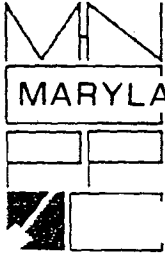


35/13-01W 10 Grafton Street
(Chevy Chase Village Historic District)

II-H · Michelle



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 10/22/01

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit
HPC # 35/13-01W DPS # 258592

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

 Approved

X Approved with Conditions: ① COMMISSION DEFERS DECISION ON TREE TO BE REMOVED TO THE CHEVY CHASE VILLAGE BOARD'S DECISION. ② ALL ORIGINAL WINDOWS TO BE REMOVED WILL BE RETAINED AND STORED ON SITE,

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: TONY AND TRISH GLOWACKI

Address: 10 GRAFTON ST. CEV

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: NICHOLAS LUCARELLI

Daytime Phone No.: 703-790-9606

Tax Account No.: 458400

Name of Property Owner: TRISH & TONY GLOWACKI Daytime Phone No.: 301-983-5444

Address: 10829 ALLOWAY DR POTOMAC MD 20854
Street Number City State Zip Code

Contractor: JOSEF MICKUM Phone No.: 202-251-7529

Contractor Registration No.: # 45213

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10 Street: GRAFTON STREET

Town/City: VILLAGE OF CHEVY CHASE Nearest Cross Street: CHEVY CHASE CIRCLE

Lot: _____ Block: _____ Subdivision: CHEVY CHASE SECTION 2

Liber: 4601 Folio: 497 Parcel: 928

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct
 - Extend
 - Alter/Renovate
 - Move
 - Install
 - Wreck/Raze
 - Revision
 - Repair
 - Revocable
- CHECK ALL APPLICABLE:
- A/C
 - Slab
 - Room Addition
 - Porch
 - Deck
 - Shed
 - Solar
 - Fireplace
 - Woodburning Stove
 - Single Family
 - Fence/Wall (complete Section 4)
 - Other: _____

1B. Construction cost estimate: \$ 475,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
 - Entirely on land of owner
 - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nicholas Lucarelli 9/17/01
Signature of owner or authorized agent Date

Approved: X W/CONDITIONS For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 10/22/01
Application/Permit No.: 258592 Date Filed: 9/17/01 Date Issued: _____

3513-01W



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 10/22/01

TO: Local Advisory Panel/Town Government

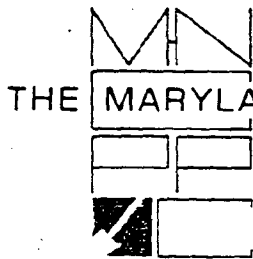
FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner
Michele Naru, Historic Preservation Planner (M)

SUBJECT: Historic Area Work Permit Application - HPC Decision

HPC# 35/13-01W DPS# 258592

The Historic Preservation Commission reviewed this project on 10/10/01.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 10/22/01

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

HPC# 34/13-01W DPS# 258592

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ permits.emontgomery.org of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

Submit doc to county

II-H

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10 Grafton Street, Chevy Chase **Meeting Date:** 10/10/01
Resource: Contributing Resource **Report Date:** 10/03/01
 Takoma Park Historic District
Review: HAWP **Public Notice:** 09/26/01
Case Number: 35/13-01W **Tax Credit:** None
Applicant: Trish and Tony Glowacki **Staff:** Michele Naru
 (Nicholas Lucarelli, Agent)

PROPOSAL: Rear addition and construction of
 new additions

RECOMMEND: Approval w/ conditions

STAFF RECOMMENDATIONS:

Staff is recommending that the Commission approve this HAWP with the following conditions:

1. Plant a tree from the Montgomery County Native Species List with a minimum 2" caliper on the property to replace the tree to be removed. — *Replaced w/ tree w/ cc village Boards*
2. All original windows to be removed will be retained and stored on site. — *Deference to Town Council's Decision.*

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Chevy Chase Village Historic District
STYLE: Prairie
DATE: 1892-1912

The subject house, situated between an outstanding resource to the east and a contributing resource to the west, was constructed by 1912 in the Prairie style. It is a 2-1/2 story, stucco home, which features a deep, colonnaded, wrap-around front porch on the north (entry) and west elevations, a two-story octagonal bay on the west and east elevations, and a hipped-dormer on the front elevation. Original windows are almost all intact and feature 2/1 and 1/1 double-hung sashes. Original windows are fashioned with louvered shutters. The roof is hipped with broad splayed overhangs; attic dormers occur on the front and west elevations. A two-story rear addition was added circa 1980.

①

Lot Area:	15,625 sq. ft.
Existing Footprint:	2,050 sq. ft.
Existing Lot Coverage:	13%
Proposed Footprint:	2,760 sq. ft.
Proposed Lot Coverage:	17%
Existing Contributing Garage Footprint:	335 sq. ft.

PROPOSAL:

The Owners wish to expand the home first by eliminating the 1980's addition, and then by adding a two-story expansion behind the original house, a two-story 10' x 14' addition to the rear of the east elevation and a flagstone terrace to the west of the new rear addition. The primary objectives of the proposed design can be summarized as follows:

1. Locate most of the proposed footprint behind the original residence to minimize impact on the Grafton Street streetscape.
2. Visually reduce the massing of the addition by keeping new roof lines at or below existing.
3. Remove a 22" juniper tree to allow for the new side addition.

The applicant and the architect feel their proposed design of the two-story addition replicates certain prominent and distinguishing features of the original house yet clearly differentiates the new massing from the original, such as roof shape and pitch (including splayed eave design), window proportions, and materials (stucco finish, asphalt roof shingles). The addition's windows will nearly replicate the unit window pane size as well as the proportions of the typical 2/1 double hung windows, but instead will feature a transom design as a subtle change. The windows will be wood, painted, simulated true-divided light windows. Wood, operable louvered shutters will also be used in this application. All new exterior doors and detailing will be constructed of wood.

Overall the objective of the applicant and the architect is to be architecturally harmonious, matching materials and building component proportions but slightly modifying and updating certain details. In terms of overall site planning, maintaining the open space in the west yard is an important priority, both programmatically and architecturally. By locating the proposed addition in the same location as the existing, and maintaining a prominent side setback, the impact on the immediate surroundings is minimal.

STAFF DISCUSSION

The house is a contributing resource within the Chevy Chase Village Historic District and alterations to these resources are reviewed with a moderate level of design review.

The *Chevy Chase Village Design Guidelines* state for major additions: "Major additions should, where feasible, be placed at the rear of the existing structure so that they are less visible for the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited."

In this case, most of the work is being proposed at the rear of the property, which will minimize its effects on the overall district and will have minimal visibility from the public right-of-way. The additions have been designed as a compatible element on the site, using materials and scale from the original massing of the house.

Staff feels that the new additions are compatible new construction. Staff does have concern with the removal of original windows from the west elevation in order for the new side addition to be constructed. Staff is recommending that the windows be retained and stored on site.

The removal of trees in the Chevy Chase Village Historic District is subject to strict scrutiny. The tree to be removed on this property is large, yet staff feels that there is sufficient number of trees on this property that the removal of this tree will have a minimal effect on the landscape. To alleviate the visual disturbance that will occur with the removal of this tree from the property, staff is suggesting that the applicant replace the tree to be removed with a new, 2" min caliper tree from the Montgomery County Native Species list.

Staff believes, in general, the proposed alterations are compatible to the scale and massing of the resource and feels that the alterations will not negatively impact the integrity or outstanding features of the resource.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with conditions** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the conditions that:

1. Plant a tree from the Montgomery County Native Species List with a minimum 2" caliper on the property to replace the tree to be removed.
2. All original windows to be removed will be retained and stored on site.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

HISTORIC AREA WORK PERMIT

Contact Person: NICHOLAS LUCARELLI

Daytime Phone No.: 703-790-9606

Tax Account No.: 458400

Name of Property Owner: TRISH & TONY GLOWACKI Daytime Phone No.: 301-983-5444

Address: 10829 ALLOWAY DR POTOMAC MD 20854
Street Number City State Zip Code

Contractor: JOSEF MICKUM Phone No.: 202-251-7529

Contractor Registration No.: # 45213

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10 Street: GRAFTON STREET

Town/City: VILLAGE OF CHEVY CHASE Nearest Cross Street: CHEVY CHASE CIRCLE

Lot: _____ Block: _____ Subdivision: CHEVY CHASE SECTION 2

Liber: 4601 Folio: 497 Parcel: 928

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|--|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 475,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nicholas Lucarelli
Signature of owner or authorized agent

9/17/01
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

(4)

LUCARELLI, MONTES & WELLS, L. L. C.

6723 Whittier Ave. Suite 100, McLean, VA 22101 (703)790-9606 Fax (703)790-9608 LMandWLLC@aol.com

ADJACENT PROPERTY OWNERS 10 Grafton Street, Chevy Chase, MD

Property Owners (present address):

Tony and Trish Glowacki
10829 Alloway Drive
Potomac, MD 20854

Michael J. and Donna G. O'Neill
3905 Oliver Street
Chevy Chase, MD 20815

Louis and Marie Forget
3907 Oliver Street
Chevy Chase, MD 20815

Robert G. and Billie J. Webster
3909 Oliver Street
Chevy Chase, MD 20815

Richard N. Perle and Leslie J. Barr
5 Grafton Street
Chevy Chase, MD 20815

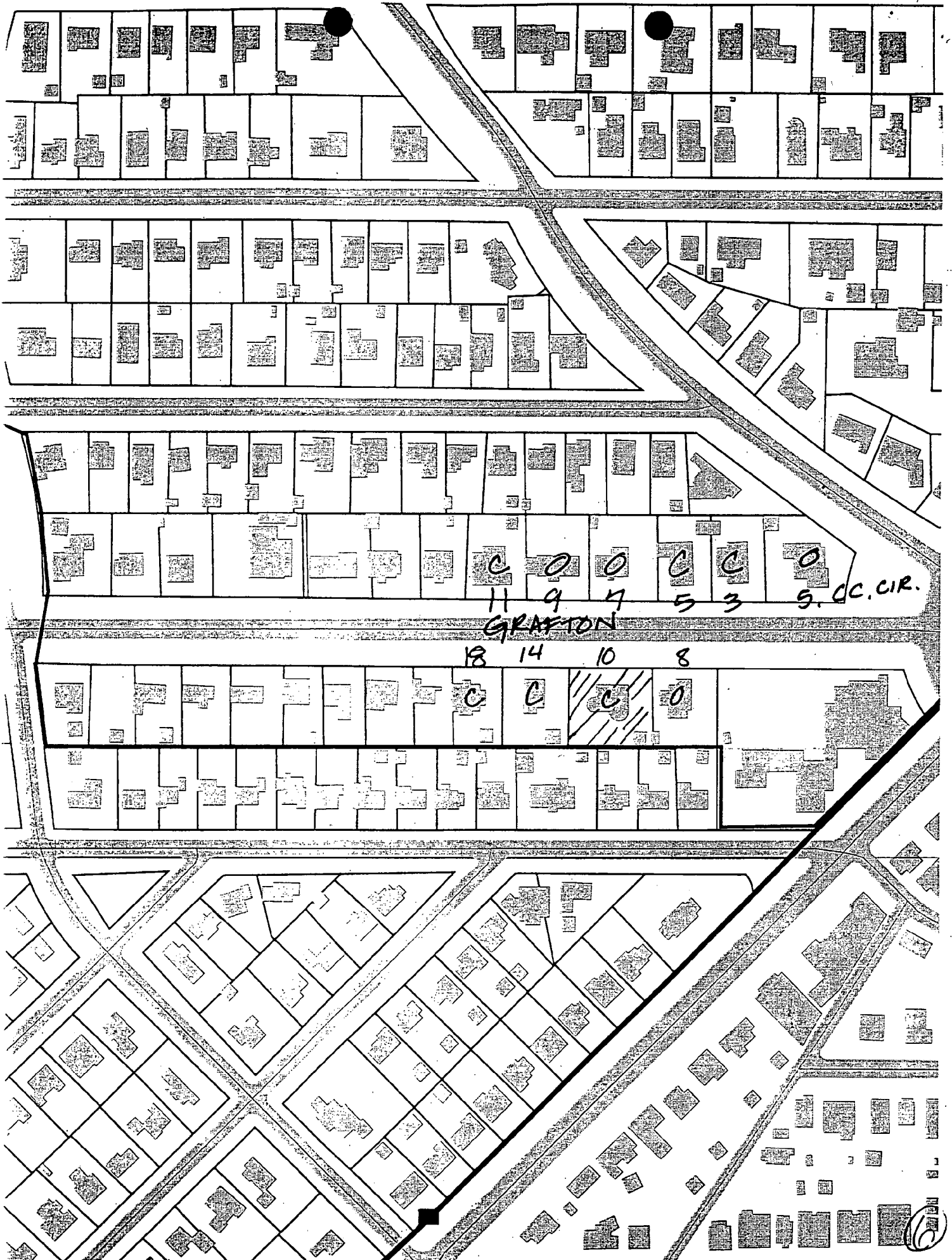
Robert M. and Patricia S. Baptiste
7 Grafton Street
Chevy Chase, MD 20815

Mark E. and Jill L. Talisman
8 Grafton Street
Chevy Chase, MD 20815

George F. Will and Marie Maseng
9 Grafton Street
Chevy Chase, MD 20815

Lawrence C. and Claudia L. Lanpher
11 Grafton Street
Chevy Chase, MD 20815

James F. Guerra and Nicole A. Vanasse
14 Grafton Street
Chevy Chase, MD 20815



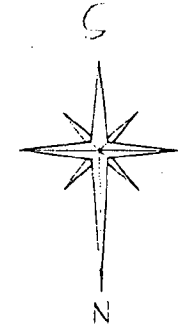
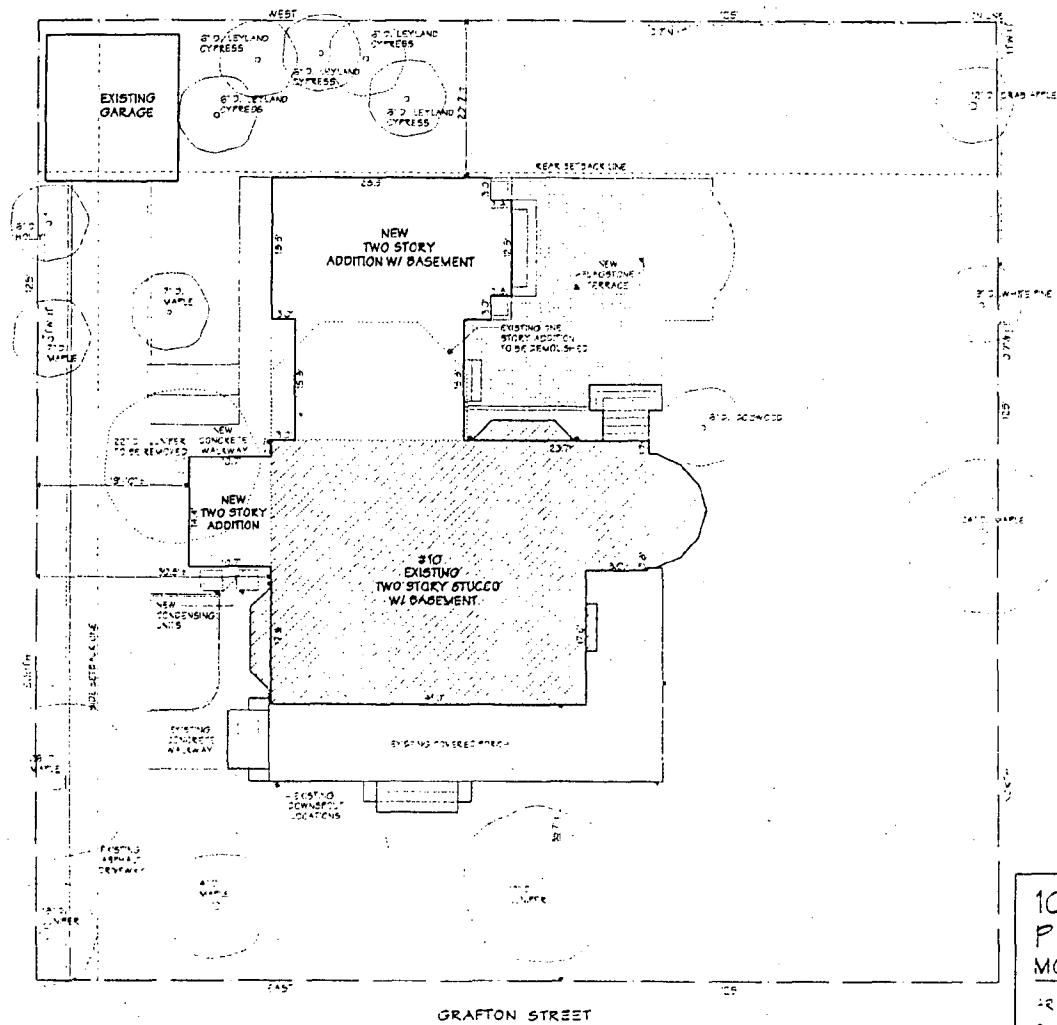
C O O C C O
11 9 7 5 3 S. CC. CIR.
GRAFTON

13 14 10 8

C C C O



7



10 GRAFTON STREET
 PARCEL 928
 MONTGOMERY COUNTY, MD.

AREA OF LOT: 5,828 SQ. FT.
 EXISTING FOOTPRINT: 2,050 SQ. FT.
 EXISTING GARAGE FOOTPRINT: 325 SQ. FT.
 PROPOSED NEW FOOTPRINT: 2,123 SQ. FT.
 ALLOWABLE LOT COVER: 35%
 ALLOWABLE BUILDING AREA: 2,045 SQ. FT.

SITE PLAN
 SCALE: 1/8" = 1'-0"

LUCARELLI, MONTES AND WELLS ARCHITECTS
 6723 WHITTIER AVE. SUITE 100 McLEAN, VIRGINIA 22101
 GLOWACKI RESIDENCE #10 GRAFTON ST CHEVY CHASE MD

ARCHITECTURAL
 SITE PLAN

DATE	DRAWN
1/14/10	
REVISION	
1	

SP-1



PROPOSED WEST ELEVATION
SCALE 1/8" = 1'-0"

- EXISTING STRUCTURE
- ASPHALT SHINGLES TO MATCH EXISTING
- COPPER GUTTER & DOWNSPOUT
- P.D. PVC TRIM TO MATCH EXISTING CORNER
- STUCCO TO MATCH EXISTING ON THE WOOD STUD FRAMING
- P.D. PVC PANELS TO MATCH EXISTING
- STUCCO BANDING TO MATCH EXISTING
- STONE LINER TO MATCH EXISTING
- STONE LINER TO MATCH EXISTING



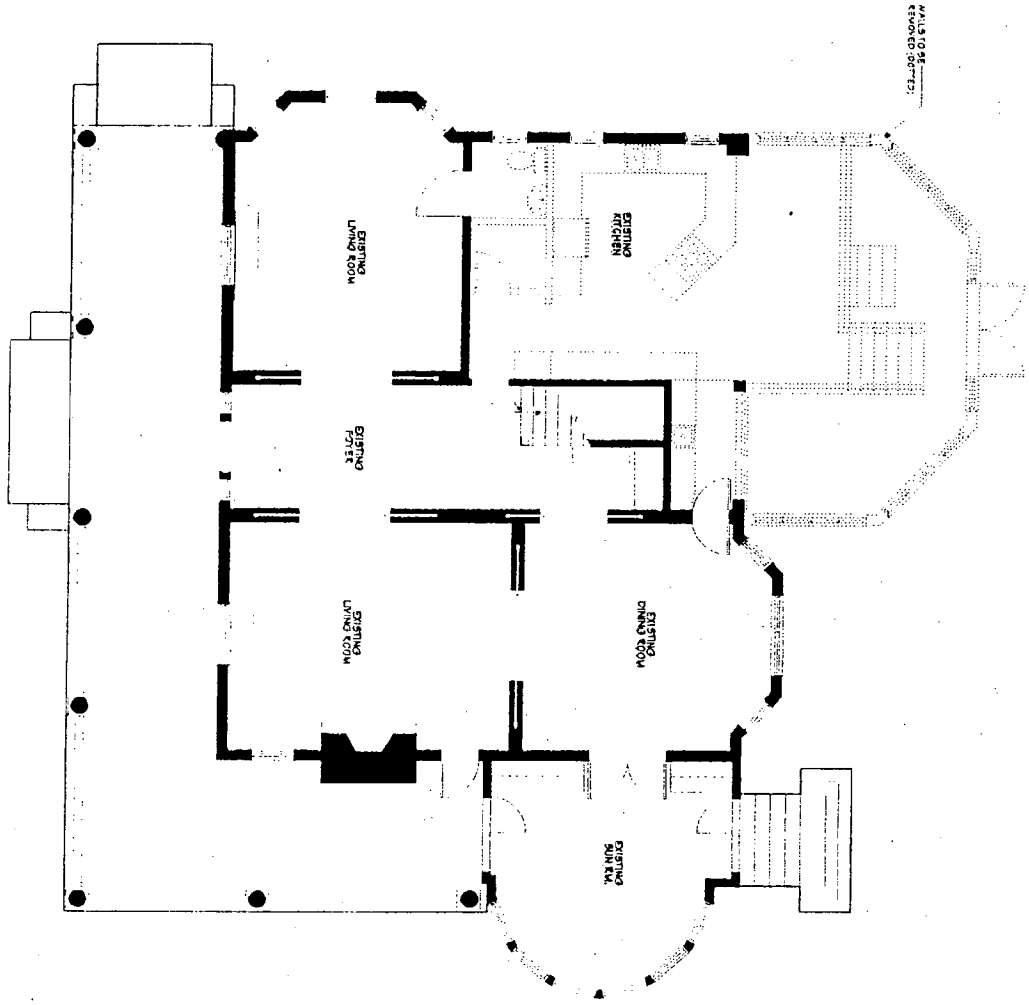
PROPOSED EAST ELEVATION
SCALE 1/8" = 1'-0"

LUCARELLI, MONTES AND WELLS ARCHITECTS
6723 WHITTIER AVE. SUITE 100 McLEAN, VIRGINIA 22101
GLOWACKI RESIDENCE #10 GRAFTON ST CHEVY CHASE MD

ELEVATIONS

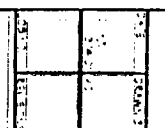
DATE	REVISION

A-4



EXISTING FIRST FLOOR PLAN W/ DEMO

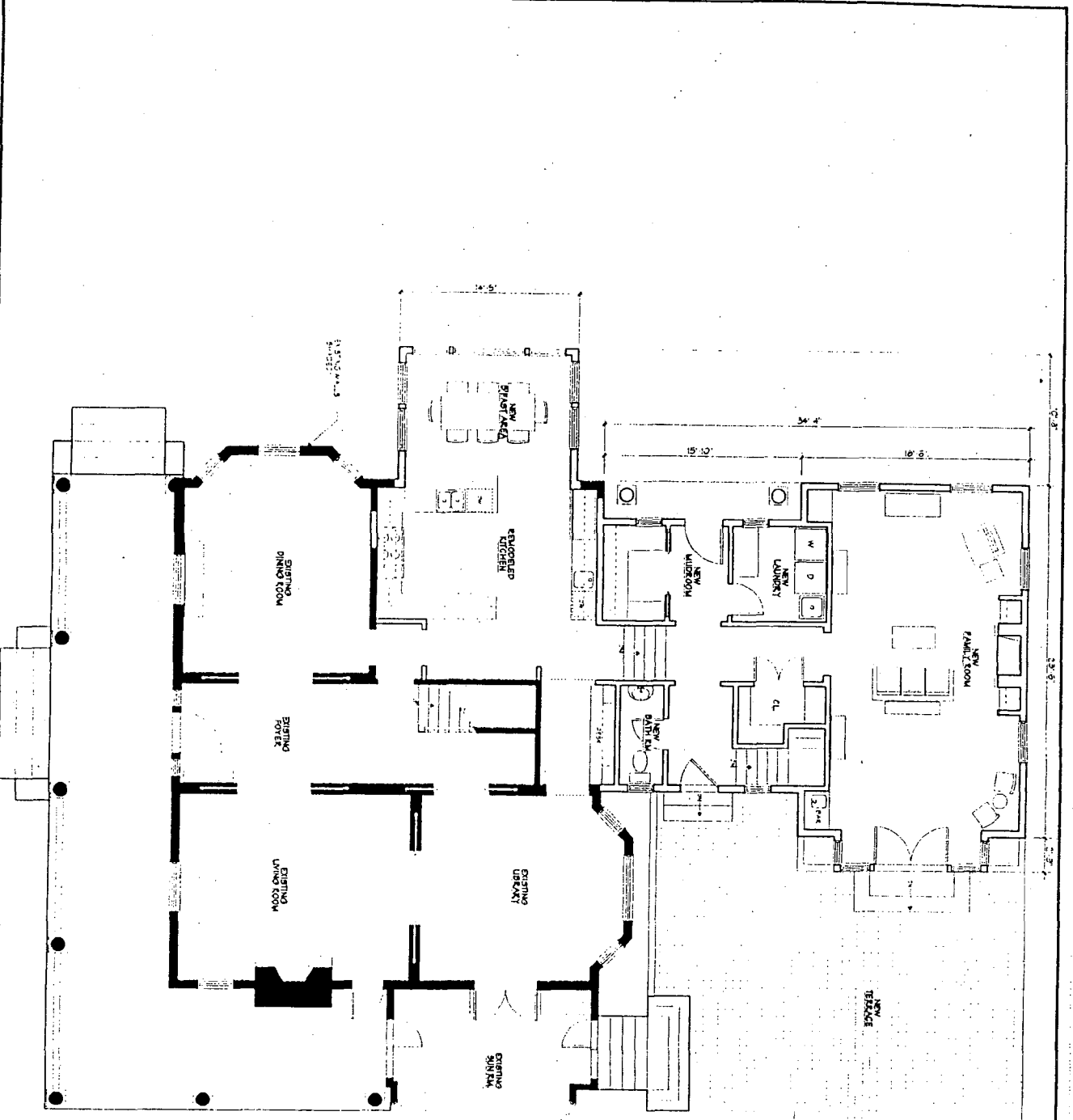
D-1



EXISTING FLOOR PLAN

LUCARELLI, MONTES AND WELLS ARCHITECTS
 6723 WHITTIER AVE. SUITE 100 McLEAN, VIRGINIA 22101
 GLOWACKI RESIDENCE #10 GRAFTON ST. CHEVY CHASE MD.

10

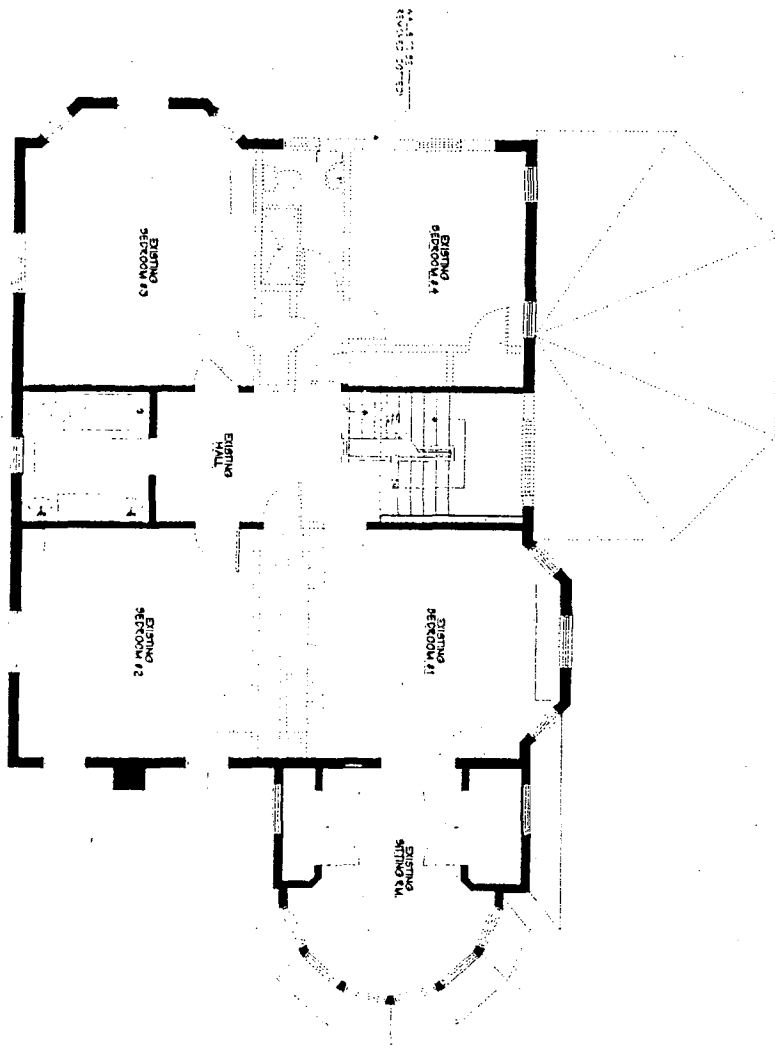


PROPOSED FIRST FLOOR PLAN
3.1.2013

A-1	DATE	3.1.2013
	SCALE	1/8" = 1'-0"
DRAWN BY: [Signature]		

FLOOR PLANS
LUCARELLI, MONTES AND WELLS ARCHITECTS
 6723 WHITTIER AVE. SUITE 100 McLEAN, VIRGINIA 22101
 GLOWACKI RESIDENCE #10 GRAFTON ST CHEVY CHASE MD





EXISTING SECOND FLOOR PLAN W/ DEMO

2011.03.02

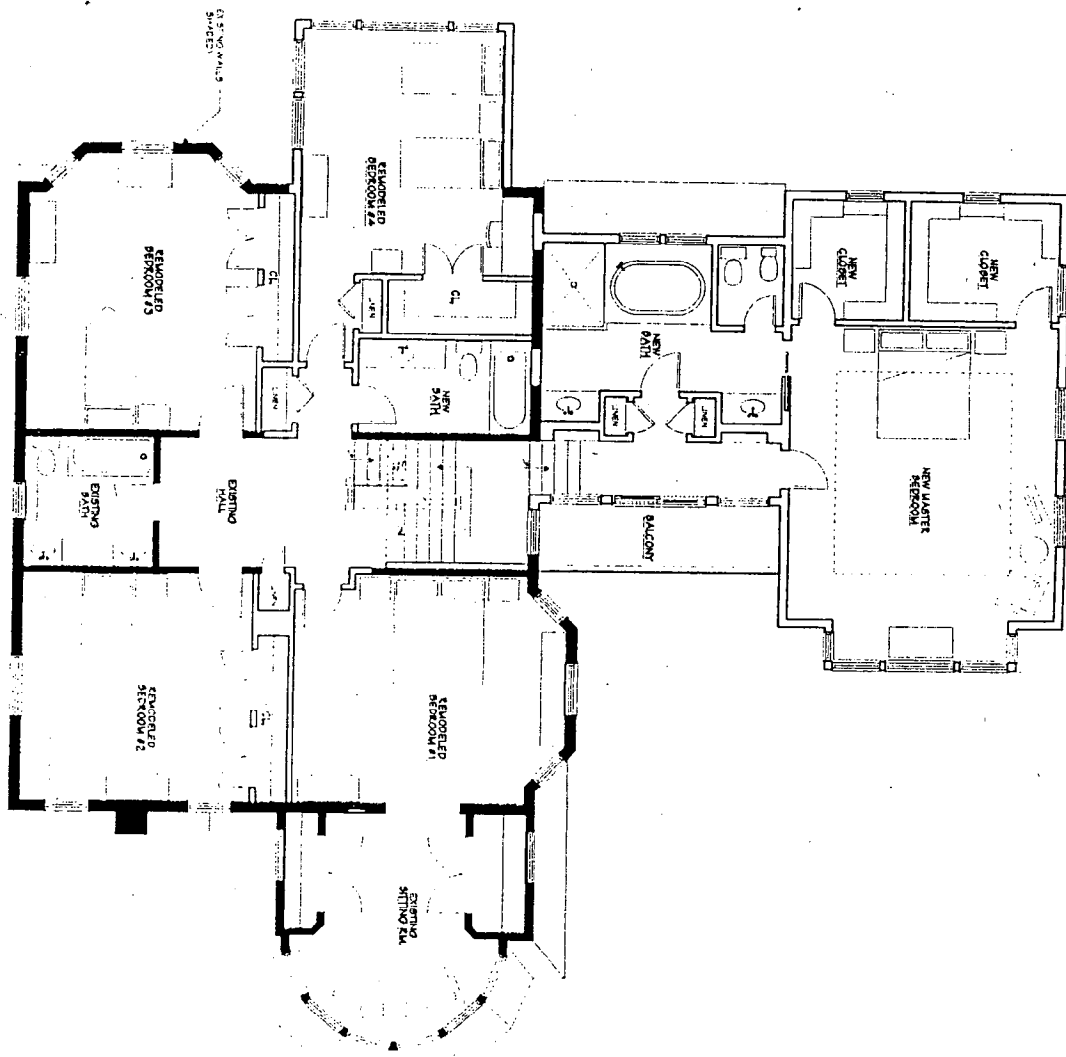
D-2

DATE	REVISION

EXISTING FLOOR PLAN

LUCARELLI, MONTES AND WELLS ARCHITECTS
 6723 WHITTIER AVE. SUITE 100 McLEAN, VIRGINIA 22101
 GLOWACKI RESIDENCE #10 GRAFTON ST. CHEVY CHASE MD.

(2)



PROPOSED SECOND FLOOR PLAN
 5/12/03 3:00 P.M.

A-2

SCALE	1/4" = 1'-0"
DATE	5/12/03
PROJECT	GLOWACKI RESIDENCE

FLOOR PLANS

LUCARELLI, MONTES AND WELLS ARCHITECTS
 6723 WHITTIER AVE. SUITE 100 McLEAN, VIRGINIA 22101
 GLOWACKI RESIDENCE #10 GRAFTON ST. CHEVY CHASE MD

(13)



NORTH ELEVATION
10 GRAFTON STREET, CHEVY CHASE, MD.



SOUTH ELEVATION
10 GRAFTON STREET, CHEVY CHASE, MD.

LUCARELLI, MONTES ■■ WELLS, LLC

6723 Whittier Ave, Suite 100, McLean, Virginia 22101 (703) 790-9606 FAX (703) 790-9608

FACSIMILE TRANSMITTAL FORM

Fax to : Michele Naru

Company Name : Montgomery CO. Dept. of Park and Planning

Fax # : 301.563.3412

Date: 10.5.01

From : Virginia Canciello

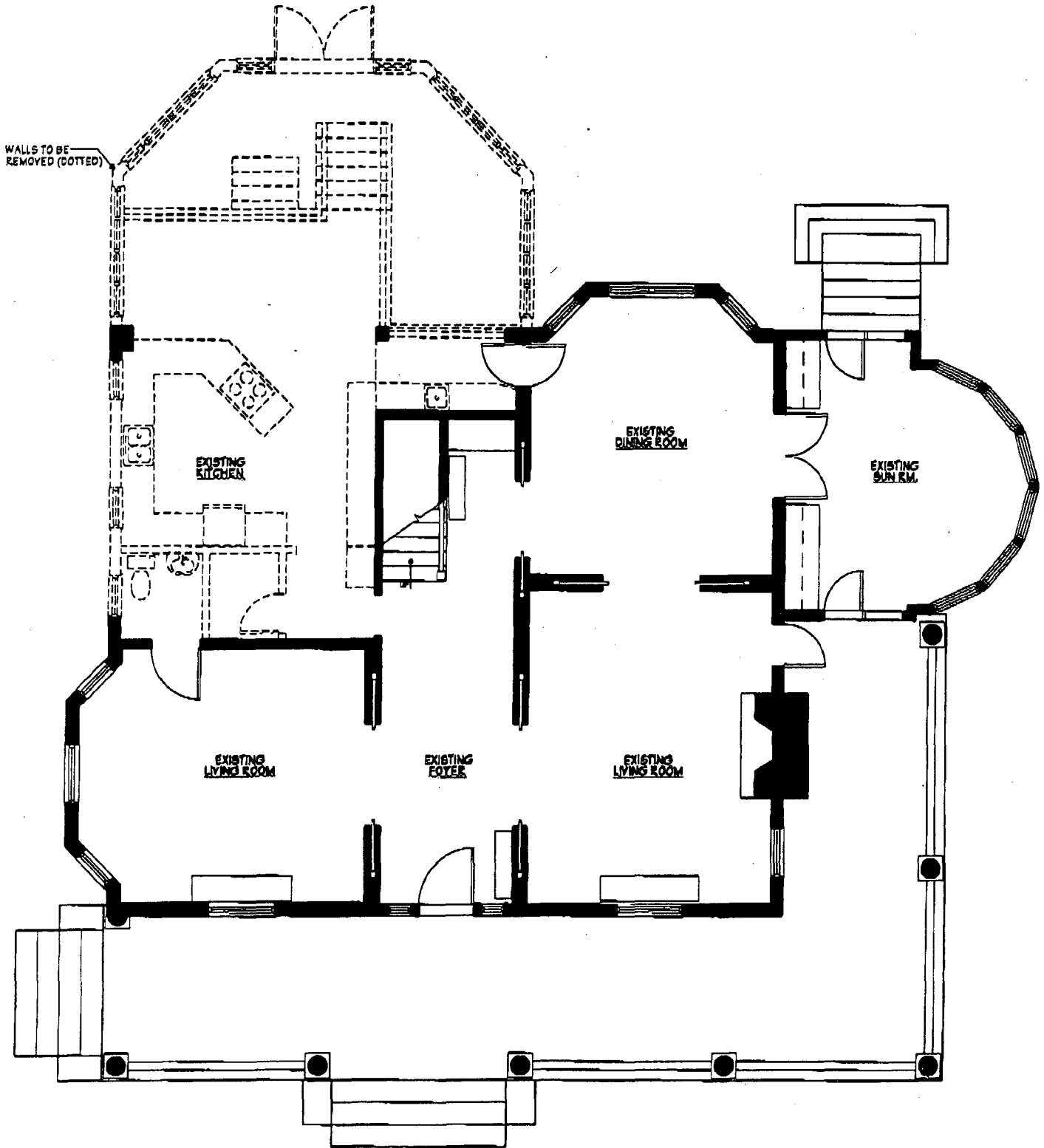
Regarding : Addition at 10 Grafton St. Chevy Chase, MD

Remarks :

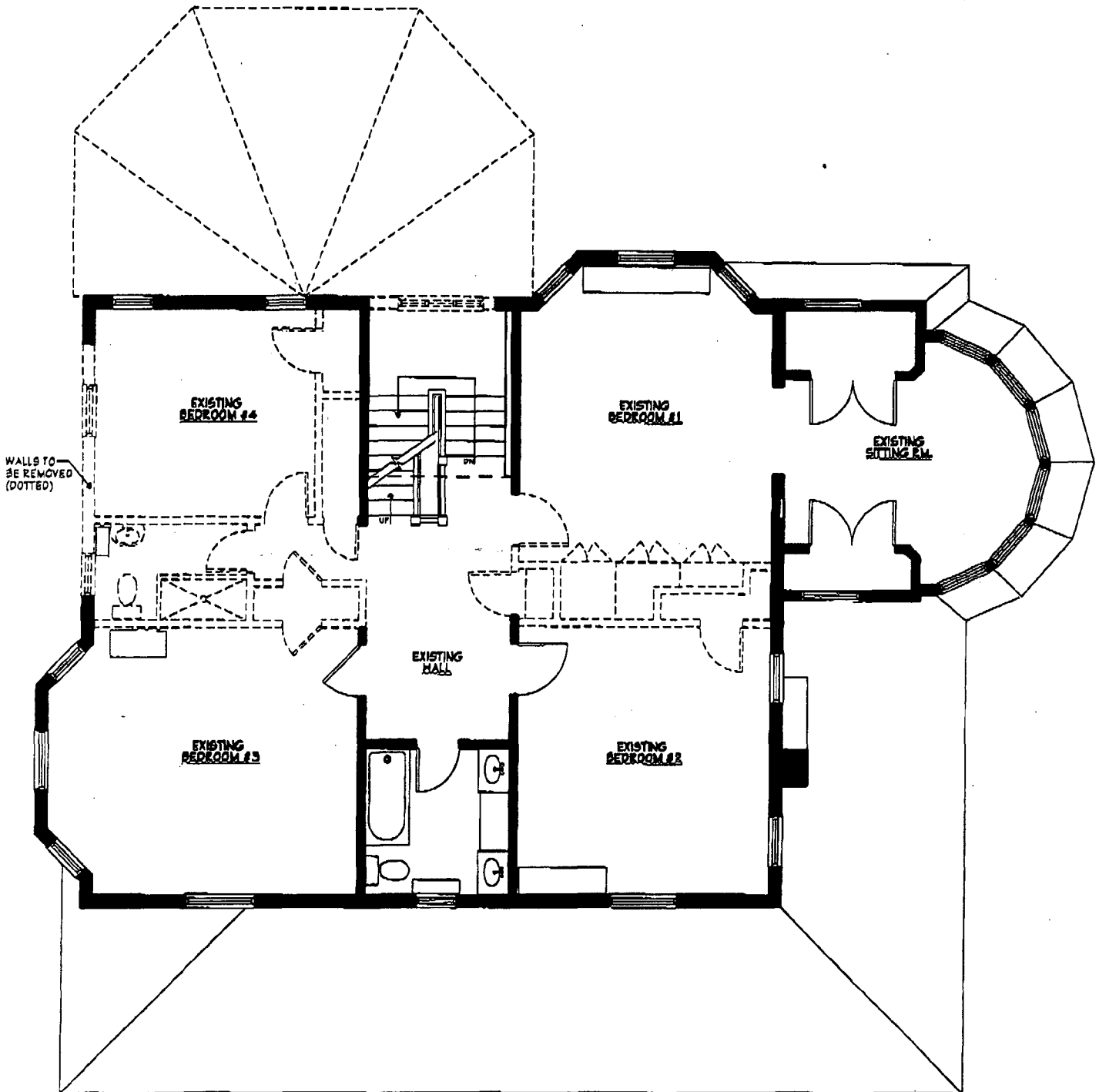
Attached is additional information for our HAWP application as we discussed. Included are existing building plans (with proposed demo) and elevations, new window schedule, and window, column, and millwork product specifications. Please call if you need any further information.

-VC

Transmission of 26 pages includes this cover sheet and will constitute a transmittal document of the Architect's records. Please contact our office in the event of a transmission failure.



10 GRAFTON STREET
LUCARELLI, MONTES ■ WELLS
EXISTING FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



10 GRAFTON STREET
LUCARELLI, MONTES ■ WELLS
EXISTING SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"



10 GRAFTON STREET
LUCARELLI, MONTES ■■ WELLS
EXISTING NORTH ELEVATION
SCALE 1/8" = 1'-0"



10 GRAFTON STREET
LUCARELLI, MONTES ■ WELLS
EXISTING SOUTH ELEVATION

SCALE 1/8" = 1'-0"



10 GRAFTON STREET
LUCARELLI, MONTES ■ WELLS
EXISTING WEST ELEVATION

SCALE 1/8" = 1'-0"



10 GRAFTON STREET
LUCARELLI, MONTES ■ WELLS
EXISTING EAST ELEVATION

SCALE 1/8" = 1'-0"

WINDOW SCHEDULE

10 GRAFTON STREET CHEVY CHASE, MD.

KEY	DESCRIPTION	WINDOW #	QUANTITY	ROUGH OPENING (W x H)	SILL HEIGHT A.F.F.	REMARKS
(A)	CLAD ULTIMATE DOUBLE HUNG	CUDH3030	2	3'-0 3/8" x 5'-8 7/8"	MOUNT ABOVE 'B' UNIT	
(B)	CLAD ULTIMATE DOUBLE HUNG TRANSOM UNIT	CUDHT3012	2	3'-0 3/8" x 1'-8 3/16"	1 1/2"	
(C)	CLAD ULTIMATE DOUBLE HUNG	CUDH2430	2	2'-6 3/8" x 5'-8 7/8"	MOUNT ABOVE 'D' UNIT	
(D)	CLAD ULTIMATE DOUBLE HUNG TRANSOM UNIT	CUDHT2412	2	2'-6 3/8" x 1'-8 3/16"	1 1/2"	
(E)	CLAD ULTIMATE DOUBLE HUNG	CUDH3630	8	3'-6 3/8" x 5'-8 7/8"	2'-5" OR ABOVE 'F' UNIT SEE ELEV.	
(F)	CLAD ULTIMATE DOUBLE HUNG TRANSOM UNIT	CUDHT3612	8	3'-6 3/8" x 1'-8 3/16"	1 1/2" OR ABOVE 'E' UNIT SEE ELEV.	
(G)	CLAD CASEMASTER	CCM2424	4	2'-1" x 1'-11 5/8"	6'-0 3/8"	
(H)	CLAD ULTIMATE DOUBLE HUNG	CUDH1630	2	1'-10 3/8" x 5'-8 7/8"	2'-5"	TEMPERED GLASS
(I)	CLAD ULTIMATE DOUBLE HUNG TRANSOM UNIT	CUSTOM	2	1'-10 3/8" x 2'-0 1/2"	MOUNT ABOVE 'H' UNIT	
(J)	CLAD INSWING FRENCH DOOR TRANSOM UNIT	CIFDT2020	2	2'-2 7/16" x 2'-0 1/2"	MOUNT ABOVE 'Z' UNIT	
(K)	CLAD INSWING FRENCH DOOR TRANSOM UNIT	CIFDT6020	1	6'-1 5/8" x 2'-0 1/2"	MOUNT ABOVE 'Y' UNIT	
(L)	CLAD ULTIMATE DOUBLE HUNG	CUDH2028	2	2'-2 3/8" x 5'-4 7/8"		
(M)	CLAD ULTIMATE DOUBLE HUNG TRANSOM UNIT	CUDHT2012	2	2'-2 3/8" x 1'-8 3/16"	MOUNT ABOVE 'L' UNIT	
(N)	CLAD ULTIMATE DOUBLE HUNG TRANSOM UNIT	CUSTOM	1	6'-1 5/8" x 1'-8 3/16"	ALIGN W/ B.O. 'M' UNIT	
(O)	CLAD ULTIMATE DOUBLE HUNG	CUDH1628	2	1'-10 3/8" x 5'-4 7/8"	2'-0"	
(P)	CLAD ULTIMATE DOUBLE HUNG TRANSOM UNIT	CUDHT1612	2	1'-10 3/8" x 1'-8 3/16"	MOUNT ABOVE 'O' UNIT	
(Q)	CLAD ULTIMATE DOUBLE HUNG	CUDH3628	7	3'-6 3/8" x 5'-4 7/8"	2'-0"	
(R)	CLAD AWNING	CAWN4020	3	3'-5" x 1'-7 5/8"	5'-6"	
(S)	CLAD ULTIMATE DOUBLE HUNG	CUDH3020	2	3'-0 3/8" x 4'-0 7/8"	3'-4"	
(T)	CLAD ULTIMATE DOUBLE HUNG	CUDH2428	2	2'-6 3/8" x 5'-4 7/8"	2'-0"	
(U)	CLAD ULTIMATE DOUBLE HUNG	CUDH3028	2	3'-0 3/8" x 5'-4 7/8"	2'-0"	
(V)	CLAD ULTIMATE INSWING FRENCH DOOR	CUIFD3080	2	3'-2 7/16" x 8'-2 1/2"	N/A	TEMPERED GLASS
(W)	CLAD SLIDING FRENCH DOOR	CSFDR6068 X0	1	6'-1 5/8" x 6'-10 1/2"	N/A	TEMPERED GLASS
(X)	CLAD SLIDING FRENCH DOOR SIDELITE	CSFDR2668 0	2	2'-10 1/2" x 6'-10 1/2"	N/A	TEMPERED GLASS
(Y)	CLAD ULTIMATE INSWING FRENCH DOOR	CUIFD6080	1	6'-1 5/8" x 8'-2 1/2"	N/A	TEMPERED GLASS
(Z)	CLAD ULTIMATE INSWING FRENCH DOOR SIDELITE	CUIFD2080	2	2'-2 7/16" x 8'-2 1/2"	N/A	TEMPERED GLASS

NOTE:

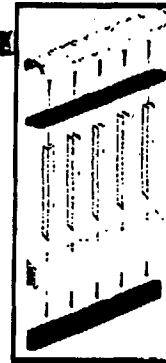
1. ALL MODEL NUMBERS SPECIFIED ARE MARVIN UNLESS OTHERWISE NOTED.
2. ALL NEW WINDOWS IN ADDITION TO RECEIVE JAMB EXTENSIONS.



Industrial Products

Gossen will work with your engineering people to custom develop products to fit perfectly into your manufacturing system. Our customers vary from display and furniture manufacturers to window and door manufacturers. We extrude and vacuum-calibrate all of our parts to customer specifications.

Besides replacing wood, we also produce parts to replace rolled steel and aluminum – finished or colored to meet specific customer needs.



PVC Tips and Tech

ADVANTAGES OF GOSSEN CELLULAR PVC MILLWORK

- ▶ Will not rot
- ▶ Resists mildew and fungus
- ▶ Will not absorb moisture
- ▶ Excellent 'R' value
- ▶ Carries a UL-V0-94 fire rating
- ▶ Smoke contribution is well below ASTM standards
- ▶ Expansion/contraction rate is well below rigid PVC. Cellular PVC is 0.2% vs rigid PVC at 3.7% ASTM 1037 to D-696
- ▶ Passed salt water exposure of 1000 hrs
- ▶ Surface hardness is superior to pine
- ▶ Screw holding power is superior to pine ASTM D-1761 Gossen brick mould 400 lbs / Pine brick mould: 363 lbs

PAINTING GOSSEN CELLULAR PVC MILLWORK

Painting of Gossen's millwork profiles is not required for varying periods of time depending on exposure to ultraviolet rays and pollution. Gossen does add UV inhibitors to its exterior compound formulations to slow the fading process. Should immediate painting be desired, follow these instructions:

- ▶ Clean surface to be painted
- ▶ For a good one-step process paint surface with acrylic exterior latex paint
- ▶ For latex paint use a latex or acrylic primer before applying the finish coat

OIL BASE PAINTS

- ▶ Lightly sand surface
- ▶ Paint surface with fast-drying alkyd primer
- ▶ Allow to dry
- ▶ Apply finish coat

BENDING GOSSEN CELLULAR PVC MILLWORK

The technique of bending Gossen PVC millwork improves process time for millwork manufacturers and improves opportunities for new rot-free products.

Convection heat is preferred. Hot oil can also be used, but in some cases, high heat may cause the surface to blister.

The recommended temp is 300° - 315° F. Oven time will vary depending upon the size and density of the profile.

NOTE: Allow a 2% shrinkage in length for all profiles. Following are typical time examples:

- ▶ Brick Mould: 12-15 minutes
- ▶ Casings: 5-7 minutes
- ▶ Jamb: 5-7 minutes
- ▶ Stops: 2-4 minutes

JOINING OR FASTENING GOSSEN CELLULAR PVC MILLWORK

PVC to PVC or PVC to wood, use screws or adhesive.

Recommended screws:

Drywall screws with large thread or flute.

Recommended adhesive:

Sub-floor adhesive or PVC cement.

Holes can be filled with colored caulk or putty.

To raise dents or marks on the profiles, use a hair dryer.

Exposure to mixtures of water and muriatic acid used to clean masonry and brick will not affect the surface of our exterior mouldings.

Gossen Corporation



Mouldings and Trim

INTERIOR & EXTERIOR SOLID WHITE CELLULAR PVC

Inspired by the demand for low-maintenance exterior products, Gossen has created a new line of exterior trim and decorative mouldings. These profiles were designed for various applications, while still keeping in mind wood moulding and millwork specifications. Installation and milling procedures for these mouldings

are similar to wood. The solid white color does not require painting for an extended period of time, but can be easily painted if desired. Gossen Cellular PVC Millwork is very stable in changing weather conditions and will not absorb moisture. These mouldings can be ordered in specific lengths.

CODE	PATTERN	SIZE	CODE	PATTERN	SIZE
307	Casing	5/8" x 2 1/4"	856	Stop	3/8" x 1 3/8"
356	Casing	1 1/16" x 2 1/4"	936	Stop	7/16" x 1 3/8"
444	Casing	1 1/16" x 3 1/2"	417	Stop	1/2" x 2"
229	RB3 Casing	1" x 3 15/32"	164	Base Cap	1 1/16" x 1 1/8"
723	Base	1/2" x 3 1/4"	75	Bed	9/16" x 1 3/8"
725	Base	1/2" x 2 1/2"	287	Rake	1 1/16" x 2"
623	Base	9/16" x 3 1/4"	210	Rake	1 1/16" x 1 3/8"
49	Crown	1 1/16" x 3 3/8"	328	Trim Board	3/8" x 3 1/2"
47	Crown	1 1/16" x 4 3/8"	515	Trim Board / Facia	3/8" x 5 1/2"
			283	Drip Cap	1 1/16" x 1 3/8"





Window Components

EXTERIOR SOLID WHITE CELLULAR PVC

As demand continues for the traditional look of a wood window, millwork manufacturers and fabricators are looking for energy conscious and low-maintenance materials. To help fulfill this need, Gossen has developed and continues to develop Cellular PVC components for this industry. Besides the no rot benefit, these components

are easy to work with using existing woodworking equipment. This in turn reduces the cost of switching or adding PVC to their programs. Another advantage of Cellular PVC is its bendable feature for use on round top, circle, and elliptical windows. These mouldings can also be ordered in specific lengths.



CODE PATTERN SIZE
6328-706 Jamb 5/8" x 4 9/16"



6329-706 Stop 5/8" x 1 3/4"



6350-706 Mull 5/8" x 1 3/8"



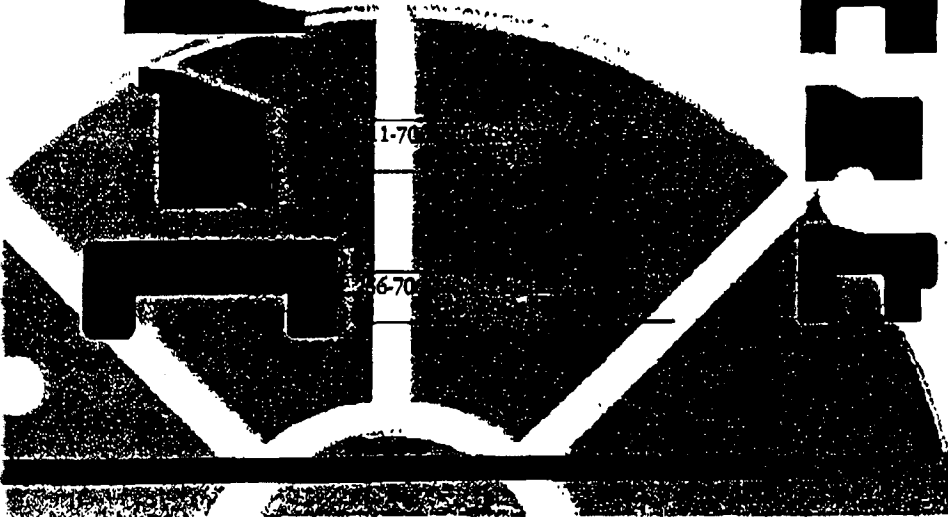
1038-706 Stop 3/4" x 1 3/8"



4102-706 Stop 7/16" x 1 5/16"



4200-706 Stop/Cove 3/4" x 1 1/8"



1-706

6-706



CODE PATTERN SIZE
6330-706 Stop 5/8" x 5/8"



6800-706 Window Sill 1 1/4" x 4 3/4"



6830-706 Sill Nose 1 5/8" x 1 5/8"



0202-706 Subsill 1 1/8" x 3 1/4"



6840-706 Blind Stop 1 1/16" x 1 3/16"



6880 Blind Stop 5/8" x 1 1/4"



850 Brick Mould 1 1/4" x 2"
Duracap™, 3 sides Capstock

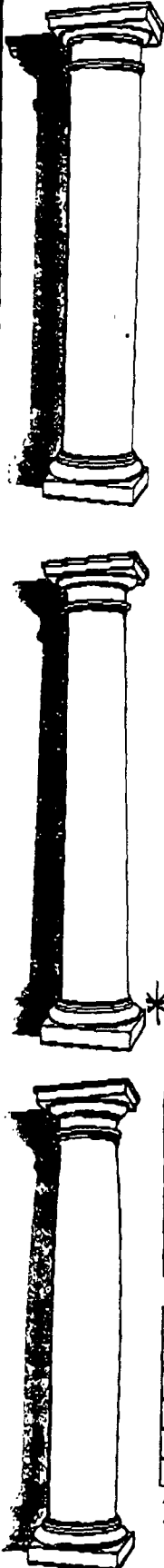


4000 Brick Mould 1 1/4" x 1 3/32"



6850-706 Kerfed
Brick Mould 1 1/2" x 2"
Kerfing .3125 x .1875

EDDON FIBERGLASS COLUMN COVERS



FIBERGLASS COLUMN COVERS

Straight Shaft Tuscan Column Covers*

MODEL NO.	EC-110A	EC-110B	EC-110C	EC-110D	EC-110E	EC-110F	EC-110G	EC-110H	EC-110J	EC-110K	EC-110L	EC-110M
DIAMETER	7 1/2"	10"	12"	14"	16"	18"	21"	24"	8"	15"	30"	20"
HEIGHT*	10'	15'	12'-0"	15'-0"	11'-0"	10'-0"	10'-0"	20'	10'-0"	12'-6"	15'-0"	10'-0"
BASE WIDTH	12"	1'-1 1/2"	1'-4"	1'-7 1/8"	1'-8"	2'-0"	2'-3"	2'-8 1/2"	1'-2 1/2"	1'-8"	3'-4"	2'-2 5/8"
CAP WIDTH	12"	1'-1 1/2"	1'-7 1/4"	1'-7 5/8"	1'-11 1/4"	2'-1 1/2"	2'-6"	2'-9 3/8"	1'-2 1/2"	1'-11"	3'-9"	2'-4"

* = MAY BE VARIED TO ANY HEIGHT REQUESTED
 * DORIC 110A



Fiberglass Reinforced Polyester is extremely versatile as well as durable. Its design fluidity allows it to be shaped into virtually any configuration. Its color is not simply surface-deep but homogeneously intrinsic in the material itself...and it can match any color. FRP can be finished to achieve any desired effect, from high gloss to masonry and can be easily refinished on-site.

Tapered Styled Tuscan Column Covers

MODEL NO.	EC-120A	EC-120B	EC-120D	EC-120G	EC-120L	EC-120P	EC-120W
DIA. @ SHAFT	8"	10"	2'-0"	1'-4"	1'-7"	2'-0"	6"
DIA. @ NECK	6 5/8"	8 5/8"	1'-9"	1'-2"	1'-4"	1'-6"	4"
HEIGHT*	6'-2"	6'-2"	8'-0"	11'-0"	14'-6"	15'-0"	9'-6"
BASE WIDTH	1'-0 1/2"	1'-2 1/2"	2'-8 1/2"	1'-8"	2'-0 3/8"	3'-6"	9"
CAP WIDTH	11-1/4"	1'-1 1/4"	2'-6"	1'-9"	1'-11 1/4"	2'-10"	9"



Entasis Style Tuscan Column Covers*

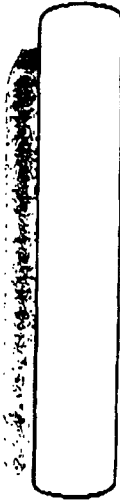
MODEL NO.	EC-120C	EC-120E	EC-120F	ED-120H	EC-120J	EC-120L1	EC-120K	EC-120M	EC-120N	EC-120Q	EC-120R
DIA. @ SHAFT	10"	9"	1'-1 1/2"	1'-5"	1'-5"	1'-5"	1'-6"	1'-8"	1'-11"	3'-0"	1'-0"
DIA. @ NECK	8"	7 3/4"	11 1/8"	1'-2"	1'-2 1/2"	1'-2"	1'-3"	1'-4"	1'-9"	2'-6"	10"
HEIGHT*	10'-0"	8'-0"	12'-0"	9'-7"	13'-2 1/2"	8'-8"	12'-0"	12'-8 5/8"	11'-9"	25'-7 3/8"	12'-0"
BASE WIDTH	1'-1 1/2"	1'-1 1/2"	1'-6 1/2"	1'-10"	1'-9 3/4"	1'-9 3/4"	2'-0"	2'-2 5/8"	2'-4"	4'-0"	1'-4"
CAP WIDTH	1'-0 1/2"	11 1/2"	1'-5 3/4"	1'-6"	1'-9"	1'-8 3/4"	1'-11"	1'-11"	2'-4 3/4"	3'-9"	1'-3 1/2"

MODEL NO.	EC-120S	EC-120T	EC-120U	EC-120U.1	EC-120V	EC-120X	EC-120Y
DIA. @ SHAFT	1'-7"	1'-3"	2'-0"	2'-0"	3'-4"	1'-4"	2'-4"
DIA. @ NECK	1'-4"	1'-0 1/2"	1'-8"	1'-8"	2'-9 5/16"	11"	1'-11 3/4"
HEIGHT*	14'-6"	10'-6"	14'-0"	20'-6"	27'-0"	9'-0"	24'-0"
BASE WIDTH	2'-0 3/8"	1'-8"	2'-8"	2'-8 1/2"	4'-4 3/4"	1'-8"	3'-2"
CAP WIDTH	1'-11 1/4"	1'-7 3/4"	2'-4"	2'-6"	4'-3 1/16"	1'-5 1/2"	2'-11 1/8"

* = SOME MODIFICATION TO HEIGHT CAN BE MADE.
 * DORIC 120R



SETTING THE STANDARD IN FIBERGLASS COLUMNS



Straight Shaft Column Covers'

MODEL NO.	EC-10T	EC-10TA	EC-10TB	EC-10TC	EC-10TD	EC-10TE	EC-10TF	ED-10TG	EC-10TH	EC-10TJ	EC-10TK	EC-10TL
DIAMETER'	8"	9"	10"	12"	14"	16"	18"	21"	24"	30"	36"	48"
HEIGHT'	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	20'-0"	15'-0"	9'-0"	12'-6"

MODEL NO.	EC-101M	EC-101N	EC-101P	EC-101Q	EC-101R	EC-101S	EC-101T	ED-101U	EC-101V	EC-101W	EC-101X
DIAMETER	7 1/2"	15"	20"	25"	40"	42"	52"D	62"D	84"E	27"	11"
HEIGHT'	9'-0"	10'-0"	10'-0"	10'-0"	9'-6"	12'-0"	10'-0"	10'-0"	10'-0"	10'	7'-6"

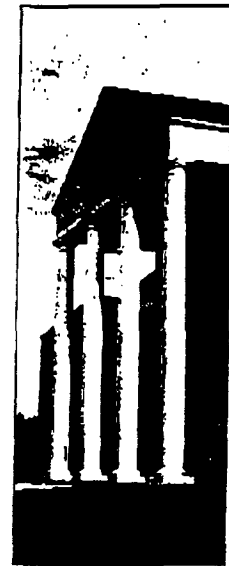
* = MAY BE VARIED TO ANY HEIGHT REQUESTED. A = 18" SQUARE CAP BASE
 B = 3 PIECE COLUMN COVER WITH REVEALS C = 16" SQUARE BASE
 D = 4 PIECE COLUMN COVER WITH REVEALS E = 8 PIECE COLUMN COVER WITH REVEALS

EC-102	EC-103	EC-104
18"A	28"B	14 1/2"C
10'-3"	7'-10"	10'-0"

EDON has earned a 30-year reputation as a unique source of architectural fiberglass column covers. Unique, because the columns presented here only begin to express the full range of EDON architect-engineered products. EDON's complete design, manufacturing and production capabilities ensure the quality and economy of every column.

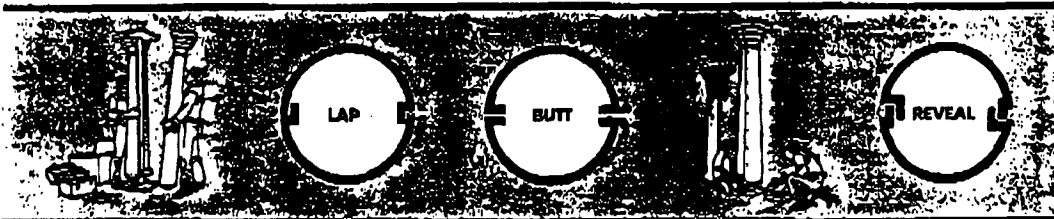
Fluted Column Covers

EP-114	16" W x 13'-0" H	Scamozzi Straight Pilaster
EP-120	18" W x 9'-9" H	Tuscan Straight Pilaster
EP-121	2'-7 1/4" W x 16'-9" H	Tuscan Straight Pilaster
EC-132	14" D x 9'-4 1/2" H	Tuscan Entasis Column
EC-140	8" D x 10'-0" H	Tuscan Straight Shaft Column
EC-141	16" D x 8'-0" H	Doric Tapered Column
EC-145	22" D x 18'-4" H	Entasis Column/Corinthian Capital
EC-151	18" D x 9'-9" H	Tuscan Entasis Column
EC-152	14" D x 16'-7 1/2" H	Temple of the Winds Entasis Column
EC-153	14" D x 16'-4 1/4" H	Tuscan Entasis Column



Specifications

EDON column covers are molded in 1/2 sections with either lap joints, butt joints or reveal joints for ease of assembly and installation. **Materials:** Fiberglass Reinforced Polyester (FRP) molded with Class "A" fire-rated resins, low smoke density, are available in a variety of colors and finishes. **Shop Drawings:** EDON shop drawings shall show dimensions, thickness, and attachment details prior to construction. **Delivery:** Quotations by EDON are FOB plant in Horsham, PA, unless requested otherwise. Crating and shipping of columns may be quoted separately. EDON can arrange direct padded van shipments from plant to site.



Guarantee:

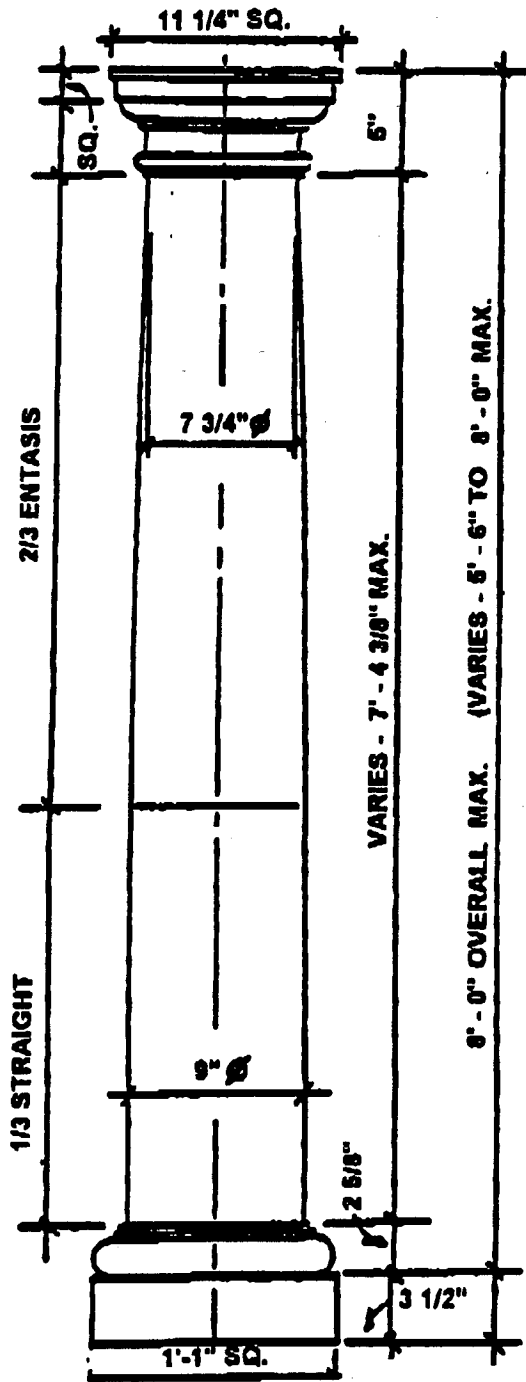
EDON guarantees its product against defects in material and workmanship for a period of one year from date of delivery to site.

AND CORNICES FOR THE CONSTRUCTION INDUSTRY



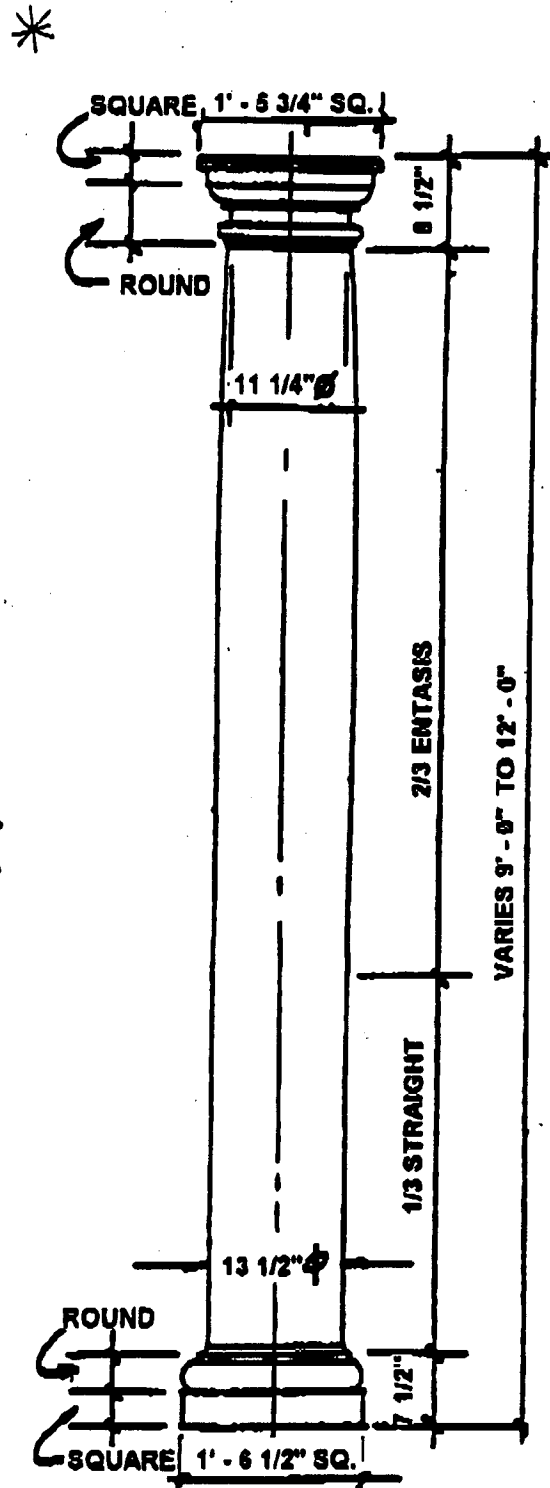
MADE IN U.S.A. 3

EDON fiberglass



EC-120E

**9" \varnothing TUSCAN ENTASIS
SHAFT COLUMN**



EC-120F

**13 1/2" \varnothing TUSCAN ENTASIS
SHAFT COLUMN**

Marvin Details

Enjoy the view, inside and out.

The true beauty of Marvin windows and doors is that each one can capture a little of how you look at the world. From lite patterns as traditional or cutting-edge as you are, down to details such as the finish you choose for the hardware, there's an opportunity to personalize every *made for you* component.

Divided lites offer unlimited opportunities for creativity. Marvin has three distinct ways to bring out the best in our window designs. Authentic Divided Lites (ADL) feature separate pieces of glass individually glazed between muntin bars on our wood windows, the way windows have been made since the beginning. Only now, Marvin's state-of-the-art design adds energy efficiency to traditional appeal.

Simulated Divided Lites (SDL) offer traditional or contemporary style plus energy efficiency. SDL bars are permanently adhered to both sides of the glass in just about any pattern you can imagine. And for an even more authentic look, spacer bars can be installed between the panes of glass, creating the illusion of Authentic Divided Lites.

Solid pine Grilles on the interior of your window also offer the classic divided lite look, and like Authentic and Simulated Divided Lites, are available in both standard and custom patterns. And best of all — grilles are easily removed and put back in, making window cleaning a snap.



Authentic Divided Lites (ADL) — the choice of many historic renovators or anyone looking for an authentic touch.

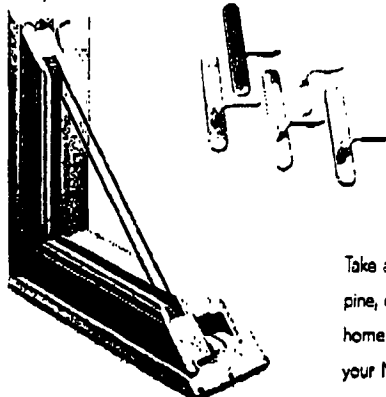


* Simulated Divided Lites (SDL) — all the traditional beauty, plus exceptional energy efficiency and amazing design flexibility.



Grilles — easy cleaning, classic look.

Authentic or Simulated Divided Lites?
Large units or multiple assemblies? Can't decide? Give one of our resourceful Marvin representatives a call. They'll make sure you know everything about all the options, and help you decide which combination of *perfect* is perfect for you.



You can select from several finishes for the hardware on many of our windows and doors. For instance, the stylish Ultimate French Door handles are available in Bright Brass, Antique Brass, Polished Chrome, White and Brushed Chrome.

Take a close look at the interior of our windows. Clear natural pine, delightfully smooth to touch. Nothing is more beautiful in a home than real wood, especially when you finish the interior of your Marvin window or door to perfectly match your decor.

Marvin Clad Durability

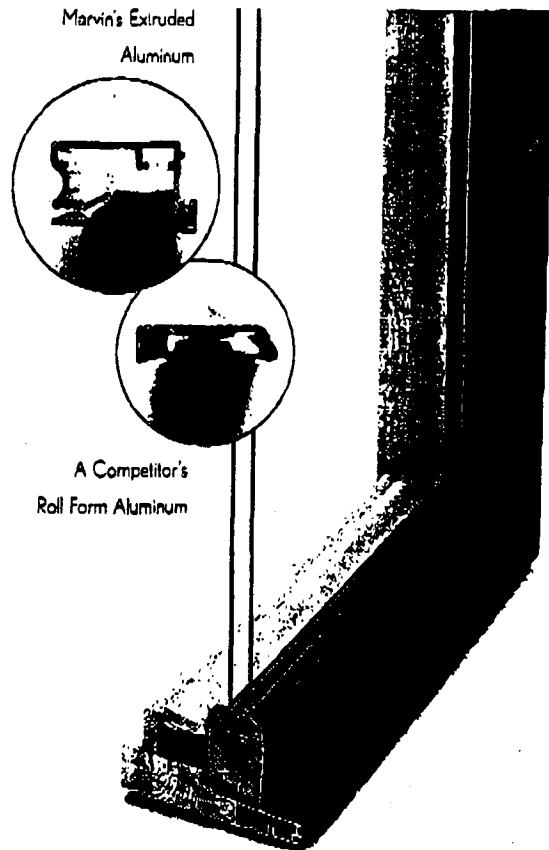
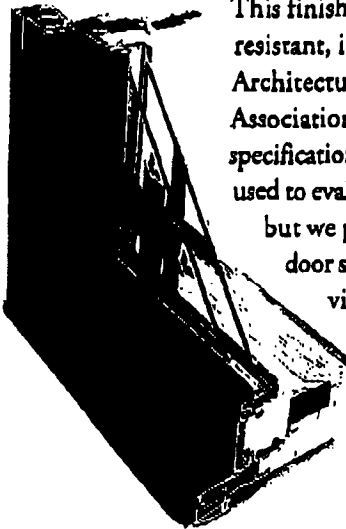
Do you dream in color? If so, which one?

Imagine windows in White, Pebble Gray, Bahama Brown, Bronze, or Evergreen. Now, imagine not having to paint or scrape them for a long, long time. Marvin's exterior cladding doesn't just offer exceptional protection against the elements — our standard finish actually means less work for you, and beautiful windows for years.

We start with molten aluminum formed into a billet. The billet is then heated to high temperatures and forced under high pressure through profile dies, creating a thick, tough cladding that far out-performs the thin roll form aluminum you might see on other windows. These clad extrusions resist impact and abrasion at installation and for years to come.

Next, the aluminum extrusions go through a rigorous five-step pre-treatment that includes cleaners, rinses, and a chromic acid surface preparation to ensure that our finish adheres smoothly and permanently. Finally, a fluoropolymer finish is chemically bonded to the cladding, to protect your windows and doors from the elements.

This finish is so strong, so abrasion-resistant, it exceeds the American Architectural Manufacturers Association's (AAMA) 605.2-92 specification. This standard is typically used to evaluate commercial products, but we put it on your window or door so you can enjoy a beautiful, virtually maintenance-free window or door.



Put our extruded aluminum next to any roll form cladding, and you can see and feel the difference.

Choose your color: five standard colors are available, or ask your dealer about custom color possibilities.

Our finish stands up to intense acid tests, salt spray tests, UV fading evaluations and brutal weathering simulations. The result? Beautiful, smooth window exteriors, with virtually unaffected color and gloss.

White



Pebble Gray



Bahama Brown



Bronze



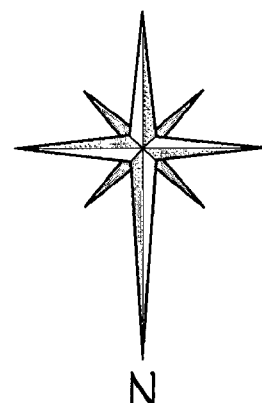
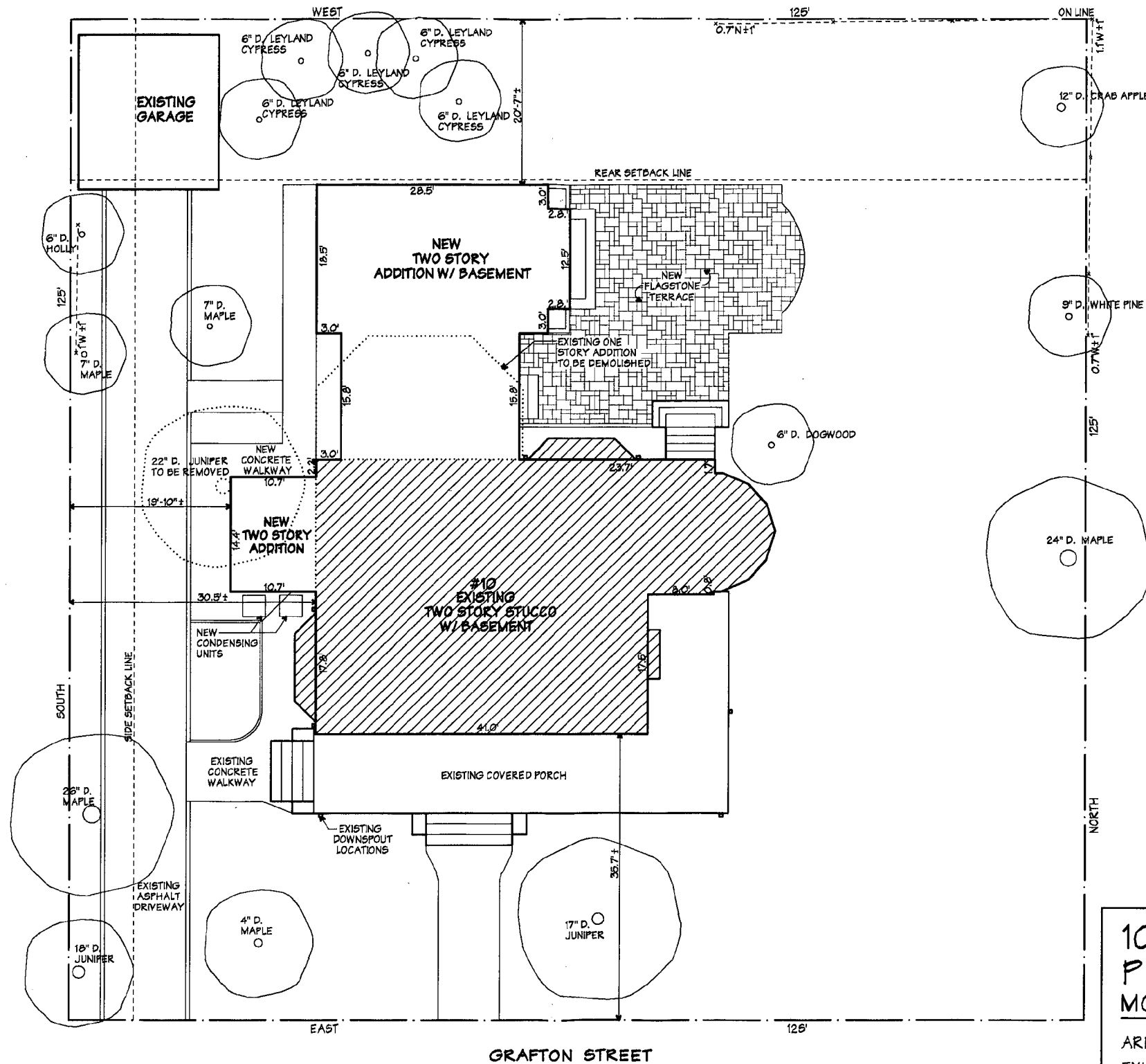
Evergreen

NORTH ELEVATION
10 GRAFTON STREET, CHEVY CHASE, MD.





SOUTH ELEVATION
10 GRAFTON STREET, CHEVY CHASE, MD.



**10 GRAFTON STREET
PARCEL 928
MONTGOMERY COUNTY, MD.**

AREA OF LOT: 15,625 SQ.FT.
 EXISTING FOOTPRINT: 2,050 SQ.FT.
 EXISTING GARAGE FOOTPRINT: 335 SQ.FT.
 PROPOSED NEW FOOTPRINT: 2,760 SQ.FT.
 ALLOWABLE LOT COVERAGE: 35%
 ALLOWABLE BUILT AREA: 5,469 SQ.FT.

SITE PLAN
SCALE 1/16" = 1'-0"

LUCARELLI, MONTES AND WELLS ARCHITECTS
 6723 WHITTIER AVE. SUITE 100 MCLEAN, VIRGINIA 22101
 GLOWACKI RESIDENCE #10 GRAFTON ST. CHEVY CHASE, MD.

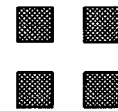
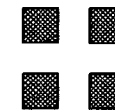
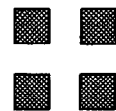
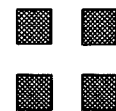
**ARCHITECTURAL
SITE PLAN**

DATE	DRAWN BY
9.14.01	VC
JOB NO.	REVISIONS

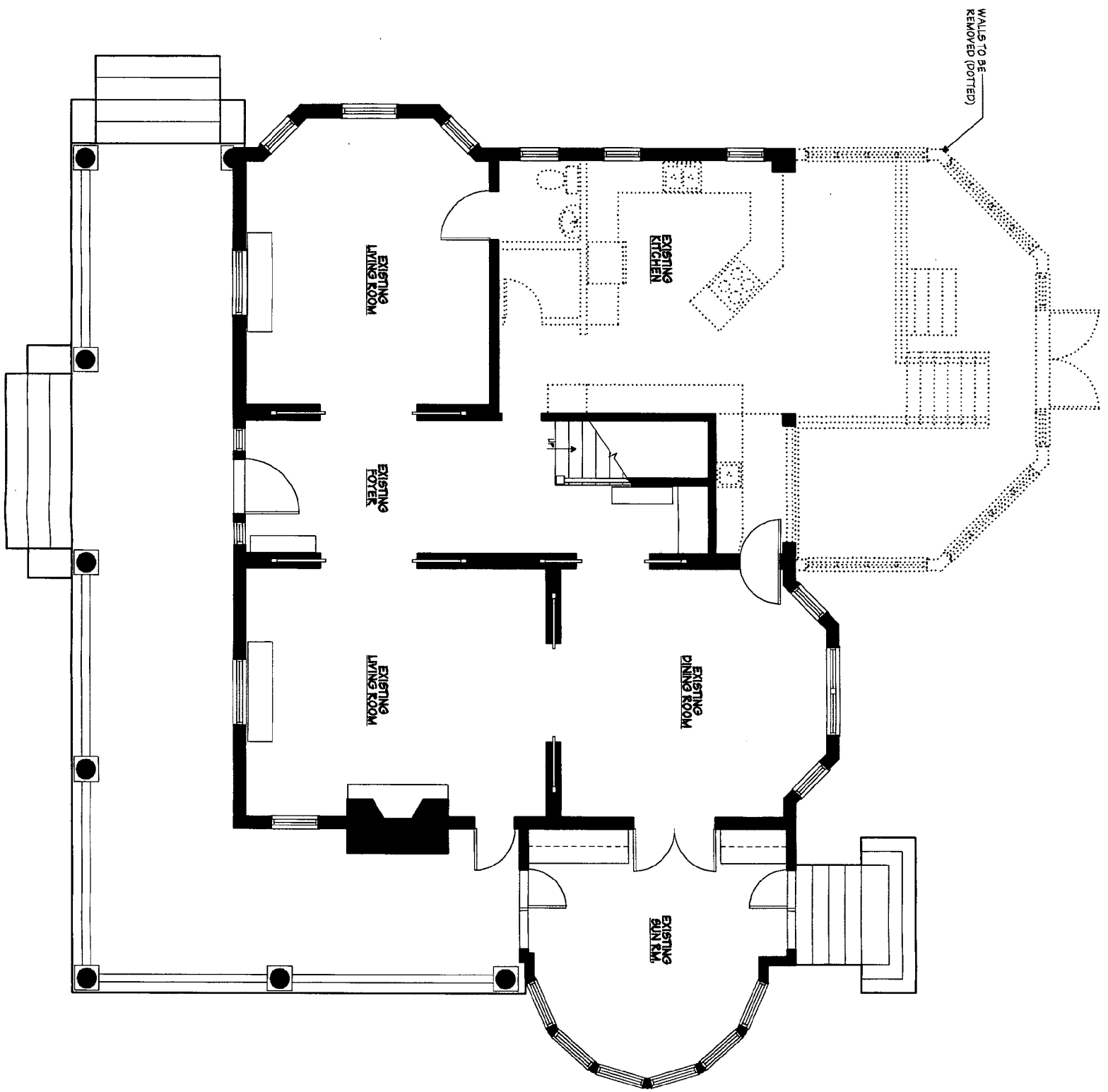
SP-1

TWO STORY ADDITION
AT
10 GRAFTON STREET
CHEVY CHASE, MARYLAND 20815

LUCARELLI, MONTES AND WELLS LLC
6723 WHITTIER AVENUE, SUITE 100 McLEAN, VA 22101
703-790-9606



OWNER INFORMATION	GENERAL NOTES	DRAWING INDEX
<p>TONY AND TRISH GLOWACKI 10829 ALLOWAY DRIVE POTOMAC, MARYLAND 20854</p>	<p>1. THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 1989 CABO. 2. GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND FULLY UNDERSTAND ALL CONDITIONS, INCLUDING ANY DISCREPANCIES BETWEEN ACTUAL FIELD VERIFIED CONDITIONS AND THOSE INDICATED IN THE CONSTRUCTION DOCUMENTS. 3. GENERAL CONTRACTOR TO REFER ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. 4. LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS. 5. GENERAL CONTRACTOR SHALL VERIFY ALL UTILITY CAPACITIES, INCLUDING ELECTRIC, SEWAGE, WATER ETC. AND NOTIFY ARCHITECT OF ANY INEFFICIENCIES FOR PROPOSED REQUIREMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION. 6. GENERAL CONTRACTOR SHALL ARRANGE ALL DISCONTINUANCES AND RECONNECTIONS OF ALL PUBLIC UTILITIES AS REQUIRED. 7. GENERAL CONTRACTOR WILL OBTAIN ALL REQUIRED PERMITS FOR THE CONSTRUCTION OF THE PROJECT. 8. CONTRACTOR SHALL INSTALL SMOKE DETECTORS AS REQUIRED BY CODE. 9. ALL DIMENSIONS ARE TO FINISH FACE OF MATERIAL OR FACE OF MASONRY, UNLESS OTHERWISE NOTED.</p> <div style="border: 1px solid black; padding: 5px; margin: 10px auto; width: 80%; text-align: center; font-size: 8px;"> <p>THE DESIGN AND CONCEPTS REPRESENTED IN THESE PRINTS AND ACCOMPANYING DOCUMENTS ARE THE SOLE PROPERTY OF LUCARELLI MONTES AND WELLS LLC, AND MAY NOT BE REPRODUCED, CHANGED OR COPIED WITHOUT PRIOR WRITTEN CONSENT FROM SAID ARCHITECTS. ANY PRINTS NOT BEARING THIS OFFICIAL SEAL SHALL BE SCHEMATIC OR DESIGN DEVELOPMENT IN NATURE AND NOT FOR CONSTRUCTION.</p> </div>	<p>ARCHITECTURAL DRAWINGS</p> <p>A-0 COVER SHEET SP-1 ARCH. SITE PLAN D-1 1ST FLOOR DEMO PLAN D-2 2ND FLOOR DEMO PLAN A-1 1ST FLOOR PLAN A-2 2ND FLOOR PLAN A-3 ELEVATIONS A-4 ELEVATIONS</p>
<p>BUILDING CONTRACTOR</p> <p>AGAINST THE GRAIN CONSTRUCTION JOSEPH MICKUM 5216 CARLTON STREET BETHESDA, MD. 20816 (202) 251-7529</p>		
<p>LOT COVERAGE</p> <p>LOT AREA 15,625 SQ.FT. EXISTING FOOTPRINT 2,050 SQ.FT. PROPOSED NEW FOOTPRINT 2,760 SQ.FT. EXISTING GARAGE FOOTPRINT 335 SQ.FT. ALLOWABLE LOT COVERAGE 5,469 SQ.FT.</p>		



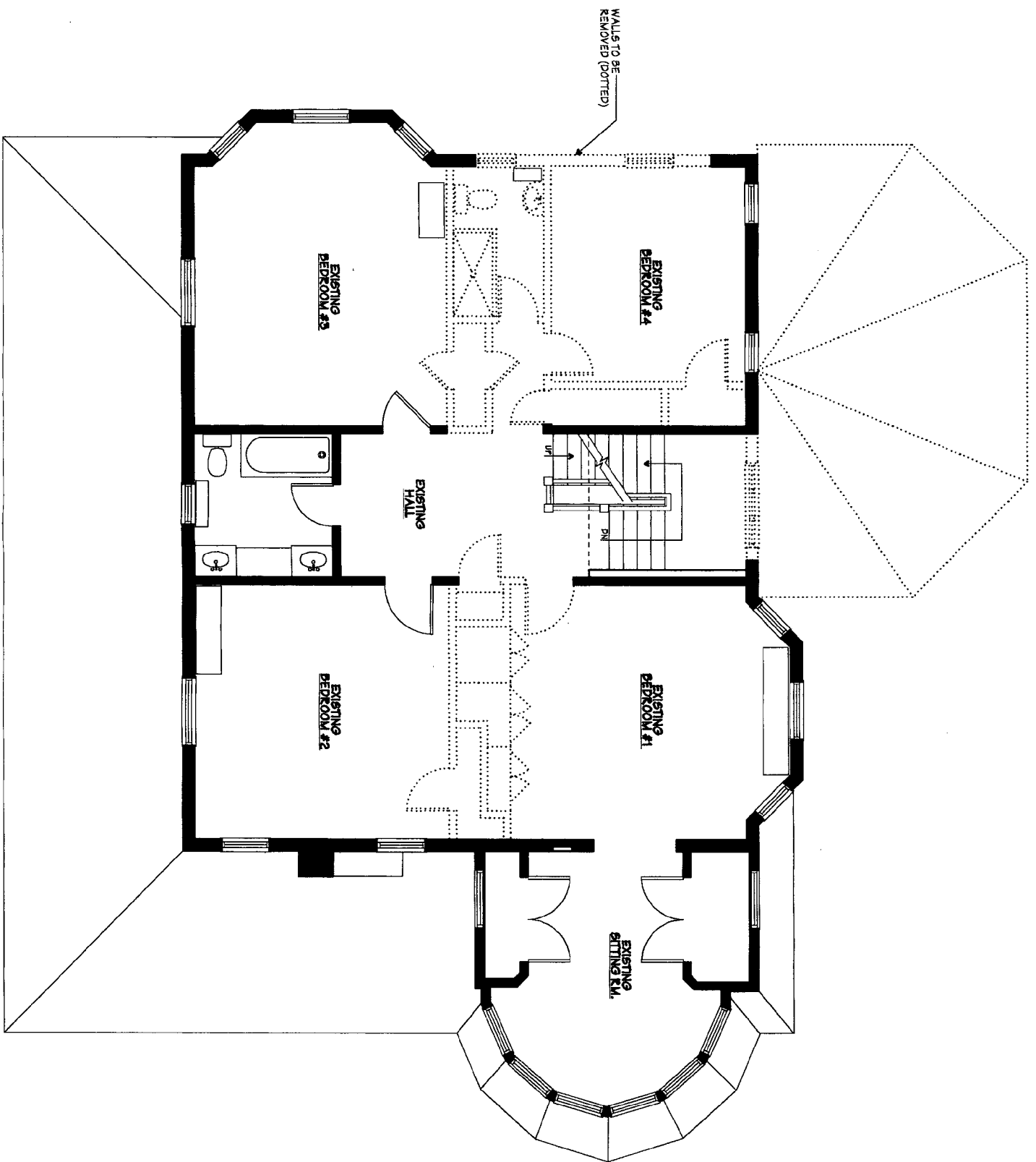
EXISTING FIRST FLOOR PLAN W/ DEMO
SCALE 1/8" = 1'-0"

LUCARELLI, MONTES AND WELLS ARCHITECTS
 6723 WHITTIER AVE. SUITE 100 McLEAN, VIRGINIA 22101
 GLOWACKI RESIDENCE #10 GRAFTON ST. CHEVY CHASE, MD.

EXISTING
FLOOR PLANS

DATE	DRAWN BY
3.14.01 VC	
JOB NO.	REVISIONS

D-1



EXISTING SECOND FLOOR PLAN W/ DEMO

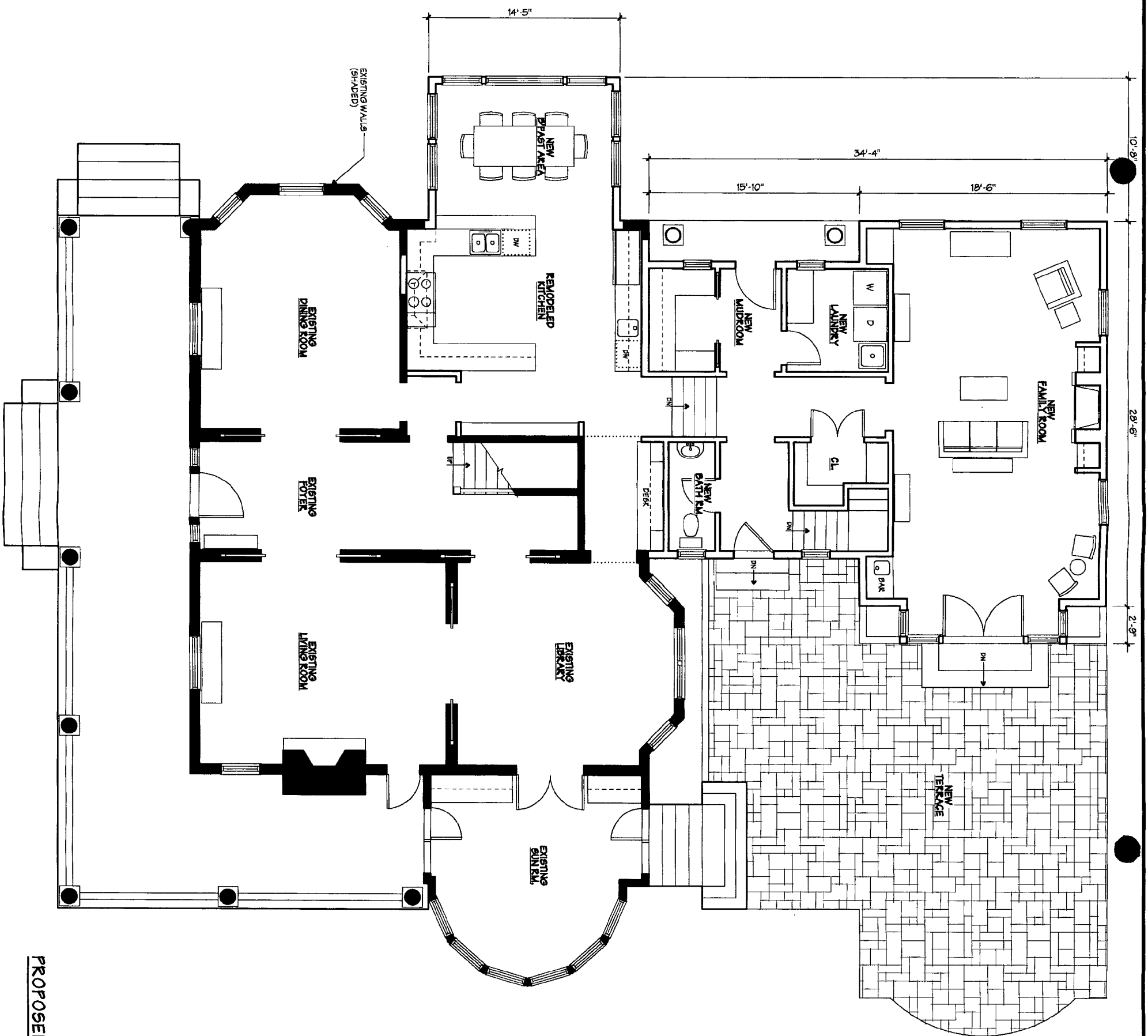
SCALE 1/8" = 1'-0"

LUCARELLI, MONTES AND WELLS ARCHITECTS
 6723 WHITTIER AVE. SUITE 100 McLEAN, VIRGINIA 22101
 GLOWACKI RESIDENCE #10 GRAFTON ST. CHEVY CHASE, MD.

EXISTING
 FLOOR PLANS

DATE	DRAWN BY
S.M.O.I	VC
JOB NO.	REVISIONS

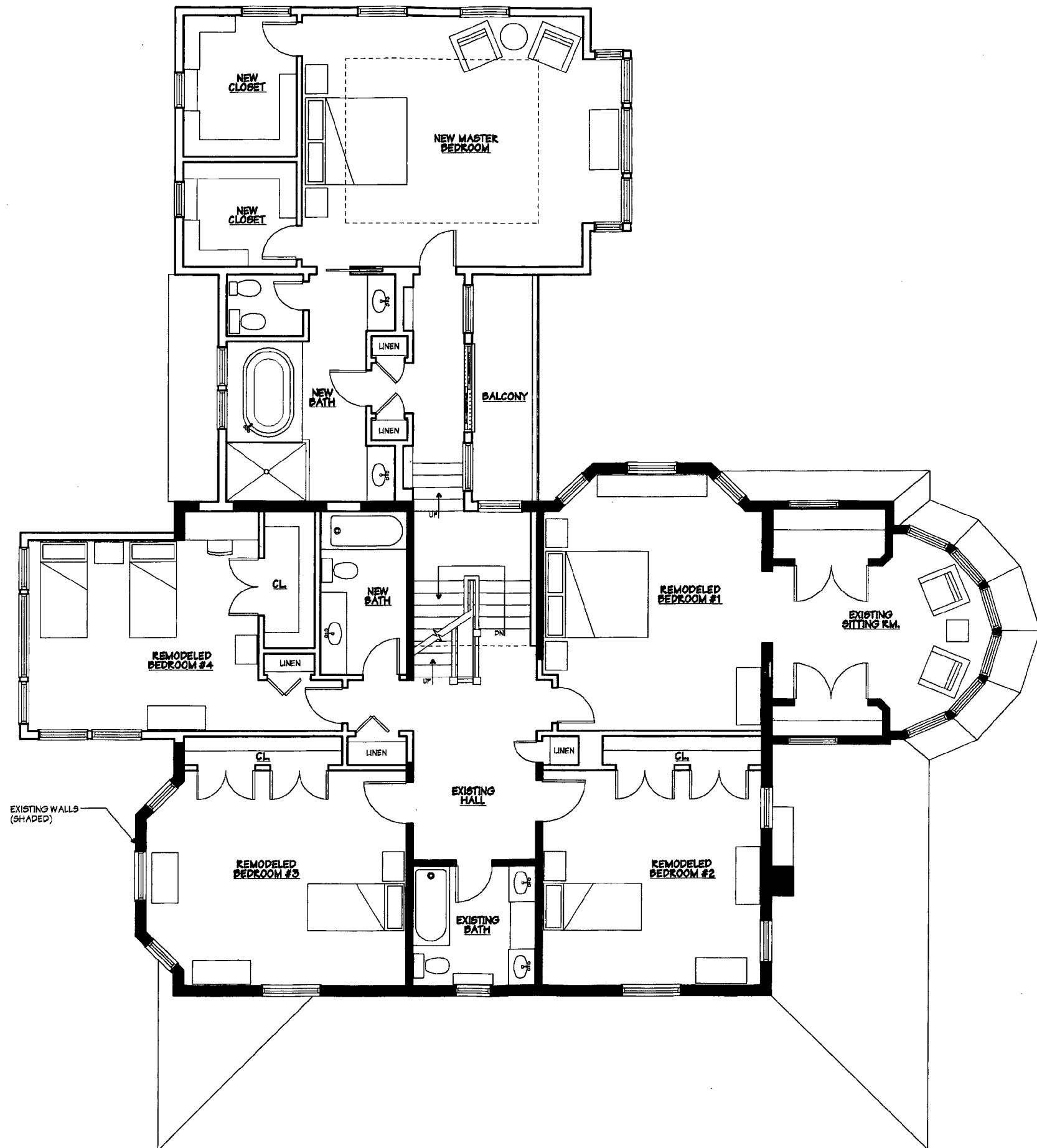
D-2



PROPOSED FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

A-1	FLOOR PLANS	
	DATE 3.14.01 VC	DRAWN BY
JOB NO.	REVISIONS	

LUCARELLI, MONTES AND WELLS ARCHITECTS
6723 WHITTIER AVE. SUITE 100 MCLEAN, VIRGINIA 22101
GLOWACKI RESIDENCE #10 GRAFTON ST. CHEVY CHASE, MD.



PROPOSED SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

LUCARELLI, MONTES AND WELLS ARCHITECTS
6723 WHITTIER AVE. SUITE 100 MCLEAN, VIRGINIA 22101
GLOWACKI RESIDENCE #10 GRAFTON ST. CHEVY CHASE, MD.

FLOOR PLANS

DATE	DRAWN BY
9.14.01	VC
JOB NO.	REVISIONS

A-2

LUCARELLI, MONTES AND WELLS ARCHITECTS
 6723 WHITTIER AVE. SUITE 100 MCGLEAN, VIRGINIA 22101
 GLOWACKI RESIDENCE #10 GRAFTON ST. CHEVY CHASE, MD.

T.O. RIDGE
+26'-8"

TRUSS BEARING
+20'-6"

EXIST. FIN. 2ND FL.
+10'-3"

EXIST. FIN. 1ST FL.
0'-0"

NEW FIN. 1ST FL.
-2'-4"

ASPHALT SHINGLES TO MATCH EXISTING

COPPER GUTTER & DOWNSPOUT

PTD. PVC TRIM TO MATCH EXISTING CORNICE

STUCCO RAISED PANEL

STUCCO TO MATCH EXISTING ON 2x6 WOOD STUD FRAMING

STUCCO BANDING TO MATCH EXISTING

STONE VENEER FOUNDATION TO MATCH EXISTING



PROPOSED NORTH ELEVATION
 SCALE 1/8" = 1'-0"

EXISTING STRUCTURE

ASPHALT SHINGLES TO MATCH EXISTING

COPPER GUTTER & DOWNSPOUT

PTD. PVC TRIM TO MATCH EXISTING CORNICE

T.O. RIDGE
+26'-8"

TRUSS BEARING
+20'-6"

EXIST. FIN. 2ND FL.
+10'-3"

EXIST. FIN. 1ST FL.
0'-0"

NEW FIN. 1ST FL.
-2'-4"

STUCCO RAISED PANEL

STUCCO TO MATCH EXISTING ON 2x6 WOOD STUD FRAMING

STONE VENEER FOUNDATION TO MATCH EXISTING

STUCCO BANDING TO MATCH EXISTING



PROPOSED SOUTH ELEVATION
 SCALE 1/8" = 1'-0"

ELEVATIONS

DATE	DRAWN BY
9.14.01	VC
JOB NO.	REVISIONS

A-3

LUCARELLI, MONTES AND WELLS ARCHITECTS
 6723 WHITTIER AVE. SUITE 100 MCLEAN, VIRGINIA 22101
 GLOWACKI RESIDENCE #10 GRAFTON ST. CHEVY CHASE, MD.

ELEVATIONS

DATE	DRAWN BY
9.14.01	VC
JOB NO.	REVISIONS

A-4



PROPOSED WEST ELEVATION
 SCALE 1/8" = 1'-0"



PROPOSED EAST ELEVATION
 SCALE 1/8" = 1'-0"