

35/13-04R 5806 Cedar Parkway
Chevy Chase Historic District

SPECIFICATIONS

DESCRIPTION

Scope of work involves a remodeled master bedroom suite including a roof deck with doors from bedroom, enlarged master bathroom, master bedroom closets and dressing area, and a remodeled hallway bathroom.

GENERAL

- All work is to be performed in accordance with the codes and regulations of Montgomery County and Chevy Chase Village, and other applicable rules and regulations.
- Permits from Montgomery County and Chevy Chase Village, as well as the Historical Preservation Commission to be coordinated by Nancy Elliott & Associates and billed separately.
- During the time of the contract the Contractor is responsible for the protection of the job site consistent with good operating practices. Contractor is responsible for dust control to protect occupied portion of premises.
- Contractor is responsible for timely removal of all debris associated with the job, and for maintaining the site in a clean and orderly condition. Contractor to comply with local requirements as to trash removal - if dumpster type trash container is used a permit must be obtained from Chevy Chase Village.
- Contractor is responsible for communicating any hidden conditions, any conditions not shown, or any conditions in conflict with work described in construction documents to Nancy Elliott & Associates for immediate resolution.
- Contractor to submit a written bid, and, if accepted, a written contract that includes a schedule of payments, a breakdown of costs, and planned starting and finishing dates.
- Comparable quality and type materials may be substituted with permission of Owner and/or Designer.
- Contractor to establish method of access to the site as well as bathroom and telephone usage directly with the Owner.
- Requests for changes in the work shall be in writing with an explanation of the change and the effect of the change on the contract sum. The Owner will approve all changes in by signing a copy of requested change and giving it to the Contractor.

DEMOLITION/SITE WORK

- Demolition to include partial removal of the existing west wall of the master bedroom (sheet A2) and removal of existing bathroom cabinets, finishes and fixtures - reserve items noted.
- Contractor is responsible for the repair of all damage to property caused by construction.

CARPENTRY

General

- Consult construction drawings and notes - see sheets A2-A5.
- Contractor to notify Owner of any existing structural members encountered which are deteriorated or damaged to a degree that they may no longer fulfill their purpose.
- Conform with the minimum requirements of International Residential Code as to headers, blocking, methods of fastening etc.
- Utilize 2 x 4's for exterior wall construction and interior partitions
- New soffits and dropped ceilings constructed of 2 x 4s and gypsum wallboard - see reflected ceiling plan - see sheet E.

Exterior

- Roof Deck** constructed of 3/4" tongue and groove plywood (with Dex-o-tex Elastatex 500 Promenade roof deck surfacing) - see sheets A3-A5.
- Deck Side Walls** to be clad with bead board (best grade) - to match existing construction of family room addition.
- Wood trim materials shall be No. 1 common white pine suitable for painting.
- Deck Rail** to match existing deck below including the double X centered rail detail.

Interior

- Trim includes: baseboard, window casing and door casing. All trim to match existing (widths may vary for window and door casings) and be suitable for painting unless otherwise noted. Finger-jointed pine is acceptable.
- Crown molding: two piece for master bath and bedroom and one piece for hallway bath - as described on sheets C1 & C2.
- MDF adjustable shelving for master bedroom closet.

THERMAL & MOISTURE PROTECTION

- Contractor to determine if existing roofing needs to be repaired or replaced, and if so, price in contract.
- Use copper flashing, base and cap type, as required to integrate new roof deck and wall construction with existing construction, and so as to make all construction, new and existing, weather tight.
- Caulking to be siliconized acrylic latex with a 10 year warranty suitable for painting.
- Scupper on deck connected to flexible PVC pipe sloped through roof so that it drains into existing gutter.

DOORS & WINDOWS

- Exterior Door/Window Unit (A):** To be Weathershield Legacy/French door unit, 5' 0" by 7' 2" with traditional style 1 brushed nickel levers, and multi-point lock set. Door to be flanked by Weathershield 9/9 double-hung windows, size T11 - 28x32, insulated glass, standard jambs, white primed wood, sasilock and insect screens - to match existing. Door and windows priced and specified through Cliff Sosin at Quality Window & Door, Inc. - 301 251-9290.
- Interior Doors:** Solid core one panel style, hardware to match existing on swing doors and Johnson pocket door assembly (or comparable) for pocket doors, pulls to be supplied by owner:
 - (B) Bedroom hinged closet door - 2-2 x 6-8.
 - (C) Dressing area pocket door - 2-6 x 6-8.
 - (D) Double hinged closet doors - two 1-6 x 6-8.
 - (E) Walk-in closet pocket door - 2-2 x 6-8.
 - (F) Master bath hinged door - 2-2 x 6-8.
 - (G) Hallway bath door - swing changed, repair as required.

FINISHES

- Gypsum Wallboard:** Interior surfaces sheathed with 1/2" gypsum board, taped and spackled as necessary to make ready for painting - work in accordance with U. S. Gypsum Construction Handbook.
- Patching:** Patch existing plaster and drywall work as required to make ready for painting.
- Exterior Painting:** Wood trim, one coat primer and two coats best quality paint on trim. Cedar siding to receive two coats of best quality paint over pre-primed material; otherwise three coats. All exterior painting to match existing.
- Interior Painting:** All trim semi-gloss alkyd enamel. Walls and ceilings shall be finished with one coat of primer and two coats of best quality latex - flat or low luster finish on walls; flat on ceilings. Color - as selected by owner.
- Cabinetry Painting:** If job-site painting of cabinetry is required, the Owner may request a separate price from Contractor.
- Ceramic Tile:** Contractor to make allowance for purchase of tile for both bathroom floors, shower walls and wainscot - installation included in contract.

FLOORING

- Existing wood strip flooring to remain throughout bedroom closets and dressing areas - contractor to protect floor throughout construction.
- Wall-to-wall carpet in bedroom, dressing room and closets - by separate contract.
- In-floor heating system in master bathroom floor - see sheet E.

CABINETS & COUNTERTOPS

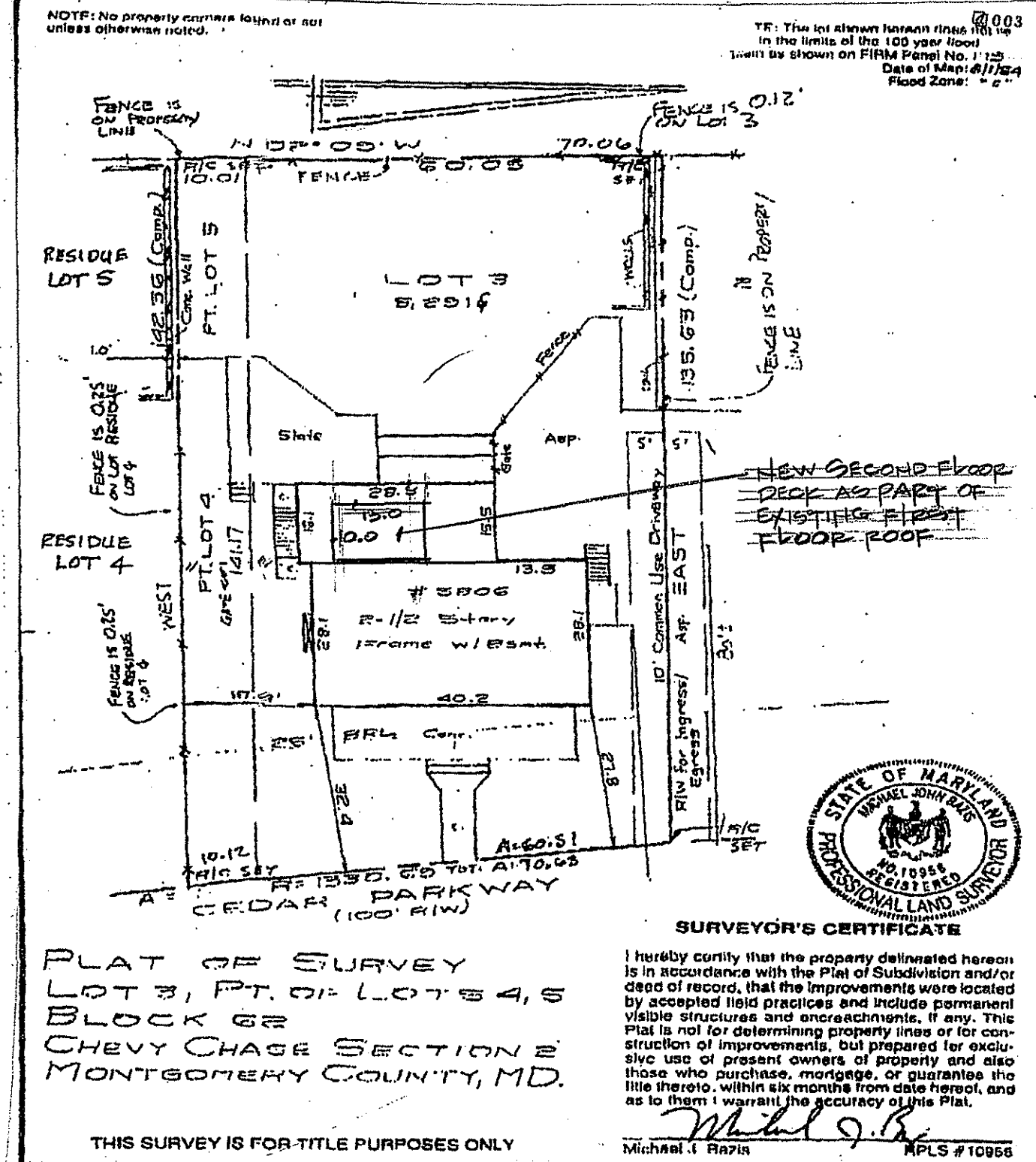
- Cabinets to be purchased and installed by separate contract. Contractor to coordinate with cabinet installer. Cabinet contract to include:
 - Two vanities,
 - Two recessed medicine chests,
 - Tall hamper/storage/TV cabinet for master bath,
 - Tall shallow recessed cabinet for hallway bath, and
 - Dressing area bench.
- Stone countertops selected by Owner; Contractor to purchase and install - make allowance.
- Walk-in closet fittings provided by owner and installed by separate contract.

HARDWARE & SPECIALTIES

- Install Owner provided toilet paper holders, towel bars, paper holders and door hooks.
- Install Owner provided pocket door recessed pulls.
- Install Owner provided light fixtures - see sheet E.
- Provide and install frameless shower door for master bath and semi-frameless shower enclosure for hall bath - make allowance.
- Provide and install mirrors in master bathroom - wall to wall in tub area and framed in wood trim over vanity. Mirror adhered to back panel of pocket door to dressing area.
- Corian or tempered glass shelf for hallway bath shower to run between walls under shower control.
- Exterior door hardware specified through Weathershield.
- Interior door hardware for swing doors to match existing as closely as possible.
- Johnson pocket door assembly (or comparable) for 2 pocket doors - see doors.
- Walk in closet fittings - provided by owner and installed by separate contract.

PLUMBING, FIXTURES & FAUCETS

- Disconnect existing fixtures to be removed. Cap off unused utilities as per Code.
- The following plumbing fixtures and faucets are priced and specified by Ferguson Enterprises Inc. - contact Crystal (202) 464-0330:
 - One Kohler Hourglass bathtub LH/FLG 60 x 32 in white.
 - Two Kohler Caxton 19 x 15 undermount sinks in white.
 - Two Kohler Memoirs one piece toilets K3451 in white.
 - Two Jado 818 series sink faucets in polished chrome with 8" spread.
 - Two Jado 818 series shower controls in polished chrome
 - One Jado 818 series tub spout & control.
- Two new Runtal radiators - see HVAC.



HVAC/DUCTWORK

- Extend existing cooling ductwork to new locations as required.
- Provide and install ductwork and caps for bathroom exhaust fans.
- In floor electric heating system to replace radiator in master bath - see sheet E.
- Runtal wall vertical radiator (3 tubes wide #HX21 - 8.6" w x 5' h - 2100 BTUs - in white - specified and priced through Jim Brennan at Thos. Summerville Co. (301 864-5560) to replace radiator in walk-in closet.
- Runtal wall horizontal radiator (7 tubes high #VLX49/49 - 6.5' w x 20.2' h - 10,900 BTUs - in white - specified and priced through Thos. Summerville Co. (301 864-5560) to replace radiator in master bedroom.

ELECTRICAL

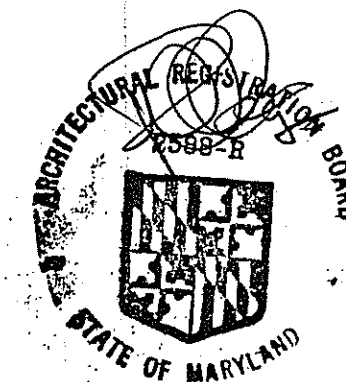
- See electrical Plan and Schedule on sheet E.
- Contractor to inspect existing incoming electrical service and advise Owner of the adequacy of this service and whether a "heavyup" is required prior to submitting bid.

PROVIDED BY OWNER - to be installed by contractor unless otherwise noted

- Cabinetry (installation by separate contract).
- Towel bars, paper holders, and hooks.
- Decorative light fixtures.
- Pocket door recessed pulls.
- Stereo system including ceiling and deck speakers (installation by separate contract).
- Wall to wall carpeting (installation by separate contract).
- Walk-in closet fittings (installation by separate contract).

ALLOWANCES (to be included in contract as a specific price)

- Permits
- Tile material for bathroom floors, shower walls, and wainscot.
- Shower door in master bath and shower enclosure in hallway bath.
- Stone countertops.
- In floor heating system.



NANCY ELLIOTT & ASSOCIATES

37 West Irving Street
Chevy Chase
Maryland 20815

301 656-5145

Space Planning
Interior Design

Owner Address

Cromelin Residence

5806 Cedar Parkway
Chevy Chase, MD 20815

Project/Title

Master Bedroom Suite & Baths Remodeling

Site Plan & Specifications

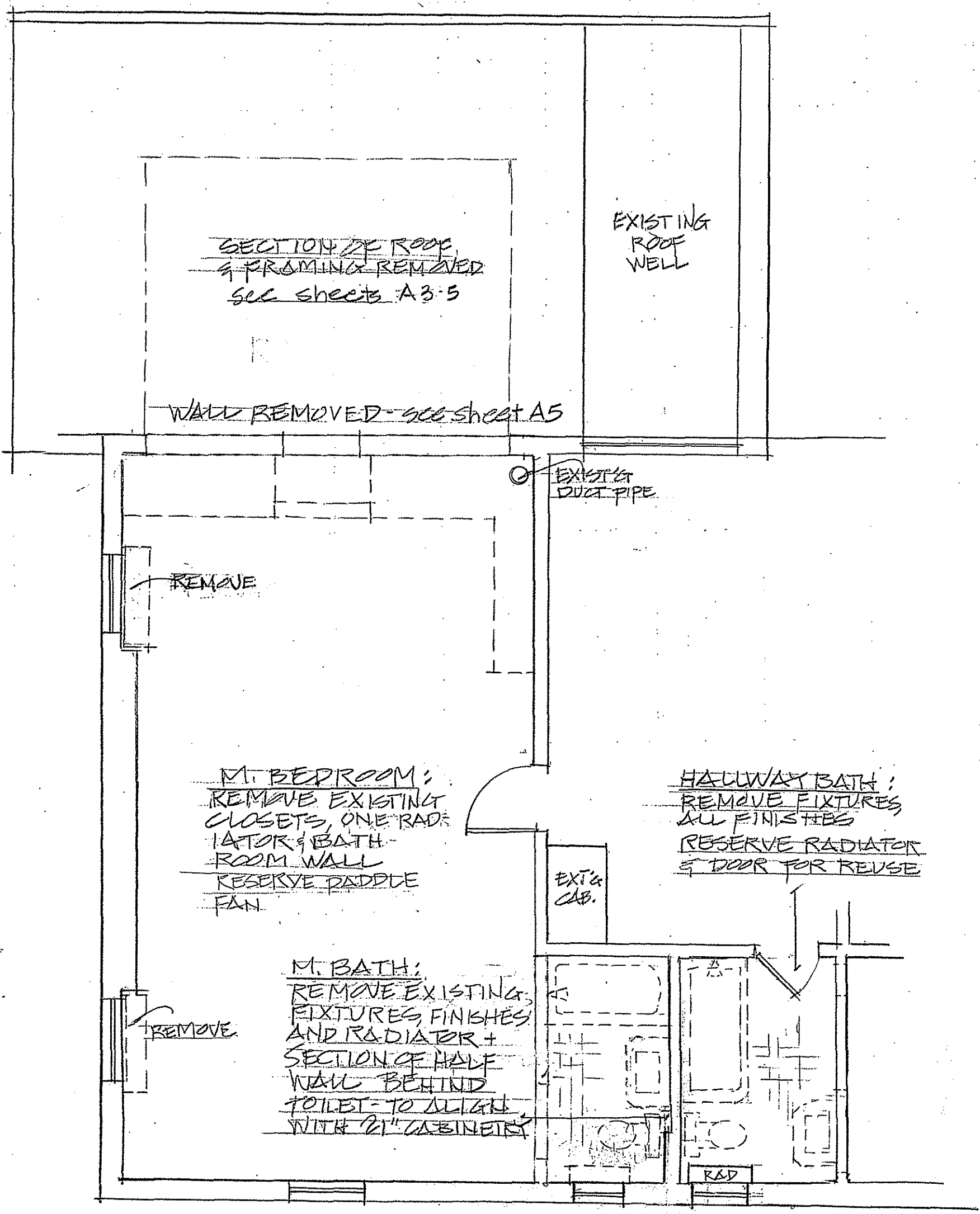
Scale

Scale: as noted

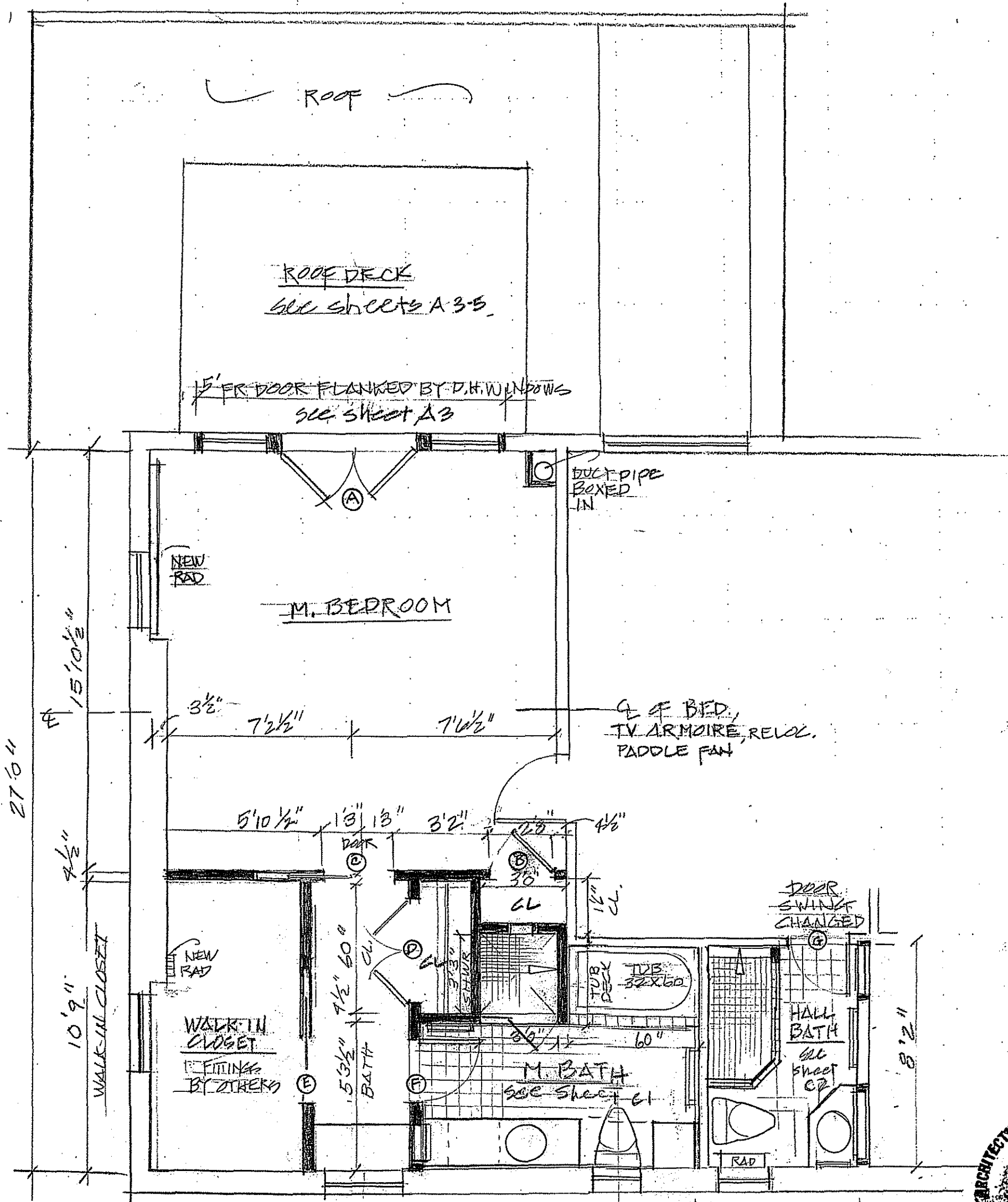
Date

June 2004

A1



EXISTING/DEMOLITION PLAN



ALTERATIONS PLAN
1/4" = 1' 0" ALL DIMENSIONS TO BE CONF'D

LEGEND

EXISTING

REMOVED

NEW

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
6/20/04



CONSTRUCTION NOTES

Comply with *International Residential Code*, latest edition

Design Live Loads
 Deck: 40 lbs/sq ft
 Roof: 30 lbs/sq ft

Lumber
 As indicated on drawings, otherwise:
 Joists and rafters: #2 Hem-Fir
 Fb=850 psi minimum
 E=1,300,000 psi minimum
 Beams and Girders: #2 Hem-Fir
 Fb=1500 psi minimum
 E=1,300,000 psi minimum
 Studs, etc.: #2 SPF

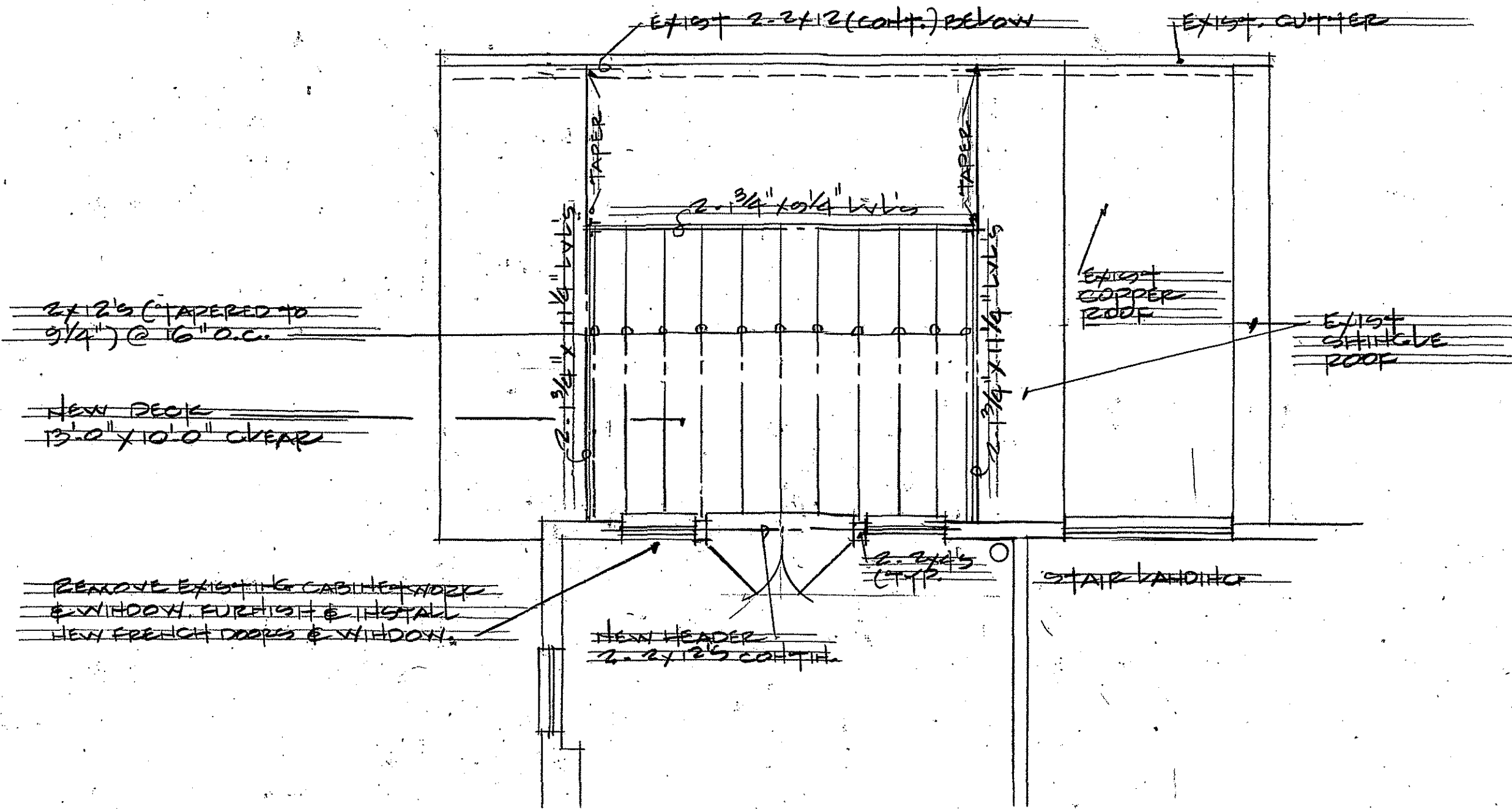
Laminated Veneer Lumber (LVL)
 As manufactured by Georgia Pacific Corp., or approved equal
 E=1,900,000 psi minimum
 fb=2,600 psi minimum

Where two members are used together, fasten from both sides in three horizontal rows with 16d nails at 12 inches on center, 2 inches from edges.

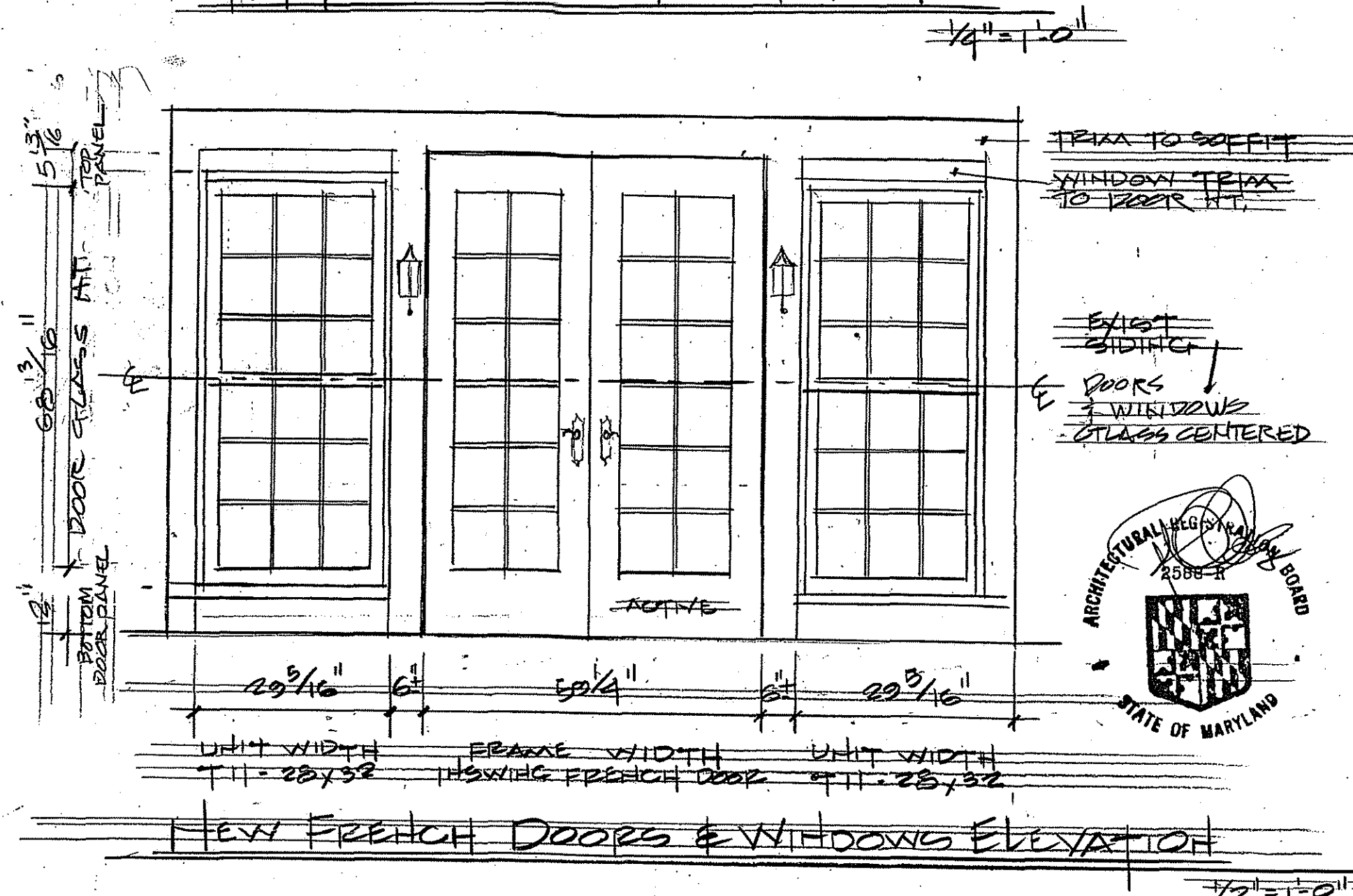
Wood Preservative Treatment (WPT)
 For all lumber exposed to weather and in contact with masonry, concrete or the earth, or as otherwise indicated, as per AWPA Standard C-270 for above ground use, "Wolmanized" or approved equal

Fasteners
 For all exterior work and work in unconditioned spaces, hot-dipped galvanized or non-ferrous materials

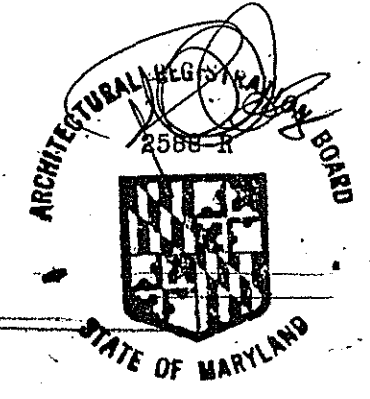
Connectors
 For fastening new work to existing construction, and where otherwise good building practice would dictate, utilize appropriate galvanized steel connectors equal to Simpson Strong-Tie



PARTIAL SECOND FLOOR PLAN



APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 6/19/04



Cromelin Residence
 5806 Cedar Parkway
 Chevy Chase, MD 20815

Master Bedroom Suite
 Roof Deck
 Framing Plan, Construction
 Notes, Door Unit Elevation

Scale: as noted
 June 2004

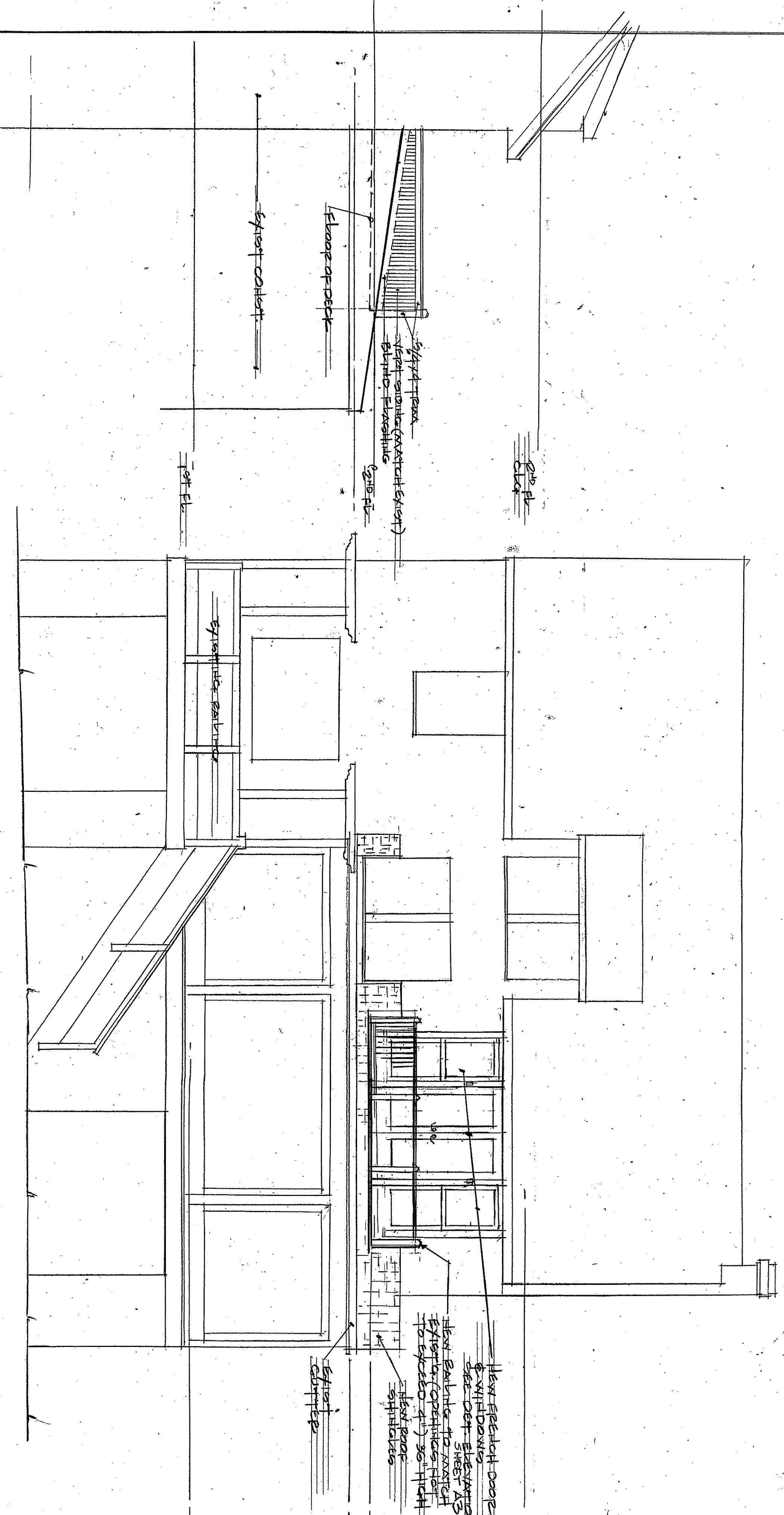
A3

PARTIAL SIDE ELEVATION

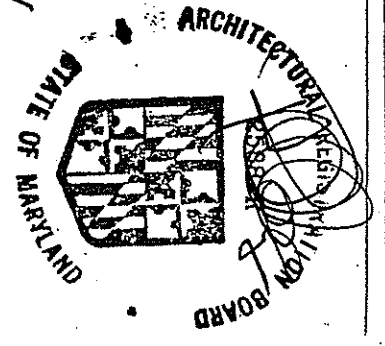
1/4" = 1'-0"

REAR ELEVATION

1/4" = 1'-0"



APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature]

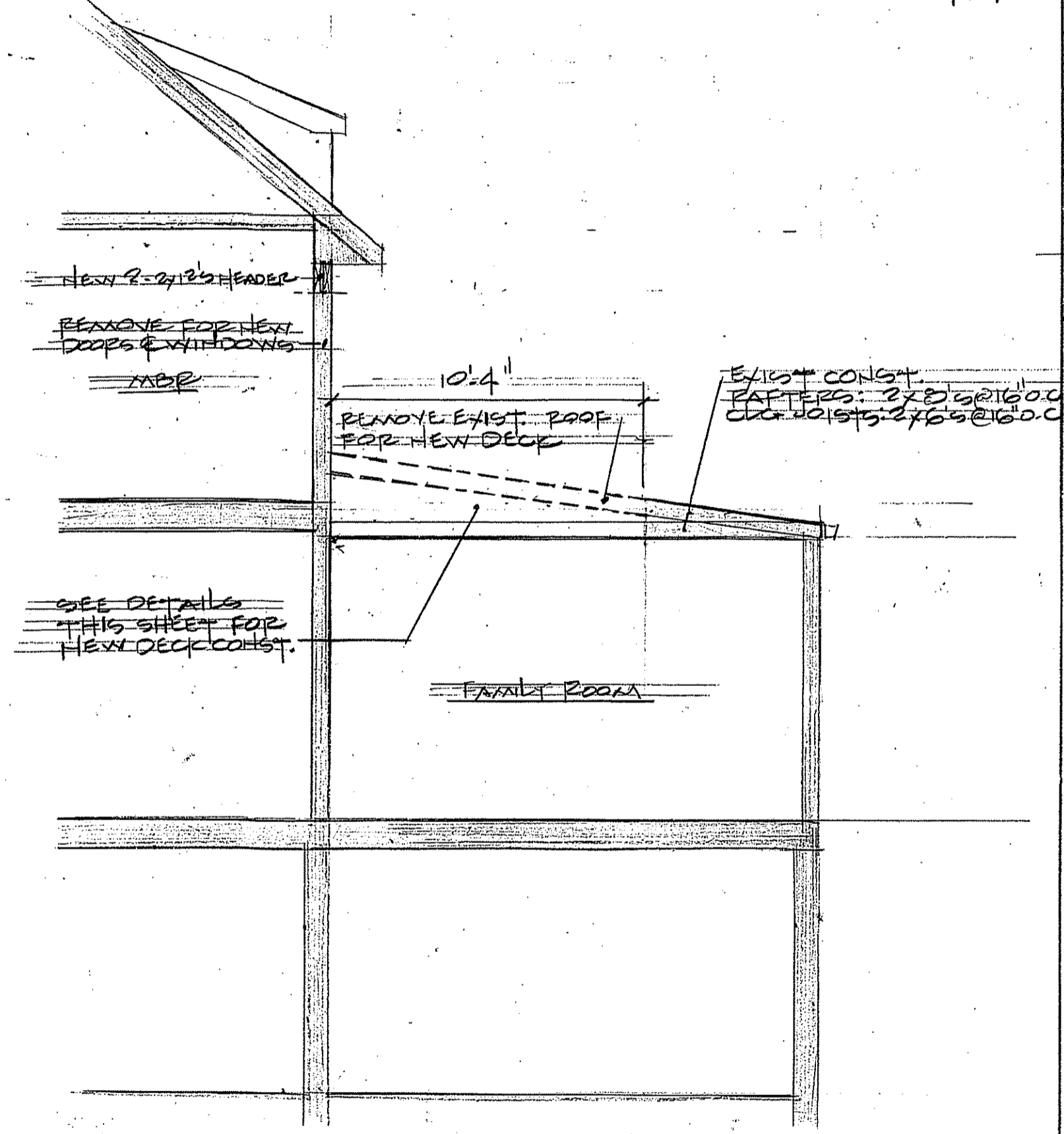
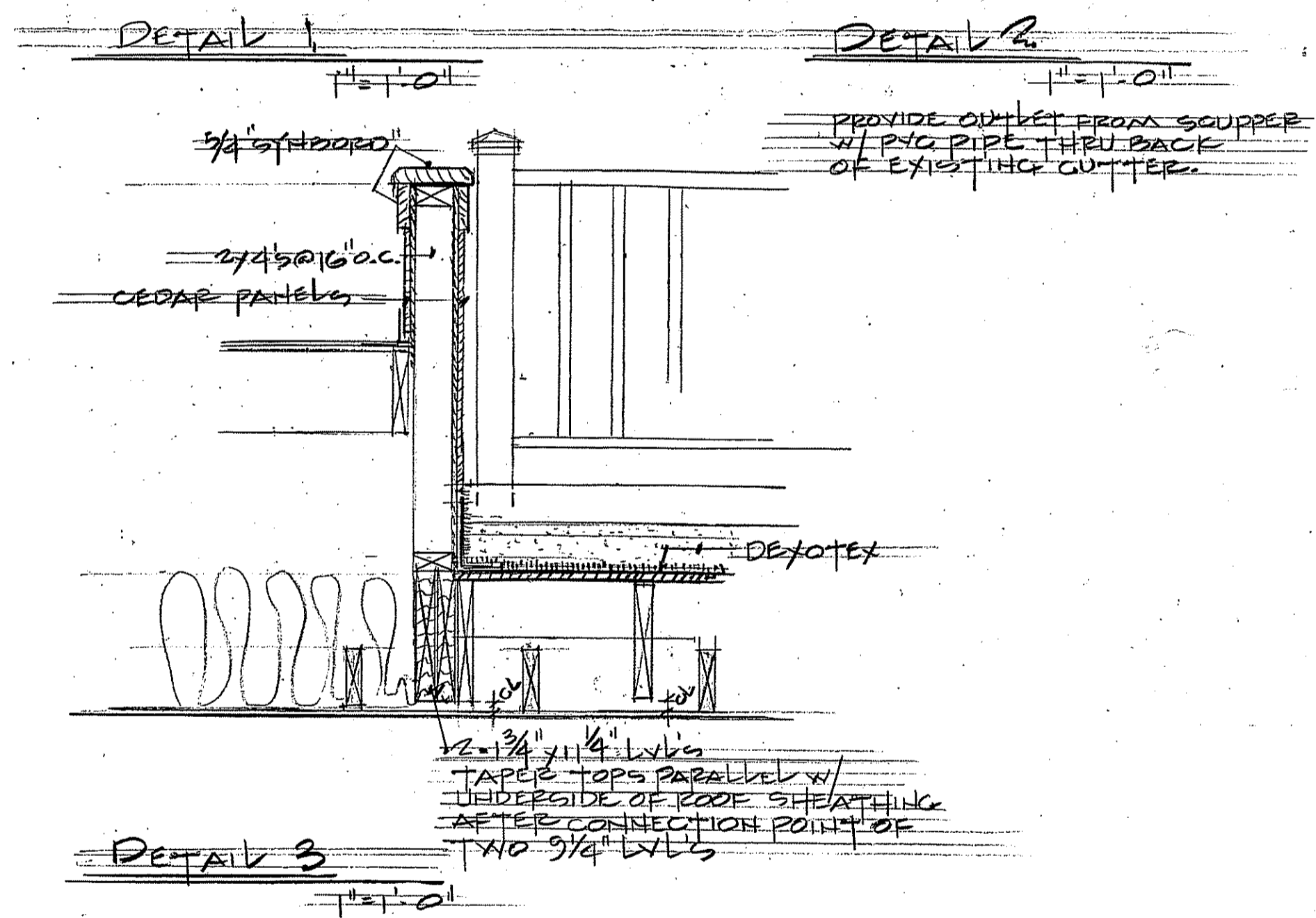
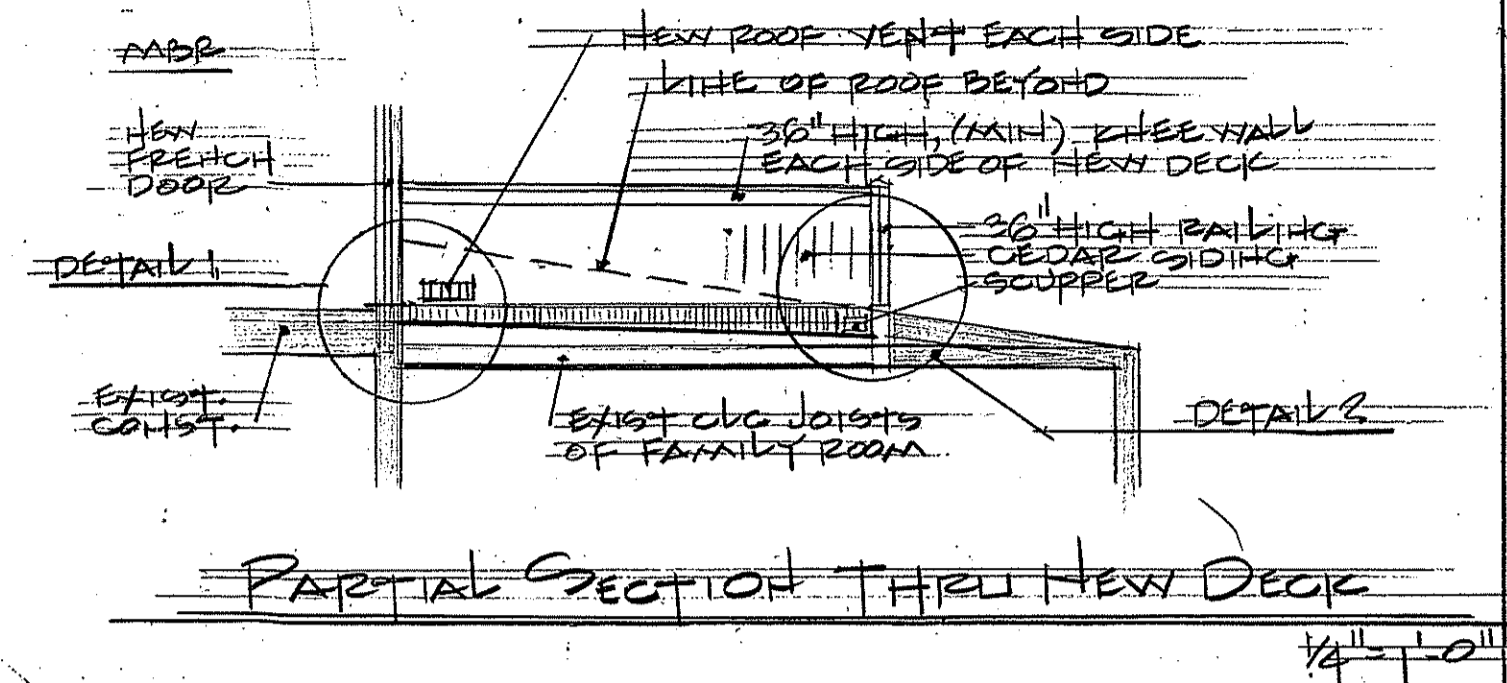
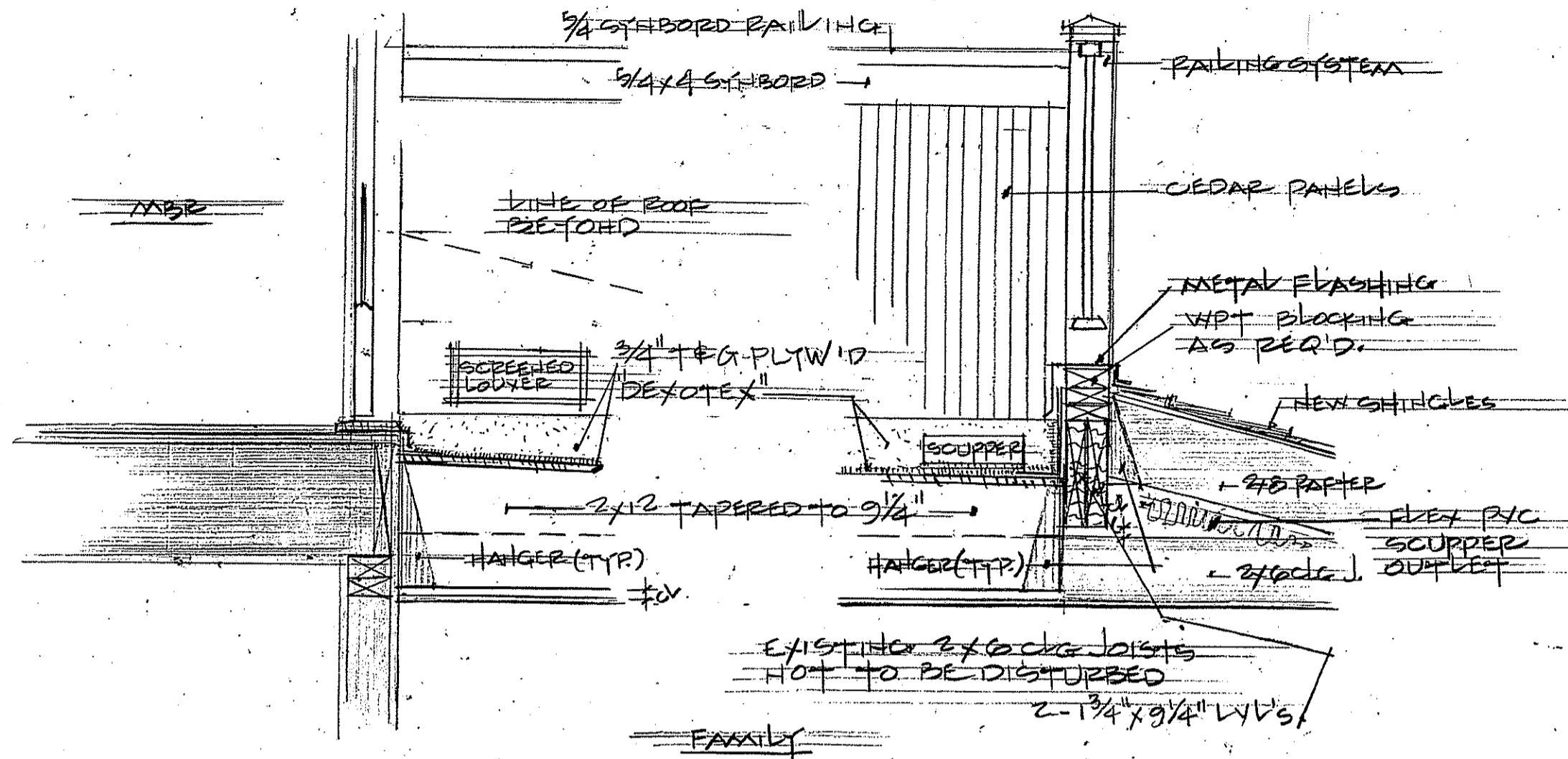


Scale: as noted
June 2004

Master Bedroom Suite
Roof Deck
Exterior Elevations

Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

A4



NOTE: DEXOTEX SHALL BE A CONTINUOUS COATING OVER PLYWOOD FLOOR AND ADJACENT FLASHINGS

PARTIAL SECTION THRU HOUSE
1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
James J. Kelly 7/29/04



Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

Master Bedroom Suite
Roof Deck
Sections & Details

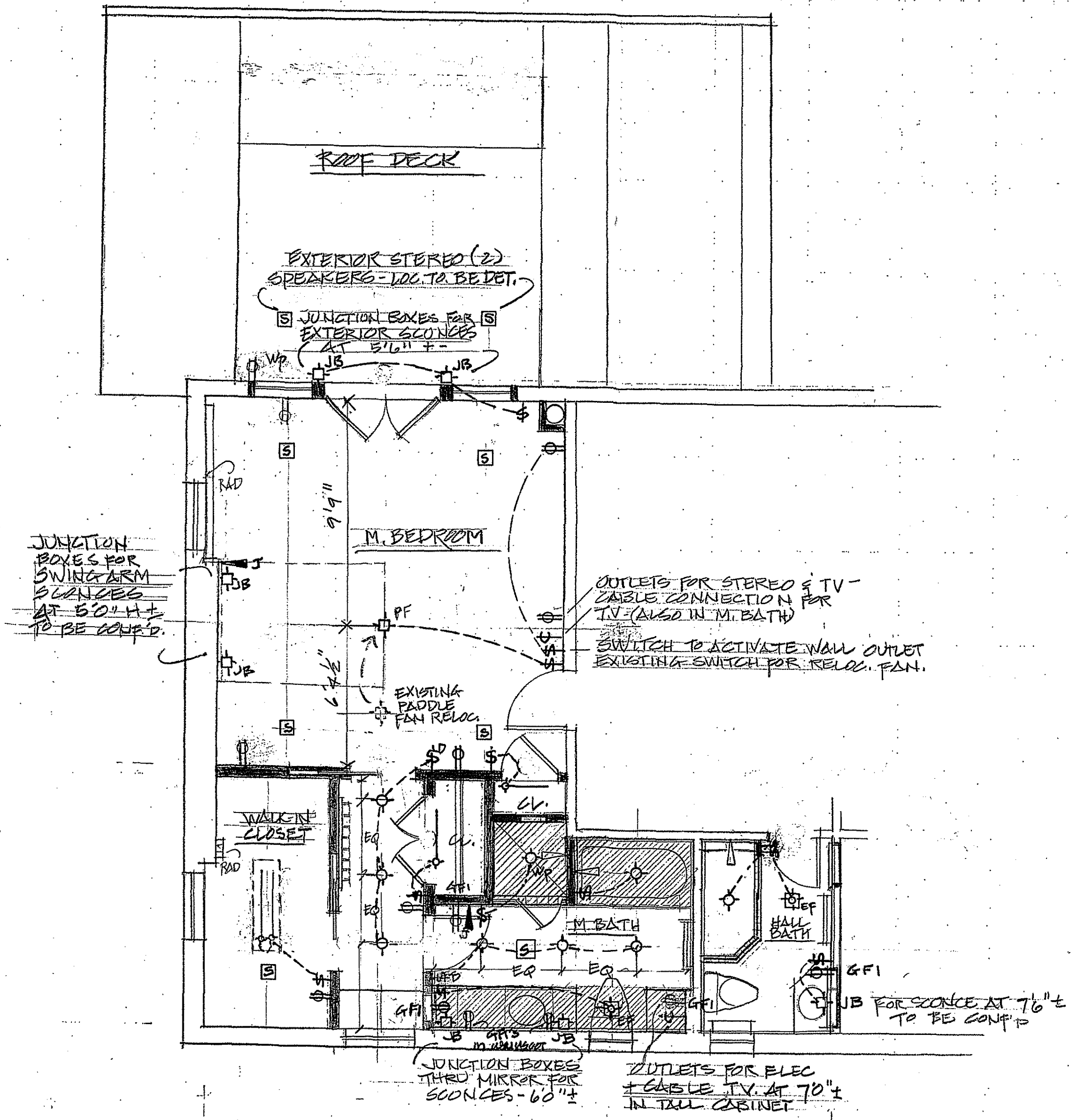
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June 2004

A5

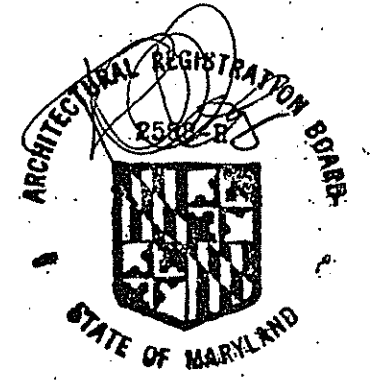
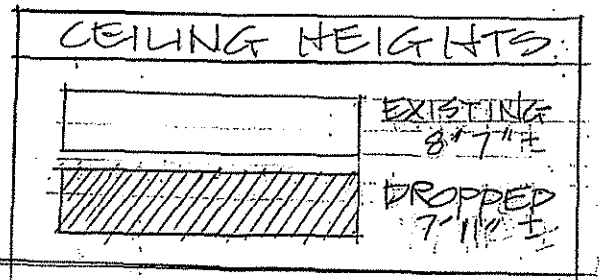
ELECTRICAL SCHEDULE		
SYMBOL	No.	DESCRIPTION/LOCATION
	7	CONTRAST 3 1/2" LOW VOLTAGE DOWN-LIGHTS # T 3450-11/IT 3000 LE FOR M. BATH & DRESSING AREA.
	2	CONTRAST 3 1/2" LOW VOLTAGE WET LOCATION DOWNLIGHTS # S 3450-11/IT 3000 LE WITH CLEAR LENS - FOR BATHROOM SHOWERS.
	7	JUNCTION BOXES FOR DECORATIVE FIXTURES (PROVIDED BY OWNER) FOR BATHROOM SCONCES, BEDROOM SWING ARM LAMPS & EXTERIOR FIXTURES.
	1	MODERN 2' L FLORESCENT FIXTURE # T 9120 ELO. WITH F17 T8 SP 30 TUBE FOR M. BEDROOM CLOSET.
	1	SEAGULL "CLOUD" FIXTURE # 59126B / 75121ES (5 1/2" x 15") WITH F 32 T8 SP 30 TUBE - FOR WALK IN CLOSET.
	2	NUTONE # LS 50 EXHAUST FAN FOR HALLWAY BATH & # LS 50 FOR M. BATH - BOTH DUCTED TO EXTERIOR.
	14	WHITE TOGGLE SWITCHES THROUGHOUT - "PRE SET" TOGGLE DIMMER SWITCHES AS INDICATED FOR RECESSED FIXTURES.
	13	WHITE OUTLETS INCLUDING GFI'S IN BATHS & WATERPROOF ON ROOF DECK.
	2	CABLE TV CONNECTION OUTLETS IN BEDROOM AND M. BATH.
	2	PHONE JACKS - LOC. CONFIRMED BY OWNERS.
	1	SMOKE DETECTOR (S) - HARD WIRED AS PER CODE.
	8	STEREO SPEAKERS - BY OTHERS - SEE NOTES.
	1	EXISTING PADDLE FAN RELOCATED - NEW JUNCTION BOX

ELECTRICAL NOTES:

- ELECTRICAL WORK TO INCLUDE IN FLOOR HEATING SYSTEM UNDER MASTER BATH & TILED FLOOR - TO INCLUDE WALL THERMISTAT IN LOCATION TO BE DETERMINED.
- EXISTING SWITCHES, OUTLETS & LINES MAY BE REUSED - ELECTRICIAN TO VISIT SITE TO DETERMINE.
- OWNERS TO BE NOTIFIED IF HEAVY-UP IS REQUIRED - COST TO BE INCLUDED IN CONTRACT.
- OWNERS TO CONTRACT SEPARATELY FOR A STEREO SYSTEM TO INCLUDE A CD RECEIVER AND SPEAKERS - STEREO TO BE LOCATED IN ARMOIRE ALONG WITH TV - CONTRACTOR TO COORDINATE WORK WITH INSTALLER.



ELECTRICAL PLAN + REFLECTED CEILING PLAN 1/4" = 1'0"



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301 656-5145

Space Planning
Interior Design

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Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

Project/Title

Master Bedroom Suite & Baths Remodeling
Electrical Plan, Schedule & Notes - Reflected Ceiling Plan

Scale
1/4" = 1'0"

Date
June 2004

NE

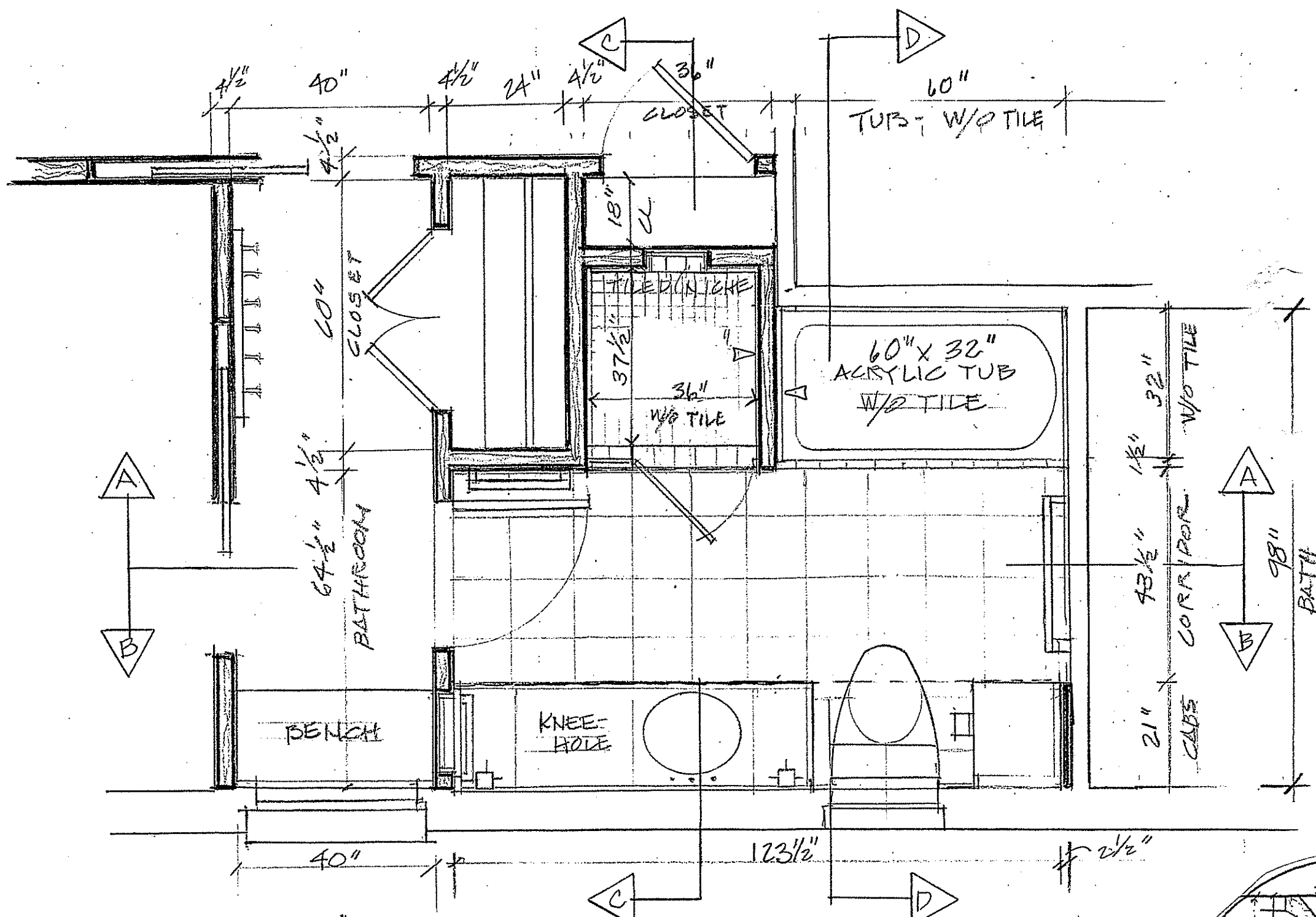
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AA-SHOWER & TUB WALL



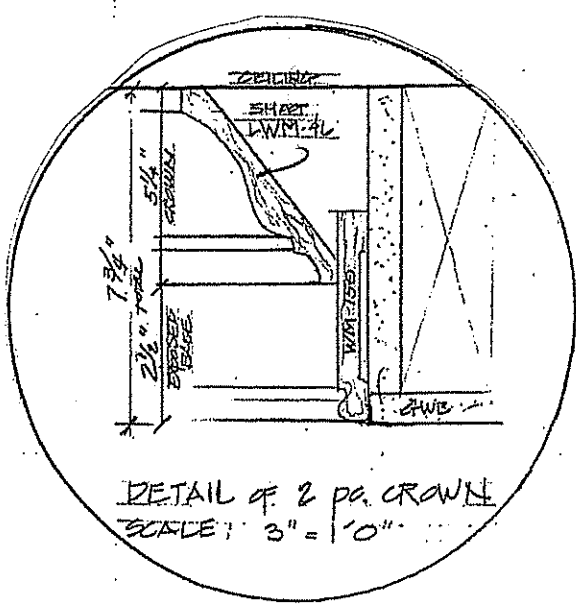
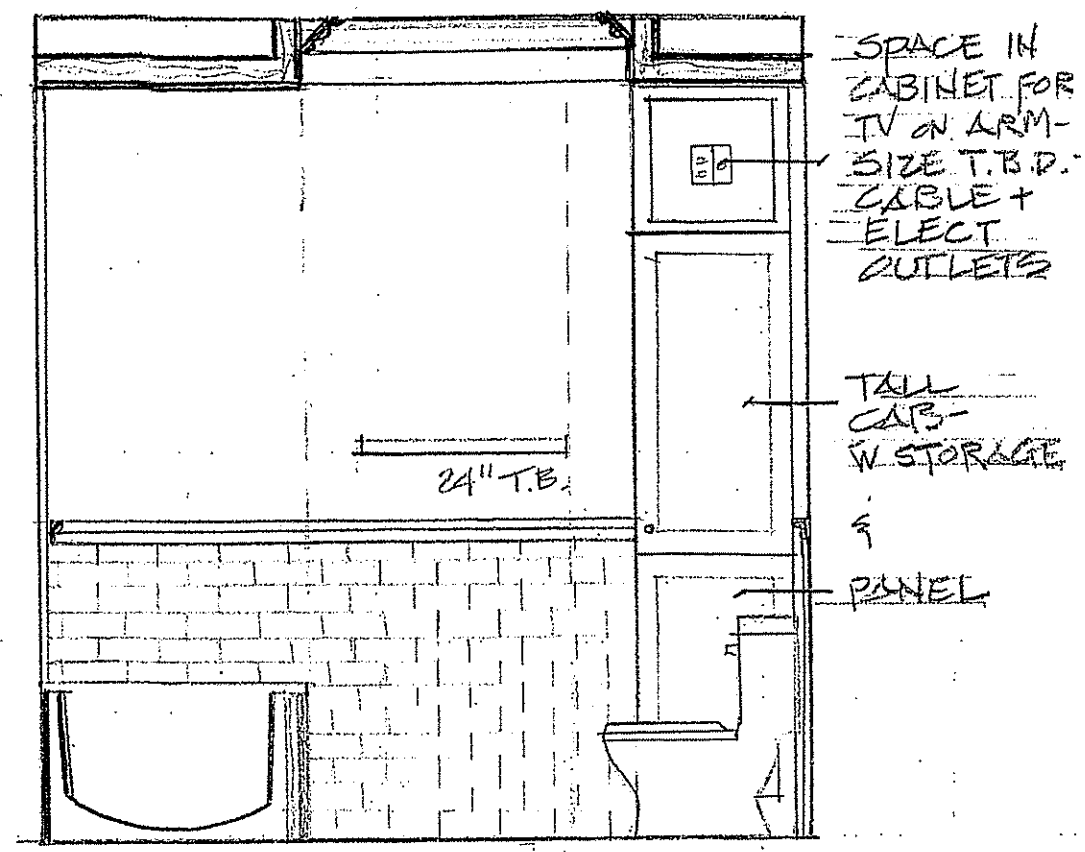
BB-TOILET, VANITY & BENCH WALL



PLAN 1/2" = 1'0"
ALL DIMENSIONS TO BE CONFIRMED



CC-THROUGH VANITY & SHOWER



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301 656-5145
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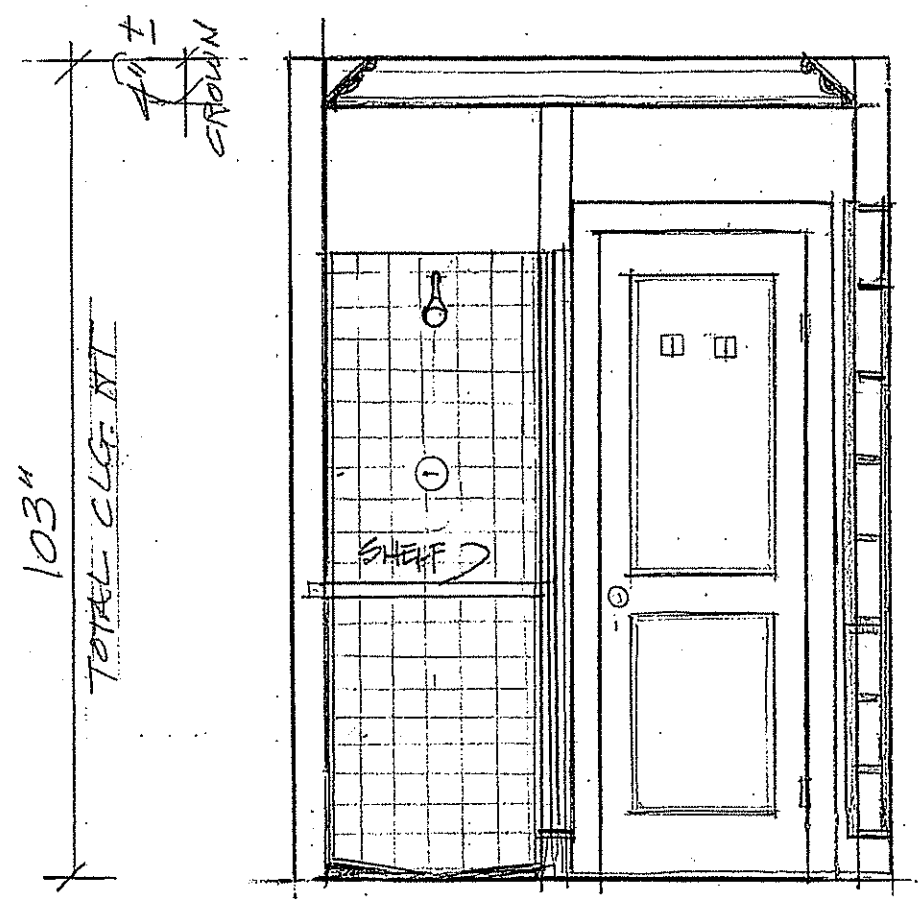
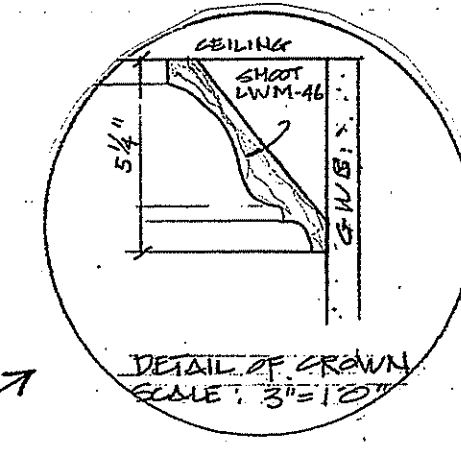
Master Bedroom Suite & Baths Remodeling
Master Bath Plan & Elevations - Crown Detail

Scale
1/2" = 1'0"

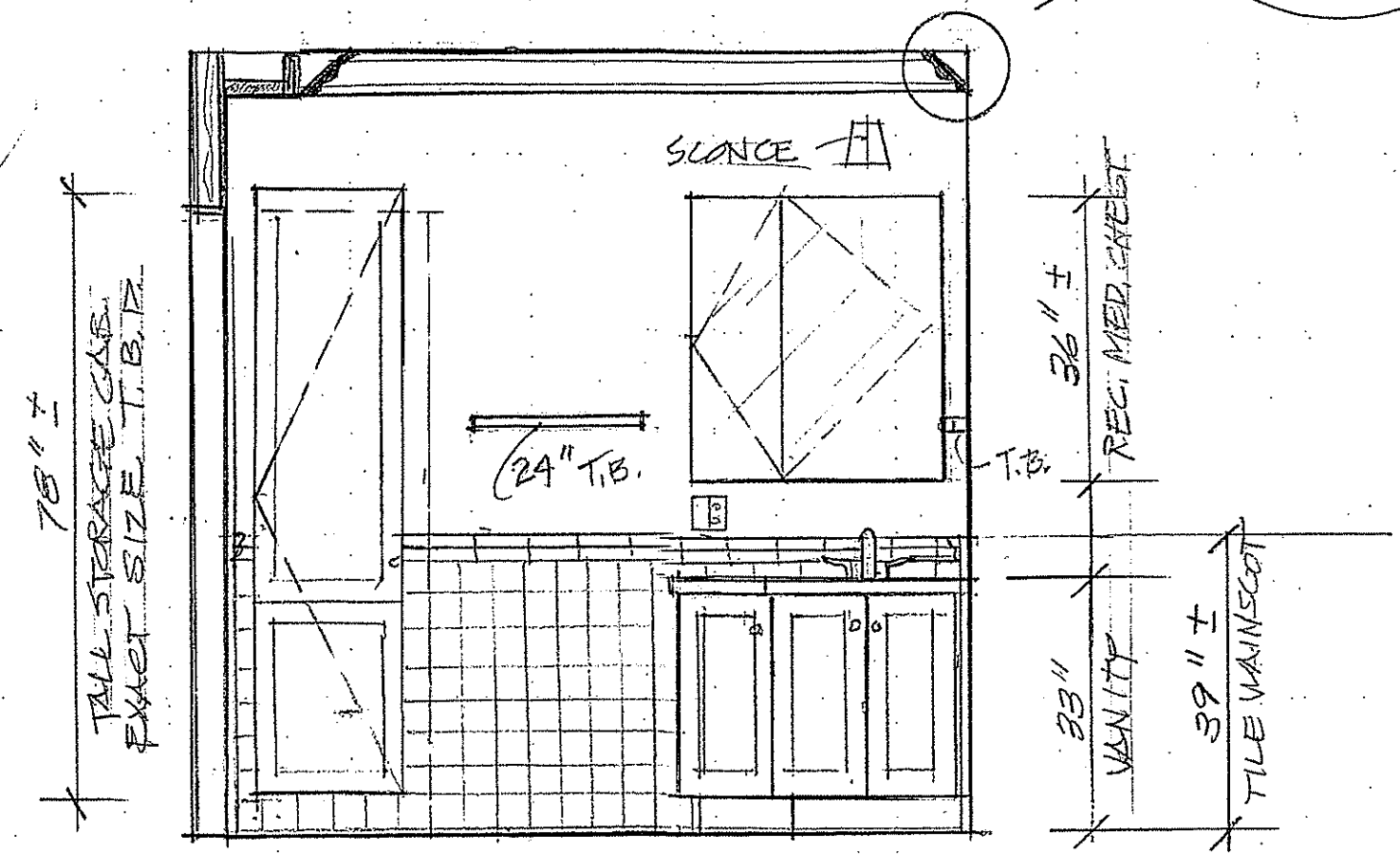
Date
June 2004

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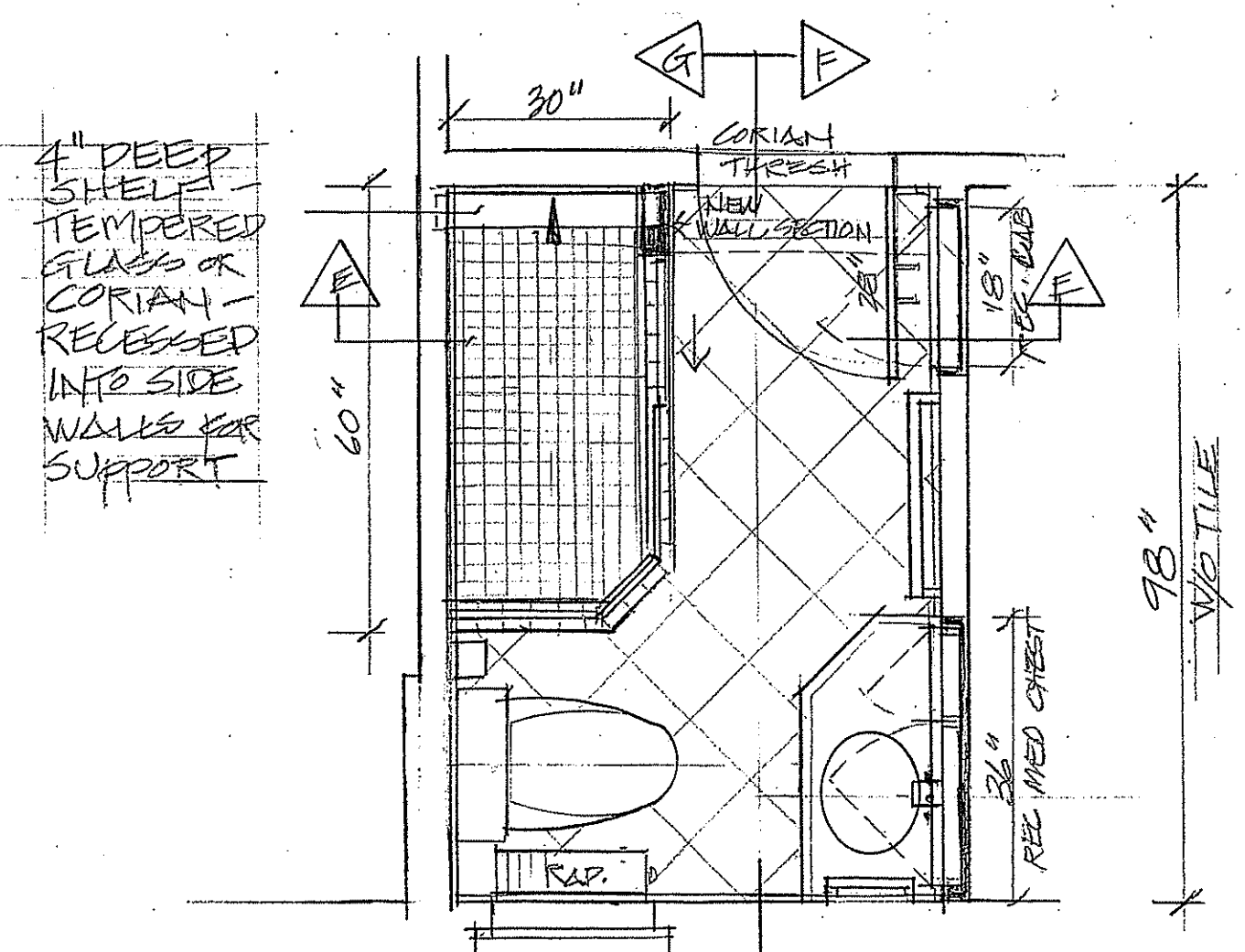
C1



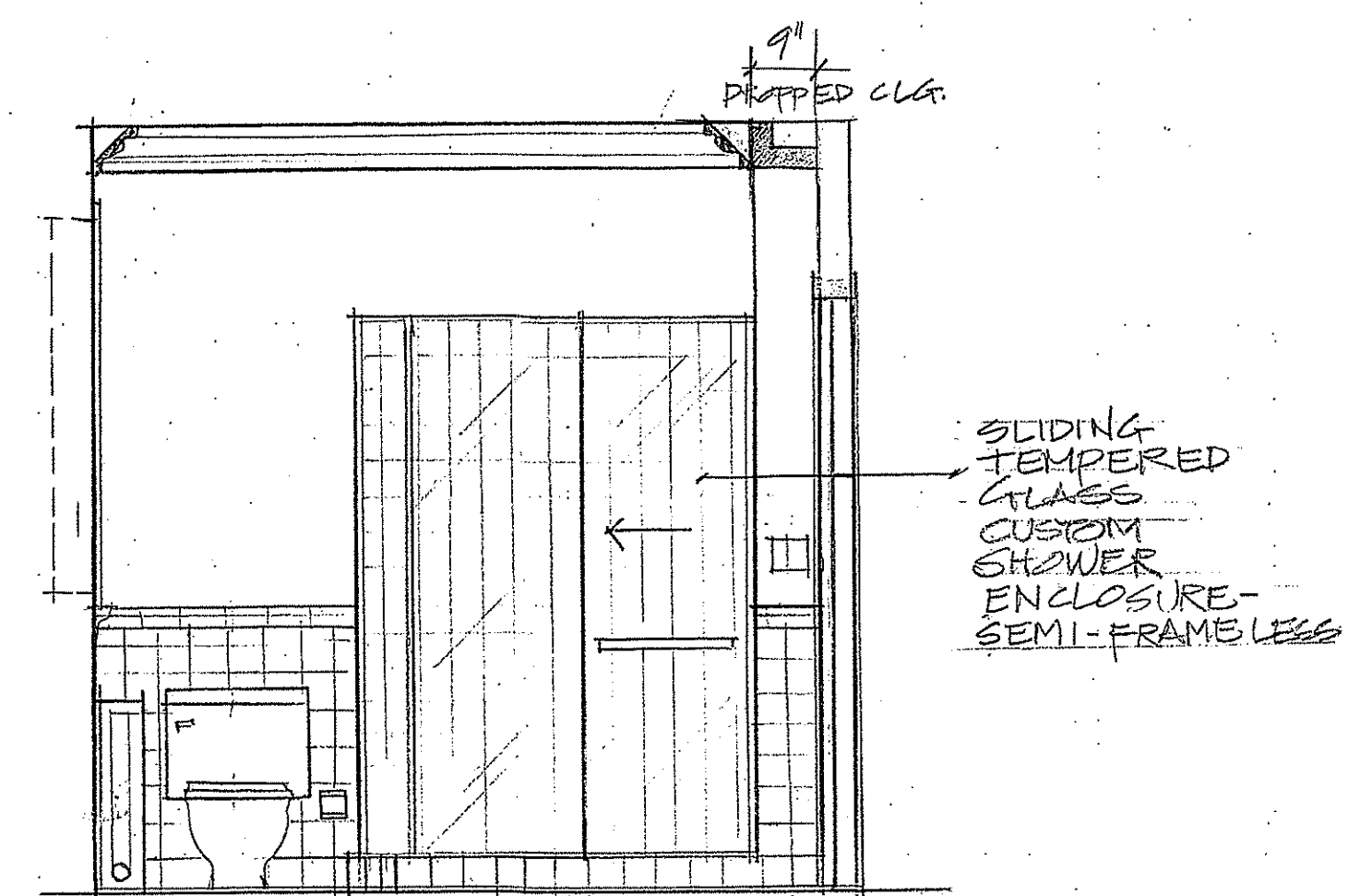
EE THROUGH SHOWER & TALL CAB. WALL



FF - TALL CAB. & VANITY WALL



PLAN 1/2" = 1' 0"



GG - TOILET & SHOWER WALL

ALL DIMENSIONS TO BE CONFIRMED



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: July 15, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Tania Georgiou Tully, Senior Planner
Historic Preservation

SUBJECT: Historic Area Work Permit # 348121 for tree removal, construction of a rear addition and construction of a front porch.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with CONDITIONS**.

1. The new French door and windows are true divided lights.
2. The new railing is wood.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Paul & Margaret Cromelin (Nancy Elliott, agent)

Address: 5806 Cedar Parkway, Chevy Chase Village Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
295 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

RECEIVED
JUN 15 2004
Dept. of Permitting Services
Division of
Casework Management

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

SS. 579-62-5519 Paul
229-82-2931 MARG
Contact Person: NANCY ELLIOTT
Daytime Phone No.: 301 656 5145

Tax Account No. _____
Name of Property Owner: PAUL/MARGARET CROMELIN Phone No. 301-654-0390
Address: 5806 CEDAR PARKWAY CHEVY CHASE MD 20815
Contractor: BETHESDA CONTRACTORS Phone No. 301-656-9020
Contractor Registration No. _____
Agent for Owner: NANCY ELLIOTT & ASSOC. Phone No. 301 656 5145

LOCATION OF BUILDING/PREMISE
House Number: 5806 Street: CEDAR PARKWAY
Town/City: CHEVY CHASE VILLAGE Street: HESKETH ST.
Lot: 3 11 4.5 Block: 62 Subdivision: SECTION 2
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE
1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Haze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 100,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS
2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL
3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret M. Cromelin Signature of owner or authorized agent
JUNE 15, 2004 Date

Approved: with conditions For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: Julia O'Malley Date: 7/14/04
Application/Permit No. 348121 Date Filed: 6-14-04 Issued: _____

Edr: 6/21/95 SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

AN EARLY 20TH CENTURY CENTER-HALL,
FRAME COLONIAL-"FARMHOUSE" STYLE
WITH A FULL-WIDTH FRONT PORCH. THE
HOUSE BACKS ON CHEVY CHASE COUNTRY
CLUB, SURROUNDED BY LARGE TREES -
IT IS DESIGNATED AS "CONTRIBUTING"
HISTORICALLY.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONSTRUCTION TO INVOLVE A NEW REAR
ROOF DECK OVER A ONE-STORY FAMILY ROOM
ADDITION COMPLETED IN 1997 - THERE
WILL BE FRENCH DOORS LEADING FROM
THE MASTER BEDROOM - STYLES & MATERIALS
TO MATCH EXISTING. THIS WILL HAVE

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
b. dimensions of all existing and proposed structures; and
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

MINI MAX EFFECT
ON THE HISTORICAL
RESOURCES.

SEE A1.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

SEE ENCLOSED PLANS A1-A5.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

SEE SPECS. ON SHEET A1

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

SEE ENCLOSED

6. TREE SURVEY

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

SEE ENCLOSED

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

CROMELIN RESIDENCE / 5806 CEDAR PARKWAY
CHEVY CHASE, MD 20815

FRONT ELEVATION - EAST



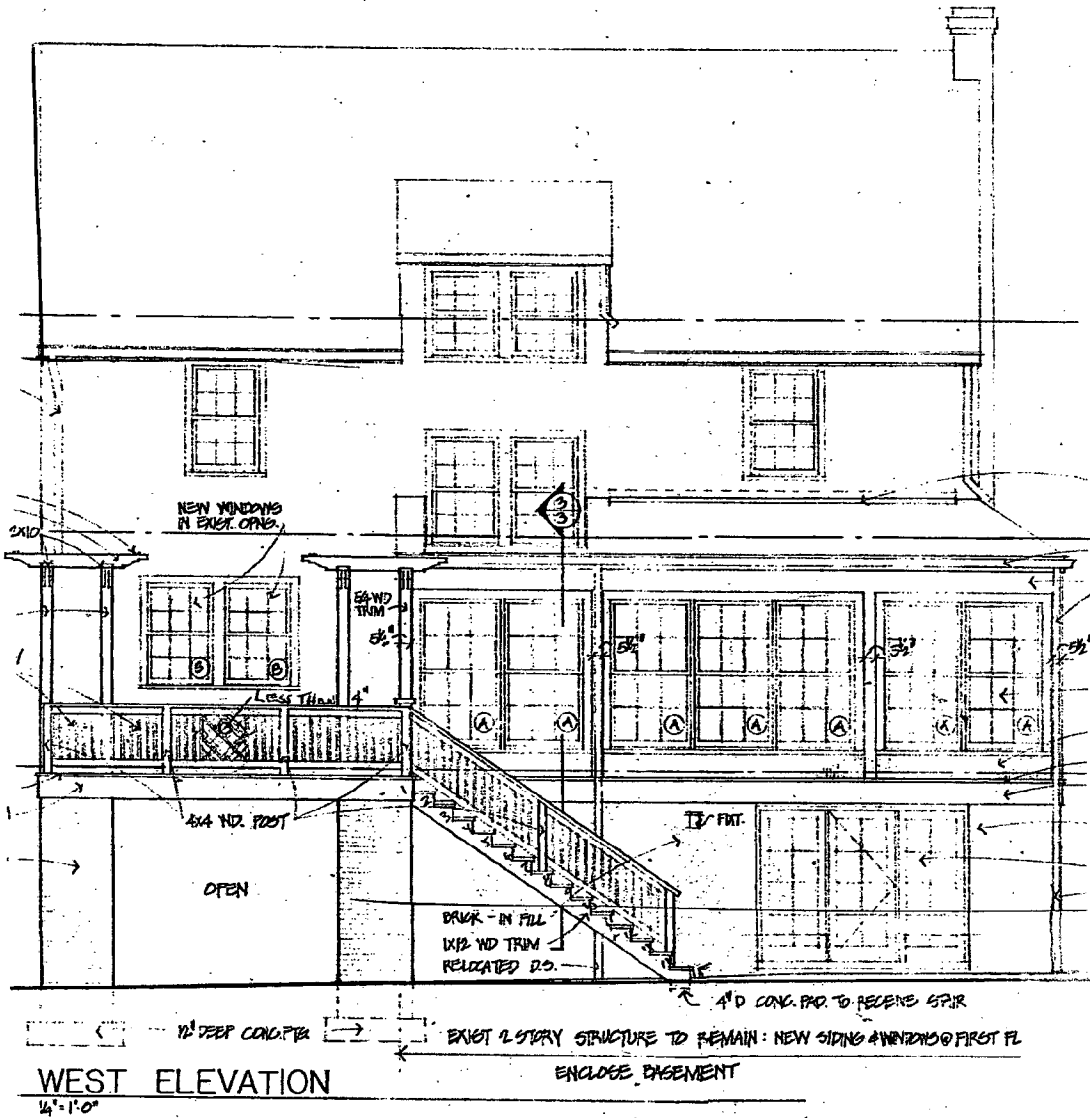
SIDE ELEVATION - NORTH

SIDE ELEVATION - SOUTH



REAR ELEVATION - WEST

CROME LIN RESIDENCE / 5806 CEDAR PARKWAY / CHEVY CHASE
 M.D. 20815



EXISTING REAR ELEVATION
 1997 FAMILY ROOM ADDITION (ONE-STORY)
 AND DECK.

CROMELIN PROJECT — NEIGHBORS
5806 CEDAR PARKWAY
CHEVY CHASE, MD 20815
301-654-0390

South

CHRISTOPHER & VICTORIA KNOPES
5804 CEDAR PARKWAY 301-718-8429

North

MARK & BEV. NADEL
5808 CEDAR PARKWAY 301-986-8670

Across

C.J. BULLARD
29 WESKETH STREET 301-656-8411

SPECIFICATIONS

DESCRIPTION

Scope of work involves a remodeled master bedroom suite including a roof deck with doors from bedroom, enlarged master bathroom, master bedroom closets and dressing area, and a remodeled hallway bathroom.

GENERAL

- All work is to be performed in accordance with the codes and regulations of Montgomery County and Chevy Chase Village, and other applicable rules and regulations.
- Permits from Montgomery County and Chevy Chase Village, as well as the Historical Preservation Commission to be coordinated by Nancy Elliott & Associates and billed separately.
- During the time of the contract the Contractor is responsible for the protection of the job site consistent with good operating practices. Contractor is responsible for dust control to protect occupied portion of premises.
- Contractor is responsible for timely removal of all debris associated with the job, and for maintaining the site in a clean and orderly condition. Contractor to comply with local requirements as to trash removal - if dumpster type trash container is used a permit must be obtained from Chevy Chase Village.
- Contractor is responsible for communicating any hidden conditions, any conditions not shown, or any conditions in conflict with work described in construction documents to Nancy Elliott & Associates for immediate resolution.
- Contractor to submit a written bid, and, if accepted, a written contract that includes a schedule of payments, a breakdown of costs, and planned starting and finishing dates.
- Comparable quality and type materials may be substituted with permission of Owner and/or Designer.
- Contractor to establish method of access to the site as well as bathroom and telephone usage directly with the Owner.
- Requests for changes in the work shall be in writing with an explanation of the change and the effect of the change on the contract sum. The Owner will approve all changes in by signing a copy of requested change and giving it to the Contractor.

DEMOLITION/SITE WORK

- Demolition to include partial removal of the existing west wall of the master bedroom (sheet A2) and removal of existing bathroom cabinets, finishes and fixtures - reserve items noted.
- Contractor is responsible for the repair of all damage to property caused by construction.

CARPENTRY

General

- Consult construction drawings and notes - see sheets A2-A5.
- Contractor to notify Owner of any existing structural members encountered which are deteriorated or damaged to a degree that they may no longer fulfill their purpose.
- Conform with the minimum requirements of International Residential Code as to headers, blocking, methods of fastening etc.
- Utilize 2 x 4's for exterior wall construction and interior partitions
- New soffits and dropped ceilings constructed of 2 x 4s and gypsum wallboard - see reflected ceiling plan - see sheet E.

Exterior

- Roof Deck** constructed of 3/4" tongue and groove plywood (with Dex-o-tex Elastatex 500 Promenade roof deck surfacing) - see sheets A3-A5.
- Deck Side Walls** to be clad with bead board (best grade) - to match existing construction of family room addition.
- Wood trim materials shall be No. 1 common white pine suitable for painting.
- Deck Rail** to match existing deck below including the double X centered rail detail.

Interior

- Trim includes: baseboard, window casing and door casing. All trim to match existing (widths may vary for window and door casings) and be suitable for painting unless otherwise noted. Finger-jointed pine is acceptable.
- Crown molding: two piece for master bath and bedroom and one piece for hallway bath - as described on sheets C1 & C2.
- MDF adjustable shelving for master bedroom closet.

THERMAL & MOISTURE PROTECTION

- Contractor to determine if existing roofing needs to be repaired or replaced, and if so, price in contract.
- Use copper flashing, base and cap type, as required to integrate new roof deck and wall construction with existing construction, and so as to make all construction, new and existing, weather tight.
- Caulking to be siliconized acrylic latex with a 10 year warranty suitable for painting.
- Scupper on deck connected to flexible PVC pipe sloped through roof so that it drains into existing gutter.

DOORS & WINDOWS

- Exterior Door/Window Unit (A):** To be Weathershield Legacy French door unit, 5'0" by 7'2" with traditional style 1 brushed nickel levers, and multi-point lock set. Door to be flanked by Weathershield 9/9 double-hung windows, size T11 - 28x32, insulated glass, standard jambs, white primed wood, sash lock and insect screens - to match existing. Door and windows priced and specified through Cliff Sosin at Quality Window & Door, Inc. - 301 251-9290.
- Interior Doors:** Solid core one panel style, hardware to match existing on swing doors and Johnson pocket door assembly (or comparable) for pocket doors, pulls to be supplied by owner:
 - (B) Bedroom hinged closet door - 2-2 x 6-8.
 - (C) Dressing area pocket door - 2-6 x 6-8.
 - (D) Double hinged closet doors - two 1-6 x 6-8.
 - (E) Walk-in closet pocket door - 2-2 x 6-8.
 - (F) Master bath hinged door - 2-2 x 6-8.
 - (G) Hallway bath door - swing changed, repair as required.

FINISHES

- Gypsum Wallboard:** Interior surfaces sheathed with 1/2" gypsum board, taped and spackled as necessary to make ready for painting - work in accordance with U. S. Gypsum Construction Handbook.
- Patching:** Patch existing plaster and drywall work as required to make ready for painting.
- Exterior Painting:** Wood trim, one coat primer and two coats best quality paint on trim. Cedar siding to receive two coats of best quality paint over pre-primed material; otherwise three coats. All exterior painting to match existing.
- Interior Painting:** All trim semi-gloss alkyl enamel. Walls and ceilings shall be finished with one coat of primer and two coats of best quality latex - flat or low luster finish on walls; flat on ceilings. Color - as selected by owner.
- Cabinetry Painting:** If job-site painting of cabinetry is required, the Owner may request a separate price from Contractor.
- Ceramic Tile:** Contractor to make allowance for purchase of tile for both bathroom floors, shower walls and wainscot - installation included in contract.

FLOORING

- Existing wood strip flooring to remain throughout bedroom closets and dressing areas - contractor to protect floor throughout construction.
- Wall-to-wall carpet in bedroom, dressing room and closets - by separate contract.
- In-floor heating system in master bedroom floor - see sheet E.

CABINETS & COUNTERTOPS

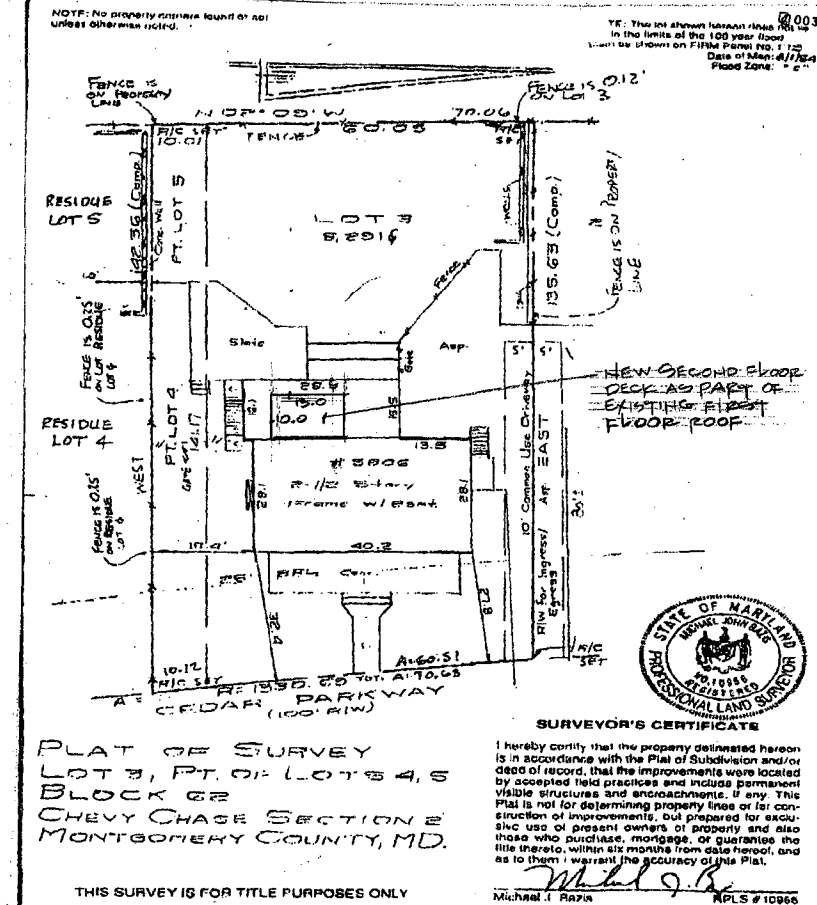
- Cabinets to be purchased and installed by separate contract. Contractor to coordinate with cabinet installer. Cabinet contract to include:
 - Two vanities,
 - Two recessed medicine chests,
 - Tall hamper/storage/TV cabinet for master bath,
 - Tall shallow recessed cabinet for hallway bath, and
 - Dressing area bench.
- Stone countertops selected by Owner; Contractor to purchase and install - make allowance.
- Walk-in closet fittings provided by owner and installed by separate contract.

HARDWARE & SPECIALTIES

- Install Owner provided toilet paper holders, towel bars, paper holders and door hooks.
- Install Owner provided pocket door recessed pulls.
- Install Owner provided light fixtures - see sheet E.
- Provide and install frameless shower door for master bath and semi-frameless shower enclosure for hall bath - make allowance.
- Provide and install mirrors in master bathroom - wall to wall in tub area and framed in wood trim over vanity. Mirror adhered to back panel of pocket door to dressing area.
- Corian or tempered glass shelf for hallway bath shower to run between walls under shower control.
- Exterior door hardware specified through Weathershield.
- Interior door hardware for swing doors to match existing as closely as possible.
- Johnson pocket door assembly (or comparable) for 2 pocket doors - see doors.
- Walk in closet fittings - provided by owner and installed by separate contract.

PLUMBING, FIXTURES & FAUCETS

- Disconnect existing fixtures to be removed. Cap off unused utilities as per Code.
- The following plumbing fixtures and faucets are priced and specified by Ferguson Enterprises Inc. - contact Crystal (202) 464-0330:
 - One Kohler Hourglass bathtub LH/FLG 60 x 32 in white.
 - Two Kohler Caxton 19 x 15 undermount sinks in white.
 - Two Kohler Memoirs one piece toilets K3451 in white.
 - Two Jado 818 series sink faucets in polished chrome with 8" spread.
 - Two Jado 818 series shower controls in polished chrome
 - One Jado 818 series tub spout & control.
- Two new Runtal radiators - see HVAC.



NANCY ELLIOTT & ASSOCIATES

37 West Irving Street
Chevy Chase
Maryland 20815

301 656-5145

Space Planning
Interior Design

Owner Address

Cromelin Residence

5806 Cedar Parkway
Chevy Chase, MD 20815

Project/Title

Master Bedroom Suite &
Baths Remodeling

Site Plan & Specifications

Scale

Scale: as noted

Date

June 2004



A1

37 West Irving Street
Chevy Chase
Maryland 20815

301 656-5145

Space Planning
Interior Design

Owner Address

Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

Project Title

Master Bedroom Suite & Baths Remodeling
Existing/Demolition Plan - Alterations Plan

Scale

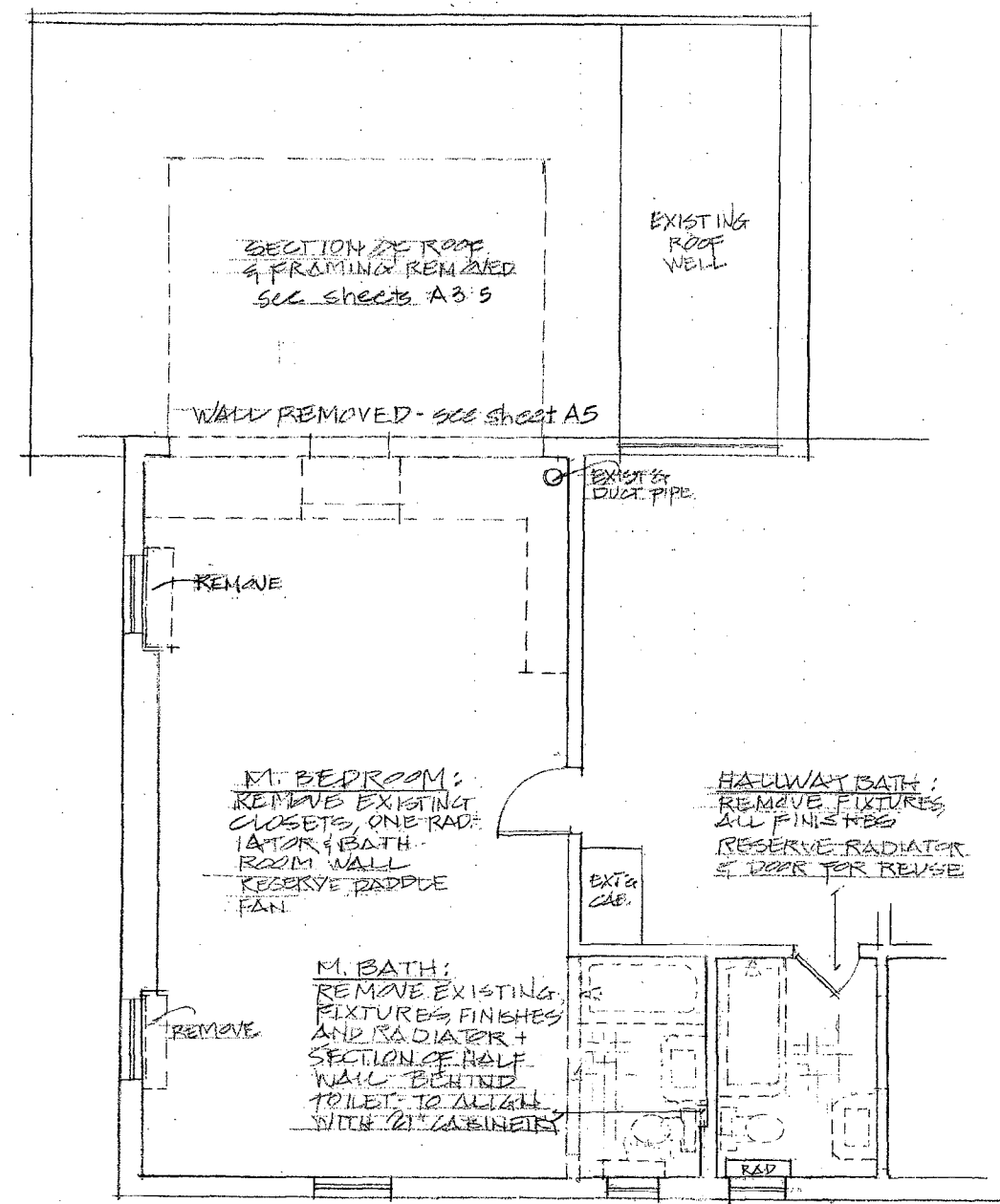
1/4" = 1' 0"

Date

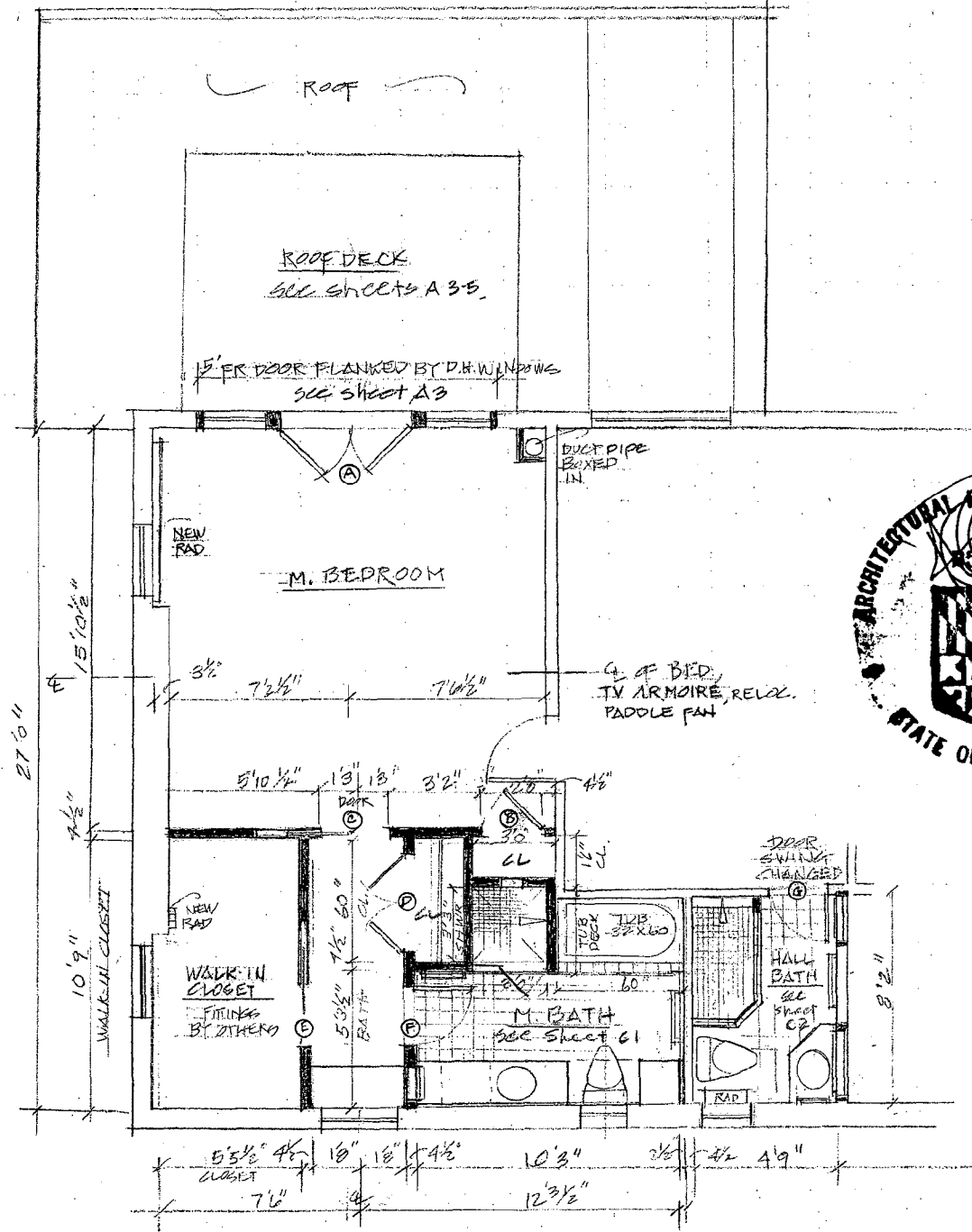
June 2004

NE

A2

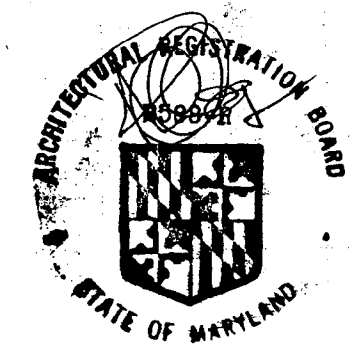


EXISTING/DEMOLITION PLAN



ALTERATIONS PLAN
1/4" = 1' 0" ALL DIMENSIONS TO BE CONF'D

LEGEND	
EXISTING	—
REMOVED	- - -
NEW	—



CONSTRUCTION NOTES

Comply with *International Residential Code*, latest edition

Design Live Loads

Deck: 40 lbs/sq ft
Roof: 30 lbs/sq ft

Lumber

As indicated on drawings, otherwise:

Joists and rafters: #2 Hem-Fir
Fb = 850 psi minimum
E = 1,300,000 psi minimum
Beams and Girders: #2 Hem-Fir
Fb = 1500 psi minimum
E = 1,300,000 psi minimum
Studs, etc.: #2 SPF

Laminated Veneer Lumber (LVL)

As manufactured by Georgia Pacific Corp., or approved equal
E = 1,900,000 psi minimum
fb = 2,600 psi minimum

Where two members are used together, fasten from both sides in three horizontal rows with 16d nails at 12 inches on center, 2 inches from edges.

Wood Preservative Treatment (WPT)

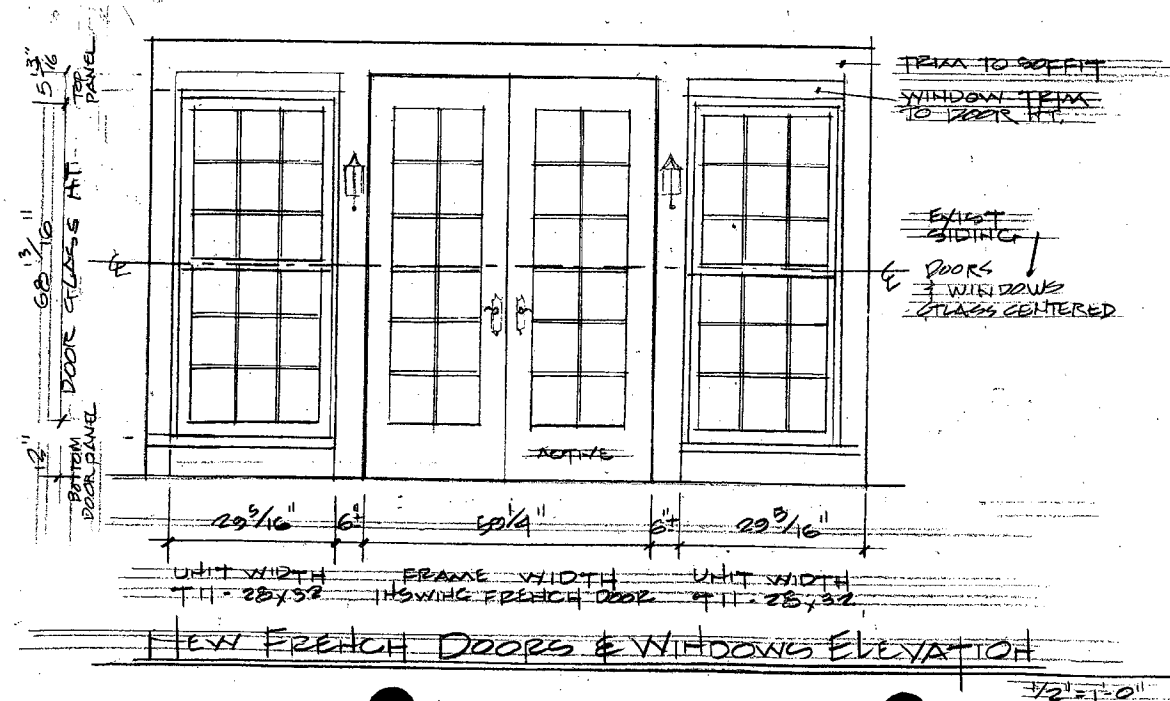
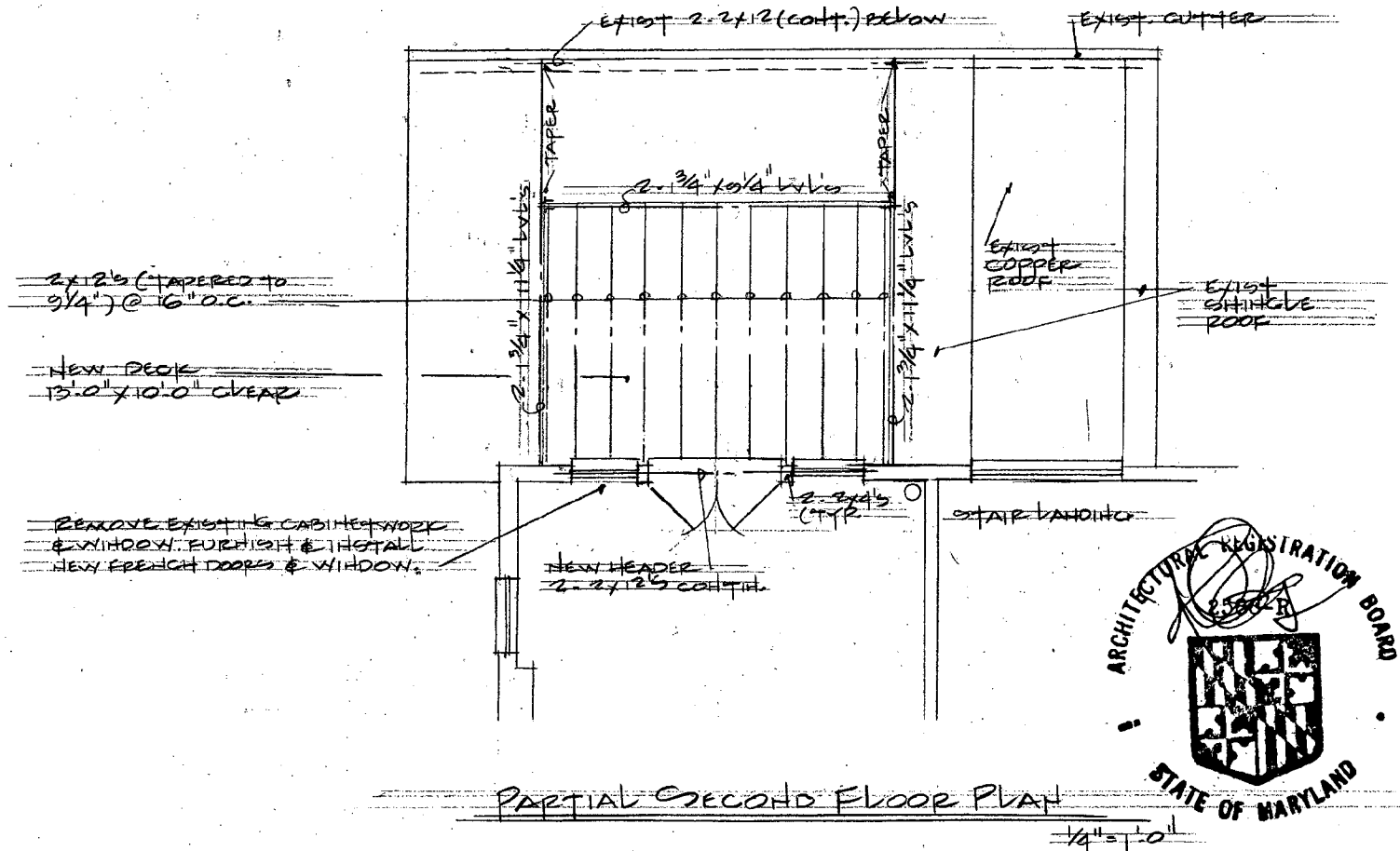
For all lumber exposed to weather and in contact with masonry, concrete or the earth, or as otherwise indicated, as per AWPA Standard C-270 for above ground use, "Wolmanized" or approved equal

Fasteners

For all exterior work and work in unconditioned spaces, hot-dipped galvanized or non-ferrous materials

Connectors

For fastening new work to existing construction, and where otherwise good building practice would dictate, utilize appropriate galvanized steel connectors equal to Simpson Strong-Tie

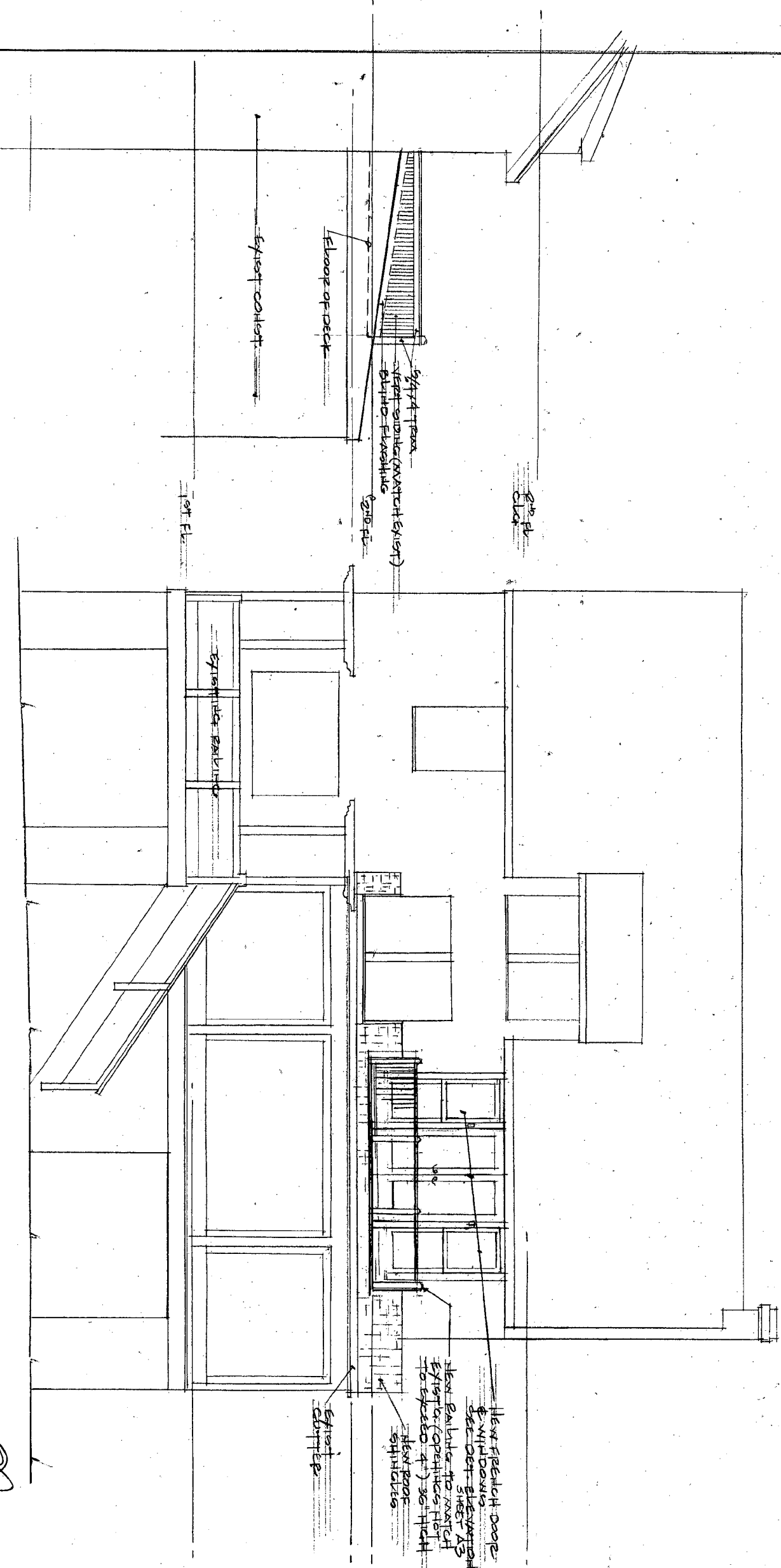


Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

Master Bedroom Suite
Roof Deck
Framing Plan, Construction
Notes, Door Unit Elevation

Scale: as noted
June 2004

A3

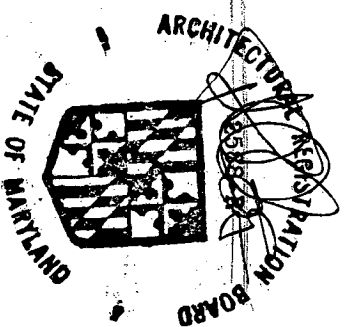


PARTIAL SIDE ELEVATION

1/4" = 1'-0"

REAR ELEVATION

1/4" = 1'-0"



Master Bedroom Suite
Roof Deck

Exterior Elevations

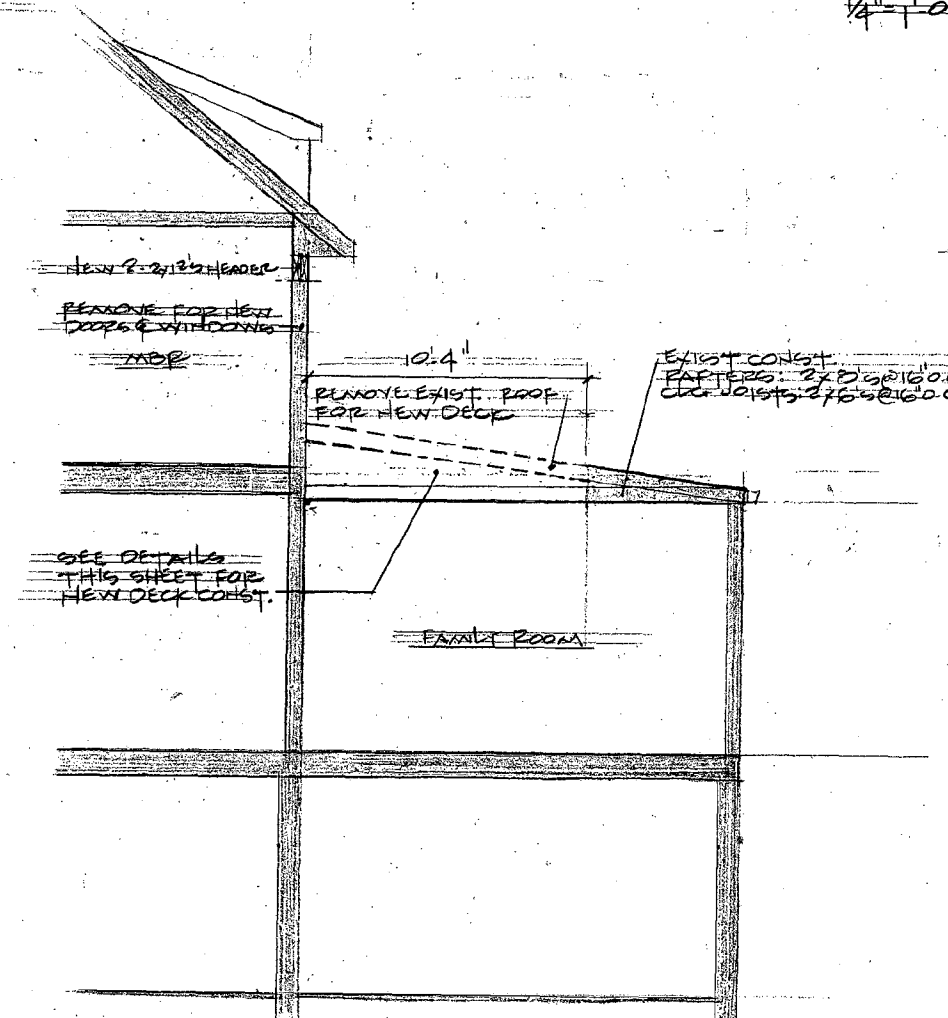
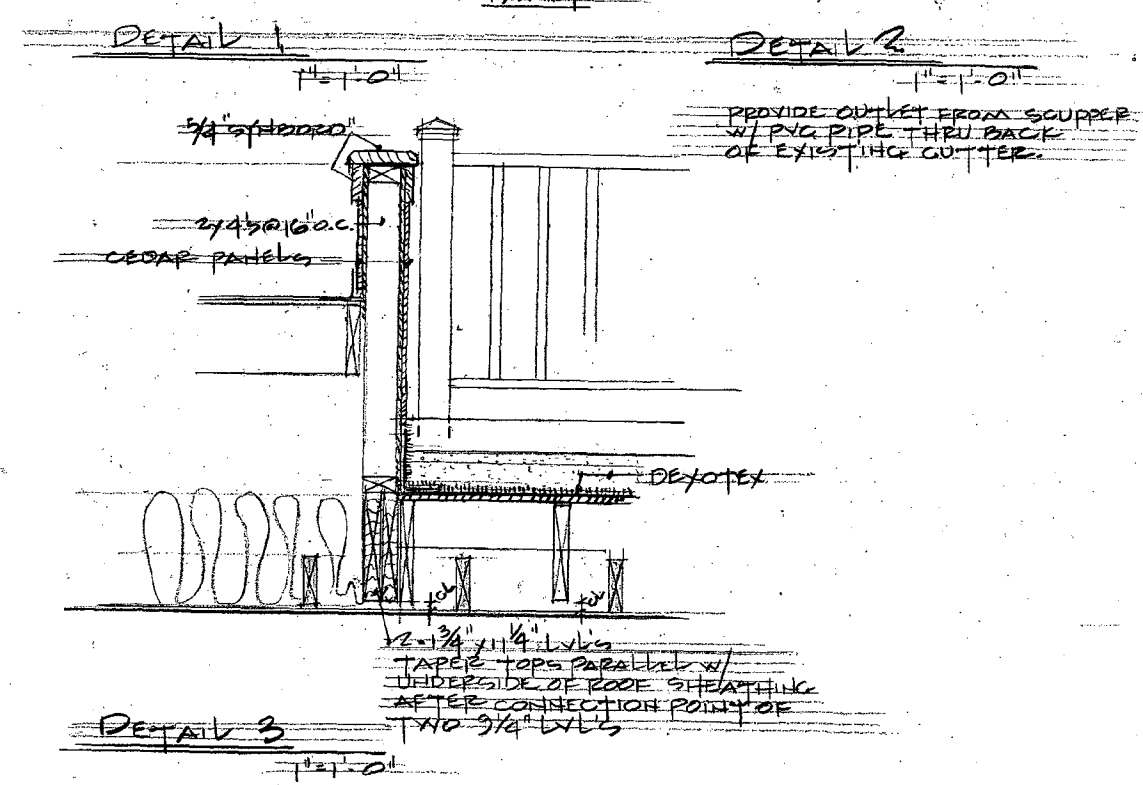
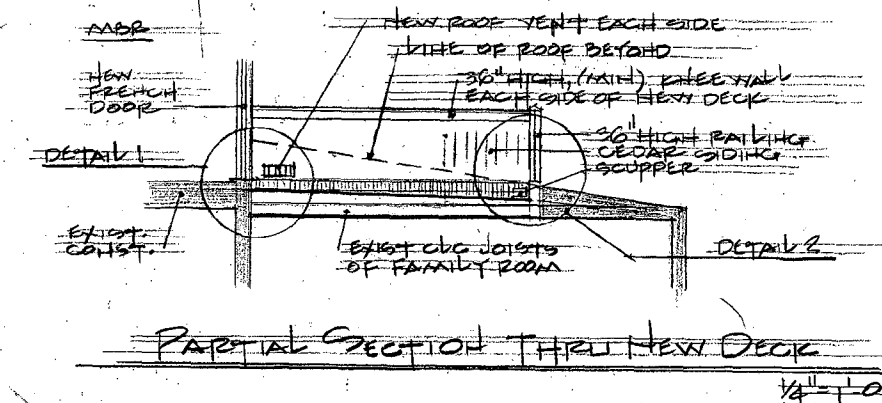
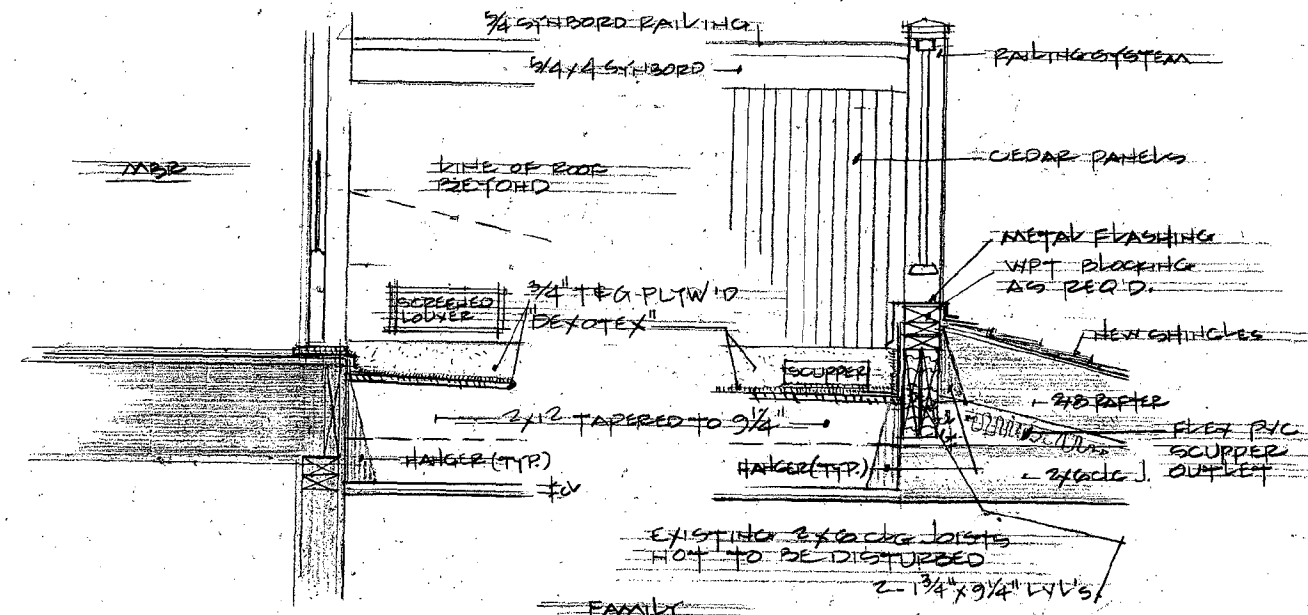
Cromelin Residence

5806 Cedar Parkway
Chevy Chase, MD 20815

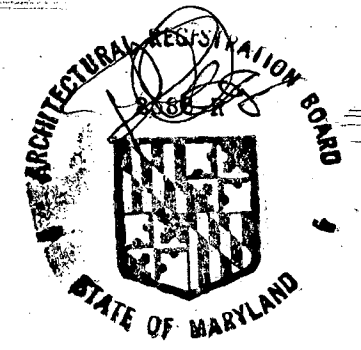
A4

Scale: as noted

June 2004



NOTE: DEKOTEX SHALL BE A CONTINUOUS COATING OVER PLYWOOD FLOOR AND ADJACENT FLASHINGS



Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

Master Bedroom Suite
Roof Deck
Sections & Details

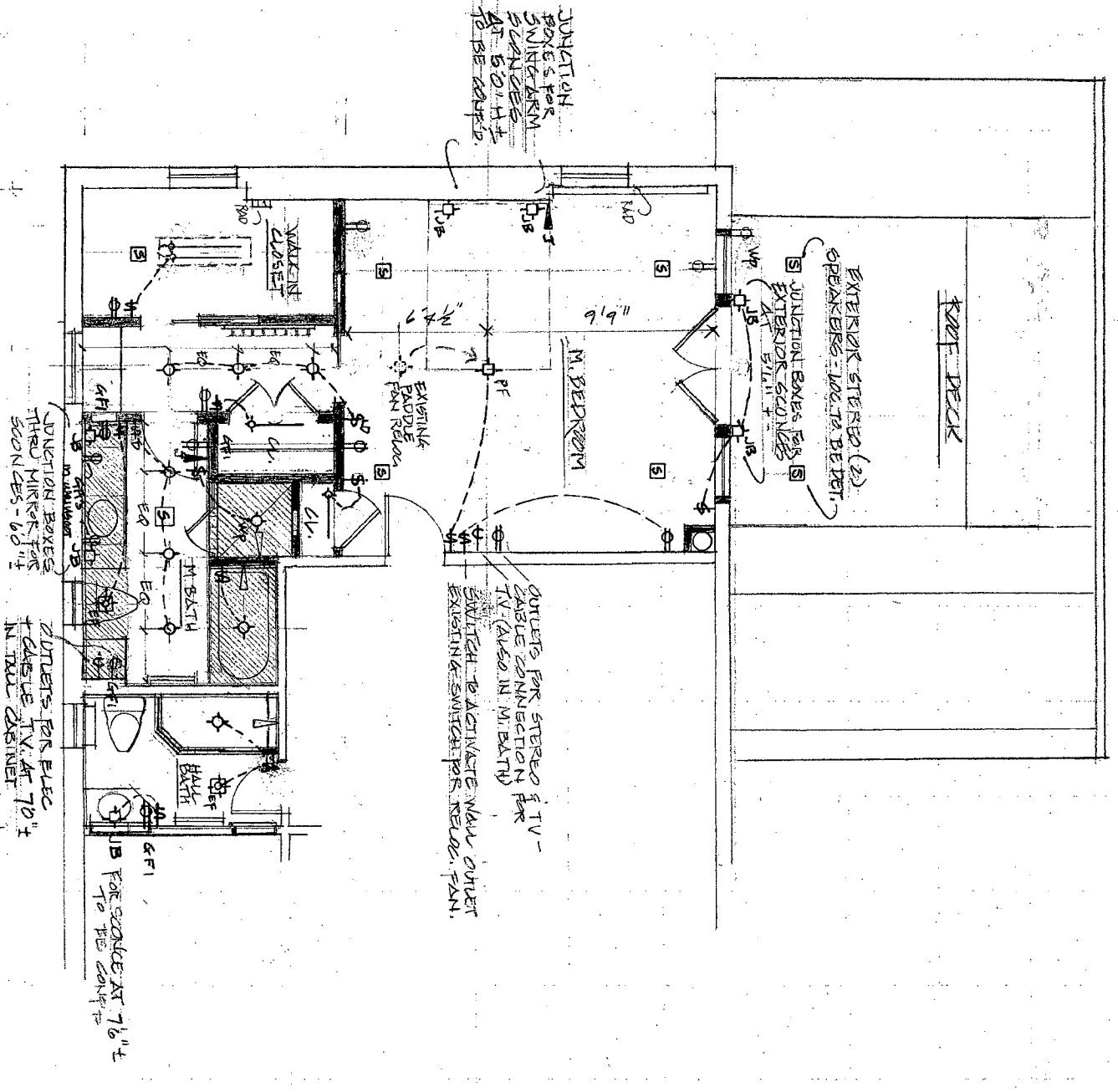
Scale: as noted
June 2004

A5

ELECTRICAL SCHEDULE	
SYMBOL NO.	DESCRIPTION/LOCATION
7	CONTACT 3/4" LOW VOLTAGE DOWN-LOTTING AT 3450V/IT 3000 LB FOR N. BATH & PRESSING AREA.
2	CONTACT 3/4" LOW VOLTAGE W/ST 11/16" LIGATION DOWN STAIRS FOR N. BATH & PRESSING AREA.
7	JUNCTION BOXES PER RECOMMENDATION FOR BEDROOM SUITE PER ELECTRICAL CODE. PROVIDE BEDROOM SUITING PER ELECTRICAL CODE. PROVIDE BEDROOM SUITING PER ELECTRICAL CODE. PROVIDE BEDROOM SUITING PER ELECTRICAL CODE.
1	HOBSON 1/2" PORESCENT FIXTURE FOR N. BEDROOMS 2L/2R.
1	SEARUN "GROUP" FIXTURE # 59148/191215 (51/8" x 15") WITH P3212 SP30 TUBE - FOR VALUE IN CLOSET.
2	NOTION "1/2" EXHAUST FAN FOR HEADWAY BATH & # 1500 "1/2" M. BATH - North Bath & # 1500 "1/2" M. BATH - North Bath & # 1500 "1/2" M. BATH - North Bath.
14	WHITE BRICKLE SWITCHES THROUGHOUT - PRE-SET TOGGLE DIMMER SWITCHES AS INDICATED PER RECESSED FIXTURES.
13	WHITE OUTLETS - INCLUDING GFIS IN BATHS & WATERHEATER ON ROOF DECK.
2	CABLE TV CONNECTION OUTLET IN BEDROOM ADD IN BATH.
2	PHONE JUMPS - USE COMPANION W/ OUTLETS.
1	SMOKE DETECTOR(S) - HARD WIRED AS PER CODE.
5	STEREO SPEAKERS - BT AMPS - SEE NOTES.
1	EXISTING PADDLE FAN RELOCATED - NEW LOCATION

ELECTRICAL NOTES:

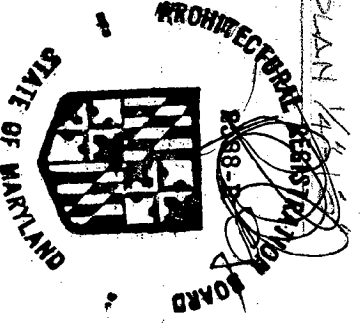
- ELECTRICAL WORK TO INCLUDE IN FLOOR HEATING SYSTEM UNDER WALTERS EXISTING IN LOCATION TO BE DETERMINED.
- EXISTING OUTLETS & LINES TO BE REMOVED & RELOCATED AS NOTIFIED BY VISIT CONTRACTOR.
- EXISTING SYSTEM TO INCLUDE: A ED RECEIVER AND SPEAKERS - STEREO TO BE LOCATED IN KITCHEN ALONG WITH TV - CONTRACTOR TO COORDINATE WORK WITH INSTALLER.



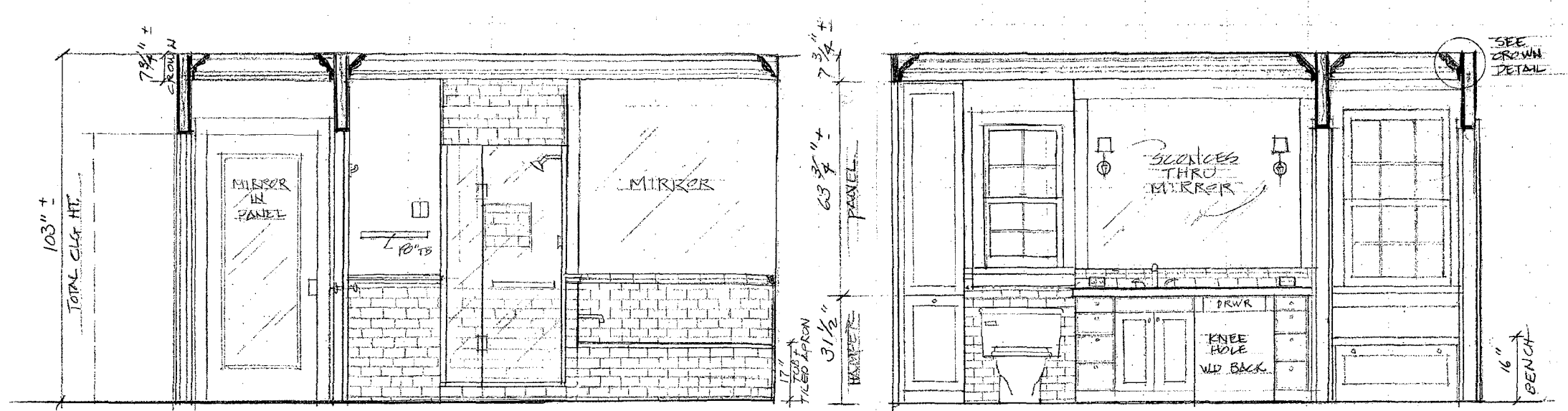
ELECTRICAL PLAN + REFLECTED CEILING PLAN

CEILING HEIGHTS:

- EXISTING 8'7"
- DROPPED 7'11"

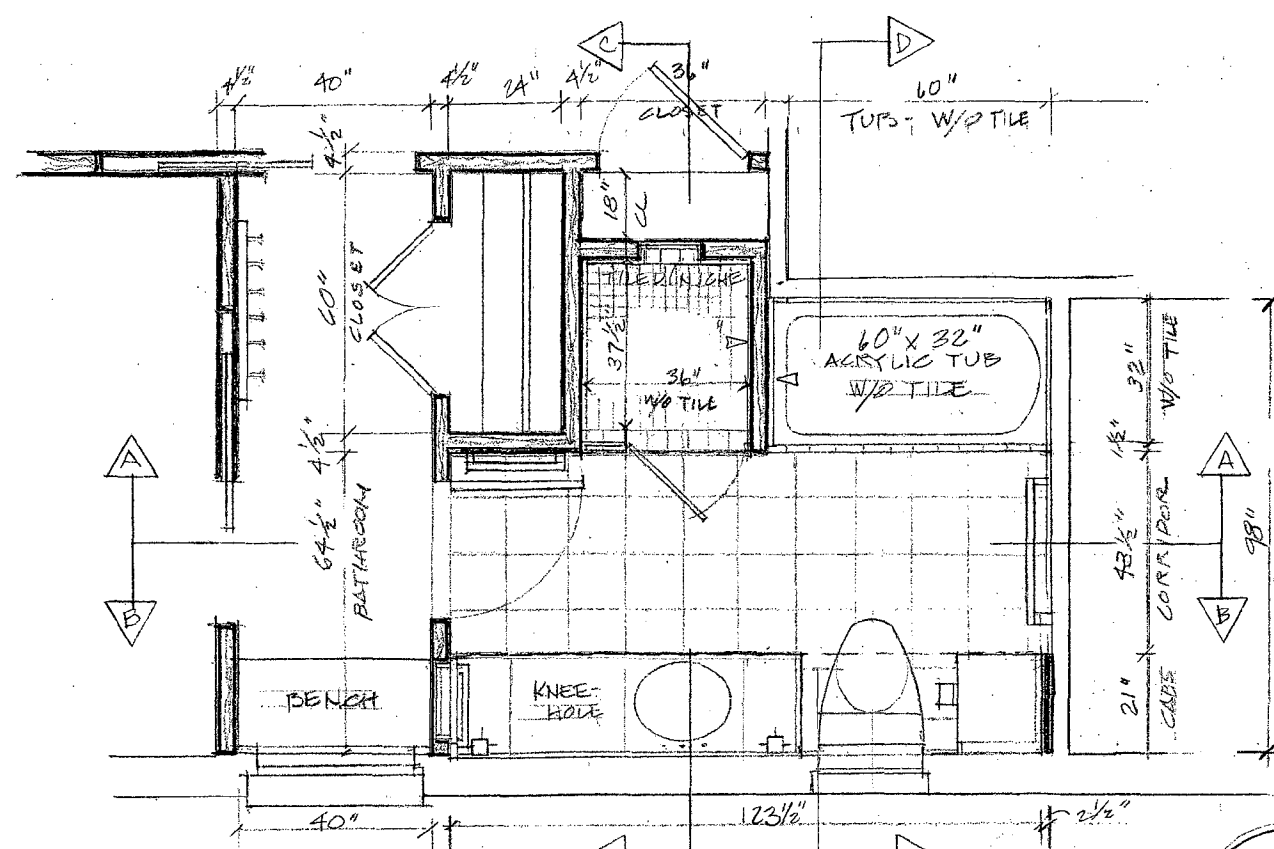


	Master Bedroom Suite & Baths Remodeling Electrical Plan, Schedule & Notes - Reflected Ceiling Plan	Cromelin Residence 5806 Cedar Parkway Chevy Chase, MD 20815	NANCY ELLIOTT & ASSOCIATES 37 West Irving Street Chevy Chase, Maryland 20815 301 656-5145
	Project Title Date: June 2004 Scale: 1/4" = 1'0"	Owner Address Date: June 2004	Scale: 1/4" = 1'0"



AA - SHOWER & TUB WALL

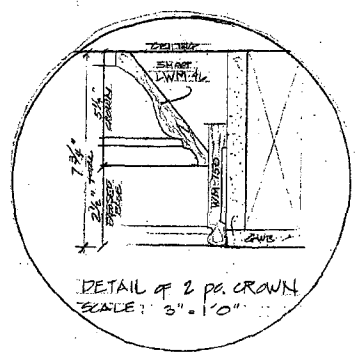
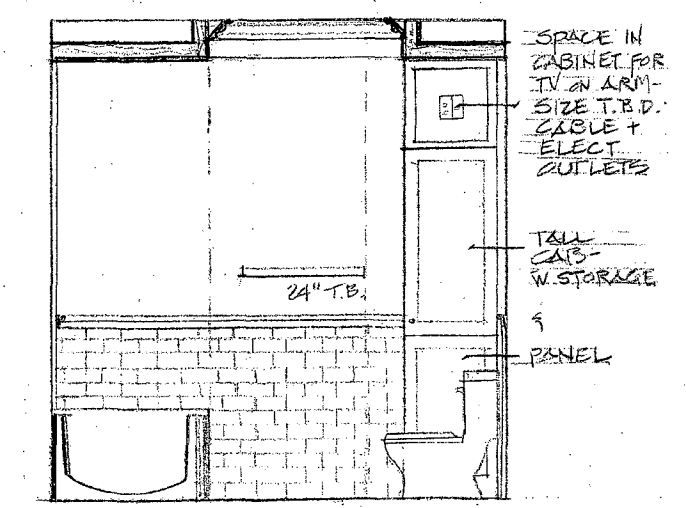
BB - TOILET, VANITY & BENCH WALL



PLAN 1/2" = 1'-0"
ALL DIMENSIONS TO BE CONFIRMED



CC - THROUGH VANITY & SHOWER



DETAIL OF 2 PC. CROWN
SCALE: 3" = 1'-0"

NANCY ELLIOTT & ASSOCIATES

37 West Irving Street
Chevy Chase
Maryland 20815
301 656-5145

Space Planning
Interior Design

Owner Address

Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

Project/Title

Master Bedroom Suite & Baths Remodeling
Master Bath Plan & Elevations - Crown Detail

Scale

1/2" = 1'-0"

Date

June 2004

NE

C1

37 West Irving Street
 Chevy Chase
 Maryland 20815
 301 656-5145
 Space Planning
 Interior Design

Owner Address

Cromelin Residence
 5806 Cedar Parkway
 Chevy Chase, MD 20815

Project/Title

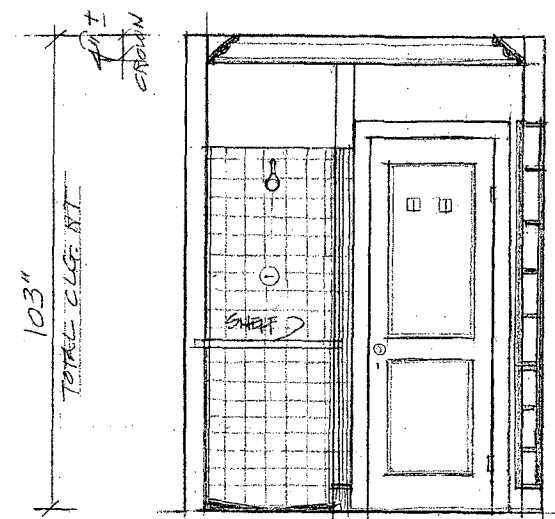
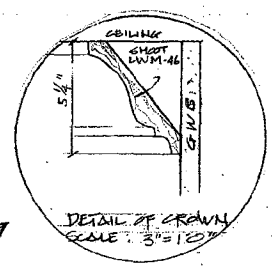
Master Bedroom Suite & Baths Remodeling
 Hallway Bath Plan & Elevations -
 Crown Detail

Scale
 1/2" = 1' 0"

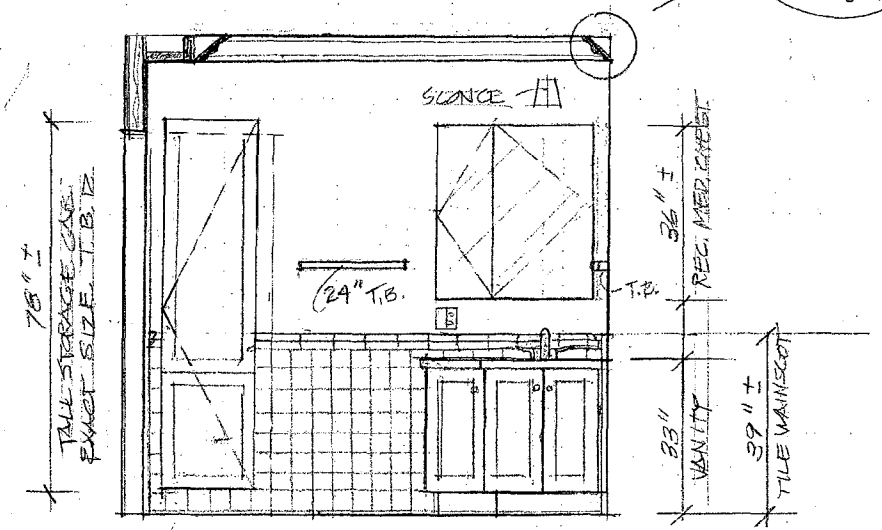
Date
 June 2004

ME

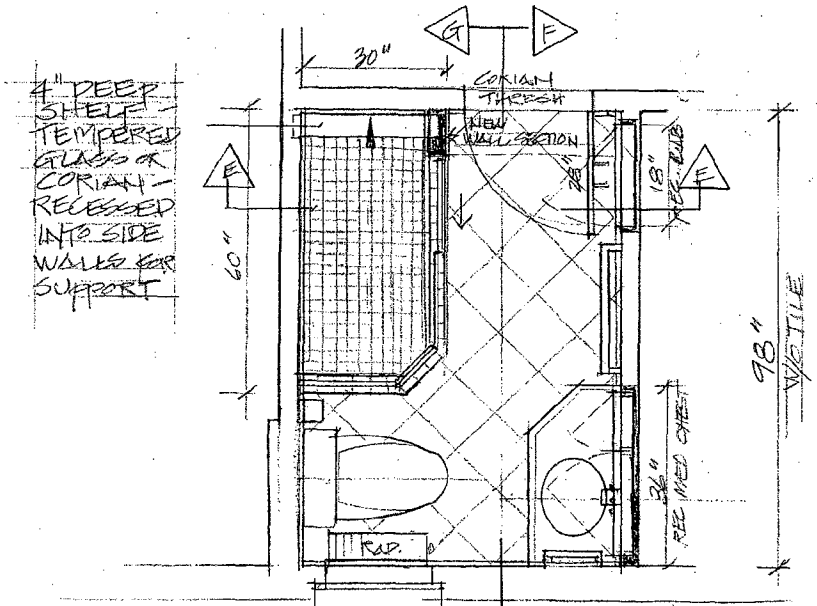
C2



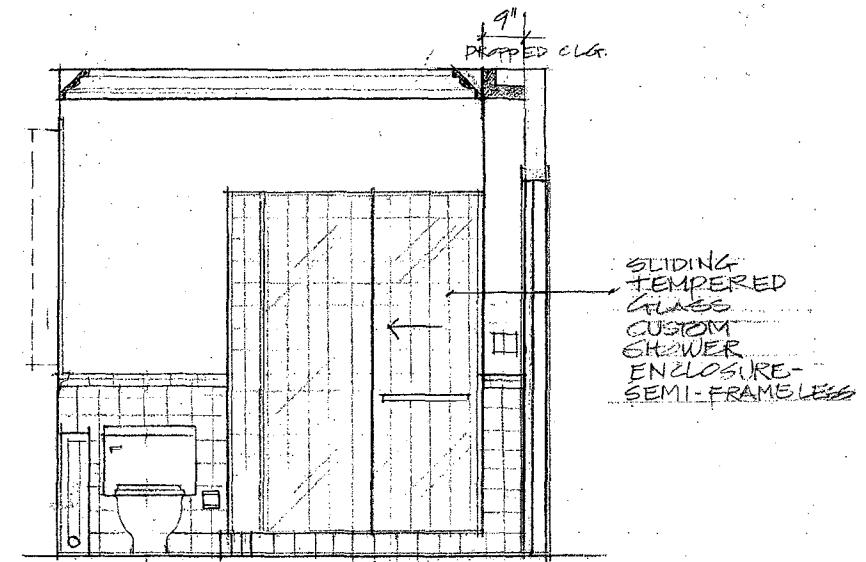
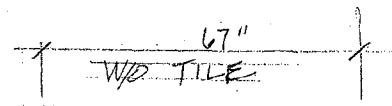
EE THROUGH SHOWER & TALL CAB. WALL



FF - TALL CAB. & VANITY WALL



PLAN 1/2" = 1' 0"



GG - TOILET & SHOWER WALL

ALL DIMENSIONS TO BE CONFIRMED

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	5806 Cedar Parkway	Meeting Date:	07/14/04
Applicant:	Paul and Margaret Cromelin (Nancy Elliott, Agent)	Report Date:	07/7/04
Resource:	Contributing Resource Chevy Chase Village Historic District	Public Notice:	06/30/04
Review:	HAWP	Tax Credit:	No
Case Number:	35/13-04R	Staff:	Tania Tully

PROPOSAL: Roof deck and French doors on existing rear addition.

RECOMMENDATION: Approval with Conditions

STAFF RECOMMENDATION:

Staff is recommending approval with the following conditions:

1. The new french door and windows are true-divided lights.
2. The new railing is wood.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: c.1916-1927

The existing house is a three-bay, side-gable frame dwelling with a full-width front porch and several non-historic rear additions. The slopes gently to the rear and backs up to the Chevy Chase Club Golf Course.

PROPOSAL:

The applicant is proposing to:

- Construct a 10'x12' roof deck on a 1-story rear addition. (circles 10-13).
- Replace one 6/6 double-hung window with an inswing French door flanked by two 9/9 double-hung windows. (circles 6 & 11).

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and

the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.
- Decks and balconies should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

In addition, the *Guidelines* also note the following basic policies that are relevant to this application:

- Preserving the integrity of contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed alterations are on the rear of the house and will not be visible from the public right-of-way. The roof deck will be over a non-historic addition and the railing will match an existing wood railing that is compatible with the house. The new door and windows will be wood, true divided light replacements. The applicant already intends to use a wood railing and true divided lights; staff's conditions are for clarification purposes.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(2):

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation #2 and #6.*

and with the two conditions that:

1. The new french door and windows are true-divided lights.
2. The new railing is wood.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 855 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240/777-6370

DPS - #8

RECEIVED

JUN 15 2004

Dept. of Permitting Services
 Division of
 Casework Management

HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR
 HISTORIC AREA WORK PERMIT

55. 579-62-5519 Paul
 229-82-2931 Marg
 Tax Account No.: _____
 Name of Property Owner: PAUL/MARGARET CROMELIN
 Address: 5806 CEDAR PARKWAY CHEY CHASE MD 20815
 Contractor: BETHESDA CONTRACTORS
 Agent for Owner: NANCY ELLIOTT & ASSOCIATES

Contact Person: NANCY ELLIOTT
 Daytime Phone No.: 301 656 5145

Phone No.: 301-654-0390

Phone No.: 301-656-9020

Daytime Phone No.: 301 656 5145

LOCATION OF BUILDING/PREMISE

House Number: 5806 Street: CEDAR PARKWAY
 Town/City: CHEY CHASE VILLAGE Street: HESKETH ST.
 Lot: 3 TT 4.5 Block: 62 Subdivision: SECTION 2
 Libr: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Reuse Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
 1B. Construction cost estimate: \$ 100,000
 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret M. Cromelin
 Signature of owner or authorized agent

JUNE 15 2004
 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature _____ Date: _____

Application/Permit No. 348121 Date Filed: 6-14-04 Date Issued: _____

4

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

AN EARLY 20TH CENTURY CENTER-HALL
FRAME COLONIAL-"FARMHOUSE" STYLE
WITH A FULL-WIDTH FRONT PORCH. THE
HOUSE BACKS ON CHEVY CHASE COUNTRY
CLUB, SURROUNDED BY LARGE TREES -
IT IS DESIGNATED AS "CONTRIBUTING"
HISTORICALLY.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONSTRUCTION TO INVOLVE A NEW REAR
ROOF DECK OVER A ONE-STORY FAMILY ROOM
ADDITION COMPLETED IN 1997 - THERE
WILL BE FRENCH DOORS LEADING FROM
THE MASTER BEDROOM - STYLES & MATERIALS
TO MATCH EXISTING. THIS WILL HAVE

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

MINI MAX EFFECT
ON THE HISTORICAL
RESOURCES.

- a. the scale, north arrow, and date;
b. dimensions of all existing and proposed structures; and
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

SEE A1.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

SEE ENCLOSED PLANS A1-A5.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

SEE SPECS. ON SHEET A1.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
b. Clearly label photographic prints of the resource as viewed from the public right-of-way end of the adjoining properties. All labels should be placed on the front of photographs.

SEE ENCLOSED

6. TREE SURVEY

If you are proposing construction adjacent to or within the structure of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

SEE ENCLOSED

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

9

SPECIFICATIONS

DESCRIPTION
Scope of work includes a remodeled master bedroom suite including a walk-in closet with doors from bedroom, enlarged bathroom, master bedroom shower and dressing area, and a remodeled hallway bathroom.

GENERAL

- All work to be performed in accordance with the codes and regulations of Montgomery County and Chevy Chase Village, and other applicable codes and Permits from Montgomery County and Chevy Chase Village, as well as the Historical Preservation Commission to be coordinated by Nancy Elliott & Associates and billed separately.
- During the time of the contract the Contractor is responsible for the protection of the job site consistent with good operating practices. Contractor is responsible for take care not to prevent occupied portions of premises.
- All work to be performed in accordance with the specifications associated with the job, and for maintaining the site in a clean and orderly condition. Contractor to comply with local requirements as to trash removal - if dumpster type trash container is used a permit must be obtained from Chevy Chase Village.
- Contractor is responsible for communicating any hidden conditions, any conditions not shown, or any conditions in conflict with work described in Contract to submit to the Architect. If necessary, the Contractor shall include a schedule of payment, a breakdown of costs, and planned starting and finishing dates.
- Comparable quality and type materials may be substituted with permission of Owner and/or Designer.
- Contractor to establish method of access to the site as well as bathroom and kitchen; for changes in the work shall be in writing with a explanation of the change and the effect of the change on the contract sum. The Owner will approve all changes in writing by signing a copy of requested change and giving it to the Contractor.

DEMOLITION/REPAIR WORK

- Demolition shall include removal of the existing west wall of the master bedroom (above A2) and removal of existing bathroom cabinet, vanity and fixtures - remove items noted.
- Contractor is responsible for the repair of all damage to property caused by construction.

CARPENTRY

- Consult construction drawings and notes - see sheets A2-A3
- Contractor to verify Owner of any existing structural members encountered which are deteriorated or damaged to a degree that they may no longer fulfill their purpose.
- Conform with the minimum requirements of International Residential Code as to members, blocking, methods of fastening, etc.
- New soffits and dropped ceilings constructed of 2" x 4's and gypsum wallboard - see reflected ceiling plan - see sheet E.

EXTERIOR

- Red Deck constructed of 3/4" tongue and groove plywood (with Decks-over-Deck) 300 Permeable roof deck strapping - see sheet A3-A5
- Deckboards shall be made of naturally weathered board (oak grade) - to match existing
- Wood trim materials shall be No. 1 common white pine suitable for painting
- Deck Rail to match existing deck below including the double X centered rail detail

INTERIOR

- Contractor to include hand-painted window casings and door casings. All trim to match existing (unless noted) for window-casings and door-casings to be painted for painting unless otherwise noted. Finger-jointed pine is acceptable.
- Crown molding - two pieces for master bath and bedroom and one piece for hallway bath - as described on sheets C1 & C2.
- MDF adjustable shelving for master bedroom closet.

THERMAL & MOISTURE PROTECTION

- Contractor to determine if existing roofing needs to be repaired or replaced, and if so, price in contract.
- Use copper flashing, base and cap type as required to integrate new roof deck and wall construction with existing construction, and so as to make all
- Conditions for use and repair, weather tight.
- Condition for use and repair, weather tight with a 10 year warranty suitable for painting.
- Squeegee on deck connected to flexible PVC slope drop through roof so that it drains into existing gutter.

DOORS & WINDOWS

- 5'0" x 7'2" with traditional style. 1. Inset, inset front, and multi-point lock set. Door to be finished by WeatherShield 99 double-hung windows, size 111 - 28372, insulated glass, standard jamb, white primed wood, sash lock and insect screen - to match existing. Door and windows priced and specified through CH2 System as Quality Windows & Door, Inc. - 301 231-9590.
- **WINDUW SPECIAL** - contractor to provide window trim on existing window to be installed by packer door assembly (as comparable) for pocket doors, pulls to be installed by packer door assembly (as comparable) for pocket doors, pulls
- (A) Bedroom bi-part door - 22' x 6-8"
- (B) Dressing area pocket door - 24' x 6-8"
- (C) Double hung door - two 14' x 6-8"
- (D) Double hung door - two 14' x 6-8"
- (E) Master bath tripart door - 22' x 6-8"
- (F) Hallway tripart door - swing, damaged, repair as required.

Window Specs

FINISHES

- Organic Wallboard: Interior surfaces finished with 1/2" gypsum board, taped and speckled as necessary to make ready for painting - work in accordance with U.S. Gypsum Construction Handbook.
- Ceiling: Finish existing plaster and drywall work as required to make ready for finish. Ceiling finishing: Wood trim, one coat primer and two coats best quality paint to match existing finishes. All exterior painting to match existing.
- Interior Painting: All trim semi-gloss alkyd enamel. Walls and ceiling shall be finished with one coat of primer and two coats of best quality latex flat or low sheen paint on wall, flat on ceiling. Color as selected by owner.
- Cabinet: Contractor to make advance for purchase of oil or herb kitchen cabinets. Installation included in contract.

FLOORING

- Existing carpet flooring to remain throughout bedroom closets and dressing areas - contractor to protect floor throughout construction.
- Walk-in closet in bedroom, dressing room and closets - by separate contract.
- In-floor heating system in master bathroom floor - see sheet E.

CABINETS & COUNTERTOPS

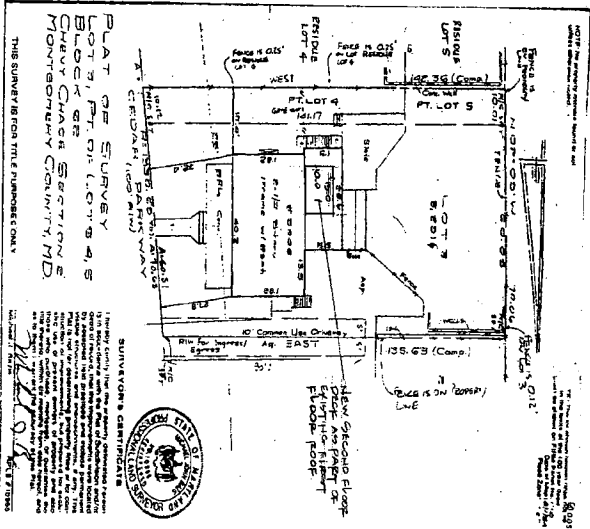
- Cabinet to be purchased and installed by separate contract. Contractor to coordinate with cabinet installer. Cabinet contents to include:
- Two recessed medicine chests.
- Tall halogen/compact/TV cabinet for master bath.
- Tall halogen recessed cabinet for hallway bath.
- Dressing area bench.
- Stone countertop selected by Owner; Contractor to purchase and install - make allowance for stone.
- Wall in closet finishings provided by owner and installed by separate contract.

HARDWARE & SPECIALTIES

- Inset Owner provided toilet paper holders, towel bars, paper holders and door knobs.
- Inset Owner provided pocket door recessed pull.
- Inset Owner provided light fixture - see sheet E.
- Inset Owner provide shower door for master bath and semi-framed shower enclosure for hall bath.
- Provide and install mirrors in master bedroom - wall in wall in this area and framed in wood trim over vanity. Mirror selected to back panel of pocket door to dressing area.
- Custom or tempered glass shelf for hallway bath shower or tub between walls center shower control.
- Contractor to specify through WeatherShield.
- Interior door hardware for swing doors to match existing as closely as possible. Johnson pocket door assembly (or comparable) for 2 pocket doors - see sheet E.
- Walk in closet finishings - provided by owner and installed by separate contract.

PLUMBING, FIXTURES & FIXTURES

- Existing ceiling fixtures to be removed. Cap off unused utilities as per Code.
- The plumber to be contacted by separate contract and specified by Ferguson Enterprises Inc. - contact Ferguson (202) 664-0330
- One Kohler Homplex bathtub, LHFLG 60 x 32 in white
- Two Kohler Memoirs one piece toilet K3451 in white
- Two Kohler Memoirs one piece bidet K3451 in white
- Two side 818 series sink fixtures in polished chrome with 8" spread.
- One Kohler 818 series shower controls in polished chrome
- One Kohler 818 series shower controls in polished chrome
- Two new Radiant radiant heat - see HVAC.



HVAC/DUCTWORK

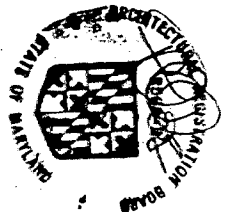
- Extend existing cooling ductwork to new locations as required.
- Provide and install ductwork and caps for bathroom exhaust fans.
- In floor electric heating system to replace radiator in master bath - see sheet E.
- Radiator wall vertical radiator (3 tubes wide RHX21) - 8'6" x 31" - 1100 BTUs - see sheet E.
- Radiator wall horizontal radiator (7 tubes high VLVX6949) - 6'5" x 20'2" - 10,900 BTUs - in white - specified and priced through The Sunbeamville Co. (301) 864-5950 to replace radiator in master bedroom.

ELECTRICAL

- Contractor to provide and schedule on sheet E.
- Contractor to prepare existing heating electrical service and advise Owner of the adequacy of this service and whether a "new" service is required prior to submitting bid.
- **PROVIDED BY OWNER** - to be installed by contractor unless otherwise noted
- CableTV (installation by separate contract)
- Dressing area paper holders and hook
- Pocket door recessed pull.
- Stereo system including ceiling and deck speakers (installation by separate contract)
- Walk in closet (finishes) (installation by separate contract)
- Walk in closet (finishes) (installation by separate contract)

ALLOWANCES

- The material for bathroom floor, shower walls, and vanity.
- Shower door in master bath and shower enclosure in hallway bath.
- Stone countertops.
- In floor heating system.



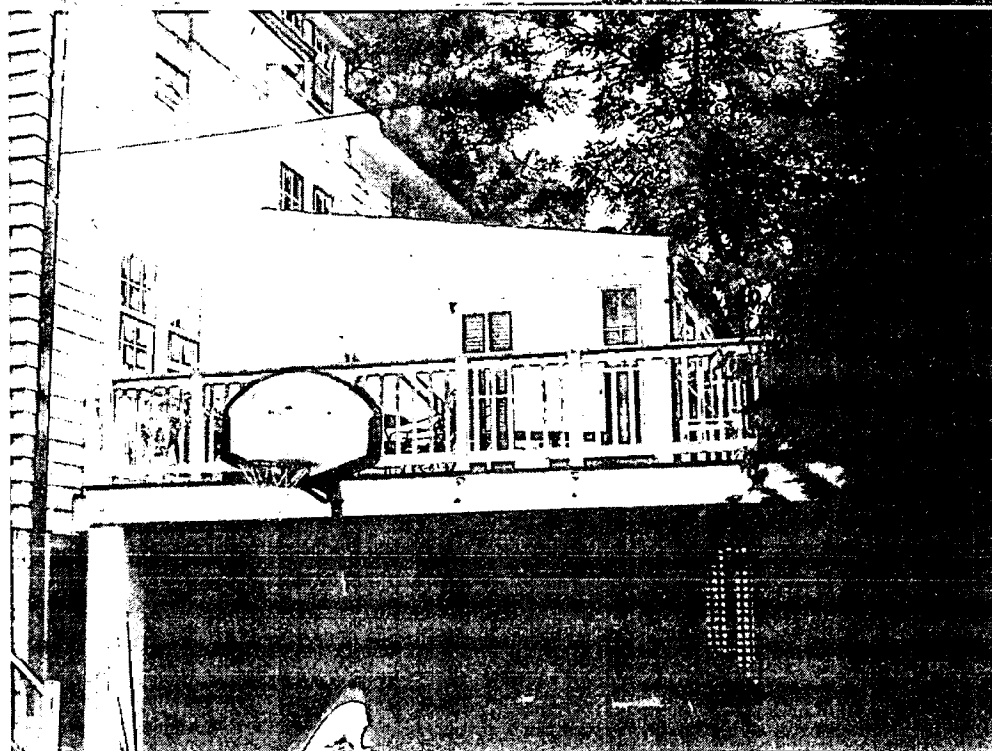
Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

NANCY ELLIOTT & ASSOCIATES
11 West House Street
Chevy Chase
Maryland 20815
301 655-5145

Scale: as noted
Date: June 20, 2001
AI

CROMELIN RESIDENCE / 5806 CEDAR PARKWAY
CHEVY CHASE, MD 20815

FRONT ELEVATION - EAST



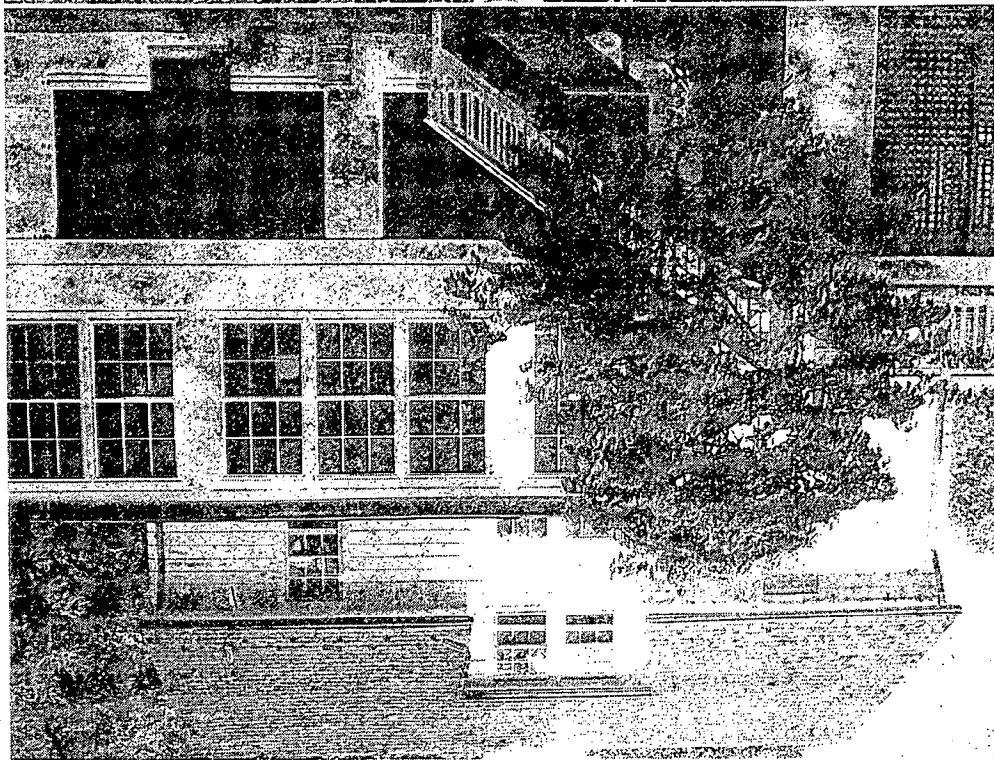
SIDE ELEVATION - NORTH

7

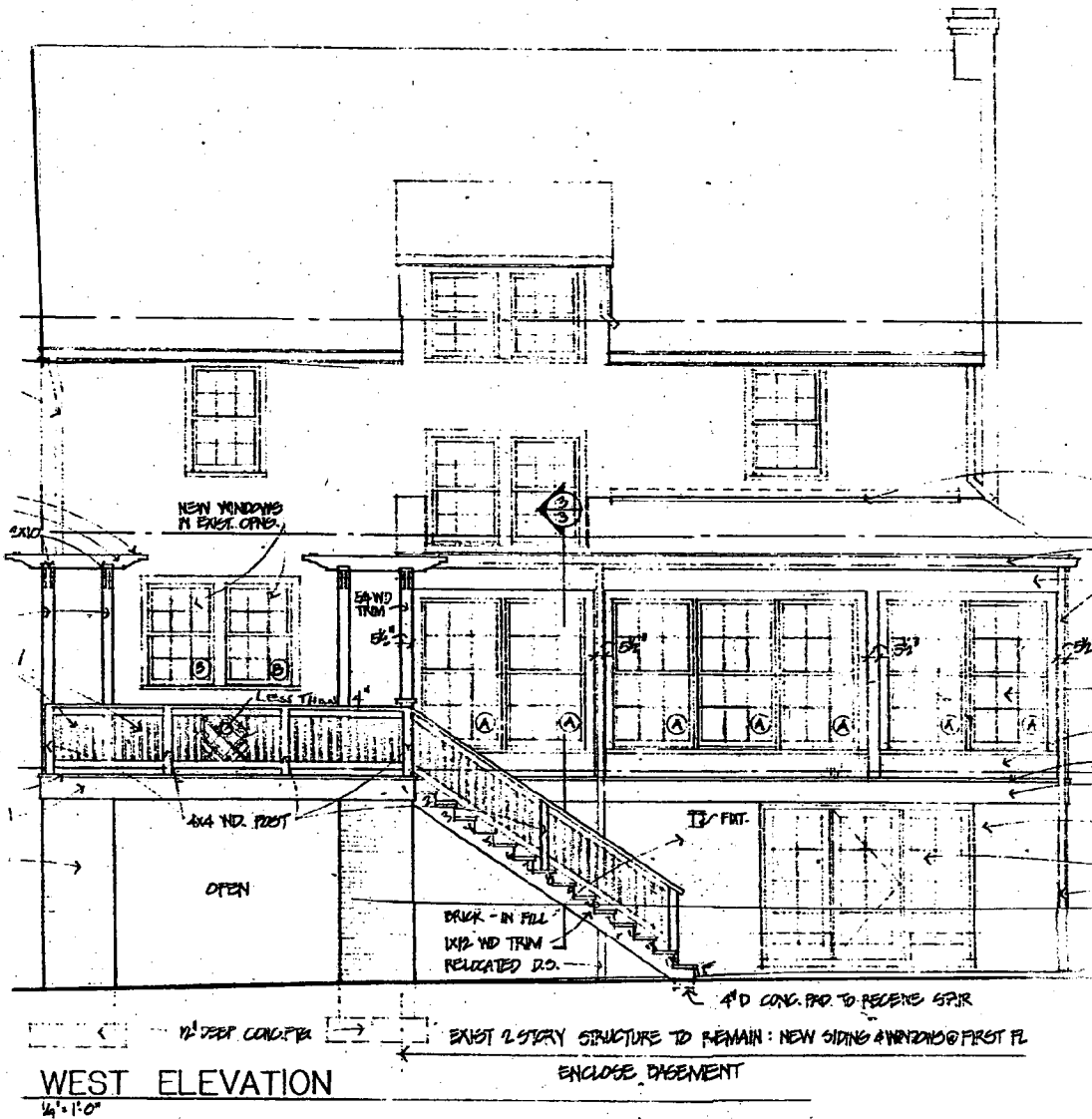
page 1

8

SIDE ELEVATION - SOUTH



REAR ELEVATION - WEST



EXISTING REAR ELEVATION
 1997 FAMILY ROOM ADDITION (ONE-STORY)
 AND DECK.

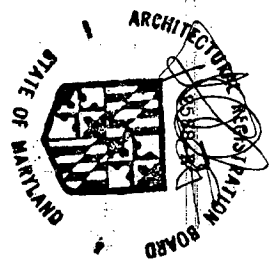
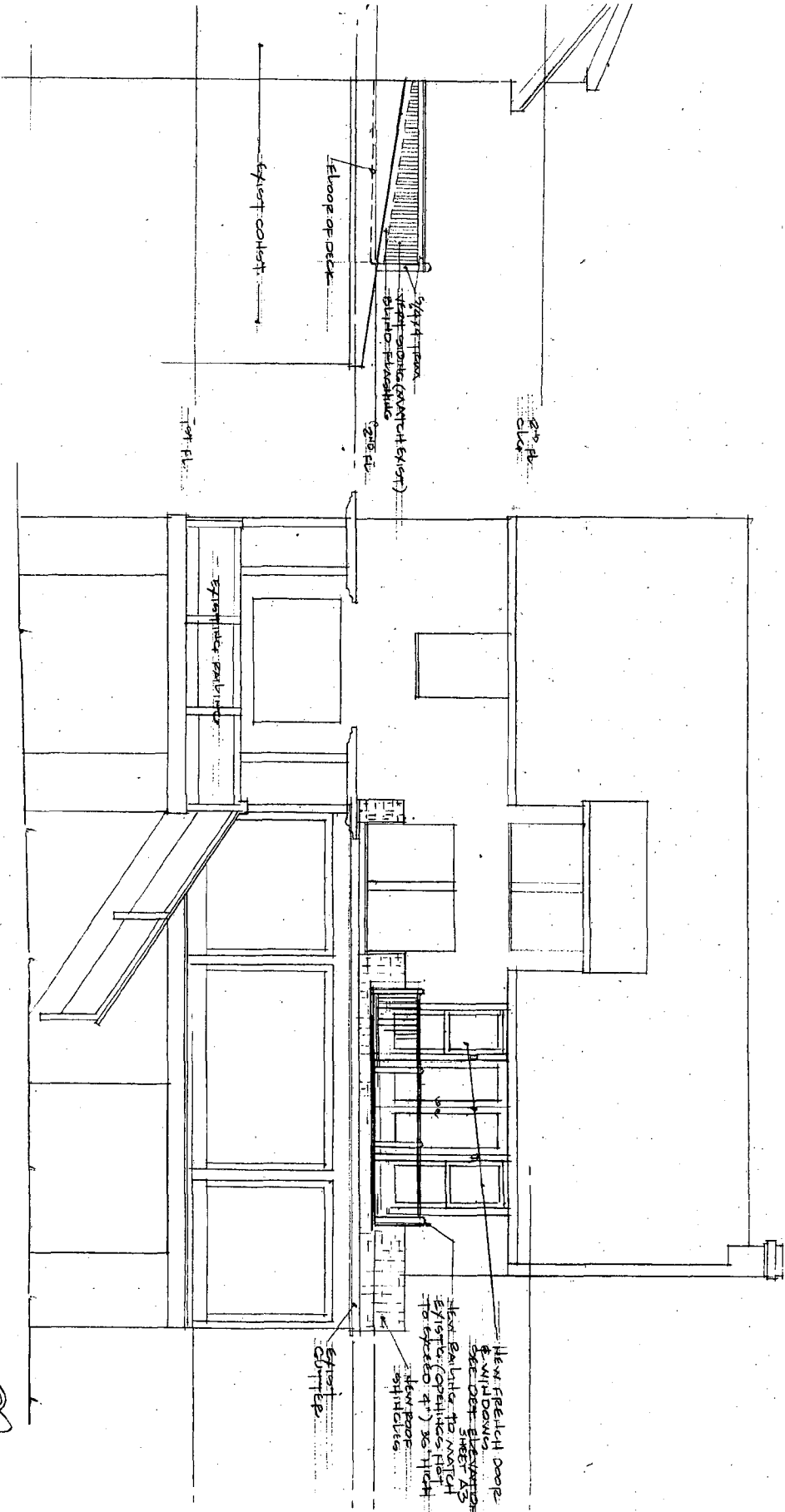
10

PARTIAL SIDE ELEVATION

1/4" = 1'-0"

REAR ELEVATION

1/4" = 1'-0"



A4

Scale: as noted
June 2004

Master Bedroom Suite
Roof Deck

Exterior Elevations

Cromeljn Residence

5806 Cedar Parkway
Chevy Chase, MD 20815

CONSTRUCTION NOTES

Comply with International Residential Code, latest edition

Design Live Loads
Deck: 40 lbs/sq ft
Roof: 30 lbs/sq ft

Lumber
As indicated on drawings, otherwise:
Joists and rafters: #2 Hem Fir
Fb = 650 psi minimum
E = 1,300,000 psi minimum
Beams and Girders: #2 Hem Fir
Fb = 1500 psi minimum
E = 1,300,000 psi minimum
Studs, etc.: #2 SPF

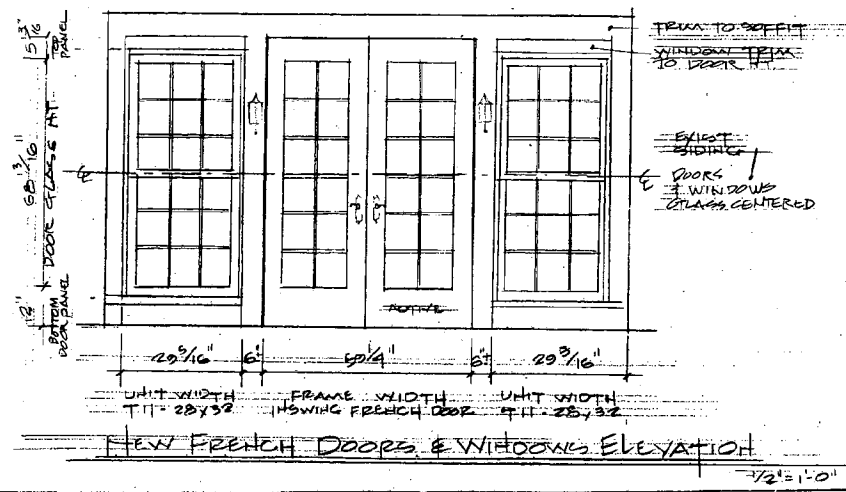
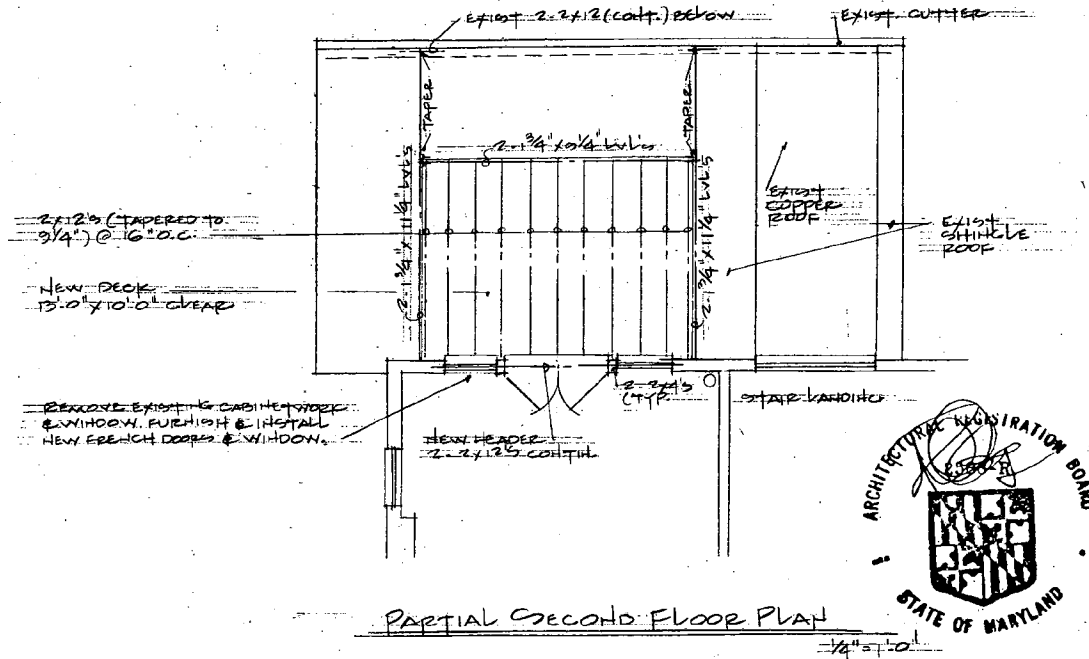
Laminated Veneer Lumber (LVL)
As manufactured by Georgia Pacific Corp., or approved equal
E = 1,900,000 psi minimum
Fb = 2,600 psi minimum

Where two members are used together, fasten from both sides in three horizontal rows with 16d nails at 12 inches on center, 2 inches from edges.

Wood Preservative Treatment (WPT)
For all lumber exposed to weather and in contact with masonry, concrete or the earth, or as otherwise indicated, as per AWWA Standard C-270 for above ground use, "Wolmanized" or approved equal

Fasteners
For all exterior work and work in unconditioned spaces, hot-dipped galvanized or non-ferrous materials

Connectors
For fastening new work to existing construction, and where otherwise good building practice would dictate, utilize appropriate galvanized steel connectors equal to Simpson Strong-Tie



Cromelin Residence

5806 Cedar Parkway
Chevy Chase, MD 20815

Master Bedroom Suite
Roof Deck

Framing Plan, Construction
Notes, Door Unit Elevation

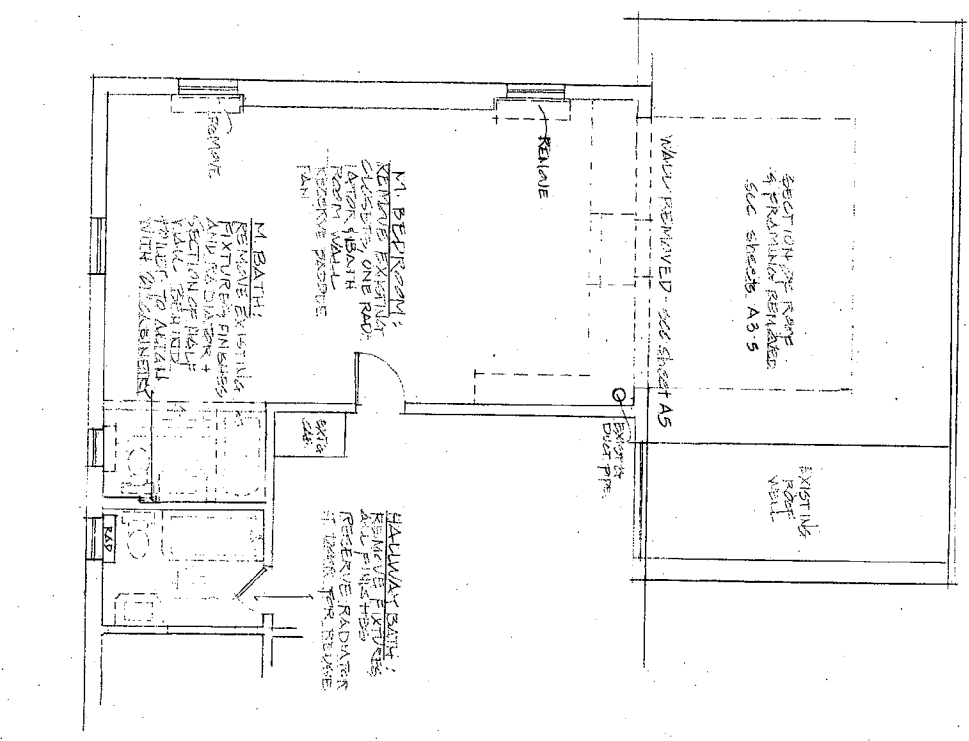
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June 2004

A3

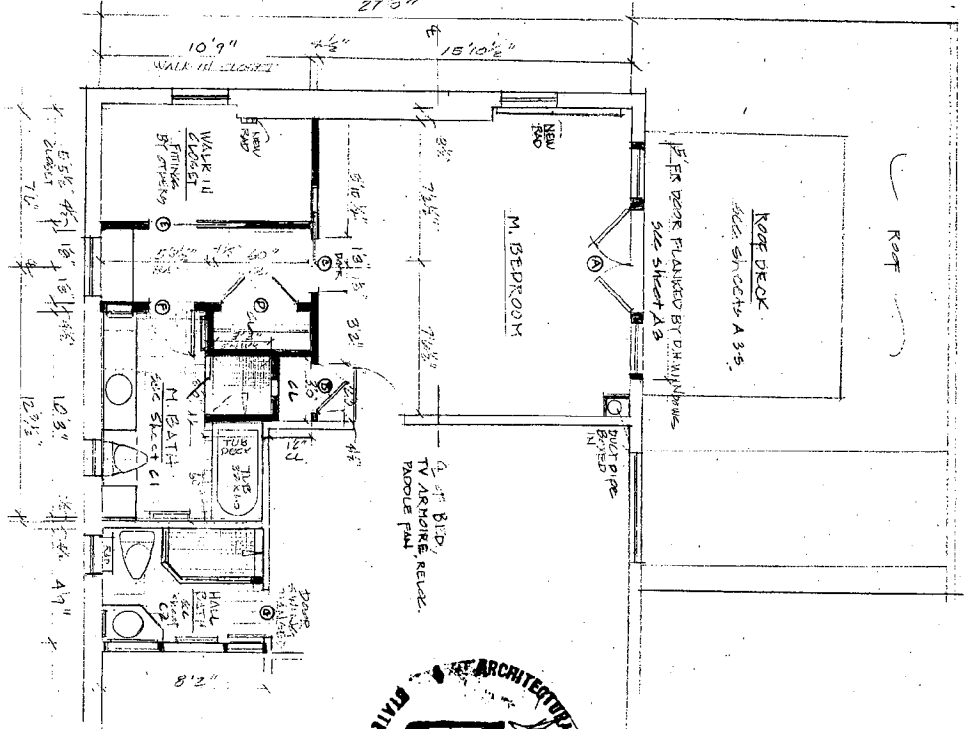
12

EXISTING/DEMOLITION PLAN



ALTERATIONS PLAN

1/4" = 1'-0" ALL DIMENSIONS TO BE CONFD



LEGEND	
---	EXISTING
- - - -	REMOVED
—	NEW



Master Bedroom Suite & Baths Remodeling
Existing/Demolition Plan
Alterations Plan

Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

Project Title
Owner Address
Spec Planning
Interior Design
301.656.5145
73 West Jones Street
Baltimore, MD 21201

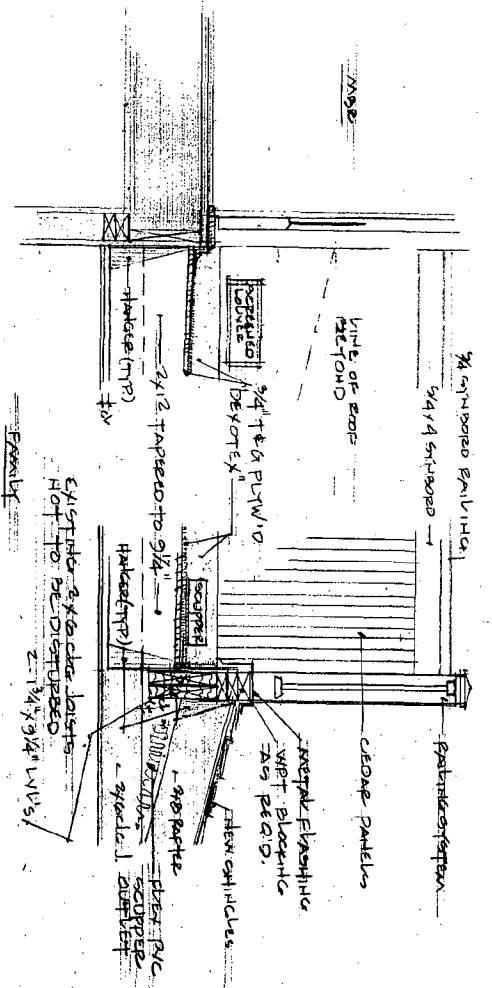
NANCY ELLIOTT & ASSOCIATES

A2

June 2004
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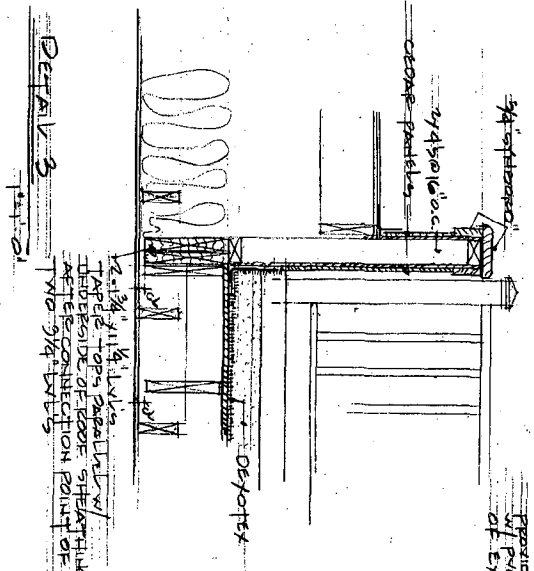
Scale
1/4" = 1'-0"
Date

13



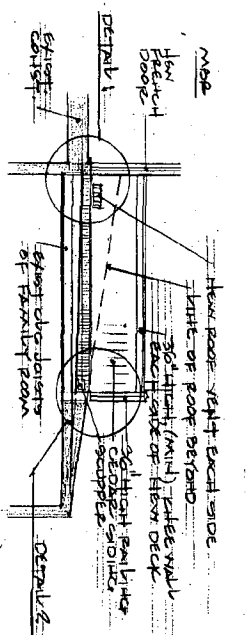
DETAIL 1
1/4" = 1'-0"

DETAIL 2
1/4" = 1'-0"

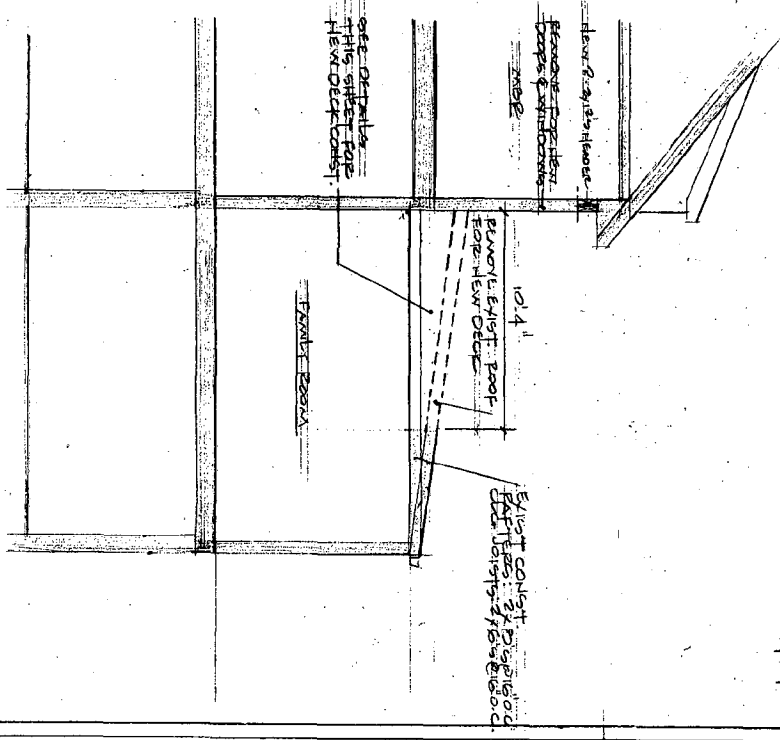


DETAIL 3
1/4" = 1'-0"

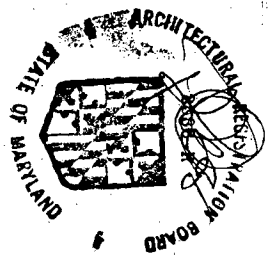
Notes: Decking shall be a continuous composite over Plywood Shear and Joist Flashings



PARTIAL SECTION THROUGH DECK
1/4" = 1'-0"



PARTIAL SECTION THROUGH HOUSE
1/4" = 1'-0"



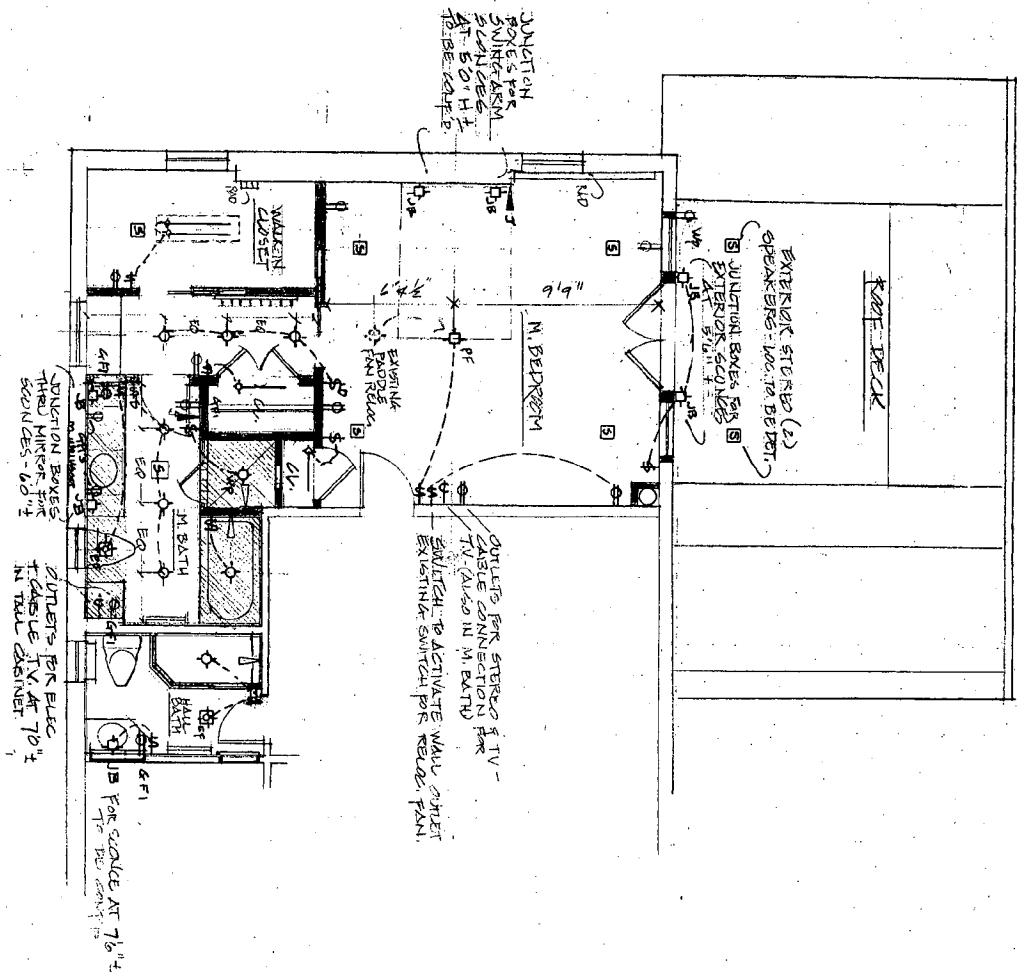
AS	Master Bedroom Suite Roof Deck	Cromelin Residence
	Sections & Details	5806 Cedar Parkway Chevy Chase, MD 20815

Scale: as noted
June 2004

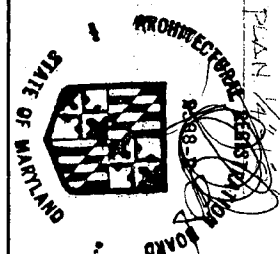
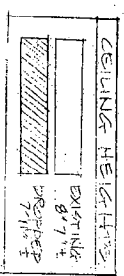
71

ELECTRICAL SCHEDULE	
SYMBOL	DESCRIPTION/NOTATION
1	CONTRACTOR TO LOCATE MAIN SERVICE PANEL IN GARAGE & RELOCATE TO PER N.E.C. CODE.
2	CONTRACTOR TO LOCATE MAIN SERVICE PANEL IN GARAGE & RELOCATE TO PER N.E.C. CODE.
3	CONTRACTOR TO LOCATE MAIN SERVICE PANEL IN GARAGE & RELOCATE TO PER N.E.C. CODE.
4	CONTRACTOR TO LOCATE MAIN SERVICE PANEL IN GARAGE & RELOCATE TO PER N.E.C. CODE.
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18	CONTRACTOR TO LOCATE MAIN SERVICE PANEL IN GARAGE & RELOCATE TO PER N.E.C. CODE.
19	CONTRACTOR TO LOCATE MAIN SERVICE PANEL IN GARAGE & RELOCATE TO PER N.E.C. CODE.
20	CONTRACTOR TO LOCATE MAIN SERVICE PANEL IN GARAGE & RELOCATE TO PER N.E.C. CODE.

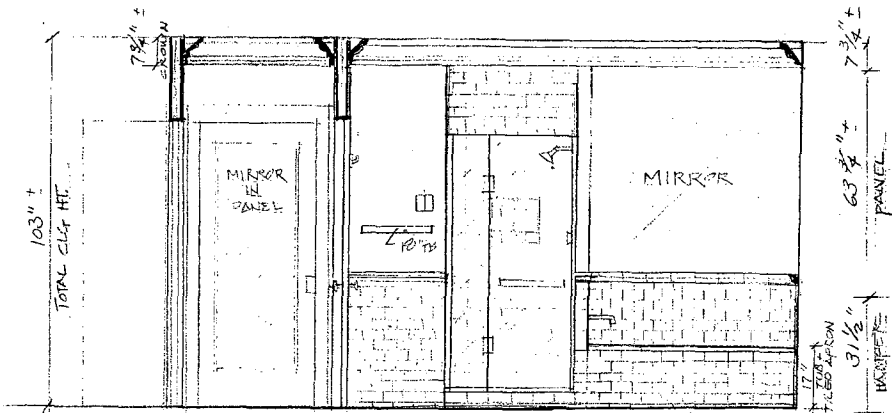
ELECTRICAL NOTES:	
1	ELECTRICAL WORK TO INCLUDE IN THIS PLAN IS TO BE COMPLETED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
2	EXISTING SWITCHES, OUTLETS & LINES MAY BE REUSED - ELECTRICAL TO VISIT SITE TO DETERMINE.
3	OWNERS TO BE NOTIFIED IF HEAD UP CONDUITS TO BE INSTALLED IN ANY ROOMS.
4	OWNER TO CONTACT CONTRACTOR FOR RELOCATED AND REUSED WORK TO BE LOCATED IN GARAGE AREA WITH THE CONTRACTOR'S ASSISTANCE.



ELECTRICAL PLAN + REFLECTED CEILING PLAN



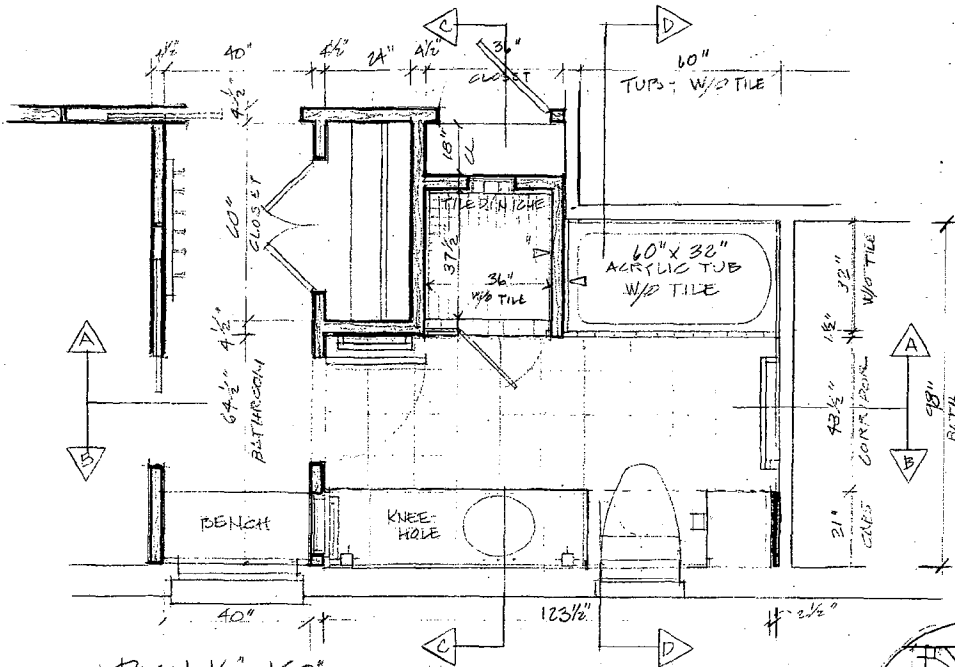
E	Project/Title	Owner/Address	NANCY ELLIOTT & ASSOCIATES 17 West Prince Street Chevy Chase, Maryland 20815 301.656.5145 Space Planning Interior Design
	Date	Scale	
June 2004	1/4" = 1' 0"	Master Bedroom Suite & Baths Remodeling Electrical Plan, Schedule & Notes - Reflected Ceiling Plan	Cromelin Residence 5806 Cedar Parkway Chevy Chase, MD 20815



AA- SHOWER & TUB WALL



BB- TOILET, VANITY & BENCH WALL

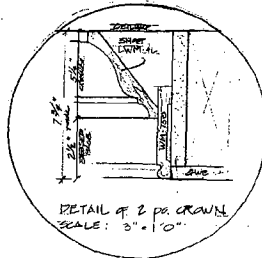
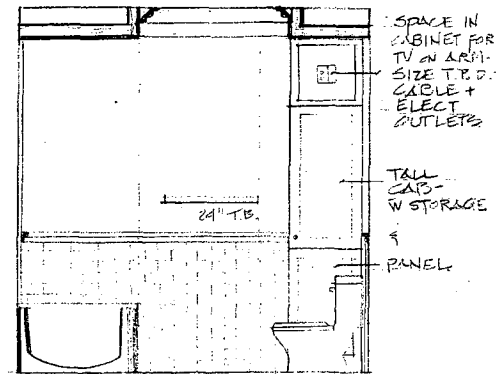


PLAN 1/2" = 1'0"

ALL DIMENSIONS TO BE CONFIRMED



CC- THROUGH VANITY & SHOWER



NANCY ELLIOTT & ASSOCIATES

37 West Irving Street
Chevy Chase
Maryland 20815
301 656-5145

Space Planning
Interior Design

Owner Address

Cromelin Residence

5806 Cedar Parkway
Chevy Chase, MD 20815

Project/Title

Master Bedroom Suite &
Baths Remodeling

Master Bath Plan &
Elevations -
Crown Detail

Scale

1/2" = 1'0"

Date

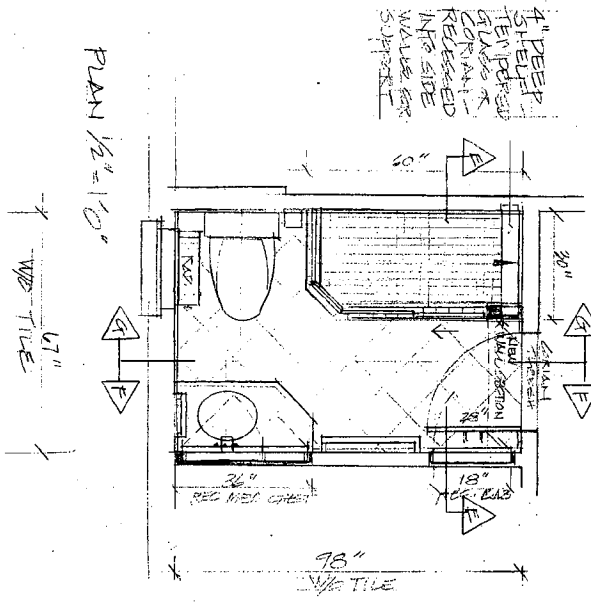
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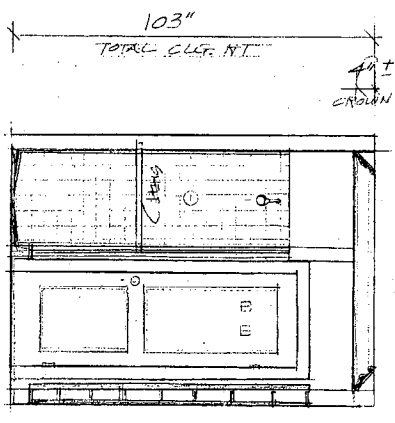
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15

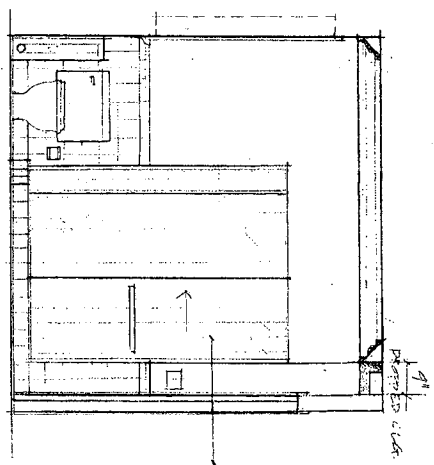
16



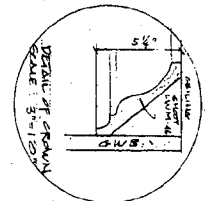
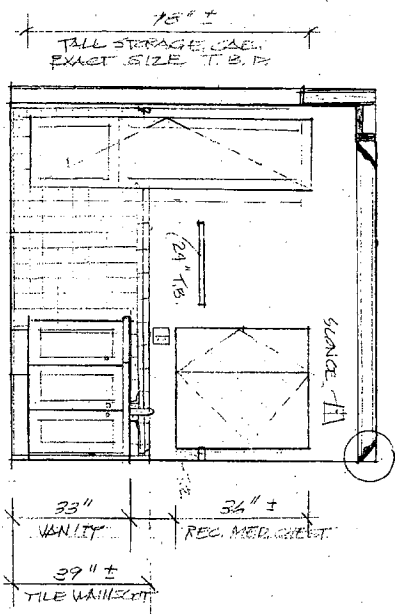
EE THROUGH SHOWER & TALL CAB. WALL



GG- TOILET & SHOWER WALL
ALL DIMENSIONS TO BE CONFIRMED

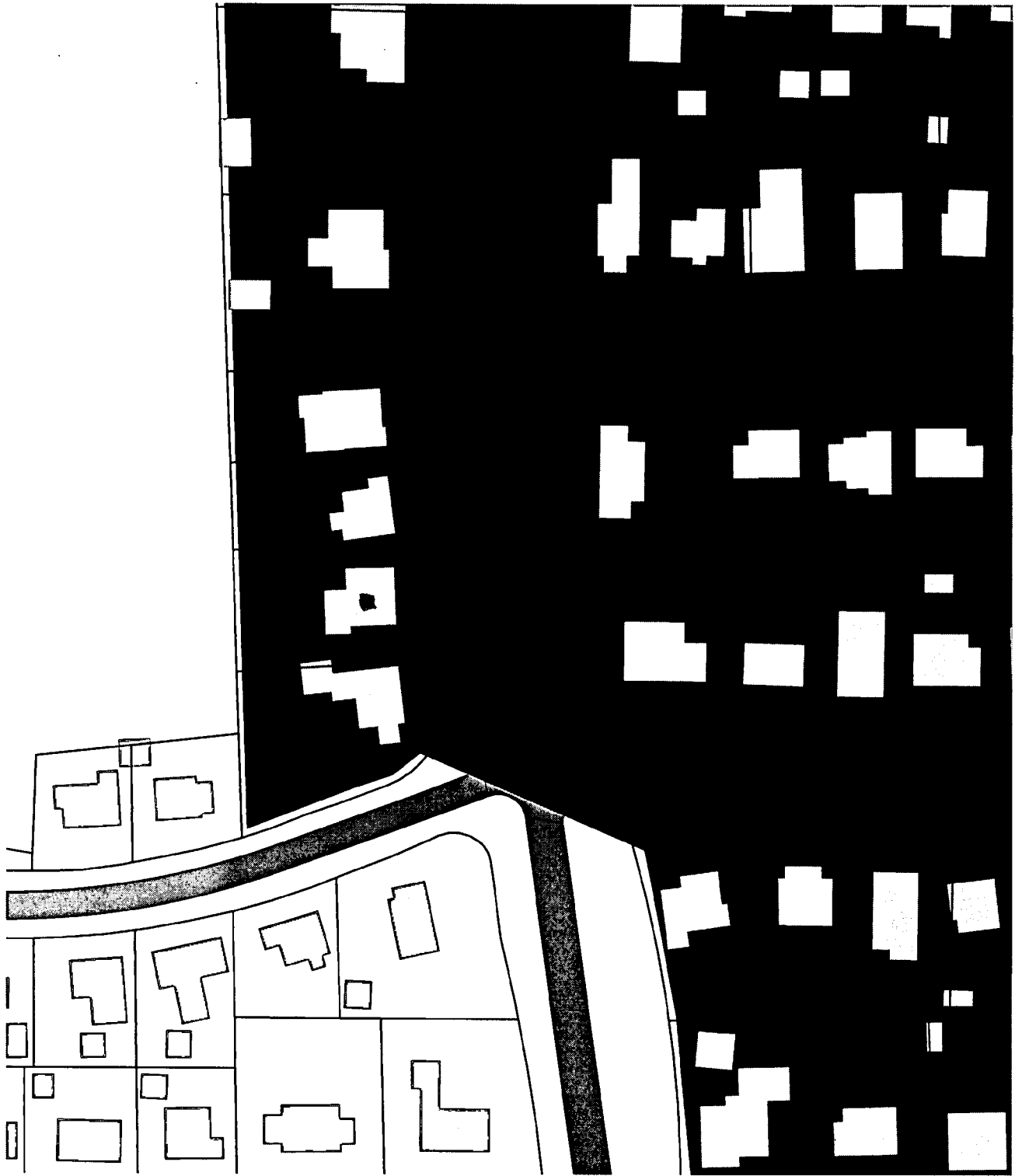


FF- TALL CAB. & VANITY WALL



C2	Date June 2004	Scale 1/2" = 1'0"	Project Title Master Bedroom Suite & Baths Remodeling Hallway Bath Plan & Elevations - Crown Detail	Owner Address Cromelin Residence 5806 Cedar Parkway Chevy Chase, MD 20815	Spec Planning Interior Design 17 West Irvine Street Chevy Chase Maryland 20815 301.656.5145	NANCY ELLIOTT & ASSOCIATES
	7/16					

5806 CEDAR PARKWAY



Notice:
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Casual User Application



M-NCPPC

MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue - Silver Spring, Maryland 20910-3760

17

CROMELIN PROJECT — NEIGHBORS
5806 CEDAR PARKWAY
CHEVY CHASE, MD 20815
301-654-0390

SOUTH

CHRISTOPHER & VICTORIA KNOPES
5804 CEDAR PARKWAY 301-718-8429

North

MARK & BEV. NADEL
5808 CEDAR PARKWAY 301-986-8670

ACROSS

C.J. BULLARD
29 HESKETH STREET 301-656-8411

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 5806 Cedar Parkway **Meeting Date:** 07/14/04
Applicant: Paul and Margaret Cromelin **Report Date:** 07/7/04
 (Nancy Elliott, Agent) **Public Notice:** 06/30/04
Resource: Contributing Resource
 Chevy Chase Village Historic District
Review: HAWP **Tax Credit:** No
Case Number: 35/13-04R **Staff:** Tania Tully
PROPOSAL: Roof deck and French doors on existing rear addition.
RECOMMENDATION: Approval with Conditions ✓

STAFF RECOMMENDATION:

Staff is recommending approval with the following conditions:

1. The new french door and windows are true-divided lights.
2. The new railing is wood.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: c.1916-1927

The existing house is a three-bay, side-gable frame dwelling with a full-width front porch and several non-historic rear additions. The slopes gently to the rear and backs up to the Chevy Chase Club Golf Course.

PROPOSAL:

The applicant is proposing to:

- Construct a 10'x12' roof deck on a 1-story rear addition. (circles 10-13).
- Replace one 6/6 double-hung window with an inswing French door flanked by two 9/9 double-hung windows. (circles 6 & 11).

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and

the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

"Lenient Scrutiny" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

"Moderate Scrutiny" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

"Strict Scrutiny" means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.
- Decks and balconies should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

In addition, the *Guidelines* also note the following basic policies that are relevant to this application:

- Preserving the integrity of contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed alterations are on the rear of the house and will not be visible from the public right-of-way. The roof deck will be over a non-historic addition and the railing will match an existing wood railing that is compatible with the house. The new door and windows will be wood, true divided light replacements. The applicant already intends to use a wood railing and true divided lights; staff's conditions are for clarification purposes.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(2):

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation #2 and #6.*

and with the two conditions that:

1. The new french door and windows are true-divided lights.
2. The new railing is wood.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
285 ROCKVILLE PIKE 3rd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

RECEIVED

JUN 15 2004

Dept. of Permitting Services
Division of
Casework Management

APPLICATION FOR HISTORIC AREA WORK PERMIT

SS. 579-62-5519 Paul Contact Person NANCY ELLIOTT
229-82-2931 Maria Daytime Phone No. 301 656 5145
Tax Account No. _____
Name of Property Owner PAUL MARGARET CROMELIN Phone No. 301-654-0390
Address 5806 CEDAR PARKWAY CHEVY CHASE MD 20815
Street Number City State Zip Code
Contractor BETHESDA CONTRACTORS Phone No. 301-656-9020
Contractor Registration No. _____
Agent for Owner NANCY ELLIOTT & ASSOCIATES Phone No. 301 656 5145

LOCATION OF BUILDING/PREMISE

House Number: 5806 Street: CEDAR PARKWAY
Town/City: CHEVY CHASE VILLAGE Subdivision: HESKETH ST.
Lot: 3 PT 4.5 Block: 62 Subdivision: SECTION 2
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE

<input type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A.C.	<input type="checkbox"/> Slat	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input checked="" type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate \$ 100,000
1C. If this is a revision of a previously approved active permit see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal 01 WSSC 02 Septic 03 Other _____
2E. Type of water supply 01 WSSC 02 Well 03 Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret M. Cromelin
Signature of owner or authorized agent

JUNE 15, 2004
Date

Approved _____ For Chairperson, Historic Preservation Commission
Disapproved _____ Signature _____ Date _____
Application/Permit No. 348121 Date Filed 6-14-04 Date Issued _____

ndg
SEE REVERSE SIDE FOR INSTRUCTIONS

4

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

AN EARLY 20TH CENTURY CENTER-HALL,
FRAME COLONIAL-"FARMHOUSE" STYLE
WITH A FULL-WIDTH FRONT PORCH. THE
HOUSE BACKS ON CHEVY CHASE COUNTRY
CLUB, SURROUNDED BY LARGE TREES -
IT IS DESIGNATED AS "CONTRIBUTING"
HISTORICALLY.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONSTRUCTION TO INVOLVE A NEW REAR
ROOF DECK OVER A ONE-STORY FAMILY ROOM
ADDITION COMPLETED IN 1997 - THERE
WILL BE FRENCH DOORS LEADING FROM
THE MASTER BEDROOM - STYLES & MATERIALS
TO MATCH EXISTING. THIS WILL HAVE

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

MINI MAX EFFECT
ON THE HISTORICAL
RESOURCES.

SEE A1.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

SEE ENCLOSED PLANS A1-A5.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

SEE SPECS. ON SHEET A1

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

SEE ENCLOSED

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

SEE ENCLOSED

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

SPECIFICATIONS

DESCRIPTION

Scope of work involves a remodeled master bedroom suite including a roof deck with doors from bedroom, enlarged master bathroom, master bedroom closets and dressing area, and a remodeled hallway bathroom.

GENERAL

- All work is to be performed in accordance with the codes and regulations of Montgomery County and Chevy Chase Village, and other applicable rules and regulations.
- Permits from Montgomery County and Chevy Chase Village, as well as the Historical Preservation Commission to be coordinated by Nancy Elliott & Associates and billed separately.
- During the time of the contract the Contractor is responsible for the protection of the job site consistent with good operating practices. Contractor is responsible for dust control to protect occupied portions of premises.
- Contractor is responsible for timely removal of all debris associated with the job, and for maintaining the site in a clean and orderly condition. Contractor to comply with local requirements as to trash removal - if dumpster type trash container is used a permit must be obtained from Chevy Chase Village.
- Contractor is responsible for communicating any hidden conditions, any conditions not shown, or any conditions in conflict with work described in construction documents to Nancy Elliott & Associates for immediate resolution.
- Contractor to submit a written bid, and, if accepted, a written contract that includes a schedule of payments, a breakdown of costs, and planned starting and finishing dates.
- Comparable quality and type materials may be substituted with permission of Owner and/or Designer.
- Contractor to establish method of access to the site as well as bathroom and telephone usage directly with the City of Chevy Chase.
- Requests for changes in the work shall be in writing with an explanation of the change and the effect of the change on the contract sum. The Owner will approve all changes in by signing a copy of requested change and giving it to the Contractor.

DEMOLITION/SITE WORK

- Demolition to include partial removal of the existing west wall of the master bedroom (sheet A-3) and removal of existing bathroom cabinets, finishes and fixtures - reserve items noted.
- Contractor is responsible for the repair of all damage to property caused by construction.

CARPENTRY

General

- Consult construction drawings and notes - see sheets A2-A4.
- Contractor to notify Owner of any existing structural members encountered which are deteriorated or damaged to a degree that they may no longer fulfill their purpose.
- Conform with the minimum requirements of International Residential Code as to headers, blocking, methods of fastening etc.
- Utilize 2 x 4's for exterior wall construction and interior partitions
- New soffits and dropped ceilings constructed of 2 x 4's and gypsum wallboard - see reflected ceiling plan - see sheet E.

Exterior

- Roof Deck constructed of 3/4" tongue and groove plywood (with Dex-tex Elastates 500 Promenade roof deck surfacing) - see sheets A3-A5.
- Deck Side Walls to be clad with bead board (best grade) - to match existing construction of family room addition.
- Wood trim materials shall be No. 1 common white pine suitable for painting.
- Deck Rail to match existing deck below including the double X centered rail detail.

Interior

- Trim includes: baseboard, window casing and door casing. All trim to match existing (widths may vary for window and door casings) and be suitable for painting unless otherwise noted. Finger-jointed pine is acceptable.
- Crown molding: two piece for master bath and bedroom and one piece for hallway bath - as described on sheets C1 & C2.
- MDF adjustable shelving for master bedroom closet

THERMAL & MOISTURE PROTECTION

- Contractor to determine if existing roofing needs to be repaired or replaced, and if so, price in contract.
- Use copper flashing, base and cap type, as required to integrate new roof deck and wall construction with existing construction, and so as to make all construction, new and existing, weather tight.
- Caulking to be siliconized acrylic latex with a 10 year warranty suitable for painting.
- Snapper on deck connected to flexible PVC pipe sloped through roof so that it drains into existing gutter.

DOORS & WINDOWS

- Exterior Door/Window Unit (A): To be Weathershield Legacy French door unit, 5'0" by 7'2" with traditional style 1 brushed nickel levers, and multi-point lock set. Door to be flanked by Weathershield 9'9" double-hung windows, size T11 - 28x32, insulated glass, standard jamb, white primed wood, sash lock and insect screen - to match existing. Door and windows priced and specified through Cliff Sossin at Quality Window & Door, Inc. - 301 251-9290.
- Master Bath Door: Solid-core new panel style hardware to match existing on swing doors and Johnson pocket door assembly (or comparable) for pocket doors, pulls to be supplied by owner:
 - (B) Bedroom hinged closet door - 2-2 x 6-8.
 - (C) Dressing area pocket door - 2-4 x 6-8.
 - (D) Double hinged closet doors - two 1-6 x 6-8.
 - (E) Walk-in closet pocket door - 2-2 x 6-8.
 - (F) Master bath hinged door - 2-2 x 6-8.
 - (G) Hallway bath door - swing changed, repair as required.

FINISHES

- Ceiling Wallboard: Interior surfaces sheathed with 1/2" gypsum board, taped and spackled as necessary to make ready for painting - work in accordance with U. S. Gypsum Construction Handbook.
- Painting: Patch existing plaster and drywall work as required to make ready for painting.
- Exterior Painting: Wood trim, one coat primer and two coats best quality paint on trim. Cedar siding to receive two coats of best quality paint over pre-primed material; otherwise three coats. All exterior painting to match existing.
- Interior Painting: All trim semi-gloss alkyd enamel. Walls and ceilings shall be finished with one coat of primer and two coats of best quality latex - flat or low luster finish on walls, flat on ceilings. Color - as selected by owner.
- Cabinetry Painting: If job-site painting of cabinetry is required, the Owner may request a separate price from Contractor.
- Ceramic Tile: Contractor to make allowance for purchase of tile for both bathroom floors, shower walls and wainscot - installation included in contract.

FLOORING

- Existing wood strip flooring to remain throughout bedroom closets and dressing areas - contractor to protect floor throughout construction.
- Wall-to-wall carpet in bedroom, dressing room and closets - by separate contract.
- In-floor heating system in master bedroom floor - see sheet E.

CABINETS & COUNTERTOPS

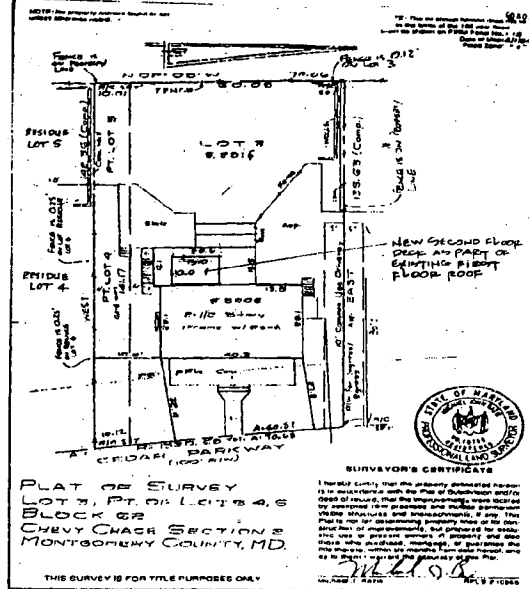
- Cabinets to be purchased and installed by separate contract. Contractor to coordinate with cabinet installer. Cabinet contract to include:
 - Two vanities,
 - Two recessed medicine chests,
 - Tall hamper/storage/TV cabinet for master bath,
 - Tall shallow recessed cabinet for hallway bath, and
 - Dressing area bench.
- Stone countertops selected by Owner; Contractor to purchase and install - make allowance.
- Walk-in closet fittings provided by owner and installed by separate contract.

HARDWARE & SPECIALTIES

- Install Owner provided toilet paper holders, towel bars, paper holders and door hooks.
- Install Owner provided pocket door recessed pulls.
- Install Owner provided light fixtures - see sheet E.
- Provide and install frameless shower door for master bath and semi-frameless shower enclosure for bath hall - make allowance.
- Provide and install mirrors in master bedroom - wall to wall in tub area and framed in wood trim over vanity. Mirror adhered to back panel of pocket door to dressing area.
- Corian or tempered glass shelf for hallway bath shower to run between walls under shower control.
- Exterior door hardware specified through Weathershield.
- Interior door hardware for swing doors to match existing as closely as possible.
- Johnson pocket door assembly (or comparable) for 2-pocket doors - see doors.
- Walk in closet fittings - provided by owner and installed by separate contract.

PLUMBING, FIXTURES & FAUCETS

- Disconnect existing fixtures to be removed. Cap off unused utilities as per Code.
- The following plumbing fixtures and faucets are priced and specified by Ferguson Enterprises Inc. - comes Crystal (202) 464-0330:
 - One Kohler Houghtress bathtub LH7FLG 60 x 32 in white.
 - Two Kohler Caxton 19 x 15 undermount sinks in white.
 - Two Kohler Memoirs one piece toilet K341 in white.
 - Two Jado 818 series sink faucets in polished chrome with 8" spread.
 - Two Jado 818 series shower controls in polished chrome.
 - One Jado 818 series tub spout & control.
 - Two new Runtal radiators - see HVAC.



NANCY ELLIOTT & ASSOCIATES
 37 West Irving Street
 Chevy Chase
 Maryland 20915
 301 656-5145

Space Planning
 Interior Design

Owner Address
 Cromelin Residence
 5806 Cedar Parkway
 Chevy Chase, MD 20815

Project/Title
 Master Bedroom Suite &
 Baths Remodeling
 Site Plan & Specifications

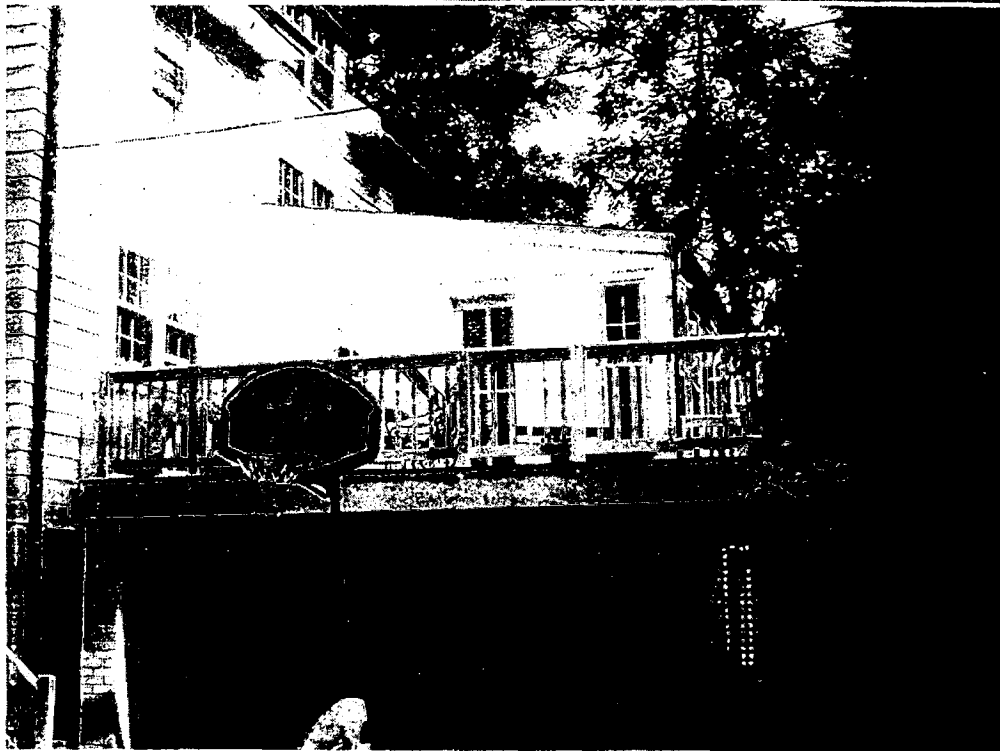
Scale: as noted

Date
 June 2001

A1

ROMELIN RESIDENCE / 5806 CEDAR PARKWAY
CHEVY CHASE, MD 20815

FRONT ELEVATION - EAST



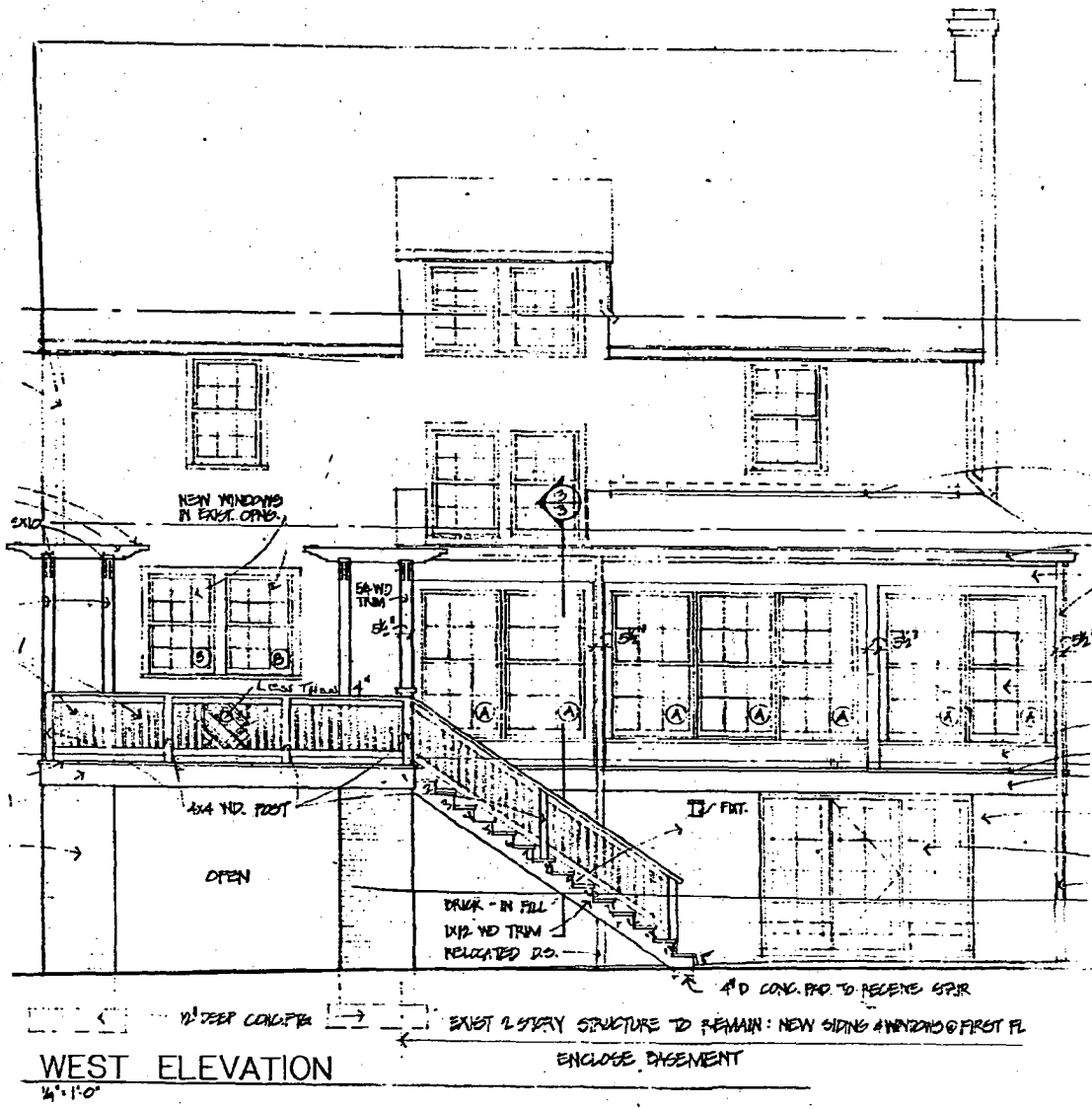
SIDE ELEVATION - NORTH

5

SIDE ELEVATION - SOUTH



REAR ELEVATION - WEST



EXISTING REAR ELEVATION
 1997 FAMILY ROOM ADDITION (ONE-STORY)
 AND DECK.

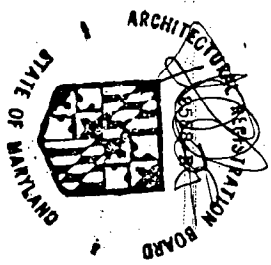
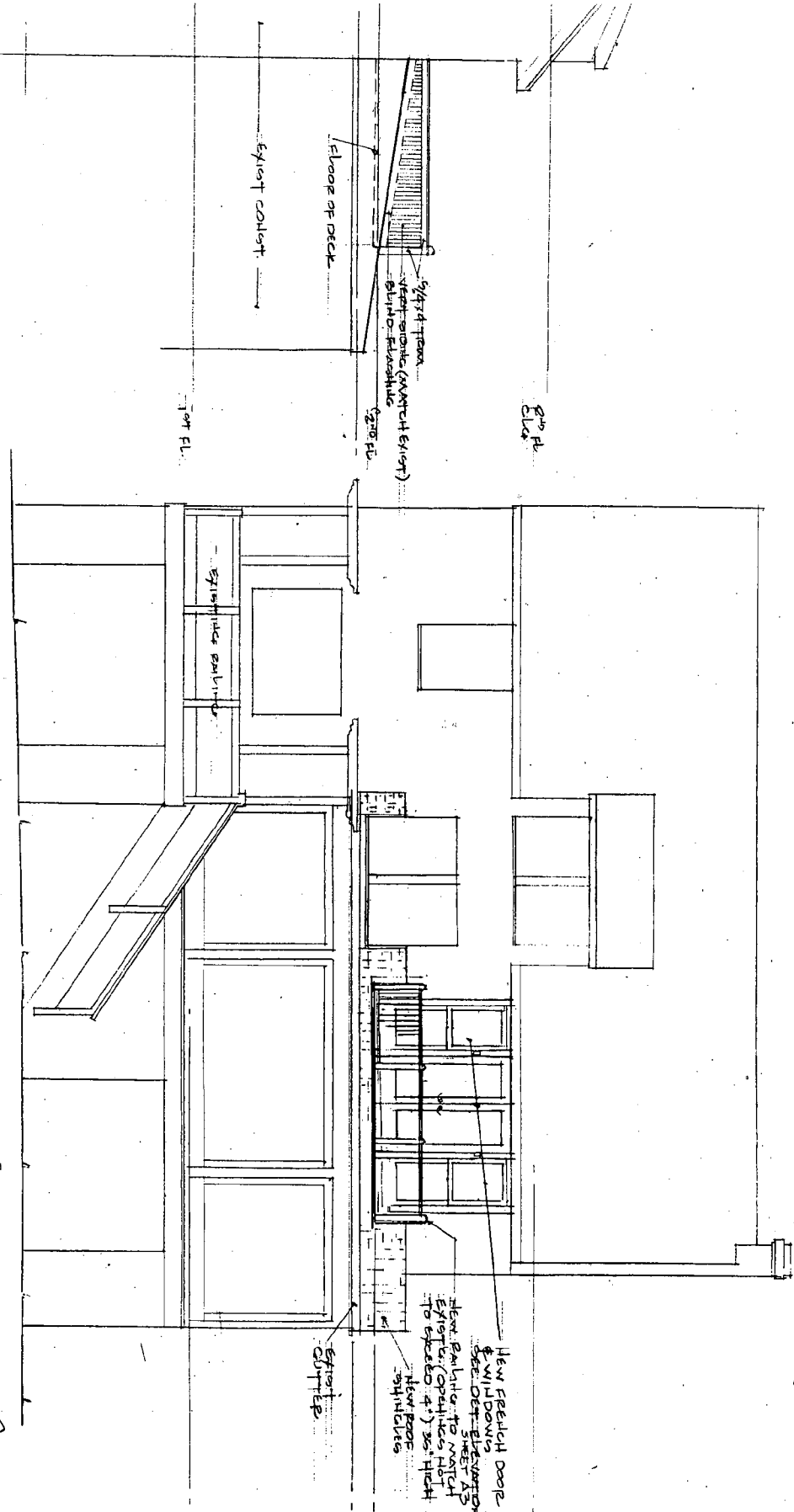
10

PARTIAL SIDE ELEVATION

1/4" = 1'-0"

REAR ELEVATION

1/4" = 1'-0"



A4	Master Bedroom Suite Roof Deck	Cromelin Residence
	Exterior Elevations	5806 Cedar Parkway Chevy Chase, MD 20815

Scale: as noted
June 2004

CONSTRUCTION NOTES

Comply with *International Residential Code*, latest edition

Design Live Loads
Deck: 40 lbs/sq ft
Roof: 30 lbs/sq ft

Lumber
As indicated on drawings, otherwise:
Joists and rafters: #2 Hem-Fir
F_b = 650 psi minimum
E = 1,200,000 psi minimum
Beams and Girders: #2 Hem-Fir
F_b = 1500 psi minimum
E = 1,200,000 psi minimum
Studs, etc.: #2 SPF

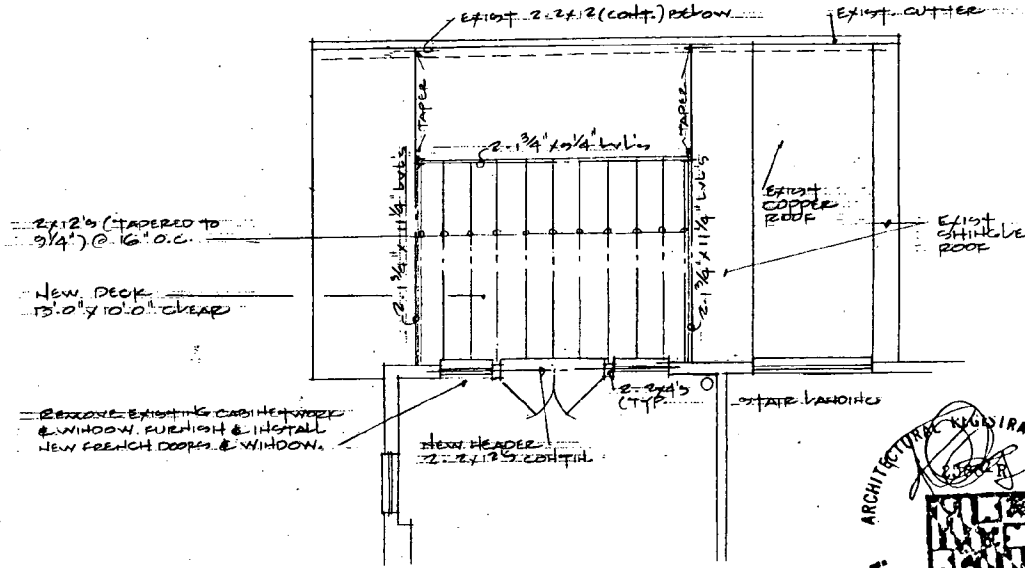
Laminated Veneer Lumber (LVL)
As manufactured by Georgia Pacific Corp., or approved equal
E = 1,900,000 psi minimum
F_b = 2,600 psi minimum

Where two members are used together, fasten from both sides in three horizontal rows with 16d nails at 12 inches on center, 2 inches from edges.

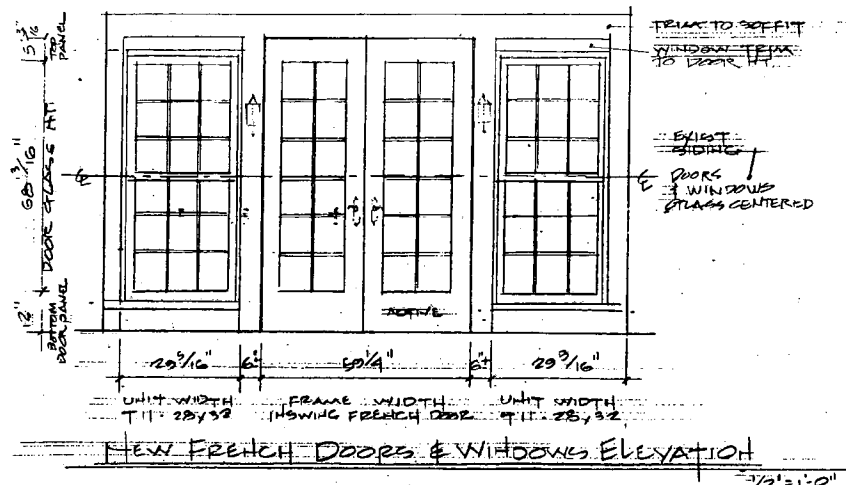
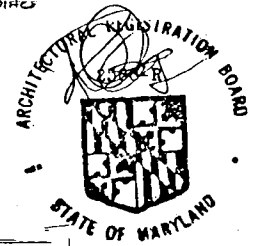
Wood Preservative Treatment (WPT)
For all lumber exposed to weather and in contact with masonry, concrete or the earth, or as otherwise indicated, as per AWPA Standard C-270 for above ground use, "Wrtimanzed" or approved equal

Fasteners
For all exterior work and work in unconditioned spaces, hot-dipped galvanized or non-ferrous materials

Connectors
For fastening new work in existing construction, and where otherwise good building practice would dictate, utilize appropriate galvanized steel connectors equal to Simpson Strong-Tie



PARTIAL SECOND FLOOR PLAN



NEW FRENCH DOORS & WINDOWS ELEVATION

Cromelin Residence

5806 Cedar Parkway
Chevy Chase, MD 20815

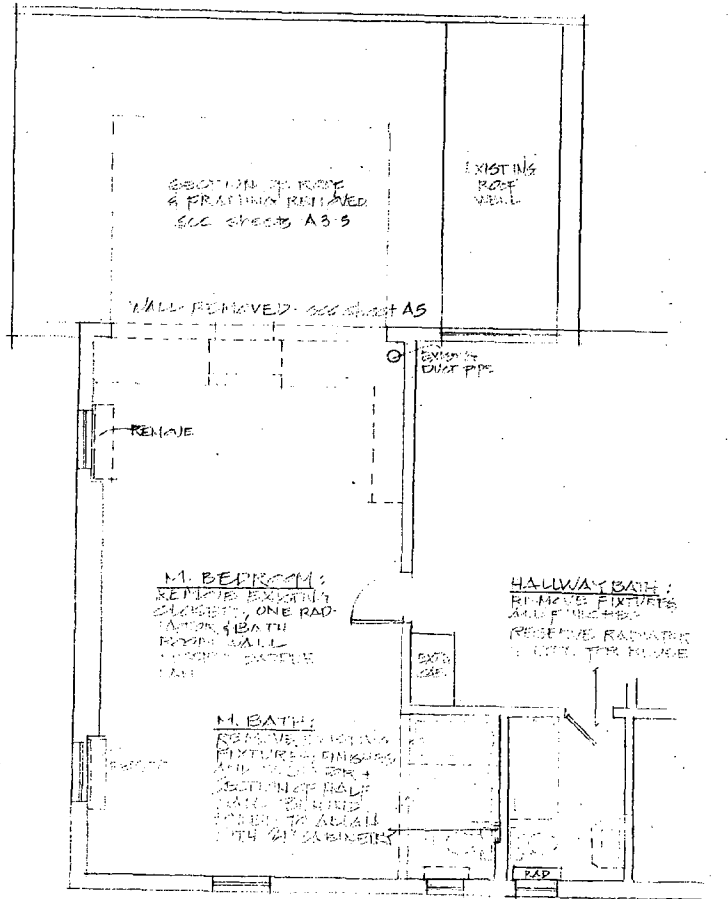
Master Bedroom Suite
Roof Deck

Framing Plan, Construction
Notes, Door Unit Elevation

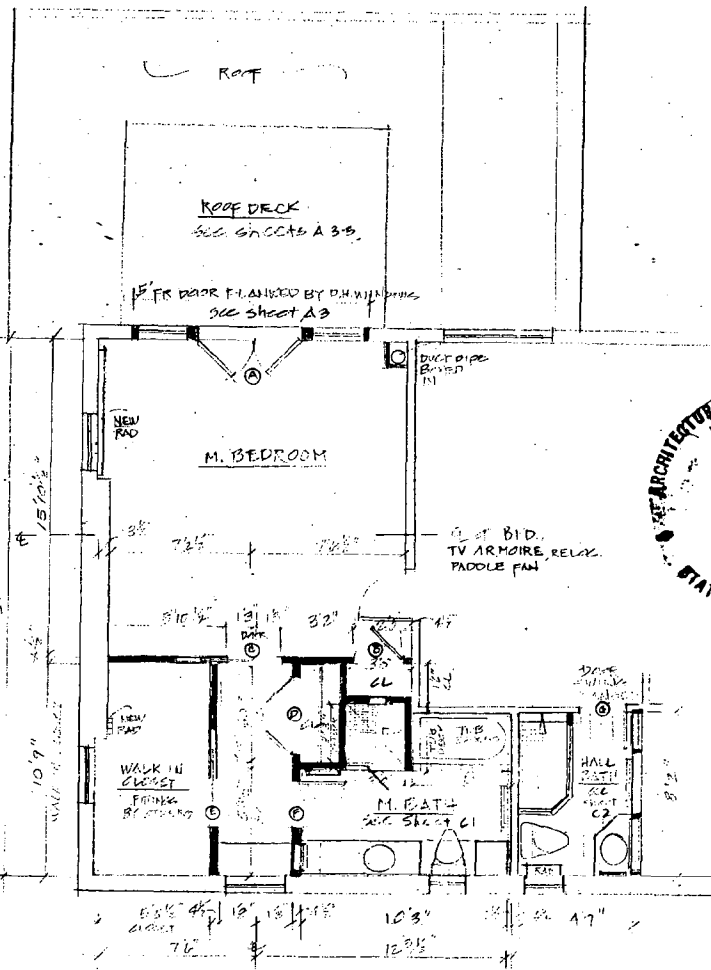
Scale: as noted

June 2004

A3



EXISTING/DEMOLITION PLAN



ALTERATIONS PLAN
1/4" = 1'-0" ALL DIMENSIONS TO BE CONF'D

LEGEND

EXISTING	---
REMOVED	- - -
NEW	—



NANCY ELLIOTT & ASSOCIATES
 17 New Irving Street
 Chevy Chase
 Maryland 20815
 VO 656-5145

Space Planning
 Interior Design

Owner Address

Cromelin Residence
 5806 Cedar Parkway
 Chevy Chase, MD 20815

Project Title
Master Bedroom Suite & Baths Remodeling
 Existing/Demolition Plan - Alterations Plan

Scale
 1/4" = 1'-0"

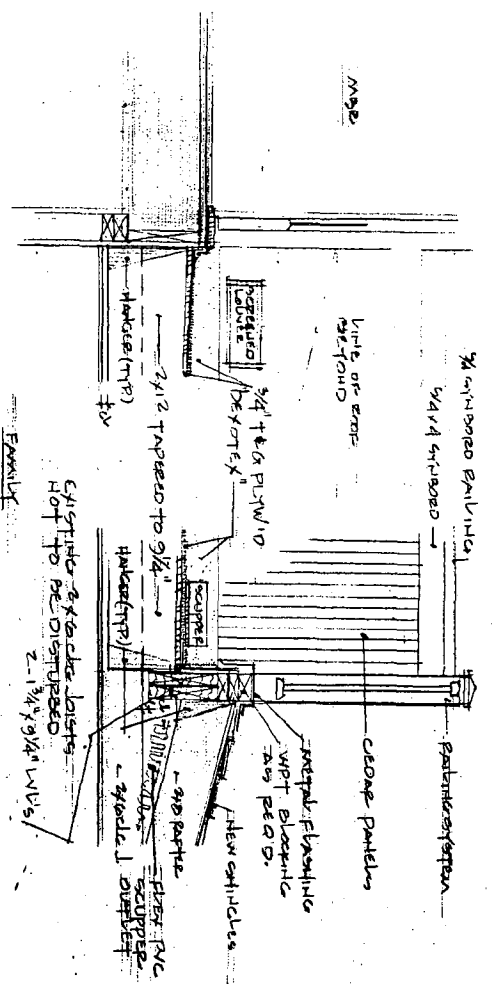
Date
 June 2004

NE

A2

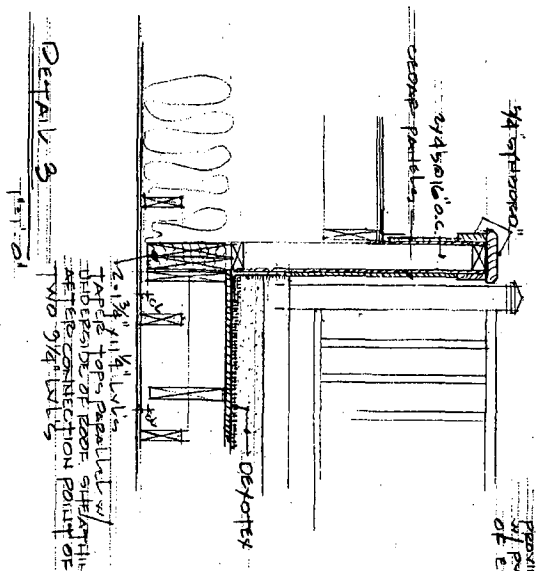
12

(13)



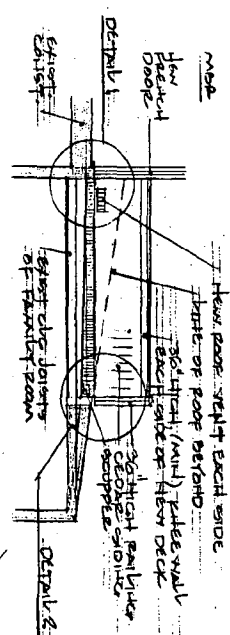
DETAIL 1
1/4" = 1'-0"

DETAIL 2
1/4" = 1'-0"

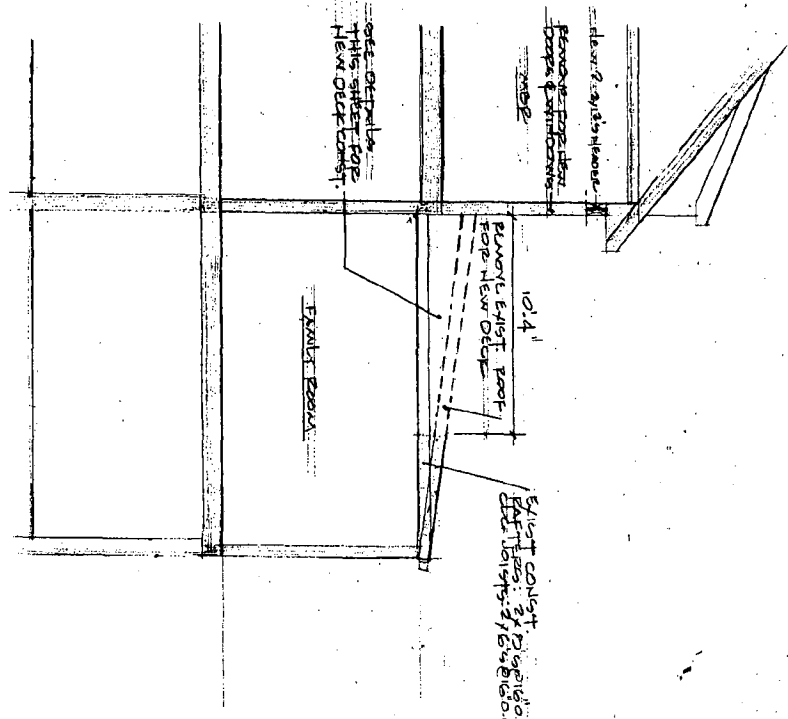


DETAIL 3
1/4" = 1'-0"

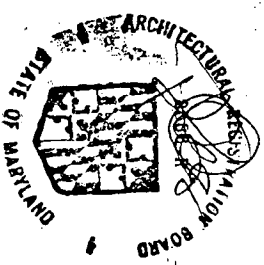
Notes: Deck edge shall be a continuous concrete over plywood sheathing and all adjacent finishes.



PARTIAL SECTION THROUGH NEW DECK
1/4" = 1'-0"



PARTIAL SECTION THROUGH HOUSE
1/4" = 1'-0"



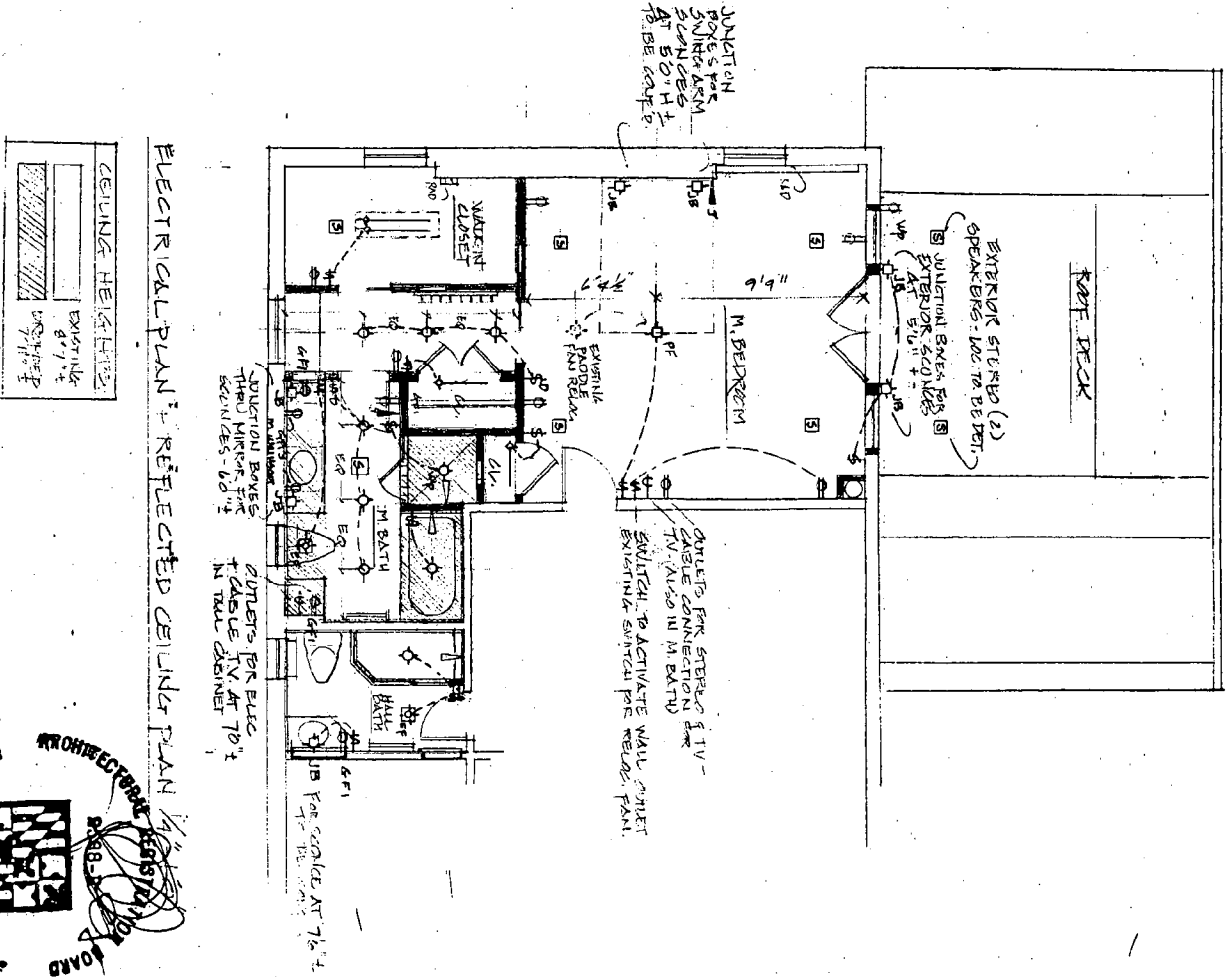
AS	Master Bedroom Suite Roof Deck	Cromelin Residence
	Sections & Details	5806 Cedar Parkway Chevy Chase, MD 20815

Scale: as noted
June 2004

SYMBOL NO.	DESCRIPTION/NOTATION
1	CONTRACTOR TO LOCATE AND MARK ALL EXISTING AND PROPOSED ELECTRICAL PANELS IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE REGULATIONS.
2	INSTALL NEW 20 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUITS: - ADDITIONAL BATH ROOM LIGHTS - ADDITIONAL KITCHEN LIGHTS - ADDITIONAL OFFICE LIGHTS
3	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
4	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
5	INSTALL NEW 20 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
6	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
7	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
8	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
9	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
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12	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
13	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
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16	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
17	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
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29	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS
30	INSTALL NEW 15 AMP 120V SINGLE PHASE BREAKER IN MAIN SERVICE PANEL TO SERVE THE FOLLOWING CIRCUIT: - ADDITIONAL OFFICE LIGHTS

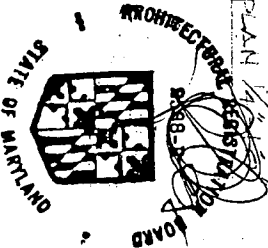
31

ELECTRICAL NOTES:
 1. ELECTRICAL WORK TO INCLUDE IN THIS FLOOR HEADLINE SHEET IS UNDER THE CONTRACTOR'S RESPONSIBILITY TO BE PERFORMED AS NOTED IN THE FLOOR PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE PRIOR TO COMMENCING WORK.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE PRIOR TO COMMENCING WORK.
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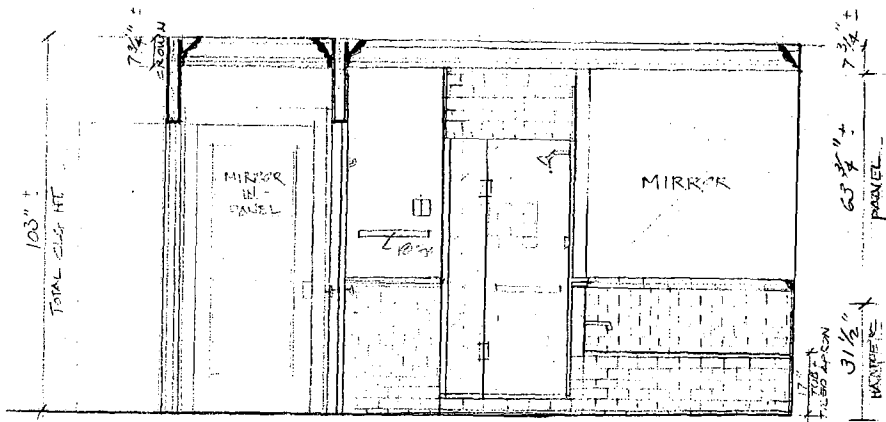


ELECTRICAL PLAN - REFLECTED CEILING PLAN

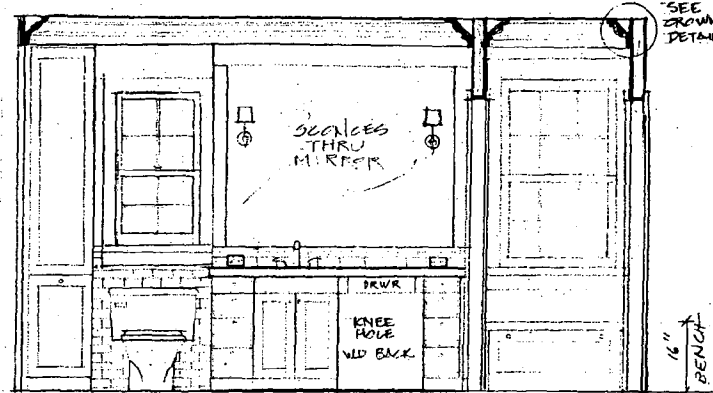
CEILING HEIGHTS:
 EXISTING: 8' 4 1/2"
 NEW: 8' 6"



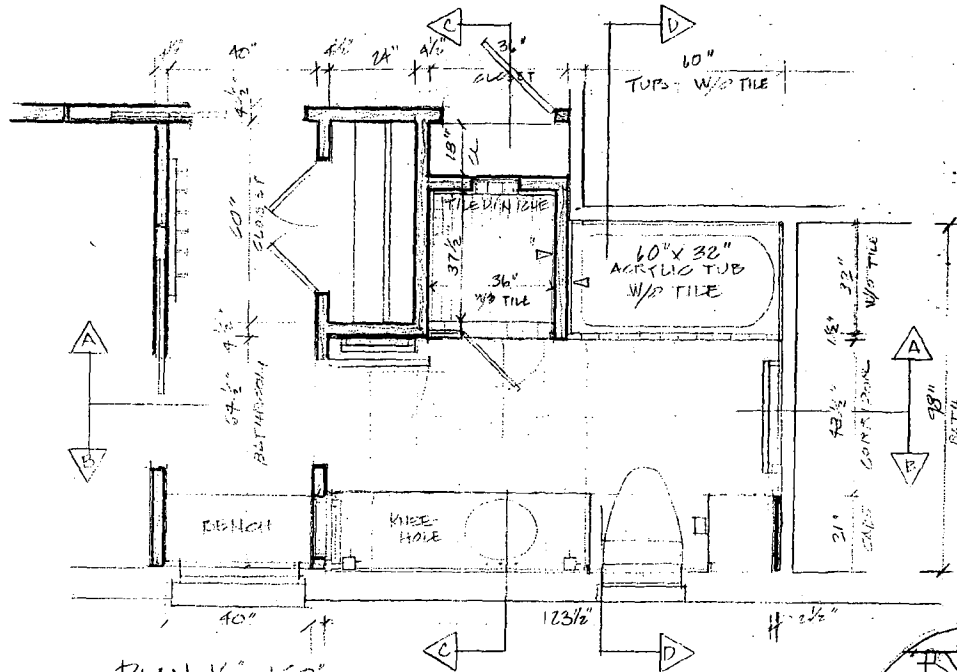
B	<p>NANCY ELLIOTT & ASSOCIATES</p> <p>Space Planning Interior Design</p> <p>37 West Loring Street Chevy Chase, Maryland 20815 301 656-5145</p>	<p>Cromelin Residence</p> <p>5806 Cedar Parkway Chevy Chase, MD 20815</p>
	<p>Master Bedroom Suite & Baths Remodeling</p> <p>Electrical Plan, Schedule & Notes - Reflected Ceiling Plan</p>	
	<p>Scale: 1/4" = 1'-0"</p> <p>Date: June 2004</p> <p>ME</p>	



AA - SHOWER & TUB WALL



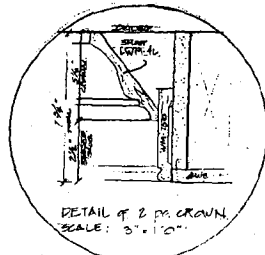
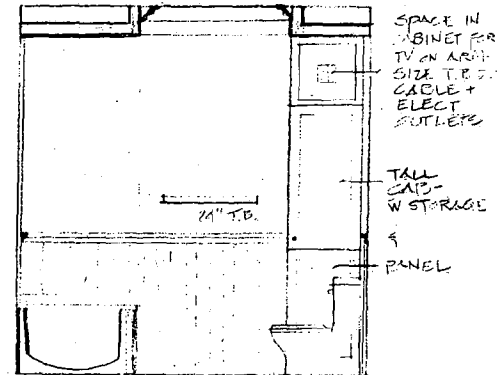
BB - TOILET, VANITY & BENCH WALL



PLAN 1/2" = 1'0"
ALL DIMENSIONS TO BE CONFIRMED



CC - THROUGH VANITY & SHOWER



DETAIL OF 2 1/2" CROWN
SCALE: 3" = 1'0"

NANCY ELLIOTT & ASSOCIATES

33 West Irving Street
Chevy Chase
Maryland 20815
301 656-5145

Space Planning
Interior Design

Owner Address

Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

Project Title

Master Bedroom Suite & Baths Remodeling
Master Bath Plan & Elevations - Crown Detail

Scale

1/2" = 1'0"

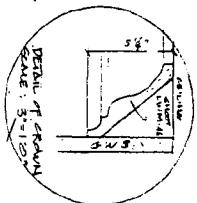
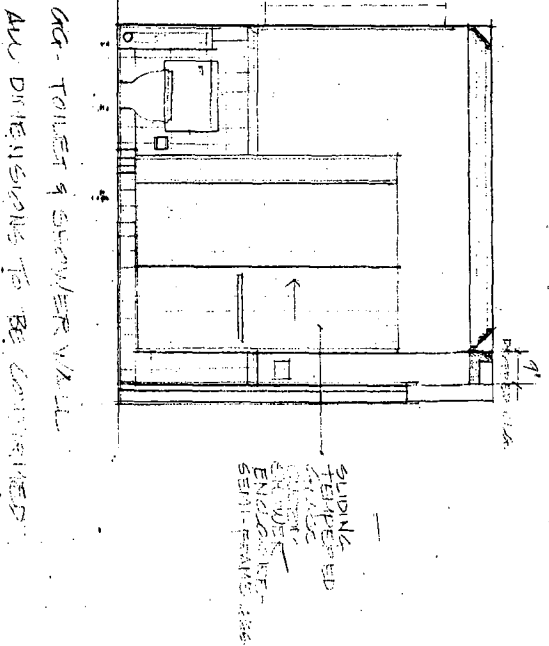
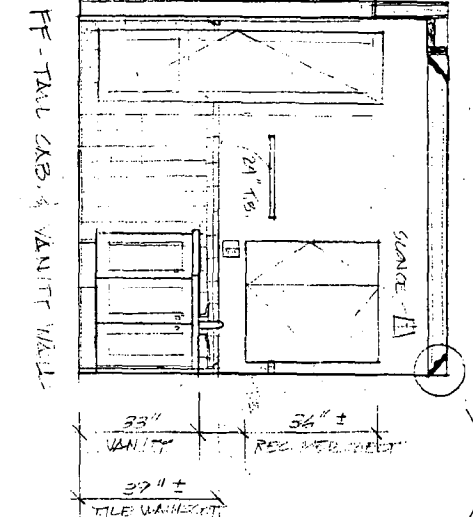
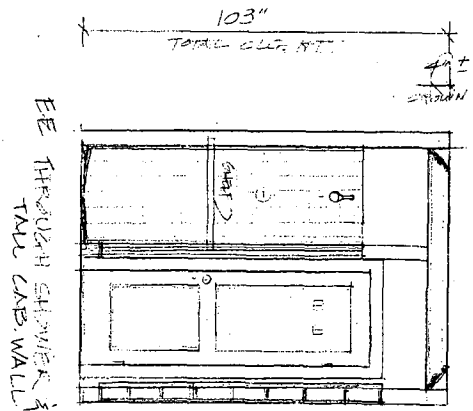
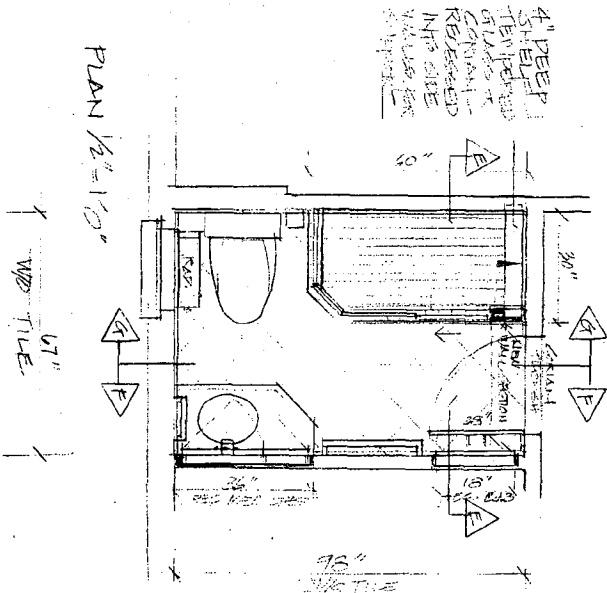
Date

June 2004

NE

C1

15



Scale
1/2" = 1' 0"

Date
June 2004

Project Title
Master Bedroom Suite & Baths Remodeling

Hallway Bath Plan & Elevations - Crown Detail

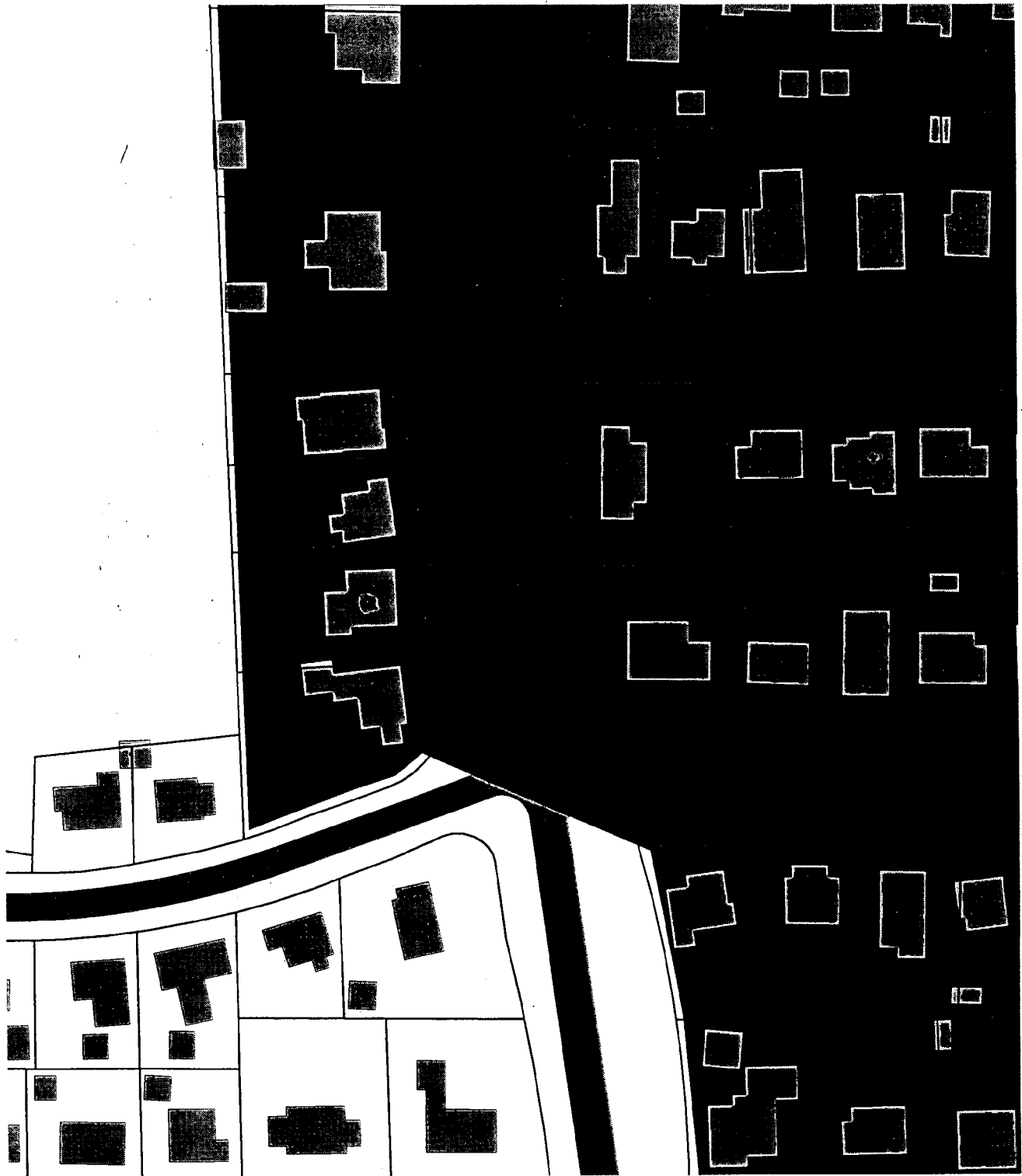
Client Address
Cromelin Residence
5806 Cedar Parkway
Chevy Chase, MD 20815

Spec Planning
Interior Design
11 West Loring Street
Chevy Chase, MD 20815
301.656.5145

NANCY ELLIOTT & ASSOCIATES

C2

5806 CEDAR PARKWAY



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Casual User Application



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue - Silver Spring, Maryland 20910-3760

17

CROMELIN PROJECT — NEIGHBORS
5806 CEDAR PARKWAY
CHEVY CHASE, MD 20815
301-654-0390

South

CHRISTOPHER & VICTORIA KNOPES
5804 CEDAR PARKWAY 301-718-8429

North

MARK & BEV NADEL
5808 CEDAR PARKWAY 301-986-8670

Across

C.J. BULLARD
29 WESKETH STREET 301-656-8411

5806 Cedar Pkwy - CCV

looks like wood

- material of roofing on roof check?

- verify windows - should be simulated divided light

Called 6/29/04, & left msg to set up site visit

True Divided Light