in height by 35" wide, and will be enclosed by a 17'4" x 9'4", 8'0" high brick screening wall. One double-wide wooden gate, and single wood gate will be installed to allow access to the diesel generator.

The proposed brick screening wall will be located toward the rear (southwest side) of the property. The proposed wall will utilize brick similar in color to the existing building on the property, and be sheathed with lattice using a City of Takoma Park recommended low-maintenance climbing plant.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

There are two very general, broad planning and design concepts, which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the

public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall historic district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Generally, siting of telecommunications facilities and supporting equipment in historic districts is successful when equipment is less visible from the public right-of-way. The applicant has done a good job of siting the **approved** antennas and equipment platform to minimize impact on the streetscape of the historic district.

The proposed brick screening enclosure will be visible from the public right-of-way, however its impact on the streetscape of the historic district will be minimal because of its location. The proposed location of the enclosure (toward the rear and on the side of property), coupled with the use of a low-maintenance climbing plant to obscure the wall enclosure will help reduce the wall's visibility from Carroll Avenue. Staff is recommending the applicant develop a landscape plan to help further obscure the proposed brick screening enclosure. This could be accomplished by planting a tree/shrub variety that retains its covering year around.

Staff understands from a conversation with the applicant other locations for the generator were considered to help reduce its impact to the property. However, a number of challenges were confronted when siting the generator including: accessibility for fueling and regular maintenance, the proximity of nearby houses and the existing apartment building.

Staff believes the proposed installation of the diesel generator and brick-screening enclosure will not adversely affect the (non-contributing) historic resource and property, and will have only minimal visibility from the public right-of-way. *Staff recommends approval of this project.*

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



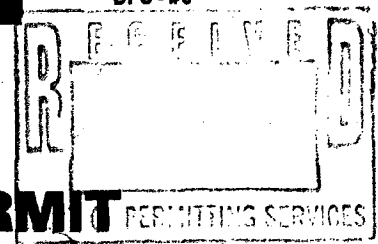
DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 3RD FLOOR, ROCKVILLE, MD 20850
240-277-6379

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

PERMITTING SERVICES



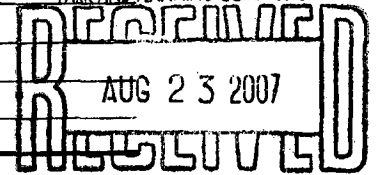
Contact Person: Stephanie Petway
Daytime Phone No.: 240-401-0907

Tax Account No.: 01072074
Name of Property Owner: Takoma Tower LP Daytime Phone No.:
Address: 5430 Grosvenor Lane, Suite 210 Bethesda, MD 20814
Street Number City Street Zip Code
Applicant: Verizon Wireless Services Phone No.: 240-401-0907
Contractor Registration No.: N/A
Agent for Owner: Stephanie Petway Daytime Phone No.: 240-401-0907

LOCATION OF BUILDING/PREMISE

House Number: 7051 Carroll Ave Street: Carroll Avenue
Town/City: Takoma Park Nearest Cross Street: Westmoreland
Lot: 2 Block: F Subdivision: N/A
Liber: 21635B Folio: 751 Parcel: N/A

HISTORIC PRESERVATION OFFICE
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION



PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 5,000

1C. If this is a revision of a previously approved active permit, see Permit # HAWP 377619 - HPC 37/08

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: N/A 01 WSSC 02 Septic 03 Other: _____
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3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stephanie Petway Signature of owner or authorized agent 3/19/08 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 448661 Date Filed: 3/28/07 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing building is 14-story apartment building
with related parking area.

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2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
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7

Network Building & Consulting

March 19, 2007

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Please feel free to contact me, Stephanie Petway, if you have any questions or concerns about this request.

Sincerely,

Stephanie M. Petway
Consultant to Verizon Wireless
240-401-0907
spetway@nbccllc.com

7380 Coca Cola Drive
Hanover, Maryland 20716

8

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Takoma Tower LP
 Takoma Tower LP
 5430 Grosvenor Lane, Suite 210
 Bethesda, MD 208142100

Owner's Agent's mailing address

Stephanie Petway
 7380 Coca Cola Drive
 Suite 106
 Hanover, MD 0

Adjacent and confronting Property Owners mailing addresses

7007 Carroll LLC
 7007 Carroll Ave
 Takoma Park, MD 20912

Bernard Shaw
 17 Pine Ave
 Takoma Park, MD 20912

City of Takoma Park
 7500 Maple Ave
 Takoma Park, MD 20912

Eduardo Cartagena
 2017 Forest Dale Drive
 Silver Spring, MD 20903

GATRAP Ventures LLC
 P.O. Box 7548
 Silver Spring, MD 20907

Joseph Uehlein & B Anna Windham
 11 Pine Ave
 Takoma Park, MD 20912

Lois Wessl Patton
 7005 Westmoreland Ave
 Takoma Park, MD 20912

Michal Podhorzer & Carol Bower
 7003 Westmoreland Ave
 Takoma Park, MD 20912

North CC Local Park
 8787 Georgia Ave
 Silver Spring, MD 20910

Peter Aron & Helen Spencer
 7212 Willow Ave
 Takoma Park, MD 20912

Resident
 7050 Carroll Ave
 Takoma Park, MD 20912

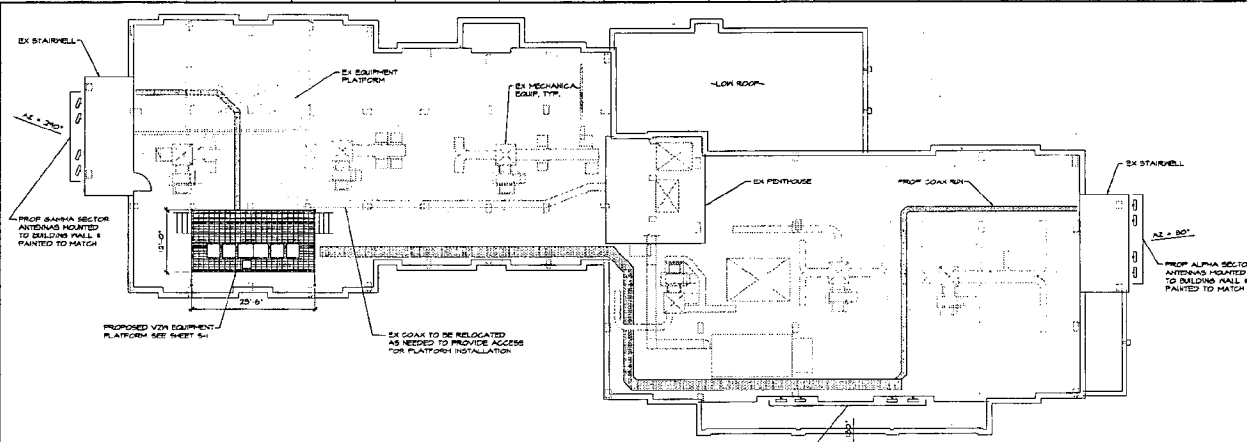
SBK LLC
 7054 Carroll Ave
 Takoma Park, MD 20912

SBK LLC
 7003 Sycamore Ave
 Takoma Park, MD 20912

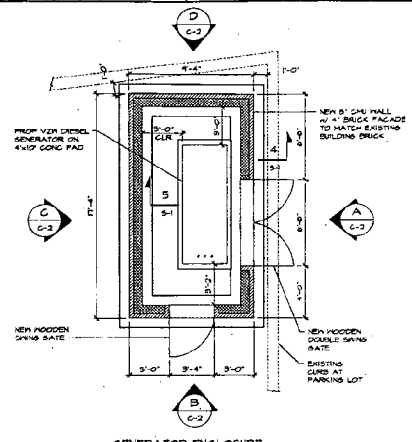
*203 Hilltop Road
 Silver Spring, MD
 20910-5403*
 Somchai Chitaypungatgul, et al
 7060 Carroll Ave
 Takoma Park, MD 20912

Tshabukole Mukendi
 7063 Carroll Ave
 Takoma Park, MD 20912

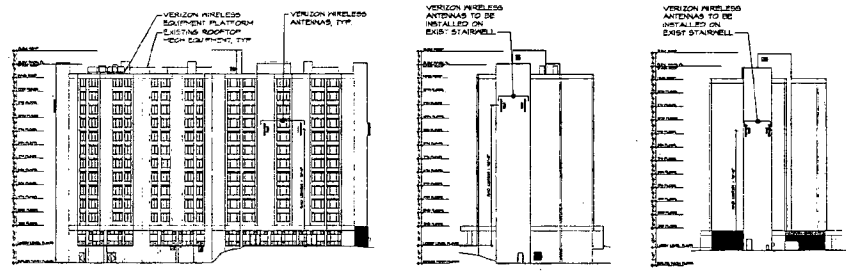
A B C D E F G H J K L M N P Q R



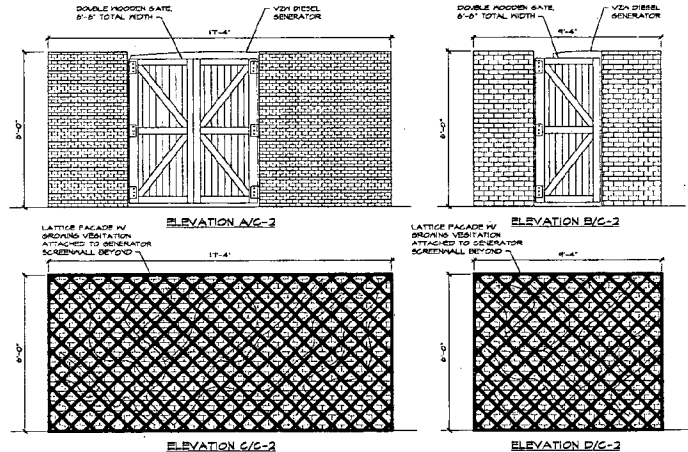
BUILDING ROOF PLAN
SCALE: 1" = 10'



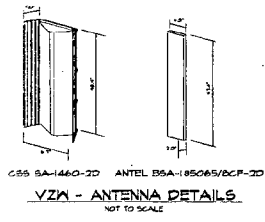
FOUNDATION ENCLOSURE PLAN
SCALE: 1" = 1'-0"



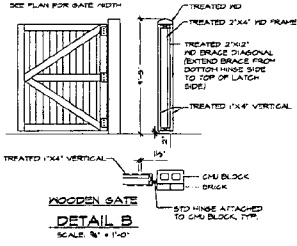
BUILDING ELEVATIONS
NOT TO SCALE



DETAIL A
SCALE: 3/4" = 1'-0"



VZA - ANTENNA DETAILS
NOT TO SCALE



WOODEN GATE DETAIL B
SCALE: 1" = 1'-0"



BEFORE YOU DIG:
CALL UTILITY
LOCATION SERVICES
IT'S THE LAW!
MISS UTILITY
1-800-257-7777

GSE
GLOCK SMIDT
ENGINEERING INC.
1374 E. JARDINETTE ROAD
PERRY HILL, MARYLAND 20850
PHONE: 410-883-9333
FAX: 410-883-9333

MRA
MORRIS & RITCHIE
ASSOCIATES, INC.
10000 The Parkway
Suite 200, Rockville, MD 20850
410-881-2888
410-881-1966 Fax

verizon wireless
TAKOMA TOWERS / PNEY BRANCH
Carroll Ave & Westmoreland Ave
Montgomery County, MD

REVISIONS

NO.	DESCRIPTION	DATE
A	EQUIPMENT ROOM DRAW	08/07/07
B	PERMIT DRAWING	07/27/07
C	PERMIT DRAWING	07/27/07
D	PERMIT DRAWING	07/27/07
E	GEN LOCATION	07/26/07
F	PERMIT DRAWING	07/26/07

LAST REV:
PROJECT NO: 10427111
DATE: March 15, 2005
SCALE: AS NOTED

TITLE:
Site Details

SHEET:

C-2

11

APPROXIMATE
LOCATION OF BRICK SCREENING WALL



(c) Copyright 2006, Pictometry International



Proposed Generator Location
View # 1



Proposed Generator Location
View # 2



View from Parking Lot



View from Adjacent Lot



Existing Tree Cover



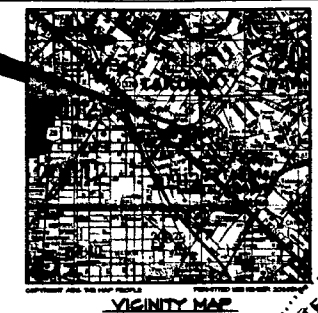
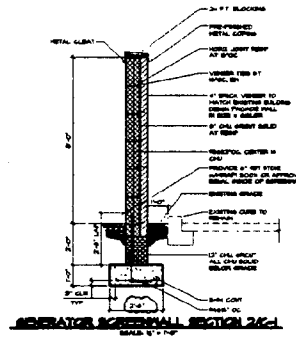
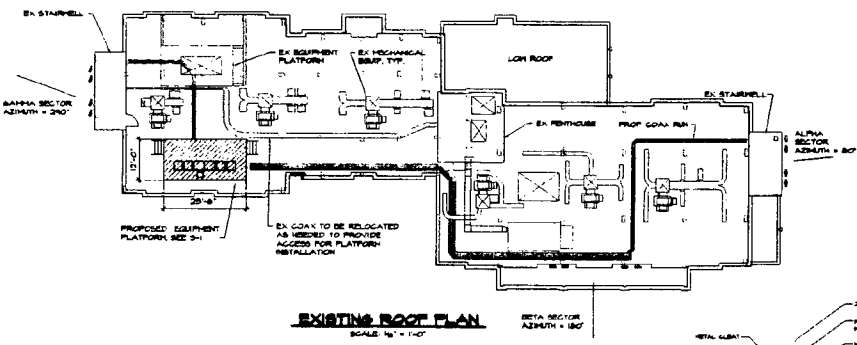
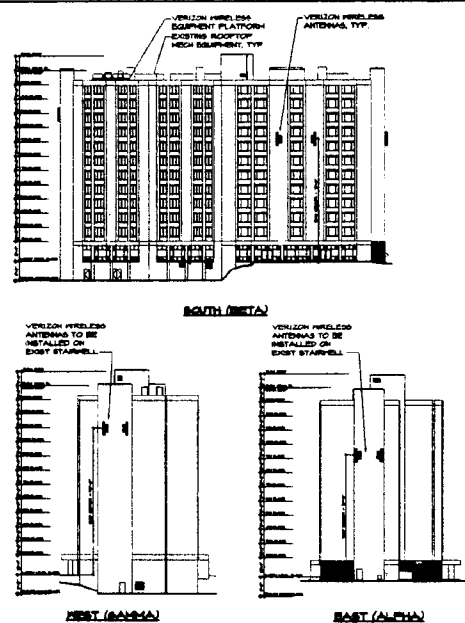
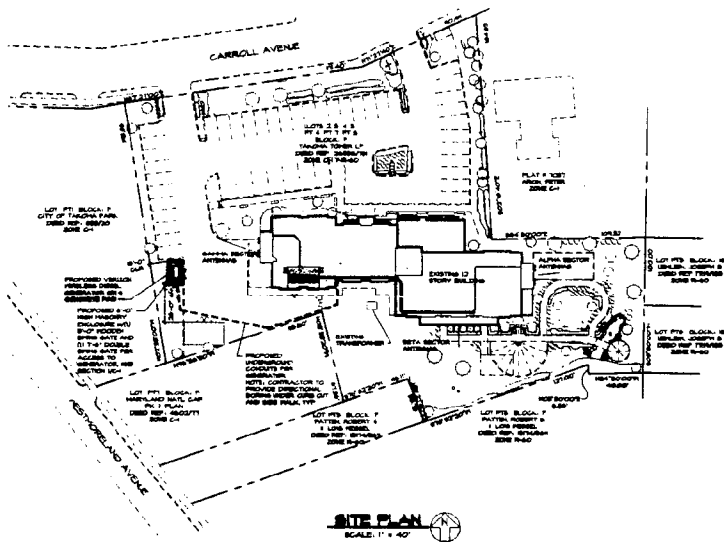
View From Carroll Avenue



View from Shops on Carroll Ave



Proposed Generator Location



REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUE DRAWING	12/16/05
2	FIELD DRAWING	02/06/06
3	ISSUE DRAWING	02/06/06
4	ISSUE DRAWING	02/06/06
5	ISSUE DRAWING	02/06/06
6	ISSUE DRAWING	02/06/06
7	ISSUE DRAWING	02/06/06
8	ISSUE DRAWING	02/06/06
9	ISSUE DRAWING	02/06/06
10	ISSUE DRAWING	02/06/06
11	ISSUE DRAWING	02/06/06

GENERAL NOTES

- CONTRACTOR SHALL NOTIFY NEIGHBORING PROPERTIES AND OBTAIN PERMISSION TO CONDUCT WORK. CONTRACTOR SHALL CONTACT UTILITIES TO LOCATE ALL UTILITIES AND OBTAIN NECESSARY PERMITS FOR ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL UTILITIES.
- ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL UTILITIES.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES THROUGHOUT THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL UTILITIES.
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GSE
GLOCK SMIDT
ENGINEERING, INC.

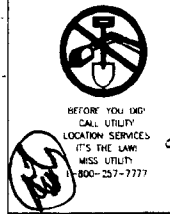
3714 B HARBETTSVILLE ROAD
WEST MILFORD, MARYLAND 21088
PHONE: 410-883-8883
FAX: 410-883-8885

MRA
MORROW & RETORE
ASSOCIATES, INC.

PROFESSIONAL ENGINEER
STATE OF MARYLAND
No. 23303

verizon wireless
TAKOMA TOWERS / PINEY BRANCH
Carroll Ave & Harfordland Ave
Montgomery County, MD

PROJECT NO. KM2171H
DATE: March 15, 2005
SCALE: AS NOTED
TITLE: Site Plan
SHEET: C-1



SCALE 1/8" = 1'-0" ROOF PLAN

SCALE 1/4" = 1'-0" SCALE 1/4" = 1'-0"

SHEET: SC-1
 TITLE: ANTENNA CABLE ROUTING PLAN
 SCALE: AS NOTED
 DATE: JAN 23, 2006
 PROJECT NO.: 05006
 LAST REV: 1
 1. REVISIONS
 REVISION DATE:

verizon wireless
DINEY BRANCH
 (MONTGOMERY CO., MARYLAND)

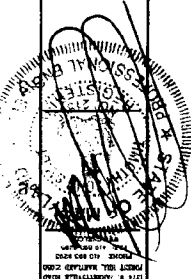
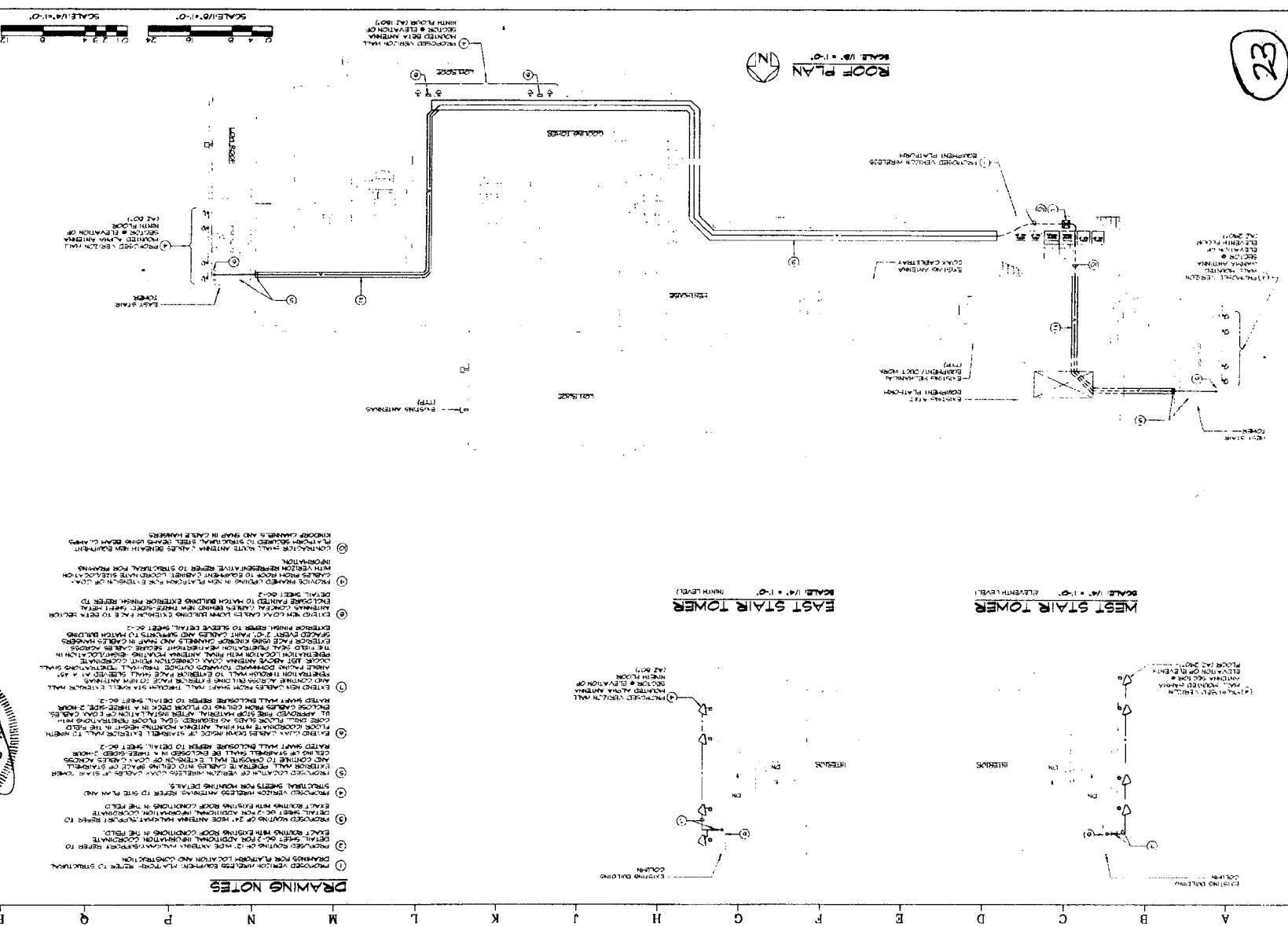
QUICK SMIDT
 ENGINEERING INC.
 1214 W. WASHINGTON
 SUITE 400
 WASHINGTON DC 20004
 TEL: 202 778 9000
 FAX: 202 778 9001

APPROVED
 PROJECT ENGINEER
 PROJECT MANAGER
 PROJECT SUPERVISOR
 PROJECT COORDINATOR
 PROJECT ASSISTANT
 PROJECT CLERK

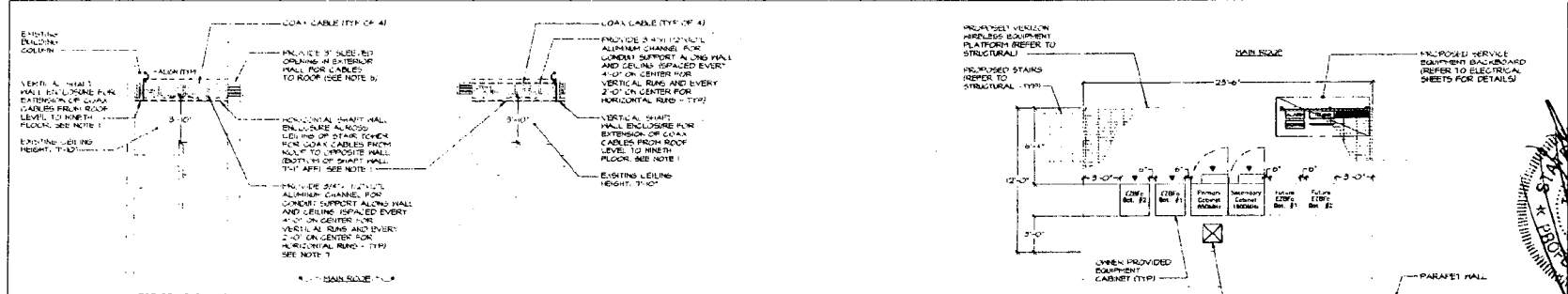
- DRAWING NOTES**
- 1) PROVIDED WORK AREA NUMBER, PLACEMENT, REFER TO STRUCTURAL DRAWING FOR PLACEMENT LOCATION AND CONNECTION.
 - 2) PROVIDED LOCATION OF 1" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 3) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 4) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 5) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 6) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 7) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
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 - 10) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 11) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 12) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 13) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 14) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 15) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 16) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 17) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 18) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 19) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.
 - 20) PROVIDED LOCATION OF 2" WIDE ANTENNA RACK/STAKE REFER TO EAST STAIR TOWER FOR CONNECTION AND CONNECTION.

SCALE 1/4" = 1'-0" EAST STAIR TOWER

SCALE 1/4" = 1'-0" WEST STAIR TOWER



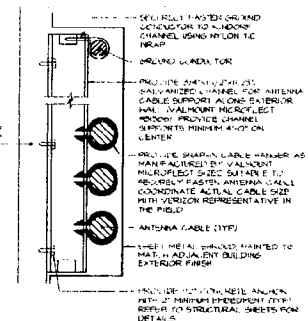
A B C D E F G H J K L M N P Q R



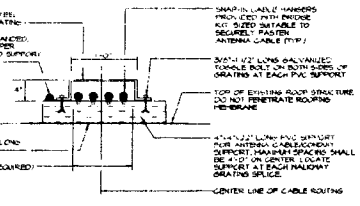
WEST STAIR TOWERS EAST STAIR TOWERS

- NOTES**
1. SEE ALL DIMENSIONS, FINISHES AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE NATIONAL ELECTRIFICATION CODES.
 2. EXISTING STAIRS SHALL MAINTAIN 8'0" CLEAR EGRESS PATH AT EACH LANDING.
 3. ALL FLOOR COVERINGS SHALL BE SEALED WITH AN APPROVED FIRE STOP MATERIAL AFTER INSTALLATION OF COAX CABLE. FIRE STOP SYSTEM SHALL BE EQUAL TO ALL OTHER NEARBY PENETRATIONS THROUGH CONCRETE FLOORS OR APPROVED EQUIVALENT.
 4. CONTRACTOR SHALL VERIFY ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY AND STATE BUILDING DEPARTMENT PERMITS AND REGULATIONS.
 5. CONDUIT SHALL BE USED FOR THE ENTIRE LENGTH OF COAX CABLES THROUGH ALL EXTERIOR WALLS TO ROOF AND TO ANTENNAS MOUNTED ON OUTSIDE FACE. REFER TO DETAIL THIS SHEET.
 6. PROVIDE SNAP-IN CABLE HANGERS (SHIELD IF APPLICABLE) FASTEN CABLES TO INSIDE ANTENNA CABINETS TO REDUCE VIBRATION. COORDINATE ACTUAL CABLE SIZE WITH VERTICAL RISE AND REPRESENTATIVE IN THE FIELD.
 7. HARNESS AND INSTALL FLOOR MOUNTED METAL ACCESS DOCKS IN SHAFT WALL ASSEMBLY AT EVERY FLOOR. CONDUIT SHALL BE SEALED WITH 2" OF SHAFT WALL ENCLOSURE ACCESS DOCKS SHALL BE EQUAL TO 1" SERIES AS MANUFACTURED BY TRENCO OR APPROVED EQUIVALENT.
 8. EXTERIOR CABLE PENETRATIONS THROUGH THE WALL SHALL BE SEALED WITH BACKING ROD AND APPROVED EXTERIOR SEALANT AS MANUFACTURED BY TRENCO OR APPROVED EQUIVALENT.

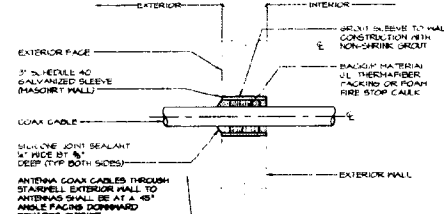
DETAIL - COAX ROUTING THROUGH STAIRWELLS
SCALE: 1/4" = 1'-0"



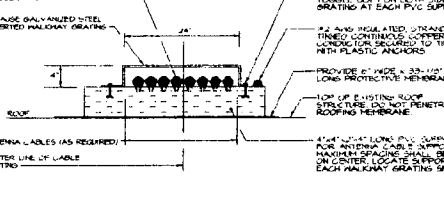
DETAIL - WALL MOUNTED ANTENNA CABLES
NO SCALE
(VERTICAL)
* ALL COMPONENTS SHALL BE GALVANNEZED STEEL.



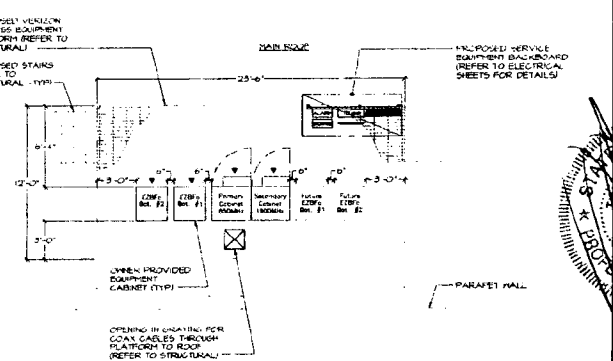
DETAIL - 12" WIDE ANTENNA WALKWAY
NO SCALE



DETAIL - PIPE SLEEVE FOR ANTENNA COAX CABLE
NO SCALE

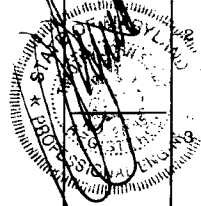


DETAIL - 24" WIDE ANTENNA WALKWAY
NO SCALE



EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

GSE
GLOCK SMIDT
ENGINEERING, INC.
1714 E. HARTWELL ROAD
FREMONT, NEBRASKA 68025
PHONE: 402.863.0003
FAX: 402.863.0008
WWW.GSE.COM



verizon wireless
PENEY BRANCH
(MONTGOMERY COUNTY, MARYLAND)

REVISIONS	DESCRIPTION	DATE

LAST REV: PROJECT NO. 050008
DATE: JUNE 29, 2009
SCALE: AS NOTED

TITLE: EQUIPMENT PLAN AND ANTENNA CABLE ROUTING DETAILS

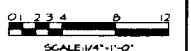
SHEET: 60-2

SCALE: 1/4" = 1'-0"

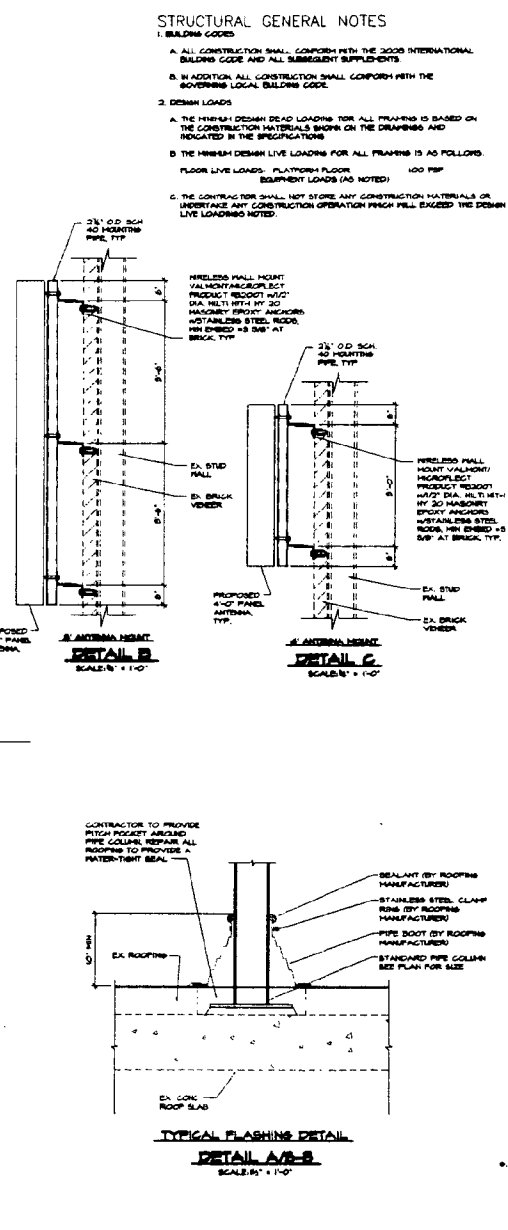
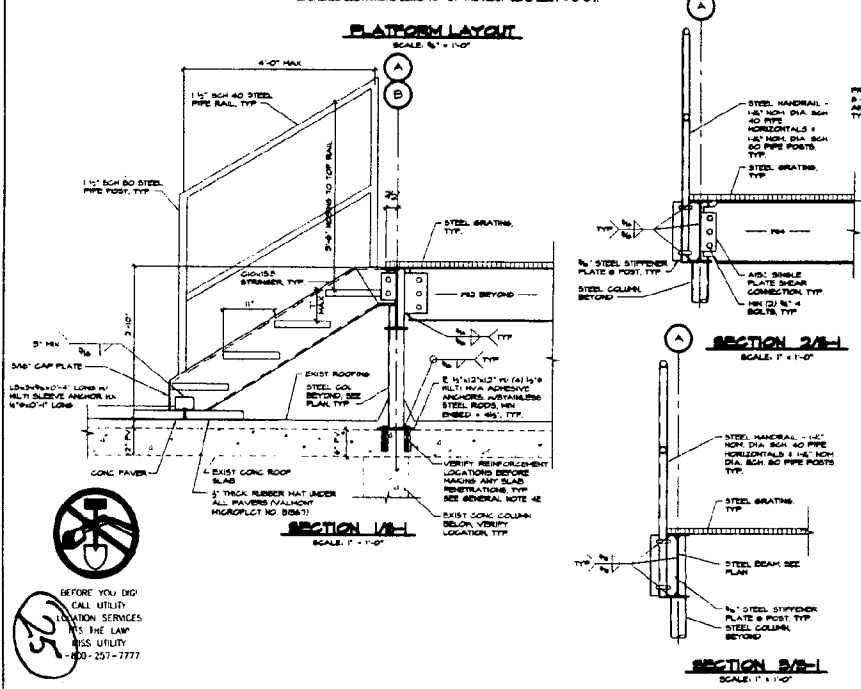
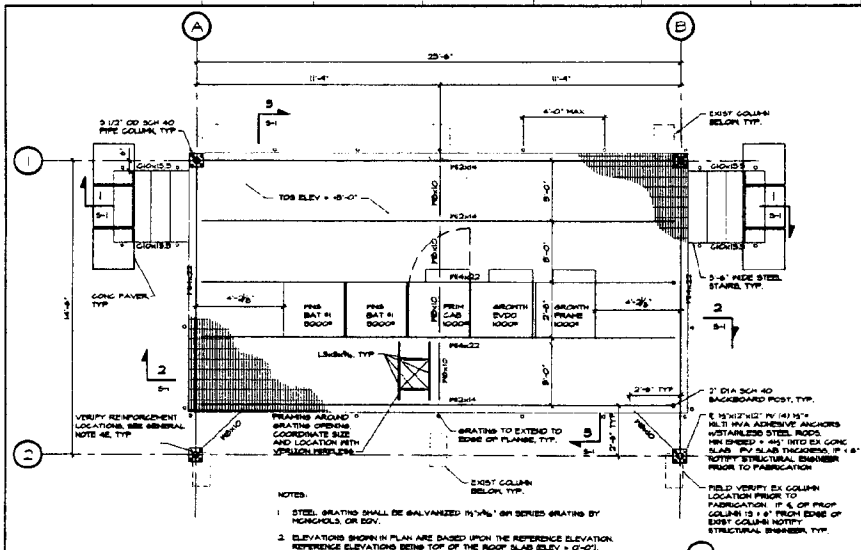
24

NOTE: ALL PARTS NOTED ABOVE ARE INCLUDED IN THE ROOF MOUNTED COAX BRIDGE KIT (CATALOG #10043)

NOTE: ALL PARTS NOTED ABOVE ARE INCLUDED IN THE ROOF MOUNTED COAX BRIDGE KIT (CATALOG #10043)



680906005



GSE
GLOCK SMIT
ENGINEERING, INC.
17th & Libertyville Road
West Hill, Maryland 20690
Phone: 410-800-8200
Fax: 410-800-8200

MRA
MORRIS & RETORE
ASSOCIATES, INC.
Professional Engineers
2000 North Point Road, Suite 200
Annapolis, Maryland 21403
Phone: 410-293-3100
Fax: 410-293-3100

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
No. 23303

verizon wireless
TAKOMA TOWERS / PINEY BRAE
Carroll Ave & Westmoreland Ave
Montgomery County, MD

REVISIONS	DESCRIPTION	DATE
1	PERMIT DRAWING	2/2/17
2	3RD DRAWINGS	2/2/17
3	FOR SUBMITTAL	1/17/17
4	FOR LOCATION STUDY	1/17/17
5	FOR LOCATION STUDY	2/2/17
6	FOR LOCATION STUDY	2/2/17
7	FOR LOCATION STUDY	2/2/17
8	FOR LOCATION STUDY	2/2/17
9	FOR LOCATION STUDY	2/2/17
10	FOR LOCATION STUDY	2/2/17
11	FOR LOCATION STUDY	2/2/17

LAST REV
PROJECT NO. 10421713
DATE: March 2, 2017
SCALE: AS NOTED

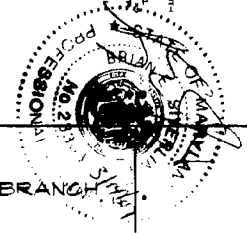
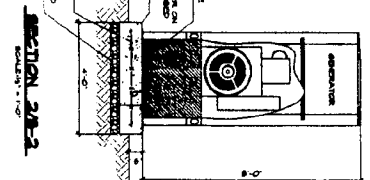
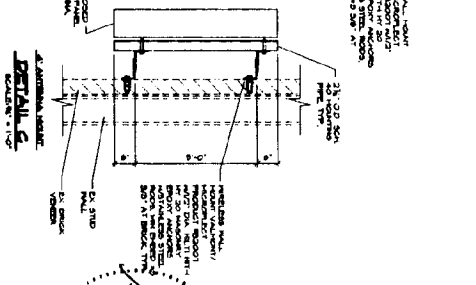
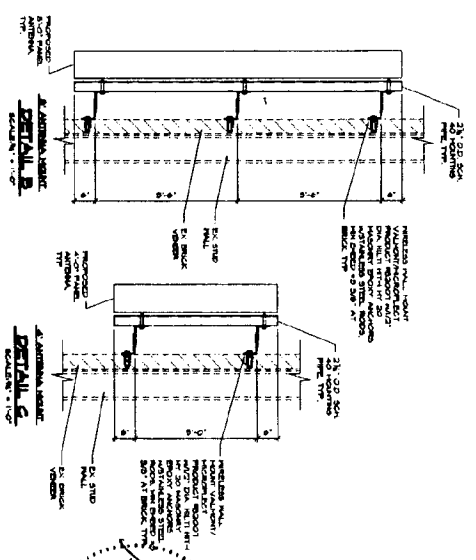
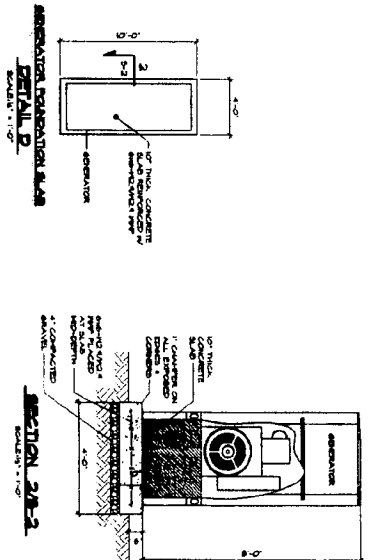
TITLE:
Structural
Sheet
S-1

BEFORE YOU DO
CALL UTILITY
LOCATION SERVICES
BY THE LAW
MISS UTILITY
800-257-7777

BEFORE YOU BEGIN
 CONSTRUCTION,
 CHECK THE
 LOCATION, ELEVATION,
 AND DEPTH OF ALL
 UTILITIES.
 1-800-231-5773



26



MIRA
 A TRISTAR
 CORPORATION
 1000 W. WASHINGTON AVE
 WASHINGTON, DC 20004
 TEL: 202-525-8000
 FAX: 202-525-8000

CSE
 CLARK SMITH
 ENGINEERING, INC.
 1000 W. WASHINGTON AVE
 WASHINGTON, DC 20004
 TEL: 202-525-8000
 FAX: 202-525-8000

verizon wireless
 TAKOMA TOWERS / PINEY BRANCH
 Carroll Ave & Westmoreland Ave
 Montgomery County, MD

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITS

DATE: MAR 5, 2008
 SCALE: AS NOTED
 PROJECT NO. 04021711
 DRAWING NO. 26
 TITLE: OPERATOR
 DESIGNER: [Signature]
 CHECKER: [Signature]
 DRAWN BY: [Signature]

S-2

11

10

9

8

7

6

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4

3

2

1

ELECTRICAL SPECIFICATION

ELECTRICAL SYMBOLS LIST

VERIZON SERVICE CALCULATION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTIONS, INCLUDING BUT NOT LIMITED TO, THE STATE DEPARTMENT OF LABOR AND OCCUPATIONAL SAFETY AND HEALTH, AND THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTIONS, INCLUDING BUT NOT LIMITED TO, THE STATE DEPARTMENT OF LABOR AND OCCUPATIONAL SAFETY AND HEALTH, AND THE LOCAL BUILDING DEPARTMENT.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTIONS, INCLUDING BUT NOT LIMITED TO, THE STATE DEPARTMENT OF LABOR AND OCCUPATIONAL SAFETY AND HEALTH, AND THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTIONS, INCLUDING BUT NOT LIMITED TO, THE STATE DEPARTMENT OF LABOR AND OCCUPATIONAL SAFETY AND HEALTH, AND THE LOCAL BUILDING DEPARTMENT.

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ABBREVIATIONS	
AD	AIR DUCT
AW	AWG WIRE
CP	COPY
CS	CORROSION RESISTANT
DB	DRAIN BATH
DIS	DISTANCE
EL	ELECTRICAL
EQ	EQUAL
EX	EXTERIOR
FL	FLUORESCENT LIGHT FIXTURE
FM	FIRE RESISTANT MASONRY
FP	FLOOR FINISH
FR	FRONT
FS	FIRE STOP
FT	FEET
GD	GROUNDING
GL	GLASS
GR	GRAVEL
HA	HALOGEN IDEAL LIGHT FIXTURE
HD	HEAD
HS	HEAVY DUTY
IB	INSULATED BRICK
IN	INCH
IS	INSULATION
IT	INTERIOR TRIM
LD	LEAD
LE	LEAD LINING
LI	LIGHT
LU	LUMINOUS
LV	LOW VOLTAGE
MD	MEDIUM DUTY
ME	MEDIUM DUTY
MI	MEDIUM DUTY
MJ	MEDIUM DUTY
ML	MEDIUM DUTY
MM	MEDIUM DUTY
MN	MEDIUM DUTY
MO	MEDIUM DUTY
MP	MEDIUM DUTY
MQ	MEDIUM DUTY
MR	MEDIUM DUTY
MS	MEDIUM DUTY
MT	MEDIUM DUTY
MU	MEDIUM DUTY
MV	MEDIUM DUTY
MW	MEDIUM DUTY
MX	MEDIUM DUTY
MY	MEDIUM DUTY
MZ	MEDIUM DUTY

ELECTRICAL PANEL MDP	
DESCRIPTION	QUANTITY
240VOLT 20 AMP	3
120VOLT 20 AMP	2
120VOLT 15 AMP	1
120VOLT 10 AMP	1
120VOLT 5 AMP	1
TOTAL LOAD	1200VA

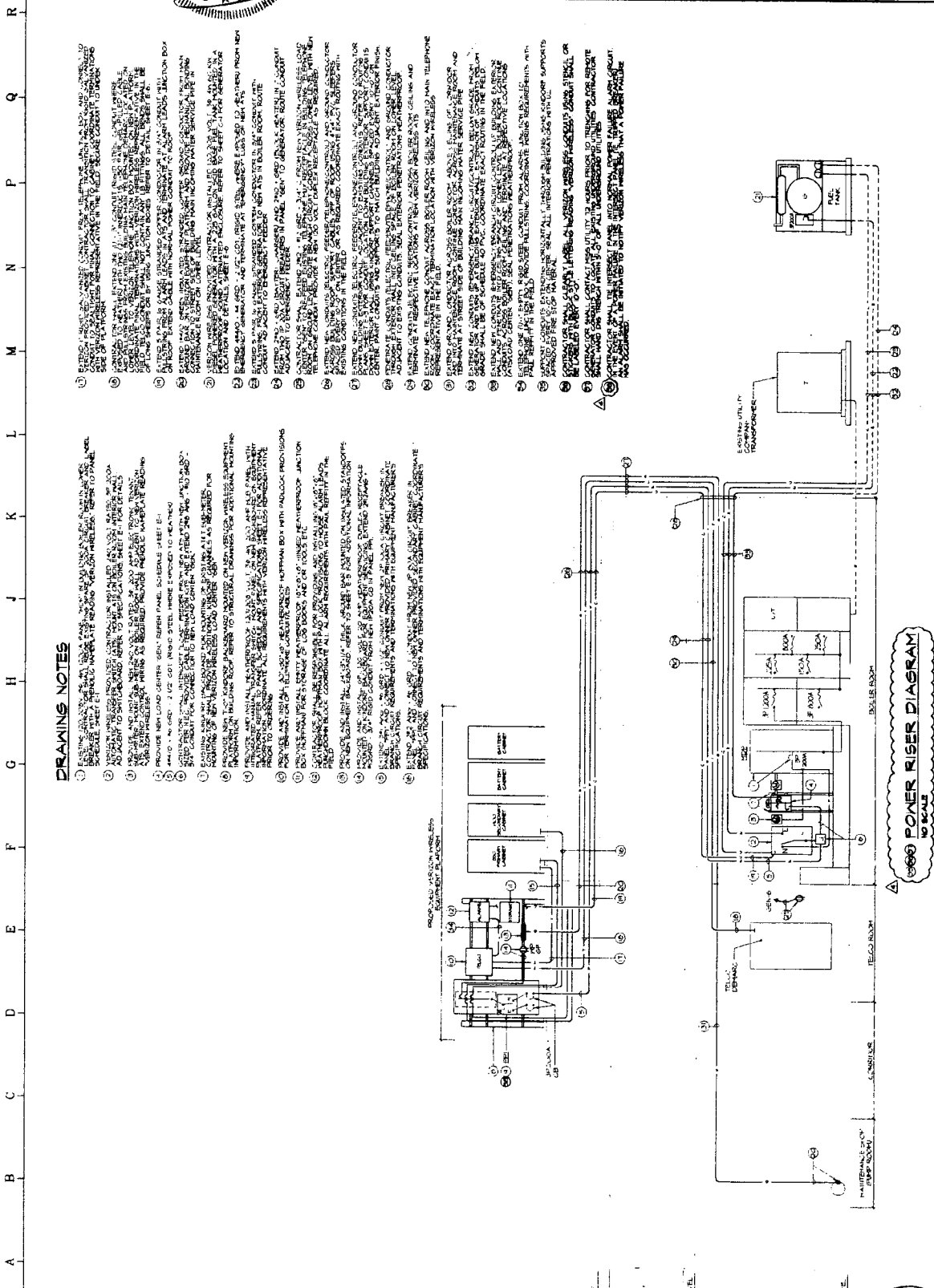
ELECTRICAL PANEL GEN	
DESCRIPTION	QUANTITY
240VOLT 20 AMP	3
120VOLT 20 AMP	2
120VOLT 15 AMP	1
120VOLT 10 AMP	1
120VOLT 5 AMP	1
TOTAL LOAD	1200VA

VERIZON SERVICE CALCULATION	
DESCRIPTION	QUANTITY
240VOLT 20 AMP	3
120VOLT 20 AMP	2
120VOLT 15 AMP	1
120VOLT 10 AMP	1
120VOLT 5 AMP	1
TOTAL LOAD	1200VA

VERIZON SERVICE CALCULATION	
DESCRIPTION	QUANTITY
240VOLT 20 AMP	3
120VOLT 20 AMP	2
120VOLT 15 AMP	1
120VOLT 10 AMP	1
120VOLT 5 AMP	1
TOTAL LOAD	1200VA

CLKR SMUR
 5/17/2005
 5/17/2005
 5/17/2005

verizon wireless
 MONTGOMERY COUNTY, MARYLAND



DRAWING NOTES

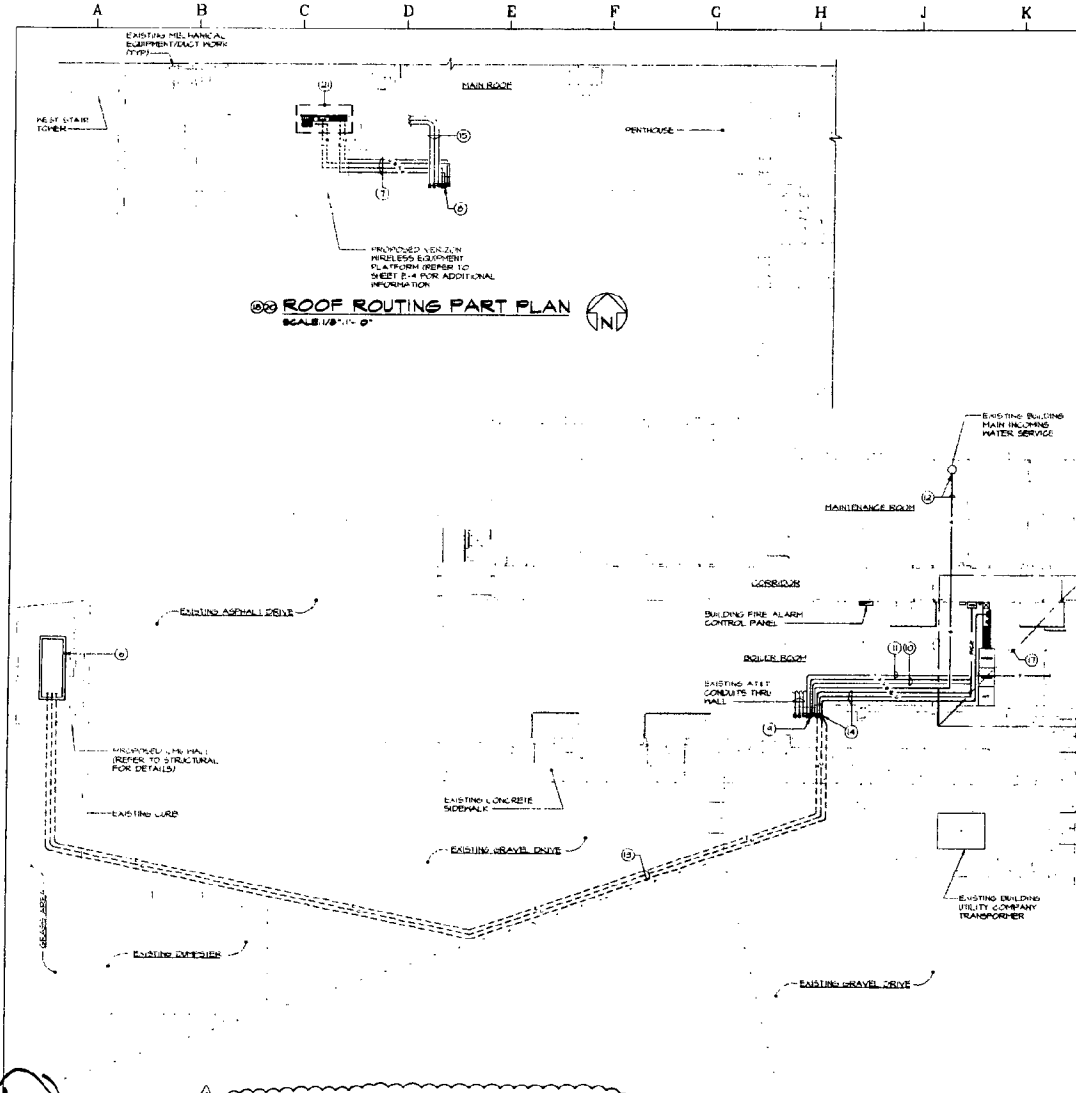
1. PROVIDE NEW LOW VOLTAGE GEN. RISER PANEL SCHEDULE SHEET E-1.
2. PROVIDE NEW 1/2" X 1/2" X 1/2" STEEL RISER TO RACK.
3. PROVIDE NEW 1/2" X 1/2" X 1/2" STEEL RISER TO RACK.
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GSE
GLOCK SMIDT
ENGINEERING, INC.
100 N. JEFFERSON ROAD
DUBLIN, OHIO 43017
TEL: 614.885.1000
FAX: 614.885.1001

Verizon Wireless
VERIZON WIRELESS
COMMUNICATIONS CO. (MARYLAND)

REVISION	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	10/20/00
2	ISSUE FOR PERMIT	10/20/00
3	ISSUE FOR PERMIT	10/20/00
4	ISSUE FOR PERMIT	10/20/00
5	ISSUE FOR PERMIT	10/20/00
6	ISSUE FOR PERMIT	10/20/00
7	ISSUE FOR PERMIT	10/20/00
8	ISSUE FOR PERMIT	10/20/00
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11	ISSUE FOR PERMIT	10/20/00



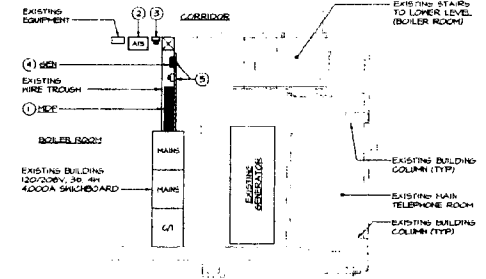
ROOF ROUTING PART PLAN
SCALE 1/8"=1'-0"

29

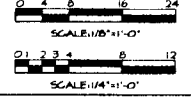
LOWER LEVEL ROUTING PLAN
SCALE 1/8"=1'-0"

DRAWING NOTES

- EXISTING 12000V 3Φ AIR 1200A PANEL "IN" IN BUILDING BOILER ROOM ON LOWER LEVEL. REFER TO POWER RISER SHEET E-2 FOR ADDITIONAL INFORMATION AND PANEL SCHEDULE SHEET E-1.
- VERTICAL WIRELESS PROVIDED CONDUIT FOR INSTALLED 240 VOLT RATED 3Φ 200A AIRCRAFT WIRELESS FROM MAIN RISE AND BOILER ROOM THROUGH PANEL ADJACENT TO SWITCHBOARD. REFER TO SPECIFICATIONS SHEET E-1 FOR DETAILS.
- PROVIDE WIRING AND BRACKETS TO SUPPORT AIRCRAFT WIRELESS. TERMINATE WIRELESS ON BOILER ROOM W/4" AIRCRAFT WIRELESS. TERMINATE AT EXISTING WIRING ROOM AS REQUIRED. PROVIDE PENCIL NAMEPLATE READING VERTICALLY WIRELESS.
- PROVIDE NEW LOAD CENTER "GEN" REFER PANEL SCHEDULE SHEET E-1.
- CONDUIT FOR SMALL SIZE W/4" ADDITIONAL W/4" CHANNELS AS REQUIRED FOR MOUNTING OF NEW VERTICAL WIRELESS LOAD CENTER "GEN".
- VERTICAL WIRELESS PROVIDED CONDUIT FOR INSTALLED 120/208 VOLT 3Φ AIR 400A DEFER POWER GENERATION WITH W/4" CONDUIT. REFER TO SHEET "C" FOR GENERATOR LOCATION AND DETAILS, SHEET E-2.
- EXISTING NEW CONDUITS EXTENDING FROM BOILER ROOM AND W/4" CONDUIT FOR 1200V BOILER ROOM EQUIPMENT. SIZE OF 2" 1/2" 100' 3" 1/2" 3" 1/2" 4" 1/2" 6" 1/2" 8" 1/2" 10" 1/2" 12" 1/2" 14" 1/2" 16" 1/2" 18" 1/2" 20" 1/2" 24" 1/2" 30" 1/2" 36" 1/2" 42" 1/2" 48" 1/2" 54" 1/2" 60" 1/2" 72" 1/2" 84" 1/2" 96" 1/2" 108" 1/2" 120" 1/2" 132" 1/2" 144" 1/2" 156" 1/2" 168" 1/2" 180" 1/2" 192" 1/2" 210" 1/2" 228" 1/2" 240" 1/2" 252" 1/2" 264" 1/2" 276" 1/2" 288" 1/2" 300" 1/2" 312" 1/2" 324" 1/2" 336" 1/2" 348" 1/2" 360" 1/2" 372" 1/2" 384" 1/2" 396" 1/2" 408" 1/2" 420" 1/2" 432" 1/2" 444" 1/2" 456" 1/2" 468" 1/2" 480" 1/2" 492" 1/2" 504" 1/2" 516" 1/2" 528" 1/2" 540" 1/2" 552" 1/2" 564" 1/2" 576" 1/2" 588" 1/2" 600" 1/2" 612" 1/2" 624" 1/2" 636" 1/2" 648" 1/2" 660" 1/2" 672" 1/2" 684" 1/2" 696" 1/2" 708" 1/2" 720" 1/2" 732" 1/2" 744" 1/2" 756" 1/2" 768" 1/2" 780" 1/2" 792" 1/2" 804" 1/2" 816" 1/2" 828" 1/2" 840" 1/2" 852" 1/2" 864" 1/2" 876" 1/2" 888" 1/2" 900" 1/2" 912" 1/2" 924" 1/2" 936" 1/2" 948" 1/2" 960" 1/2" 972" 1/2" 984" 1/2" 996" 1/2" 1000" 1/2"
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BOILER ROOM PART PLAN
SCALE 1/8"=1'-0"



GSE
GLOCK SMIDT
ENGINEERING, INC.
174 E. JEFFERSON ROAD
ROBERT HILL, MARYLAND 20894
PHONE: 410 885 8888
FAX: 410 885 8888
WWW.GSE.COM

verizon wireless
PINEY BRANCH
(MONTGOMERY CO., MARYLAND)

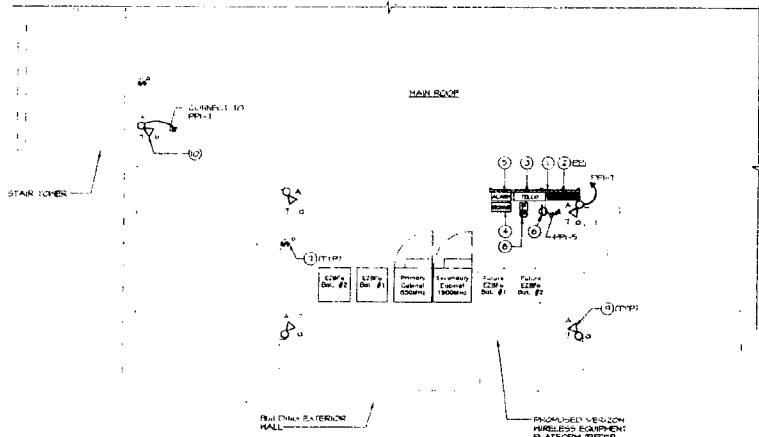
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2	REVISOR LOCATION	10/20/09
3	REVISOR LOCATION	10/20/09
4	FINAL DRAWING	10/20/09
5	PERMIT DRG	02/20/10

LAST REV.
PROJECT NO: 050008
DATE: JUNE 23, 2005
SCALE: AS NOTED

TITLE:
BOILER ROOM
PART PLAN,
ROUTING PLAN,
AND NOTES

SHEET:
E-3

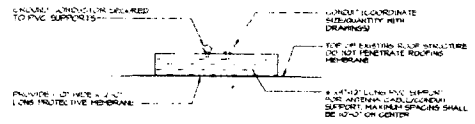
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PLATFORM POWER PLAN
SCALE: 1/4"=1'-0"

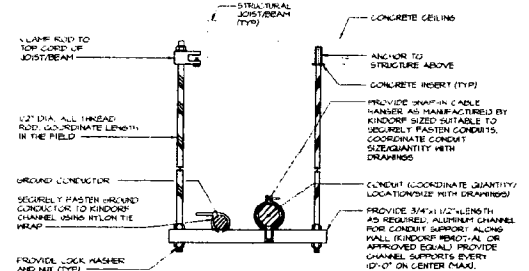
LIGHTING FIXTURE SCHEDULE

TYPE	LAMP	MOUNTING	DESCRIPTION/VOLTAGE	CATALOG NO.
A	1500W QUARTZ	SURFACE	AS LISTED NET LOCATION QUARTZ FLOOD FIXTURE WITH FINISH TO MATCH EXISTING BUILDING (200V)	515020 BIDDING PER AN APPROVED EQUAL



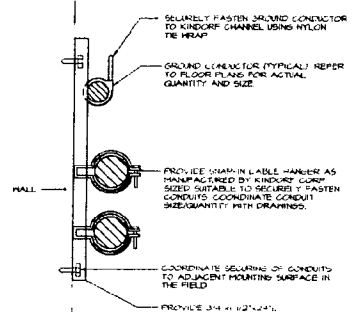
DETAIL - CONDUIT SUPPORT OFF ROOF
NO SCALE

NOTE: SUPPLIER TO PROVIDE ALL ELECTRICAL DETAILS TO COORDINATE WITH OWNER'S REPRESENTATIVE IN THE FIELD.



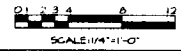
DETAIL - STRUCTURE HUNG CONDUIT SUPPORT
NO SCALE

NOTE: CONTRACTOR SHALL VERIFY CONDUIT(S) FIT TO UNDERSIDE OF CEILING TO MINIMIZE OBSTRUCTION BELOW. COORDINATE CEILING STRUCTURE IN THE FIELD.



DETAIL - WALL MOUNTED CONDUIT SUPPORT
NO SCALE

NOTE: PROVIDE 3/4" x 1/2" x 24" ALUMINUM CHANNEL FOR CONDUIT SUPPORT ALONG EXTERIOR WALL. KINDROFF REMOVAL OR APPROVED EQUAL. PROVIDE CHANNEL SUPPORTS MINIMUM 10'-0" ON CENTER.

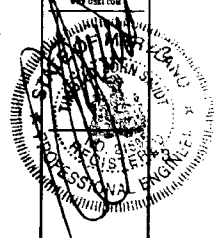


DRAWING NOTES

- PROVIDE NEW 1'-0" KINDROFF BALANCE BOARD MOUNTED ON NEW WIRELESS EQUIPMENT PLATFORM. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL MOUNTING INFORMATION.
- PROVIDE AND INSTALL WEATHERPROOF LOGBOOK WITH 3 1/2" x 4 1/2" x 1/2" x 1/2" FRAME WITH INTEGRATED MANUAL HOIST/SWITCH MOUNTING ON NEW BALANCE BOARD ON EQUIPMENT PLATFORM. REFER TO FRAME SCHEDULE AND SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION. COORDINATE ALL REQUIREMENTS WITH VERIZON WIRELESS REPRESENTATIVE PRIOR TO ORDERING.
- PROVIDE AND INSTALL 36" x 18" x 1/2" WEATHERPROOF HOFFMAN BOX WITH PADLOCK PROVISIONS FOR TERMINATION OF TELEPHONE CONNECTIONS.
- PROVIDE AND INSTALL ENTRY WEATHERPROOF 18" x 18" x 1/2" WEATHERPROOF JUNCTION BOX (HOFFMAN) FOR STORAGE OF LOG BOOKS AND/OR TOOLS ETC.
- PROVIDE FOR SOME RESPONSIBILITY FOR PROTECTING AND DETAILING OF ENTRY WEATHERPROOF HOFFMAN BOX WITH PAD LOCK PROVISIONS TO HOUSE ALARM LEADS THROUGH BLOCK. COORDINATE ALL ALARM REQUIREMENTS WITH PAX REPRESENTATIVE IN THE FIELD.
- PROVIDE AND INSTALL 36" x 18" x 1/2" WEATHERPROOF EMERGENCY RECEPTACLE MOUNTED ON KINDROFF BALANCE BOARD FOR EQUIPMENT SERVICING.
- PROVIDE AND INSTALL EXTERIOR GRADE SPRING HINGED DOOR SWITCH IN WEATHERPROOF HOFFMAN BOX. THE SWITCH IS TO BE INSTALLED IN THE CENTER OF THE DOOR. THE DOOR SHALL BE MADE OF 18 GAUGE GALVALUM STEEL WITH 20 MINUTE RAINFIRE RATING. THE DOOR SHALL BE MADE OF 18 GAUGE GALVALUM STEEL WITH 20 MINUTE RAINFIRE RATING. THE DOOR SHALL BE MADE OF 18 GAUGE GALVALUM STEEL WITH 20 MINUTE RAINFIRE RATING. THE DOOR SHALL BE MADE OF 18 GAUGE GALVALUM STEEL WITH 20 MINUTE RAINFIRE RATING. COORDINATE EXACT MOUNTING LOCATION WITH VERIZON REPRESENTATIVE IN THE FIELD.
- PROVIDE WEATHERPROOF ABOVE DOORWAY FIRE ALARM DEVICE TO MATCH BUILDING STANDARDS. MOUNTED ON WEATHERPROOF HOFFMAN BOX. THE DEVICE SHALL BE MADE OF 18 GAUGE GALVALUM STEEL WITH 20 MINUTE RAINFIRE RATING. THE DEVICE SHALL BE MADE OF 18 GAUGE GALVALUM STEEL WITH 20 MINUTE RAINFIRE RATING. THE DEVICE SHALL BE MADE OF 18 GAUGE GALVALUM STEEL WITH 20 MINUTE RAINFIRE RATING. THE DEVICE SHALL BE MADE OF 18 GAUGE GALVALUM STEEL WITH 20 MINUTE RAINFIRE RATING. COORDINATE EXACT MOUNTING LOCATION WITH VERIZON REPRESENTATIVE IN THE FIELD.
- PROVIDE LIGHT FIXTURES AS DESIGNATED BY AND LAMPING AND SUBCIRCUIT PLANT LIGHT FIXTURE ON EXISTING STAIR TOWER EXTERIOR MALL @ 8'-0" ABOVE ROOF.



GLOCK SMITH ENGINEERING INC.
1374 W. HARTSFELLS ROAD
P.O. BOX 100
PINEY BRANCH, MARYLAND 21776
PHONE: 410.805.9700
FAX: 410.805.9701
WWW.GSEINC.COM



verizon wireless
PINEY BRANCH
(MONTGOMERY CO., MARYLAND)

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR BIDDING	02/26/08
2	ISSUED FOR BIDDING	03/05/08
3	ISSUED FOR BIDDING	03/05/08
4	ISSUED FOR BIDDING	03/05/08

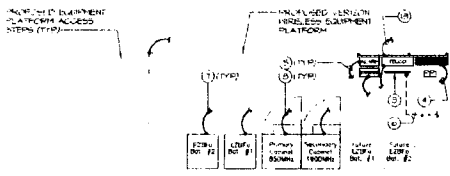
LAST REV:
PROJECT NO: 050008
DATE: JUNE 23, 2008
SCALE: AS NOTED

TITLE:
PLATFORM POWER PLAN, DETAILS, AND NOTES

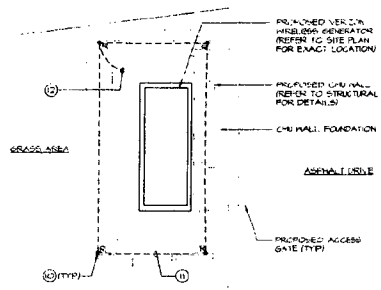
SHEET:
E-4

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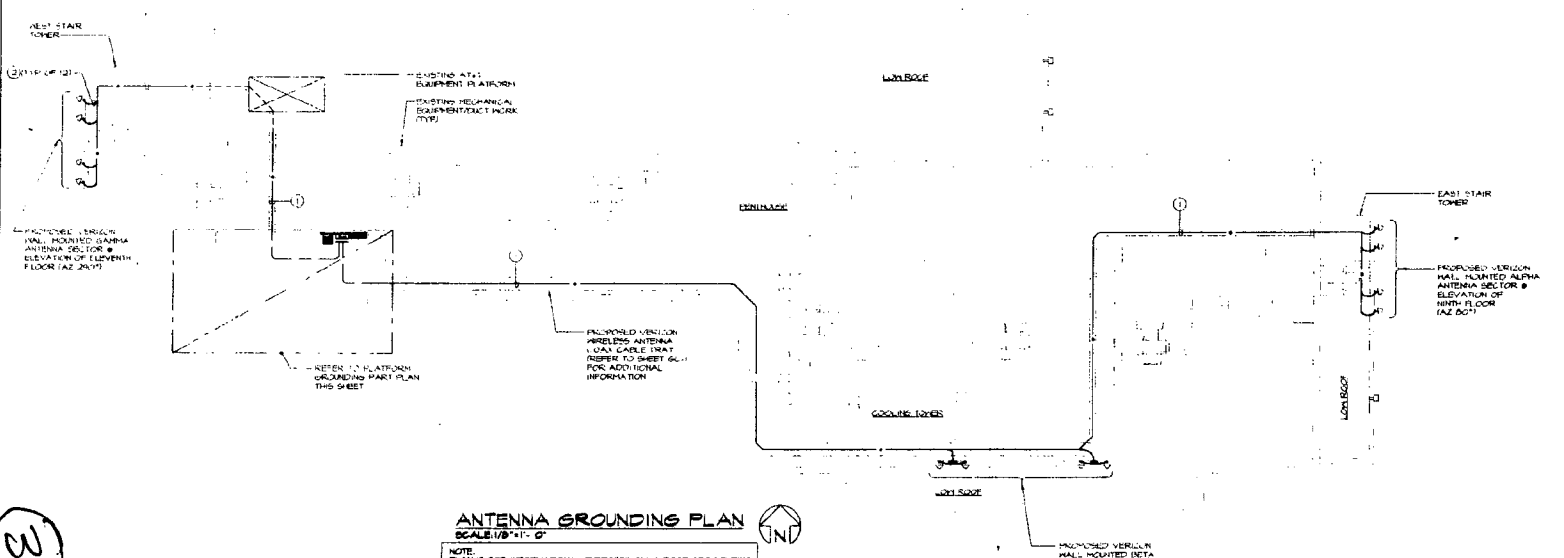
PLATFORM GROUNDING PART PLAN
SCALE: 1/4" = 1'-0"



GENERATOR GROUNDING PART PLAN
SCALE: 1/4" = 1'-0"

DRAWING NOTES

1. EXTEND #2 ANS. GREEN INSULATED STRANDED COPPER GROUND CONDUCTOR FOR BONDING CONNECTION OF ROOF GROUND RING. EXTEND GROUND CONDUIT WITH ANTENNA CABLES AND BOND TO GROUND BAR ON NEW ENCLOSURE. REFER TO SHEET 66-11 FOR ROUTING OF NEW ANTENNA COAX CABLES.
2. PROVIDE BONDING CONNECTION BETWEEN ANTENNA MAST AND ROOF GROUND CONDUCTOR. STANDOFFS MASTER GROUND BAR.
3. PROVIDE AND INSTALL 2X1/2" DIA. THICK GROUND BAR MOUNTED ON INSULATED STANDOFFS MASTER GROUND BAR.
4. PROVIDE BONDING CONNECTION FROM ENCLOSURE OF INTEGRATED LOAD CENTER PANEL TO MASTER GROUND BAR.
5. EXTEND GROUND CONDUCTOR FROM METAL ENCLOSURE OF EQUIPMENT JUNCTION BOXES MOUNTED ON BACKBOARD AND CONNECT TO MASTER GROUND BAR PLATE.
6. EXTEND #4 ANS. INSULATED COPPER GROUND CONDUCTOR FROM GROUND BAR MOUNTED ON BACKBOARD AND CONNECT TO STREET SIDE OF EXISTING MAIN WATER SERVICE LOCATED IN THE MAINTENANCE SHOP ON LOWER LEVEL. REFER TO ROUTING PLANS, SHEET E-3 FOR ADDITIONAL ROUTING INFORMATION.
7. EXTEND #2 ANS. BARE, TINED, SOLID COPPER GROUND CONDUCTOR FROM BATTERY AND BOND TO GROUND BAR.
8. EXTEND #2 ANS. BARE, TINED, SOLID COPPER GROUND CONDUCTOR FROM PROPOSED EQUIPMENT CABINETS PER MANUFACTURER'S REQUIREMENTS.
9. EXTEND #2 ANS. BARE, TINED, SOLID COPPER GROUND CONDUCTOR FROM MOB TO PROPOSED STEEL PLATFORM FRAMING (TYP OF 2, 90" APART).
10. PROVIDE 3/8" x 8" LONG LAPPING, GALV. STEEL GROUND RING IN NEW CONCRETE FOUNDATION. GROUND ROD SHALL BE DRIVEN VERTICALLY INTO GRADE SO THAT TOP OF GROUND ROD IS 4" ABOVE BOTTOM OF SHELFER FOOTING. COORDINATE EXACT PLACEMENT WITH FOUNDATION INSTALLING CONTRACTOR.
11. PROVIDE WFE GROUND RING CONSISTING OF 2 ANS. BARE TINED SOLID COPPER CONDUCTOR WFE GROUND RING SHALL BE INSTALLED WITH CONCRETE FOUNDATION AND APPROPRIATELY SECURED TO STRUCTURAL REIN. EVERY 24" ON CENTER. ALL CONNECTIONS TO WFE GROUND RING SHALL BE CADWELDED. COORDINATE PLACEMENT OF GROUND RING AND ASSOCIATED RODS WITH STRUCTURAL DRAWINGS AND INSTALLING CONTRACTOR IN THE FIELD.
12. EXTEND #2 ANS. BARE, TINED, SOLID COPPER WELDING CONDUCTOR FROM GROUND ROD AND CONNECT TO GENERATOR FRAME PER MANUFACTURER'S RECOMMENDATIONS.
13. PROVIDE BONDING CONNECTION FROM NEW EQUIPMENT BACKBOARD AND BOND TO MASTER GROUND BAR.



ANTENNA GROUNDING PLAN
SCALE: 1/8" = 1'-0"

NOTE:
PLAN IS FOR INFORMATIONAL PURPOSES ONLY. ROOF GROUND RING CONDUCTOR SHALL FOLLOW SAME PATH AS NEW ANTENNA CABLES. REFER TO SHEET 66-11 FOR ROUTING OF NEW ANTENNA COAX CABLES TO EACH ANTENNA SECTOR.

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GSE
GLOCK SMIDT
ENGINEERING, INC.
1314 N. HUNTERSVILLE ROAD
FROST HILL, MARYLAND 20708
PHONE: (301) 510-0000
FAX: (301) 510-0001
WWW.GSE-ENGINEERS.COM

REGISTERED PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 LICENSE NO. 100234

verizon wireless
PINEY BRANCH
(MONTGOMERY CO., MARYLAND)

REVISIONS	
NO.	DESCRIPTION

LAST REV. PROJECT NO. 050009
DATE: JUNE 23, 2000
SCALE: AS NOTED

TITLE:
GROUNDING PLANS AND NOTES

SHEET:
E-5

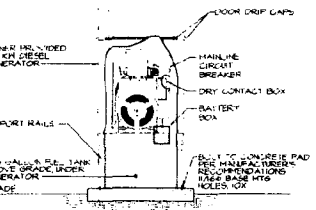
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GENERAL NOTES - GROUNDING

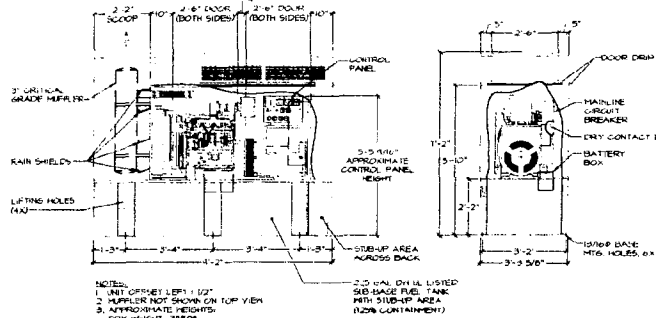
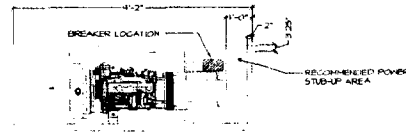
- ALL WELDS SHALL BE MADE WITH THE GREATEST PRACTICAL RADII AND SHALL NOT BE LESS THAN ONE (1) INCH.
- USE OF HOT TENTS SHALL BE AVOIDED WHEN HOT WELDS CAN BE ADEQUATELY SUPPORTED.
- PROVIDE ANODES AND ANODES/ANODES FILL ATTA. HANDLE CONNECTIONS TO ANODES TO THE EXTENT PROVIDED WITH THE ANODES. PROVIDE TWO HOLES, ONE AS SHOWN IN GENERAL ANODES/ANODES CONNECTION DETAIL. THE OTHER HOLE SHALL BE CUT TO THE NEXT LARGEST POSSIBLE. ALL BONDING CONNECTIONS TO THE EXTERIOR GROUND BAR PLATE SHALL BE MADE USING STAINLESS STEEL WELD RODS TO CORROSION INHIBITOR SHALL BE APPLIED BETWEEN NUTS AND BOLTS AND GROUND BAR PLATE.
- ALL EXTENDED GROUND CONDUCTORS SHALL BE #2 AWG BARE THREADED COPPER UNLESS NOTED OTHERWISE.
- ALL GROUND CONDUCTORS AND WELDS SHALL BE IN-PLACE UNDER COMPRESSION TYPE WITH STANDARD LENGTH BARREL NUTS. FULLY TIGHTEN UNLESS OTHERWISE SPECIFIED. SINGLE HOLES SHALL NOT BE ACCEPTABLE.
- ALL GROUNDING SHALL BE IN ACCORDANCE WITH VERIZON BATTERIES/WASHINGTON REGION GROUNDING STANDARDS.
- ALL HEAVY DUTY HARDWARE IN BATTERIES/GENERATORS SHALL BE STAINLESS STEEL INCLUDING NUTS, BOLTS, PLAT AND LOCK WASHERS.
- ALL EXTERIOR ELECTRICAL CONNECTIONS SHALL BE MADE USING ANODE INHIBITING JOINT COMPOUND. THE COMPOUND SHALL BE APPLIED TO ALL SURFACES OF BOLTS, WASHERS, NUTS AND CONNECTING DEVICES OF GROUND BAR PLATE. ALL BARE COPPER SURFACES OF CONDUCTORS SHALL BE COATED PRIOR TO JOGGING. JOINT COMPOUND SHALL BE CURRENT ELECTRICAL PERMITTED OR EQUIVALENT.
- TYPICAL UNDESIGNED DIRECTIONAL BONDING CONNECTIONS SHALL BE MADE USING DOUBLE GRAMP TYPE "C" TAP CONNECTORS.
- ALL BONDING JOINTS MUST BE COATED WITH GOLD SALT ANNEAL AFTER COOL DOWN.
- ALL CONDUIT USED AS SLEEVES FOR GROUNDING OR BONDING CONDUITS SHALL BE PVC.
- PLEASE TO START OF GROUNDING WORK, THE CONTRACTOR SHALL OBTAIN THE LATEST COPY OF THE VERIZON BATTERIES/WASHINGTON REGION GROUNDING STANDARDS. ANY OMISSION OF INFORMATION ON THIS DOCUMENT DOES NOT BELIEVE THE CONTRACTOR OF RESPONSIBILITY. ALL VERIZON GROUNDING REQUIREMENTS SHALL BE MET AS OUTLINED IN VERIZON GROUNDING STANDARDS.

DETAIL - 3" TELCO CONDUIT
NO SCALE

NOTE: ENTIRE TELCO CONDUIT PARALLEL SHALL NOT CONTAIN ANY LB FITTINGS. ALL BENDS SHALL BE OF LONG SHEEPS OR MADE BY USING JUNCTION BOXES.

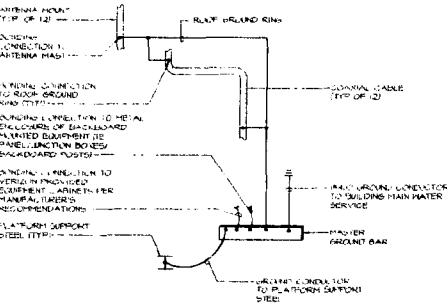


DETAIL - GENERATOR
NO SCALE

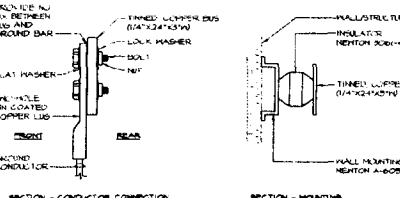
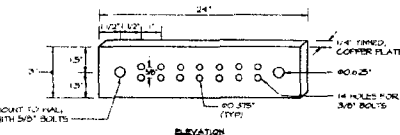


- NOTES:
- UNIT OFFSET LEFT 1/2\"/>
 - SUPPLEMENT SHOWN ON TOP VIEW.
 - APPROPRIATE HEIGHTS: (DRY WEIGHT) 3000# NET WEIGHT 3500#
 - REFERENCE PANEL DRAWING 108-035-AL-1
 - TOP VIEW SHOWS LOSS ENCLOSURE # 22
 - FOUND LEVEL: 60 DPA # 22

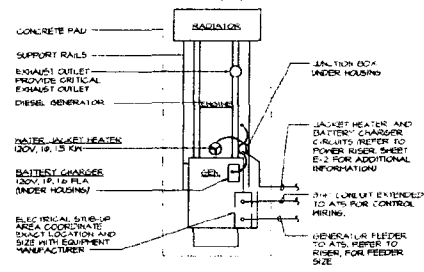
DETAIL - 60 KW KATOLIGHT GENERATOR
NO SCALE



GROUNDING SYSTEM DIAGRAM
NO SCALE



DETAIL - EXTERIOR GROUND BAR (EGB)
NO SCALE



DETAIL - GENERATOR CONNECTION
NO SCALE



verizon wireless
PINEY BRANCH
(MONTGOMERY CO., MARYLAND)

REVISIONS	DESCRIPTION	DATE
1	END DRAWING	07/06
2	BREAKER LOCATION	07/06
3	GEN LOCATION	07/06
4	GEN DRAWING	07/06
5	REV. DRAWING	07/06
6	REV. DRAWING	07/06
LAST REV.		
PROJECT NO. 05000		
DATE LINE 23, 2006		
SCALE: AS NOTED		
TITLE: GROUNDING RUBER DIAGRAM, GENERAL NOTES AND DETAILS		

SHEET:
E-6

(Handwritten initials)

City of Takoma Park, Maryland

HOUSING AND
COMMUNITY DEVELOPMENT

TELEPHONE: (301) 891-7119
FAX: (301) 270-4568



7500 MAPLE AVENUE
TAKOMA PARK, MD 20912

13 April 2005

Ms. Julia O'Malley, Chair
Historic Preservation Commission
1109 Spring Street, Suite 801
Silver Spring, Maryland 20910

RE: HPC Case No. 37/03-050
7051 Carroll Avenue, Takoma Park

Dear Ms. O'Malley:

The Takoma Park Facade Advisory Board met on Tuesday, April 12, 2005, to review the HAWP application submitted by Takoma Tower L/P for the installation of telecommunication antennae at 7051 Carroll Avenue. The application is to be considered by the Historic Preservation Commission on April 13, 2005.

The Board found the proposal to be in general compliance with the design guidelines developed for the Old Town/Takoma Junction area and endorsed the proposal with the following recommendations:

- The elimination of the brick walls to be constructed around the equipment platform.
- All roof mounted equipment, including the proposed equipment platform and all existing mechanical equipment, be painted to match the color of the building's brick facade.
- All antennas and associated mounting equipment be painted to match the color of the building's brick facade.
- The elimination of any exposed cabling on the exterior facade of the building.

If you have any questions regarding our support of the pending HAWP, please call.

Thank you for the ongoing efforts of the Commission to preserve the unique architectural character of our historic business district.

Sincerely,


Sara Anne Daines
Director, HCD

CC: Tania Tully, Historic Preservation Planner



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: April 14, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Tania Georgiou Tully, Senior Planner ^{TGT}
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 377619

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with CONDITIONS**.

1. In addition to the antennas, any cables and mounting equipment will match the color of the existing building
2. The applicant should meet the conditions set forth in the attached April 13, 2005 letter from the City of Takoma Park's Façade Advisory Board.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Michael Coles
c/o Takoma Towers L/P (Jacqueline Karp, Agent)

Address: 5430 Grosvenor Lane, Suite 210 Bethesda

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work

City of Takoma Park, Maryland

Housing & Community Development

Telephone: (301) 891-7119
Fax: (301) 270-4568



7500 Maple Avenue
Takoma Park, MD 20912

September 13, 2007

Mr. Jef Fuller, Chair
Historic Preservation Commission
1109 Spring Street, Suite 801
Silver Spring, Maryland 20910

RE: 7051 Carroll Avenue, Takoma Park - Generator Shed

Dear Mr. Fuller:

The Takoma Park Facade Advisory Board met on Tuesday, September 11, 2007, to review a proposal submitted by Ms. Stephanie Petway, agent for Verizon, for the installation of a eight foot tall brick generator shed that matches the existing Victory Towers building. The application is to be considered by the Historic Preservation Commission later this fall.

The Board found the proposal to be in general compliance with the design guidelines developed for the area and endorsed the proposal as presented with the following conditions:

1. That Verizon provide a trellis along the length of the sides of the structure facing Westmoreland and Carroll Avenues, using a City recommended low-maintenance climbing plant for screening.
2. That one or more properties is missing from the adjoining and confronting property list and that this needs to be remedied and the proper notifications issued prior to the HPC hearing.

If you have any questions regarding the Board's action, please call (301) 891-7205.

Thank you for the ongoing efforts of the Commission to preserve the unique architectural character of our historic business district.

Sincerely,

Ilona Blanchard
Senior Planner

BEFORE SIMULATION



Site Name:
Takoma Towers / Piney Branch
7051 Carroll Ave.
Takoma Park, MD 20412
Proposed Shelter with ivy trellis

Verizon
Photo looking South
from Carroll Ave.
Before Simulation



AFTER SIMULATION



Site Name:
Takoma Towers / Piney Branch
7051 Carroll Ave.
Takoma Park, MD 20412
Proposed Shelter with ivy trellis

Verizon
Photo looking South
from Carroll Ave.
After Simulation


**NETWORK BUILDING
& CONSULTING, LLC**

BEFORE SIMULATION



Site Name:
Takoma Towers / Piney Branch
7051 Carroll Ave.
Takoma Park, MD 20412
Proposed Shelter with ivy trellis

Verizon
Photo looking West
from Parking lot
Before Simulation


**NETWORK BUILDING
& CONSULTING, LLC**

AFTER SIMULATION



Site Name:
Takoma Towers / Piney Branch
7051 Carroll Ave.
Takoma Park, MD 20412
Proposed Shelter with ivy trellis

Verizon
Photo looking West
from Parking lot
After Simulation



**NETWORK BUILDING
& CONSULTING, LLC**

(39)



Site Name:
Takoma Towers / Piney Branch
7051 Carroll Ave.
Takoma Park, MD 20412
Proposed Shelter with ivy trellis

Verizon
Photo looking East
from Westmoreland Ave.
Not Visible

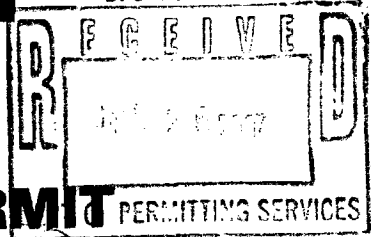

**NETWORK BUILDING
& CONSULTING, LLC**



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
301-777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400



APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Stephane Petway
Daytime Phone No.: 240-401-0907

Tax Account No.: 01072074
Name of Property Owner: Takoma Tower LP Daytime Phone No.: _____
Address: 5430 Grosvenor Lane, Suite 210 Bethesda, MD 20814
Street Number City Street Zip Code
Applicant: Verizon Wireless Services Phone No.: 240-401-0907
Contractor Registration No.: N/A
Agent for Owner: Stephane Petway Daytime Phone No.: 240-401-0907

LOCATION OF BUILDING/PREMISE

House Number: 7051 Carroll Ave Street: Carroll Avenue
Town/City: Takoma Park Nearest Cross Street: Westmoreland
Lot: 2 Block: F Subdivision: N/A
Liber: 20358 Folio: 751 Parcel: N/A

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 5,000

1C. If this is a revision of a previously approved active permit, see Permit # HAWP 377619 HPC 37103

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: N/A 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: N/A 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stephane Petway
Signature of owner or authorized agent

3/19/08
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 448661 Date Filed: 3/28/07 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing building is 14-story apartment building
with related parking area.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Please See Attached Statement

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address Takoma Tower, LP 5430 Grosvenor Lane Suite 210 Bethesda, MD 20814</p>	<p>Owner's Agent's mailing address Stephanie M. Reilly Agent for Verizon Wireless 7380 Coca Cola Dr. Suite 106 Hanover, MD</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Peter Aron 7212 Willow Ave Takoma Park, MD 20912</p>	<p>Michal Podhorzer & Carol Brauner 7003 Westmoreland Ave Takoma Park, MD 20912</p>
<p>MACEPPC 8787 Georgia Ave Silver Spring, MD 20910</p>	<p>BATRAP Ventures LLC P.O. Box 7548 Silver Spring, MD 20907</p>
<p>Edwardo J. Cartagena 2017 Forest Dale Dr. Silver Spring, MD 20903-1531</p>	<p>Joseph B Uehlein & Anna Lane Windham 11 Pine Ave Takoma Park, MD 20912-4677</p>

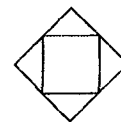
Somchai Chitayapongkul, ETAL 7060 Carroll Ave Takoma Park, MD 20912-4430	SBK, LLC 7003 Sycamore Ave Takoma Park, MD 20912
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City of Takoma Park
7500 Maple Ave
Takoma Park, MD
20912

7050 Carroll Ave LLC
203 Hilltop Road
Silver Spring, MD
20910-5403

Site Plan

See ATTACHED PLANS

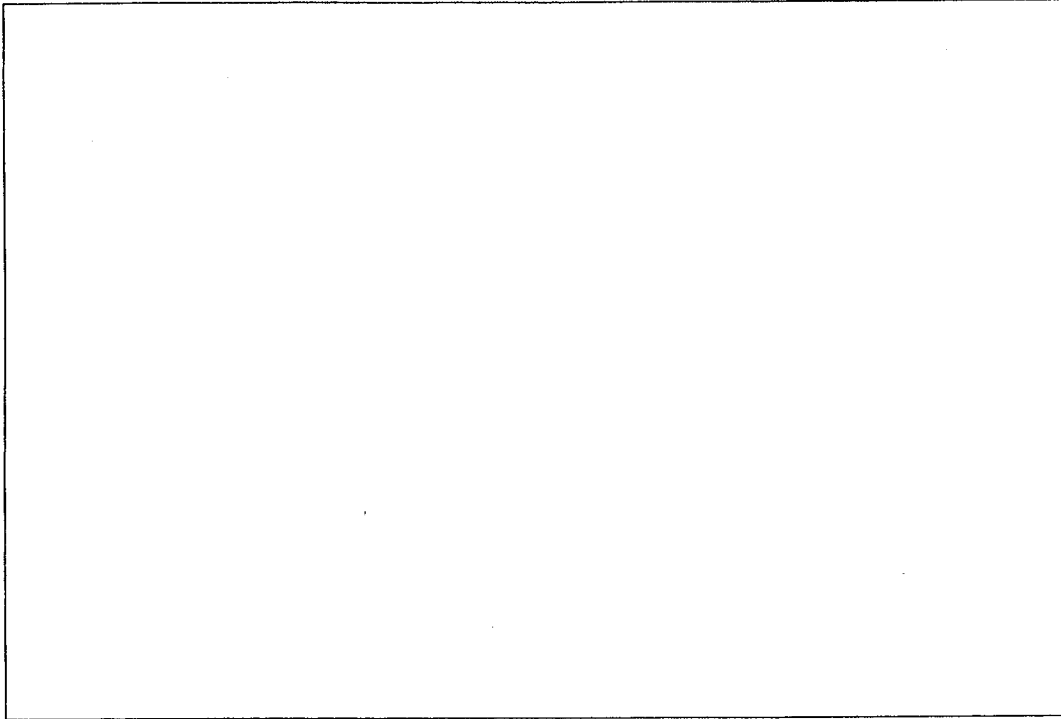


Shade portion to indicate North

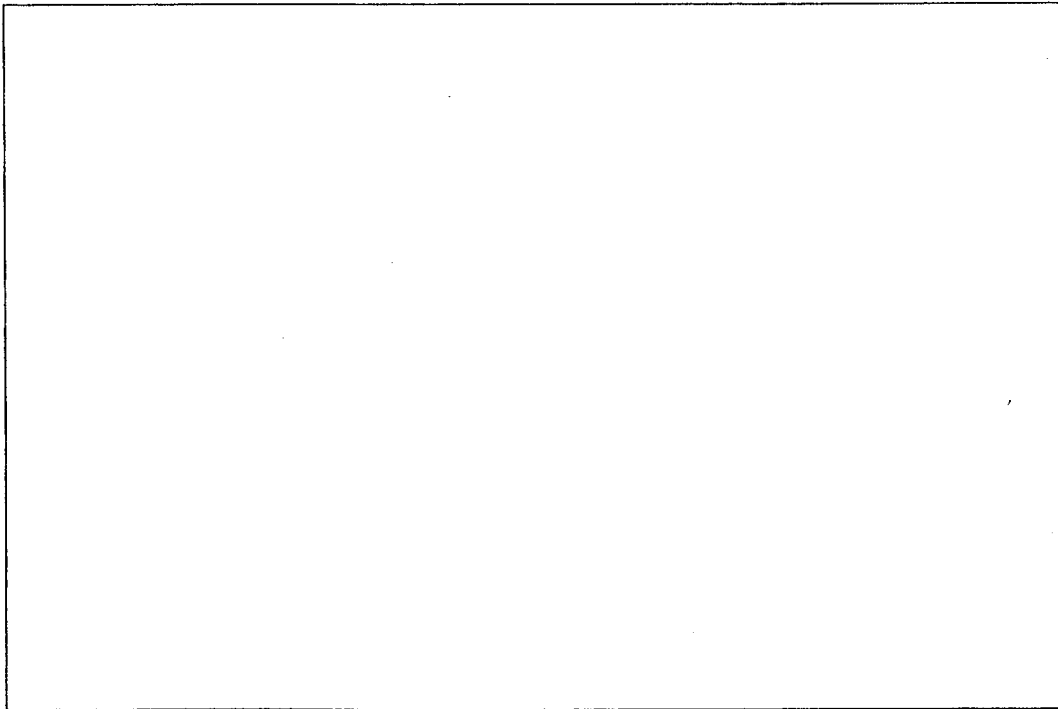
Applicant: _____

Page: __

Existing Property Condition Photographs (duplicate as needed)



Detail: _____



Detail: _____

Network Building & Consulting

March 19, 2007

On behalf of Verizon Wireless, this request is submitted to the City of Takoma Park and Montgomery County, Maryland's Historic Preservation Commission, requesting Historic Area Work Permit approval to place a diesel generator on a property located at 7051 Carroll Avenue.

Verizon has a HAWP (#377619) for its proposed telecommunication facility which consist of antennas, equipment shelter to be placed on the roof of the apartment building at subject property and installation of generator to be placed on the ground. After further review of the plans, the property owner requested that the generator be moved from it's originally approved location from the rear of the property to the location shown on the attached plans, which will place in the grassy area next to the dumpster located on the west side of the property. The proposed generator will be approximately 7'2" in height by 35" wide. The proposed generator will be enclosed by a brick screening wall, which will match the brick of the existing building on the property. With the proposed screening the proposed generator installation will have little or no the visual impact of the proposed on the subject property or the adjacent and abutting properties.

Please feel free to contact me, Stephanie Petway, if you have any questions or concerns about this request.

Sincerely,

Stephanie M. Petway
Consultant to Verizon Wireless
240-401-0907
spetway@nbcllc.com

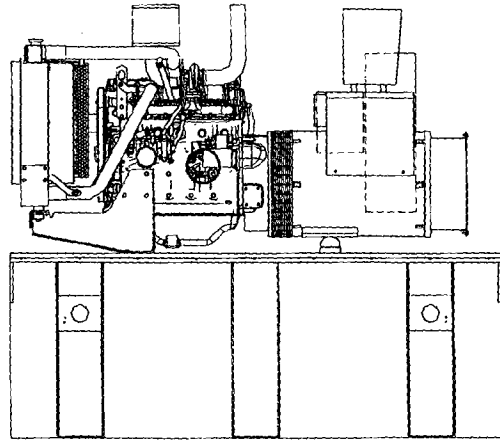
7380 Coca Cola Drive
Hanover, Maryland 20716



**60 kW @ 60 Hz.
Continuous Duty**

VSD60F* J4T2

Katolight's commitment to quality has been an industry standard since 1952. Katolight specializes in custom designing any application to meet the most difficult specifications. Each and every unit is factory tested. This can eliminate costly startup and installation delays. Katolight supplies a broad range of accessories to match any requirement worldwide. Katolight generator sets come standard with a 5 year, 1500 hour limited warranty. This model accepts 100% of nameplate rating, per NFPA 110. This model is a UL2200 generator set.



STANDARD EQUIPMENT

CONTROL PANEL

- Model #50 control panel
- AC voltmeter, 3¹/₂, 2% accuracy
- AC ammeter, 3¹/₂, 2% accuracy
- Combination VM/AM selector switch, 4 position
- Frequency meter, 3¹/₂, 55-65 Hz.
- Vibration shock mounts (4)
- Engine control - KASSEC-12 VDC, with cyclic cranking timer
- 4 engine shutdowns with separate failure lights
 - * High water temperature / Low water level
 - * Low oil pressure
 - * Engine overspeed
 - * Engine overcrank
- Engine gauges - 2"
 - * Battery voltmeter
 - * Water temperature
 - * Oil pressure
 - * Running time meter - 5 digits
- 3 position mode switch (auto-off-manual)

ENGINE

- Air cleaner
- Oil pump
- Full flow oil filter
- Jacket water pump
- Thermostat
- Exhaust manifold - dry
- Blower fan & fan drive
- Radiator - unit mounted
- Vibration isolators - pad type
- Electric starting motor - 12V
- Turbocharged
- Governor - Electric Isochronous
- Base - formed steel
- Flywheel & Enclosure
- Charging alternator - 12V
- Battery box & cables
- Flexible fuel & exhaust connectors
- EPA Certified Engine Tier II

GENERATOR

- A.C. Generator
- Brushless design
- Single bearing
- Direct connection with flex plate
- Class H insulation
- All models manufactured to meet NEMA MG1- 22.4 and CSA standards
- Telephone influence factor is well within NEMA standards
- Wave form deviation factor is no more than 5%, well within NEMA standards
- Harmonic content is 3.0% maximum
- Permanently lubricated ball type bearings
- Generator is self-ventilated
- Drip-proof construction

VOLTAGE REGULATOR

- Voltage adjust rheostat
- EMI filter (Internal Electromagnetic Interference)
- Underspeed protection
- Overexcitation protection
- Fully encapsulated
- Regulation - 1%

Model #	Volts	Hz	Phase	Power Factor	Continuous Duty 105°C Rise		Connection
					Amps	kVA/kW	
D60FRJ4T2	277/480	60	3	0.8	90	60/75	12 LEAD HI WYE
D60FPJ4T2	120/208	60	3	0.8	208	60/75	12 LEAD LO WYE
D60FJJ4T2	120/240	60	3	0.8	180	60/75	12 LEAD HI DELTA
D60FNJ4T2	347/600	60	3	0.8	72	60/75	4 LEAD WYE
D60FGJ4T2	120/240	60	1	1.0	250	60/60	12 LEAD ZIG-ZAG
D60FDJ4T2	120/240	60	1	1.0	250	60/60	4 LEAD

60 kW2 Diesel Gen-Set

ENGINE TECHNICAL DATA

Model:	60 Hz	
Type:	5030HF270	
Aspiration:	4-Cycle	
Cylinder Arrangement: (Number, In-line, V, etc.)	Turbocharged Air to Air	
Displacement - Cu. In. (lit)	4-inline	
Bore - in. (cm) x stroke - in. (cm)	186 (3.05)	
Compression Ratio:	3.4 (8.6) x 4.1 (105)	
Rated RPM	18.0:1	
Rating	Standby	Prime
BMEP: psi (kPa)	228 (1,569)	205 (1,412)
Maximum Power at Rated RPM - bhp (kW)	96 (72)	87 (65)

INSTALLATION DATA *

Exhaust System

Gas Temp. (Stack): °F (°C)	1,011 (544)	954 (512)
Gas Volume at Stack Temp.: CFM (m ³ /min)	501 (14.2)	459 (13.0)
Maximum Allowable Back Pressure: in. H ₂ O (kPa)	30 (7.5)	30 (7.5)

Cooling System

Ambient Capacity of Radiator: °F (°C)	122 (50)	122 (50)
Maximum Allowable Static Pressure on Rad. Exhaust: in. H ₂ O (kPa)	0.5 (0.12)	0.5 (0.12)
Water Pump Capacity: gpm (lit/min)	27 (104)	27 (104)
Heat Rejection to Coolant: BTUM (kW)	2,009 (35)	1,844 (32)
Heat Rejection to Air to Air: BTUM (kW)	490 (8.6)	416 (7.3)
Heat Radiated to Ambient: BTUM (kW)	1,296 (22.8)	1,175 (20.6)

Air Requirements

Aspirating: CFM (m ³ /min)	191 (5.4)	180 (5.1)
Air Flow Required for Rad. Cooled Unit: CFM (m ³ /min)	4,500 (127)	4,500 (127)
Air Flow Required for Heat Exchanger/Remote Rad. based on 30°F Rise: CFM (m ³ /min)	3,200 (90.6)	2,880 (81.5)

Fuel Consumption:

At 100% of Power Rating: gal/hr (lit/hr)	5.0 (18.9)	4.5 (17.0)
At 75% of Power Rating: gal/hr (lit/hr)	3.6 (13.6)	3.4 (12.9)
At 50% of Power Rating: gal/hr (lit/hr)	2.4 (9.1)	2.2 (8.3)

Sound Level Data ■

Sound level at:	Full Load
23 ft (7 m) opn w/ critical grade muffler (dBA)	81
23 ft (7 m) Crystal Quiet Enclosure (dBA)	65

Dimensions & Weight OPU

See Drawings
 100-3543 for Indoor Model
 100-3541 for Outdoor Model

Liquid Capacity

Total oil system: gal (lit)	3.0 (11.2)
Engine jacket water capacity: gal (lit)	0.78 (2.9)
System coolant capacity: gal (lit)	3.25 (12.3)

Electrical System

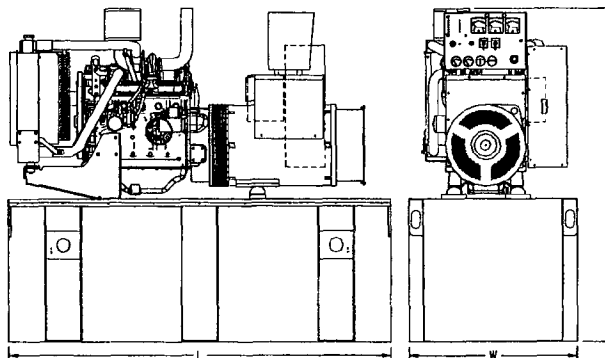
Electric volts DC	12
Cold cranking Amps under 0°F (-17.8°C)	750

Fuel System

Fuel Supply Connection Size:	3/8" NPT
Fuel Return Connection Size:	3/8" NPT
Maximum Fuel Lift: ft (m)	10 (3)
Recommended Fuel:	Diesel #2
Total Fuel Flow: gal/hr (lit/hr)	26.1 (98.8)

Remote Radiator System

Connection sizes:	
Jacket water radiator inlet in. (cm)	C/F
Jacket water radiator outlet in. (cm)	C/F
Static head allowable above engine ft H ₂ O (kPa)	21 (63)



Drawing above for illustration purposes only, based on standard open power 240 volt generator. Lengths may vary with other voltages.

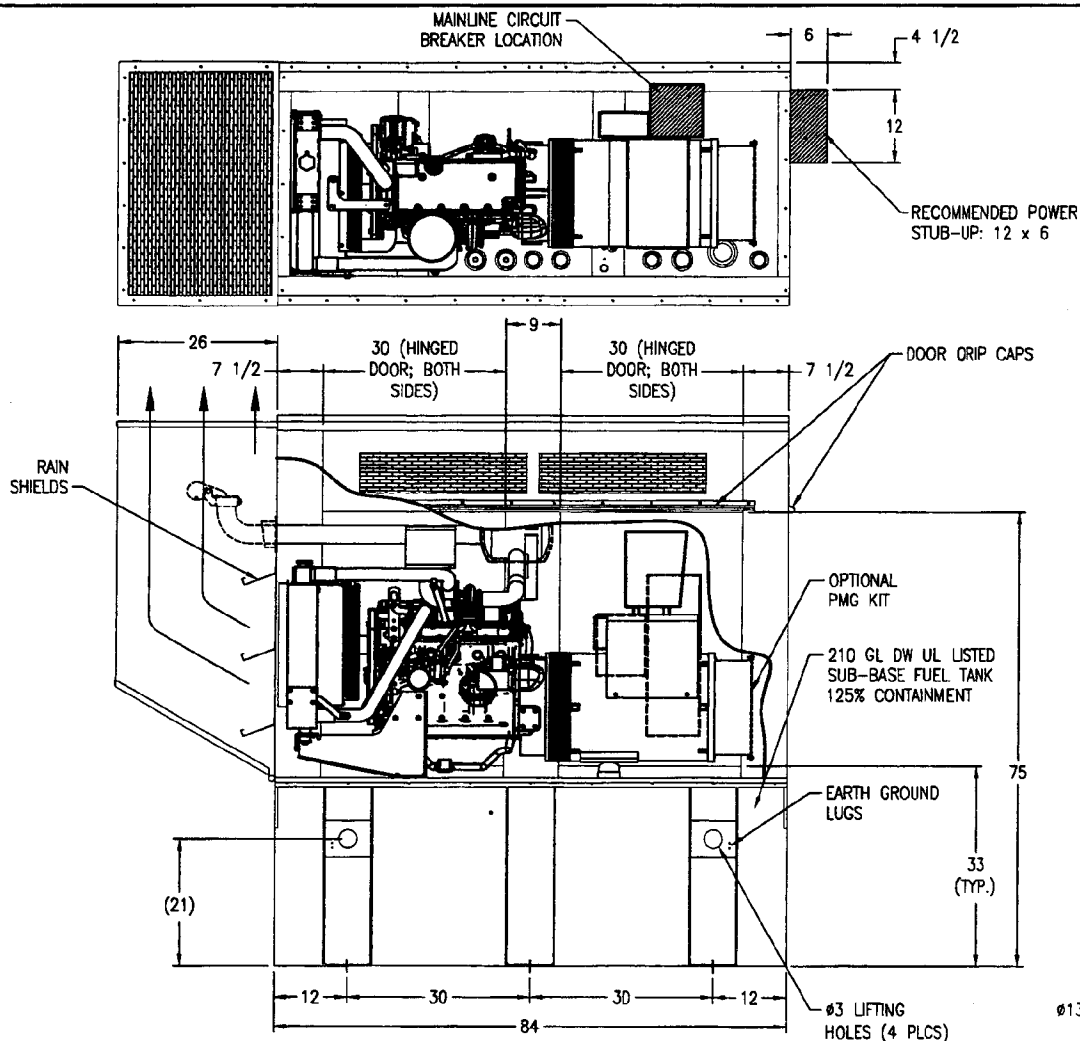
*Installation data based on 480 volt, 60 HZ. application and open power unit.

■ For sound level readings with other enclosures, please contact factory.

Sound level data acquired per Test Method SAE J11074. Installation factors and site conditions can affect sound levels.

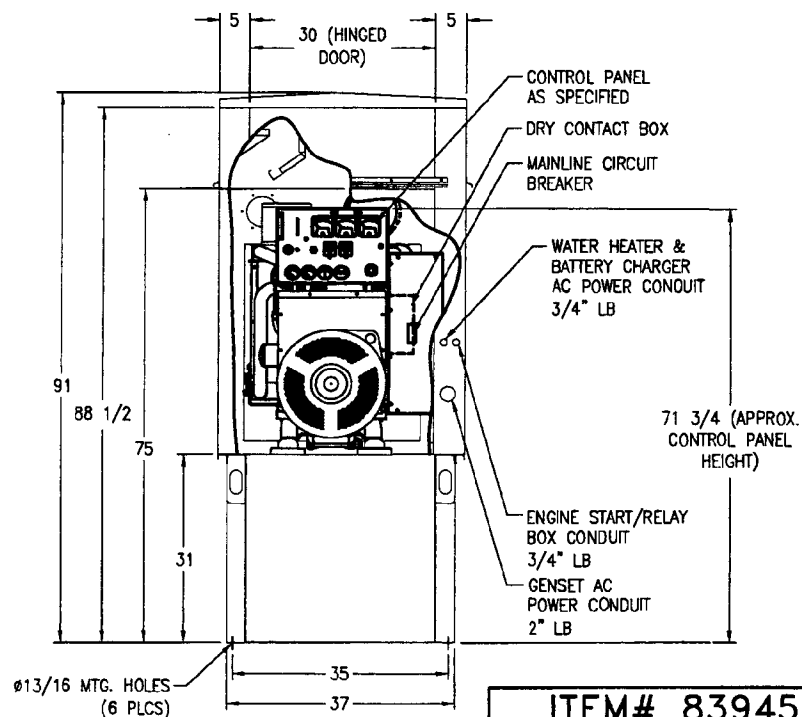
Deration Factor: Altitude: Derate: 3% per 1,000 ft (305 m) above 10,000 ft (3,048 m). Temperature: Derate: 2% per 20°F (11°C) above 110°F (27°C)

DWG. #: 100-3564



NOTES:

- 1) APPROX. WEIGHT: (WET) 3750#
- 2) REFERENCE BASE/TANK DRAWING: 108-1312
- 3) REFERENCE ENCLOSURE DRAWING: 103-276-ALUM
- 4) LB FOR CONDUIT SUPPLIED BY KATOLIGHT CORP.
- 5) SOUND LEVEL: XX DBA @ 23 FT. (TO BE DETERMINED)
- 6) GEN-SET IS OFF-SET 1 1/2" TO LEFT SIDE OF BASE/ENCL
- 7) ENCLOSURE & EXHAUST SYSTEMS ARE NOT SHOWN ON TOP VIEW



ITEM# 839450	
DIMENSIONAL LAYOUT	
DRAWN TO SCALE ALL DIMENSIONS ARE IN INCHES	MODEL: VSED60F*J4T2
DATE: 08-31-06	DRAWN BY: MRL
DWG. #: 100-3564	

KATOLIGHT
CORPORATION

GEN-SET INFORMATION	
ENGINE: 5030HF270	ENCLOSURE: 103-276-ALUM
GENERATOR: 382 PSL-PMG	BREAKER: 200 AMP
RADIATOR: 81724 (5030SRF)	TANK: 210 GALLON
RADIATOR AMBIENT: 43C	MUFFLER: 3 SP. SAVER
DUCT FLANGE: 105-3569	TRAILER: NA
CONTROL PANEL: 50 SERIES	ISOLATORS: PADS
BASE: 108-1312	

THIS DRAWING IS PROPERTY OF KATOLIGHT CORPORATION AND IS INTENDED FOR USE WITH OUR VENDORS AND CUSTOMERS. ANY CHANGES/MODIFICATIONS BY OTHERS MAY VOID DRAWING. DRAWING CHANGES MUST BE DONE BY KATOLIGHT AND MAY BE DONE SO AT ANYTIME.

REVISION	DATE	REVISION DESCRIPTION	INITIALS
B	08-11-06	EXHAUST SCOOP DEPTH CHANGE FROM 18 TO 26	KBS
A	08-31-06	INITIAL RELEASE SALES AND ENGINEERING	MRL



Proposed Generator Location
View # 1



Proposed Generator Location
View # 2



View from Parking Lot



View from Adjacent Lot





Existing Tree Cover



View from Carroll Avenue



Views from Shops on Carroll Ave



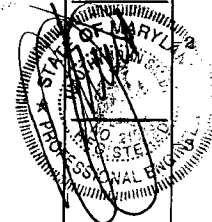
Proposed Generator Location

GENERAL NOTES

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLIANCE WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LOCAL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY, SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL GOVERNMENT BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND/OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE DESIGN REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SIGNING OF CONTRACTORS PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL MAKE THE MORE COSTLY OR EXTENSIVE WORK UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ALL OTHER MATERIALS AND LABOR NEEDED TO COMPLETE THE PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER/SUPPLIER'S SPECIFICATIONS UNLESS OTHERWISE NOTED OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLASSIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY, OR LOCAL GOVERNMENT AUTHORITY.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, EAVESMENTS, CURBS, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE CONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND HAZARD FREE DURING CONSTRUCTION AND REMOVE ALL DEBRIS, RUBBISH, AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE CONTRACT DOCUMENTS SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM OIL AND SPILLS, OR DAMAGED OR ANY NATURE.
13. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE CONTRACTOR SHALL NOTIFY THE VERIZON WIRELESS REPRESENTATIVE WHERE A CONFLICT OCCURS OR ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR COMMIT ANY OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE VERIZON WIRELESS REPRESENTATIVE.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC., ON THE JOB.
16. THE CONTRACTOR SHALL VERIFY SHOP DRAWINGS FOR ALL EQUIPMENT/MATERIALS AS DIRECTED IN THESE DRAWINGS. SHOP DRAWINGS SHALL BE SUBMITTED FOR ELECTRICAL SERVICE EQUIPMENT, ETC.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL BUILDING RULES PERTAINING TO THE EXISTING BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, USE OF EXISTING WATER, POWER, ELEVATOR, ETC.



PINEY BRANCH
 TAKOMA TOWERS RETIREMENT CENTER
 7051 CARROLL AVENUE
 TAKOMA PARK, MARYLAND 20912



verizon wireless
 PINEY BRANCH
 (MONTGOMERY CO., MARYLAND)

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INDEX OF DRAWINGS

CS-1	SITE LOCATION AND VICINITY PLAN INDEX OF DRAWINGS
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CS-1	ANTENNA CABLE ROUTING PLANS AND NOTES
CS-2	EQUIPMENT PLAN AND ANTENNA CABLE ROUTING DETAILS
CS-1	GENERATOR DETAILS AND NOTES
S-2	PLATFORM DETAILS AND NOTES
E-1	ELECTRICAL SPECIFICATIONS, SYMBOLS LIST, AND SCHEDULES
E-2	POWER RISER AND NOTES
E-3	BOILER ROOM PART PLAN, ROUTING PLANS, AND NOTES
E-4	PLATFORM POWER PLAN, DETAILS, AND NOTES
E-5	GROUNDING PLANS AND NOTES
E-6	GROUNDING RISER DIAGRAM, GENERAL NOTES AND DETAILS

CODE ANALYSIS

APPLICABLE BUILDING CODE:	IBC 2003
DESCRIPTION OF WORK:	COMMERCIAL COMMUNICATION EQUIPMENT PLATFORM ON BUILDING ROOF
USE GROUP:	R-2 (RESIDENTIAL)
CONSTRUCTION TYPE:	IB
NUMBER OF STORIES, ABOVE GRADE:	TWELVE (12)
NUMBER OF STORIES, BELOW GRADE:	NONE
FIRE PROTECTION:	YES (SPRINKLERED)
BUILDING AREA: (VERIZON)	1672 SQ. FT.
HIGH RISE REQUIREMENTS:	YES



PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A TELECOMMUNICATIONS EQUIPMENT PLATFORM ON THE EXISTING BUILDING'S ROOF AND A 50 KW DIESEL GENERATOR ON GRADE. THE ASSOCIATED ANTENNAS WILL BE MOUNTED ON THE BUILDING'S EXTERIOR WALL.

DIRECTIONS TO SITE

- FROM ANNAPOLIS LOCATION
- TAKE I-495 SOUTH TOWARDS WASHINGTON
- TAKE I-495 WEST TOWARDS SILVER SPRING
- TAKE NEW HAMPSHIRE AVENUE EAST 650 SOUTH TOWARDS TAKOMA
- TAKE EXIT FORT
- CONTINUE ON PINEY BRANCH ROAD
- CONTINUE ON CARROLL AVENUE
- SITE IS ON LEFT

VERIZON REVIEW

BUILDING OWNER	DATE
ENGINEERING	DATE
OPERATIONS	DATE
CONTRACTOR	DATE

REVISIONS:

NO.	DESCRIPTION	DATE

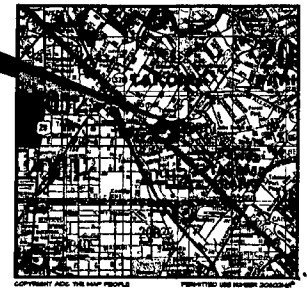
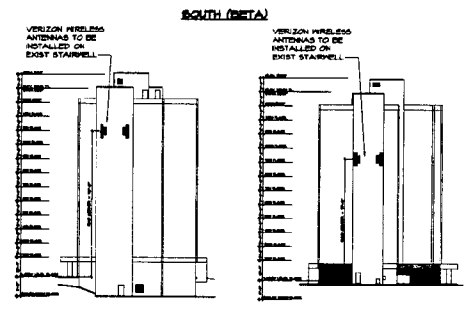
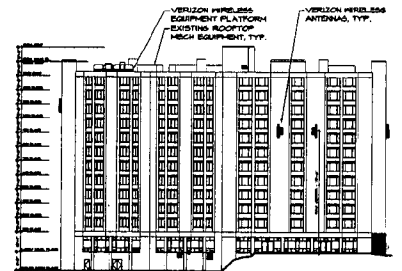
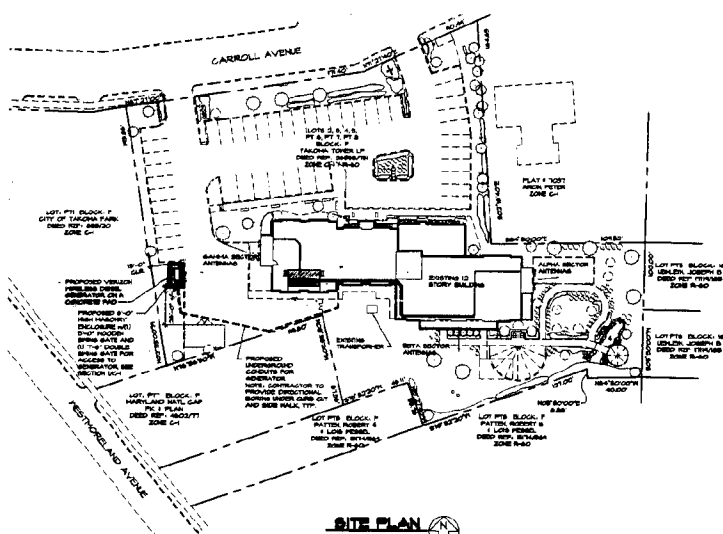
LAST REV:

PROJECT NO. 050031
 DATE: JUNE 23, 2005
 SCALE: AS NOTED

SHEET:

SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS

CS-1



VIGNITY MAP
NOT TO SCALE

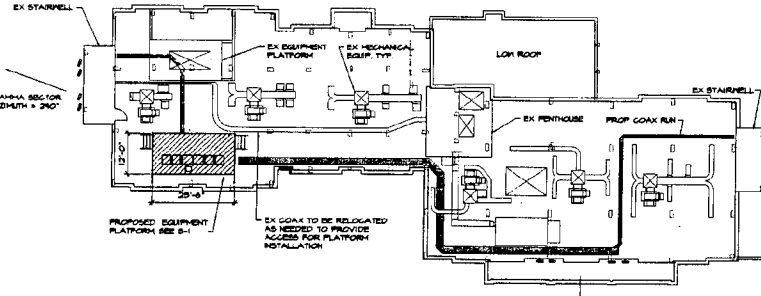
THE DESIGNER HAS REVIEWED THE FOLLOWING INFORMATION AND HAS FOUND IT TO BE SUFFICIENT TO PERMIT THE DESIGN OF THE ANTENNA SYSTEM TO BE INSTALLED ON THE BUILDING. THE DESIGNER HAS NOT CONDUCTED A VISUAL SURVEY OF THE SITE AND HAS NOT CONDUCTED A VISUAL SURVEY OF THE BUILDING. THE DESIGNER HAS NOT CONDUCTED A VISUAL SURVEY OF THE BUILDING. THE DESIGNER HAS NOT CONDUCTED A VISUAL SURVEY OF THE BUILDING.

1. APPLICANT: VERIZON WIRELESS
2. PROJECT OWNER: TACHNA TOWER LP
3. SITE DATA: TACHNA TOWER LP
4. CURRENT ZONING: M-30

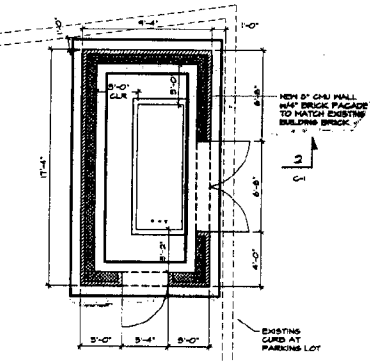
1. THE PROPOSED ANTENNA SYSTEM SHALL BE INSTALLED ON THE ROOF OF THE BUILDING. THE ANTENNA SYSTEM SHALL BE INSTALLED ON THE ROOF OF THE BUILDING. THE ANTENNA SYSTEM SHALL BE INSTALLED ON THE ROOF OF THE BUILDING.

1. CONTRACTOR SHALL NOTIFY THE UTILITY (800-221-7878) 48 HOURS PRIOR TO DOING ANY WORK THAT MAY AFFECT THE UTILITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY (800-221-7878) 48 HOURS PRIOR TO DOING ANY WORK THAT MAY AFFECT THE UTILITY.

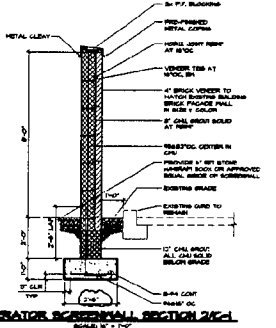
1. CONTRACTOR SHALL NOTIFY THE UTILITY (800-221-7878) 48 HOURS PRIOR TO DOING ANY WORK THAT MAY AFFECT THE UTILITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY (800-221-7878) 48 HOURS PRIOR TO DOING ANY WORK THAT MAY AFFECT THE UTILITY.



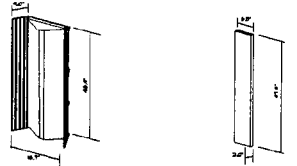
EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



GENERATOR ENCLOSURE FOUNDATION PLAN 1/4"
SCALE: 1/4" = 1'-0"



GENERATOR ENCLOSURE SECTION 1/4"
SCALE: 1/4" = 1'-0"



VERIZON - ANTENNA DETAILS
NOT TO SCALE



BEFORE YOU DIG
CALL UTILITY
LOCATION SERVICES
IT'S THE LAW!
MISS UTILITY
1-800-257-7777

CSS SA-1460-2D ANTEL BSA-10B065/B0CF-2D

GSE
GLOCK SMIDT
ENGINEERING, INC.
1211 W. HARBETTSVILLE ROAD
ROBERT HILL, MONTGOMERY 22060
PHONE: 410-885-8282
FAX: 410-885-6886

MRA
MORRIS A. RITCHIE
ASSOCIATES, INC.
10000 W. BRIDGEWAY
ROCKVILLE, MARYLAND 20850
PHONE: 301-581-1100
FAX: 301-581-1101

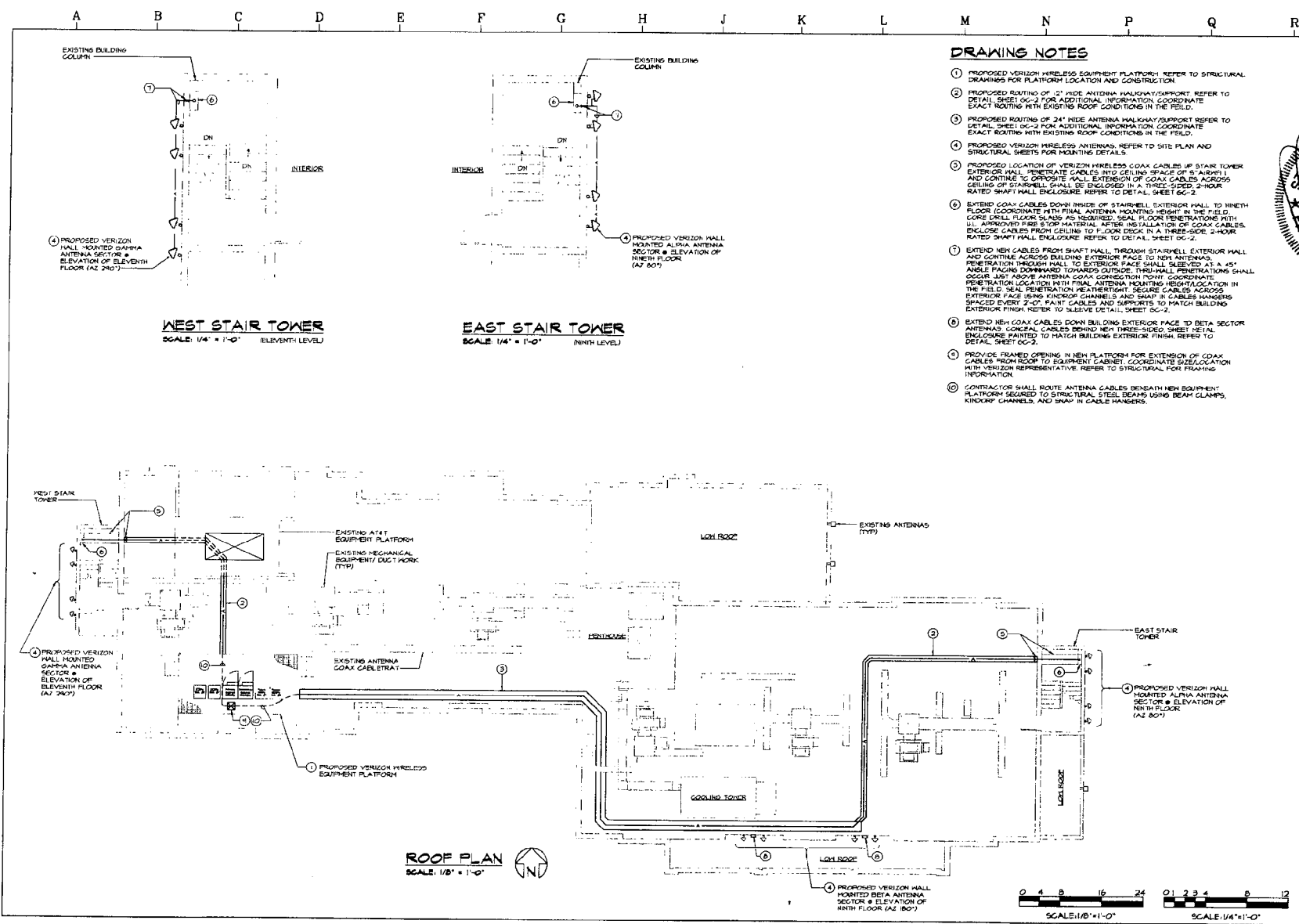


verizon wireless
TAKOMA TOWERS / PINEY BRANCH
Carroll Ave & Westmoreland Ave
Montgomery County, MD

REVISIONS	DESCRIPTION	DATE
1	PERMIT DRAWINGS	2/2/07
2	FIELD BOOK CORRECTED	8/2/07
3	SD DRAWINGS	8/2/07
4	SD CORRECTIONS	1/27/08
5	SDN LOCATION	3/1/08
6	SDN LOCATION	3/2/08
7	FINAL DRAWINGS	3/6/08

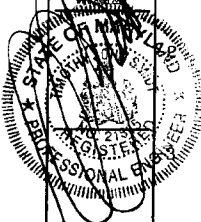
LAST REV: PROJECT NO: 10421.173
DATE: March 15, 2005
SCALE: AS NOTED

Site Plan
SHEET: C-1



DRAWING NOTES

- 1 PROPOSED VERIZON WIRELESS EQUIPMENT PLATFORM REFER TO STRUCTURAL DRAWINGS FOR PLATFORM LOCATION AND CONSTRUCTION
- 2 PROPOSED ROUTING OF 3" FIBER ANTENNA HALSKWAY/SUPPORT REFER TO DETAIL SHEET SC-2 FOR ADDITIONAL INFORMATION COORDINATE EXACT ROUTING WITH EXISTING ROOF CONDITIONS IN THE FIELD.
- 3 PROPOSED ROUTING OF 24" FIBER ANTENNA HALSKWAY/SUPPORT REFER TO DETAIL SHEET SC-2 FOR ADDITIONAL INFORMATION COORDINATE EXACT ROUTING WITH EXISTING ROOF CONDITIONS IN THE FIELD.
- 4 PROPOSED VERIZON WIRELESS ANTENNAS REFER TO SITE PLAN AND STRUCTURAL SHEETS FOR MOUNTING DETAILS.
- 5 PROPOSED LOCATION OF VERIZON WIRELESS COAX CABLES UP STAIR TOWER EXTERIOR WALL PENETRATE CABLES INTO CEILING SPACE OF STAIRWELL AND CONTINUE TO OPPOSITE WALL EXTENSION OF COAX CABLES ACROSS CEILING OF STAIRWELL SHALL BE ENCLOSED IN A THREE-SIDED 2-HOUR RATED SHAFT WALL ENCLOSURE REFER TO DETAIL SHEET SC-2.
- 6 EXTEND COAX CABLES DOWN INSIDE OF STAIRWELL EXTERIOR WALL TO NINTH FLOOR COORDINATE WITH FINAL ANTENNA MOUNTING HEIGHT IN THE FIELD. CORE DRILL FLOOR SLABS AS REQUIRED. SEAL FLOOR PENETRATIONS WITH UL APPROVED FIRE STOP MATERIAL AFTER INSTALLATION OF COAX CABLES. ENCLOSE CABLES FROM CEILING TO FLOOR DECK IN A THREE-SIDE 2-HOUR RATED SHAFT WALL ENCLOSURE REFER TO DETAIL SHEET SC-2.
- 7 EXTEND NEW CABLES FROM SHAFT HALL THROUGH STAIRWELL EXTERIOR WALL AND CONTINUE ACROSS BUILDING EXTERIOR FACE TO NEW ANTENNAS. PENETRATION THROUGH WALL TO EXTERIOR FACE SHALL SLEEVE AT A 45° ANGLE FACING DOWNWARD TOWARDS OUTSIDE. THRU-WALL PENETRATIONS SHALL OCCUR LAST ABOVE ANTENNA COAX CONGESTION FROM CABLES ACROSS PENETRATION LOCATION WITH FINAL ANTENNA MOUNTING HEIGHT LOCATION IN THE FIELD. SEAL PENETRATION WEATHERMENT SECURE CABLES ACROSS EXTERIOR FACE USING KICKOFF CHANNELS AND SNAP IN CABLE HANGERS SPACED EVERY 2'-0". PAINT CABLES AND SUPPORTS TO MATCH BUILDING EXTERIOR FINISH REFER TO SLEEVE DETAIL SHEET SC-2.
- 8 EXTEND NEW COAX CABLES DOWN BUILDING EXTERIOR FACE TO BETA SECTOR ANTENNAS. LONG-TRAIL CABLES DOWN NEW THREE-SIDED SHEET METAL ENCLOSURE PAINTED TO MATCH BUILDING EXTERIOR FINISH REFER TO DETAIL SHEET SC-2.
- 9 PROVIDE FRAMES OPENING IN NEW PLATFORM FOR EXTENSION OF COAX CABLES FROM ROOF TO EQUIPMENT CABINET. COORDINATE SIZE/LOCATION WITH VERIZON REPRESENTATIVE. REFER TO STRUCTURAL FOR FRAMING INFORMATION.
- 10 CONTRACTOR SHALL ROUTE ANTENNA CABLES BENEATH NEW EQUIPMENT PLATFORM SECURED TO STRUCTURAL STEEL BEAMS USING BEAM CLAMPS, KICKOFF CHANNELS AND SNAP IN CABLE HANGERS.



GSE
GLOCK SMIDT
ENGINEERING INC.
1751 N. ANDERSONVILLE ROAD
FROST BELL BATHURST 20606
PHONE: 410 865 9292
FAX: 410 865 9293
WWW.GSE-INC.COM

verizon wireless
PINEY BRANCH
(MONTGOMERY CO., MARYLAND)

NO.	DESCRIPTION	DATE

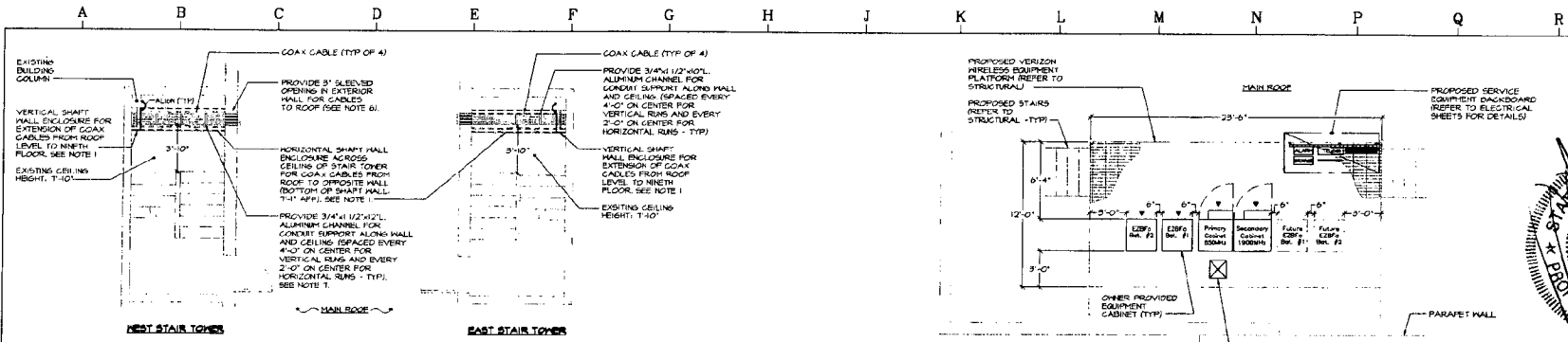
NO DRAWINGS 02/2008
ALLEN LOCATION 3/7/08
ALLEN LOCATION 2/2/08
ALLEN LOCATION 1/6/08
ALLEN LOCATION 1/23/09
LAST REV.
PROJECT NO. 050029
DATE: JUNE 23, 2007
SCALE: AS NOTED
TITLE:
ANTENNA CABLE
ROUTING PLANS
AND NOTES

SHEET:
SC-1

ROOF PLAN
SCALE: 1/8" = 1'-0"

0 4 8 16 24
SCALE: 1/8" = 1'-0"

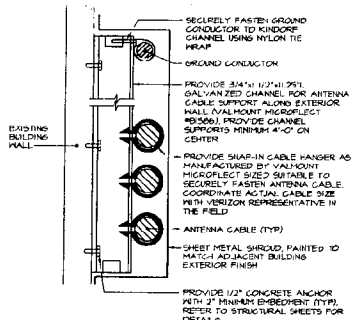
0 1 2 3 4 5 6 8 12
SCALE: 1/4" = 1'-0"



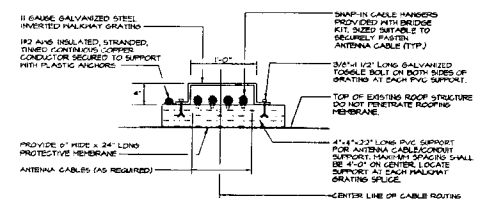
WEST STAIR TOWER MAIN ROOF EAST STAIR TOWER

- NOTES:**
1. SHAFT WALL ENCLOSURE - FURNISH AND INSTALL 2 HOUR SHAFT WALL ASSEMBLY COMPLYING WITH ULL DESIGN # 1441. THE SHAFT WALL ENCLOSURE SHALL CONSIST OF 1 TYPE X SYSTEM PANELS, 1/2" STEEL, 1 STUD, AND 2 LAYERS OF 1/2" TYPE X SYSTEM BOARD. HORIZONTAL SHAFT WALL ENCLOSURE SHALL BE SIMILAR. CONSTRUCTION AND SHALL AS SO CORRECT WITH THE APPLICABLE NATIONAL EVALUATION REPORTS (NER-306 AND NER-256). FURNISH AND INSTALL RESILIENT GASK AT BOTTOM OF SHAFT WALL GATED SHAFT WALL.
 2. ENTIRE ROUTING OF NEW ANTENNA COAX CABLES THROUGH STAIR WELL SHALL BE ENCLOSED IN A 2 HOUR SHAFT WALL GATED SHAFT WALL.
 3. EXISTING STAIRS SHALL MAINTAIN 3'-0" CLEAR EGRESS PATH AT EACH LANDING.
 4. ALL FLOOR CORE DRILLS SHALL BE SEALED WITH ULL APPROVED FIRE STOP MATERIAL AFTER INSTALLATION OF COAX CABLE. FIRE STOP SYSTEM SHALL BE EQUAL TO ULL SYSTEM NUMBER CALL-OUTS FOR CABLE PENETRATIONS THROUGH CONCRETE FLOORS OR APPROVED EQUAL.
 5. CONTRACTOR SHALL 3'-0" FROM TO CORE DRILLING TO LOCATE ALL EXISTING OBJECTS WITHIN FLOOR SLAB. BUILDING BELIEVE POSSIBLE CONCEALED UTILITIES.
 6. CONTRACTOR SHALL SLEEVE WALL FOR EXTENSION OF COAX CABLES THROUGH BUILDING EXTERIOR WALLS TO ROOF AND TO ANTENNAS MOUNTED ON OUTSIDE FACE. REFER TO DETAIL THIS SHEET.
 7. PROVIDE SNAP-IN CABLE HANGERS (SIZED SUITABLE TO SECURELY FASTEN CABLES) TO SECURE ANTENNA CABLES TO ENDORF CHANNELS. COORDINATE ACTUAL CABLE SIZE WITH VERIZON WIRELESS REPRESENTATIVE IN THE FIELD.
 8. FURNISH AND INSTALL FLUSH FINISHED METAL ACCESS DOORS II SHAFT WALL ASSEMBLY AT EVERY FLOOR. COORDINATE SIZE OF DOOR WITH 20TH OF SHAFT WALL ENCLOSURE. ACCESS DOORS SHALL BE EQUAL TO I SERIES AS MANUFACTURED BY NYSISTOR OR APPROVED EQUAL.
 9. EXTERIOR CABLE PENETRATIONS THROUGH THE WALL SHALL BE SEALED WITH TRENGO AND APPROVED EXTERIOR SEALANT AS MANUFACTURED BY TRENGO OR APPROVED EQUAL.

DETAIL - COAX ROUTING THROUGH STAIRWELLS
SCALE: 1/4" = 1'-0"

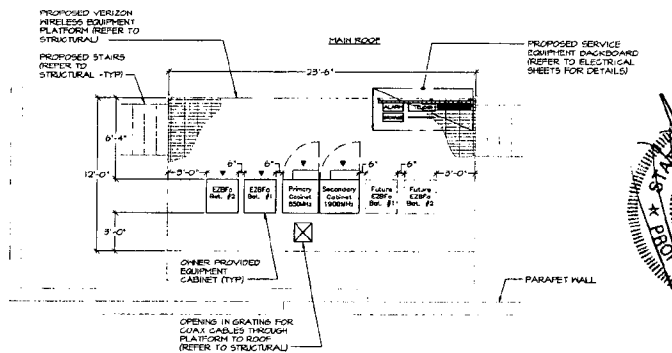


DETAIL - WALL MOUNTED ANTENNA CABLES
NO SCALE (VERTICAL)
* ALL COMPONENTS SHALL BE GALVANIZED STEEL

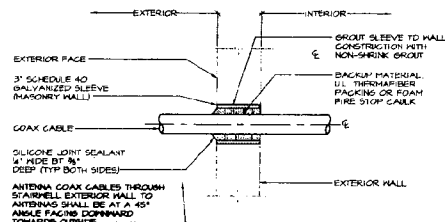


DETAIL - 12" WIDE ANTENNA WALKWAY
NO SCALE

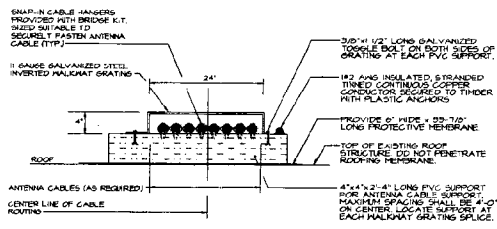
NOTE: ALL PARTS NOTED ABOVE ARE INCLUDED IN THE ROOF MOUNTED COAX BRIDGE KIT (MCR-001) (CAT# NCR-2-03)



EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

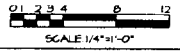


DETAIL - PIPE SLEEVE FOR ANTENNA COAX CABLE
NO SCALE

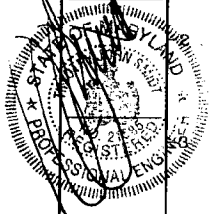


DETAIL - 24" WIDE ANTENNA WALKWAY
NO SCALE

NOTE: ALL PARTS NOTED ABOVE ARE INCLUDED IN THE ROOF MOUNTED COAX BRIDGE KIT (MCR-001) (CAT# NCR-2-03)



GSE
GLOCK SMIDT
ENGINEERING, INC.
1714 N. JANNETTIA ROAD
FORDY HILL, MARYLAND 20636
PHONE: (410) 863-8822
FAX: (410) 863-8895
WWW.GSE.ORG



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PINEY BRANCH
(MONTGOMERY CO., MARYLAND)

REVISIONS:

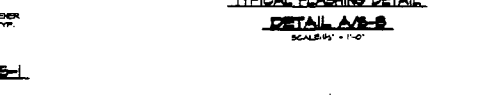
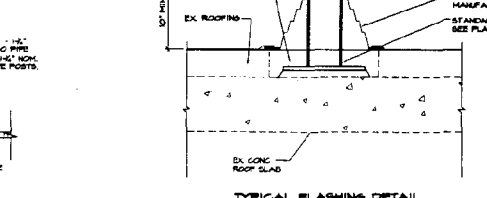
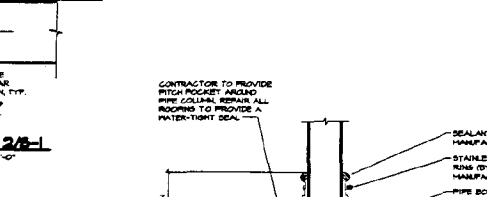
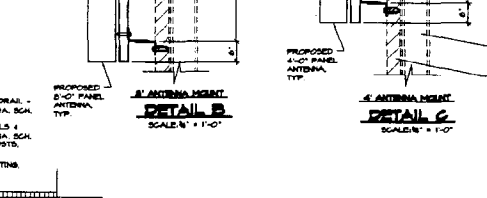
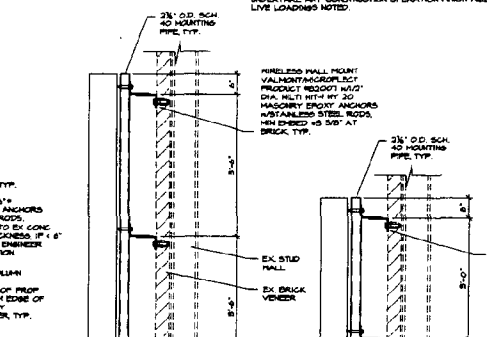
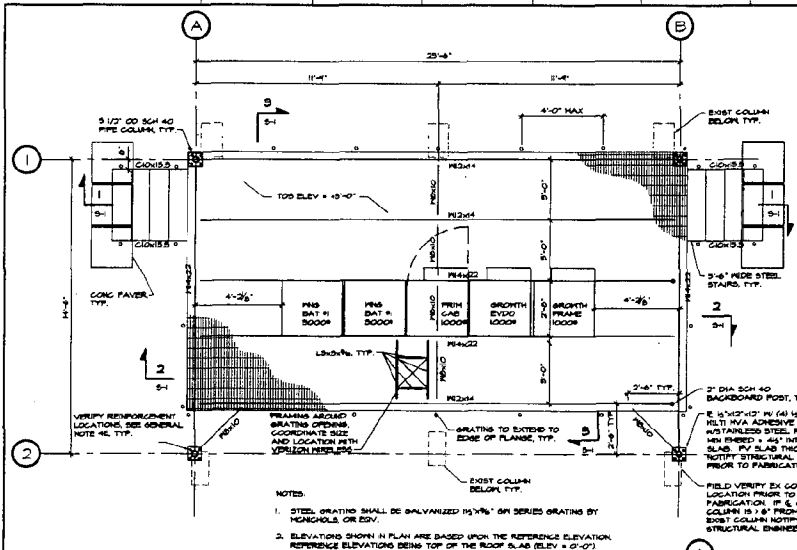
NO.	DESCRIPTION	DATE

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2/21 GEN LOCATION 3/1/08
2/22 GEN LOCATION 2/28/08
2/23 GEN DRAWING 1/2/08
2/24 PERMIT DYES/12/20/08

LAST REV.:
DATE: LINE 23, 2002
SCALE: AS NOTED
TITLE:
EQUIPMENT PLAN
AND ANTENNA
CABLE ROUTING
DETAILS

SHEET:

6C-2



STRUCTURAL GENERAL NOTES

- BUILDING CODES**
 - ALL CONSTRUCTION SHALL CONFORM WITH THE 2005 INTERNATIONAL BUILDING CODE AND ALL SUBSEQUENT SUPPLEMENTS.
 - IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE.
- DESIGN LOADS**
 - THE MINIMUM DESIGN DEAD LOADINGS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS AND INDICATED IN THE SPECIFICATIONS.
 - THE MINIMUM DESIGN LIVE LOADINGS FOR ALL FRAMING IS AS FOLLOWS:
FLOOR LIVE LOADS: PLATFORM FLOOR 100 PSF
EQUIPMENT LOADS (AS NOTED)
 - THE CONTRACTOR SHALL NOT STORE ANY CONSTRUCTION MATERIALS OR UNDERTAKE ANY CONSTRUCTION OPERATION WHICH WILL EXCEED THE DESIGN LIVE LOADS NOTED.

- THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION.
- MISCELLANEOUS**
 - SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION AND DESIGN REVISIONS OR CORRECTIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY.
 - THE CONTRACTOR SHALL REVIEW THE ARCHITECTURAL, CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATION AND DIMENSION OF CHASES, INSERTS, OPENINGS, SLEEVES, PENETRATIONS AND OTHER PROJECT REQUIREMENTS WHICH IMPACT THE STRUCTURAL COMPONENTS.
 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH CONSTRUCTION. ALL DISCREPANCIES AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 - THE CONTRACTOR SHALL NOT SUBMIT REPRODUCTIONS OF THE STRUCTURAL CONTRACT DOCUMENTS AS SHOP DRAWINGS.
 - SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.

- EXISTING STRUCTURE**
 - ALL EXISTING PLANS, DETAILS, DIMENSIONS, AND ELEVATIONS INDICATE EXISTING CONDITIONS AS KNOWN. DIMENSIONAL INFORMATION SHOWN IS NOT INTENDED TO BE "AS SHOWN" AND THE ACTUAL CONSTRUCTION MAY DIFFER FROM THAT SHOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION. MINOR VARIATIONS FROM THAT SHOWN ON THE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PROVIDE DRAWINGS TO THEM. SHOULD DRAWINGS Omit TO ANY UTILITIES, THE CONTRACTOR IS REQUIRED TO REPAIR THE EXISTING UTILITIES PRIOR TO THE START OF THE WORK AT THE CONTRACTOR'S OWN EXPENSE.
 - THE CONTRACTOR SHALL MONITOR THE EXISTING STRUCTURE DURING CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF AREAS EXHIBITING DISTRESS OR FAILURE.
 - THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND CONDITION OF ALL EXISTING FRAMING. SHOULD THE SIZE OR CONDITION OF THE EXISTING FRAMING DIFFER FROM THAT SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
 - CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING REINFORCING STEEL AT PROPOSED COLUMN BEARING LOCATIONS BY USE OF GRINDING PENETRATING BLANKS (GRIND) OR EQUIVALENT NON-DESTRUCTIVE METHODS PRIOR TO INSTALLING EMBEDDED ANCHORS. EXISTING STEEL REINFORCING SHALL NOT BE CUT DURING EMBED INSTALLATION.

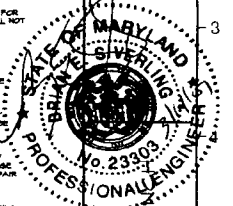
- STRUCTURAL AND MISCELLANEOUS STEEL**
 - ALL STEEL CONSTRUCTION SHALL CONFORM TO THE NINTH EDITION OF THE AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN AND THE AISC CODES OF STANDARD PRACTICE FOR STEEL BRIDGES AND BUILDINGS.
 - ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36 HAVING A MINIMUM YIELD STRENGTH OF $F_y = 36,000$ PSI.
 - ALL MISCELLANEOUS STEEL (ANCHORS, BASE PLATES, ETC.) SHALL CONFORM TO ASTM A-36 HAVING A MINIMUM YIELD STRENGTH OF $F_y = 36,000$ PSI.
 - ALL STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A-53 HAVING A MINIMUM YIELD STRENGTH OF $F_y = 36,000$ PSI OR TO ASTM A-53 TYPE E OR F GRADE, BY HAVING A MINIMUM YIELD STRENGTH OF $F_y = 36,000$ PSI.
 - ALL BEAM CONNECTIONS SHALL DEVELOP THE FULL UNIFORM LOAD CAPACITY OF THE MEMBER WITH JOSE CONSIDERATION OF CONCENTRATED LOADS. ALL BOLTED CONNECTIONS SHALL USE NO LESS THAN TWO (2) DIA. ASTM A-508B HIGH STRENGTH BOLTS WITH GALVANIZED PRISM CONFORMING TO ASTM A-490. CONFORM TO AISC SPECIFICATION "STRUCTURAL JOINTS USING ASTM A-508B OR A-509 BOLTS. ANCHOR BOLTS SHALL USE ASTM A-307 STEEL, UNLESS OTHERWISE INDICATED AND ALL WELDED CONNECTIONS SHALL USE E70XX ELECTRODES.
 - ALL CONNECTIONS UNLESS OTHERWISE NOTED, SHALL BE DOUBLE ANGLE SHEAR CONNECTIONS DESIGNED AND DETAILED IN ACCORDANCE WITH THE AISC MANUAL OF STEEL CONSTRUCTION WITH A MINIMUM EDGE DISTANCE OF 1/2 RADIUS AND 2" FROM END OF ANGLE. UNLESS OTHERWISE NOTED, ENDING STEEL SHALL BE FIELD DRILLED. BURNS OF EXISTING STEEL MEMBERS SHALL NOT BE PERMITTED.

- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY CERTIFIED WELDERS AND CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AND D1. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOT SPlice OR CUT OPENINGS IN STEEL MEMBERS NOT SHOWN ON CONTRACT DRAWINGS WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.
- AN INDEPENDENT INSPECTION AGENCY UNDER CONTRACT TO THE CONTRACTOR SHALL VERIFY ALL STRUCTURAL STEEL AND VERIFY THAT IT CONFORMS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. FIELD INSPECTION REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN 5 DAYS OF THE INSPECTION. THE CONTRACTOR SHALL NOTIFY THE INSPECTION AGENCY OF ALL PHASES OF STEEL CONSTRUCTION AND WELDING.
- ALL EXPOSED STEEL MEMBERS, FABRICATIONS AND ASSEMBLIES SHALL BE NOT SUPPLEMENTED IN ACCORDANCE WITH THE AISC SPECIFICATION. ALL MEMBERS THAT CANNOT BE GALVANIZED BEING THE "HOT-DIPPED" PROCEDURE SHALL BE PAINTED AND CONFORM TO A-40 GALVANIZED FINISH.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING THE STEEL EXTENT AND LOCATION OF ALL STRUCTURAL AND MISCELLANEOUS STEEL FRAMING INCLUDING ALL CONNECTIONS, FASTENERS, AND BEARINGS.
- GALVANIZED STEEL GRATING SHALL WITHSTAND 150 PSF LIVE LOAD PROVIDED CONNECTIONS TO STEEL SUPPORTS AND SEPARATE FROM CONTACT WITH STEEL SUPPORTS.

- STEEL STAIRS**
 - ALL STEEL STAIR FRAMING SHALL BE DESIGNED TO SUPPORT ALL DEAD LOADS PLUS A MINIMUM LIVE LOADINGS OF 100 PSF.
 - THE CONTRACTOR SHALL PROVIDE ALL STEEL HANGERS, CLIP ANCHORS, ETC. AS REQUIRED TO SUPPORT THE STAIR FRAMING.

GSE
GLOCK SMIDT
ENGINEERING, INC.
1574 R. JARRETTVILLE ROAD
FOREST HILL, MARYLAND 21050
PHONE: 410-381-8300
FAX: 410-383-9200

MRA
MORRIS & RITCHIE
ASSOCIATES, INC.
1000 E. South Street, Suite 200
Baltimore, Maryland 21202
PHONE: 410-398-7200



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TAKOMA TOWERS / PINEY BARK
Carroll Ave & Westmoreland Ave
Montgomery County, MD

REVISIONS	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	12/10/10
2	REVISED PERMIT	1/15/11
3	REVISED PERMIT	2/1/11
4	REVISED PERMIT	2/1/11
5	REVISED PERMIT	2/1/11
6	REVISED PERMIT	2/1/11
7	REVISED PERMIT	2/1/11
8	REVISED PERMIT	2/1/11
9	REVISED PERMIT	2/1/11
10	REVISED PERMIT	2/1/11

DATE: March 6, 2005
SCALE: AS NOTED
TITLE: Structural
SHEET: S-1

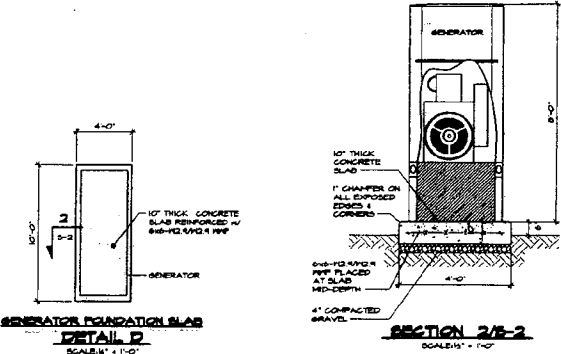
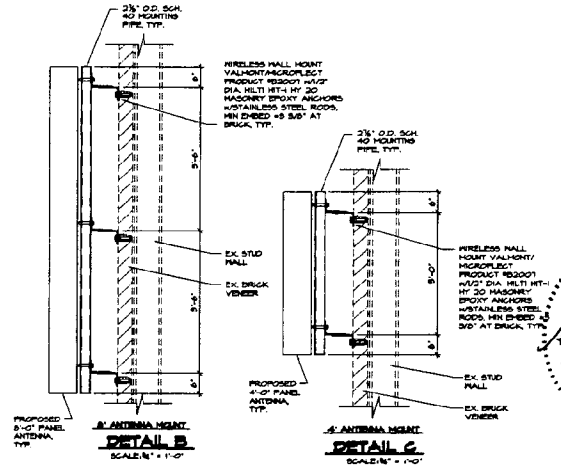
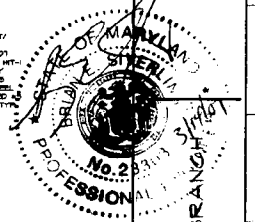
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GSE
GLOCK SMUT
ENGINEERING, INC.

1774 E. HARBETTVILLE ROAD
PO BOX 181, HARTLAND 21055
PHONE: 410-885-8800
FAX: 410-885-8999

MRA

MORRIS & NYCHIE
ASSOCIATES, INC.
Professional Engineers
13000 South Jones Road, Suite 100
Bowie, Maryland 21040
410-326-1200
410-326-1200 Fax



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Carroll Ave & Westmoreland Ave
Montgomery County, MD

REVISIONS:

NO	DESCRIPTION	DATE
1	PERIT DRAWING	12/07
2	RED DRAWINGS	1/2/08
3	GEN SCHEDULE	1/17/08
4	GEN LOCATION	3/1/08
5	GEN LOCATION	2/2/08
6	CAPITAL DRAWING	10/1/08

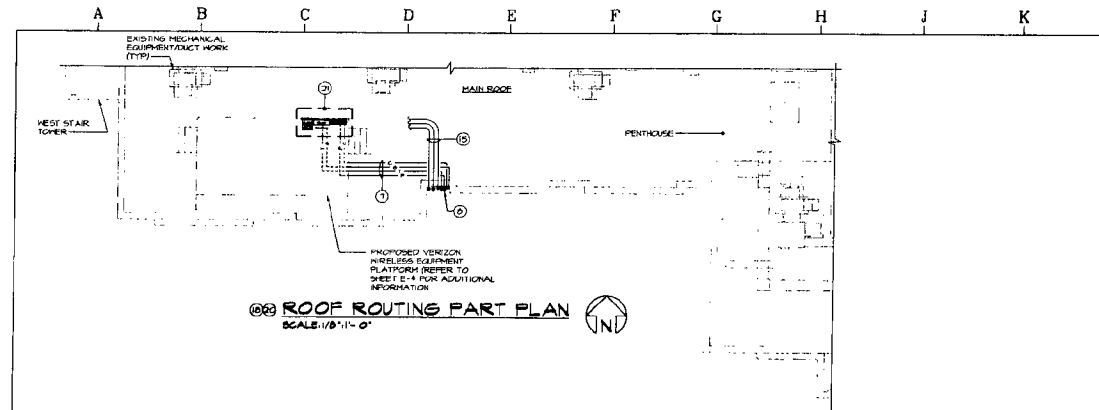
PROJECT NO: 124271.01
DATE: March 15, 2007
SCALE: AS NOTED

TITLE:
**Generator
Frame &
Details**

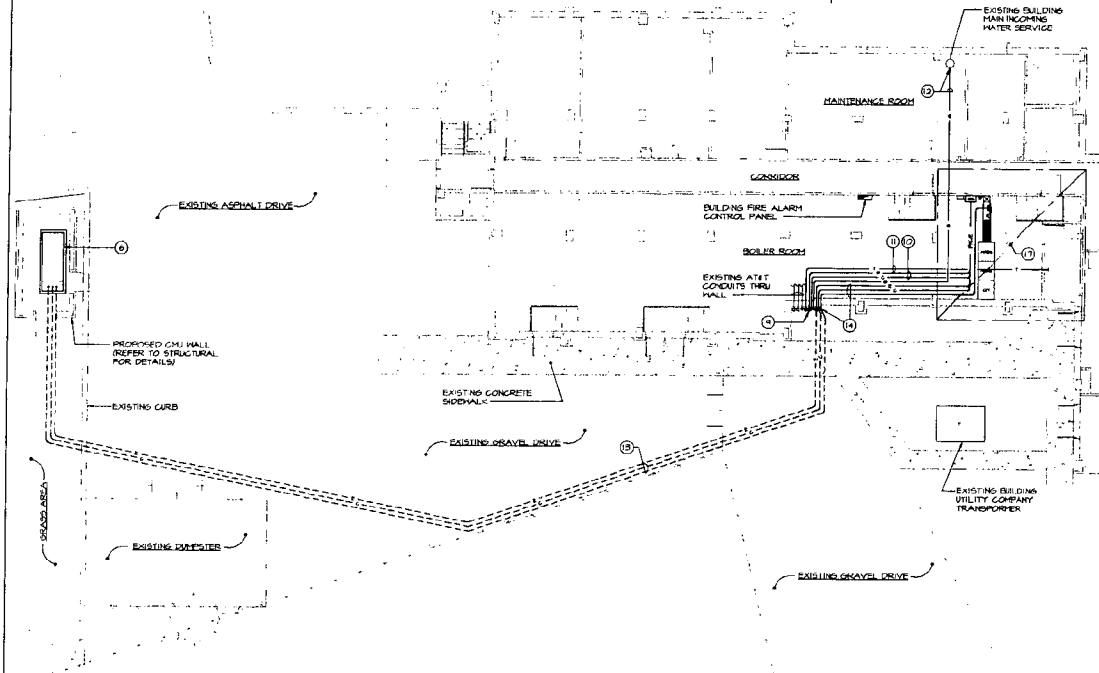
SHEET:
S-2



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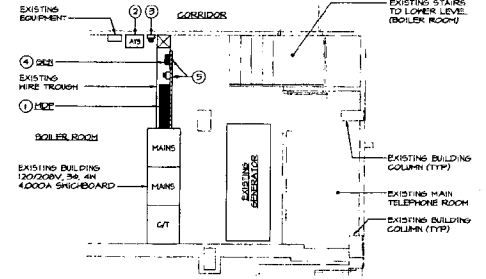
ROOF ROUTING PART PLAN
SCALE: 1/8"=1'-0"



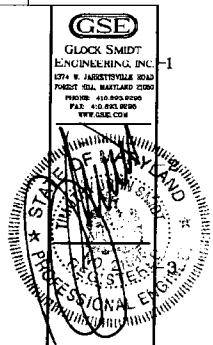
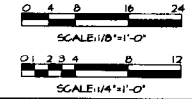
LOWER LEVEL ROUTING PLAN
SCALE: 1/8"=1'-0"

DRAWING NOTES

- 1 EXISTING 120/200V 3Ø 4N 1200A PANEL "MDF" IN BUILDING BOILER ROOM ON LOWER LEVEL REFER TO POWER RISES, SHEET E-2 FOR ADDITIONAL INFORMATION AND PANEL SCHEDULE, SHEET E-1.
- 2 VERIZON WIRELESS PROVIDED CONTRACTOR INSTALLED 240 VOLT RATED, 200A AUTOMATIC TRIPMER SWITCH (AFCI) MOUNTED AT 2' ABOVE ROOF LEVEL. THIS SWITCH IS ADJACENT TO BUILDING AND REFER TO SPECIFICATIONS, SHEET E-1 FOR CONTRACTOR.
- 3 PROVIDE AND INSTALL NEW 240 VOLT RATED, 3Ø, 200 AMP ELECTRONIC TRIPMER SWITCH (AFCI) MOUNTED AT 2' ABOVE ROOF LEVEL. THIS SWITCH IS ADJACENT TO BUILDING AND REFER TO SPECIFICATIONS, SHEET E-1 FOR CONTRACTOR.
- 4 PROVIDE NEW LOAD CENTER "DEN" REFER PANEL SCHEDULE, SHEET E-1.
- 5 EXISTING EXTERIOR BASEBOARD FOR MOUNTING OF EXISTING AT&T SUB-PETER CONTRACTOR SHALL PROVIDE ADDITIONAL 4" ROOF CHANNELS AS REQUIRED FOR MOUNTING OF NEW VERIZON WIRELESS LOAD CENTER. SEE.
- 6 VERIZON WIRELESS PROVIDED CONTRACTOR INSTALLED 120/208 VOLT 3Ø, 4N, 60 KW HEATER/GENERATOR WITH 255 GALLON SED BASE PIG. TANK MOUNTED 2' ABOVE ROOF LEVEL. PROVIDE A 10' x 10' x 8' UNFINISHED ENCLOSED ENCLOSURE REFER TO SHEET E-1 FOR GENERATOR LOCATION AND DETAILS, SHEET E-4.
- 7 EXTEND NEW CONDUITS (ELECTRIC FEEDER/TELEPHONE/CONTROL) AND GROUND CONDUCTOR ACROSS BUILDING ROOF SERVICE CANALS OFF OF ROOF USING 4" x 4" PVC SLEEPERS SPACED EVERY 24" ON CENTER OR AS REQUIRED. COORDINATE EXACT ROUTING WITH DOWN EXTERIOR HALL USING KINROCK SUPPORT CHAINS & SPACED EVERY 24" ON CENTER. PROVIDE 10' x 10' x 8' UNFINISHED ENCLOSED ENCLOSURE TO MATCH BUILDING ADJACENT EXTERIOR FINISH. REFER TO DETAIL, SHEET E-4.
- 8 REINSTATE CONDUITS (ELECTRIC FEEDER/TELEPHONE/CONTROL) AND GROUND CONDUCTOR FROM EXTERIOR HALL INTO CEILING SPACE OF BOILER ROOM ON LOWER LEVEL ADJACENT TO EXISTING CONDUITS. SEAL EXTERIOR PENETRATIONS HEATER/ROOF.
- 9 EXTEND CONDUITS (ELECTRIC FEEDER/CONTROL) ACROSS BOILER ROOM CEILING AND TERMINATE AT RESPECTIVE LOCATIONS AT NEW VERIZON WIRELESS AT'S.
- 10 EXTEND NEW TELEPHONE CONDUIT ACROSS BOILER ROOM CEILING AND INTO MAIN TELEPHONE REPRESENTATIVE IN THE FIELD.
- 11 EXTEND NEW CONDUITS ACROSS BOILER ROOM ABOVE CEILING OF CORRIDOR AND INTO MAINTENANCE OFFICE THROUGH CORRIDOR AND SERVICE MAINTENANCE ROOM AND TERMINATE AT STREET SIDE OF BUILDING HALL.
- 12 EXTEND NEW CONDUITS (EMERGENCY BRANCH CIRCUIT/CONTROL) BELOW GRADE FROM EXISTING EXTERIOR HALL INTO BUILDING BELOW GRADE. SHALL EXTEND CONDUITS THROUGH EXISTING GRAVEL DRIVE TO EXISTING AT&T EQUIPMENT PLATFORM. SHALL EXTEND CONDUITS THROUGH EXISTING GRAVEL DRIVE TO EXISTING AT&T EQUIPMENT PLATFORM. SHALL EXTEND CONDUITS THROUGH EXISTING GRAVEL DRIVE TO EXISTING AT&T EQUIPMENT PLATFORM. SHALL EXTEND CONDUITS THROUGH EXISTING GRAVEL DRIVE TO EXISTING AT&T EQUIPMENT PLATFORM. SHALL EXTEND CONDUITS THROUGH EXISTING GRAVEL DRIVE TO EXISTING AT&T EQUIPMENT PLATFORM.
- 13 EXTEND NEW CONDUITS (EMERGENCY BRANCH CIRCUIT/CONTROL) UP BUILDING EXTERIOR HALL AND EXTERIOR HALL TO EXISTING AT&T EQUIPMENT PLATFORM. SHALL EXTEND CONDUITS THROUGH EXISTING GRAVEL DRIVE TO EXISTING AT&T EQUIPMENT PLATFORM. SHALL EXTEND CONDUITS THROUGH EXISTING GRAVEL DRIVE TO EXISTING AT&T EQUIPMENT PLATFORM. SHALL EXTEND CONDUITS THROUGH EXISTING GRAVEL DRIVE TO EXISTING AT&T EQUIPMENT PLATFORM.
- 14 EXISTING CONDUITS EXTENDING ACROSS ROOF TO EXISTING AT&T EQUIPMENT PLATFORM SHALL BE REINSTATE CONDUITS TO EXISTING AT&T EQUIPMENT PLATFORM. SHALL EXTEND CONDUITS THROUGH EXISTING GRAVEL DRIVE TO EXISTING AT&T EQUIPMENT PLATFORM. SHALL EXTEND CONDUITS THROUGH EXISTING GRAVEL DRIVE TO EXISTING AT&T EQUIPMENT PLATFORM.
- 15 SUPPORT CONDUITS EXTENDING VERTICALLY THROUGH BUILDING USING KINROCK SUPPORTS APPROVED BY CODE OFFICIAL. REFER ALL INTERIOR PENETRATIONS WITH ILL.
- 16 REFER TO BOILER ROOM PART PLAN, THIS SHEET FOR WORK IN THIS AREA.
- 17 CONTRACTOR SHALL CLEARLY LABEL ALL VERIZON WIRELESS CONDUITS USING STENCIL OR TAGS WITH 1/2" HIGH LETTERING READING "VERIZON WIRELESS". CONDUIT SHALL BE LABELED EVERY 10'-0".
- 18 CONTRACTOR SHALL CONTACT HIS UTILITY TO LOCATE PRIOR TO TRENCHING FOR REINSTATE SERVICE AND TO LOCATE ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND UTILITIES.
- 19 CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND UTILITIES.
- 20 REFER TO POWER RISES, SHEET E-2 AND PLATFORM POWER PLAN, SHEET E-4 FOR ADDITIONAL INFORMATION.



BOILER ROOM PART PLAN
SCALE: 1/4"=1'-0"



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REVISIONS:

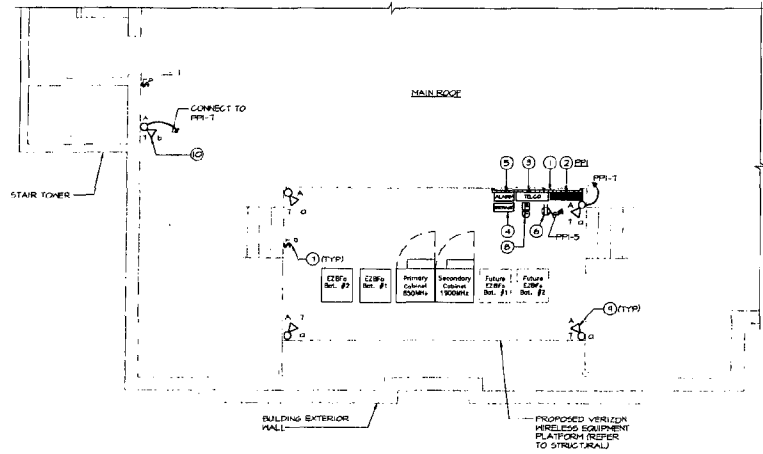
NO.	DESCRIPTION	DATE
1	ADD DRAWING	02/06/08
2	CHANGE LOCATION	3/7/08
3	CHANGE LOCATION	2/23/08
4	CHANGE DRAWING	4/6/08
5	CHANGE DRAWING	6/23/08

LAST REV. BY: [Signature]
PROJECT NO. 050003
DATE: LINE 23, 2008
SCALE: AS NOTED

SHRST:

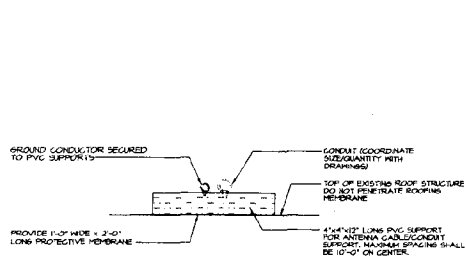
E-3

A B C D E F G H J K L M N P Q R



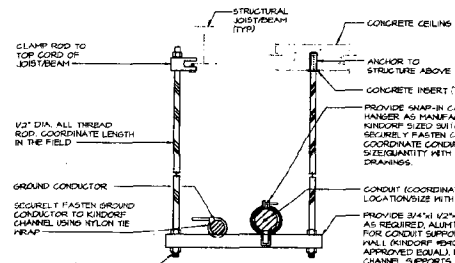
PLATFORM POWER PLAN
SCALE: 1/4"=1'-0"

LIGHTING FIXTURE SCHEDULE				
TYPE	LAMP	MOUNTING	DESCRIPTION/VOLTAGE	CATALOG NO.
A	150W QUARTZ	SURFACE	15. LISTED MET LOCATION QUARTZ FLOOD FIXTURE WITH FINISH TO MATCH EXISTING BUILDING (120V)	STANCO EQ200RZ (OR AN APPROVED EQUAL)



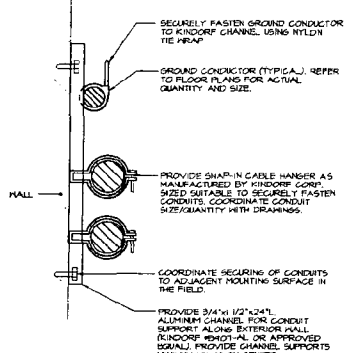
DETAIL - CONDUIT SUPPORT OFF ROOF
NO SCALE

NOTE: SUPPORTS SHOWN ARE PROVIDED BY ELECTRICAL CONTRACTOR. COORDINATE FINAL DETAILS WITH OWNER'S REPRESENTATIVE IN THE FIELD.



DETAIL - STRUCTURE HUNG CONDUIT SUPPORT
NO SCALE

NOTE: CONTRACTOR SHALL MOUNT CONDUITS TIGHT TO UNDERSIDE OF CEILING TO MINIMIZE OBSTRUCTION BELOW. COORDINATE CEILING STRUCTURE IN THE FIELD.



DETAIL - WALL MOUNTED CONDUIT SUPPORT
NO SCALE

NOTE: PAINT CONDUITS AND SUPPORTS TO MATCH BUILDING EXTERIOR FINISH.

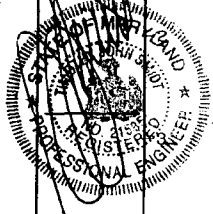
0 1 2 3 4 5 6 7 8 9 10
SCALE: 1/4"=1'-0"

DRAWING NOTES

- 1 PROVIDE NEW FOOTING/FOUNDATION MONOTOP OR NEW VERIZON WIRELESS EQUIPMENT PLATFORM REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL MOUNTING INFORMATION.
- 2 PROVIDE AND INSTALL WEATHERPROOF 120/208VOLT 3P 4W 200 AMP MCB PANEL WITH INTEGRATED MANUAL TRANSFER SWITCH (MFTS) PANEL ON NEW BACKDROP ON EXISTING PLATFORM REFER TO PANEL SCHEDULE AND SPECIFICATIONS SHEET E-1 FOR ADDITIONAL INFORMATION. COORDINATE ALL REQUIREMENTS WITH VERIZON WIRELESS REPRESENTATIVE PRIOR TO ORDERING.
- 3 PROVIDE AND INSTALL 30x30x3/4" WEATHERPROOF HOFFMAN BOX WITH PADLOCK PROVISIONS FOR TERMINATION OF TELEPHONE CORDS/CABLES.
- 4 PROVIDE AND INSTALL EMPTY WEATHERPROOF 12"X12"X2" HINGED WEATHERPROOF JUNCTION BOX (HOFFMAN) FOR STORAGE OF LOG BOOKS AND/OR TOOLS ETC.
- 5 CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING UNUSUAL WEATHERPROOF INFORMATION WITH PAD LOCK PROVISIONS TO HOUSE ALARM. LEADS FROM DOWN BLOCK. COORDINATE ALL ALARM REQUIREMENTS WITH FALL REPRESENTATIVE IN THE FIELD.
- 6 PROVIDE AND INSTALL 60x120x2" 20 AMP WEATHERPROOF DUPLEX RECEPTACLE MOUNTED ON KINDORFF BACKBOARD FOR EQUIPMENT SERVICING.
- 7 PROVIDE AND INSTALL EXTERIOR GRADE SPRING RESET FUSED SWITCH IN WEATHERPROOF HOFFMAN BOX WITH PAD LOCK PROVISIONS TO HOUSE ALARM. LEADS FROM STAIR TOWER PLATFORM ACCESS LOCATION AND ON STAIR TOWER EXTERIOR WALL. COORDINATE EXACT MOUNTING LOCATION WITH VERIZON REPRESENTATIVE IN THE FIELD.
- 8 PROVIDE WEATHERPROOF AUDIBLE VISUAL FIRE ALARM DEVICE TO MATCH BUILDING STANDARD MOUNTED ON NEW KINDORFF BACKBOARD. PROVIDE 1/2"X1/2"X2" EXTEND SPRING CABLE CONNECTION TO ALL EXISTING BUILDING FIRE ALARM DEVICES FOR BUILDING FIRE ALARM SYSTEMS. PROVIDE ALARM CONTROL PANEL (FIRE ALARM) FOR BUILDING FIRE ALARM SYSTEMS. PROVIDE ALARM CONTROL PANEL (FIRE ALARM) FOR BUILDING FIRE ALARM SYSTEMS. PROVIDE ALARM CONTROL PANEL (FIRE ALARM) FOR BUILDING FIRE ALARM SYSTEMS. PROVIDE ALARM CONTROL PANEL (FIRE ALARM) FOR BUILDING FIRE ALARM SYSTEMS.
- 9 PROVIDE LIGHT FIXTURE AS DESIGNATED BY AN UPPERCASE SUBSCRIPT. MOUNT LIGHT FIXTURE ON NEW 2"X4" GALVANIZED STEEL POST MOUNTED TO NEW PLATFORM HANDRAIL.
- 10 PROVIDE LIGHT FIXTURE AS DESIGNATED BY AN UPPERCASE SUBSCRIPT. MOUNT LIGHT FIXTURE ON EXISTING STAIR TOWER EXTERIOR WALL @ 8'-0" ABOVE ROOF.



GLOCK SMIDT ENGINEERING, INC.
1714 B JARRETTSVILLE ROAD
FREETOWN, MARYLAND 21056
PHONE: 410.882.8500
FAX: 410.882.8501
WWW.GSEINC.COM



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PINEY BRANCH
(MONTGOMERY CO., MARYLAND)

REVISIONS:

NO	DESCRIPTION	DATE
1	ISSUE DRAWINGS	07/26/00
2	FIELD LOCATION	07/27/00
3	FIELD LOCATION	07/28/00
4	FINAL DRAWINGS	08/03/00
5	INTEREST	08/23/00

LAST REV: PROJECT NO. 050003
DATE: JUNE 23, 2000
SCALE: AS NOTED

PLATFORM POWER PLAN, DETAILS, AND NOTES

SHEET: E-4

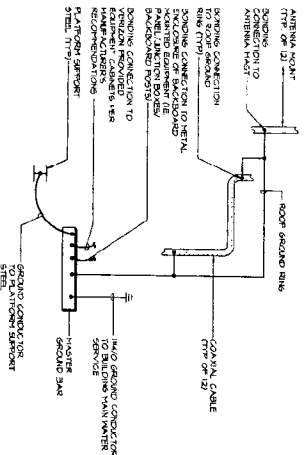
08/29/00

A B C D E F G H J K L M N P Q R

GENERAL NOTES - GROUNDING

- 1. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 2. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 3. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 4. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 5. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 6. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 7. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 8. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 9. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 10. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 11. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.
- 12. All ground connections shall be made with the greatest practical bonding and shall not be made with one end in contact with ground.

GROUNDING SYSTEM DIAGRAM
NO SCALE

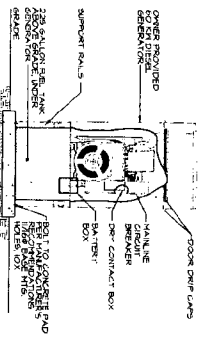


NOTE:
ANTENNA MAST AND ROOF GROUND BUS SHALL BE 1/2" DIA. GALV. STEEL.
GROUND CONDUCTOR SHALL BE 1/2" DIA. GALV. STEEL.

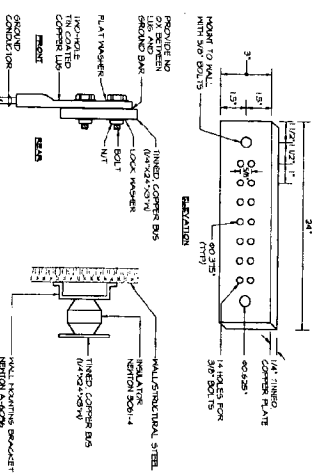


DETAIL - 3" TELCO CONDUIT
NO SCALE

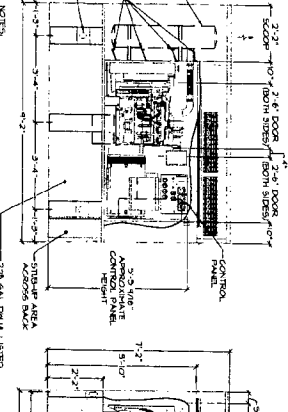
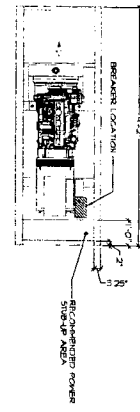
NOTE: ALL CONDUIT SHALL BE 3/4\"/>



DETAIL - GENERATOR
NO SCALE



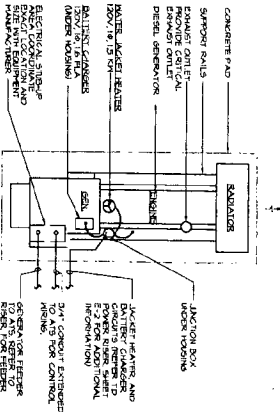
DETAIL - EXTERIOR GROUND BAR (ESB)
NO SCALE



DETAIL - GENERATOR CONNECTION
NO SCALE

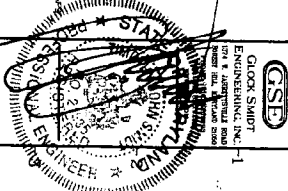
NOTE:
1. UNIT WEIGHT: 1,172 LB. (540 KG)
2. HEIGHT: 34\"/>

DETAIL - GENERATOR CONNECTION
NO SCALE



NOTE:
1. UNIT WEIGHT: 1,172 LB. (540 KG)
2. HEIGHT: 34\"/>

E-6



NO.	DATE	DESCRIPTION
1	12/22/10	ISSUED FOR PERMIT
2	12/22/10	ISSUED FOR CONSTRUCTION
3	12/22/10	ISSUED FOR CONSTRUCTION
4	12/22/10	ISSUED FOR CONSTRUCTION
5	12/22/10	ISSUED FOR CONSTRUCTION
6	12/22/10	ISSUED FOR CONSTRUCTION
7	12/22/10	ISSUED FOR CONSTRUCTION
8	12/22/10	ISSUED FOR CONSTRUCTION
9	12/22/10	ISSUED FOR CONSTRUCTION
10	12/22/10	ISSUED FOR CONSTRUCTION

City of Takoma Park, Maryland

HOUSING AND
COMMUNITY DEVELOPMENT

TELEPHONE: (301) 891-7119
FAX: (301) 270-4568



7500 MAPLE AVENUE
TAKOMA PARK, MD 20912

13 April 2005

Ms. Julia O'Malley, Chair
Historic Preservation Commission
1109 Spring Street, Suite 801
Silver Spring, Maryland 20910

RE: HPC Case No. 37/03-050
7051 Carroll Avenue, Takoma Park

Dear Ms. O'Malley:

The Takoma Park Facade Advisory Board met on Tuesday, April 12, 2005, to review the HAWP application submitted by Takoma Tower L/P for the installation of telecommunication antennae at 7051 Carroll Avenue. The application is to be considered by the Historic Preservation Commission on April 13, 2005.

The Board found the proposal to be in general compliance with the design guidelines developed for the Old Town/Takoma Junction area and endorsed the proposal with the following recommendations:

- The elimination of the brick walls to be constructed around the equipment platform.
- All roof mounted equipment, including the proposed equipment platform and all existing mechanical equipment, be painted to match the color of the building's brick facade.
- All antennas and associated mounting equipment be painted to match the color of the building's brick facade.
- The elimination of any exposed cabling on the exterior facade of the building.

If you have any questions regarding our support of the pending HAWP, please call.

Thank you for the ongoing efforts of the Commission to preserve the unique architectural character of our historic business district.

Sincerely,


Sara Anne Daines
Director, HCD

CC: Tania Tully, Historic Preservation Planner

City of Takoma Park, Maryland

Housing & Community Development

Telephone: (301) 891-7119
Fax: (301) 270-4568



7500 Maple Avenue
Takoma Park, MD 20912

September 13, 2007

Mr. Jef Fuller, Chair
Historic Preservation Commission
1109 Spring Street, Suite 801
Silver Spring, Maryland 20910



RE: 7051 Carroll Avenue, Takoma Park - Generator Shed

Dear Mr. Fuller:

The Takoma Park Facade Advisory Board met on Tuesday, September 11, 2007, to review a proposal submitted by Ms. Stephanie Petway, agent for Verizon, for the installation of a eight foot tall brick generator shed that matches the existing Victory Towers building. The application is to be considered by the Historic Preservation Commission later this fall.

The Board found the proposal to be in general compliance with the design guidelines developed for the area and endorsed the proposal as presented with the following conditions:

1. That Verizon provide a trellis along the length of the sides of the structure facing Westmoreland and Carroll Avenues, using a City recommended low-maintenance climbing plant for screening.
2. That one or more properties is missing from the adjoining and confronting property list and that this needs to be remedied and the proper notifications issued prior to the HPC hearing.

If you have any questions regarding the Board's action, please call (301) 891-7205.

Thank you for the ongoing efforts of the Commission to preserve the unique architectural character of our historic business district.

Sincerely,

Ilona Blanchard
Senior Planner