

35/13-05C 10 Grafton Street
Chevy Chase Historic District




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: January 27, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator 
Historic Preservation

SUBJECT: Historic Area Work Permit # 367789

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Patricia Glowacki

Address: 10 Grafton Street, Chevy Chase, MD 20815

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Samantha Jenkins
Daytime Phone No.: 301-607-6101

Tax Account No.: _____
Name of Property Owner: Patricia Glowacki Daytime Phone No.: 301-652-3035
Address: 10 Grafton St. Cherry Chase MD 20815
Street Number City State Zip Code
Contractor: Tri-County Fence Phone No.: 301-607-6101
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10 Street: Grafton Street
Town/City: Cherry Chase Nearest Cross Street: Connecticut Street
Lot: _____ Block: _____ Subdivision: _____
Liber: 4601 Folio: 497 Parcel: 928

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 5,825.00
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Samantha Jenkins 10-27-04
Signature of owner or authorized agent Date

Approved: Julia O'Malley For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 1-27-05
Application/Permit No.: 367789 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

48" Spaced picket with dip
72" Alternate board with dip
using all ACO Lumber
2 gates

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Fence in Customers back yard

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings: An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way end of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	10 Grafton Street	Meeting Date:	01/26/05
Applicant:	Patricia Glowacki	Report Date:	01/19/05
Resource:	Contributing Resource Chevy Chase Village Historic District	Public Notice:	01/12/05
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-05C	Staff:	Anne Fothergill
PROPOSAL:	Fence installation		
RECOMMENDATION:	Approval		

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource, Chevy Chase Village
STYLE: Prairie
DATE: c. 1892-1916

PROPOSAL

The applicant is proposing the installation of fencing around the right side and back of the house (see Circle 5). The fence would be wood and would be 4' tall picket with dip from the right side of the house to the right side property line and then 6' tall board-on-board back to the rear property line and across the backyard (see fence detail in Circles 6-8). There would be another 4' tall picket section from the back fence to the back left side of the house.

Chevy Chase Village has approved this proposal.

STAFF DISCUSSION

The Chevy Chase Village Historic District Guidelines for Contributing Resources state that "fences should be subject to strict scrutiny if they detract significantly from the existing open streetscape. Otherwise, fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not."

The proposed fence would be set back from the street and lower and more open in front. It would not adversely affect the historic house, streetscape or district. As can be seen in photos in Circles 11 + 12, there are other fences on this block.

Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



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Samantha Jenkins 10-27-04
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 367789 Date Filed: _____ Date Issued: _____



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GRAFTON STREET

EAST

125'

NORTH

SOUTH

Parcel 927

Parcel 928

72" tall
ALUMINUM (±)
125'

Parcel 928
15625 sq ft

125'

SLATE PATIO & POND AREA

48" tall

17.4
18.2

72" tall

72" tall

ONLY (±)

WEST

125'

LOT 6

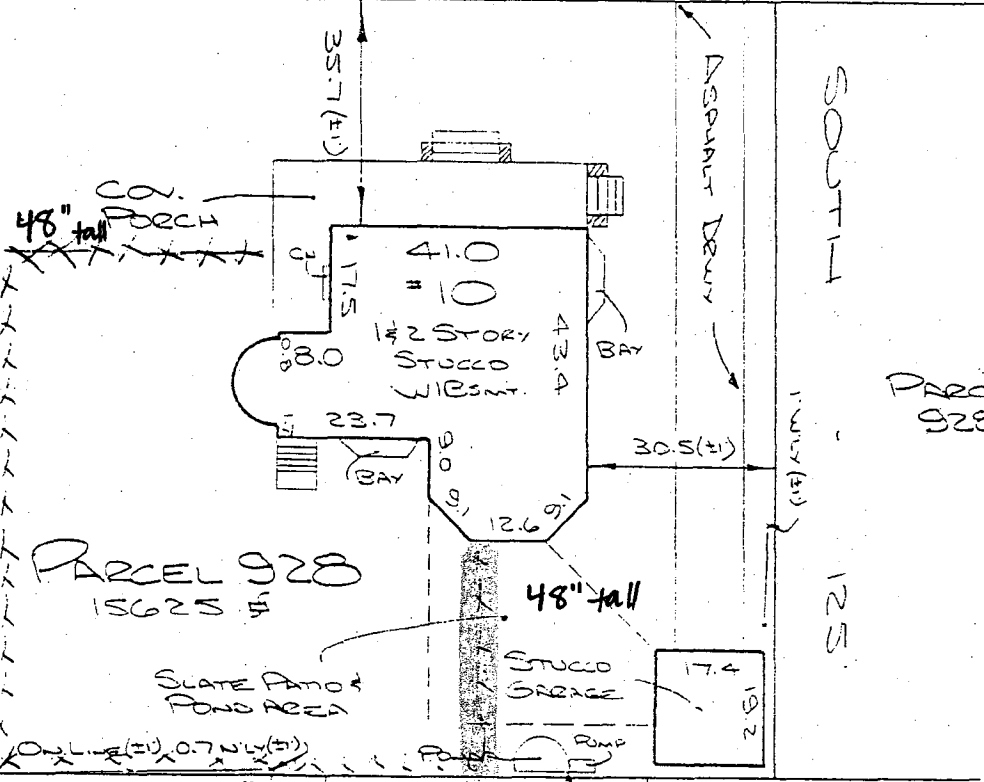
LOTS

LOT 4

2. LOT 3

48" height
SPACED preker with dip

72" Height ALUMINUM BOARD
with dip



CUSTOMER'S NAME The Glowackis Tony + Trish Crew

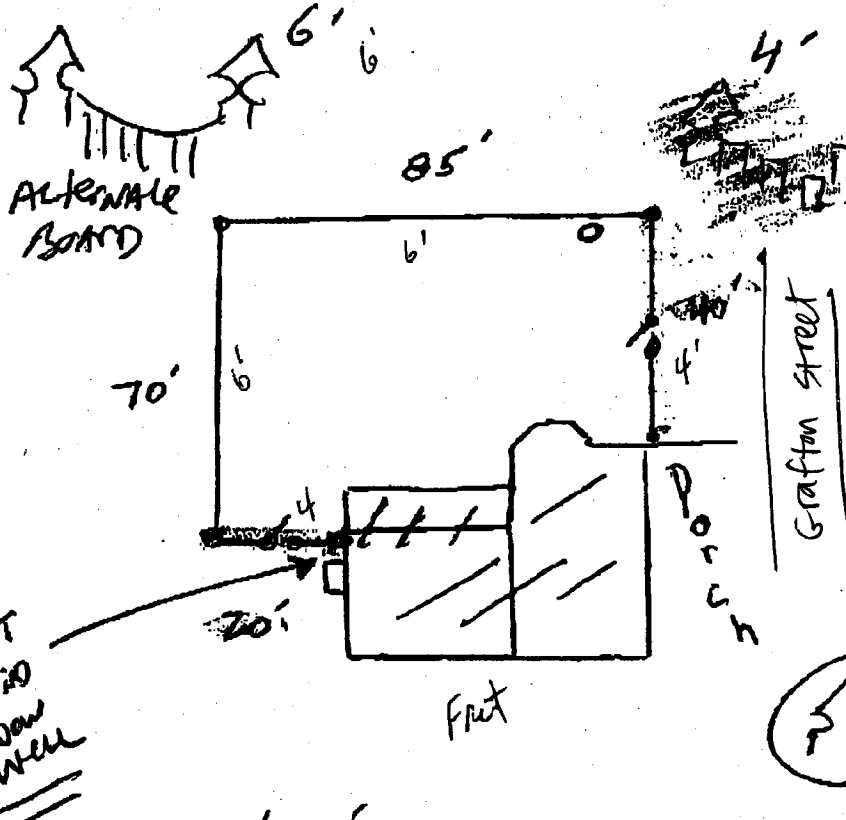
ADDRESS # 10 GRAFTON ST.

Chevy Chase, MD 20815

DIRECTIONS ATTACHED

HOME 652-3035 WORK _____

CELL (301) 717 7183
Trish



PAGE 41 GRID B1

SALESMAN MS

NICE SIDE: IN OUT

GATES: (2) IN OUT

SPACING: 2"

RAILS: 2 X 3 (2X4)

BOARDS 1X4 X 6

PICKETS 1X4 X 40"

WCR (ACQ) PVC

PERMIT: (YES) NO

STAKED: YES NO

getting surveyed



INSTRUCTIONS: 155' LF OF 6' BOARD ON BOARD WITH DIP A

~~2" spacing pickets with dip A~~

1X4 ACQ

Clear AND Haul 76 LF 6' WOOD

(2) gates CEDAR framed

RED-ELECTRIC YELLOW-GAS ORANGE-PHONE-CABLE-TV BLUE-WATER GREEN-SEWER

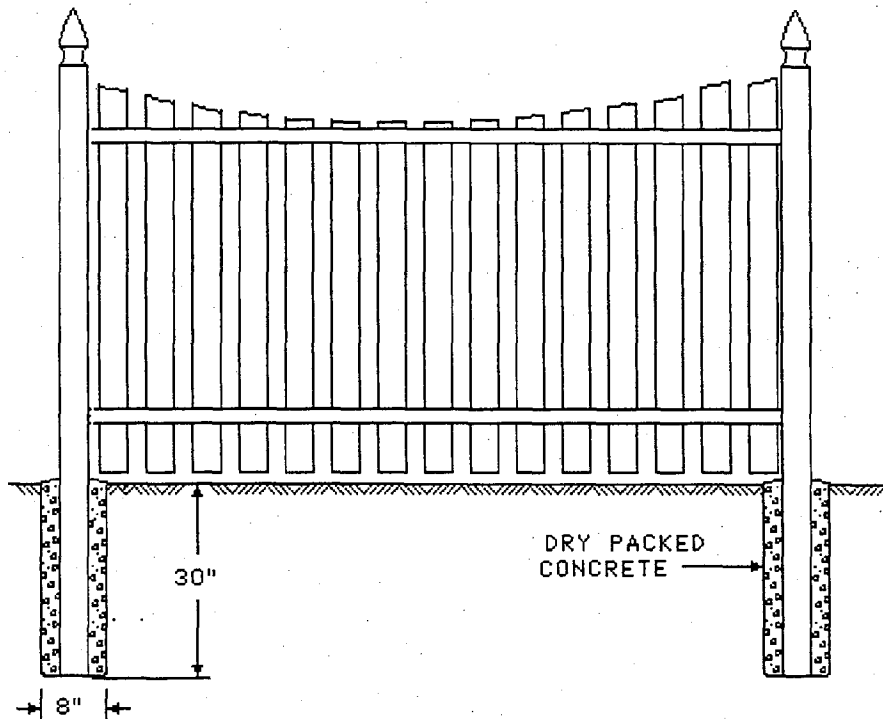
JOB COMPLETE _____

COD _____

3885 -

1X4 BOARD FENCE

4' MT. VERNON PICKET



(ELEVATION VIEW)

**TRI-COUNTY
FENCE**

TRI-COUNTY FENCE, INC.
24510 FREDERICK ROAD
CLARKSBURG, MD 20871
301-607-6101

MTV PICKET
(4' HIGH)

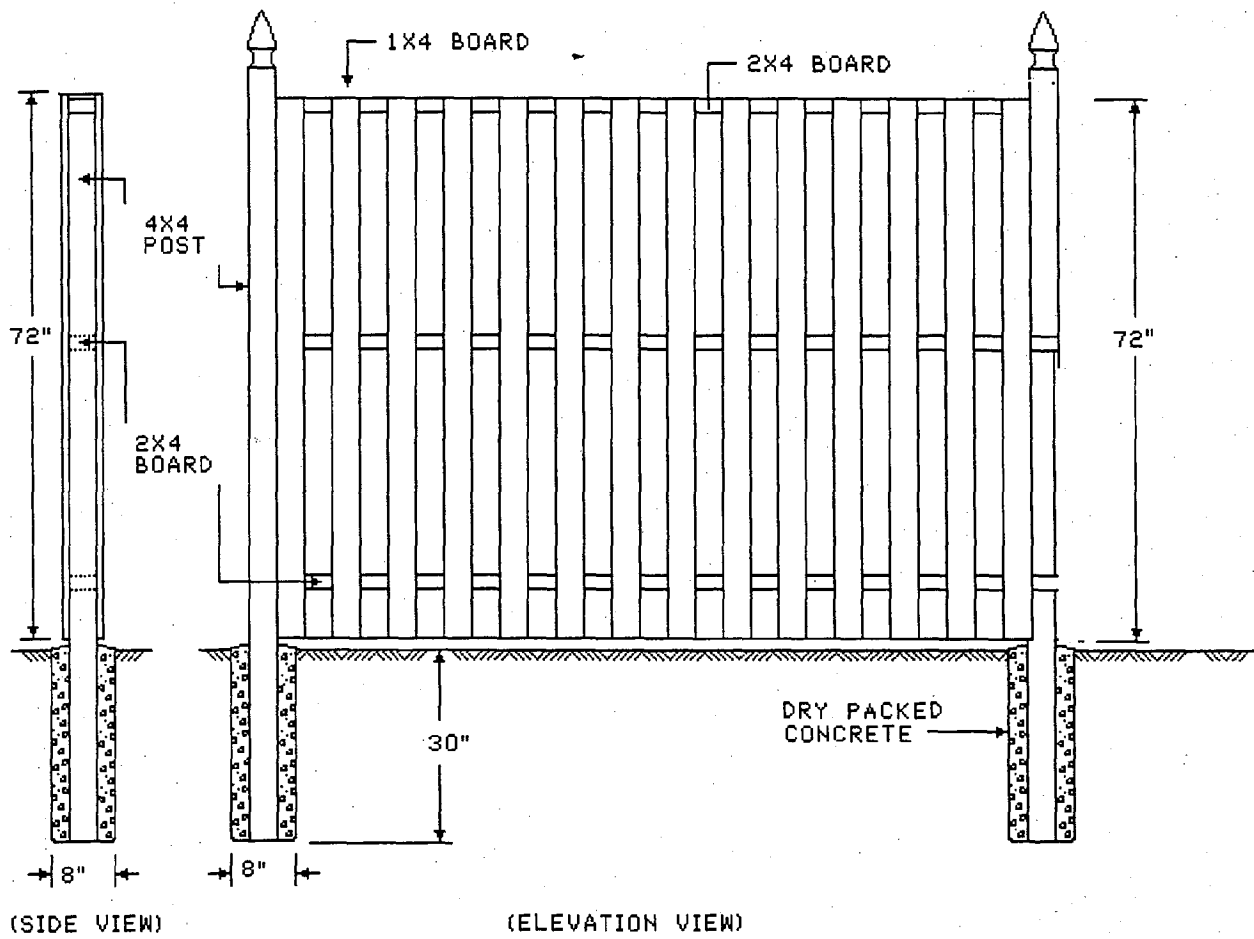
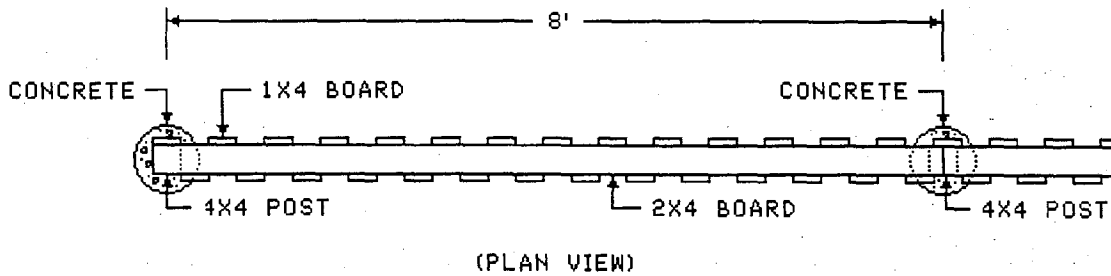
DRAWN BY: MG 06/23/05
REVISED: MG 06/27/01

SCALE: NONE
FILE: MTV PICK

PAGE:
1 of 1

72"

1X4 ALTERNATE BOARD FENCE



TRI-COUNTY
FENCE

TRI-COUNTY FENCE, INC.
24510 FREDERICK ROAD
CLARKSBURG, MD 20871
301-607-6101

1X4 ALTERNATE BOARD FENCE 6'

DRAWN BY: JMO 07/06/94

SCALE: NONE

PAGE:

REVISED: MG 02/19/04

FILE: 6' B ON

1 of 1

8

CHEVY CHASE VILLAGE
5906 CONNECTICUT AVENUE
CHEVY CHASE, MD 20815
Telephone (301) 654-7300
ccv@montgomerycountymd.gov

GEOFFREY B. BIDDLE
Village Manager
DAVID R. PODOLSKY
Legal Counsel

BOARD OF MANAGERS
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Chair
GEORGE L. KINTER
Vice Chair
SAMUEL A. LAWRENCE
Treasurer
BETSY STEPHENS
Assistant Treasurer
SUSIE EIG
Secretary
DOUGLAS B. KAMEROW
Board Member
DAVID L. WINSTEAD
Board Member

December 29, 2004

Ms. Anne Fothergill
Historic Preservation Committee
8787 Georgia Avenue
Silver Spring, MD 20910-3760

RE: Glowacki Residence, 10 Grafton Street
Chevy Chase Village Historic District

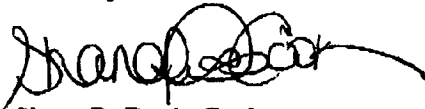
Dear Ms. Fothergill:

Pursuant to your conversation yesterday with the Village Manager, Mr. Geoffrey Biddle, the above residents' contractor was contacted regarding the height of the proposed fence. The contractor faxed a diagram, which I have attached.

Based on this diagram, the proposed height of the fence does comply with the Village Building Code's height restrictions.

If you have any questions or require additional information, please contact the Village office at (301) 654-7300.

Sincerely,



Shana R. Davis-Cook
Manager of Administration
Chevy Chase Village

Enclosures

10 Grafton Street



other fences on the same block of Grafton



