

37/3-99W 411 Tulip Avenue
(Takoma Park Historic District)

File

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 8-20-99

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 8-20-99

MEMORANDUM

**TO: Robert Hubbard, Director
Department of Permitting Services**

**FROM: Gwen Wright, Coordinator
Historic Preservation**

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Denied

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: BEN PARTRIDGE

Address: 411 TULIP AVE. TAKOMA PARK

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAN PARTRIDGE
Daytime Phone No.: 301-270-0913

Tax Account No.: Ben

Name of Property Owner: DAN PARTRIDGE Daytime Phone No.: 301-270-0913

Address: 411 Tulip Ave. TAKOMA PARK MD. 20912
Street Number City State Zip Code

Contractor: PATIO ENCLOSURES Phone No.: 703-550-2200

Contractor Registration No.: _____ License # 12756

Agent for Owner: Jim GARNER Daytime Phone No.: 703-550-2200

LOCATION OF BUILDING/PREMISE

House Number: 411 Street: Tulip
Town/City: TAKOMA PARK Nearest Cross Street: SPRUCE AVE.
Lot: 18 Block: 6 Subdivision: TAKOMA PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: Wood Foundation And Sunroom

1B. Construction cost estimate: \$ 12,272.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

James C. Garner Jr. Signature of owner or authorized agent 6/21/99 Date

Approved: _____ For Chairperson Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 8-18-99
Application/Permit No.: 9907290072 Date Filed: 7/29/99 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

single family home / White in color - Enclosure To Be
White in color

NOTE: MR. PARTRIDGE bought home in good faith that he would be able
To add a sunroom To enjoy the outdoors. MR. PARTRIDGE had no idea his home
was in a Historic Preservation, Area To Be considered is only 964 not visible
From Street.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONSTRUCT new Wood Foundation: size 8'x12' - REAR of house
Foundation approx 8" Above grade
Roof Line - under existing overhang
WALLS CLEAR Tempered GLASS - short knee wall
Removing no trees

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Cherrell Ave. - Store Shops

503 501 411 407 (Maryland Apts.)

Clipp Ave.

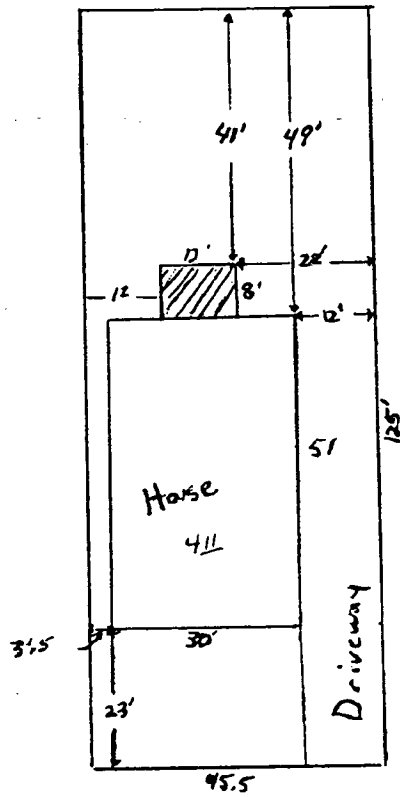
502 500½ | 500

Spruce Ave.

408 406 404

APPROVED
Montgomery County
Historic Preservation Commission

Robert Hill
8-18-99



Tulip Ave.

Porteridge
411 Tulip Ave.

APPROVED
Montgomery County
Historic Preservation Commission

Koleen Ziek

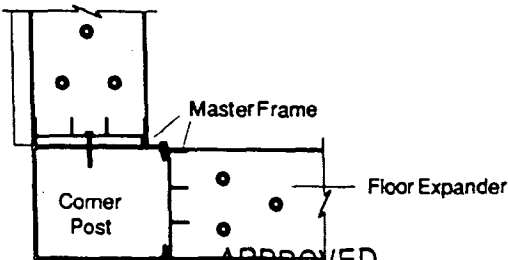
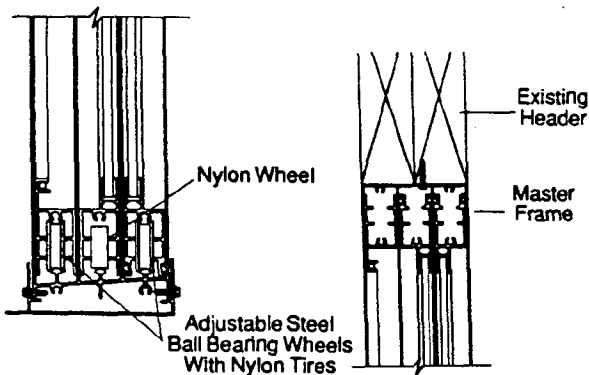
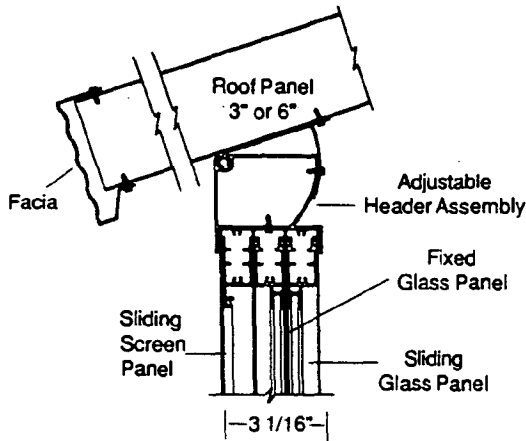
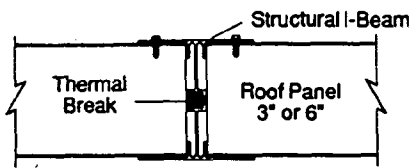
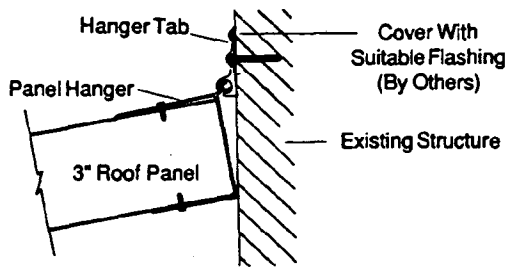
8-18-99

Scale: 1" = 30'

THREE SEASON & SCREEN ENCLOSURE Specifications - Section 13123 (8/93) 13123/PAT

BuyLine 5165

Component Details



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Montgomery County
Historic Preservation Commission

Robin Tiek 8-18-99

PART 1 GENERAL

1.01 WORK INCLUDES

A. Furnish prefabricated, pre-engineered aluminum glazed structure (Three Season Enclosure or optional Screen Room).

1.03 PERFORMANCE REQUIREMENTS

- A. Air Infiltration - Complies with testing per ASTM-E283.
- B. Static water resistance - Complies with testing per ASTM-E331.
- C. Dynamic water resistance - Complies with testing per AAMA-501.1.
- D. Wind loading - Withstands wind loads based on ANSI-A58.1/ASCE-7 guidelines.
- E. Live/snow loading - Withstands vertical roof loads based on the greater of 20 psf live load or roof snow loads based on ICBO/BOCA/SBCI guidelines. See page 7 for 1.02, 1.04-1.07.

PART 2 PRODUCTS

2.01 ACCEPTABLE MANUFACTURERS

A. Patio Enclosures, Inc., Macedonia, Ohio. 1-800-468-0720 Ext. 350.

2.02 MATERIALS - THREE SEASON (Optional Screen Room).

- A. STRUCTURE Note: Optional Screen Room use #1,3,4,5 only.
 - 1. Master frame shall be 3 1/16" deep.
 - 2. Full units shall be comprised of one movable glass panel, one fixed glass panel and one movable screen panel.
 - 3. Structural sections: Shall be extruded aluminum 6063 alloy.
 - 4. Screen panel frame shall be 3/4" thick and mounted in a separate non-slip track. Screen cloth shall be black painted aluminum.
 - 5. Moving screen panels shall have two adjustable steel wheels surrounded by a nylon tire.
 - 6. Moving glass panels shall have two adjustable steel wheels surrounded by a nylon tire, fixed glass panels shall have two fixed nylon wheels.
 - 7. Window units shall be custom manufactured in 1/8" increments and doors shall be available in widths from 53 5/8" to 96 5/8" and heights from 77 7/8" to 117 3/8".
 - 8. Options to adjust height shall include kick panel, glass kneewall or glass transom.

B. WEATHER SEAL

- 1. Polypropylene woven pile.

C. FASTENERS

- 1. A list of fasteners and related components shall be provided upon request of the Architect from Patio Enclosures, Inc.

D. SILICONE SEALANT

- 1. Silicone shall meet or exceed federal specifications TT-S-001543A.
- 2. Sealants shall match color of adhering surfaces, as approved by the Architect.

E. GLAZING

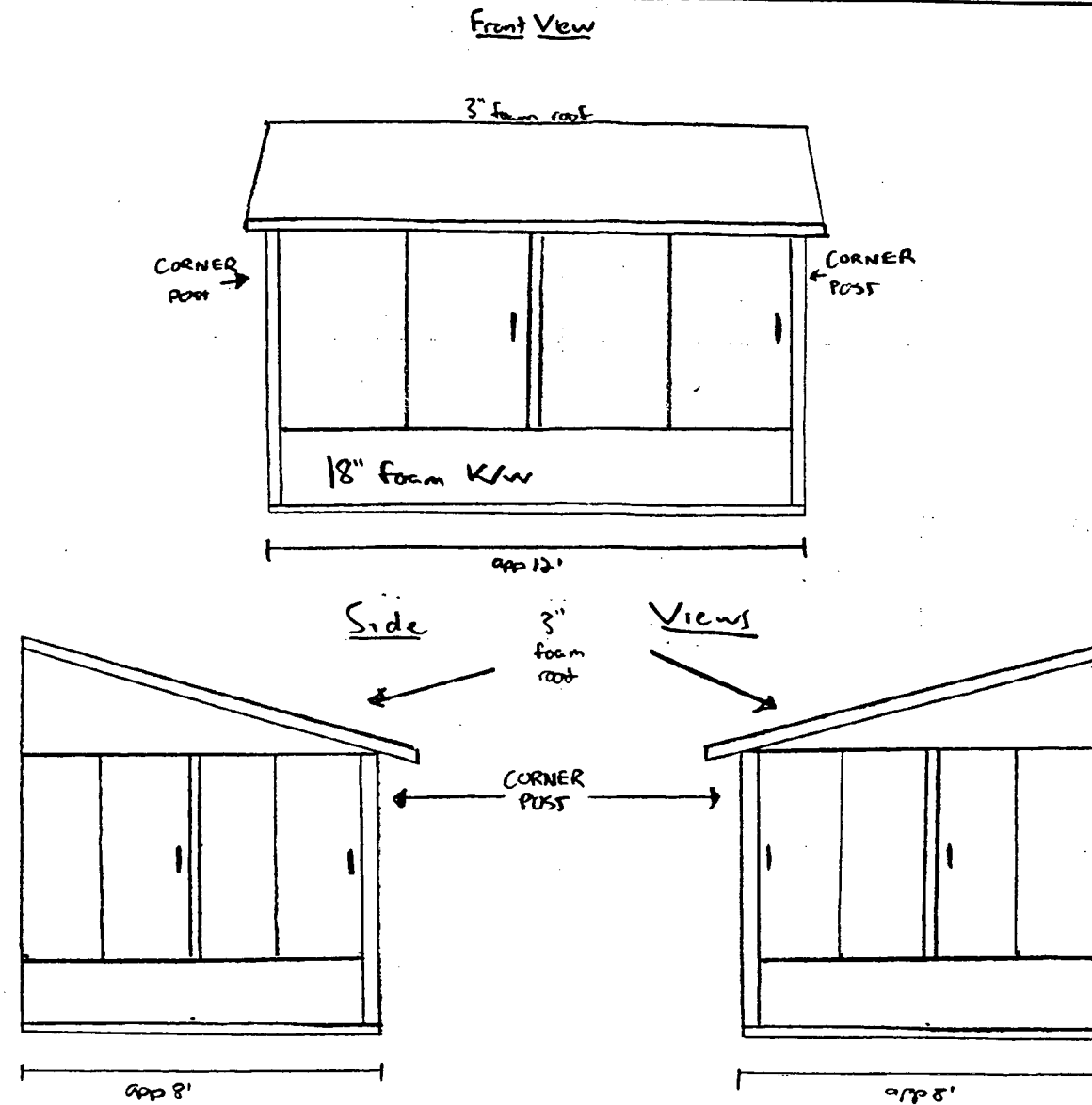
- 1. Full length door units shall be 1/8" or 5/32" tempered glass, depending on size.
- 2. Window units shall be 1/8" annealed glass. Tempered glass is available in optional sizes.
- 3. Vertical glass shall be single glazed clear. Optional glass: Low-E, Bronze Tint, or Solarcool™.

2.04 FINISH

- A. All visible aluminum extrusions shall be maintenance free, exterior grade PPG Duracon/Polycron paint finish.
- B. Paint finished shall be electrostatically applied, and baked.
- C. Color: Quaker Bronze, Brown, Beige or White.
- * **Optional Foam Roof System.** (Manufactured by P.E.I.)
 - a. Panels shall be 3" or 6" overall and consist of expanded high density polystyrene (EPS) insulation sandwiched between 2 sheets of .023" aluminum.
 - b. Paint for the aluminum sheets shall be an electrostatically applied, baked enamel finish, with an additional Krystal Kote™ to provide increased durability and efficient water run-off.
 - c. Color: white/white, beige/beige or beige/white.
 - d. Panels shall be 36" wide.
 - e. Minimum pitch shall be 1/2" per foot.
 - f. Panels shall be connected by a structural I-Beam, containing thermal break.
 - g. Roof deflection of Roof System under design load shall not exceed 1/120 of its clear span.
 - h. Engineering calculations shall be available at the Architect's request from PEI (stamped & certified by a Registered Professional Engineer).
 - i. Roof system shall have passed a full scale fire test by a testing laboratory accredited by all major model code groups.

See page 6 for PART 3.

Don Postridge
411 Tulys Ave.
Takoma Park Md 20912



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Montgomery County
Historic Preservation Commission

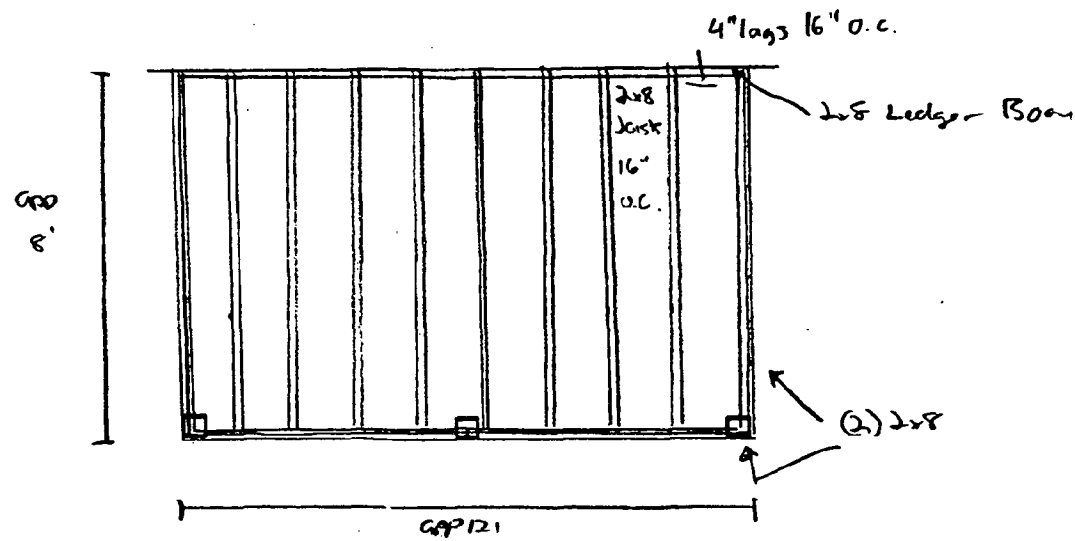
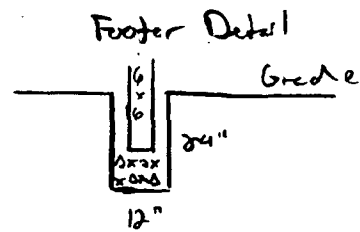
Kellen Zuehl 8-18-99

REAMCO, INC. d/b/a
PATIO ENCLOSURES, INC.
FRANCHISEE
6826 Hill Park Drive
LORTON, VIRGINIA 22079
(703) 550-2200

JOB 03048/49
SHEET NO. _____ OF _____
CALCULATED BY _____ DATE _____
CHECKED BY EVS DATE 6/14/99
SCALE 1/4" = 1'

New Deck Foundation

All posts 6"x6"s



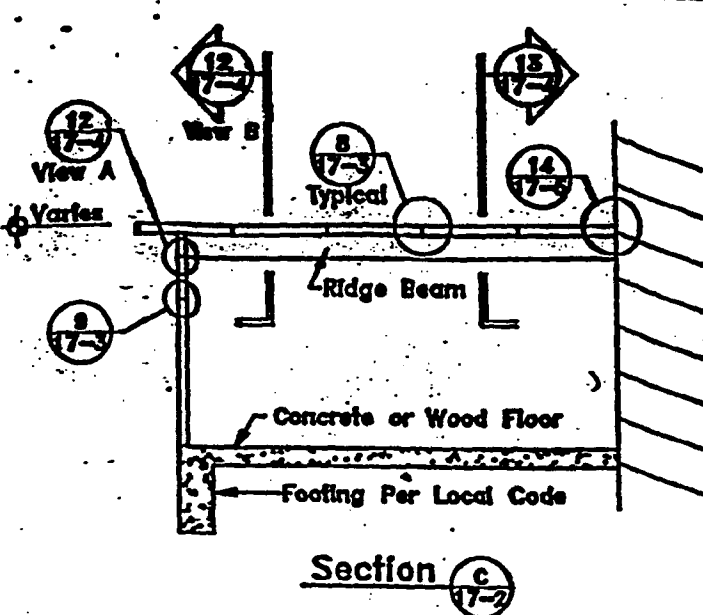
APPROVED
Montgomery County
Historic Preservation Commission

Robin Hick

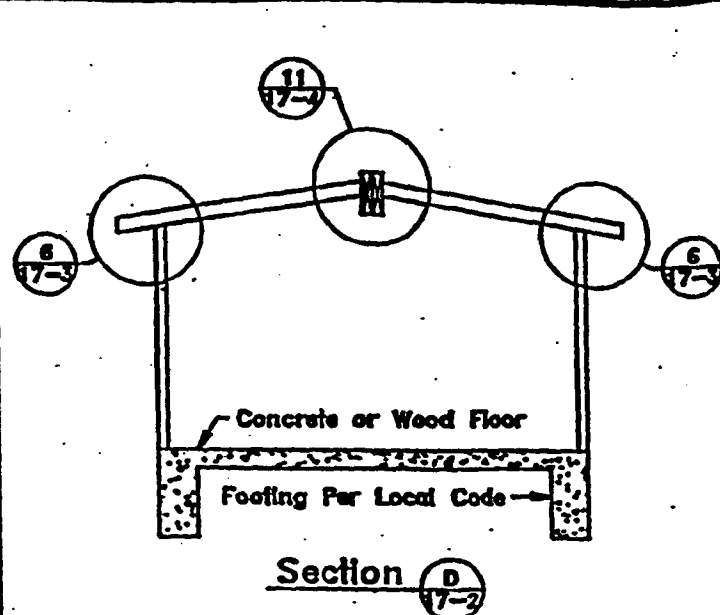
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Portridge

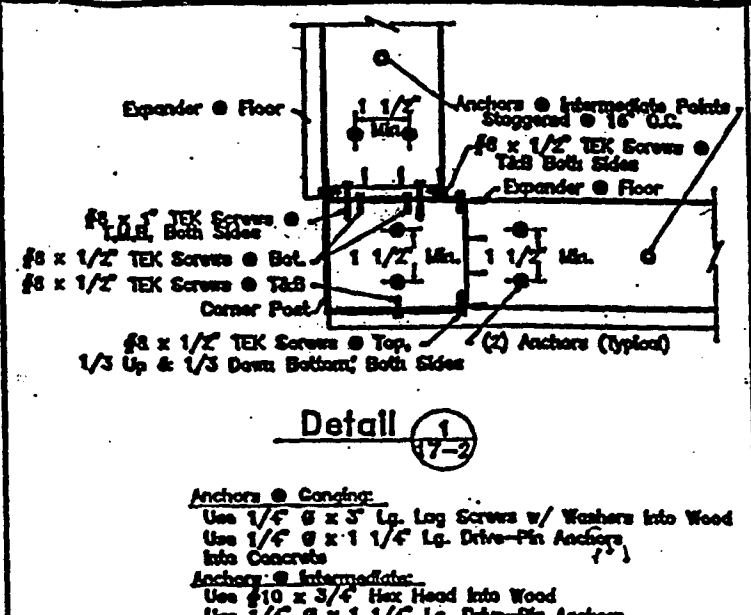
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	SHEET NO. _____ OF _____
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	CHECKED BY <u>RVS</u> DATE <u>6/14/99</u>
	SCALE <u>1/4"=1'</u>



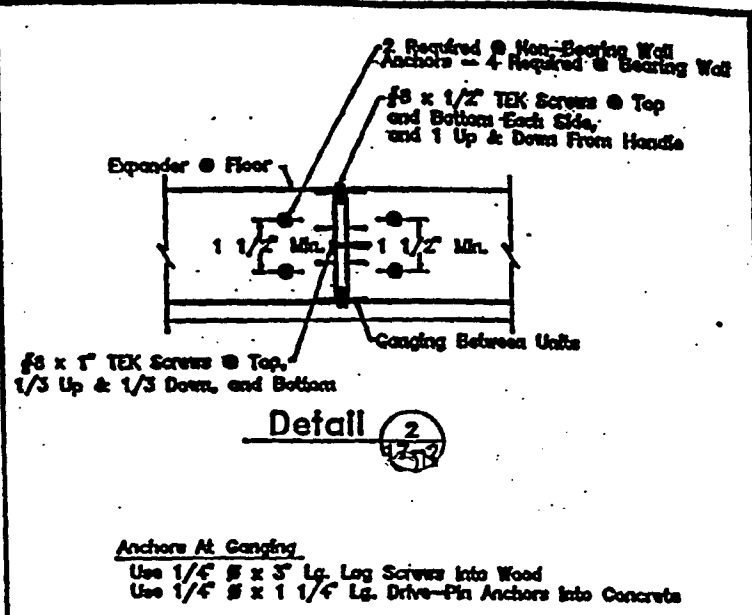
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17-2



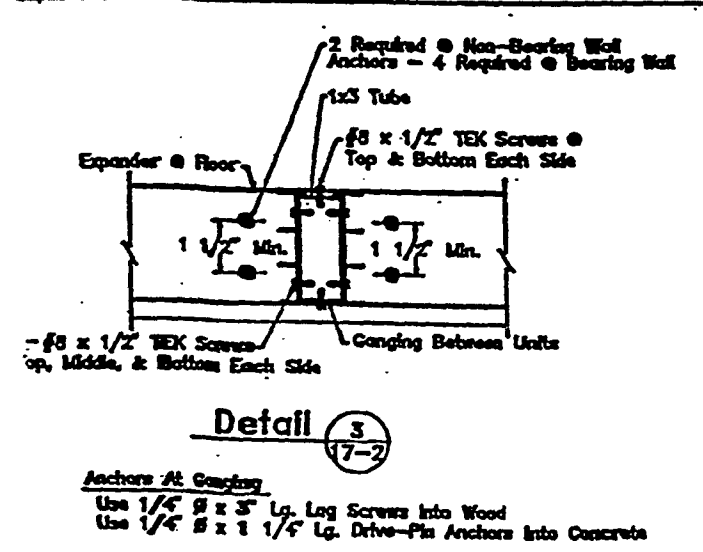
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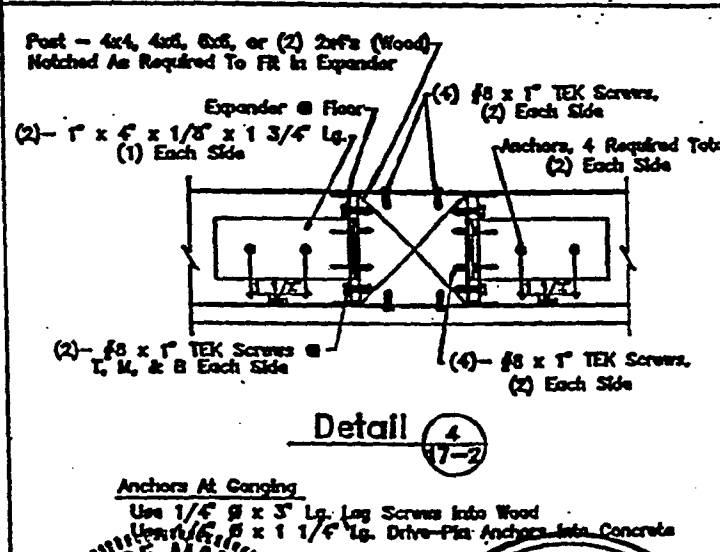
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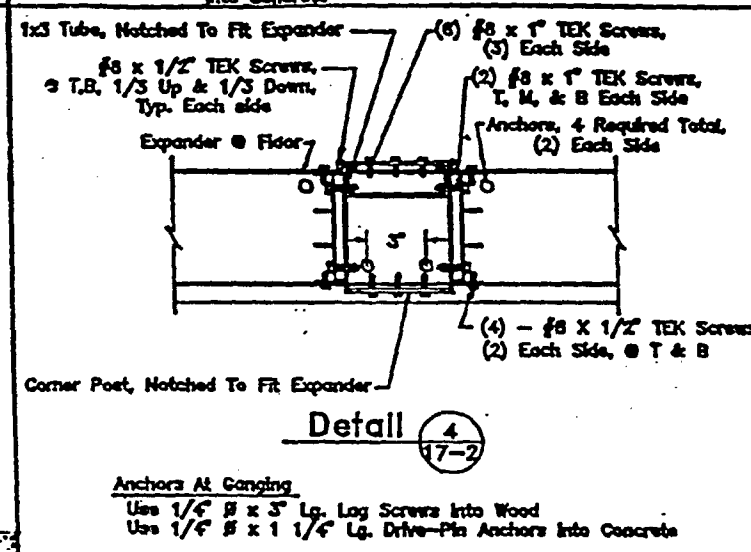
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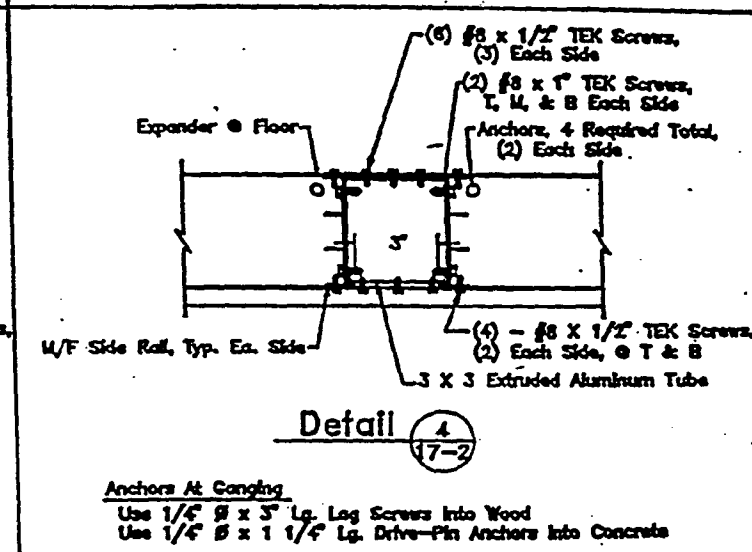
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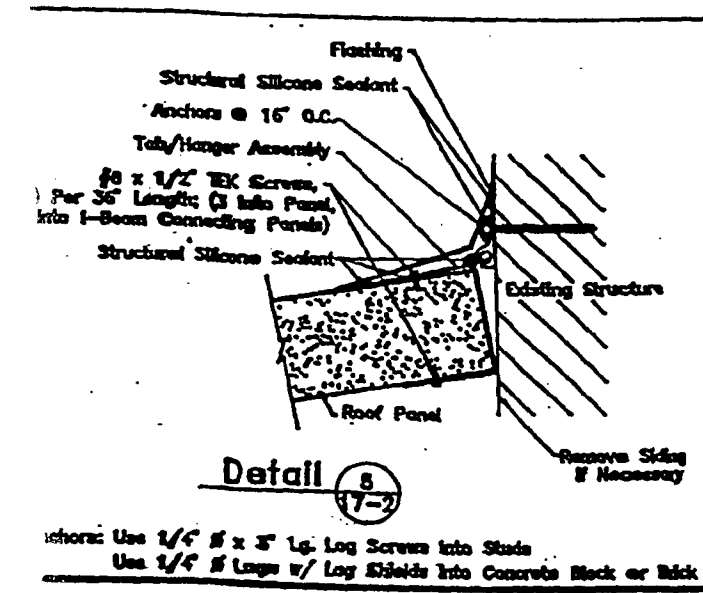
Detail 4
17-2



Detail 4
17-2



Detail 4
17-2



Detail 5
17-2

STATE OF MARYLAND
JOSEPH R. HETZEL
REGISTERED PROFESSIONAL ENGINEER
NO. 16210

DISTRICT OF COLUMBIA
JOSEPH R. HETZEL
No. 8985
REGISTERED PROFESSIONAL ENGINEER

NOTE:
The plans, elevations, sections and details contained herein are in accordance with information contained in "Product Engineering Manual on 'All-View' Three Season Rooms" as published by Patio Enclosures, Inc., Macedonia, Ohio. Limitations for product usage are contained in said "Product Engineering Manual". See individual job submittal for specific projections, unit widths and wall heights.

GENERAL STRUCTURAL DETAILS FOR PEI "ALL-VIEW" THREE SEASON ROOMS

NOTE: Details on this sheet are also in section 500 of the "All-View Rooms Engineering Manual"



720 EAST HIGHLAND ROAD
P.O. BOX 186 • MACEDONIA, OHIO 44056
(216) 468-0700 FAX (216) 467-4297

COMMONWEALTH OF VIRGINIA
JOSEPH R. HETZEL
#18485
PROFESSIONAL ENGINEER

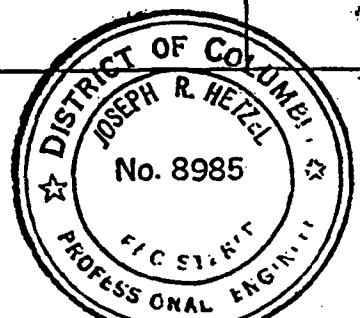
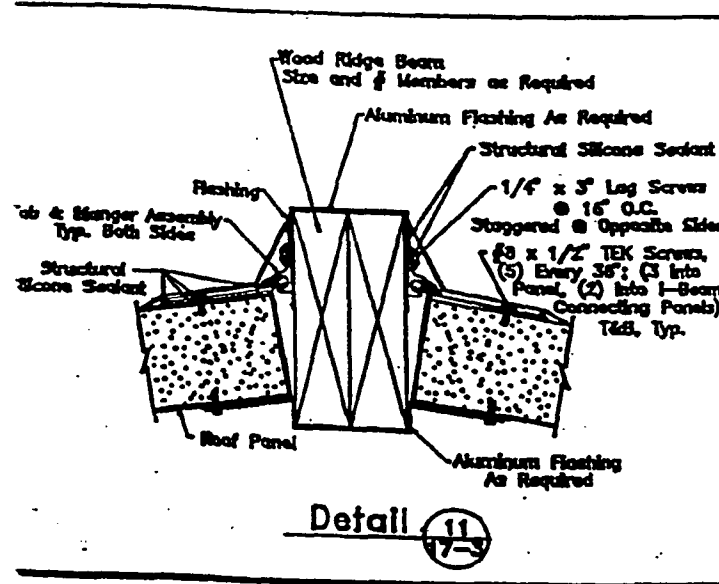
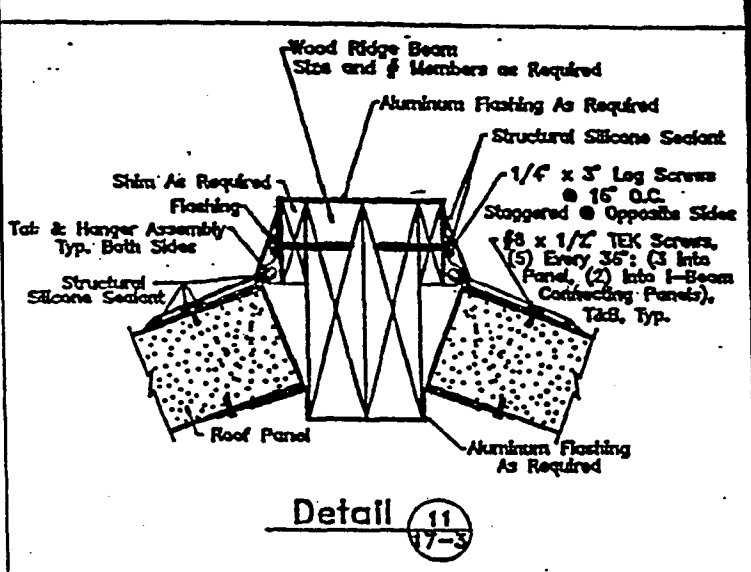
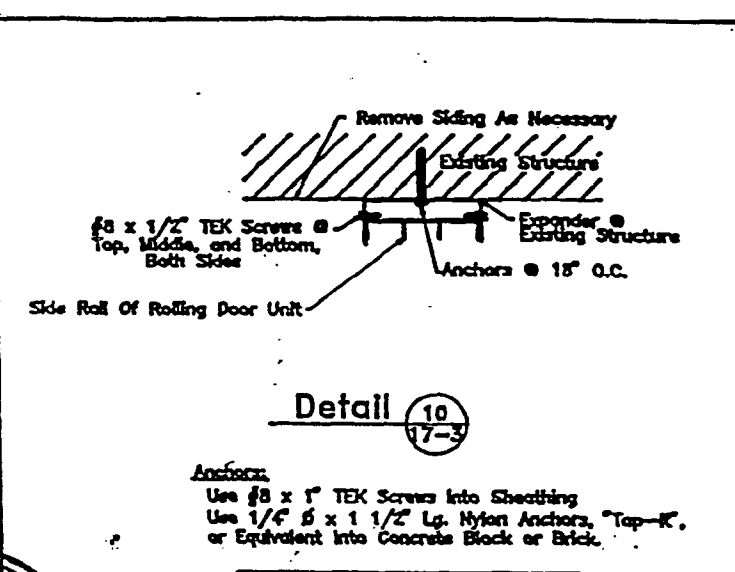
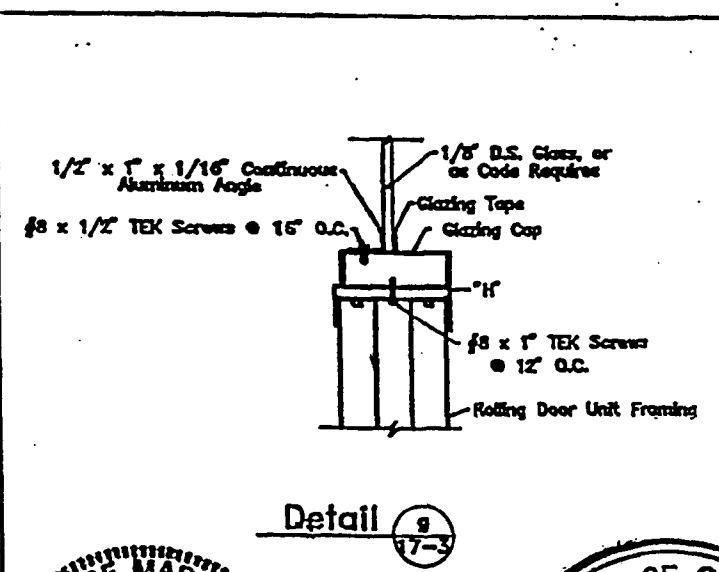
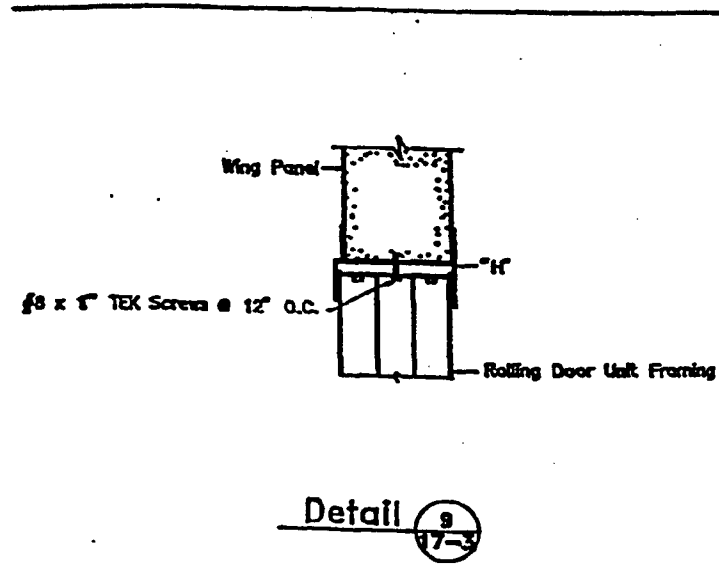
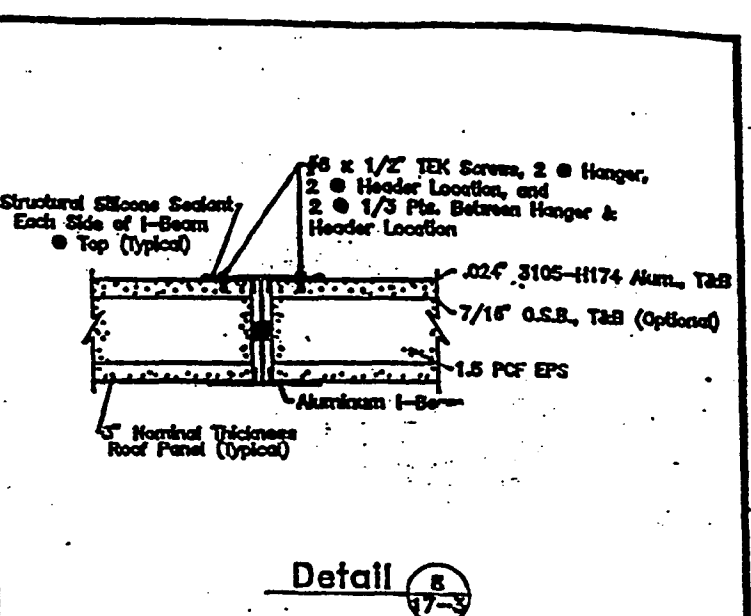
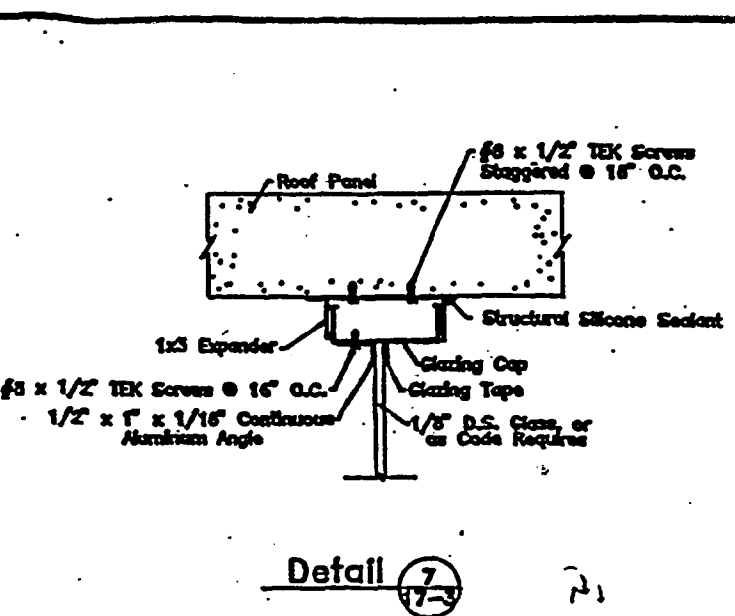
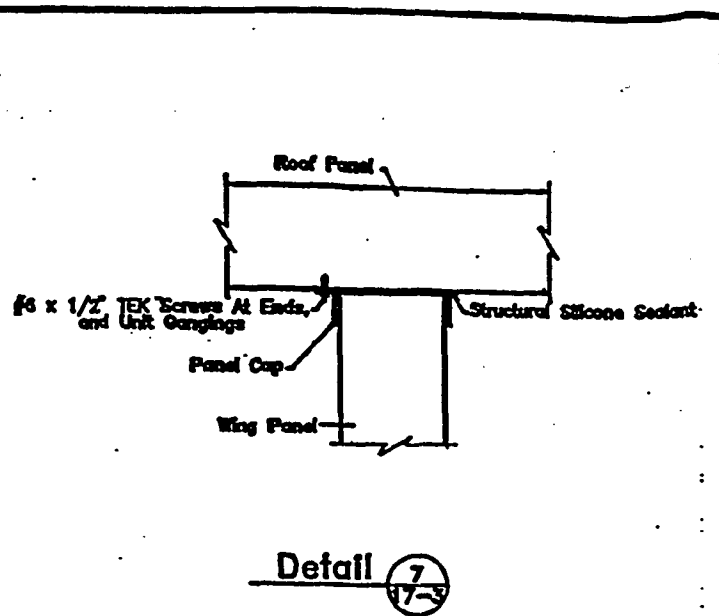
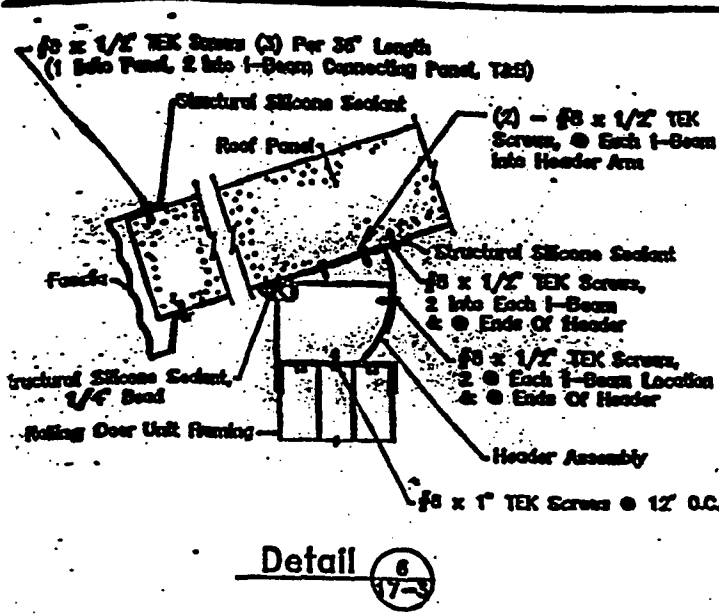
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REVISIONS 1/31/95

APPROVED BY:
Joseph R. Hetzel
SIGNATURE P.E. REG. NO. 10/16/95 DATE
1/31/95

PEI ENGINEERING - SECTION 17 APPROVED SHEET: 2

Montgomery County
Historic Preservation Commission
Robert Lick 8-18-99



NOTE: The plans, elevations, sections and details contained herein are in accordance with information contained in "Product Engineering Manual on 'All-View' Three Season Rooms" as published by Patio Enclosures, Inc., Macedonia, Ohio. Limitations for product usage are contained in said "Product Engineering Manual". See individual job submittal for specific projections, unit widths and wall heights.

GENERAL STRUCTURAL DETAILS FOR PEI "ALL-VIEW" THREE SEASON ROOMS

NOTE: Details on this sheet are also in section 500 of the "All-View Rooms Engineering Manual"

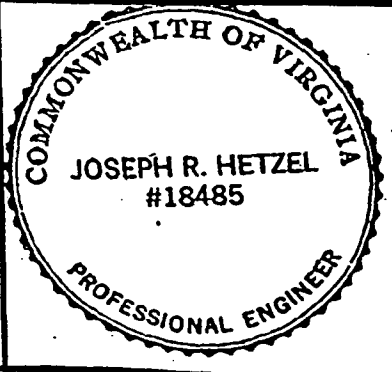


720 EAST HIGHLAND ROAD
P.O. BOX 186 • MACEDONIA, OHIO 44056
(216) 468-0700 FAX (216) 467-4297

SCALE: NONE DRAWN: MAD DATE: 11/12/93

REVISIONS: 11/1/94

APPROVED BY: Joseph R. Hetzel
SIGNATURE P.E. REG. NO. DATE 1/31/95

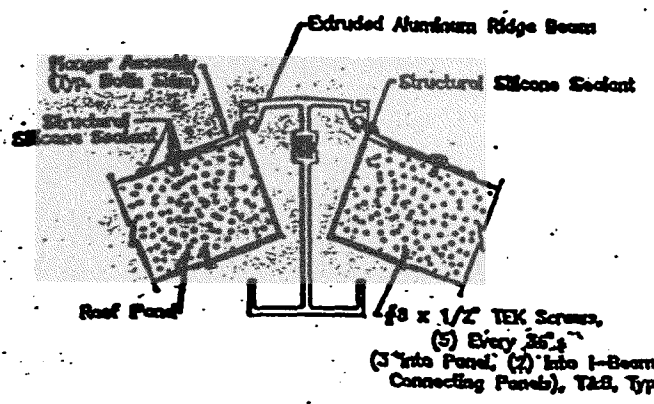


ALL-VIEW ROOMS

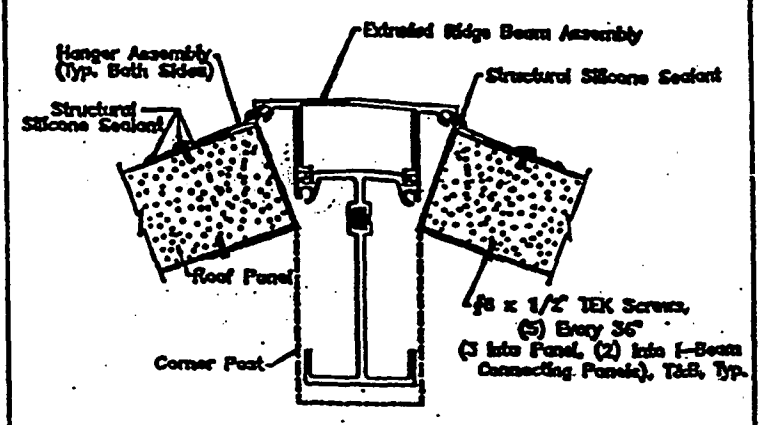
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Montgomery County
Historic Preservation Commission

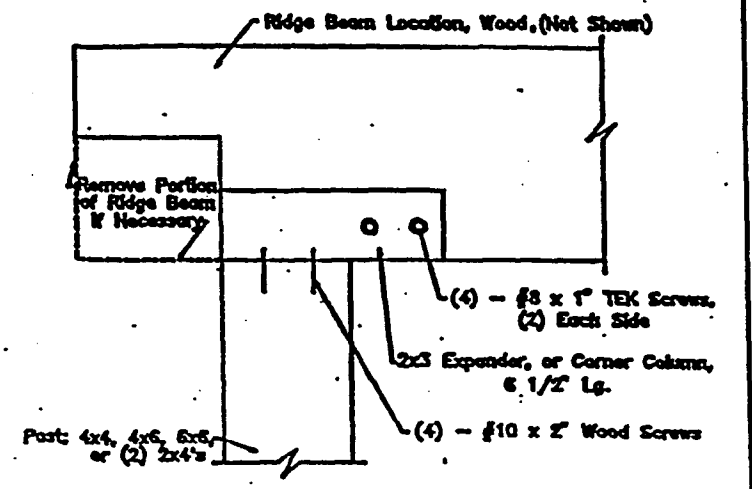
Robert Zick 8-18-99



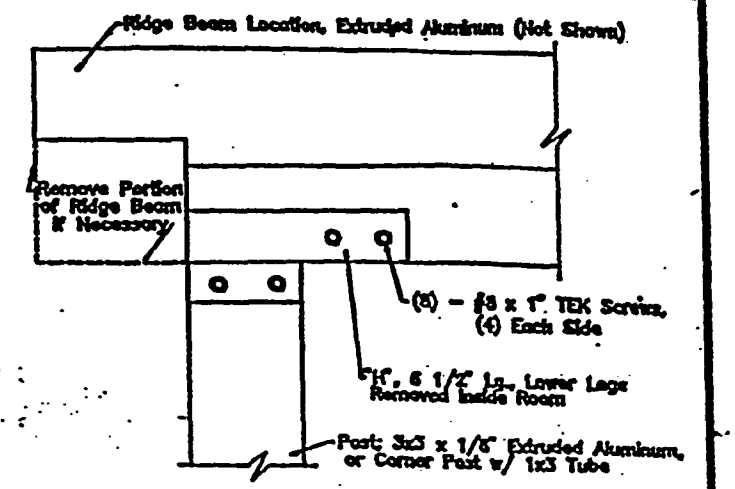
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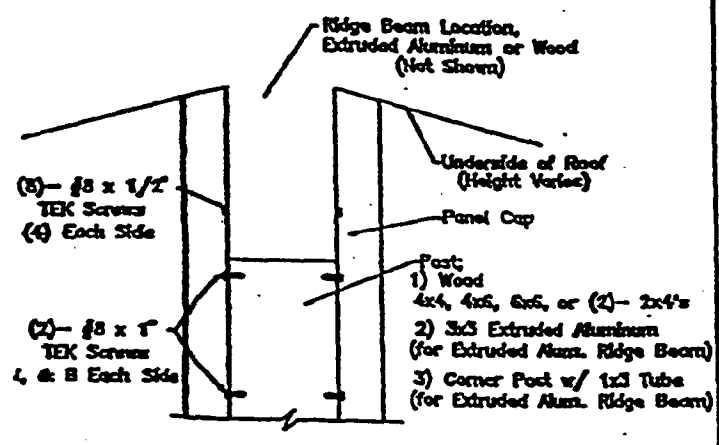
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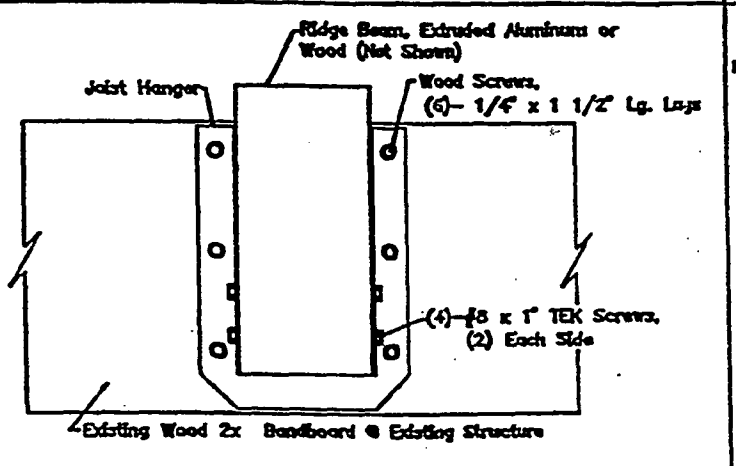
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View A
17-4



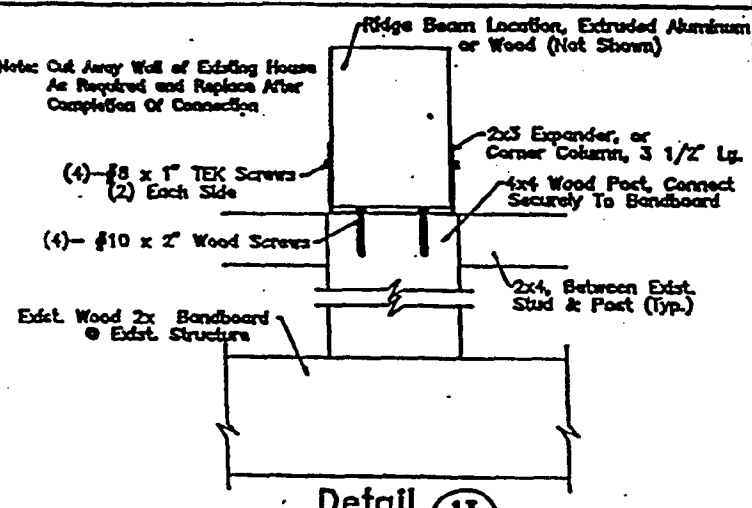
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View A
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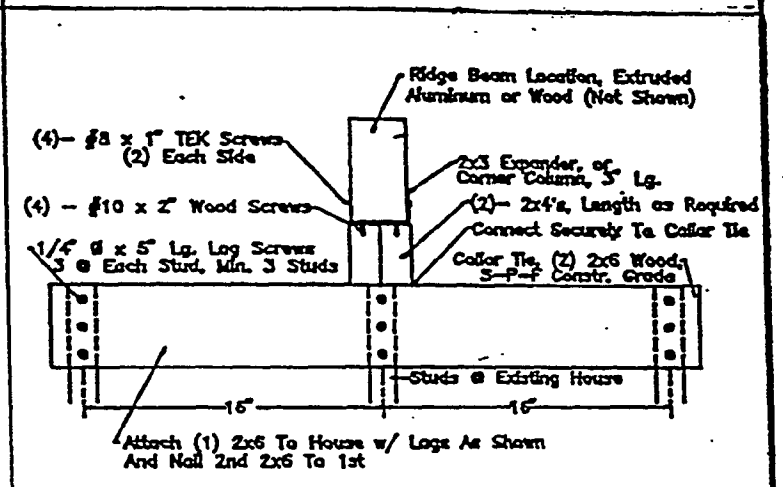
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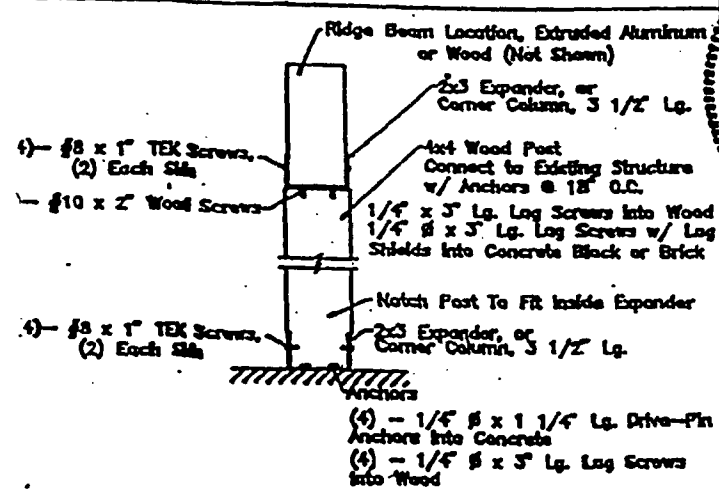
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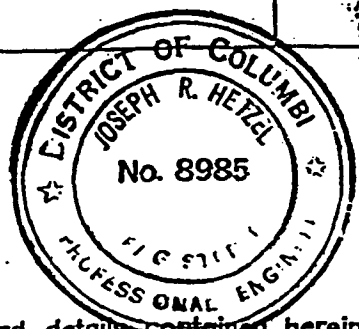
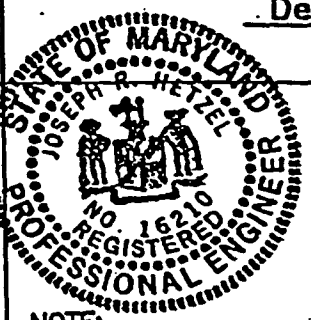
Detail 13
17-4



Detail 13
17-4



Detail 13
17-4



NOTE:
The plans, elevations, sections and details contained herein are in accordance with information contained in "Product Engineering Manual on 'All-View' Three Season Rooms" as published by Patio Enclosures, Inc., Macedonia, Ohio. Limitations for product usage are contained in said "Product Engineering Manual". See individual job submittal for specific projections, unit widths and wall heights.

GENERAL STRUCTURAL DETAILS FOR PEI "ALL-VIEW" THREE SEASON ROOMS

NOTE: Details on this sheet are also in section 500 of the "All-View Rooms Engineering Manual"



720 EAST HIGHLAND ROAD
P.O. BOX 186 • MACEDONIA, OHIO 44056
(216) 468-0700 FAX (216) 467-4297

SCALE: NONE DRAWN: MAD DATE: 11/12/93

REVISIONS

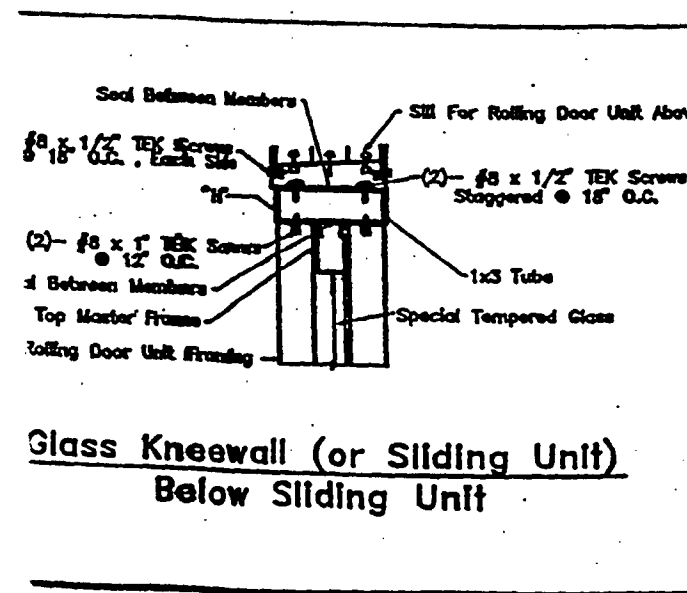
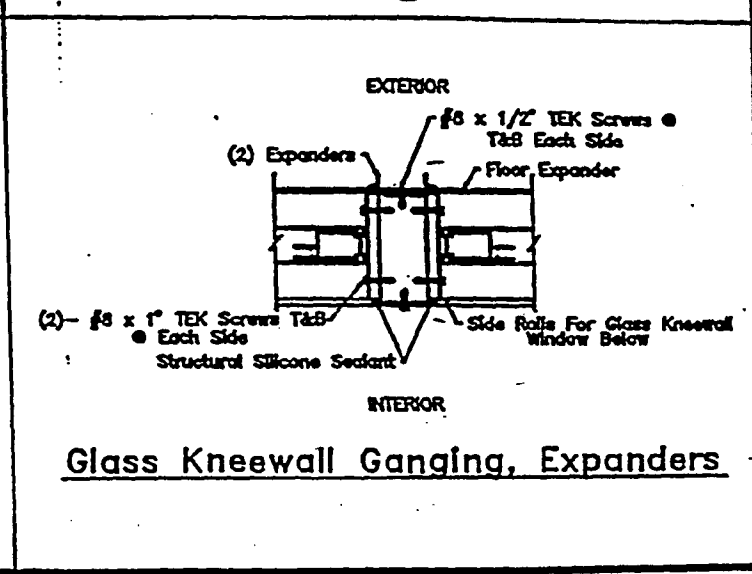
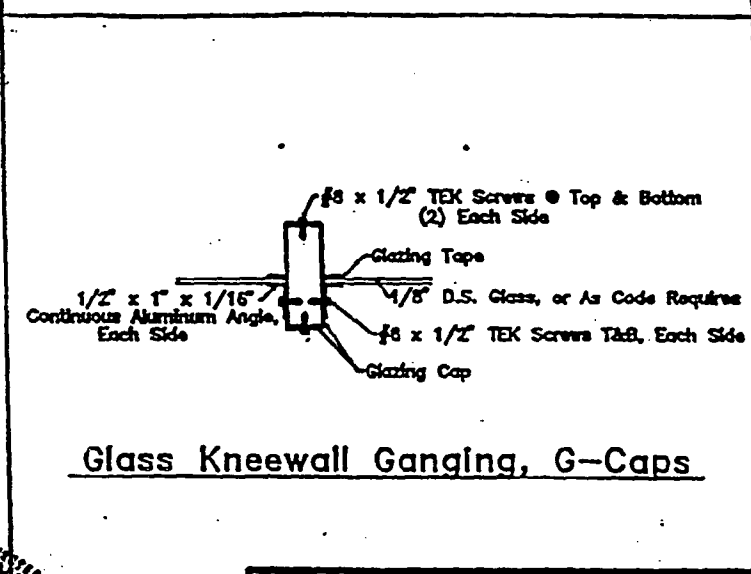
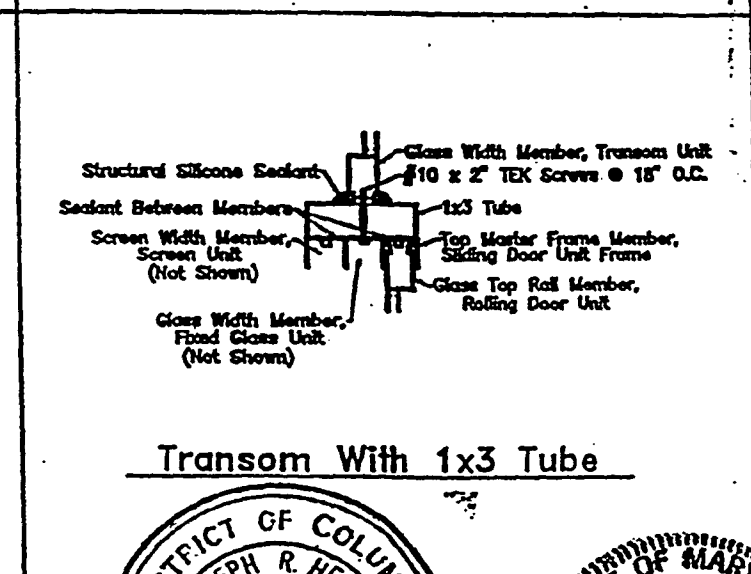
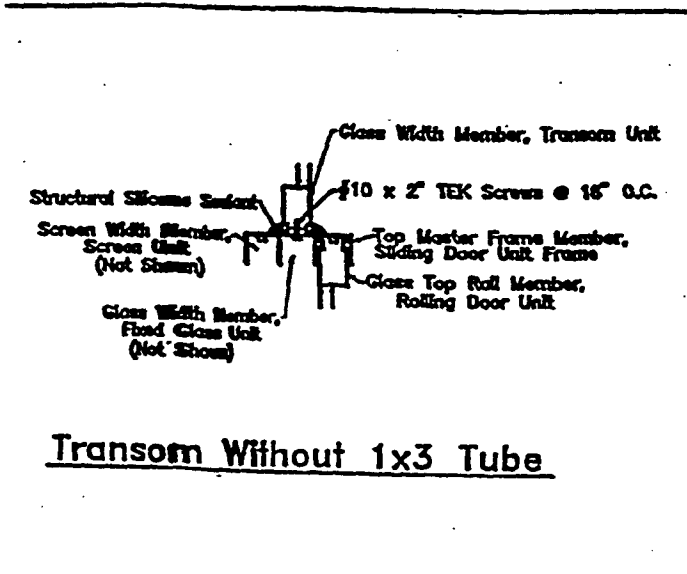
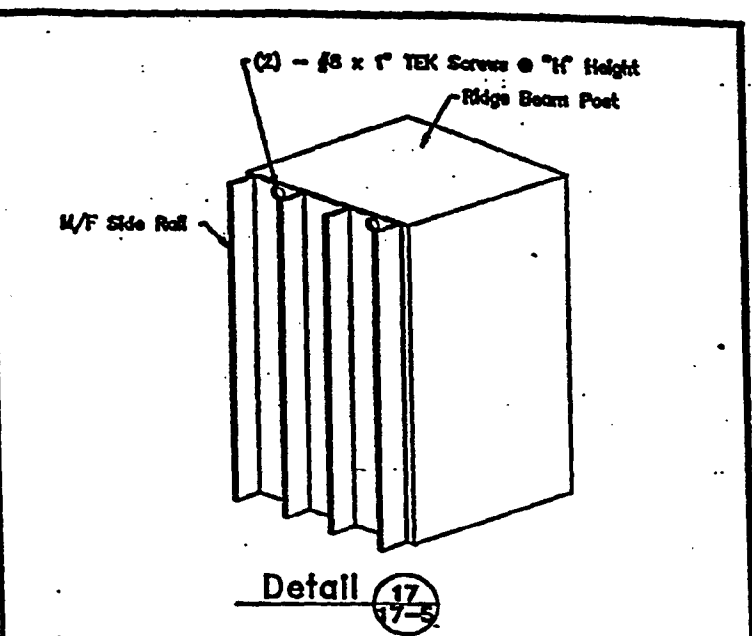
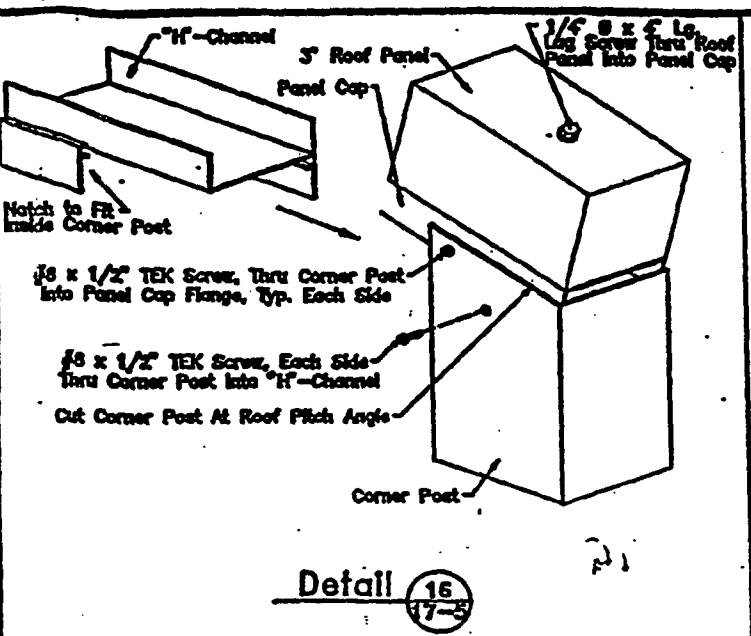
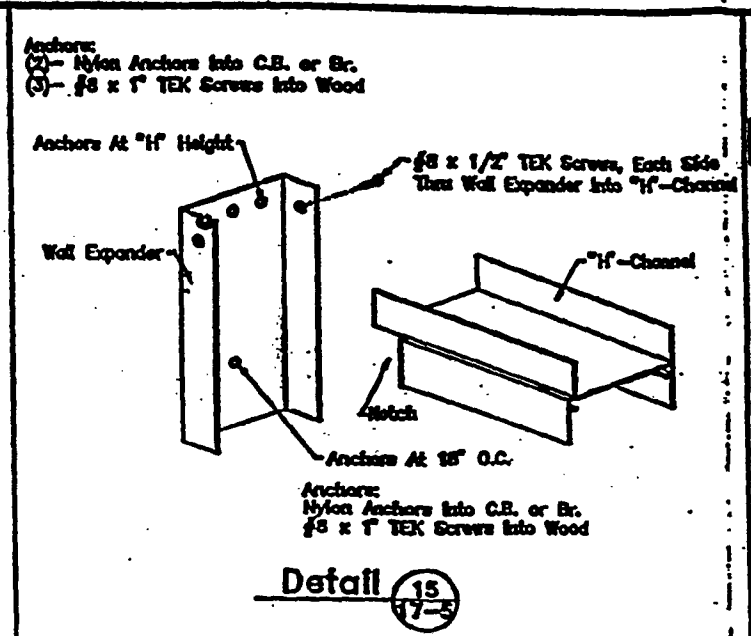
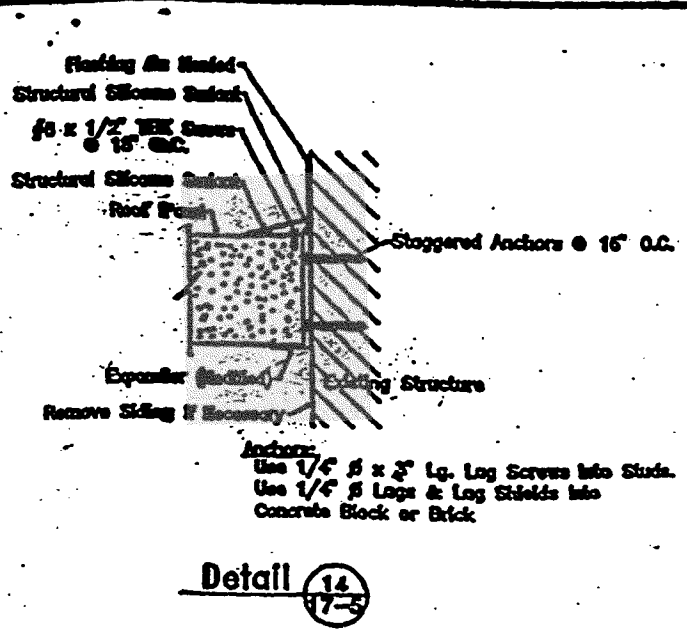
APPROVED BY:

Signature: Joseph R. Hetzel
SIGNATURE P.E. REG. NO. DATE 1/20/94

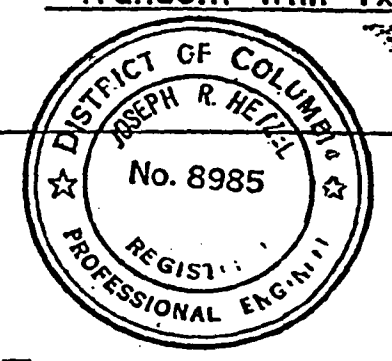
APPROVED: JRH 10/16/95
ALL-VIEW ROOMS

PEI ENGINEERING - SECTION APPROVED
Macedonia, Ohio
Historic Preservation Commission

Roller 8-18-97



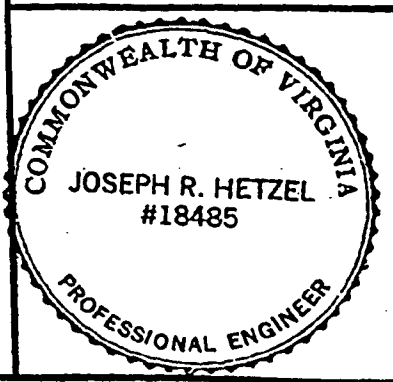
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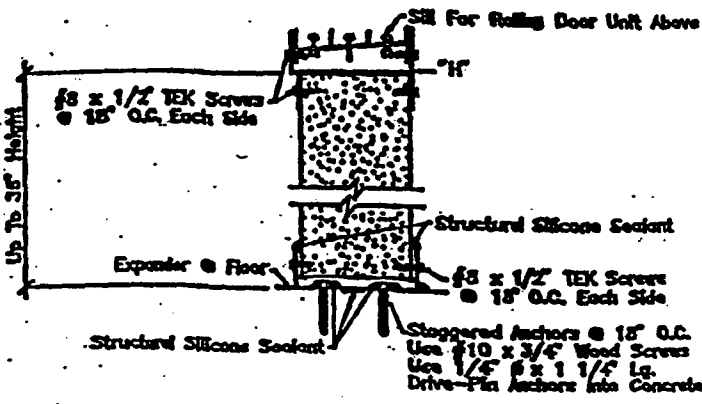
GENERAL STRUCTURAL DETAILS FOR PEI "ALL-VIEW" THREE SEASON ROOMS
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patio ENCLOSURES, INC.
720 EAST HIGHLAND ROAD
P.O. BOX 186 • MACEDONIA, OHIO 44056
(216) 468-0700 FAX (216) 467-4297

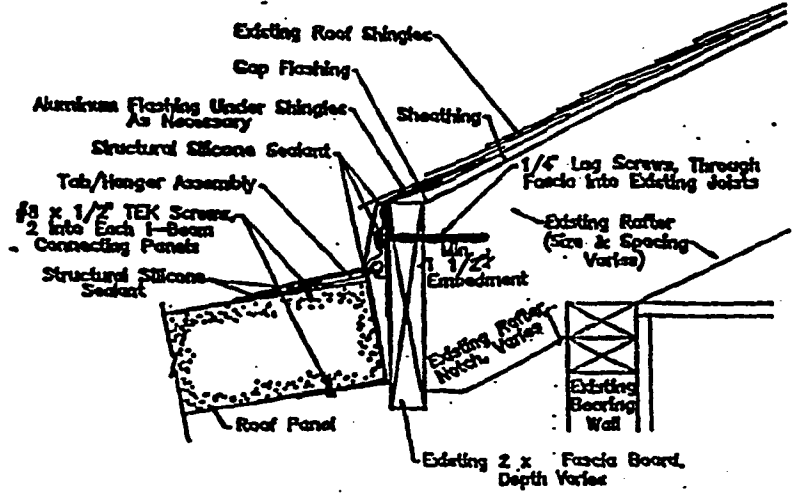
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REVISIONS 1/18/95
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SIGNATURE P.E. REG. NO. DATE
10/16/95
ALL-VIEW ROOMS
PEI ENGINEERING - SECTION 17 APPROVED SHEETS 5



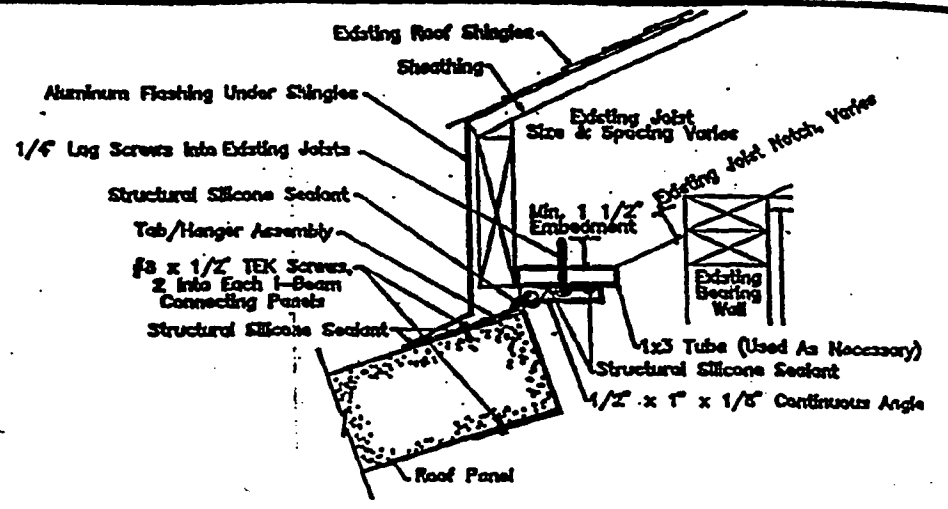
Historic Preservation Commission
Robert Wick 8-18-99



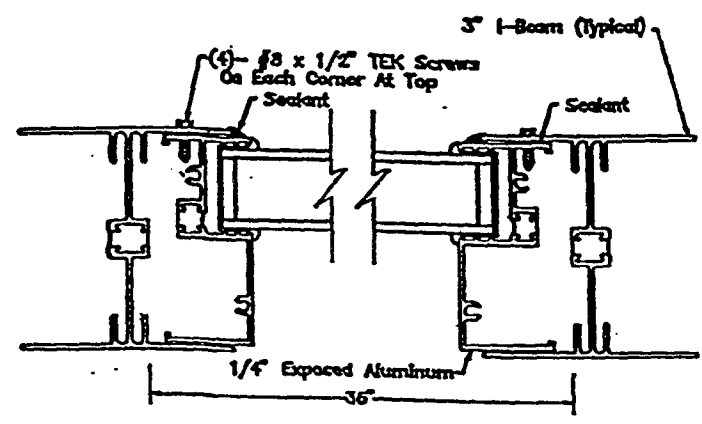
Sandwich Panel Kneewall



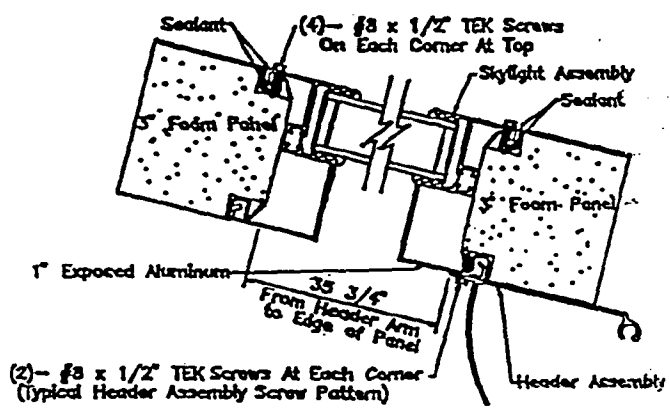
Eave Fascia Mount



Eave Reverse Mount

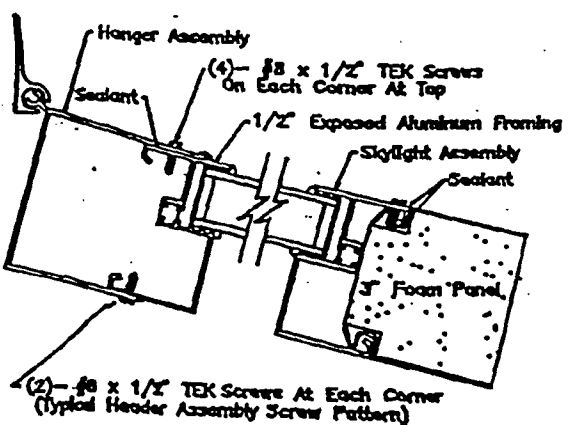


Integral Skylight Cross-Section @ I-Beam



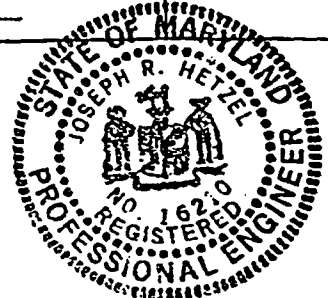
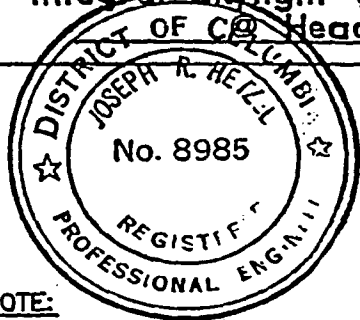
Integral Skylight Cross-Section @ Header

APPROVED
 Montgomery County
 Historic Preservation Commission
Kelvin Rich 8-18-99



Integral Skylight Cross-Section @ Hanger

NOTE:
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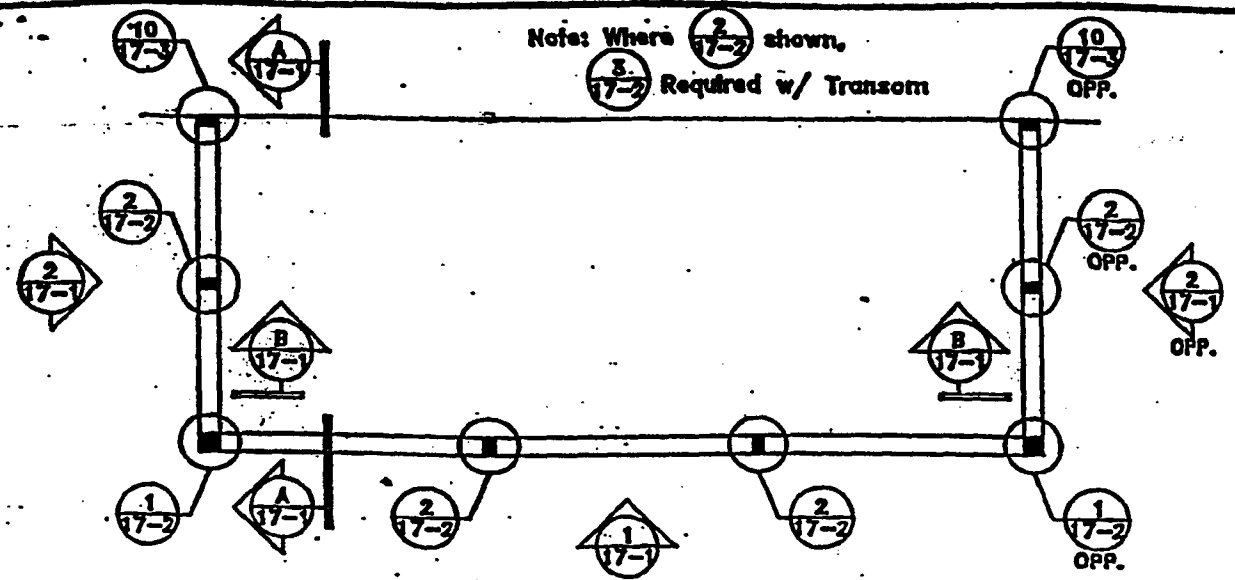
GENERAL STRUCTURAL DETAILS FOR PEI "ALL-VIEW" THREE SEASON ROOMS

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patio ENCLOSURES, INC.
 720 EAST HIGHLAND ROAD
 P.O. BOX 1869 MACEDONIA, OHIO 44056
 (216) 462-0700 FAX (216) 467-4297

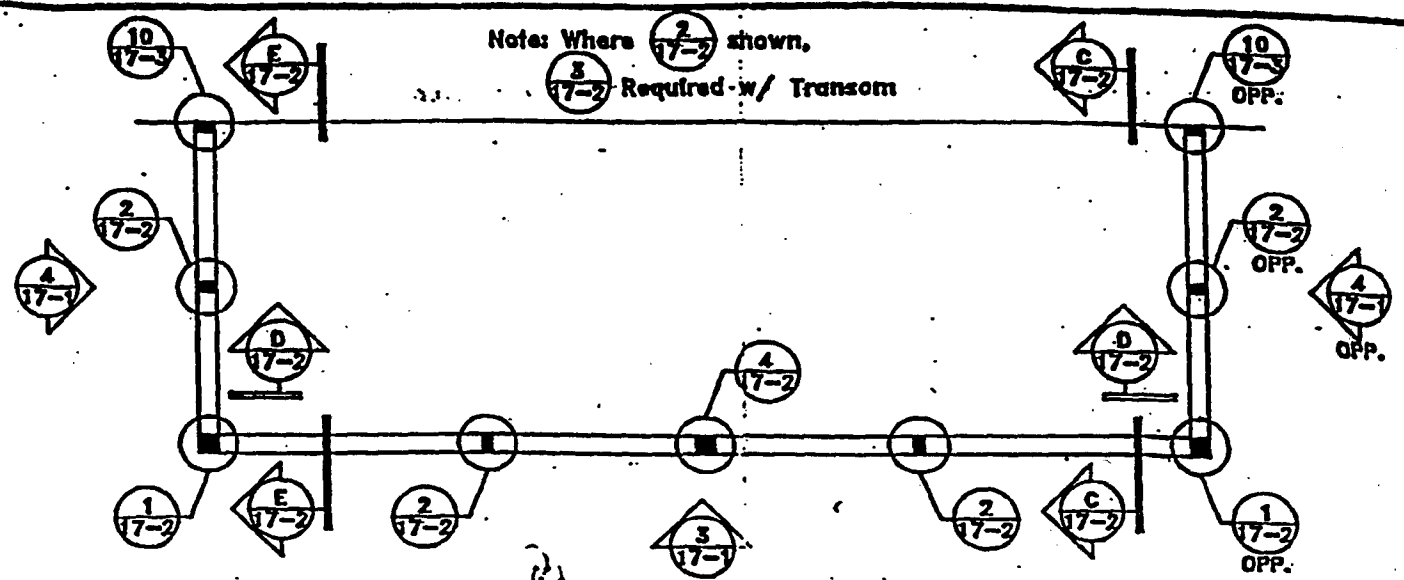
SCALE: NONE	DRAWN: MAD	DATE: 11/12/93
REVISIONS		
APPROVED BY:		
<i>Joseph R. Hetzel</i> SIGNATURE		1/20/94 DATE
JOSEPH R. HETZEL #18485		P.E. REG. NO. 10/16/95 DATE
COMMONWEALTH OF VIRGINIA PROFESSIONAL ENGINEER		ALL-VIEW ROOMS
PEI ENGINEERING - SECTION 17		SHEET: 6

Note: Where $\frac{2}{17-2}$ shown,
 $\frac{3}{17-2}$ Required w/ Transom



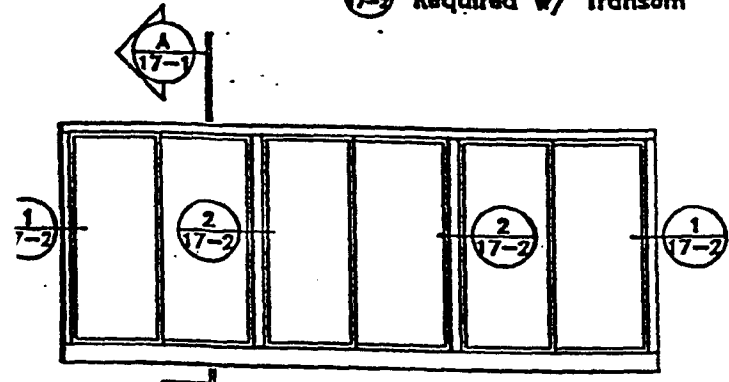
Single Slope Roof Enclosure Plan View

Note: Where $\frac{2}{17-2}$ shown,
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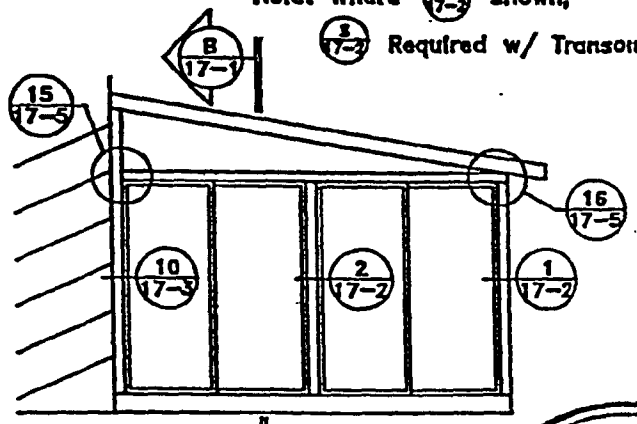
Gable Roof Enclosure Plan View

Note: Where $\frac{2}{17-2}$ shown,
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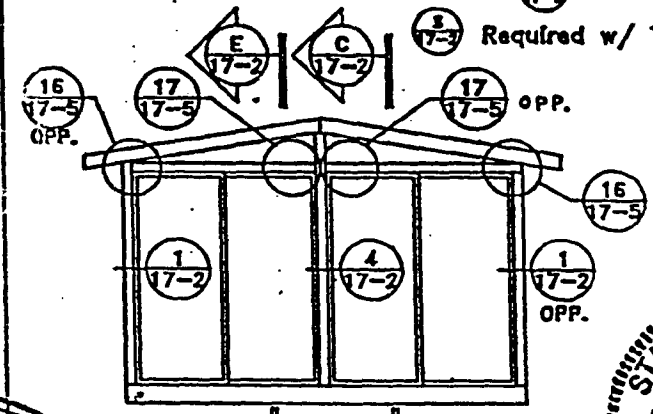
"B" Wall Elevation $\frac{1}{17-1}$

Note: Where $\frac{2}{17-2}$ shown,
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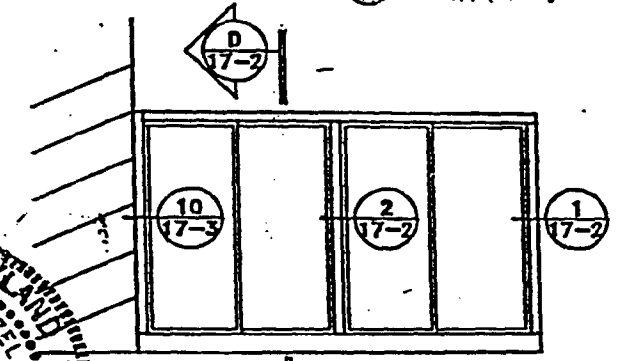
"A" & "C" Wall Elevation

Note: Where $\frac{2}{17-2}$ shown,
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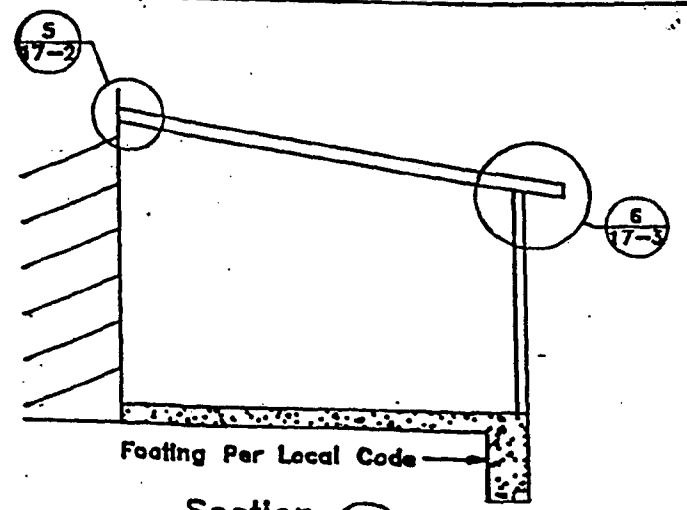
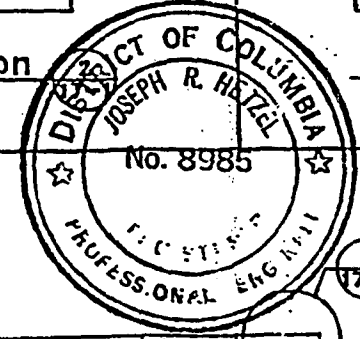
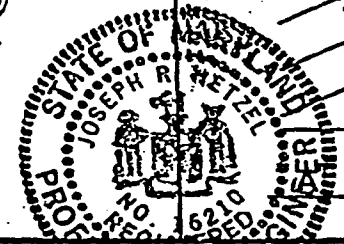


"B" Wall Elevation $\frac{3}{17-1}$

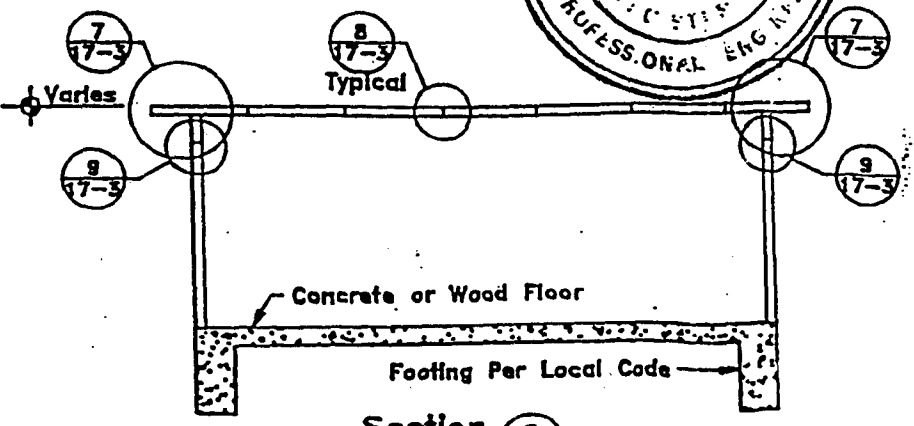
Note: Where $\frac{2}{17-2}$ shown,
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"B" & "C" Wall Elevation $\frac{4}{17-1}$



Section $\frac{A}{17-1}$



Section $\frac{B}{17-1}$

GENERAL STRUCTURAL DETAILS FOR "ALL-VIEW" THREE SEASON ROOMS
 NOTE: Details on this sheet are also in section 500 of the "All-View Rooms Engineering Manual"

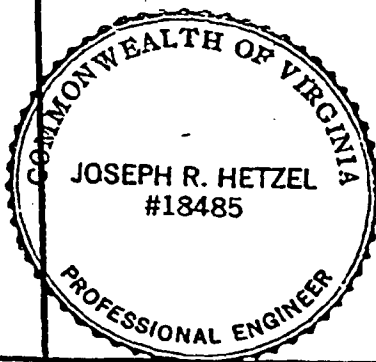


720 EAST HIGHLAND ROAD
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 (216) 458-0700 FAX (216) 457-4297

SCALE: NONE DRAWN: MAD DATE: 11/12/93

REVISIONS

APPROVED BY:
 Signature: Joseph R. Hetzel
 SIGNATURE P.E. REG. NO. DATE
 JRH 10/16/95



PEI ENGINEERING - SECTION 17 SHEET: 1

APPROVED
 Montgomery County
 Historic Preservation Commission
 Robin Zick, 8-19-99

II - Q

**EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address: 411 Tulip Avenue, Takoma Park	Meeting Date: 08/18/99
Applicant: Ben Partridge	Report Date: 08/05/99
Resource: Takoma Park Historic District	Public Notice: 07/14/99
Review: HAWP	Tax Credit: No
Case Number: 37/3-99W	Staff: Robin Ziek

PROPOSAL: Sun porch addition	RECOMMENDATION: Approve
-------------------------------------	--------------------------------

DATE OF CONSTRUCTION: Circa 1930

SIGNIFICANCE:

- Individual Master Plan Site
- Within a Master Plan Historic District
- Primary Resource
- Contributing Resource
- Non-contributing/Out-of-Period Resource

ARCHITECTURAL DESCRIPTION: Two-bay, 1½ story, gable Bungalow with inset front gable and full width front porch. The house is comprised of stone and siding.

PROPOSAL: The applicant proposes to install an enclosed patio, 8' by 12', to the rear of the house. The new patio will be placed under the existing roof overhang and clear glass will make up the three sides. No trees or other objects will be removed during construction.

RECOMMENDATION:

- Approval
- Approval with conditions:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

①

2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

 x 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Dan Partridge

Daytime Phone No.: 301-270-0913

Tax Account No.: BEN

Name of Property Owner: DAN PARTRIDGE Daytime Phone No.: 301-270-0913

Address: 411 Tulip Ave. TAKOMA PARK MD. 20912
Street Number City State Zip Code

Contractor: PATIO ENCLOSURES Phone No.: 703-550-2200

Contractor Registration No.: _____ License # 12756

Agent for Owner: JIM GARNER Daytime Phone No.: 703-550-2200

LOCATION OF BUILDING/PREMISE

House Number: 411 Street: Tulip

Town/City: TAKOMA PARK Nearest Cross Street: SPRUCE AVE.

Lot: 1B Block: 6 Subdivision: TAKOMA PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Wood Foundation

1B. Construction cost estimate: \$ 12,272.⁰⁰ And Sunroom

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

James C. Garner Jr. Signature of owner or authorized agent Date: 6/21/99

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 9907290072 Date Filed: 7/29/99 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

single family home / white in color - Enclosure To Be
white in color

NOTE: MR. PARTRIDGE bought home in good faith that he would be able
to add a sunroom to enjoy the outdoors. MR. PARTRIDGE had no idea his home
was in a Historic Preservation Area To be considered is only 96ft not visible
from Street.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONSTRUCT NEW Wood Foundation: size 8'x12' - REAR of house
Foundation approx 8" Above grade
Roof Line - under existing overhang
WALLS CLEAR Tempered GLASS - short Kneewall
Removing no TREES

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

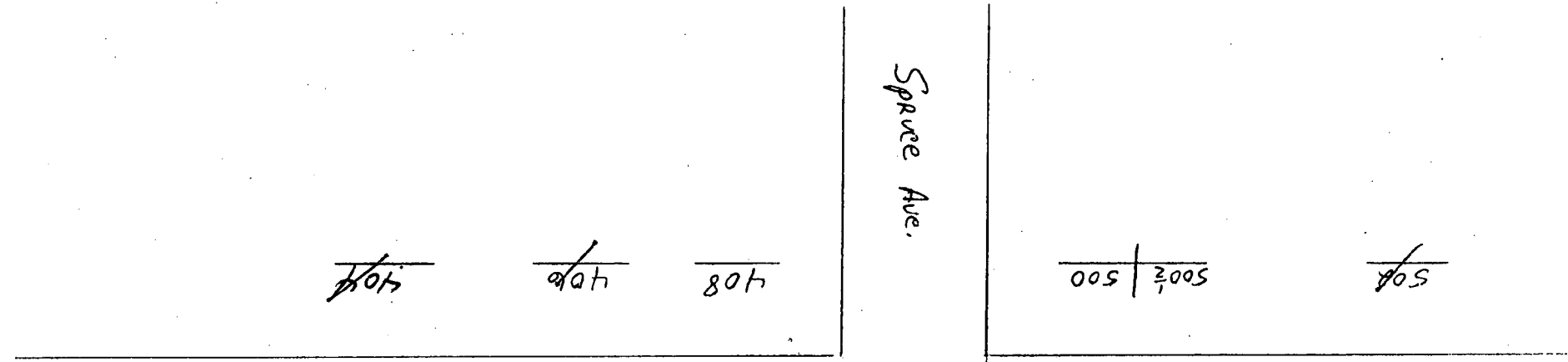
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

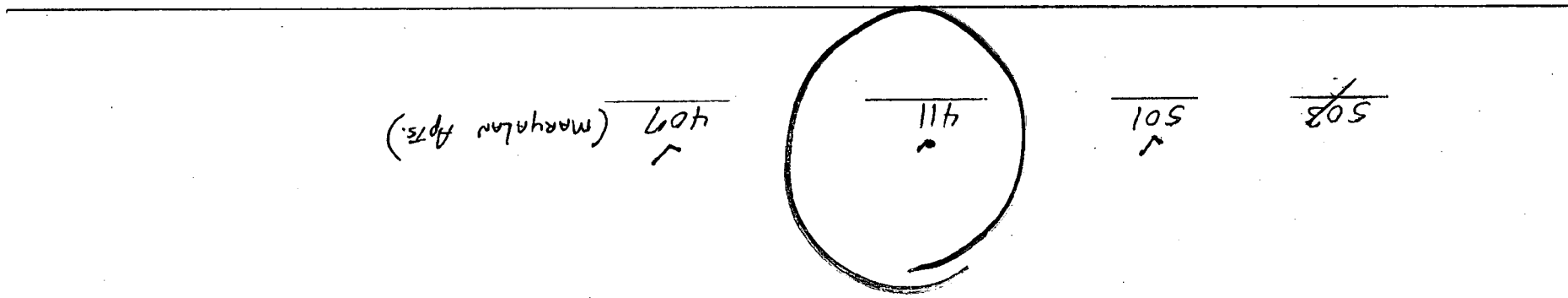
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

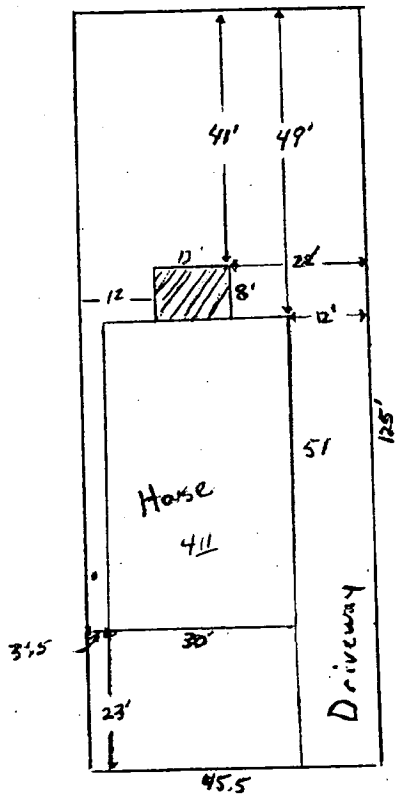
5



Tulip Ave.



Cresroll Ave. - Store Shops



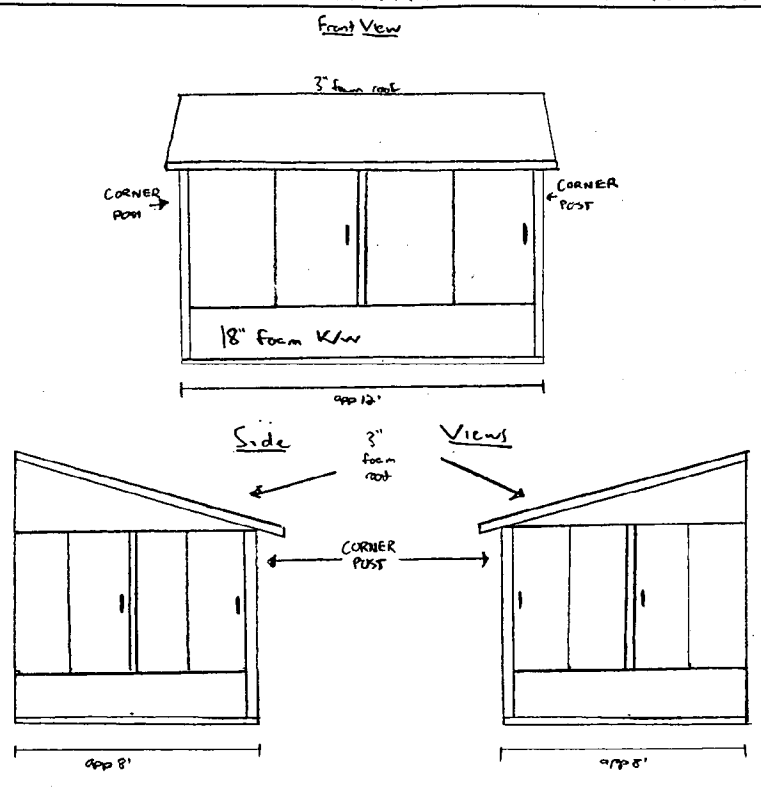
Tulip Ave.

Portridge
411 Tulip Ave

(6)

Scale: 1" = 30'

Don Portridge
 411 Tulip Ave.
 Takoma Park Md 20912



REAMCO, INC. d/b/a
 PATIO ENCLOSURES, INC.
 FRANCHISEE
 6826 Hill Park Drive
 LORTON, VIRGINIA 22079
 (703) 550-2200

JOB 03048/49

SHEET NO. _____ OF _____

CALCULATED BY _____ DATE _____

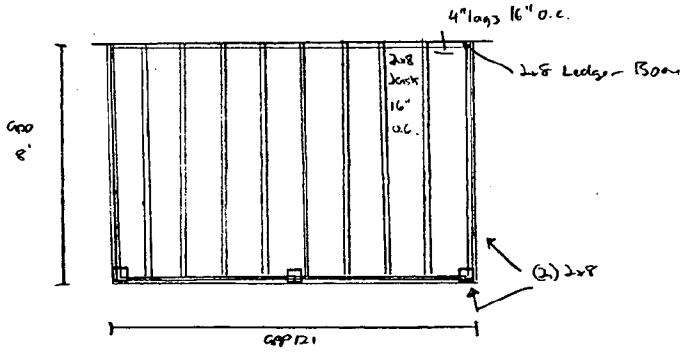
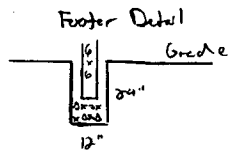
CHECKED BY BKS DATE 6/14/99

SCALE 1/4" = 1'

7

New Deck Foundation

All posts 6"x6"s



Portridge

REAMCO, INC. d/b/a
 PATIO ENCLOSURES, INC.
 FRANCHISEE
 6826 Hill Park Drive
 LORTON, VIRGINIA 22079
 (703) 550-2200

JOB 03045/49

SHEET NO. _____ OF _____

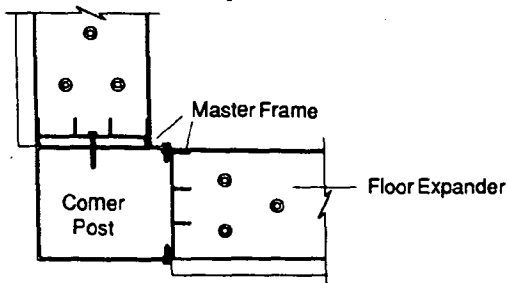
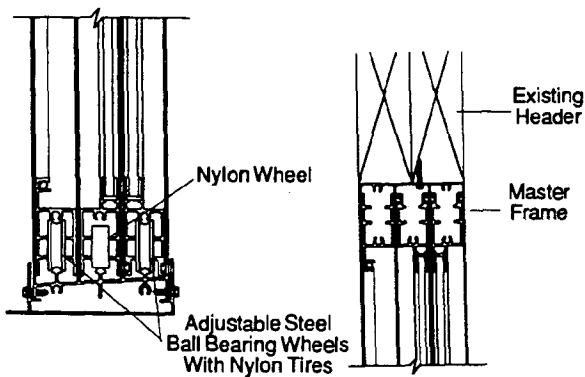
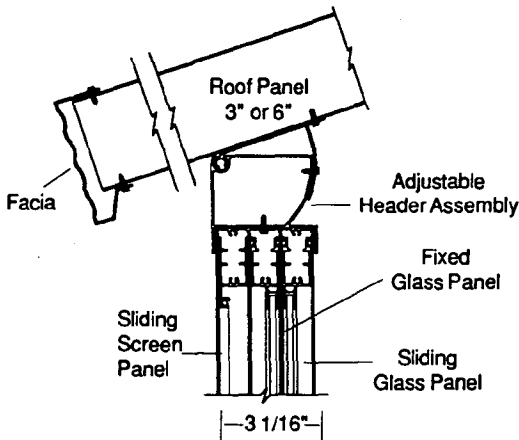
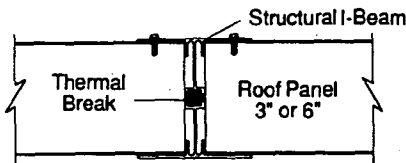
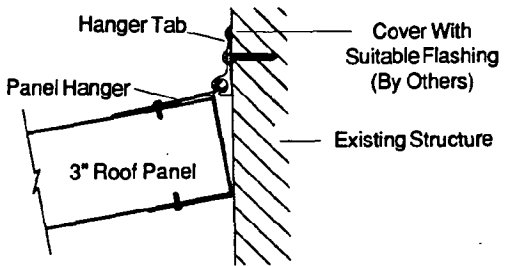
CALCULATED BY _____ DATE _____

CHECKED BY REVS DATE 6/14/99

SCALE 1/8" = 1'

8

Component Details



PART 1 GENERAL

1.01 WORK INCLUDES

A. Furnish prefabricated, pre-engineered aluminum glazed structure (Three Season Enclosure or optional Screen Room).

1.03 PERFORMANCE REQUIREMENTS

- A. Air Infiltration - Complies with testing per ASTM-E283.
- B. Static water resistance - Complies with testing per ASTM-E331.
- C. Dynamic water resistance - Complies with testing per AAMA-501.1.
- D. Wind loading - Withstands wind loads based on ANSI-A58.1/ASCE-7 guidelines.
- E. Live/snow loading - Withstands vertical roof loads based on the greater of 20 psf live load or roof snow loads based on ICBO/BOCA/SBCCI guidelines. See page 7 for 1.02, 1.04-1.07.

PART 2 PRODUCTS

2.01 ACCEPTABLE MANUFACTURERS

A. Patio Enclosures, Inc., Macedonia, Ohio. 1-800-468-0720 Ext. 350.

2.02 MATERIALS - THREE SEASON (Optional Screen Room).

A. STRUCTURE Note: Optional Screen Room use #1,3,4,5 only.

- 1. Master frame shall be 3 1/16" deep.
- 2. Full units shall be comprised of one movable glass panel, one fixed glass panel and one movable screen panel.
- 3. Structural sections: Shall be extruded aluminum 6063 alloy.
- 4. Screen panel frame shall be 3/4" thick and mounted in a separate non-slip track. Screen cloth shall be black painted aluminum.
- 5. Moving screen panels shall have two adjustable steel wheels surrounded by a nylon tire.
- 6. Moving glass panels shall have two adjustable steel wheels surrounded by a nylon tire, fixed glass panels shall have two fixed nylon wheels.
- 7. Window units shall be custom manufactured in 1/8" increments and doors shall be available in widths from 53 5/8" to 96 5/8" and heights from 77 7/8" to 117 3/8".
- 8. Options to adjust height shall include kick panel, glass kneewall or glass transom.

B. WEATHER SEAL

1. Polypropylene woven pile.

C. FASTENERS

1. A list of fasteners and related components shall be provided upon request of the Architect from Patio Enclosures, Inc.

D. SILICONE SEALANT

- 1. Silicone shall meet or exceed federal specifications TT-S-001543A.
- 2. Sealants shall match color of adhering surfaces, as approved by the Architect.

E. GLAZING

- 1. Full length door units shall be 1/8" or 5/32" tempered glass, depending on size.
- 2. Window units shall be 1/8" annealed glass. Tempered glass is available in optional sizes.
- 3. Vertical glass shall be single glazed clear. Optional glass: Low-E, Bronze Tint, or Solarcool™.

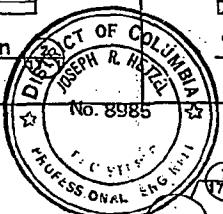
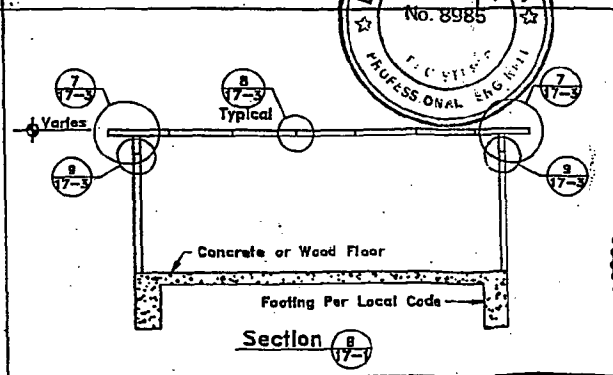
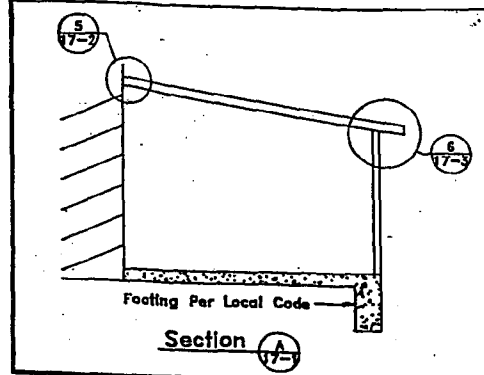
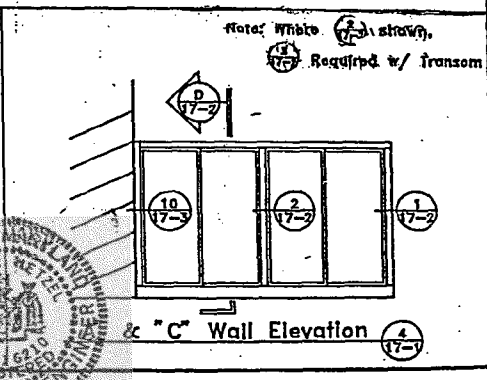
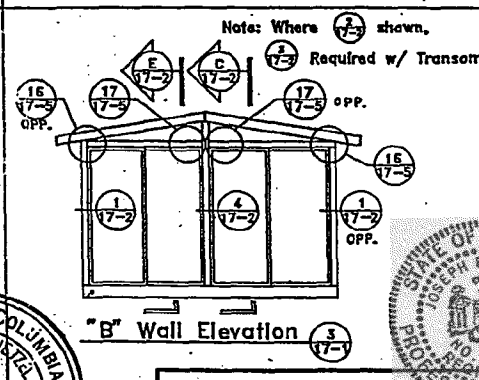
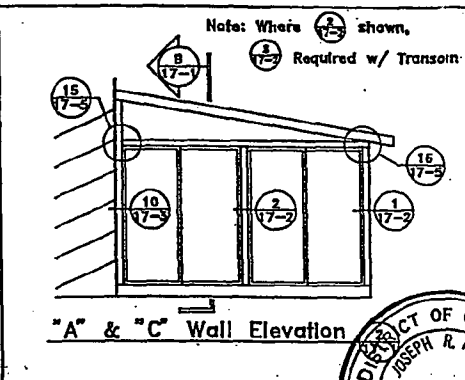
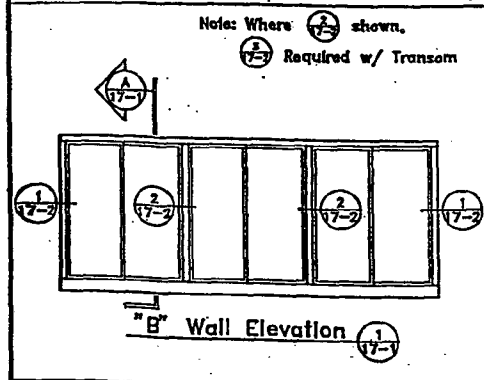
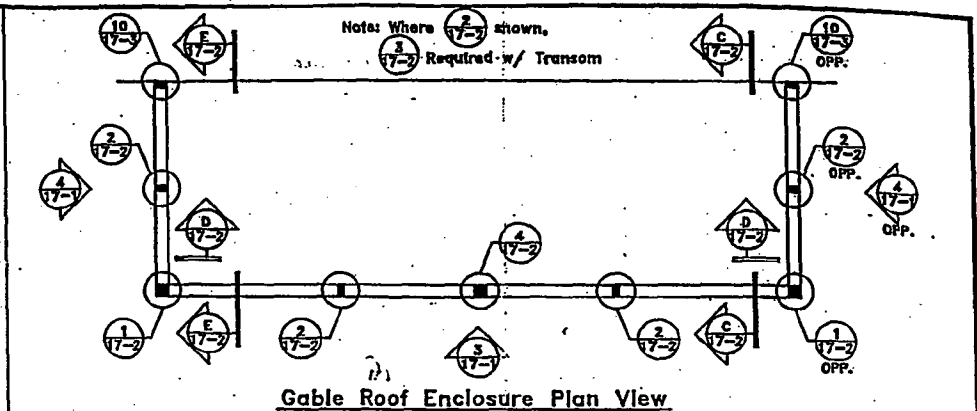
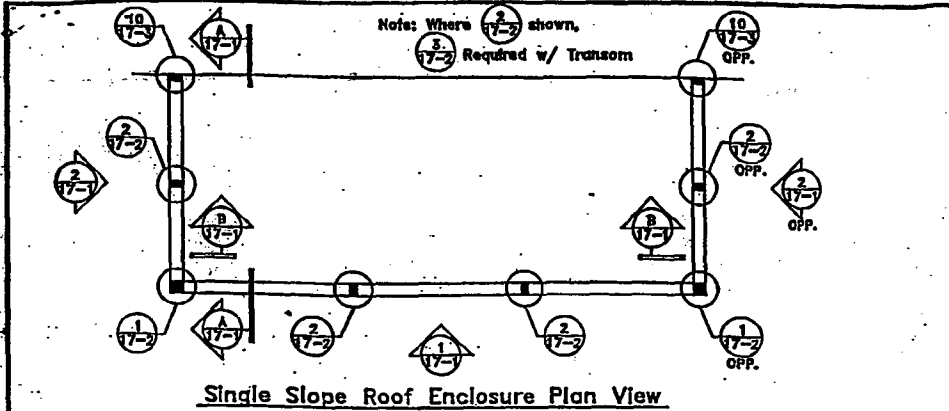
2.04 FINISH

- A. All visible aluminum extrusions shall be maintenance free, exterior grade PPG Duracron/Polycron paint finish.
- B. Paint finished shall be electrostatically applied, and baked.
- C. Color: Quaker Bronze, Brown, Beige or White.

* **Optional Foam Roof System.** (Manufactured by P.E.I.)

- a. Panels shall be 3" or 6" overall and consist of expanded high density polystyrene (EPS) insulation sandwiched between 2 sheets of .023" aluminum.
- b. Paint for the aluminum sheets shall be an electrostatically applied, baked enamel finish, with an additional Krystal Kote™ to provide increased durability and efficient water run-off.
- c. Color: white/white, beige/beige or beige/white.
- d. Panels shall be 36" wide.
- e. Minimum pitch shall be 1/2" per foot.
- f. Panels shall be connected by a structural I-Beam, containing thermal break.
- g. Roof deflection of Roof System under design load shall not exceed 1/120 of its clear span.
- h. Engineering calculations shall be available at the Architect's request from PEI (stamped & certified by a Registered Professional Engineer).
- i. Roof system shall have passed a full scale fire test by a testing laboratory accredited by all major model code groups.

See page 6 for PART 3.




GENERAL STRUCTURAL DETAILS FOR "ALL-VIEW" THREE SEASON ROOMS

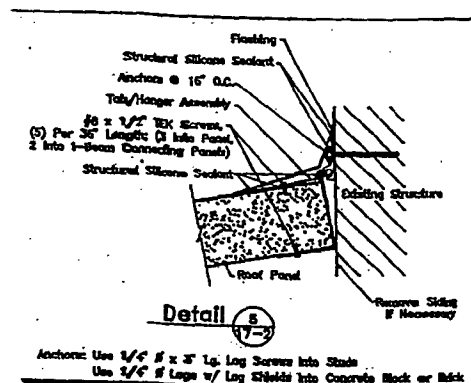
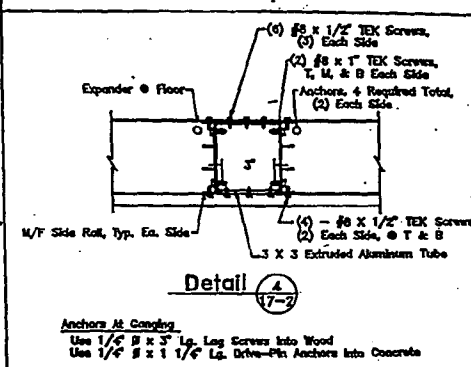
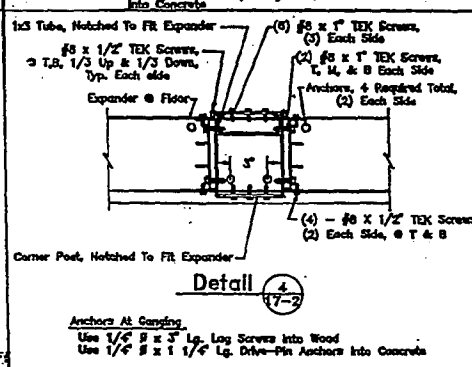
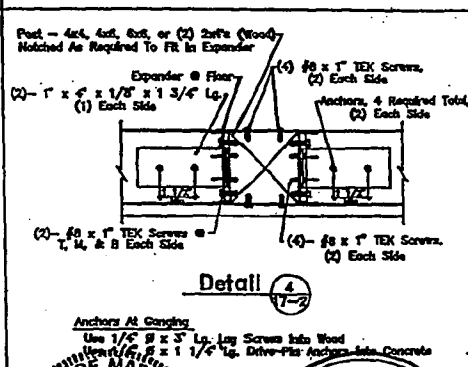
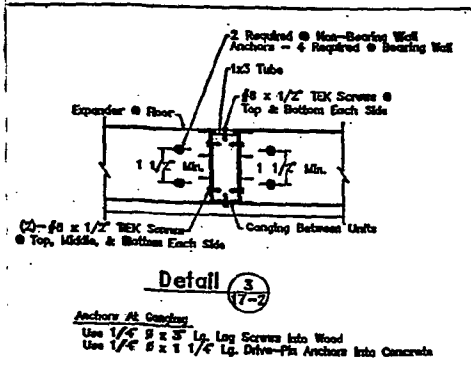
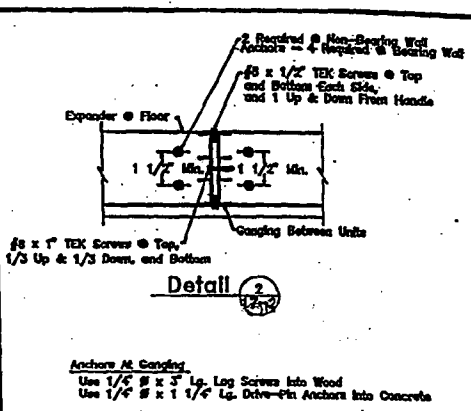
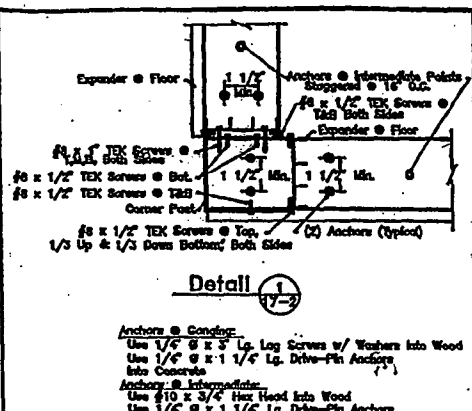
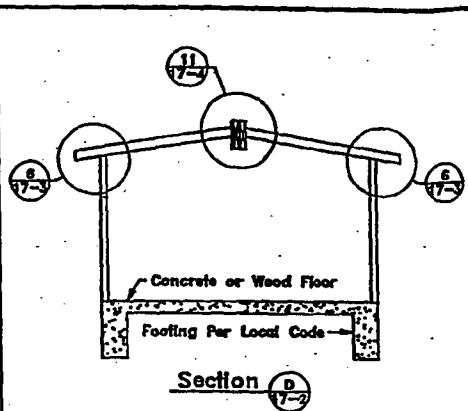
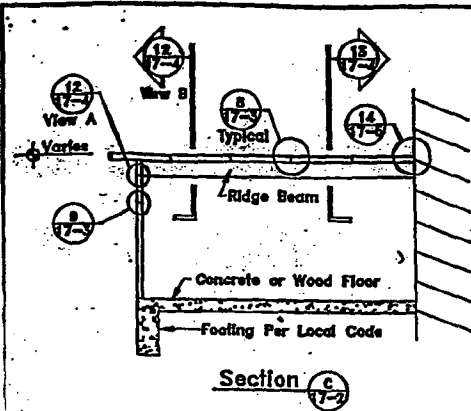
NOTE: Details on this sheet are also in section 500 of the "All-View Rooms Engineering Manual"

patio ENCLOSURES INC.

720 EAST HIGHLAND ROAD
P.O. BOX 186 • MACEDONIA, OHIO 44056
(216) 468-0700 FAX (216) 467-4297

SCALE: NONE	DRAWN: MAD	DATE: 11/12/93
REVISIONS		
APPROVED BY:		
 SIGNATURE		1/20/94 DATE
P.E. REG. NO. 1016195 PROFESSIONAL ENGINEER		ALL-VIEW ROOMS
PEI ENGINEERING - SECTION 17		SHEET: 1

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NOTE:
The plans, elevations, sections and details contained herein are in accordance with information contained in "Product Engineering Manual on 'All-View' Three Season Rooms" as published by Patio Enclosures, Inc., Macedonia, Ohio. Limitations for product usage are contained in said "Product Engineering Manual". See individual job submittal for specific projections, unit widths and wall heights.

GENERAL STRUCTURAL DETAILS FOR PEI "ALL-VIEW" THREE SEASON ROOMS

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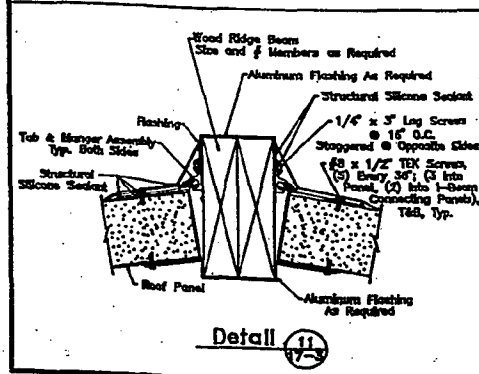
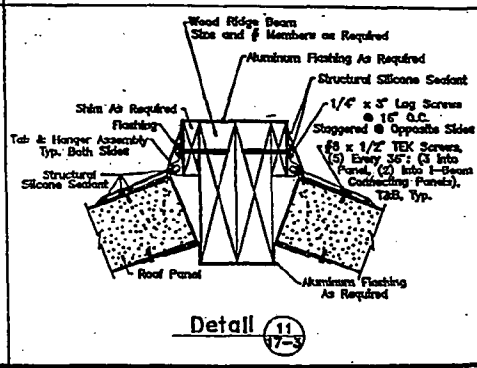
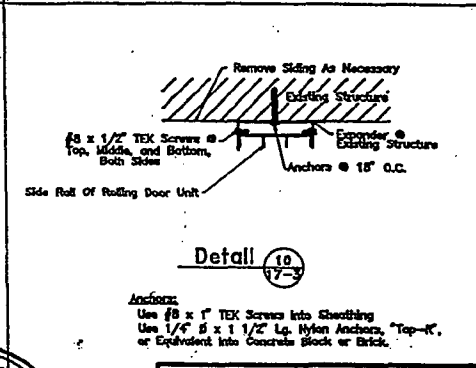
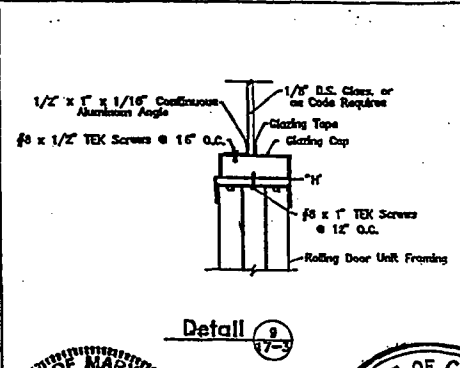
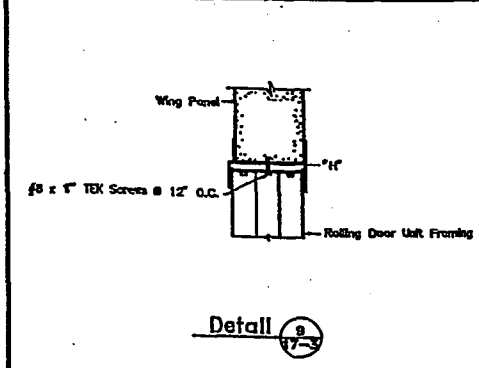
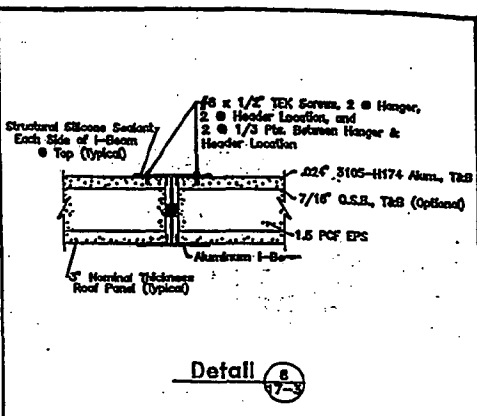
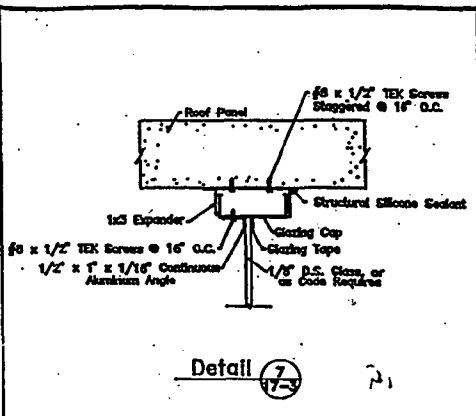
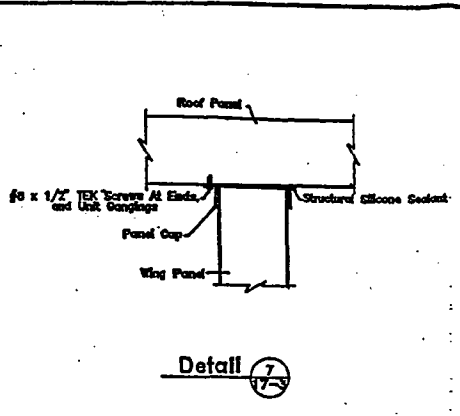
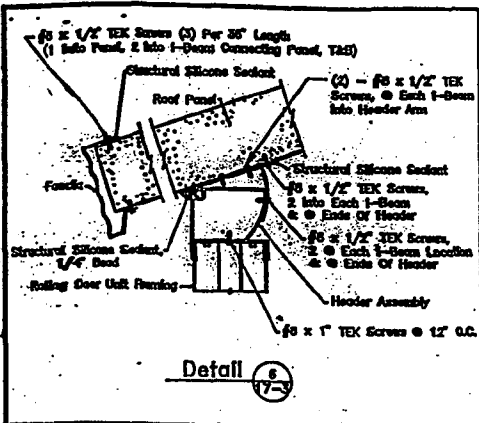
APPROVED BY: *Joseph R. Hetzel* 1/31/95
SIGNATURE DATE

COMMONWEALTH OF VIRGINIA
JOSEPH R. HETZEL #18485
PROFESSIONAL ENGINEER

P.E. REG. NO. 10/16/95
ALL-VIEW ROOMS

PEI ENGINEERING - SECTION 17 SHEET: 2

11



STATE OF MARYLAND
 JOSEPH R. HETZEL
 No. 16210
 REGISTERED PROFESSIONAL ENGINEER

DISTRICT OF COLUMBIA
 JOSEPH R. HETZEL
 No. 8985
 REGISTERED PROFESSIONAL ENGINEER

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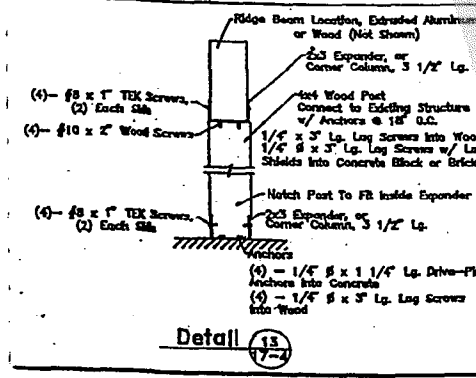
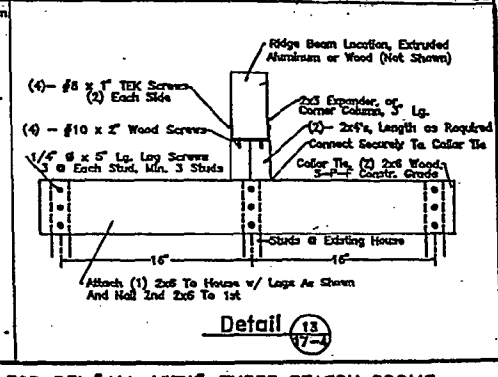
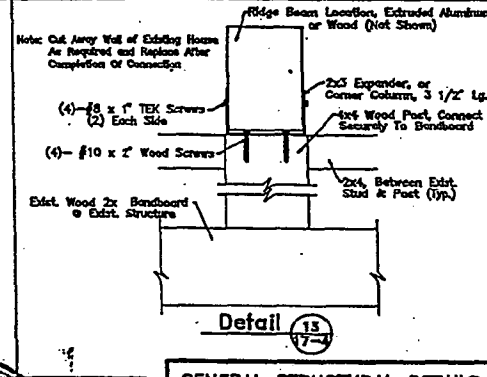
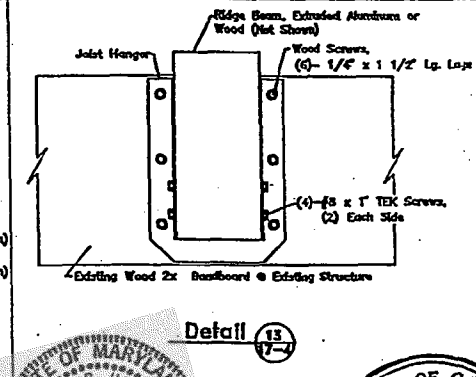
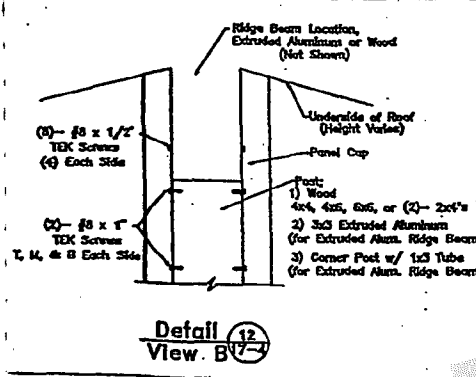
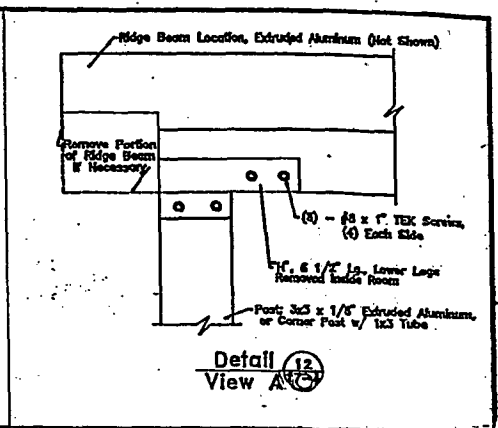
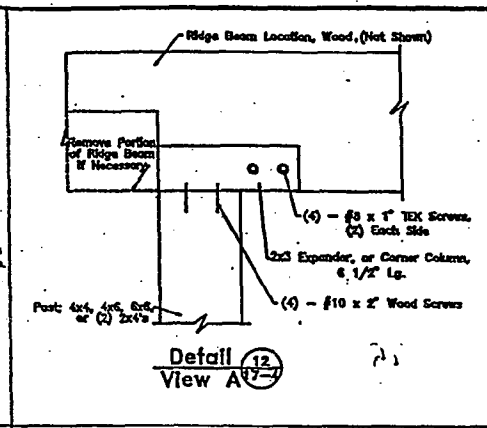
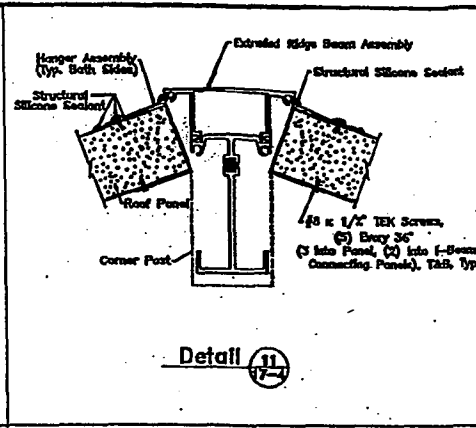
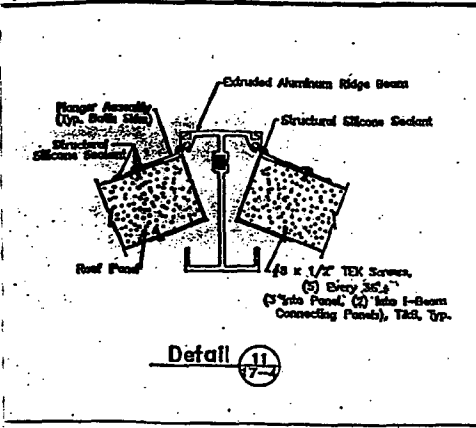
GENERAL STRUCTURAL DETAILS FOR PEI "ALL-VIEW" THREE SEASON ROOMS
 NOTE: Details on this sheet are also in section 500 of the "All-View Rooms Engineering Manual"

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 (216) 468-0700 FAX (216) 467-4297

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 ALL-VIEW ROOMS
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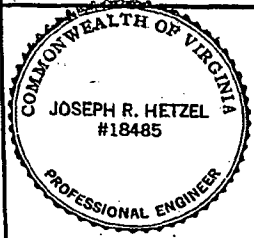
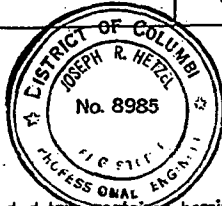
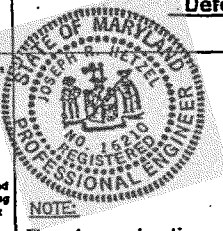
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720 EAST HIGHLAND ROAD
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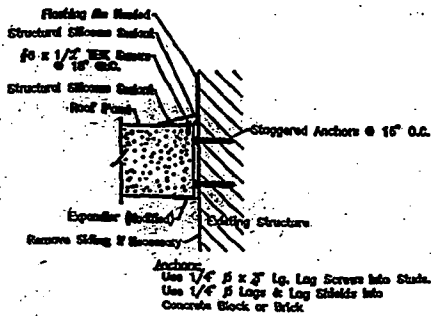
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APPROVED BY:
Joseph R. Hetzel
SIGNATURE P.E. REG. NO. #18485 DATE 1/20/94

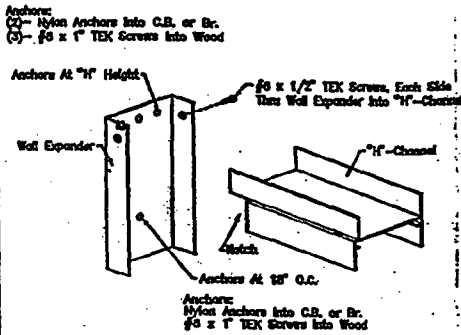
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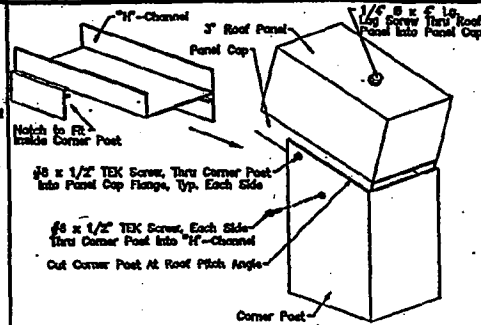
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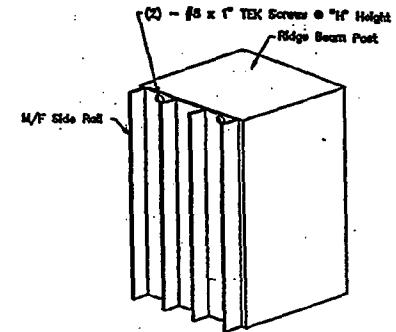
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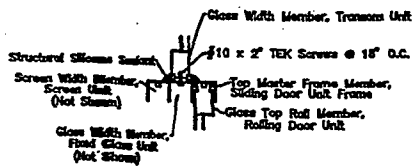
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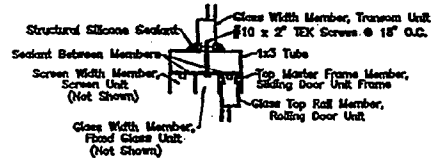
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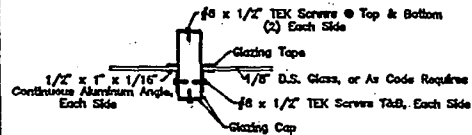
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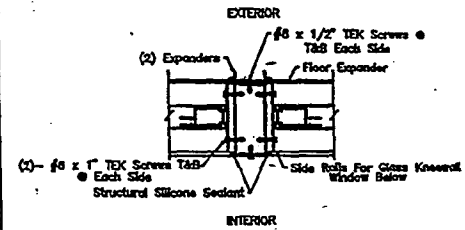
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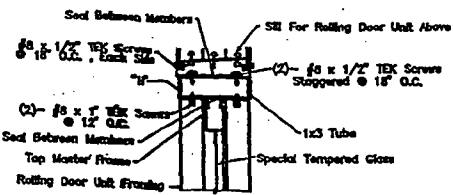
Transom With 1x3 Tube



Glass Kneewall Ganging, G-Caps



Glass Kneewall Ganging, Expanders



Glass Kneewall (or Sliding Unit) Below Sliding Unit

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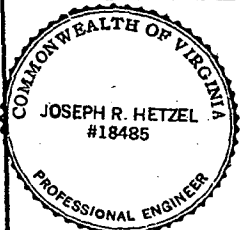


GENERAL STRUCTURAL DETAILS FOR PEI "ALL-VIEW" THREE SEASON ROOMS

NOTE: Details on this sheet are also in section 500 of the "All-View Rooms Engineering Manual"



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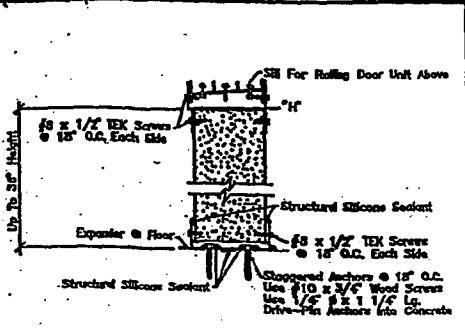
1/18/95
DATE

GRZ 10/16/95
P.E. REG. NO. DATE

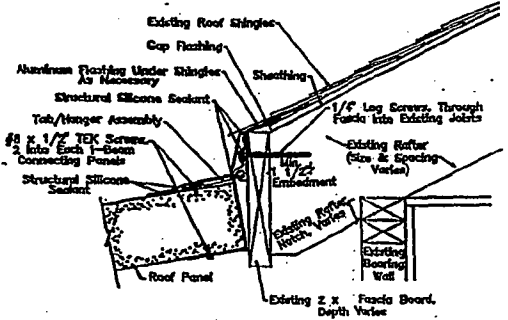
PEI ENGINEERING - SECTION 17

SHEET: 5

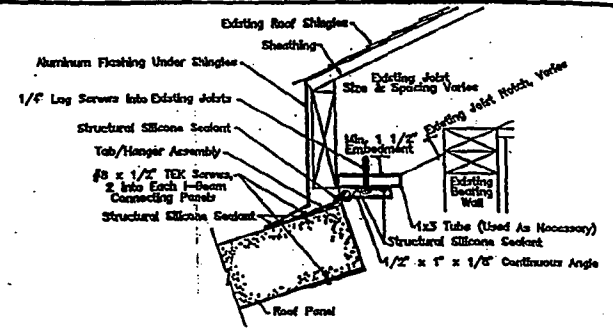
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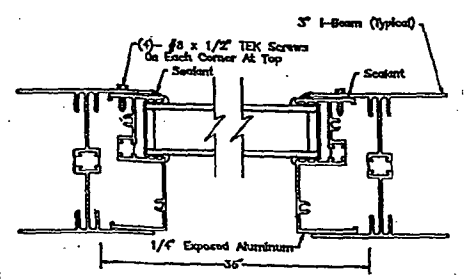
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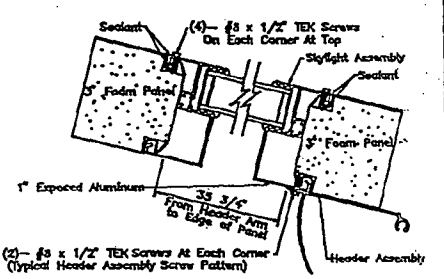
Eave Fascia Mount



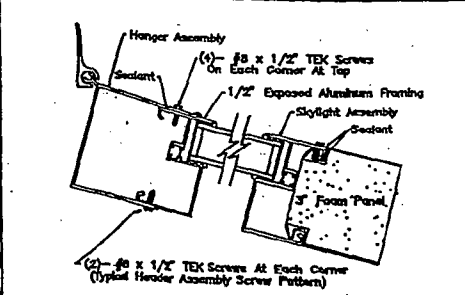
Eave Reverse Mount



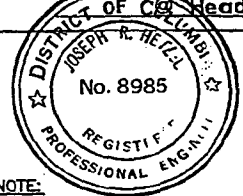
Integral Skylight Cross-Section @ I-Beam



Integral Skylight Cross-Section @ Header




Integral Skylight Cross-Section @ Hanger



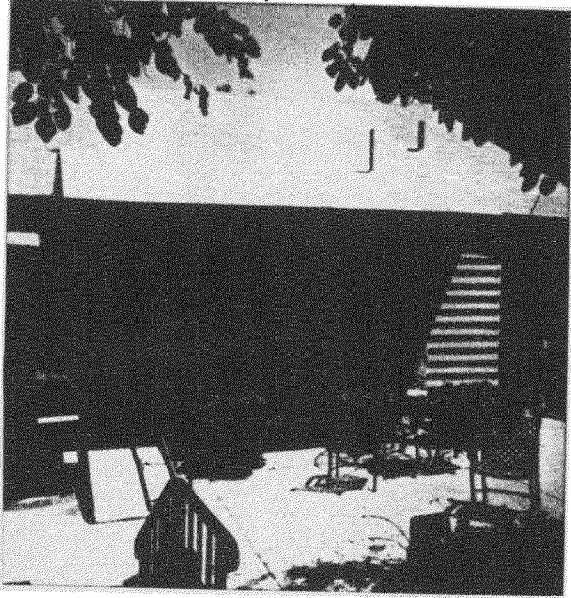
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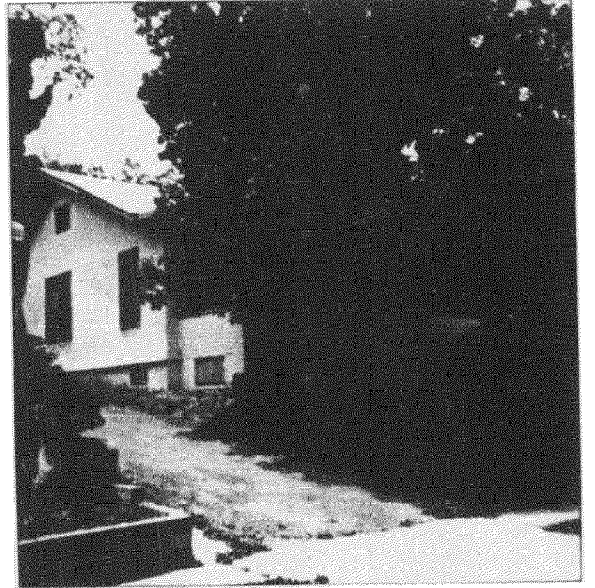
patio ENCLOSURES, INC.
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P.O. BOX 1809 MACEDONIA, OHIO 44056
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15



Rear of Home
Area For SunRoom





REAR of HOME
'AREA' FOR SUNROOM

