

507 Albany Ave. 37/3-07-111
Takoma Park 37/3-07-NN

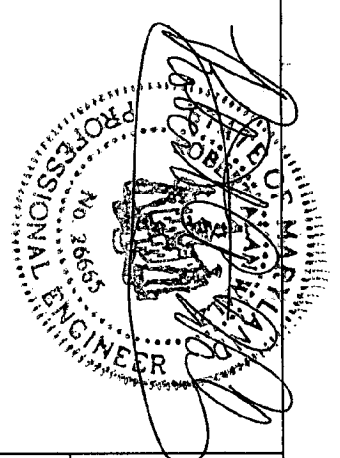
W
BWA
W

ENGINEERING

RAPHAEL SUNROOM

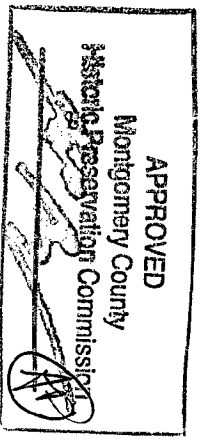
-PURCHASED THROUGH-

CHAMPION OF WASHINGTON D.C.



SHEET #	DESCRIPTION
1	INSTALLERS LAYOUT
2	ELEVATION DRAWINGS
3	PLAN VIEW & FOUNDATION
4	CROSS SECTION "CS1" AND DETAILS
5	WIND UPLIFT AND SOIL BEARING CALCULATIONS
S1	STAIR DETAIL

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.: 26665 EXPIRATION DATE: 09-24-09



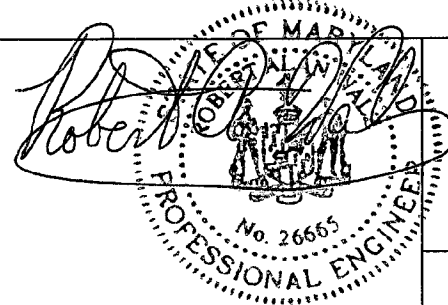
12-7-07

B

W BWA W
 ENGINEERING
 WALZ ENGINEERING LLC
 11111 HALL RD., SUITE 110
 UTICA, MI 48317
 PHONE: (888) 262-9259

DEALER: CHAMPION OF WASHINGTON D.C.	FILE #: CWDC-AH-RAPHAEL
RAPHAEL 507 ALBANY AVE. TAKOMA PARK, MD 20912	
DRAWN BY: ALEX BUECHEL	DATE: 11/20/07 SCALE: NONE

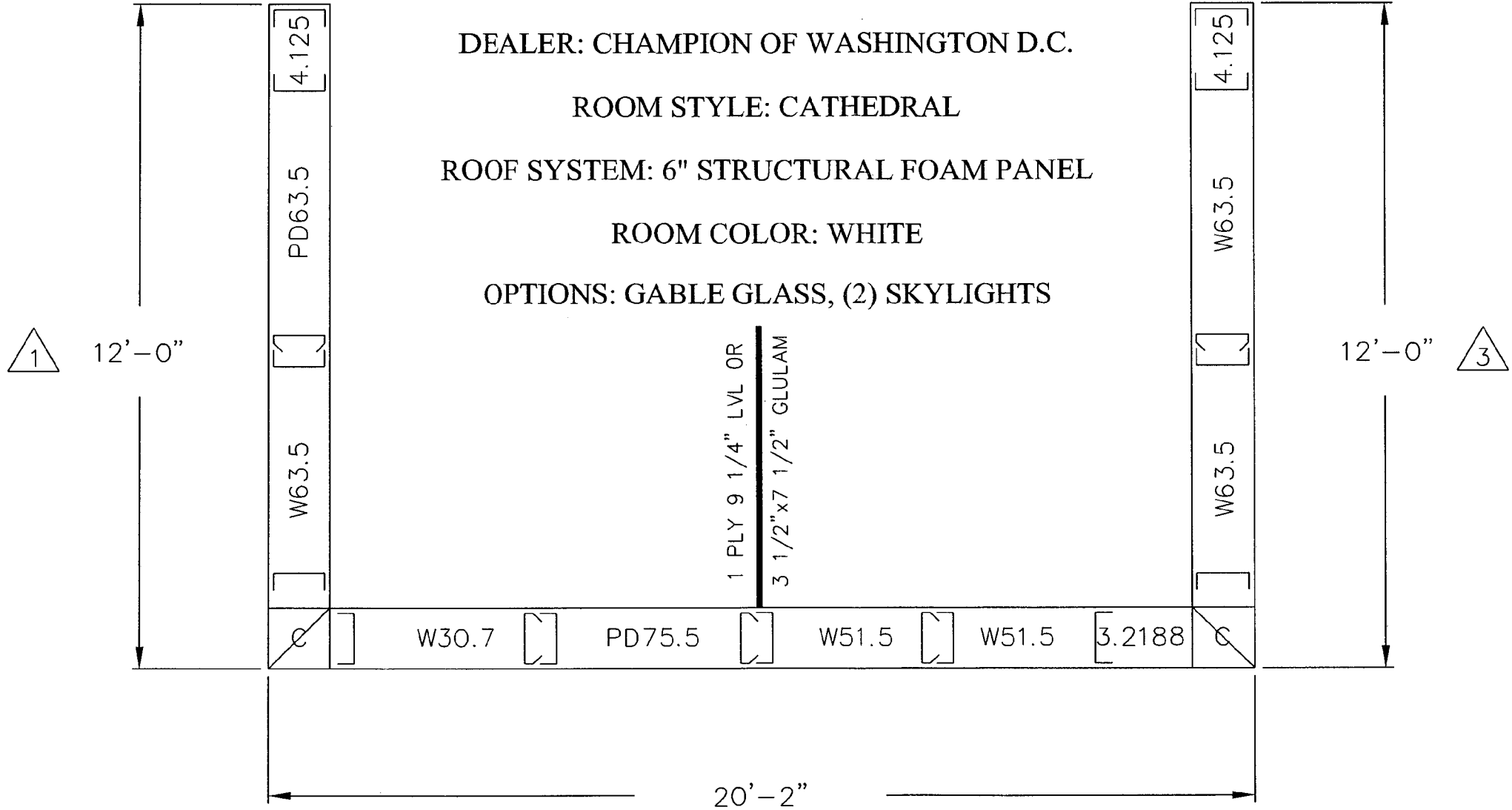
COVER SHEET



INSTALLERS LAYOUT

VERIFY ALL FILL MEASUREMENTS BEFORE CUTTING

CUSTOMER: RAPHAEL
 DEALER: CHAMPION OF WASHINGTON D.C.
 ROOM STYLE: CATHEDRAL
 ROOF SYSTEM: 6" STRUCTURAL FOAM PANEL
 ROOM COLOR: WHITE
 OPTIONS: GABLE GLASS, (2) SKYLIGHTS



2
 NOT TO SCALE

- FD = FRENCH DOOR
- W = WINDOW
- D = SWING DOOR
- PD = PATIO DOOR (DOOR WALL)
- P = POST
- C = CORNER

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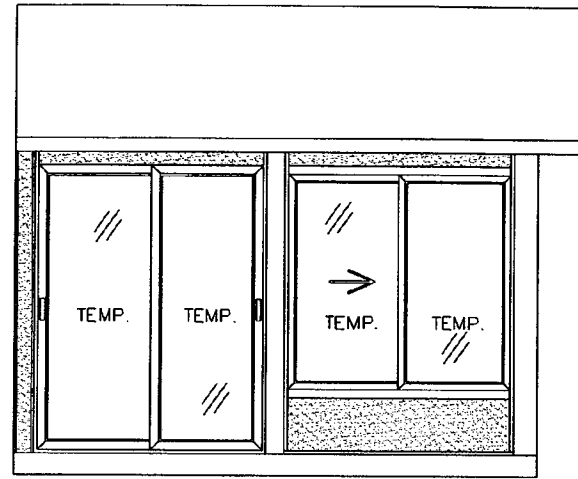
DEALER: CHAMPION OF WASHINGTON D.C.
 FILE #: CWDC-AH-RAPHAEL

RAPHAEL
 507 ALBANY AVE.
 TAKOMA PARK, MD 20912

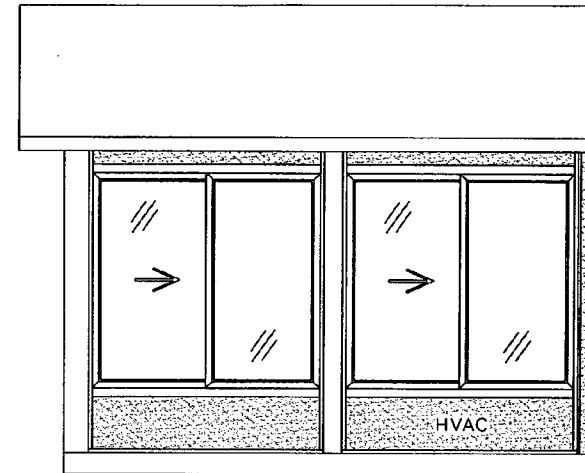
DRAWN BY: ALEX BUECHEL DATE: 11/20/07 SCALE: NONE

**SHEET
 1 OF 5**

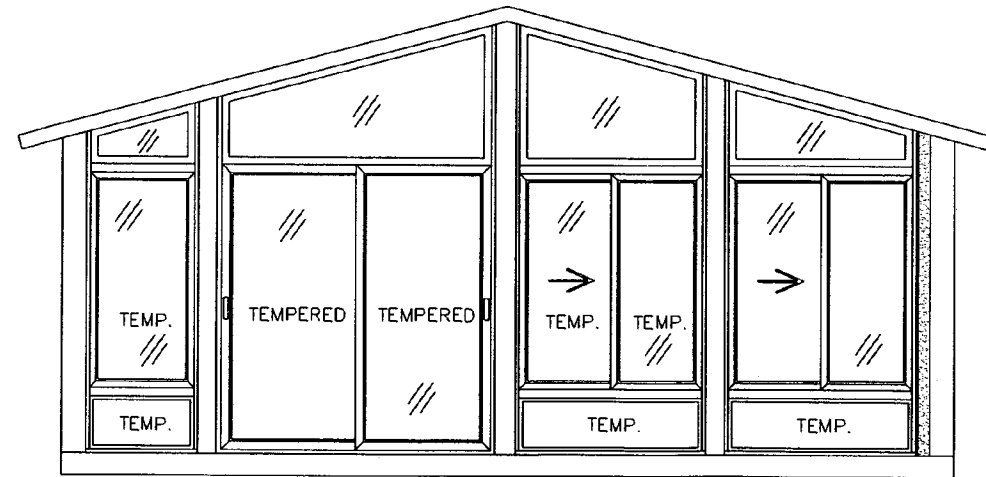
ELEVATIONS



1



3



2

MINIMUM DESIGN LOADS:

DEAD LOADS:

- 1) ROOF: 2 PSF
- 2) WALLS: 5 PSF
- 3) FLOOR: 5 PSF

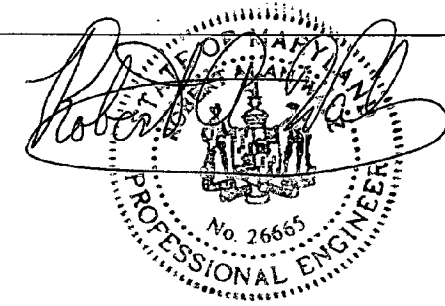
LIVE LOADS:

- 1) ROOF: 30 PSF
- 2) WALLS: 90 MPH - 3 SEC. WIND GUST
- 3) FLOOR: 40 PSF

DEFLECTION LIMITS:

- 1) ROOF: L/180
- 2) WALLS: L/175
- 3) FLOOR: L/240

TOTAL WEIGHT OF PRODUCTS: 1980 lbs.



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UTICA, MI 48317
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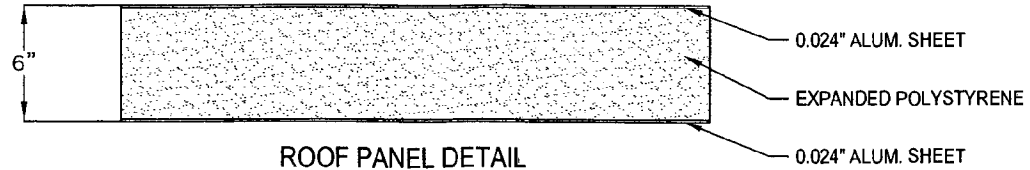
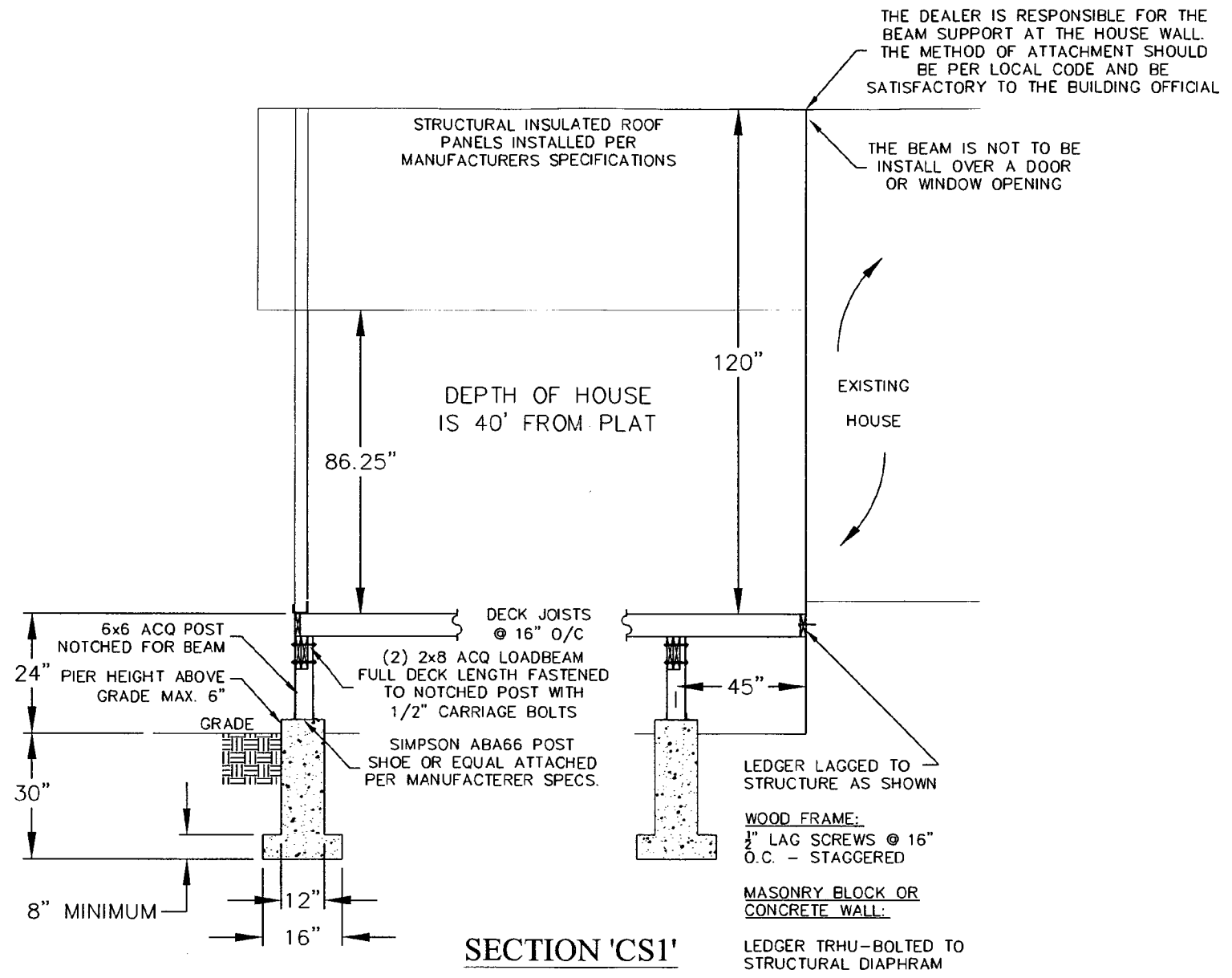
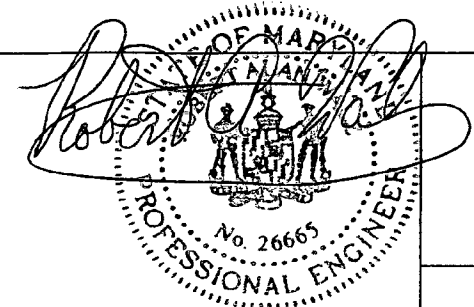
DEALER: CHAMPION OF WASHINGTON D.C.
RAPHAEL

507 ALBANY AVE.
TAKOMA PARK, MD 20912

DRAWN BY: ALEX BUECHEL DATE: 11/20/07 SCALE: 1/4"=1'

**SHEET
2 OF 5**

CROSS SECTION



USE STAINLESS STEEL OR TRIPLE DIPPED GALVANIZED FASTENERS INTO ACQ LUMBER

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 UTICA, MI 48317
 PHONE: (888) 262-9259

FILE #: CWDC-AH-RAPHAEL

DEALER: CHAMPION OF WASHINGTON D.C.

RAPHAEL
 507 ALBANY AVE.
 TAKOMA PARK, MD 20912

DRAWN BY: ALEX BUECHEL DATE: 11/20/07 SCALE: NONE

CALCULATIONS

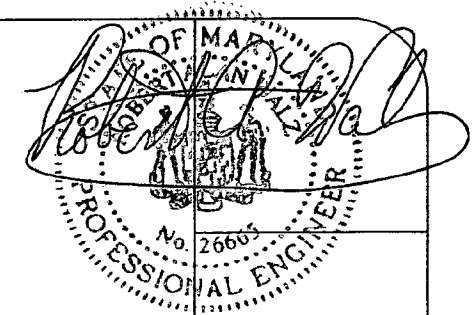
SOIL BEARING CAPACITY CALCULATIONS

ROOF LOADS	
LIVE	30 PSF
DEAD	2 PSF
TOTAL	32 PSF
FLOOR LOADS	
LIVE	40 PSF
DEAD	5 PSF
TOTAL	45 PSF
DECK DETAILS	
PROJECTION	12 FT
WIDTH	20.16667 FT
EXTRA	FT ²
TOTAL	242 FT ²
WEIGHT OF PRODUCT	
WEIGHT	1980 LBS
TOTAL DESIGN LOAD	
LOAD	20614 LBS
SOIL BEARING CAPACITY	
BEARING (1500-2500 PSF)	1300 PSF
NUMBER OF PIERS	
PIERS	9
DIAMETER REQUIRED FOR PIERS	
PIER DIAMETER (ROUND)	18 INCHES
PIER WIDTH (SQUARE)	16 INCHES

WIND UPLIFT DESIGN CALCULATIONS

TOTAL WEIGHT OF PRODUCT	1980	LBS
DIMENSION OF DECK		
PROJECTION (FEET)	12	FT
WIDTH (FEET)	20.16667	FT
EXTRA SQUARE FOOTAGE IF ODD SHAPED (SQUARE FEET)		FT ²
TOTAL AREA (SQUARE FEET)	242	FT ²
DECK WEIGHT PER SQUARE FOOT	5	LBS/FT ²
DIMENSION OF PIER FOOTING		
LENGTH (INCHES)	16	IN
WIDTH (INCHES)	16	IN
DEPTH (INCHES)	30	IN
TOTAL VOLUME OF PIER FOOTING (CUBIC FEET)	4.444444	FT ³
NUMBER OF PIERS	9	
ASSUMED WEIGHT OF CONCRETE	145	LBS/FT ³
WIND CONVERSION		
WIND SPEED (80,90,100,110,120,130,140,150)	90	MPH
EXPOSURE (B,C,D)	B	
CALCULATED WIND PRESSURE	14	LBS/FT ²
FINAL CALCULATIONS		
TOTAL UPLIFT	3388.001	LBS
TOTAL WEIGHT OF DECK, PRODUCT, AND FOOTINGS	8990	LBS
DIFFERENCE	5602	LBS

WIND UPLIFT DESIGN IS ACCEPTABLE



WALZ ENGINEERING LLC
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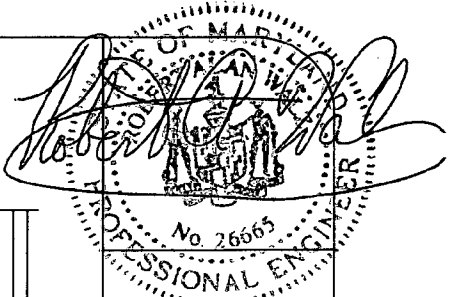
FILE #: CWDC-AH-RAPHAEL

DEALER: CHAMPION OF WASHINGTON D.C.

507 ALBANY AVE.
 TAKOMA PARK, MD 20912

RAPHAEL

DRAWN BY: ALEX BUECHEL DATE: 11/20/07 SCALE: NONE



BUECHEL
 ENGINEERING
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 PHONE: (888) 262-9259

FILE #: CWDC-AH-RAPHAEL

507 ALBANY AVE.
 TAKOMA PARK, MD 20912

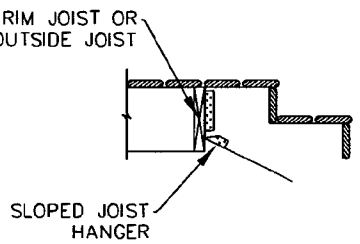
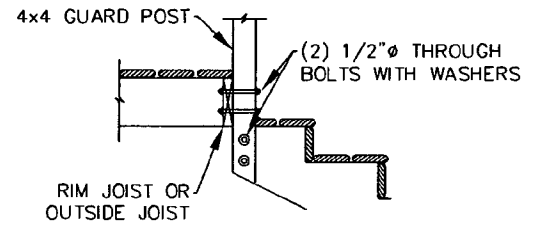
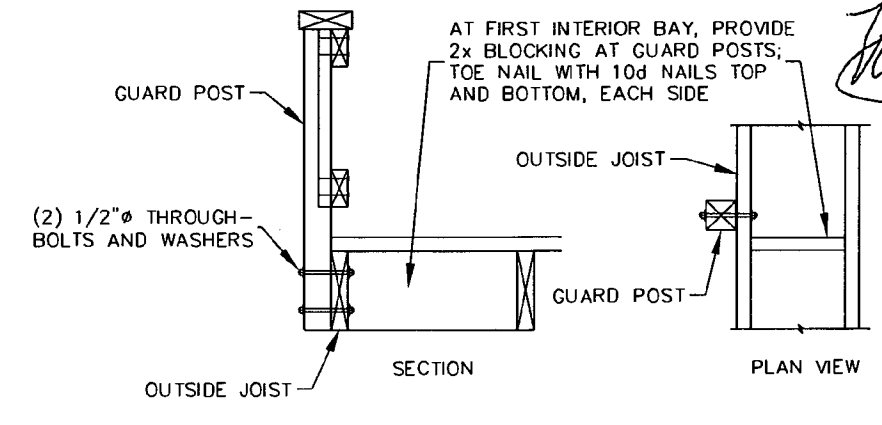
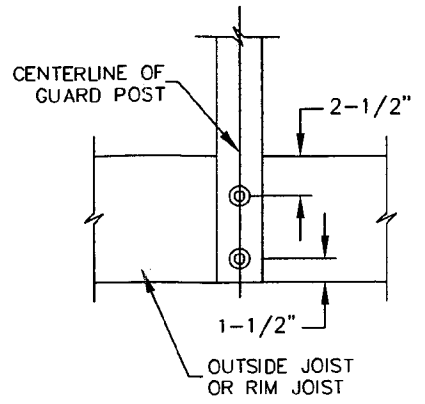
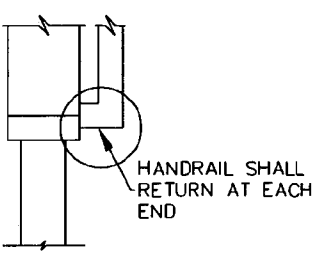
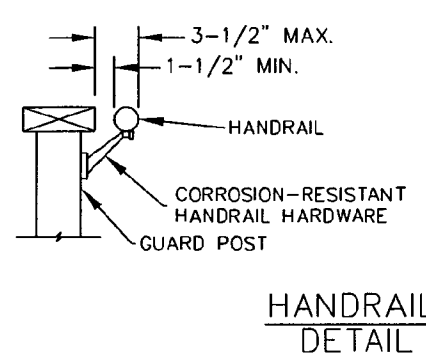
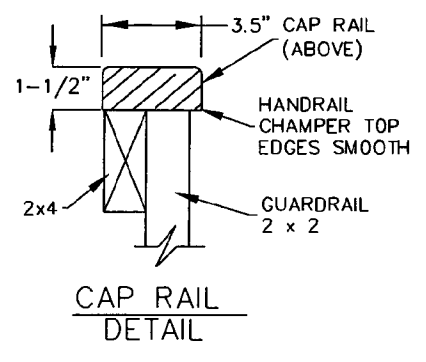
DEALER: CHAMPION OF WASHINGTON, D.C.

RAPHAEL

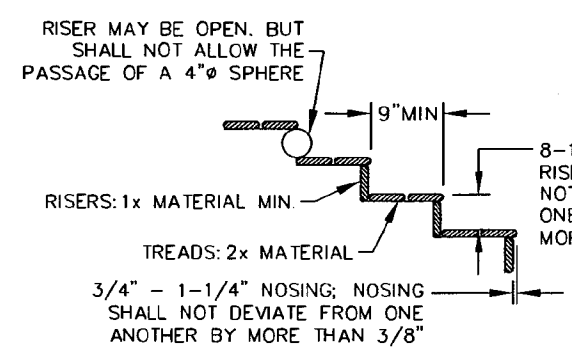
DATE: 11/20/07 SCALE: NONE

DRAWN BY: ALEX BUECHEL

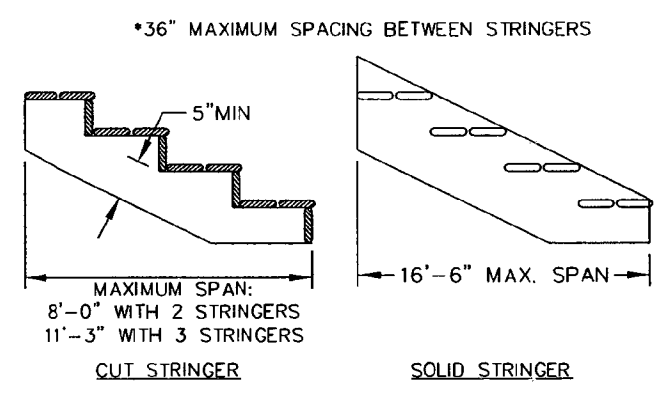
SHEET
S1



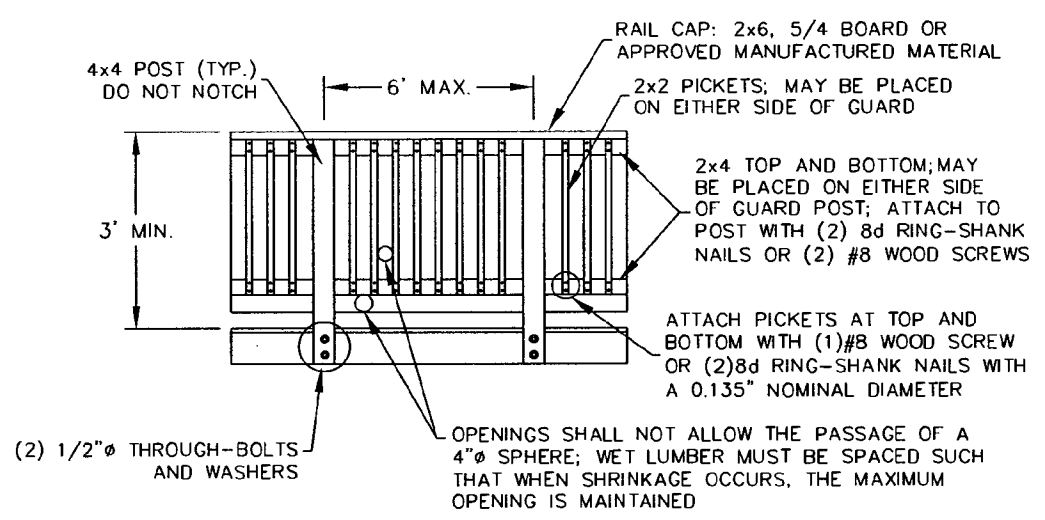
STAIR STRINGER ATTACHMENT DETAIL



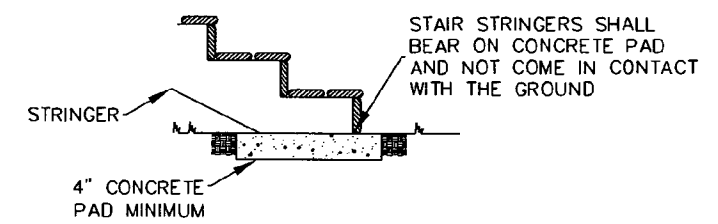
TREAD AND RISER DETAIL



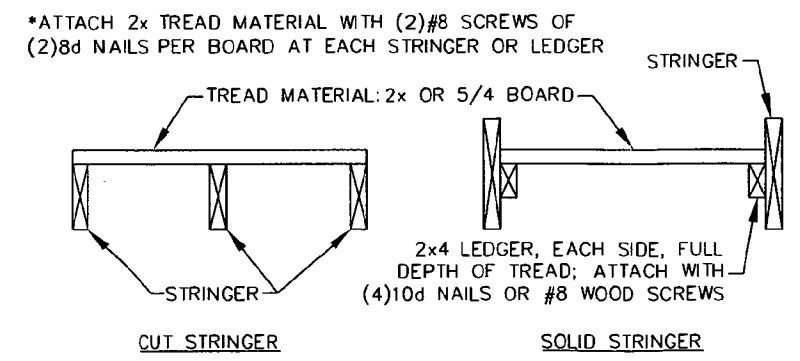
STAIR STRINGER REQUIREMENTS



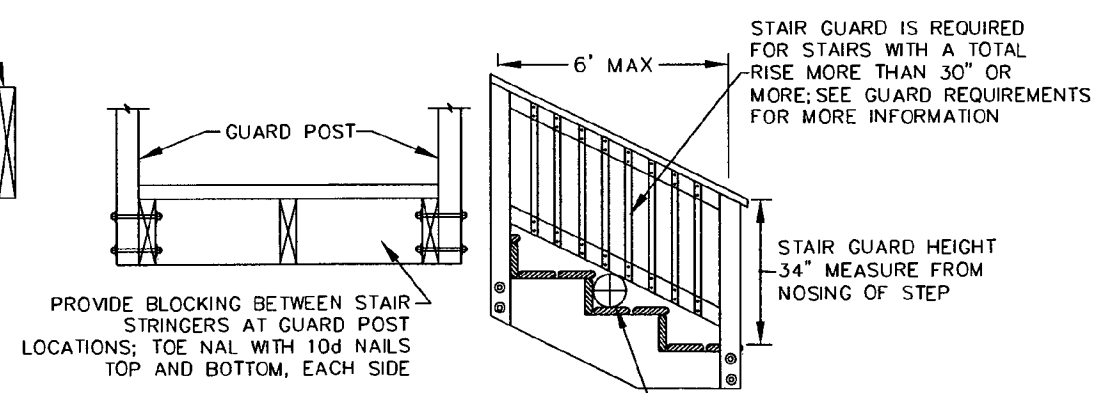
TYPICAL GUARD DETAIL



STAIR STRINGER BEARING AT GRADE DETAIL



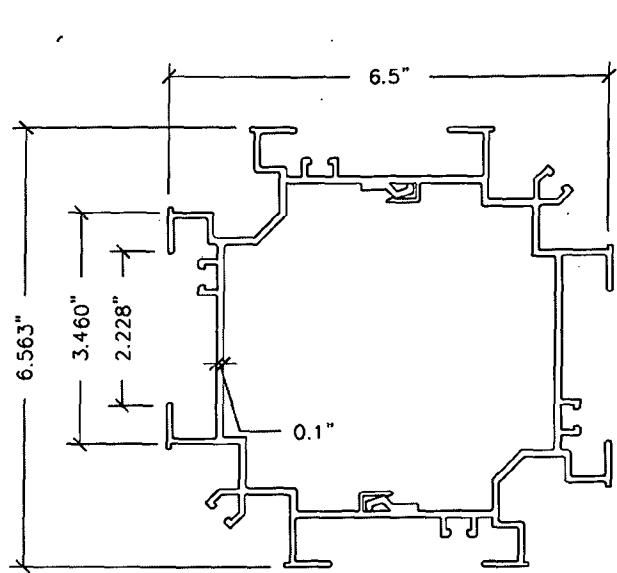
TREAD CONNECTION REQUIREMENTS



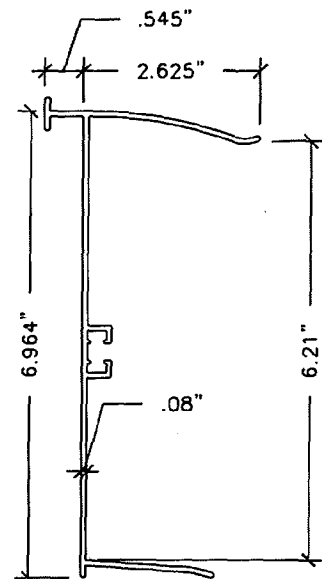
STAIR GUARD REQUIREMENTS

*ALL STAIRS AND LANDINGS MUST BE ILLUMINATED

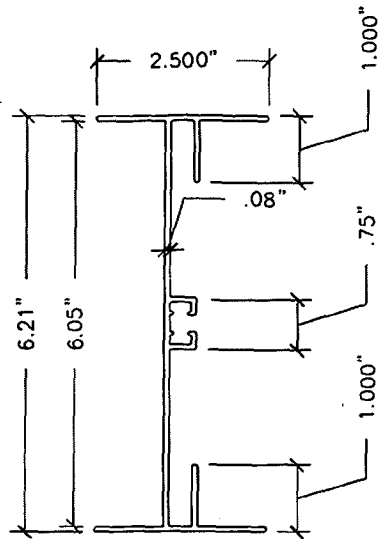
STAIR DETAIL
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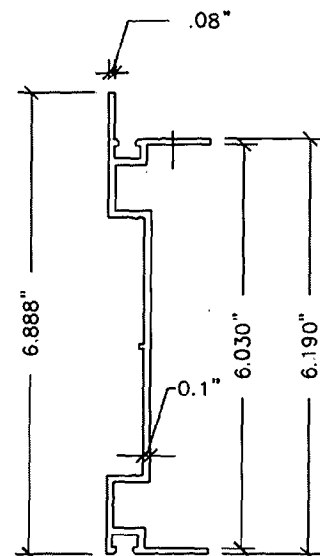
ALUMINUM CORNER COLUMN ①



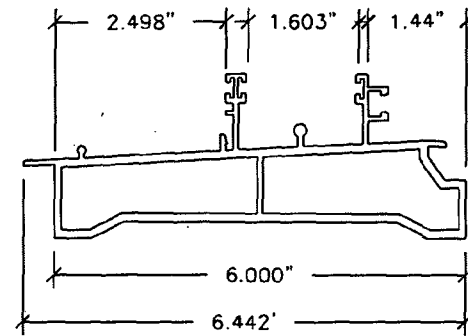
ALUMINUM PANEL HANGER BASE ②



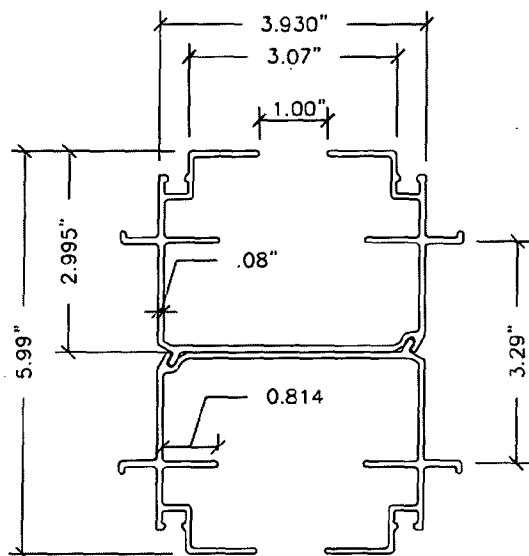
ALUMINUM I-SECTION ROOF BEAM ③



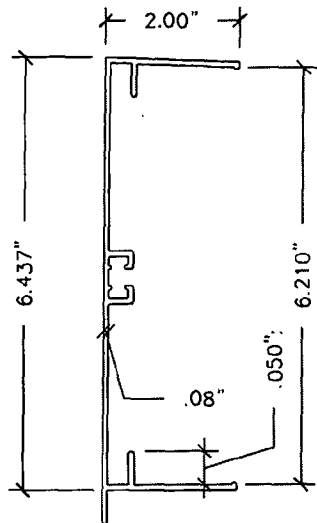
ALUMINUM BASE ④



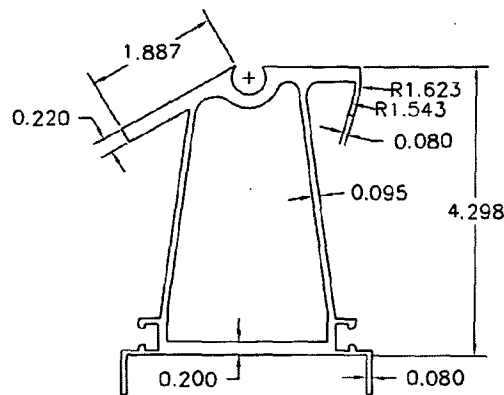
ALUMINUM SILL ⑤



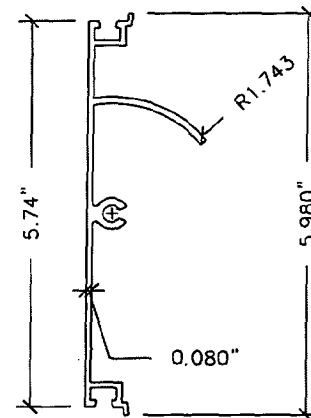
ALUMINUM CENTER MULLION ⑥



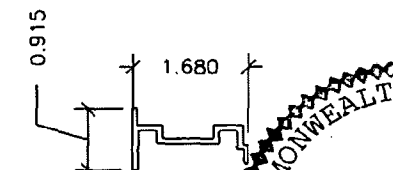
ALUMINUM ROOF PANEL FASCIA ⑦



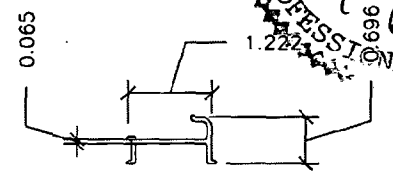
ALUMINUM BEARING WALL HEADER ⑧



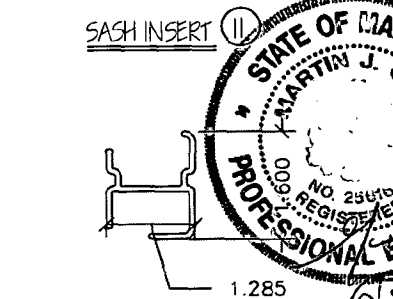
ALUMINUM HEADER TOP ⑨



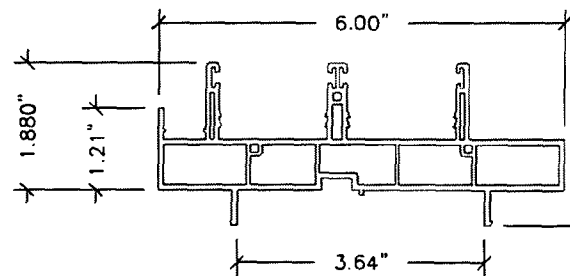
SILL INSERT ⑩



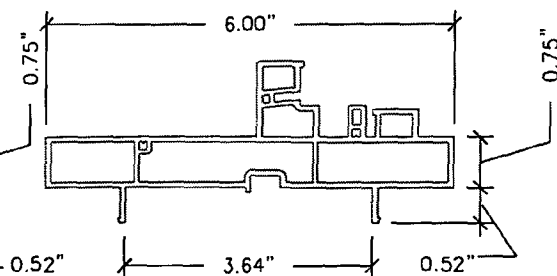
SASH INSERT ⑪



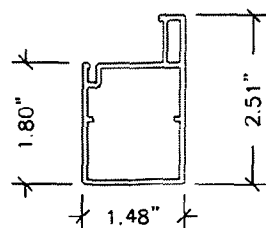
INTERLOCK INSERT ⑫



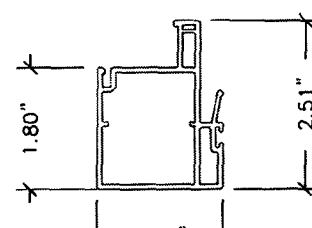
VINYL DOOR/WINDOW FRAME ⑬



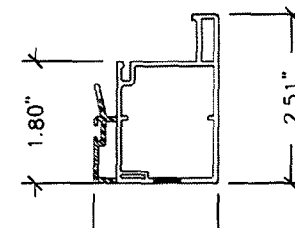
VINYL PICTURE WINDOW FRAME ⑬a



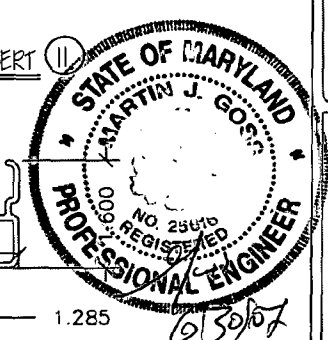
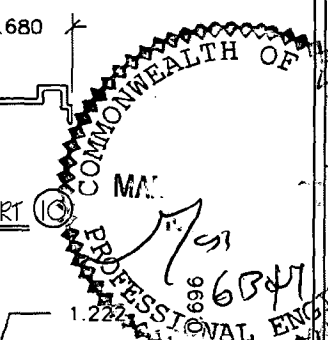
VINYL DOOR/WINDOW SASH ⑭



VENT INTERLOCK ⑮



DEADLITE INTERLOCK ⑯



CHAMPION ENCLOSURE SUPPLIERS INC.
12111 Champion Way, Cincinnati, OH 45241
PH: 513 782-3900
FAX: 513 782-3903

CESI

PARTS FOR A CHAMPION WINDOWS
CABLE STYLE
"VINYL CLAD" PATIO ROOM

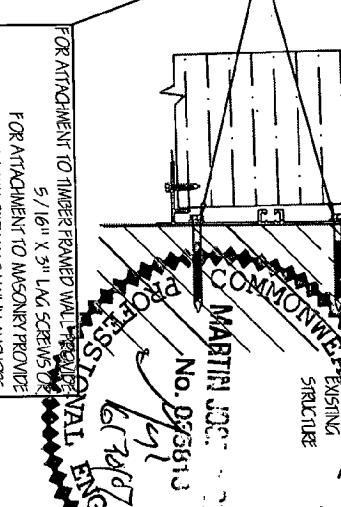
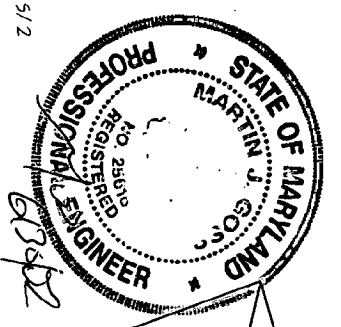
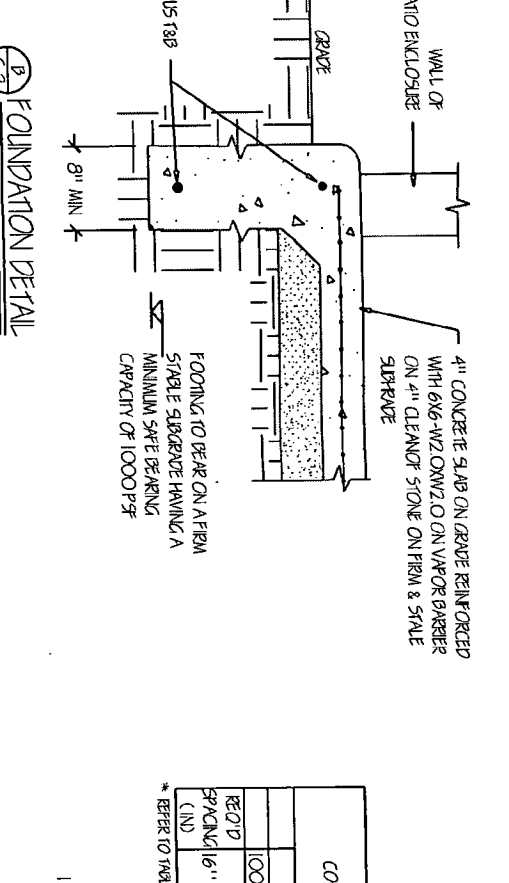
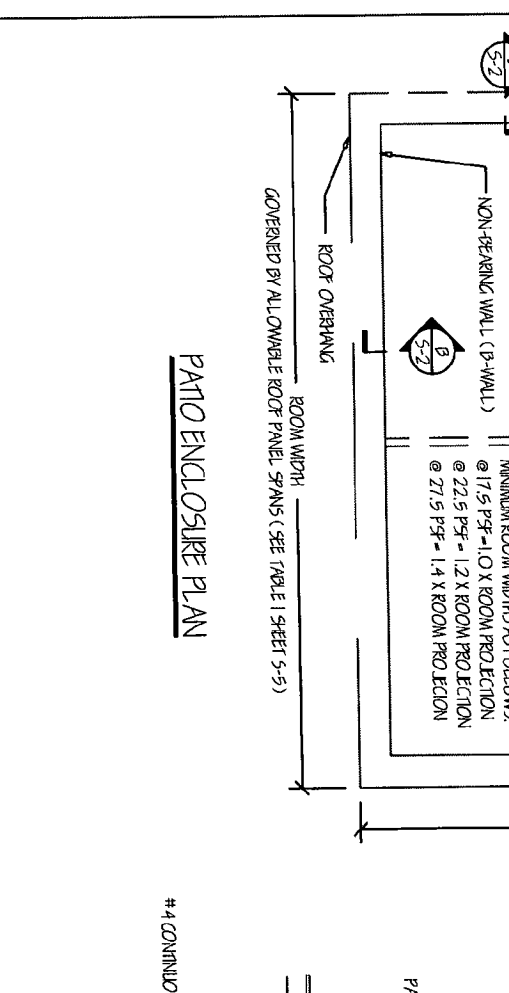
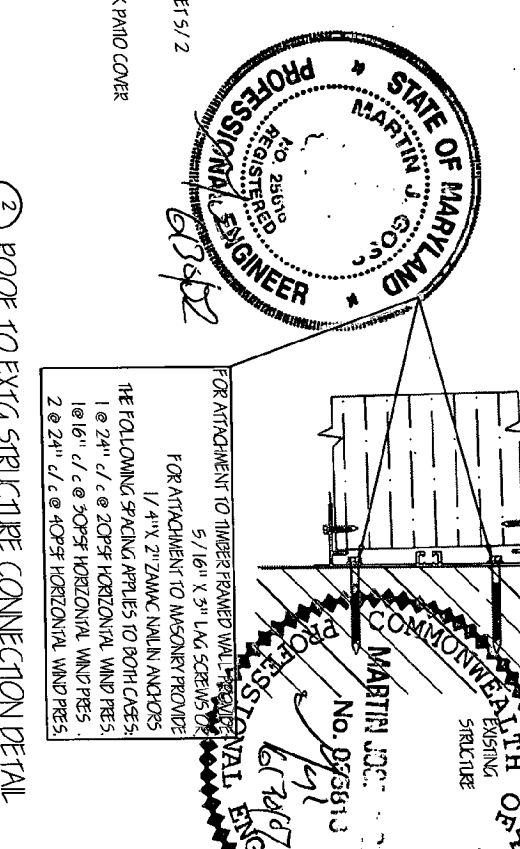
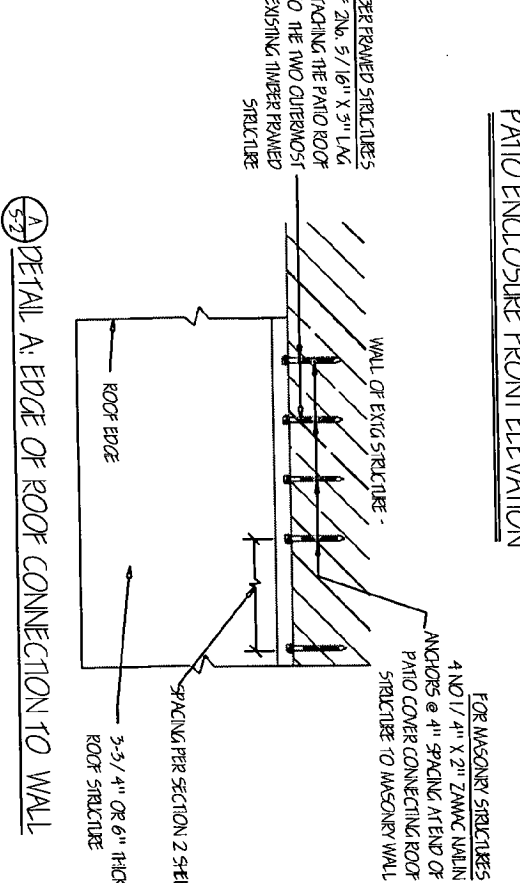
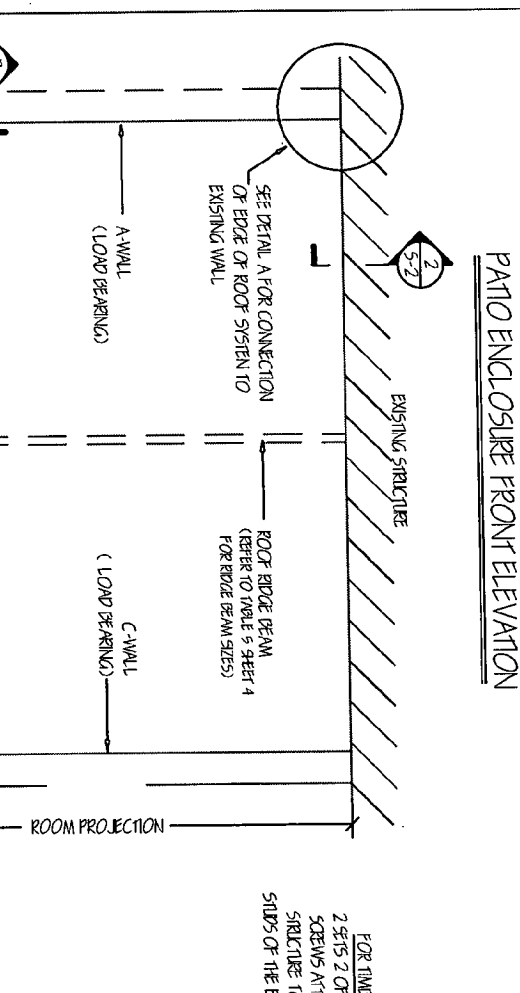
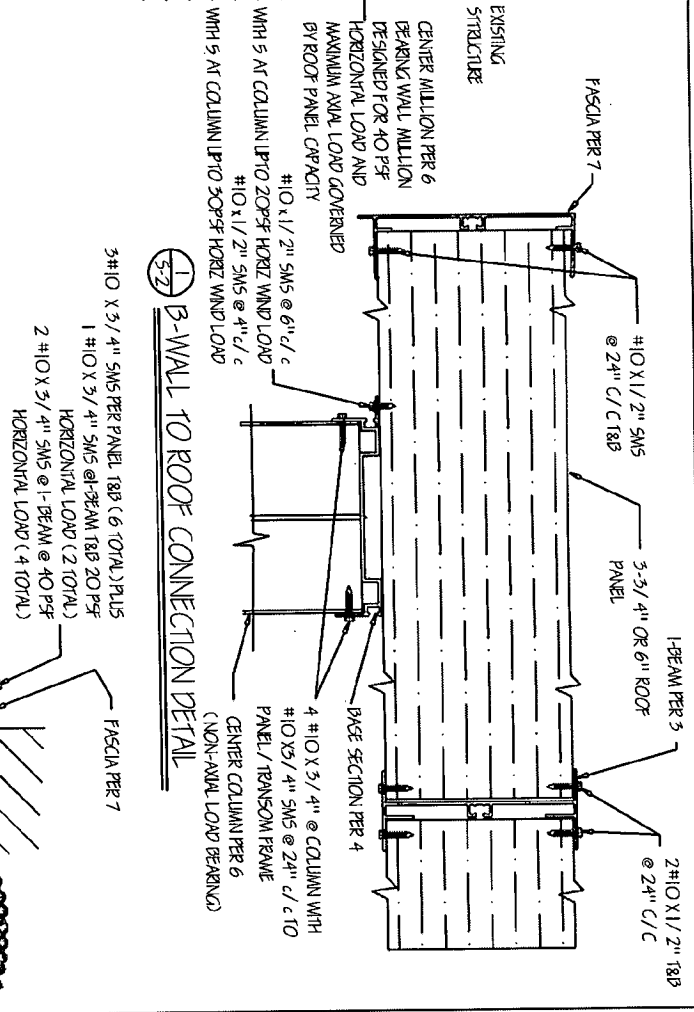
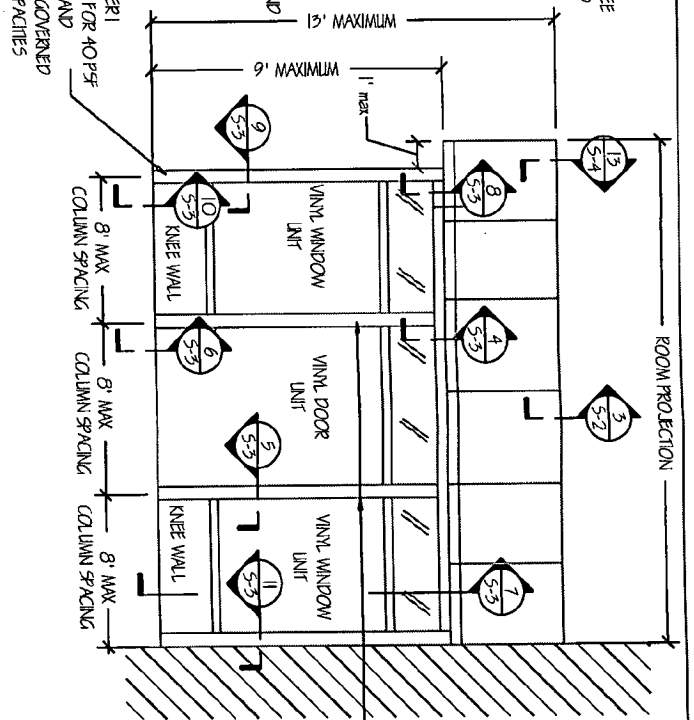
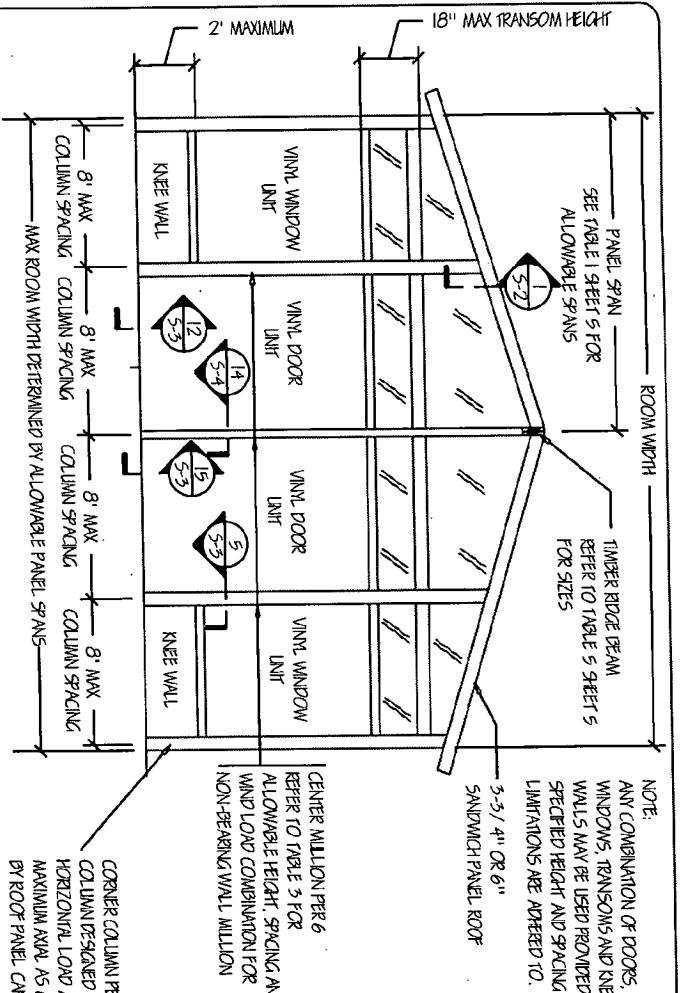
DATE: FEB 2002

SCALE: NTS

DRAWN BY: MJC

DWG NO. S-1

1 OF 5



ELEVATIONS AND SECTIONS FOR "VINYL CLAD" GABLE STYLE PATIO ROOM

DATE: FEB 2002
SCALE: NTS
DRAWN BY: M.J.G.
DRG NO: S-2
2 OF 5



CHAMPION ENCLOSURE SUPPLIERS INC
12111 Champion Way, Cincinnati, OH 45241
PH: 513 782-3900
FAX: 513 782-3903

5-5/4" OR 6" THICK SANDWICH PANEL

FASCIA PER 7

HEADER PER 8

HEADER AREA PER 9

#8 X 5/4" @ 24" T&B

#10 X 5/4" TEK SCREW @ 16" C/C

#10 X 5/4" AT 1-BEAM FOR UP TO 100 R.F. UPLIFT**

2 #10 X 5/4" AT 1-BEAM UP TO 200 R.F. UPLIFT**

5 #10 X 5/4" AT EACH-BEAM UP TO 500 R.F. UPLIFT**

4 #10 X 5/4" AT EACH-BEAM UP TO 500 R.F. UPLIFT**

** Refer to Table 2 sheet 5 for uplift load at roof supports.

5-5/4" OR 6" THICK SANDWICH PANEL

ROOF PANEL

FASCIA PER 7

BASE PER 4

HEADER PER 7

HEADER AREA PER 7

#10 X 5/4" TEK SCREW @ 16" C/C

#10 X 5/4" AT 1-BEAM FOR UP TO 100 R.F. UPLIFT**

2 #10 X 5/4" AT 1-BEAM UP TO 200 R.F. UPLIFT**

5 #10 X 5/4" AT EACH-BEAM UP TO 500 R.F. UPLIFT**

4 #10 X 5/4" AT EACH-BEAM UP TO 500 R.F. UPLIFT**

** Refer to Table 2 sheet 5 for uplift load at roof supports.

5-5/4" OR 6" THICK SANDWICH PANEL

VINYL DOOR/WINDOW FRAME PER 15

#10 X 1/2" SWS @ 24" C/VERTICALLY

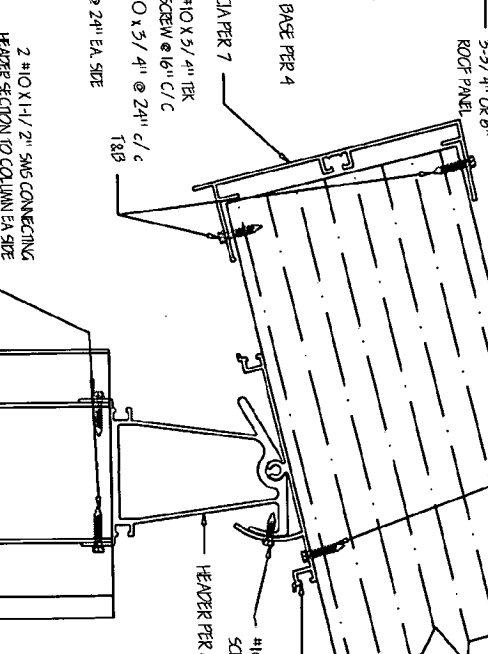
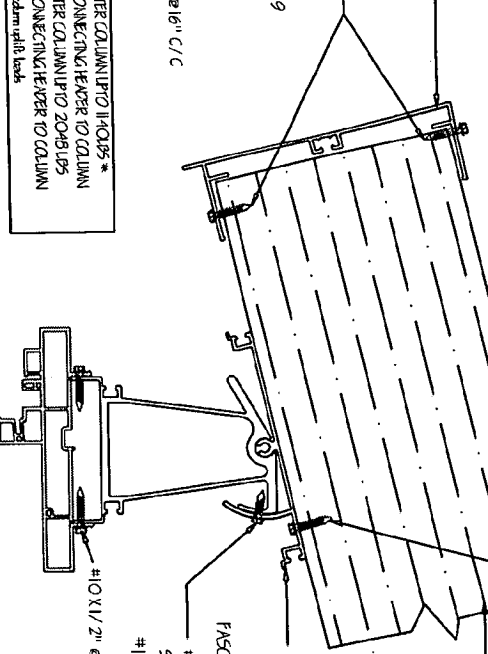
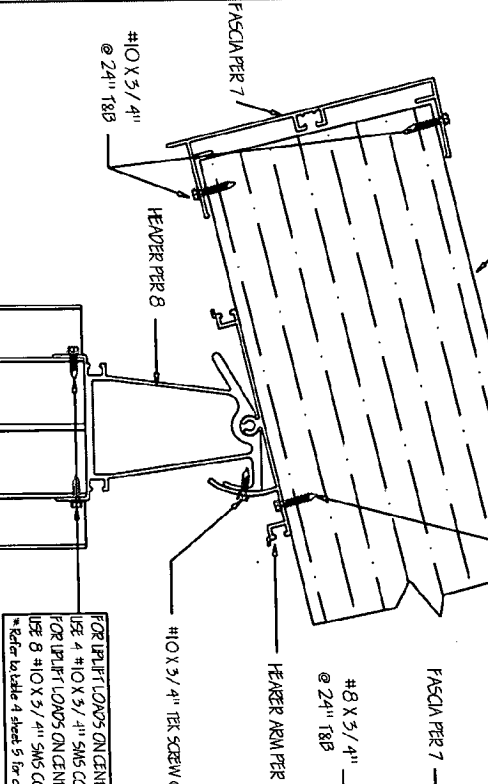
EXISTING STRUCTURE

2 #10 X 1/4" X 2" LAG SCREWS AT 24" C/VERTICALLY FOR ATTACHMENT TO TIMBER FRAMED WALL

2 #10 X 1/4" X 2" ZWMC NAILIN ANCHORS @ 24" C/VERTICALLY FOR ATTACHMENT TO MASONRY WALL

#10 X 1/2" SWS @ 24" C/VERTICALLY

BASE PER 4

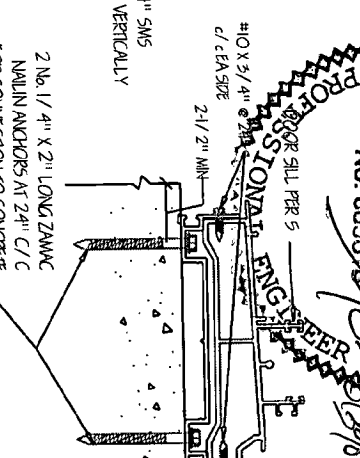
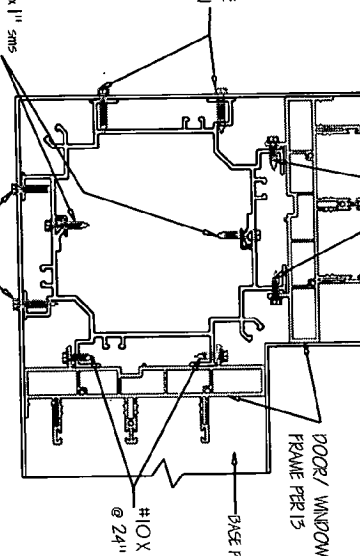
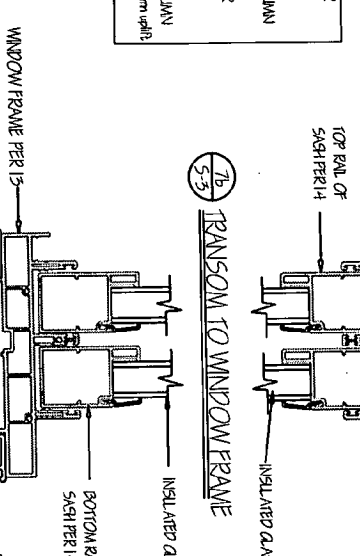
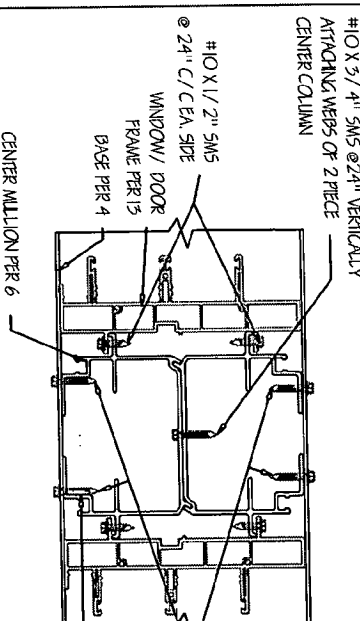


4 CENTER COLUMN TO HEADER DETAIL

7a HEADER TO TRANSOM

8 CORNER COLUMN TO HEADER

11 SIDE WALL CONNECTION TO EXISTING STRUCTURE

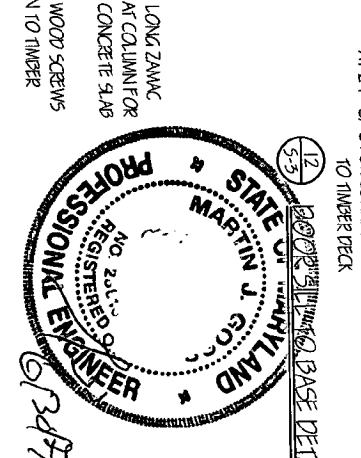
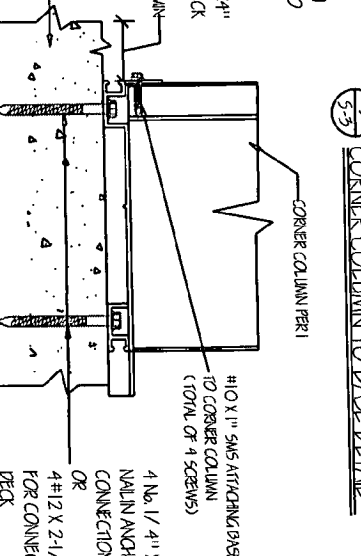
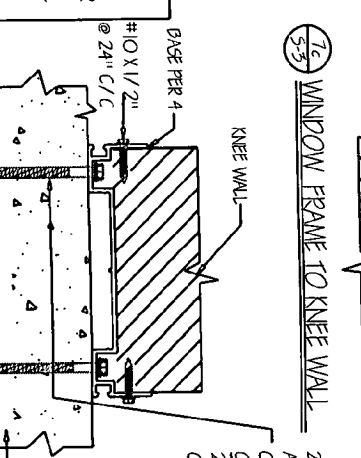
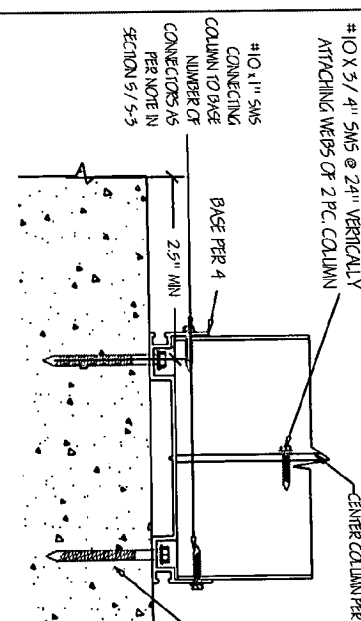


5 CENTER COLUMN TO BASE PLAN

7b TRANSOM TO WINDOW FRAME

9 CORNER COLUMN TO BASE DETAIL

12 DOOR/WINDOW FRAME TO BASE DETAIL



6 CENTER COLUMN TO BASE SECTION

7a KNEE WALL TO BASE

10 CENTER COLUMN TO BASE DETAIL

ATTACHMENT OF BASE TO TIMBER DECK

4 #12 X 2-1/2" WOOD SCREWS FOR COLUMN UPLIFT LOADS* IP TO 1090#

6 #12 X 2-1/2" WOOD SCREWS FOR UPLIFT LOADS* IP TO 1560#

8 #12 X 2-1/2" WOOD SCREWS FOR CENTER COLUMN UPLIFT LOADS* IP TO 2048#

(Refer to Table 4 sheet 5 for center column uplift loads)

ATTACHMENT OF BASE TO CONCRETE SLAB AT CENTER COLUMN

4 #10 X 1/4" X 2" ZWMC NAILIN ANCHORS FOR COLUMN UPLIFT LOADS* IP TO 1080#

6 #10 X 1/4" X 2" ZWMC ANCHORS FOR UPLIFT LOADS* IP TO 1560#

8 #10 X 1/4" X 2" ZWMC ANCHORS FOR CENTER COLUMN UPLIFT LOADS* IP TO 2048#

** Refer to Table 4 sheet 5 for center column uplift loads)

ATTACHMENT OF WINDOW FRAME TO KNEE WALL

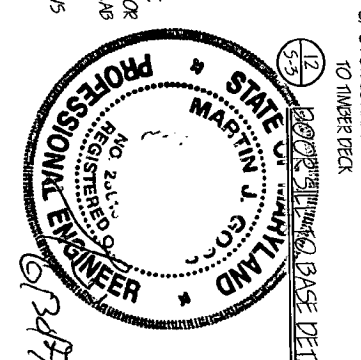
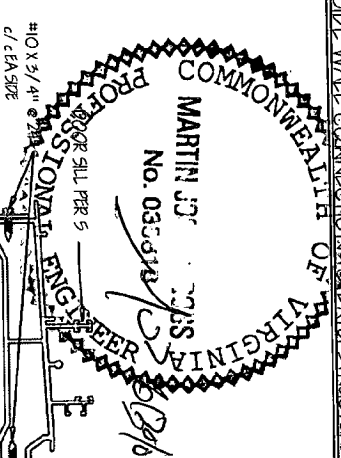
2 #10 X 1/2" SWS @ 24" C/C

2 #12 X 2-1/2" WOOD SCREWS @ 24" C/C FOR CONNECTION TO TIMBER DECK OR CONCRETE SLAB

ATTACHMENT OF DOOR/WINDOW FRAME TO BASE DETAIL

2 #12 X 2-1/2" WOOD SCREWS AT 24" C/C FOR CONNECTION TO CONCRETE SLAB OR

2 #12 X 2-1/2" WOOD SCREWS TO TIMBER DECK



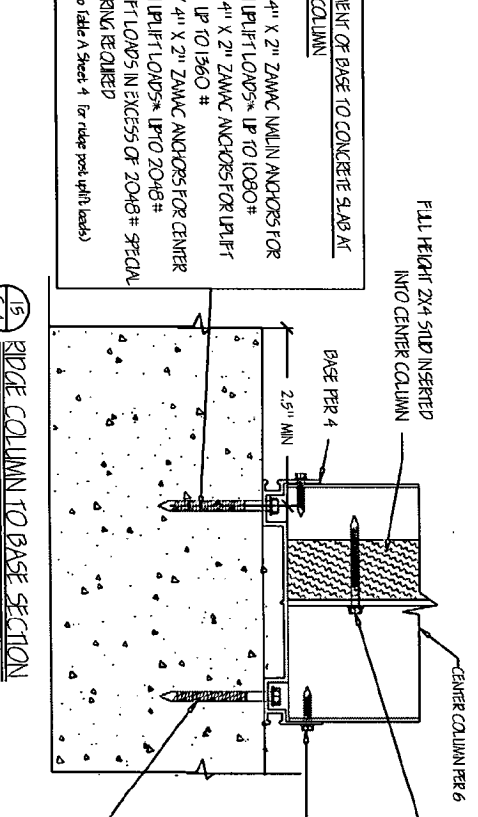
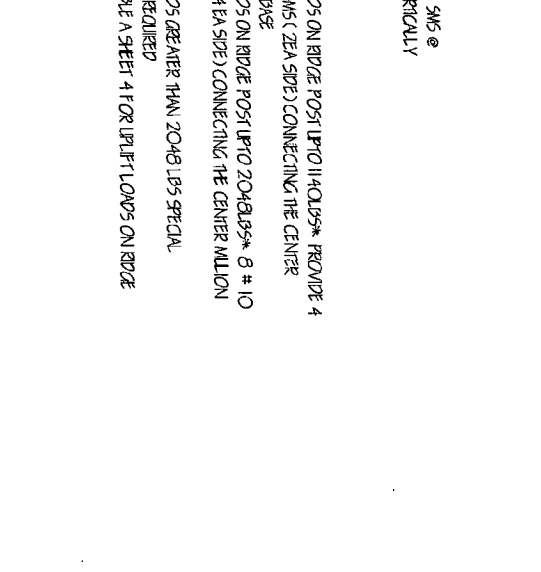
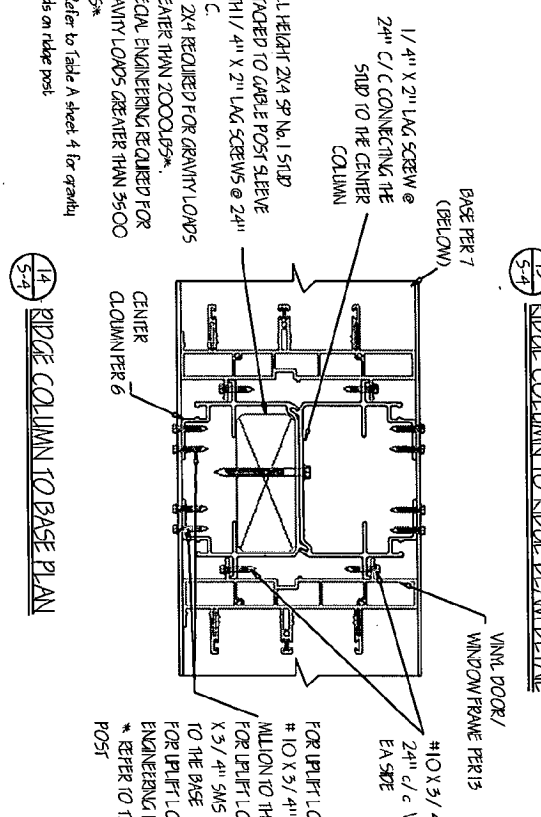
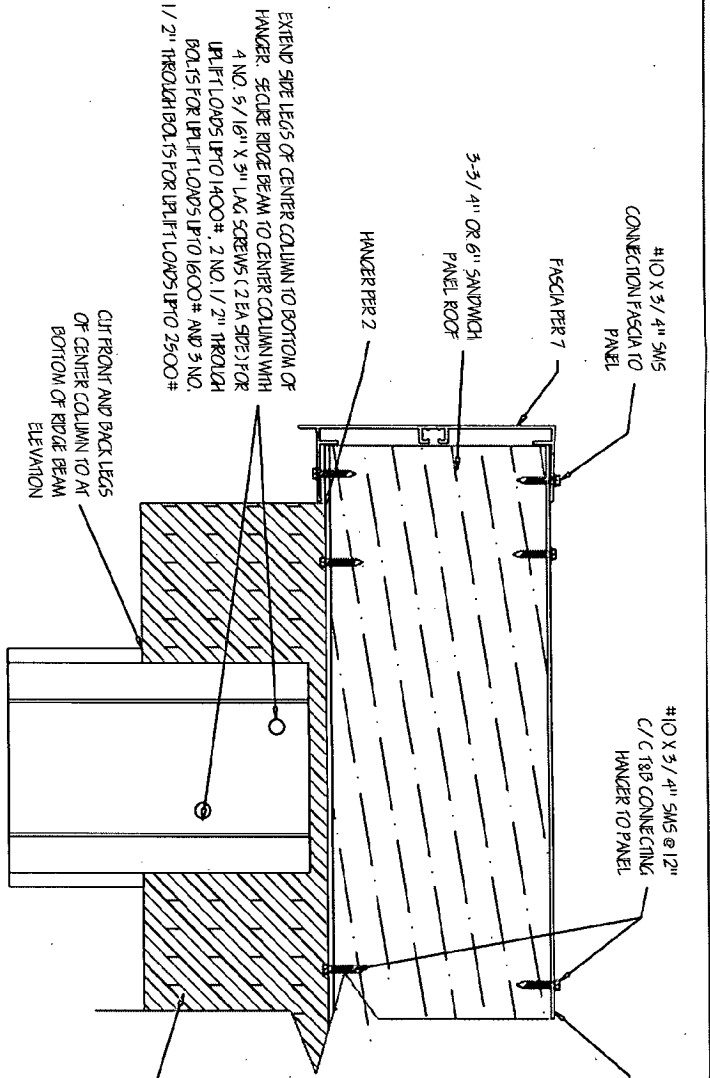
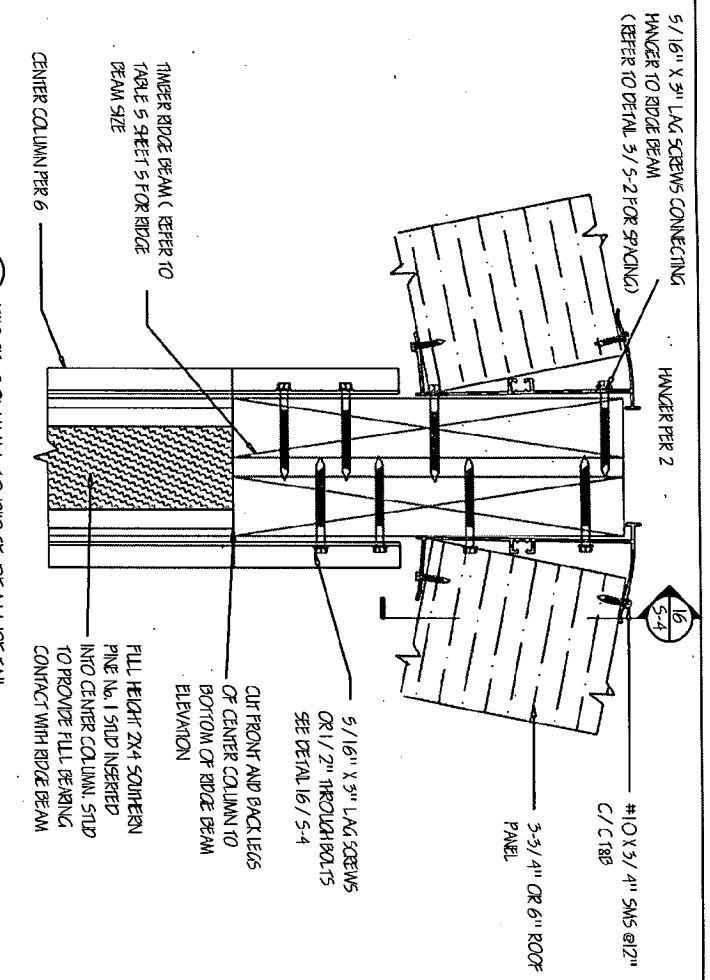
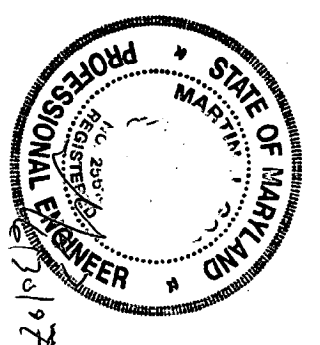


TABLE A: ANNUAL LOADS ON GABLE RIDGE SUPPORT POST

ROOM WIDTH (FT)	ROOM LOAD +/- PSF	10	12	14	16	18
14	20	805	966	1127		
25	25	980	1176	1372		
30	30	1155	1366	1617		
35	35	1330	1596	1862		
40	40	1505	1806	2107		
16	20	920	1104	1288	1472	
25	25	1120	1344	1568	1792	
30	30	1320	1584	1848	2112	
35	35	1520	1824	2128	2432	
40	40	1720	2064	2408	2752	
18	20	1035	1242	1449	1656	1865
25	25	1260	1512	1764	2016	2268
30	30	1485	1782	2079	2376	2673
35	35	1710	2052	2394	2736	3078
40	40	1935	2322	2709	3096	3483

TABLE A (CONT'D): ANNUAL LOADS ON GABLE RIDGE SUPPORT POST

ROOM WIDTH (FT)	ROOM LOAD +/- PSF	10	12	14	16	18
20	20	1150	1380	1610	1840	2070
25	25	1400	1680	1960	2240	2520
30	30	1650	1980	2310	2640	2970
35	35	1900	2280	2660	3040	3420
40	40	2150	2580	3010	3440	3870
22	20	1265	1518	1771	2024	2277
25	25	1540	1848	2156	2464	2772
30	30	1815	2178	2541	2904	3267
35	35	2090	2508	2926	3344	3762
40	40	2365	2836	3311	3784	4257
24	20	1380	1656	1932	2208	2484
25	25	1680	2016	2352	2688	3024
30	30	1980	2376	2772	3168	3564
35	35	2280	2736	3192	3648	4044
40	40	2580	3096	3612	4128	4644



SECTION DETAILS FOR CHAMPION GABLE STYLE VINYL CLAD PATIO ROOM

DATE: FEB 2002
SCALE: NIS
DRAWN BY: MJC
DWG. NO.: S-4
4 OF 5

CESI CHAMPION ENCLOSURE SUPPLIERS INC
12111 Champion Way, Cincinnati, OH 45241 PH: 513 782-3900
FAX: 513 782-3903

Building Location Plat
Lot 23 Block 75
Takoma Park Loan & Trust Companies
TAKOMA PARK
Montgomery County, Maryland

Scale: 1" = 30'

Surveyor's Certificate

We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown:

Date: May 30, 1984

Frey, Sheehan, Stoker & Assoc., Inc.
Land Planning Consultants
Phone 588-3110

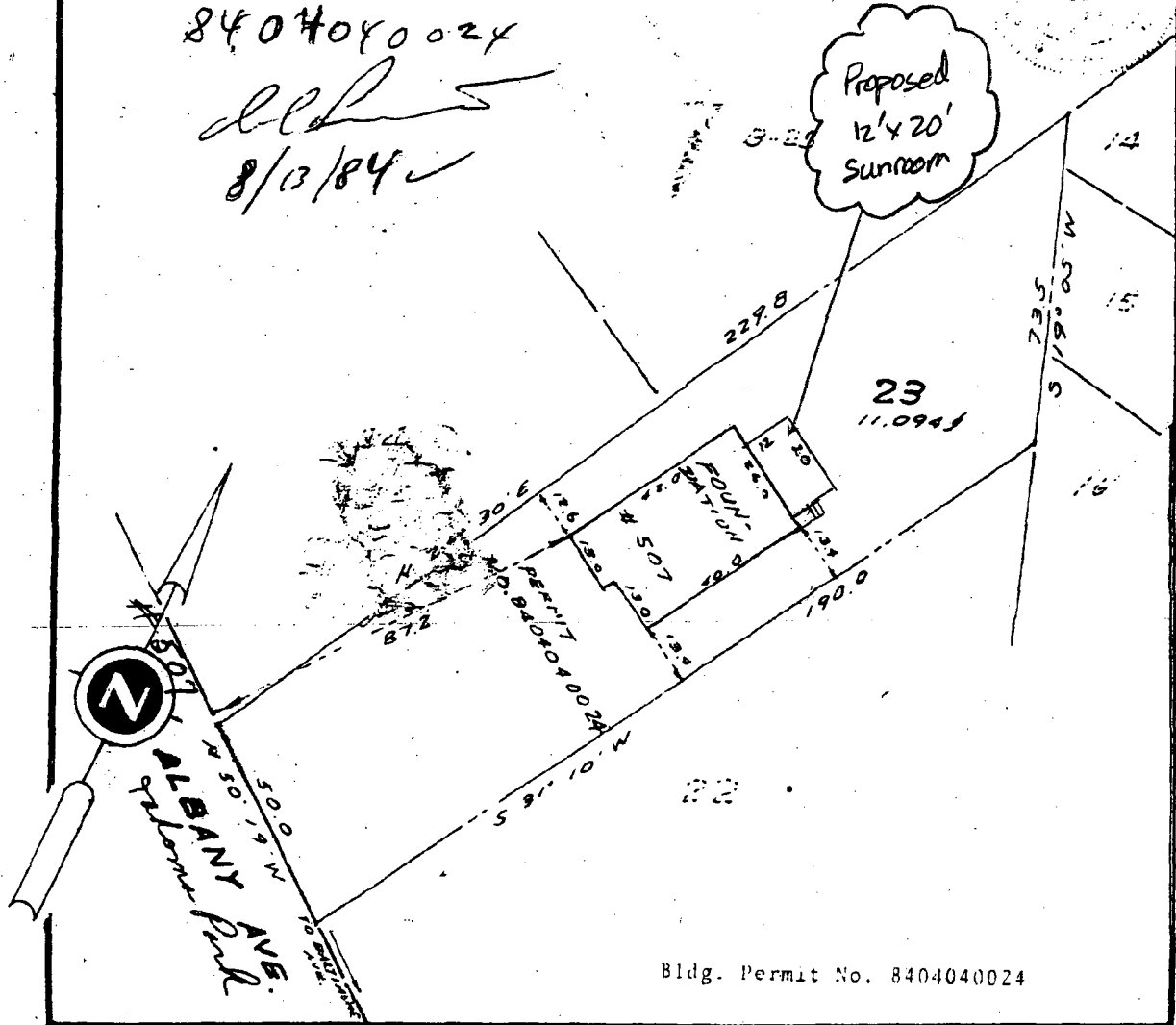
Plat Book 2
Plat No. 142

By: James F. Sheehan
James F. Sheehan
Professional Land Surveyor
Md. No. 3984

8404040024

[Handwritten signature]
8/13/84

Proposed
12' x 20'
Sunroom



Bldg. Permit No. 8404040024

STAMPAT PRODUCTS, INC.

File No. 84-0904

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

12-7-07



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 12/6/07

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #470193 - Rear sunroom addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the December 5, 2007 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Victor Vockerodt and Alison Raphael
Address: 507 Albany Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

20x12 sq ft (240sq)

Contact Person: Alison Raphael
Daytime Phone No.: (301) 920-1765

Tax Account No.: _____
Name of Property Owner: VICTOR VOCKRODST + ALISON RAFAEL Daytime Phone No.: (301) 920-1765
Address: 507 ALBANY AVE TALOMA PARK MD 20912
Street Number City State Zip Code
Contractor: CHAMION Phone No.: (301) 990-3001
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 507 ALBANY AVE Street: 507 ALBANY AVE
Town/City: TALOMA PARK Nearest Cross Street: BALTIMORE AVE
Lot: 23 Block: 75 Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A
2B. Type of water supply: 01 WSSC 02 Well 03 Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alison Raphael 11/5/07
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 12-6-07
Application/Permit No.: 470113 Date Filed: 11/02/07 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

House built in 1984, Only Victorian on the block.
Set back far from the street. Sunroom will
not be visible from the street. Screened by
shrubs & bamboo from other homes.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

None - set in backyard, on what is now used
as a deck.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	507 Albany Avenue, Takoma Park	Meeting Date:	12/05/07
Applicant:	Alison Raphael and Victor Vockerodt	Report Date:	11/28/07
Resource:	Non-Contributing Resource Takoma Park Historic District	Public Notice:	11/21/07
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-07NN	Staff:	Anne Fothergill

PROPOSAL: Rear sunroom addition

STAFF RECOMMENDATION

Staff is recommending that the HPC approve the HAWP application.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource in the Takoma Park Historic District
STYLE: Neo-Victorian
DATE: 1984

PROPOSAL

The applicants are proposing to build a 240 SF (20' wide x 12' deep) sunroom addition at the rear of the house. The sunroom will be built in the location of the existing deck and no trees will be impacted by the construction.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

According to the *Takoma Park Guidelines*, Non-Contributing Resources in the Takoma Park Historic District are "either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources should receive the most lenient level of design review."

The *Guidelines* also state: "Most alterations and additions to Non-Contributing Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale

and massing of non-Contributing Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.”

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior’s Standards for Rehabilitation:

- # 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

A Non-Contributing Resource in the Takoma Park Historic District receives the most lenient level of design review. The HPC considers alterations to the scale and massing of Non-Contributing Resources in terms of their impact on the overall streetscape and environmental setting of the historic district, but other changes to a Non-Contributing resource “should be approved as a matter of course.” The proposed rear sunroom addition to this house, which is set very far back from the street, will not adversely affect the character of the streetscape or the historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior’s *Standards for Rehabilitation*,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

20x12 sq ft. (240 sq ft)

Contact Person: Alison Raphael
Daytime Phone No.: (301) 920-1765

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Name of Property Owner: VICTOR VOCKENRODT + ALISON RAFAEL Daytime Phone No.: (301) 920-1765
Address: 507 ALBANY AVE TAKOMA PARK MD 20912
Street Number City Street Zip Code

Contractor: CHAMPION Phone No.: (301) 990-3001

Contractor Registration No.: _____

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House Number: 507 ALBANY AVE Street: 507 ALBANY AVE
Town/City: TAKOMA PARK Nearest Cross Street: BALTIMORE AVE
Lot: 23 Block: 75 Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Stab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

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- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alison Raphael
Signature of owner or authorized agent
11/5/07
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 470193 Date Filed: 11/05/07 Date Issued: _____

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4

PROPERTIES NEIGHBORING 507 ALBANY AVE

Eva Rodriguez - 505 Albany

Phil Walker - 509 Albany (WAKAKO TOKUNAGA)

George French - 510 Albany

Larry & Cornelia Atkins - 512 Albany

Jean and Royal Hutchinson - 508 Albany

Chris Madison - 7410 Baltimore

Mrs. Kuge - 7416 Baltimore (house sold, now vacant)

Building Location Plat
Lot 23 Block 75
Takoma Park Loan & Trust Companies
TAKOMA PARK
Montgomery County, Maryland

Scale: 1" = 30'
Surveyor's Certificate

We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown:

Date: May 30, 1984

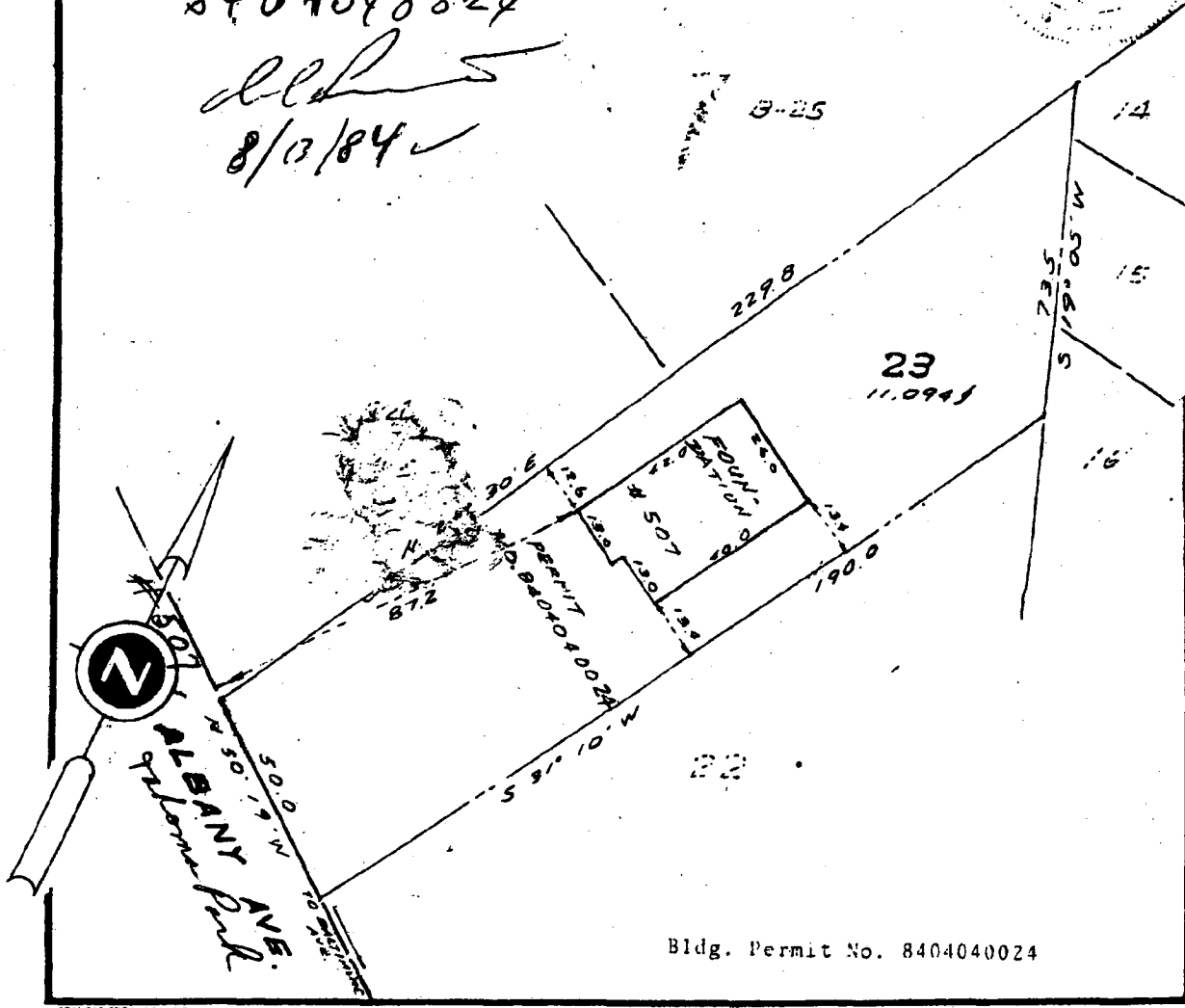
Frey, Sheehan, Stoker & Assoc., Inc.
Land Planning Consultants
Phone 588-3110

Plat Book 2
Plat No. 142

By: *James F. Sheehan*
James F. Sheehan
Professional Land Surveyor
Md. No. 3984

8404040024

llh
8/13/84



Bldg. Permit No. 8404040024

Building Location Plat
Lot 23 Block 75
Takoma Park Loan & Trust Company's
TAKOMA PARK
Montgomery County, Maryland

Scale: 1" = 30'
Surveyor's Certificate

We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown:

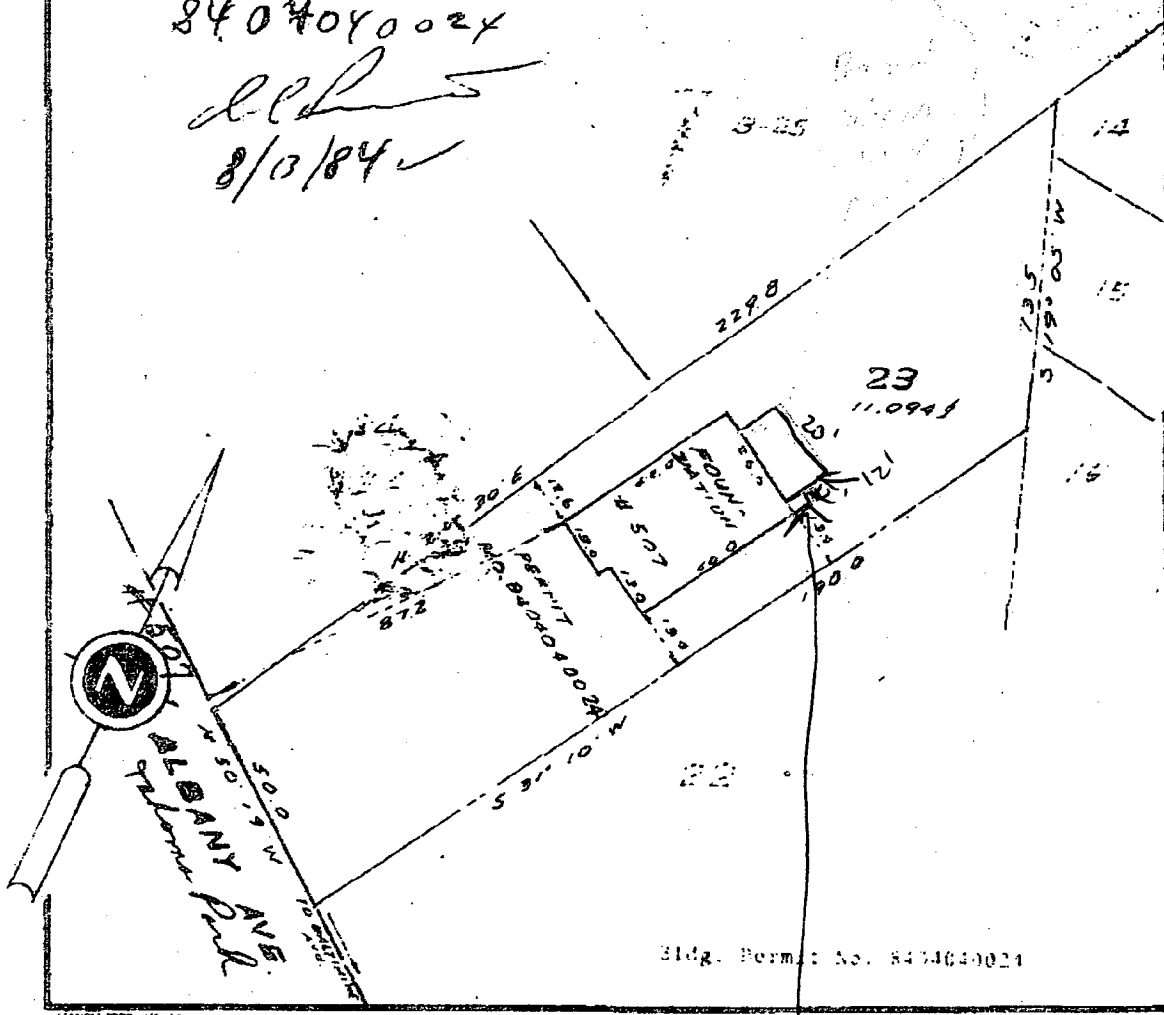
Date: May 30, 1984

Frey, Sheehan, Stoker & Assoc., Inc.
Land Planning Consultants
Phone 588-3110

Plat Book 2
Plat No. 142

By: James F. Sheehan
James F. Sheehan
Professional Land Surveyor
Md. No. 3984

8404040024
[Signature]
8/13/84



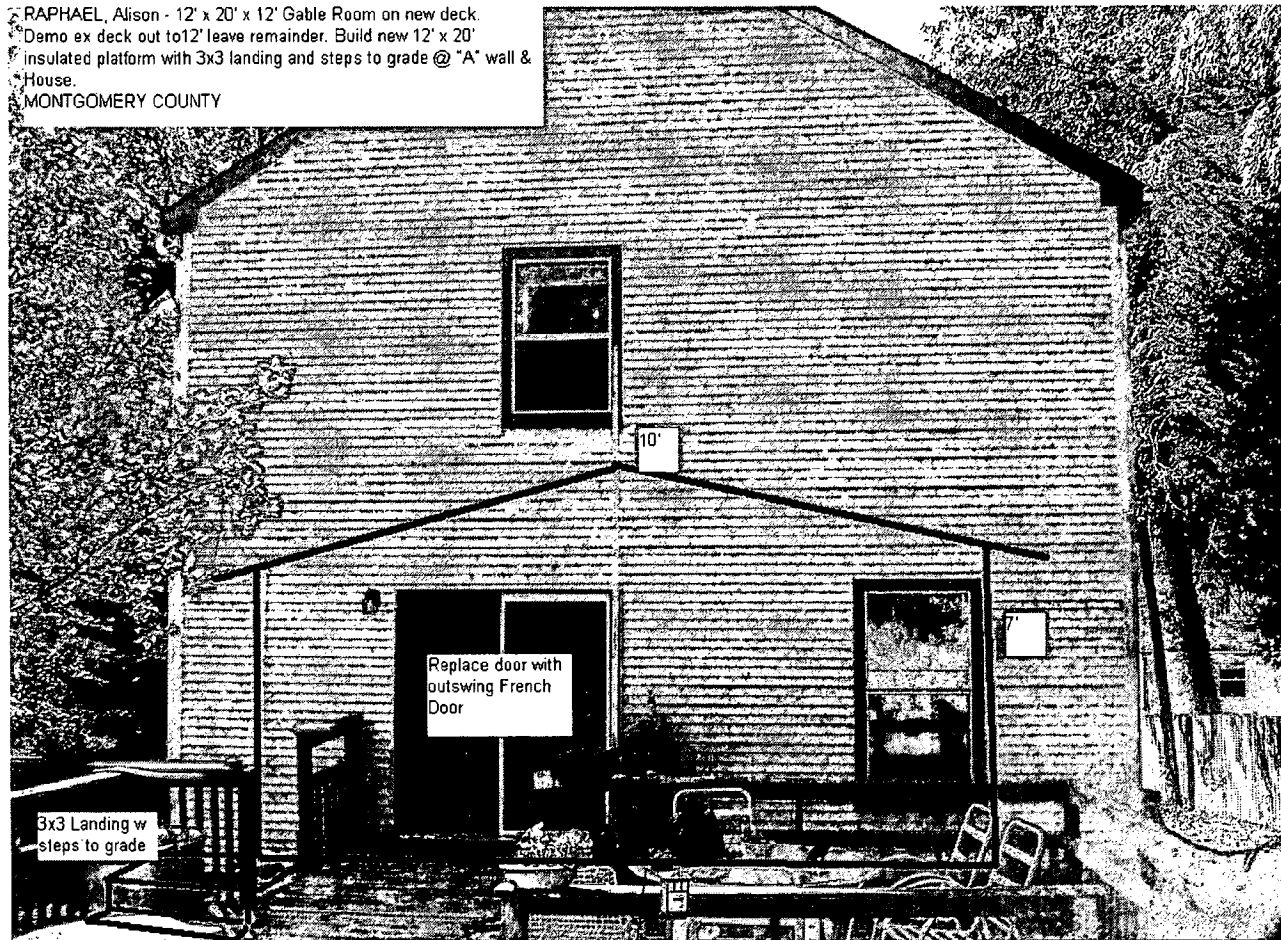
Blg. Perm. No. 8404040024

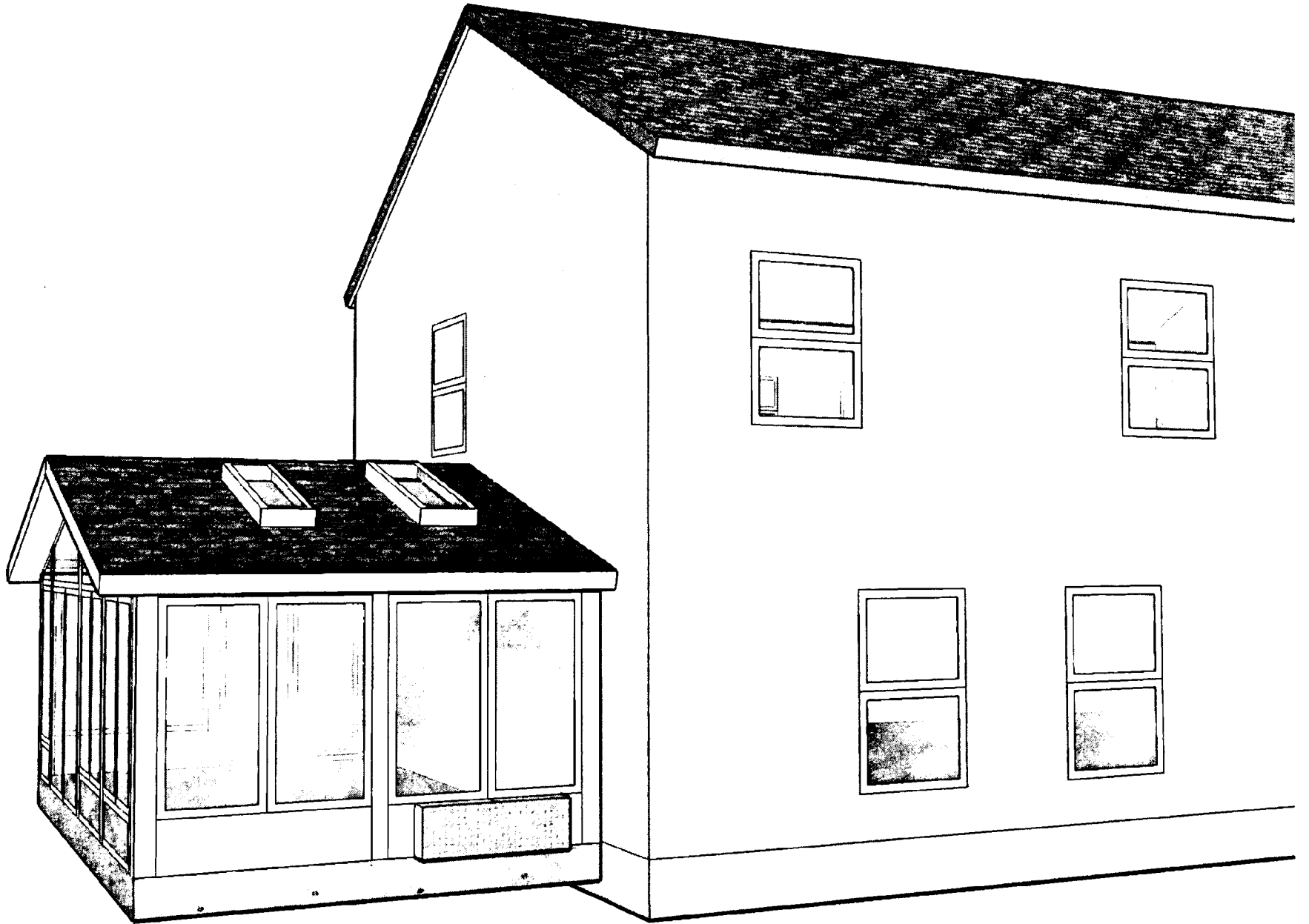
File No. 84-0904

Proposed Sunroom

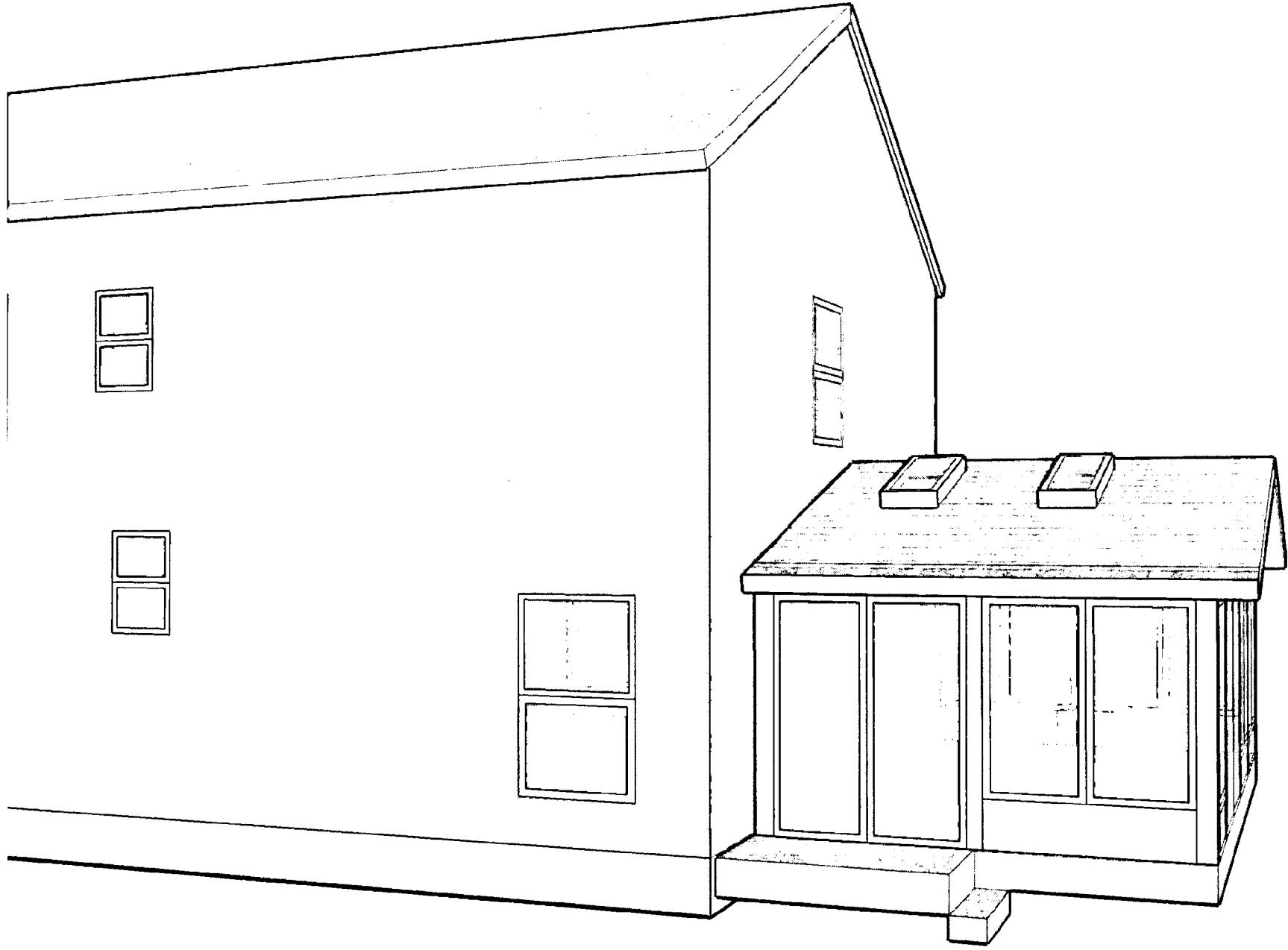
7

RAPHAEL, Alison - 12' x 20' x 12' Gable Room on new deck.
Demo ex deck out to 12' leave remainder. Build new 12' x 20'
insulated platform with 3x3 landing and steps to grade @ "A" wall &
House.
MONTGOMERY COUNTY

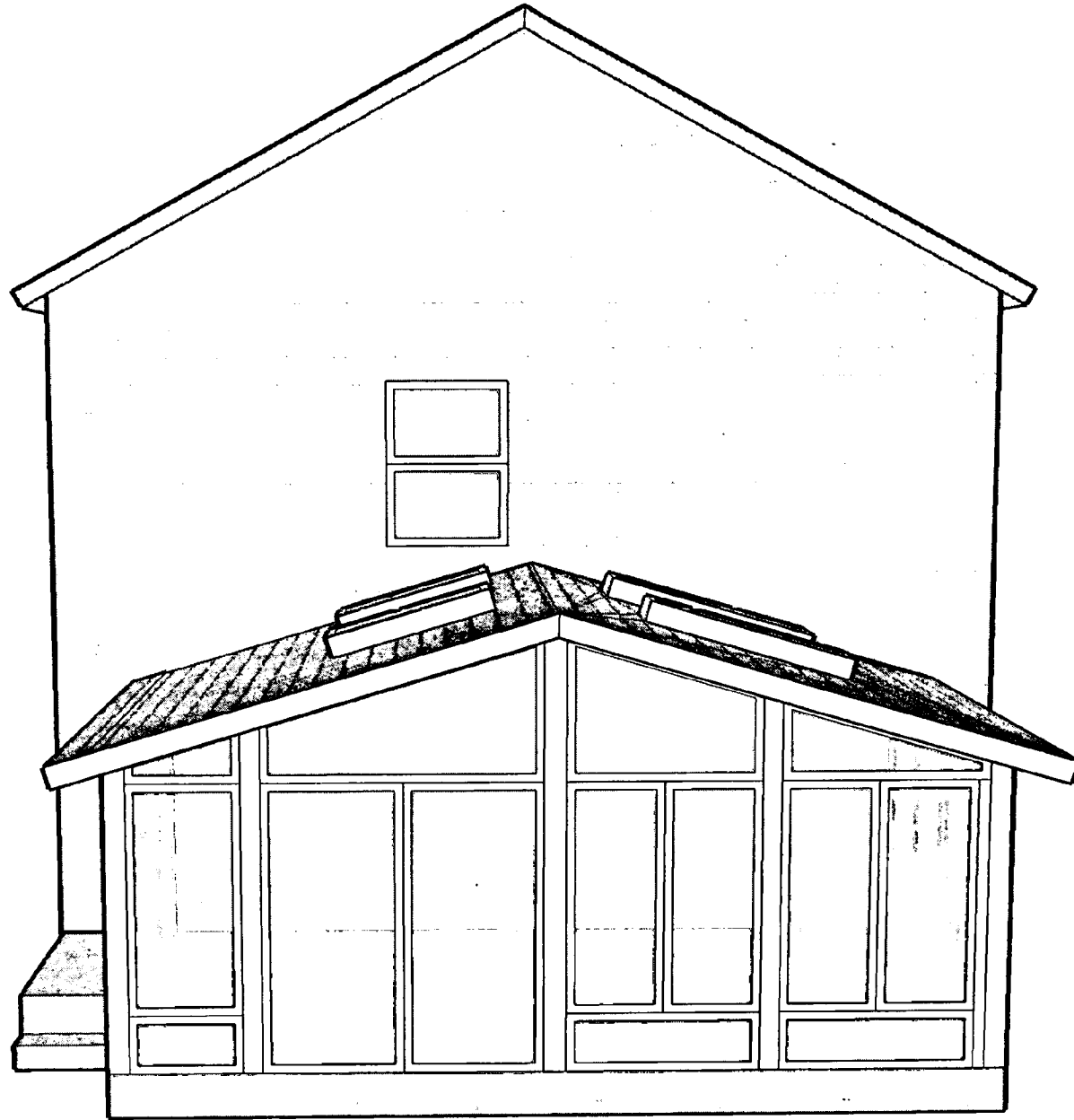




Raphael Residence



Raphael Residence



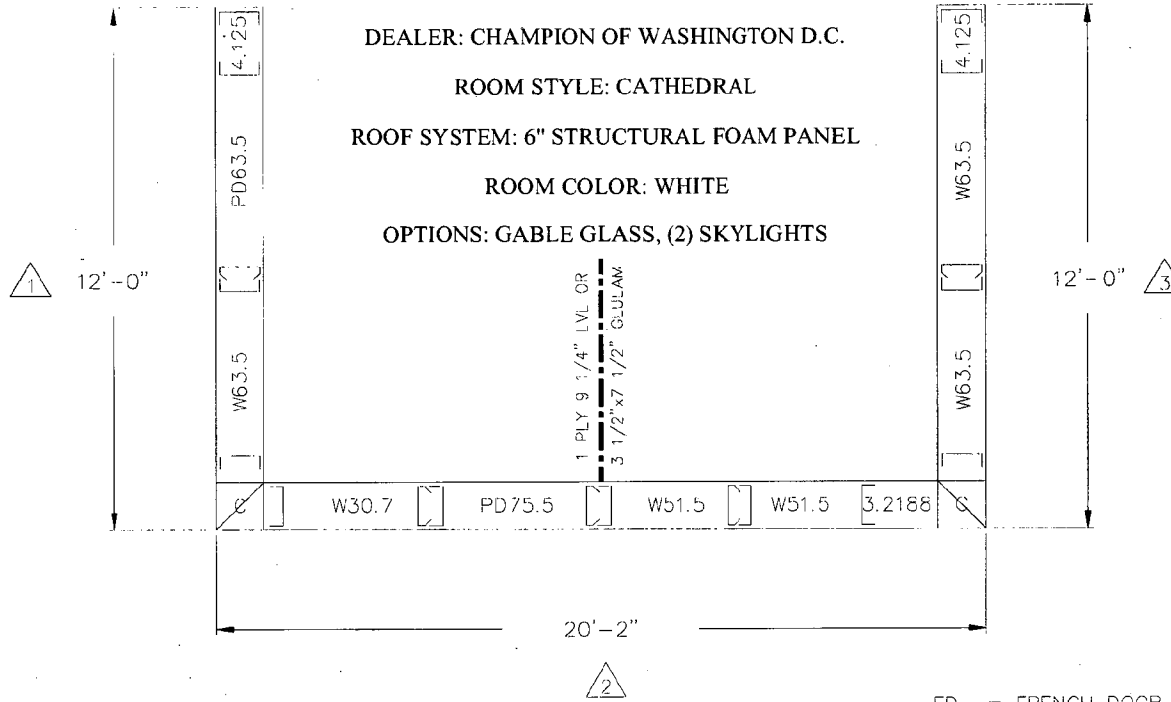
11

Raphael Residence

INSTALLERS LAYOUT

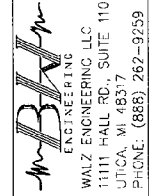
VERIFY ALL FILL MEASUREMENTS BEFORE CUTTING

CUSTOMER: RAPHAEL
 DEALER: CHAMPION OF WASHINGTON D.C.
 ROOM STYLE: CATHEDRAL
 ROOF SYSTEM: 6" STRUCTURAL FOAM PANEL
 ROOM COLOR: WHITE
 OPTIONS: GABLE GLASS, (2) SKYLIGHTS



NOT TO SCALE

- FD = FRENCH DOOR
- W = WINDOW
- D = SWING DOOR
- PD = PATIO DOOR (DOOR WALL)
- P = POST
- C = CORNER



ENGINEERING
 WALZ ENGINEERING LLC
 11111 HALL RD., SUITE 110
 UTICA, WI 48317
 PHONE: (888) 262-9259

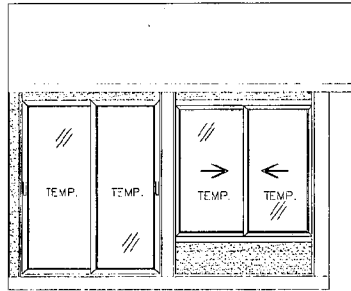
DEALER: CHAMPION OF WASHINGTON D.C. FILE #: CWDC-AH-RAPHAEL

RAPHAEL
 507 ALBANY AVE.
 TAKOMA PARK, MD 20912
 DRAWN BY: ALEX BUECHEL DATE: 11/20/07 SCALE: NONE

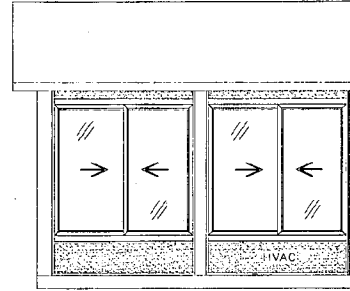
**SHEET
 1 OF 5**

21

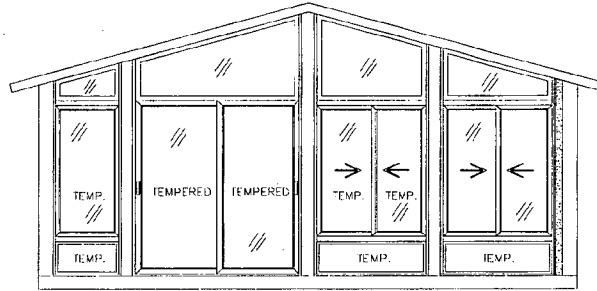
ELEVATIONS



1



3



2

MINIMUM DESIGN LOADS:

DEAD LOADS:

- 1) ROOF: 2 PSF
- 2) WALLS: 5 PSF
- 3) FLOOR: 5 PSF

LIVE LOADS:

- 1) ROOF: 30 PSF
- 2) WALLS: 90 MPH - 3 SEC. WIND GUST
- 3) FLOOR: 40 PSF

DEFLECTION LIMITS:

- 1) ROOF: L/100
- 2) WALLS: L/175
- 3) FLOOR: L/240

TOTAL WEIGHT OF PRODUCTS: 1980 lbs.

AmBAM
ENGINEERING
WALZ ENGINEERING LLC
11111 FALL RD., SUITE 110
CROFTON, MD 21114
PHONE: (888) 262-9259

DEALER: CHAMPION OF WASHINGTON D.C.
FILE #: CWDC-A1-RAPHAEL

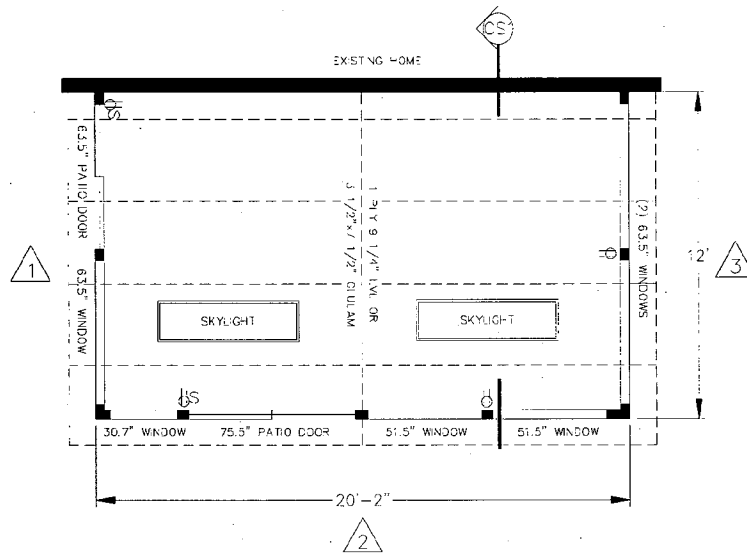
RAPHAEL
507 ALBANY AVE.
TAKOMA PARK, MD 20912

DATE: 11/20/07 SCALE: 1/4"=1'

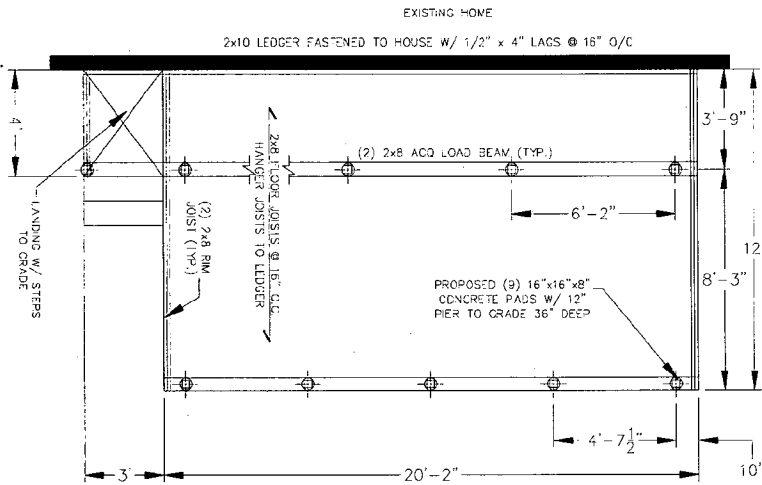
**SHEET
2 OF 5**

13

PLAN VIEW



LAYOUT PLAN



LAYOUT PLAN

USE STAINLESS STEEL OR TRIPLE DIPPED GALVANIZED FASTENERS INTO ACQ LUMBER

SHEET 3 OF 5

DEALER: CHAMPION C
WASHINGTON D.C.

FILE #: CWDC-A-RAPHAEL

RAPHAEL

507 ALBANY AVE.
TAKOMA PARK, MD 20912

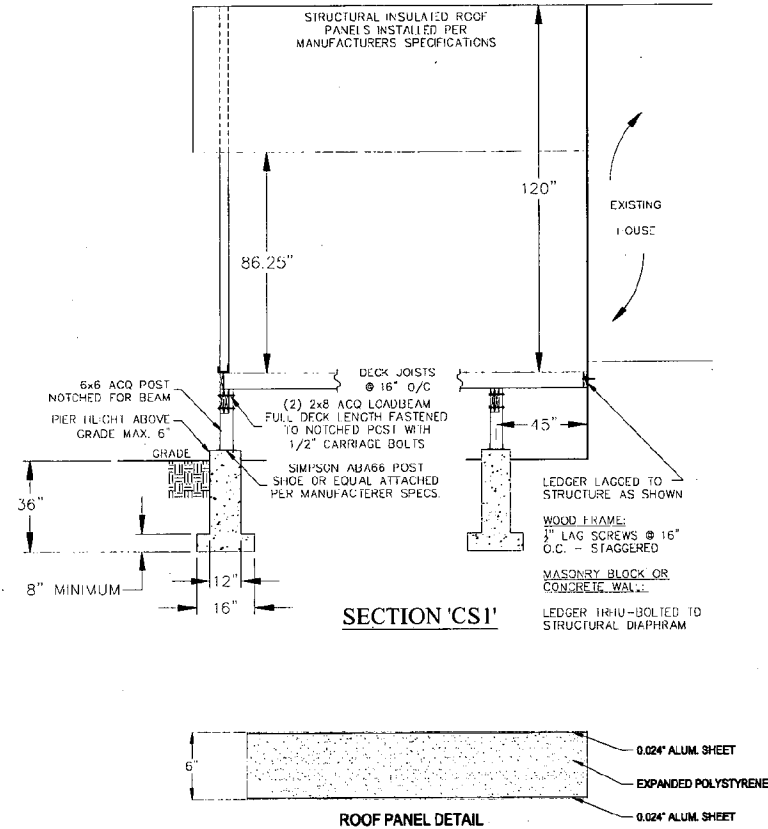
WALZ ENGINEERING

WALZ ENGINEERING LLC
1111 HALL RD., SUITE 110
JITCA, MI 48317
PHONE: (888) 262-9259

DRAWN BY: ALEX BUECHEL

DATE: 11/20/07 SCALE: 1/4"=1'

CROSS SECTION



USE STAINLESS STEEL OR TRIPLE DIPPED
GALVANIZED FASTENERS INTO ACQ LUMBER

B&M
ENGINEERING
WALZ ENGINEERING LLC
11111 HALL RD., SUITE 110
UTICA, MI 48317
PHONE: (888) 262-9259

DEALER: CHAMPION 0-
WASHINGTON, D.C.

RAPHAEL

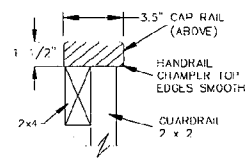
FILE #: CWDC-A1-RAPHAEL

507 ALBANY AVE.
TAKOMA PARK, MD 20912

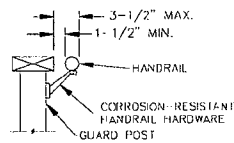
DRAWN BY: ALEX BUECHEL DATE: 11/20/07 SCALE: NONE

**SHEET
4 OF 5**

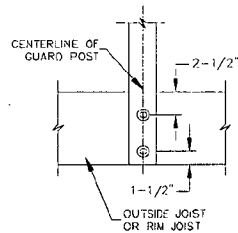
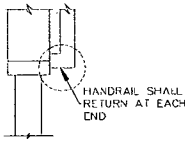
15



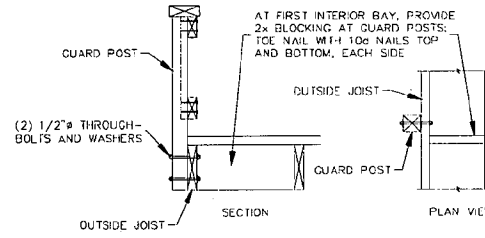
CAP RAIL DETAIL



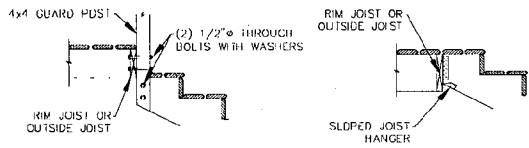
HANDRAIL DETAIL



GUARD POST ATTACHMENT DETAIL

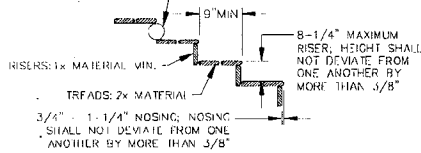


GUARD POST TO OUTSIDE JOIST DETAIL

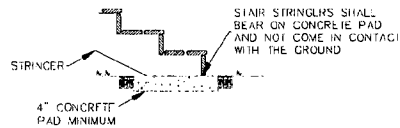


STAIR STRINGER ATTACHMENT DETAIL

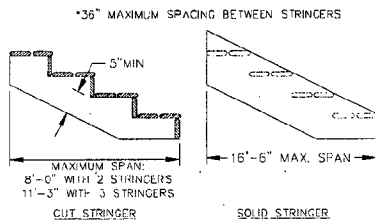
RISER MAY BE OPEN, BUT SHALL NOT ALLOW THE PASSAGE OF A 4" SPHERE



TREAD AND RISER DETAIL

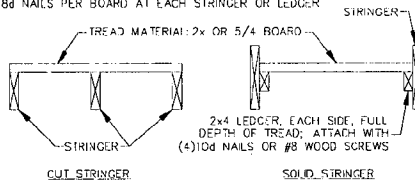


STAIR STRINGER BEARING AT GRADE DETAIL

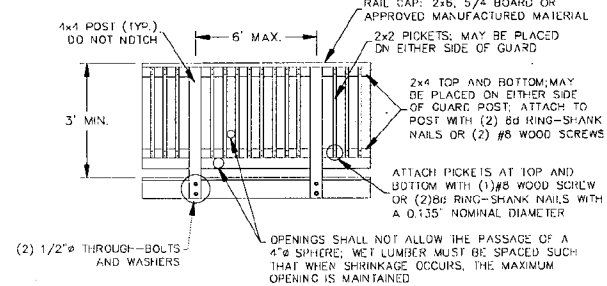


STAIR STRINGER REQUIREMENTS

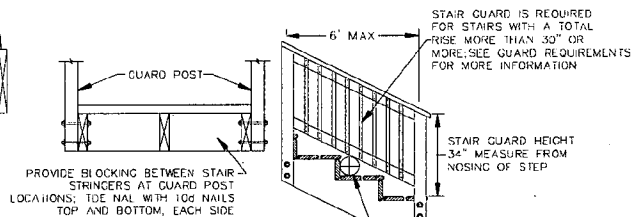
*ATTACH 2x TREAD MATERIAL WITH (2) #8 SCREWS OF (2) #8 NAILS PER BOARD AT EACH STRINGER OR LEDGER



TREAD CONNECTION REQUIREMENTS



TYPICAL GUARD DETAIL



STAIR GUARD REQUIREMENTS

*ALL STAIRS AND LANDINGS MUST BE ILLUMINATED

STAIR DETAIL
NOT TO SCALE

B&W
ENGINEERING
WALZ ENGINEERING LLC
11111 FALL RD., SUITE 110
UTICA, MI 48317
PHONE: (886) 262-9259

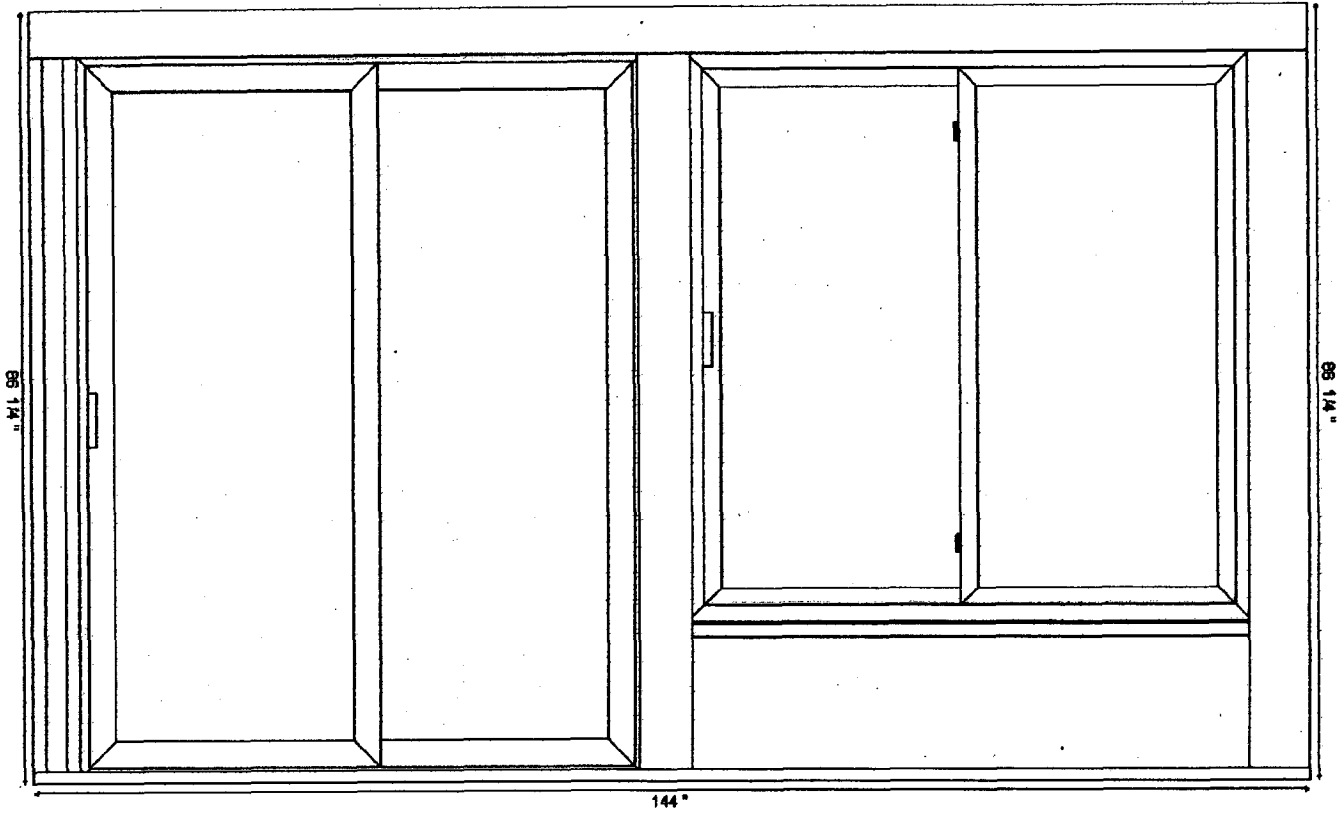
FILE # CWDC-A4-RAP-AEL
507 ALBANY AVE
TAKOMA PARK, MD 20912

DEALER: CHAFFIN OF WASHINGTON, D.C.
RAP-AEL
DRAWN BY: ALEX BUECHEL DATE: 11/20/97 SCALE: NONE

SHEET
S1

96

A Wall



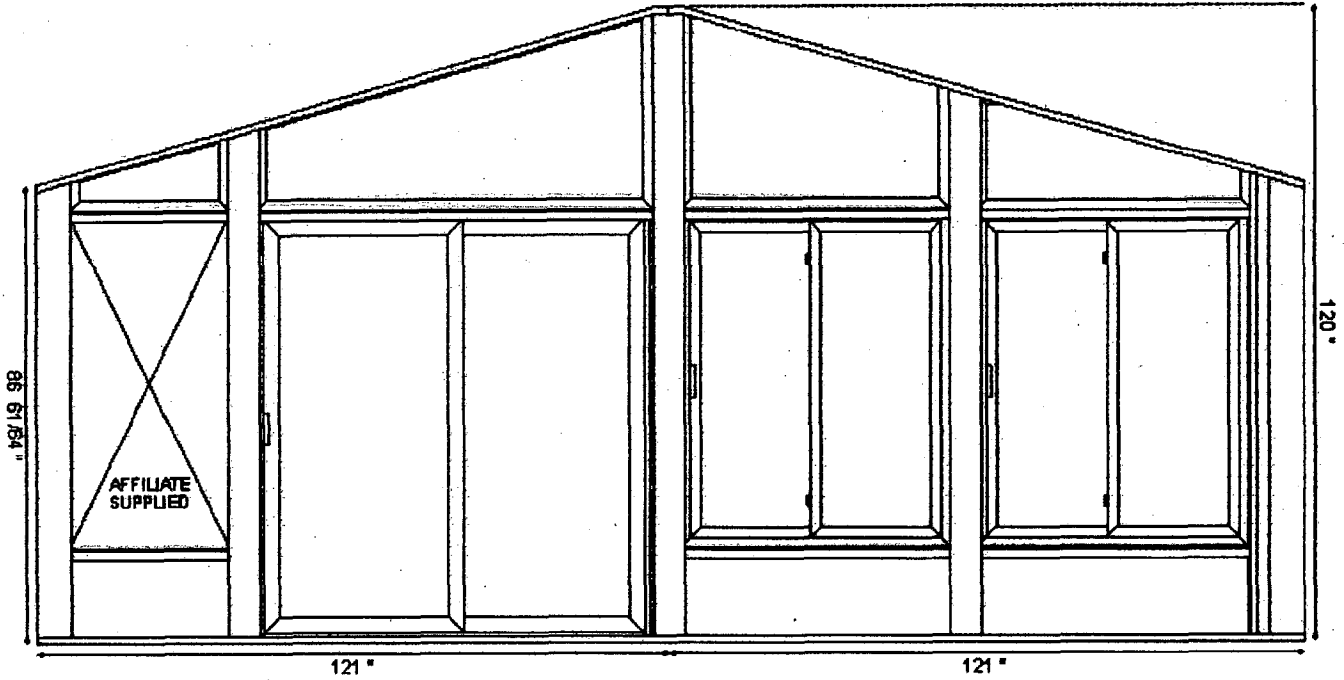
Dimensions

Attachment Height: 120 "
B Wall Height: 86.25 "
A Wall Width: 144 "
Roof Overhang: 8 "

Layout

0.625" (Base Plate) + 4.125" (Foam) + 0.625" (Base Plate) + 63.5" (2 Lite Door) + 5.0625" (Wall Mullion) + 63.5" (2 Lite Window) + 6.5625" (Corner Post)

B Wall



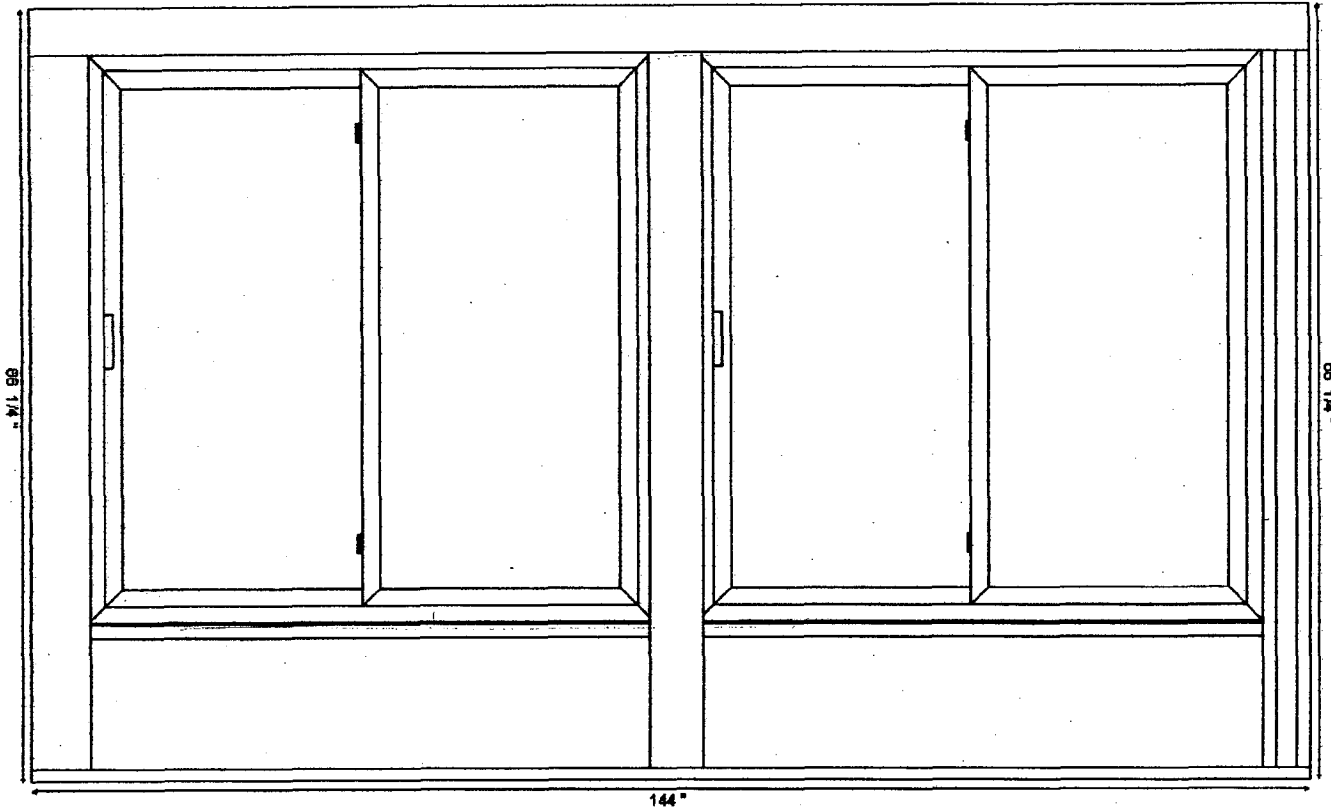
Dimensions

Attachment Height: 120 "
 B Wall Height: 86.25 "
 B Wall Width: 242 "
 Roof Overhang: 8 "

Layout

6.5625" (Corner Post) + 30.7" (Affiliate Supplied Window) + 5.0625" (Wall Mullion) + 75.5" (2 Lite Door) + 5.0625" (Wall Mullion) + 51.5" (2 Lite Window) + 5.0625" (Wall Mullion) + 51.5" (2 Lite Window) + 0.825" (Base Plate) + 3.2188" (Foam) + 6.5625" (Corner Post)

C Wall



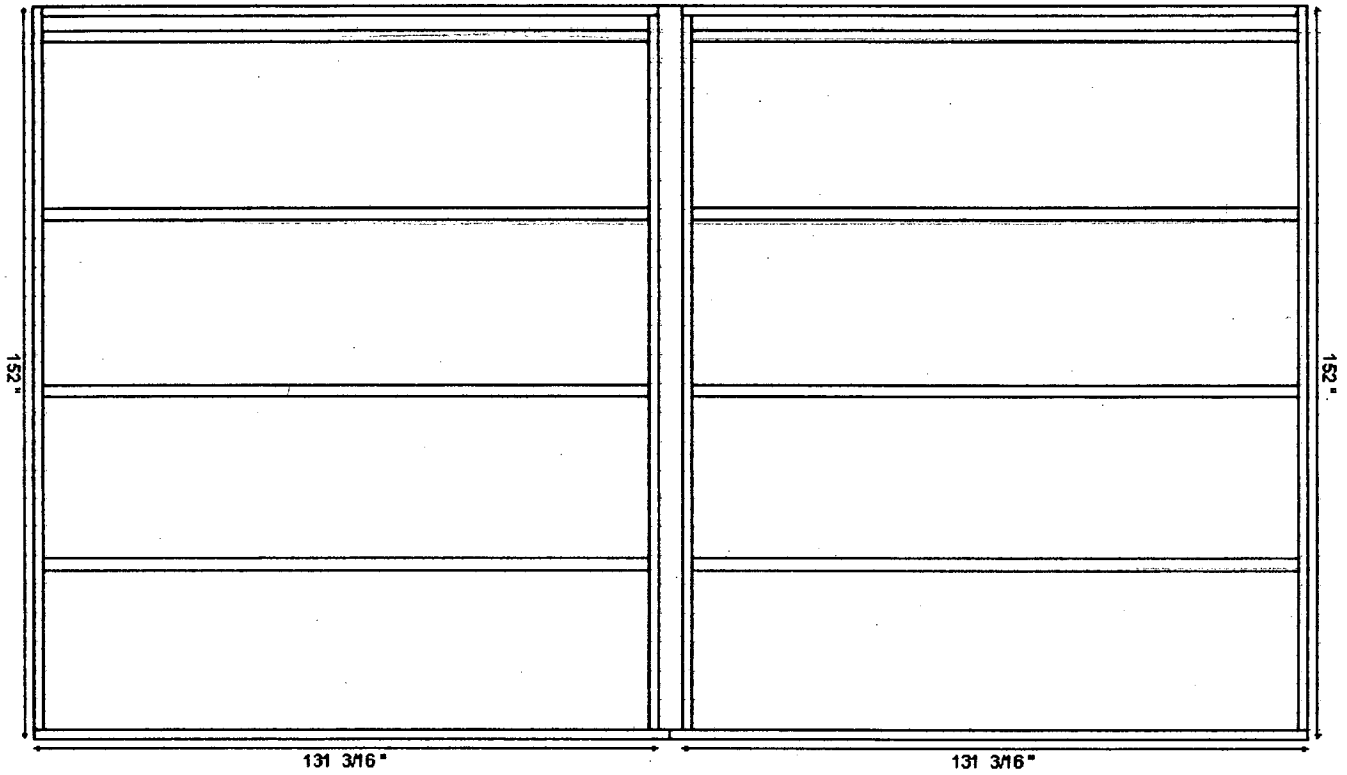
Dimensions

Attachment Height: 120"
B Wall Height: 86.25"
C Wall Width: 144"
Roof Overhang: 8"

Layout

6.5625" (Corner Post) + 63.5" (2 Lite Window) + 5.0625" (Wall Mullion) + 63.5" (2 Lite Window) +
0.625" (Base Plate) + 4.125" (Foam) + 0.625" (Base Plate)

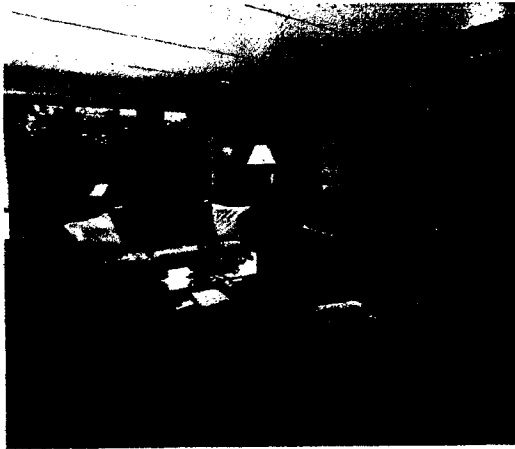
Roof



Dimensions
Attachment Height: 120 "
B Wall Height: 86.25 "
B Wall Width: 242 "
A Wall Width: 144 "
C Wall Width: 144 "
Roof Overhang: 8 "

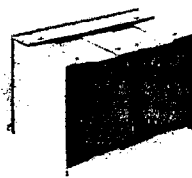
What makes it a *Champion* All Season Room?

Strong, weather-tight and built to last. Champion uses only the highest quality components in its All Season Vinyl Patio Room cons

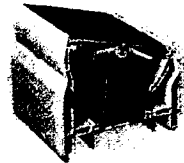


Additional Features

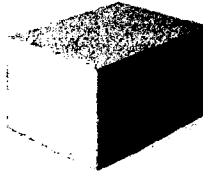
- Hidden connectors hide screws and bolts for an attractive exterior and interior finish.
- Raceway provided to hide electric and phone wires.
- No exposed aluminum reduces condensation and makes for a warmer room.
- Larger glass expanses for maximum enjoyment.
- 5" or 6" seamless gutter is matched to your home.



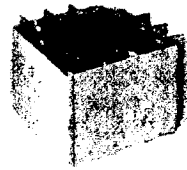
Insulated Roof Panel



Adjustable Header



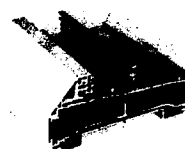
6" Insulated Knee Wall Panel



6" Corner Post



Center Post Mullion



Door Sill Track



Thermally Broken Insulated Roof Panel I-Beams

- R-30 insulation value means this roof be insulated as well as any roof or wa your home.
- I-beams are the strongest load bearing structure available.
- Thermal break keeps the I-beams from conducting cold, heat and moisture in your room.
- Choice of 4" or 6" Expanded Polystyrene panel cores have a very high R-value and rot away. Its lightweight properties mean weight and stress on your walls and for

Load Bearing Adjustable Header

- Header tilts to match your roof's pitch sealed to become part of your roof.
- The strength and greater thickness of header provides support allowing for glass viewing area.

6" Insulated EPS Knee Wall Panels Vinyl Laminate

- This patio room industry feature has panel that is made to match Champion embossed wall and roof design.
- Panel has an R-30 insulation value.
- Knee wall panels are designed to resist and scratching, are easy to wipe clean not yellow.

6" Corner Post

- The chambers in the vinyl and aluminum for stronger walls and roof and an in air space.
- Screws go into the aluminum and are not visible.
- Post construction allows for an attractive easy-to-care-for finished exterior on y

Center Post Mullion

- Adds strength to your room.
- Structure design allows your wiring to be concealed and outlets to be attractively

Door Sill Track

- The recessed track means no air infiltration and smooth operation.
- Stainless steel rollers are on all sliding windows and doors.

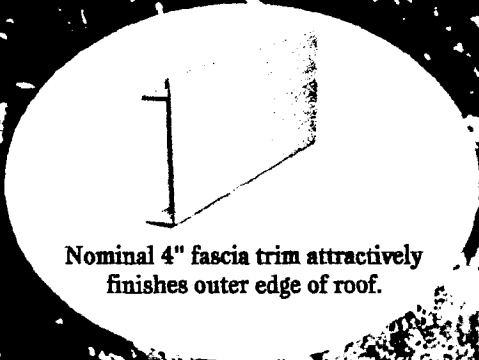
Glass Doors

- Doors have an attractive, contemporary handle with mortised lock.
- Heavy-duty door with dual tandem rollers unparalleled in the industry.

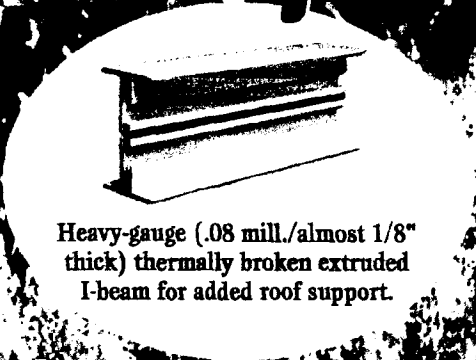
Screen Doors

- Patio door quality, flush mounted locking handle.
- Fiberglass memory mesh won't bend, scratch or oxidize like aluminum screen

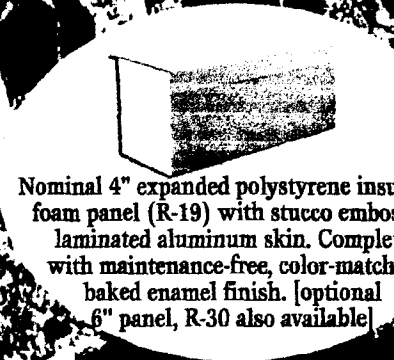
What makes it a *Champion* patio room?



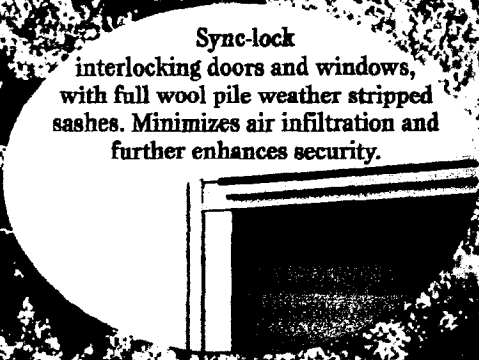
Nominal 4" fascia trim attractively finishes outer edge of roof.



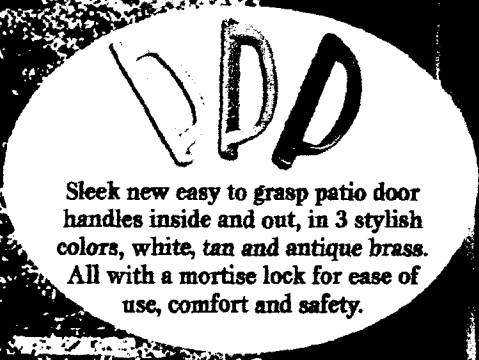
Heavy-gauge (.08 mill./almost 1/8" thick) thermally broken extruded I-beam for added roof support.



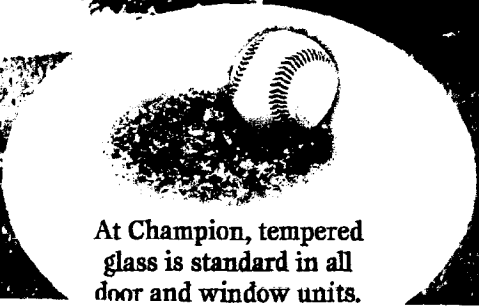
Nominal 4" expanded polystyrene insu foam panel (R-19) with stucco embossed laminated aluminum skin. Complete with maintenance-free, color-matched baked enamel finish. [optional 6" panel, R-30 also available]



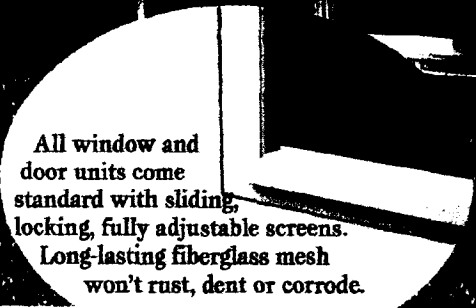
Sync-lock interlocking doors and windows, with full wool pile weather stripped sashes. Minimizes air infiltration and further enhances security.



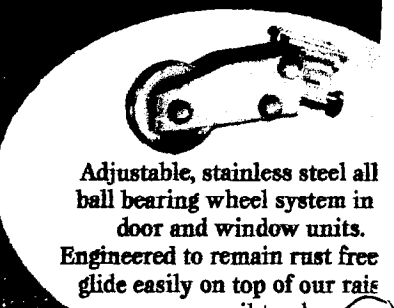
Sleek new easy to grasp patio door handles inside and out, in 3 stylish colors, white, tan and antique brass. All with a mortise lock for ease of use, comfort and safety.



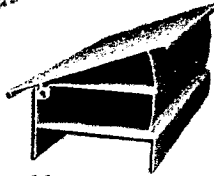
At Champion, tempered glass is standard in all door and window units.



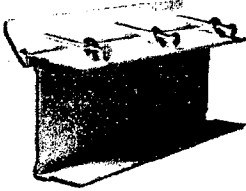
All window and door units come standard with sliding, locking, fully adjustable screens. Long-lasting fiberglass mesh won't rust, dent or corrode.



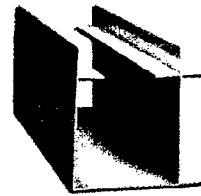
Adjustable, stainless steel all ball bearing wheel system in door and window units. Engineered to remain rust free glide easily on top of our raised monorail track



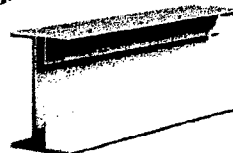
Stable, structurally supportive, I-bearing header. Connects roof to wall units. Provides strength to accommodate varying degrees of roof pitch.



Pivot mounting bracket, engineered to anchor roof to house wall or ridge beam



Fully supportive 4" x 4" corner post. Designed for beauty and engineered for strength.



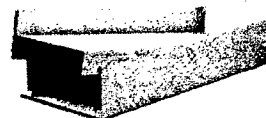
Heavy gauge (.08 mill./almost 1/8" thick) I-beam mullion joins our window and door units. Lends structural support to the roof.

All Champion Patio Room are designed to be maintenance-free using components such as a baked enamel finish that doesn't require painting.

Gradually sloped, point, anodized aluminum shelf with a raised monorail track. Self draining and extremely durable. Keep free of leaves and debris. Ensures trouble-free operation.



Specially designed leveling track combined with bottom sill plate, allows for a precise installation on uneven surfaces.



Bottom sill plate- combined with non-corrosive anchors and specially formulated silicone sealant provides a permanent barrier against water seepage.

507 Albany Avenue





HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 10/25/07

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Anne Fothergill 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #466046 - Window replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the October 24, 2007 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Victor Voglersot and Alison Raphael

Address: 507 Albany Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

H66046

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Alison Raphael
Daytime Phone No.: (301) 920-1765

Tax Account No.: _____
Name of Property Owner: VICTOR VOGLER/ALISON RAPHAEL Daytime Phone No.: (301) 920-1765
Address: 507 ALBANY AVE TAKOMA PARK MD 20912
Street Number City State Zip Code
Contractor: N/A Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: N/A Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 507 Street: ALBANY AVE.
Town/City: TAKOMA PARK Nearest Cross Street: BALTIMORE AVE.
Lot: 23 Block: 75 Subdivision: BE GILBERT
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable
CHECK ALL APPLICABLE:
 A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: Replace old windows
1B. Construction cost estimate: \$ 10-11,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alison Raphael Signature of owner or authorized agent
Date: Sept. 19, 2007

Approved: For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 10/25/07
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Replace windows installed during construction in 1984. House is only Victorian style on the block. 1984 windows are wood have deteriorated seriously. Seeking to replace w/ vinyl.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

None - located far back from street & windows mostly blocked by trees. House is "non-contributing" resource.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

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MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address: 507 Albany Avenue, Takoma Park **Meeting Date:** 10/24/07
Applicant: Alison Rafael and Victor Vockersot **Report Date:** 10/17/07
Resource: **Non-Contributing Resource** **Public Notice:** 10/10/07
Takoma Park Historic District
Review: HAWP **Tax Credit:** None
Case Number: 37/03-07HH **Staff:** Anne Fothergill

PROPOSAL: Window replacement

STAFF RECOMMENDATION

Staff is recommending that the HPC approve the HAWP application.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource in the Takoma Park Historic District
STYLE: Neo-Victorian
DATE: 1984

PROPOSAL

The applicants are proposing to replace the windows that were installed when the house was built in 1984.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

According to the *Takoma Park Guidelines*, Non-Contributing Resources in the Takoma Park Historic District are "either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources should receive the most lenient level of design review."

The *Guidelines* also state: "Most alterations and additions to Non-Contributing Resources should be

approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.”

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

STAFF DISCUSSION

A Non-Contributing Resource in the Takoma Park Historic District receives the most lenient level of design review. The HPC considers alterations to the scale and massing of Non-Contributing Resources in terms of their impact on the overall streetscape and environmental setting of the historic district, but other changes to a Non-Contributing resource “should be approved as a matter of course.” The proposed window replacement at this house which is set very far back from the street will not adversely affect the character of the streetscape or the historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation*,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6270

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

H66046

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Alison Raphael
Daytime Phone No.: (301) 920-1765

Tax Account No.: _____
Name of Property Owner: Victor Vogler/Alison Raphael Daytime Phone No.: (301) 920-1765
Address: 507 ALBANY Ave TAKOMA PARK MD 20912
Street Number City State Zip Code
Contractor: N/A Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: N/A Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 507 Street: ALBANY AVE.
Town/City: TAKOMA PARK Nearest Cross Street: BALTIMORE AVE.
Lot: 23 Block: 75 Subdivision: BE GILBERT
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable
CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: Replace old windows
1B. Construction cost estimate: \$ 10 - 11,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
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Alison Raphael _____
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Disapproved: _____ Signature: _____ Date: _____
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NEIGHBORS

ACROSS STREET

CORNELIA + LARRY ATKINS
GEORGE FRENCH

- 512 ALBANY
- 510 ALBANY

NEXT DOOR

EVA RODRIGUEZ + DEBBY

- 505 ALBANY

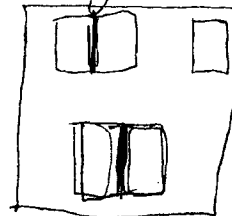
PHIL + WAKUKO

- 509 ALBANY

WINDOWS

- 1st fl - 36" x 65" - 8
- 2nd fl - 36" x 54" - 9

FACING FRONT (SOUTH)

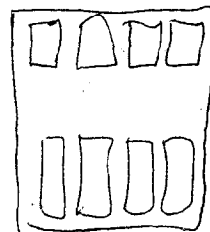


2nd fl

1st fl

(5)

FACING WEST



- 2nd fl

- 1st fl

(8)

FACING EAST

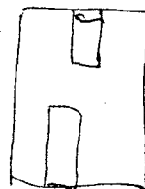


2nd fl

- 1st fl

(2)

FACING NORTH



2nd fl

- 1st

(2)

(5)

... only -- not to be used for placing of fencing or determining property lines.

Building Location Plat
Lot 23 Block 75
Takoma Park Loan & Trust Company
TAKOMA PARK
Montgomery County, Maryland

Scale: 1" = 30'
Surveyor's Certificate

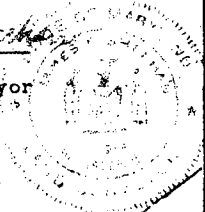
We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown:

Date: May 30, 1984

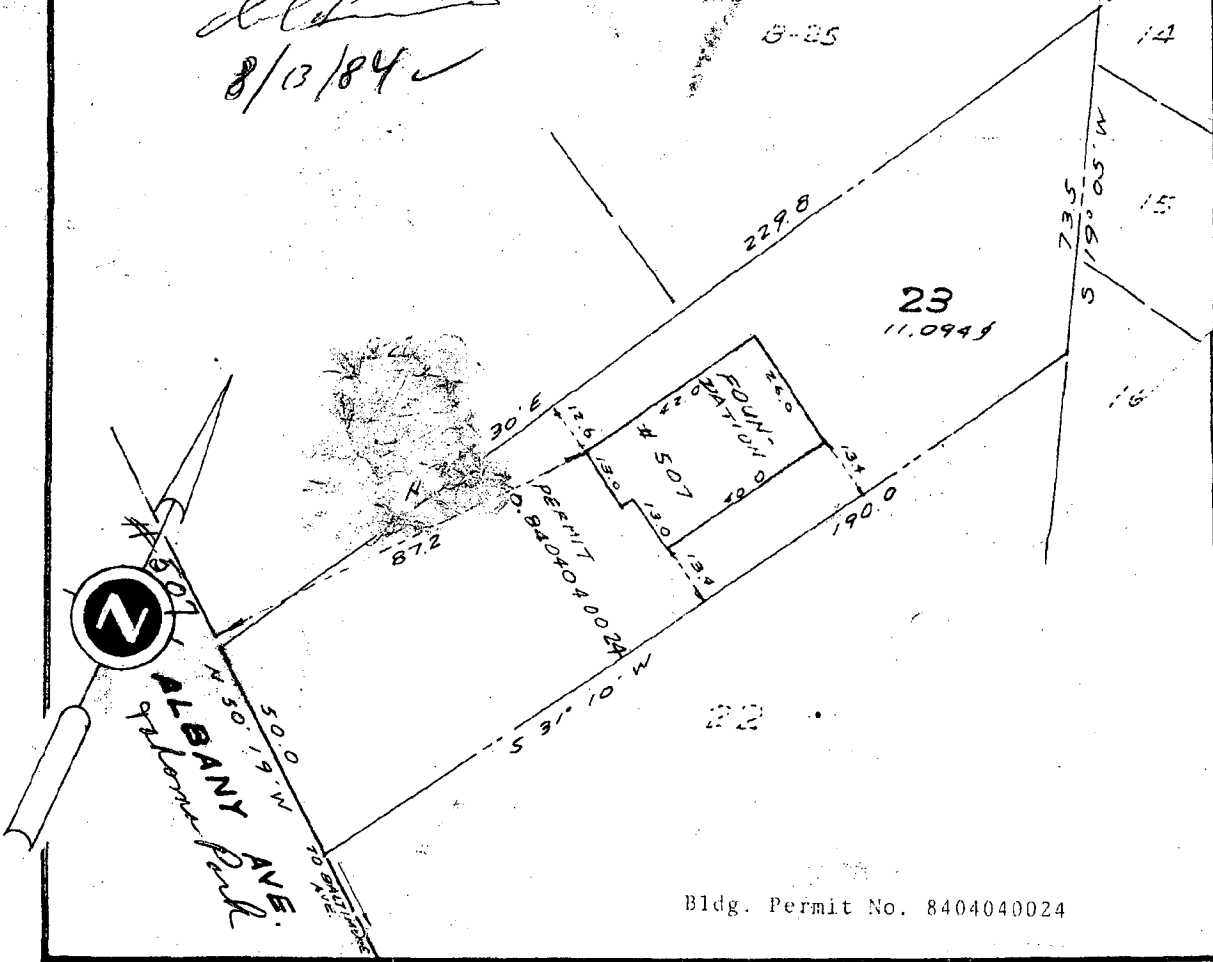
Frey, Sheehan, Stoker & Assoc., Inc.
Land Planning Consultants
Phone 588-3110

Plat Book 2
Plat No. 142

By: James F. Sheehan
James F. Sheehan
Professional Land Surveyor
Md. No. 3984



8404040024
[Signature]
8/10/84



Bldg. Permit No. 8404040024

File No. 84-0904

STANPAT PRODUCTS, INC.

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