

35/13-03Z 5912 Cedar Parkway
Chevy Chase Village Historic District

West Residence

5912 Cedar Parkway
Chevy Chase, Maryland 20814

December 23, 2003 Permit/Construction Set

FOX
ARCHITECTS

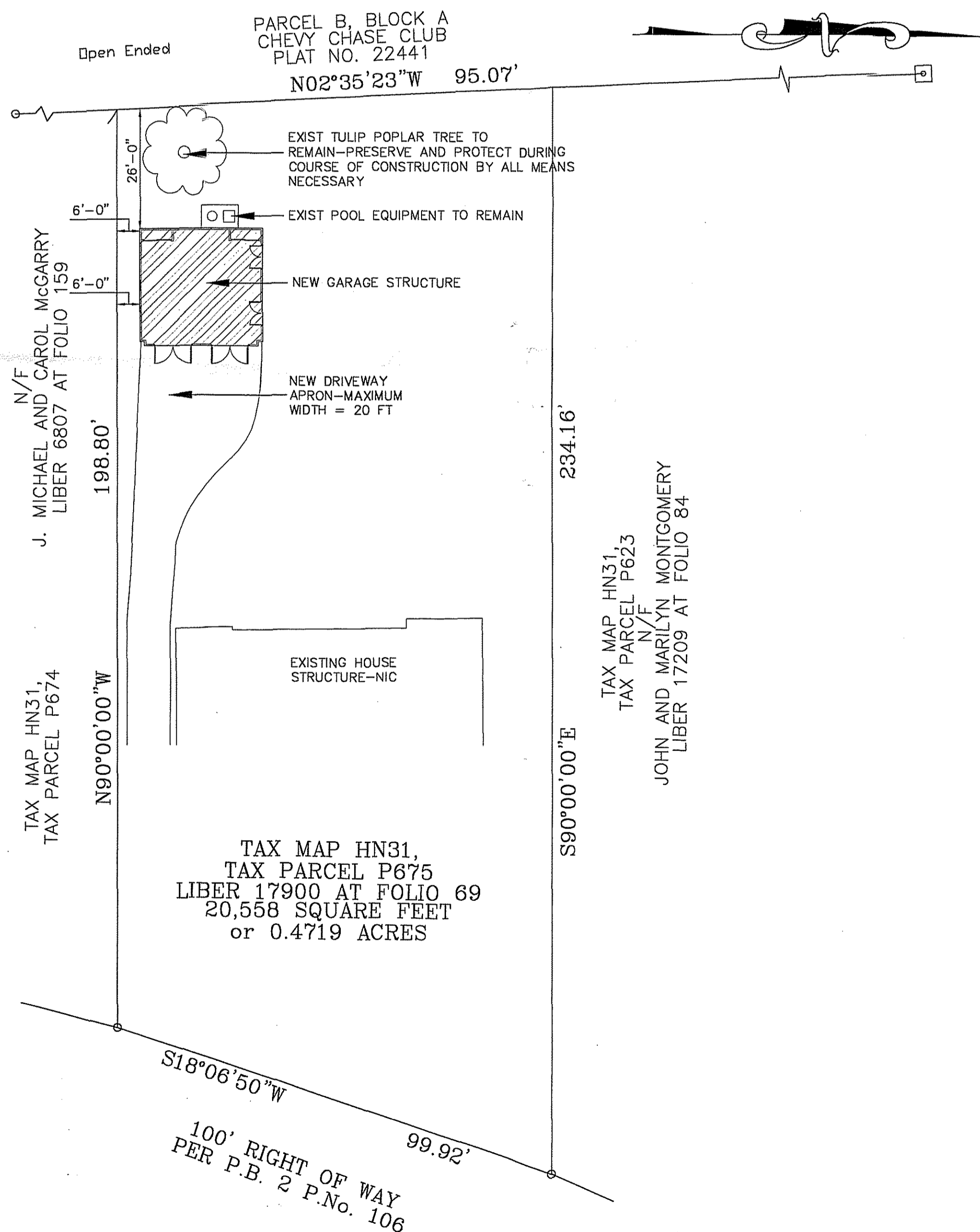
7805 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MD 20814
301.718.2021

SYMBOLS

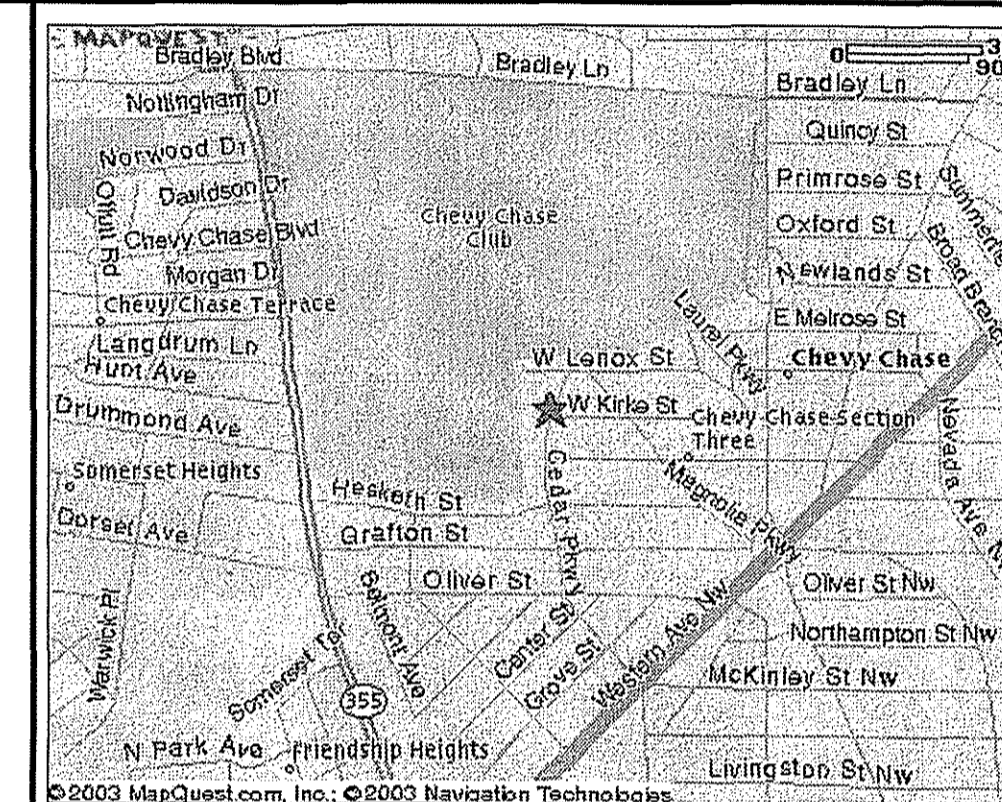
- ① DEMO, WALL, FINISH TYPE
- ⊙ DOOR MARK
- ⊙ WINDOW MARK
- ⊙ DETAIL
- ⊙ SECTION
- ⊙ INTERIOR ELEVATION
- ⊙ EXTERIOR ELEVATION

- ☛ DUAL HEAD FLOODLIGHT
- ⊙ RECESSED FIXTURE
- ⊙ WALL-MOUNT FIXTURE
- ⊙ SURFACE-MOUNT FIXTURE
- ⊙ RECESSED WALL WASHER
- ⊙ UNDER CABINET LOW VOLTAGE
- ⊙ DUPLEX OUTLET
- ⊙ GFI Ⓜ GROUND-FAULT INTERRUPTER DUPLEX OUTLET
- ⊙ SWITCHED DUPLEX OUTLET
- ⊙ CABLE Ⓜ COAXIAL CONNECTION
- ⊙ TELEPHONE OUTLET, 2 TWISTED PAIRS
- ⊙ TELEPHONE (2 TWIST PR) & DATA OUTLET
- ⊙ TELEPHONE (2 TWIST PR), DATA, CABLE OUTLET
- ⊙ J-BOX JUNCTION BOX
- ⊙ JUNCTION BOX
- ⊙ BELL Ⓜ DOORBELL SWITCH
- ⊙ SINGLE-POLE SWITCH
- ⊙ SINGLE-POLE SWITCH w/DIMMER
- ⊙ 3-WAY SWITCH
- ⊙ CEILING FAN SWITCH
- ⊙ FAN
- ⊙ FAN/LIGHT COMBINATION
- ⊙ FAN/RADIANT HEAT COMBINATION
- ⊙ FAN/RADIANT HEAT/LIGHT COMBINATION
- ⊙ UNDERCABINET FIXTURE
- ⊙ TRACK LIGHTING
- ⊙ SD Ⓜ SMOKE DETECTOR
- ⊙ 1x4 FLOURESCENT
- ⊙ 2x4 FLOURESCENT

SITE PLAN 1"=20'



LOCATION MAP NO SCALE



DRAWING LIST

- ARCHITECTURAL
- A000 COVER SHEET & SITE PLAN.
 - A001 GENERAL NOTES.
 - A200 NEW WORK PLANS.
 - A700 SCHEDULES & DETAILS.

SCOPE OF WORK

DEMOLISH EXISTING 2 CAR GARAGE AND REBUILD NEW 2 CAR GARAGE

AREAS

LOT COVERAGE BY BUILDING (SINGLE STORY GARAGE):
488 SF (EXISTING GARAGE TO BE DEMOLISHED)
696 SF (PROPOSED NEW GARAGE)

DEMOLITION NOTES

DEMOLISH EXISTING FRAME GARAGE STRUCTURE & CONCRETE FOUNDATION. PROTECT EXISTING TO REMAIN POOL EQUIPMENT. PRESERVE AND PROTECT EXISTING TO REMAIN SFT DIA TULIP POPLAR TREE.

REVISION HISTORY

DATE	ISSUE
12.23.03	PERMIT

West Residence - Garage Reconstruction
5912 Cedar Parkway
Chevy Chase, Maryland

PROJECT NO.: 0331

Cover Sheet

SCALE: AS NOTED

A000

DATE: 12.01.03

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
12/23/03

REVISION HISTORY

DATE	ISSUE
12.23.03	PERMIT

West Residence - Garage Reconstruction
5912 Cedar Parkway
Chevy Chase, Maryland

PROJECT NO.: 0331

General Notes

SCALE: AS NOTED

A001

DATE:

GENERAL NOTES

GENERAL REQUIREMENTS

All construction shall be in conformance with the International Residential Code(IRC), 2000 edition, and Montgomery County Executive Regulation No. 36-01.

The General Contractor shall be referred to as "GC" in these notes.

The General Contractor shall read all General and Specific Notes and will be bound to their requirements.

The GC shall visit the Site and familiarize itself with the conditions under which the Work is to be performed.

The GC shall verify existing conditions which may affect the construction as shown (prior to bid and construction).

The GC shall also be responsible to periodically during the progress verify all critical dimensions.

The GC shall inform the Owner and Fox Architects, P.A. (301) 718-2021, of any questions or conflicts with the Architectural Drawings and/or General Notes.

The Architect shall be contacted at once to resolve any conflict with the Construction Documents. If the Architect is not contacted, the GC shall accept responsibility to correct any Work installed that is not in accordance with the above drawings and/or specification.

Drawings are not to be scaled for dimensions or sizes. Verify all dimensions before proceeding with procurement of materials required to be accurately fitted to the building. All dimensions are to the face of stud, unless noted. The GC shall be responsible for the accuracy of all such measurements and for the precise fitting of the Work.

The GC shall, for a period of one year from the date of completion and acceptance by the Client: adjust, repair, or replace at no cost to the Client any item of equipment, material, or workmanship found to be defective, either included or affected within the scope of the Contract, unless specifically noted as otherwise.

CONSTRUCTION PROCEDURES

Provide administrative coordination of all work, including trained, qualified employees and subcontractors, and supervisory personnel.

Arrange and conduct preconstruction and construction meetings with design principals, consultants, and construction trades as established between Architect and GC.

Submit progress schedule, updated weekly.
Submit schedule of values.
Provide to the Owner and Architect a list of all subcontractors with addresses and phone numbers.
Provide a job site phone and fax machine.

Maintain and update record drawings. Submit to Owner a complete, updated set of record documents upon conclusion of the work.

Keep all work clean and well protected from dirt, weather, theft, and damage.

The GC and the GC's Subcontractors shall coordinate the installation of their work with the existing conditions. When major conflicts are apparent, the Architect shall be advised and affected work shall not be installed until the conflict has been resolved.

The Work shall be done in accordance with all rules, regulations, authorities, and applicable codes having jurisdiction. Unless otherwise agreed upon, the GC is responsible for securing and paying for all permits required for the Work and will obtain, arrange, and pay for all related inspection during the course of the Work. This shall also be included in his Cost Proposal.

Habitable rooms, hallways, corridors, bathrooms, toilet rooms, laundry rooms and basements shall have a ceiling height of not less than 7 feet from the finished floor. The required height shall be measured from finished floor to the lowest projection of the ceiling.

The GC shall verify requirements for all equipment as indicated on the Drawings, whether supplied by the Owner or the GC.

The GC may request a substitution of materials and/or construction items and methods upon submittal of a substitution in writing or by sample to the Architect. Any cost changes must also be submitted along with specification sheets of the substitution. The Architect will communicate his decision to the GC by phone and will follow-up by letter if the submission is accepted.

All materials, equipment, and systems shall be installed as per manufacturer's recommendations, and all construction shall be of industry standard quality or better.

Upon receipt from the Manufacturer, the GC shall inspect all materials for defects, flaws, shipping damage, color correctness, accurate dye lots or similar color shifts, and pattern or even in general overall appearance. Damaged or wrong materials shall be returned to the Manufacturer for immediate replacement to prevent delays in the completion of the work. The GC shall notify the Architect of any defective materials and coordinate with the Manufacturer for an accurate shipping date for the replacement materials.

Compliance with Manufacturers' Requirements for handling, storage, installation, and protections of any Work and construction is the exclusive responsibility of the GC, the GC's Subcontractor(s), and Installer(s).

PROGRESS MEETING

The General Contractor will conduct progress meetings at the Project site bi-weekly. Notify the Owner, and Architect of scheduled meeting dates. Coordinate dates of meetings with preparation of payment request.

SUBMITTALS

Shop Drawings are to be submitted to the Architect for approval before proceeding with all items which require fabrication. The GC shall submit samples of all finish materials in accordance with the Architect's drawings and schedules for approval by the Architect prior to ordering or starting any millwork or other custom production.

Shop drawings include specially-prepared technical data for this project, diagrams, data sheets, schedules, measurements, and similar information not in standard printed form generally applied to a range of similar projects.

Product data include standard printed information on material, products, and systems not specially-prepared for this project, other than the designation of selections from among available choices printed therein.

Samples include both fabricated and unfabricated physical examples of materials, products and units of work, both as complete units and as smaller portions of units of work, either for limited visual inspection or (where indicated) for more detailed testing and analysis.

Except for submittals for record, information or similar purposes, where action and return is required or requested, the Architect will review each submittal, mark to indicate action taken, and return promptly.

Action stamp: The Architect will stamp each submittal with a uniform, self-explanatory action stamp. The stamp will be appropriately marked to indicate the action taken.

FINAL ACCEPTANCE

Submit the final payment request with releases and supporting documentation not previously submitted and accepted.

Submit an updated final statement, accounting for final additional changes to the Contract Sum.

Submit a copy of the Architect's or Owner's Punch List of items to be completed or corrected, stating that each item has been completed or otherwise resolved for acceptance, and the list has been endorsed and dated by the Architect.

FINAL CLEANING

Keep the buildings and site well-organized and clean throughout the construction period.

Provide general clean up daily and complete weekly pickup and removal of all scrap and debris from the site. Exception: Reusable scrap shall be stored in a neatly maintained, designated storage area.

At completion of the Work, remove from the job site all tools and equipment, surplus materials (not owned by Client), equipment, scrap, and debris.

Exterior of building: Inspect exterior surfaces and remove all waste materials, paint droppings, spots, stains or dirt.

Interior of building: Inspect interior surfaces and remove all waste materials, paint droppings, spots, stains or dirt.

Gloss: Clean inside and outside so there are no spots or dirt, and no smudges or streaks remain from the cleaning process.

Owner will provide cleaning service for final cleaning.

Operating hardware must perform smoothly. Repair or replace any defective work. Repair work will be undetectable. Redo repairs if work is still defective, as directed by the Architect.

SITE

Lot drainage shall comply with IRC Section R401.3

MECHANICAL, PLUMBING, AND ELECTRICAL

GENERAL

Controls and accessories for equipment shall be provided by equipment manufacturer, unless otherwise specified. Access panels shall be installed at any location requiring future access, i.e.: junction boxes, piping valves, etc., whether or not indicated on drawings. Verify all access panel locations with the Architect before installation.

MECHANICAL

System Requirements:

Provide electrical disconnects, transformers, control wiring and all other required accessories necessary for automatic operation of relocated mechanical equipment.

Heating and cooling equipment shall comply with IRC Chapter 14.

-Provide new ductless, thru-the-wall heat/cool unit. Submit specifications for owners approval.

ELECTRICAL

All dimmers and switches shall be mounted to 44" above finished floor to centerline of cover plate, mounted vertical, unless noted otherwise. All switches and cover plates shall be selected from Lutron, color "White".

Wall switches shall be ganged together and covered with a single, continuous cover plate. Cover plates shall not be cut and butted together to accommodate switches.

Outlets adjacent to wet area shall be ground-fault disconnect type (GFI), as required by code.

All wall mounted telephone and electrical outlets shall be located at 18" above finished floor unless noted otherwise.

Smoke detectors shall be installed as required on every level, as per local and state code. Field verify all locations with owner. All units shall be hard wired in a manner that the activation of one alarm will activate all the alarms. See drawing for locations. Install interconnected smoke detectors in each sleeping room, outside each sleeping area, and on each level. Detectors shall be hardwired (to the building wiring) with battery back-up, IRC Section R317.2 & NFPA 72 Section 2-2.1.1.1. Low voltage heat or smoke detection systems require a permit from the Department of Fire and Rescue Services. When alterations, reconstruction, change of use or occupancy, and additions for which the permit was issued after June 1, 2001, occur, smoke detectors must be installed in accordance with Montgomery County Code Interpretation Policy PO2-1.

Pull all interior phone lines to a central panel, V.I.F. location. This shall be coordinated with the local phone company.

BUILDING INSULATION

Provide everything required to complete the work as shown on the Drawings. Insulation shall be fiberglass batt or roll. Provide baffles where bay ventilation is required. Thickness: As noted and/or required, with widths of 16" for walls and rafters and 24" for trusses. Run full-length of joist/rafter bays to achieve maximum values.

WALL FRAMING

All partitions are dimensioned face of stud unless noted finished. Provide and install blocking in partitions as required to securely anchor wall hung items (such as cabinets, shelving, countertops, etc.). This also includes fire blocking at 4-foot high intervals and at floor framing mid span, or as required by local codes.

Wall construction shall comply with IRC Chapter 6.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVISION HISTORY	
DATE	ISSUE
12.23.03	PERMIT

West Residence - Garage Reconstruction
5912 Cedar Parkway
Chevy Chase, Maryland

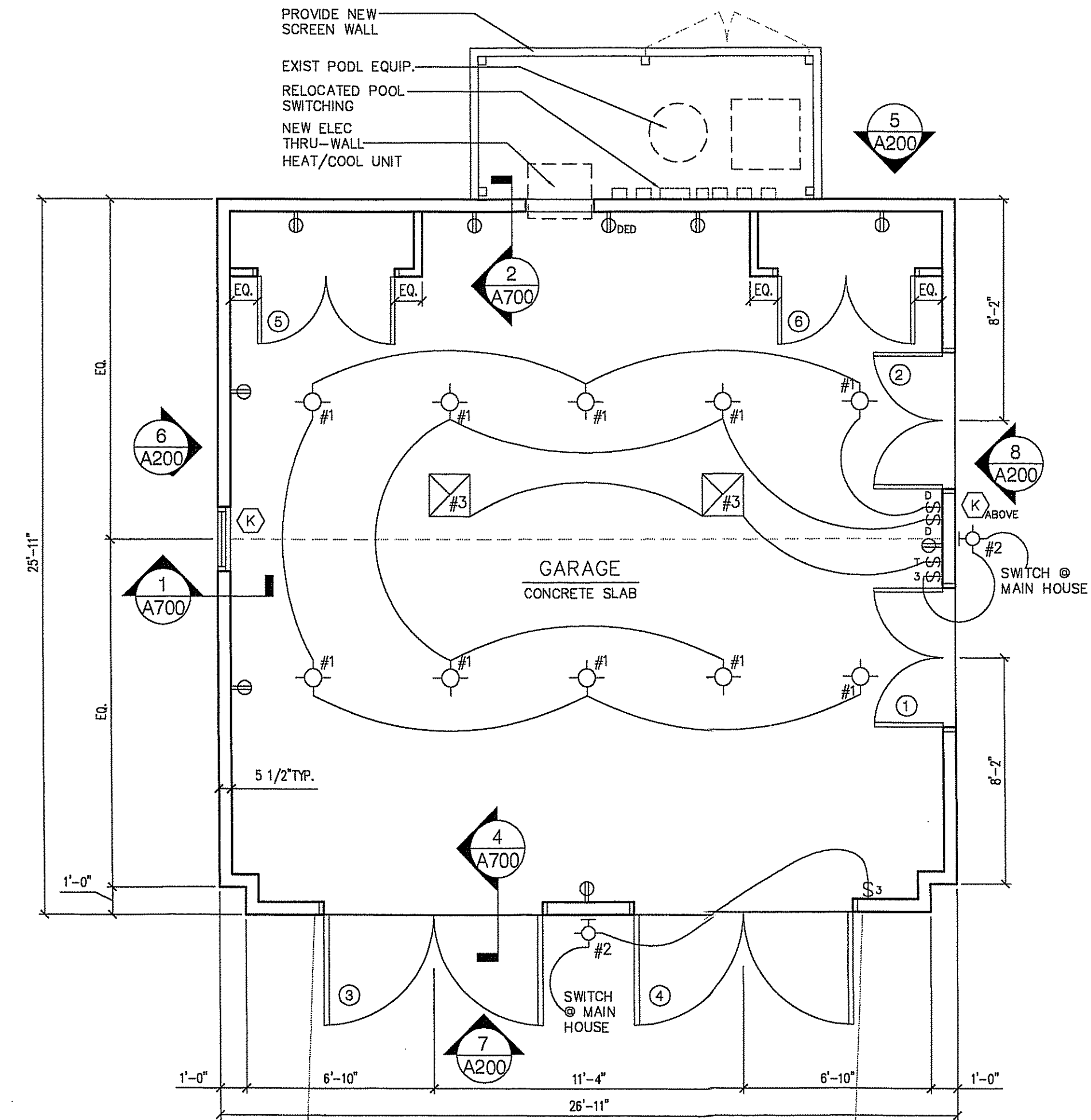
PROJECT NO.: 0331

New Work Plans & Elevations

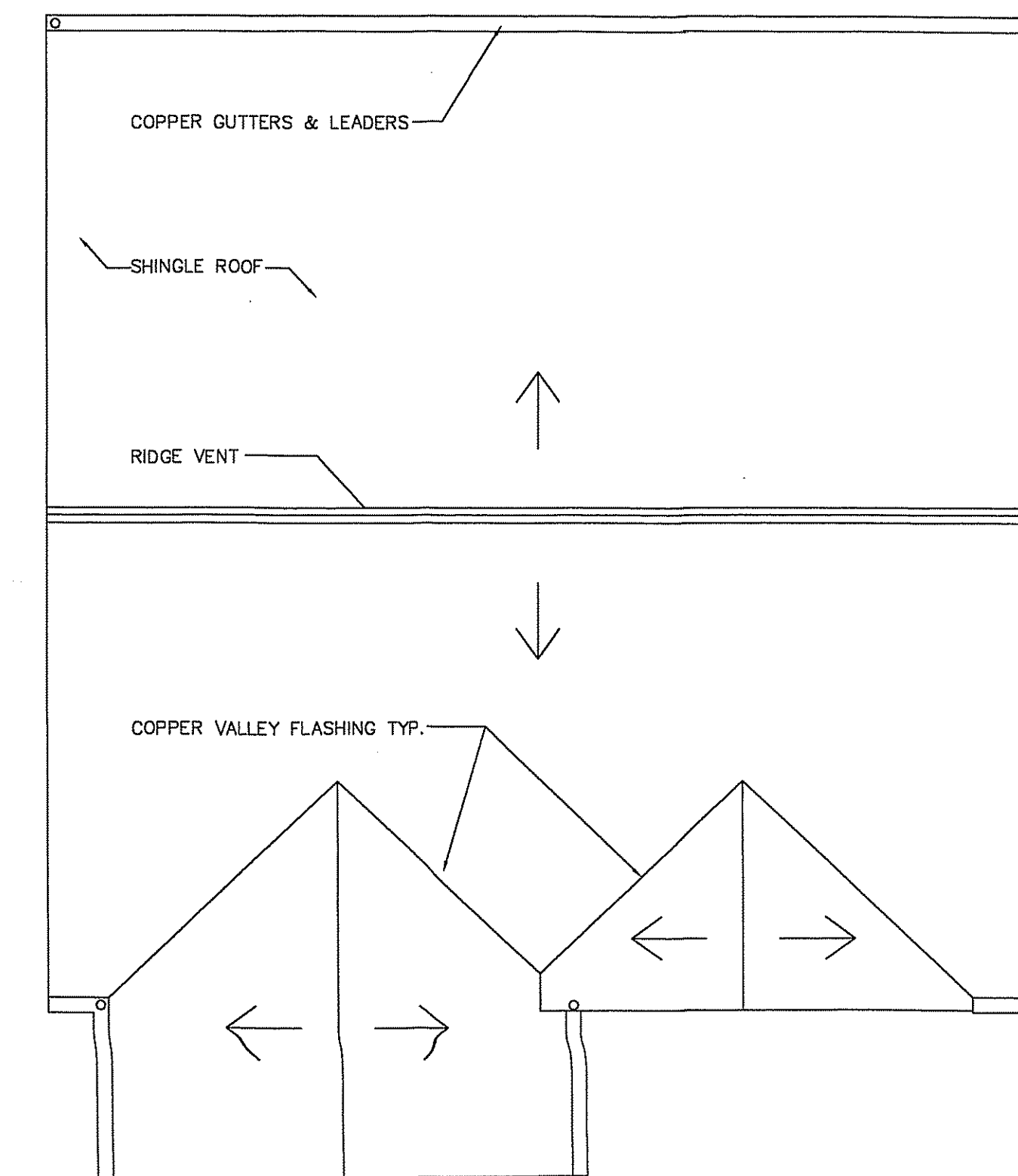
SCALE: AS NOTED

a200

DATE:

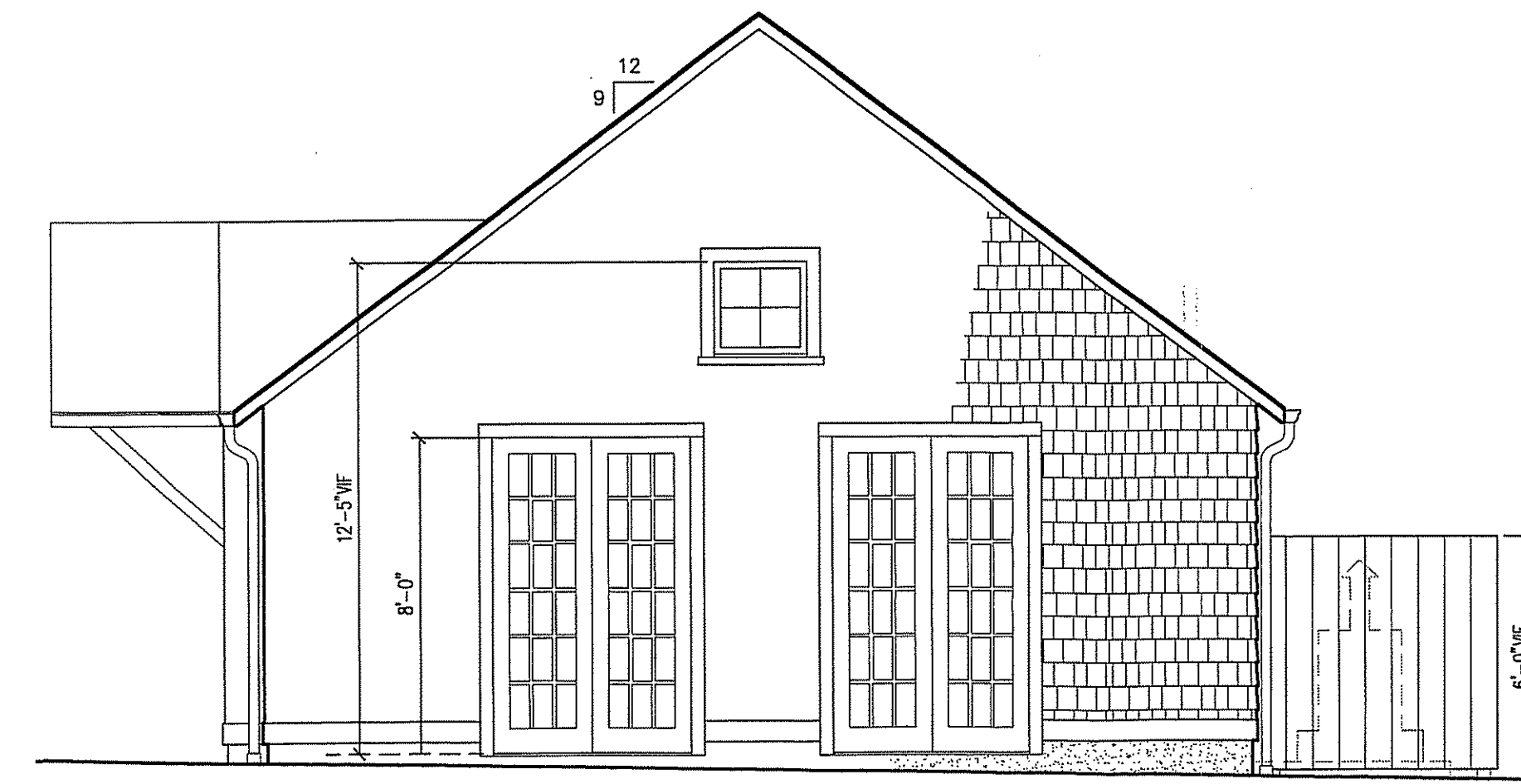


1 **New Work Floor Plan**
1/4" = 1'-0" PLAN

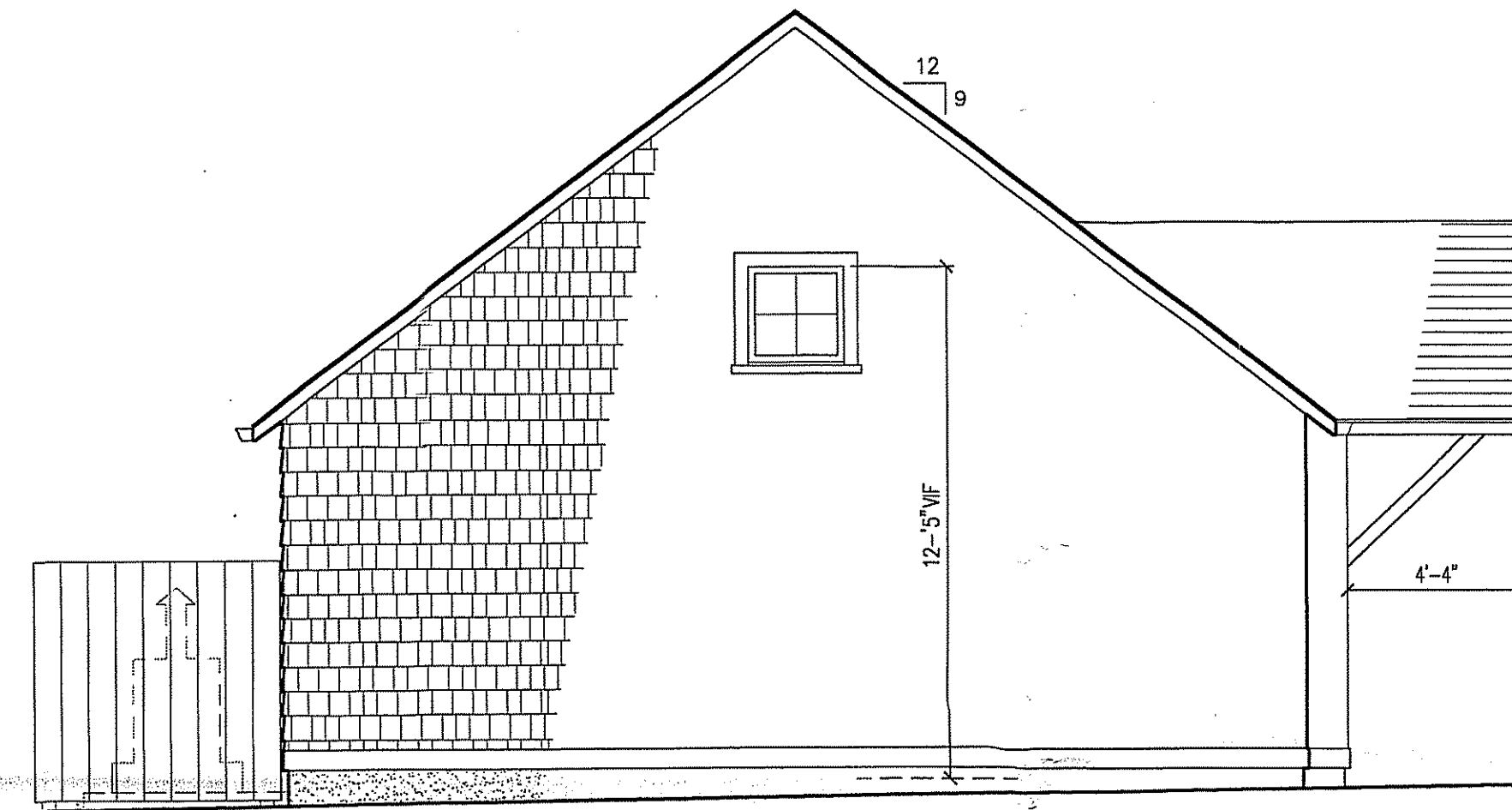


2 **Roof Plan**
1/4" = 1'-0" PLAN

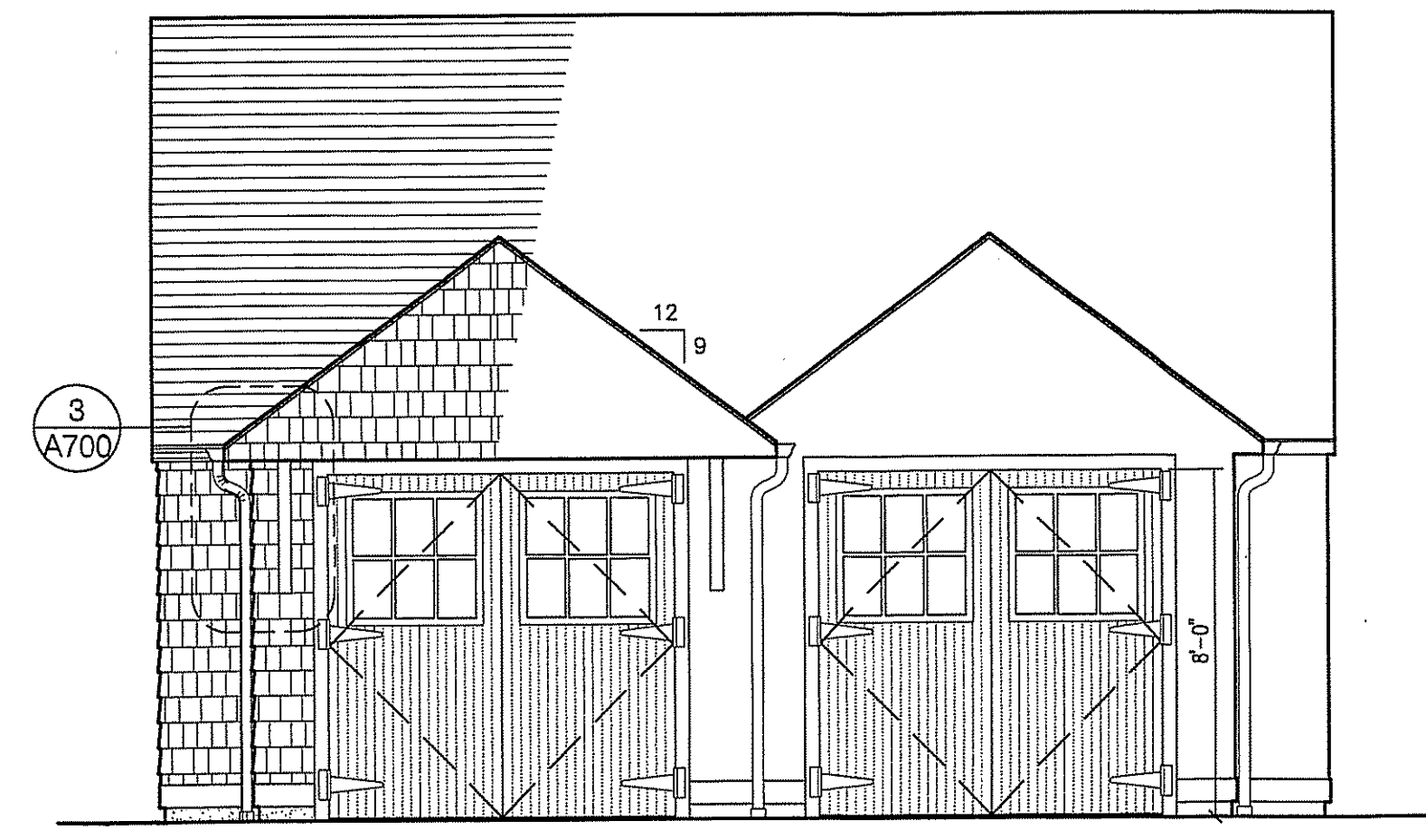
APPROVED
Montgomery County
Historic Preservation Commission
Ann E. Wilson



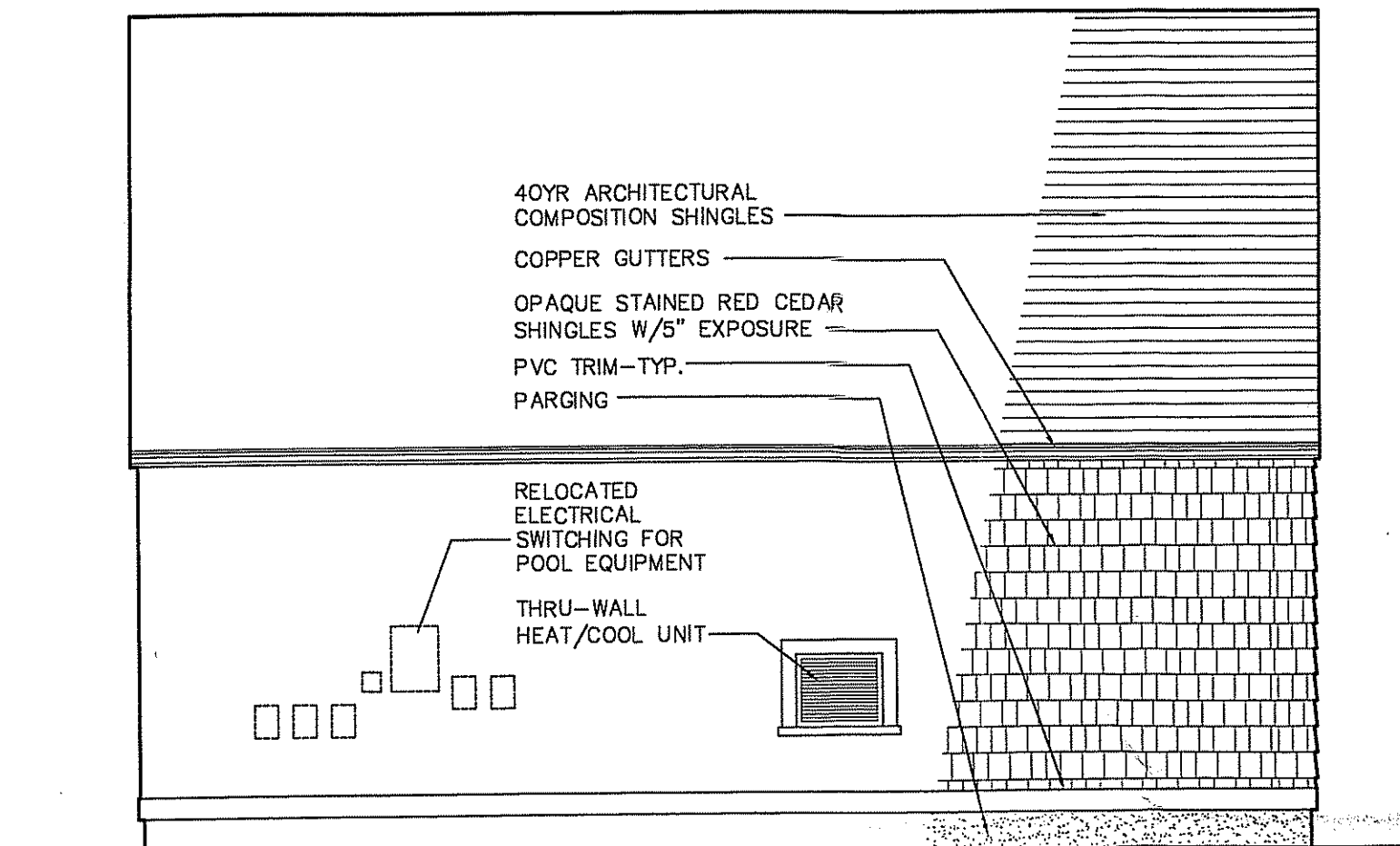
8 **Side Elevation**
1/4" = 1'-0" ELEV



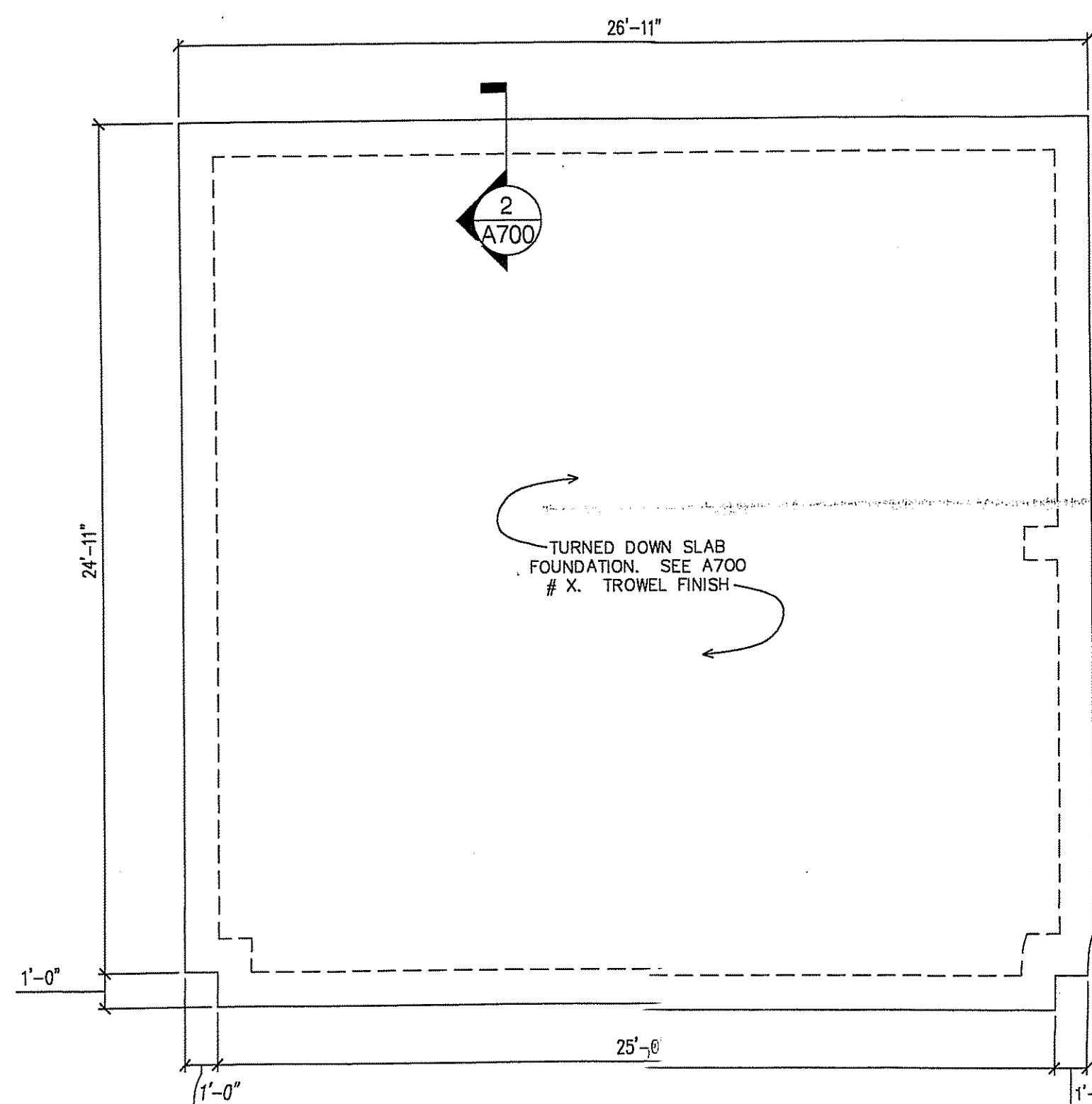
6 **Side Elevation**
1/4" = 1'-0" ELEV



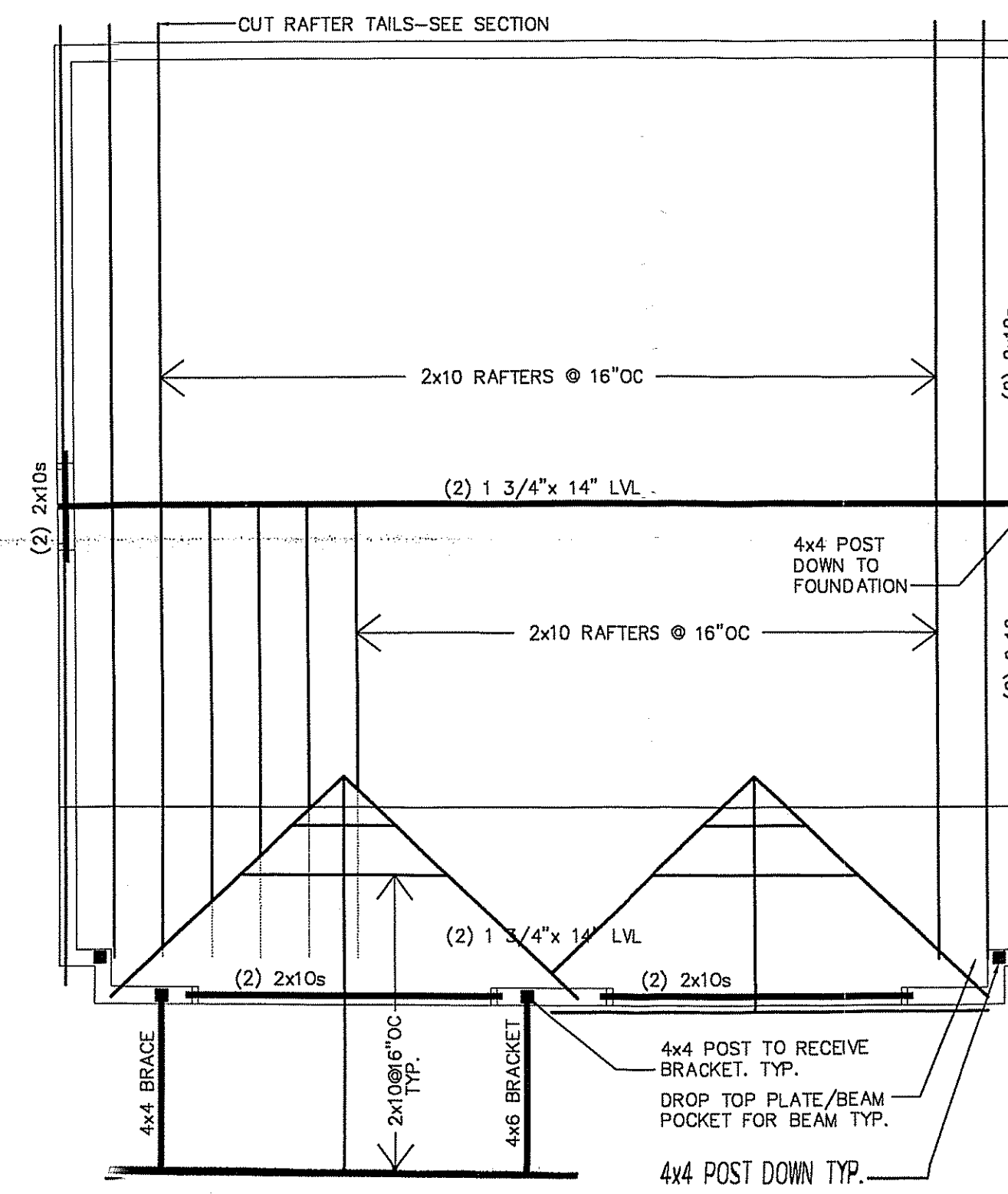
7 **Front Elevation**
1/4" = 1'-0" ELEV



5 **Rear Elevation**
1/4" = 1'-0" ELEV



4 **Footing & Foundation**
1/4" = 1'-0" PLAN



3 **Roof Framing**
1/4" = 1'-0" PLAN

Window Schedule SPECIFICATION: UNO, WINDOWS SHALL BE ANDERSEN 400 SERIES CLAD W/SIMULATED DIVIDED LITES (SDL) & STD INSULATED GLASS (SAFETY GLASS PER CODE). PROVIDE JAMB EXTENSIONS & COORDINATE W/WALL TYPES. PROVIDE INSECT SCREENS. EXTERIOR & INTERIOR TRIM BY GC-SEE TRIM DETAILS. *** COLORS TBD***

MARK	QTY.	MODEL #	TYPE	ROUGH OPENING		MUNTIN PATTERN	REMARKS
				WIDTH	HEIGHT		
A	2	AW251	AWN	2'-4 7/8"	2'-4 7/8"	10	PROVIDE MANUAL REMOTE OPENING DEVICE

WINDOW SCHEDULE NOTES:

Window Muntin Pattern

10

Interior Finish Schedule

RM.#	ROOM NAME	FLOOR	BASE	WALL	CEILING	TRIM	REMARKS
-	GARAGE	C-1	C-1	PNL/P-1	PNL/P-1	P-3	-

FINISH SCHEDULE NOTES:

Finish Legend FINAL SELECTION OF ALL FINISHES BY OWNER.

	MANUFACTURER	MODEL	COLOR	DESCRIPTION
CONCRETE				
C-1	-	TROWEL FINISHED & SEALED	-	-
WOOD PANELLING				
PNL	TBD	WINDSOR 1x6 V-GROOVE	PAINT GRADE	-
ARCHITECTURAL COATINGS				
P-1	SHERWIN WILLIAMS (NO SUBSTITUTIONS)	SUPERPAINT INTERIOR SATIN	TBD	PREPRITE CLASSIC INTERIOR LATEX PRIMER + TWO COATS FINISH
P-3	SHERWIN WILLIAMS (NO SUBSTITUTIONS)	SUPERPAINT INTERIOR SEMI-GLOSS	TBD	PREPRITE CLASSIC INTERIOR LATEX PRIMER + TWO COATS FINISH

FINISH LEGEND NOTES:

Door Schedule

MARK	NOMINAL SIZE		MANUFAC.	MODEL #	FINISH	HARD WARE	REMARKS
	WIDTH	HEIGHT					
1	2'-6"	8'-0"	ANDERSEN	FWH5080APLR	COLOR TBD	ENTRY	FRENCHWOOD HINGED PATIO DOORS
2	2'-6"	8'-0"	ANDERSEN	FWH5080PALR	COLOR TBD	ENTRY	FRENCHWOOD HINGED PATIO DOORS
3	PAIR 4'-0"	8'-0"	CUSTOM BY GC	-	TBD	GARAGE	SEE ELEVATIONS
4	PAIR 4'-0"	8'-0"	CUSTOM BY GC	-	TBD	GARAGE	SEE ELEVATIONS
5	PAIR 2'-6"	6'-8"	MASONITE OR EQ.	SOLID CORE	PAINTED	CLOSET	
6	PAIR 2'-6"	6'-8"	MASONITE OR EQ.	SOLID CORE	PAINTED	CLOSET	

DOOR SCHEDULE NOTES:

Hardware Schedule UNO, ALL LATCHING/LOCKING HARDWARE FURNISHED BY OWNER & INSTALLED BY GC. UNO, ALL HARDWARE FINISHES SELECTED BY OWNER

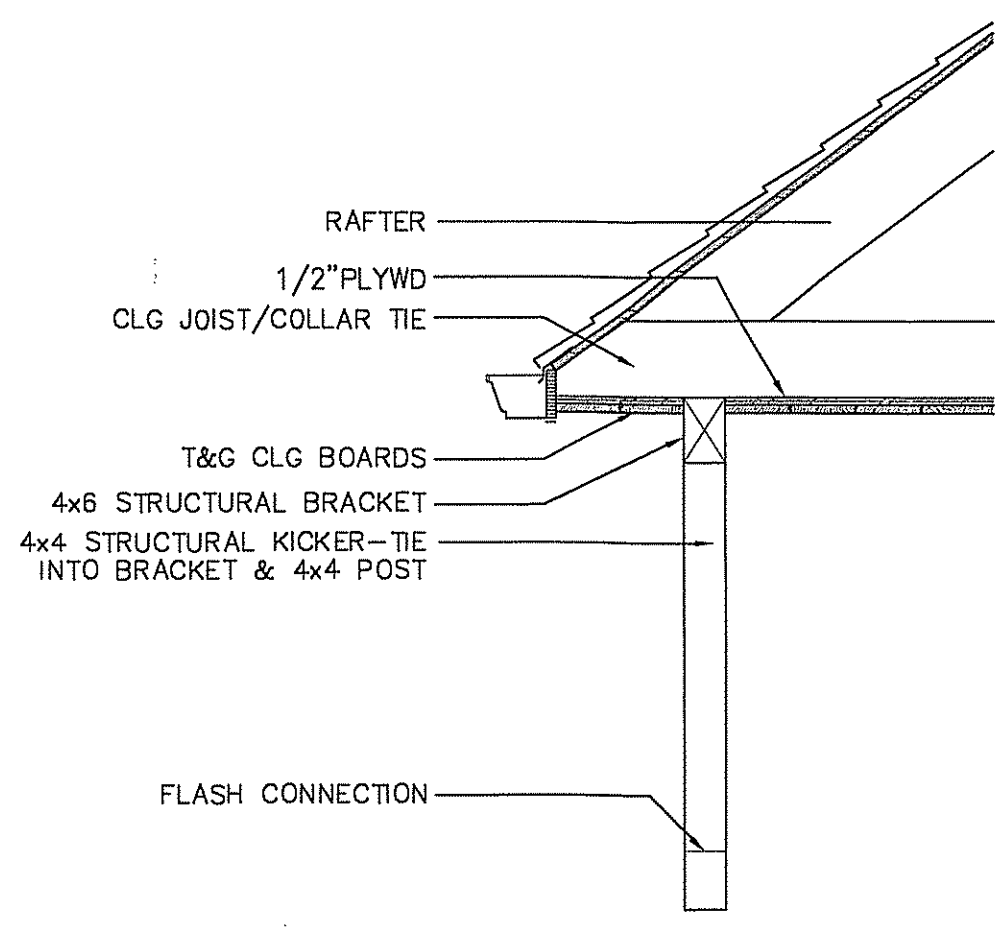
ENTRY	ANDERSEN HARDWARE FOR 8FT DOORS. FINISH TBD	GARAGE	EXTERIOR HARDWARE-BRASS/BRONZE OR IRON.
CLOSET	1 1/2" PAIR BALL BEARING BUTTS. NON-LOCKING LATCHSET LEVER @ EXTERIOR & LEVER OR THUMBTURN ON INSIDE. DUMMY LEVER & FLUSH BOLT INACTIVE LEAF		

HARDWARE SCHEDULE NOTES:

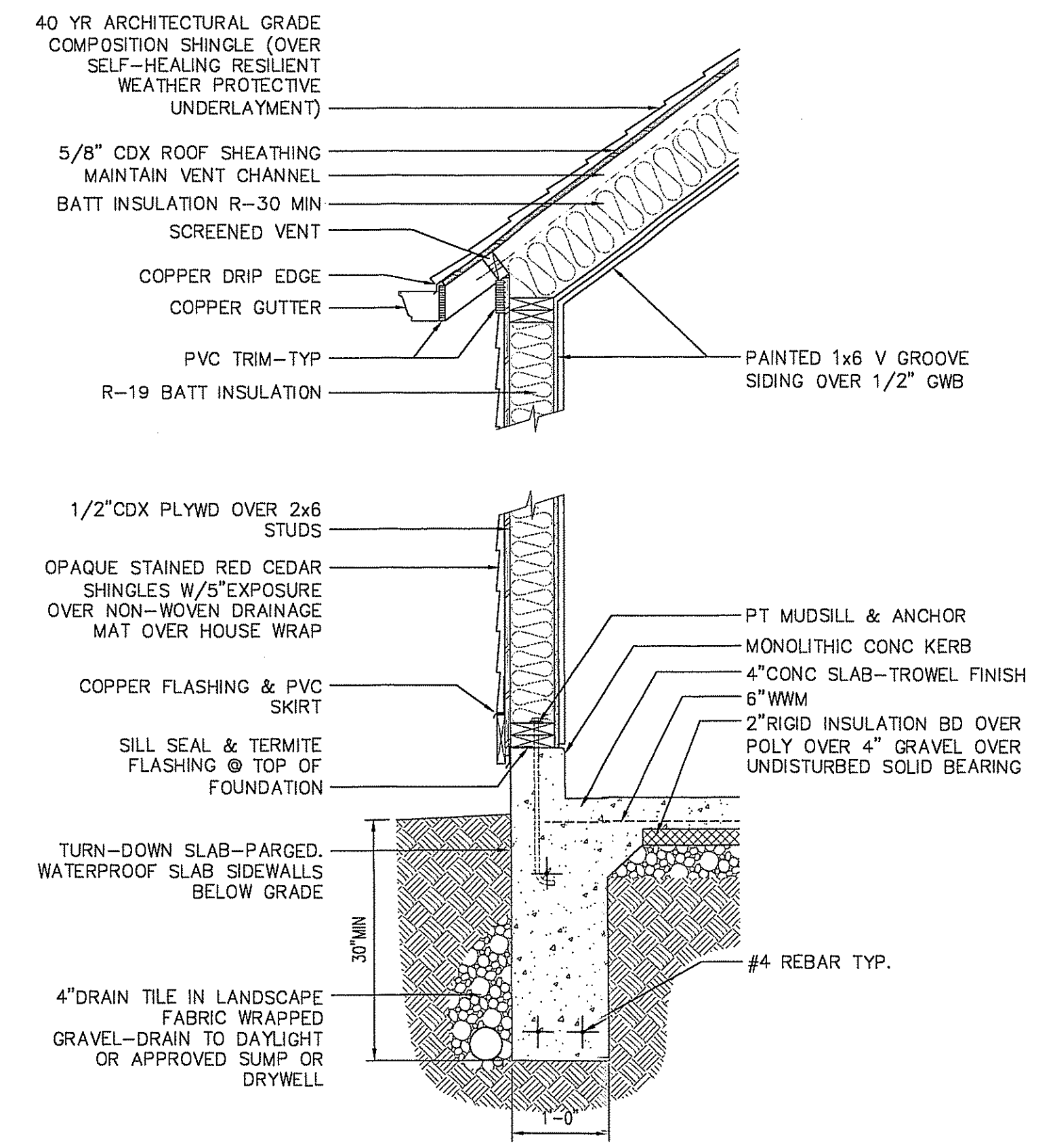
Lighting / Ceiling Fixture Schedule

#	MANUFACTURER	MODEL	LAMP	VOLT	MOUNTING	REMARKS
1	LIGHTOLIER	LYTECASTER #1133CL	PAR30	120	CLG/RECESSED	6 3/4" STEEP SLOPE TRIM
2	TBD	TBD	TBD	TBD	WALL MTD EXT	OWNER FURNISHED CONTRACTOR INSTALLED. FOR WET LOCATIONS
3	PANASONIC	FV-40VQ3	N/A	120	CLG/RECESSED	380 CFM. PROVIDE SWITCH ON TIMER. PAINT LOW-PROFILE ROOF DISCHARGE TO MATCH SHINGLES.

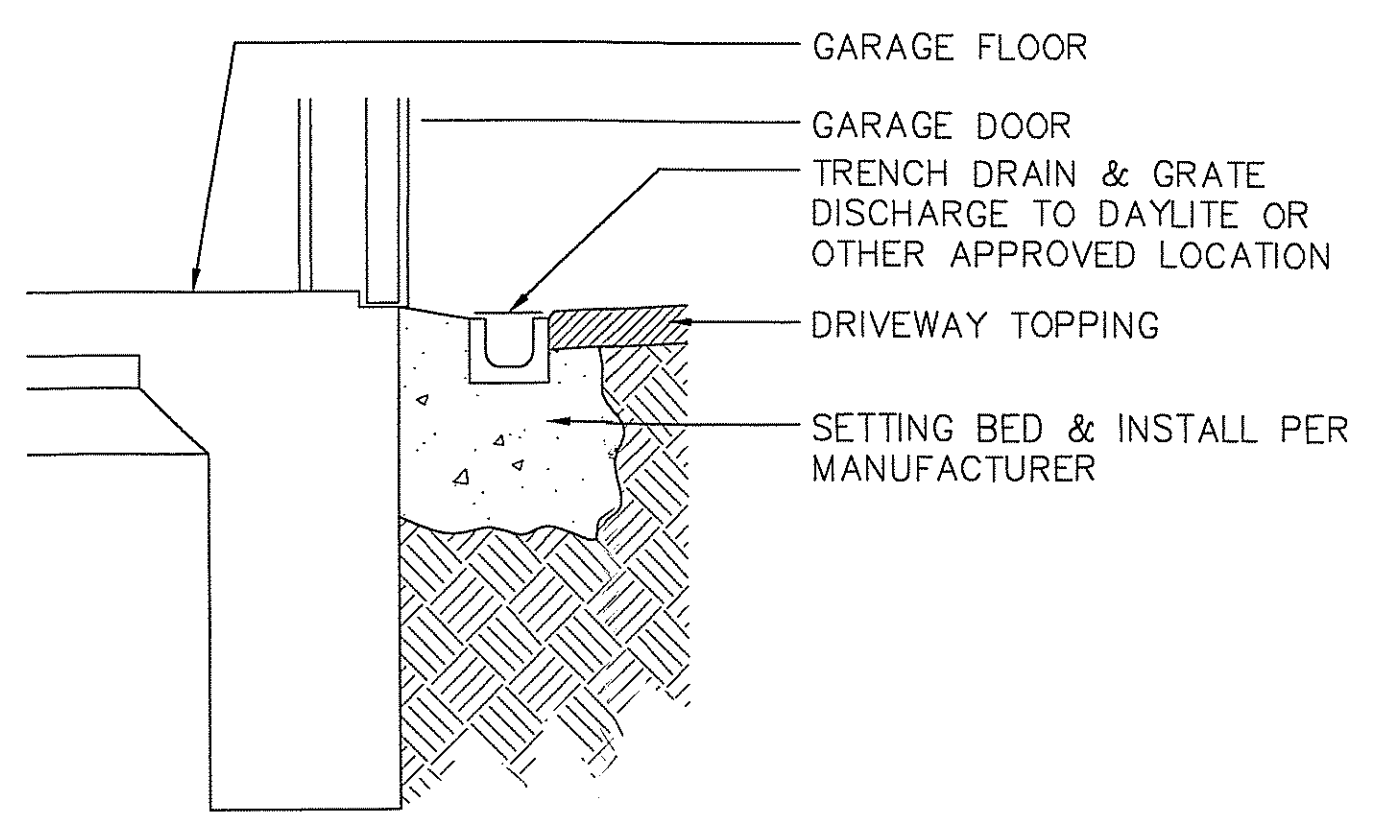
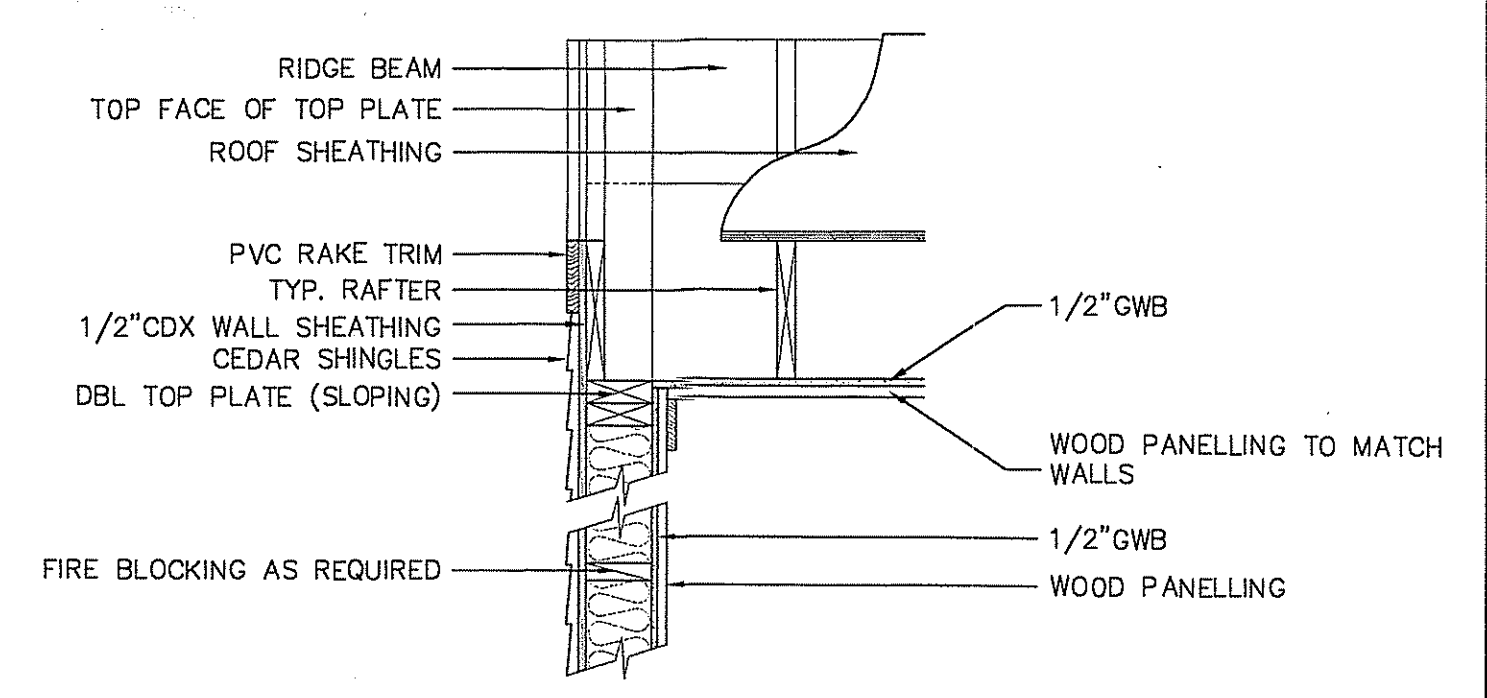
LIGHTING/CLG FIXTURE SCHEDULE NOTES:



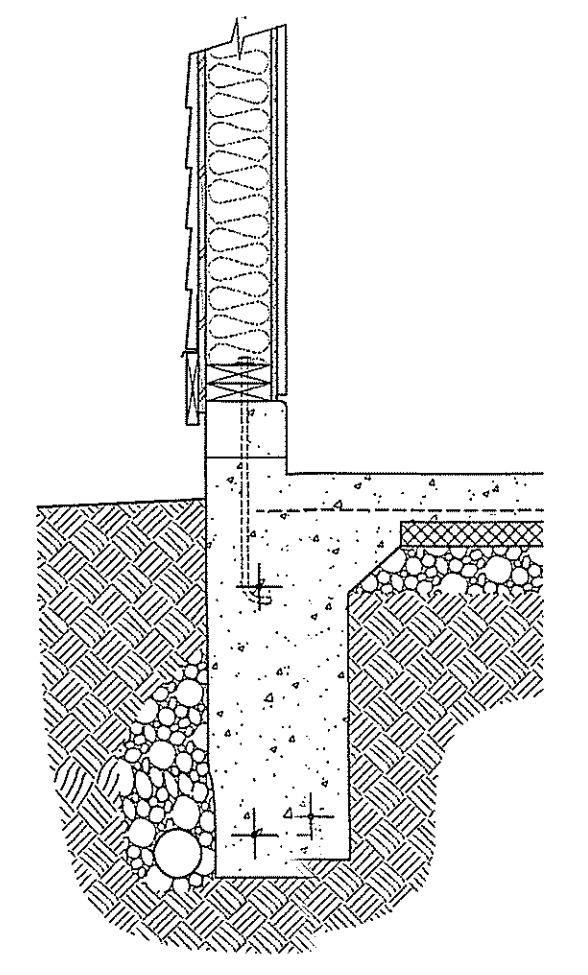
③ **Roof Overhang Detail**
1" = 1'-0" VERT SECTION



② **Wall Section**
3/4" = 1'-0" VERT SECTION



④ **Apron Detail**
1" = 1'-0" VERT SECTION



① **Wall Section**
3/4" = 1'-0" VERT SECTION

APPROVED
Montgomery County
Historic Preservation Commission
Susan E. Williams

REVISION HISTORY

DATE	ISSUE
12.23.03	PERMIT

Renovation And Addition To:
The Kenary Residence
8051 Glendale Road
Bethesda, Maryland 20815

PROJECT NO.: 0308

Schedules & Details

SCALE: AS NOTED

A700

DATE: 07.xx.03




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: December 4, 2003

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator 
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application – Approval

Your Historic Area Work Permit application was approved by the Historic Preservation Commission at its recent meeting. Enclosed is a transmittal memorandum stating conditions (if any) of approval.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	5912 Cedar Parkway, Chevy Chase	Meeting Date:	12/03/03
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	11/26/03
Review:	HAWP	Public Notice:	11/19/03
Case Number:	35/13-03Z	Tax Credit:	None
Applicant:	Jay West (Mike Banks, Architect)	Staff:	Michele Naru

PROPOSAL: Driveway Expansion and Garage Alterations

RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival
DATE: 1916-1927

The subject house is a two-story structure with stucco on the first floor and panted shingles on the second. The principal window type is a 6/6 double-hung window. The simple side gable roof is sheathed in asphalt.

The property contains two garages located behind the existing house, which are currently attached to each other. The original garage (c1908) encroaches on the existing side yard setback. The second garage (c1950) is attached to the north elevation of the original garage and currently serves as a combination storage shed/pool house. The overall condition of the existing structure is poor. The structure itself is constructed of wood studs and boards sheathed in painted shingles and roofed with composition 3-tab shingle. The structure sits on a concrete foundation. The wood construction exhibits signs of water damage, rot, extensive termite damage and peeling/chipping of paint. The exposed concrete foundation is fairly rough and has spalled and been patched in areas over time. The structure measures about 25 ft. x 21 ft. The floor area is about 494 sq.ft.

PROPOSAL:

The owners wish to alter the existing garages by:

- a. moving the structural footprint slightly, so it is in line with the modern zoning set-back requirements and farther away from the existing tulip poplar tree,
- b. increasing the existing footprint approx. 156 sq.ft.
- c. increasing the height of the existing rooflines, 4'3". (existing height is 13'9", proposed height is 18')

The owners also desire to add an asphalt extension to the existing asphalt driveway for access to the second bay of the garage.

STAFF DISCUSSION

The subject garages are considered Contributing Resources within the Chevy Chase Village Historic District. The *Chevy Chase Village Design Guidelines* state that garages that are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building. The applicants are taking great strides to retain the existing character defining features of these buildings and its current environment. The material specifications for this project are cedar shingles, architectural composition roofing, wood trim and details, true-divided light wood windows, and custom swinging wood doors, which will replicate the existing. The structural foundation for the wall opposing the tulip poplar tree is a pier and grade beam system, which is designed to minimize the impact to this tree's root system. The applicants are also proposing to increase their current asphalt driveway with an apron extension along the front of the right bay of the proposed new garage. This will provide access to this bay, which is not currently used as a garage. Staff does not object to this driveway extension and feels that the design incorporates the needed access without expanding the entire width of the existing driveway. The proposal will be compatible with the main house of the house and will not negatively impact the historic character of the historic district. The alterations are consistent with the *Chevy Chase Village Design Guidelines*. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

IM

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MIKE BANKS, FOX ARCH.

Daytime Phone No.: 301, 718.2021

Tax Account No.: 00455190

Name of Property Owner: JAY WEST Daytime Phone No.: 301.803.3331

Address: 5912 CEDAR PKWY CHEVY CHASE MD 20815
Street Number City State Zip Code

Contractor: KANDEL CONSTRUCTION Phone No.: 301.775.7727

Contractor Registration No.: 36644-01

Agent for Owner: FOX ARCHITECTS Daytime Phone No.: 301.718.2021

LOCATION OF BUILDING/PREMISE

House Number: 5912 Street: CEDAR PKWY

Town/City: CHEVY CHASE Nearest Cross Street: W. KIRKE STREET

Lot: _____ Block: _____ Subdivision: CHEVY CHASE #9 (GROUP B1)

Liber: 1048 Folio: 125 Parcel: P 675

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: GARAGE

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A

2B. Type of water supply: 01 WSSC 02 Well 03 Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Fox Arch.
Signature of owner or authorized agent

11.12.02
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 324474 Date Filed: _____ Date Issued: _____

November 11, 2003

APPLICATION FOR HISTORIC AREA WORK PERMIT

1. **WRITTEN DESCRIPTION OF PROJECT**

- A. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing ancillary structure under consideration is a composite building consisting of a one car garage contemporary to the adjacent house (circa 1908) and a attached garage circa 1950 with some more recent improvements. The latter portion of the building currently serves as a combination storage shed/pool house. The structure is located at the back corner of the lot and at a lower grade than that of the public street and is therefore somewhat hidden from public view. Immediately adjacent to the structure is the backyard of a residential property as well as the open fairways of a golf course. The overall setting is bucolic with specimen plantings and medium height shrubbery as well as a hedgerow and border tree line along the golf course property. One significant feature located on the property is an excellent example of a mature tulip poplar tree approximately 5 foot in diameter. This tree is about fifteen ft. from the structure.

The overall condition of the existing structure is poor. The structure itself is constructed of wood studs and boards sheathed in painted shingles and roofed with composition 3-tab shingle. The structure sits on a concrete foundation. The wood construction exhibits signs of water damage, rot, extensive termite damage and peeling/chipping of paint. The exposed concrete foundation is fairly rough and has spalled and been patched in areas over time. The structure measures about 25 ft. x 21 ft. The floor area is about 494 sq.ft.

The structure does not appear to be historically significant by any measure. Craftsmanship is average and the architectural detailing is plain where it does occur.

- B. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Reconstruction of the garage involves moving the structural footprint slightly and increasing the square footage by approximately 156 sq.ft. This shift brings the structure in line with modern zoning set-backs and further distances the foundation system from the tulip poplar root system.

The additional square footage better accomodates todays automobiles while remaining modest enough to retain the character of the original building. The structural foundation for the wall opposing the tulip poplar is a pier and grade beam system chosen to minimize any impact on the tree's root system.

The material pallette will closely match that of the original. This includes stylistically appropriate trim, cedar shingles and architectural composition roofing. The front facade of the structure will sport custom swinging garage doors to match the original design. The overall effect will mimic the domestic nature of the original garage though now structurally stable and more eye appealing. As the new structure will closely follow the character and pallette of the original, environmental and historical impact does not seem to be an issue.

West Residence 5912 Cedar Pkwy, Chevy Chase, Md. 20815
November 11, 2003

ADJACENT & CONFRONTING PROPERTY OWNERS

J. Michael & C.L. McGarry
5910 Cedar Pkwy
Chevy Chase, Md. 20815

John H. Montgomery et al
5914 Cedar Pkwy
Chevy Chase, Md. 20815

Charles A. & H.H. Hobbs
33 W. Kirke St.
Chevy Chase, Md. 20815

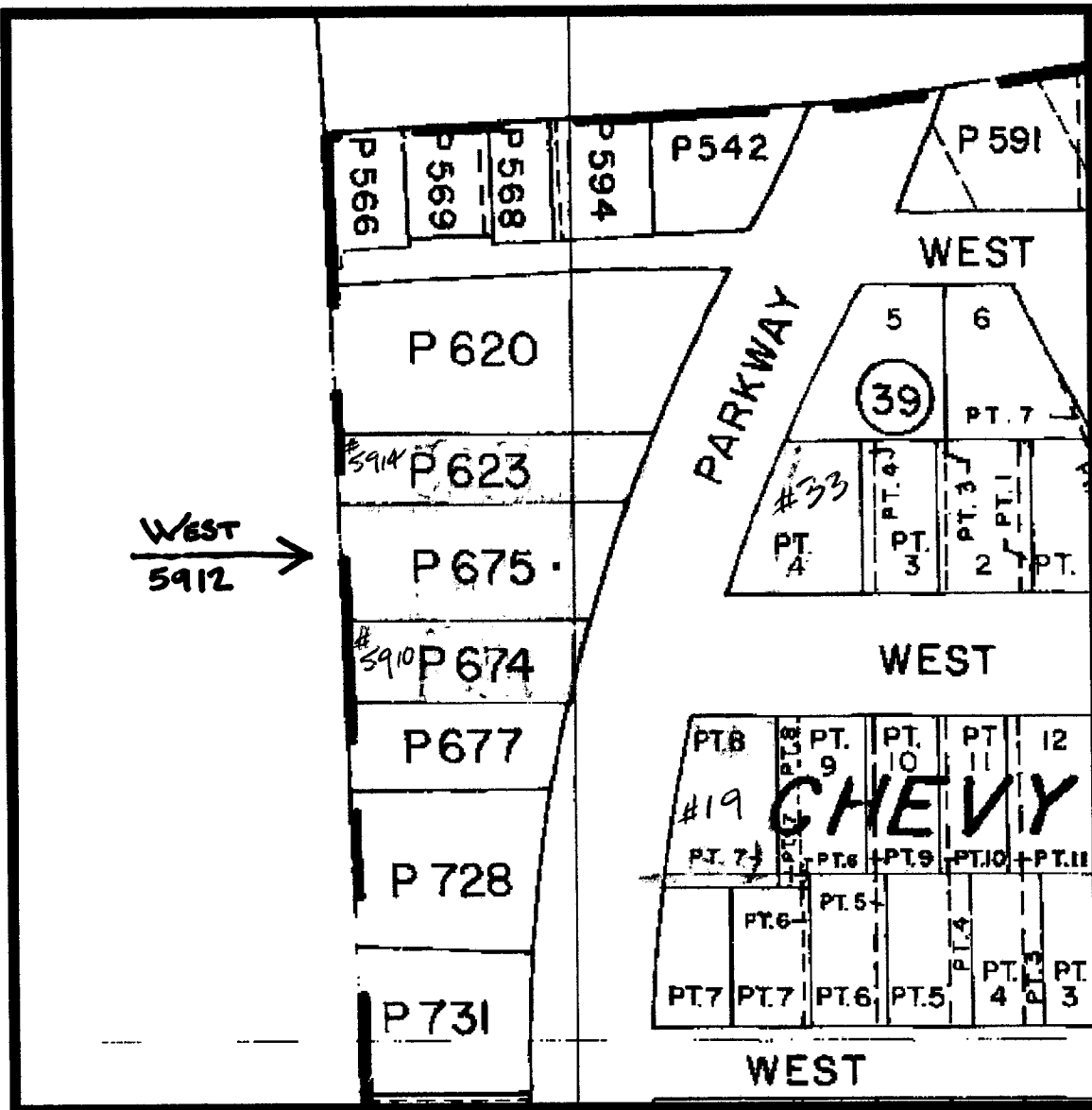
Thomas W. & A.M. Toch
19 W. Kirke St.
Chevy Chase, Md. 20815



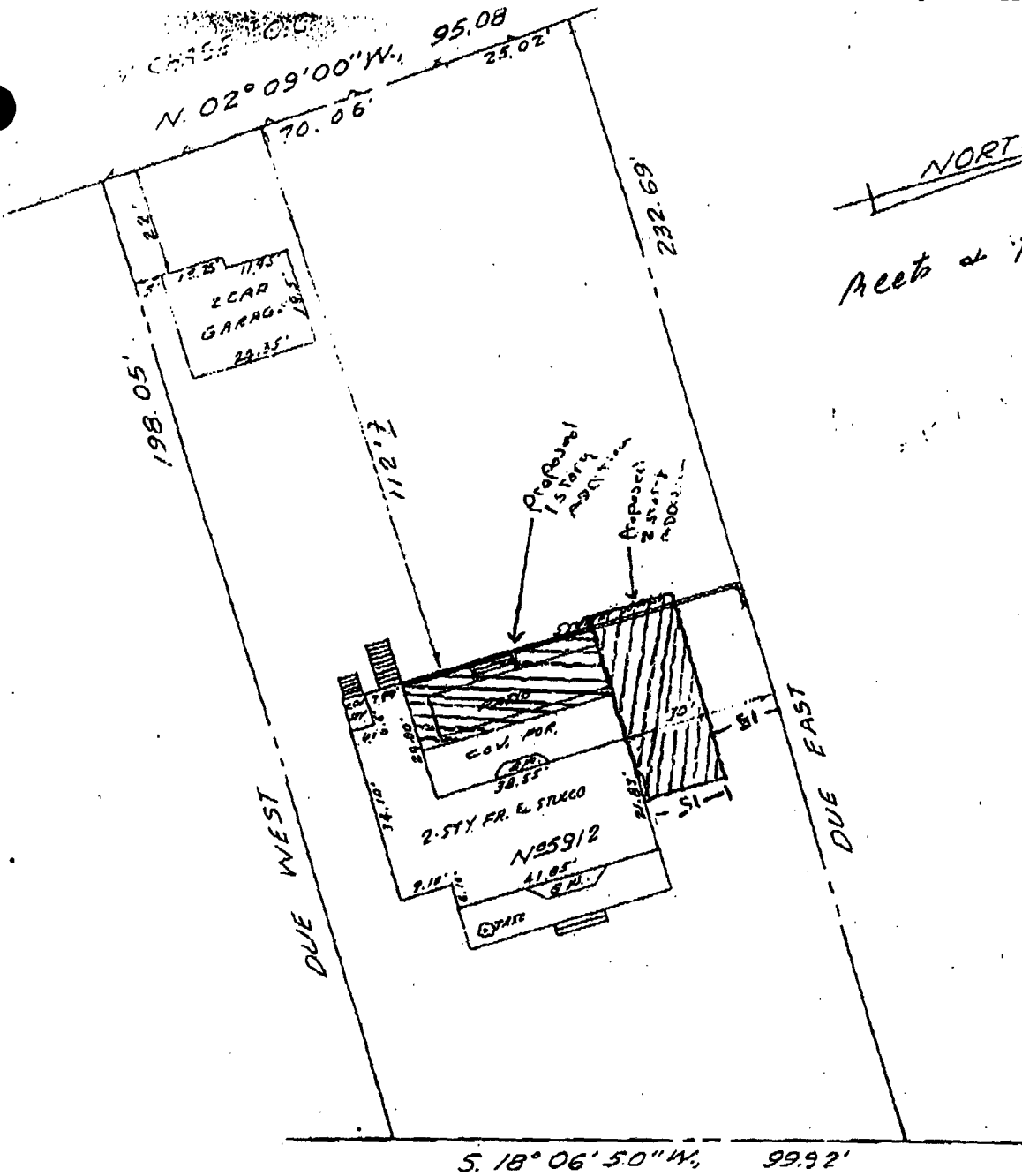
Maryland Department of Assessments and Taxation
MONTGOMERY COUNTY
Real Property Data Search

[Go Back](#)
[View Map](#)
[New Search](#)

District - 07 Account Number - 00455190



Property maps provided courtesy of the Maryland Department of Planning ©2001 - 2002.
For more information on electronic mapping applications, visit the Maryland Department of Planning web
site at www.mdp.state.md.us/webcom/index.html



NORTH
Meets at Corners.

NOT RE-SURVEYED IN
ACCORDANCE WITH
NEED.

8912 CEDAR PARKWAY

PLAT BOOK NO 2
PLAT NO 106

SURVEYOR'S CERTIFICATE: I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS ON ABOVE DESCRIBED PROPERTY HAVE BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.

HOUSE LOCATION SURVEY:

MONTGOMERY COUNTY, MARYLAND

BET	FOLIO	SECTION
1048	125	2

SUBDIVISION

CHEVY CHASE

SCALE: 1"=30'
C.S. REALTY CO.

JOHN S. McCALL
LAND SURVEYOR, MD. REG. NO 2284
8601 HENFSTAD AVE.
BETHESDA, MD. 20034

DATE: OCT. 11, 1978
CERTIFIED CORRECT

John S. McCall
CERTIFIED LAND SURVEYOR

ASE NO

EXISTENCE OF PROPERTY CORNER MARKERS
NOT SHOWN BY THIS SURVEY

PARCEL B, BLOCK A
CHEVY CHASE CLUB
PLAT NO. 22441

SCALE: 1" = 30'
LIBER 17900, FOLIO 69



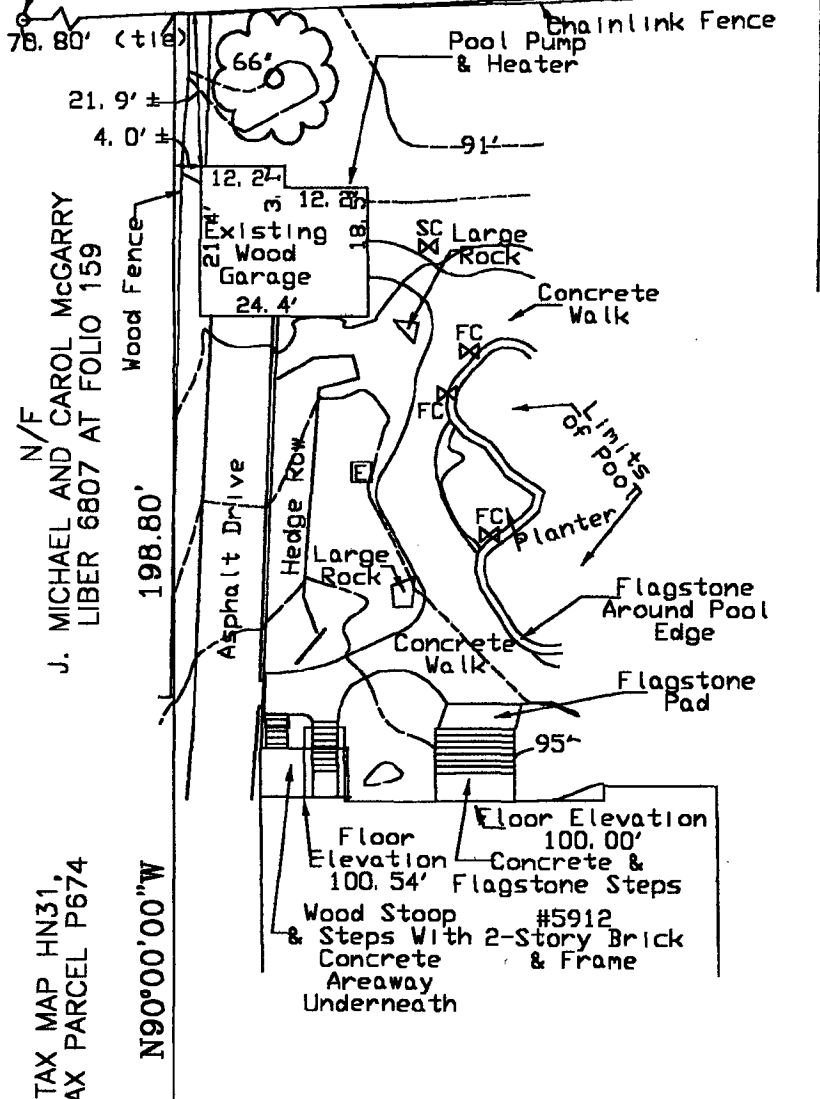
N02°35'23"W 95.07'

308.40' (tie)

Stone Monument
Found (Held for
Western Line)

NOTES:

Open Ended
Iron Pipe Found
(Held for Western Line)



N/F
J. MICHAEL AND CAROL MCGARRY
LIBER 6807 AT FOLIO 159

TAX MAP HN31,
TAX PARCEL P674

Wood Fence
198.80'

N90°00'00"W

234.16'

S90°00'00"E

TAX MAP HN31,
TAX PARCEL P623

N/F
JOHN AND MARILYN MONTGOMERY
LIBER 17209 AT FOLIO 84

TAX MAP HN31,
TAX PARCEL P675
LIBER 17900 AT FOLIO 69
20,558 SQUARE FEET
or 0.4719 ACRES

EXISTING
SITE PLAN—NO SCALE
WEST RESIDENCE
11.11.03

Pinched Iron
Pipe Found
(Held)

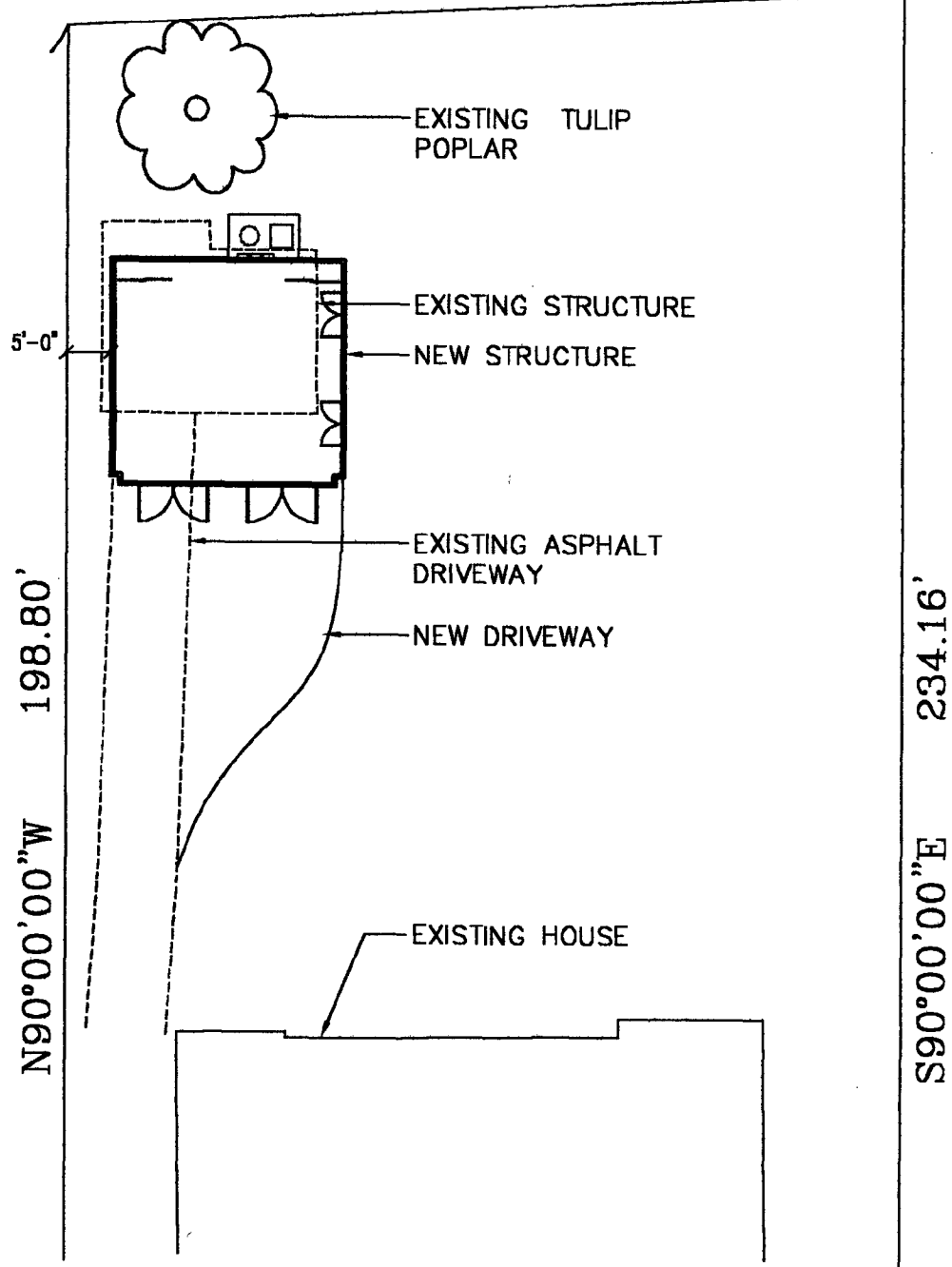
S18°06'50"W
CEDAR PARKWAY
100' RIGHT OF WAY
PER P.B. 2 P.No. 106

99.92'

Pinched Iron
Pipe Found
(Held)

Open Ended
Iron Pipe Found
(Held for Western Line)

N02°35'23"W 95.07'



PARTIAL SITE PLAN 1" = 20'-0"
WEST RESIDENCE
11.11.03





EXISTING FRONT ELEVATION



SCALE: 1/4" = 1'-0"

WEST RESIDENCE 11.12.03

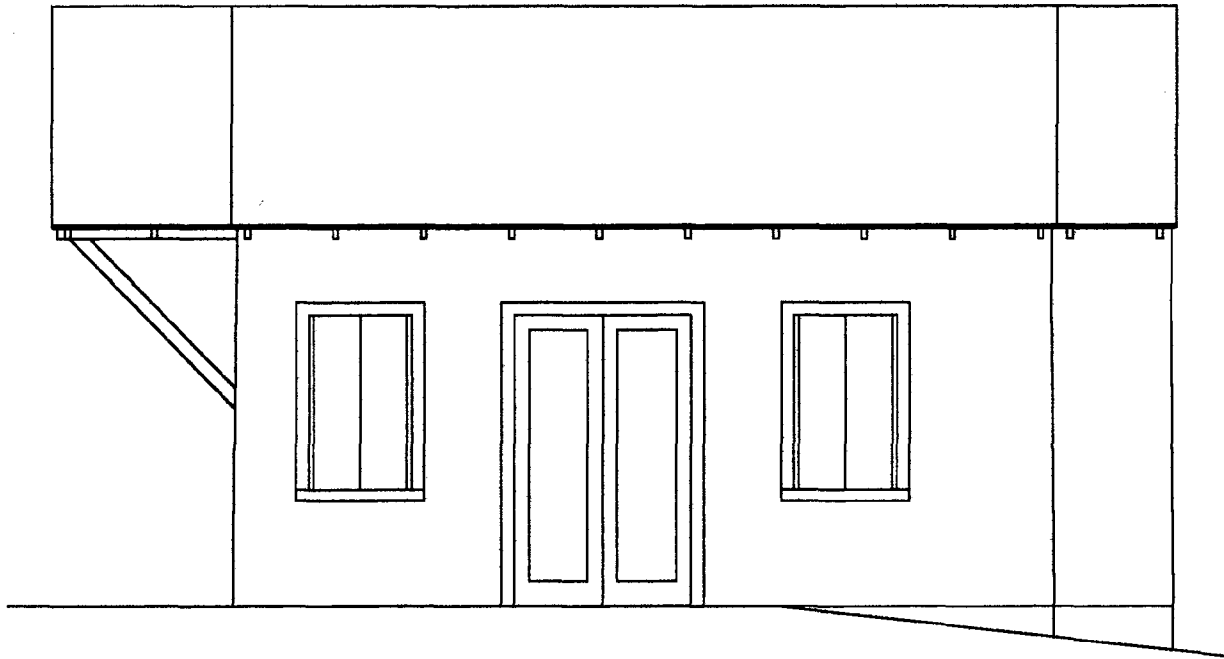


NEW FRONT ELEVATION

12

SCALE: 1/4" = 1'-0"

WEST RESIDENCE 11.12.03

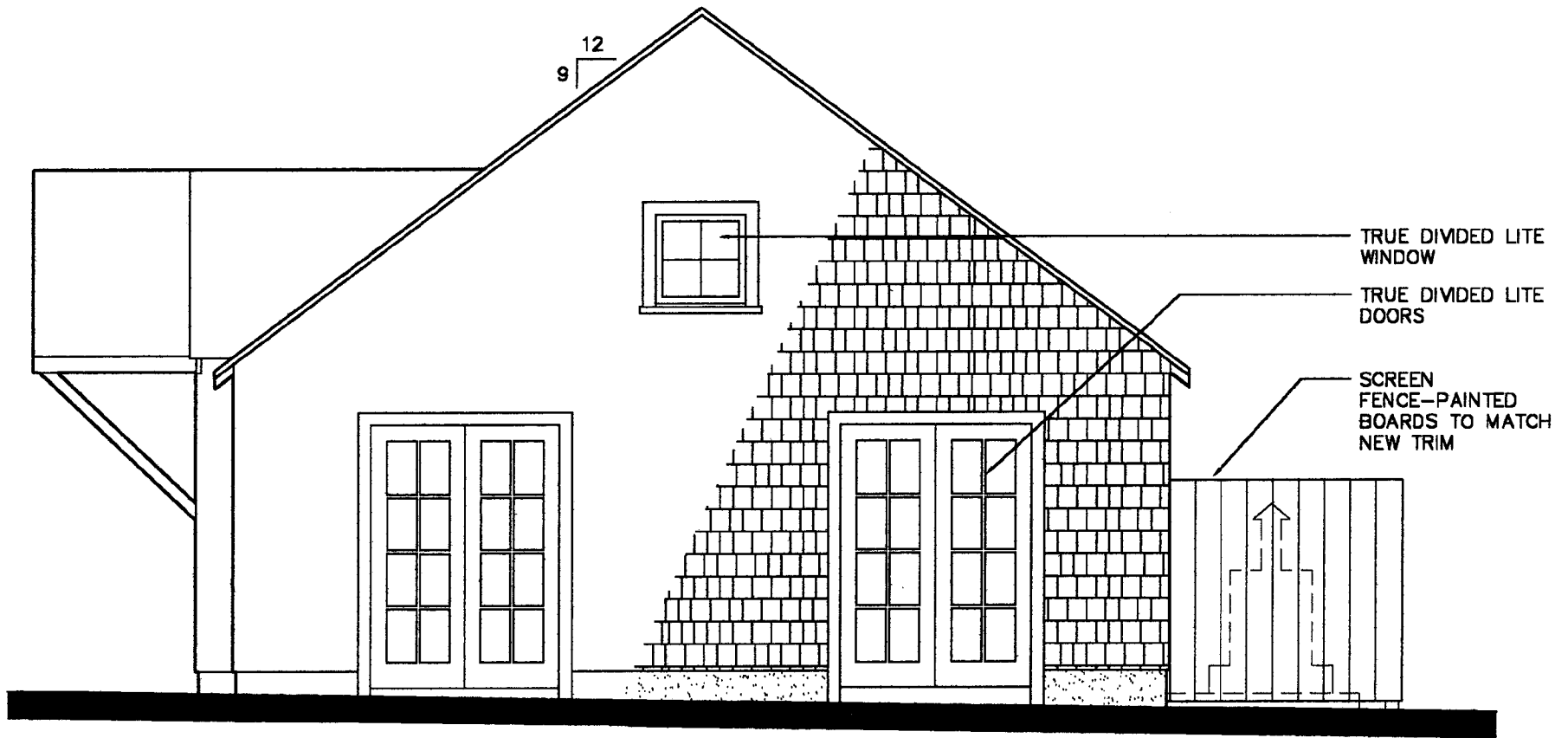


EXISTING SIDE ELEVATION

13

SCALE: 1/4" = 1'-0"

WEST RESIDENCE 11.12.03

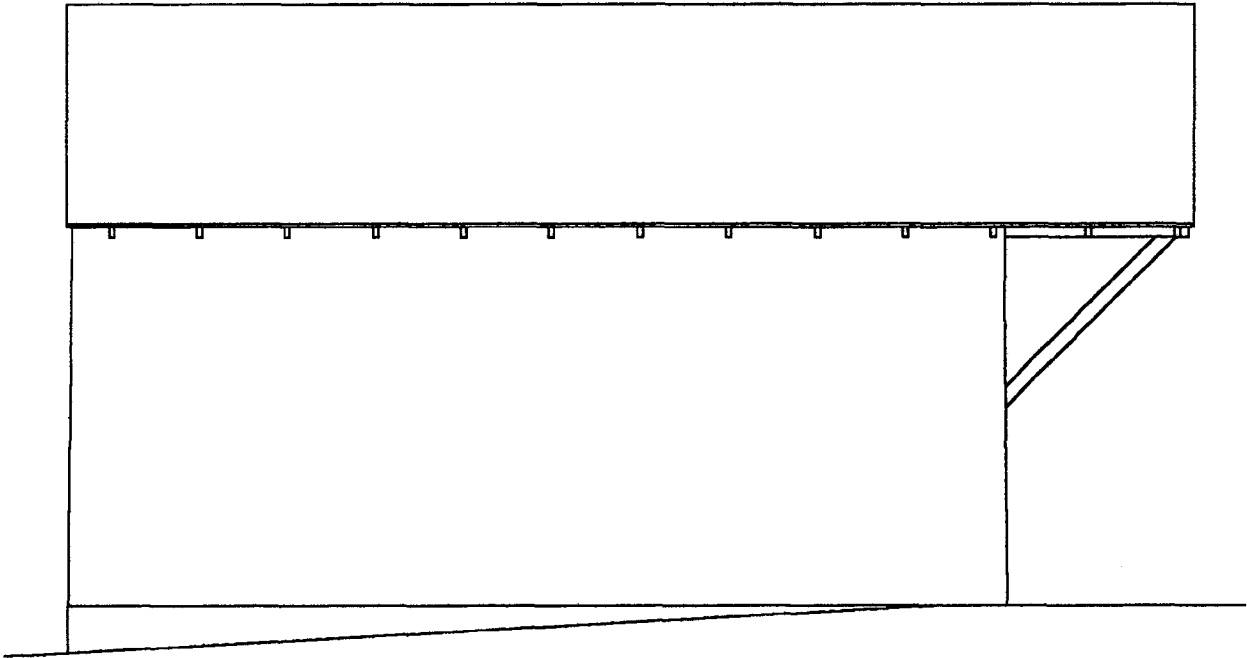


NEW SIDE ELEVATION



SCALE: 1/4" = 1'-0"

WEST RESIDENCE 11.12.03

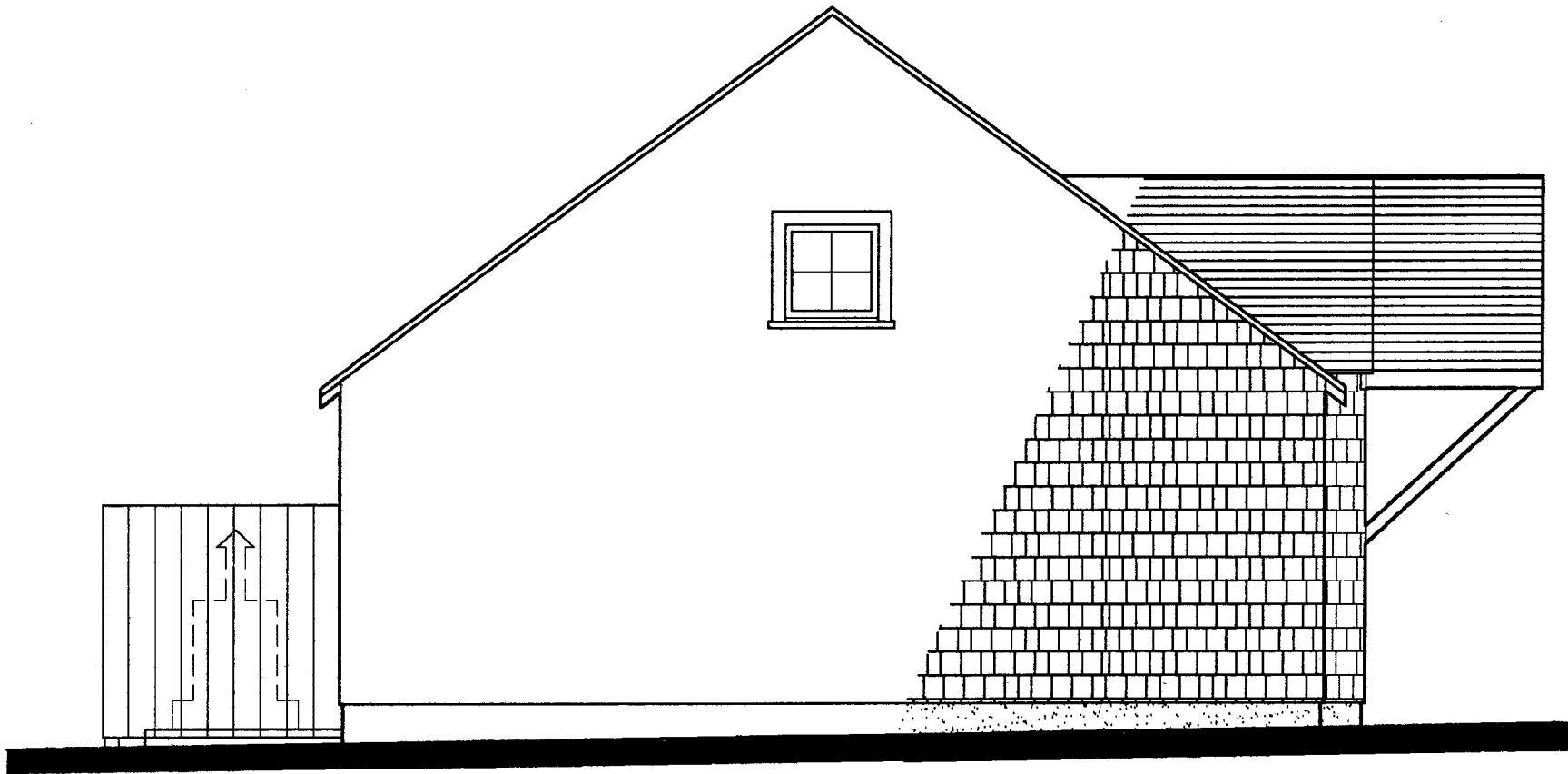


EXISTING SIDE ELEVATION

57

SCALE: 1/4" = 1'-0"

WEST RESIDENCE 11.12.03

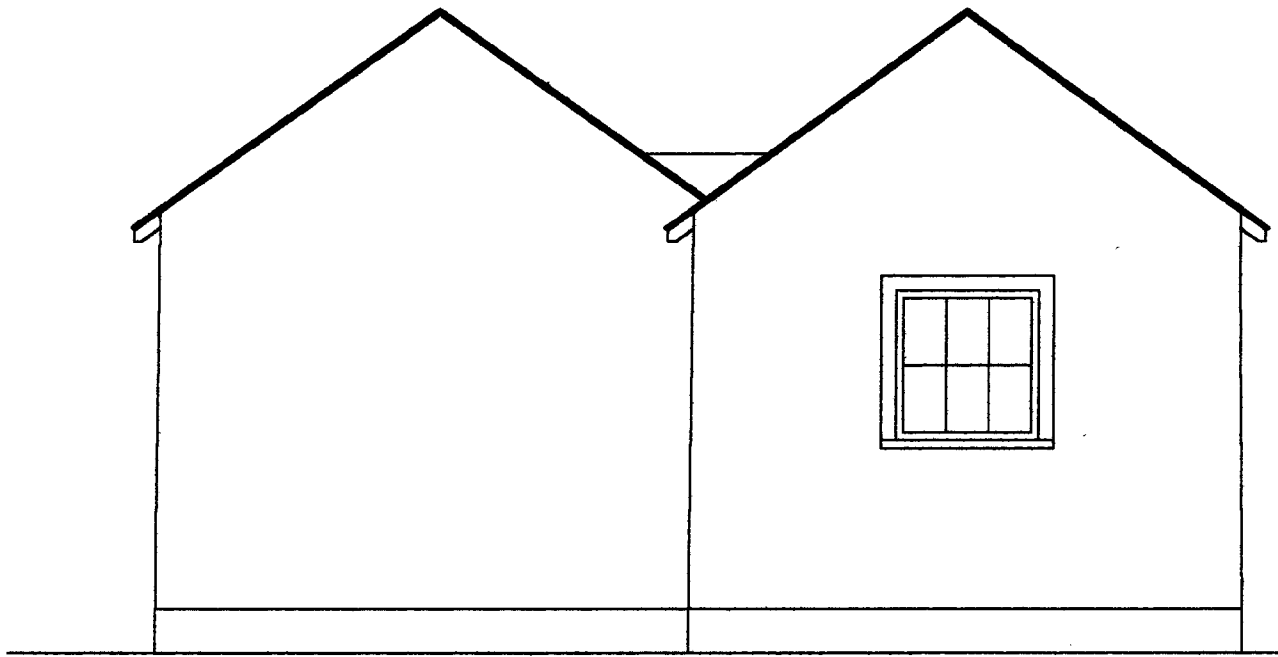


NEW SIDE ELEVATION

16

SCALE: 1/4" = 1'-0"

WEST RESIDENCE 11.12.03

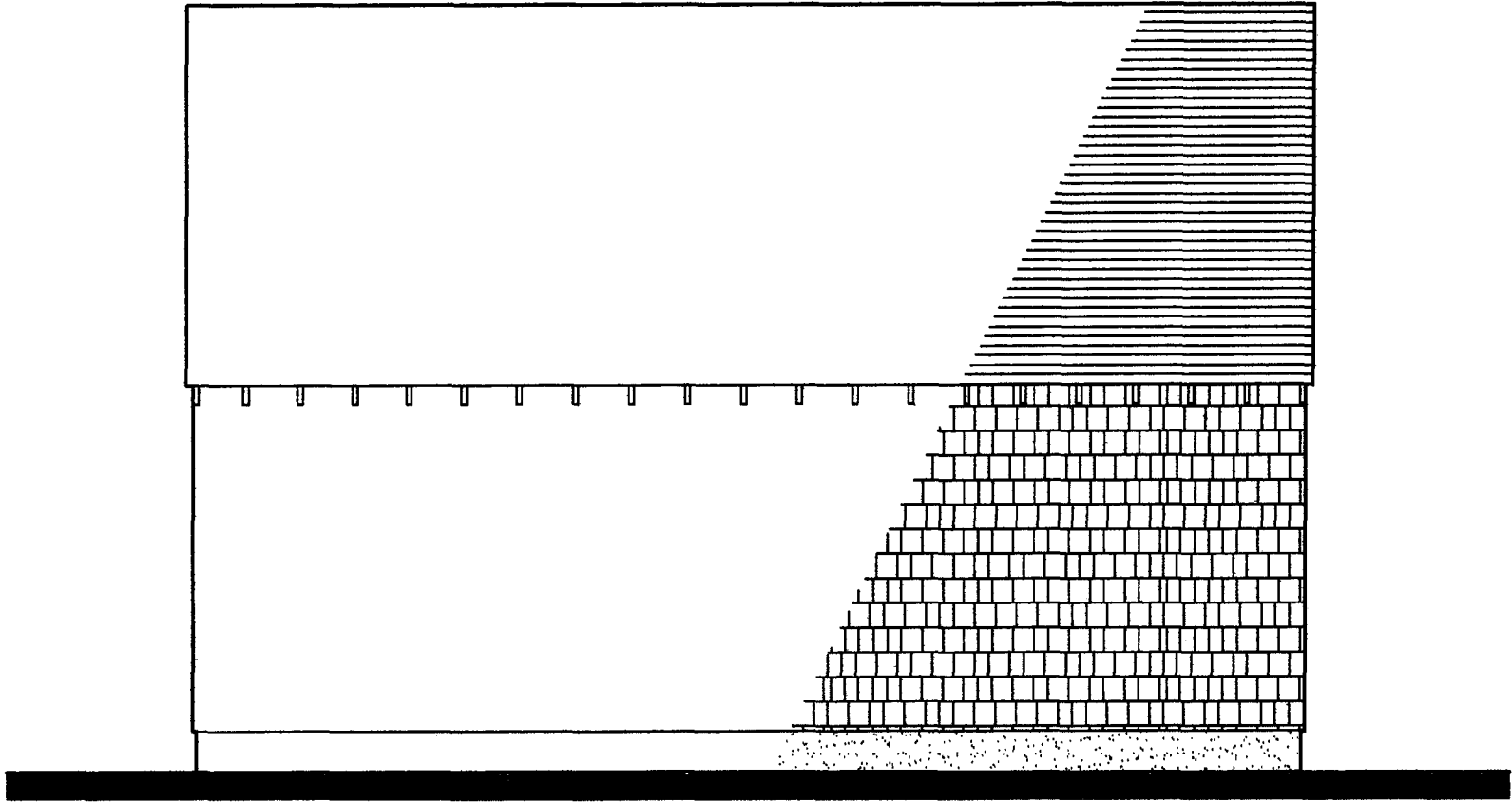


EXISTING REAR ELEVATION

5

SCALE: 1/4" = 1'-0"

WEST RESIDENCE 11.12.03



NEW REAR ELEVATION

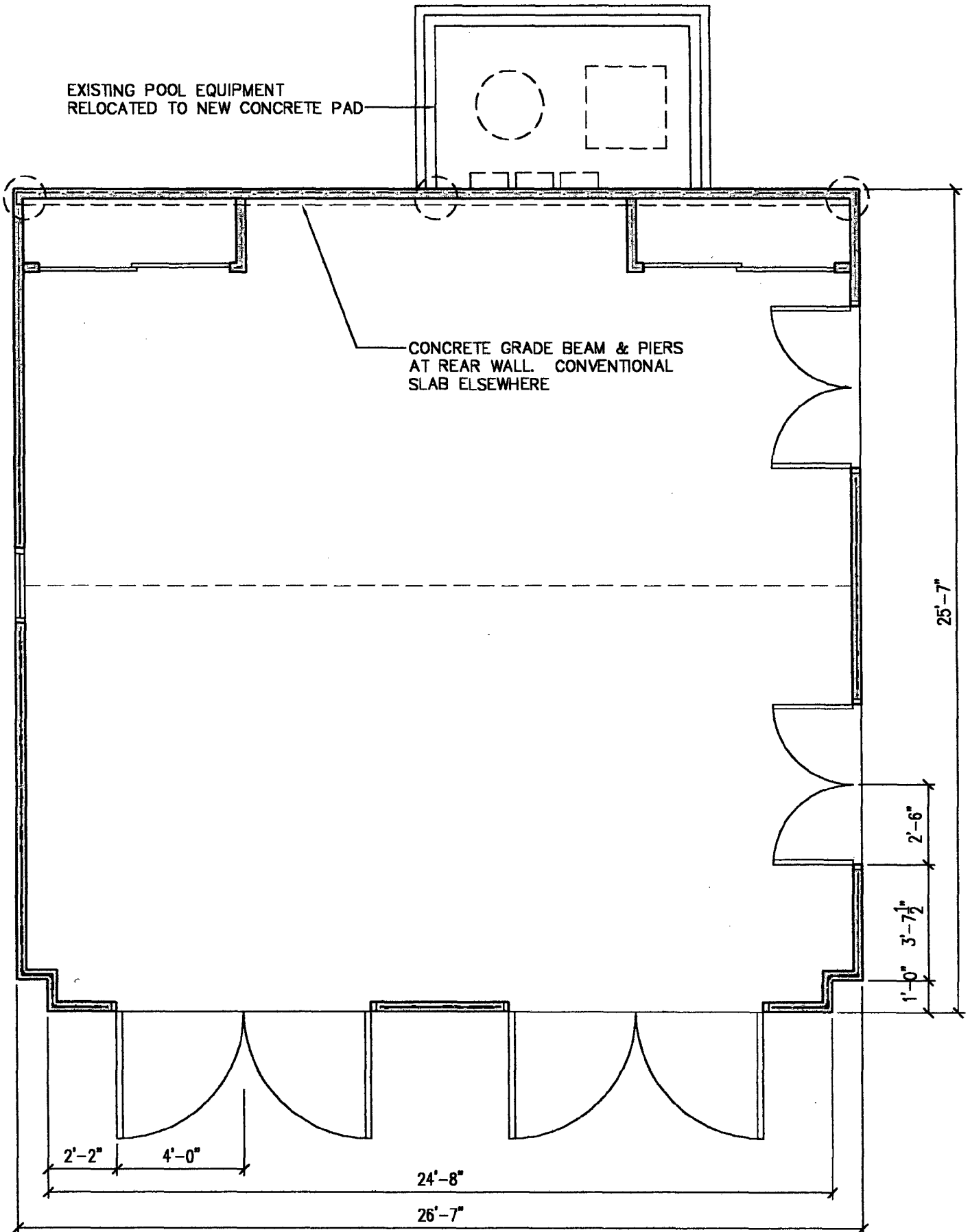
18

SCALE: 1/4" = 1'-0"

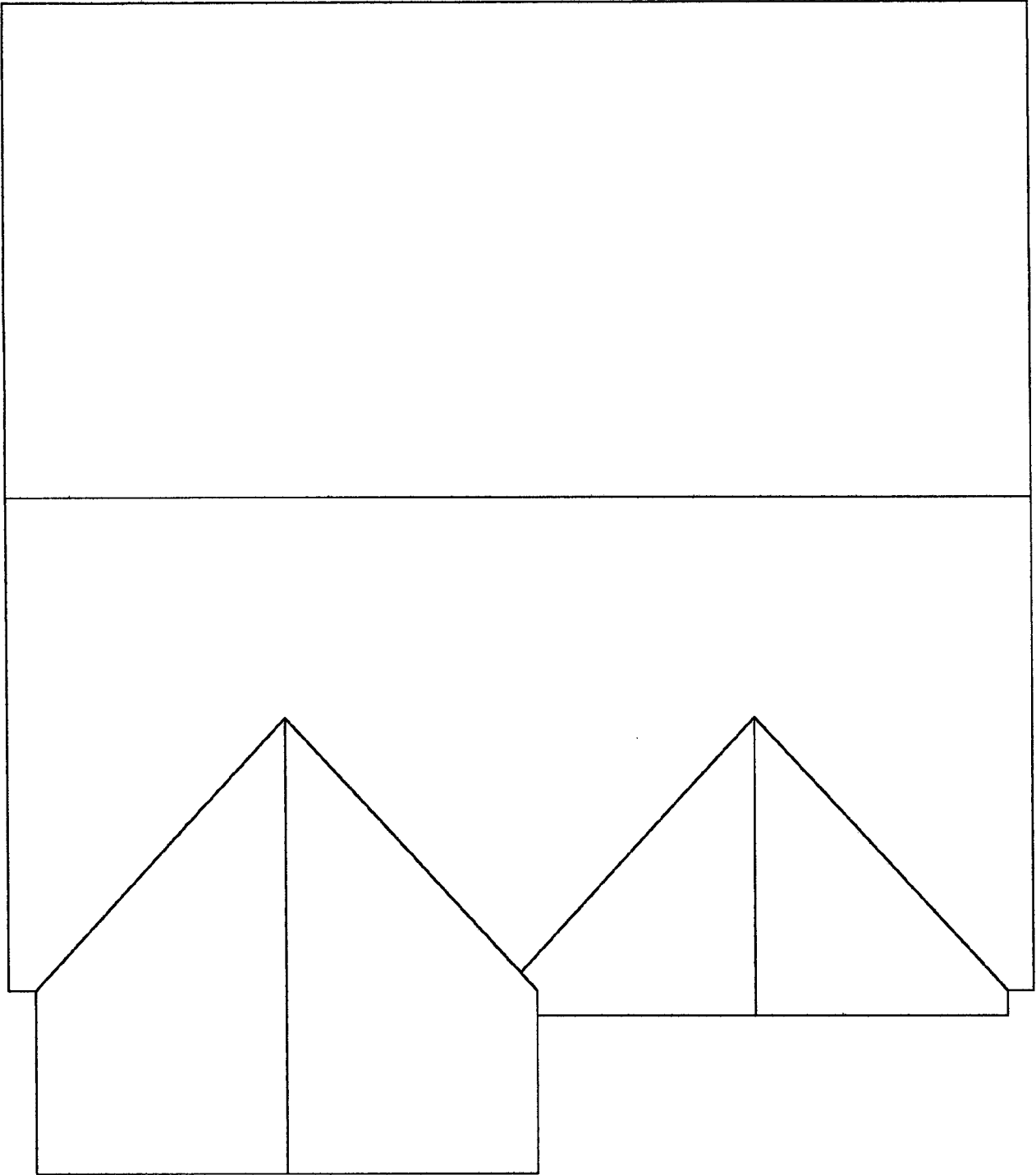
WEST RESIDENCE 11.12.03

EXISTING POOL EQUIPMENT
RELOCATED TO NEW CONCRETE PAD

CONCRETE GRADE BEAM & PIERS
AT REAR WALL. CONVENTIONAL
SLAB ELSEWHERE



NEW FLOOR PLAN

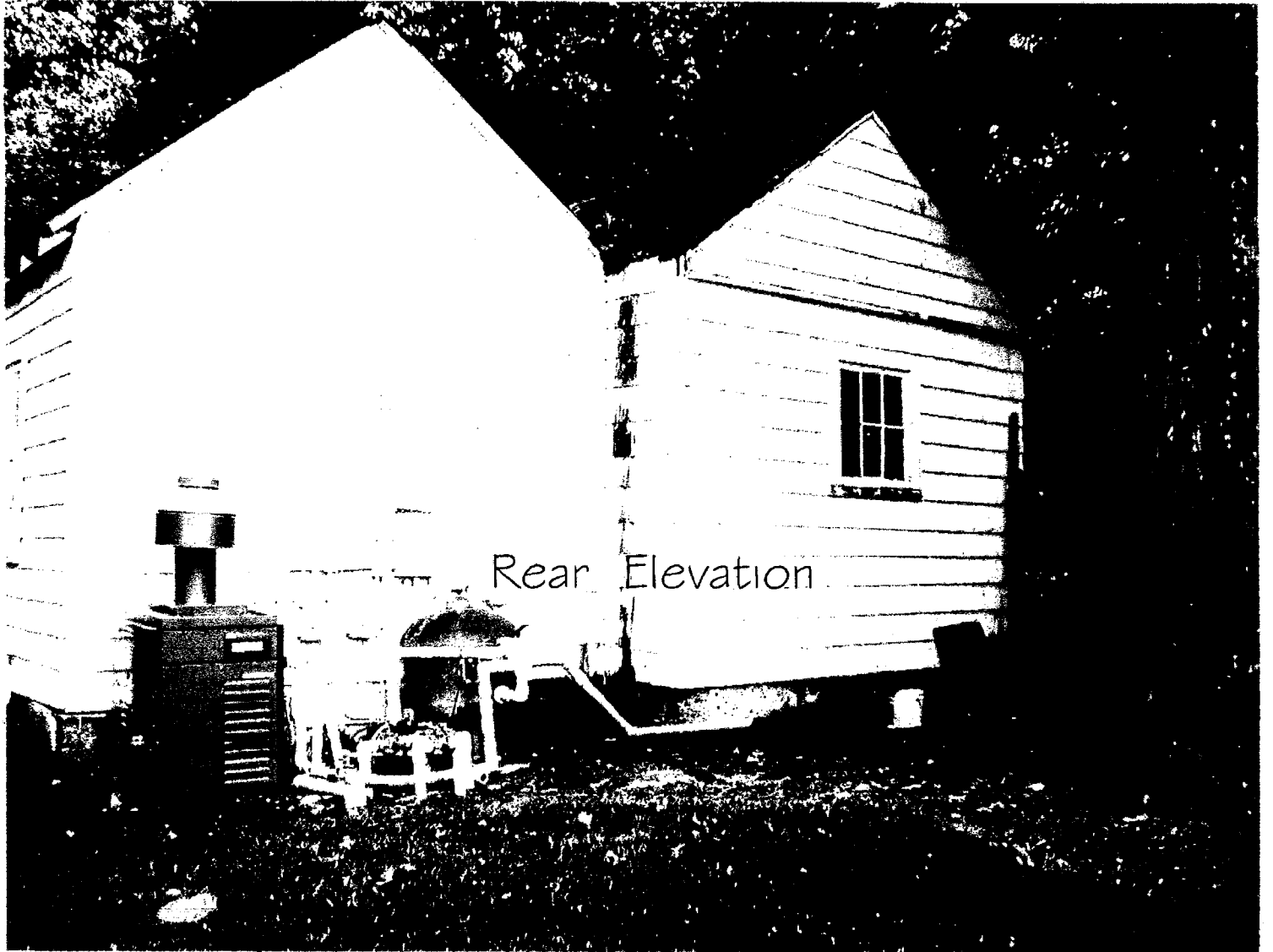


NEW ROOF PLAN

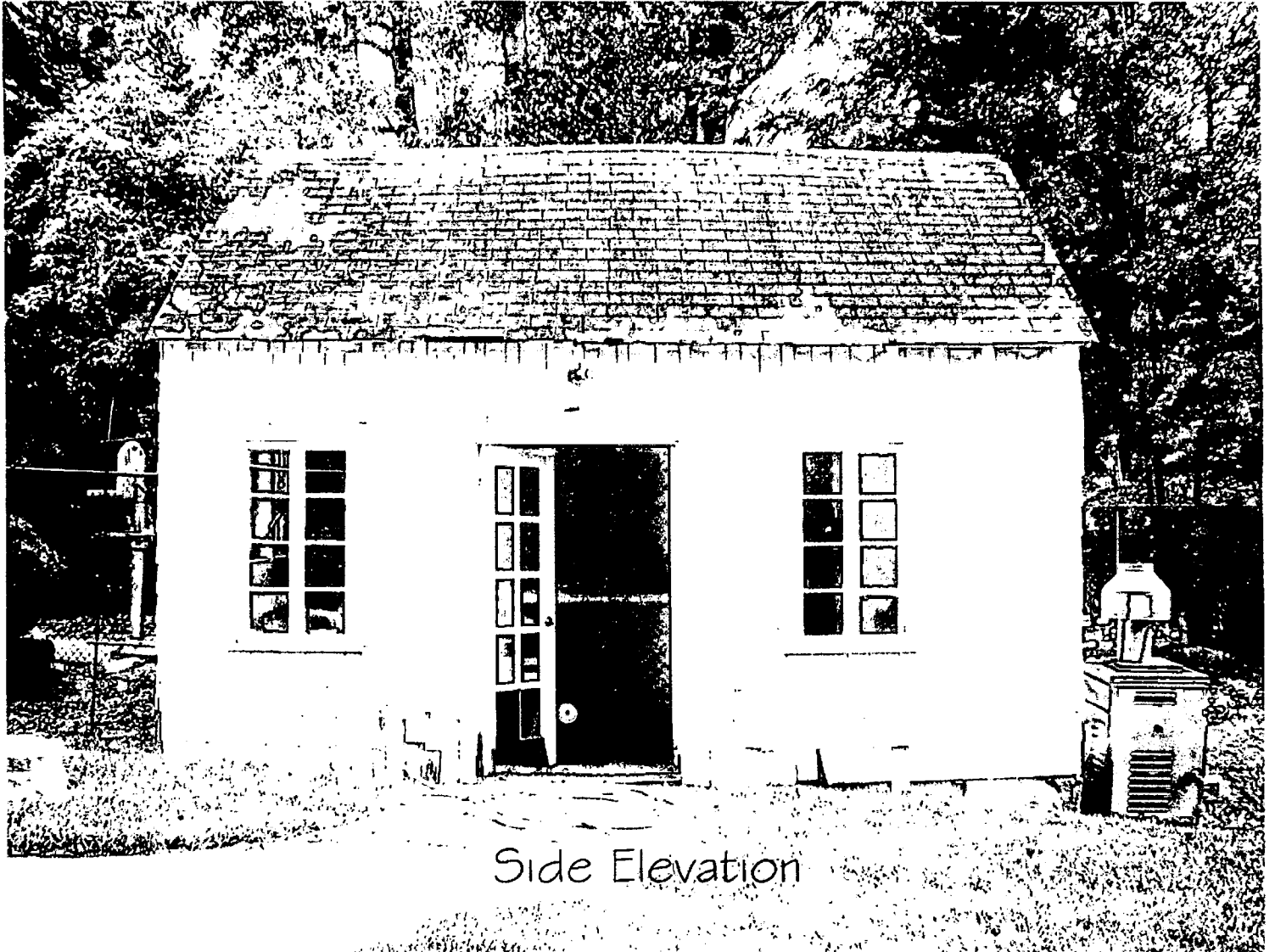


Partial Front Elevation





Rear Elevation



Side Elevation



101



West Residence 5912 Cedar Pkwy, Chevy Chase, Md. 20815

November 11, 2003

ADJACENT & CONFRONTING PROPERTY OWNERS

J. Michael & C.L. McGarry
5910 Cedar Pkwy
Chevy Chase, Md. 20815

John H. Montgomery et al
5914 Cedar Pkwy
Chevy Chase, Md. 20815

Charles A. & H.H. Hobbs
33 W. Kirke St.
Chevy Chase, Md. 20815

Thomas W. & A.M. Toch
19 W. Kirke St.
Chevy Chase, Md. 20815

PARCEL B, BLOCK A
CHEVY CHASE CLUB
PLAT NO. 22441

SCALE: 1" = 30'
LIBER 17900, FOLIO 69

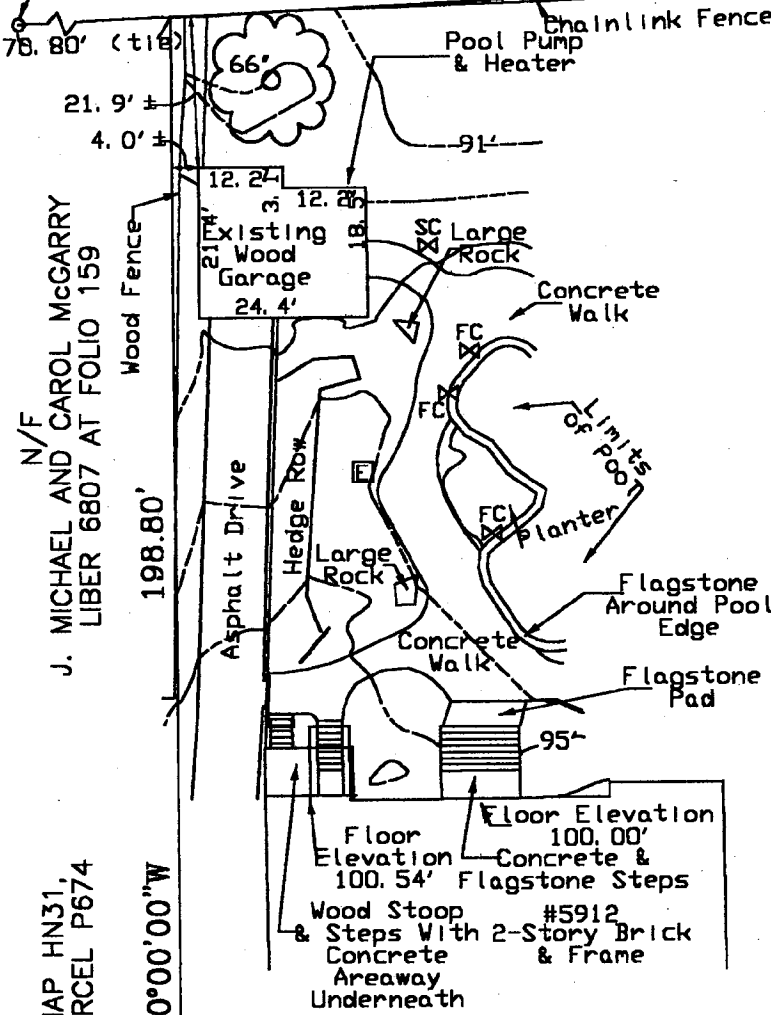


Open Ended Iron Pipe Found (Held for Western Line)
N02°35'23"W 95.07'

308.40' (tie)

Stone Monument Found (Held for Western Line)

NOTES:



N/F
J. MICHAEL AND CAROL MCGARRY
LIBER 6807 AT FOLIO 159

TAX MAP HN31,
TAX PARCEL P674

198.80'

N90°00'00"W

234.16'

S90°00'00"E

TAX MAP HN31,
TAX PARCEL P623

N/F
JOHN AND MARILYN MONTGOMERY
LIBER 17209 AT FOLIO 84

TAX MAP HN31,
TAX PARCEL P675
LIBER 17900 AT FOLIO 69
20,558 SQUARE FEET
or 0.4719 ACRES

EXISTING
SITE PLAN—NO SCALE
WEST RESIDENCE
11.11.03

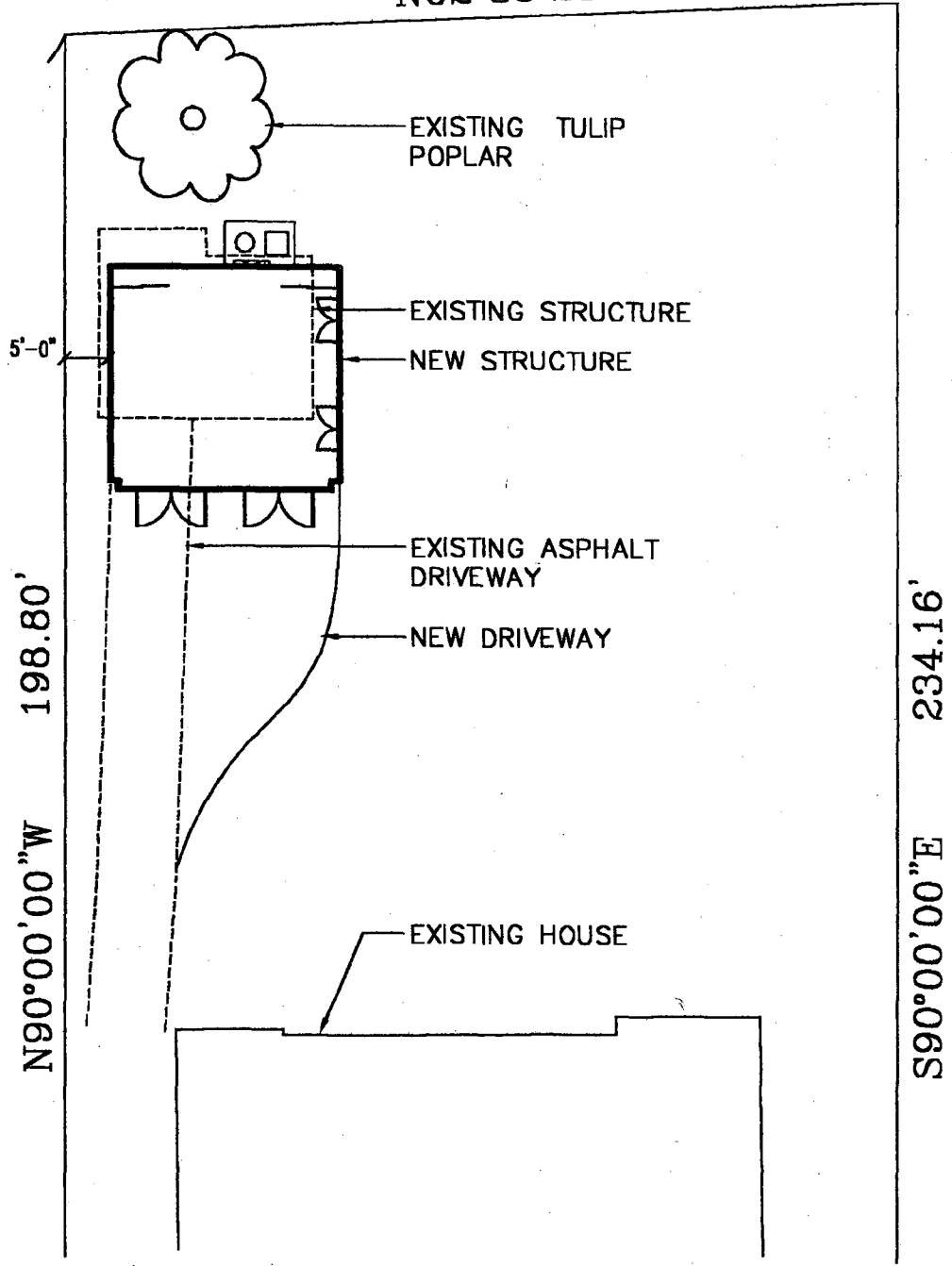
Pinched Iron Pipe Found (Held)

S18°06'50"W 99.92'
CEDAR PARKWAY
100' RIGHT OF WAY
PER P.B. 2 P.No. 108

Pinched Iron Pipe Found (Held)

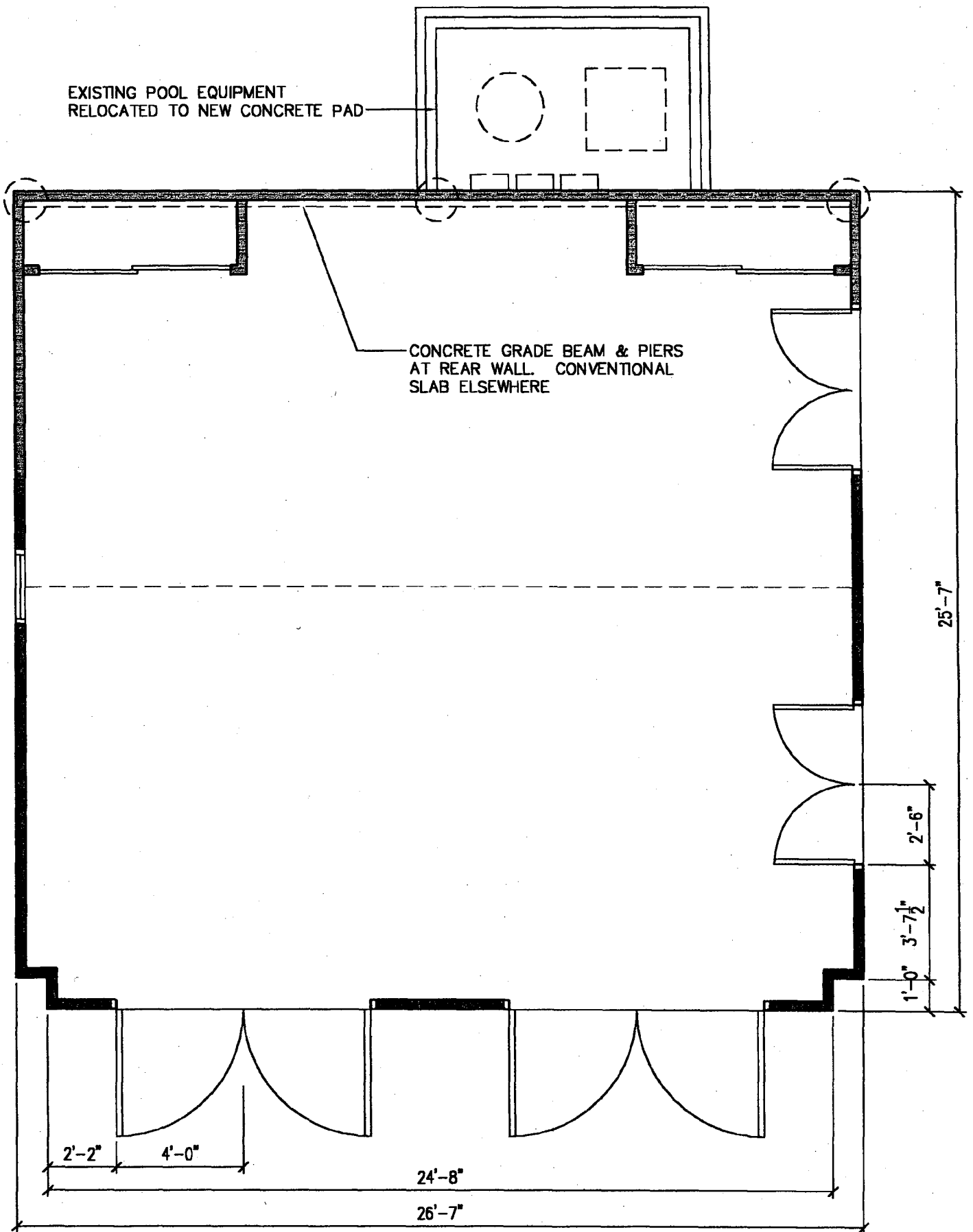
Open Ended
Iron Pipe Found
(Held for Western Line)

N02°35'23"W 95.07'

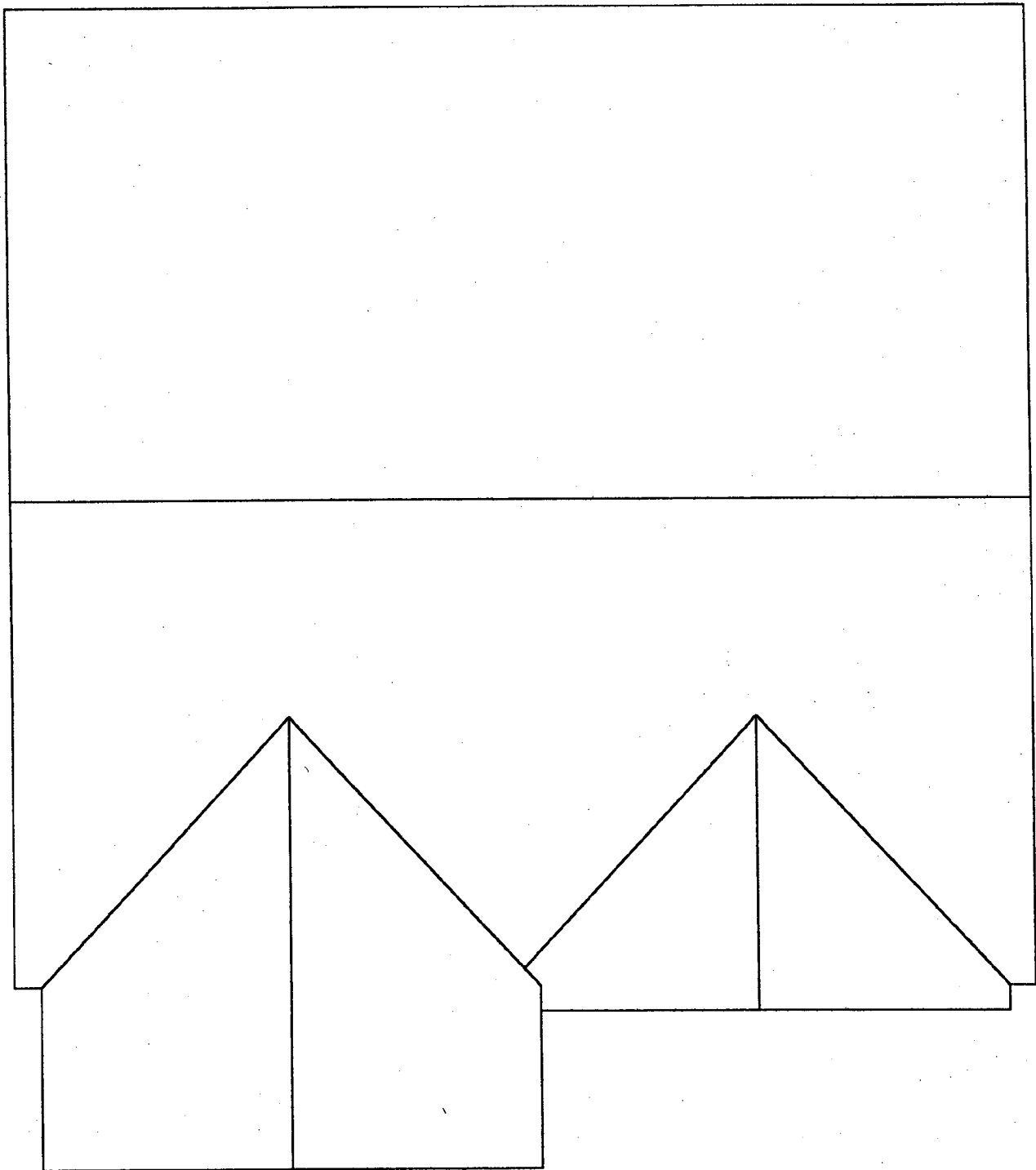


PARTIAL SITE PLAN 1" = 20'-0"
WEST RESIDENCE
11.11.03

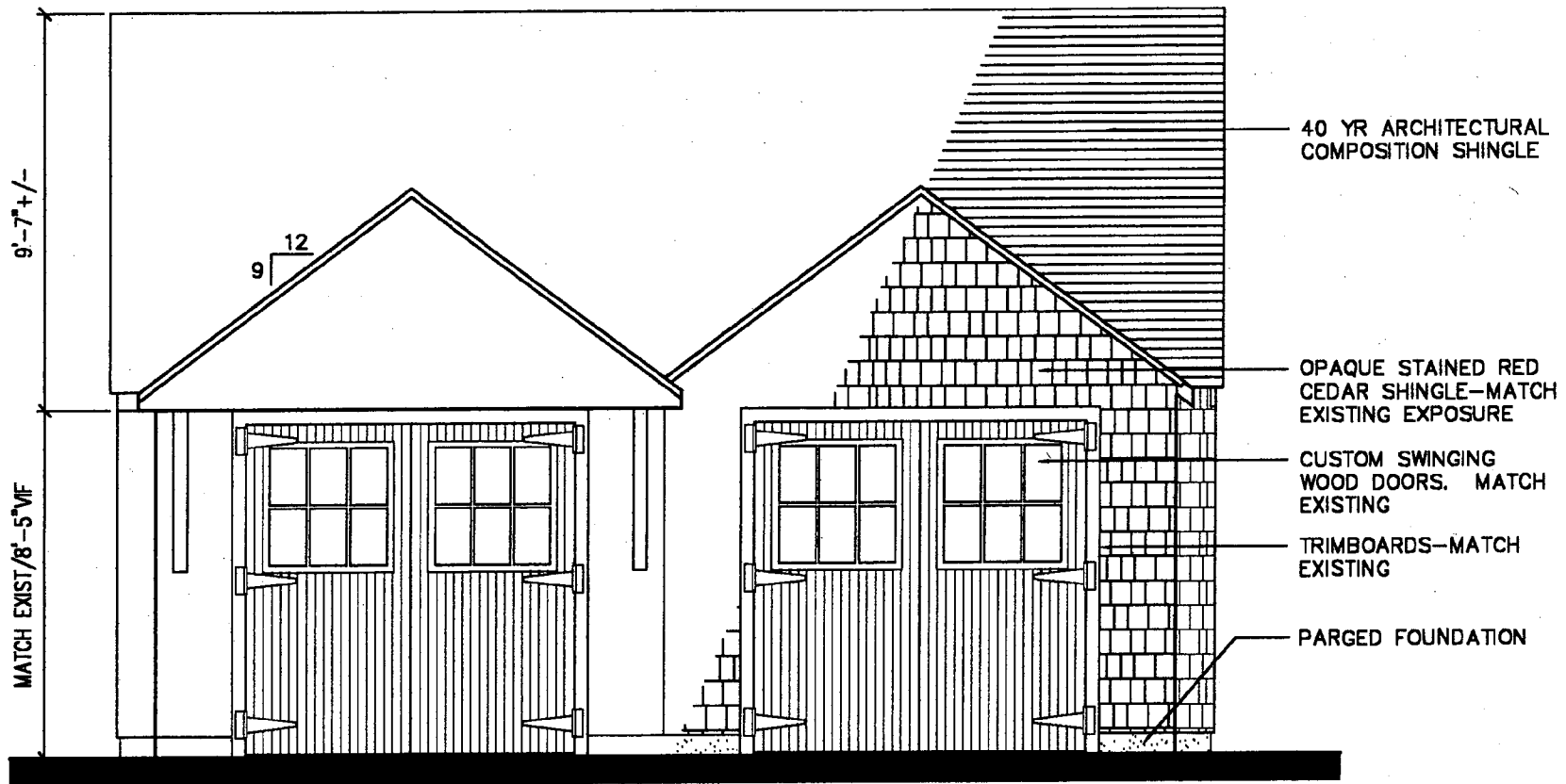




NEW FLOOR PLAN



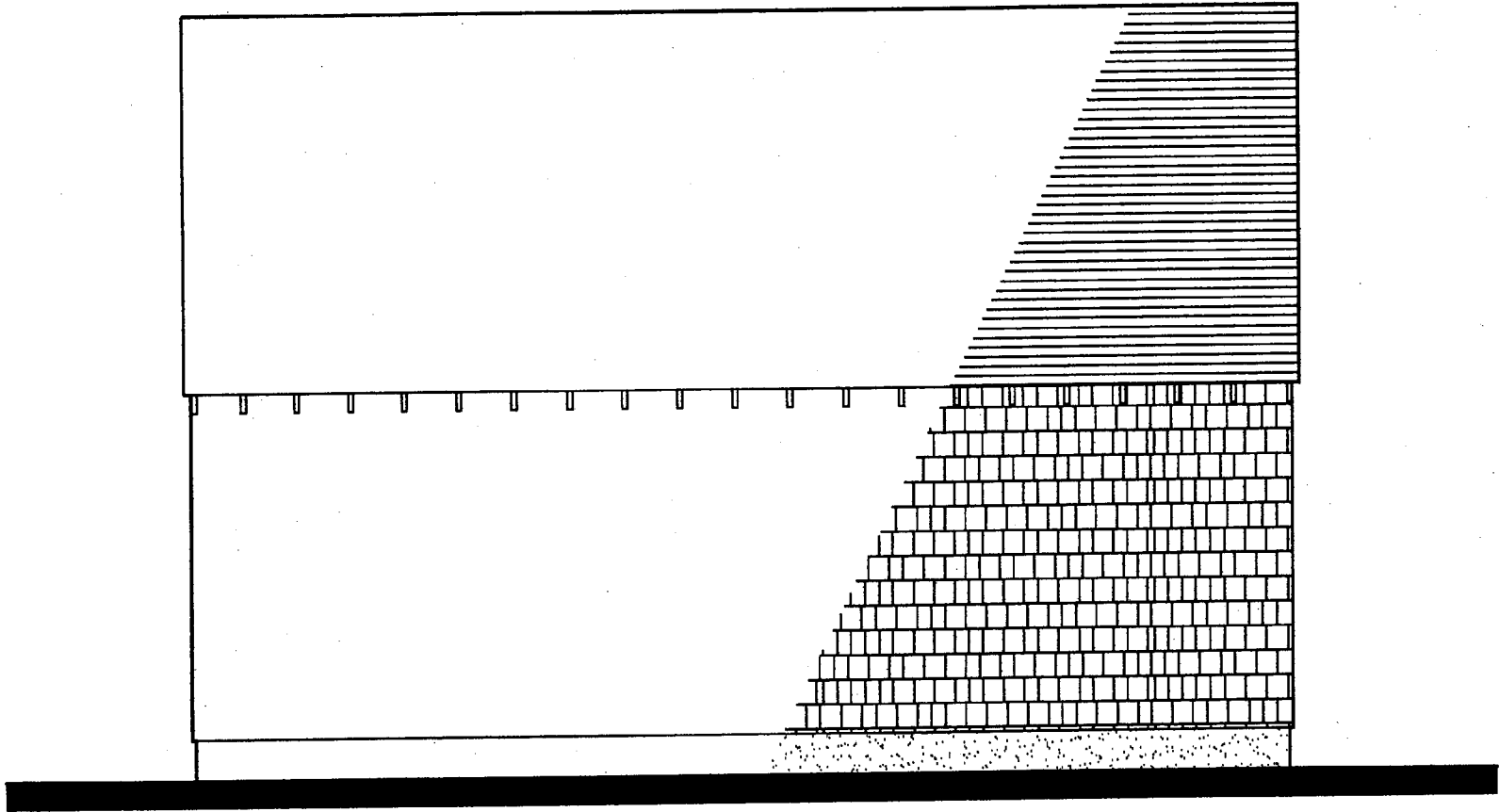
NEW ROOF PLAN



NEW FRONT ELEVATION

SCALE: 1/4" = 1'-0"

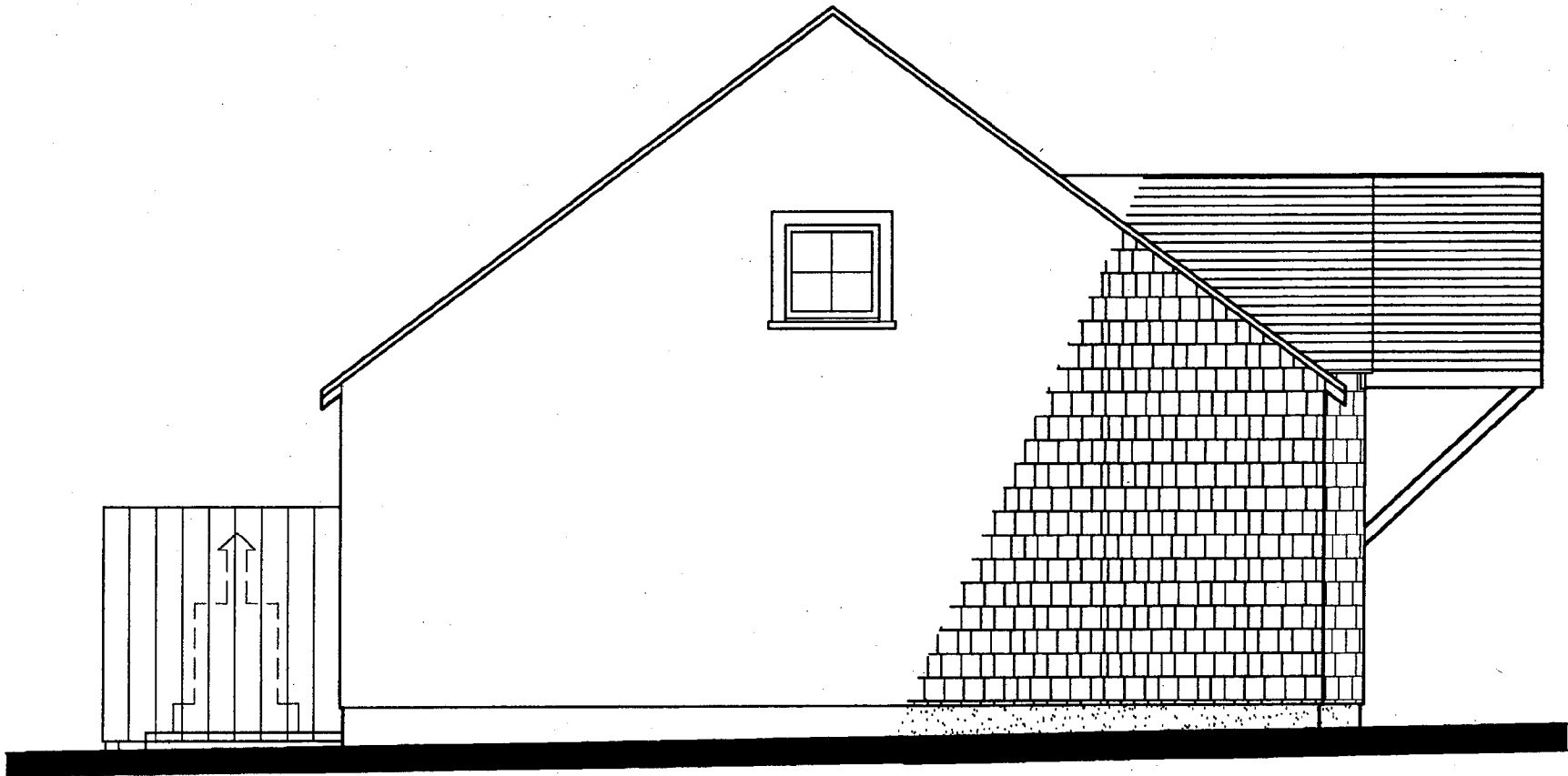
WEST RESIDENCE 11.12.03



NEW REAR ELEVATION

SCALE: 1/4" = 1'-0"

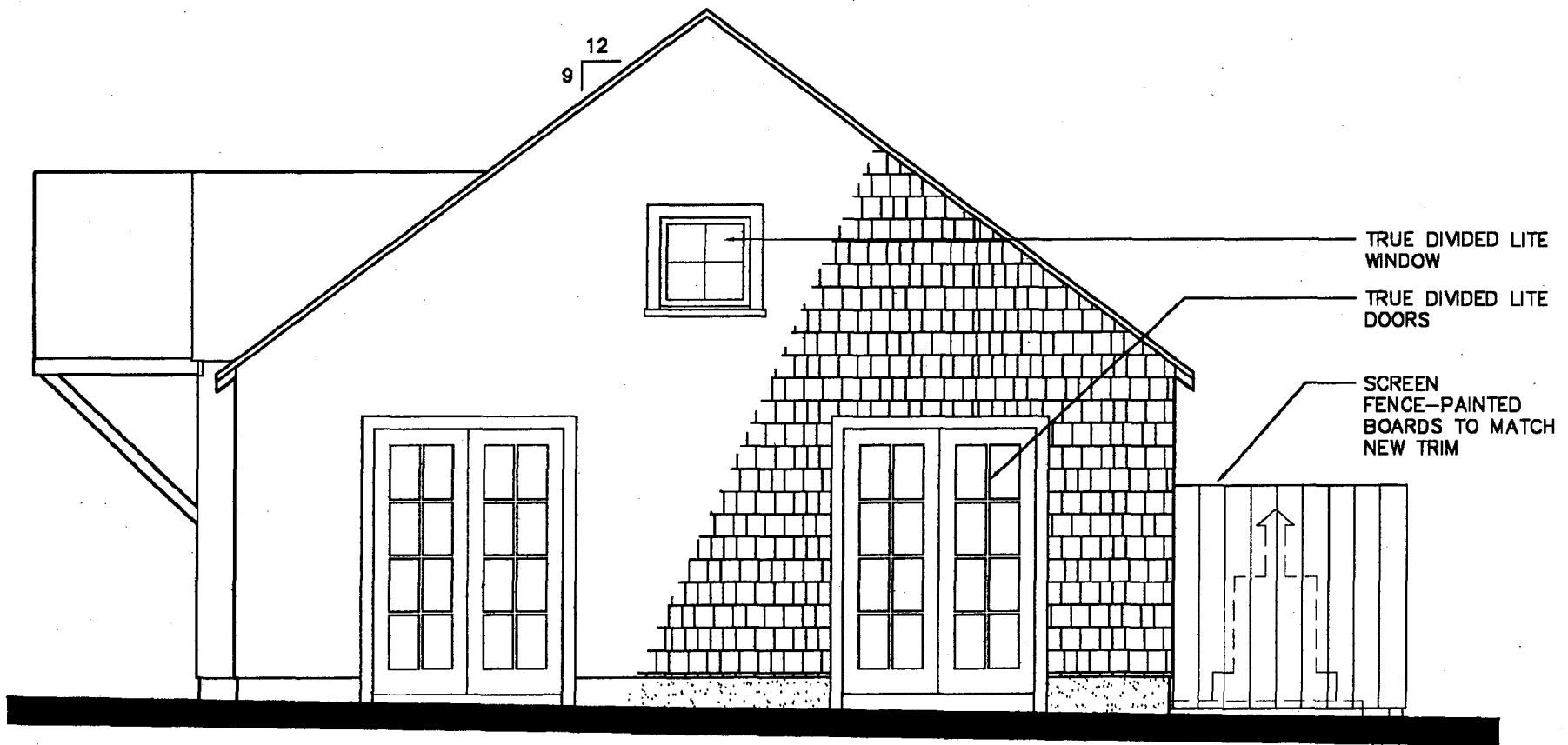
WEST RESIDENCE 11.12.03



NEW SIDE ELEVATION

SCALE: 1/4" = 1'-0"

WEST RESIDENCE 11.12.03



NEW SIDE ELEVATION

SCALE: 1/4" = 1'-0"

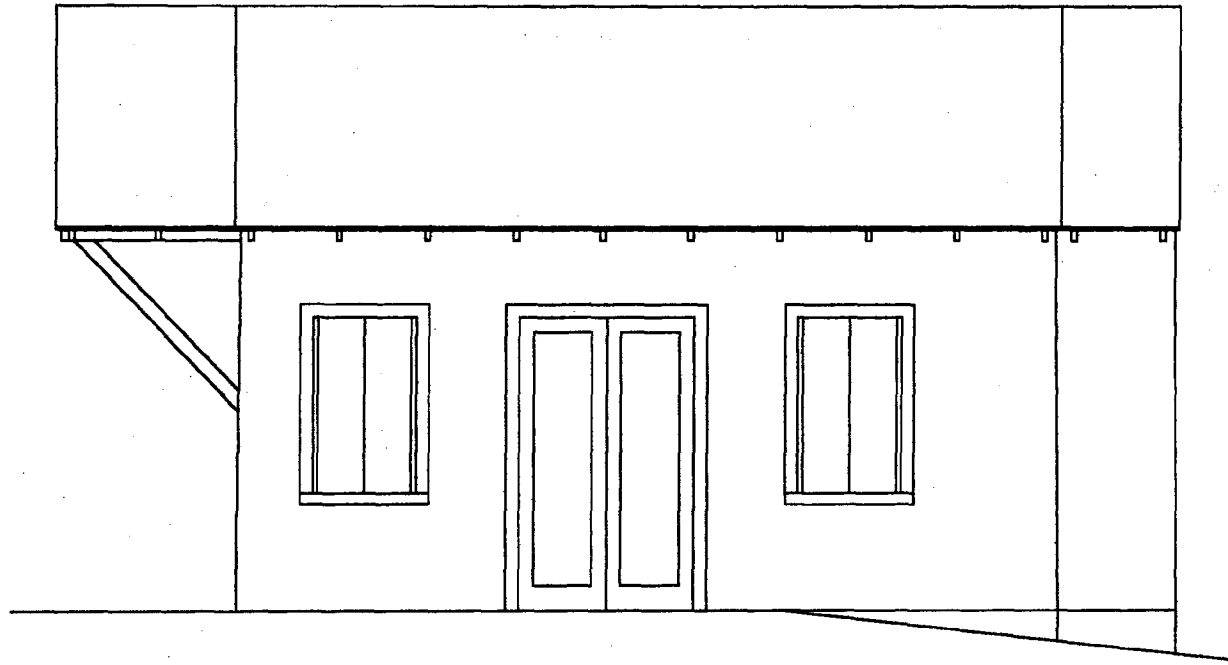
WEST RESIDENCE 11.12.03



EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"

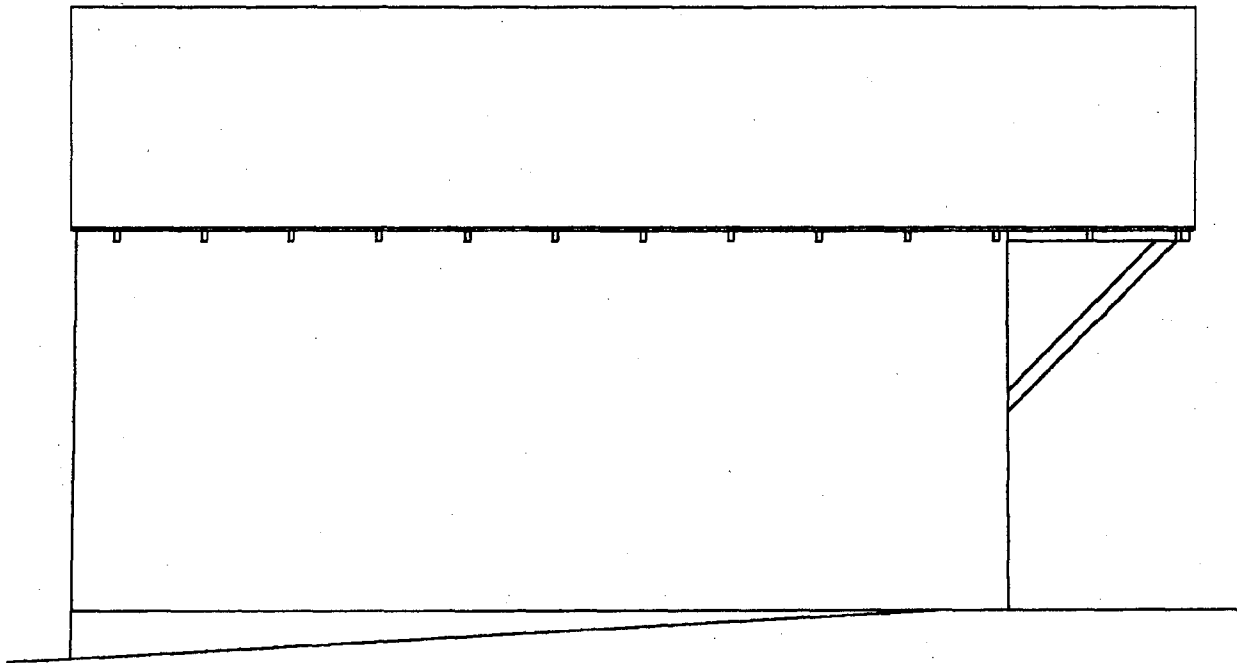
WEST RESIDENCE 11.12.03



EXISTING SIDE ELEVATION

SCALE: 1/4" = 1'-0"

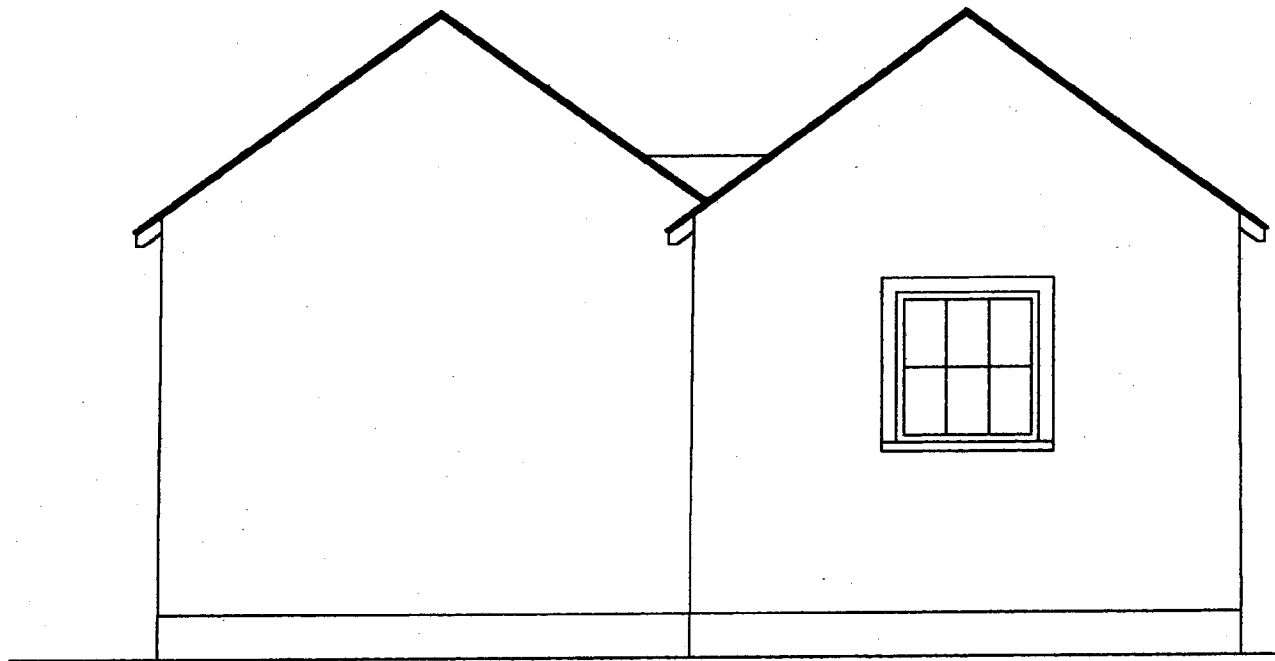
WEST RESIDENCE 11.12.03



EXISTING SIDE ELEVATION

SCALE: 1/4" = 1'-0"

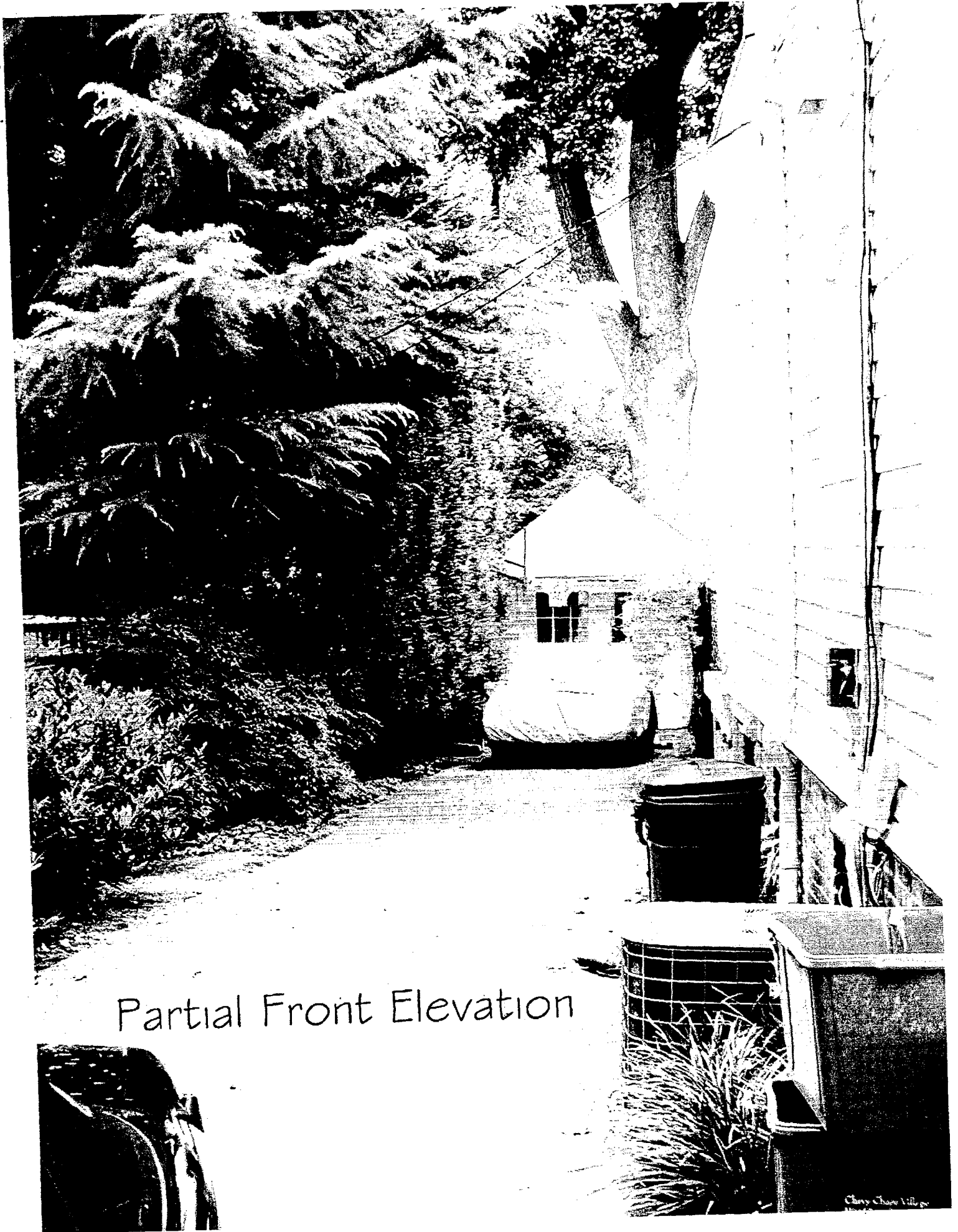
WEST RESIDENCE 11.12.03



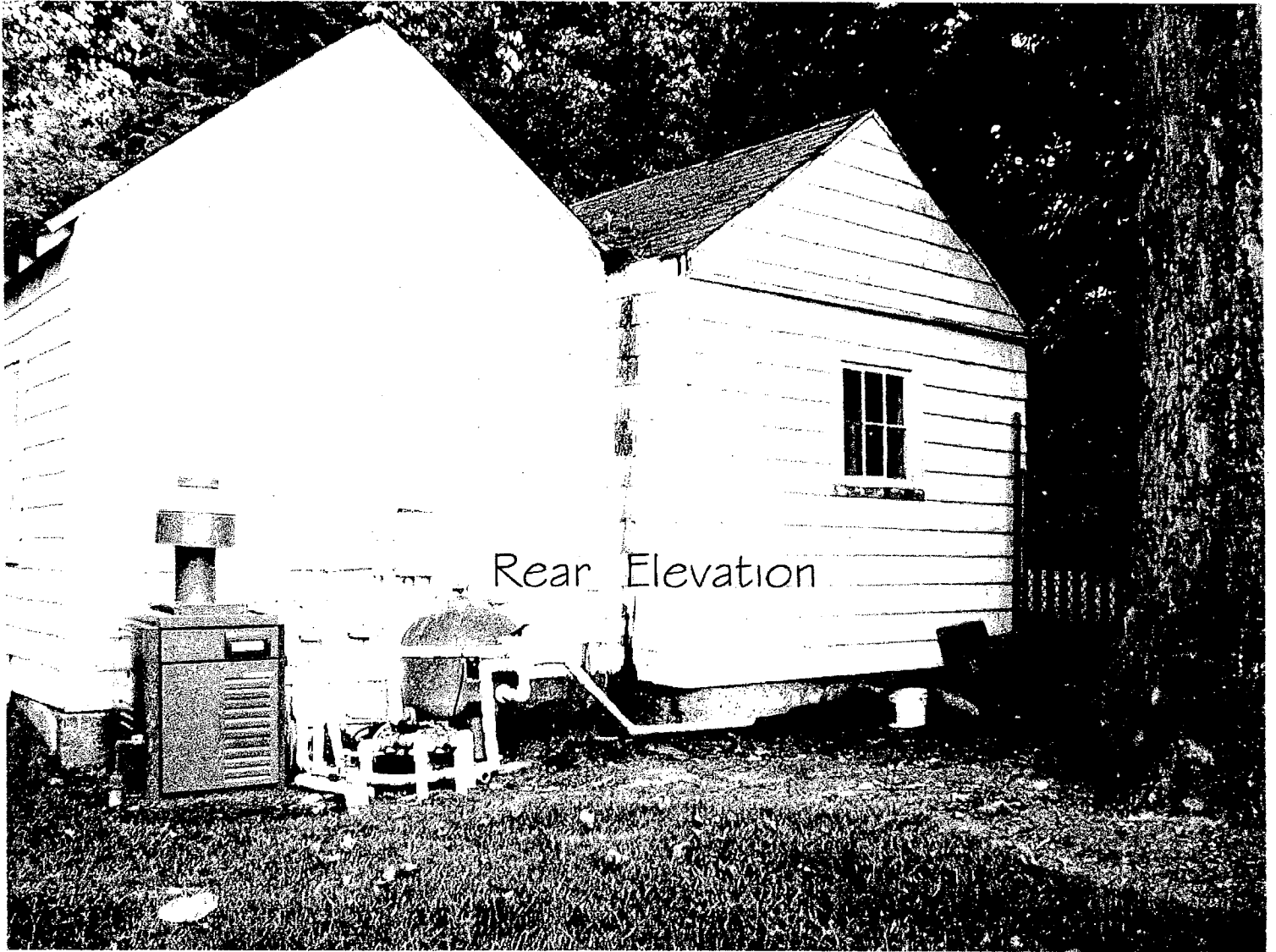
EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"

WEST RESIDENCE 11.12.03



Partial Front Elevation



Rear Elevation

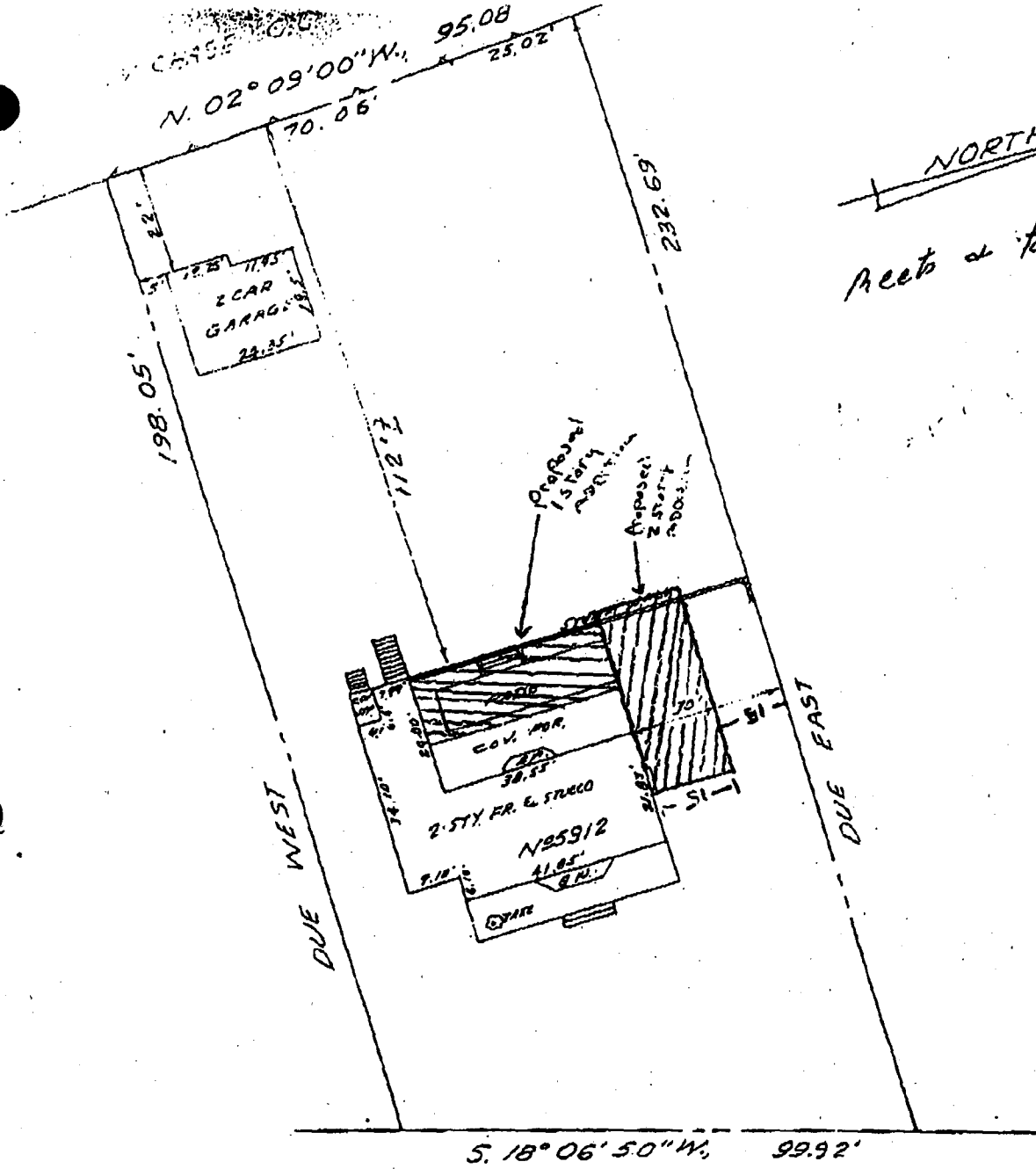


Side Elevation





Front Elevation



NORTH
Meets at Bounds.

NOTED: SURVEYED IN ACCORDANCE WITH USED.

5912 CEDAR PARKWAY

PLAT BOOK NO 2
PLAT NO 106

SURVEYORS CERTIFICATE: I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS ON ABOVE DESCRIBED PROPERTY HAVE BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.

HOUSE LOCATION SURVEY:

MONTGOMERY COUNTY, MARYLAND

BEET	FOLIO	SECTION
1048	125	2

SUBDIVISION
CHEVY CHASE

SCALE: 1"=30'
T.S. REALTY CO.

JOHN S. McCALL
LAND SURVEYOR, MD. REG. NO 2284
8601 HEMPSTEAD AVE.
BETHESDA, MD. 20034

DATE: OCT. 11, 1978
CERTIFIED CORRECTLY

John S. McCall
CERTIFIED LAND SURVEYOR

ASE NO

DISTANCE OF PROPERTY CORNER MARKERS ESTABLISHED BY THIS SURVEY




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: December 4, 2003

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator 
Historic Preservation

SUBJECT: Historic Area Work Permit # 324474

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**.

**Please note: The HPC staff needs to review and stamp the construction drawings, if applicable, prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jay West (Mike banks, Architect)

Address: 5912 Cedar Parkway, Chevy Chase Village Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: DECEMBER 4, 2003

MEMORANDUM

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC
Michele Naru, Historic Preservation Planner
Anne Fothergill, Historic Preservation Planner
Joey Lampl, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application – HPC Decision

The Historic Preservation Commission reviewed this project on DECEMBER 3, 2003.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at 301-563-3400.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MIKE BANKS, FOX ARCH.
Daytime Phone No.: 301, 718.2021

Tax Account No.: 00455190
Name of Property Owner: JAY WEST Daytime Phone No.: 301.803.3331
Address: 5912 CEDAR PKWY CHEVY CHASE MD 20815
Street Number City State Zip Code
Contractor: KANDEL CONSTRUCTION Phone No.: 301.775.7727
Contractor Registration No.: 36644-01
Agent for Owner: FOX ARCHITECTS Daytime Phone No.: 301.718.2021

LOCATION OF BUILDING/PREMISE

House Number: 5912 Street: CEDAR PKWY
Town/City: CHEVY CHASE Nearest Cross Street: W. KIRKE STREET
Lot: _____ Block: _____ Subdivision: CHEVY CHASE #9 (GROUP B1)
Liber: 10AB Folio: 125 Parcel: P 675

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable
CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: GARAGE
1B. Construction cost estimate: \$ 50,000
1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A
2B. Type of water supply: 01 WSSC 02 Well 03 Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Fox Arch. 11.12.03
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 12-04-03
Application/Permit No.: 324474 Date Filed: _____ Date Issued: _____

November 11, 2003

APPLICATION FOR HISTORIC AREA WORK PERMIT

1. WRITTEN DESCRIPTION OF PROJECT

A. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing ancillary structure under consideration is a composite building consisting of a one car garage contemporary to the adjacent house (circa 1908) and a attached garage circa 1950 with some more recent improvements. The latter portion of the building currently serves as a combination storage shed/pool house. The structure is located at the back corner of the lot and at a lower grade than that of the public street and is therefore somewhat hidden from public view. Immediately adjacent to the structure is the backyard of a residential property as well as the open fairways of a golf course. The overall setting is bucolic with specimen plantings and medium height shrubbery as well as a hedgerow and border tree line along the golf course property. One significant feature located on the property is an excellent example of a mature tulip poplar tree approximately 5 foot in diameter. This tree is about fifteen ft. from the structure.

The overall condition of the existing structure is poor. The structure itself is constructed of wood studs and boards sheathed in painted shingles and roofed with composition 3-tab shingle. The structure sits on a concrete foundation. The wood construction exhibits signs of water damage, rot, extensive termite damage and peeling/chipping of paint. The exposed concrete foundation is fairly rough and has spalled and been patched in areas over time. The structure measures about 25 ft. x 21 ft. The floor area is about 494 sq.ft.

The structure does not appear to be historically significant by any measure. Craftsmanship is average and the architectural detailing is plain where it does occur.

B. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Reconstruction of the garage involves moving the structural footprint slightly and increasing the square footage by approximately 156 sq.ft. This shift brings the structure in line with modern zoning set-backs and further distances the foundation system from the tulip poplar root system.

The additional square footage better accommodates today's automobiles while remaining modest enough to retain the character of the original building. The structural foundation for the wall opposing the tulip poplar is a pier and grade beam system chosen to minimize any impact on the tree's root system.

The material palette will closely match that of the original. This includes stylistically appropriate trim, cedar shingles and architectural composition roofing. The front facade of the structure will sport custom swinging garage doors to match the original design. The overall effect will mimic the domestic nature of the original garage though now structurally stable and more eye appealing. As the new structure will closely follow the character and palette of the original, environmental and historical impact does not seem to be an issue.