

1391 KENTRICK AVENUE
TALAMA PARK

37/3-08 M

CLAIRE M^CLANE
RESIDENTIAL CONCEPTS

4405 WALSH STREET • CHEVY CHASE, MD 20815
t 301 654 • 2820 f 301 654 • 5262 c 301 404 • 2820
clairemclane@aol.com

Staff Item #2—Anne Fothergill
September 9, 2009
7391 Buffalo Avenue, Takoma Park
Non-Contributing Resource

The HPC approved alterations at the rear of this house including a ground level screened porch and a deck off the first floor. The applicants are now requesting minor changes and staff is requesting that the HPC allow these changes to be approved at the staff level.

ok ✓

SITE PLAN

LANDTECH ASSOCIATES, INC.

10260 OLD COLUMBIA ROAD SUITE J
COLUMBIA, MARYLAND 21046-1721
PHONE: 410-290-8099 TOLL FREE: 888-290-1920
FAX: 410-290-8299 TOLL FREE 888-290-1922

Reviewed and Accepted

[Signature]

[Signature]

BUFFALO AVENUE

A= 78.01
R= 224.18

S 76° 45' 15" E

Lot 31

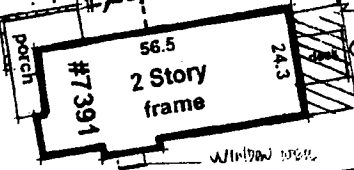
76

gravel driveway
overhang

18.0.

drive of forest

224.18



Lot 30
8744 Sq. Ft.
(record plat)

224.18

S 83° 18' 30" W

Part of Lot 7



Proposed Deck Renovation

Approved



Hand House

3'0" New Window

6'0" New Glass

22'0" New Second Floor
 Balcony enlarged Deck
 (original deck ~ 16'0")

4'6" New Door

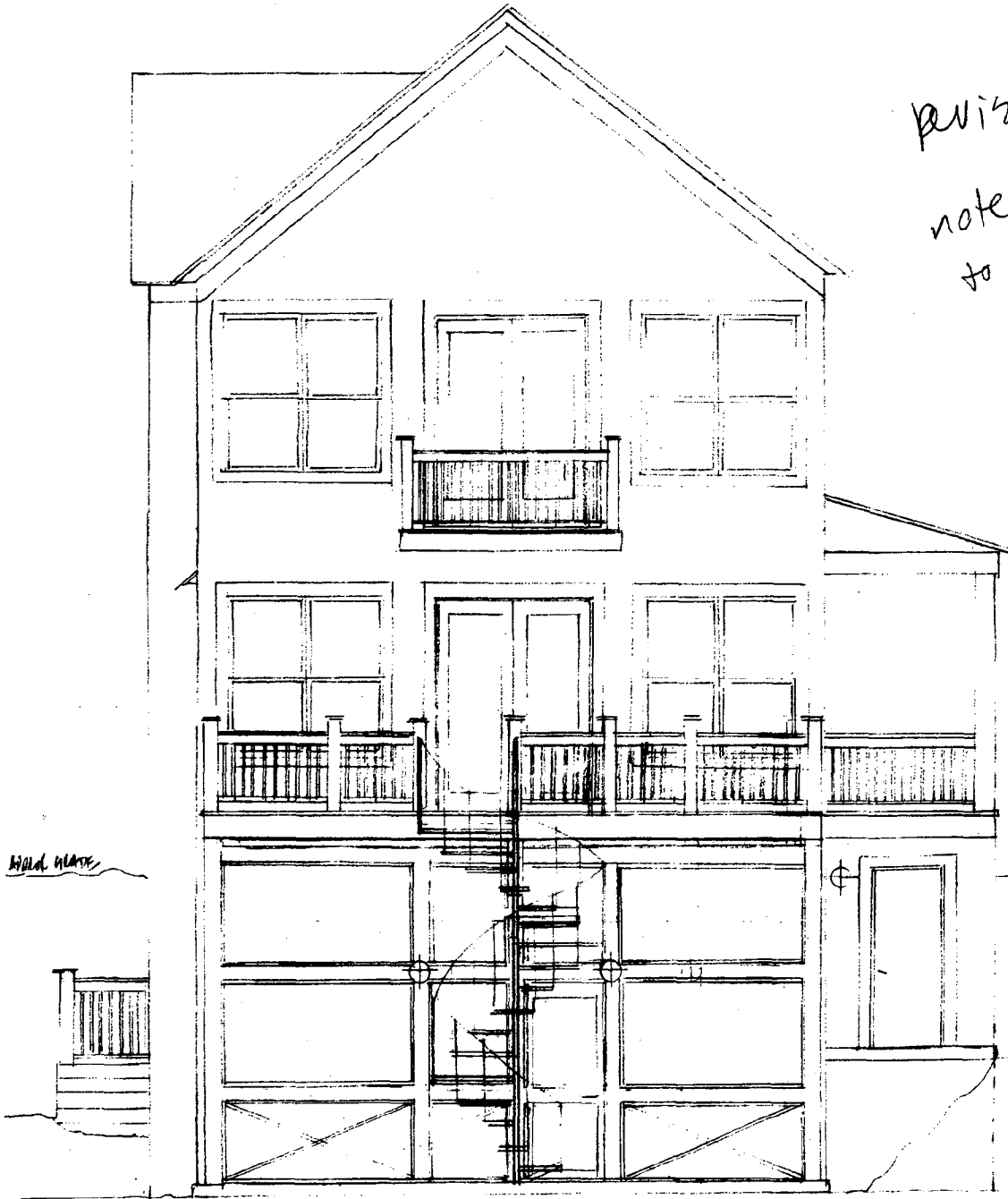
REVI:

All con
w/inter
(IRC 20
prevail
codes.

DATE
PLAN
FLOW
SCA

designs depicted may not
in any manner without the
and express permission of C

revised
note door
to screened
porch



hold glass

< 6'0" new stairs >

24'0" New screened porch
with enlarged deck
(original deck ~ 16'0")

REVISED 8/12/20

All construction shall be in ac-
w/International Residential C
(IRC 2003) and all other app-
prevailing national and/or lo-
codes, per the jurisdiction of

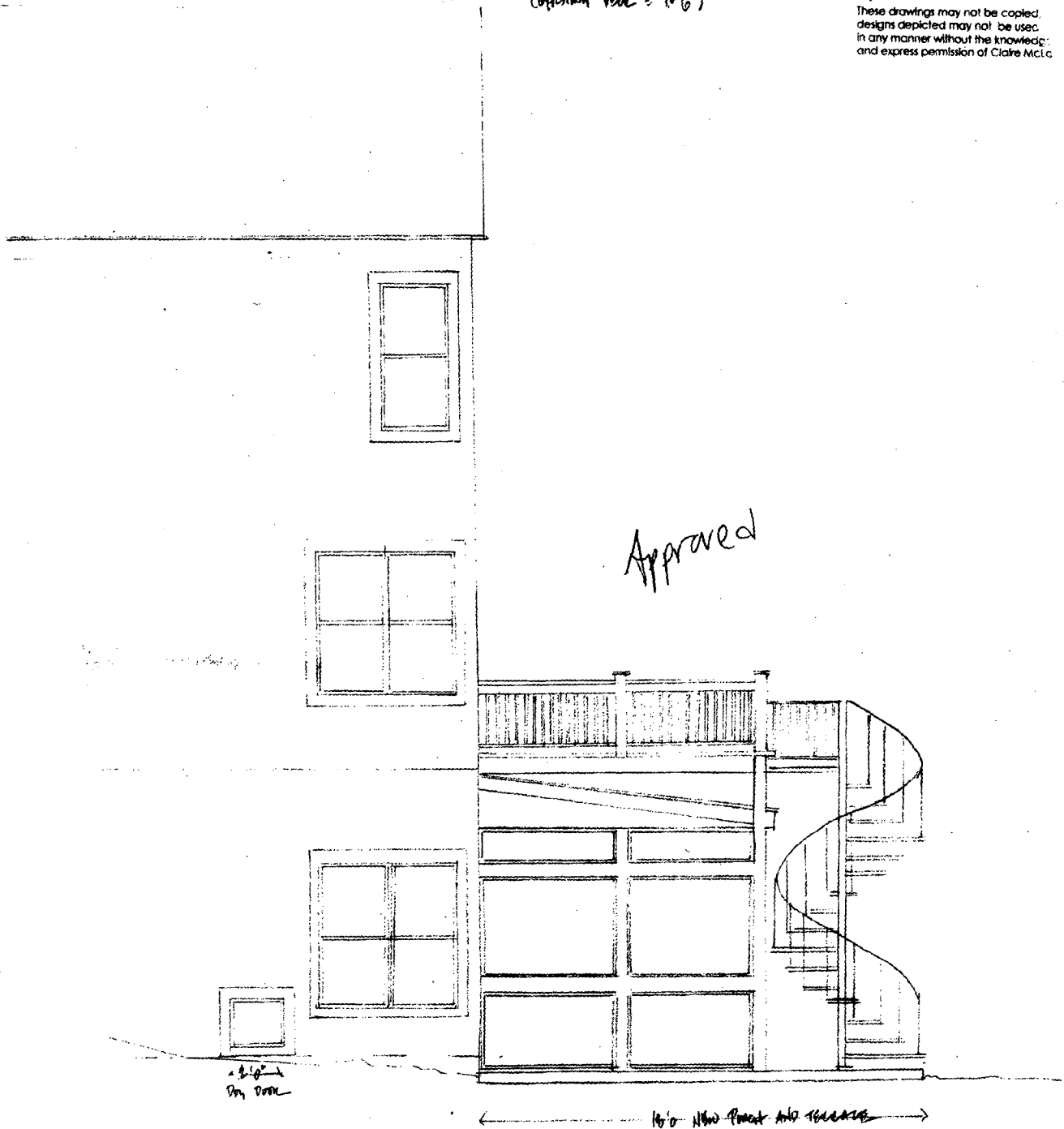
DATE: _____
PLAN: REAR ELEV
FLOOR: _____
SCALE: 1/4" = 1'0"

New Suggested Porch Deck

120' Extension Deck
(Original Deck = 10'6")

6'6" New
SPRINKLER HEAD

These drawings may not be copied,
designs depicted may not be used,
in any manner without the knowledge
and express permission of Claire McLane



REVISED 3/12/2008

All construction shall be in accordance
w/International Residential Code 2003
(IRC 2003) and all other applicable and
prevailing national and/or local building
codes, per the jurisdiction of this site.

New Gravelled Porch Balcony

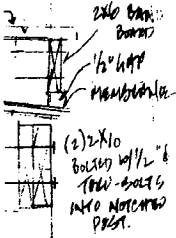
10'0" Gravelled Porch
(offset from porch = 10'6")

6'0" New Spiral Stair

These drawings may not be copied, and designs depicted may not be used in any manner without the knowledge and express permission of Claire McLane.

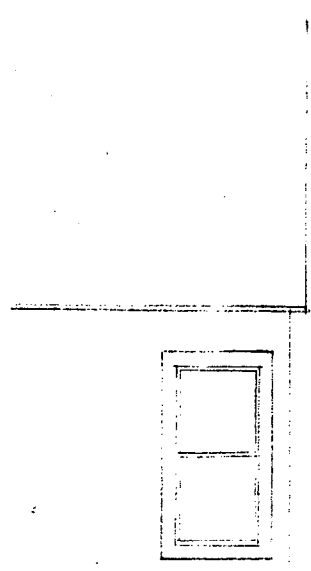
(same 1"=1'0")

CONTINUOUS 6x6

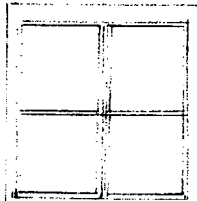
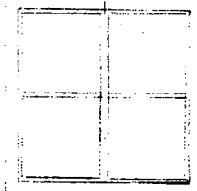


(2) 2x10 BOLTS w/ 1/2\"/>

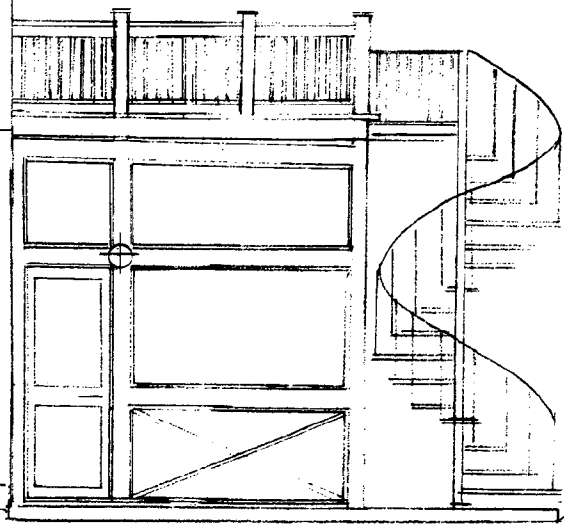
6x6



6" AT LANDING NO DOOR AND 4\"/>



Revision note door



10'0" New Porch And Terrace

APPROX. GRADE

REVISED 9/12/2009

All construction shall be in accordance w/International Residential Code 2003 (IRC 2003) and all other applicable and prevailing national and/or local building codes, per the jurisdiction of this site.

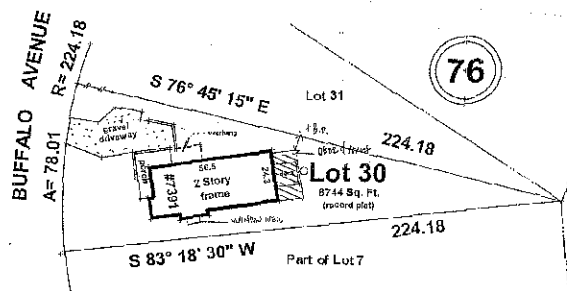
DATE: PLAN: FRONT SIDE ELEVATION FLOOR: SCALE: 1/4" = 1'0"

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6/16/09 PLAN

LANDTECH ASSOCIATES, INC.
 10260 OLD COLUMBIA ROAD SUITE J
 COLUMBIA, MARYLAND 21046-1178
 PHONE: 410-290-8099 TOLL FREE: 888-290-1920
 FAX: 410-290-8299 TOLL FREE 888-290-1922

Reviewed and Accepted
[Signature]
[Signature]



Scope of Work:

1. Extend gas supply for outdoor gas grille
2. Construct new screened porch and deck (to replace existing deck)
3. New spiral stairs to yard
4. New concrete terrace/patio at rear and side yards

Designers Notes:

1. Claire McLane, designer, is the copyright holder of these drawings. All drawings are copyright protected and may not be copied, sold or otherwise used by any party without the consent of the designer.
2. Drawings are provided to illustrate design intent only. The designer is not responsible for any errors or omissions, or unforeseen conditions.
3. The designer accepts no responsibility or liability for work performed by others including any construction, whether executed by a licensed contractor or not.
4. Modification to the proposed design shall be by consent of the designer only.
5. Any revision to these plans by an unauthorized party is strictly prohibited.
6. The general contractor shall be responsible for checking and verifying all conditions and measurements before starting work and during construction.
7. The contractor will be responsible for meeting all applicable National and local building code requirements including IRC and/or BOCA, whether illustrated in these drawings or not.
8. These drawings were prepared for the property located at the site indicated, according to its specific conditions at the time of preparation of the documents. They may not be used or modified for use for any other property. To do so is a copyright infringement and could be a safety hazard.
9. Drawings may not convey with the property without consent of the designer.
10. This set of drawings include 1-4 Revision 8/12/2009 pages.

Lot 30
 Plat No. 633

KOHN
 1501 Buffalo Avenue
 Takoma Park, MD 20912

Location Survey of:	LOT: 30	BLOCK: 76
#7391 Buffalo Avenue	PLAT BK: 8	PLAT#: 633
T. F. L. & T. Company's Subdivision of Takoma Park Montgomery Co., MD	DATE: 1-22-08	SCALE: 1"=40'
	CASE NUMBER: D80002	
	FILE NUMBER: LT-2080072	

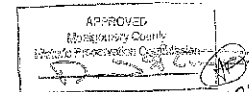


NOTES:

1. This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plat is not to be relied upon for the establishment or location of fences, garages, buildings or other existing or future improvements.
3. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Property line survey is required to determine the exact location of improvements and/or encroachments, if any.
5. Property subject to any/all rights-of-way, easements, and/or covenants of record and/or imposed by law.
6. This plat is not to be used for the issuance of permits. 7. No title report furnished.

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

[Signature]
 BRADEN A. ROGERS - M.D. (P.C.) L.S. LIC. NO. 119



REVISED 02/12/2009

All construction shall be in accordance with International Residential Code 2003 (IRC 2003) and all other applicable national and/or local building codes, per the jurisdiction of this site.

DATE: 8/12/2009
 PLAN: Site
 FLOOR:
 SCALE: 1/4" = 1'0"

Residential Construction Notes. (Contractor to refer to IRC 2003 and any other applicable residential) building codes for
 construction, as well as any manufacturer's installation specifications for any materials and equipment. Member and
 telephone, address, e-mail, and fax information may be obtained from the International Building Code website at
 www.internationalbuildingcode.org. All references to the International Building Code shall be to the 2003 edition of the code.

1. Details not shown shall be as shown on the drawings.
2. Details not shown shall be as shown on the drawings.

- Airflow (min/ft²) 20 psf
- Shear (min/ft²) 30 psf
- Batten (min/ft²) 60 psf
- Gage 50 psf
- Sails 44 psf

3. Customers without windows shall be verified to satisfy the following:
 4. Minimum roof, except flat roofs, shall have a minimum slope of 1/4" per foot. All roofs shall be constructed in accordance with the manufacturer's instructions.
 5. Glazing, tub and shower enclosures, skylights, and other glass panels shall have safety glass.
 6. Stairways shall have a minimum clear height of 6'8" above the finished floor.
 7. Stairways shall have a minimum clear height of 6'8" above the finished floor.
 8. Openings of masonry, concrete, block, or other masonry shall have a minimum clear height of 6'8" above the finished floor.
 9. Openings of masonry, concrete, block, or other masonry shall have a minimum clear height of 6'8" above the finished floor.
 10. All masonry shall be constructed in accordance with the manufacturer's instructions.
 11. All framing shall be constructed in accordance with the manufacturer's instructions.
 12. All framing shall be constructed in accordance with the manufacturer's instructions.
 13. All framing shall be constructed in accordance with the manufacturer's instructions.
 14. All framing shall be constructed in accordance with the manufacturer's instructions.
 15. All framing shall be constructed in accordance with the manufacturer's instructions.
 16. All framing shall be constructed in accordance with the manufacturer's instructions.

Single Loads

- Dead 40 psf
- Live 40 psf
- Snow 40 psf
- Wind 40 psf

FOUNDATION - Foundation shall be at least 2' below finished grade. Where located shall be concrete. 8" deep and rebar
 shall be placed in the foundation. All foundation shall be constructed in accordance with the manufacturer's instructions.

ROOFING - All roofing shall be constructed in accordance with the manufacturer's instructions. All roofing shall be constructed in accordance with the manufacturer's instructions.

WALLS - All walls shall be constructed in accordance with the manufacturer's instructions. All walls shall be constructed in accordance with the manufacturer's instructions.

FLOORING - All flooring shall be constructed in accordance with the manufacturer's instructions. All flooring shall be constructed in accordance with the manufacturer's instructions.

CEILING - All ceilings shall be constructed in accordance with the manufacturer's instructions. All ceilings shall be constructed in accordance with the manufacturer's instructions.

DOORS - All doors shall be constructed in accordance with the manufacturer's instructions. All doors shall be constructed in accordance with the manufacturer's instructions.

WINDOWS - All windows shall be constructed in accordance with the manufacturer's instructions. All windows shall be constructed in accordance with the manufacturer's instructions.

STAIRS - All stairs shall be constructed in accordance with the manufacturer's instructions. All stairs shall be constructed in accordance with the manufacturer's instructions.

BATHS - All bathrooms shall be constructed in accordance with the manufacturer's instructions. All bathrooms shall be constructed in accordance with the manufacturer's instructions.

KITCHENS - All kitchens shall be constructed in accordance with the manufacturer's instructions. All kitchens shall be constructed in accordance with the manufacturer's instructions.

REAR PORCHES - All rear porches shall be constructed in accordance with the manufacturer's instructions. All rear porches shall be constructed in accordance with the manufacturer's instructions.

SCREENING - All screening shall be constructed in accordance with the manufacturer's instructions. All screening shall be constructed in accordance with the manufacturer's instructions.

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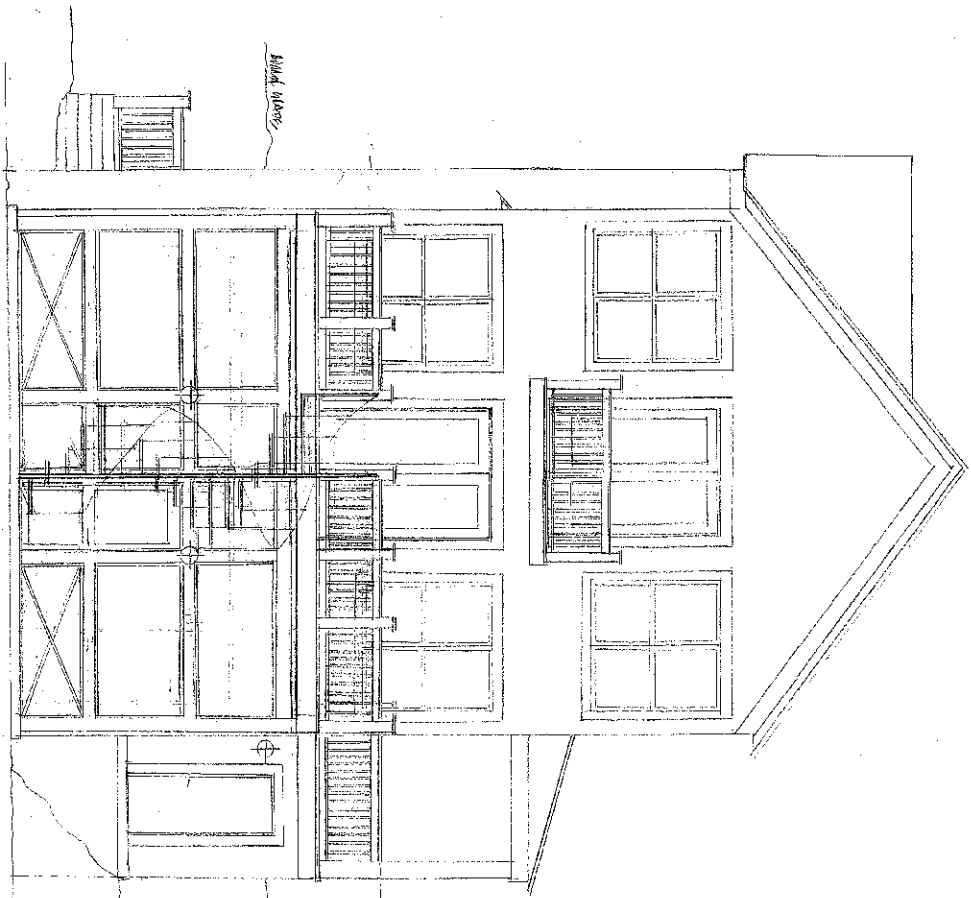
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RESIDENTIAL CONCEPTS, INC.



to the stairs
 to the stairs
 to the stairs

APPROVED
 Residential Construction
 Residential Construction

Copyright 2003
 CLARENCE MCLINE
 RESIDENTIAL CONCEPTS, INC.
 400 WOOD STREET
 SUITE 200
 201-464-2500
 201-464-2500

F.L. & T. CO
 Block 76
 Plat No. 633

COHN
 391 Buffalo Avenue
 Okoma Park, MD 20912

REVISED 8/12/2003

DATE: 8/12/2003
 FLOOR: 1st
 SCALE: 1/4" = 1'-0"

All details shall be in accordance with the manufacturer's instructions. All details shall be in accordance with the manufacturer's instructions. All details shall be in accordance with the manufacturer's instructions.

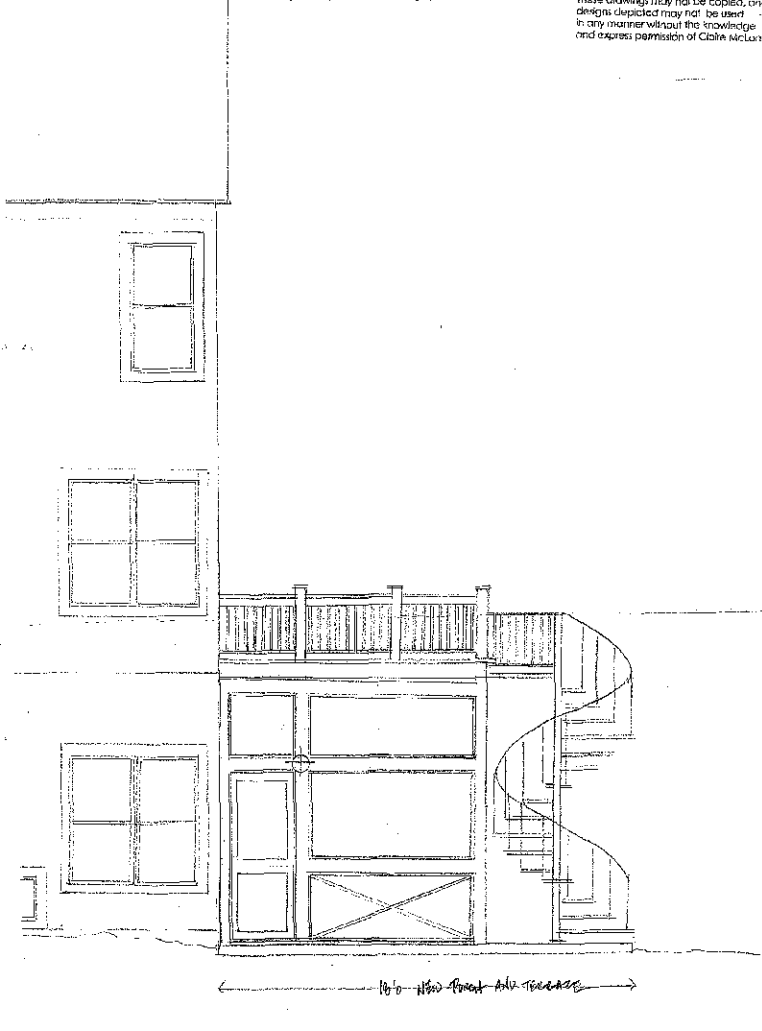
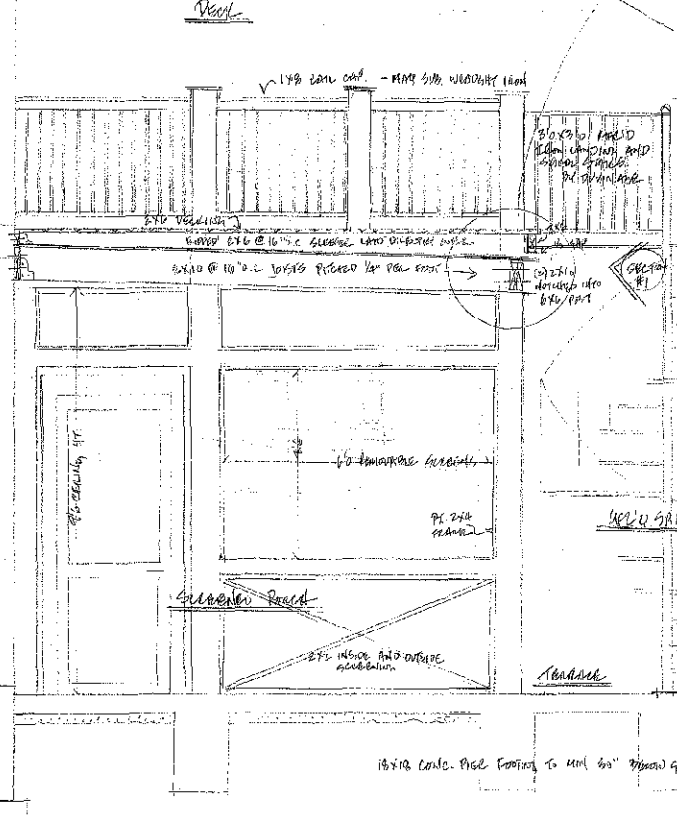
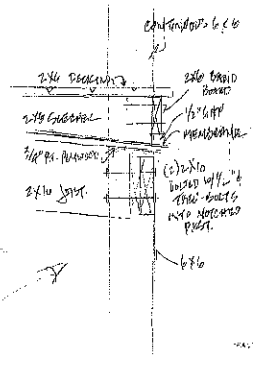
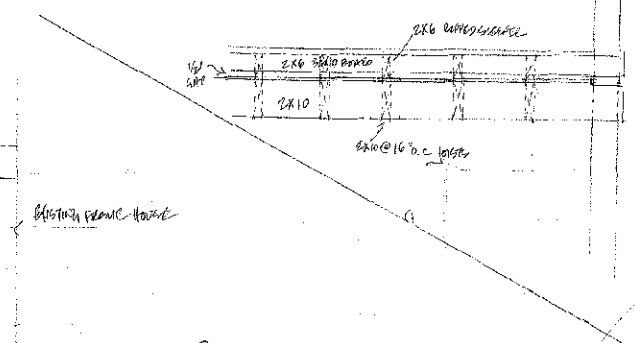
PROPOSED RIGHT SIDE

New concrete front porch
 120" extension over
 (existing porch = 10'6")

This drawing may not be copied, and
 design depicted may not be used
 in any manner without the knowledge
 and express permission of Claire McLane.

Section - (same 1/2" = 1'-0")

Detail (same 1" = 1'-0")



APPROVED
 Montgomery County
 Historic Preservation Commission

REVISED 8/12/2019

All construction shall be in accordance
 with the Montgomery Residential Code 28B3
 JRC 2009 and all other applicable and
 prevailing national and/or local building
 codes, per the jurisdiction of this site.

DATE:
 PLAN: RIGHT SIDE ELEVATION
 FLOOR:
 SCALE: 1/4" = 1'-0" 3 OF 4

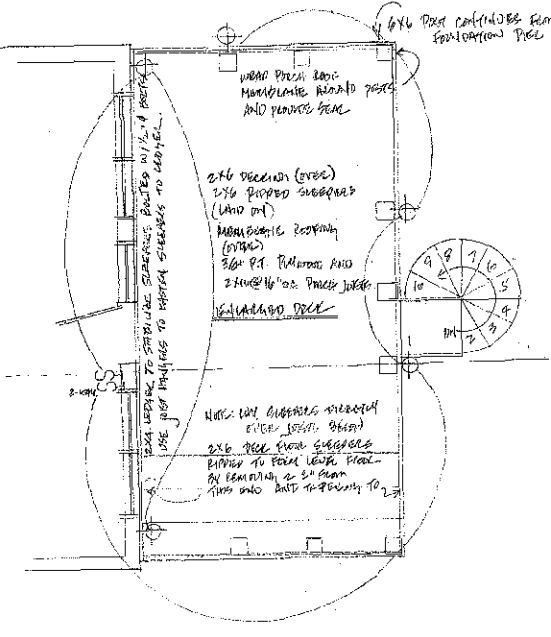
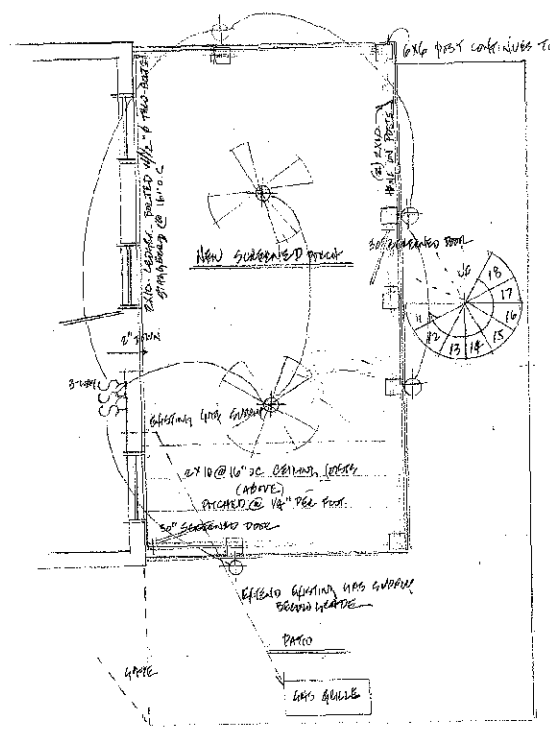
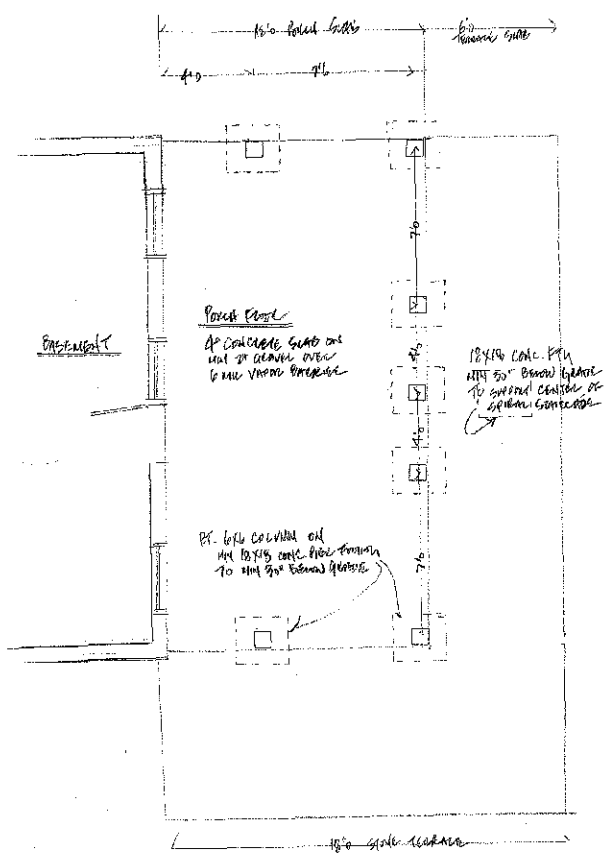
18" x 18" CONC. PIER FOOTING TO MIN 30" MINIMUM GRADE-

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 designs depicted may not be used
 in any manner without the knowledge
 and express permission of Claire McLane.

Foundation Plan

NEW SCHEDULED PORCH
EXTERIOR / FLOOR - FINISHING PLANS

DECK PLAN



NO. 1 & 2 CO
 PART. 76
 PART. 633

KOHLER
 7391 BUFFALO AVENUE
 THUNDER HILL, MD 20711

APPROVED
 Montgomery County
 Historic Preservation Commission

All construction shall be in accordance
 with International Residential Code 2003
 (IRC 2003) and all other applicable and
 prevailing national and/or local building
 codes, per the jurisdiction of this site.

DATE: 8/10/2009
 PLAN: _____
 FLOOR: _____
 SCALE: 1/4" = 1'-0" 4-014



HISTORIC PRESERVATION COMMISSION

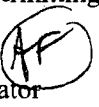
Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 03/28/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #479312 - Deck and stairs, screened porch, and basement window

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the March 26, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jeffrey Kohn
Address: 7391 Buffalo Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: CLARE MCANIS
Daytime Phone No.: 301 404 2820
Tax Account No.: 01080996 (JESSICA HINSTE) (FORMER OWNER / NEW OWNER AS OF 2/27/2008 = JEFF KOLLA)
Name of Property Owner: Jessica Hinste Daytime Phone No.: 302 944 8473
Address: 7391 Buffalo Ave THOMA PARK MD 20912
Street Number City Street Zip Code
Contractor: BLAD DORMAN - WOB DORMAN CONSTRUCTION
Contractor Registration No.:
Agent for Owner: CLARE MCANIS Daytime Phone No.: 301 404 2820

LOCATION OF BUILDING/PREMISE

House Number: 7391 Buffalo Ave Street: BUFFALO AVENUE
Town/City: THOMA PARK Nearest Cross Street:
Lot: 30 Block: 76 Subdivision: T PL of T CO. PLAT 633
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: ADD BRASS WINDOW AND WINDOW WELL; BRASS WINDOW; STAIRS FROM EXIST. DECK TO YARD.
1B. Construction cost estimate: \$ 40,000 - 50,000
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 3/4/2008

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 3-28-08
Application/Permit No.: 479312 Date Filed: 3/4/08 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

ADD EGUSE WINDOW & WINDOW WORK FOR BQY'D LIVING UNIT IN
BIBLIOTHEC FOR PARAGLTS.
ADD MATCHROOM WINDOW
ADD STAIR FROM EXISTING DECK TO YARD.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7391 Buffalo Avenue, Takoma Park	Meeting Date:	3/26/08
Applicant:	Jeffrey Kohn (Claire McLane, Agent)	Report Date:	3/19/08
Resource:	Non-Contributing Resource Takoma Park Historic District	Public Notice:	3/12/08
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-08M	Staff:	Anne Fothergill

PROPOSAL: Deck expansion and stairs, screened porch construction, and basement window installation

STAFF RECOMMENDATION

Staff is recommending that the HPC approve the HAWP application.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource in the Takoma Park Historic District
DATE: c. 2000

PROPOSAL

The applicant is proposing to:

- Expand the rear wood deck to a full width wood deck with spiral stairs to grade
- Construct a rear screened porch below the deck (basement level)
- Install a basement-level window on the right side of the house

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

According to the *Takoma Park Guidelines*, Non-Contributing Resources in the Takoma Park Historic District are "either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of

historical importance. These types of resources should receive the most lenient level of design review.”

The *Guidelines* also state: “Most alterations and additions to Non-Contributing Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of non-Contributing Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.”

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior’s Standards for Rehabilitation:

- #9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION

This house is a Non-Contributing Resource in the Takoma Park Historic District, and therefore it receives the most lenient level of design review. The HPC considers the impact of major additions and alterations to the scale and massing of Non-Contributing Resources, but other changes to a Non-Contributing resource “should be approved as a matter of course.” All of these changes are at the rear and basement level of this house and they will not have an adverse impact on the historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior’s *Standards for Rehabilitation*,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**

CLAIRE McLANE

RESIDENTIAL CONCEPTS

4405 WALSH STREET . CHEVY CHASE, MD 20815
t 301 654.2820 f 301 654.5262 c 301 404. 2820
clairemclane@aol.com

March 5, 2008

Anne Fothergill
Historic Preservation Commission
M-NCPPC

RE: 7391 Buffalo Avenue
Takoma Park, MD 20912

Dear Anne,

Thank you for taking time to talk with me on the phone yesterday about the above-referenced project. I am including some additional information that the owner would like you to consider before the hearing on March 26th. In addition to the new egress window and accompanying window well (necessary to satisfy the RLU requirements for his parent's living space), the new bathroom window for light and ventilation, and stairs from the first floor deck, the owners are interested in adding a screened porch under the (enlarged) first floor deck with a spiral staircase from the deck to the yard below. Finally, there is an area under the existing front porch that could be used for storage if a new exterior door could be added. This door would only be visible from the rear of the house.

I am enclosing sketches of the existing and proposed right side and rear elevations of the house, as well as floor plans to show the proposed layout of the interior rooms. Please let me know if you require photographs or other information.

You may reach the owners directly, of course, but I would be please to respond to any questions. The owners' contact information is:

Susan Mattheisen
Jeff Kohn
7391 Buffalo Avenue
Takoma Park, MD 20912

Phone: (202) 494-8473 (cell - Jeff)
(202) 494-8402 (cell - Sue)

jeffandsue@starpower.net

Again, thank you for your assistance. I look forward to staying in touch.

Sincerely,



PS - I will e-mail the list of adj. items necessary to you today or tomorrow - left the list in my desk.

MARCH 4, 2008.

ANNE FOTHERGILL
HISTORIC PRESERVATION
MHCPPC

PHONE: 301.563.3408.

Received

MAR - 4 2008

Dept. of Permitting Services

DEAR ANNE.

HERE IS THE APPLICATION FOR HISTORIC AREA WORK PERMIT.
FOR 7301 BUFFALO AVE - THE OWNER WILL ATTEND THE
3/26 MEET AT 7:30 PM TO GAIN APPROVAL FOR THE PROPOSED
PROPOSED EGRESS WINDOW/ WINDOW WELL, BATHROOM WINDOW AND
STAIRS FROM THE EXISTING DECK TO THE YARD. PLEASE CONTACT
ME IF YOU NEED FURTHER INFORMATION.

THANK YOU FOR YOUR ASSISTANCE - I WILL STAY IN
TOUCH.

Sincerely,

CAROL MCKAY

RESIDENTIAL CONCEPTS, INC.

301 404 2820 (CELL)

OWNER: JEFF KORN.
302 494 8473 (CELL)

P.S. PLEASE CALL ME IF YOU NEED PHOTOS, MORE ELEVATIONS
OR LIST OF ADJ./CONF. PROPERTY OWNERS.

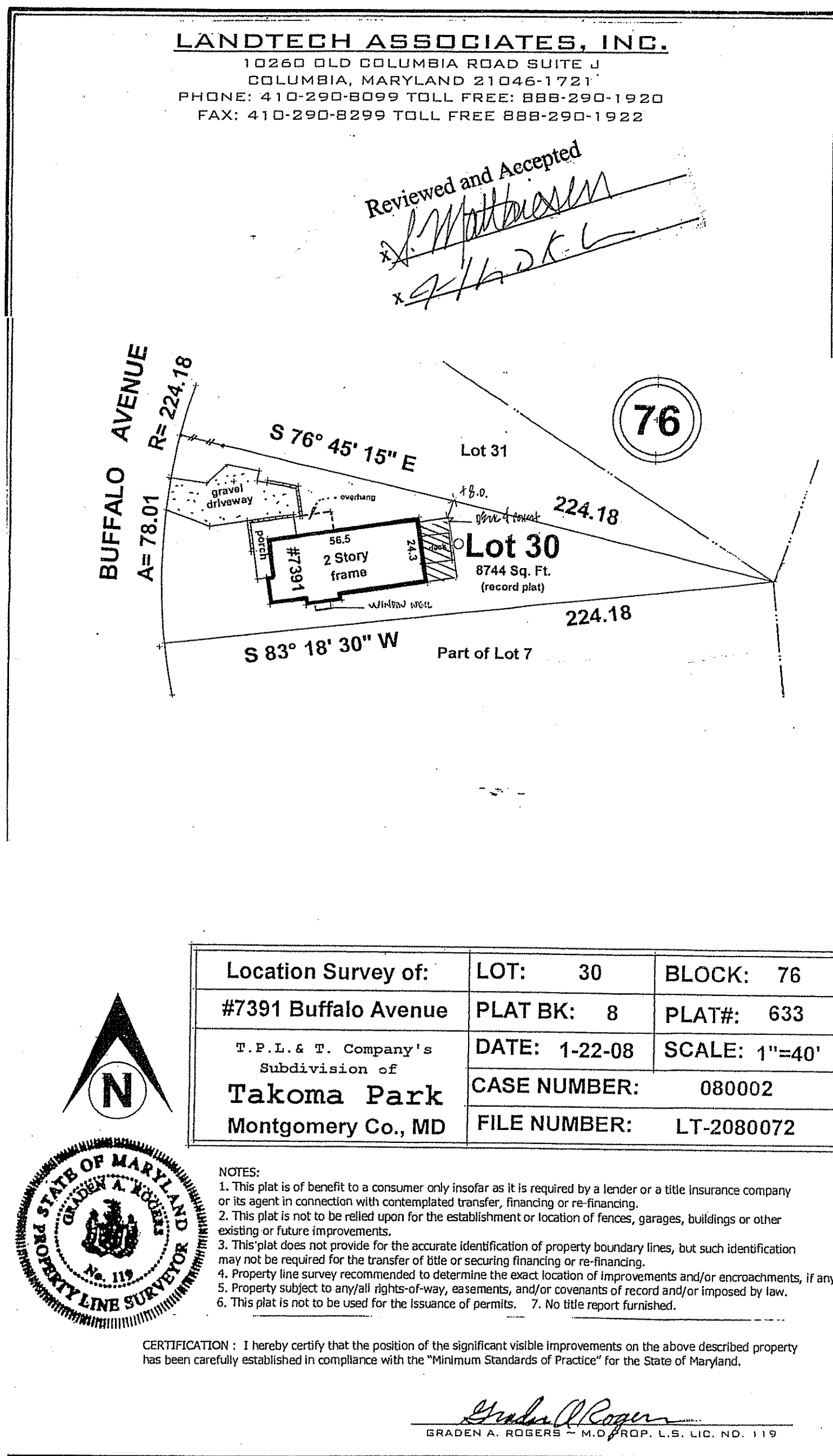






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SITE PLAN



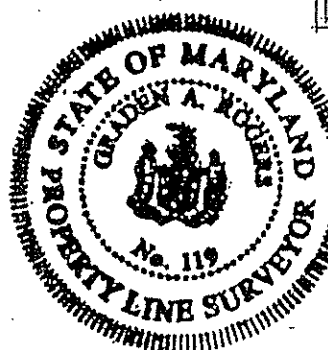
LANDTECH ASSOCIATES, INC.
 10260 OLD COLUMBIA ROAD SUITE J
 COLUMBIA, MARYLAND 21046-1721
 PHONE: 410-290-8099 TOLL FREE: 888-290-1920
 FAX: 410-290-8299 TOLL FREE 888-290-1922

Reviewed and Accepted
[Signature]
[Signature]

BUFFALO AVENUE
 A=78.01 R=224.18
 S 76° 45' 15" E
 Lot 31
 gravel driveway
 56.5
 2 Story
 frame
 #7391
 Lot 30
 8744 Sq. Ft.
 (record plat)
 224.18
 224.18
 S 83° 18' 30" W
 Part of Lot 7

76

Location Survey of:	LOT: 30	BLOCK: 76
#7391 Buffalo Avenue	PLAT BK: 8	PLAT#: 633
T.P.L. & T. Company's Subdivision of	DATE: 1-22-08	SCALE: 1"=40'
Takoma Park	CASE NUMBER: 080002	
Montgomery Co., MD	FILE NUMBER: LT-2080072	



NOTES:

1. This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plat is not to be relied upon for the establishment or location of fences, garages, buildings or other existing or future improvements.
3. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Property line survey recommended to determine the exact location of improvements and/or encroachments, if any.
5. Property subject to any/all rights-of-way, easements, and/or covenants of record and/or imposed by law.
6. This plat is not to be used for the issuance of permits.
7. No title report furnished.

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

Graden A. Rogers
 GRADEN A. ROGERS - M.D. PROP. L.S. LIC. NO. 119

Scope of Work:

1. Finish existing unfinished basement space
2. Route ductwork from existing HVAC system as necessary to serve new rooms
3. Locate gas supply for future manufactured gas fireplace
4. Frame for future residential elevator
5. Include new kitchen, bathroom, bedroom, living areas, recreation room as per plan
6. Install all new appliances, fixtures, cabinets
7. Flooring as specified by owner - engineered wood and ceramic tile
8. New windows as specified to provide egress from new bedroom; provide window well as necessary
9. modify existing first floor deck to include new stairs to yard *with handrails*
10. prepare 1st floor bathroom to accommodate future elevator; relocate washer and dryer to 2nd floor
11. Install shower in 1st floor bathroom
12. install pocket doors between dining room and existing music room
13. install door and lighting beneath existing front porch for new storage room
14. install new terrace and steps to backyard as specified by owner

Designers Notes:

1. Claire McLane, designer, is the copyright holder of these drawings. All drawings are copyright protected and may not be copied, sold or otherwise used by any party without the consent of the designer.
2. Drawings are provided to illustrate design intent only. The designer is not responsible for any errors or omissions, or unforeseen conditions.
3. The designer accepts no responsibility or liability for work performed by others including any construction, whether executed by a licensed contractor or not.
4. Modification to the proposed design shall be by consent of the designer only.
5. Any revision to these plans by an unauthorized party is strictly prohibited.
6. The general contractor shall be responsible for checking and verifying all conditions and measurements before starting work and during construction.
7. The contractor will be responsible for meeting all applicable National and local building code requirements including IRC and/or BOCA, whether illustrated in these drawings or not.
8. These drawings were prepared for the property located at the site indicated, according to its specific conditions at the time of preparations of the documents. They may not be used or modified for use for any other property. To do so is a copyright infringement and could be a safety hazard.
9. Drawings may not convey with the property without consent of the designer.
10. This set of drawings includes *1-6 Drawn 3/1/2008* pages.

REVISED 3/12/2008
 11 PAGES TOTAL

Lot 30
 Block 76
 Plat No. 633

KOHN
 P.L.L.C.
 7391 Buffalo Avenue
 Takoma Park, MD 20912

REVISED 3/12/2008

All construction shall be in accordance w/International Residential Code 2003 (IRC 2003) and all other applicable national and/or local building codes, per the jurisdiction of this site.

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 3-28-08

DATE: 3/10/2008
 PLAN: SITE
 FLOOR:
 SCALE: 1/4" = 1'0"

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Proposed Deck Elevation

Residential Construction Notes (Contractor to adhere to IRC 2003 and any other applicable national/local building codes for construction, as well as any manufacturer's installation specifications for pre-fabricated/pre-engineered lumber or materials including fireboxes, appliances, fixtures, etc). Additional construction notes may apply according to local jurisdiction requirements.

1. Soil bearing shall be in conformance with IRC 2003, The bottom of concrete footings shall be min. 2'6" below grade.
2. Design live loads shall be:
 - Attics (limited storage) 20 psi
 - Dwelling unit 40 psi
 - Sleeping rooms 30 psi
 - Balconies (exterior) 60 psi
 - Garage 50 psi
 - Decks 40 psi
 - Stairs 40 psi
3. Bathrooms without windows shall be vented to outside of building
4. Habitable rooms, except kitchens, shall have ceilings no less than 7'6" for at least 50% of the area. Not more than 50% of the room may have a sloped ceiling less than 7'6" in height with not portion of the room less than 5 ft in ht.
5. Glass doors, tub and shower enclosures, skylights, and side glass panels shall have safety glass.
6. Sleeping rooms shall have at least one egress window. Windows shall have a max sill ht of 44" above the finished floor. Egress windows shall have a min. 5 sq ft open area. Min clear width of 20" and min ht of 22"
7. Stairways shall have a min 6'8" clear head room. Minimum tread shall be 10", max riser 7 1/4", min width 36"
8. Open sides of stairs. Porches, balconies, raised floor surfaces and retaining walls shall have guardrail not less than 36" ht. Spacing between pickets less than 4". Guardrail on open side of stairs not less than 34" ht. Guardrail on retaining wall min 36" ht with pickets less than 4" apart. Bottom rail of stair railing shall be constructed to prevent 3" diameter ball from passing between rail and stair tread. Handrails shall have min ht of 30", max ht of 38" measured from the nosing of the treads.
9. Interconnected smoke detectors on each level and in each bedroom. Detectors shall be hardwired with battery back up
10. All untreated lumber shall be min 8" above finished grade. All wood in contact with soil or masonry foundation to be pressure-treated - ACQ treated SYP or equivalent. All fasteners used with ACQ treated lumber will meet ASTM Standard A153 and A653, class 185.
11. All framing lumber to SPF #2 unless otherwise indicated.
12. Radon venting to be installed as per IRC 2003
13. Lot drainage to comply with local and national codes
14. Silt plates on top of foundation walls shall be secured with min 1/2" anchor bolts or approved straps @ 6'0" o.c. max, 7" into concrete and 15" into gravel filled masonry, max 12" from each corner
15. Foundation walls shall extend min 6" above finished grade adjacent to the foundation walls at all points
16. Masonry chimneys located within the exterior walls shall have min. air space clearance to combustibles of 2". The air space shall not be filled, except to provide fire stopping.

Structural Notes:

- LIVE LOADS**
- Roof 30 psf
 - Floor 40 psf
 - Deck 40psf

FOUNDATION - Bottoms of all footings shall be at least 2'6" below finished grade. Wall footing shall be min. 8" deep and project min. 4" beyond each face of wall. Footings shall be reinforced with 3 #5 steel bars.

REINFORCING STEEL - All reinforcing steel shall conform to ASTM-A615, Grade 60.

SLABS ON GRADE - shall be 4" thick, reinforced with 6x6, W1.4xW1.4 (6x6-10/10) WWM. Lap mesh 6" in each direction. Provide control joints in slabs on grade at 15'0" o.c. max. Interior slabs shall be laid on a layer of 6 mil polyethylene over 4" washed gravel.

Other design criteria:

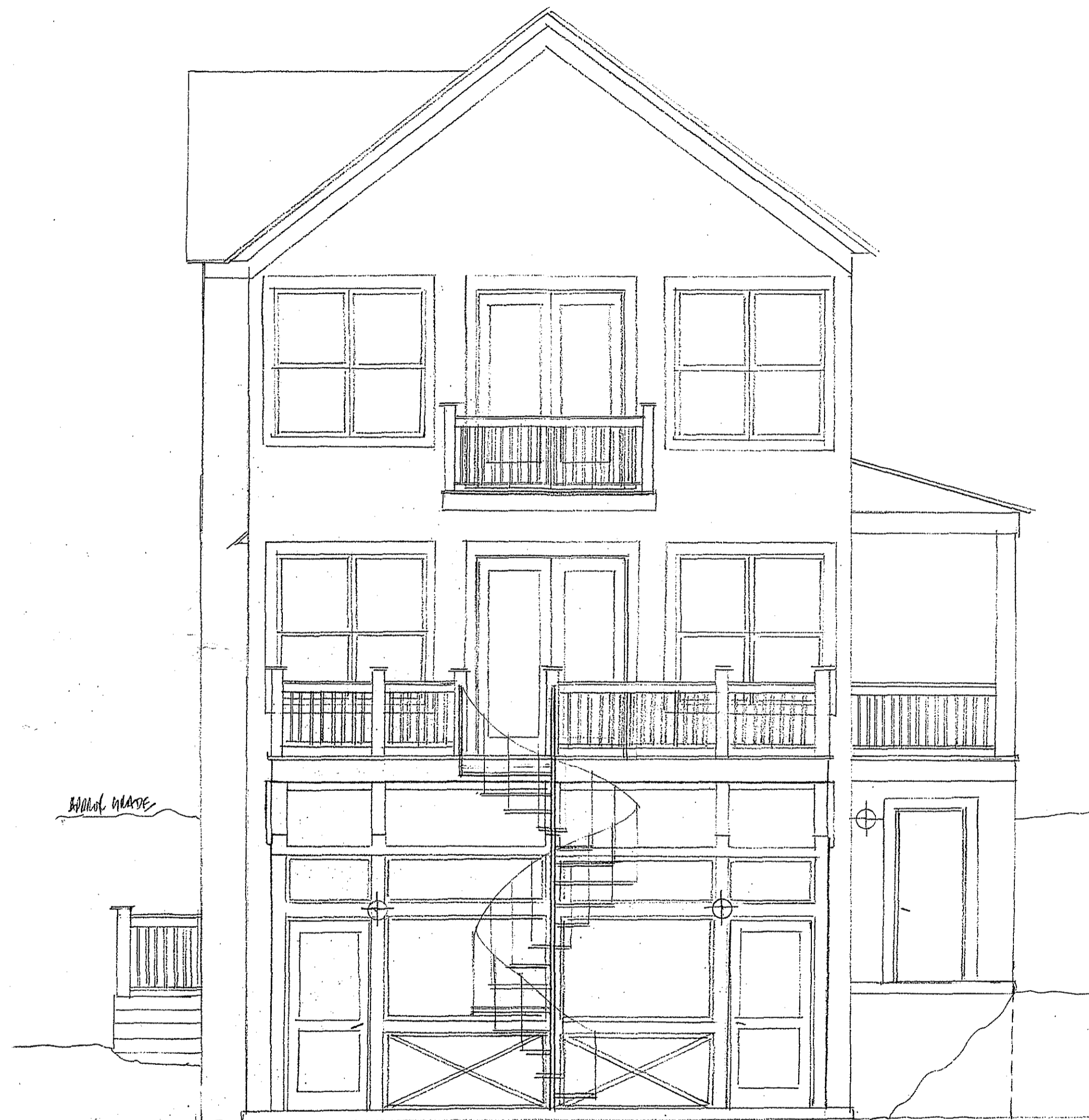
- Roof and floor dead load 10 lbs/sf
- Seismic design category B
- Termite damage subjectivity - heavy
- Winter design temperature - 18 degrees F
- Subjectivity to damage from weather - heavy
- Subjectivity to decay - moderate
- Wind speed - 90 mph
- Frost line depth - 24"
- Flood hazard - yes

Concrete: 3000 psi compression strength in 28 days

Subfloors: 3/4" APA subfloor/underlayment rated, tongue and groove, glued and nailed to joists

Roof sheathing: 1/2" OSB with spacers

Roofing: min. 215 lb per square asphalt shingles (or other equal) over 15 lb felt



← 3'0" New Window Well →

← 6'0" New Stairs →

← 22'0" NEW SIDEWALK FRONT BENEATH ENLARGED DECK (ORIGINAL DECK ~ 16'0") →

← 4'6" New Door →

P.L. & T.CO
 3 Lock 76
 Plat No. 633
 Lot 30

JOHN
 191 Buffalo Avenue
 Annapolis Park, MD 20912

REVISED 3/12/2008

All construction shall be in accordance w/International Residential Code 2003 (IRC 2003) and all other applicable and prevailing national and/or local building codes, per the jurisdiction of this site.

DATE: _____
 PLAN: REAR EYE VIEW
 FLOOR: _____
 SCALE: 1/4" = 1'0"

Proposed Right Side Elevation

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 CLAIRE McLANE
 RESIDENTIAL CONCEPTS, INC
 4405 Walsh Street
 Chevy Chase, MD 20815
 301.654-2820 o/ 301.404.2820 c

New Generated Point Beneath
 12'0" entrance deck
 (existing deck = 10'6")
 6'0" New spiral stairs

These drawings may not be copied, and designs depicted may not be used in any manner without the knowledge and express permission of Claire McLane.



← 4'3" New window →
 ← 8'0" New window deck →

← 2'6" New window →

← 4'0" New door →

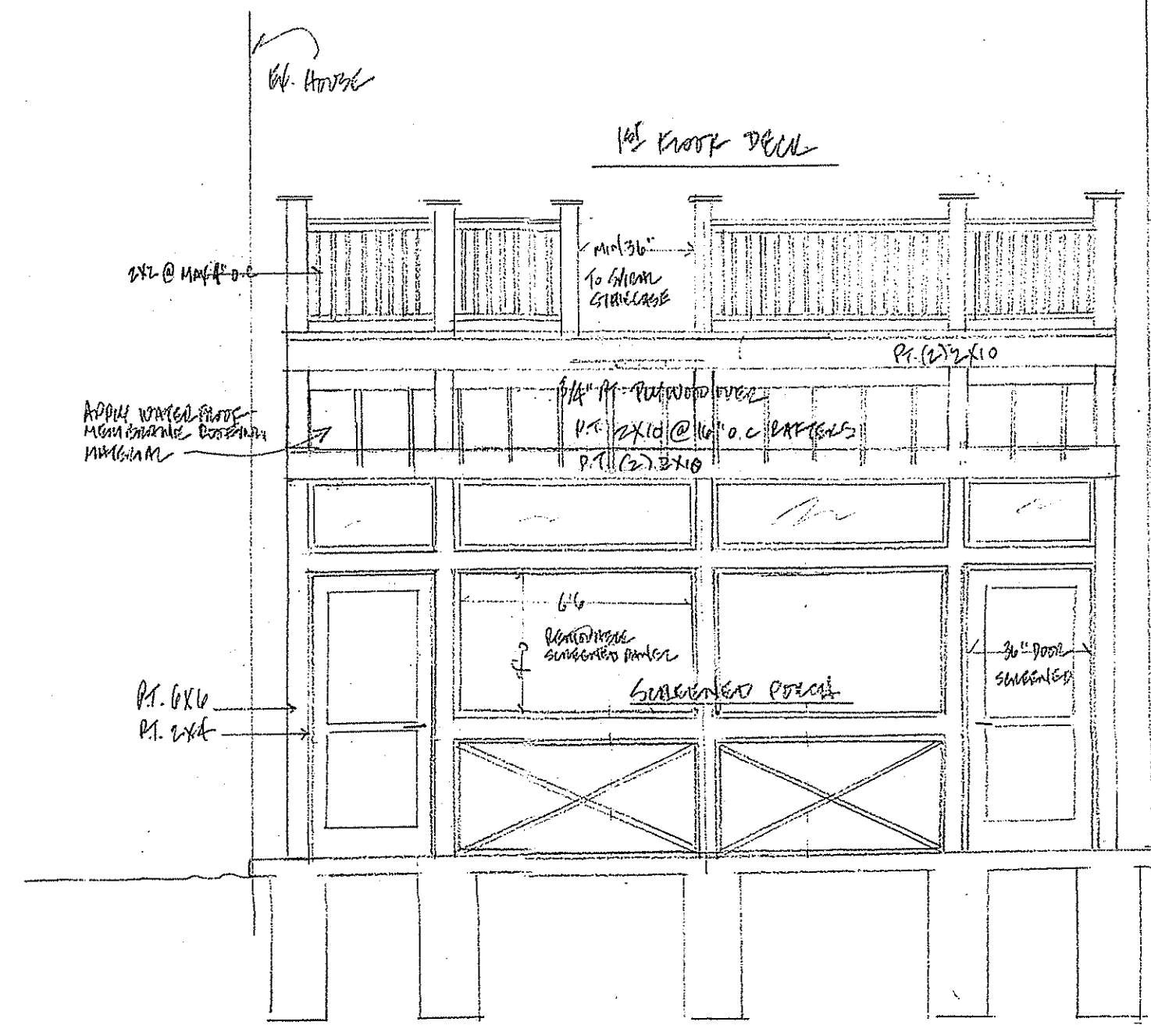
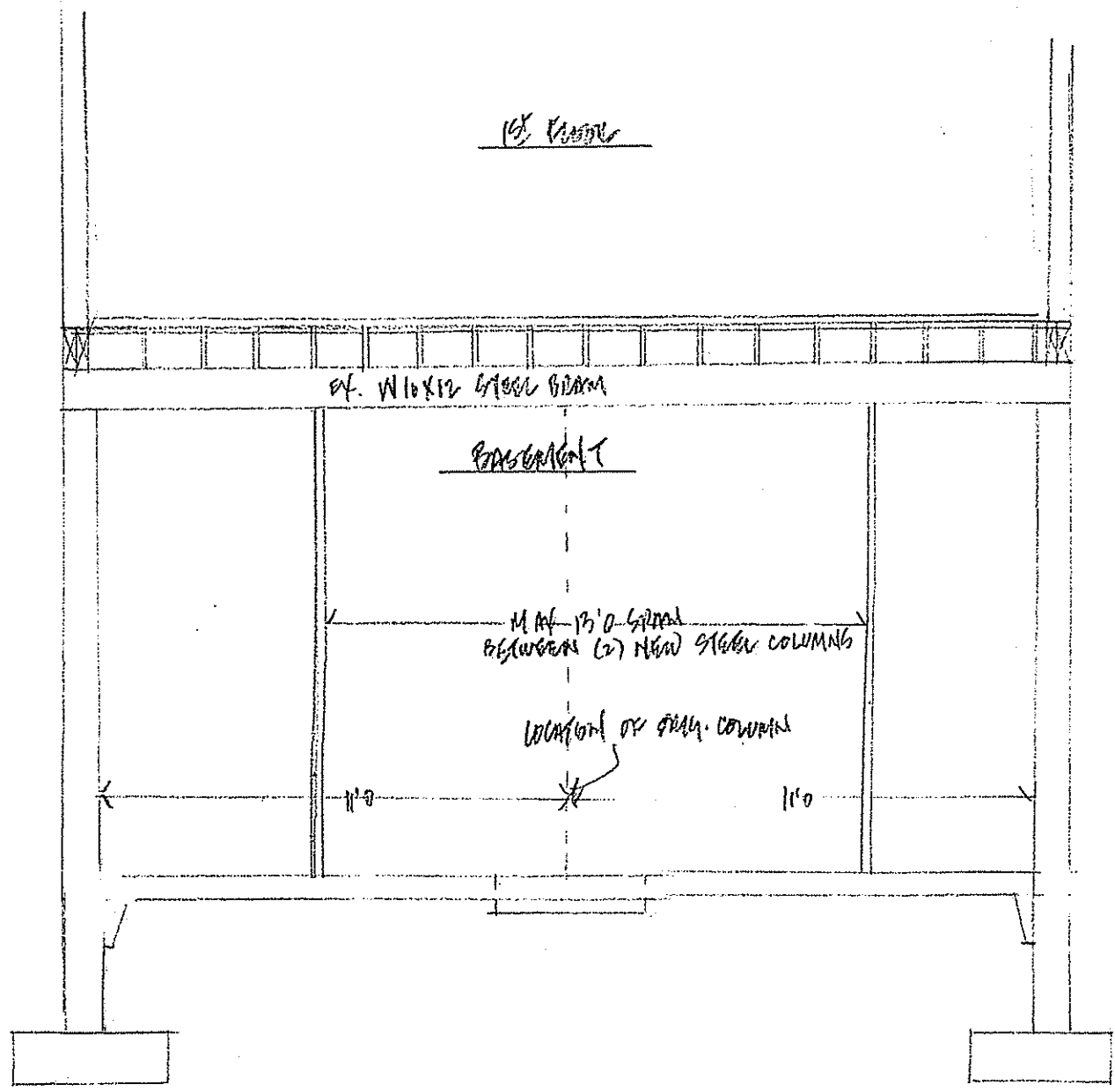
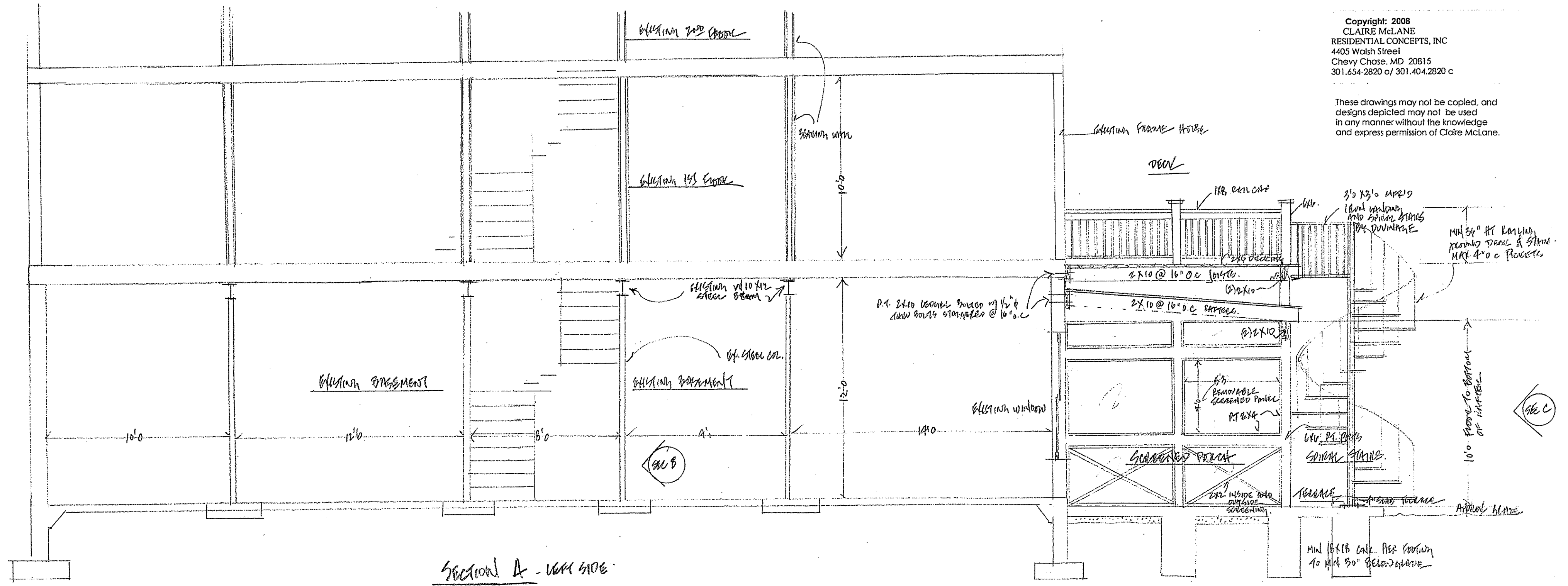
← 16'0" New front and terrace →

REVISED 3/12/2008

All construction shall be in accordance w/International Residential Code 2003 (IRC 2003) and all other applicable and prevailing national and/or local building codes, per the jurisdiction of this site.

DATE: _____
 PLAN: RIGHT SIDE ELEVATION
 FLOOR: _____
 SCALE: 1/4" = 1'0" 3 of 11

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KOHN
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Takoma Park, MD 20912

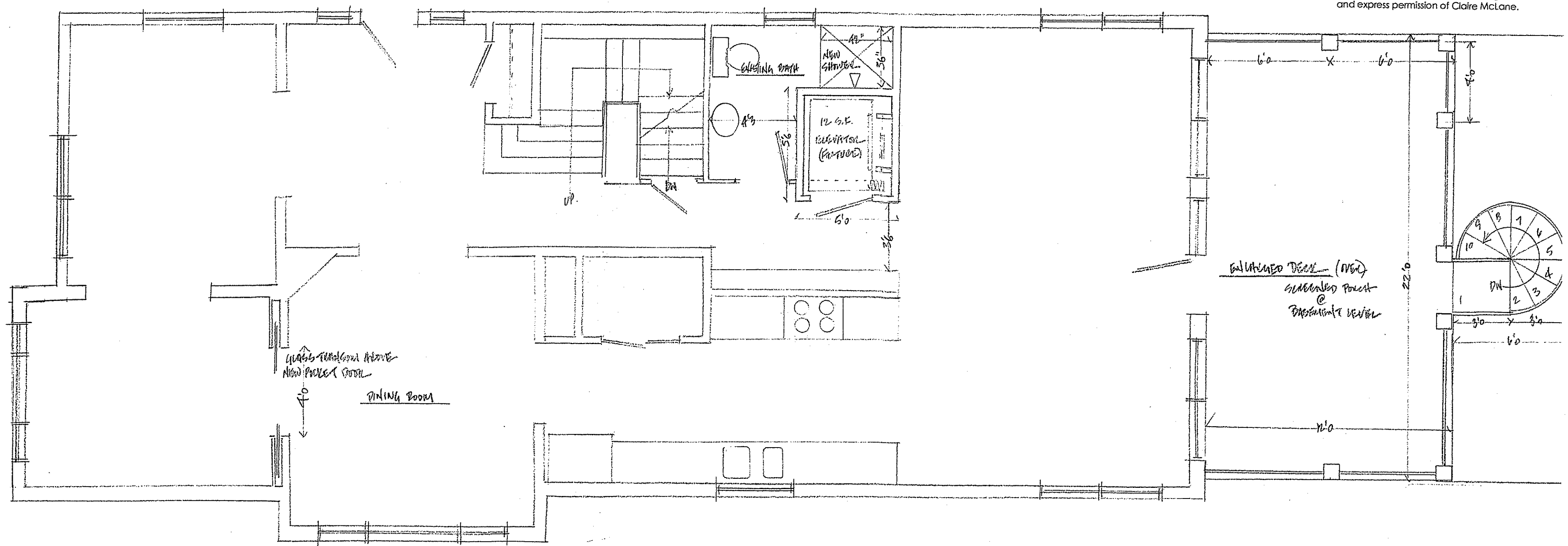
REVISED 5/12/2008

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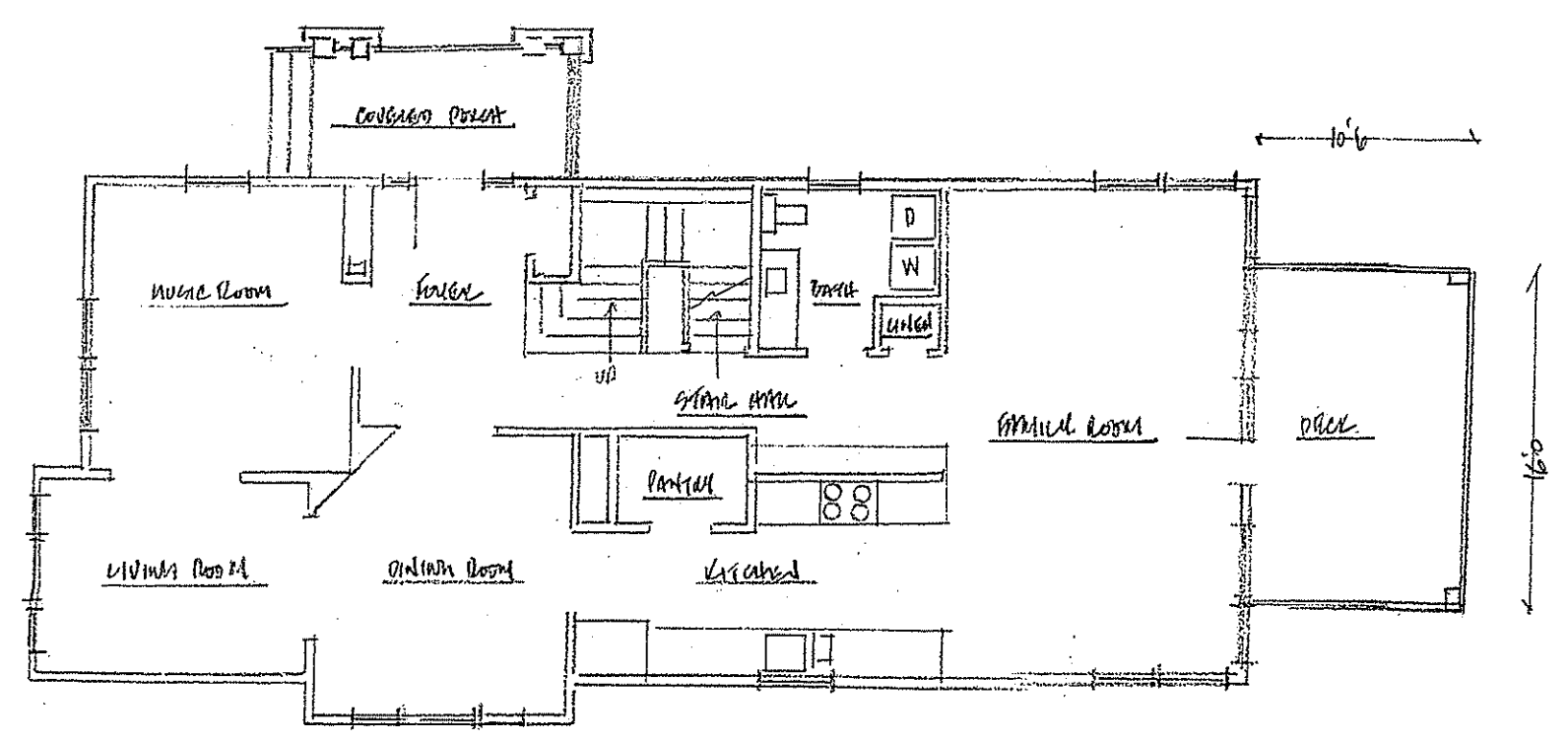
DATE: 5/12/2008
PLAN: SECTION A, B, C
FLOOR: 1st, 2nd
SCALE: 1/4" = 1'-0"
A OF 11

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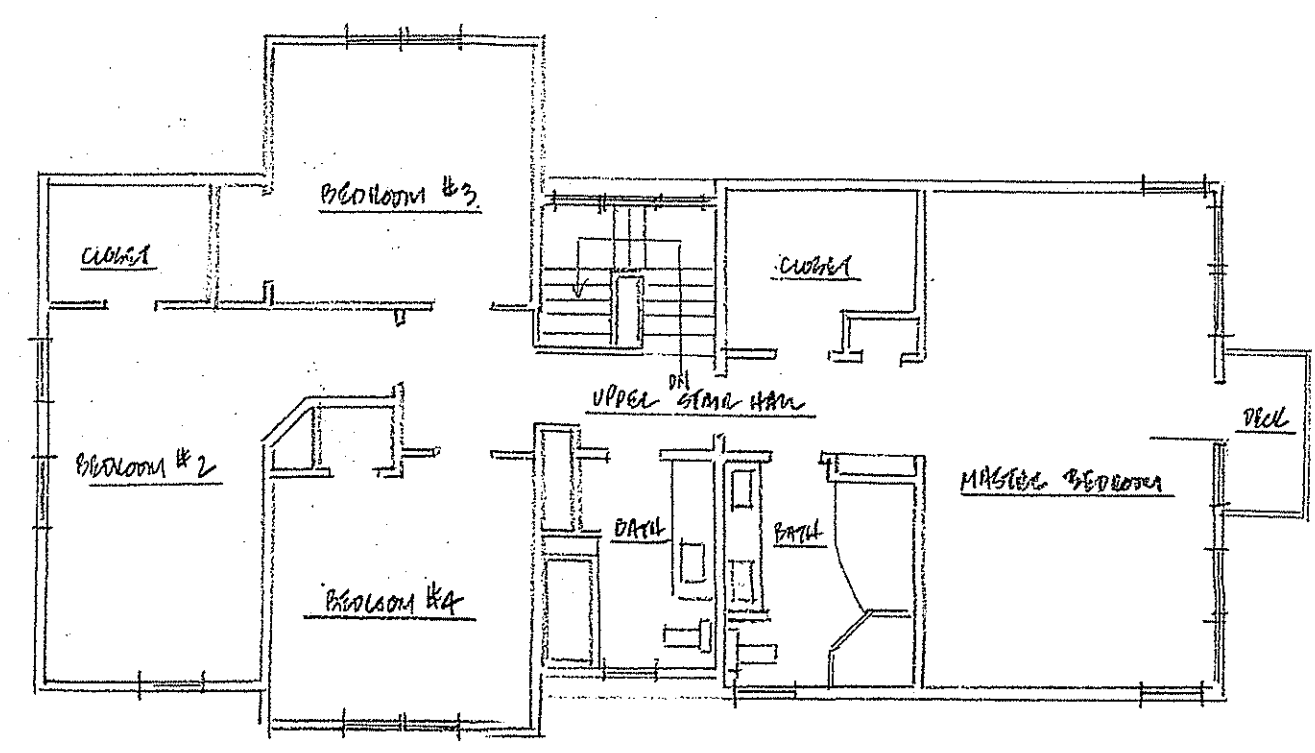
PROPOSED 1st FLOOR PLAN



EXISTING 1st FLOOR PLAN



EXISTING 2nd FLOOR PLAN



T.P.L. & T.CO
 Block 76
 Plat No. 633
 Lot 30

KOHN
 7391 Buffalo Avenue
 Takoma Park, MD 20912

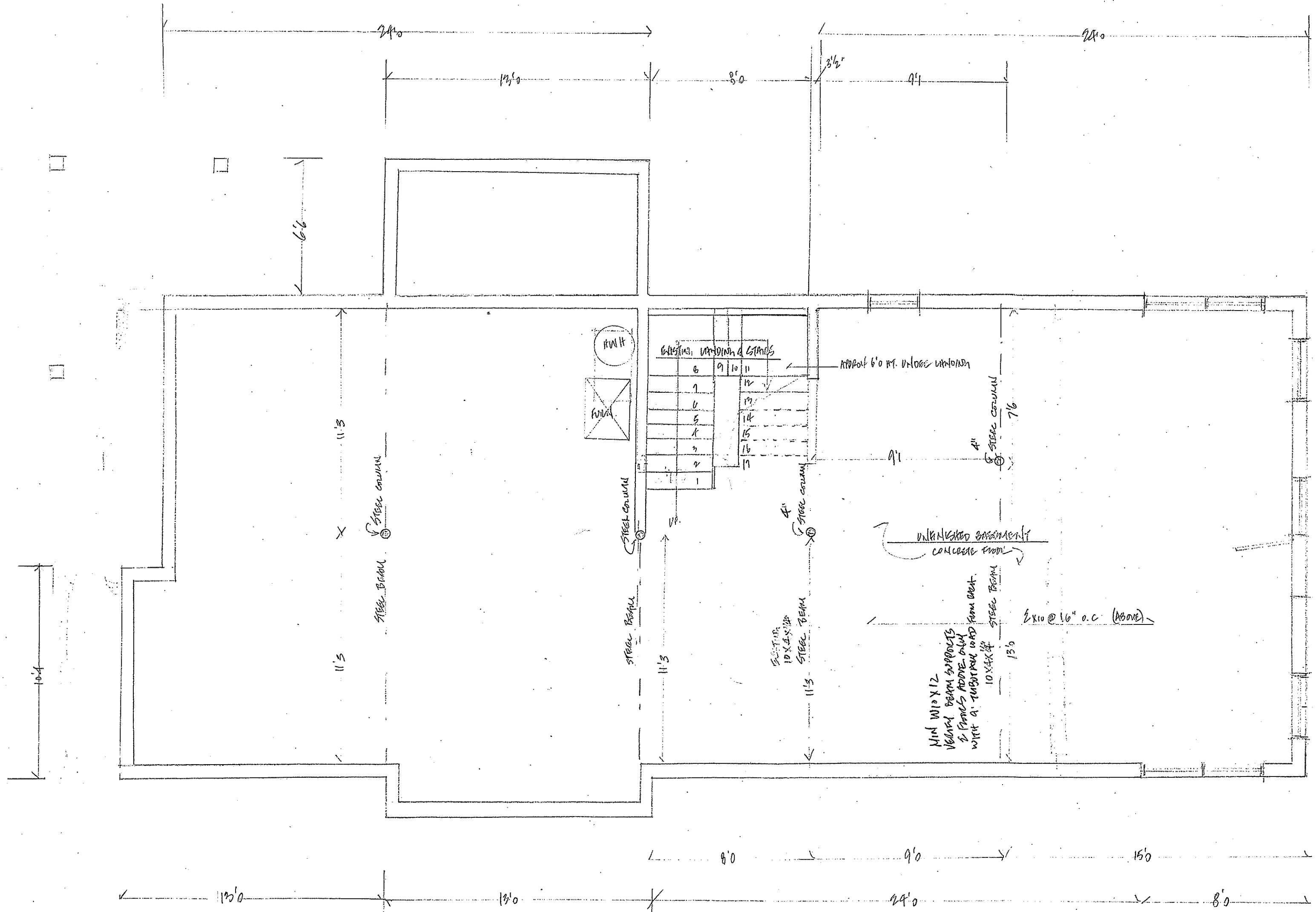
REVISED 3/12/2008

All construction shall be in accordance w/International Residential Code 2003 (IRC 2003) and all other applicable national and/or local building codes, per the jurisdiction of this site.

DATE: 3/11/2008
 PLAN: 1st Floor
 FLOOR: 1st Floor
 SCALE: 1/4" = 1'0" 5 OF 11

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EXISTING BASEMENT PLAN
 NOTE: 2 FLOORS ABOVE - WOOD FLOORING AND STAIRS



T.P.L. & T.C.O.
 Block 76
 Plat No. 633

KOHN
 7391 Buffalo Avenue
 Takoma Park, MD 20912

REVISED 5/12/2008

All construction shall be in accordance w/International Residential Code 2003 (IRC 2003) and all other applicable national and/or local building codes, per the jurisdiction of this site.

DATE: 5/11/2008
 PLAN: EXISTING BASEMENT
 FLOOR:
 SCALE: 1/4" = 1'0" 6 of 11

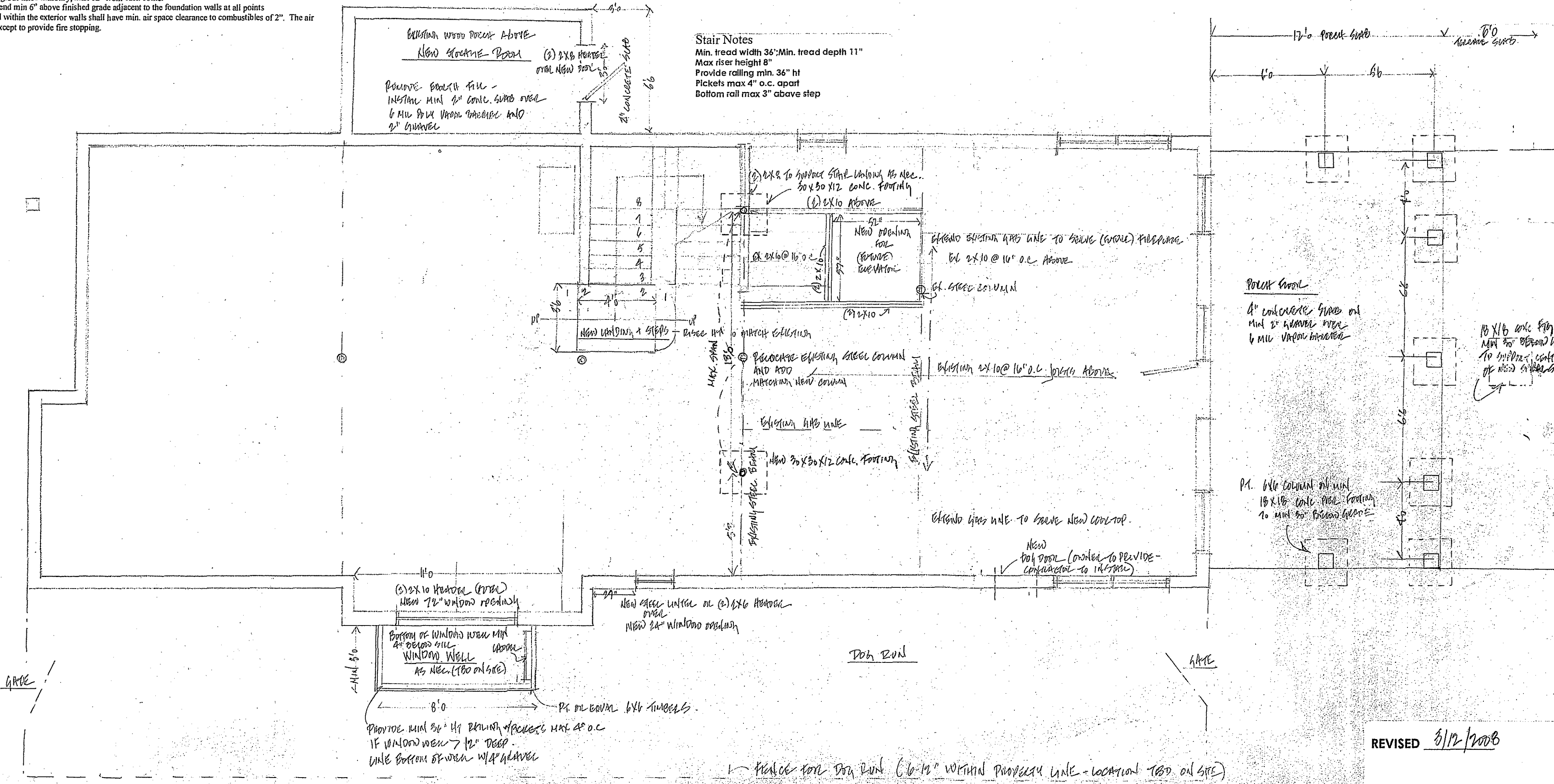
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7391 Buffalo Avenue
 Takoma Park, MD 20912

Residential Construction Notes (Contractor to adhere to IRC 2003 and any other applicable national/local building codes for construction, as well as any manufacturer's installation specifications for pre-fabricated/pre-engineered lumber or materials including fireboxes, appliances, fixtures, etc). Additional construction notes may apply according to local jurisdiction requirements.

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 - Sleeping rooms 30 psi
 - Balconies (exterior) 60 psi
 - Garage 50 psi
 - Decks 40 psi
 - Stairs 40 psi
3. Bathrooms without windows shall be vented to outside of building.
4. Habitable rooms, except kitchens, shall have ceilings no less than 7'6" for at least 50% of the area. Not more than 50% of the room may have a sloped ceiling less than 7'6" in height with not portion of the room less than 5 ft in ht.
5. Glass doors, tub and shower enclosures, skylights, and side glass panels shall have safety glass.
6. Sleeping rooms shall have at least one egress window. Windows shall have a max sill ht of 44" above the finished floor. Egress windows shall have a min. 5 sq ft open area. Min clear width of 20" and min ht of 22"
7. Stairways shall have a min 6'8" clear head room. Minimum tread shall be 10", max riser 7 1/2", min width 36"
8. Open sides of stairs. Porches, balconies, raised floor surfaces and retaining walls shall have guardrail not less than 36" ht. Spacing between pickets less than 4". Guardrail on open side of stairs not less than 34" ht. Guardrail on retaining wall min 36" ht with pickets less than 4" apart. Bottom rail of stair railing shall be constructed to prevent 3" diameter ball from passing between rail and stair tread. Handrails shall have min ht of 30", max ht of 38" measured from the nosing of the treads.
9. Interconnected smoke detectors on each level and in each bedroom. Detectors shall be hardwired with battery back up
10. All untreated lumber shall be min 8" above finished grade. All wood in contact with soil or masonry foundation to be pressure-treated - ACQ treated SYP or equivalent. All fasteners used with ACQ treated lumber will meet ASTM Standard A153 and A653, class 185.
11. All framing lumber to SPF #2 unless otherwise indicated.
12. Radon venting to be installed as per IRC 2003
13. Lot drainage to comply with local and national codes
14. Sill plates on top of foundation walls shall be secured with min 1/2" anchor bolts or approved straps @ 6'0" o.c. max, 7" into concrete and 15" into grout filled masonry, max 12" from each corner
15. Foundation walls shall extend min 6" above finished grade adjacent to the foundation walls at all points
16. Masonry chimneys located within the exterior walls shall have min. air space clearance to combustibles of 2". The air space shall not be filled, except to provide fire stopping.

BASEMENT - STRUCTURAL PLAN



REVISED 5/12/2008

All construction shall be in accordance w/International Residential Code 2003 (IRC 2003) and all other applicable national and/or local building codes, per the jurisdiction of this site.

DATE: 5/12/2008
 PLAN: Structural - CLM
 FLOOR: Basement
 SCALE: 1/4" = 1'0"

These drawings may not be copied, and designs depicted may not be used in any manner without the knowledge and express permission of Claire McLane.

INTERIOR FINISH SCHEDULE

Ceilings and Walls: All interior wall finishes to include 1/2" Gypsum wallboard on walls, except Bathrooms (use green board). Prime and paint two (2) coats - color selected by owner.
Millwork/Trim: Match existing as closely as possible in all rooms
Floors: Provide DuraRock subfloor in tiled areas; otherwise, hardwood to match existing or other wood as specified by owner

TILEWORK:

Walls and floors shall be installed according to pattern designed and/or selected by owner. Quantities specified represent approximate square footage of area to be covered and do not include extra for cutting. Tile installer to specify additional cove or bull nose pieces, as needed.

- ROOM notes:
- Vestibule/ stair landing: wood floor to match existing stairs
 - Study: wood floor as specified by owner, built-in desks and bookcases by others
 - Living room: wood floor as specified by owner
Prepare for future gas fireplace as nec. - gas supply, vent to outside
 - Dining Room: wood floor as specified by owner
 - Kitchen: wood floor to match other living areas
 - Bathroom: radiant floor under ceramic tile selected by owner, install as per design by designer and owner
Approx 50 sf floor tile, 20 sf wainscot tile (36" ht behind toilet and backsplash), 15 sf shower floor tile, 115 sf shower wall tile (8 ft ht) - exact quantities TBD on site and by design
48" vanity cabinet, countertop with integral sink or under-mount sink - owner to specify
One-piece toilet - recommend Kohler Rialto or Kohler San Raphael
Custom shower - tile all surfaces, include 14x18 niche at 48-inch ht for incidentals (see plan)
Shower surround tiled to 8-ft ht.
Sloped shower pan beginning level w/bathroom floor - no threshold, min 36" opening (handi-capped accessible)
Provide safety bars in shower and adjacent to toilet as specified by owner
 - Bedroom: min 36"-wide door to hall and bathroom for handi-capped accessibility
Prepare floor for carpet and padding as specified by owner and installed by others
 - Recreation Room: concrete floor to be painted (2 coats epoxy paint) or tiled as specified by owner
Mirrored closet doors; other mirrors as specified by owner - installed by others
 - Storage: concrete floor to be painted (2 coats epoxy paint)

Basement Plan

WALL FINISHING

All wood trim and millwork attached to load carrying floors or walls shall be pressure treated

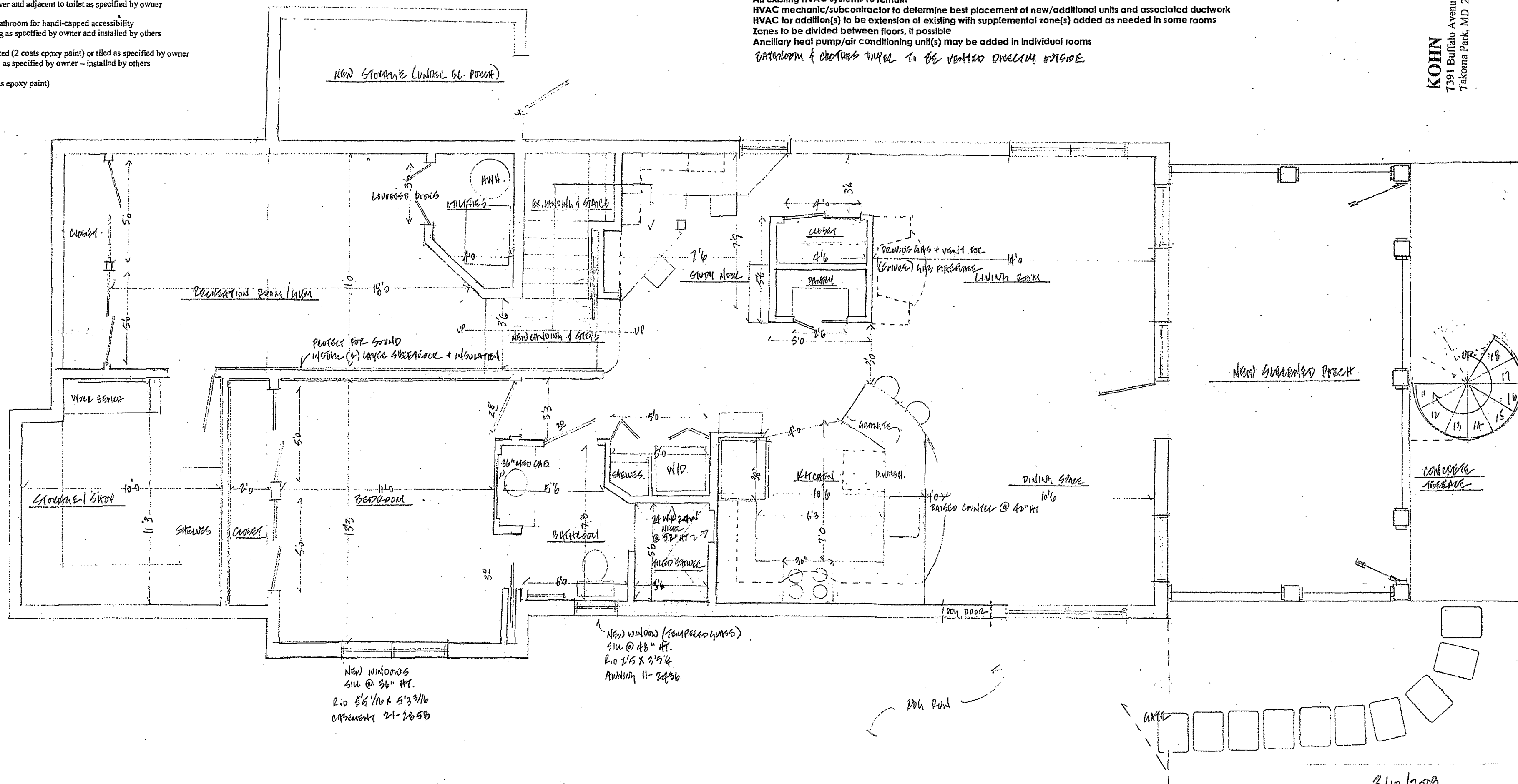
Garage Ceiling Height = 12'0" Ceiling Mt. Below lowest projection = 10'0"

PLUMBING NOTES:

Plumber to be responsible for sizing and locating pipes and vents as necessary
 Designer and/or Owner to select all fixtures inc. bathtubs, toilets, sinks, faucets, etc.
 Owner to supply all fixtures; Contractor to install unless otherwise specified by contract

HVAC Notes:

All existing HVAC systems to remain
 HVAC mechanic/subcontractor to determine best placement of new/additional units and associated ductwork
 HVAC for addition(s) to be extension of existing with supplemental zone(s) added as needed in some rooms
 Zones to be divided between floors, if possible
 Ancillary heat pump/air conditioning unit(s) may be added in individual rooms
 Bathroom & closets need to be vented directly outside



KOHN
 7391 Buffalo Avenue
 Takoma Park, MD 20912

REVISED 3/12/2008

STANDARD WINDOWS NOTE: WINDOWS SPECIFIED W/IMPREGNATED BLINDS AS SUPPLIED BY AVANTY WINDOW & DOOR, INC.
 CONTRACT: CURR DESIGN 301.545-4555.
 LOW E, ANTI-GLARE, WHITE CLAD MILD SPLIT ANTI-REFLECT & SCREENS

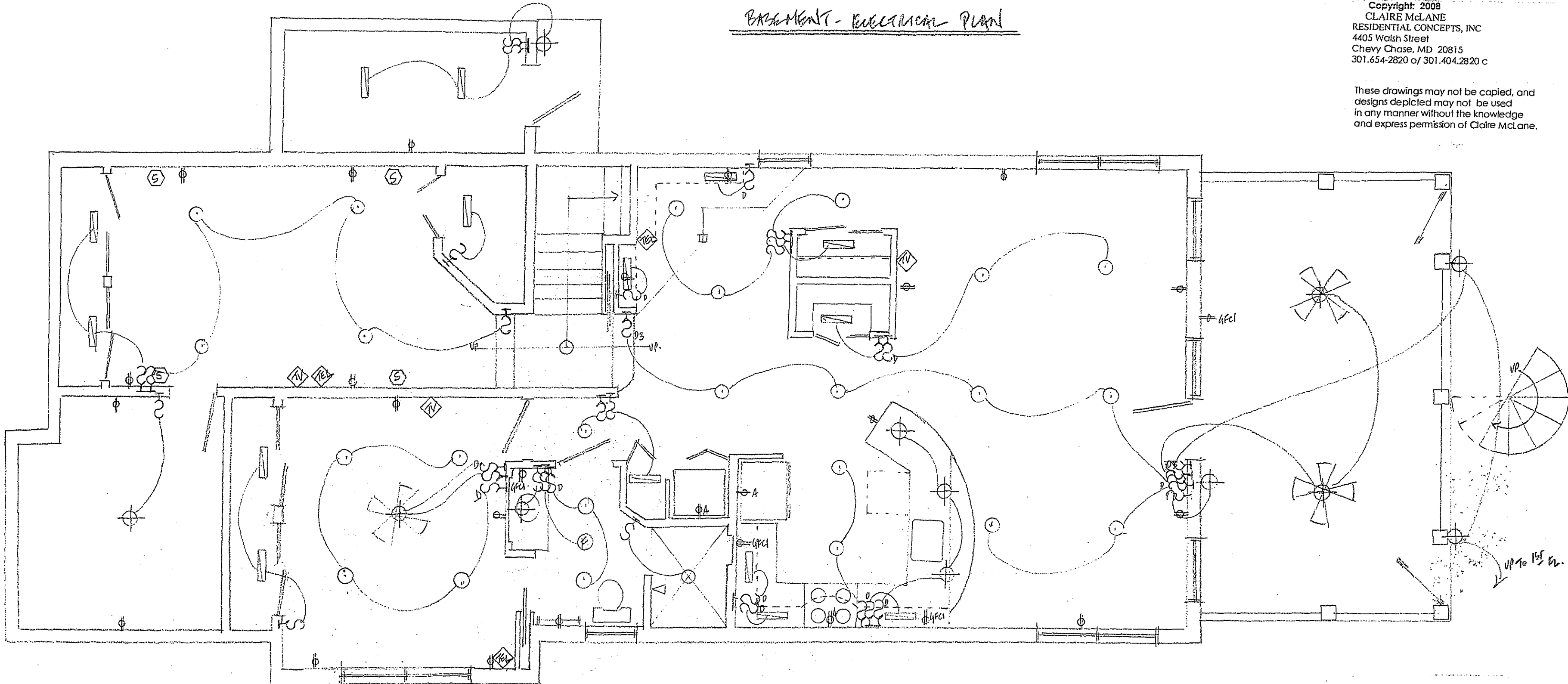
All construction shall be in accordance w/International Residential Code 2003 (IRC 2003) and all other applicable national and/or local building codes, per the jurisdiction of this site.

DATE: 3/1/2008
 PLAN: WALL FINISHING
 FLOOR: BASEMENT
 SCALE: 1/4" = 1'0"

BASMENT - ELECTRICAL PLAN

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 CLAIRE McLANE
 RESIDENTIAL CONCEPTS, INC
 4405 Walsh Street
 Chevy Chase, MD 20815
 301.654-2820 o/ 301.404.2820 c

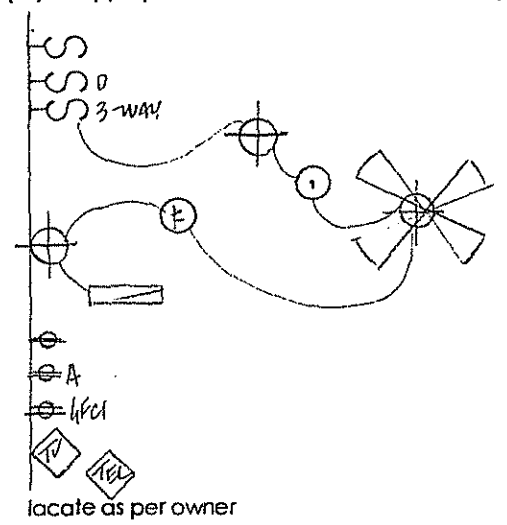
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ELECTRICAL KEY

Electrician to be responsible for providing proper power (AMPS) and circuits & locating all wiring and circuit box(es) as appropriate. All work shall be to current prevailing electrical code.

- Wall switch
- Wall switch with dimmer
- Ceiling fixture
- Recessed ceiling fixture
- Ceiling fixture with fan
- Wall fixture
- Fluorescent fixture
- Wall outlet
- Wall outlet (major appliance)
- Wall outlet with GFC
- Cable TV
- Telephone/modem connection
- Speakers

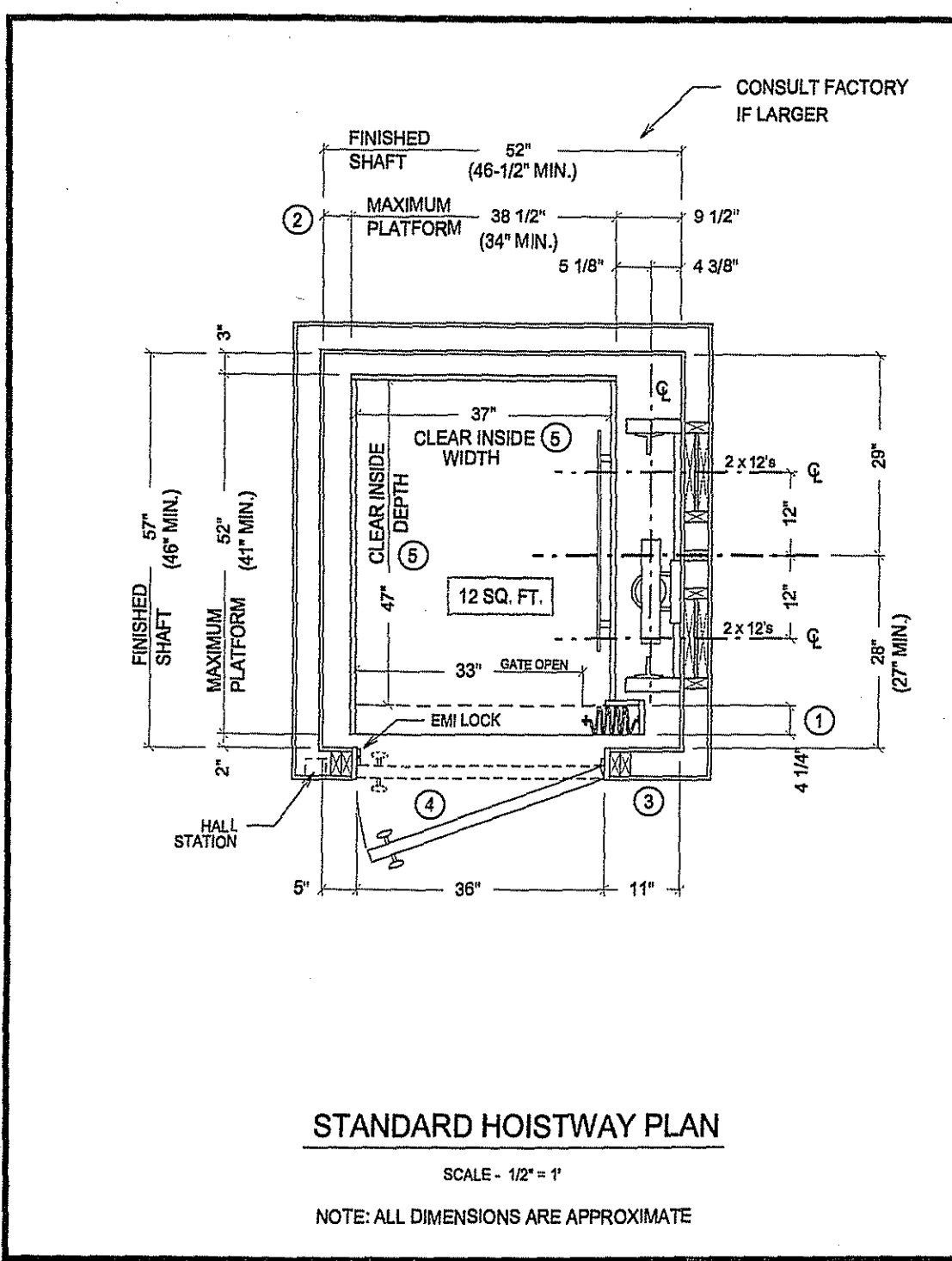


PLUMBING NOTES:

Plumber to be responsible for sizing and locating pipes and vents as necessary. Designer and/or Owner to select all fixtures inc. bathtubs, toilets, sinks, faucets, etc. Owner to supply all fixtures; Contractor to install unless otherwise specified by contract

HVAC Notes:

All existing HVAC systems to remain
 HVAC mechanic/subcontractor to determine best placement of new/additional units (if necessary) and associated ductwork
 HVAC for addition(s) to be extension of existing with supplemental zone(s) added as needed in some rooms
 Zones to be divided between floors, if possible
 Ancillary heat pump/air conditioning unit(s) may be added in individual rooms



DRAWN	CHECKED	DATE	REVISION
G.P.	M.C.	01/14/04	NEW DRAWING

NOTES:

- 1 IF PLATFORM SIZE IS REDUCED, THEN THE BLOCKING IS TO BE POSITIONED SUCH THAT IT IS CENTERED ON THE PLATFORM. (PLATFORM DEPTH / 2) + 2" = CENTERLINE OF RAIL BLOCKING OFF OF INSIDE FRONT WALL. (MIN. 27" DIMENSION)
- 2 CAR TO WALL (CTW) DIMENSION IS 3" MIN. WITH WALL MOUNT PHONE AND 4" MIN. WITH PHONE BOX
- 3 HOISTWAY DOORS AND FRAMES TO BE INSTALLED IN A 2" x 4" WALL CONSTRUCTION OR RECESSED INTO A DEEPER WALL CONSTRUCTION TO EQUATE TO A 2" x 4" WALL. THIS IS REQUIRED TO COMPLY WITH 3" x 5" RULE.
- 4 HOISTWAY DOORS TO BE SOLID CORE (BY OTHERS.)
- 5 CLEAR CAB DIMENSIONS BASED ON A 3/4" FLAT WALL CAB DESIGN. PICTURE FRAME AND FRAME / PANEL CABS - REDUCE CLEAR INSIDE WIDTH BY 1-1/2" AND CLEAR INSIDE DEPTH BY 3/4".

RESIDENTIAL ELEVATORS
 Elevating your standard of living

20 RESIDENTIAL DRIVE
 CRAWFORDVILLE, FL
 32327
 ResidentialElevators.com
 1-800-832-2004

JOB NAME: 950#, RH RAIL, IN-LINE OPENING, ACCORDION GATE, 12 SQ. FT.	DRAWING NUMBER: HYD HP1 A 12
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KOHN
 7391 Buffalo Avenue
 Takoma Park, MD 20912

REVISED 3/12/2006

All construction shall be in accordance w/International Residential Code 2003 (IRC 2003) and all other applicable national and/or local building codes, per the jurisdiction of this site.

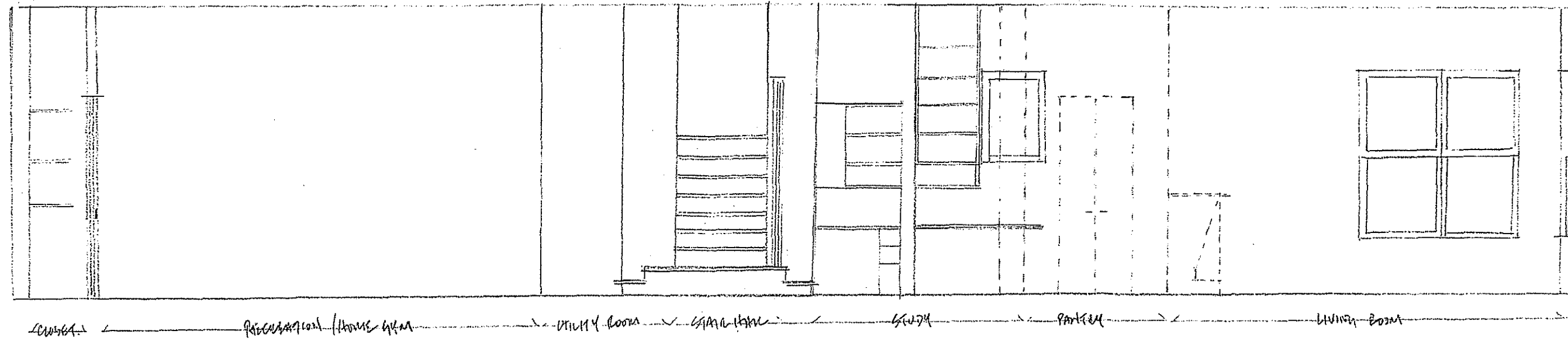
DATE: 3/12/2006
 PLAN: [Signature]
 FLOOR: [Signature]
 SCALE: 1/4" = 1'0"

INTERIOR ELEVATIONS

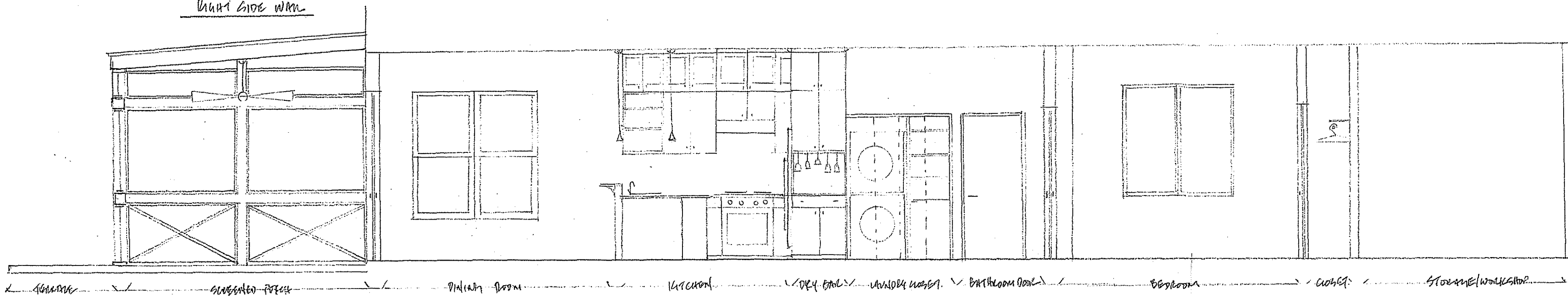
Copyright: 2008
 CLAIRE McLANE
 RESIDENTIAL CONCEPTS, INC.
 4405 Walsh Street
 Chevy Chase, MD 20815
 301.654.2820 o/ 301.404.2820 c

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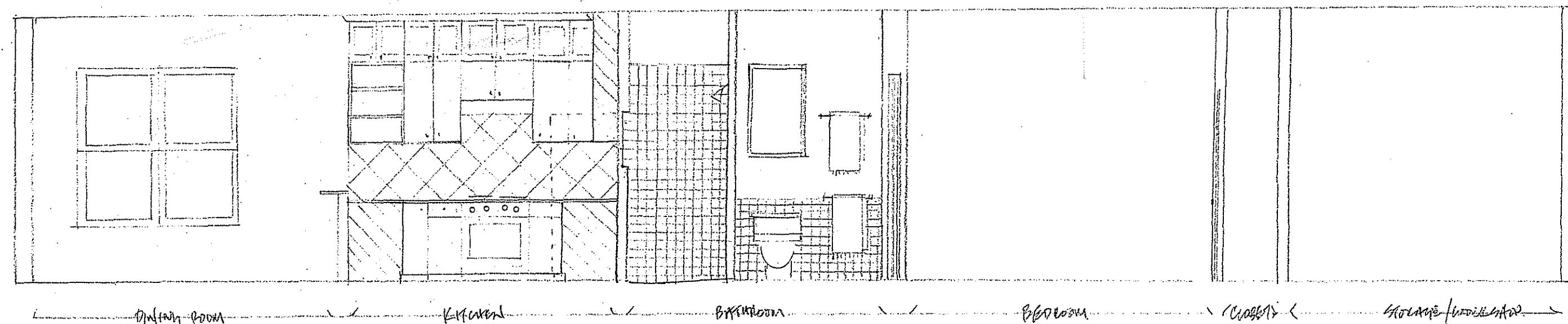
LEFT SIDE WALL



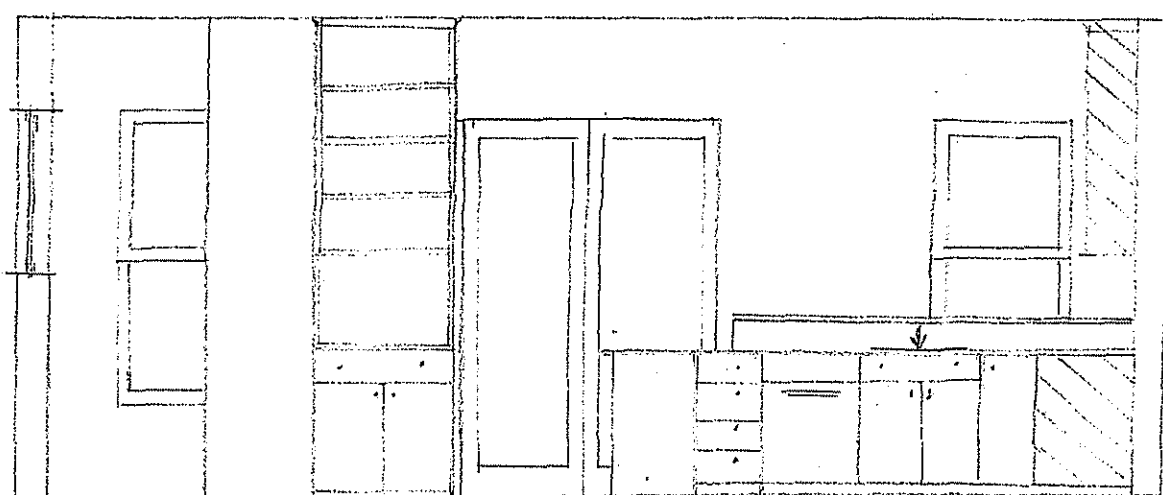
RIGHT SIDE WALL



RIGHT SIDE WALL

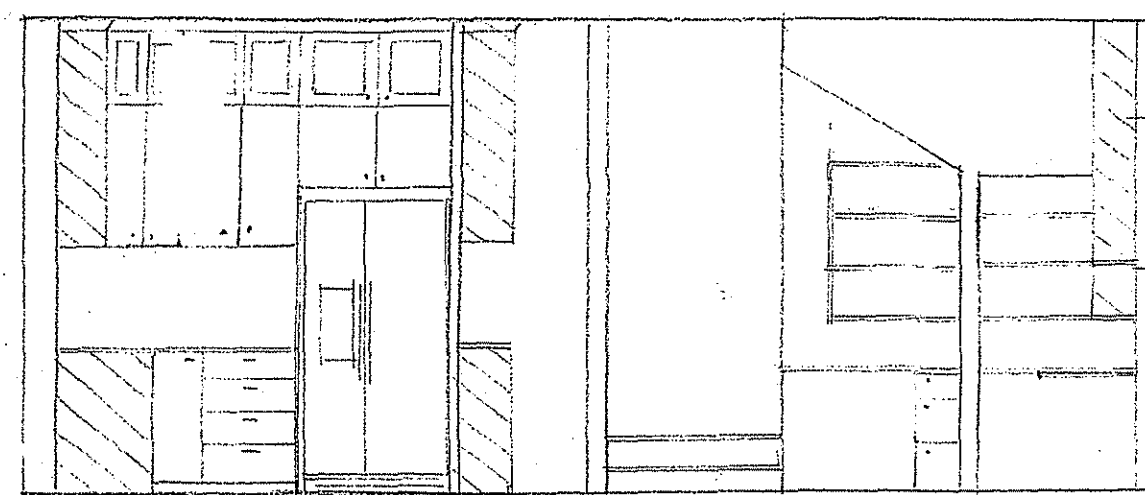


FRONT VIEW



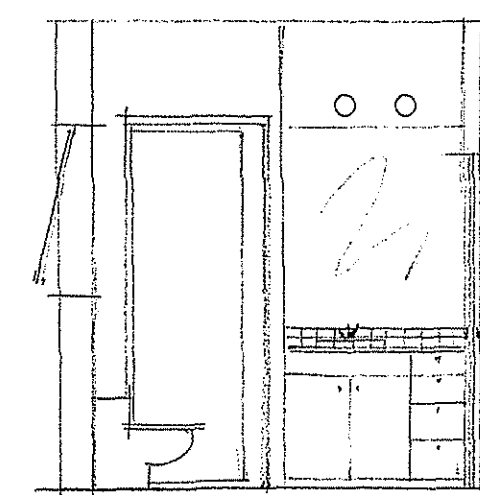
→ PASSAGE TO LIVING ROOM ←
 → PASSAGE TO LIVING ROOM ←
 → KITCHEN ←

FRONT VIEW - KITCHEN



→ KITCHEN ←
 → PASSAGE TO BEDROOM ←
 → KITCHEN ←
 → KITCHEN ←

FRONT VIEW - BATHROOM



→ BATHROOM ←

REVISED 3/12/2008

All construction shall be in accordance w/International Residential Code 2003 (IRC 2003) and all other applicable national and/or local building codes, per the jurisdiction of this site.

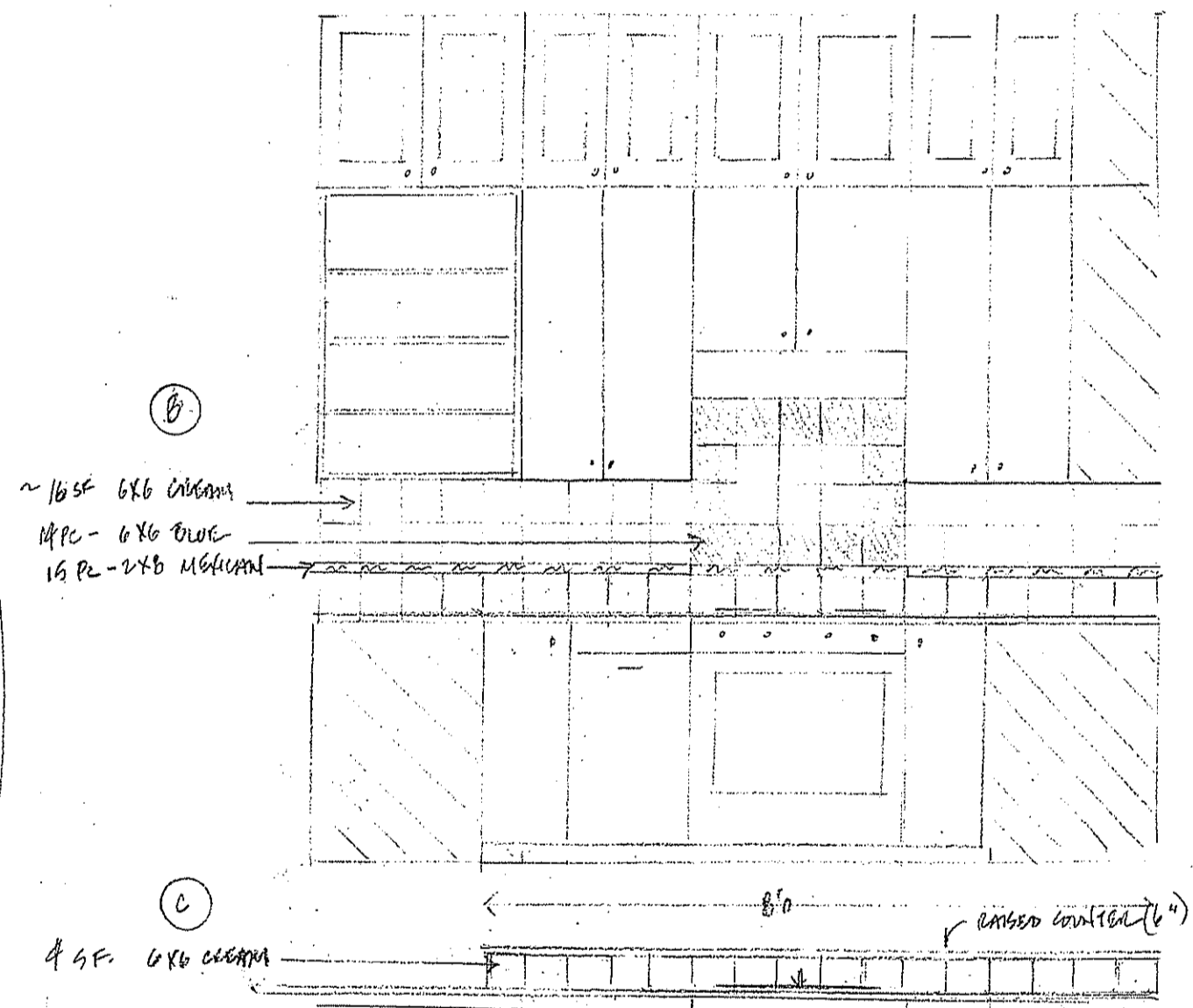
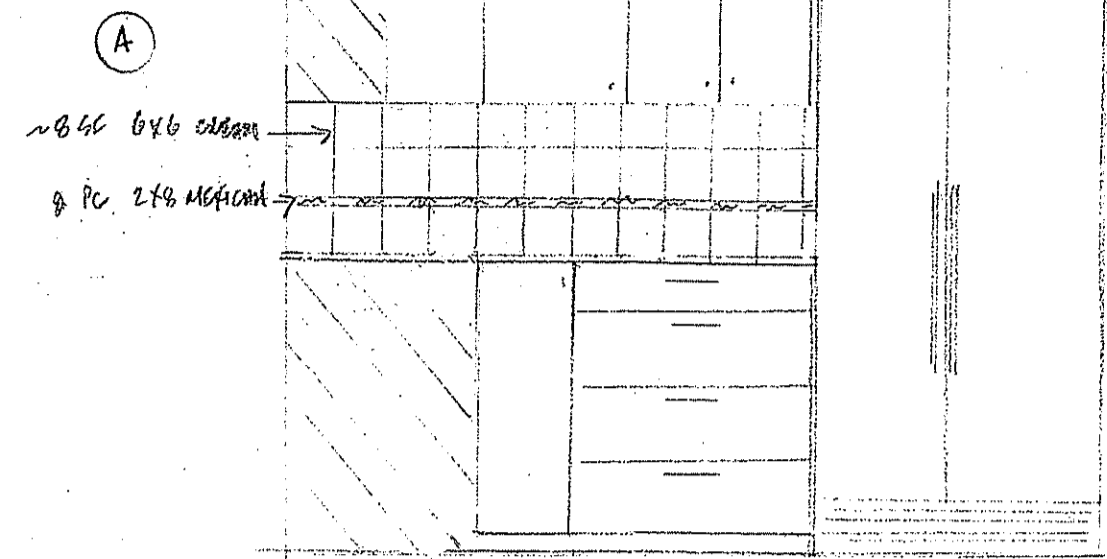
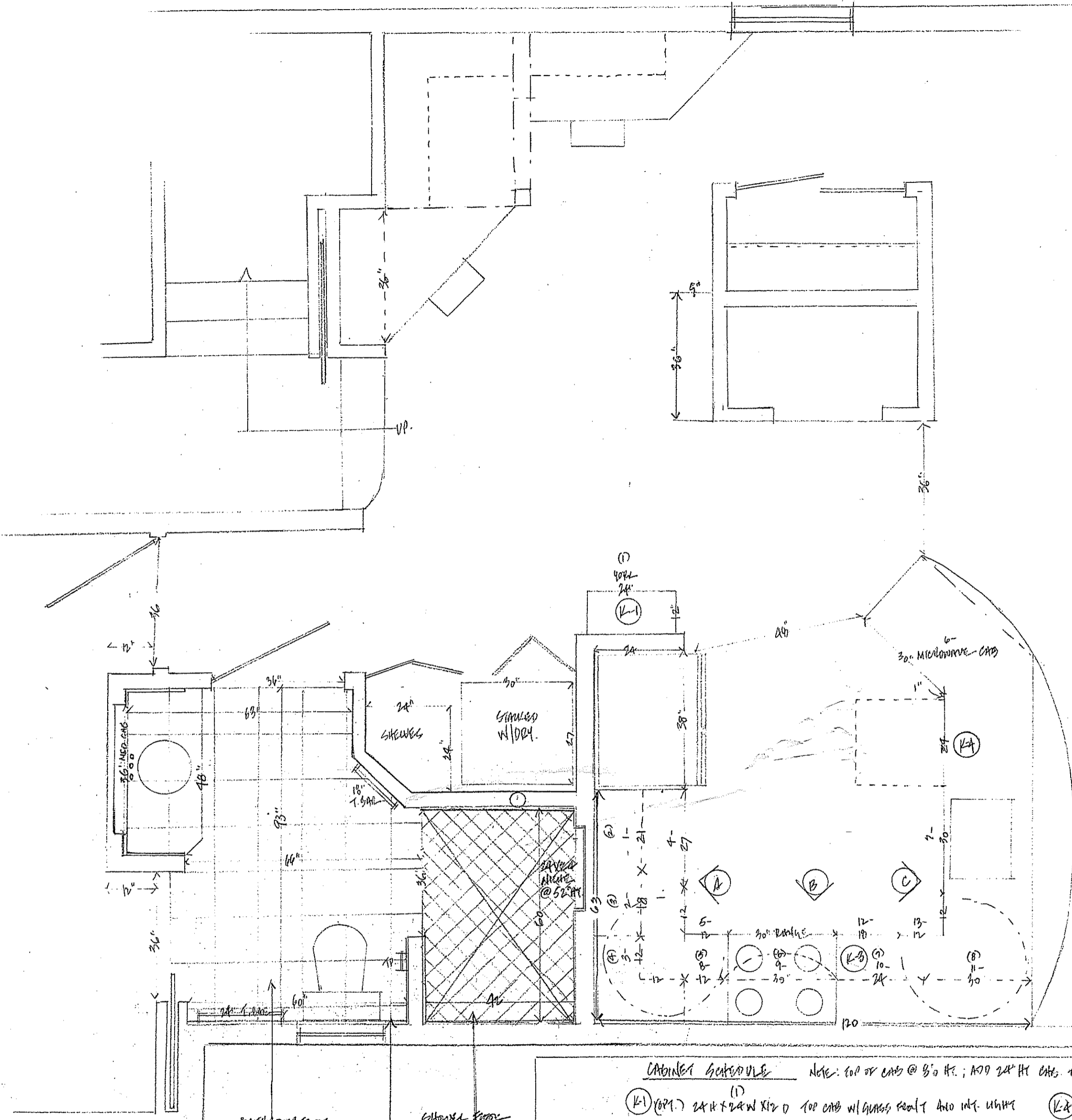
DATE: 3/12/08
 PLAN: INTERIOR ELEVATIONS
 FLOOR: 1ST FLOOR
 SCALE: 1/4" = 1'0"

Lot 30
 P.L. & T.C.O.
 Block 76
 Plat No. 653

KOHN
 7391 Buffalo Avenue
 Takoma Park, MD 20912

CABINET SCHEDULE & TILE LAYOUT

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T.P.L. & T.C.O.
 Block 76
 Plat No. 633

KOHN
 7391 Buffalo Avenue
 Potomac Park, MD 20912

OWNER'S TILE -
 92 SF 12x12 GLAZE
 13 SF 12x12 MOTTLED GRANT
 AND 100 SF NEW MOTTLED GRANT
 ~ 115 SF 12x12 SHOWER SUBMITTALS
 TO 8'0" HT.

73 PC 4x4 GLAZE ~ 24 LINEAR FT.
 SURROUND SHOWER NICHE
 AND INSTALL BAND ROUNDED
 SHOWER @ 42" HT.
 TO LINE UP WITH
 42" HT. WAINSCOT.

BATHROOM WALL
 ~50 SF 12x12 GLAZE
 SHOWER FLOOR
 WITH 6x6 GLAZE
 ON DIAGONAL
 (CUT 12x12 TO FIT)
 42" HT. WAINSCOT WITH NICHE
 ~ 20 SF 12x12

CABINET SCHEDULE

NOTE: TOP OF CAB @ 8'0" HT.; ADD 24" HT. CAB. TO 10'0" HT. (OPTIONAL)

- (K1) (OP) 24" x 24" x 12" D TOP CAB W/ GLASS FRONT AND INT. WHITE
- (K2) (OP) 24" x 24" x 12" D - 24" x 18" x 12" - 24" x 24" counter
- (K3) (OP) 24" x 12" x 12" - 24" x 30" w - 24" x 24" - 24" x 30" w
- (K4) (OP) 24" x 24" x 12" D
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- (K100) (OP) 24" x 24" x 12" D

REVISED 5/12/2008

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DATE: 5/12/2008
 PLAN: K1-K100
 FLOOR: 1ST FLOOR
 SCALE: 1/4" = 1'0"