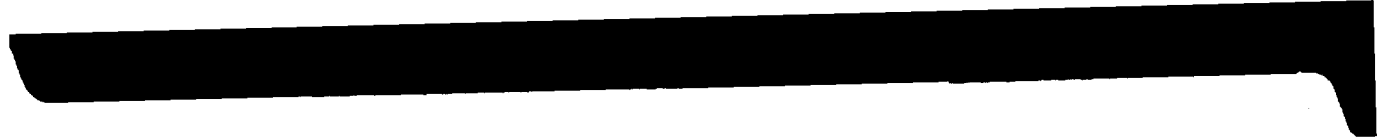


35/13-03S 5810 Cedar Parkway
(Chevy Chase Village Historic District)



III X



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

HISTORIC AREA WORK
PERMIT

IssueDate: 10/2/2003

Permit No: 317269
Expires:
X Ref:
Rev. No:

Approved With Conditions

THIS IS TO CERTIFY THAT:

PETER W & G B ASMUTH
5810 CEDAR PKWY
CHEVY CHASE MD 208154252

HAS PERMISSION TO: ALTER

PERMIT CONDITIONS: Alterations-reface the existing stoop in front with stone and flagstone

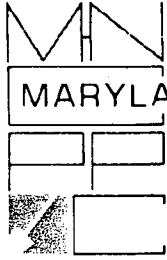
PREMISE ADDRESS 5810 CEDAR PKW
CHEVY CHASE MD 20815-0000

LOT 1 BLOCK 62 PARCEL ZONE
LIBER ELECTION DISTRICT 07 PLATE GRID
FOLIO SUBDIVISION
PERMIT FEE: \$0.00 TAX ACCOUNT NO.:

HISTORIC MASTER: Y
HISTORIC ATLAS: N

**HISTORIC APPROVAL ONLY
BUILDING PERMIT REQUIRED**

Director, Department of Permitting Services



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 9-25-03

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

DPS # 317269
HAWP # 35/13-035

FROM: Gwen Wright, Coordinator *GW*
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Peter and gene Asmuth

Address: 5810 Cedar Parkway, Chevy Chase, MD 20815

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

III-A

September 23, 2003

MEMORANDUM

TO: Historic Preservation Commission
FROM: Anne Fothergill, Historic Preservation Planner
SUBJECT: HAWP for 5810 Cedar Parkway, Chevy Chase
CASE NUMBER: 35/13-03S

Attached is a letter from the applicant at 5810 Cedar Parkway in Chevy Chase. After talking to Chevy Chase Village, the applicant needs to amend the HAWP application to reflect the following addition:

- Installation of flagstone the length of the walkway from the stoop to the sidewalk

Staff is supportive of the submitted HAWP proposal *including this addition* and staff recommends approval by the HPC.



HISTORIC PRESERVATION COMMISSION
301/563-3400

RECEIVED

AUG 27 2003

APPLICATION FOR HISTORIC AREA WORK PERMIT

DIV. OF CASE WORK MGMT.

Contact Person: Peter Asmuth
 Daytime Phone No.: (301) 913 9002
 Tax Account No.: 16 07 00455361
 Name of Property Owner: Peter and Gene Asmuth Daytime Phone No.: (301) 913-9002
 Address: 5810 Cedar Pky Chevy Chase MD 20815
Street Number City State Zip Code
 Contractor: self Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: _____ Daytime Phone No.: _____
 Address: _____

LOCATION OF BUILDING/PERMISE

House Number: 5810 Street: Cedar Parkway
 Town/City: Chevy Chase Nearest Cross Street: West Faving St.
 Lot: 1 Block: 62 Subdivision: 9
 Other: 11788 Folio: 421 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> WC	<input type="checkbox"/> Stair	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Alter	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Replace	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)	<input type="checkbox"/> Other: _____				

1B. Construction cost estimate: \$ 2,000.00
 1C. If this is a revision of a previously approved action permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

7A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 7B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL N/A

2A. Height _____ feet _____ inches
 2B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies used and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Peter W. Asmuth 8/13/03
Signature of owner or authorized agent Date

Approved: For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: Joson E. Velazquez AF
 Application/Permit No.: 317269 Date Filed: 8/30/03 Date Issued: _____

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single family house located in the historic district of
Chew Chase Village. Brick and frame stucco house built
in 1925. See pictures attached.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

I want to reface the existing stoop in front with
stone and flagstone. Current materials are cement
which is in poor condition - see attached pictures
of existing and proposed change.

2. SITE PLAN Attached

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, drive ways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS see pictures

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS stone and flagstone

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS Attached

- Clearly labeled photographic prints of each code of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY N/A

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONTIGUOUS PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and contiguous property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 779-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Peter Armuth
5810 Cedar Parkway
Chevy Chase, MD 20815

Owner's Agent's mailing address

N/A

Adjacent and confronting Property Owners mailing addresses

North of Residence

Mrs. Samuel Spencer
5904 Cedar Parkway
Chevy Chase, MD 20815

South of Residence

Mark & Beverly Nadel
5808 Cedar Parkway
Chevy Chase, MD 20815

East of Residence

Helga F. Colby
5815 Cedar Parkway
Chevy Chase MD 20815

West of Residence

Chevy Chase Club
6100 Connecticut Avenue
Chevy Chase MD 20815

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	5810 Cedar Parkway	Meeting Date:	09/24/03
Applicant:	Peter and Gene Asmuth	Report Date:	09/17/03
Resource:	Contributing Resource Chevy Chase Village Historic District	Public Notice:	09/10/03
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-03S	Staff:	Anne Fothergill
PROPOSAL:	Front stoop rehabilitation	RECOMMEND:	Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Chevy Chase Village Historic District
STYLE: Two-story Tudor Revival
DATE: c. 1925

PROPOSAL

The applicants propose to re-face the existing front cement steps with stone and flagstone (see Circle 9).

STAFF DISCUSSION

Although the Chevy Chase Village Historic District guidelines do not specifically address front steps, staff referred to the general guidelines that apply to a Contributing Resource. In this case, staff evaluated the proposal with moderate scrutiny since the proposed exterior alterations will be visible from the public right-of-way. Staff feels this material change is compatible with the house and it will not adversely affect the integrity of the resource or the surrounding streetscape.

Staff recommends approval.

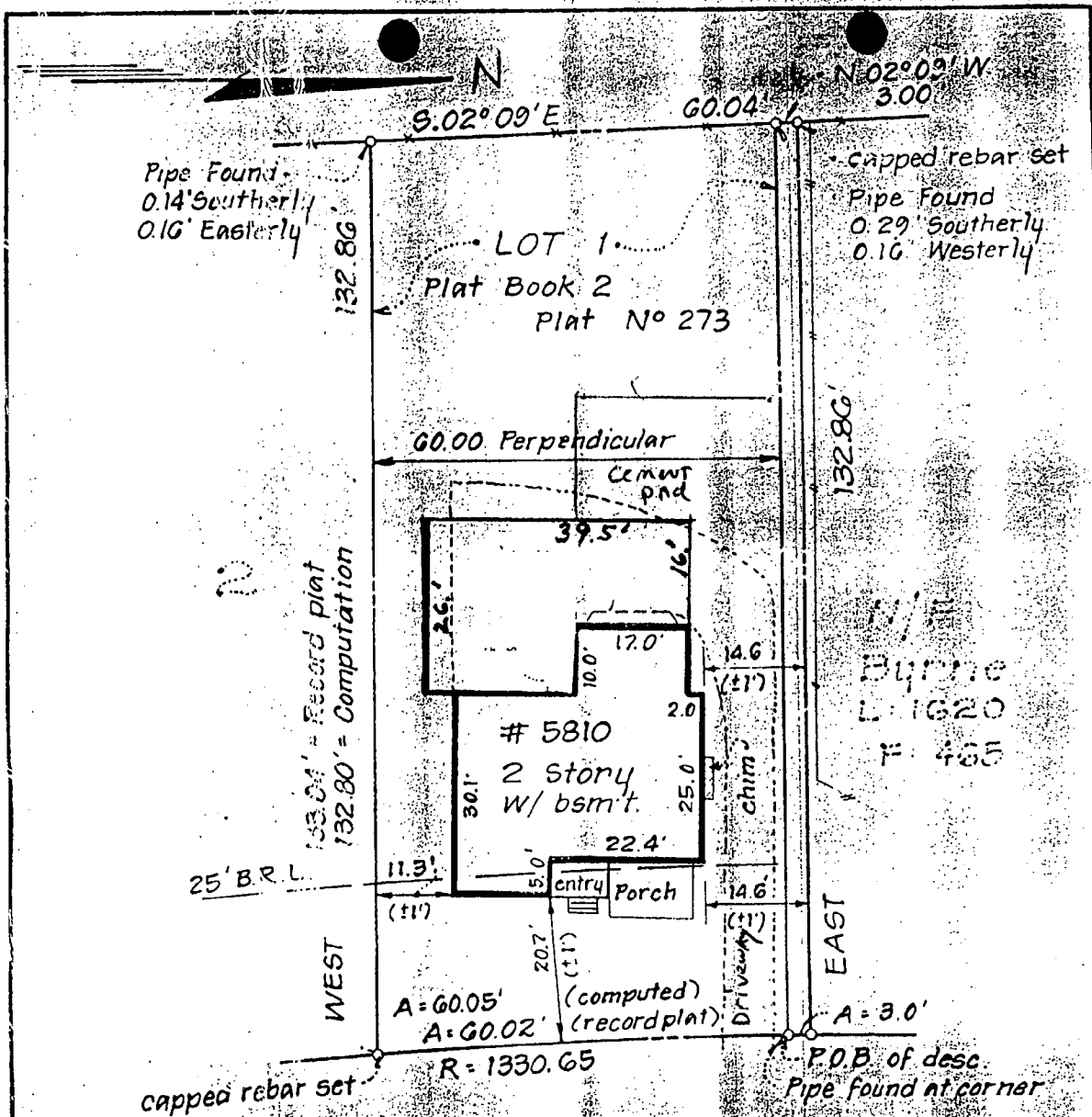
STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be

detrimental thereto or to the achievement of the purposes of this chapter,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



CEDAR PARKWAY

As of Sept. 13, 2002
 1" = 25' scale

BOUNDARY SURVEY

#5810 CEDAR PARKWAY

CHEVY CHASE

SECTION 2
 P.B. 2 P.273

LANDTECH ASSOCIATES, INC.
 7307 BALTIMORE AVE SUITE 214
 COLLEGE PARK, MARYLAND 20740

Graden Rogers
 GRADEN ROGERS
 Property Line Surveyor
 Md. Lic. No. 119



CHEVY CHASE - 4

CHEVY CHASE

EAST BRADLEY LANE

QUINCY STREET

PRIMROSE STREET

OXFORD STREET

NEWLANDS STREET

W MELROSE STREET

E MELROSE STREET

E LENOX STREET

E KIRKE STREET

IRVING STREET

CECILIA STREET

WISCONSIN AVENUE

GRAFTON STREET

OLIVER STREET

BELMONT AVENUE

MONTGOMERY CENTER DRIVE

WISCONSIN AVENUE

WESTERN AVENUE

5810 CEDAR PARKWAY



CHEVY CHASE VILLAGE
MONTGOMERY COUNTY
MARYLAND



6

CONTINUATION/AMENDMENT SHEET

Heritage Preservation Certification Application

5810 Cedar Parkway
Property Address
Chevy Chase, MD 20815

99-31
MHT Project Number

Instructions. Read the instructions carefully before completing. Type or print clearly in black ink. Use this sheet to continue sections of the Part 1 and Part 2 application, or to amend an application already submitted. Photocopy additional sheets as needed.

This sheet: continues Part 1 continues Part 2 amends Part 1 amends Part 2

I want to replace the existing stoop in the front with stone and flagstone. The current materials are cement which is in poor condition - see attached pictures of existing and an example of proposed change.

All of the items in the ~~same~~ original project have been completed. The final filing for everything except the bathroom renovation (item 6) was sent in last year - 2001 and approved. The bathroom renovation was completed recently and will be filed with this amended item, if it is approved.

Peter Asmuth

Name Peter Asmuth Signature Peter W. Asmuth Date 8/13/02
Street 5810 Cedar Parkway City Chevy Chase State MD Zip 20815
Daytime Telephone Number (301) 913-9002 E-mail Address PWAasmuth@aol.com

MHT Office Use Only

The Maryland Historical Trust has determined that these project amendments meet the Secretary of the Interior's Standards for Rehabilitation.

The Maryland Historical Trust has determined that these project amendments will meet the Secretary of the Interior's Standards for Rehabilitation only if the attached conditions are met.

The Maryland Historical Trust has determined that these project amendments do not meet the Secretary of the Interior's Standards for Rehabilitation.

Date _____ Maryland Historical Trust Authorized Signature _____



*Existing
structure*

*Peter Asmuth
5810 Cedar Pkwy
Chevy Chase, MD 20815
(301) 913-9002*





Example of proposed work.

Peter Asmuth
5810 Cedar PKy
Chevy Chase MD 20815
(301) 913-9602

Peter Asmuth
5810 Cedar Pkwy
Chevy Chase MD 20815
September 23, 2003

Anne Fothergill, Historic Preserv. Planner
Hist. Preservation Section - MNCPPC
8787 Georgia Ave.
Silver Spring, MD 20910

Dear Mrs Fothergill,

I am amending my Historic Area Work Permit Application to include redoing the sidewalk in flagstone. This will make the sidewalk materials compatible with the front step. Thank you.

Sincerely,

Peter W. Asmuth

via fax (301) 563-3412