

37/03-0400 508 Tulip Ave
Takoma Park Historic District



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: September 21, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit #351209 – Two Story Rear Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Victoria Mattes

Address: 508 Tulip Avenue, Takoma Park Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
240777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

RECEIVED

JUL 08 2004

APPLICATION FOR HISTORIC AREA WORK PERMIT

DIV. OF CASE WORK MGMT.

Contact Person: Victoria Mattes
Daytime Phone No.: 202-720-9507

Tax Account No.: 01079703
Name of Property Owner: Victoria Mattes Daytime Phone No.: 202-720-9507
Address: 508 Tulip Ave Takoma Park Md. 20912
Street Number City Street Zip Code
Contractor: unknown yet Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 508 Street: Tulip Ave.
Town/City: Takoma Park Nearest Cross Street: Carroll
Lot: 73 Block: 7 Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Victoria Mattes
Signature of owner or authorized agent

July 3, 2004
Date

Approved: X 351209 For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 9/21/04

Application/Permit No.: 351209 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

House is @ 1911-1920, back porch area
had been enclosed long before historic zone
House is in residential portion of Takoma Park
although there is a commercial garage across the
street. House classified as "contributing"
All work is in the back of the house & cannot
be seen from the street

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

all work is in the back of the house, unseen from
the street. The piers are being replaced as the erosion
has caused them to be non-supporting. Due
to settlement windows are being replaced as there is about a
2" gap. ~~Some~~ windows are being modified to allow for
bathroom privacy & easy cleaning as ~~the~~ well beyond reach

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the crane of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MATTES RENOVATION

508 Tulip Avenue, Takoma Park, Maryland 20912
Project #0412

SPECIFICATIONS

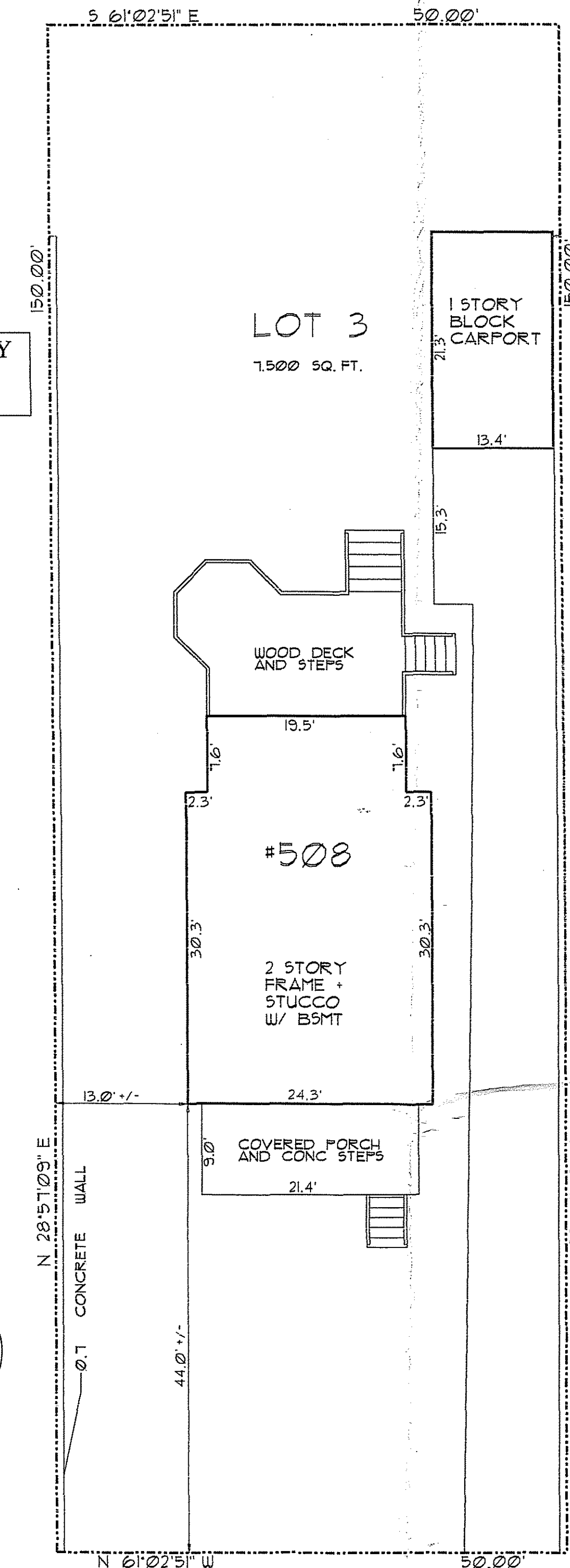
<p>1 General data Permits: Owner to obtain general building permit. Warranty: Contractor shall provide 1 year warranty. Protection: Provide protection as necessary for existing site to remain. Debris: Remove at regular intervals Site access: Via the existing front driveway Schedule: Start and finish dates to be specified</p> <p>2 Sitework Rough & Fine Grading: Slope grade for positive drainage away from building. Tree Removal: Maintain existing trees in rear yard. Utilities: Municipal water and sewer, electricity, gas, telephone and CATV shall be provided. All utilities exist on site.</p> <p>Hardscape: N/A Erosion Control: Provide measures as required by Montgomery County. Termite Treatment: Treat soil at perimeter and below new slabs and footings.</p> <p>3 Concrete Excavate and pour pier footings as necessary to replace existing at enclosed porch in accordance with ACI standards and recommendations.</p> <p>4 Masonry 12" Brick/CMU foundation piers.</p> <p>5 Metals Miscellaneous lintels and steel beams.</p> <p>6 Wood & Plastics 2x4 @ 16" O.C. stud walls for interior partitions. 2x10 @ 16" O.C. floor joists. Subfloors: 3/4" tongue and groove CDX plywood. Wall sheathing: 1/2" OSB. Interior trim: Paint grade pine, 7 1/4" base and 3 1/2" casings to match existing. Exterior trim: Paint grade finger joint trim, profile to match existing. Custom Millwork/Built-ins: Provide \$300 Allowance for Bathroom cabinets.</p> <p>7 Thermal & Moisture Prot. Roof: N/A Flashing: Aluminum Downspouts and Gutters: N/A Siding: MDO siding per elevations. Exterior walls/gables: Refinish/repair existing wood siding. 3-1/2" (R-13) Batt insulation at exterior walls. 10" (R-30) Batt insulation at floor. Tyvek or building felt over plywood sheathing. Dampproofing: spray on applied membrane dampproofing at new foundation/walls concealed below grade. Provide foundation drain to French drain/daylight to street side of site.</p> <p>Acoustical Separation Caulk: 30 year siliconized acrylic (paintable). Acoustical Insulation: install insulation at all bathroom walls.</p> <p>8 Doors and Windows Windows: Andersen, with interior and exterior mullions per drawings. Windows shall be wood with full screens. Exterior Doors: Andersen Atrium Doors in Porch Room with insulated Low E glazing with simulated divided lites with false 7/8" spacer bars as indicated in drawings. Interior doors: Match existing 2-panel interior door, stain finish Hardware: Interior door sets shall be Schlage, F series, Plymouth in bright brass. Pocket door shall have pocket door hardware kit in bright brass. Exterior Atrium door shall have lever style French door hardware by door manufacturer. Screen Doors: Provide pre-finished new wood screen doors at Atrium door from the same manufacturer.</p> <p>9 Finishes Drywall: 1/2" GWB throughout, glued and screwed. Provide Greenboard at bathroom location. Durock/Wonderboard shall be behind all tile finishes. Interior Paint: Benjamin Moore premium grade. Exterior Paint: Benjamin Moore or equivalent, premium grade on all new woodwork. Ceramic tile: First floor Bath: tile floor (\$10 per sq. ft. material allowance). Hardwood/Oak: New Porch Room floor (or Pine Floor, Add/Al). Bead board: Tongue & groove paint grade bead board wainscot in Bathroom.</p>	<p>10 Specialties Bath Accessories: Owner supplied, Contractor installed Medicine Cabinet Mirrors Towel Bars Toilet Paper Holder Grab bars - Provide wood blocking Closet: Closets shall be provided with chrome rod @60" AFF, one 12" deep plastic laminate shelf @63" AFF and a second shelf @78" AFF. Provide perimeter 1x3 cleats and intermediate shelf support as necessary for span. Coordinate layout with owner.</p> <p>15 Mechanical Plumbing Fixtures: Kohler Basic Prefabricated shower unit in new Bathroom. Toilet in new Bathroom, Toto Ultimate or equivalent. Corner Pedestal Sink in new Bathroom to be selected by Owner. Provide \$300 allowance. All faucets & fittings shall be bright brass, to be selected by Owner. Provide \$100 allowance.</p> <p>Plumbing: Contractor shall furnish and install complete domestic hot and cold copper water piping and PVC waste and vent system to new fixtures in accordance with all applicable codes, standards, and manufacturer's specifications. Water and waste lines to be tied into existing house system. Existing house waste to be modified as required by new construction. All piping shall be run in concealed spaces.</p> <p>Supply Piping: Hot and cold supply piping shall be type 'L' hard temper copper piping with wrought copper sweat fittings, 95-5 lead-free solder. Supply piping shall be insulated with min. 3/4" thick, continuous foam pipe jacket insulation. Shut-off valves shall be provided at all fixtures.</p> <p>HVAC: Existing gas boiler shall be retained. The existing system piping shall be modified as required for the renovated areas. Relocate existing radiator and provide base board radiators in new Bathroom.</p> <p>Exhaust: Provide Nutone exhaust fan in new bath.</p> <p>Electrical service: Existing panels and 150 amp service shall be examined. Lighting: Lighter quality surface and recessed fixtures. Contractor to provide allowance. Electrical power: Provide wall receptacles and switches (Leviton Decora style) in conformance with NEC and local code for spacing and GFCI protection. Smoke/Fire protection: Smoke detectors shall be installed in each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms and on each additional story of the dwelling, including basements and cellars. All detectors shall be hardwired with battery back-up and interconnected such that the actuation of one alarm will actuate all the alarms. All detectors shall be approved and listed and shall be installed in accordance with the manufacturer's instructions.</p> <p>16 Electrical Alarm and Special Systems Alarm: N/A</p>
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SITE PLAN

Scale: 1" = 10'

508 TULIP AVENUE
LOT 3 BLOCK 7
TAKOMA PARK,
MONTGOMERY COUNTY, MD

INTERIOR RENOVATION ONLY
W/EXTERIOR REPAIR AND
MAINTENANCE



SITE PLAN BASED ON
HOUSE LOCATION
SURVEY PREPARED BY
LIGHT, ELLIOT & ASSOCIATES, INC.
DATED 3-30-94

ABBREVIATIONS

EQ EQUAL	FLAM PLASTIC LAMINATE
EQX EXISTING TO REMAIN	FLYW PLYWOOD
EXIST EXISTING	PT PRESSURE TREATED
FF FINISHED FLOOR	PTD PAINTED
FIN FINISH	FR PAIR
FLR FLOOR	R RISER
GA GAUGE	REF REFRIGERATOR
GWB GYPSUM WALL BOARD	RO ROUGH OPENING
HOB HOSE BIB	ROD REQUIRED
HIC HOLLOW CORE	RM ROOM
HT HEIGHT	SC SOLID CORE
HDWR HARDWARE	SHT SHEET
JB JUNCTION BOX	SHWR SHOWER
LB LOAD BEARING WALL	SIM SIMILAR
LVL LAMINATED VENEER LUMBER	SKYL SKYLIGHT
MARB MARBLE	SPEC SPECIFICATION
MATL MATERIAL	SPRK SPRINKLER
MAX MAXIMUM	STBL STEEL
MDO MEDIUM DENSITY OVERLAY	TBD TO BE DETERMINED
MIN MINIMUM	T&G TONGUE & GROOVE
MANU MANUFACTURER	TOS TOP OF SLAB
MTL METAL	TYP TYPICAL
MEC MECHANICAL	UNO UNLESS NOTED OTHERWISE
NIC NOT IN CONTRACT	VIF VERIFY IN FIELD
NTS NOT TO SCALE	W WASH
O.C. ON CENTER	WC TOILET/WATER CLOSET
OH OPPOSITE HAND	WD WOOD
ELC ELECTRICAL	WO W/OUT
O.S.B. ORIENTED STRAND BOARD	WWM WELDED WIRE MESH

Architect:

Bennett Frank McCarthy Architects, Inc.
7003 Carroll Avenue
Takoma Park, Maryland 20912 301-270-9480

Consulting Engineers:

Structural Design Group, Ltd.
Structural Engineers
12 South Summit Avenue
Suite 110
Gaithersburg, MD 20877 301-987-9234

DRAWING LIST

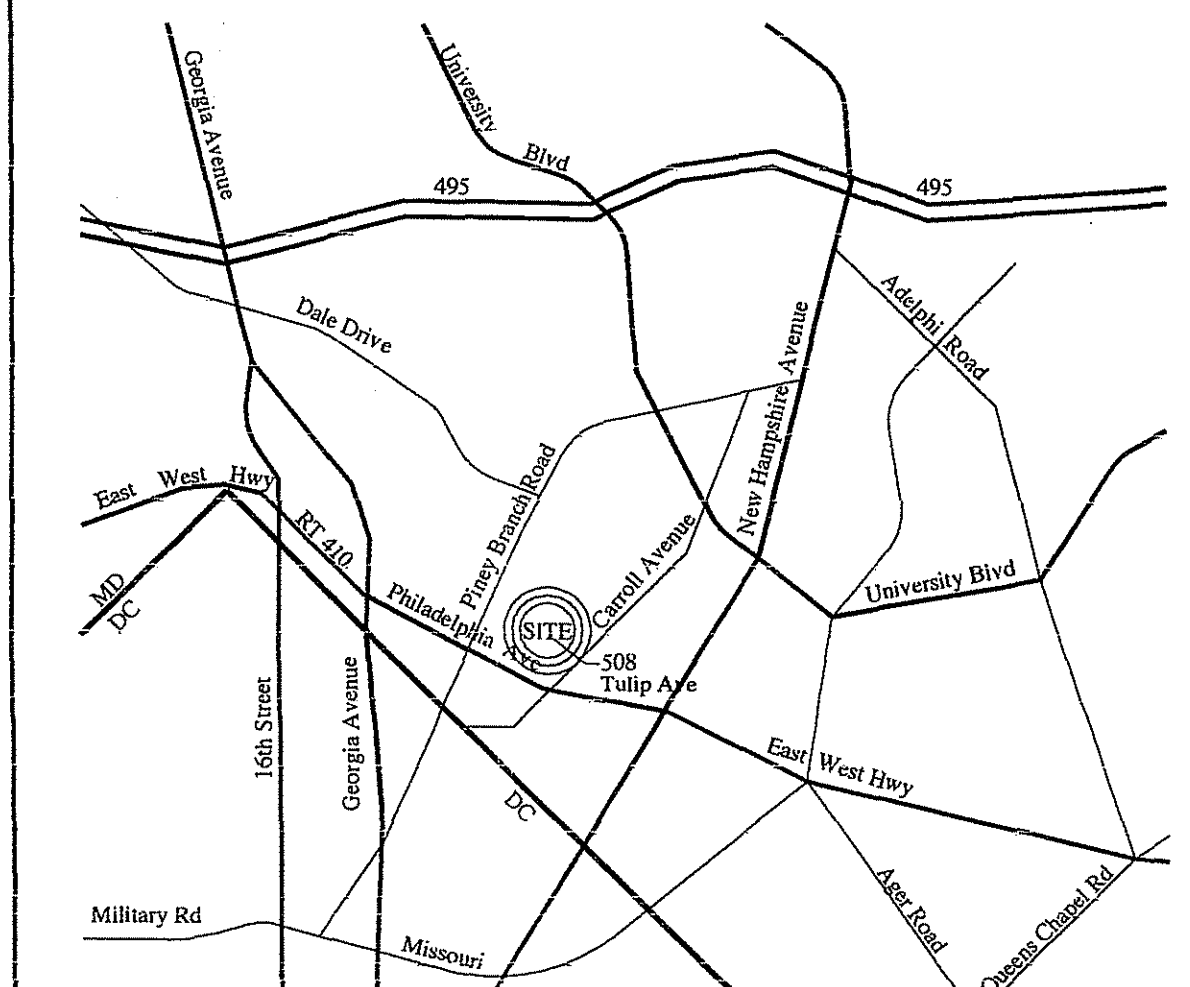
- CS COVER SHEET
- D-1 DEMOLITION FLOOR PLANS
- D-2 DEMOLITION ELEVATIONS
- A-1 FLOOR PLANS & SCHEDULES
- A-2 INTERIOR / EXTERIOR ELEVATIONS

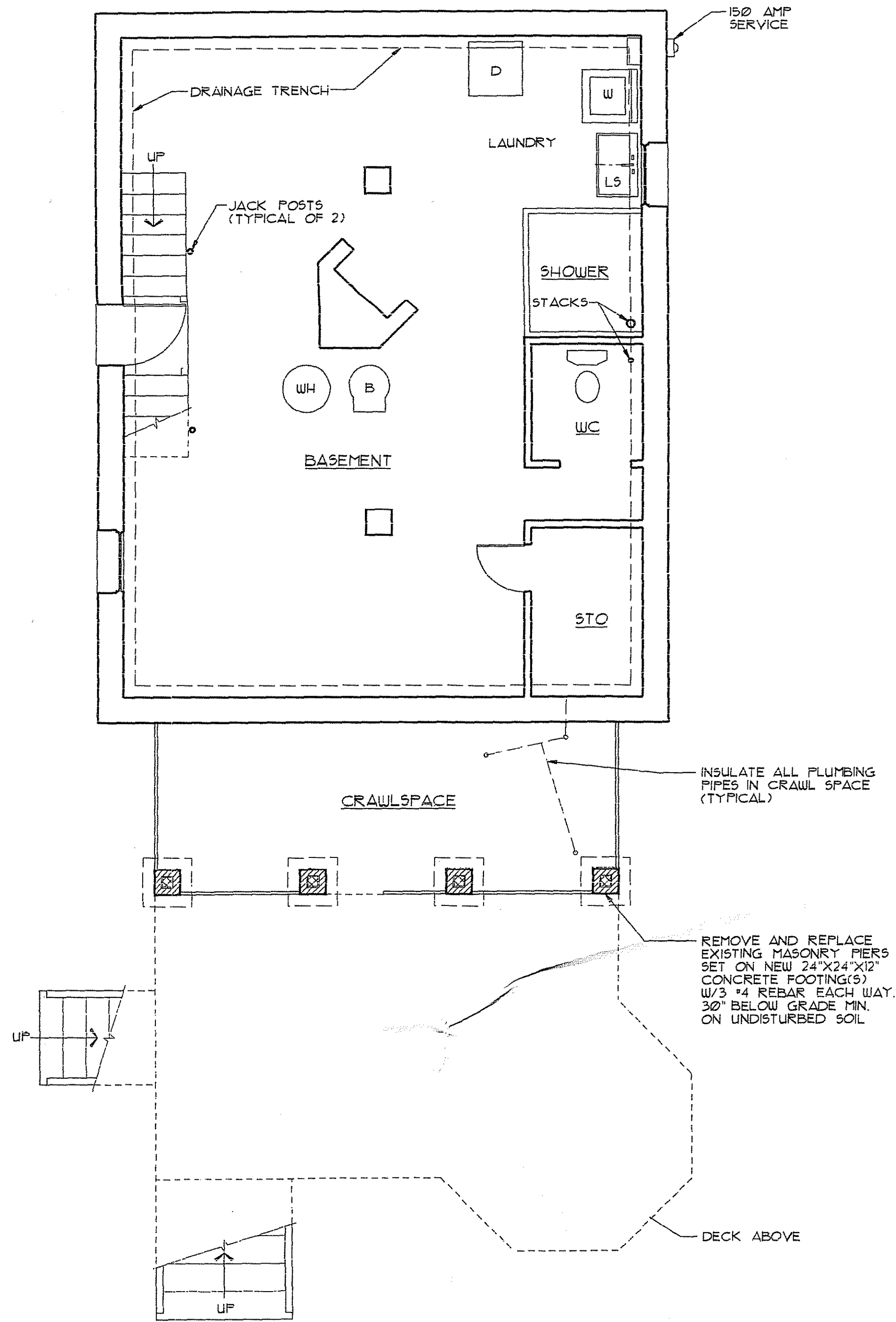
DATE

14 September 2004
Permit Set

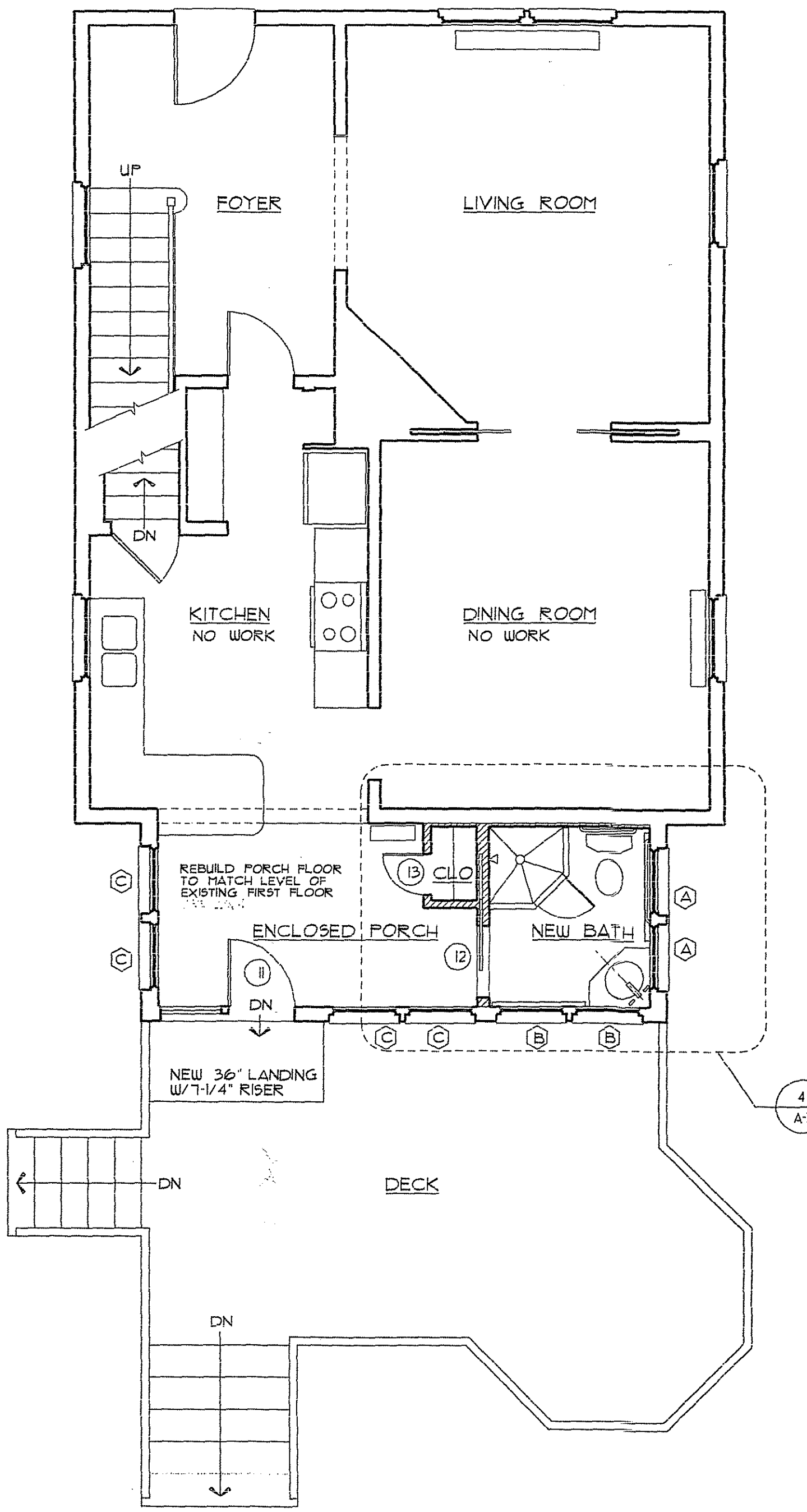


VICINITY MAP

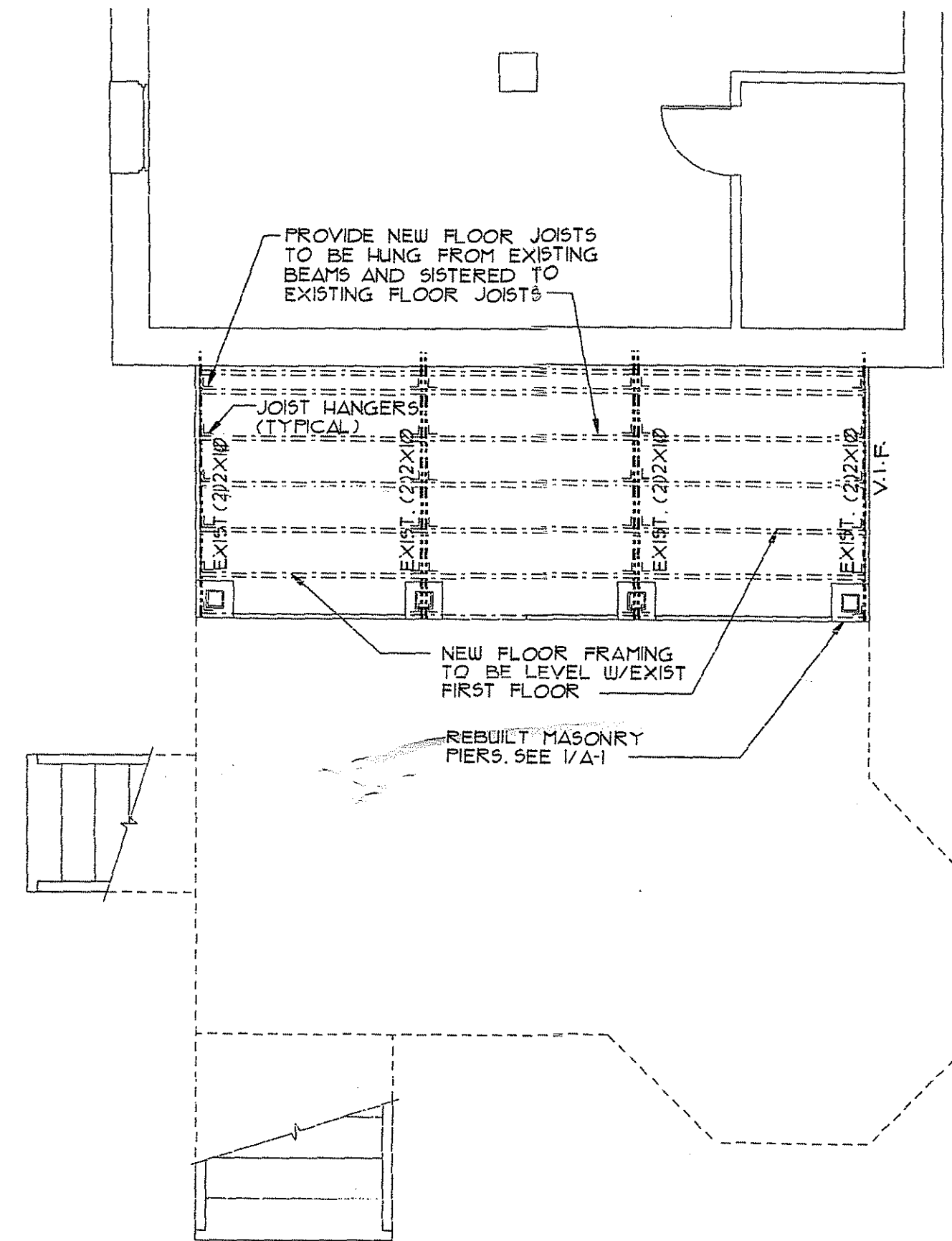




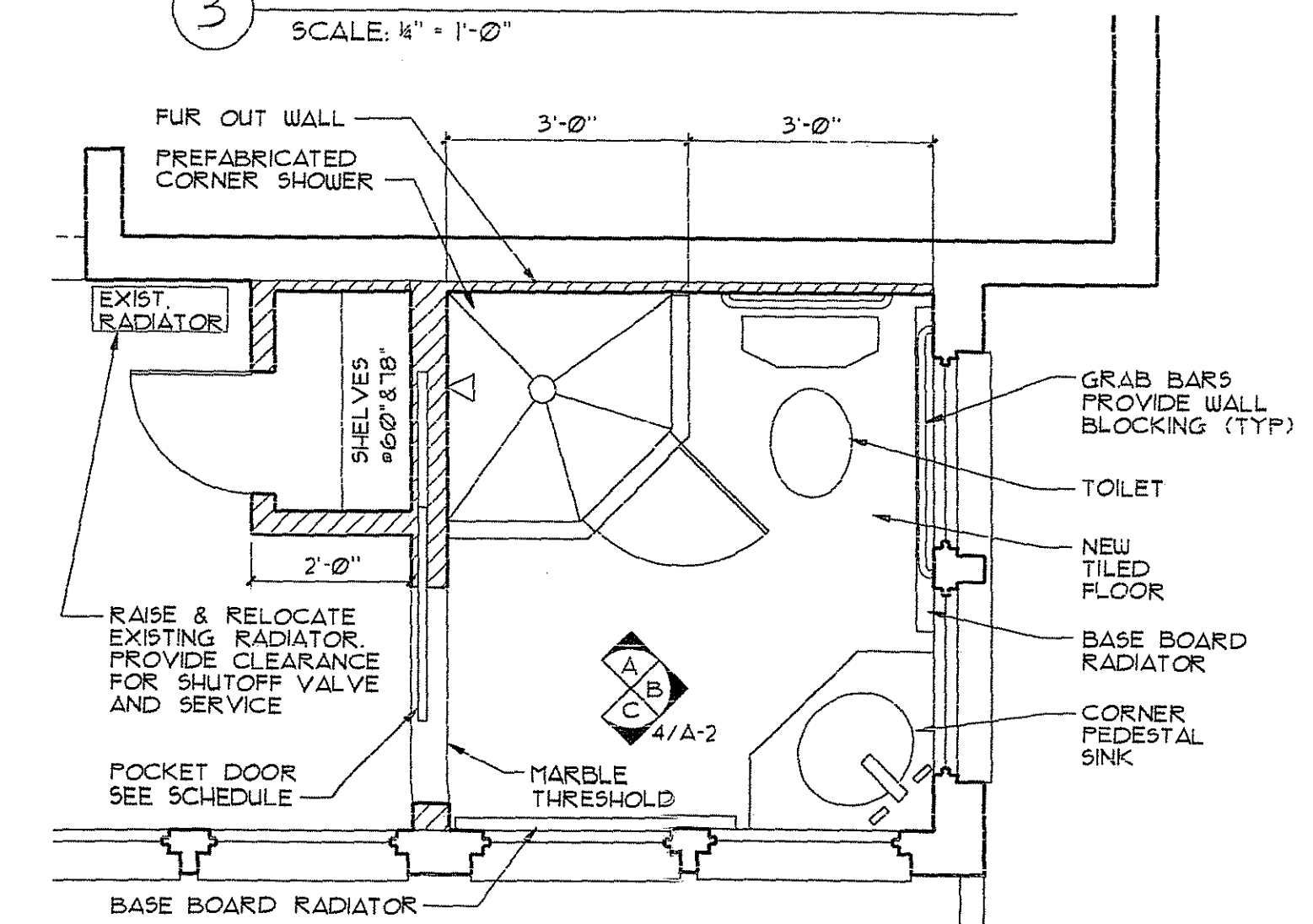
1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 FRAMING PLAN
SCALE: 1/4" = 1'-0"



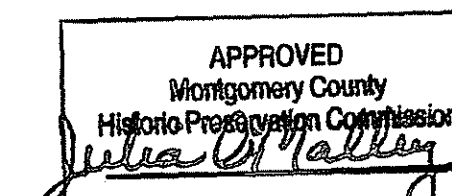
4 PROPOSED BATHROOM PLAN
SCALE: 1/2" = 1'-0"

DOOR SCHEDULE									
NO.	SIZE	MATERIAL		TYPE/STYLE	ANDERSEN MODEL NO.	HARDWARE	THICK.	NO.	REMARKS
		DR	FR						
11	5'-0" X 6'-8"	WD	WD	FRENCHWOOD HINGED PATIO	FWH50685AL	BRASS	1 3/4"	11	WHITE EXTERIOR / FWH2768 GRILLE
12	2'-8" X 6'-8"	WD	WD	POCKET - 2 PANEL		POCKET DOOR KIT W/ EDGE PULL	1 3/8"	12	
13	1'-6" X 6'-8"	WD	WD	2 - PANEL		PASSAGE SET	1 3/8"	13	

WINDOW SCHEDULE									
MARK	TYPE	ANDERSEN MODEL NO.	OPER.	EGRESS	UNIT SIZE (WIDTH & HT.)		GLAZING	REMARKS	MARK
					(WIDTH & HT.)	(WIDTH & HT.)			
A	TILT WINDOW	TW 2036	Y	N	2'-1 1/2" X 3'-8 3/8"	2'-2 1/4" X 3'-8 3/8"	LOW E	REPLACE EXISTING - V.I.F. OBSCURE LOWER SASH / 6/6 LITES	A
B	TRANSOM	DHT 2017	N	N	2'-1 1/2" X 1'-9 1/8"	2'-2 1/4" X 1'-9 1/8"	LOW E	REPLACE EXISTING - V.I.F. / UPPER SASH - SEE ELEV'S	B
C	TILT WINDOW	TW 2036	Y	N	2'-1 1/2" X 3'-8 3/8"	2'-2 1/4" X 3'-8 3/8"	LOW E	REPLACE EXISTING - V.I.F. / 6/6 LITES	C

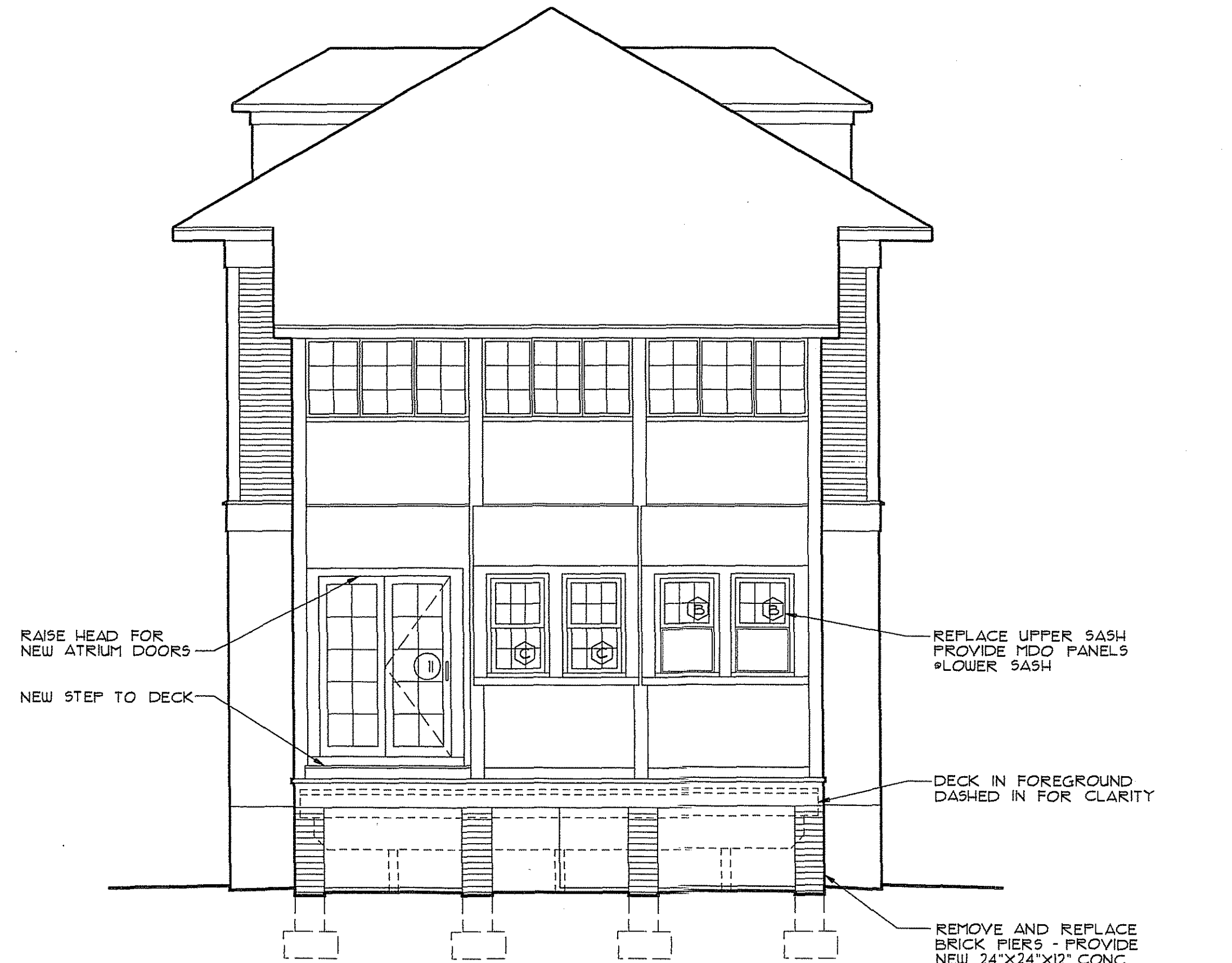
ABBREVIATIONS:

X: FIXED WINDOW
O: OPERABLE WINDOW

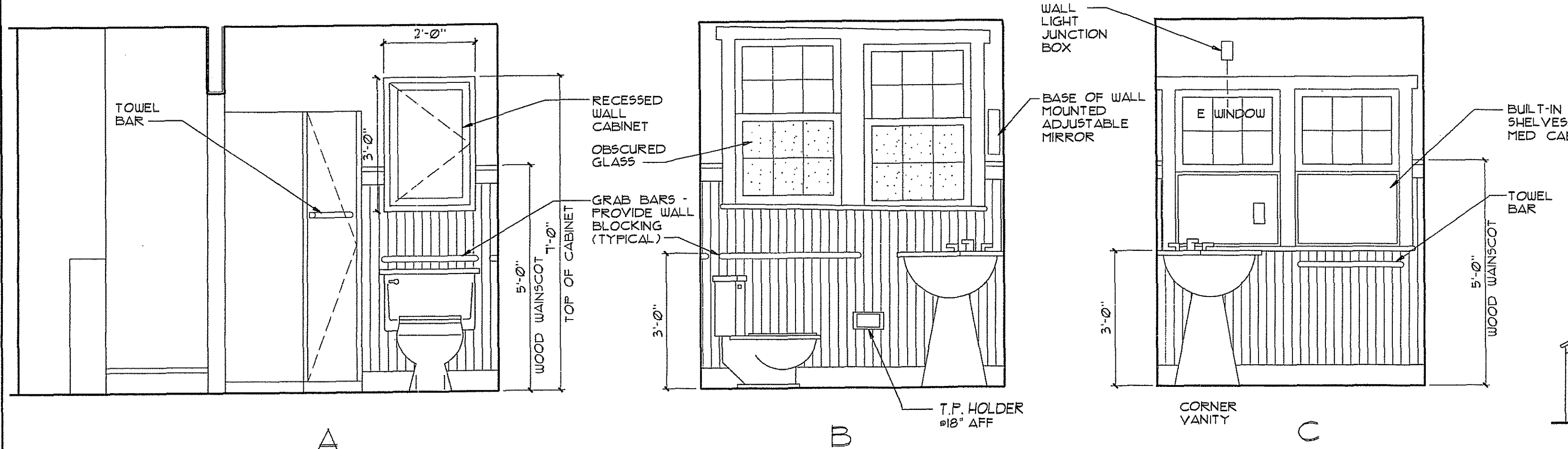




1 PROPOSED SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

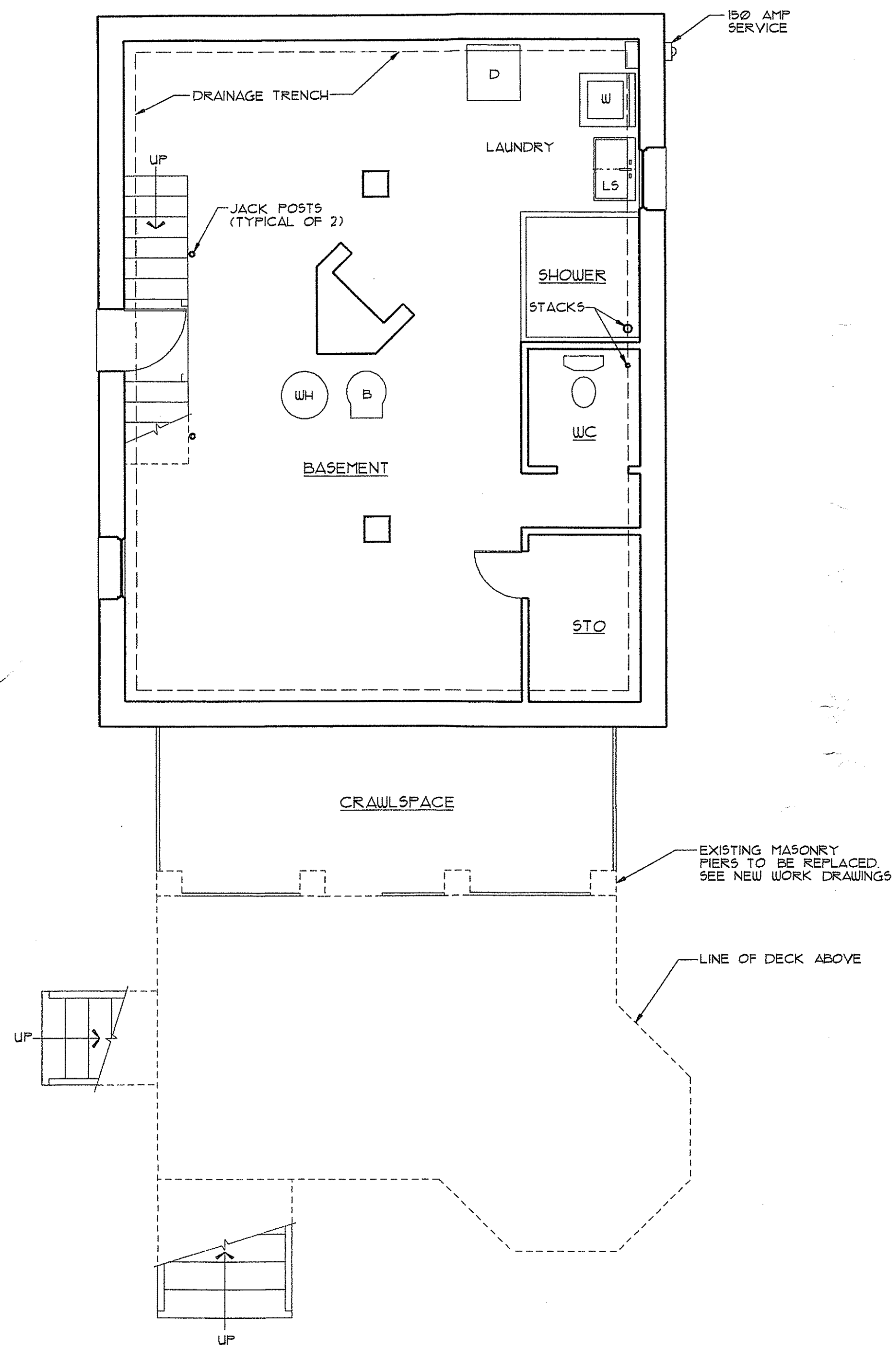


4 PROPOSED BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"

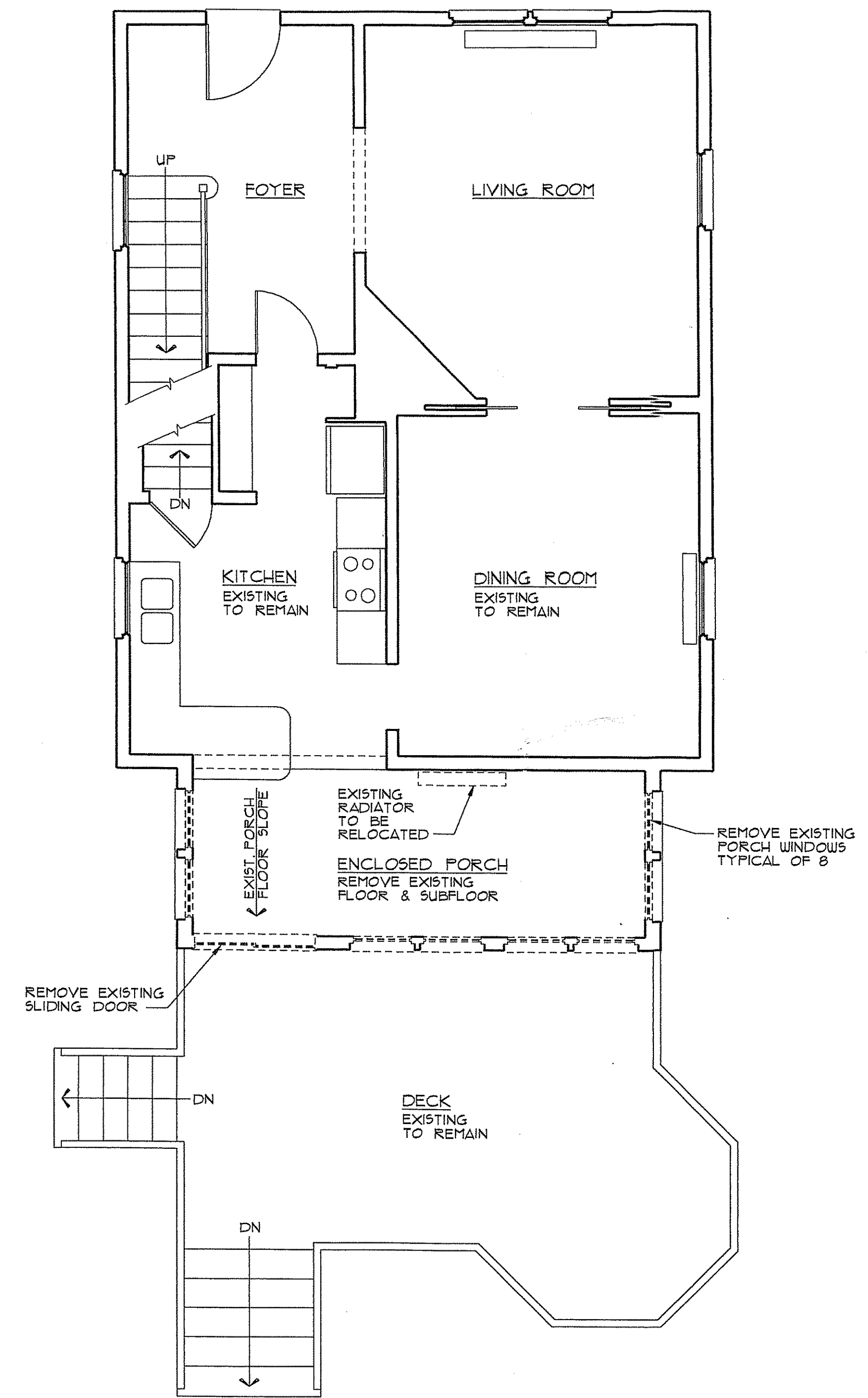


3 PROPOSED NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley
09/21/04

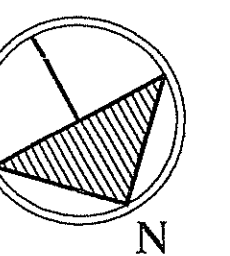


1 DEMOLITION BASEMENT PLAN
SCALE: 1/4" = 1'-0"



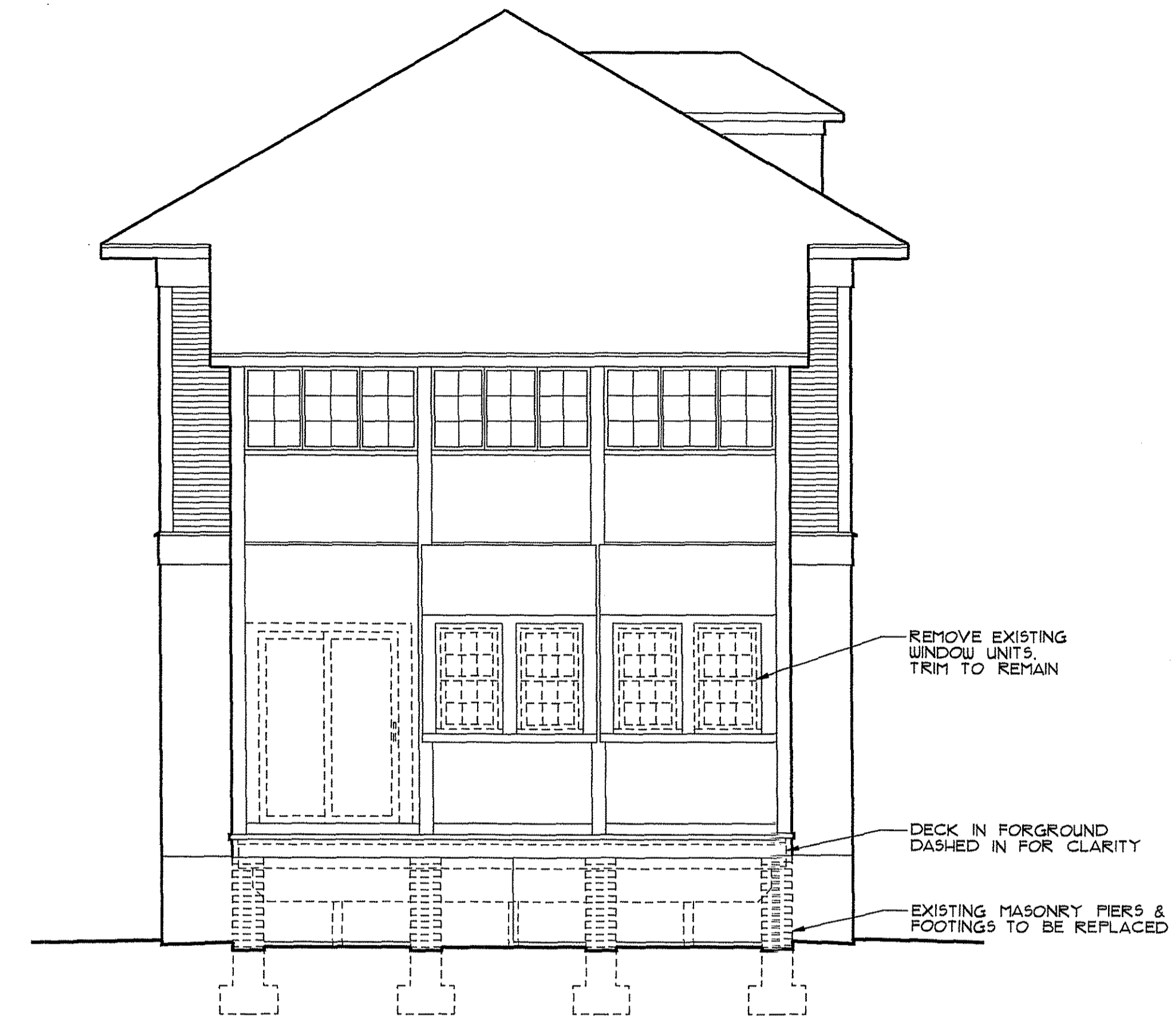
2 DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
John D. Hall
09/21/04





1 DEMOLITION SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



2 DEMOLITION REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 DEMOLITION NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Justin D. Malley
09/21/04



glass door will also need to be replaced
as under deck.

Mark on pier cannot be seen
006 #22A 3 04 CUS ONE HOUR PHOTO

see into bathroom from deck
glazing of bottom portions of 2
windows on left so people won't
Boat yard view of 528 T.L.P.



Right side windows of 508
Tulip

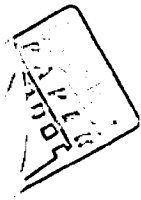
Note that settling has caused
stomach windows not to close

006 #23A 3 04 CUS ONE HOUR PHOTO

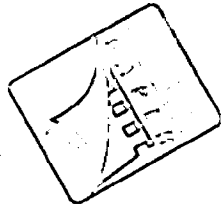
Windows are app. 10' off ground
and indented from main wall of
house



006 #25A 3 04 CUS ONE HOUR PHOTO



Front of 558 Tulip.

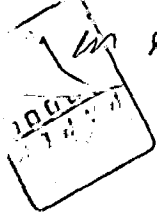




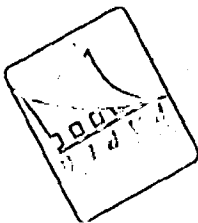
Left Street view of 508
Tulip.

000 #17A

Notice that you cannot
see windows or anything
in back.



CUSTOMER HOUR PHOTO





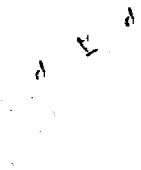
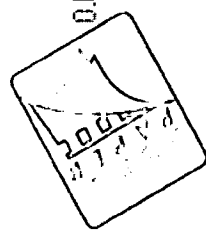
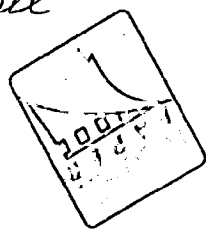


006 #24A

Right side of 508
Tulip - work to be done
still not visible

3-94

CUS ONE HOUR PHOTO

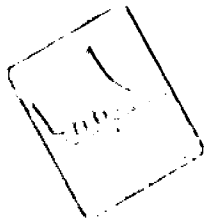




left back side of 508
Tulip.

Windows will be replaced
as they cannot be shut
properly, no privacy
from neighbors, & too
high up to clean.

Also one plan is partially
shown. I can wave my
hand under it.



already
talked to
her about
dug stamping.

II-D

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	508 Tulip Avenue, Takoma Park	Meeting Date:	08/18/04
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	08/11/04
Review:	HAWP	Public Notice:	08/04/04
Case Number:	37/03-0400	Tax Credit:	Partial
Applicant:	Victoria Mattes	Staff:	Michele Naru

PROPOSAL: Alterations to rear addition

RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival: Four Square
DATE: c1911-15

The house located at 501 Tulip Avenue is a contributing resource within the Takoma Park Historic District. The building is a 2-½ story, pyramidal roof, frame Colonial Revival, four square. The house is detailed with a full-width front porch supported by Doric columns and a square picket balustrade. A two-story non-contributing, shed roof addition protrudes from the rear elevation of the house and is the subject of this HAWP application.

PROPOSAL:

The applicant is proposing to alter the rear addition by:

1. Replacing the deteriorating pier masonry foundation. New foundation is to be 24" x 24" x 12" concrete footings with rebar supports.
2. Replacing the non-operable windows with new, wood, Anderson simulated divided light windows.
3. Replacing the rear sliding glass door with a new wood, Anderson simulated divided light French door with a wood screen door.

STAFF DISCUSSION:

The Historic Preservation Commission utilizes the *Approved and Adopted Takoma Park Historic District Guidelines* when reviewing changes to contributing resources within the historic

①

district. The *Takoma Park Guidelines* define contributing resources as:

A resource, which contributes to the overall character of the district and its streetscape, but is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources assist to the overall streetscape due to their size, scale and architectural character.

The following *Takoma Park Guidelines* pertain to this project:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.

The applicant should be commended for his desire to rehabilitate this structurally declining rear addition. The proposed windows and doors meet the Commission's criteria for replacement windows on a non-contributing massing. Some of this proposed rehabilitation work is eligible for County Tax Credits. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the *Takoma Park Historic District Guidelines*, adopted August 1992.

With the general condition that the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits and after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

RECEIVED

JUL 08 2004

APPLICATION FOR HISTORIC AREA WORK PERMIT

DIV. OF CASE WORK MGMT.

Contact Person: Victoria Mattes

Daytime Phone No.: 202-720-9507

Tax Account No.: 01079703

Name of Property Owner: Victoria Mattes Daytime Phone No.: 202-720-9507

Address: 508 Tulip Ave Takoma Park Md 20912
Street Number City Street Zip Code

Contractor: unknown yet Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 508 Street: Tulip Ave.

Town/City: Takoma Park Nearest Cross Street: Carroll

Lot: 73 Block: 7 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|--|--|--|---------------------------------------|--|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ | | | | |

1B. Construction cost estimate: \$ 30,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Approved: 351209 For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

House is @ 1911-1920, back porch area
had been enclosed long before historic zone
House is in residential portion of Takoma Park
although there is a commercial garage across the
street. House classified as "contributing"
All work is in the back of the house & cannot
be seen from the street

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

all work is in the back of the house, unseen from
the street. The piers are being replaced as the erosion
has caused them to be non-supporting. Due
to settlement windows are being replaced as there is about a
2" gap. ~~Some~~ windows are being modified to allow for
bathroom privacy & easy cleaning as they are well beyond reach

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the outline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address <i>508 Tulip Ave Takoma Park, Md. 20912</i>	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
<i>Larry Ravitz 508 Tulip Ave Takoma Park, Md. 20912</i>	
<i>Larry Silberman 1411 Old Columbia Pike Burtonville, Md. 20866</i>	
<i>Somchai Chitayapuntagul & Likhith Veopradith 7060 Carroll Ave. Takoma Park, Md. 20912</i>	

MATTES RENOVATION

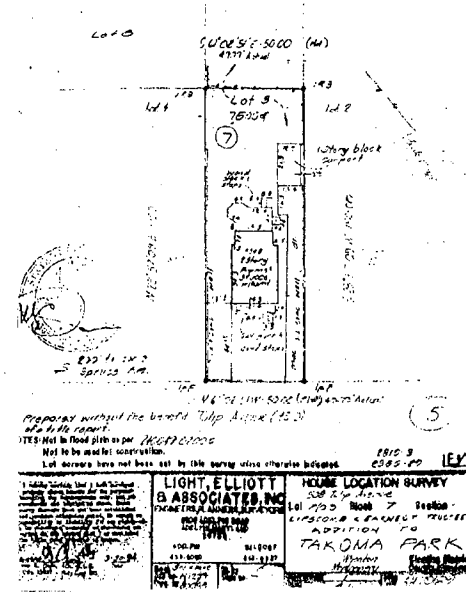
508 Tulip Avenue, Takoma Park, Maryland 20912

Project #0412

SITE PLAN

Scale: 1" = 30'

508 TULIP AVENUE
LOT 3, BLOCK 7
TAKOMA PARK,
MONTGOMERY COUNTY, MD



DATE: 25 MAY 2004

ABBREVIATIONS

1. FINISH	2. FINISH	3. FINISH	4. FINISH	5. FINISH
6. FINISH	7. FINISH	8. FINISH	9. FINISH	10. FINISH
11. FINISH	12. FINISH	13. FINISH	14. FINISH	15. FINISH
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96. FINISH	97. FINISH	98. FINISH	99. FINISH	100. FINISH

Architect:

Bennett Frank McCarthy Architects, Inc.
7003 Carroll Avenue
Takoma Park, Maryland 20912 301-270-9480

Consulting Engineers:

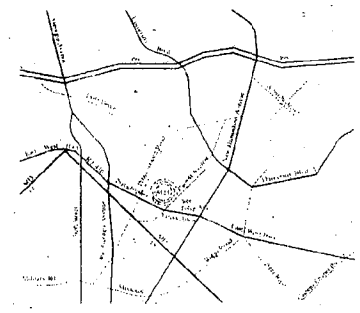
DRAWING LIST

- CS - COVER SHEET
- EC-1 - EXISTING FLOOR PLANS
- EC-2 - EXISTING ELEVATIONS
- A-1 - PROPOSED FLOOR PLANS
- A-2 - PROPOSED INTERIOR ELEVATIONS

DATE

25 MAY 2004

VICINITY MAP

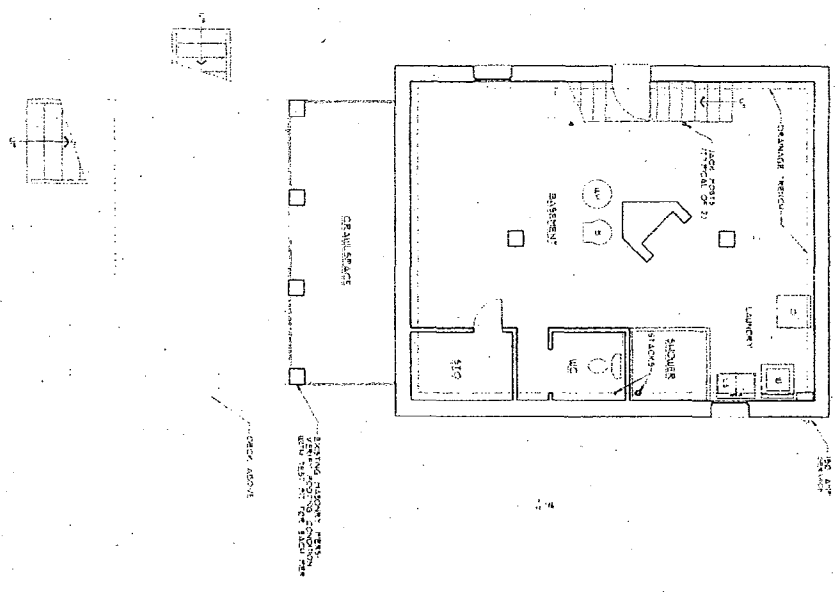


SPECIFICATIONS

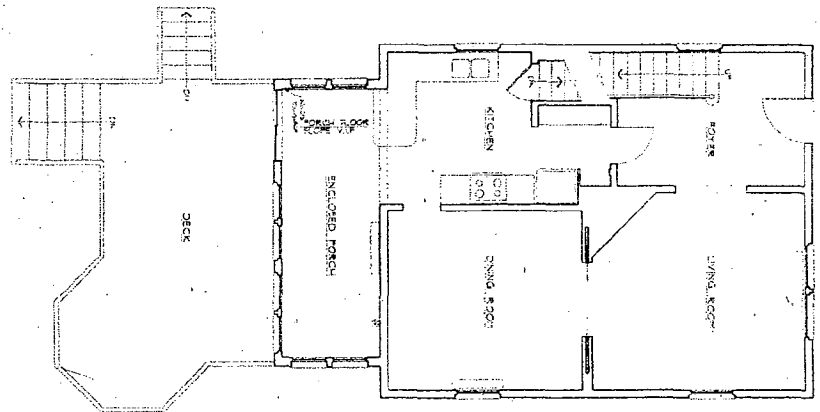
Spec Section	Notes for Estimate
1. General Data	<ul style="list-style-type: none"> Permit: Contractor to obtain general building permit Warranty: Contractor shall provide 1 year warranty Protection: Provide protection to existing site to remain Debris: Remove at regular intervals Sitework: Maintain existing from driveway Schedule: Start and finish dates to be specified
2. Severe	<ul style="list-style-type: none"> Rough & Fine Grading: Slope grade to positive drainage away from building Tree Removal: Maintain existing trees to remain Utilities: Municipal water and sewer, electricity, gas, telephone and CATV shall be provided. All utilities exist on site Liability: N/A Insurance: Provide insurance as required by Montgomery County Security: Provide as required and before new 1000 sq ft building
3. Concrete	<ul style="list-style-type: none"> Excavation and post-tensioning to be specified to replace existing in-molded post-tensioning with A/C I reinforcement and recommendations
4. Masonry	<ul style="list-style-type: none"> CMU: 8" Thick CMU foundation walls
5. Metals	<ul style="list-style-type: none"> Mixellaneous: Metals and steel beams
6. Wood & Plastic	<ul style="list-style-type: none"> 2x6 @ 16" O.C. studs with exterior sheetrock board sheathing with 1/2" of 1/2" G.F.C. and 5/8" of 1/2" exterior sheathing 1/2" of 1/2" G.F.C. and 5/8" of 1/2" exterior sheathing Surface: 1/2" sheathing and 5/8" of 1/2" exterior sheathing Wall sheathing: 1/2" OSB Interior trim: Paint grade pine, 7/8" base and 1/2" casing to match existing Exterior trim: Paint grade pine, 1x4 trim, profile to match existing Cabinet: Millwork/Built-ins. Provide 5/8" of 1/2" exterior sheathing
Thermal & Moisture Protection	<ul style="list-style-type: none"> Roof: N/A Wall: N/A Foundation: N/A Exterior: N/A Interior: N/A
7. Doors and Windows	<ul style="list-style-type: none"> Windows: Andersen with exterior and interior finishes per schedule. Windows shall be installed with screens Weights: N/A Exterior: Andersen with exterior and interior finishes per schedule Interior: Andersen with exterior and interior finishes per schedule Hardware: Provide 5/8" of 1/2" exterior sheathing Surface: N/A
8. Finishes	<ul style="list-style-type: none"> Exterior: 1/2" OSB sheathing Interior: 1/2" OSB sheathing Wall: 1/2" OSB sheathing Foundation: 1/2" OSB sheathing Hardware: Provide 5/8" of 1/2" exterior sheathing Surface: N/A
9. Equipment	<ul style="list-style-type: none"> None
10. Mechanical	<ul style="list-style-type: none"> Existing: None New: None
11. Electrical	<ul style="list-style-type: none"> Existing: None New: None
12. Special	<ul style="list-style-type: none"> None

6

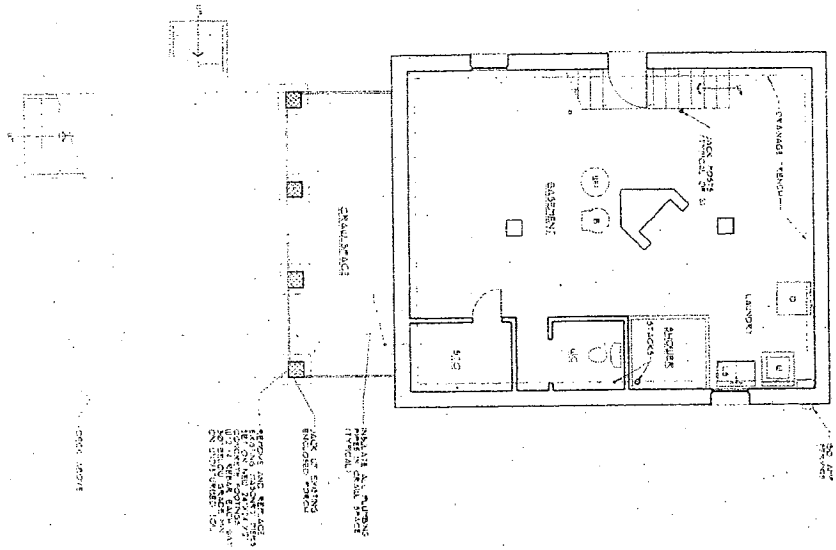
1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



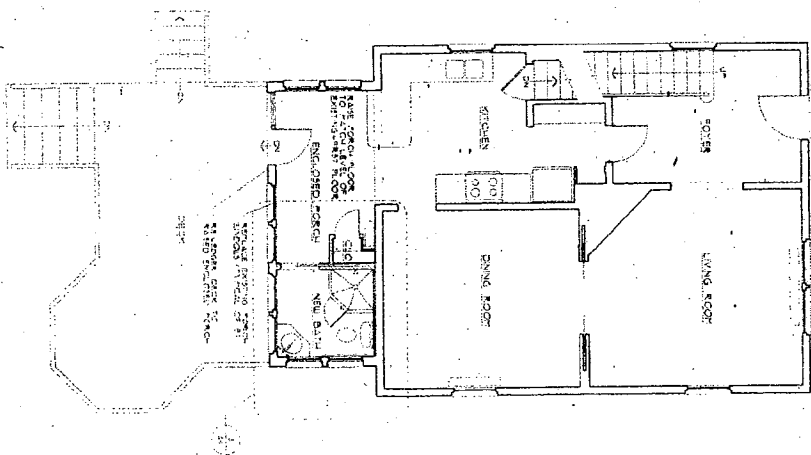
2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



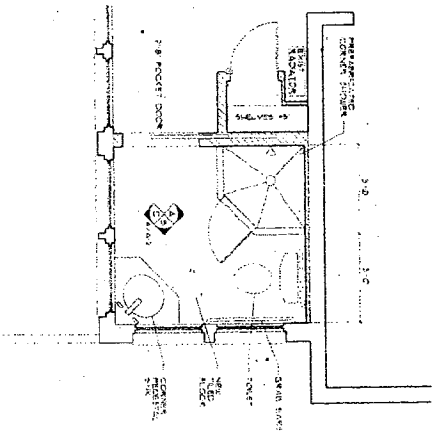
1 PROPOSED BASEMENT FLOOR PLAN
SCALE 1/16"



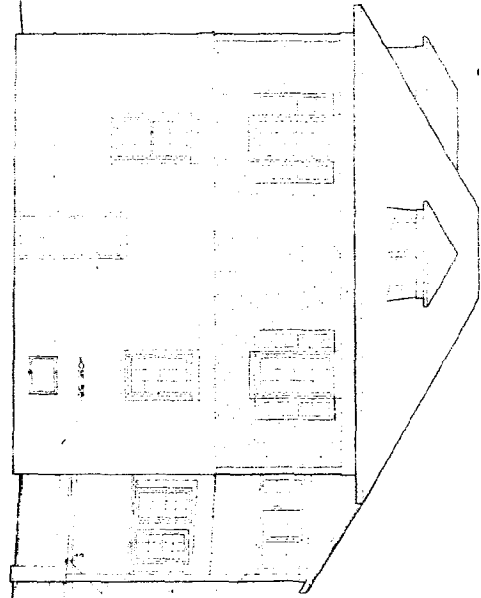
2 PROPOSED 1ST FLOOR PLAN
SCALE 1/8"



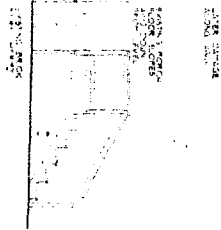
3 PROPOSED BATHROOM PLAN
SCALE 1/8"



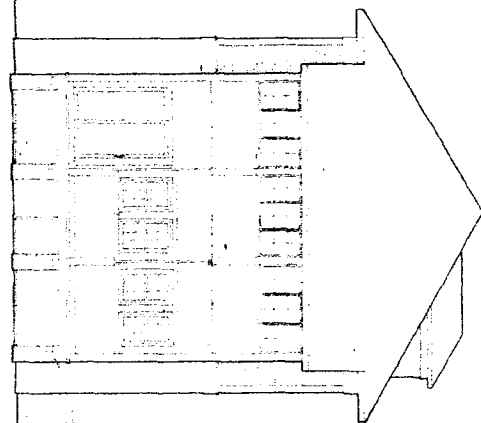
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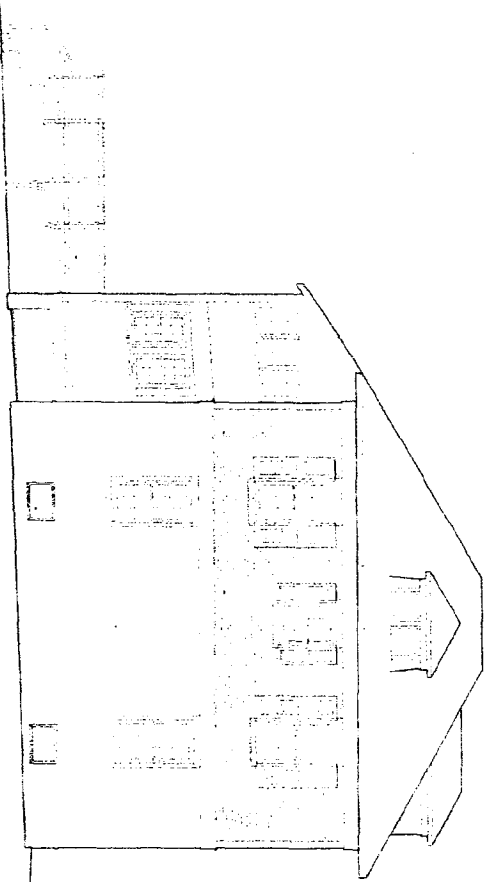
EXISTING NORTHEAST ELEVATION



EXISTING REAR ELEVATION



EXISTING NORTHWEST ELEVATION



EC

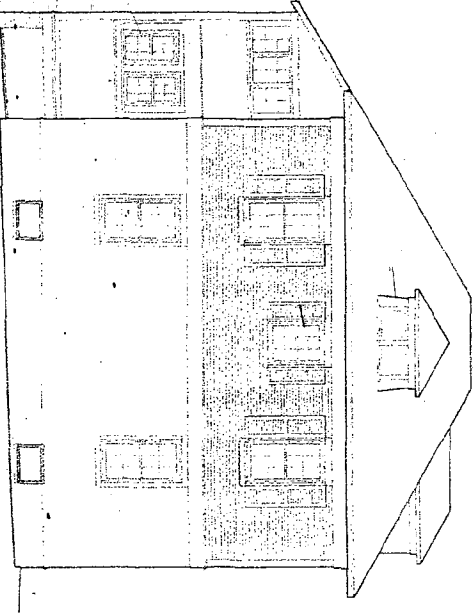
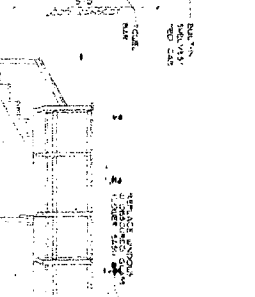
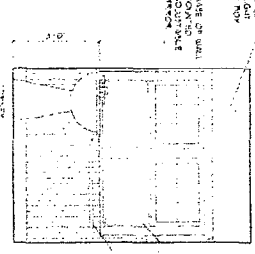
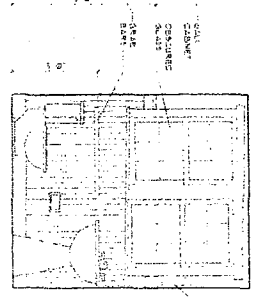
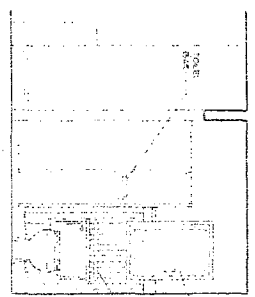
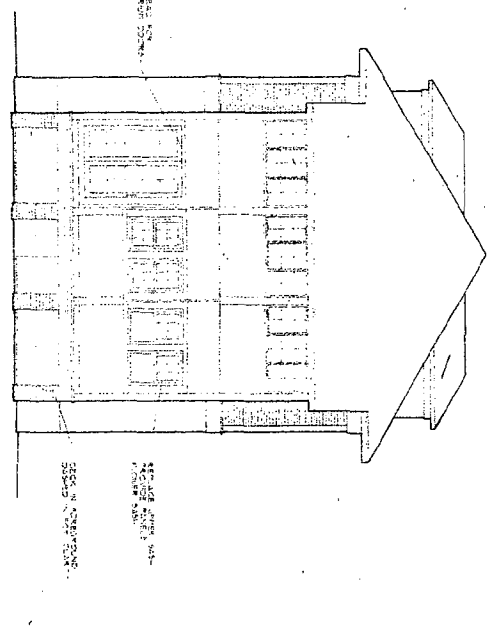
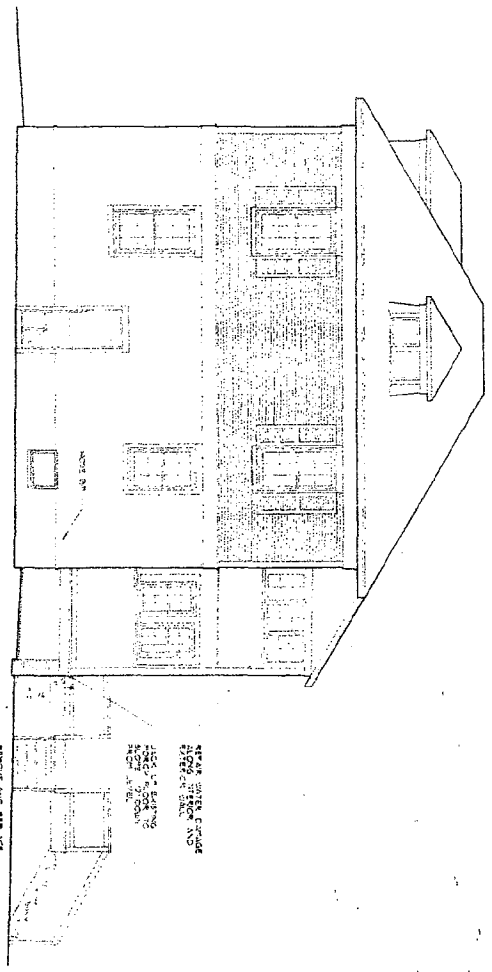
Sheet Title: EXISTING ELEVATIONS

DATE: 1/7/10

MATTES ADDITION

Bennett Frank McCarthy Architects, Inc.

10



PROPOSED BATHROOM ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED NORTHWEST ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED SOUTHEAST ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED REAR ELEVATION
SCALE 1/4" = 1'-0"

A-2

Sheet Title: PROPOSED INTERIOR & EXTERIOR ELEVATIONS
Scale: 1/4" = 1'-0"

Date: 25 May 2004
Preliminary
BFD Set

MATTES ADDITION
308 TULIP AVENUE, TAKOMA PARK, MD 20912
Project # 0412

Bennett Frank McCarthy Architects, Inc.
7503 Carroll Avenue
Takoma Park, Maryland 20912 301-270-9480

Bennett Frank McCarthy Architects, Inc.

7003 Carroll Avenue, Takoma Park, Maryland 20912-4429

(301) 270-9480

May 28, 2004

Mattes Renovation
508 Tulip Avenue
Takoma Park, MD 20912
Project #0412
Outline Specification for Preliminary Estimate 5/04

Scope:

Construction of a new bathroom and partial renovation to a porch addition of a single family detached residence at 508 Tulip Avenue, Takoma Park, MD. The scope of work includes a new bathroom and pantry closet on the first floor and repair to the existing porch addition.

Drawings attached include:

Proposed: Plans, dated 25 May 2004
Elevations, dated 25 May 2004

Spec Section

Choice for Estimate

- | | | |
|---|--|---|
| 1 | General data
Permits:
Warranty
Protection
Debris
Site access
Schedule | Owner/Architect to obtain general building permit.
Contractor shall provide 1 year warranty.
Provide protection as necessary for existing site to remain.
Remove at regular intervals
Via the existing front driveway
Start and finish dates to be specified |
| 2 | Sitework
Rough & Fine Grading
Tree Removal
Utilities

Hardscape
Erosion Control
Termite Treatment | Slope grade for positive drainage away from building.
Maintain existing trees in rear yard.
Municipal water and sewer, electricity, gas, telephone and CATV shall be provided. All utilities exist on site.

N/A
Provide measures as required by Montgomery County.
Treat soil at perimeter and below new slabs and footings. |
| 3 | Concrete | Excavate and pour pier footings as necessary to replace existing at enclosed porch in accordance with ACI standards and recommendations. |
| 4 | Masonry | 12" Brick/CMU foundation piers. |
| 5 | Metals | Miscellaneous lintels and steel beams. |
| 6 | Wood & Plastics | 2x6 @ 16" O.C. stud walls for exterior and load bearing walls.
2x4 @ 16" O.C. stud walls for interior partitions.
10" or TJI @ 16" O.C. floor joists.
Subfloors: 3/4" tongue and groove CDX plywood.
Wall sheathing: 1/2" OSB. |

- Interior trim: Paint grade pine, 7 1/4" base and 3 1/2" casings to match existing.
 Exterior trim: Paint grade finger joint trim, profile to match existing.
 Custom Millwork/Built-ins: Provide \$300 Allowance for Bathroom cabinet.
- 7 Thermal & Moisture Prot. Roof: N/A
 Flashing: Aluminum
 Downspouts and Gutters: N/A
 Exterior walls/gables Siding: MDO siding per elevations.
 Refinish/repair existing siding.
 5-1/2" (R-19) Batt insulation at exterior walls.
 10" (R-30) Batt insulation at floor.
 Tyvek or building felt over plywood sheathing.
 Dampproofing: spray on applied membrane dampproofing at new foundation/walls concealed below grade. Provide foundation drain to French drain/daylight to street side of site.
 Acoustical Separation Caulk: 30 year siliconized acrylic (paintable).
 Acoustical Insulation: install insulation at all bathroom walls.
- 8 Doors and Windows Windows: Andersen, with interior and exterior mullions per drawings. Windows shall be wood with full screens.
 Skylights: N/A
 Exterior Doors: Andersen Atrium Doors in Porch Room.
 Interior doors: Reuse owner's existing interior door, stain finish
 Hardware: Door sets shall be Schlage, F series, Plymouth in bright brass.
 Screen Doors: Provide new wood screen doors at Atrium door.
- 9 Finishes Drywall: 1/2" GWB throughout.
 Interior Paint: Benjamin Moore premium grade.
 Exterior Paint: Benjamin Moore or equivalent, premium grade on all new woodwork.
 Ceramic tile: First floor Bath: tile floor (\$10 per sq. ft. material allowance).
 Hardwood/Oak: New Porch Room floor (or Pine Floor, Add/Alt).
 Bead board: Tongue & groove bead board wainscot in Bathroom.
- 11 Equipment Bath Accessories:
 Medicine Cabinet
 Mirrors
 Towel Bars
 Toilet Paper Holder
 Grab bars
- 15 Mechanical Plumbing Fixtures: Kohler Basic
 Prefabricated shower unit in new Bathroom.
 Toilet in new Bathroom, Toto or equivalent.
 Corner Pedestal Sink in new Bathroom.
 All faucets & fittings to be bright brass.

HVAC: Existing gas boiler shall be retained. The existing system piping shall be modified as required for the renovated areas. Provide base board radiators (or radiant floor, Add/Alt).

Exhaust: Provide Nutone exhaust fan in new bath.
Sump: N/A

16 Electrical

Electrical service: Existing panels and 200 amp service shall be examined.

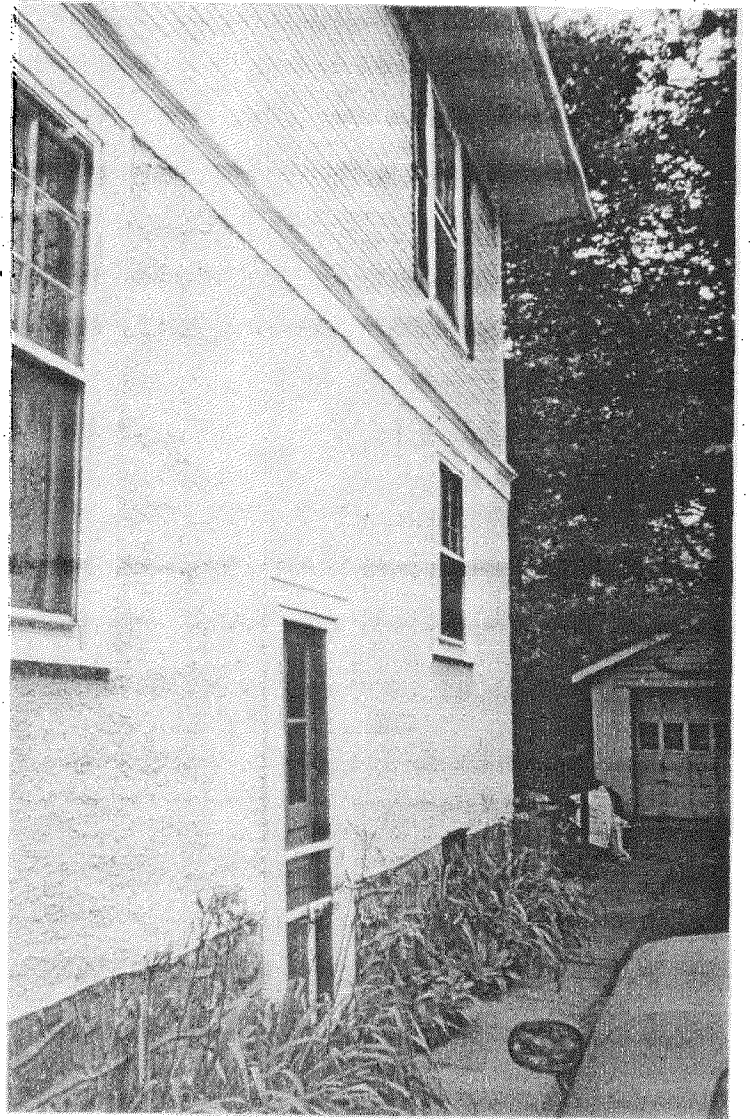
Lighting: Lightolier quality surface and recessed fixtures.
Contractor to provide allowance.

Electrical power: Provide wall receptacles and switches (Leviton Decora style) in conformance with NEC and local code for spacing and GFCI protection.

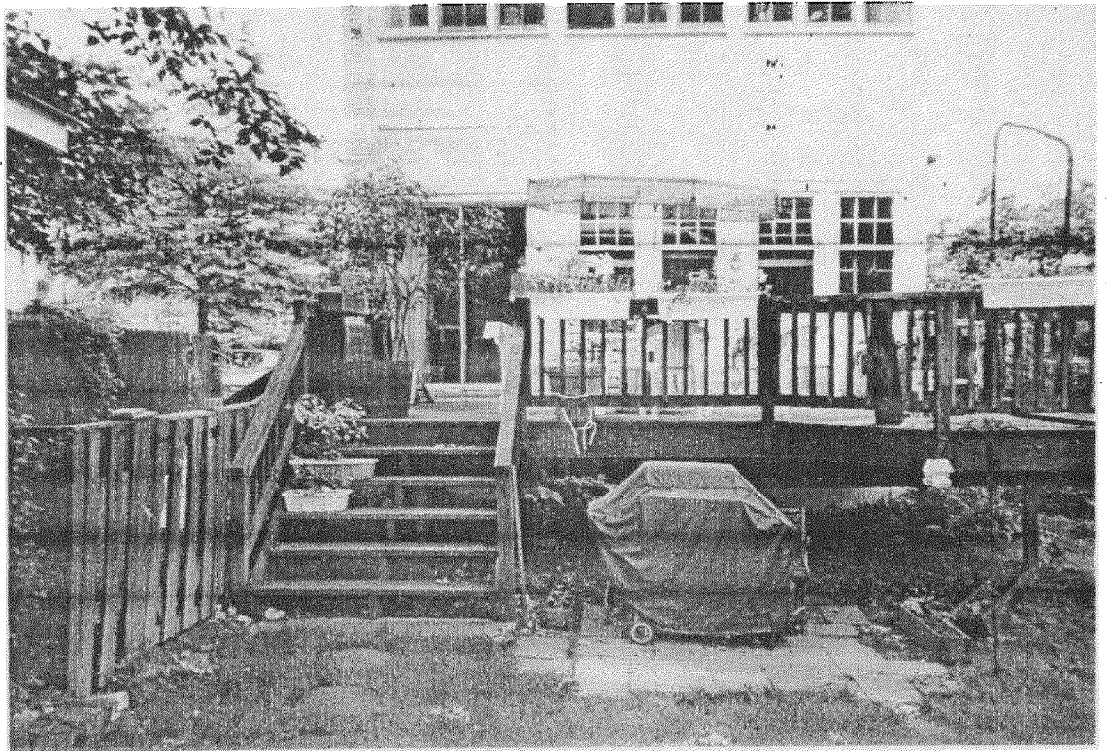
Smoke/Fire protection: provide per Code, hardwired.

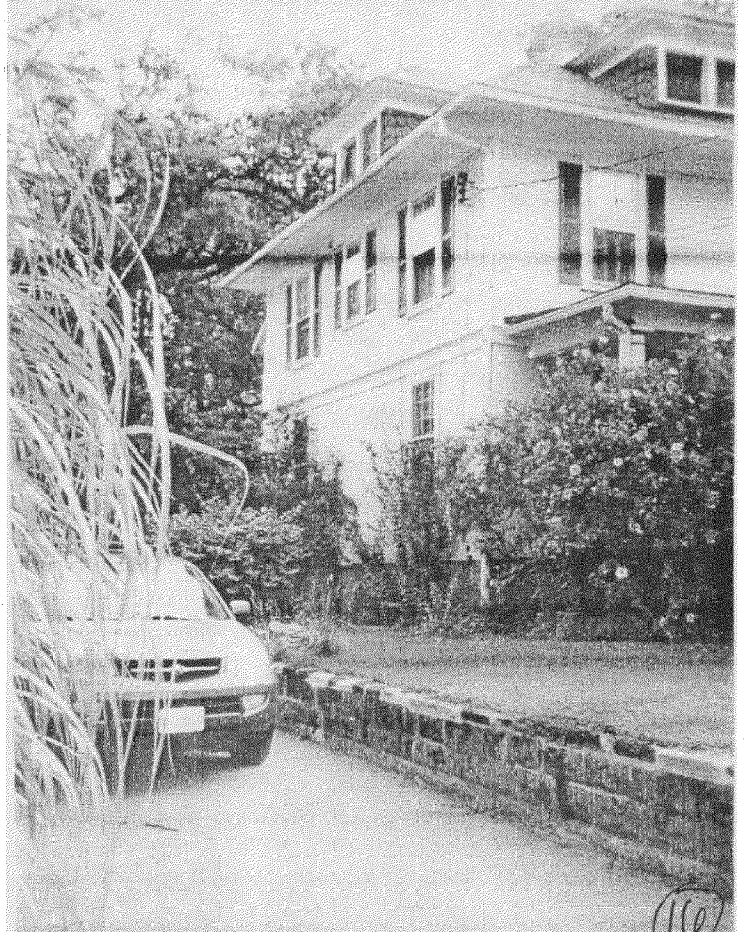
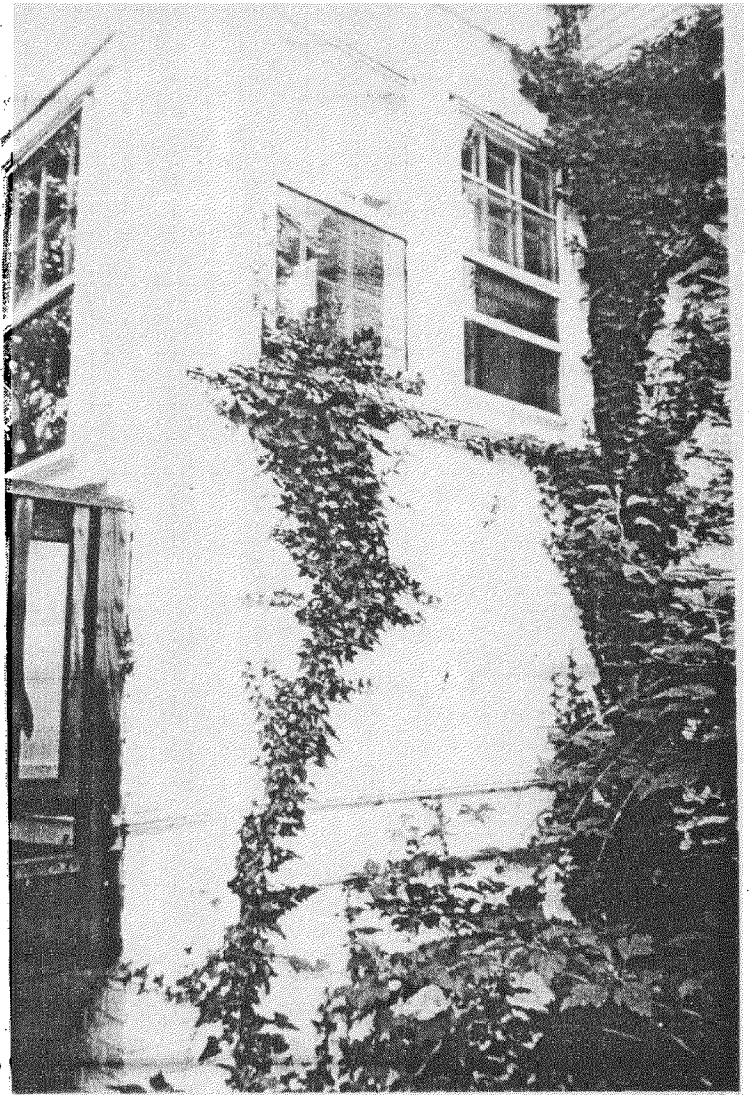
Telephone & Cable TV: N/A

17 Alarm and Special Systems Alarm: N/A



14





MATTES RENOVATION

508 Tulip Avenue, Takoma Park, Maryland 20912

Project #0412

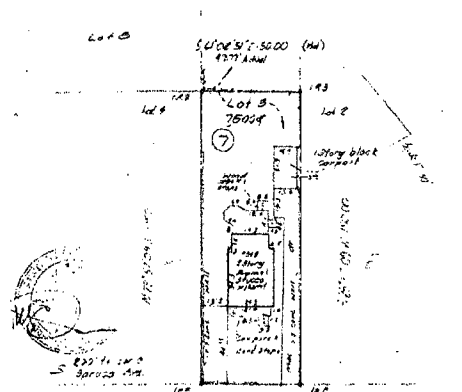
SPECIFICATIONS

Spec Section	Change for Estimate
1 General General Conditions Permits Protection Debris Site Safety Schedule	Identify/Specify all other general building permits. Contractor shall provide 1 year warranty. Provide protection at all entrances for existing site to remain. Remove all regular materials. Use the existing farm driveway. Start and finish dates to be specified.
2 Sitework Finish & Final Grading Final Removal Excavation	Shave grade for positive drainage away from building. Maintain existing trees to the yard. Maintain existing trees in the yard. Maintain existing trees in the yard. Maintain existing trees in the yard. Maintain existing trees in the yard.
3 Masonry Foundation & Footing Concrete	Foundation and footing per existing as necessary to replace existing. Foundation and footing per existing as necessary to replace existing. Foundation and footing per existing as necessary to replace existing. Foundation and footing per existing as necessary to replace existing. Foundation and footing per existing as necessary to replace existing.
4 Windows & Doors	1 1/2" Double Glazed, Insulated Glass Units. 1 1/2" Double Glazed, Insulated Glass Units. 1 1/2" Double Glazed, Insulated Glass Units. 1 1/2" Double Glazed, Insulated Glass Units. 1 1/2" Double Glazed, Insulated Glass Units.
5 Finishes Drywall Paint	1/2" Drywall, 5/8" Insulated Gypsum Board. 1/2" Drywall, 5/8" Insulated Gypsum Board. 1/2" Drywall, 5/8" Insulated Gypsum Board. 1/2" Drywall, 5/8" Insulated Gypsum Board. 1/2" Drywall, 5/8" Insulated Gypsum Board.
6 Roofing Asphalt Shingles Guttering	Asphalt Shingles. Asphalt Shingles. Asphalt Shingles. Asphalt Shingles. Asphalt Shingles.
7 Mechanical HVAC Electrical	HVAC system with central air conditioning. HVAC system with central air conditioning. HVAC system with central air conditioning. HVAC system with central air conditioning. HVAC system with central air conditioning.
8 Plumbing Water Supply Drainage	Water supply and drainage per code. Water supply and drainage per code. Water supply and drainage per code. Water supply and drainage per code. Water supply and drainage per code.
9 Sanitary Bathrooms Kitchens	Sanitary fixtures and fixtures per code. Sanitary fixtures and fixtures per code. Sanitary fixtures and fixtures per code. Sanitary fixtures and fixtures per code. Sanitary fixtures and fixtures per code.
10 Electrical Wiring Lighting	Wiring and lighting per code. Wiring and lighting per code. Wiring and lighting per code. Wiring and lighting per code. Wiring and lighting per code.
11 Exterior Siding Roofing Paint	Exterior siding and roofing per code. Exterior siding and roofing per code. Exterior siding and roofing per code. Exterior siding and roofing per code. Exterior siding and roofing per code.
12 Safety Handrails Escalators	Handrails and escalators per code. Handrails and escalators per code. Handrails and escalators per code. Handrails and escalators per code. Handrails and escalators per code.

SITE PLAN

Scale: 1" = 30'

508 TULIP AVENUE
LOT 3, BLOCK 7
TAKOMA PARK
MONTGOMERY COUNTY, MD



Proposed subject to the benefit of the Takoma Park 145' R₁ Zoning Ordinance.
NOT TO BE USED FOR CONSTRUCTION.

LIGHT ELLIOTT & ASSOCIATES, INC.
REGISTERED PROFESSIONAL ARCHITECTS
1101 22ND STREET, WASHINGTON, DC 20037
202-742-1111
FAX: 202-742-1112

HOUSE LOCATION SURVEY
508 TULIP AVENUE
TAKOMA PARK, MD 20912
DATE: 5/11/04

SITE PLAN BASED ON HOUSE LOCATION SURVEY PREPARED BY LIGHT ELLIOTT & ASSOCIATES, INC. DATED 3/30/04.

ABBREVIATIONS

1/4"	1/4"	1/4"	1/4"	1/4"
1/8"	1/8"	1/8"	1/8"	1/8"
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29"	29"	29"	29"	29"
29 1/2"	29 1/2"	29 1/2"	29 1/2"	29 1/2"
30"	30"	30"	30"	30"

Architect:

Bennett Frank McCarthy Architects, Inc.
7003 Carroll Avenue
Takoma Park, Maryland 20912 301-270-9480

Consulting Engineers:

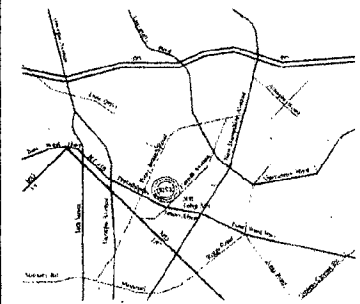
DRAWING LIST

- CS COVER SHEET
- EC-1 EXISTING FLOOR PLANS
- EC-2 EXISTING ELEVATIONS
- A-1 PROPOSED FLOOR PLANS
- A-2 PROPOSED INTERIOR ELEVATIONS

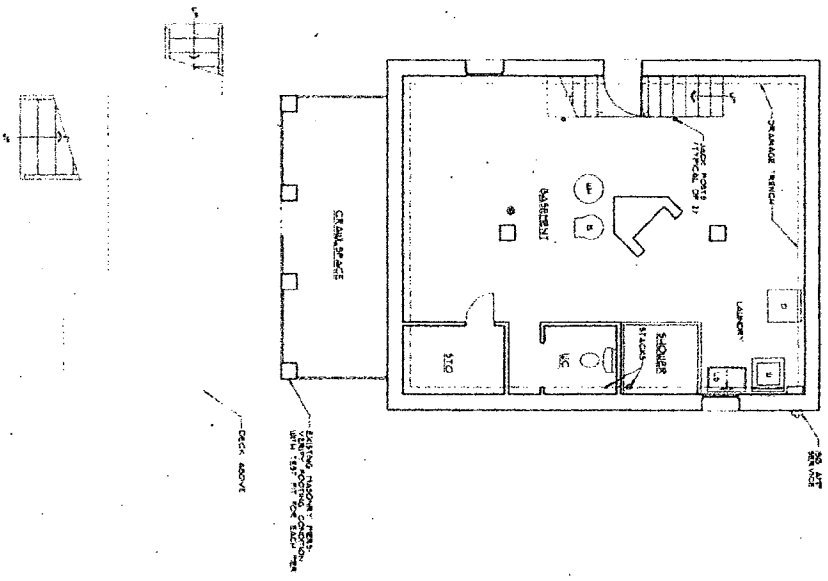
DATE

25 MAY 2004

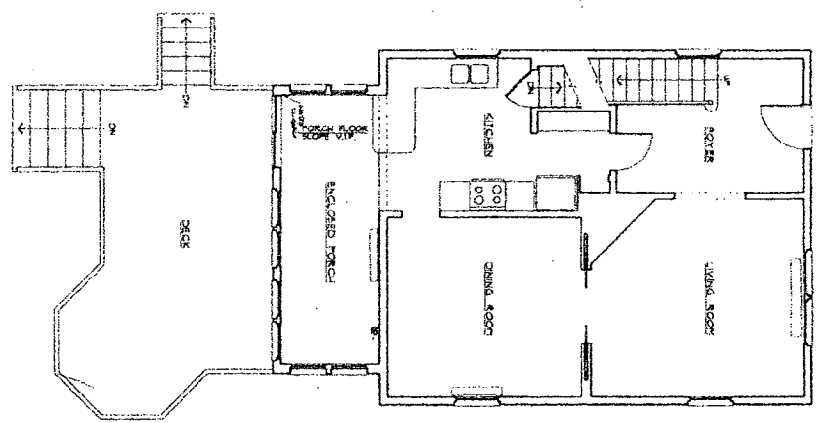
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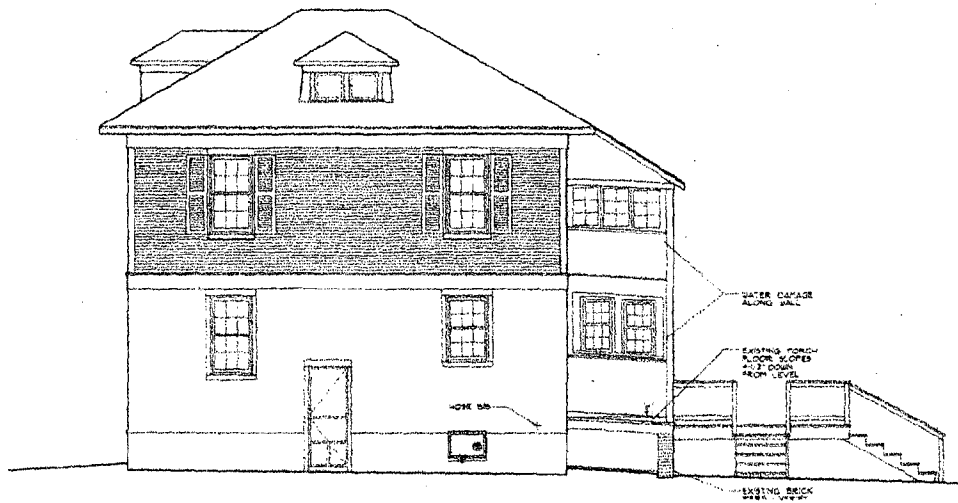


1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

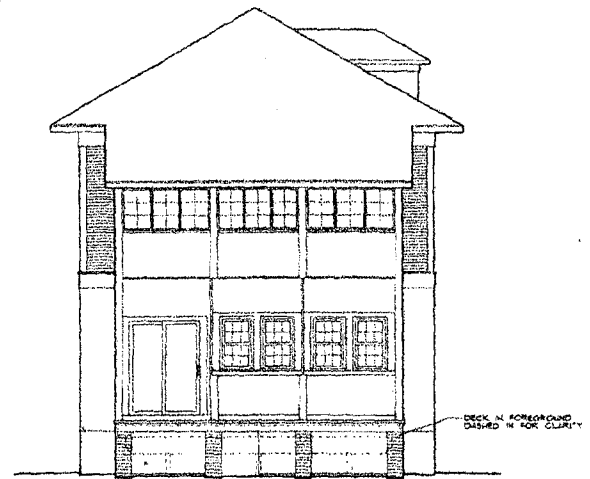


2 EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

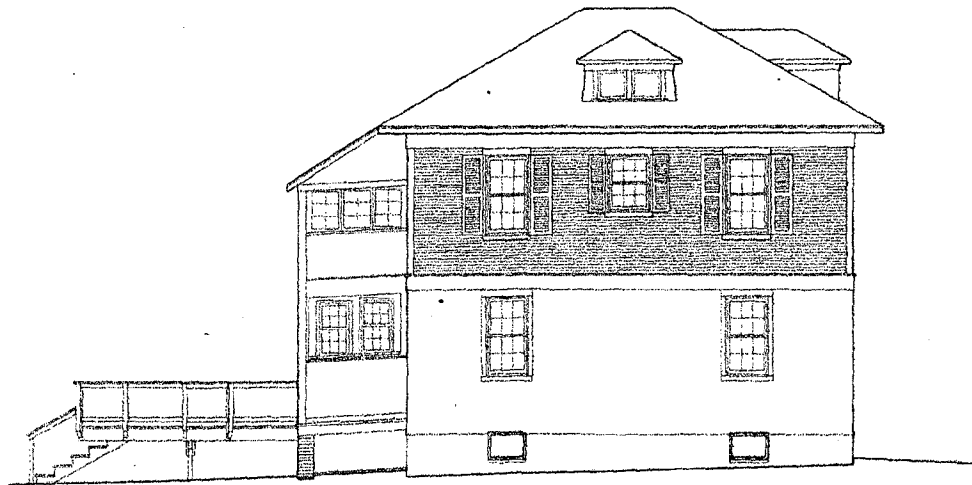




① EXISTING NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

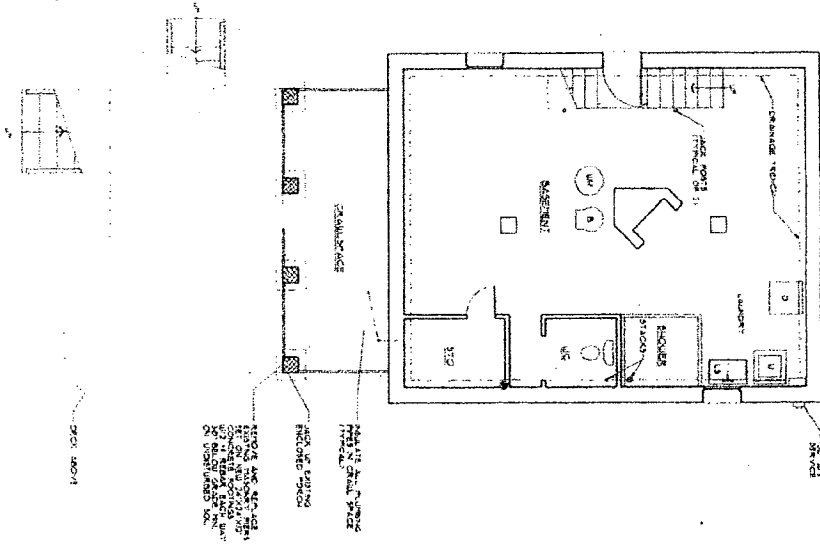


② EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"

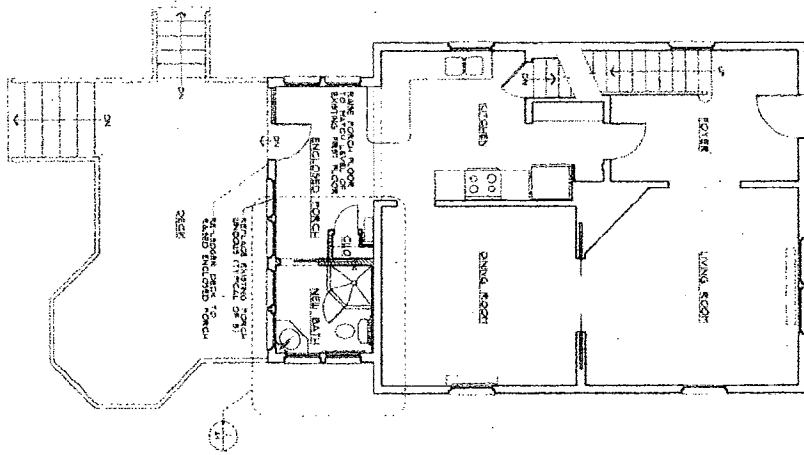


③ EXISTING NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

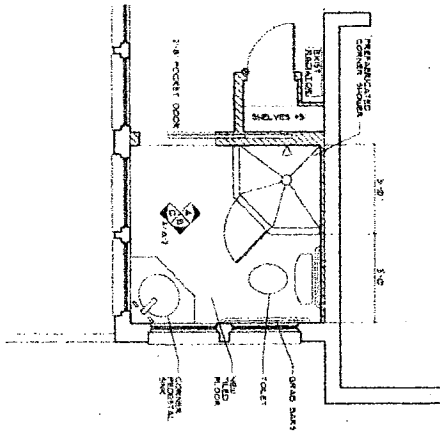
1 PROPOSED BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"

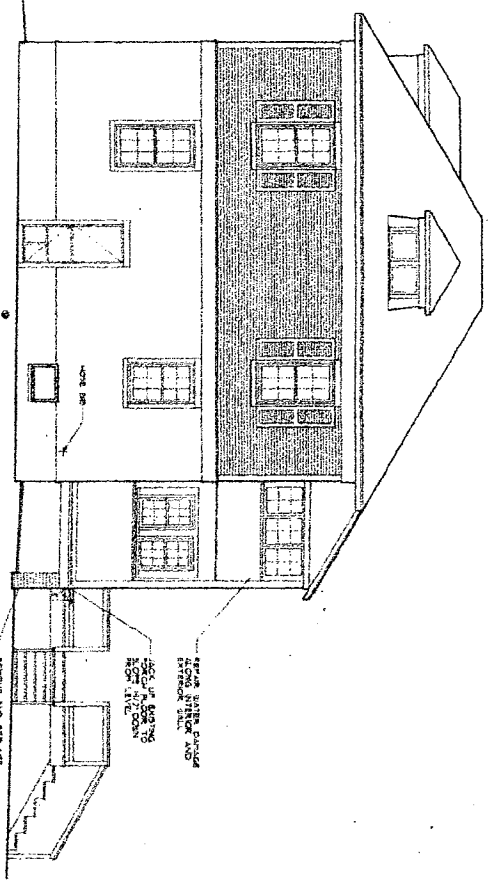


2 PROPOSED FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

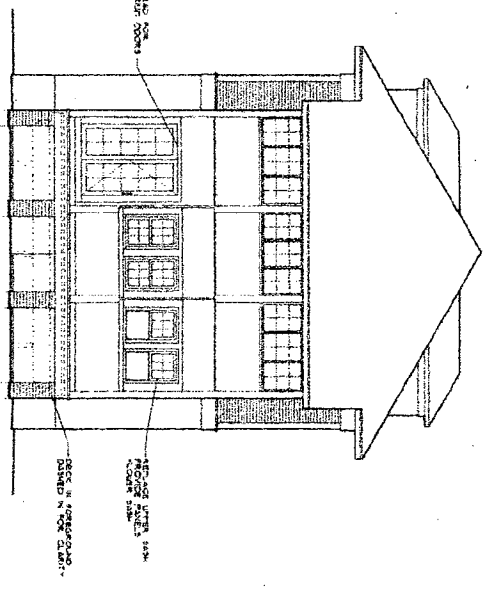


3 PROPOSED BATHROOM PLAN
SCALE 1/8" = 1'-0"

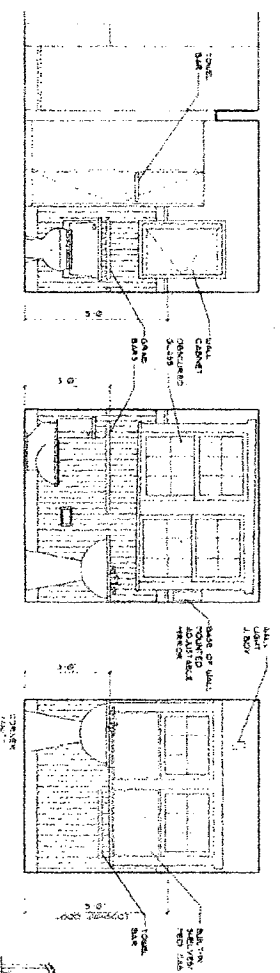




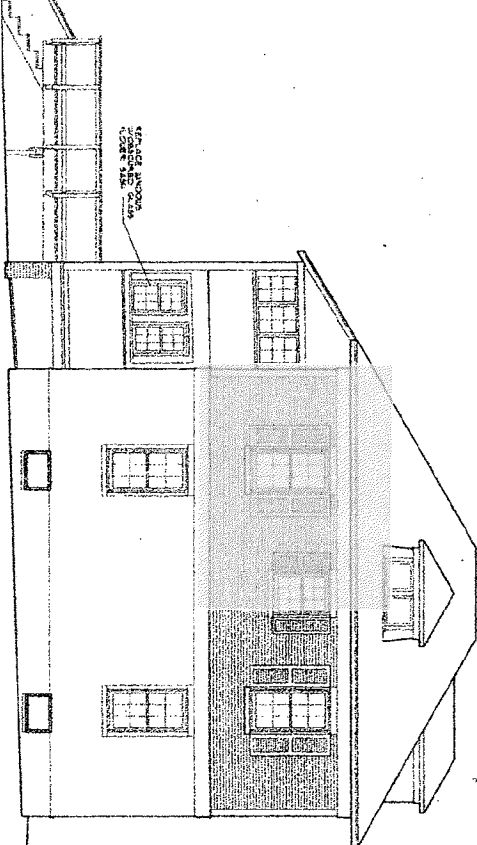
1 PROPOSED SOUTHEAST ELEVATION
SCALE 1/8" = 1'-0"



2 PROPOSED REAR ELEVATION
SCALE 1/8" = 1'-0"



4 PROPOSED BATHROOM ELEVATION
SCALE 1/8" = 1'-0"



3 PROPOSED NORTHWEST ELEVATION
SCALE 1/8" = 1'-0"

A

Sheet Title: PROPOSED INTERIOR & EXTERIOR ELEVATIONS

Date: 23 M
Project: Hill S

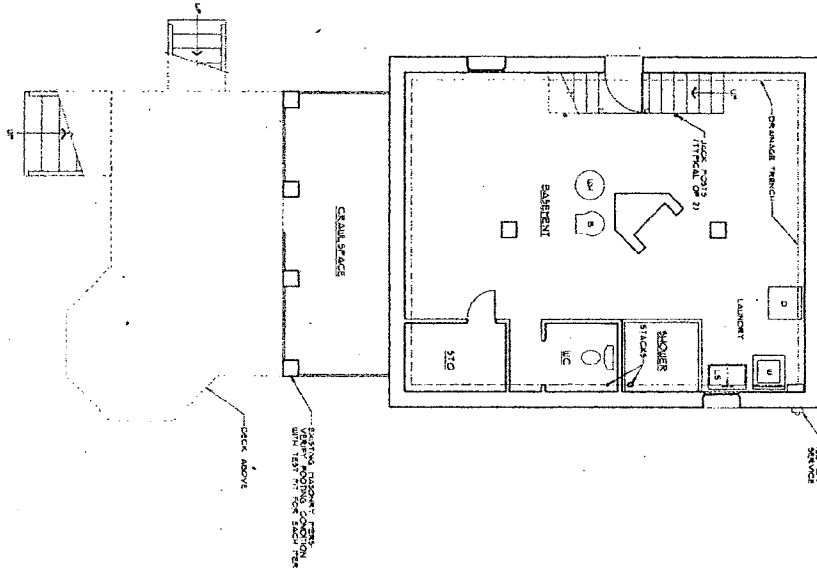
MATTES ADDITION

Bennett Frank McCarthy Architects, Inc.

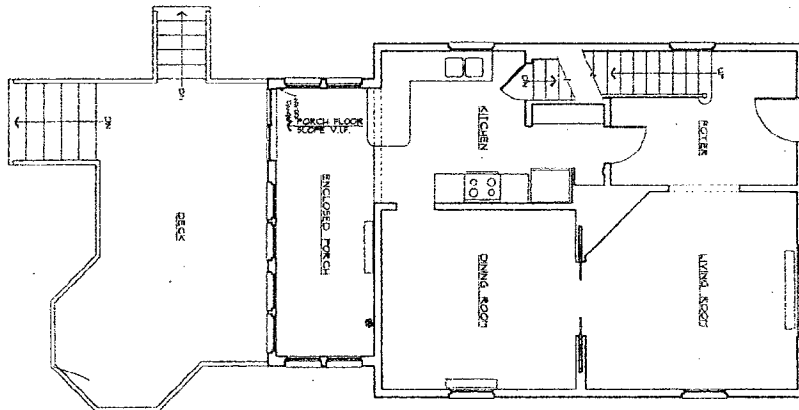
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address <i>508 Tulip Ave Takoma Park, Md. 20912</i></p>	<p>Owner's Agent's mailing address</p>
<p>Adjacent and confronting Property Owners mailing addresses</p>	
<p><i>Larry Ravitz 508 Tulip Ave Takoma Park, Md. 20912</i></p>	
<p><i>Larry Silberman 1411 Old Columbia Pike Burrville, Md. 20866</i></p>	
<p><i>Somchai Chitayapuntagul & Likhith Veopradith 7060 Carroll Ave. Takoma Park, Md. 20912</i></p>	

1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



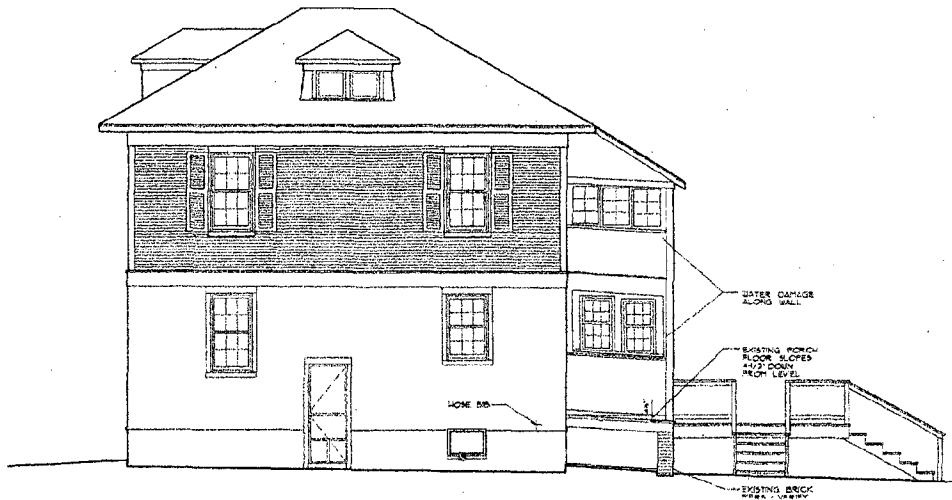
EC-1

Sheet Title: EXISTING FLOOR PLANS
Scale: 1/4" = 1'-0"

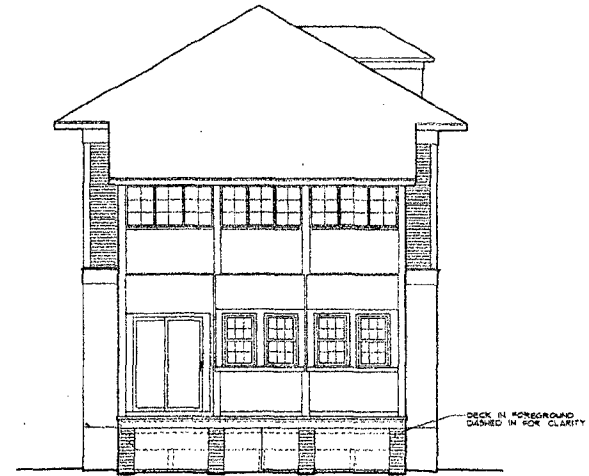
Date: 17 May 2004

MATTES ADDITION
508 TULIP AVENUE, TAKOMA PARK, MD 20912
Project # 0412

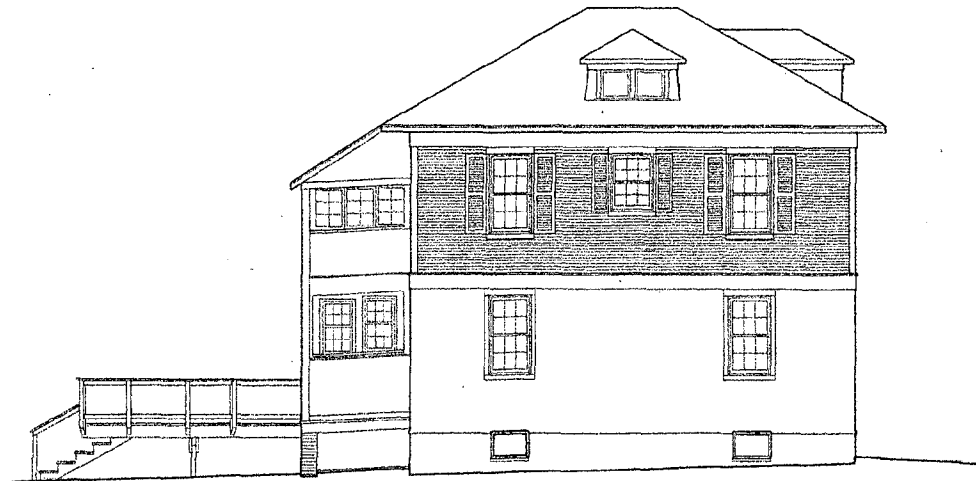
Bennett Frank McCarthy Architects, Inc.
7003 Carroll Avenue
Takoma Park, Maryland 20912 301-270-9480



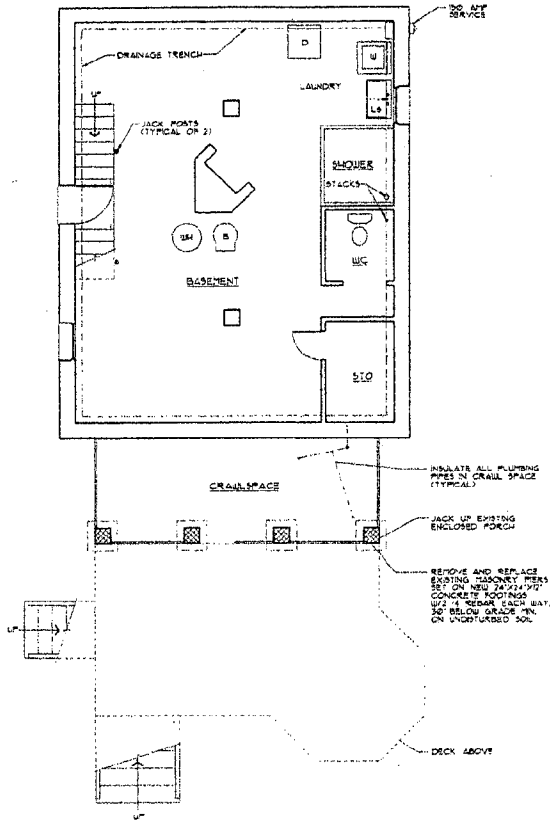
① EXISTING NORTHEAST ELEVATION
SCALE 1/4" = 1'-0"



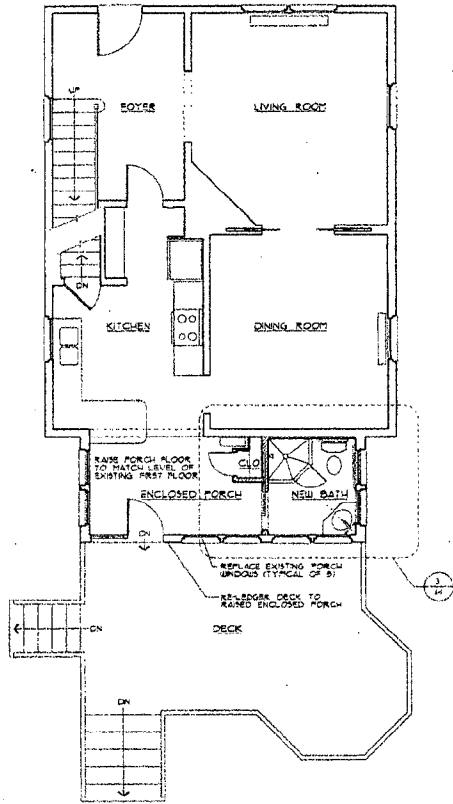
② EXISTING REAR ELEVATION
SCALE 1/4" = 1'-0"



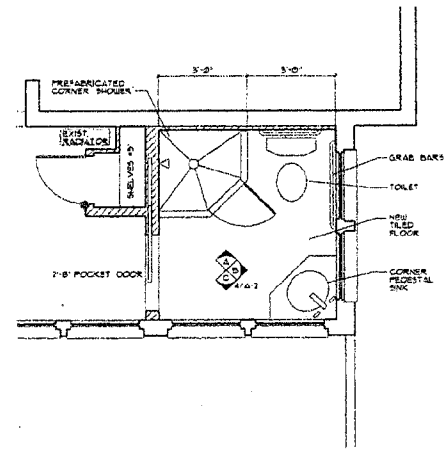
③ EXISTING NORTHWEST ELEVATION
SCALE 1/4" = 1'-0"



1 PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

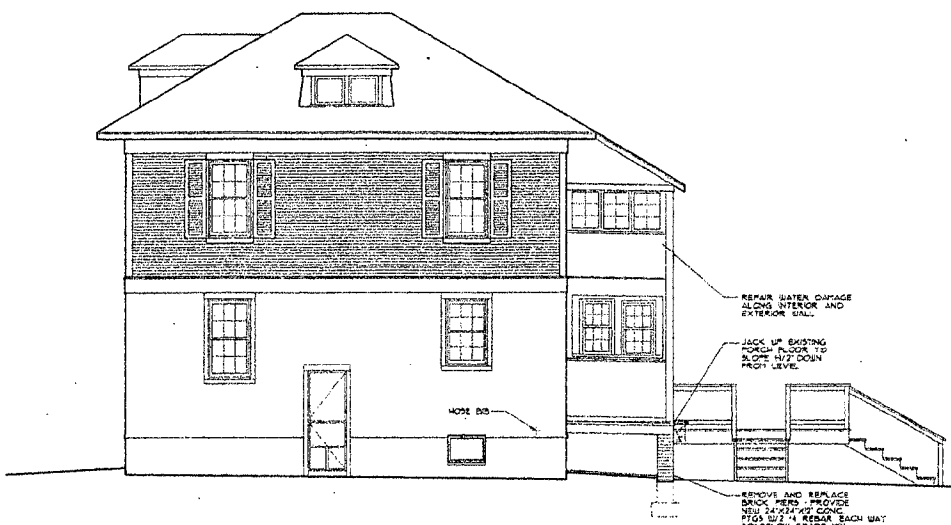


3 PROPOSED BATHROOM PLAN
SCALE: 1/4" = 1'-0"

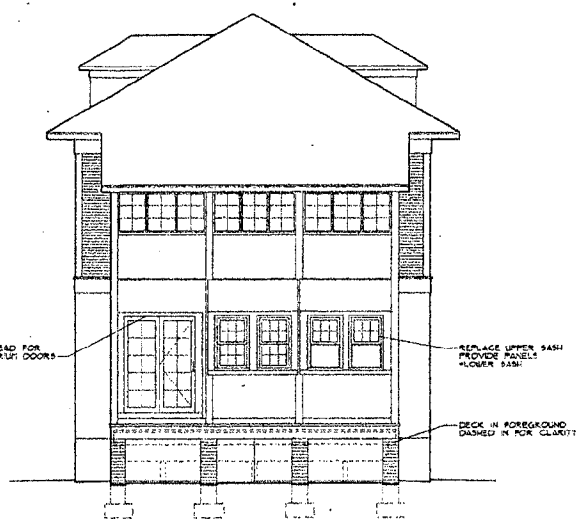
MATTES ADDITION
508 TULLIP AVENUE, TAKOMA PARK, MD 20912
Project # 0412

Date:
23 May 2004
Preliminary
Bid Set

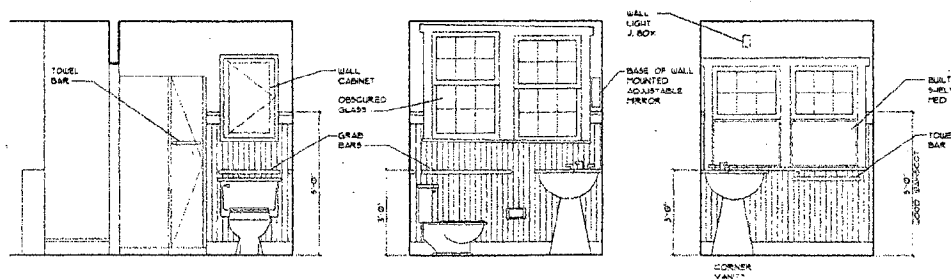
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Scale: AS NOTED



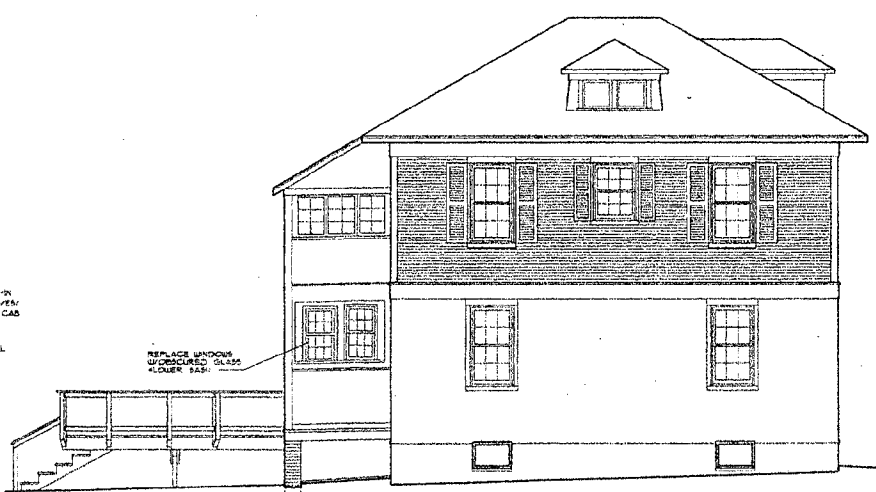
1 PROPOSED SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED BATHROOM ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

Bennett Frank McCarthy Architects, Inc.
7000 Carroll Avenue
Takoma Park, Maryland 20912
301-270-9480

MATTES ADDITION
508 TULIP AVENUE, TAKOMA PARK, MD 20912
Project # 0412

Date:
25 May 2004
Preliminary
Bid Set

Sheet Title: PROPOSED INTERIOR
& EXTERIOR ELEVATIONS
Scale: 1/4" = 1'-0"

Bennett Frank McCarthy Architects, Inc.

7003 Carroll Avenue, Takoma Park, Maryland 20912-4429

(301) 270-9480

May 28, 2004

Mattes Renovation
508 Tulip Avenue
Takoma Park, MD 20912
Project #0412
Outline Specification for Preliminary Estimate 5/04

Scope:

Construction of a new bathroom and partial renovation to a porch addition of a single family detached residence at 508 Tulip Avenue, Takoma Park, MD. The scope of work includes a new bathroom and pantry closet on the first floor and repair to the existing porch addition.

Drawings attached include:

Proposed: Plans, dated 25 May 2004
Elevations, dated 25 May 2004

Spec Section

Choice for Estimate

1	General data Permits: Warranty Protection Debris Site access Schedule	Owner/Architect to obtain general building permit. Contractor shall provide 1 year warranty. Provide protection as necessary for existing site to remain. Remove at regular intervals Via the existing front driveway Start and finish dates to be specified
2	Sitework Rough & Fine Grading Tree Removal Utilities Hardscape Erosion Control Termite Treatment	Slope grade for positive drainage away from building. Maintain existing trees in rear yard. Municipal water and sewer, electricity, gas, telephone and CATV shall be provided. All utilities exist on site. N/A Provide measures as required by Montgomery County. Treat soil at perimeter and below new slabs and footings.
3	Concrete	Excavate and pour pier footings as necessary to replace existing at enclosed porch in accordance with ACI standards and recommendations.
4	Masonry	12" Brick/CMU foundation piers.
5	Metals	Miscellaneous lintels and steel beams.
6	Wood & Plastics	2x6 @ 16" O.C. stud walls for exterior and load bearing walls. 2x4 @ 16" O.C. stud walls for interior partitions. 10" or TJI @ 16" O.C. floor joists. Subfloors: 3/4" tongue and groove CDX plywood. Wall sheathing: 1/2" OSB.

- Interior trim: Paint grade pine, 7 1/4" base and 3 1/2" casings to match existing.
 Exterior trim: Paint grade finger joint trim, profile to match existing.
 Custom Millwork/Built-ins: Provide \$300 Allowance for Bathroom cabinet.
- 7 Thermal & Moisture Prot. Roof: N/A
 Flashing: Aluminum
 Downspouts and Gutters: N/A
 Exterior walls/gables Siding: MDO siding per elevations.
 Refinish/repair existing siding.
 5-1/2" (R-19) Batt insulation at exterior walls.
 10" (R-30) Batt insulation at floor.
 Tyvek or building felt over plywood sheathing.
 Dampproofing: spray on applied membrane dampproofing at new foundation/walls concealed below grade. Provide foundation drain to French drain/daylight to street side of site.
 Acoustical Separation Caulk: 30 year siliconized acrylic (paintable).
 Acoustical Insulation: install insulation at all bathroom walls.
- 8 Doors and Windows Windows: Andersen, with interior and exterior mullions per drawings. Windows shall be wood with full screens.
 Skylights: N/A
 Exterior Doors: Andersen Atrium Doors in Porch Room.
 Interior doors: Reuse owner's existing interior door, stain finish
 Hardware: Door sets shall be Schlage, F series, Plymouth in bright brass.
 Screen Doors: Provide new wood screen doors at Atrium door.
- 9 Finishes Drywall: 1/2" GWB throughout.
 Interior Paint: Benjamin Moore premium grade.
 Exterior Paint: Benjamin Moore or equivalent, premium grade on all new woodwork.
 Ceramic tile: First floor Bath: tile floor (\$10 per sq. ft. material allowance).
 Hardwood/Oak: New Porch Room floor (or Pine Floor, Add/Alt).
 Bead board: Tongue & groove bead board wainscot in Bathroom.
- 11 Equipment Bath Accessories:
 Medicine Cabinet
 Mirrors
 Towel Bars
 Toilet Paper Holder
 Grab bars
- 15 Mechanical Plumbing Fixtures: Kohler Basic
 Prefabricated shower unit in new Bathroom.
 Toilet in new Bathroom, Toto or equivalent.
 Corner Pedestal Sink in new Bathroom.
 All faucets & fittings to be bright brass.

HVAC: Existing gas boiler shall be retained. The existing system piping shall be modified as required for the renovated areas. Provide base board radiators (or radiant floor, Add/Alt).

Exhaust: Provide Nutone exhaust fan in new bath.
Sump: N/A

16 Electrical

Electrical service: Existing panels and 200 amp service shall be examined.

Lighting: Lightolier quality surface and recessed fixtures.
Contractor to provide allowance.

Electrical power: Provide wall receptacles and switches (Leviton Decora style) in conformance with NEC and local code for spacing and GFCI protection.

Smoke/Fire protection: provide per Code, hardwired.

Telephone & Cable TV: N/A

17 Alarm and Special Systems Alarm: N/A

