

37/03-04GG 56 Walnut St
Takoma Park Historic District




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: August 3, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner 
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 349083

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Deborah George (Jane Treacy, Agent)

Address: 56 Walnut Street, Takoma Park Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
340/777-6370

DPS - #8

AP 349083

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JANE TREACY
Daytime Phone No.: 202-302-5220

Tax Account No.: 13-01069932

Name of Property Owner: DEBORAH H. GEORGE Daytime Phone No.: 202-513-2213

Address: 50 WALNUT AVENUE TAKOMA PARK MD 20917
Street Number City State Zip Code

Contractor: JOSEPH KLOCKNER Phone No.: 301-270-3033

Contractor Registration No.: 32484

Agent for Owner: TREACY & EAGLEBURGER ARCH. Daytime Phone No.: 202-302-5220
JANE TREACY

LOCATION OF BUILDING/PREMISE

House Number: 50 Street: WALNUT AVENUE

Town/City: TAKOMA PARK Nearest Cross Street: EASTERN AVENUE

Lot: 28 Block: A Subdivision: 25

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|---------------------------------------|--|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> AC | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Well (complete Section 4) | <input type="checkbox"/> Other: _____ | | | | |

1B. Construction cost estimate: \$ 125,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jane H. Murray, Architect
Signature of owner or authorized agent

6.20.04
Date

Approved: X _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 8/03/04

Application/Permit No.: 349083 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING 1923 STUCCO STRUCTURE IS A ONE-STORY COTTAGE
STYLE WITH A FULL UNFINISHED BASEMENT. THE HOUSE
CURRENTLY HAS A SCREENED PORCH AT THE SIDE YARD
AND A COVERED PORCH AT THE BACK YARD. THE HOUSE
SITS APPROX. 32' FROM THE FRONT PROPERTY LINE WITH
A LARGE TREE IN THE FRONT YARD. THE REAR PROPERTY
LINE IS APPROX 48'-7" FROM THE HOUSE WITH A NUMBER OF
TREES GROWING ALONG THE BACK EDGE OF THE YARD.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

WE ARE PROPOSING AN INTERIOR RENOVATION OF THE HOUSE
THAT WILL NOT CHANGE THE EXISTING FOOTPRINT OF THE
STRUCTURE. THE ROOF SHAPE AT THE REAR OF THE HOUSE
WILL BE MODIFIED TO ACCOMMODATE HEADROOM FOR AN
ADDITIONAL BEDROOM IN THE ATTIC. AND A PORTION OF
THE EXISTING BACK PORCH WILL BE ENCLOSED TO CREATE A

2. SITE PLAN SMALL BREAKFAST ROOM OFF OF THE KITCHEN.

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



Date: July 15, 2004

MEMORANDUM

TO: Deborah George
56 Walnut Street, Takoma Park Historic District

Cc: Jane Treacy, Agent

FROM: Michele Naru, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application # 349083

Your Historic Area Work Permit application for a rear addition was **approved** by the Historic Preservation Commission at its July 14, 2004 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the HPC stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	56 Walnut Avenue, Takoma Park	Meeting Date:	07/14/04
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	07/07/04
Review:	HAWP	Public Notice:	06/30/04
Case Number:	37/03-04GG	Tax Credit:	None
Applicant:	Deborah George (Jane Treacy, Architect)	Staff:	Michele Naru

PROPOSAL: Rear Addition**RECOMMEND:** Approval**PROJECT DESCRIPTION**

SIGNIFICANCE: Non-Contributing Resource
STYLE: Tudor Revival
DATE: c1925

The house located at 56 Walnut Street is a non-contributing resource within the Takoma Park Historic District. The subject house is a one-story, side gabled, stucco clad, Tudor Revival style frame dwelling with a projecting gabled entrance bay detailed with a round arched doorway and heavy board and batten door. The house is sited approx. 32' from the front property line with a large tree in the front yard. The rear property line is approx. 48' from the house with a number of trees growing along the back edge of the property.

PROPOSAL:

The applicant is proposing an interior renovation of the house that will not be changing the existing footprint of the structure. The roof shape at the rear of the house will be modified to accommodate headroom for an additional bedroom in the attic and a portion of the existing back porch will be enclosed to create a small breakfast room off the kitchen. No trees are to be removed as part of this proposal.

STAFF DISCUSSION:

The Historic Preservation Commission utilizes the *Approved and Adopted Takoma Park Historic District Guidelines* when reviewing changes to non-contributing resources within the historic

district. The *Takoma Park Guidelines* define non-contributing resources as:

A resource, which is an intrusion in the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource's original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district's primary historical and architectural context.

The following *Takoma Park Guideline* pertains to this project:

- Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of non-contributing/ out-of-period resources, which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

In general, staff believes that the proposed addition is in scale with the existing house. The proposed addition is very sympathetic to the style, scale and massing of the adjacent historic resources and will be located at the rear – very minimally visible from the public right-of-way. Staff feels that this proposal meets the above criteria outlined in the *Takoma Park Guidelines*. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)1 and 2:

The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; and

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Takoma Park District Guidelines adopted in August, 1992.

With the general condition that the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits, if applicable, and after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



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Lot: 28 Block: A Subdivision: 25

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
- Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
- Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jane H. Treacy, Architect
Signature of owner or authorized agent

6.20.04
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 349083 Date Filed: _____ Date Issued: _____

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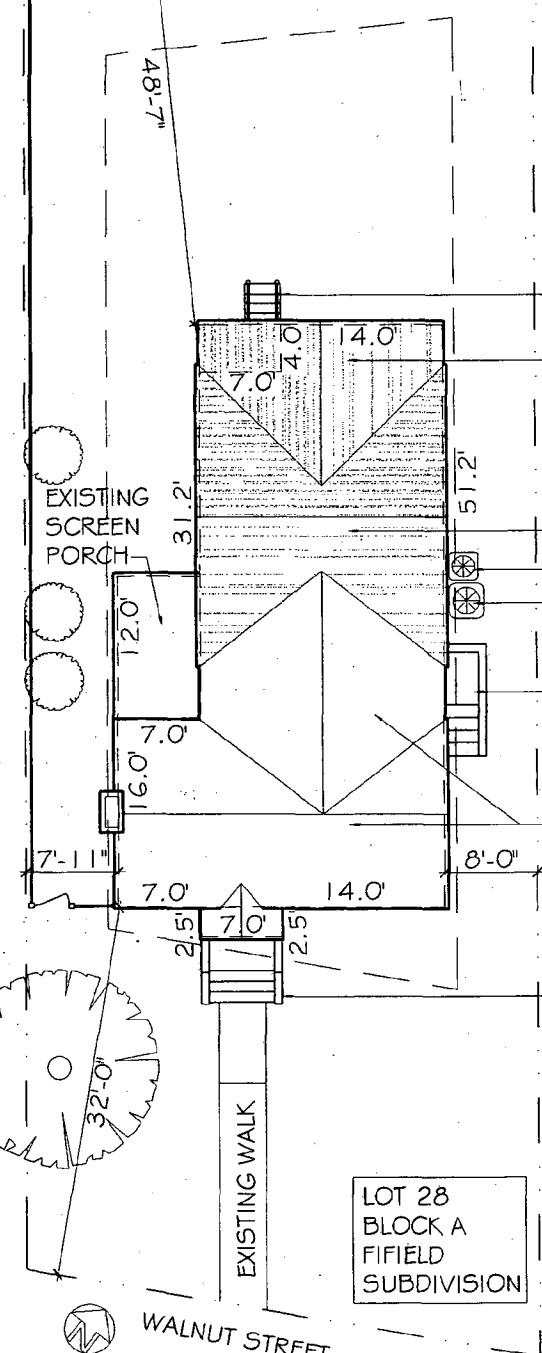
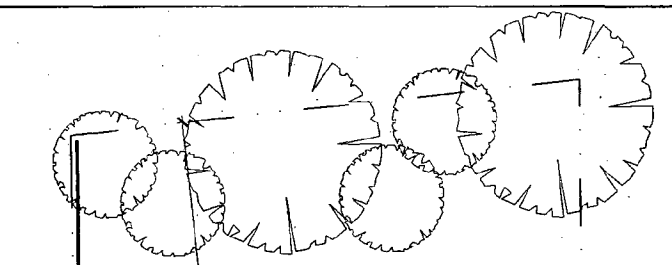
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4

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>DEBORAH A. GEORGE 56 WALNUT AVENUE TAKOMA PARK, MD 20912</p>	<p>Owner's Agent's mailing address</p>  <p>TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVE. NW, 2ND FL. WASHINGTON, D.C. 20008-5074 202-362-5226 • FAX: 202-362-7791</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>BERNICE A. HARLESTON 54 WALNUT AVENUE TAKOMA PARK, MD 20912</p>	<p>JORDAN BORAB & JESSIE S. BLACKBURN 55 WALNUT AVENUE TAKOMA PARK, MD 20912</p>
<p>PETER W. WATHEN-DUNN & MURIEL C. MORISEY 58 WALNUT AVENUE TAKOMA PARK, MD 20912</p>	<p>WILLIAM J. & M.R. VALDEZ 53 WALNUT AVENUE TAKOMA PARK, MD 20912</p>
<p>JAMES J. & M. RAST 12700 CIRCLE DRIVE ROCKVILLE, MD 20850</p>	<p>MICHAEL J. NATHAN 51 WALNUT AVENUE TAKOMA PARK, MD 20912</p>

AP 349083



- NEW PORCH STEPS TO GRADE
- RE-BUILD REAR GABLE
- NEW GABLE ROOF
- NEW AC UNIT
- EXISTING AC UNIT
- NEW AREA WAY TO SIDE DOOR
- EXISTING ROOF
- EXISTING FRONT STOOP & STAIR

GEORGE RESIDENCE
 56 WALNUT AVE.
 TAKOMA PARK, MD 20912

HAWP APPLICATION
 PROPOSED SITE PLAN
 1/16" = 1'-0"
 06.18.04

TREACY & EAGLEBURGER
 ARCHITECTS
 3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008
 202-362-5226 FAX: 202-362-7791

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PROPOSED MATERIAL SPECIFICATIONS

EXTERIOR TRIM TO BE PAINTED CLEAR CEDAR OR REDWOOD

INTERIOR TRIM TO BE PAINTED CLEAR PINE OR POPLAR

DECORATIVE WOOD RAILINGS TO BE PAINTED CLEAR FIR

FIBERGLASS SHINGLE ROOFING TO BE 40-YEAR, HIGH PROFILE ARCHITECTURAL SHINGLE OVER 15 LB. ASPHALT FELT TO MATCH EXISTING

EXISTING STUCCO TO BE PATCHED AND PAINTED AS REQUIRED TO MATCH EXISTING

EXTERIOR SIDING TO BE PAINTED 1x6 CEDAR "DROP" SIDING WITH CURVED DROP

EXTERIOR VERTICAL BOARD TO BE PAINTED 1x4 SHIPLAP CEDAR

GUTTERS AND DOWN SPOUTS TO BE PAINTED ALUMINUM TO MATCH EXISTING

ALL NEW WINDOWS TO BE WEATHERSHIELD PRIMED WOOD FRAME, INSULATING LOW E WITH ARGON GLASS AND SIMULATED DIVIDED LITES.

ALL NEW EXTERIOR DOORS TO BE WEATHERSHIELD PRIMED WOOD IN SWING FRENCH DOORS, INSULATED GLASS WITH SIMULATED DIVIDED LITES.

GEORGE RESIDENCE

56 WALNUT AVE.
TAKOMA PARK, MD 20912

HAWP APPLICATION
PROPOSED MATERIALS

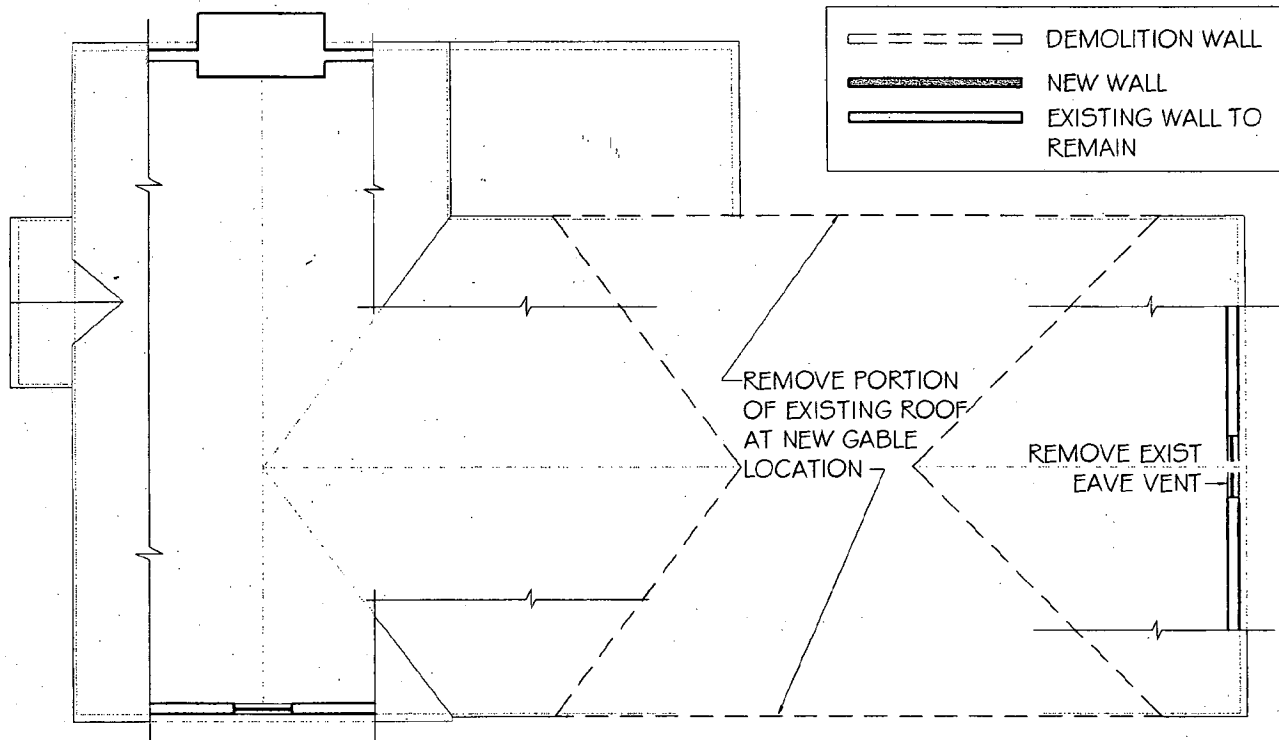
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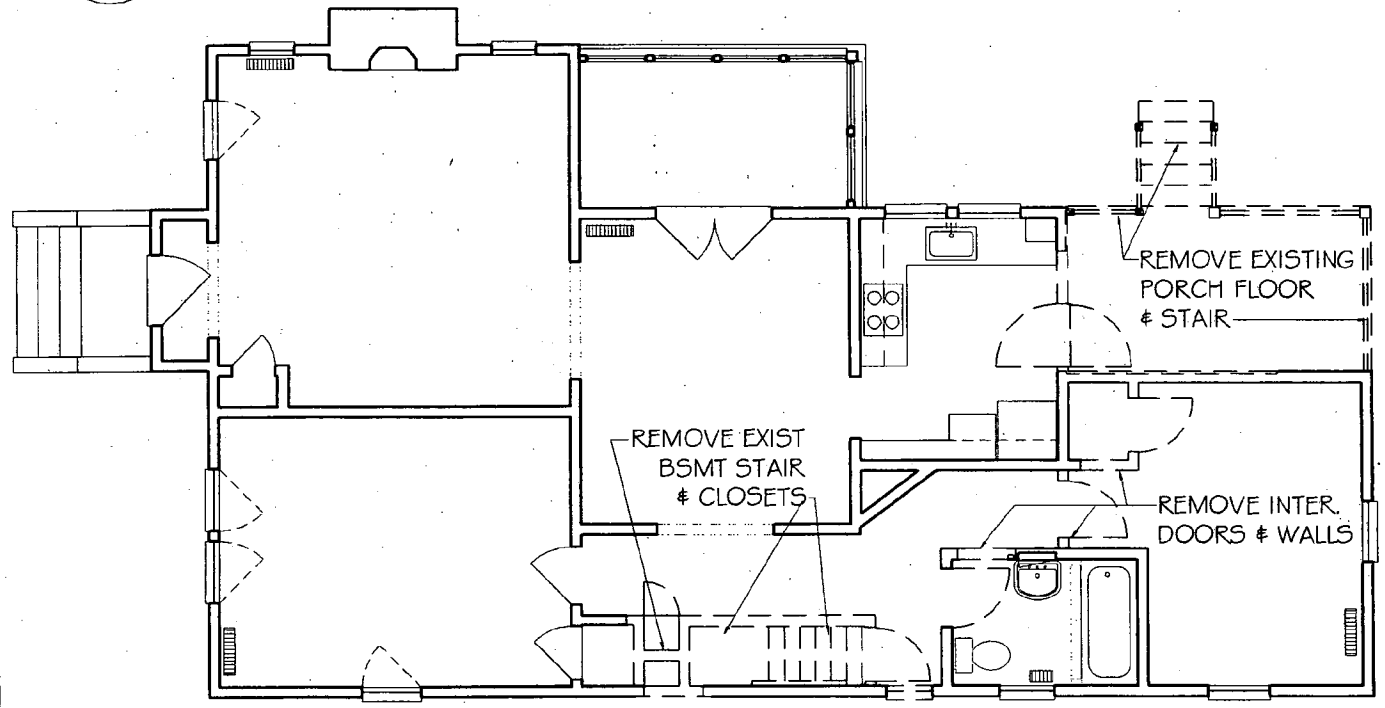
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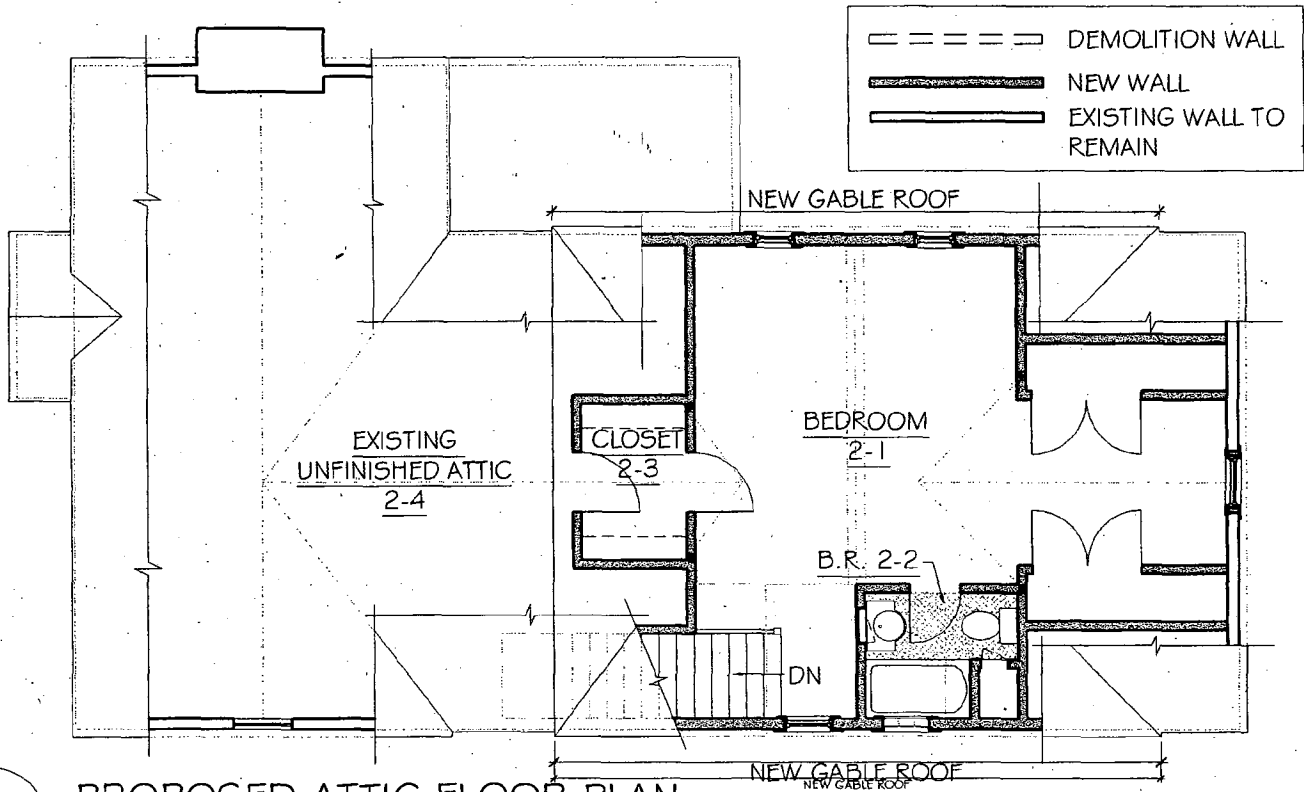


A ATTIC DEMOLITION PLAN
5 1/8" = 1'-0"

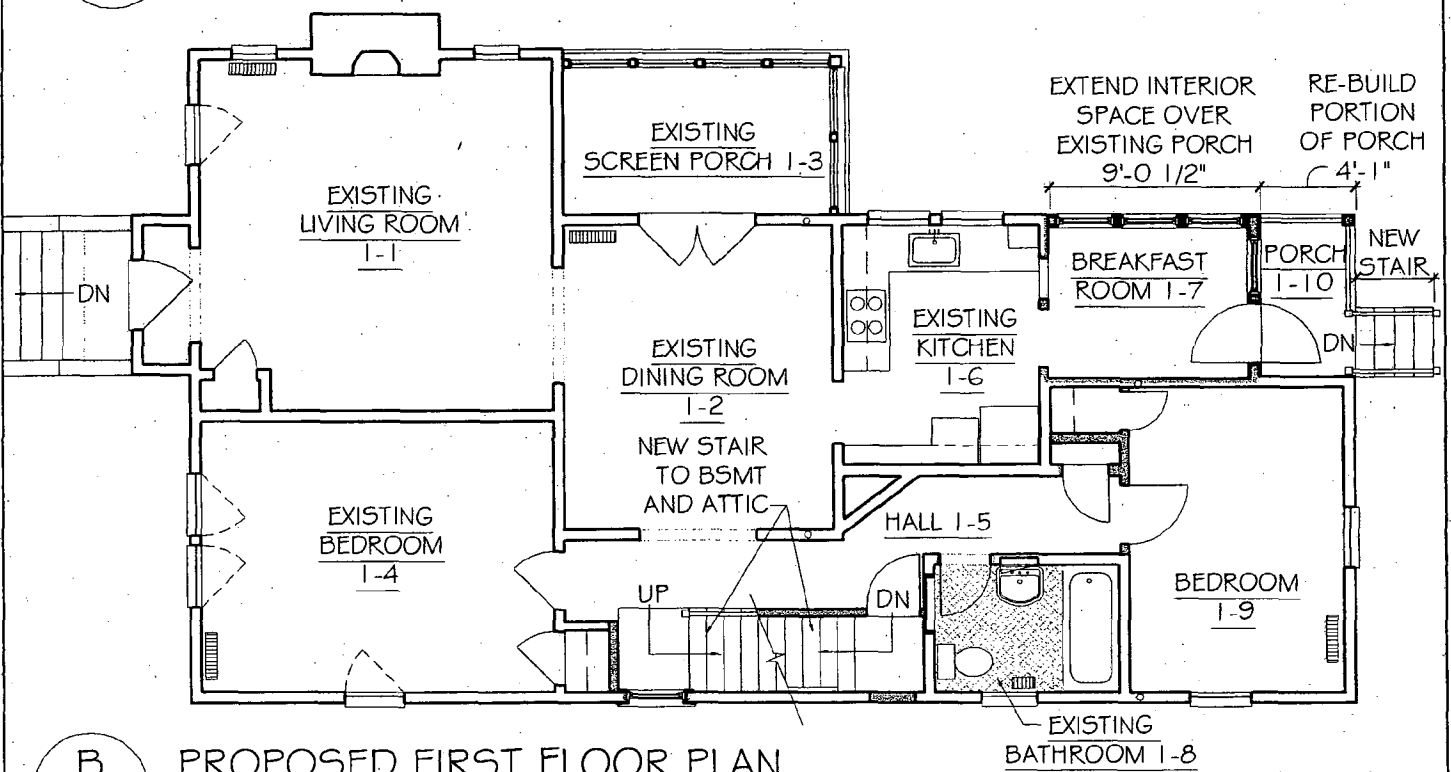


B FIRST FLOOR DEMOLITION PLAN
5 1/8" = 1'-0"

<p>GEORGE RESIDENCE 56 WALNUT AVE. TAKOMA PARK, MD 20912</p>	<p>HAWP APPLICATION EXISTING PLANS 1/8" = 1'-0" 06.18.04</p>	<p>TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008 202-362-5226 FAX: 202-362-7791</p>
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A PROPOSED ATTIC FLOOR PLAN
 2 1/8" = 1'-0"



B PROPOSED FIRST FLOOR PLAN
 2 1/8" = 1'-0"

<p>GEORGE RESIDENCE 56 WALNUT AVE. TAKOMA PARK, MD 20912</p>	<p>HAWP APPLICATION PROPOSED PLANS 1/8" = 1'-0" 06.18.04</p>	<p>TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008 202-362-5226 FAX: 202-362-7791</p>
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A EXISTING FRONT ELEVATION
 6 1/8"=1'-0"



B EXISTING SIDE ELEVATION
 6 1/8"=1'-0"

GEORGE RESIDENCE
 56 WALNUT AVE.
 TAKOMA PARK, MD 20912

HAWP APPLICATION
 EXISTING ELEVATIONS
 1/8"=1'-0"
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TREACY & EAGLEBURGER
 ARCHITECTS

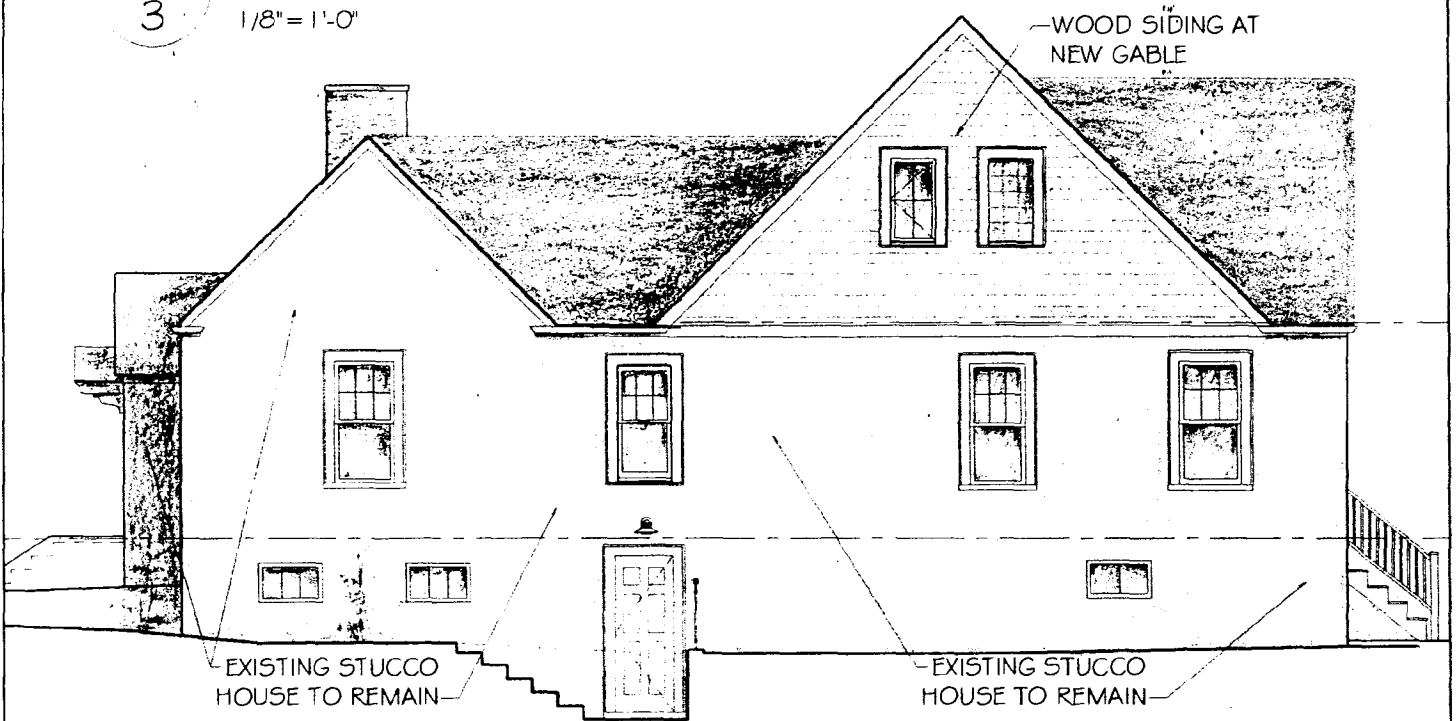
3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008
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--- EXISTING STUCCO
HOUSE TO REMAIN ---

A FRONT ELEVATION

3 1/8" = 1'-0"



--- WOOD SIDING AT
NEW GABLE ---

--- EXISTING STUCCO
HOUSE TO REMAIN ---

--- EXISTING STUCCO
HOUSE TO REMAIN ---

B SIDE ELEVATION

3 1/8" = 1'-0"

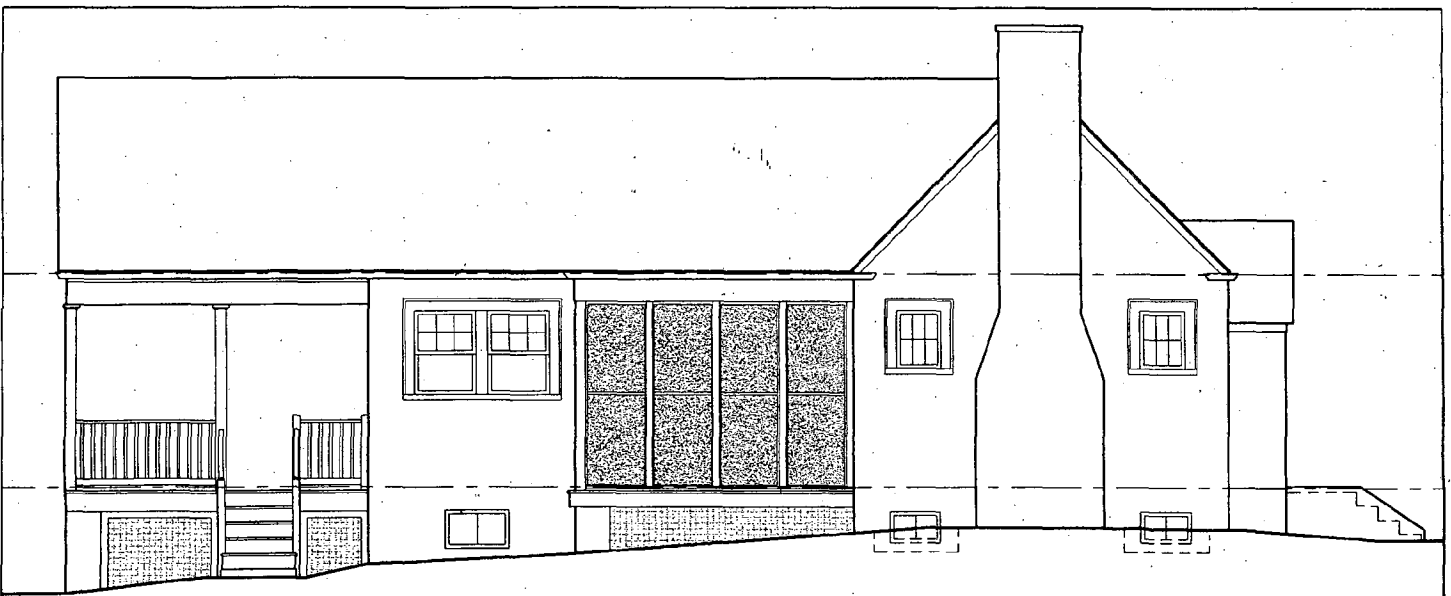
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1/8" = 1'-0"
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C EXISTING SIDE ELEVATION
7 1/8"=1'-0"



D EXISTING REAR ELEVATION
7 1/8"=1'-0"

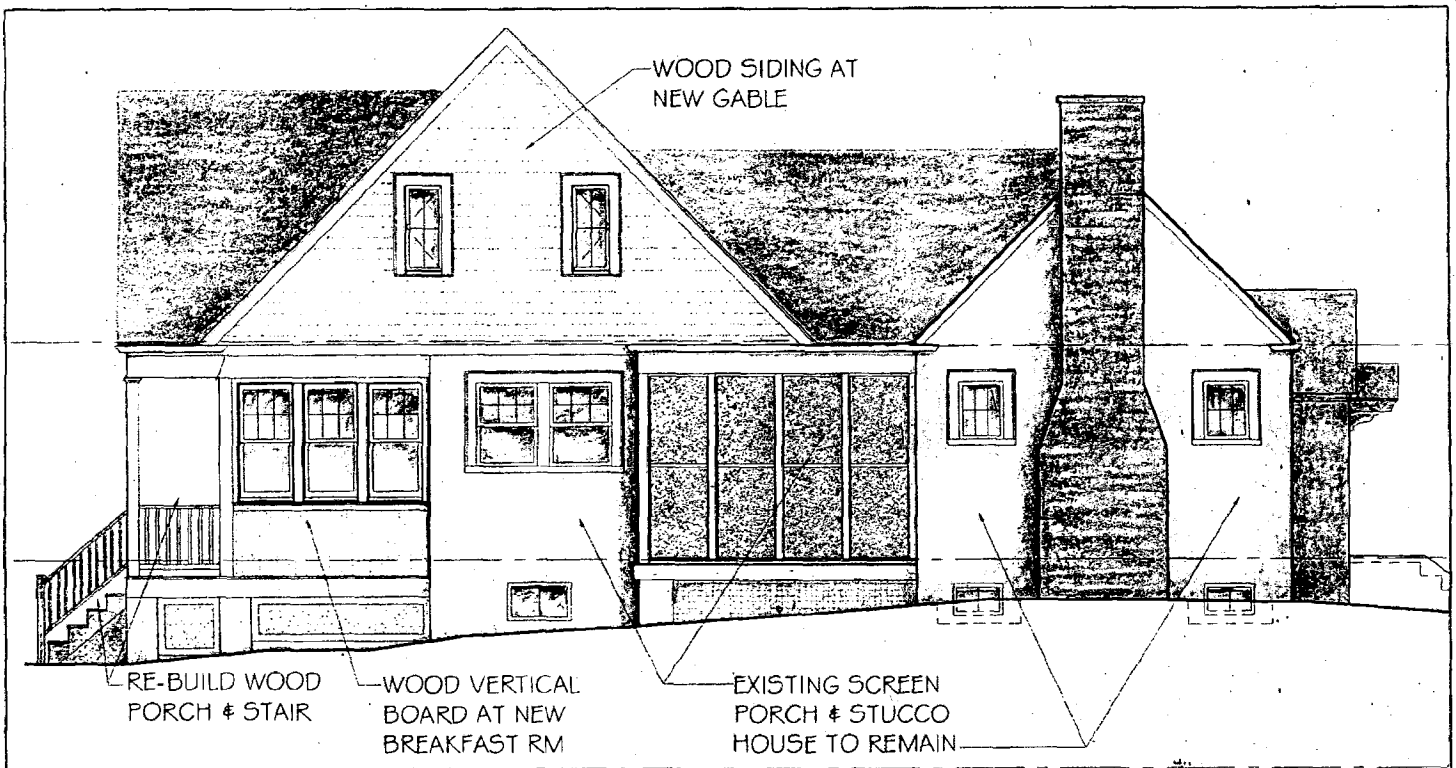
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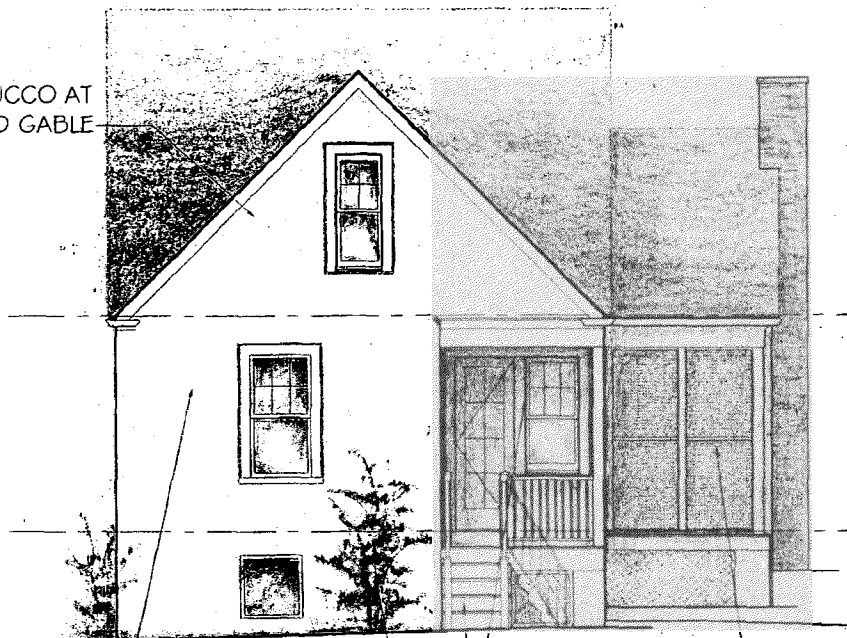
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B SIDE ELEVATION

4 1/8" = 1'-0"

PATCH STUCCO AT RE-FRAMED GABLE



EXISTING STUCCO HOUSE TO REMAIN

EXISTING SCREEN PORCH TO REMAIN

WOOD PORCH & STAIR

A REAR ELEVATION

4 1/8" = 1'-0"

GEORGE RESIDENCE
56 WALNUT AVE.
TAKOMA PARK, MD 20912

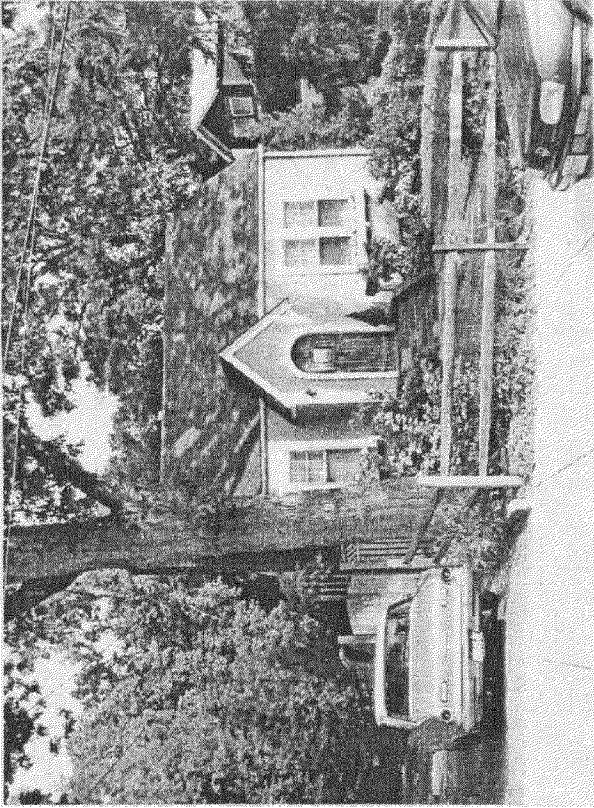
HAWP APPLICATION
PROPOSED ELEVATIONS
1/8" = 1'-0"
06.18.04



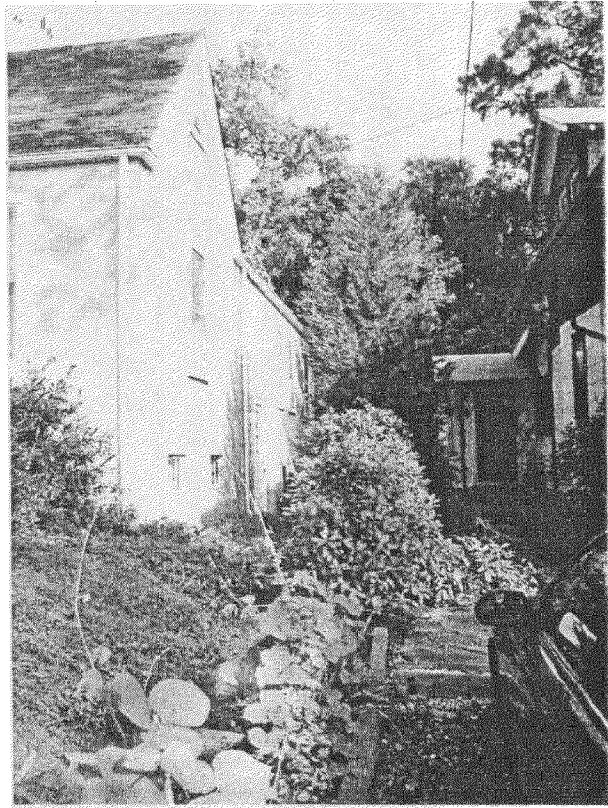
TREACY & EAGLEBURGER
ARCHITECTS

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202-362-5226 FAX: 202-362-7791

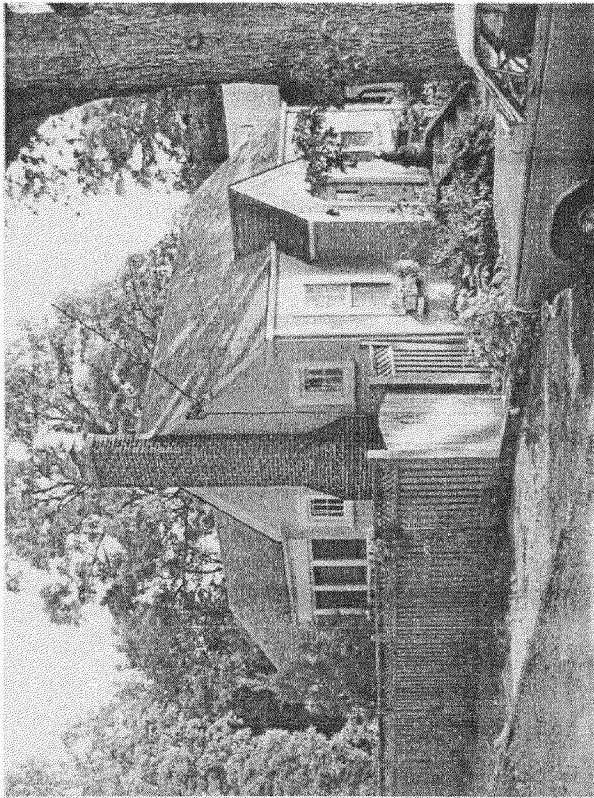
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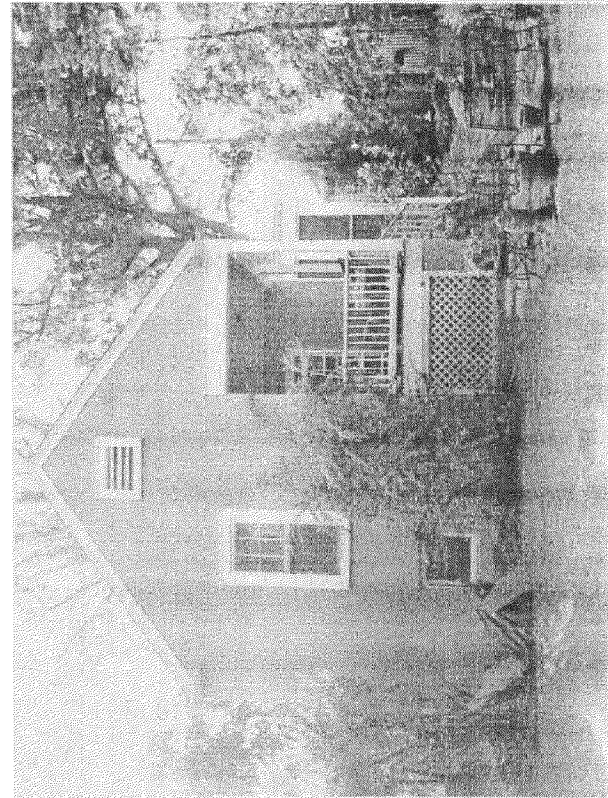
FRONT ELEVATION FROM WALNUT AVENUE



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

GEORGE RESIDENCE

56 WALNUT AVE.
TAKOMA PARK, MD 20912

HAWP APPLICATION

EXISTING PHOTOS

06.18.04




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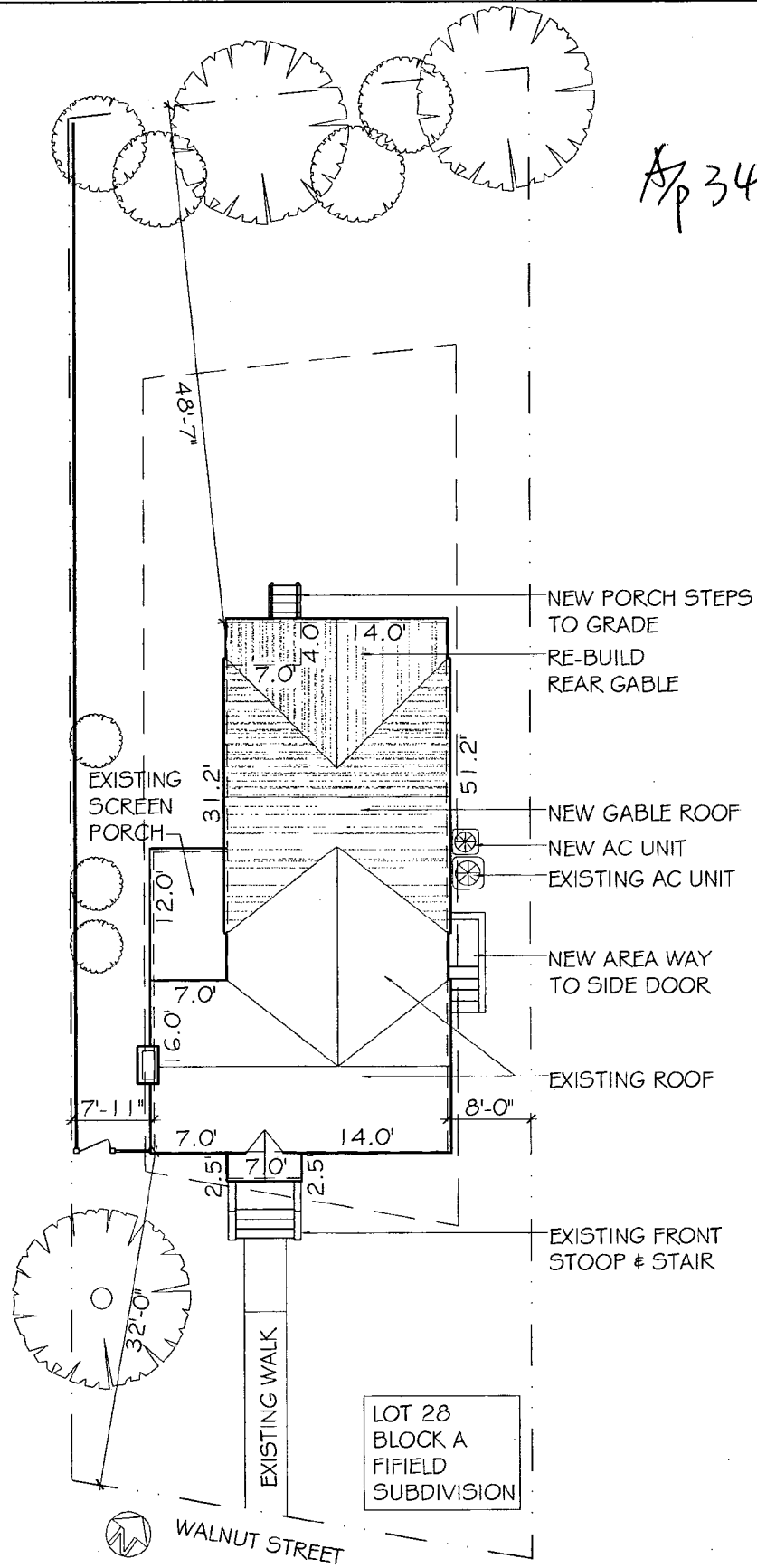
3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008
202-362-5226 FAX: 202-362-7791

14

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
<p>DEBORAH A. GEORGE 56 WALNUT AVENUE TAKOMA PARK, MD 20912</p>	 <p>TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVE. NW, 2ND FL. WASHINGTON, D.C. 20008-5071 202-362-5226 • FAX: 202-362-7791</p>
Adjacent and confronting Property Owners mailing addresses	
<p>BERNICE A. HARLESTON 54 WALNUT AVENUE TAKOMA PARK, MD 20912</p>	<p>JORDAN BORAB & JESSIE S. BLACKBURN 55 WALNUT AVENUE TAKOMA PARK, MD 20912</p>
<p>PETER W. WATHEN-DUNN & MURIEL C. MORISEY 58 WALNUT AVENUE TAKOMA PARK, MD 20912</p>	<p>WILLIAM J. & M.R. VALDEZ 53 WALNUT AVENUE TAKOMA PARK, MD 20912</p>
<p>JAMES J. & M. RAST 12700 CIRCLE DRIVE ROCKVILLE, MD 20850</p>	<p>MICHAEL J. NATHAN 51 WALNUT AVENUE TAKOMA PARK, MD 20912</p>

AP 349083



- NEW PORCH STEPS TO GRADE
- RE-BUILD REAR GABLE
- NEW GABLE ROOF
- NEW AC UNIT
- EXISTING AC UNIT
- NEW AREA WAY TO SIDE DOOR
- EXISTING ROOF
- EXISTING FRONT STOOP & STAIR

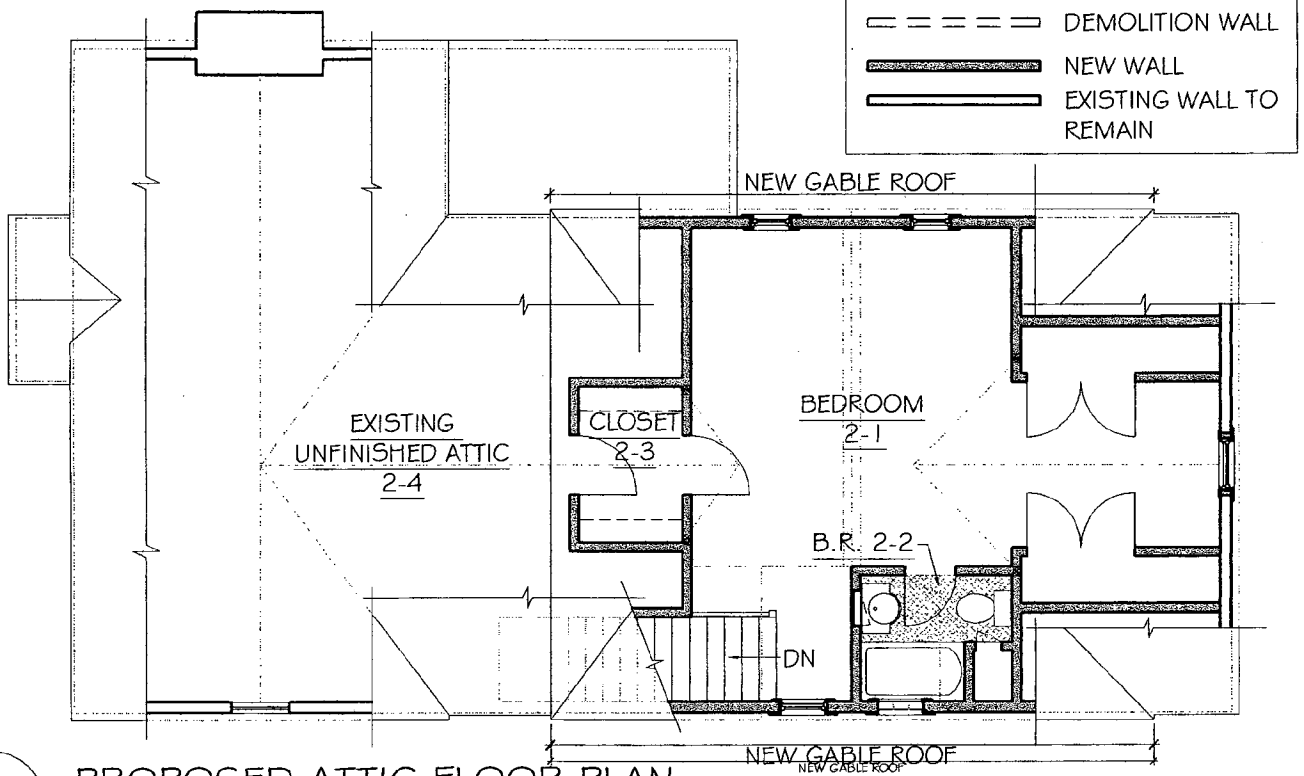
LOT 28
BLOCK A
FIFIELD
SUBDIVISION

WALNUT STREET

GEORGE RESIDENCE
56 WALNUT AVE.
TAKOMA PARK, MD 20912

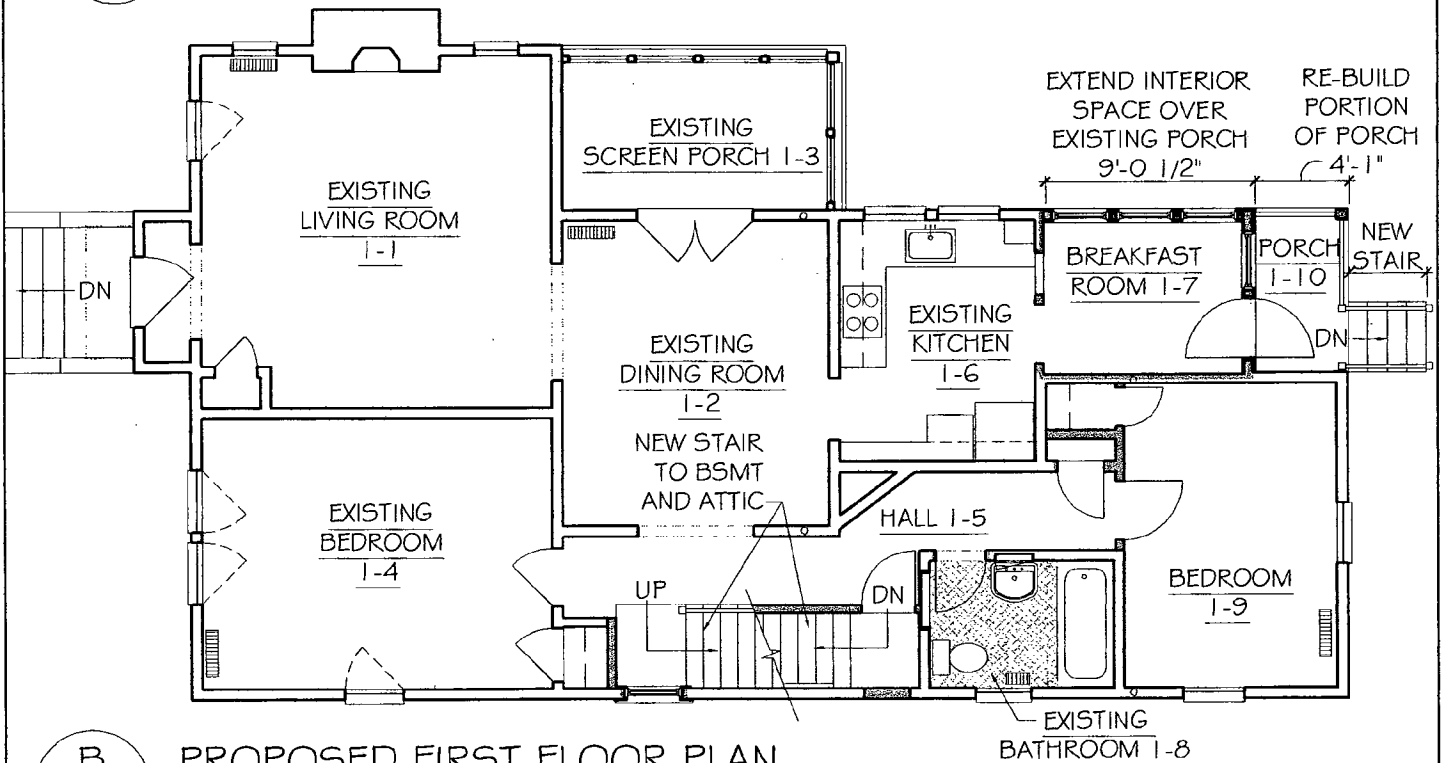
HAWP APPLICATION
PROPOSED SITE PLAN
1/16" = 1'-0"
06.18.04

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ARCHITECTS
3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008
202-362-5226 FAX: 202-362-7791



A PROPOSED ATTIC FLOOR PLAN

2 1/8" = 1'-0"



B PROPOSED FIRST FLOOR PLAN

2 1/8" = 1'-0"

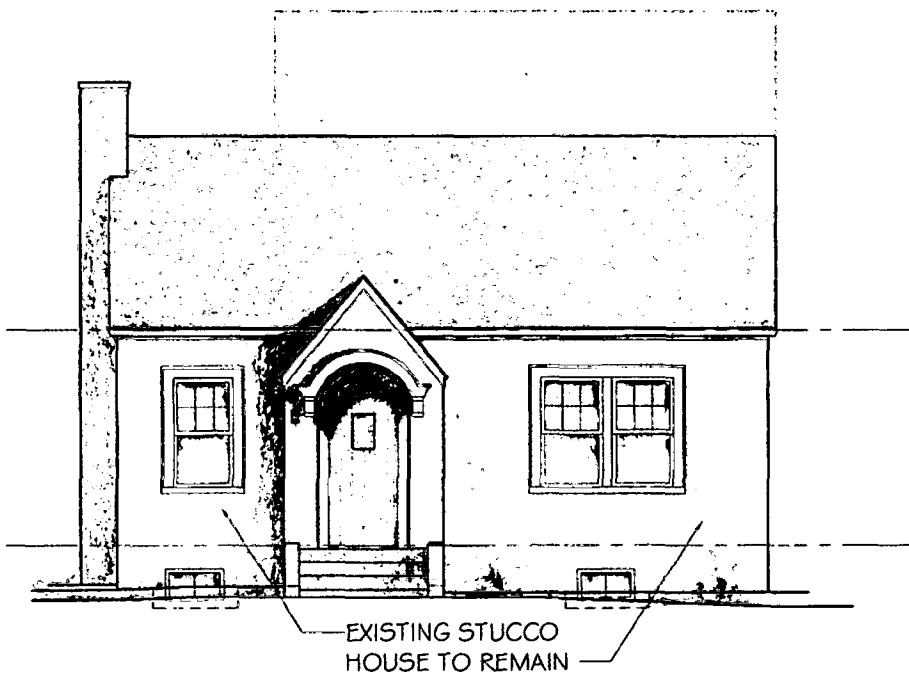
GEORGE RESIDENCE
 56 WALNUT AVE.
 TAKOMA PARK, MD 20912

HAWP APPLICATION
 PROPOSED PLANS
 1/8" = 1'-0"
 06.18.04

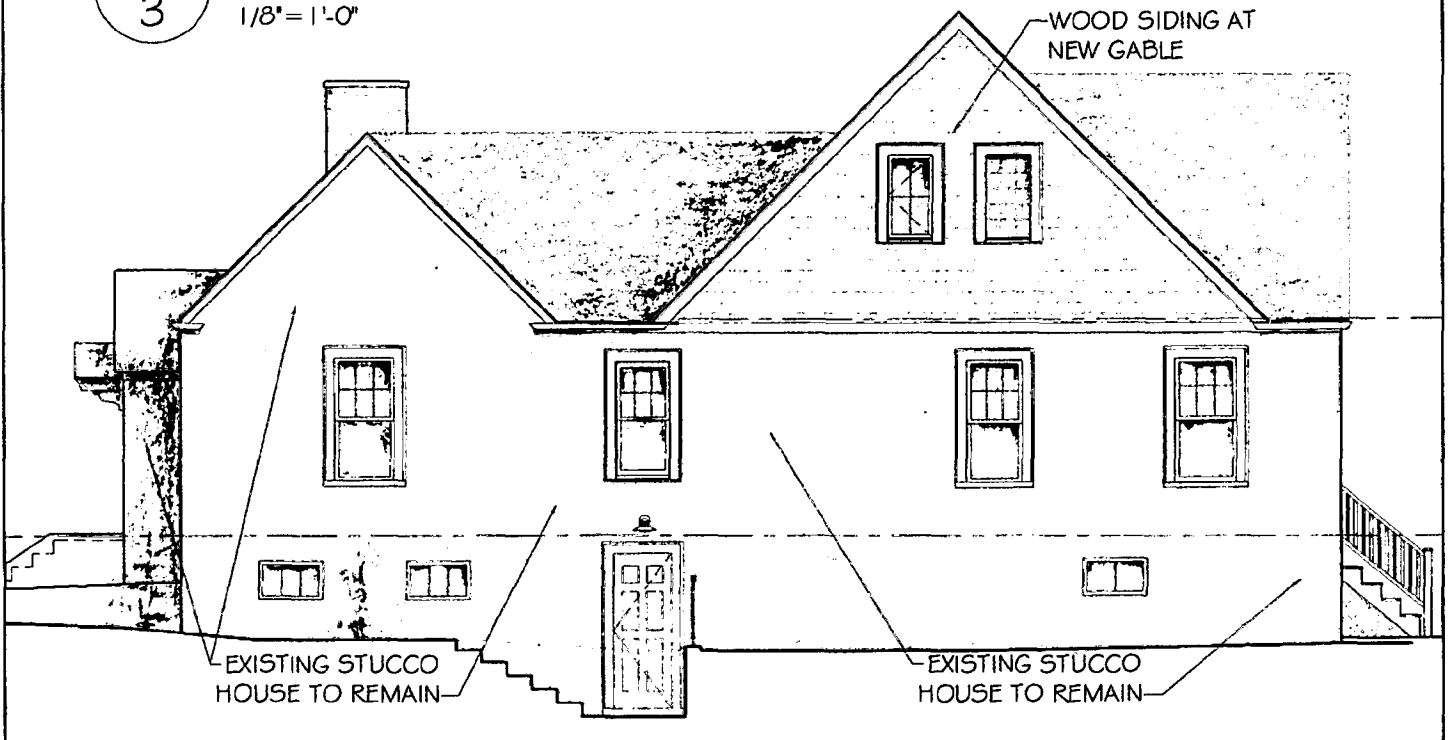


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 202-362-5226 FAX: 202-362-7791



A FRONT ELEVATION
3 1/8" = 1'-0"



B SIDE ELEVATION
3 1/8" = 1'-0"

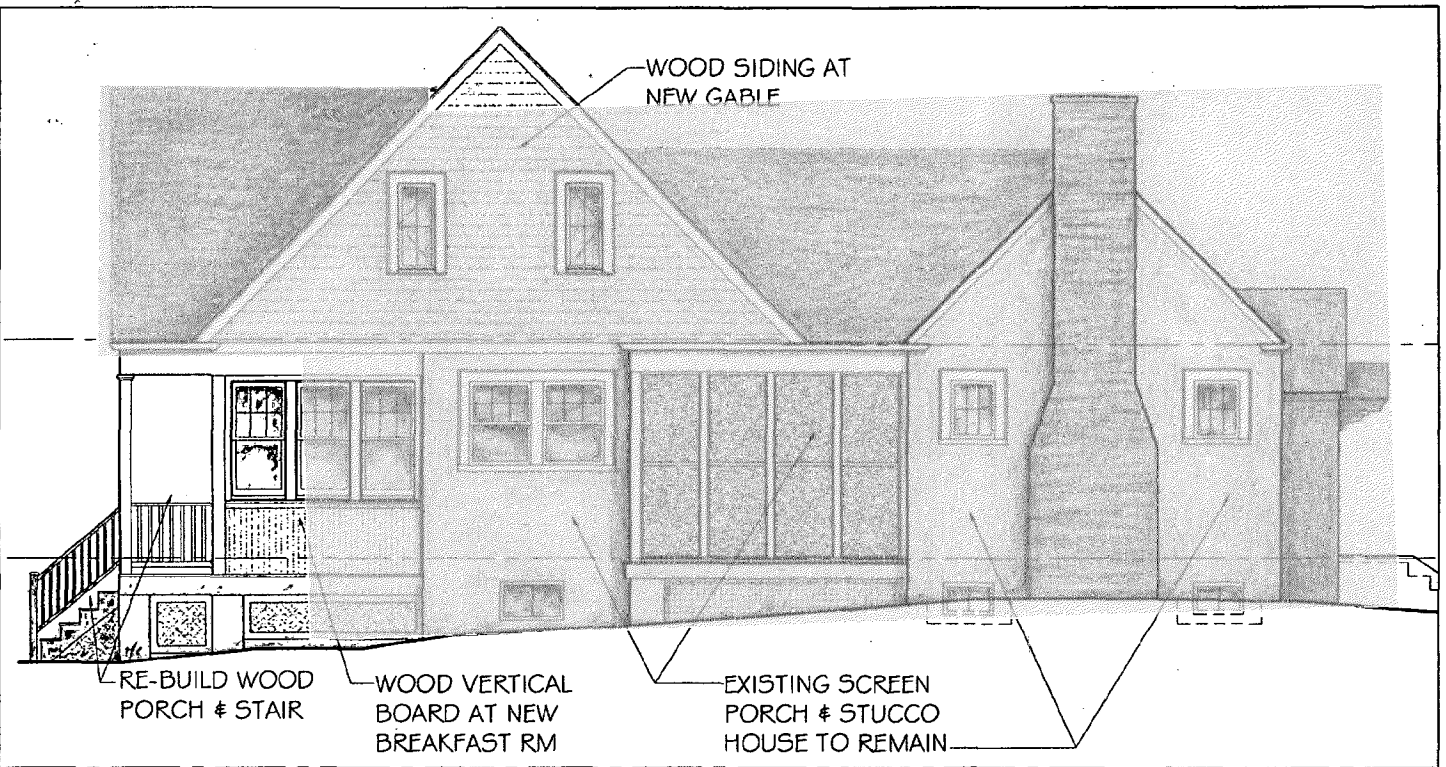
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TAKOMA PARK, MD 20912

HAWP APPLICATION
PROPOSED ELEVATIONS
1/8" = 1'-0"
06.18.04



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B SIDE ELEVATION
4 1/8" = 1'-0"



A REAR ELEVATION
4 1/8" = 1'-0"

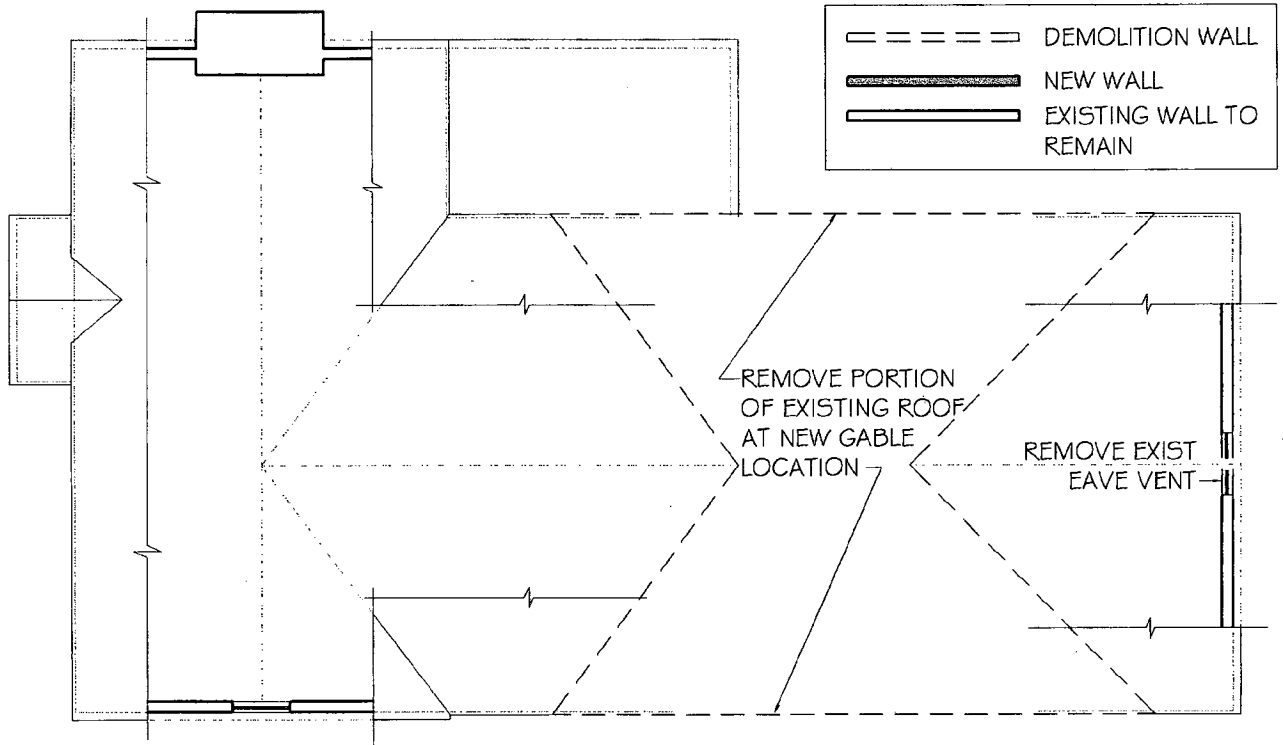
GEORGE RESIDENCE
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HAWP APPLICATION
PROPOSED ELEVATIONS
 1/8" = 1'-0"
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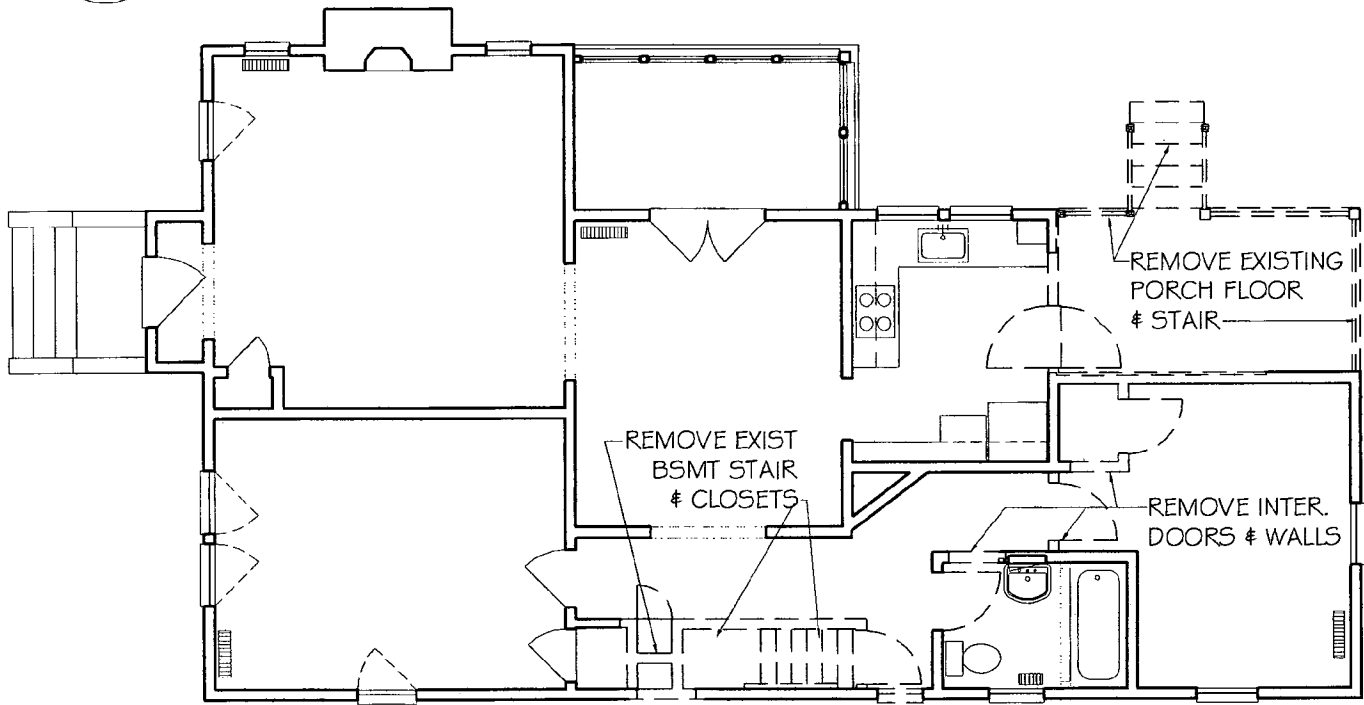
TREACY & EAGLEBURGER
 ARCHITECTS

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 202-362-5226 FAX: 202-362-7791



A ATTIC DEMOLITION PLAN

5 1/8" = 1'-0"



B FIRST FLOOR DEMOLITION PLAN

5 1/8" = 1'-0"

GEORGE RESIDENCE
 56 WALNUT AVE.
 TAKOMA PARK, MD 20912

HAWP APPLICATION
 EXISTING PLANS
 1/8" = 1'-0"
 06.18.04



TREACY & EAGLEBURGER
 ARCHITECTS

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 202-362-5226 FAX: 202-362-7791



A EXISTING FRONT ELEVATION
6 1/8"=1'-0"



B EXISTING SIDE ELEVATION
6 1/8"=1'-0"

GEORGE RESIDENCE
56 WALNUT AVE.
TAKOMA PARK, MD 20912

HAWP APPLICATION
EXISTING ELEVATIONS
1/8"=1'-0"
06.18.04



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C
7

EXISTING SIDE ELEVATION

1/8" = 1'-0"



D
7

EXISTING REAR ELEVATION

1/8" = 1'-0"

GEORGE RESIDENCE

56 WALNUT AVE.
TAKOMA PARK, MD 20912

HAWP APPLICATION
EXISTING ELEVATIONS

1/8" = 1'-0"
06.18.04



TREACY & EAGLEBURGER
ARCHITECTS

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PROPOSED MATERIAL SPECIFICATIONS

EXTERIOR TRIM TO BE PAINTED CLEAR CEDAR OR REDWOOD

INTERIOR TRIM TO BE PAINTED CLEAR PINE OR POPLAR

DECORATIVE WOOD RAILINGS TO BE PAINTED CLEAR FIR

FIBERGLASS SHINGLE ROOFING TO BE 40-YEAR, HIGH PROFILE ARCHITECTURAL SHINGLE OVER 15 LB. ASPHALT FELT TO MATCH EXISTING

EXISTING STUCCO TO BE PATCHED AND PAINTED AS REQUIRED TO MATCH EXISTING

EXTERIOR SIDING TO BE PAINTED 1x6 CEDAR "DROP" SIDING WITH CURVED DROP

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ALL NEW WINDOWS TO BE WEATHERSHIELD PRIMED WOOD FRAME, INSULATING LOW E WITH ARGON GLASS AND SIMULATED DIVIDED LITES.

ALL NEW EXTERIOR DOORS TO BE WEATHERSHIELD PRIMED WOOD INSWING FRENCH DOORS, INSULATED GLASS WITH SIMULATED DIVIDED LITES.

GEORGE RESIDENCE

56 WALNUT AVE.
TAKOMA PARK, MD 20912

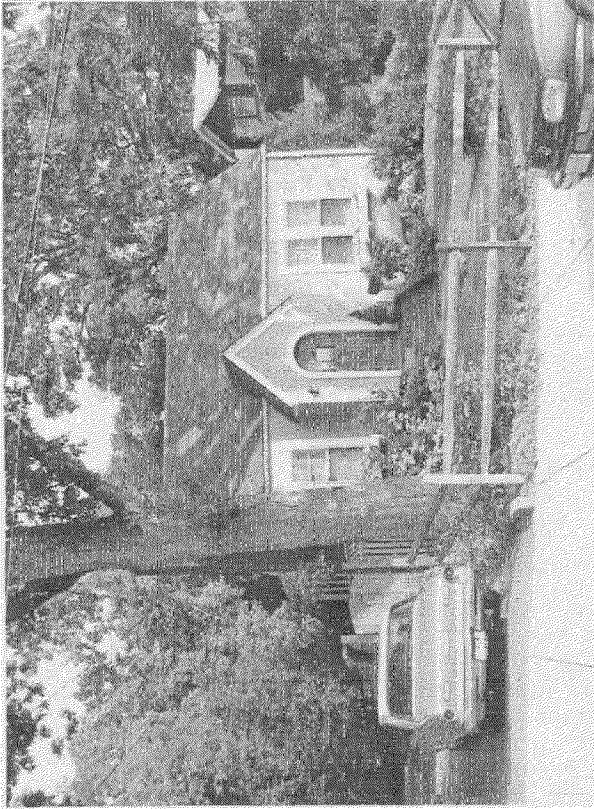
HAWP APPLICATION
PROPOSED MATERIALS

06.18.04

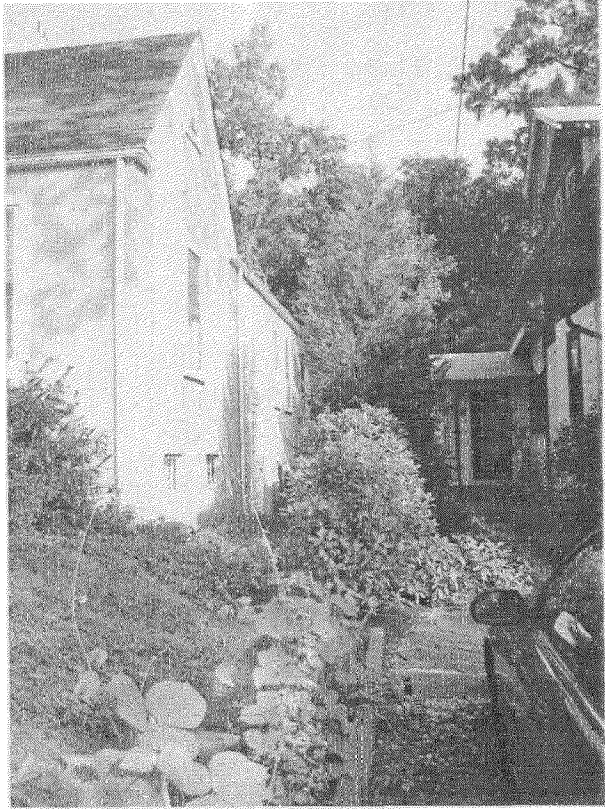


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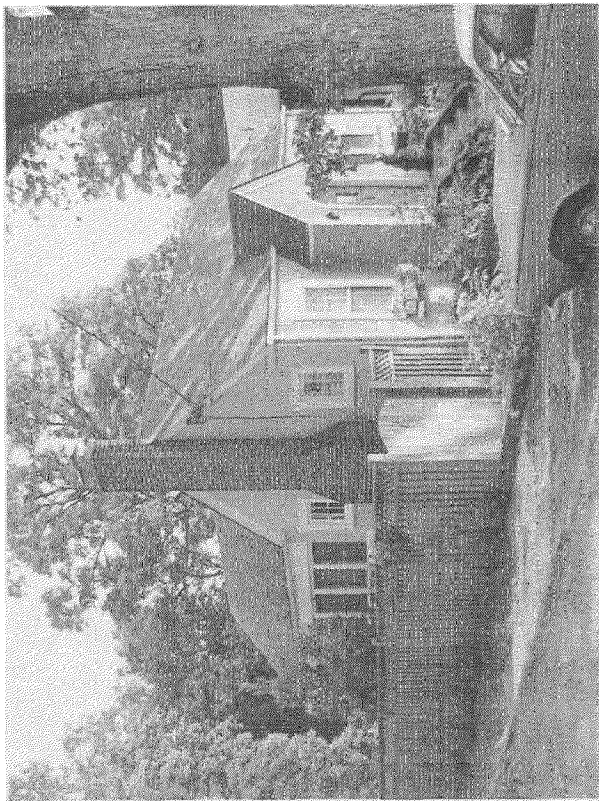
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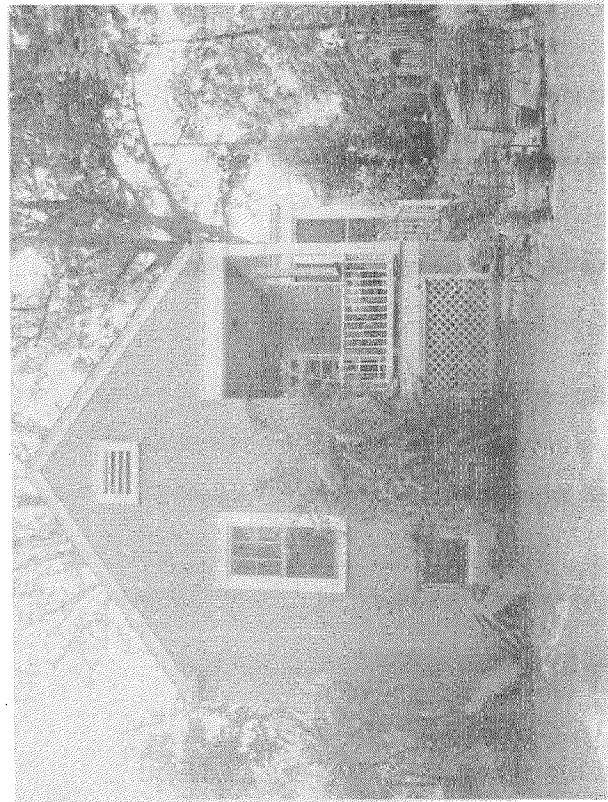
FRONT ELEVATION FROM WALNUT AVENUE



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

GEORGE RESIDENCE

56 WALNUT AVE.
TAKOMA PARK, MD 20912

HAWP APPLICATION
EXISTING PHOTOS

06.18.04

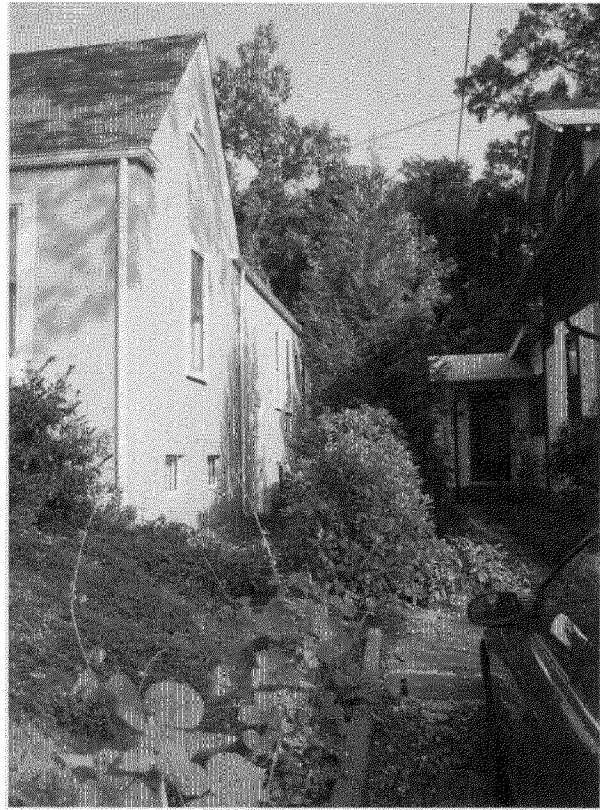


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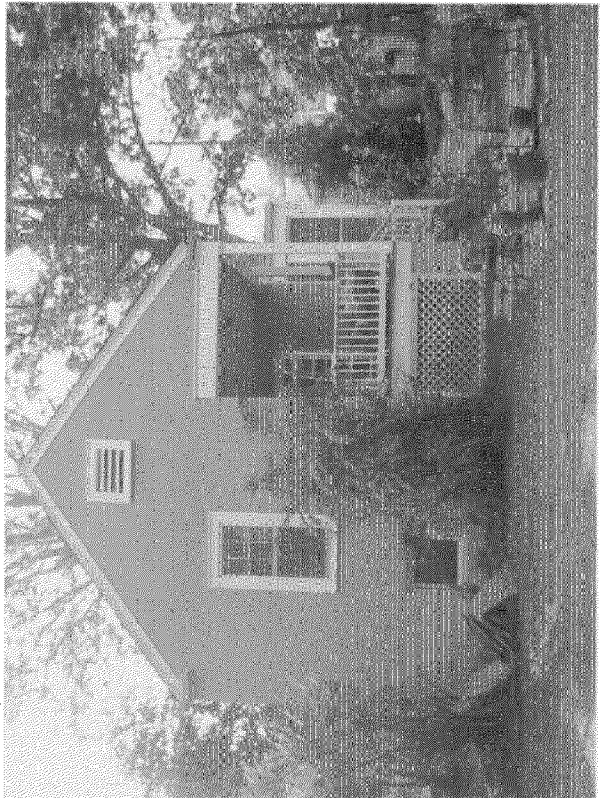
FRONT ELEVATION FROM WALNUT AVENUE



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

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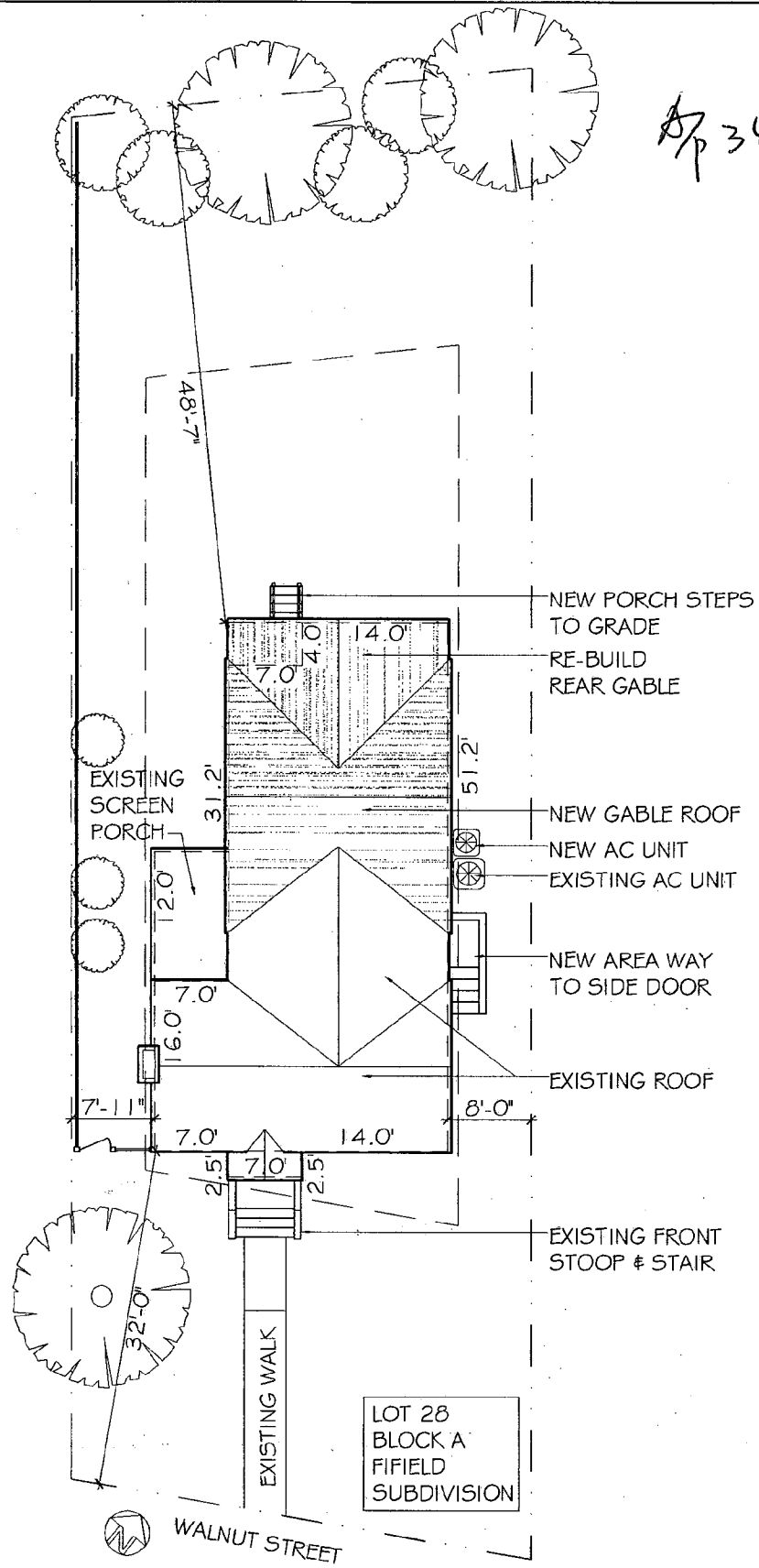
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AP 349083



- NEW PORCH STEPS TO GRADE
- RE-BUILD REAR GABLE
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LOT 28
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WALNUT STREET

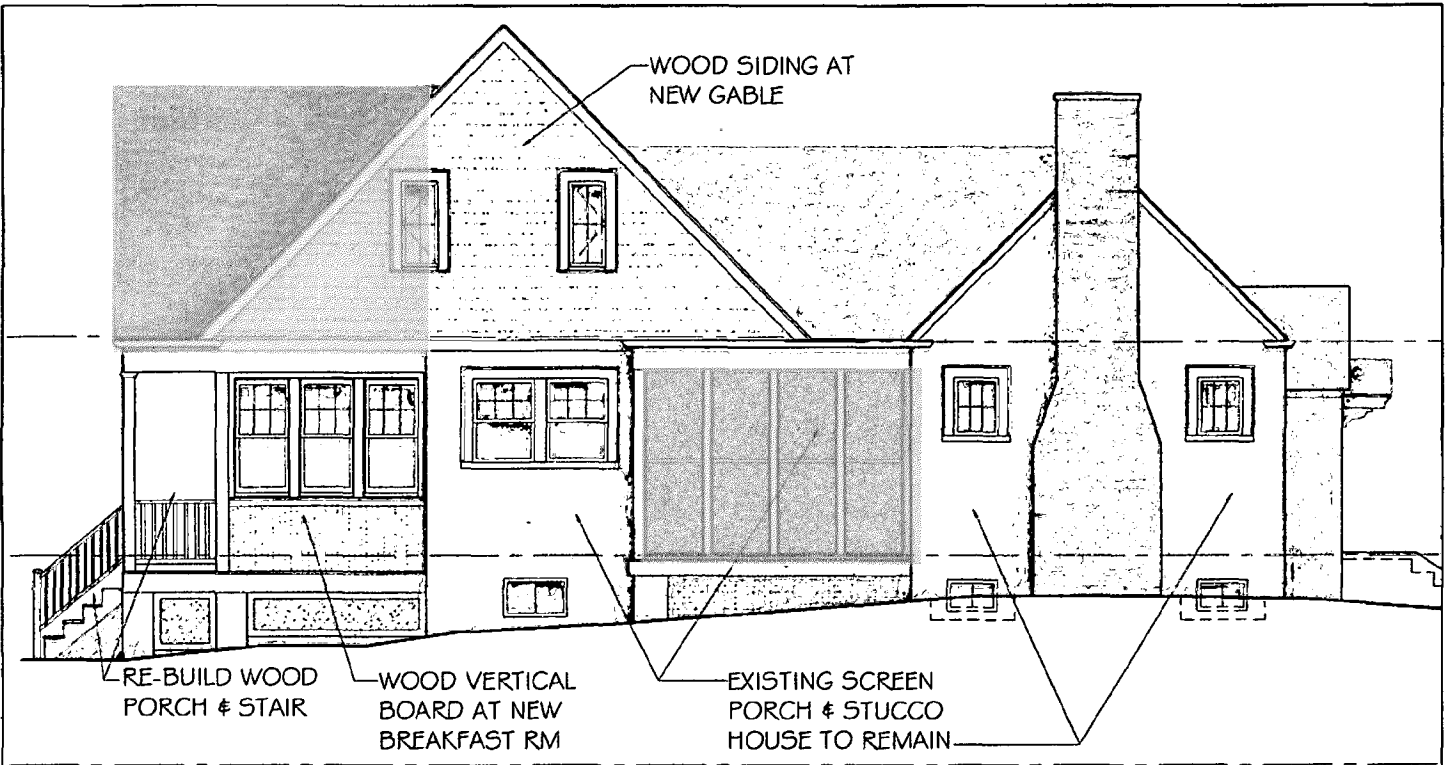
GEORGE RESIDENCE
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HAWP APPLICATION
PROPOSED SITE PLAN
1/16" = 1'-0"
06.18.04

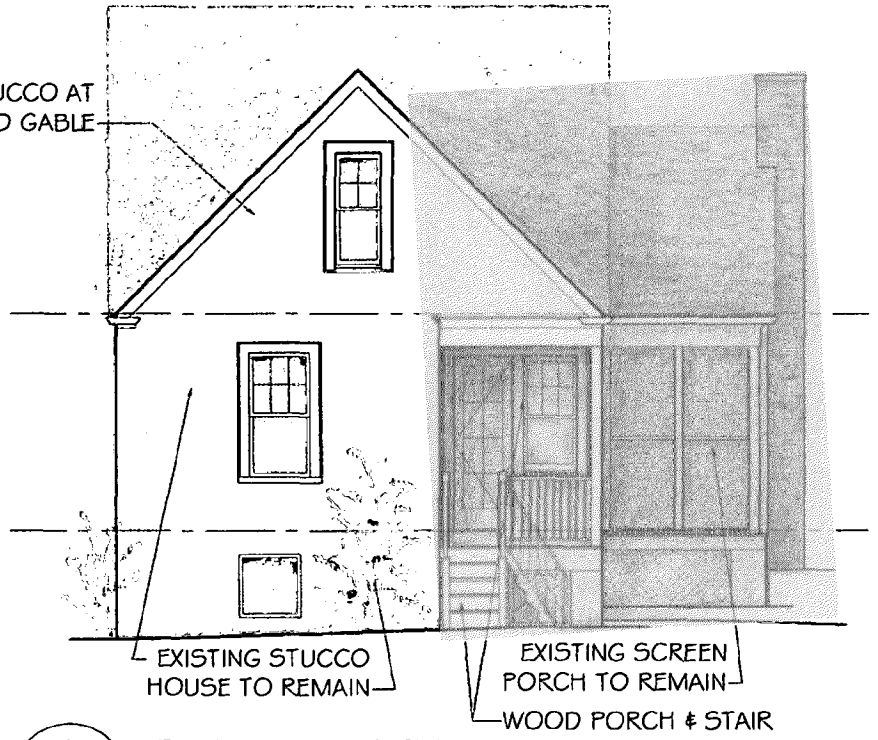


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B SIDE ELEVATION
4 1/8" = 1'-0"



A REAR ELEVATION
4 1/8" = 1'-0"

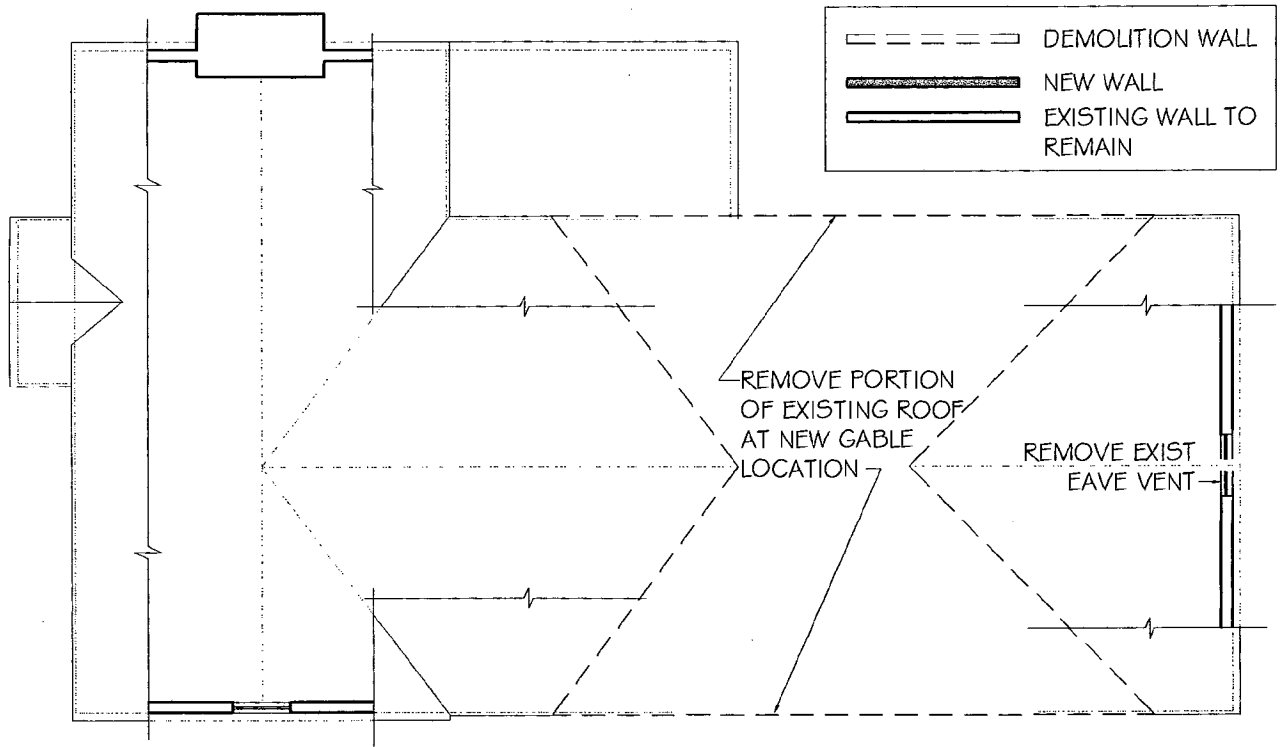
GEORGE RESIDENCE
56 WALNUT AVE.
TAKOMA PARK, MD 20912

HAWP APPLICATION
PROPOSED ELEVATIONS
1/8" = 1'-0"
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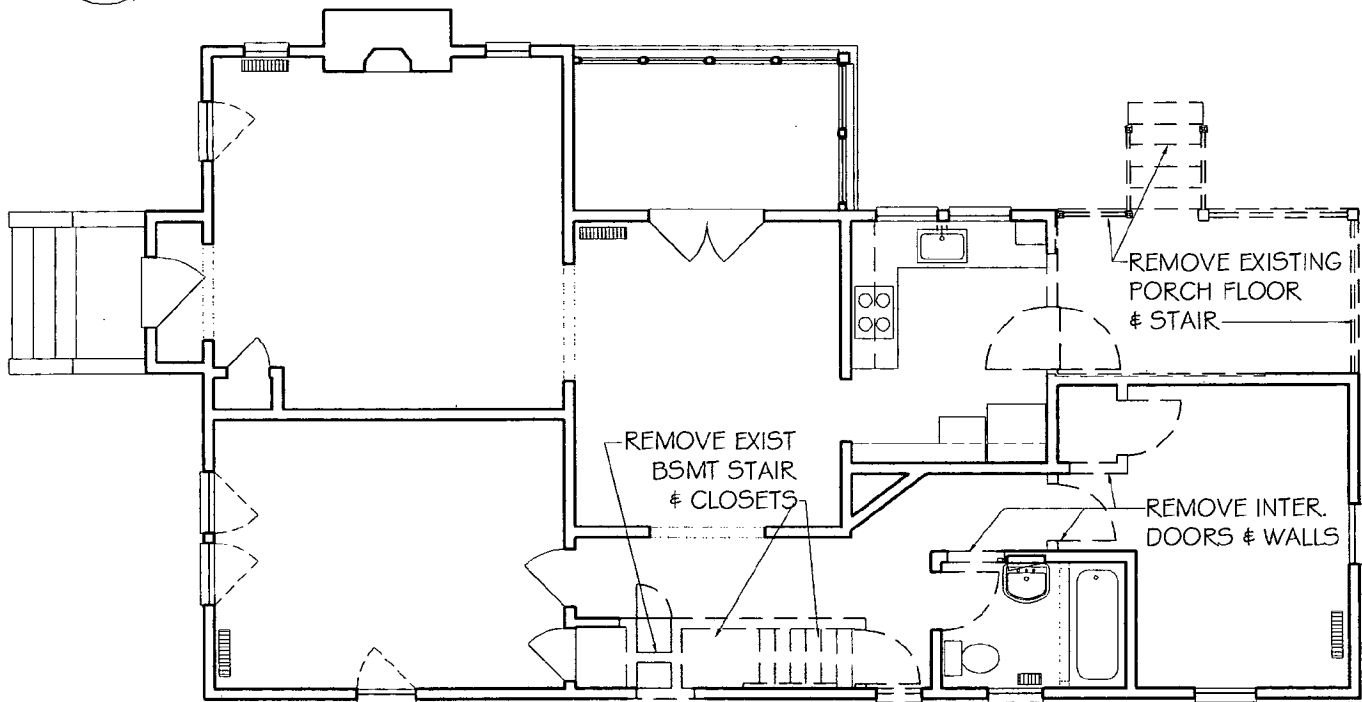
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A ATTIC DEMOLITION PLAN

5 1/8" = 1'-0"



B FIRST FLOOR DEMOLITION PLAN

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GEORGE RESIDENCE

56 WALNUT AVE.
TAKOMA PARK, MD 20912

HAWP APPLICATION

EXISTING PLANS
1/8" = 1'-0"
06.18.04



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ARCHITECTS

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202-362-5226 FAX: 202-362-7791



A EXISTING FRONT ELEVATION
 6 1/8" = 1'-0"



B EXISTING SIDE ELEVATION
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GEORGE RESIDENCE
 56 WALNUT AVE.
 TAKOMA PARK, MD 20912

HAWP APPLICATION
 EXISTING ELEVATIONS
 1/8" = 1'-0"
 06.18.04

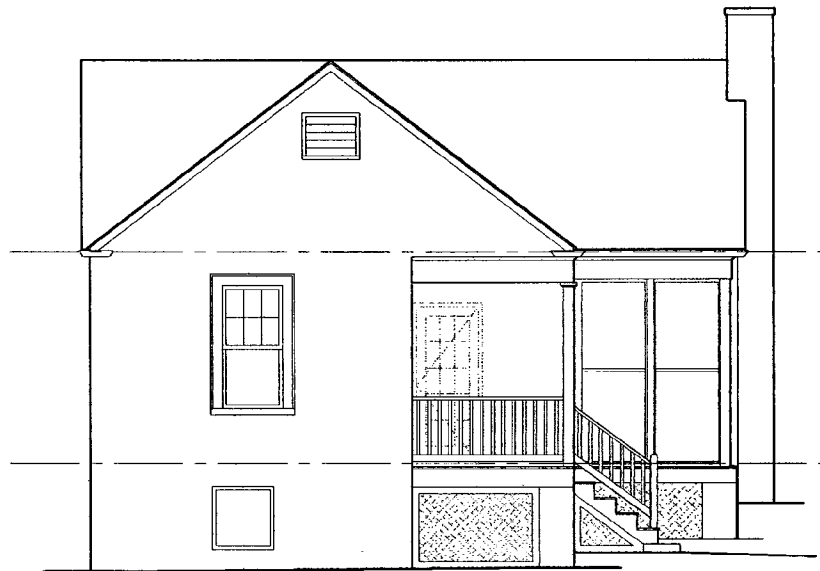


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 ARCHITECTS

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 202-362-5226 FAX: 202-362-7791



C EXISTING SIDE ELEVATION
7 1/8"=1'-0"



D EXISTING REAR ELEVATION
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GEORGE RESIDENCE
56 WALNUT AVE.
TAKOMA PARK, MD 20912

HAWP APPLICATION
EXISTING ELEVATIONS
1/8"=1'-0"
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GEORGE RESIDENCE

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TAKOMA PARK, MD 20912

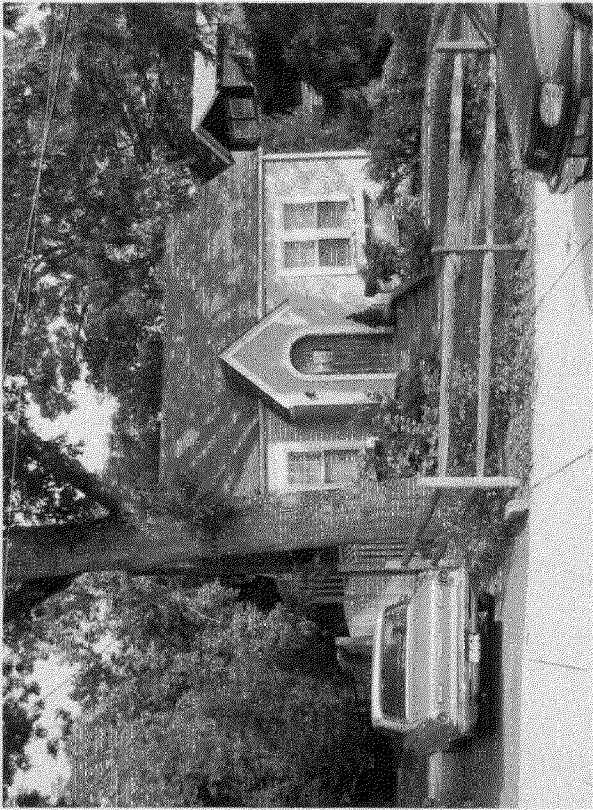
HAWP APPLICATION
PROPOSED MATERIALS

06.18.04

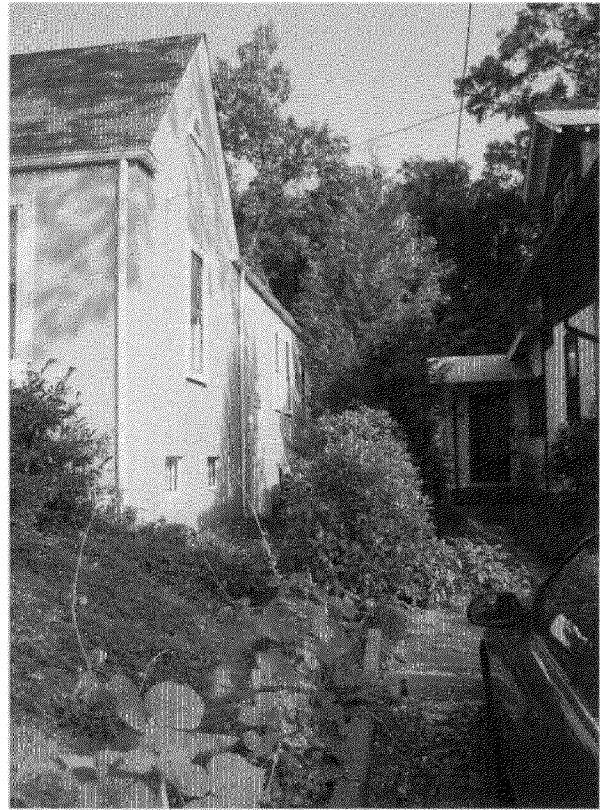


TREACY & EAGLEBURGER
A R C H I T E C T S

3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008
202-362-5226 FAX: 202-362-7791



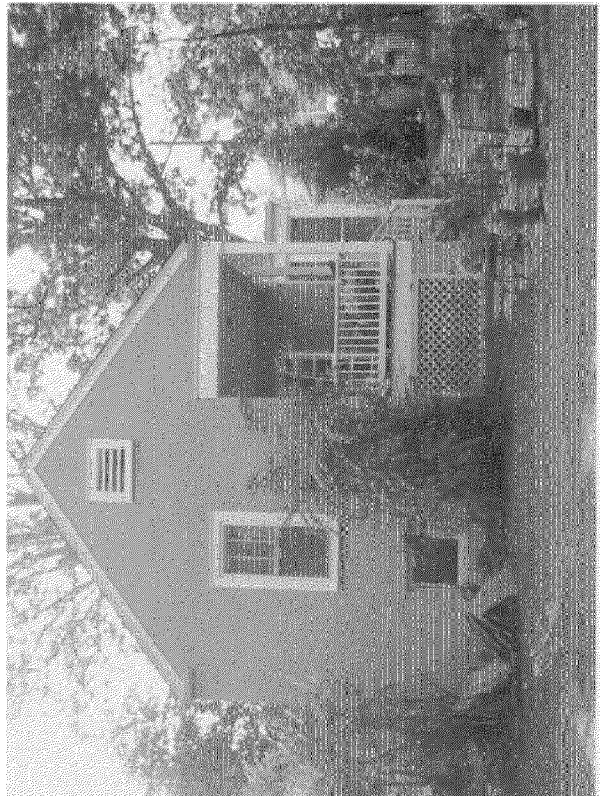
FRONT ELEVATION FROM WALNUT AVENUE



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

GEORGE RESIDENCE

56 WALNUT AVE.
TAKOMA PARK, MD 20912

HAWP APPLICATION
EXISTING PHOTOS

06.18.04



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ARCHITECTS

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202-362-5226 FAX: 202-362-7791

Naru, Michele

From: Staff Member [email@treacyeagleburger.com]
Sent: Monday, April 26, 2004 2:20 PM
To: Naru, Michele
Subject: RE: 56 Walnut Street, Takoma Park

Hi Michele,

Thanks for your comments on the 56 Walnut Street Project. Our material specifications are patching the existing stucco as required, wood siding at the new gables, new wood framed windows and doors, and painted wood trim. So it sounds like we will be in good shape for our HAWP review.

Thanks again,
Christina

-----Original Message-----

From: Naru, Michele [mailto:Michele.Naru@mncppc-mc.org]
Sent: Friday, April 23, 2004 11:32 AM
To: email@treacyeagleburger.com
Subject: 56 Walnut Street, Takoma Park

Christina,

I am finally in receipt of the schematic design program for 56 Walnut Street. This dwelling is considered a non-contributing resource within the Historic District. This means that the HPC reviews alterations to these buildings in terms of their compatibility with the existing streetscape. This means the use of good materials (we do not approve vinyl siding - wood windows, solid wood doors, wood trim, etc) and the proposed plan's relationship to the adjacent dwellings in terms of massing, height, proportion and scale.

The plans that you submitted to me do not look problematic. What are the proposed material specifications?

For the formal HAWP application I would provide photos of the adjacent houses - especially the ones that flank 56 Walnut. Additionally, I would also provide a proposed streetscape plan with the neighbors houses shown - so the Commission can see the new construction's relationship to their neighbors houses.

If you need a HAWP application please visit our website at http://www.mc-mncppc.org/historic/instructions/info_permits.shtml to download an application and to obtain instructions for filing.

Let me know if you have any other questions.

Michele

Michele Naru, Historic Preservation Planner
Montgomery County Department of Park and Planning
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)
(301) 563-3412 (fax)

4/26/2004

Naru, Michele

From: Naru, Michele
Sent: Friday, April 23, 2004 11:32 AM
To: 'email@treacyeagleburger.com'
Subject: 56 Walnut Street, Takoma Park

Christina,

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Let me know if you have any other questions.

Michele

Michele Naru, Historic Preservation Planner
Montgomery County Department of Park and Planning
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)
(301) 563-3412 (fax)
michele.naru@mncppc.org
www.mncppc.org



LETTER OF TRANSMITTAL

DATE: 20 April 2004

PROJECT: George Residence

TO: Michele Naru
Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD 20910

56 Walnut Avenue ^{NC}
Takoma Park, MD 20912

RE: HPC Preliminary Consultation

PHONE: 301.563.3407

PAGES TO

FAX 301.563.3412

FOLLOW: enclosure

COPIES	DATE	DESCRIPTION
1	3.29.04	HPC - Preliminary Consultation Package

MESSAGE:

Dear Michele,

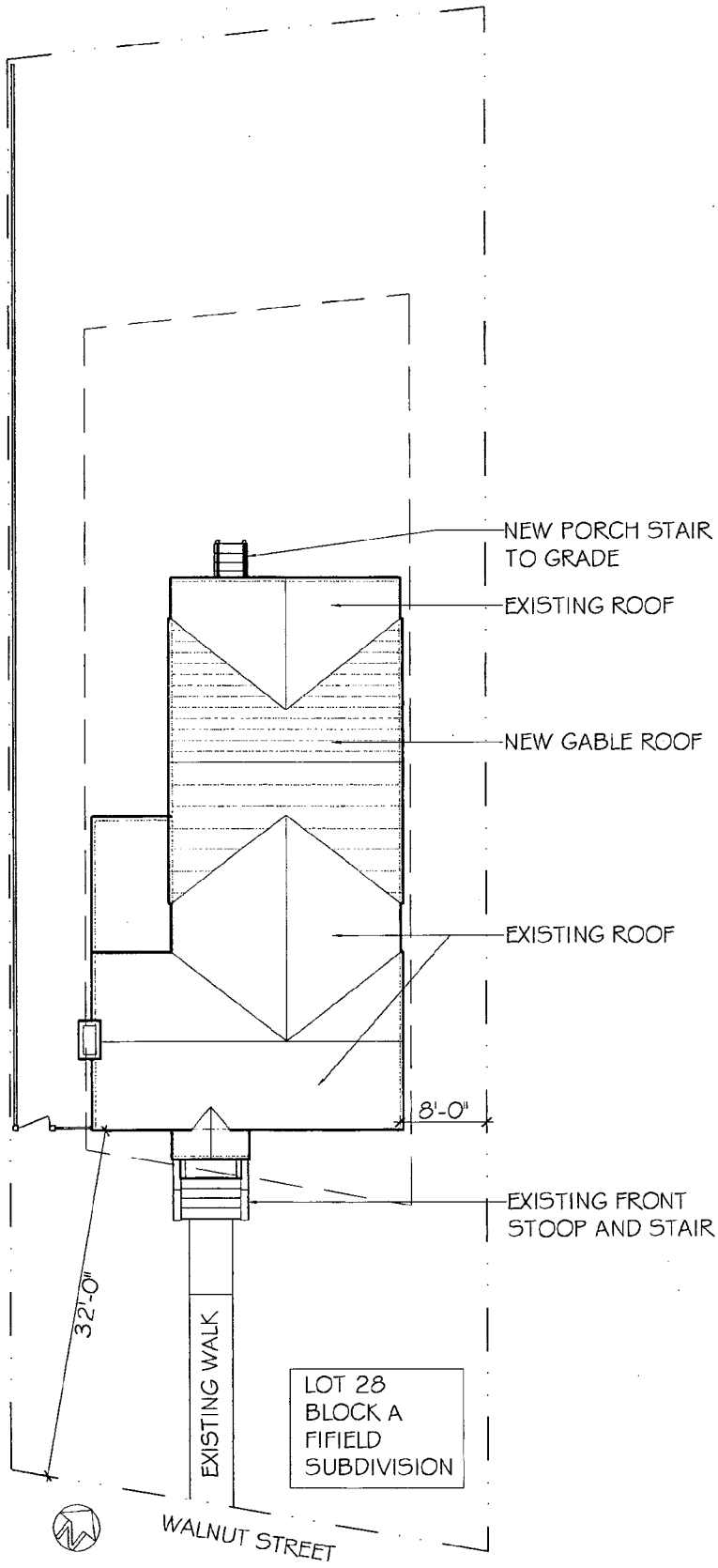
I'm sorry for the delay in getting this preliminary historic package to you for the George Residence in Takoma Park, MD. I can't understand why the multiple email attempts have failed to reach you. So I'm going to give reliable old snail mail a try.

Our intention with this project is to renovate a portion of the house interior without changing the footprint of the existing structure. We are proposing a modification to the shape of the roof toward the back of the house in order to accommodate headroom for an additional bedroom in the attic. We are also planning to enclose a portion of the existing back porch to create a small breakfast room off of the kitchen.

Please don't hesitate to call me if you have any questions or concerns about the drawings.

Sincerely,

Christina Haislip



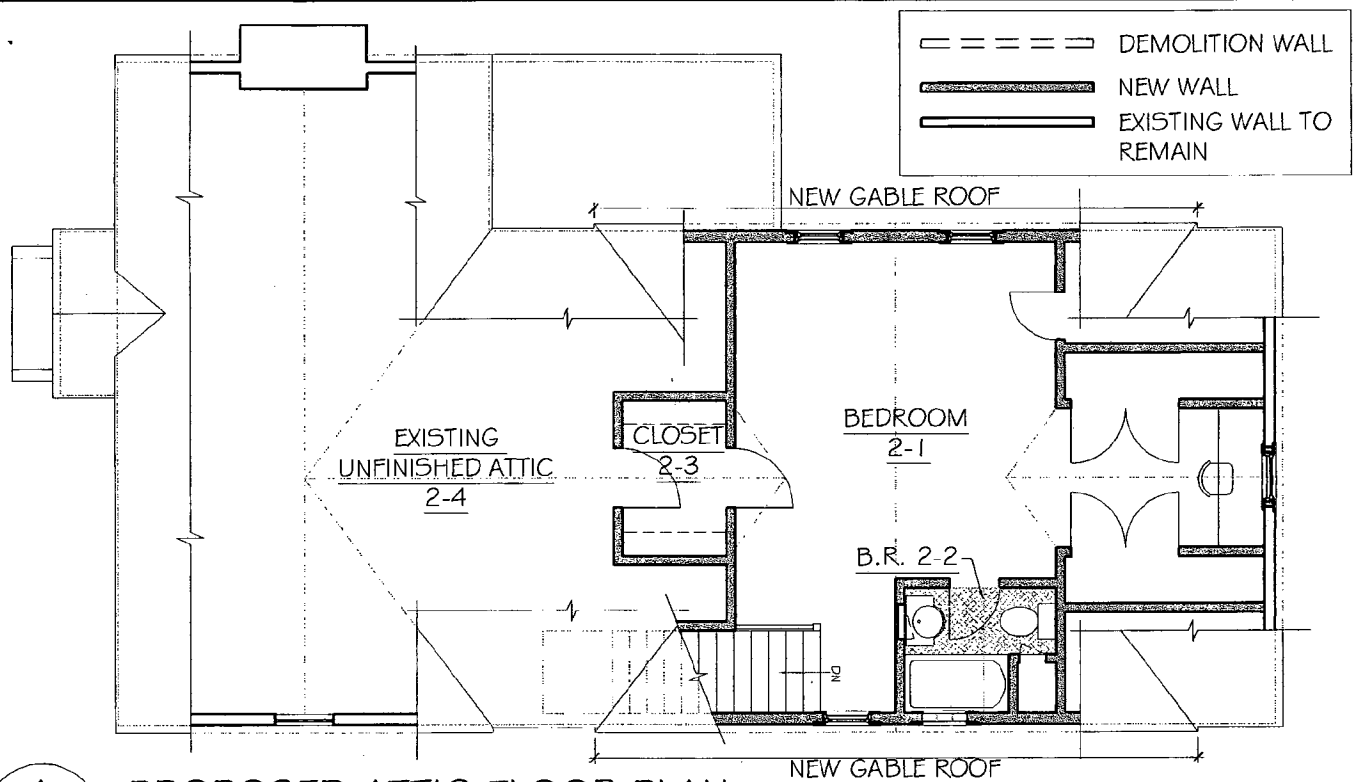
GEORGE RESIDENCE
 56 WALNUT AVE.
 TAKOMA PARK, MD 20912

HPC-PRELIM CONSULT
 PROPOSED SITE PLAN
 1/8"=1'-0"
 03.29.04

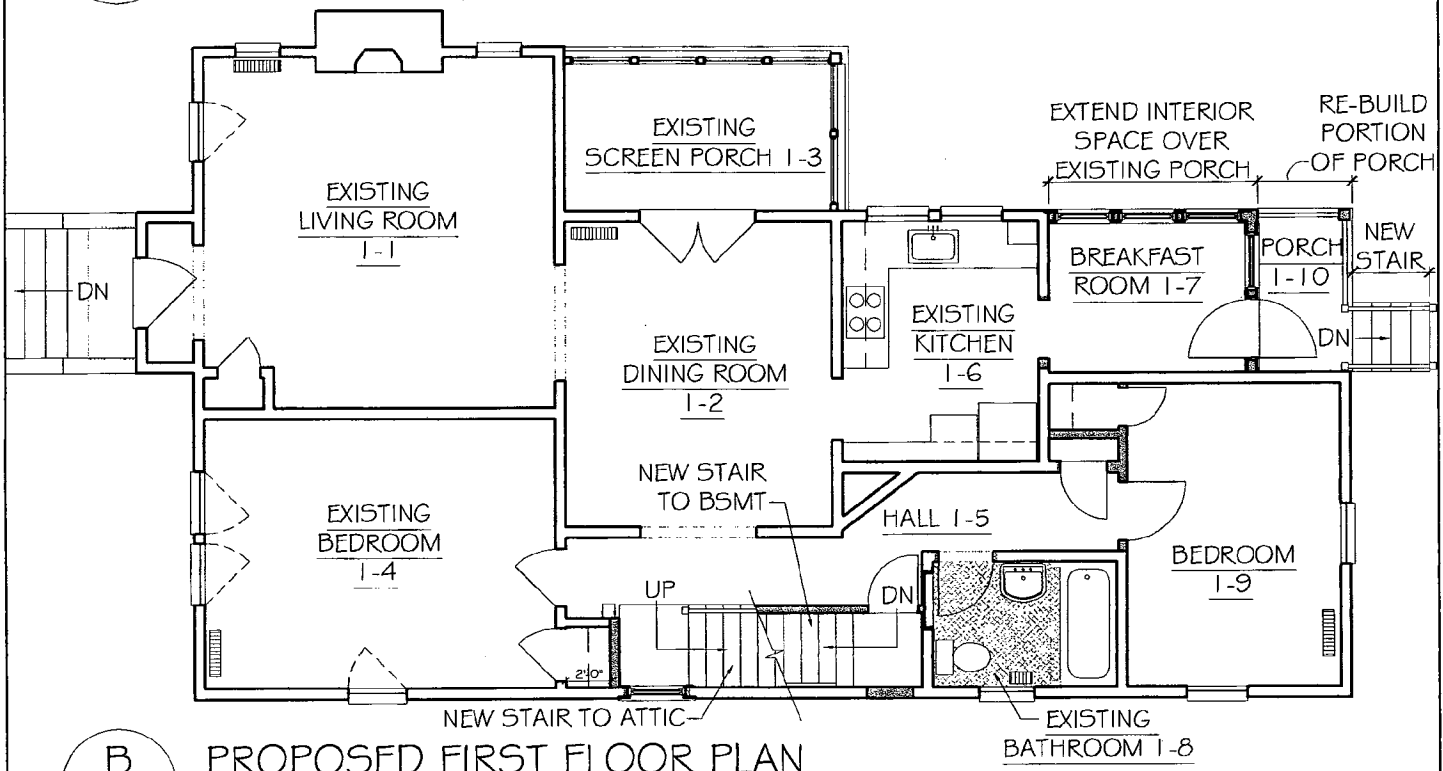


TREACY & EAGLEBURGER
 ARCHITECTS

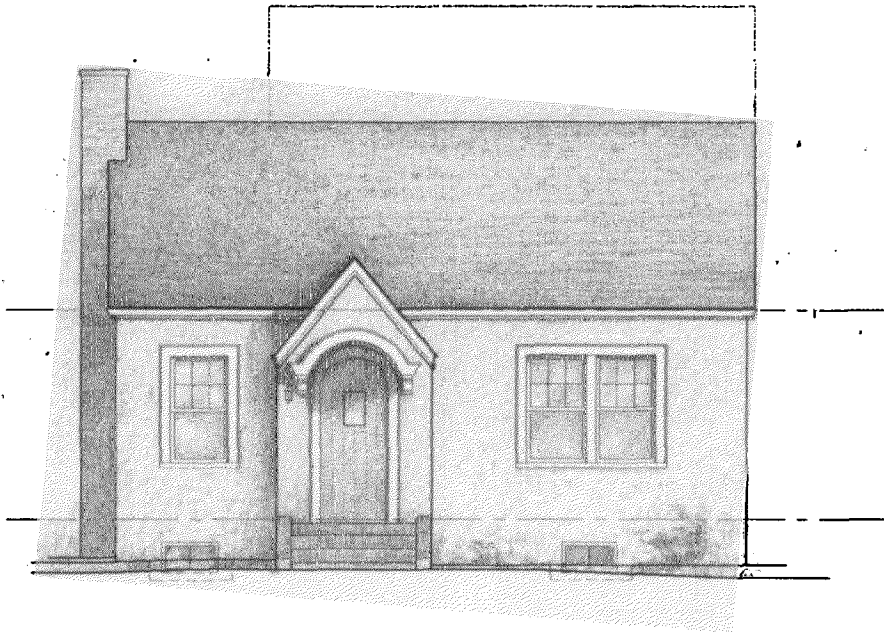
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A PROPOSED ATTIC FLOOR PLAN
 2 1/8" = 1'-0"



B PROPOSED FIRST FLOOR PLAN
 2 1/8" = 1'-0"



A PROPOSED FRONT ELEVATION
 3 1/8"=1'-0"



B PROPOSED SIDE ELEVATION
 3 1/8"=1'-0"

GEORGE RESIDENCE
 56 WALNUT AVE.
 TAKOMA PARK, MD 20912

HPC-PRELIM CONSULT
 PROPOSED ELEVATIONS
 1/8"=1'-0"
 03.29.04



TREACY & EAGLEBURGER
 ARCHITECTS

3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008
 202-362-5226 FAX: 202-362-7791



C PROPOSED SIDE ELEVATION
4 1/8" = 1'-0"



D PROPOSED REAR ELEVATION
4 1/8" = 1'-0"

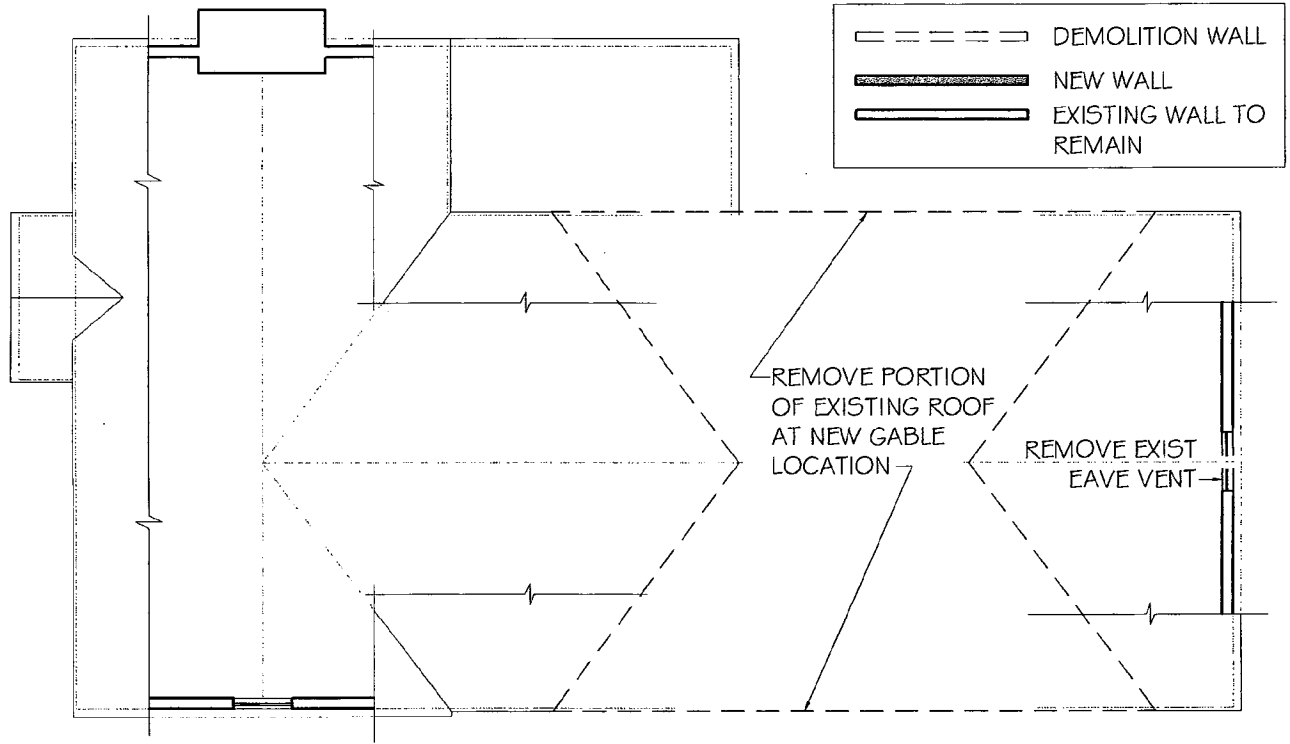
GEORGE RESIDENCE
56 WALNUT AVE.
TAKOMA PARK, MD 20912

HPC-PRELIM CONSULT
PROPOSED ELEVATIONS
1/8" = 1'-0"
03.29.04

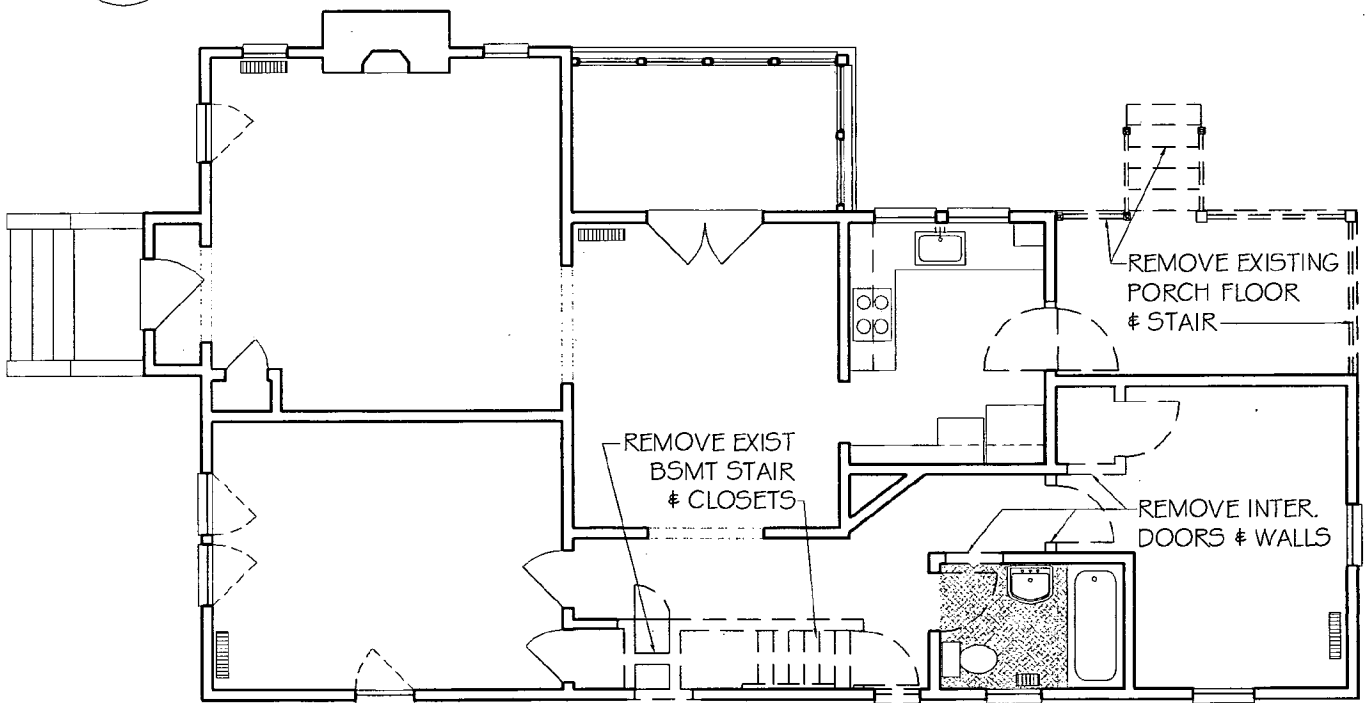


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ARCHITECTS

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A
5 ATTIC DEMOLITION PLAN
1/8" = 1'-0"



B
5 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

GEORGE RESIDENCE
56 WALNUT AVE.
TAKOMA PARK, MD 20912

HPC-PRELIM CONSULT
EXISTING PLANS
1/8" = 1'-0"
03.29.04



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A EXISTING FRONT ELEVATION
 6 1/8" = 1'-0"



B EXISTING SIDE ELEVATION
 6 1/8" = 1'-0"

GEORGE RESIDENCE
 56 WALNUT AVE.
 TAKOMA PARK, MD 20912

HPC-PRELIM CONSULT
 EXISTING ELEVATIONS
 1/8" = 1'-0"
 03.29.04



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C
7

EXISTING SIDE ELEVATION

1/8" = 1'-0"



D
7

EXISTING REAR ELEVATION

1/8" = 1'-0"

GEORGE RESIDENCE

56 WALNUT AVE.
TAKOMA PARK, MD 20912

HPC-PRELIM CONSULT

EXISTING ELEVATIONS

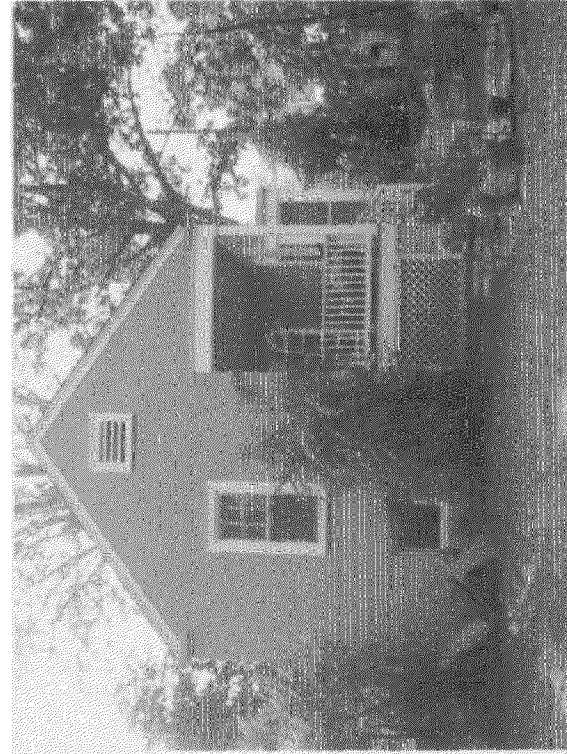
1/8" = 1'-0"
03.29.04



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GEORGE RESIDENCE

56 WALNUT AVE.
TAKOMA PARK, MD 20912

HPC-PRELIM CONSULT
EXISTING PHOTOS

03.29.04



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ARCHITECTS

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202-362-5226 FAX: 202-362-7791

CONSTRUCTION NOTES

- DIMENSIONS - ALL DIMENSIONS ON DRAWINGS ARE TO ROUGH UNLESS NOTED OTHERWISE. DO NOT SCALE THE DRAWINGS. QUESTIONS CONCERNING DIMENSIONS SHOULD BE REFERRED TO THE ARCHITECT. ALL DIMENSIONS RELATING TO EXISTING CONDITIONS MUST BE VERIFIED BEFORE FABRICATION.
- STRUCTURAL
 - THE STRUCTURAL DESIGN WAS BASED ON THE FOLLOWING LIVE LOADS:
1ST FLOOR @ 40 PSF, ATTIC FLOOR @ 30 PSF, ROOF @ 30 PSF. ANY EQUIPMENT HAVING A WEIGHT GREATER THAN 400 LBS. SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE INSTALLATION.
 - SOIL CAPACITY - FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING AN ASSUMED 2000 PSF BEARING CAPACITY. BEARING CAPACITY OF SUBGRADE SHALL BE APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER (OR THE BUILDING INSPECTOR) PRIOR TO START OF CONCRETE PLACEMENT.
 - STRUCTURAL BRACING - THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS, AND ROOF ACTING TOGETHER. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE. CONTRACTOR SHALL PROVIDE DESIGNS FOR ALL TEMPORARY BRACING AND ASSUME SOLE RESPONSIBILITY FOR SUCH.
 - DEMOLITION: PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING DEMOLITION. IF NECESSARY, RETAIN THE SERVICES OF A QUALIFIED PROFESSIONAL ENGINEER TO DESIGN AND MONITOR THE TEMPORARY SUPPORT. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS. IN GENERAL, SELECTIVE STRUCTURAL DEMOLITION IS TO BE PERFORMED WITH PHYSICAL CUTTING ACTION (I.E. SAWING AND GRINDING INSTEAD OF HAMMERS AND CHIPPING). DO NOT USE JACKHAMMERS ON STRUCTURALLY SUPPORTED MEMBERS.
 - BACKFILL - COMPACTED BACKFILL BELOW BUILDING SLABS AND FOOTINGS. ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. PROOF ROLL SUBGRADE REMOVING & REPLACING SOFT OR COMPRESSIVE MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 6" AND COMPACTED TO MIN. 95% OF THE DRY MAXIMUM DENSITY AS DETERMINED BY ASTM D698.
 - FLOOR JOISTS - AT CONDITION WHERE FLOOR JOISTS RUN PARALLEL TO FOUNDATION WALL, PROVIDE SOLID BLOKING AT 4'-0" O.C. PERPENDICULAR & WITHIN THE FIRST TWO JOIST SPACES FROM THE FOUNDATION WALL.
 - STEEL LINTELS - UNLESS SHOWN ON PLAN, LINTELS FOR MASONRY WALL SHALL BE AS FOLLOWS: UP TO 3'-0" - 3 1/2 x 3 1/2 x 1/4 (LLV); 3'-1" TO 5'-0" - 4 x 3 1/2 x 5/16 (LLV); 5'-1" TO 6'-6" - 5 x 3 1/2 x 5/16 (LLV). PROVIDE ONE ANGLE FOR EACH 4" THICKNESS OF MASONRY. LINTELS TO BEAR 6" MINIMUM AT EACH END.
- WALL FINISH DEMOLITION - BEFORE REMOVING EXISTING WALL STUDS, HEADERS, BRICKWORK, OR ANY OTHER SUSPECTED STRUCTURAL SUPPORT IN ANY AREA, REMOVE FIRST THE ENTIRE PLASTER AND LATH OR WALLBOARD IN THESE AREAS FOR INSPECTION BY ARCHITECT AND/OR BY THE STRUCTURAL ENGINEER.
- PROTECT EXISTING FLOORS - PROVIDE ROSIN PAPER AND 1/8" PROTECTION BOARD IN THOSE AREAS OF WHERE ACCESS BY THE CONTRACTOR WILL BE REQUIRED.
- PATCHING FOR OTHER TRADES - PROVIDE DEMOLITION AND PATCHING IN ANY OTHER AREAS REQUIRED FOR PLUMBING HOOK-UPS, AC DUCTWORK, CONDENSER LINES AND OTHER RELATED CONSTRUCTION INCLUDING INADVERTENT DAMAGE TO AREAS ADJACENT TO WHERE WORK IS BEING DONE.
- INSULATION SCOPE - ALL NEW AND OPENED, EXISTING WALLS, CEILING, AND FLOORS, ARE TO RECEIVE INSULATION: THERMAL FOR EXTERIOR AND ACOUSTIC FOR INTERIOR (SEE PRODUCTS & MATERIALS).
- FLOOR FINISHING SCOPE - SEE FINISH SCHEDULE
- BUILT-IN CABINERY (PAINTED FINISH) - TYPICAL SPECIFICATIONS FOR CUSTOM BUILT-IN CABINETS & SHELVES (UNLESS OTHERWISE NOTED):
A. USE 3/4" BIRCH VENEER PLYWOOD ON TOPS, BOTTOMS AND SIDES.
B. USE 1/4" PAINT-GRADE PLYWOOD FOR BACKS
C. USE 1/4" BIRCH VENEER PLYWOOD FOR ALL SHELVES.
D. PROVIDE 1/2" HARDWOOD EDGE ON ALL EXPOSED EDGES OF CABINERY & SHELVES (DO NOT USE TAPE.)
E. FOR DRAWERS USE HEAVY-DUTY DRAWER SLIDES WITH MIN. 1" OVER-TRAVEL & MIN. 150 LB. CAPACITY
F. USE SELF-CLOSING CONCEALED-BODY HINGES FOR CABINET DOORS.
G. FOR ADJUSTABLE SHELVES, PROVIDE DRILLED HOLES AT 1 1/2" ON CENTER, WITH KNAPE & VOGT #3332C PIN HARDWARE.
H. USE KNOBS PROVIDED BY OWNER, INSTALLED BY GC.
- BACKPLATE FOR EXTERIOR WALL MOUNTED LIGHT FIXTURES: 6"x8"x5/4" THK PAINTED MOUNTED PLATE, WITH TO EDGED FLASHED
- TILE LAYOUT MEETING - PRIOR TO SETTING TILE OR ANY RELATED CONSTRUCTION AFFECTING TILE, COORDINATE MEETING WITH GC, TILE INSTALLER & ARCHITECT, WITH ALL TILE ON SITE, TO DISCUSS PLACEMENT, LAYOUT, START AND STOP POINTS, CENTERLINES, WHOLE-TILES VS. CUT-TILES, ETC.
- INTERIOR PAINTING SCOPE - ALL NEW WORK
- EXTERIOR PAINTING SCOPE - ALL NEW WORK

PRODUCTS AND MATERIALS LIST

- CONCRETE - NORMAL WEIGHT WITH MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS; EXTERIOR SLABS, 3500 PSI; REINFORCING STEEL PER ASTM-A-615 GRADE 60, RETAIN 3" CLEAR CONCRETE AT BOTTOM.
- CONCRETE MASONRY UNITS - ASTM C90 FOR HOLLOW UNITS AND ASTM C145 FOR SOLID UNITS.
MORTAR - TYPE S PER ASTM C270.
- STRUCTURAL STEEL - PRIME WITH ONE COAT RUST PREVENTATIVE 5HP COATING. FABRICATE PER ASTM A36. SEE CONSTRUCTION NOTE 2G AND FRAMING PLANS FOR SIZES.
- STEEL HANDRAILS AND GUARDRAILS - SEE DETAILS
- FRAMING LUMBER (INTERIOR) - HEM-FIR, GRADE #1/#2 OR S-P-F, GRADE #2, OR BETTER WITH MIN. VALUES: Fb=850PSI (SINGLE-MEMBER VALUE), Fv=70PSI, Fc=405PSI, Fc11=1100PSI, E=1,300,000PSI. NOTE THAT S-P-F(SOUTH) IS NOT ACCEPTABLE. S-P MUST BE GRADED BY NLGA.
FRAMING LUMBER (EXTERIOR) - SOUTHERN YELLOW PINE (PRESSURE-TREATED), GRADE #2 OR BETTER WITH MIN. VALUES(BASED ON 2x12): Fb=975 PSI (SINGLE-MEMBER VALUE), Fv=90 PSI, Fc=565 PSI, Fc11=1450 PSI, E=1,600,000 PSI
LAMINATED VENEER LUMBER (LVL) - Fb=2500 PSI, Fv=250 PSI, E=2,000,000 PSI; 3" MINIMUM END BEARING.
CONNECTORS - BY SIMPSON STRONGTIE CO., INC. OR APPROVED EQUAL. UNLESS OTHERWISE NOTED, USE U1 OR LU JOIST HANGERS @ JOIST ENDS AND RAFTERS @ RIDGES; USE U1 JOIST HANGERS @ HEADERS/TRIMMERS @ OPENINGS. USE HU1 HEAVY DUTY JOIST HANGERS @ TWO PLIES AND THUT @ THREE PLIES.
ROOF SHEATHING - CC EXTERIOR APA PLYWOOD, 5/8"
WALL SHEATHING - CC EXTERIOR APA PLYWOOD, 1/2"
SUBFLOORING - CC EXTERIOR APA PLYWOOD, 3/4"(NOTE: GLUE AND SCREW ALL SUBFLOORING - NO SQUEAKS).
UNDERLAYMENT - AC EXTERIOR PLYWOOD, 5/8"
EXTERIOR TRIM - ALL TRIM OR EQUAL
INTERIOR TRIM - CLEAR PINE OR POPLAR
STAIR RAILINGS - CLEAR POPLAR, PAINTED @ BALUSTRATS; OAK, STAINED HANDRAIL & NEWELS.
CUSTOM BUILT-INS - SEE CONSTRUCTION NOTE #6
FIBERGLASS SHINGLE ROOFING - MATCH EXISTING ROOF SHINGLE OVER 15 LB. ASPHALT FELT.
SIDING - HARDPLANK LAP SIDING "SMOOTH", 5/16" THICK, 3" EXPOSURE
THERMAL INSULATION - FIBERGLASS BATT WITH KRAFT PAPER FACE, 3-1/2" R-13 IN WALLS, 12" R-36 IN CEILING AND ATTIC, 10" R-30 IN FLOORS, UNLESS OTHERWISE NOTED (MAINTAIN 1-1/2" MIN. CLEAR AIR SPACE ABOVE ROOF INSULATION)
SOUND INSULATION (ALL OPENED & NEW INTERIOR WALLS & FLOORS) - UNFACED FIBERGLASS BATTS, 3 1/2" R-11 WALLS, 10" R-30 FLOORS, UNLESS OTHERWISE NOTED.
GUTTERS & DOWN SPOUTS - ALUMINUM - MATCH EXISTING
CAULKING - "G. E. SILPRUF"
STUCCO - PORTLAND CEMENT BASED, MATCH EXISTING TEXTURE.
ROOF VENT - CONTINUOUS RIDGE VENT BY N. AMERICAN BUILDING PRODUCTS "HIGHPOINT VENT" SERIES 5 AT NEW GABLE ROOF AND REAR GABLE.
- DOORS, HARDWARE & WINDOWS - SEE PLANS
GLASS BLOCK - 8" x 8" GLASS BLOCK, PITTSBURGH CORNING, PREMIERE SERIES
GYPSUM WALLBOARD - 1/2" THICK U.S. GYPSUM CO. OR EQUIVALENT; DRY AREAS PER ASTM C36; WET AREAS PER ASTM C360 (WATER RESISTANT).
WOOD FLOORING - OAK TO MATCH EXISTING AT FIRST FLOOR. SAND, STAIN & FINISH WITH TWO COATS POLYURETHANE. PROVIDE STAIN SAMPLES FOR OWNER/ARCHITECT APPROVAL. SEE FINISH SCHEDULE.
CERAMIC TILE - FINAL SELECTIONS TO BE DETERMINED
GROUT - ASTM C476, MIN COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS
PAINT & STAINS - BENJAMIN MOORE
- TOILET ACCESSORIES - PROVIDED BY OWNER, INSTALLED BY GC.
- RECESSED MEDICINE CABINET - BASCO CABINET - B350 F3377P-W, 16x36, POLISHED EDGE MIRROR
- MECHANICAL & PLUMBING - SEE SHEET #5
- ELECTRICAL - SEE ELECTRICAL PLANS, SHEET #5

DOOR SCHEDULE

#	TYPE	DOOR SIZE APPROX.	FRAME	STUD DEPTH	HDW.	NOTES	ORDERING SIZE
1	-	ONE @ 2'-6" W x 6'-8" H x 1'-3/4"	WD	5 1/2"	EXIST	NOTE 5	RE-USE EXIST
2	A	ONE @ 2'-4" W x 6'-6" H x 1'-3/8"	WD	3 1/2"	H1	NOTE 7	RE-USE EXIST
3	A	ONE @ 2'-2" W x 6'-8" H x 1'-3/8"	WD	3 1/2"	H2	NOTE 1	-
4	A	ONE @ 2'-0" W x 6'-8" H x 1'-3/8"	WD	3 1/2"	H1	NOTE 1	-
5	A	ONE @ 2'-6" W x 6'-8" H x 1'-3/8"	WD	3 1/2"	H1	NOTE 4	RE-USE EXIST
6	A	ONE @ 1'-9" W x 6'-8" H x 1'-3/8"	WD	3 1/2"	H1	NOTE 1	-
7	B	ONE @ 2'-6" W x 7'-5" H x 1'-3/4"	WDGL	4 1/2"	H3	NOTE 2	CUSTOM HT.
8	C	ONE @ 2'-6" W x 7'-5" H x 1'-3/8"	WD	4 1/2"	H1	NOTE 1	CUSTOM HT. SCREEN DOOR
9	A	ONE @ 2'-6" W x 6'-8" H x 1'-3/8"	WD	3 1/2"	H1	NOTE 6	RE-USE EXIST
10	A	ONE @ 2'-0" W x 6'-8" H x 1'-3/8"	WD	3 1/2"	H6	NOTE 1	POCKET DR.
11	A	TWO @ 2'-4" W x 5'-5" H x 1'-3/8"	WD	3 1/2"	H4	NOTE 1	CUSTOM HT.
12	A	TWO @ 2'-4" W x 5'-5" H x 1'-3/8"	WD	3 1/2"	H4	NOTE 1	CUSTOM HT.

DOOR NOTES

NOTE 1 PROVIDE 1-3/8" THICK SOLID PANELED WOOD DOOR TO MATCH EXISTING, PAINTED FINISH

NOTE 2 PROVIDE WEATHERSHIELD - WOOD INSWING FRENCH DOOR, INSULATED GLASS, SIMULATED DIVIDED LITES, PRIMED, CUSTOM SIZE - 2'-7 1/2" W x 7'-7" H (ROUGH DIMENSIONS)

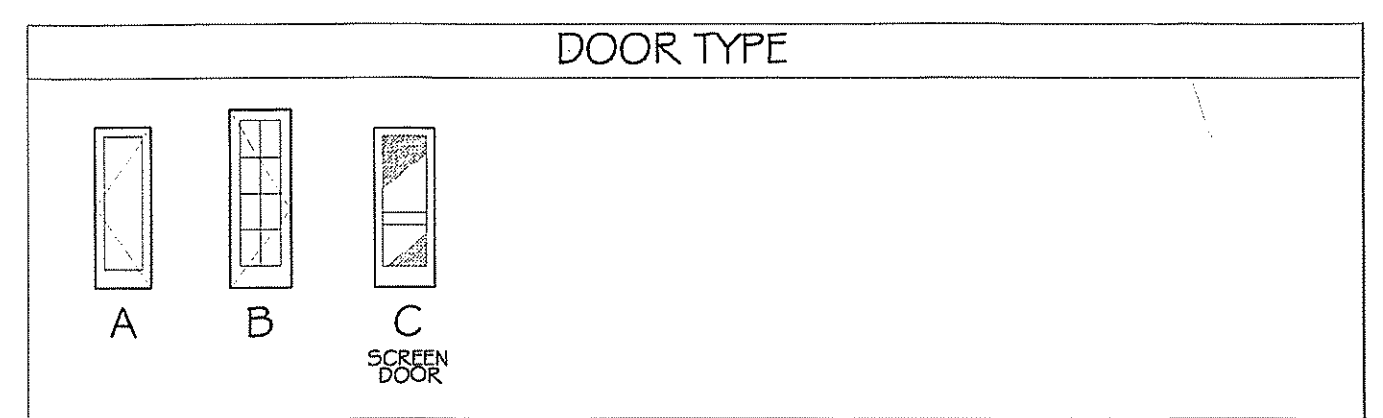
NOTE 3 -

NOTE 4 RE-USE EXISTING DOOR FROM BATHROOM 1-8

NOTE 5 RE-USE EXISTING EXTERIOR SOLID WOOD DOOR AND HARDWARE FROM BASEMENT EXIT

NOTE 6 RE-USE EXISTING DOOR FROM BEDROOM 1-9

NOTE 7 RE-USE EXISTING BASEMENT STAIR DOOR. CLIP CORNER OF DOOR AND TRIM TO FIT BELOW SLOPE OF ATTIC STAIR.



HARDWARE SETS

H1	PASSAGE SET: Provide \$60 Material Allowance per Location
H2	PRIVACY SET Provide \$75 Material Allowance
H3	EXTERIOR LOCKSET: Manufacturer's std.
H4	FR DUMMIES W/ BALL CATCH: Provide \$60 Material Allowance
H5	DUMMY WITH BALL CATCH: Provide \$60 Material Allowance
H6	POCKET DOOR: Johnson's Pocket Door Flush Pulls (2), Edge Pull, And Pocket Door Track

Note 1 TYPICAL HINGE: Stanley, F179, 3 1/2 x 3 1/2, USP
Note 2 TYPICAL DOOR STOP: 'Ives', #980, US3

WINDOW SCHEDULE

ALL WINDOWS TO HAVE PRIMED WOOD FRAME, INSULATING LOW E WITH ARGON GLASS AND SIMULATED DIVIDED LITES.

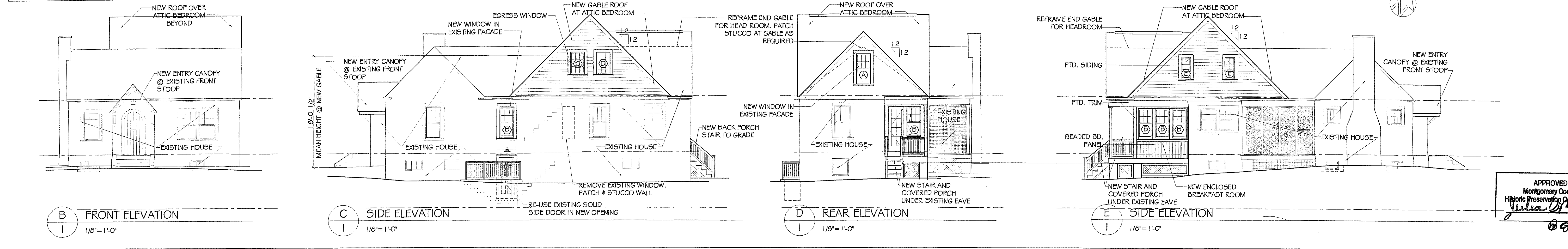
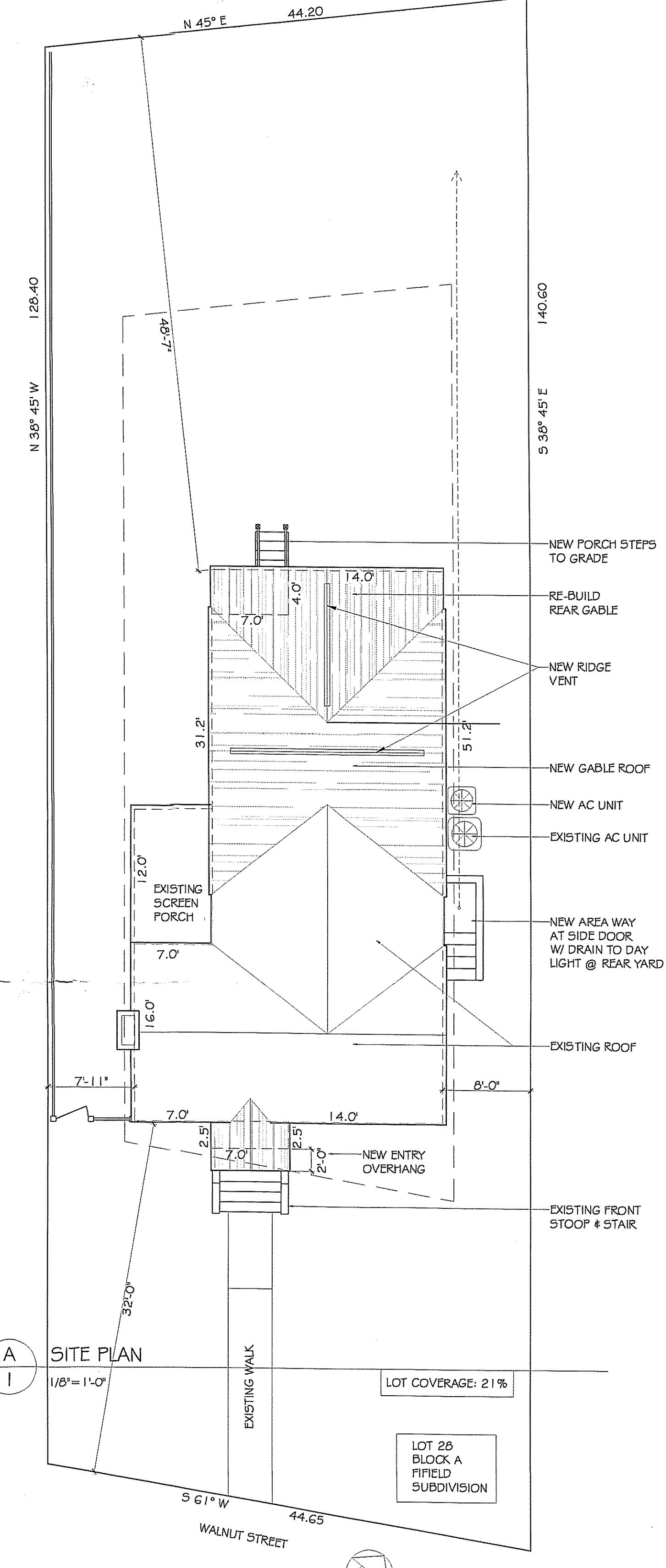
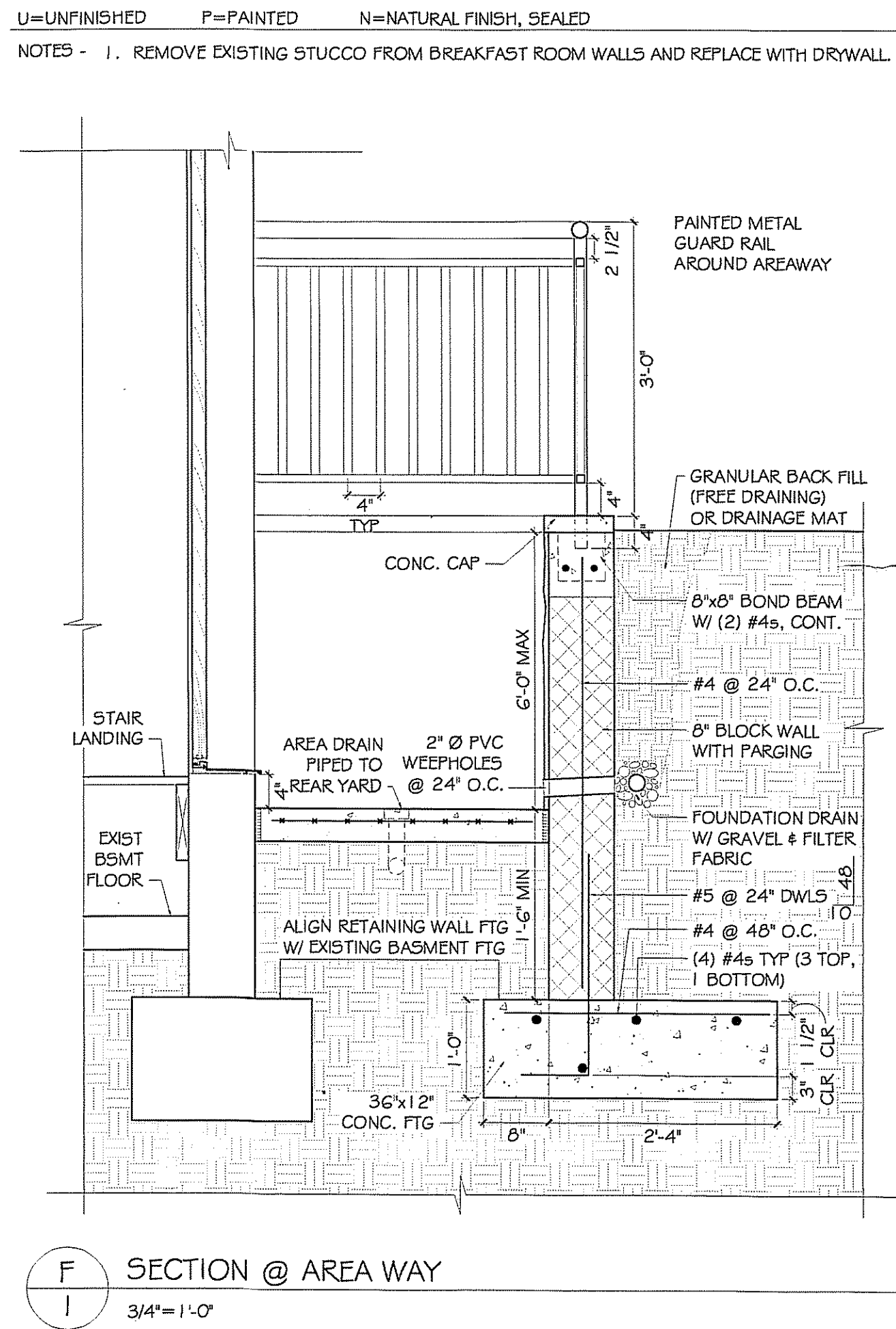
X	TYPE	DESCRIPTION & SIZE	MODEL #	JAMB
A	WEATHERSHIELD Double Hung Classic Tilt	2'-6 3/4" W x 4'-9 3/4" H (ROUGH OPENING DIM.), Six over one, Insulated Tempered glass, Screen, All white hardware	11-24x24	4 9/16
B	WEATHERSHIELD Double Hung Classic Tilt	2'-6 3/4" W x 5'-1 1/2" H (ROUGH OPENING DIM.), Six over one, Insulated glass, Screen, All white hardware	11-24x26	4 9/16
C	WEATHERSHIELD Wood Casement	2'-5" W x 3'-9 3/4" H (ROUGH OPENING DIM.), Four lites, Operable Unit, Insulated glass, Screen, All white hardware (egress unit)	11-2440	4 9/16
D	PITTSBURGH CORNING	3W x 5H (2'-1" W x 3'-9" H APPROX. ROUGH OPENING DIM.) 8"x8" BLOCKS, PREMIERE SERIES, PATTERN TO BE DETERMINED		4 9/16
E	WEATHERSHIELD Wood Casement	1'-9" W x 3'-9 3/4" H (ROUGH OPENING DIM.), Four lites, Operable Unit, Insulated glass, Screen, All white hardware	11-1640	4 9/16

FINISH SCHEDULE

ROOM	FLOOR	BASE	WALL	TRIM	CEILING	NOTES
FIRST FLOOR	LIVING ROOM 1-1					NO WORK
	DINING ROOM 1-2					NO WORK
	SCREEN PORCH 1-3					NO WORK
	BEDROOM 1-4					NO WORK
	HALL 1-5					
	KITCHEN 1-6					
	BREAKFAST ROOM 1-7					NOTE 1
	BATHROOM 1-8					
	BEDROOM 1-9					
	PORCH 1-10					
SECOND FLOOR	BEDROOM 2-1					
	BATHROOM 2-2					
	CLOSET 2-3					
	CLOSET 2-4					
	CLOSET 2-5					
	UNFIN. ATTIC 2-6					NO WORK

U=UNFINISHED F=PAINTED N=NATURAL FINISH, SEALED

NOTES - 1. REMOVE EXISTING STUCCO FROM BREAKFAST ROOM WALLS AND REPLACE WITH DRYWALL



T R E A C Y & E A G L E B U R G E R
A R C H I T E C T S
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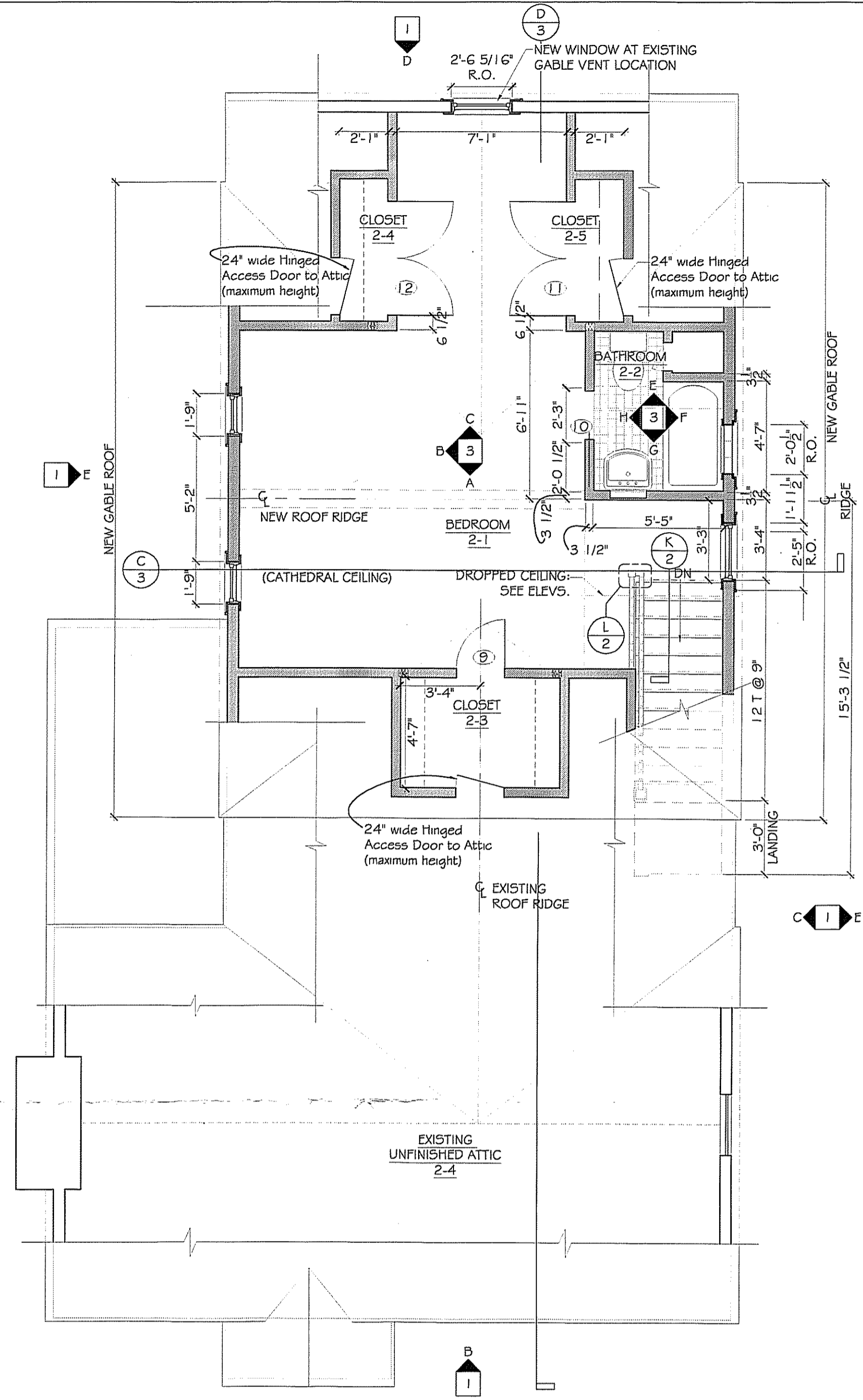
DATE 07.30.04
PERMIT SET

SITE PLAN, NOTES AND SCHEDULES & ELEVATIONS

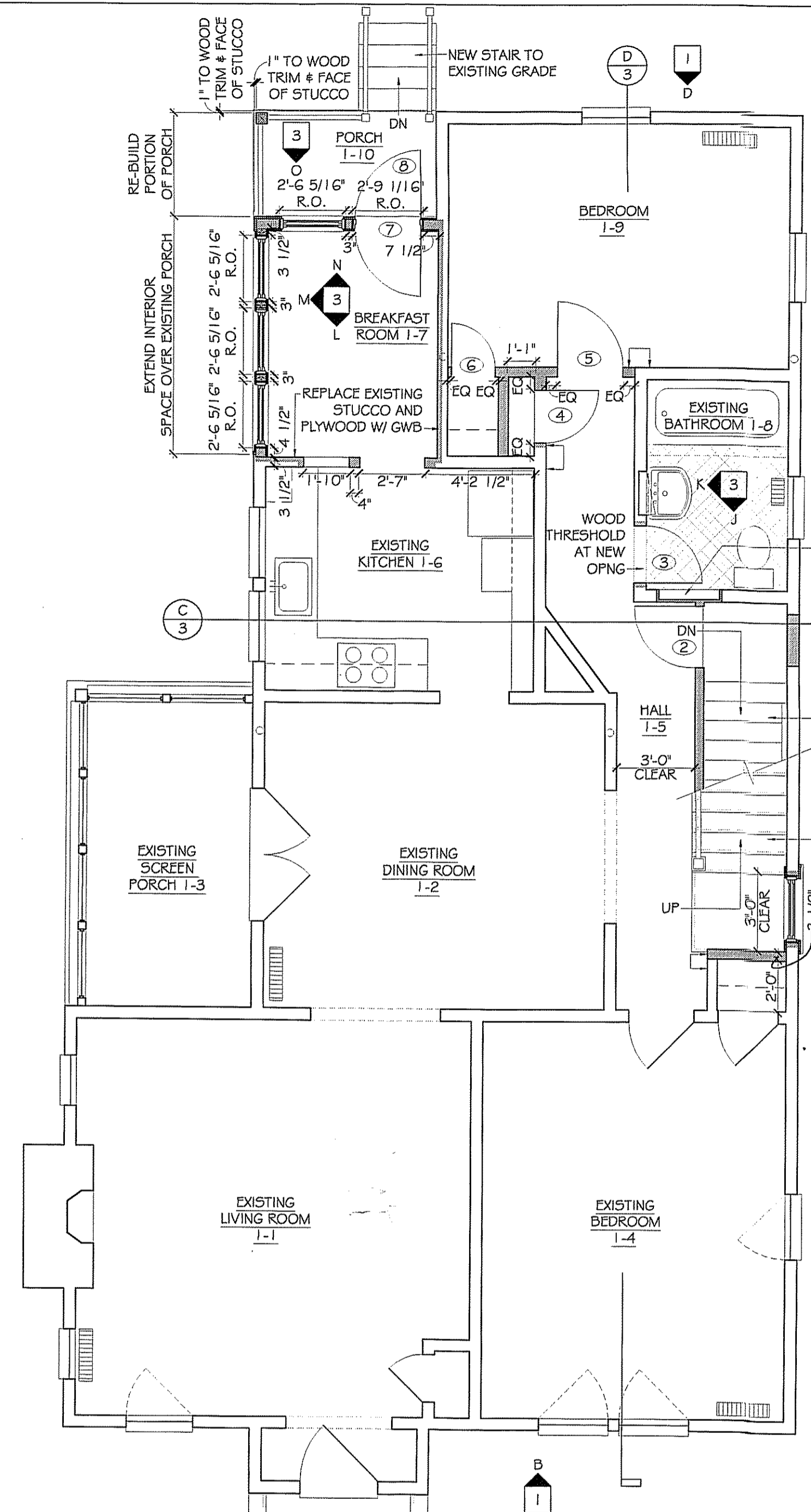
GEORGE RESIDENCE
TAKOMA PARK, MD 20912
56 WALNUT AVENUE

APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Walling
07/13/04

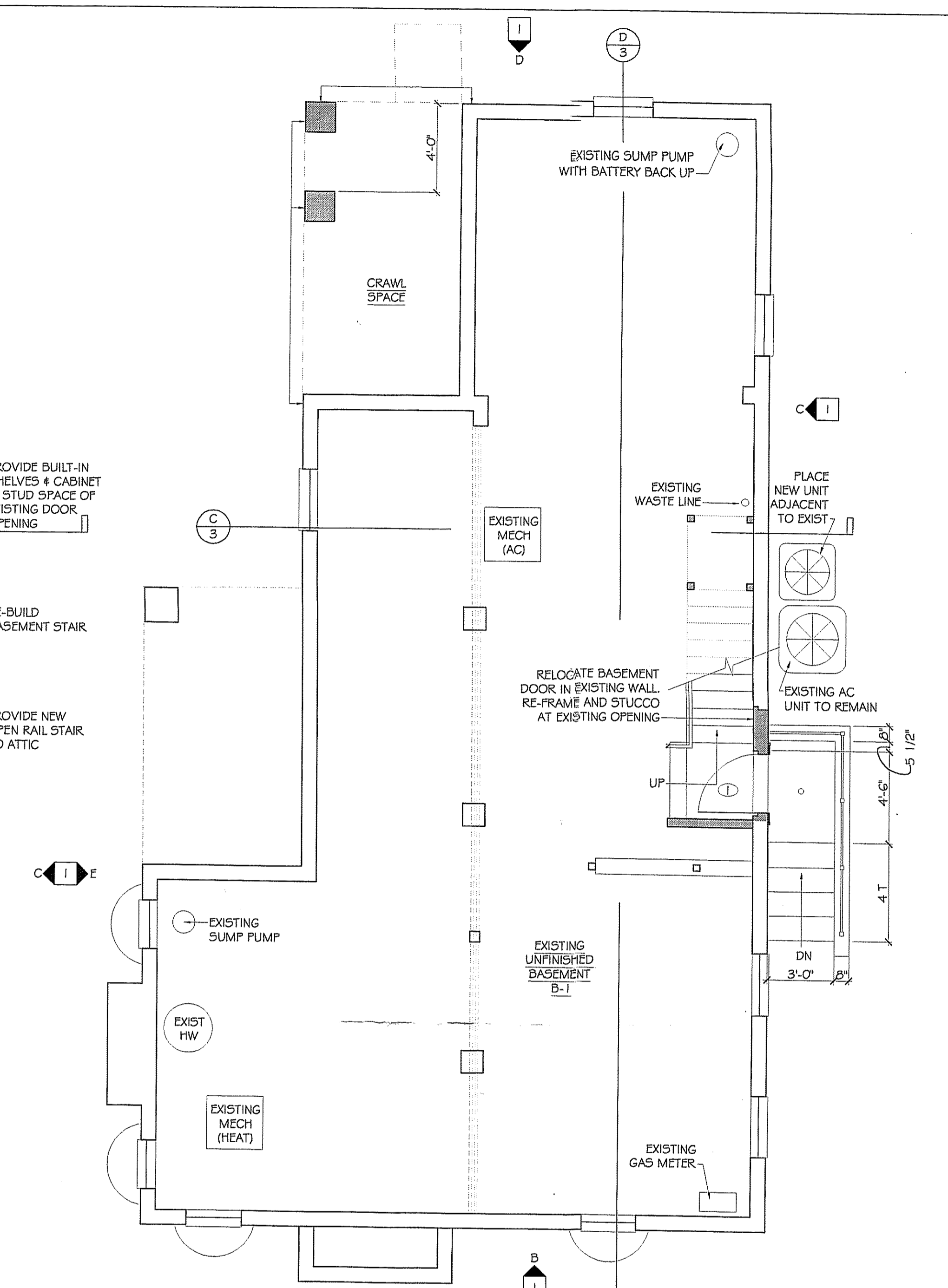
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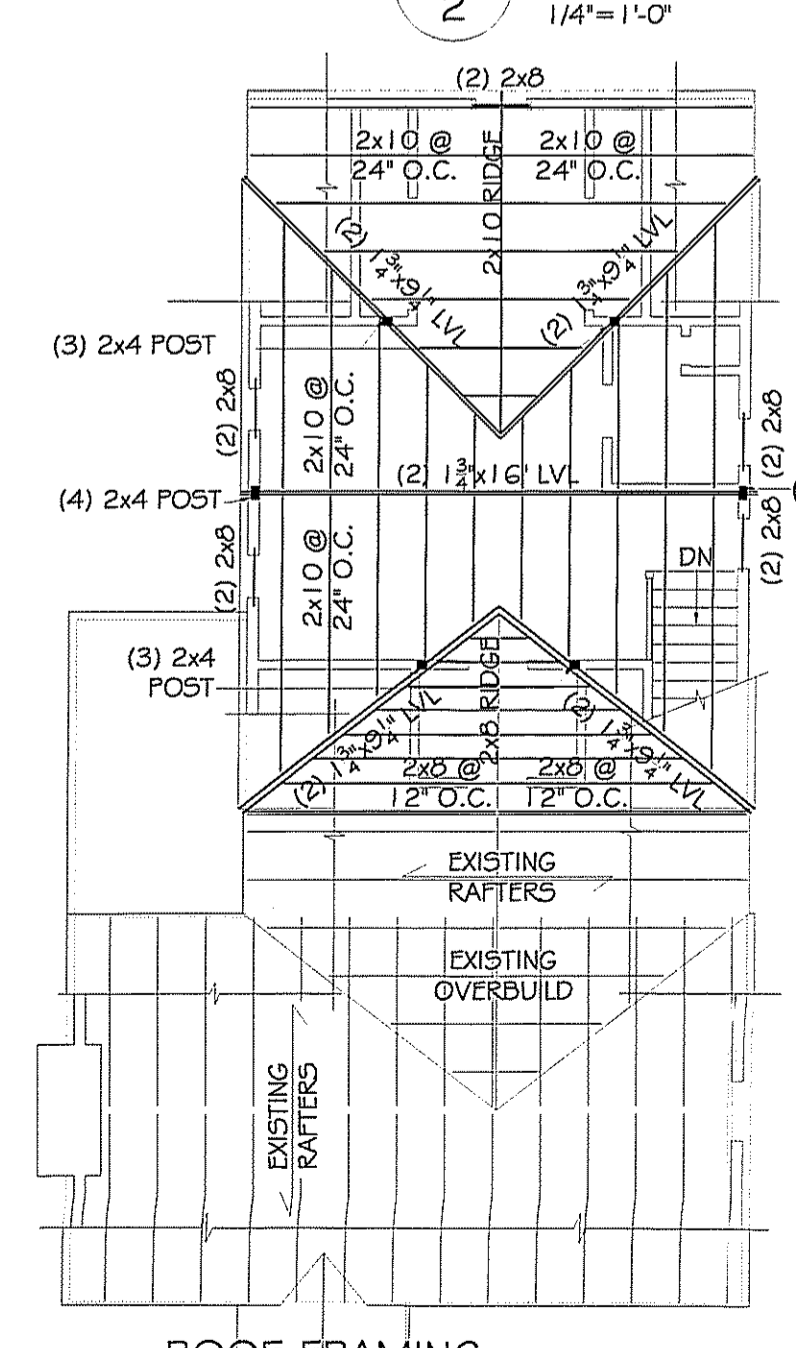
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2 1/4" = 1'-0"



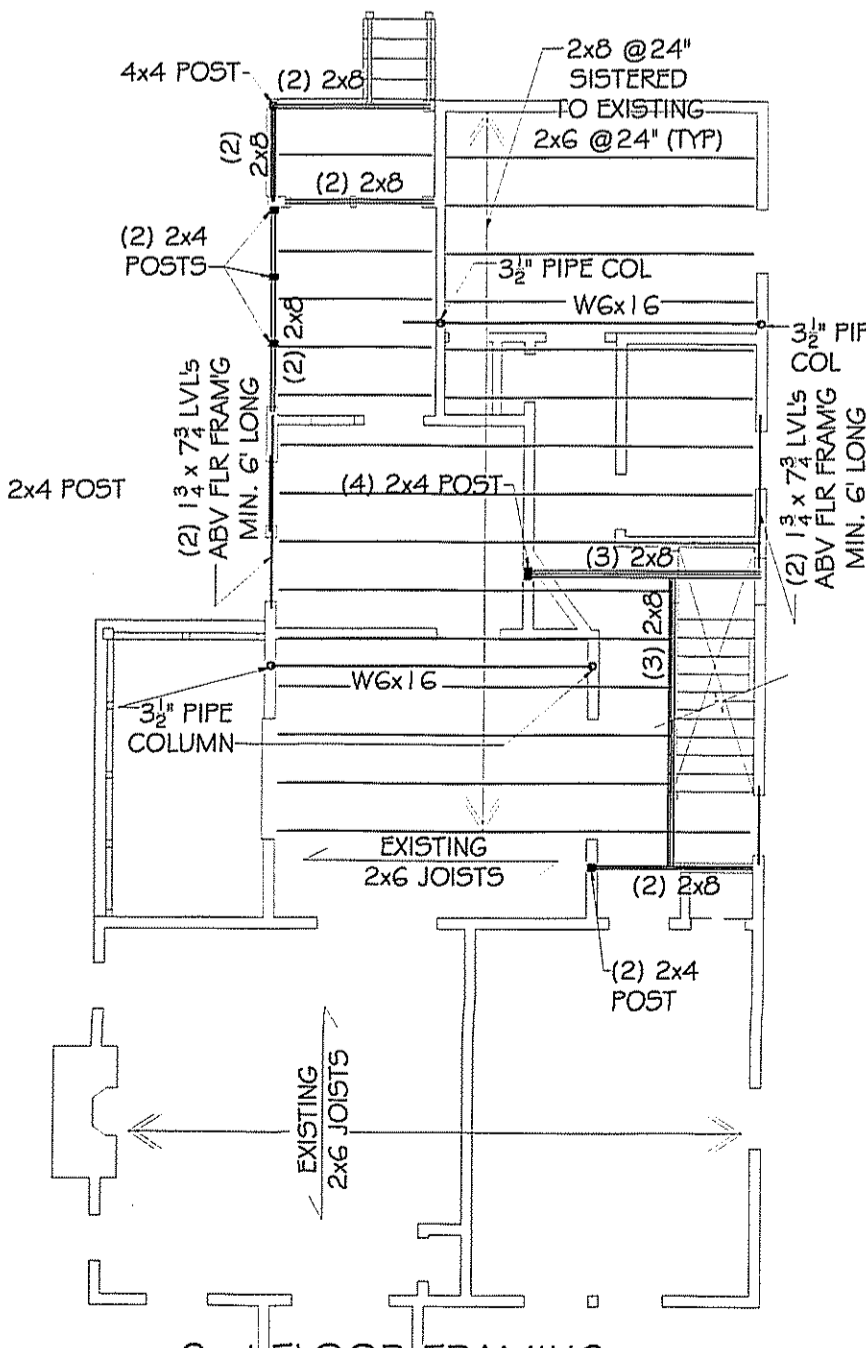
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2 1/4" = 1'-0"



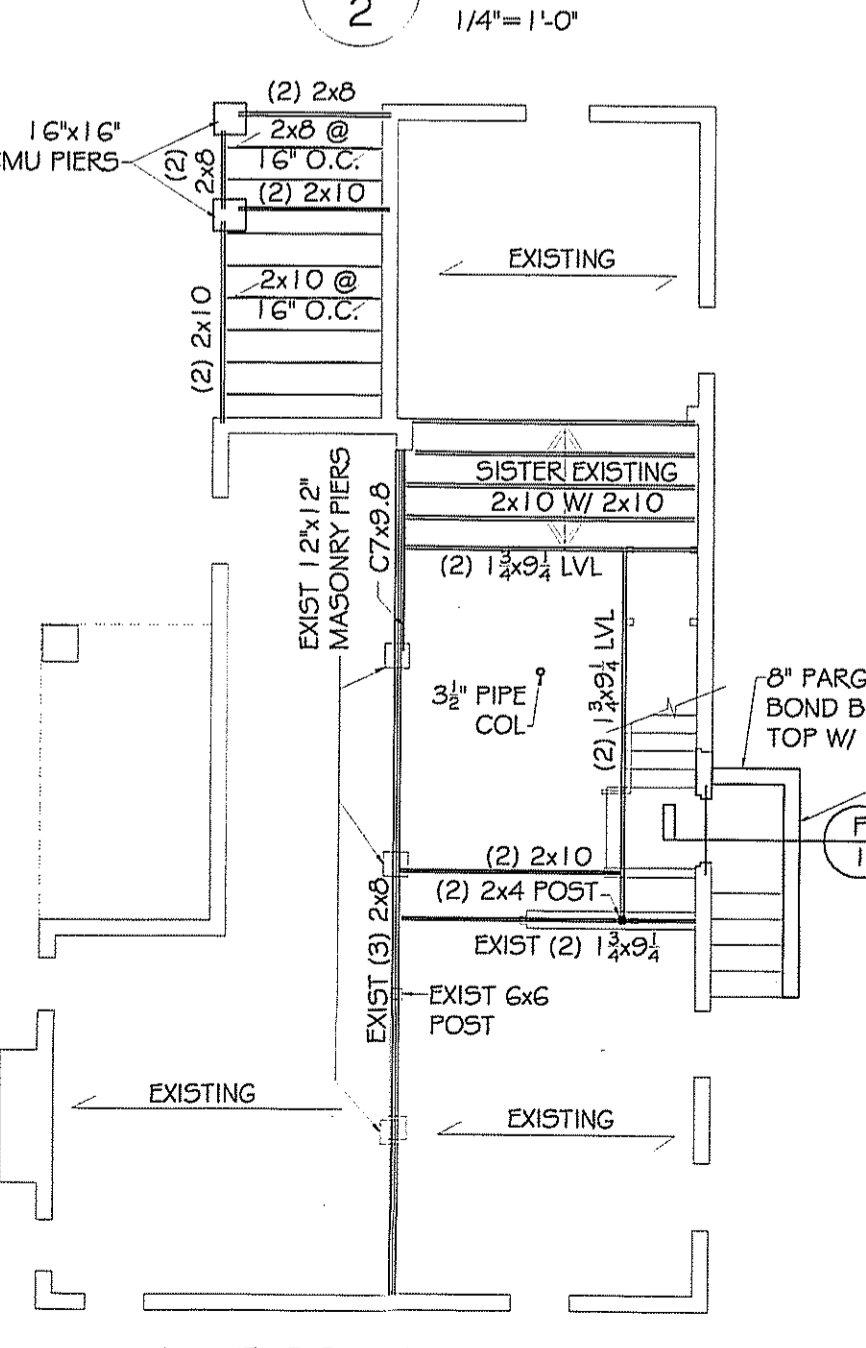
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2 1/4" = 1'-0"



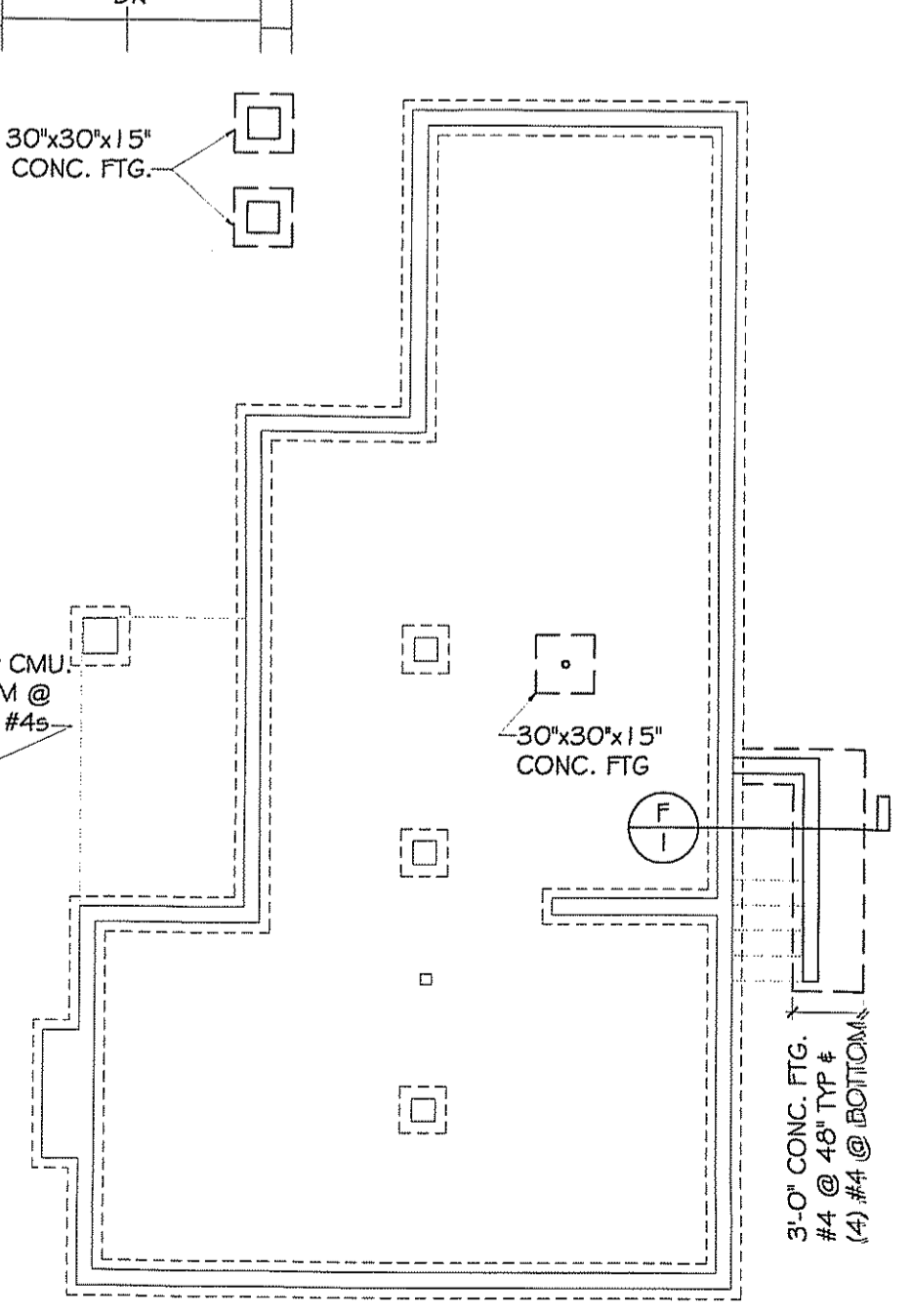
D ROOF FRAMING
2 (Over 2nd Floor Plan)
1/8" = 1'-0"



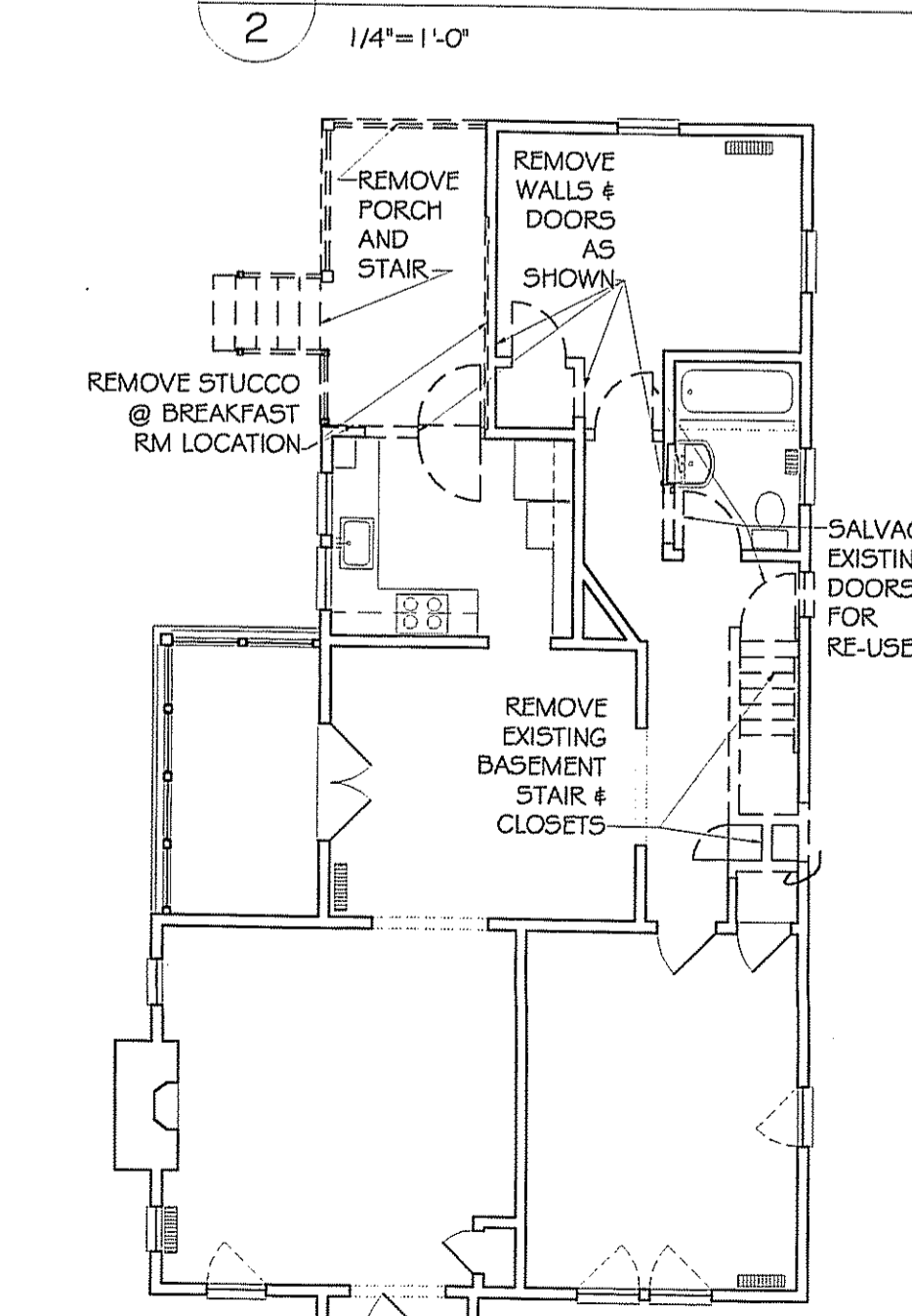
E 2nd FLOOR FRAMING
2 (Over 1st Floor Plan)
1/8" = 1'-0"



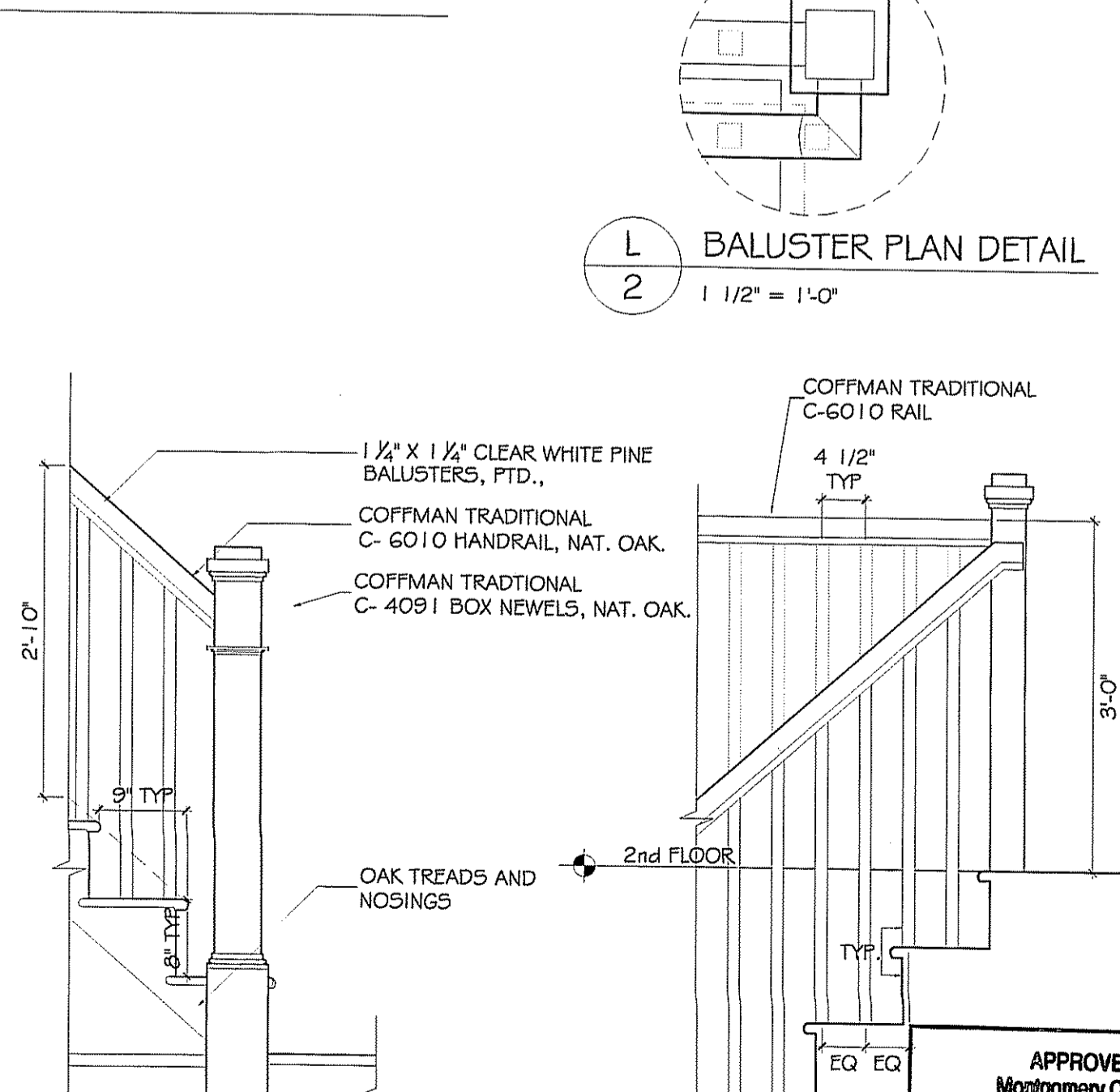
F 1st FLOOR FRAMING
2 (Over Basement Floor Plan)
1/8" = 1'-0"



G FOUNDATION PLAN
2 1/8" = 1'-0"

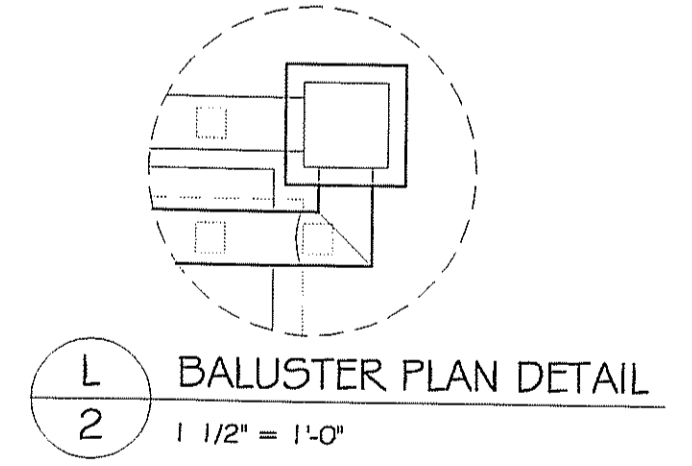


H 1st FLOOR DEMO PLAN
2 1/8" = 1'-0"



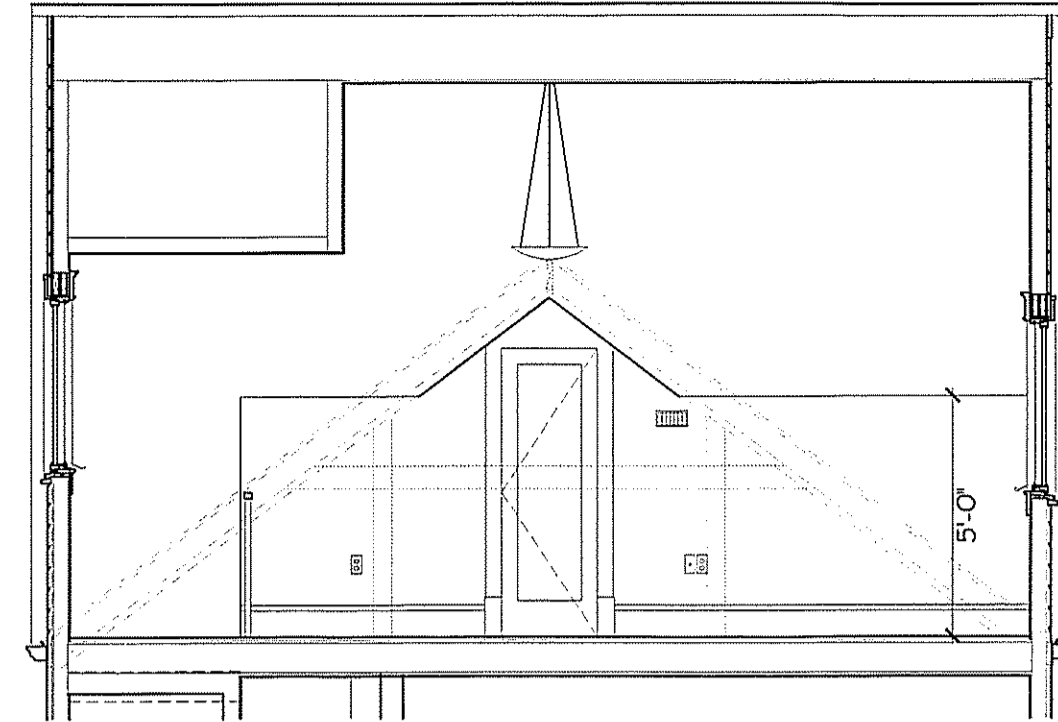
J STAIR DETAIL
2 3/4" = 1'-0"

K STAIR DETAIL
2 3/4" = 1'-0"

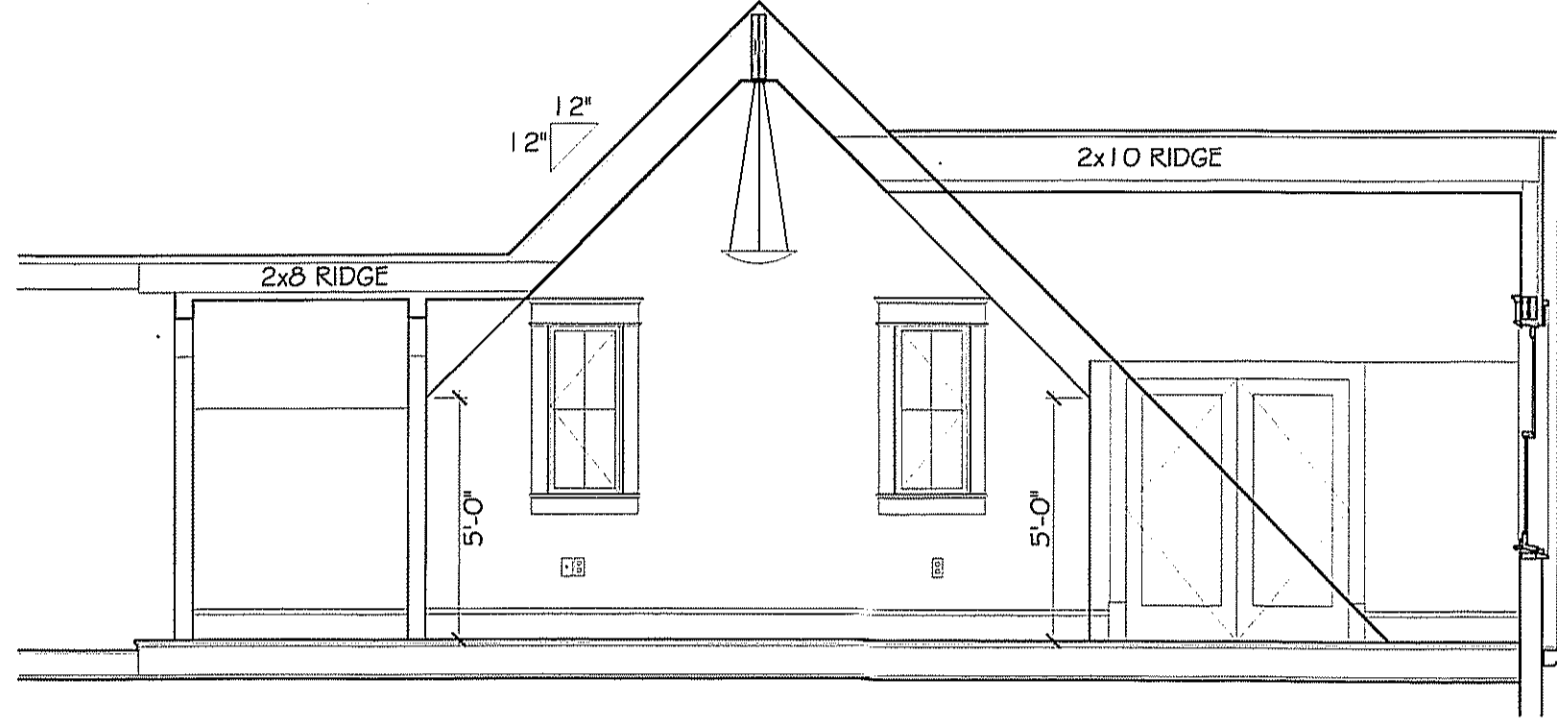


L BALUSTER PLAN DETAIL
2 1 1/2" = 1'-0"

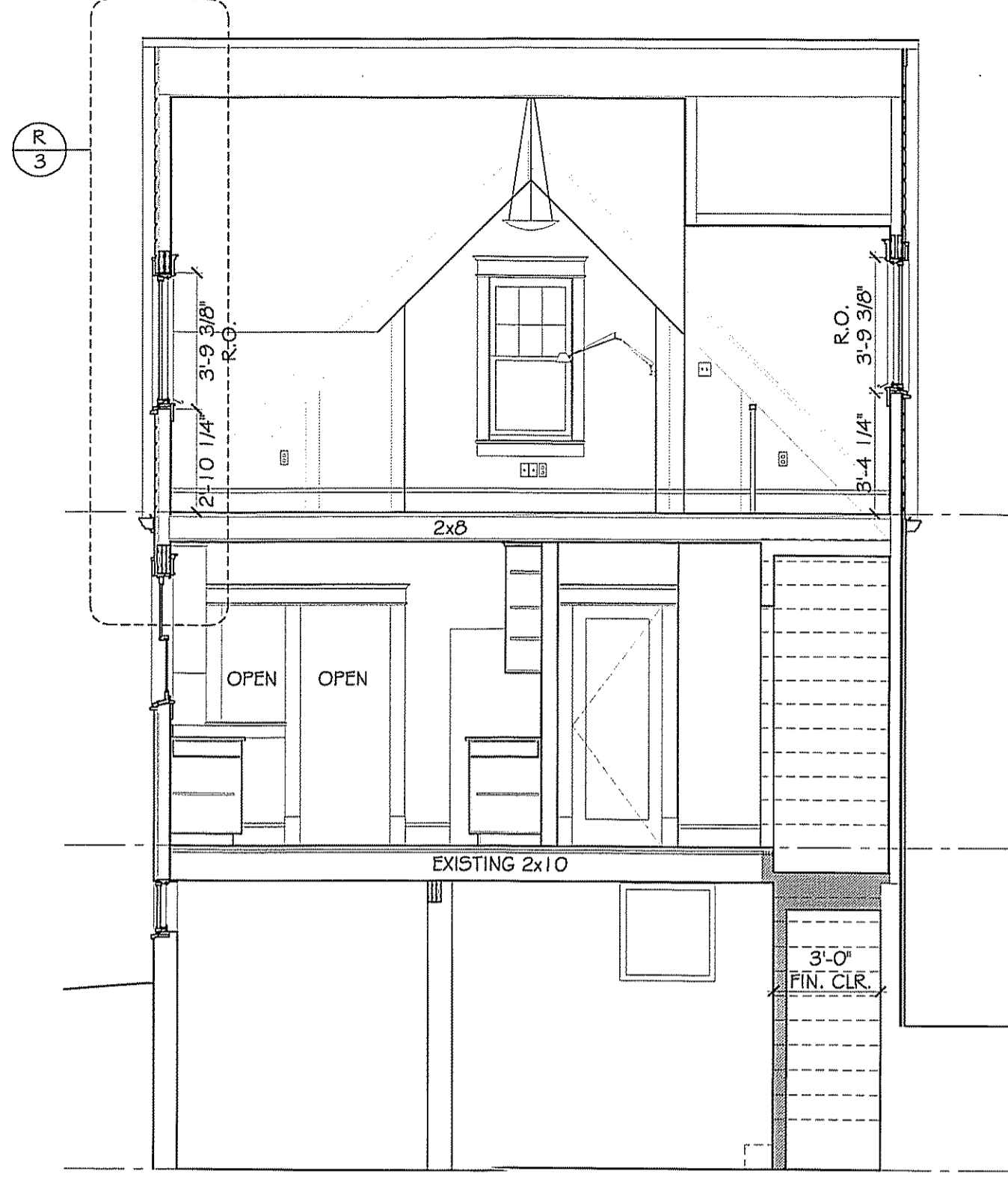
APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Waller



A SECTION @ BEDROOM 2-1
1/4" = 1'-0"



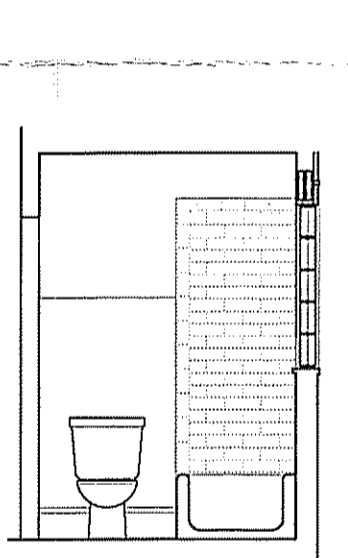
B SECTION @ BEDROOM 2-1
1/4" = 1'-0"



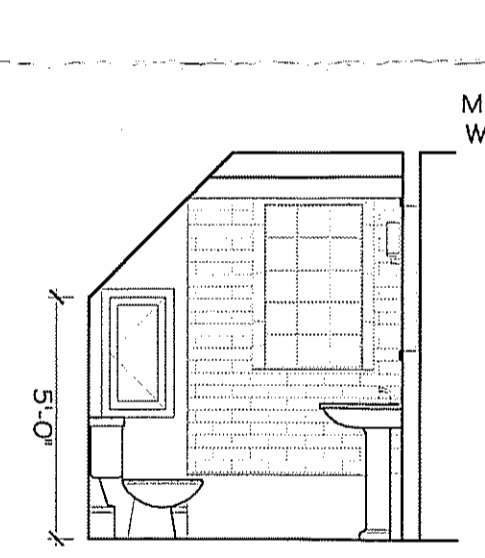
C BUILDING SECTION
1/4" = 1'-0"



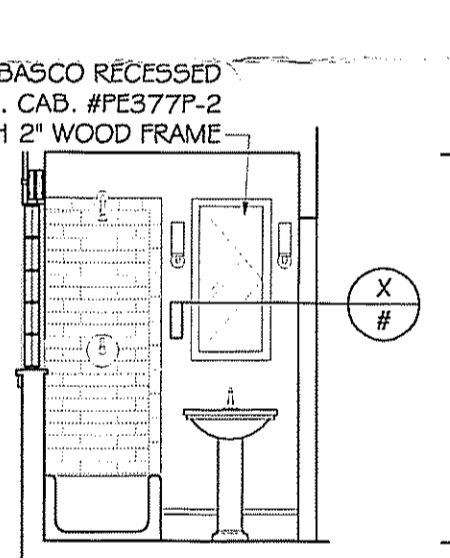
D BUILDING SECTION
1/4" = 1'-0"



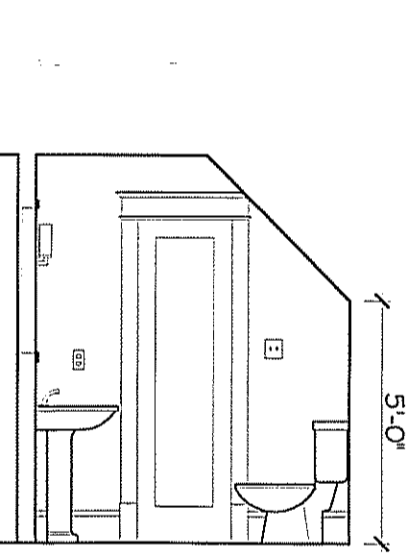
E BATH 2-2
1/4" = 1'-0"



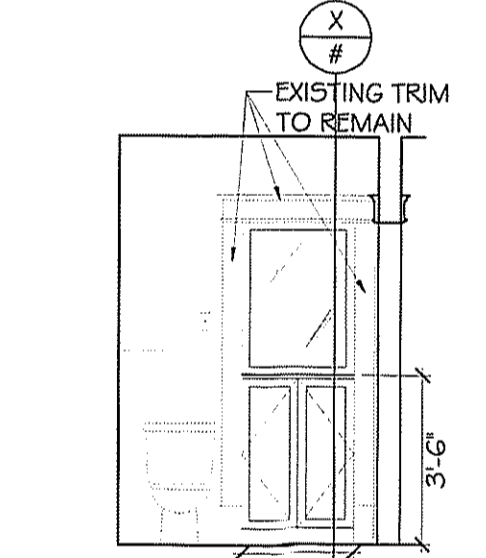
F BATH 2-2
1/4" = 1'-0"



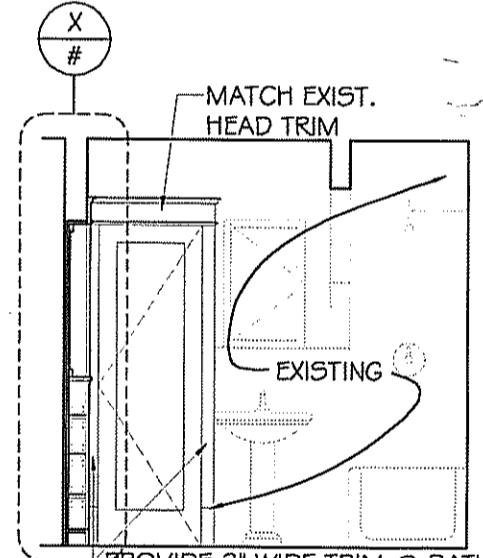
G BATH 2-2
1/4" = 1'-0"



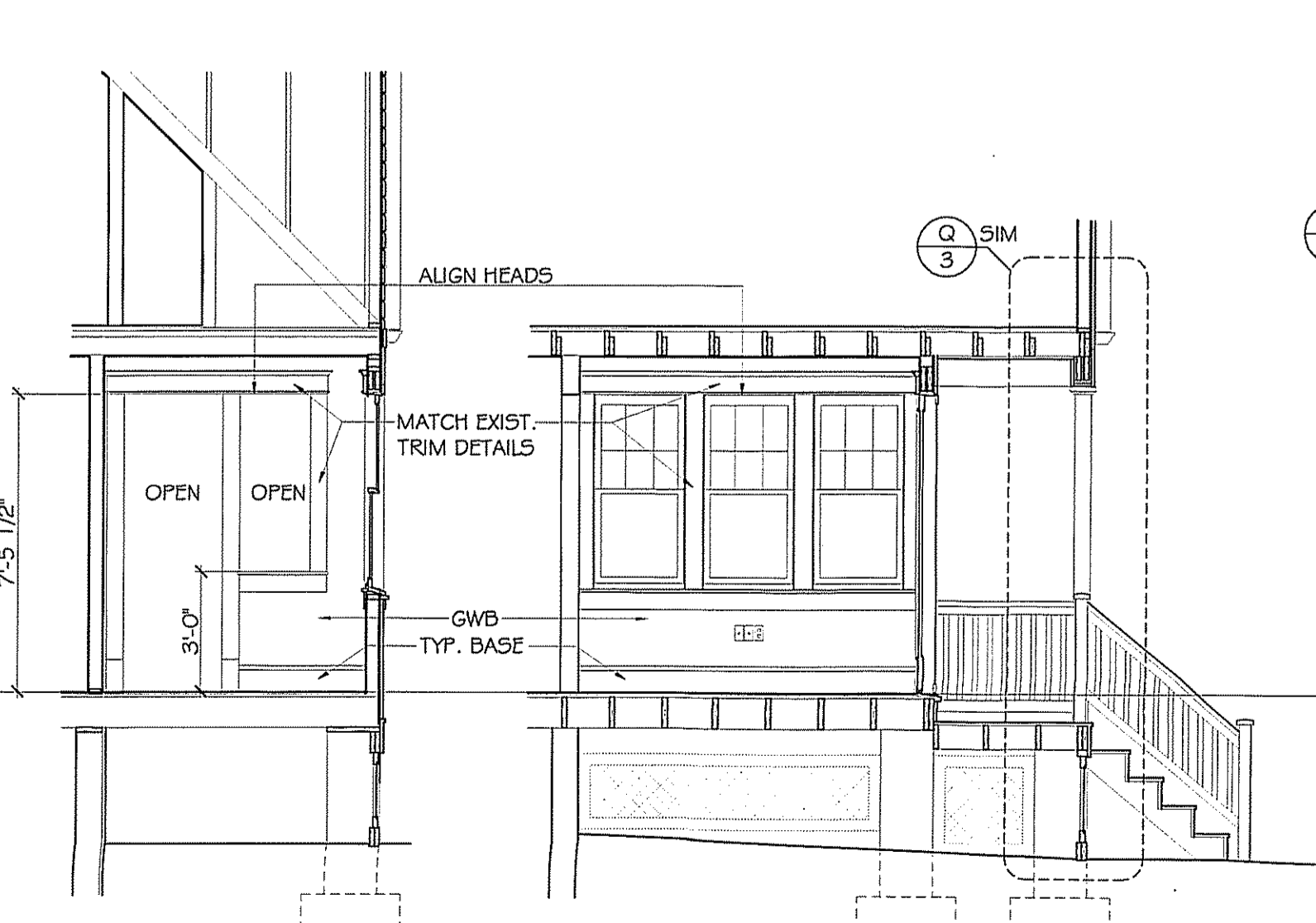
H BATH 2-2
1/4" = 1'-0"



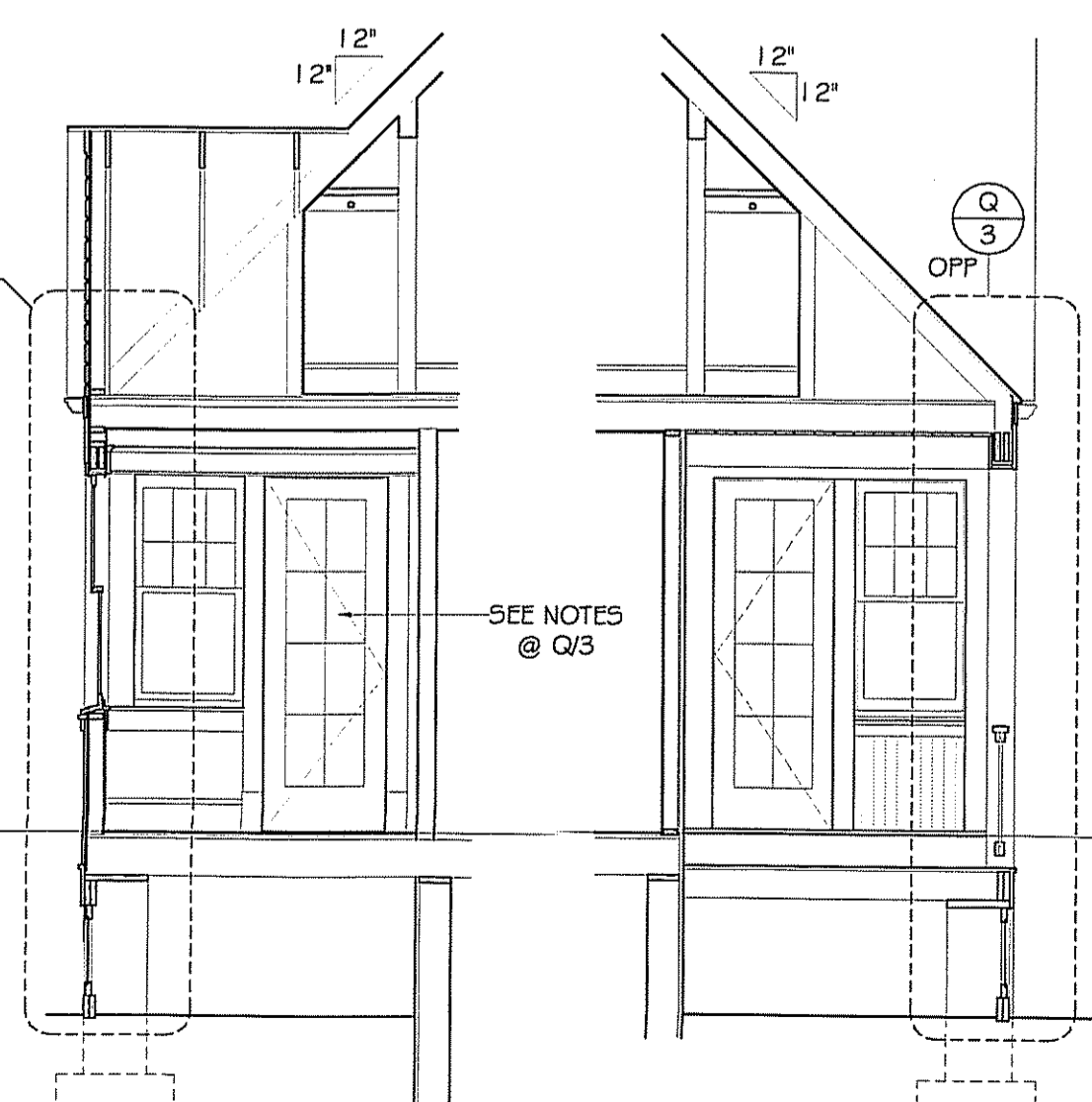
J EXIST. BATH
1/4" = 1'-0"



K EXIST. BATH
1/4" = 1'-0"



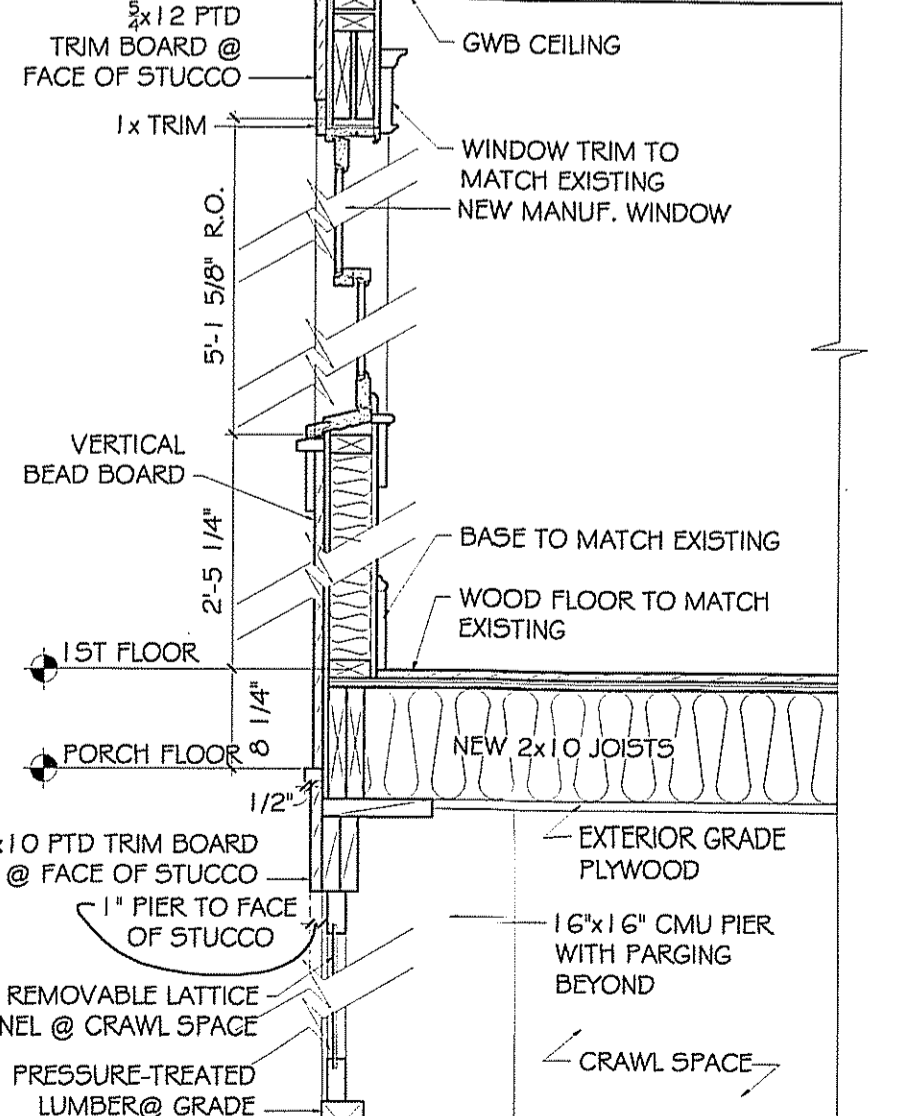
L BREAK. RM 1-7
1/4" = 1'-0"



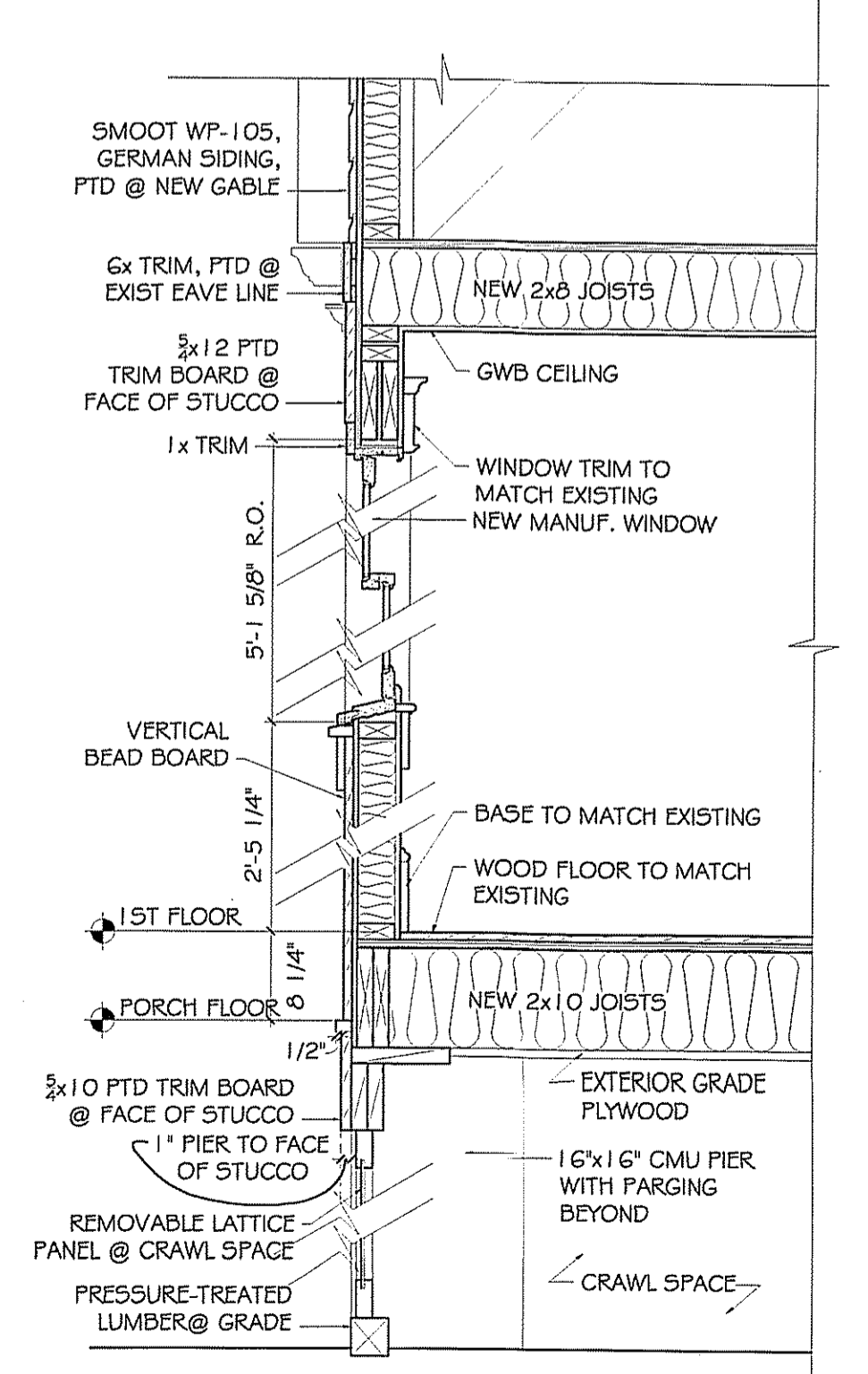
M BREAKFAST RM 1-7 & PORCH 1-10
1/4" = 1'-0"



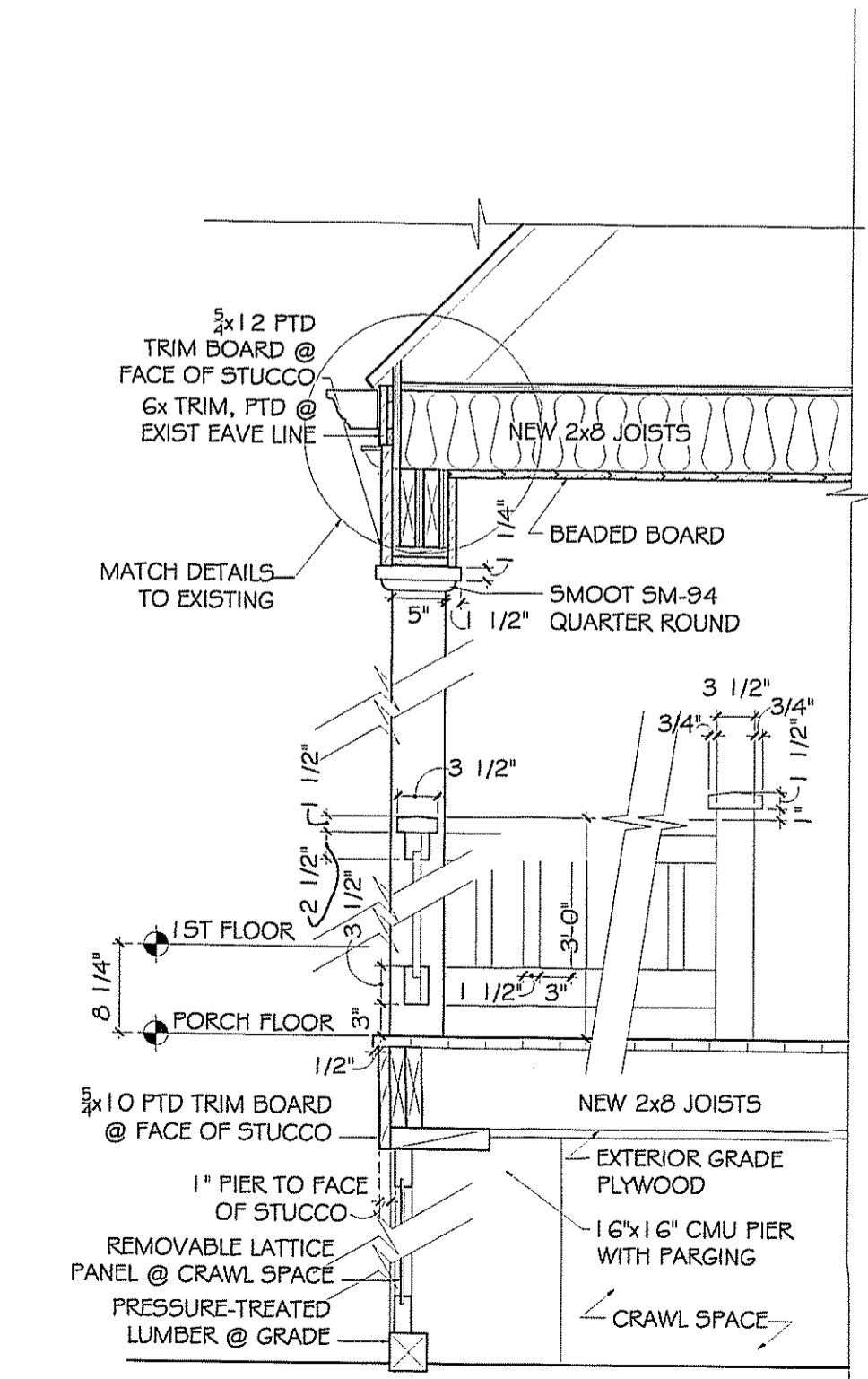
N BREAK. RM 1-7
1/4" = 1'-0"



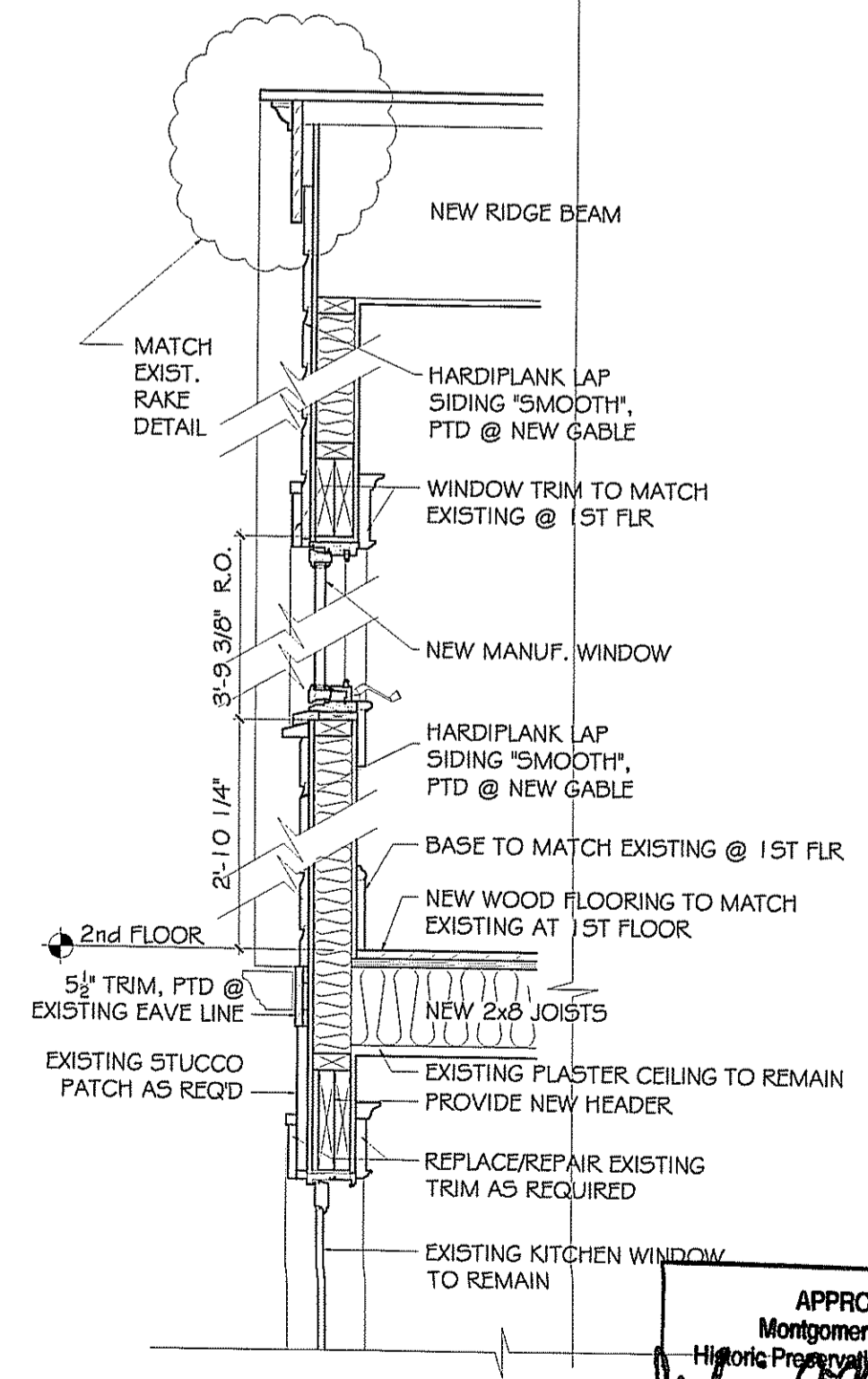
O PORCH 1-10
1/4" = 1'-0"



P BREAKFAST ROOM WALL SECTION
3/4" = 1'-0"



Q PORCH SECTION
3/4" = 1'-0"



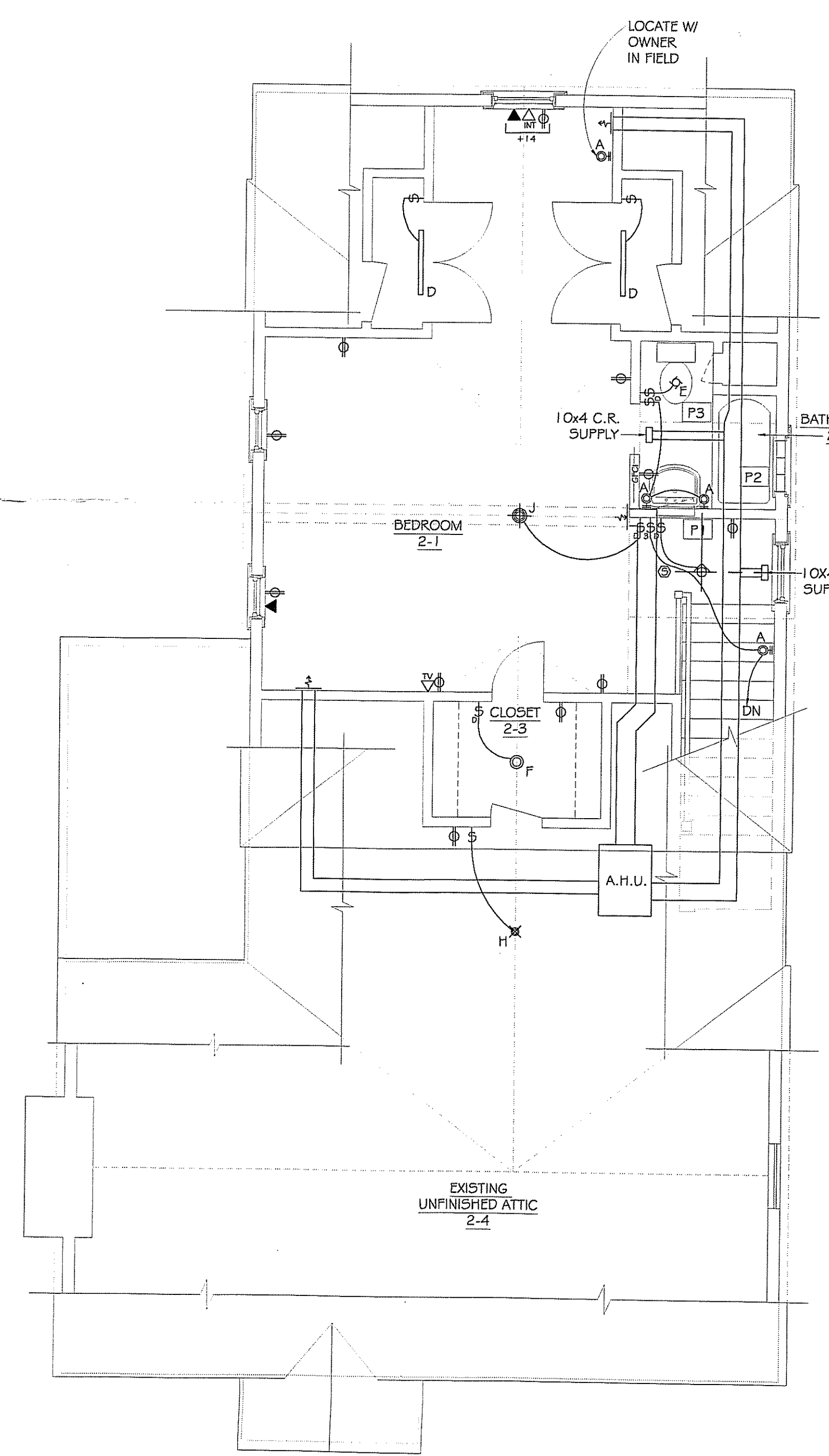
R WALL SECTION @ ATTIC GABLE
3/4" = 1'-0"

M.E.P. NOTES	
1. HVAC	4. PHONE
A. EXISTING AIR AND RADIATOR SYSTEMS SERVING BASEMENT AND FIRST FLOOR TO REMAIN WITH MINOR MODIFICATIONS TO ACCOMMODATE REVISED PLAN.	PROVIDE NEW CATEGORY 5 PHONE JACKS AT LOCATIONS INDICATED. ALL WIRING SHOULD GO BACK TO MAIN INCOMING TELEPHONE SERVICE BOX.
B. ADD NEW HIGH EFFICIENCY HEAT PUMP SYSTEM TO SERVE FINISHED 2ND FLOOR SPACE INDEPENDENTLY. PROVIDE 1 1/2 TON RHEEM 13 SEER WITH 10K BACK-UP AND NEW CONDENSER LOCATED BESIDE EXISTING IN SIDE YARD.	5. ELECTRICAL COVER PLATE FINISHES
C. TIE NEW 2ND FLOOR BATHROOM TO EXISTING HOT WATER HEATER SYSTEM.	ALL EXPOSED ELECTRICAL OUTLETS, SWITCHES, JACKS, COVER PLATES AND OTHER EXPOSED EQUIPMENT SHALL BE ALL WHITE UNLESS OTHERWISE NOTED.
D. INSULATE ALL DUCT WORK IN UNCONDITIONED SPACE WITH 1 1/2" VAPOR BARRIER DUCT WRAP INSULATION.	6. BACK PLATES
E. ALL DUCTWORK SERVICING 2ND FLOOR TO BE LOCATED IN UNFINISHED ATTIC SPACE.	SEE ARCHITECTURAL DRAWINGS FOR WOODEN BACK PLATES AND BOXOUTS WHERE INDICATED.
F. BATHROOMS TO EXHAUST TO OUTSIDE.	7. NON-IC FIXTURES
	PROVIDE "CHICKEN-WIRE" CAGE AROUND ANY NON-IC FIXTURES ADJACENT TO INSULATION. HOLD INSULATION AWAY 3".
2. SMOKE DETECTORS	
PROVIDE ALTERATIONS AND UPGRADING AS REQUIRED TO ACCOMMODATE RENOVATED AREAS AND TO PROVIDE A SAFE AND PROFESSIONAL SYSTEM WHICH MEETS CURRENT LOCAL CODES.	
3. LIGHTING & FIXTURE LOCATION	
SEE ARCHITECTURAL ELEVATIONS FOR LOCATIONS OF ALL WALL MOUNTED FIXTURES.	

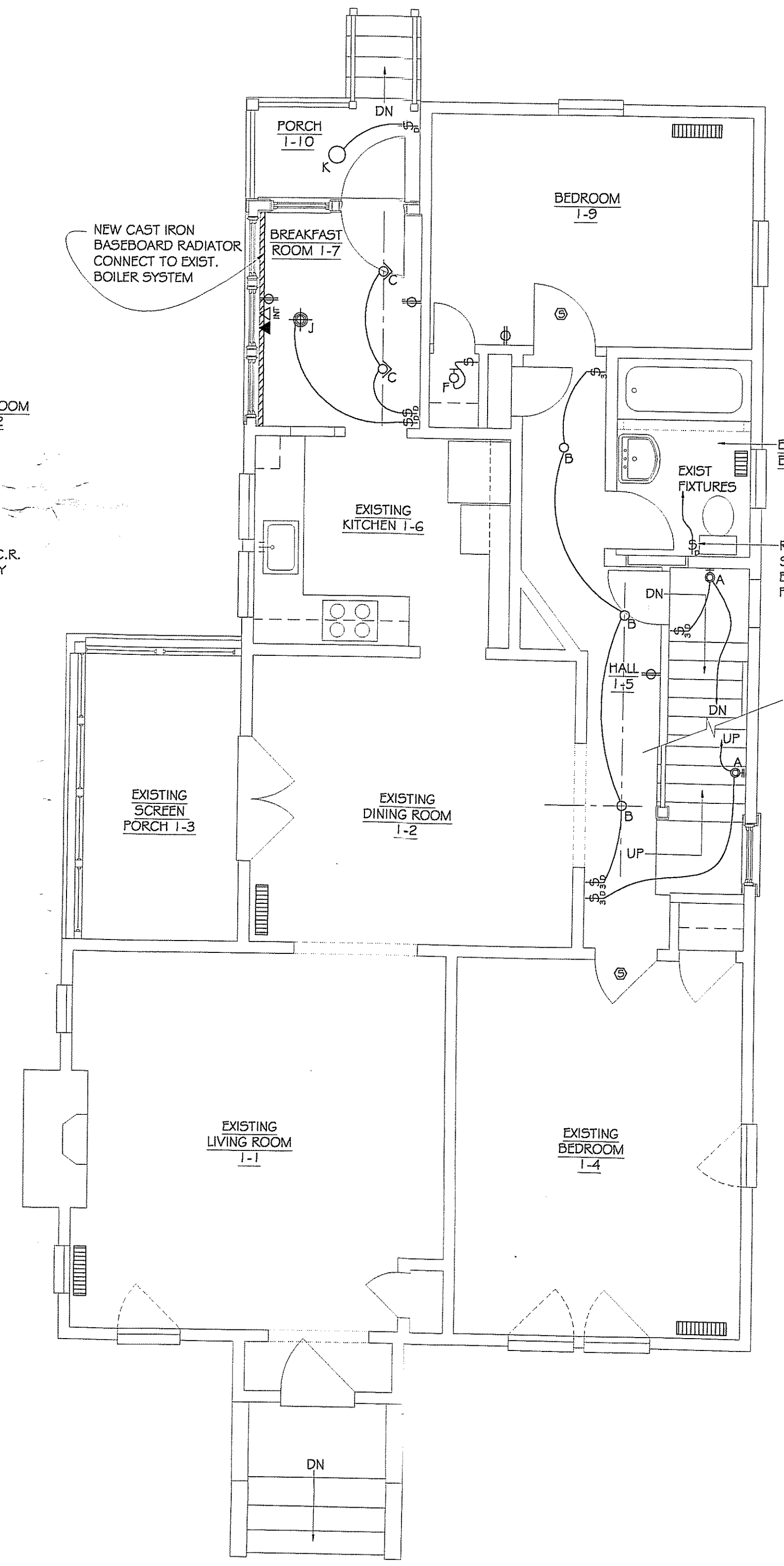
ELECTRICAL FIXTURE SCHEDULE	
TYPE	DESCRIPTION
⊖	SINGLE POLE SWITCH, TOGGLE TYPE, 40' A.F.F., BRASS
⊖	SINGLE POLE SWITCH, WITH DIMMER, (LUTRON TG series) 40' A.F.F., BRASS. NOTE: USE LOW VOLTAGE DIMMERS WHERE LOW VOLTAGE FIXTURES
⊖	THREE WAY SWITCH, TOGGLE TYPE 40' A.F.F., BRASS
⊖	THREE WAY SWITCH WITH DIMMER, TOGGLE TYPE, (LUTRON TG series) 40' A.F.F., BRASS. NOTE: USE LOW VOLTAGE DIMMER WHERE LOW VOLTAGE FIXTURES
⊖	SINGLE POLE TIMER SWITCH, all white
⊖	SINGLE POLE JAMB SWITCH
⊖	DUPLEX WALL OUTLET, 1 1/2" A.F.F., U.N.O., white
⊖	DUPLEX WALL OUTLET, 45" A.F.F., U.N.O., white
⊖	DUPLEX WALL OUTLET, GROUND FAULT CIRCUIT INTERRUPT, 45" A.F.F., U.N.O., white
⊖	DUPLEX WALL OUTLET, WEATHERPROOF, GFCI, 1 1/2" A.F.F., U.N.O., black
⊖	SPECIAL RECEPTACLE, FOR EQUIPMENT, VOLTAGE AS REQ.
⊖	TELEPHONE JACK (CATEGORY FIVE WIRING), PREWIRE FROM INCOMING HOOK-UP AREA (4 LINES MIN.), 1 1/2" A.F.F., white, U.N.O.
⊖	TELEVISION CABLE JACK PREWIRE FROM INCOMING HOOK-UP AREA (4 LINES MIN.), 1 1/2" A.F.F., white
⊖	HIGH SPEED INTERNET CONNECTION, 1 1/2" A.F.F., white
⊖	THERMOSTAT, white, REVIEW EXACT LOCATION W/ ARCHITECT AND OWNER

LIGHT FIXTURE SCHEDULE		
TYPE	SYMB	DESCRIPTION
A	⊖	WALL SCONCE- PROVIDE ALLOWANCE- \$150 EA MATERIAL ONLY
B	⊖	RECESSED INTERIOR DOWN LIGHT W/ CLEAR ALZAK REFLECTOR - LIGHTOLIER, CALCULITE #CGAD, CLW W/ CGAIC FRAME-IN FOR INSULATED CEILINGS, 100W, A-19 LAMP.
C	⊖	RECESSED INTERIOR DOWN LIGHT W/ CLEAR ALZAK REFLECTOR - LIGHTOLIER, 1096 W/ 1004ICX FRAME-IN FOR INSULATED CEILINGS, 60W, A-19 LAMP.
D	⊖	MODERN FLUORESCENT STRIP, MOUNT ABOVE HEAD OF CLOSET DOOR
E	⊖	EXHAUST FAN - PANASONIC: WHISPER CEILING MOUNT, 60 CFM, MODEL #FV-05VQ2
F	⊖	CEILING MOUNT INCANDESCENT FIXTURE - KICHLER LIGHTING - MODEL #K-8880, WHITE, 75W LAMP
G	⊖	EXTERIOR WALL SCONCE- PROVIDE ALLOWANCE- \$250 EA MATERIAL ONLY
H	⊖	PORCELAIN SOCKET
J	⊖	PENDANT FIXTURE - PROVIDE ALLOWANCE- \$200.
K	⊖	EXTERIOR CEILING MOUNT FIXTURE - PROVIDE ALLOWANCE- \$250.

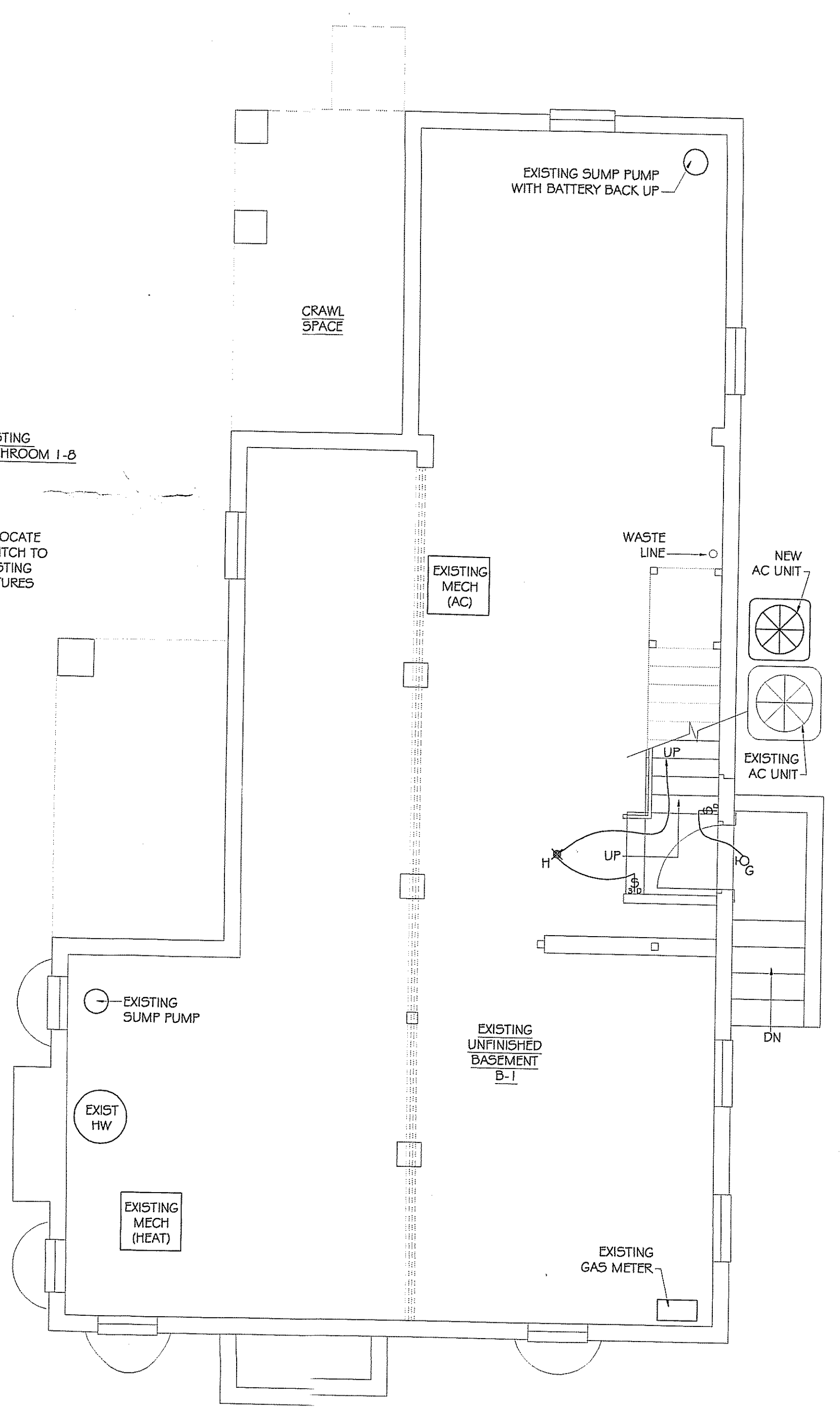
PLUMBING FIXTURE & ACCESSORY SCHEDULE		
TYPE	DESCRIPTION	MODEL
P1	PEDESTAL SINK:	24" WIDE PORCELAIN- PROVIDE ALLOWANCE- \$300.
	FITTINGS:	CHROME- PROVIDE ALLOWANCE- \$300.
P2	TOILET:	TOTO PROMENADE ROUND #CST723, WHITE SOFT CLOSE ROUND #55113, WHITE
P3	BATH TUB:	54" LONG, CAST IRON- PROVIDE ALLOWANCE- \$750.
	FITTINGS:	CHROME- PROVIDE ALLOWANCE- \$350.
P4	TOILET SEAT:	TOTO "PROMENADE" ELONGATED #CST724, WHITE SOFT CLOSE ELONGATED #55114, WHITE



A ATTIC MEP PLAN
1/4" = 1'-0"



B 1ST FLOOR MEP PLAN
1/4" = 1'-0"



C BASEMENT MEP PLAN
1/4" = 1'-0"

T R E A C Y & E A G L E B U R G E R
 A R C H I T E C T S
 3335 CONNECTICUT AVE. NW · 2ND FL. · WASHINGTON, DC 20008-5071
 DATE 07.30.04
 PERMIT SET
 MECHANICAL, ELECTRICAL & PLUMBING PLANS AND SCHEDULES
 GEORGE RESIDENCE
 TAKOMA PARK, MD 20912
 56 WALNUT AVENUE
 APPROVED
 Montgomery County
 Historic Preservation Commission
 Julia O'Malley
 4 OF 4