

61 Walnut Ave, TP 37103-0411



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: June 28, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Tania Georgiou Tully, Senior Planner
Historic Preservation

SUBJECT: Historic Area Work Permit # 346795 for tree removal.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Nicholas Hill and Elizabeth Keyes

Address: 61 Walnut Avenue, Takoma Park Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

RECEIVED

MAY 20 2004

APPLICATION FOR HISTORIC AREA WORK PERMIT

DIV. OF CASE WORK MGMT.

Contact Person: NICHOLAS HILL

Daytime Phone No.: 240.463.7116

Tax Account No.: 13-025-01059328

Name of Property Owner: NICHOLAS HILL/ELIZABETH KEYES Daytime Phone No.: 240.463.7116

Address: 61 WALNUT AVENUE TAKOMA PARK MD 20912
Street Number City Street Zip Code

Contractor: THE DAILY GRINDER Phone No.: 202 728.3875

Contractor Registration No.: LTE # : 571

Agent for Owner: - Daytime Phone No.: -

LOCATION OF BUILDING/PREMISE

House Number: 61 Street: WALNUT AVENUE

Town/City: TAKOMA PARK Nearest Cross Street: EASTERN AVENUE

Lot: 22 Block: 17 Subdivision: PINECREST

Liber: 7778 Folio: 843 Parcel: -

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Well (complete Section 4)
- Other: TREE REMOVAL

1B. Construction cost estimate: \$ -

1C. If this is a revision of a previously approved active permit, see Permit # -

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: -

2B. Type of water supply: 01 WSSC 02 Well 03 Other: -

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height - feet - inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Mill
Signature of owner or authorized agent

19 MAY 2004
Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: - Signature: Julia O'Malley Date: 6/23/04
Application/Permit No.: 346795 Date Filed: 5/19/04 Insured: EMC

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

WE PROPOSE TO REMOVE 3 LEYLAND CYPRESS TREES
FROM OUR BACK YARD. THESE TREES - WHICH WERE PLANTED BY
MISTAKE BY THE PREVIOUS OWNERS - ARE LEANING
DANGEROUSLY AND ARE AT RISK OF FALLING. WE HAVE
SIGNED A PLEDGE FORM - ISSUED BY TAKOMA PARK - THAT
COMMITTS US TO REPLACING THE TREES WITHIN
SIX MONTHS. WE PLAN TO PLANT THE REPLACEMENTS THIS
FALL.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE TREES ARE NOT VISIBLE FROM THE STREET
AND REMOVING THEM SHOULD HAVE NO IMPACT ON
THE HISTORIC DISTRICT.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings; and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Required Documents List

May 19, 2004

1. Written Description

Included on the application form.

2. Site Plan

Attached.

3. Plans/Elevations

~~Not applicable.~~

4. Material Specifications

Two *Carpinus Betulus* 'Fastigiata' trees to replace the Leyland Cypress trees that we propose to remove. The common name of the *Carpinus Betulus* tree is European Hornbeam.

5. Photographs

Attached. The photographs show the tree that is furthest from the back of the house; the other two trees are directly in line behind it. The picture that shows the top of the tree shows the lean of the tree.

6. Tree Survey

We propose removing three Leyland cypress trees that were planted by the previous owners. These trees are leaning dangerously and, had they not been lashed to the fence, likely would have fallen over already (indeed, they were tied to the fence after one of them did fall over). The trees are located at the back right of the house and have the following diameters at breast height (dbh): 7 inches, 6 inches, and 5.5 inches.

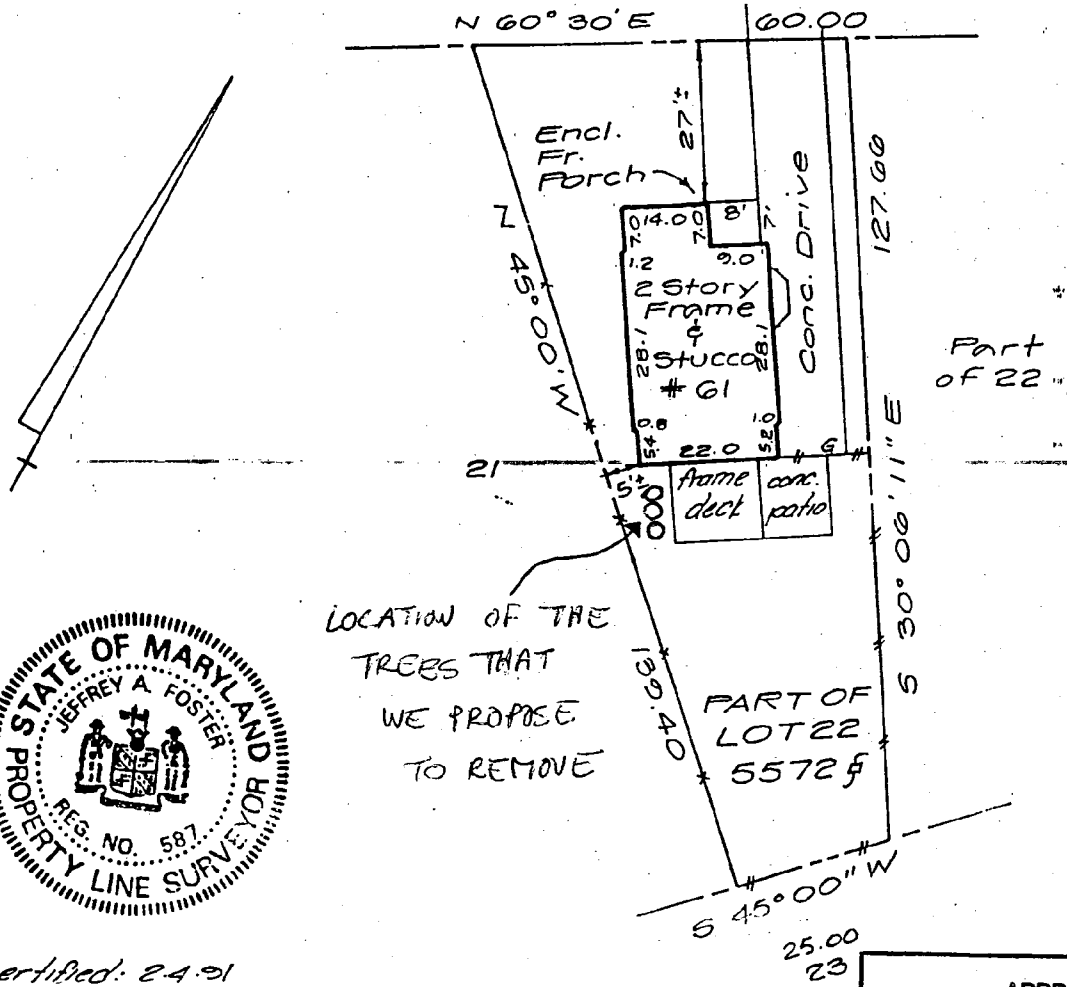
7. Address of Adjacent and Confronting Property Owners

Attached.

NOTE: This location for title purposes only - not to be used for determining property lines. Property corner Markers Not guaranteed by this location.

NOTE: No PROPERTY CORNERS FOUND; LINES SHOWN EVIDENCED BY APPARENT OCCUPATION.

WALNUT AVENUE
(ASH AVENUE)



LOCATION OF THE TREES THAT WE PROPOSE TO REMOVE


Recertified: 2-4-91

Location of House
Part of LOT 22 BLOCK 17

PINE CREST
Montgomery County, Md.

APPROVED
Montgomery County
Historic Preservation Commission
James G. Kelly 6/25/04

HUD Panel Map Not Available for this Area.

SURVEYOR'S CERTIFICATE "I HEREBY CERTIFY THAT THIS INSPECTION WAS PERFORMED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR REGISTERED SURVEYORS IN THE STATE AS ADOPTED BY THE MARYLAND SOCIETY OF SURVEYORS." <i>Jeffrey A. Foster</i> PLS 587	REFERENCES PLAT BK. 2 PLAT NO. 145	 SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Dr., Suite 216 Gaithersburg, MD 20879 (301) 948-5100
	LIBER 7778 FOLIO 843	
		SCALE: 1" = 30' DRAWN BY: RB JOB NO. 87-2772

Left msg ✓
Brett Link letter
6/7/04
OK ✓



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

RECEIVED

MAY 28 2004

APPLICATION FOR HISTORIC AREA WORK PERMIT DIV. OF CASE WORK MGMT.

Contact Person: NICHOLAS HILL
Daytime Phone No.: 240.463.7116

Tax Account No.: 13-025-01059328

Name of Property Owner: NICHOLAS HILL/ELIZABETH KEYES Daytime Phone No.: 240.463.7116

Address: 61 WALNUT AVENUE TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: THE DAILY GRINDER Phone No.: 202 728.3875

Contractor Registration No.: LTE # : 571

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 61 Street: WALNUT AVENUE

Town/City: TAKOMA PARK Nearest Cross Street: EASTERN AVENUE

Lot: 22 Block: 17 Subdivision: PINECREST

Liber: 7778 Folio: 843 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|---|--|--|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input checked="" type="checkbox"/> Other: <u>TREE REMOVAL</u> | | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

N Hill
Signature of owner or authorized agent

19 MAY 2004
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 346795 Date Filed: 6-3-04 Date Issued: _____
EMC

SEE REVERSE SIDE FOR INSTRUCTIONS

Required Documents List

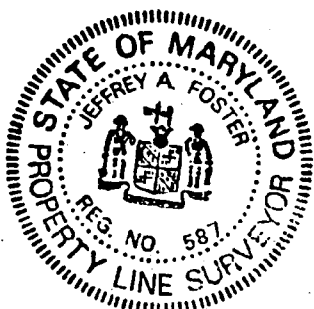
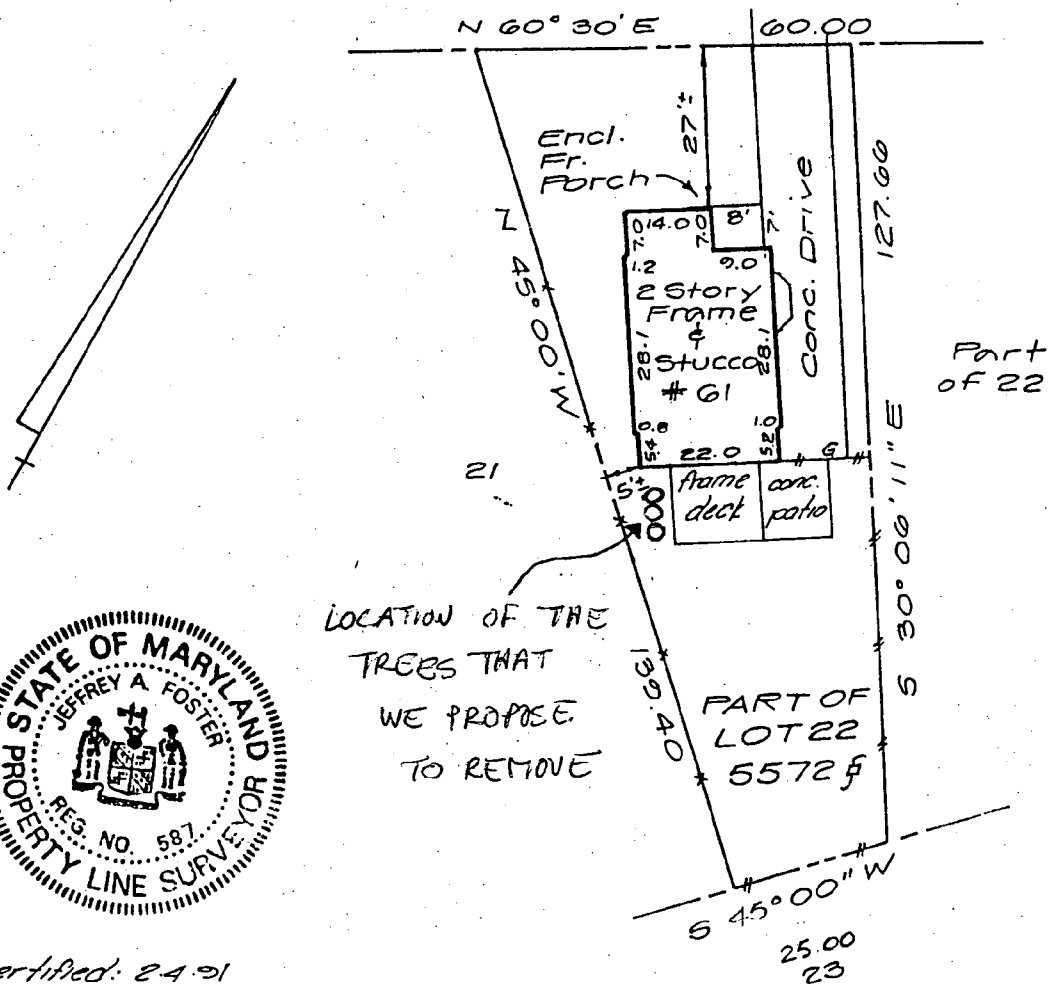
May 19, 2004

1. Written Description
Included on the application form.
2. Site Plan
Attached.
3. Plans/Elevations
Not applicable.
4. Material Specifications
Two *Carpinus Betulus* 'Fastigiata' trees to replace the Leyland Cypress tress that we propose to remove. The common name of the *Carpinus Betulus* tree is European Hornbeam.
5. Photographs
Attached. The photographs show the tree that is furthest from the back of the house; the other two tress are directly in line behind it. The picture that shows the top of the tree shows the lean of the tree.
6. Tree Survey
We propose removing three Leyland cypress trees that were planted by the previous owners. These trees are leaning dangerously and, had they not been lashed to the fence, likely would have fallen over already (indeed, they were tied to the fence after one of them did fall over). The tree are located at the back right of the house and have the following diameters are breast height (dbh): 7 inches, 6 inches, and 5.5 inches.
7. Address of Adjacent and Confronting Property Owners
Attached.

NOTE: This location for title purposes only - not to be used for determining property lines. Property corner Markers Not guaranteed by this location.

NOTE: No PROPERTY CORNERS FOUND; LINES SHOWN EVIDENCED BY APPARENT OCCUPATION.

WALNUT AVENUE (ASH AVENUE)



Recertified: 2-4-91

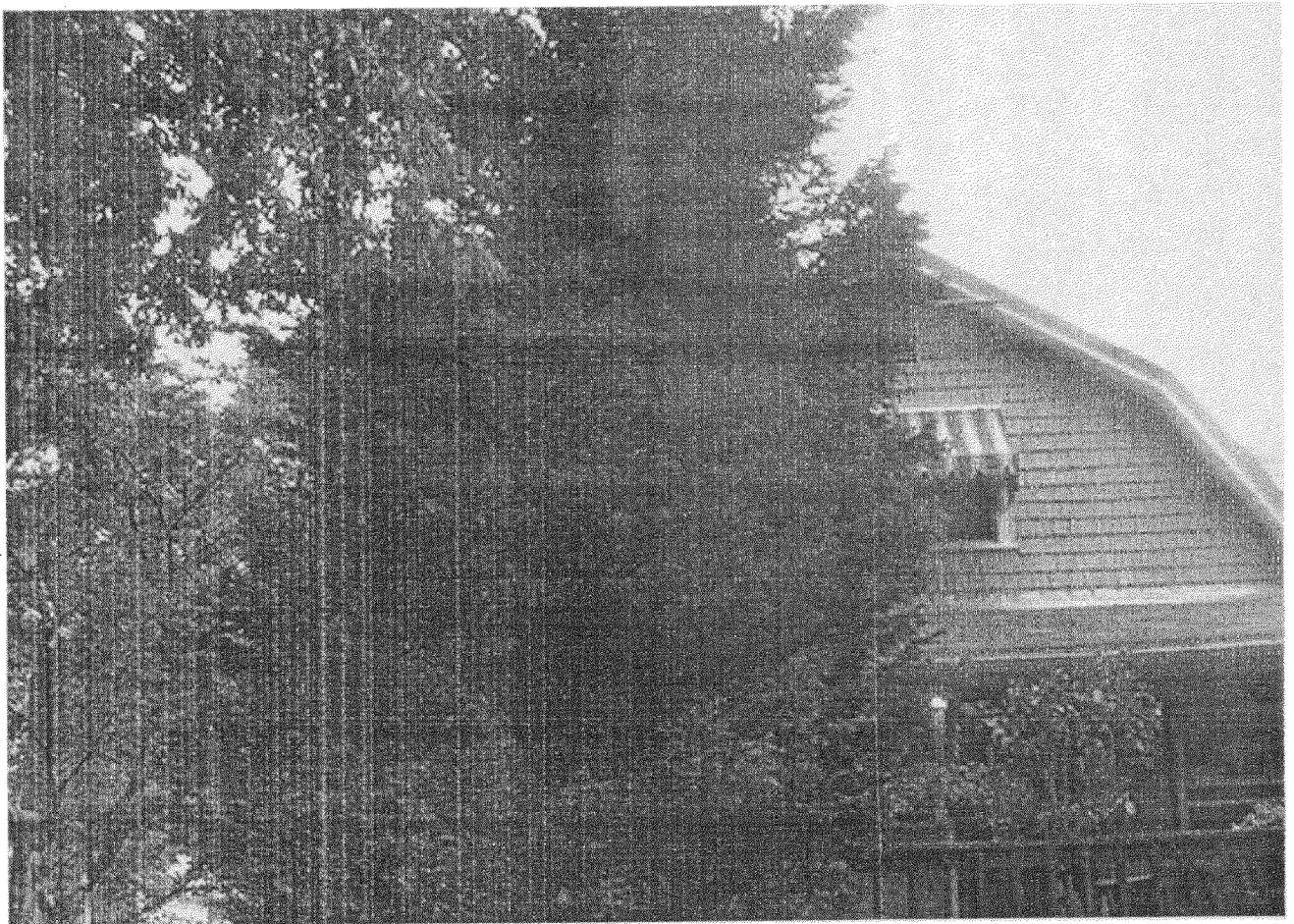
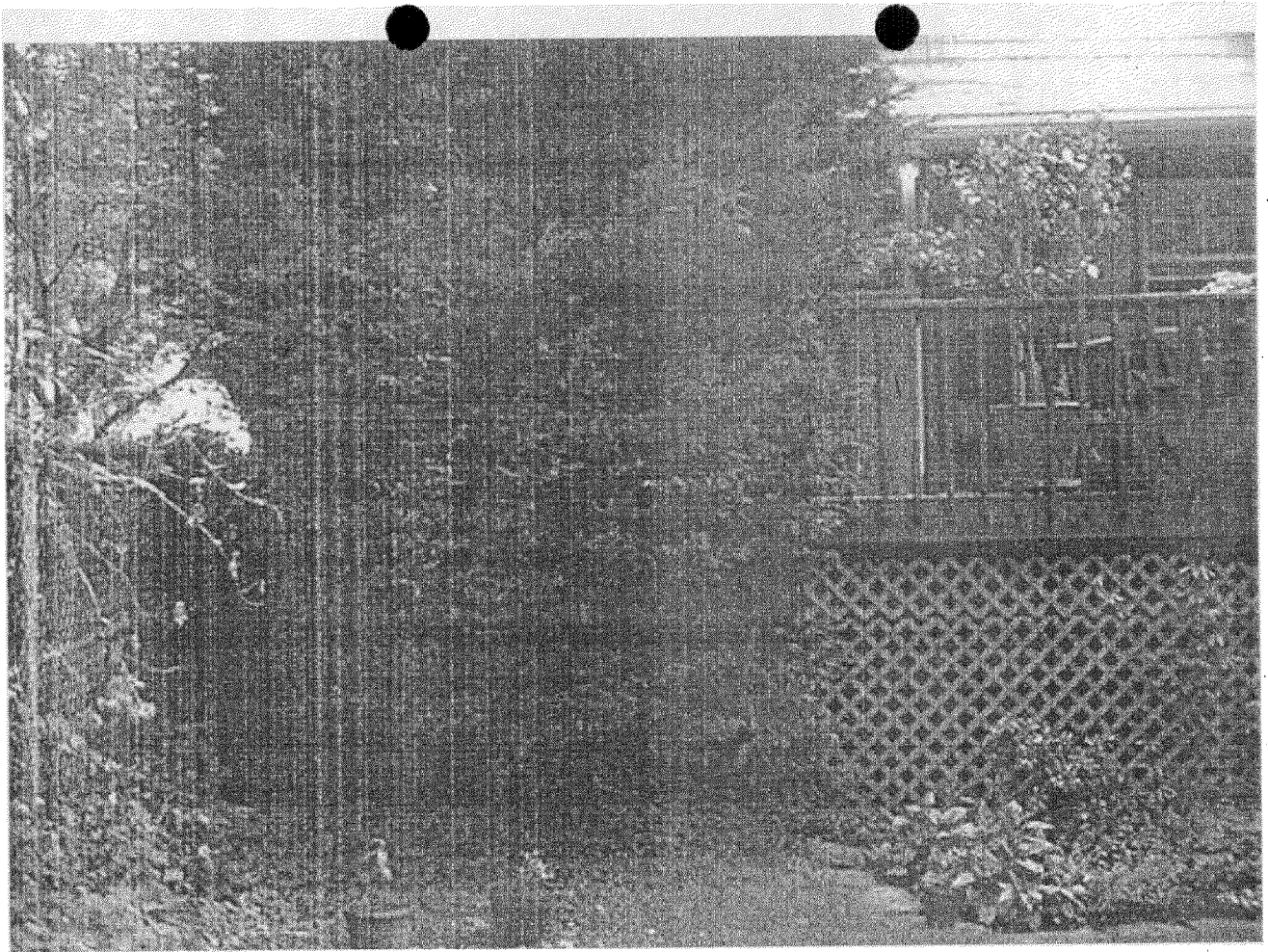
Location of House
Part of LOT 22 BLOCK 17

PINE CREST

Montgomery County, Md.

HUD Panel Map Not Available for this Area.

SURVEYOR'S CERTIFICATE "I HEREBY CERTIFY THAT THIS INSPECTION WAS PERFORMED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR REGISTERED SURVEYORS IN THE STATE AS ADOPTED BY THE MARYLAND SOCIETY OF SURVEYORS." <i>Jeffrey A. Foster</i> PLS REGISTERED SURVEYOR MARYLAND NO 587	REFERENCES PLAT BK. 2 PLAT NO. 145		SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Dr., Suite 216 Calithersburg, MD 20819 (301) 948-5100
	LIBER 7778 FOLIO 843		DATE OF LOCATIONS WALL CHECK: HSE. LOC.: 6-24-87 BOUNDARY:



HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

NICHOLAS HILL
61 WALNUT AVENUE
TAROMA PARK, MD 20912

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

LARRY ZARKER
59 WALNUT AVENUE
TAROMA PARK, MD 20912

ANNA KARION + PAUL OHM
65 WALNUT AVENUE
TAROMA PARK, MD 20912

ANN-MARIE GEMMILL + MITCHELL RATNER
6614 WESTMORELAND AVENUE
TAROMA PARK, MD 20912

HEATHER MCCLURE
66 WALNUT AVENUE
TAROMA PARK, MD 20912

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	61 Walnut Avenue	Meeting Date:	06/23/04
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	06/16/04
Review:	HAWP	Public Notice:	06/09/04
Case Number:	37/03-04FF	Tax Credit:	None
Applicant:	Nicholas Hill and Elizabeth Keyes	Staff:	Tania Tully
Proposal:	Tree Removal		
Recommendation:	Approval		

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Dutch Colonial
DATE: c.1920s

PROPOSAL:

The applicant is proposing to remove three Leland Cypress trees from the rear yard and replace them with two European Hornbeam tree.

APPLICABLE GUIDELINES***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is necessary in order that unsafe conditions or health hazards be remedied.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such

plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

STAFF DISCUSSION

The 3 trees proposed for removal are leaning dangerously towards the house. Currently they are tied to the adjacent fence to prevent toppling. The applicant has an official agreement with Takoma Park requiring that the trees be replaced within 6 months. The Takoma Park arborist has stated that it is common for Leland Cypress trees to fall without warning and that the proposed replacements are better trees. In addition, these trees are not visible from the street.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district.

The proposal is necessary in order that unsafe conditions or health hazards be remedied.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

RECEIVED

MAY 26 2004

APPLICATION FOR HISTORIC AREA WORK PERMIT

DIV. OF CASE WORK MGMT.

Contact Person: NICHOLAS HILL

Daytime Phone No.: 240.463.7116

Tax Account No.: 13-025-01059328

Name of Property Owner: NICHOLAS HILL/ELIZABETH KEYES Daytime Phone No.: 240.463.7116

Address: 61 WALNUT AVENUE TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: THE DAILY GRINDER Phone No.: 202.728.3875

Contractor Registration No.: LTE # : 571

Agent for Owner: - Daytime Phone No.: -

LOCATION OF BUILDING/PREMISE

House Number: 61 Street: WALNUT AVENUE

Town/City: TAKOMA PARK Nearest Cross Street: EASTERN AVENUE

Lot: 22 Block: 17 Subdivision: PINECREST

Liber: 7778 Folio: 843 Parcel: -

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Well (complete Section 4)
- Other: TREE REMOVAL

1B. Construction cost estimate: \$ -

1C. If this is a revision of a previously approved active permit, see Permit # -

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: -

2B. Type of water supply: 01 WSSC 02 Well 03 Other: -

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height - feet - inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

N Hill
Signature of owner or authorized agent

19 MAY 2004
Date

Approved: - For Chairperson, Historic Preservation Commission

Disapproved: - Signature: - Date: -

Application/Permit No.: 346795 Date Filed: 6-3-04 Date Issued: -
Emc

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

WE PROPOSE TO REMOVE 3 LEYLAND CYPRESS TREES
FROM OUR BACK YARD. THESE TREES - WHICH WERE PLANTED BY
MISTAKE BY THE PREVIOUS OWNERS - ARE LEANING
DANGEROUSLY AND ARE AT RISK OF FALLING. WE HAVE
SIGNED A PLEDGE FORM - ISSUED BY TAKOMA PARK - THAT
COMMITTS US TO REPLACING THE TREES WITHIN
SIX MONTHS. WE PLAN TO PLANT THE REPLACEMENTS THIS
FALL.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE TREES ARE NOT VISIBLE FROM THE STREET
AND REMOVING THEM SHOULD HAVE NO IMPACT ON
THE HISTORIC DISTRICT.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dropline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

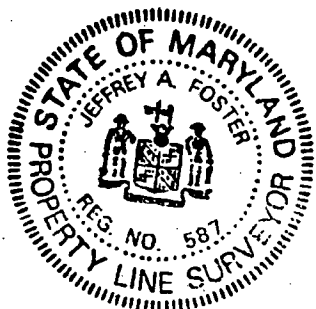
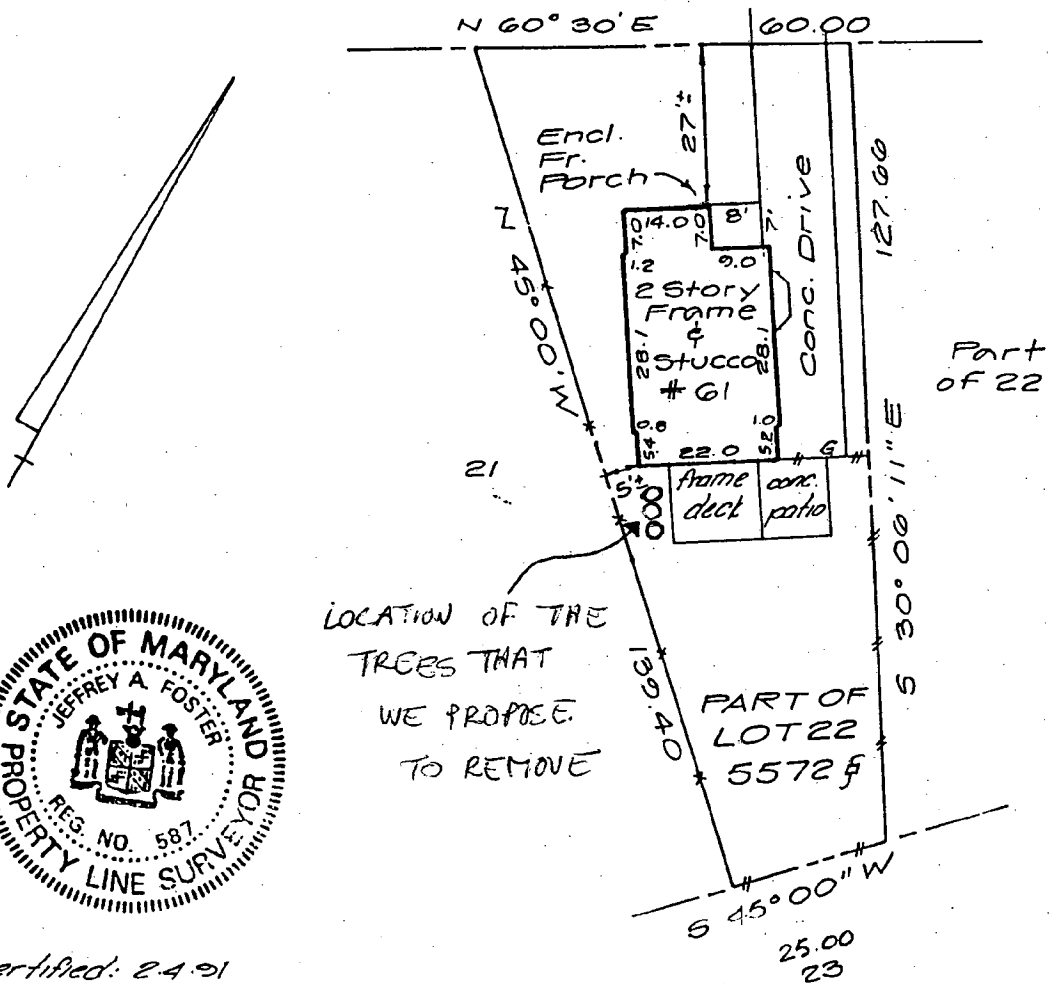
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

NOTE: This location for title purposes only - not to be used for determining property lines. Property corner Markers Not guaranteed by this location.

NOTE: NO PROPERTY CORNERS FOUND; LINES SHOWN EVIDENCED BY APPARENT OCCUPATION.

WALNUT AVENUE
(ASH AVENUE)




LOCATION OF THE TREES THAT WE PROPOSE TO REMOVE

Recertified: 2-4-91

Location of House
Part of LOT 22 BLOCK 17
PINE CREST
Montgomery County, Md.

HUD Panel Map Not Available for this Area.

SURVEYOR'S CERTIFICATE I HEREBY CERTIFY THAT THIS INSPECTION WAS PERFORMED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR REGISTERED SURVEYORS IN THE STATE AS ADOPTED BY THE MARYLAND SOCIETY OF SURVEYORS. <i>Jeffrey A. Foster</i> PLS REGISTERED SURVEYOR MARYLAND NO. 587	REFERENCES PLAT BK. 2 PLAT NO. 145	 SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Dr., Suite 216 Calhershurg, MD 20879 (301) 948-5100	(5)
	LIBER 7778 FOLIO 843		

Required Documents List

May 19, 2004

1. Written Description

Included on the application form.

2. Site Plan

Attached.

3. Plans/Elevations

Not applicable.

4. Material Specifications

Two *Carpinus Betulus* 'Fastigiata' trees to replace the Leyland Cypress tress that we propose to remove. The common name of the *Carpinus Betulus* tree is European Hornbeam.

5. Photographs

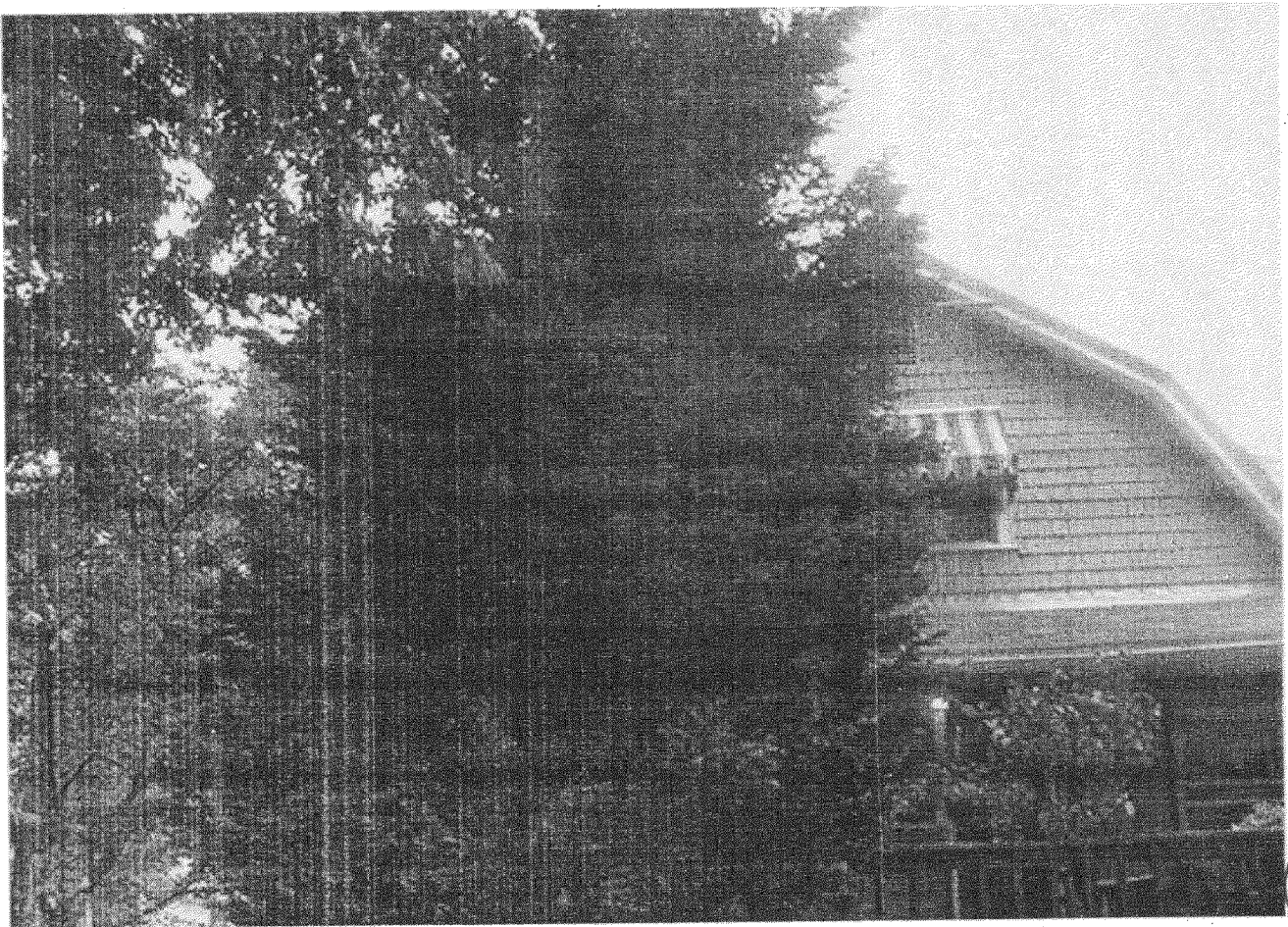
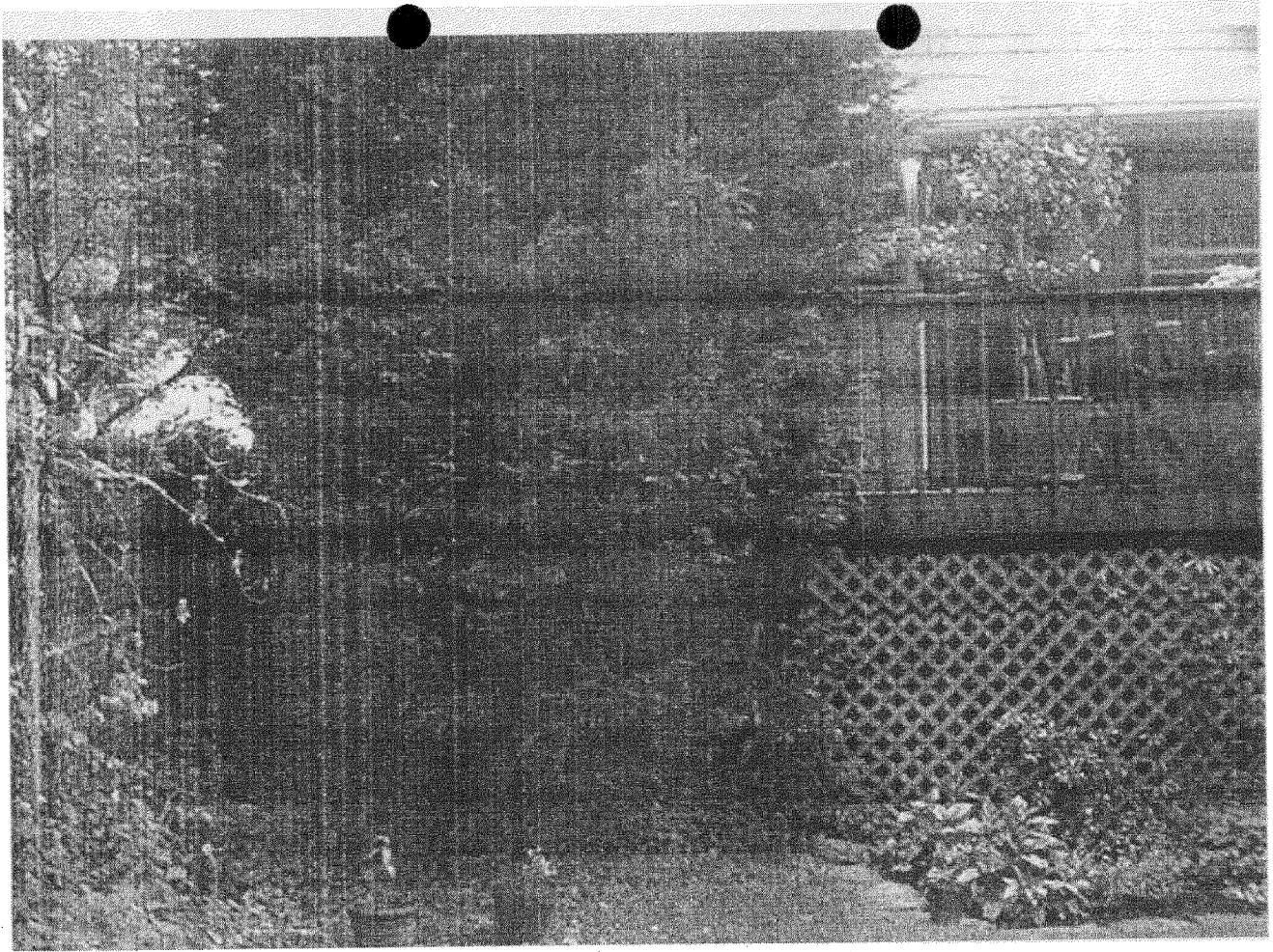
Attached. The photographs show the tree that is furthest from the back of the house; the other two tress are directly in line behind it. The picture that shows the top of the tree shows the lean of the tree.

6. Tree Survey

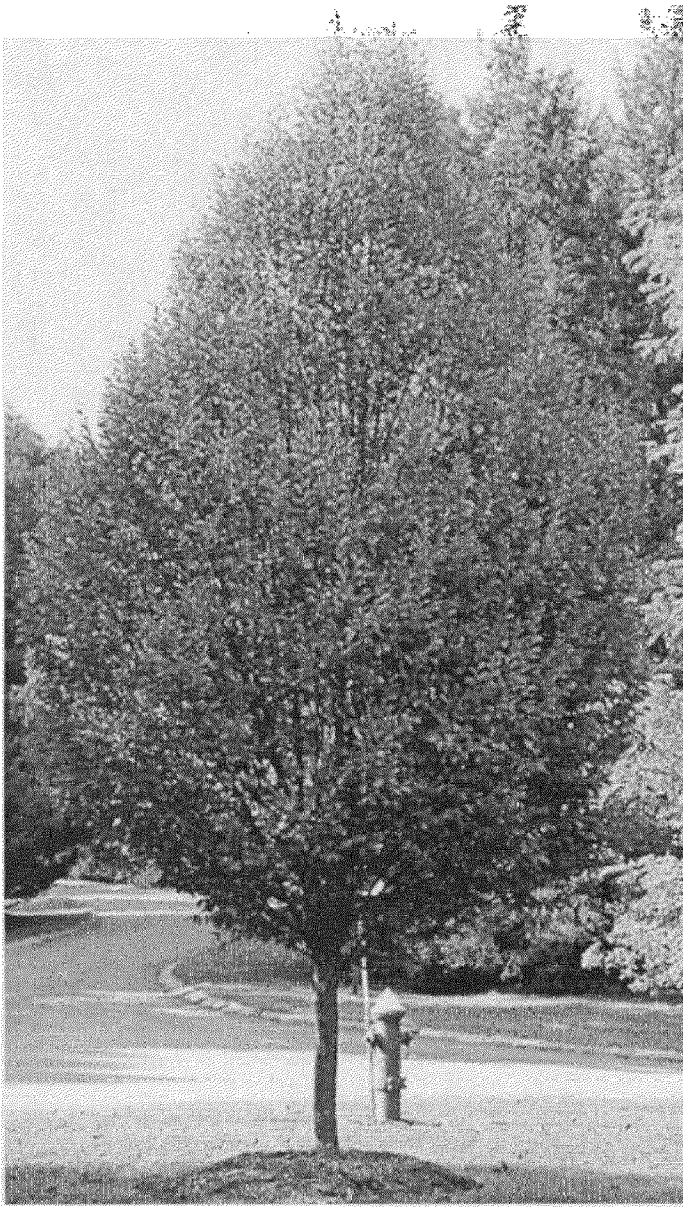
We propose removing three Leyland cypress trees that were planted by the previous owners. These trees are leaning dangerously and, had they not been lashed to the fence, likely would have fallen over already (indeed, they were tied to the fence after one of them did fall over). The tree are located at the back right of the house and have the following diameters are breast height (dbh): 7 inches, 6 inches, and 5.5 inches.

7. Address of Adjacent and Confronting Property Owners

Attached.



7



European Hornbeam

8

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
NICHOLAS HILL 61 WALNUT AVENUE TAKOMA PARK, MD 20912	
Adjacent and confronting Property Owners mailing addresses	
LARRY ZARKER 59 WALNUT AVENUE TAKOMA PARK, MD 20912	ANNA KARION + PAUL OHM 65 WALNUT AVENUE TAKOMA PARK, MD 20912
ANN-MARIE GEMMILL + MITCHELL RATNER 6614 WESTMORELAND AVENUE TAKOMA PARK, MD 20912	HEATHER MCCLORE 66 WALNUT AVENUE TAKOMA PARK, MD 20912