

28/14-04A Woodlawn Stone Barn
Master Plan #28/14 Woodlawn




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: September 9, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator 
Historic Preservation

SUBJECT: Historic Area Work Permit # 355470

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: M-NCPPC

Address: 16501 Norwood Road Sandy Spring, MD (Woodlawn Barn)

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MICHE BOOZ
 Daytime Phone No.: 301-774-6911

Tax Account No.: _____
 Name of Property Owner: MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION Daytime Phone No.: 301-495-2530 (EILEEN EMMET)
 Address: 9500 Street Number City SILVER SPRING State BURNET Zip Code 20901
 Contractor: OAK GROVE Phone No.: 301-948-~~XXXX~~ 6181
 Contractor Registration No.: _____
 Agent for Owner: MICHE BOOZ Daytime Phone No.: 311-774-6911

LOCATION OF BUILDING/PREMISE

House Number: 16501 Street: NORWOOD RD
 Town/City: SANDY SPRING Nearest Cross Street: EDNOR RD
 Lot: _____ Block: _____ Subdivision: N/A
 Liber: 4845 Folio: 59 Parcel: N422 (JG33) TAX MAP

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Haze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)	<input checked="" type="checkbox"/> Other: <u>ROOF EXTENSION</u>				

1B. Construction cost estimate: \$ 2,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

RECEIVED
AUG 18 2004
 Dept. of Permitting Services
 Division of
 Casework Management

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other: _____
 2B. Type of water supply: 01 WSSC, 02 Well, 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: AUGUST 16, 2014

Approved: [Signature] For Chairperson of Historic Preservation Commission
 Disapproved: _____ Signature: Judith D. Malley Date: 9-9-04
 Application/Permit No.: 355470 Date Filed: 8 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING STRUCTURE IS A STONE BANK BARN
DATING FROM THE 1820S. AND LOCATED
IN A MONTGOMERY COUNTY HISTORIC SITE

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONSTRUCTION OF A TEMPORARY ROOF EXTENSION
TO IMPROVE THE CURRENT WATER INFILTRATION
PROBLEM AND TO KEEP THE INTEGRITY OF
THE EXISTING STRUCTURE AND TO PREVENT
FURTHER DETRIORATION.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

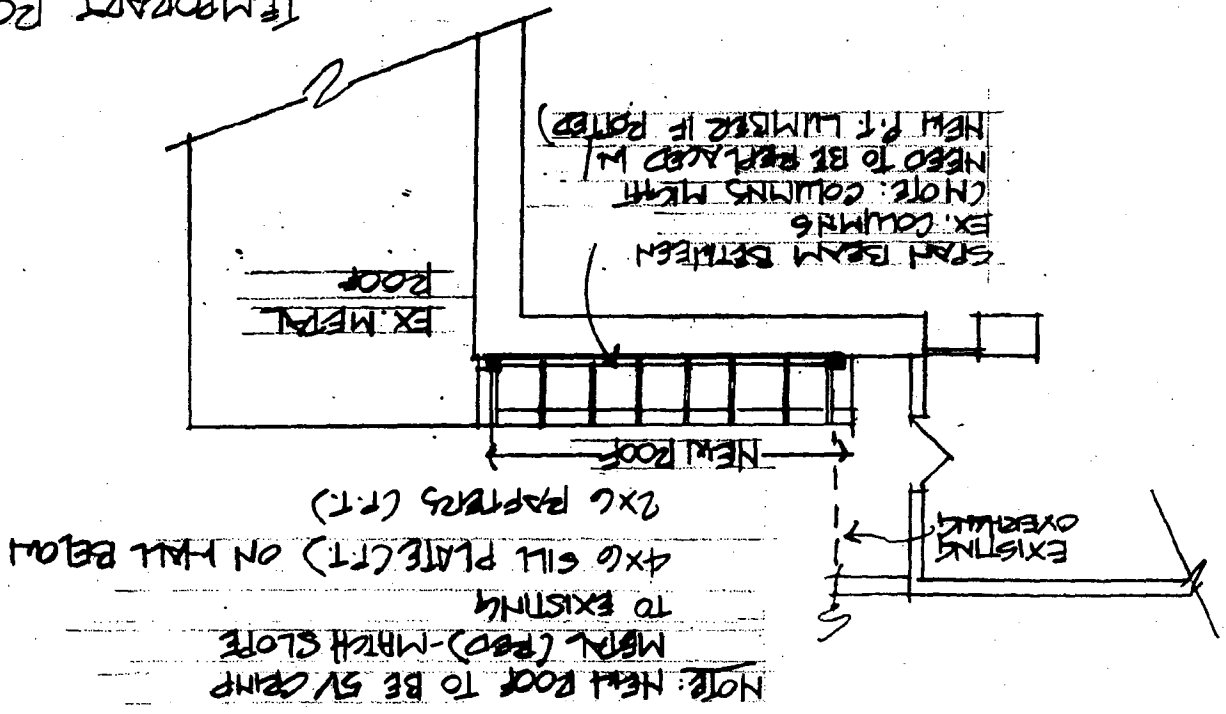
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

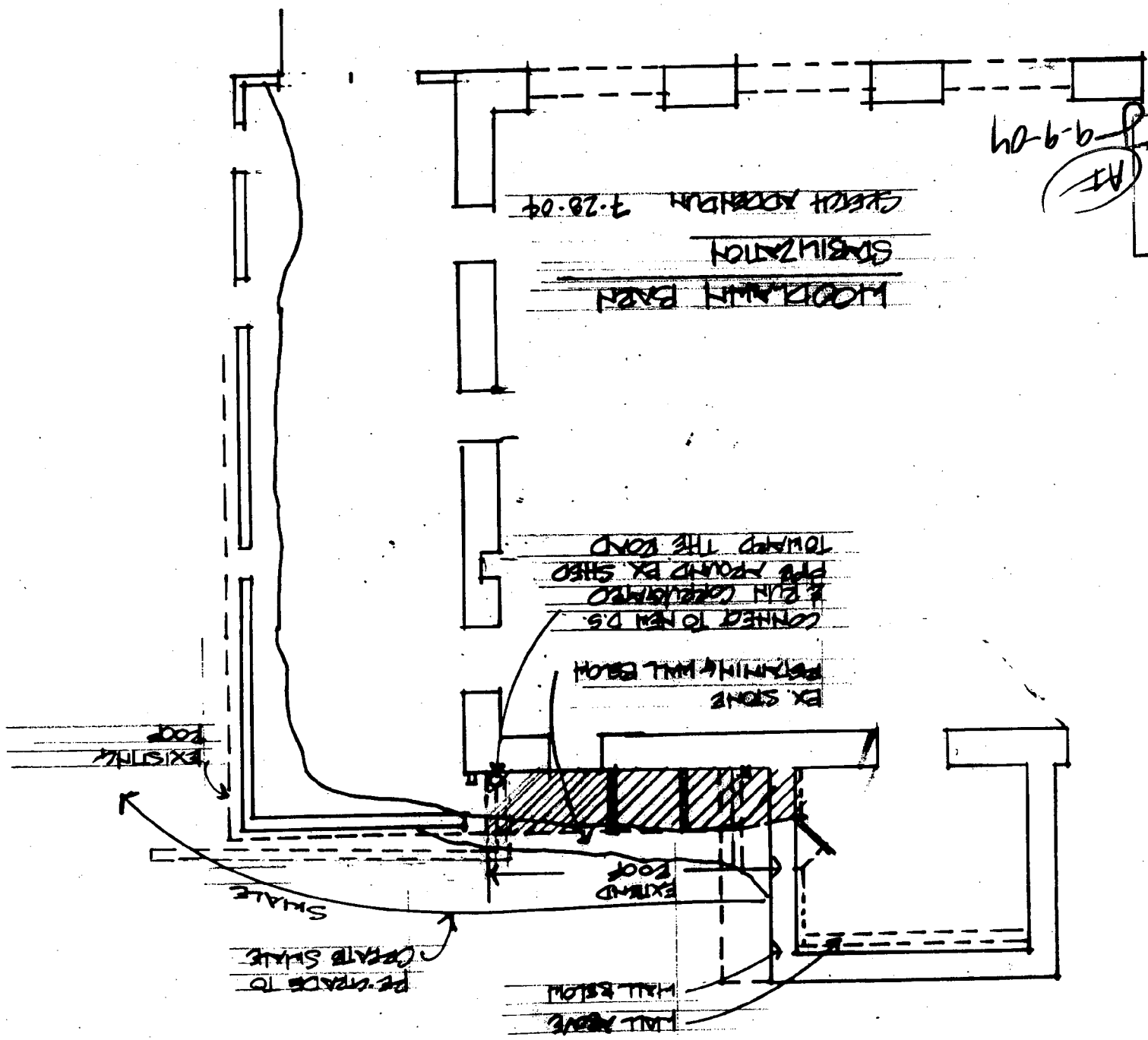
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature]
 9-9-04

TEMPORARY ROOF
 AT HOODLAIN BARN
 PLAN @ 1/8" = 1'-0"



NOTE: NEW ROOF TO BE 5" CAMP
 METAL (PBD)-WHICH SLOTE
 TO EXISTING
 4x6 SILL PLATE (CT) ON WALL BELOW
 2x6 PAPERS (CT)



MODERN BATH
 STABILIZATION
 GREAT ADDITION 7-28-04

CONCRETE TO NEW D.S.
 EXISTING WALL BELOW
 PREPARED WALL BELOW
 EX. STONE

SHALE
 PT. GRADE TO
 CREATE SHALE

HALL ABOVE
 HALL BELOW

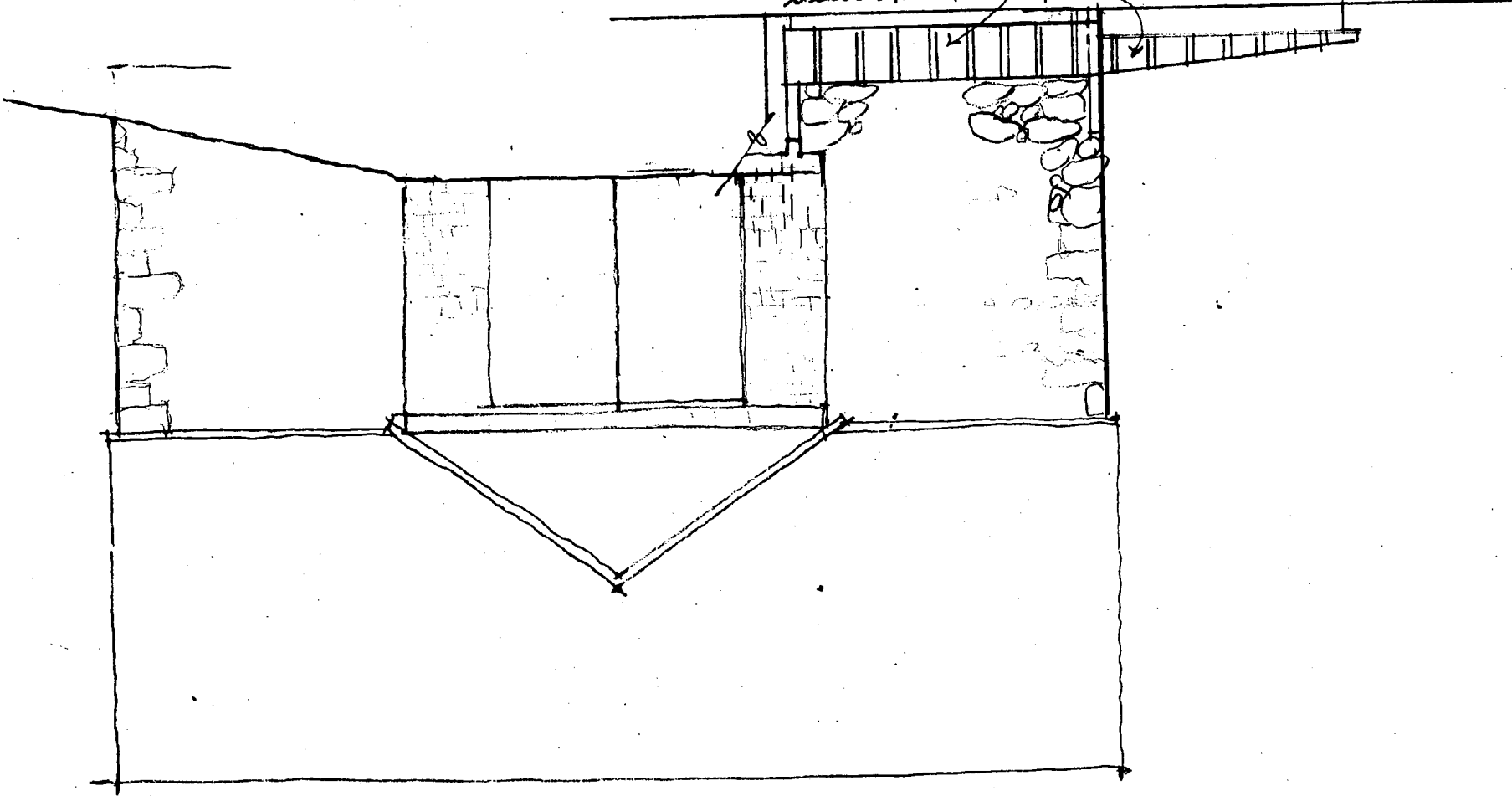
APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 9-9-04

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]
9-9-04

ELEVATION
1/8" = 1'-0" +

EXIST
How to install
roof to match



HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION 9500 BRUNETT AVENUE SILVER SPRING, MD 20901</p>	<p>Owner's Agent's mailing address MICHE BOUZ ARCHITECT 208 MARKET STREET BROOKVILLE, MD 20833</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>SANDY SPRING FRIENDS SCHOOL, INC. 16923 NORWOOD RD. SANDY SPRING, MD 20860-1112</p>	<p>LLEWELYN FIELDS HOA C/O STE. 200 6838 OLNEY LAYTONVILLE RD GAITHERSBURG, MD 20882-1919</p>
<p>BROOK S. MOORE 16700 NORWOOD RD. SANDY SPRING, MD 20860-1107</p>	<p>1021 NORWOOD RD BELONGS TO: NICHOLAS STRATES 4607 OLD NATIONAL PIKE MT. AIRY, MD 21771-4105</p>
<p>STEVEN L. & V.M. SWARTZ 16650 NORWOOD ROAD SANDY SPRING, MD. 20860</p>	<p>JOHN & DYANNE RYAN 105 EDNOR RD. SILVER SPRING, MD 20905-5001</p>

<p>Michael A. and D. Trapani 109 Ednor Road Silver Spring, Md 20905</p>	<p>James B. Taltavull 111 Ednor Road Silver Spring, MD 20905-5001 Also owns N502</p>
<p>Robert F. and E.F. Ruyak 121 Ednor Road Silver Spring, MD 20905-5001</p>	<p>RFR Partners c/o above address owns 117 Ednor Road</p>
<p>RFR Partners c/o Howry & Simon 1299 Penn Ave., NW Washington, DC 20004 Owns Parcel "B"</p>	<p>Northwest Branch SVP#7 (MNCPPC) To the east</p>
<p>MNCPPC Red Door Store parcel to the West</p>	

EXPEDITED

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 16501 Norwood Rd., Sandy Spring **Meeting Date:** 09/08/04
Applicant: M-NCPPC (Miche Booz, Agent) **Report Date:** 09/01/04
Resource: *Master Plan Site # 28/14, Woodlawn* **Public Notice:** 08/25/04
Review: HAWP **Tax Credit:** None
Case Number: 28/14-04A **Staff:** Anne Fothergill
PROPOSAL: Temporary roof installation **RECOMMEND:** Approval

SIGNIFICANCE:

- Individual Master Plan Site
- Within a Master Plan Historic District
- Primary Resource
- Contributing Resource
- Non-contributing/Out-of-Period Resource

PROJECT DESCRIPTION:

SIGNIFICANCE: Master Plan Site # 28/14, **Woodlawn**
STYLE: Stone bank barn
DATE: 1832

PROPOSAL:

The applicant is proposing installation of a temporary roof extension on the stone bank barn. The roof would be standing seam metal to match the existing roof. This proposal is part of a larger plan to stabilize the barn, and this roof extension is an attempt to improve the current water infiltration problem and to prevent further deterioration of the barn.

STAFF DISCUSSION:

This temporary roof installation will not adversely affect the resource and hopefully will aid in its preservation. Staff recommends approval.

RECOMMENDATION:

- Approval
- Approval with conditions

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

 X 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

Woodlawn Cultural Park Structural Analysis and Feasibility Study of Barn

16501 Norwood Road, Sandy Spring, Maryland 20860
Montgomery County

MNCPC Control No.: 230225 for RFP No. P 22-223, Change Order #2

Short-Term Stabilization Construction Drawings

ABBREVIATIONS

ABV	ABOVE APPROXIMATE AT AVERAGES	AVV	APPROX. AT AVERAGES
BRM	BETWEEN BLOCKING BOARD	BET	BETWEEN BLOCKING BOARD
BOT	BOTTOM OF BRICK	BR	BRICK
BUD	BUILDING	BUDG	BUILDING
CEL	CEILING	COL	COLUMN
CONC	CONCRETE	CONC	CONCRETE
CMU	CONC. MASONRY UNIT CONTINUOUS	CMU	CONC. MASONRY UNIT CONTINUOUS
DET	DETAIL	DET.	DETAIL
DIAM	DIAMETER	DIAM	DIAMETER
DM	DOWNPOUT	DM	DOWNPOUT
D.S.	D.S.	D.S.	D.S.
EA	EACH	EA	EACH
EL	ELEVATION	EL	ELEVATION
ENT	ENTRANCE	ENT	ENTRANCE
EX	EXISTING	EX	EXISTING
FT	FEET	FT	FEET
FLOOR	FLOOR	FLOOR	FLOOR
FOUND	FOUNDATION	FOUND	FOUNDATION
GALV	GALVANIZED	GALV	GALVANIZED
GL	GLASS	GL	GLASS
GR	GRADE	GR	GRADE
HW	HARDWOOD	HW	HARDWOOD
HT	HEIGHT	HT	HEIGHT
IN	INCH	IN	INCH
INSUL	INSULATION	INSUL	INSULATION
INT	INTERIOR	INT	INTERIOR
LT	LIGHT	LT	LIGHT
MASONRY	MASONRY OPENING	MASONRY	MASONRY OPENING
MC	MEDICINE CABINET	MC	MEDICINE CABINET
MT	METAL	MT	METAL
MIN	MINIMUM	MIN	MINIMUM
MISC	MISCELLANEOUS	MISC	MISCELLANEOUS
NO	NUMBER	NO	NUMBER
O.C.	ON CENTER	O.C.	ON CENTER
OP	OPENING	OP	OPENING
PTD	PAINTED	PTD	PAINTED
PLYWD	PLYWOOD	PLYWD	PLYWOOD
PLAS	PLASTER	PLAS	PLASTER
PL	PLATE	PL	PLATE
R.O.	ROUGH OPENING	R.O.	ROUGH OPENING
R	RISER	R	RISER
RM	ROOM	RM	ROOM
SEC	SECTION	SEC	SECTION
SHT	SHEET	SHT	SHEET
STAB	STABILIZE	STAB	STABILIZE
S.S.	STAINLESS STEEL	S.S.	STAINLESS STEEL
STL	STEEL	STL	STEEL
ST	STONE	ST	STONE
THRES	THRESHOLD	THRES	THRESHOLD
THK	THICKNESS	THK	THICKNESS
T.M.E.	TO MATCH EXISTING	T.M.E.	TO MATCH EXISTING
T.O.	TOP OF	T.O.	TOP OF
T	TREAD	T	TREAD
TYP	TYPICAL	TYP	TYPICAL
US	UNDERSIDE	US	UNDERSIDE
W	WOOD	W	WOOD

MATERIAL SYMBOLS

[Hatched]	EARTH
[Diagonal lines]	BRICK
[Solid black]	CONCRETE MASONRY UNIT-- CMU
[Solid black]	SOLID CMU
[White]	SOLID TIMBER (PLAN SECTION)
[Dotted]	STUD PARTITION W/ FINISHED EXTERIOR
[Stippled]	FIELDSTONE (PLAN)
[Stippled]	FIELDSTONE (SECTION ELEVATION)
[White]	NEW CONSTRUCTION, SHORT-TERM STABILIZATION

BLDG SECTION NO.

SECTION DRAWING SHEET LOCATION

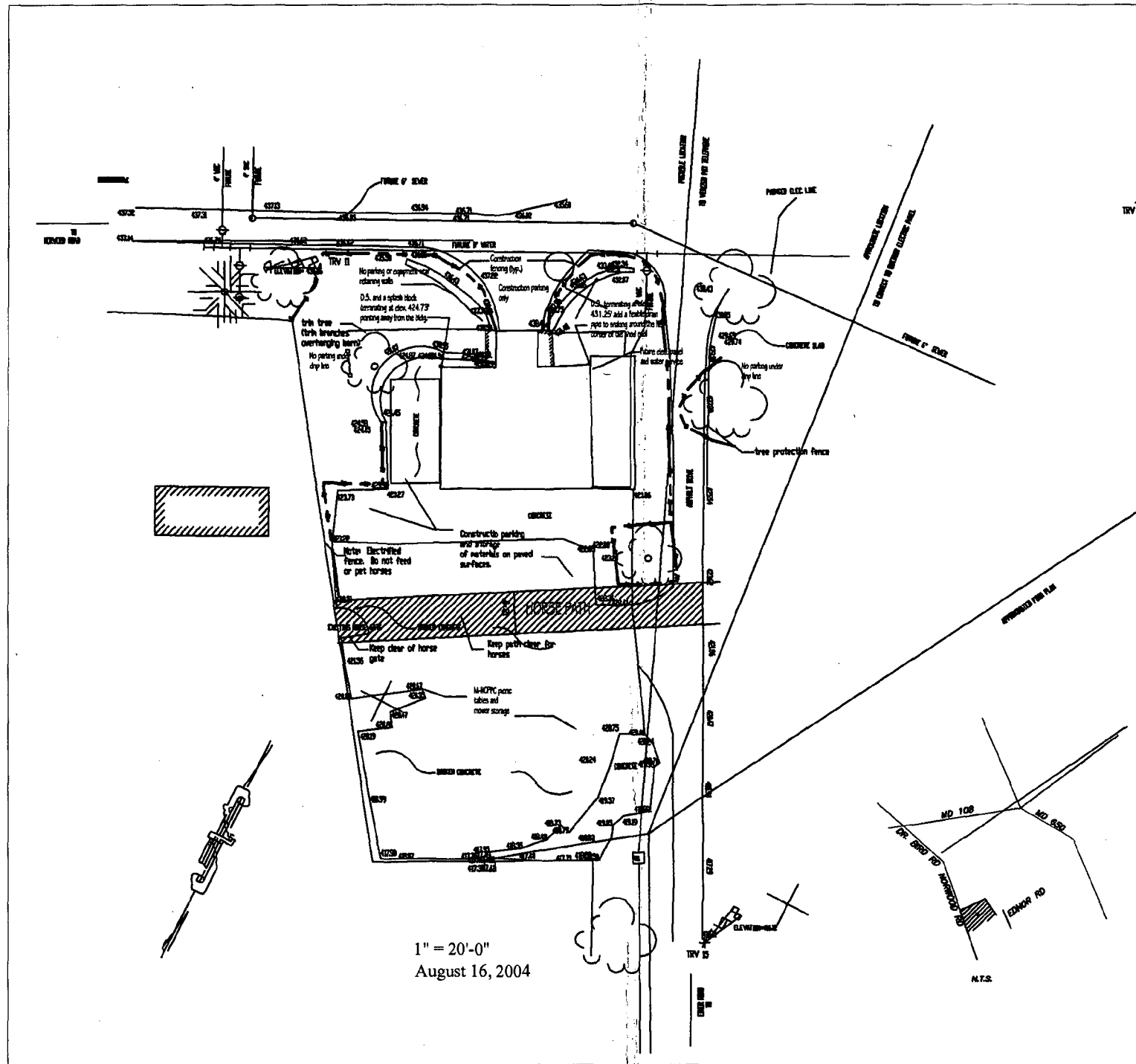
NO. OF DETAIL ON PLAN

DETAIL DRAWING SHEET LOCATION

NO. OF DRAWING ON SHEET

DRAWING TITLE

NO. OF SHEET IN DRAWING SET



INDEX OF DRAWING SHEETS

- 1 COVERSHEET
- 2 LOWER LEVEL FLOOR PLAN
- 3 LOWER LEVEL REFLECTED CEILING PLAN
- 4 MIDDLE LEVEL FLOOR PLAN
- 5 MIDDLE LEVEL REFLECTED CEILING PLAN
- 6 UPPER LEVEL PLAN
- 7 ROOF FRAMING PLAN
- 8 SOUTH ELEVATION
- 9 WEST ELEVATION
- 10 NORTH ELEVATION
- 11 EAST ELEVATION
- 12 BUILDING SECTION A-A
- 13 BUILDING SECTION B-B
- 14 BUILDING SECTION C-C
- 15 BUILDING SECTION D-D
- 16 DETAILS 1
- 17 DETAILS 2
- 18 DETAILS 3
- 19 DETAILS 4

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<p>design</p> <p>MICHE BOOZ ARCHITECT</p> <p>14501 Woodlawn Road, Suite 200, Spring, Maryland 20989</p> <p>Phone: 301-774-1908</p> <p>Fax: 301-774-1908</p> <p>Website: www.michebooz.com</p>	<p>order and approval</p> <p>order number: _____</p> <p>date: _____</p> <p>status: _____</p>
<p>revision and approval</p> <p>revision number: _____</p> <p>date: _____</p> <p>status: _____</p>	<p>revision and approval</p> <p>revision number: _____</p> <p>date: _____</p> <p>status: _____</p>

⊕ NORTH ELEVATION

SCALE: 1/8" = 1'-0"

The Maryland Historical Capital Park and Planning Commission

Public Development Division

9500 Eastern Avenue

Silver Spring, Maryland 20991

Montgomery County Department of Public Works

(301) 694-3215

REFERENCE:

NO. 22-231

ADJUDICATED

LANDSCAPE CONSULTING NO. 230023 FOR 897 No. P 22-231

PROJECT:

Woodlawn Historic Stone Bar

14501 Woodlawn Road, Suite 200, Spring, Maryland 20989


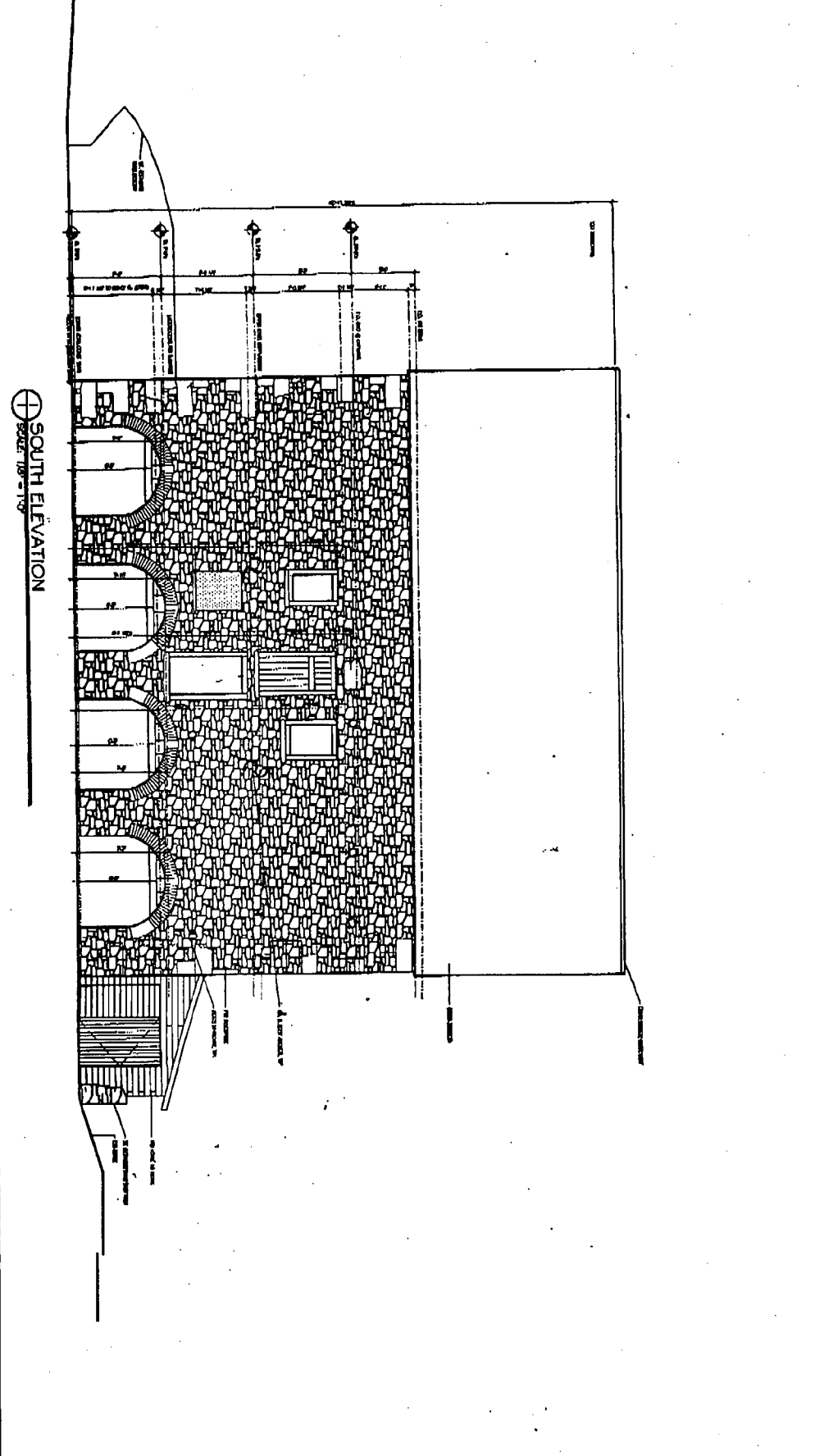
DESIGNED BY:

Michelle Booze

DATE:

April 7, 2003

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<p>Author</p>	<p>MICHE BOOZ ARCHITECT</p>	<p>review and approved</p>	<p>system and approved</p>	 <p>The Maryland-National Capital Park and Planning Commission Park Development Division 5003 Sunrise Avenue Silver Spring, Maryland 20901 Management: Cheryl D. Department of Parks (301) 491-3111</p>	<p>reference</p> <table border="1"> <tr> <td>1</td> <td>ADDENDUM</td> </tr> </table>	1	ADDENDUM	<p>Project: Woodlawn Historic Stone Barn 1601 Northern Road, Sandy Spring, Maryland 20860 Drawing Title: Architect Drawings Date: April 7, 2003 Sheet of</p>
1	ADDENDUM							
<div style="text-align: center;"> <p>⊕ SOUTH ELEVATION</p> <p>SCALE: 1/8" = 1'-0"</p>  </div>								

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MICHE BOOZ ARCHITECT
 1000 North ...
 ...

review and approval
 ...

review and approval
 ...

The Maryland-National Capital Park and Planning Commission
 The Development Division
 5920 Brentwood Avenue
 Silver Spring, Maryland 20901
 Montgomery County Department of Public Works
 (301) 994-3135

Project No.	Scale	Revision
AD02N0004	AS SHOWN	

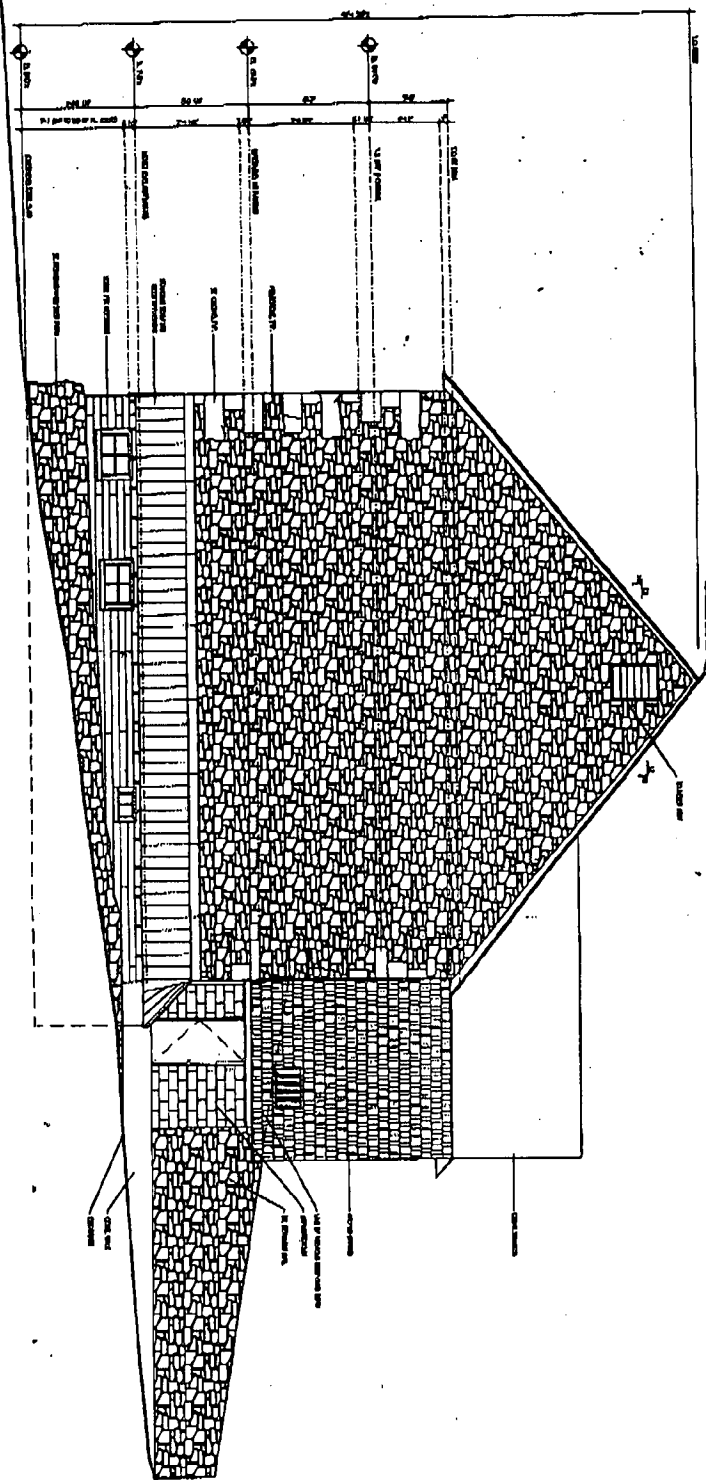
MDPRC Contract No. 230023 for 879 sq. ft. 2-22-23

Woodlawn Historic Stone Barn
 16201 Woodlawn Road, Sandy Spring, Maryland 20869

Drawing Title: As-built Drawings
 Date: April 7, 2003
 Sheet: 13 of 13

⊕ EAST ELEVATION
 SCALE: 1/8" = 1'-0"

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WEST ELEVATION
SCALE: 1/8" = 1'-0"

Design:

MICHE BOOZ		
Architect	Architect	Architect
10/0	10/0	10/0
10/0	10/0	10/0

Order and approval:

Order and approval:	Order and approval:
Signature:	Signature:
Date:	Date:

The Maryland-National Capital
Park and Planning Commission
Park Development Division
9350 Strawn Avenue
Silver Spring, Maryland 20901
Manager/ Cheryl Dezzanzo of Parks
(301)494-2033

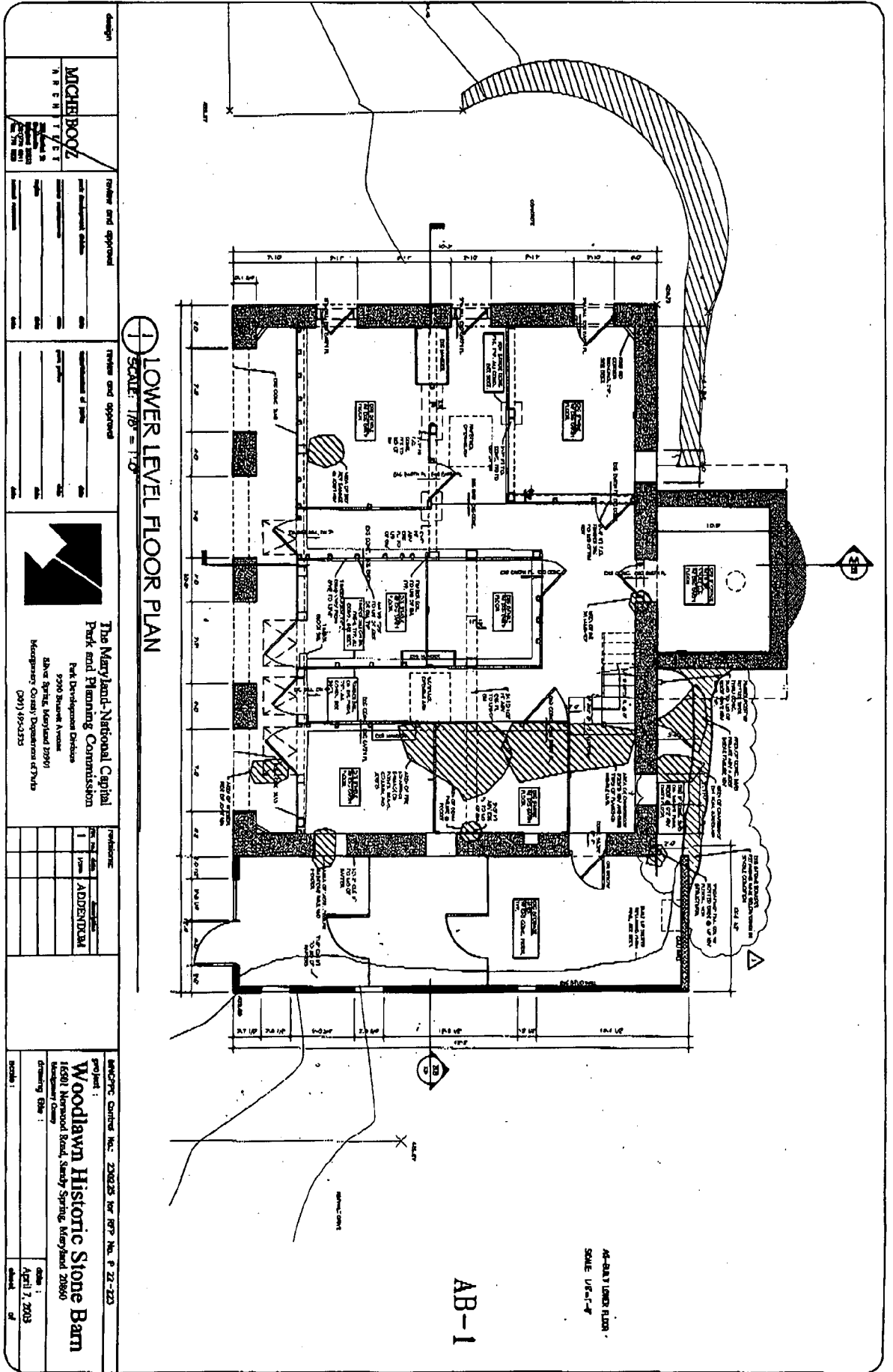
Notes:

No.	Date	Description
1		ADOPTED

UNSPEC. Detail No.: 230223 for RFP No. P-23-223
Project:
Woodlawn Historic Stone Barn
15501 Woodlawn Road, Sandy Spring, Maryland 20866
Contract No.:
Drawing Set:
As-built Drawings

date: April 7, 2003
sheet 15 of

15

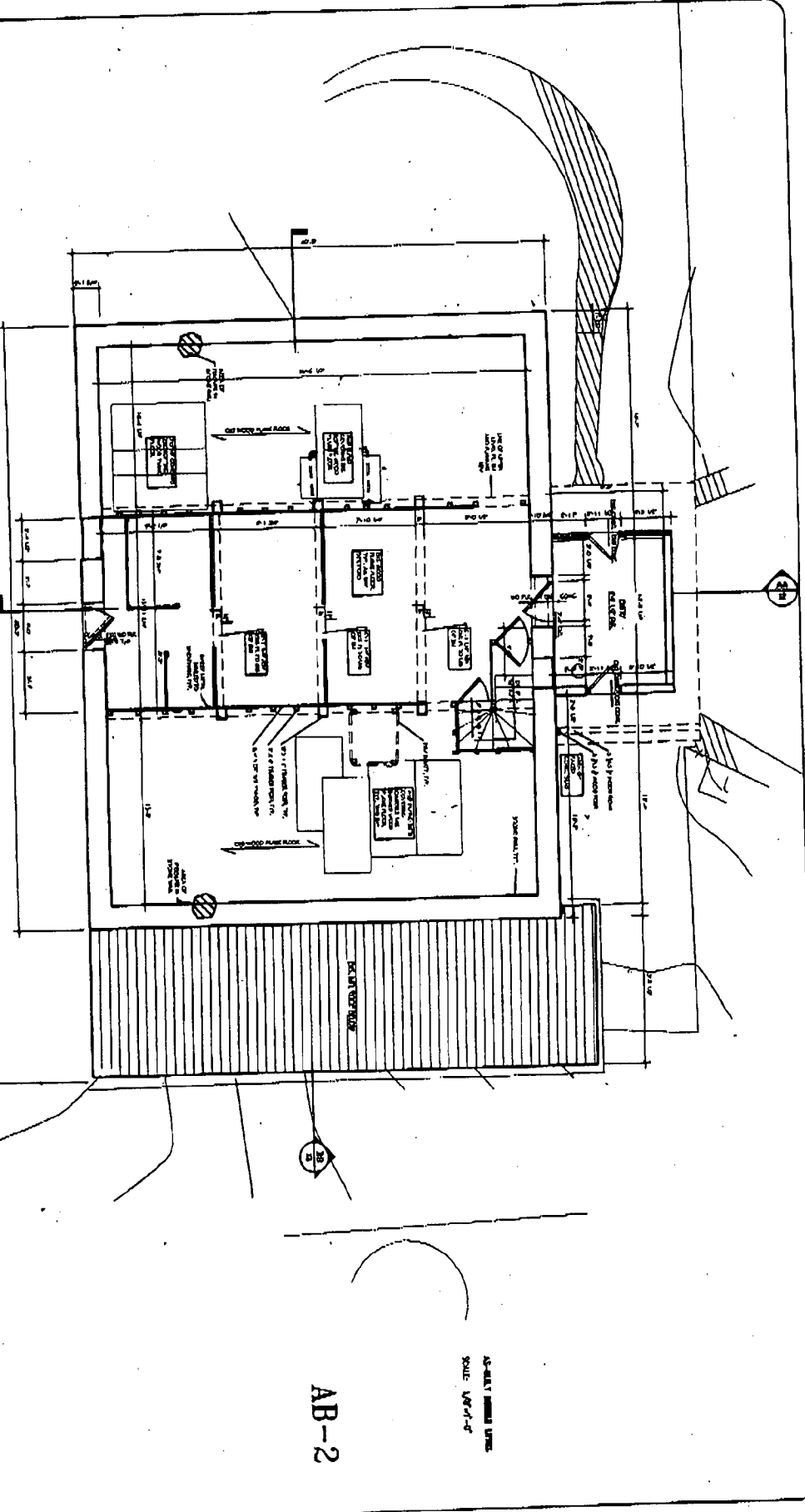


LOWER LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

designer	MICHE BOOZ ARCHITECT	reviewer and approved	DATE	DATE	revision	description			
	MICHE BOOZ ARCHITECT		DATE	DATE					
reviewer and approved	DATE	revision	DATE	DATE	description	drawing title			
	DATE		DATE	DATE					
<p>The Maryland-National Capital Park and Planning Commission Park Development Division 2900 Shiloh Avenue Silver Spring, Maryland 20901 Telephone: (301) 950-3333</p>		<table border="1"> <tr> <td>NO. 100</td> <td>ADDED</td> </tr> <tr> <td>NO. 101</td> <td>ADDED</td> </tr> </table>		NO. 100	ADDED	NO. 101	ADDED	PROJECT: Woodlawn Historic Stone Barn 16601 Woodlawn Road, Sandy Spring, Maryland 20860 DRAWING TITLE: Lower Level Floor Plan DATE: April 7, 2003	
NO. 100	ADDED								
NO. 101	ADDED								

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MIDDLE LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



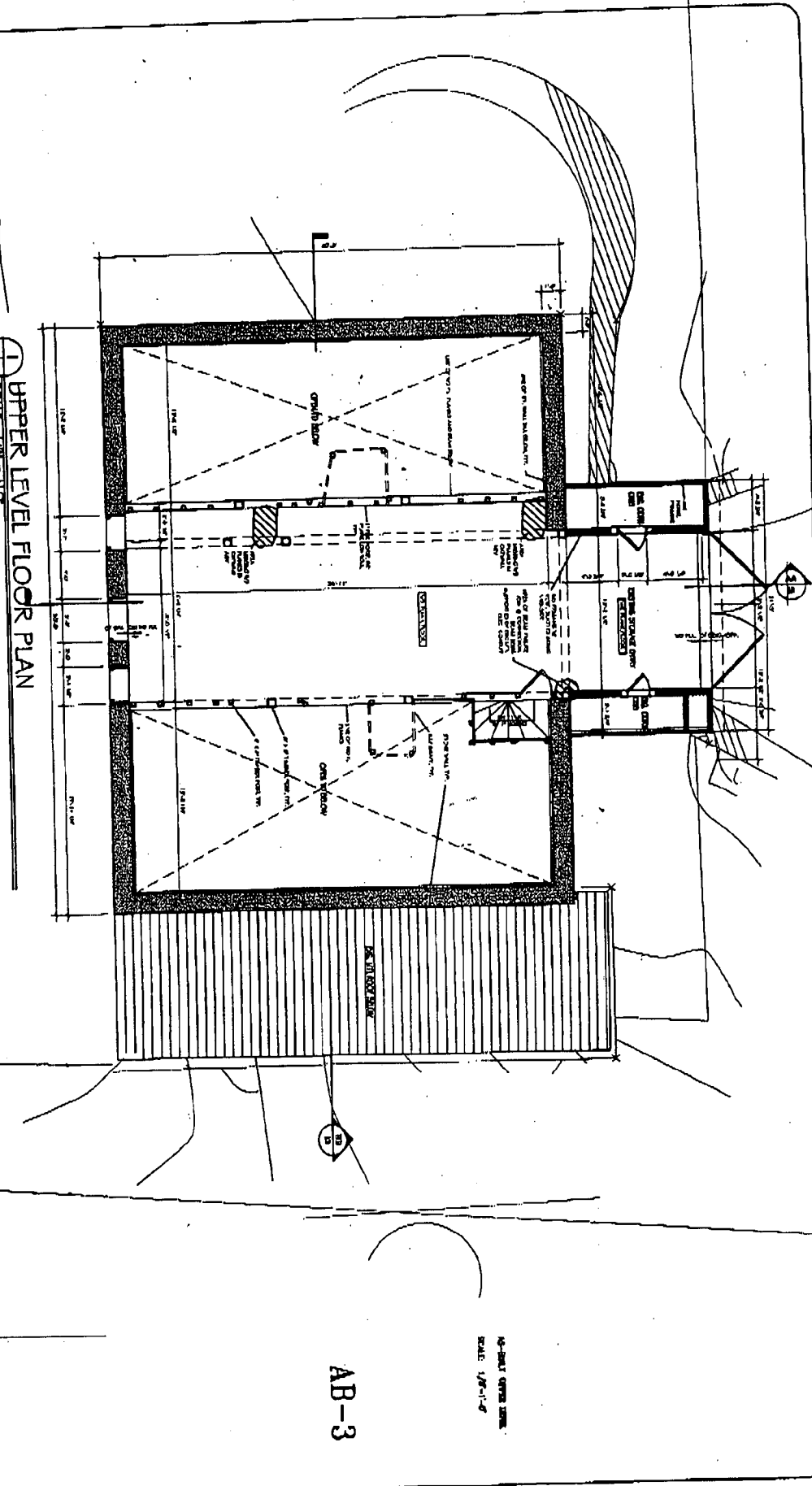
MICHE BOOZ ARCHITECTS 1000	prepare and approval	review and approval	<p>The Maryland-National Capital Park and Planning Commission 1900</p>	prepare	project
	1 ADDENDUM	1600		1600	drawing title

AS-BUILT DIMENSIONS
SCALE: 1/8" = 1'-0"
AB-2

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MICHE BOOZ ARCHITECTS 1100 N.		Project and approval Project name: ... Date: ...		Review and approval Reviewer: ... Date: ...	
 <p>The Maryland-National Capital Park and Planning Commission 9000</p>		Title block Title: ... Date: ...		Project information Project name: ... Date: ...	

UPPER LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"



AB-3

1/8" = 1'-0"



WOODLAWN HISTORIC
STONE BARN
(FROM EDNOR RD)



WOODLAWN HISTORIC STONE BARN
NORTH ELEVATION



WOODLAWN HISTORIC STONE BARN
NORTH ELEVATION (EXISTING SHED ROOF)



WOODLAWN HISTORIC STONE BARN
NORTH ELEVATION (EXISTING POST)



WOODBLOWN HISTORIC
STONE BARN
(FROM EDNOR RD)