

35/15-05Y 3 Grafton Street
Chevy Chase Village Historic District, 35/13

35/13-06G 3 Grafton Street
Chevy Chase Village Historic District, 35/13

* Stamped
Dug. in
Michele's
Office.
for original
+ discussions

Josephs/Carr Residence

3 Grafton Street, Chevy Chase, Maryland 20815

Permit Revision #1

February 27th, 2006



FOX
ARCHITECTS

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SCOPE OF WORK

ADDITION/RENOVATION TO EXISTING SINGLE FAMILY HOME.

SITE INFORMATION

LOT 2 4 PART OF LOT 1,
SECTION #2 CHEVY CHASE,
MONTGOMERY COUNTY, MARYLAND

10,000 SF.

AREAS

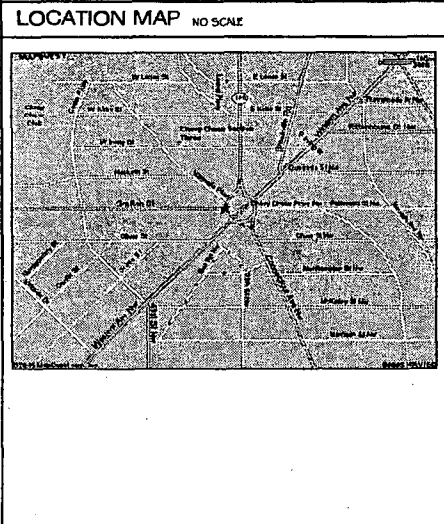
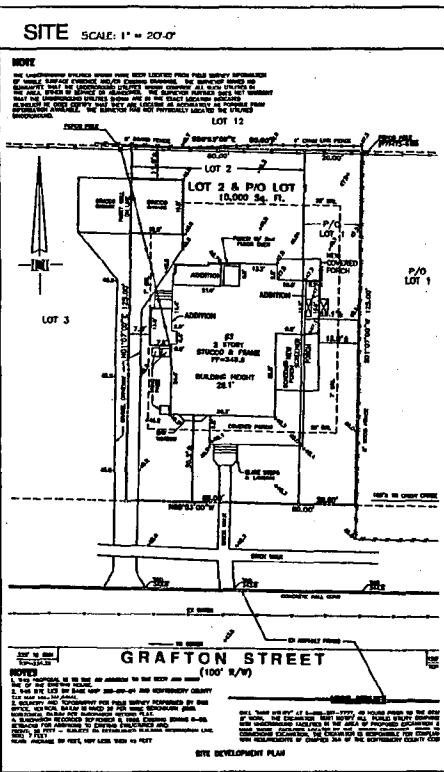
LOT COVERAGE BY BUILDING:
3619 SF PROPOSED ENCLOSURE 263 SF UNDER EXISTING ROOFS

EXISTING FOOTAGE	PROPOSED FOOTAGE
BASEMENT 911 SF	BASEMENT 311 SF
FIRST FLOOR 1619 SF	FIRST FLOOR 2106 SF
SECOND FLOOR 626 SF	SECOND FLOOR 1583 SF
ATTIC FLOOR 655 SF	ATTIC FLOOR 1191 SF

4167 SF TOTAL 6271 SF TOTAL

SYMBOLS

- EXISTING WALL
- - - DEMOLITION
- ▭ PROPOSED CONSTRUCTION
- OPEN WALL, FRESH FIVE
- DOOR MARK
- WINDOW MARK
- DETAIL
- SECTION
- INTERIOR ELEVATION
- EXTERIOR ELEVATION



GENERAL NOTES

GENERAL REQUIREMENTS

All construction shall be in conformance with the International Residential Code (IRC), 2003 edition, and Montgomery County Executive Regulation No. 24-04.

The General Contractor shall be referred to as "GC" in these notes.

The General Contractor shall read all General and Specific Notes and will be bound to their requirements.

The GC shall visit the Site and familiarize itself with the conditions under which the Work is to be performed.

The GC shall verify existing conditions which may affect the construction as shown prior to bid and construction.

The GC shall also be responsible to periodically during the progress verify all critical dimensions.

The GC shall inform the Owner and Fox Architects, P.A. (O/A) 718-2021, of any questions or conflicts with the Architectural Drawings and/or General Notes.

The Architect shall be contacted at once to resolve any conflict with the Construction Documents. If the Architect is not contacted, the GC shall accept responsibility to correct any Work installed that is not in accordance with the Drawings and/or specifications.

Drawings are not to be scaled for dimensions or areas. Verify all dimensions before proceeding with procurement of materials required for the work and coordinate all quantities with the GC. All dimensions are to the face of finish material, unless noted. The GC shall be responsible for the accuracy of all measurements and for the proper fitting of the Work.

The GC shall, for a period of one year from the date of completion and acceptance by the Owner, adjust, repair, or replace at no cost to the Owner any item of equipment, material, or workmanship found to be defective, either installed or affected within the scope of the Contract, unless specifically noted as otherwise.

BIDDING

The GC shall submit a Cost Proposal to provide all materials and labor based on these construction drawings. Before doing so, the GC shall fully acquire them self with conditions relating to construction and labor as they exist on the Site and as a condition and restrictions according to the location of the Work under the Contract. The GC and the GC's Subcontractors are responsible for reviewing all Drawings for the full scope of their Work and coordinating all interlocking items.

The GC shall submit a bid form that includes among per GC's schedule of values breakdown and a complete Construction Schedule. The Schedule should include a proposed start date and completion date.

Should the GC bid, after a week to the Site or during review of the documents, any discrepancies, omissions, ambiguities or conflicts in the Contract Documents, or be in doubt as to their meaning, they shall immediately bring them to the attention of the Architect for direction before making the cost proposal.

Unless otherwise agreed upon, General Conditions of the Contract for construction shall be AIA Document A101, 1987 Edition, Standard Form of Agreement Between Owner and Contractor - Stipulated Sum.

APPLICATIONS FOR PAYMENT

Each Application for Payment shall be consistent with previous applications and payments as certified by the Architect and paid for by the Owner.

Include amounts of Change Orders issued prior to the last day of the construction period covered by the application.

Submit 3 sequential copies of each Application for Payment to the Architect. All copies shall be complete, including waivers of lien and other attachments, when required.

Submit partial waivers on each day for the amount requested, prior to deductions for retention, on each item.

When an application shows completion of an item, submit bid of full return.

The Owner reserves the right to discontinue which articles involved in the Work must submit waivers.

CONSTRUCTION PROCEDURES

Provide administrative coordination of all work, including bonded, qualified employees and subcontractors, and supervisory personnel.

Arrange and conduct preconstruction and construction meetings with design program, consultants, and construction trades as established between Architect and GC.

CONTRACT CLARIFICATION

In the Application for Payment that complies with, or last follows, the date Substantial Completion is claimed, show 100 percent completion for the portion of work claimed as substantially complete. Include supporting documents for completion as indicated in these Contract Documents and a statement showing an Accounting of changes to the Contract Sum.

If 100 percent completion cannot be shown, include a list of incomplete items, the value of incomplete construction, and reasons the Work is not complete.

Advise Owner of pending insurance change over requirements.

Submit specific warranties, workmanship bonds, maintenance agreements, bid commitments and similar documents.

Submit record drawings, maintenance manuals, and record information. Owner tools, spare parts, extra stock, and similar items to be stored in the garage.

Make bid change-over of permanent locks and transfer keys to the Owner.

Complete start-up testing of systems, and instruction for the Owner's operating and maintenance of all systems.

Complete bid clean-up requirements, including touch-up painting, touch-up and reference repair and restore normal approved finishes.

FINAL ACCEPTANCE

Submit the final payment request with retention and supporting documentation not previously submitted and accepted.

Submit an updated bid statement, accounting for bid additional changes to the Contract Sum.

Submit a copy of the Architect's or Owner's Final List of Items to be completed or corrected, stating that each item has been completed or otherwise resolved for acceptance, and the list has been endorsed and dated by the Architect.

FINAL CLEANING

Keep the buildings and site well-organized and clean throughout the construction period.

Provide general clean up daily and complete weekly pickup and removal of all scrap and debris from the site. Exception: Reusable scrap shall be stored in a nearby maintained, designated storage area.

At completion of the Work, remove from the job site all tools and equipment, surplus materials, equipment, scrap, and debris that does not belong to the Owner.

Interior of building: inspect exterior surfaces and remove all waste materials, paint shavings, spack, stains or dirt.

Interior of building: inspect interior surfaces and remove all waste materials, paint shavings, spack, stains or dirt.

Grass: Clean mowed and outside to there are no spots or dirt, no no smudges or streaks remain from the cleaning process.

Operating hardware must perform smoothly. Repair or replace any defective work. Repair work will be undertaken. Rate repairs if work is not defective, as directed by the Architect.

FOX ARCHITECTS

THE FIRM'S OFFICE: 1111 W. 14th St. #100
ANN ARBOR, MI 48106
TEL: 734.769.1111

REVISION HISTORY

DATE	ISSUE
11.10.05	HPB REVIEW
12.02.05	OFFICE REVIEW
12.23.05	FINAL REVIEW
02.02.06	PERMIT SET
02.27.06	REVISION 1

DRAWN BY: TMD

**Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815**

PROJECT NO. 0506

Project Information

SCALE: AS NOTED

A001

REVISION HISTORY

DATE	ISSUE
11.10.05	OFFICE REVIEW
12.02.05	OFFICE REVIEW
12.15.05	OFFICE REVIEW
12.23.05	FINAL REVIEW
02.08.06	PERMIT SET
02.27.06	REVISION 1

DRAWN BY: TMD

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0506

Elevations

SCALE: AS NOTED

A400

Material Legend

- 11 EXISTING STUCCO FINISH. REPAIR AND REPAINT.
- 12 STONE VENEER. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
- 13 COAT STUCCO FINISH. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
- 14 WOOD TRIM (TYPICAL THROUGHOUT). FINISH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT, SEMI-GLOSS (EXTERIOR).
- 15 50 YR. COMPOSITION ARCHITECTURAL SHINGLE.
- 16 20oz COPPER STANDING SEAM ROOF.
- 17 1/2" STYLE ALUMINUM GUTTERS & DOWNSPOUTS.
- 18 EXISTING COLUMNS REPAIR/REPLACE AS NEEDED W/ LIKE MATERIAL AND STYLE.
- 19 PERMACAST COLUMNS BY HEMG. STYLE TO MATCH EXISTING AS CLOSE AS POSSIBLE.
- 20 GUARDRAILS AND NEWEL POSTS BY HEMG.
- 21 1 1/2" PATTERED BLUE FLAGSTONE. TYPICAL FOR PATIOS, STAIRS & TREADS.
- 22 EXISTING WOODWORK SHUTTERS & ASSOCIATED HARDWARE. REPAIR, STRIP, PRIME, PAINT & FIELD FINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).
- 23 EXISTING SLATE ROOF TO REMAIN.
- 24 SCREEN-TIGHT SCREEN SYSTEM.
- 25 EXISTING WOOD WINDOWS & DOORS TO REMAIN. REPAIR, PRIME & FIELD FINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).
- 26 WOOD TRIM PANEL. FINISH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT, SEMI-GLOSS (EXTERIOR).

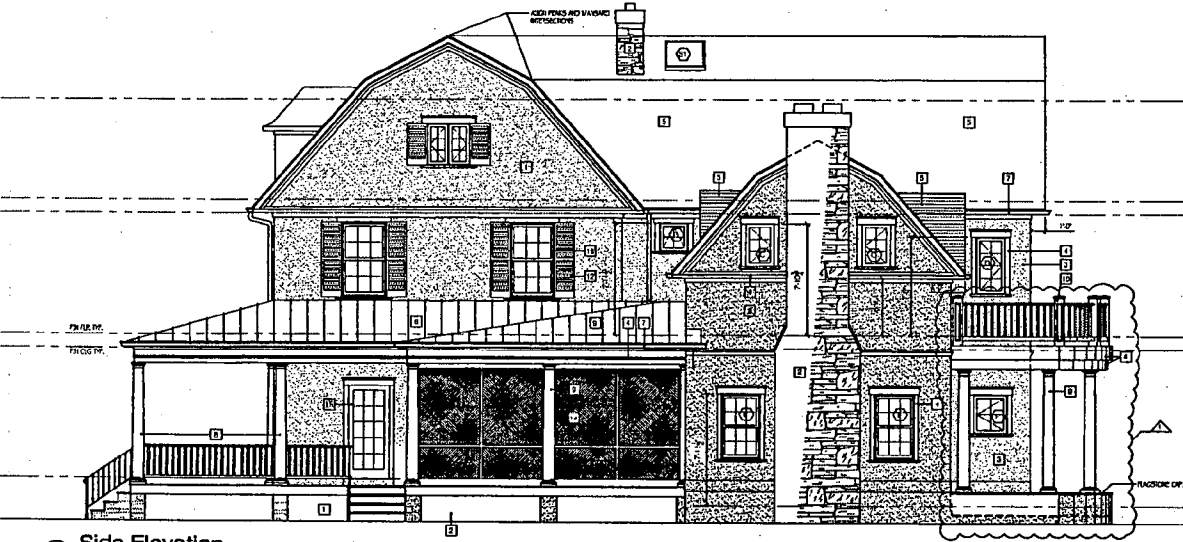
Window Schedule

MARK	ROUGH OPENING UNO	
	WIDTH	HEIGHT
A	4'-11 3/4"	4'-0"
B	2'-0"	2'-0"
C	2'-0"	3'-0 3/4"
D	2'-0"	4'-0"
E	2'-10"	4'-0 3/4"
F	2'-4 1/2"	2'-3"
G	1'-6"	3'-0 3/4"
H	3'-3 1/2"	5'-11"
J	2'-4 1/2"	3'-4"
K	2'-4 1/2"	4'-11 3/4" + 2'-0 3/4" VE
L	3'-4"	3'-4"
M	5'-0" BALUS WIDTH, # OF HAND 1 1/2" HIGH JAMB LEG	
N	2'-4 1/2"	2'-3" + 2'-0 3/4" VE
P	2'-4 1/2"	2'-3"
Q	4'-0 1/2" + 2"	0'-11 3/4" + 2'-0 3/4" VE

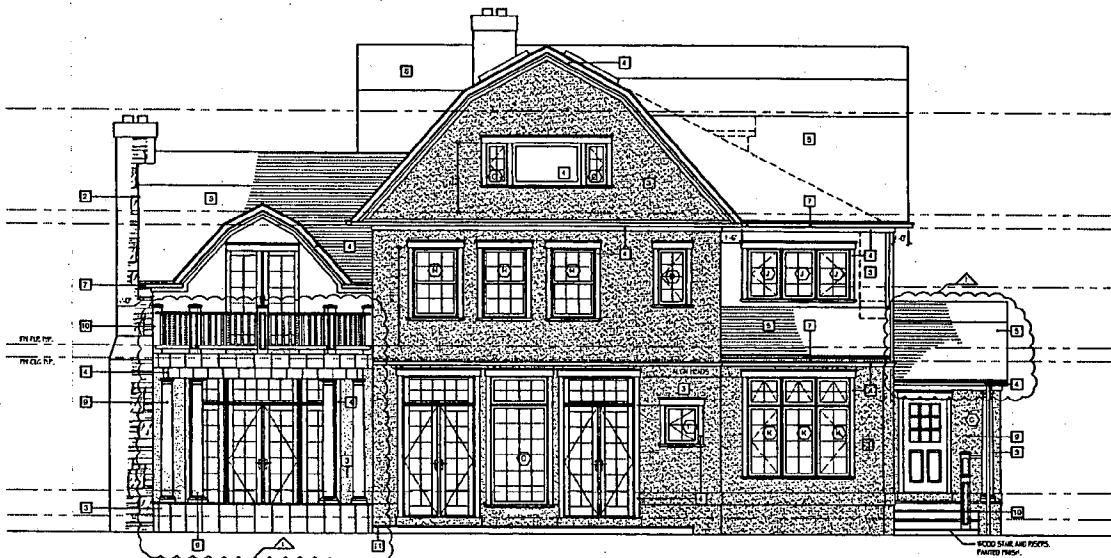
3 Window Schedule
SEE A700



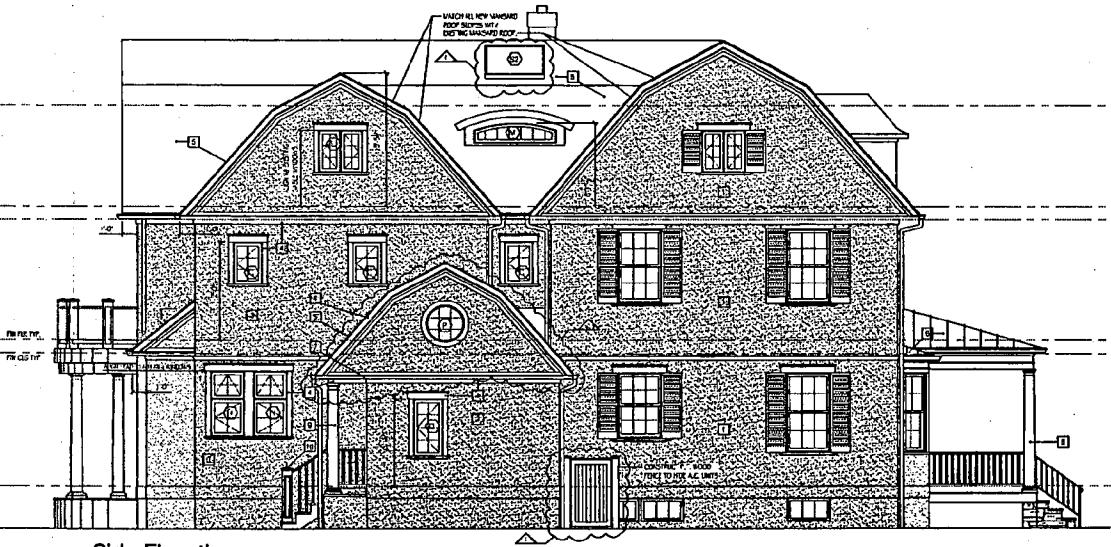
1 Front Elevation
1/4" = 1'-0"



2 Side Elevation
1/4" = 1'-0"



1 Rear Elevation
1/4" = 1'-0"



2 Side Elevation
1/4" = 1'-0"

Material Legend

1	EXISTING STUCCO FINISH, REPAIR AND REPAINT.
2	STONE VENEER, TO MATCH EXISTING AS CLOSE AS POSSIBLE.
3	3 COAT STUCCO FINISH, TO MATCH EXISTING AS CLOSE AS POSSIBLE.
4	WOOD TRIM (TYPICAL THROUGHOUT), FINISH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT, SEMI-GLOSS EXTERIOR.
5	30 YR COMPOSITION ARCHITECTURAL SHINGLE
6	30% COPPER BEANDING SHAM ROOF.
7	"C" STYLE ALUMINUM GUTTERS 1 DOWNSPOUTS.
8	EXISTING COLLARS REPAIR/REPLACE AS NEEDED W/ LIKE MATERIAL AND STILE.
9	PERMACASE COLLARS W/ REG. STILE TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10	GUARDRAILS, AND NEWEL POSTS W/ REG.
11	1 1/2" PATTERNED BLUE FLAGSTONE, TYPICAL FOR PATHS, STAIRS & TREADS.
12	EXISTING WORKING SHUTTERS & ASSOCIATED HARDWARE, REPAIR, STRIP, PRIME, PAINT & FIELD FRESH 100% ACRYLIC LATEX SEMI-GLOSS EXTERIOR.
13	EXISTING SLATE ROOF TO REMAIN.
14	SCREEN TIGHT SCREEN SYSTEM.
15	EXISTING WOOD WINDOWS & DOORS TO REMAIN, REPAIR, PRIME & FIELD FRESH 100% ACRYLIC LATEX SEMI-GLOSS EXTERIOR.
16	WOOD TRIM PANEL, FINISH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT, SEMI-GLOSS EXTERIOR.

Window Schedule

MARK	ROUGH OPENING UNO	
	WIDTH	HEIGHT
A	4'-11 1/2"	4'-0"
D	2'-0 1/2"	2'-0 1/2"
C	2'-0 1/2"	3'-0 1/2"
B	2'-0 1/2"	4'-0"
E	2'-1 1/2"	4'-8 1/2"
F	2'-4 1/2"	2'-0"
G	1'-4"	3'-0 1/2"
H	3'-3 1/2"	5'-1"
J	2'-4 1/2"	3'-0"
K	2'-4 1/2"	4'-11 1/2" + 2'-0 1/2" VF
L	3'-4"	3'-0"
M	5'-0" JAMB WIDTH, 8'-0" RAD 1 1/2" HIGH JAMB LEG	
K	2'-4 1/2"	2'-0" + 2'-0 1/2" VF
F	2'-0"	2'-0"
D	4'-0 1/2"	6'-11 1/2" + 2'-0 1/2" VF

3 Window Schedule
SEE A700

FOX
ARCHITECTS

THOMAS GEORGE PETERSON BR 10
KEY: DM
NETWORK L 100 0014
301.718.1011

REVISION HISTORY

DATE	ISSUE
11.10.20	ISSUE REVIEW
11.09.20	OFFICE REVIEW
12.19.20	OFFICE REVIEW
12.29.20	FINAL REVIEW
02.09.21	PERMIT SET
02.27.21	REVISION 1

DRAWN BY: TMD

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0506

Elevations

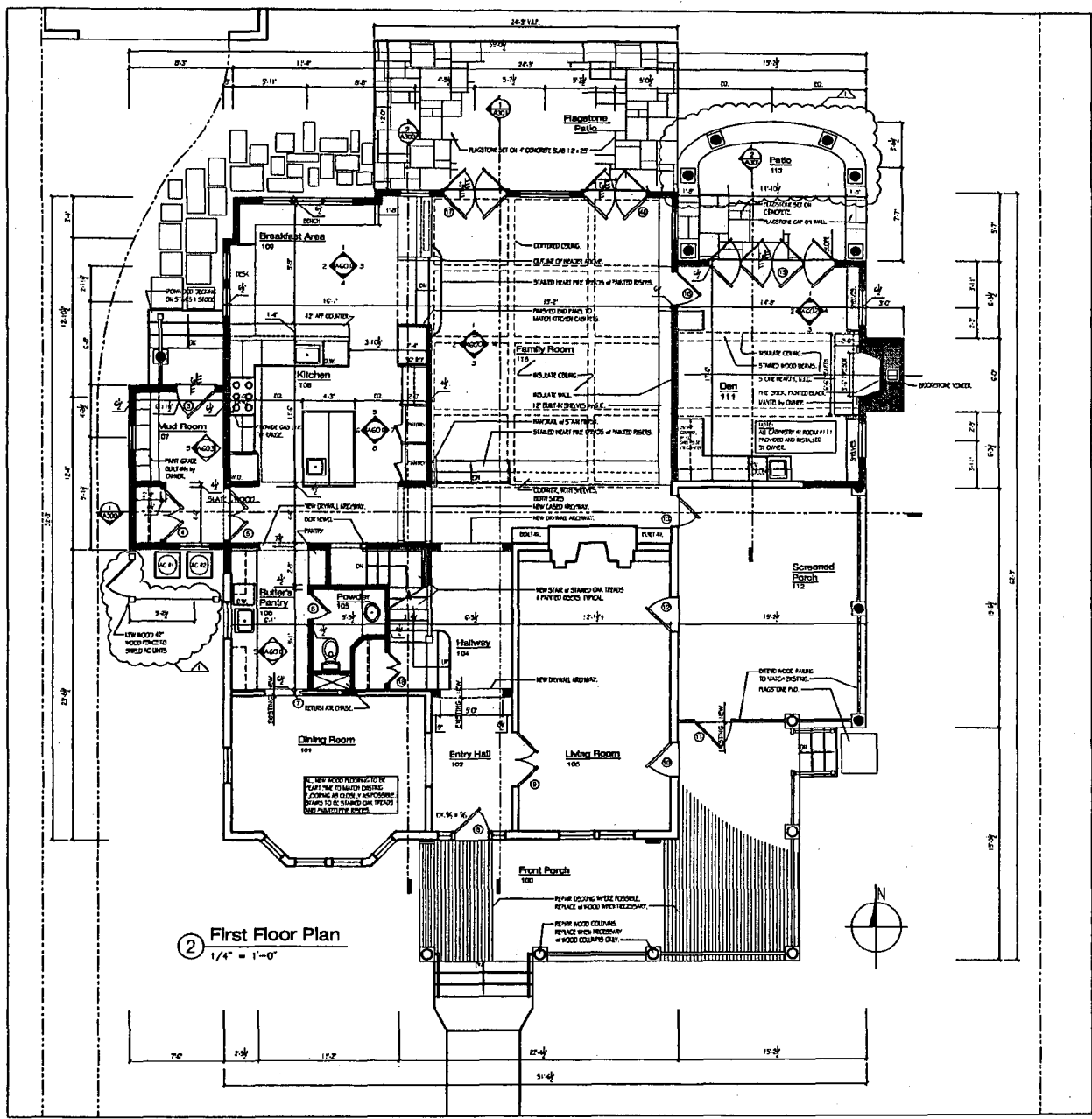
SCALE: AS NOTED

A401

Door Schedule

MARK	NOMINAL SIZE	
	WIDTH	HEIGHT
0	2'-0"	V.I.F.
1	ETR	ETR
2	ETR	ETR
3	2'-0"	7'-0"
4	PAR 2'-0"	7'-0"
5	PAR 2'-0"	7'-0"
6	2'-0"	6'-0"
7	2'-10"	6'-0"
8	V.I.F.	V.I.F.
9	V.I.F.	V.I.F.
10	V.I.F.	V.I.F.
11	3'-0"	6'-0"
12	V.I.F.	V.I.F.
13	V.I.F.	V.I.F.
14	VOID	
15	FOUR (4) 2'-0" x 2'-0"	
16	2'-10"	6'-0"
17	PAR 2'-0"	7'-11 1/2" x 2'-0"
18	PAR 1'-3"	6'-0"
19	2'-0"	7'-0"
20	2'-0"	7'-0"
21	2'-0"	7'-0"
22	2'-0"	6'-0"
23	2'-0"	7'-0"
24	2'-0"	7'-0"
25	2'-4"	6'-0"
26	2'-0"	7'-0"
27	2'-0"	7'-0"
28	2'-0"	7'-0"
29	2'-3"	7'-0"
30	2'-0"	7'-0"
31	2'-0"	7'-0"
32	2'-0"	7'-0"
33	2'-0"	7'-0"
34	3'-0"	7'-0"
35	PAR 1'-0"	7'-0"
36	PAR OF 2'-0"	6'-0"
37	PAR 2'-0"	6'-0"
38	VOID	
39	2'-0"	V.I.F.
40	2'-0"	V.I.F.
41	V.I.F.	V.I.F.
42	V.I.F.	V.I.F.
43	2'-0"	V.I.F.
44	V.I.F.	V.I.F.
45	PAR 2'-0"	V.I.F.
46	PAR 2'-0"	V.I.F.
47	3'-0"	V.I.F.
48	PAR 2'-0"	7'-11 1/2" x 2'-0"

1 Door Schedule
SEE A701



FOX ARCHITECTS

1885 OLD GEORGETOWN RD. #10
AFTON MD
MONTGOMERY COUNTY MD
301.714.3031

REVISION HISTORY

DATE	USER
11.10.05	HPSD REVIEW
12.02.05	OFFICE REVIEW
12.02.05	OFFICE REVIEW
12.23.05	FINAL REVIEW
02.28.06	FINAL SET
02.27.06	REVISION 1

DRAWN BY: TMD

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0505

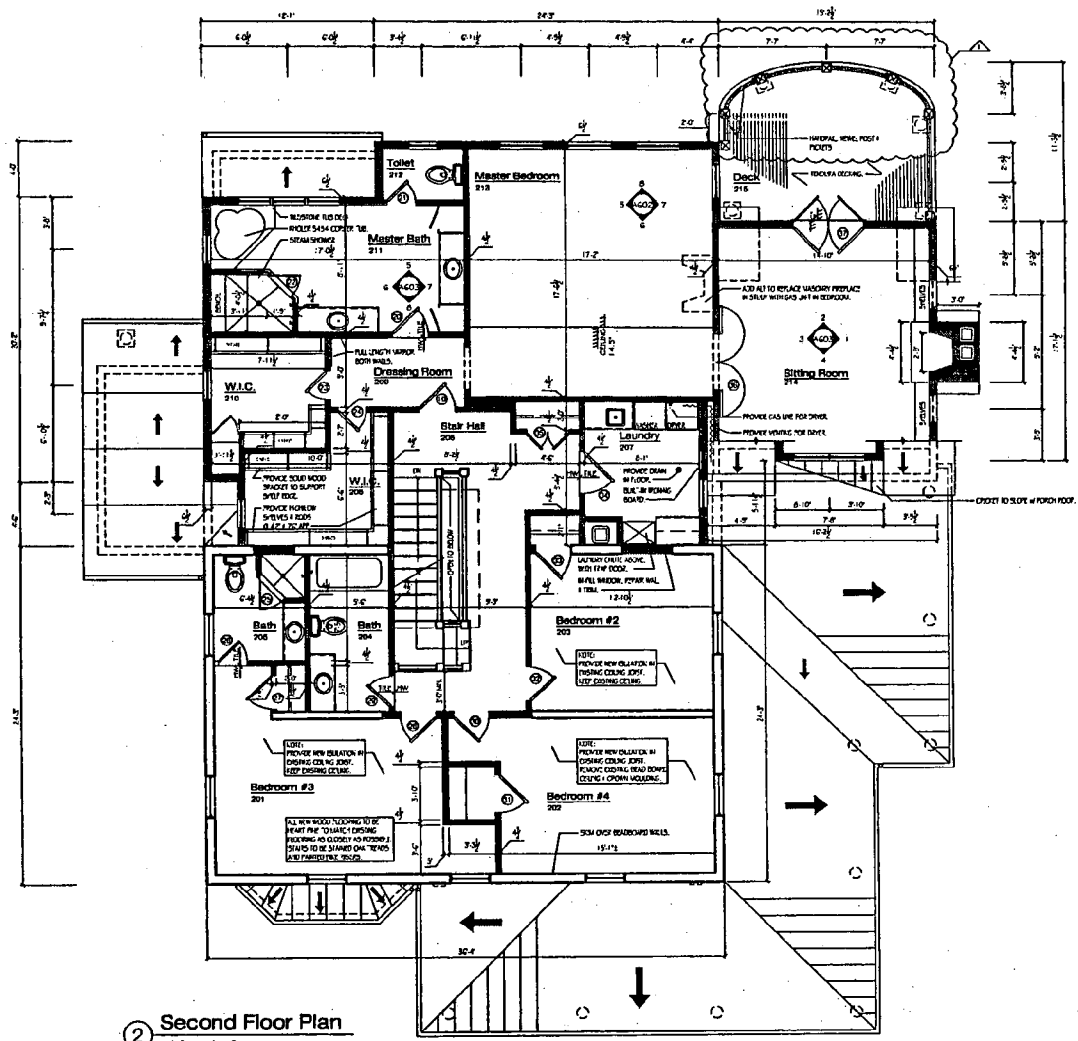
New Work
First Floor Plan

SCALE: AS NOTED

A201

Door Schedule		
MARK	NOMINAL SIZE	
	WIDTH	HEIGHT
0	2'-0"	V.I.F.
1	CR	CR
2	CR	CR
3	2'-0"	7'-0"
4	PAR 2'-0"	7'-0"
5	PAR 2'-0"	7'-0"
6	2'-0"	6'-0"
7	2'-10"	6'-0"
8	V.I.F.	V.I.F.
9	V.I.F.	V.I.F.
10	V.I.F.	V.I.F.
11	3'-0"	6'-0"
12	V.I.F.	V.I.F.
13	V.I.F.	V.I.F.
14	VOID	
15	FOUR (4) 2'-0" x 2'-0"	7'-11 1/2" x 2'-0"
16	2'-10"	8'-0"
17	PAR 2'-0"	7'-11 1/2" x 2'-0"
18	PAR 1'-3"	6'-0"
19	2'-0"	7'-0"
20	2'-0"	7'-0"
21	2'-0"	7'-0"
22	2'-0"	6'-0"
23	2'-0"	7'-0"
24	2'-0"	7'-0"
25	2'-4"	6'-0"
26	2'-0"	7'-0"
27	3'-0"	7'-0"
28	2'-3"	7'-0"
29	2'-0"	7'-0"
30	2'-0"	7'-0"
31	2'-0"	7'-0"
32	2'-0"	7'-0"
33	2'-0"	7'-0"
34	3'-0"	7'-0"
35	PAR 1'-0"	7'-0"
36	PAR 0'-0"	6'-0"
37	PAR 2'-0"	6'-0"
38	VOID	
39	2'-0"	V.I.F.
40	2'-0"	V.I.F.
41	V.I.F.	V.I.F.
42	V.I.F.	V.I.F.
43	2'-0"	V.I.F.
44	V.I.F.	V.I.F.
45	PAR 2'-0"	V.I.F.
46	PAR 2'-0"	V.I.F.
47	3'-0"	V.I.F.
48	PAR 2'-0"	7'-11 1/2" x 2'-0"

1 Door Schedule
SEE A701



2 Second Floor Plan
1/4" = 1'-0"

FOX ARCHITECTS
1000 FLEET DRIVE, CHEVY CHASE, MD 20815
SERVING THE METRO WASHINGTON AREA SINCE 1974

REVISION HISTORY	
DATE	DESCRIPTION
11.10.08	ISSUE
12.02.08	FIELD REVIEW
12.18.08	OFFICE REVIEW
12.23.08	OFFICE REVIEW
02.06.09	FINAL REVIEW
02.27.09	PERMIT SET
02.27.09	REVISION 1

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0906

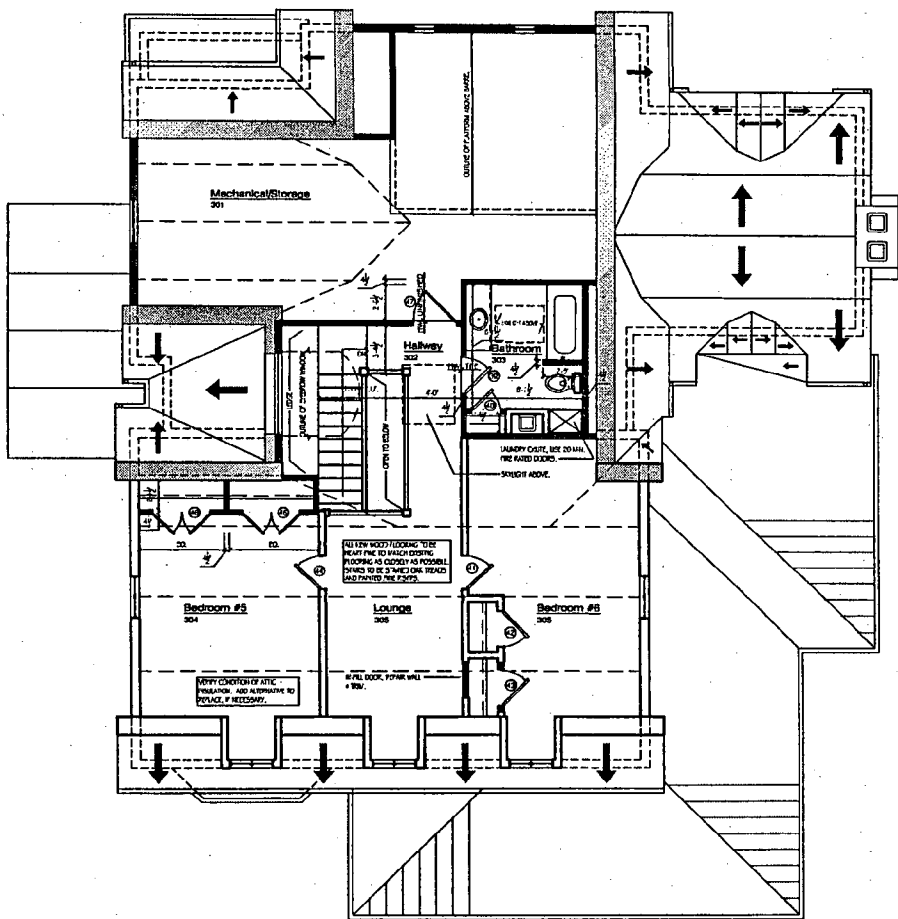
**New Work
2nd Floor
Plan**

SCALE: AS NOTED

A202

Door Schedule		
MARK	NOMINAL SIZE	
	WIDTH	HEIGHT
0	2'-0"	V.J.F.
1	CTR	CTR
2	CTR	CTR
3	2'-0"	7'-0"
4	PAIR 2'-0"	7'-0"
5	PAIR 2'-0"	7'-0"
6	2'-0"	6'-0"
7	2'-10"	6'-0"
8	V.J.F.	V.J.F.
9	V.J.F.	V.J.F.
10	V.J.F.	V.J.F.
11	3'-0"	6'-0"
12	V.J.F.	V.J.F.
13	V.J.F.	V.J.F.
14	VOID	
15	PAIR (4) 2'-0" DOORS	7'-11 1/2" + 2'-0"
16	2'-10"	6'-0"
17	PAIR 2'-0"	7'-11 1/2" + 2'-0"
18	PAIR 1'-3"	6'-0"
19	2'-0"	7'-0"
20	2'-0"	7'-0"
21	2'-0"	7'-0"
22	2'-0"	6'-0"
23	2'-0"	7'-0"
24	2'-0"	7'-0"
25	2'-4"	6'-0"
26	2'-0"	7'-0"
27	2'-0"	7'-0"
28	2'-0"	7'-0"
29	2'-3"	7'-0"
30	2'-0"	7'-0"
31	2'-0"	7'-0"
32	2'-0"	7'-0"
33	2'-0"	7'-0"
34	3'-0"	7'-0"
35	PAIR 1'-0"	7'-0"
36	PAIR OF 2'-0"	6'-0"
37	PAIR 2'-0"	6'-0"
38	VOID	
39	3'-0"	V.J.F.
40	2'-0"	V.J.F.
41	V.J.F.	V.J.F.
42	V.J.F.	V.J.F.
43	2'-0"	V.J.F.
44	V.J.F.	V.J.F.
45	PAIR 2'-0"	V.J.F.
46	PAIR 2'-0"	V.J.F.
47	3'-0"	V.J.F.
48	PAIR 2'-0"	7'-11 1/2" + 2'-0"

1 Door Schedule
SEE A701



1 Roof Plan
1/4" = 1'-0"

REVISION HISTORY	
DATE	ISSUE
11.10.03	OFFICE REVIEW
12.02.03	OFFICE REVIEW
12.19.03	OFFICE REVIEW
02.23.04	FINAL REVIEW
02.26.04	PERMIT SET
02.27.05	REVISION 1

DRAWN BY: TAD

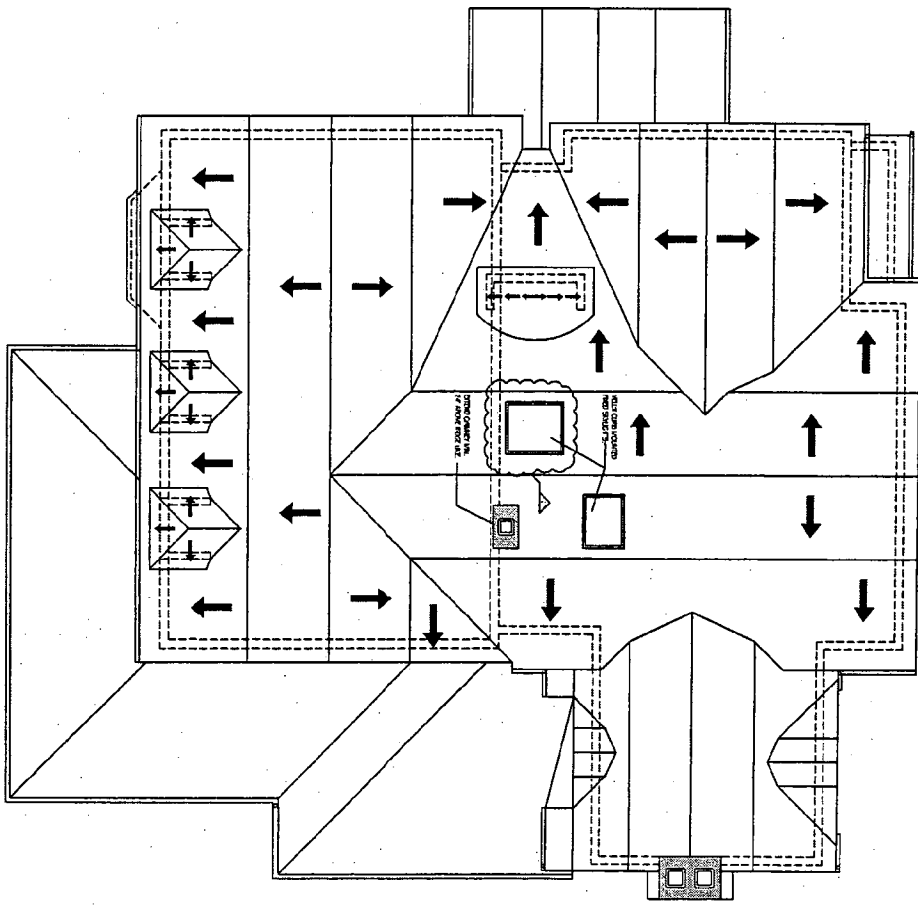
Renovation And Addition To:
The Josephs/Carr Residence
3 Crafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0506

New Work
Attic
Floor Plan

SCALE: AS NOTED

A203



① Roof Plan
1/4" = 1'-0"

FOX
ARCHITECTS

1817 1/2 STREET, N.W.
WASHINGTON, D.C. 20001
PH: 202.331.2888

PROJECT NO.	2004
DATE	1.10.05
ISSUE	1
PROJECT NO.	2004
DATE	1.10.05
ISSUE	1
PROJECT NO.	2004
DATE	1.10.05
ISSUE	1

Renovation And Addition To:
The Josepchs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

New Work
Roof Floor

A204

Josephs/Carr Residence

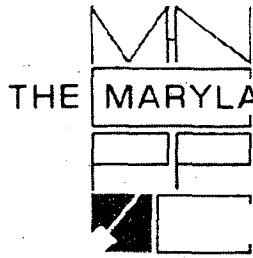
3 Grafton Street, Chevy Chase, Maryland 20815

Permit Revision #1

February 27th, 2006



FOX
ARCHITECTS




THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: March 23, 2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Michele Oaks, Senior Planner 
Historic Preservation Section, M-NCPPC

SUBJECT: Historic Area Work Permit # 413537 for revisions to the approved HAWP at 3 Grafton Street, Chevy Chase Village Historic District

The Montgomery County Historic Preservation Commission (HPC) reviewed the attached application for a Historic Area Work Permit (HAWP) at its public hearing on March 22, 2006. This application was **APPROVED**.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Robert Josephs (Michael Fox, AIA, Fox Architects)

Address: 3 Grafton Street, Chevy Chase (Chevy Chase Village Historic District)

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if they modify or make any alterations to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Trevor Draper
Daytime Phone No.: 301.718.2021

Account No.: _____
Name of Property Owner: Robert Josephs Daytime Phone No.: _____
Address: 3 Grafton St Chevy Chase MD 20815
Street Number City Street Zip Code
Contractor: TBD Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: Fox Architects Daytime Phone No.: 301.718.2021

LOCATION OF BUILDING/PREMISE

House Number: 3 Street: Grafton St
Town/City: Chevy Chase Nearest Cross Street: Chevy Chase Circle
Lot: 2, 161 Block: _____ Subdivision: Village of Chevy Chase
Liber: 18675 Folio: 422 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Reze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Roofline, Skylight, + A/C enclosure

1B. Construction cost estimate: \$ 450 000

1C. If this is a revision of a previously approved active permit, see Permit # 403712

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

1 Mar 06
Date

Approved: _____ For Chambers, Historic Preservation Commission
Disapproved: _____ Signature: Julia Date: 3/23/06
Application/Permit No.: 413537 Date Filed: 3/21/06 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*Roofline change over Mud Room Addition. Change in
shape to 1st floor patio + deck above. Addition of
second skylight to side of house. Addition of enclosure to
screen view of A/C units from the front of the house.*

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3 Grafton Street, Chevy Chase	Meeting Date:	03/22/06
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	03/15/06
Review:	HAWP	Public Notice:	03/08/06
Case No.	35/13-06G REVISION	Tax Credit:	N/A
Applicant:	Robert Josephs (Michael Fox, AIA)	Staff:	Michele Oaks

Proposal: Revisions to Approved HAWP

Recommendation: Approve

PROJECT DESCRIPTION

SIGNIFICANCE:	Contributing Resource
STYLE:	Dutch Colonial
DATE OF CONSTRUCTION:	By 1912

The original house is a three-bay, gambrel roof, stucco dwelling. The first story is detailed with an octagonal bay window and a set of 6/6 paired windows. The second story is detailed with three, single 6/6 double hung windows. The center entry surround contains a wood door flanked by partial, paneled sidelights. Most of the windows contain two, paneled louvered shutters. The front elevation is also ornamented with a wrap-around front porch. The porch fashions round Doric columns with a square, inset picket balustrade. The roof is sheathed in slate and is accentuated by three symmetrical dormers with flared hipped roofs. The dormers contain 20-light casement windows.

The current lot that the house is sited is 80' wide and 125' deep. The house is currently sited in the southern half of the lot, providing a good size rear yard. A driveway runs along the west property line and terminates at an existing garage located in the northwestern corner of the property. The property contains several large, mature trees.

PROPOSAL:

The project consists of a revision to the previously approved HAWP, which was approved at the December 7, 2005 meeting. These proposed revisions are:

Front Elevation

1. Installation of a wood, 42" high AC enclosure (7' long x 4' deep) in front of the new mud from addition.

Right Side Elevation

2. A reduction in the size of the window openings in lower level of new addition, which flank the new chimney.

Left Side Elevation

3. Adjustment in the window placement on the second floor of the addition.
4. Adjustment in the window size on the first floor of the addition.
5. Alteration to the roof form of the one-story mudroom addition. The approved plans had a smaller gambrel roof with a gable roof over entry. The proposed has the addition and the entry under a larger gambrel roof. The footprint of the mudroom has not changed.
6. Installation of a flush mount, skylight above new (already approved), eyebrow window (located on a Dutch gambrel roof on a side elevation 85' back from street).

Rear Elevation

7. Installation of sidelights flanking the French door on the first floor of the addition.
8. Reconfiguration of windows and door placement on the first and second floors of the two-story addition.

Floor Plan

9. Alteration in the patio/balcony design along the rear façade from a rectangular design to a ½ circle.
10. Installation of a set of stairs on the rear section of the porch. This is the section of the porch, which was a later addition.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should

be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

- Balconies should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibility designed.
- Fences should be subject to strict scrutiny if they detract significantly from the existing open streetscape. Otherwise, fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Skylights should be subject to strict scrutiny if visible from the public right-of-way, otherwise they should be subject to lenient scrutiny.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The proposed revisions to the approved plan are all to be located on the new additions and do not affect the historic resource. The only change in the approved footprint is a change in the rear open porch from a square porch to a ½ round design. The other proposed changes include alterations to the locations and sizes of windows on the addition and a change in the roof design for the mudroom addition. These proposed changes are sympathetic to the historic character of the original massing.

The proposed A/C enclosure is set back 80' from the road and approximately 20' from the front elevation of the house. Additionally, it is to be constructed of wood, and is to be 42" high, which is the standard, approvable height of a front yard fence.

Staff recommends that the Commission approve this revised HAWP application.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)1 & 2:

and with the Chevy Chase Village Historic District Guidelines, adopted in August 1997.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present three (3) permit sets of drawings to HPC staff for review and stamping prior to submission for building permits or the commencement of the project.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
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DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Trevor Draper
Daytime Phone No.: 301.718.2021

Tax Account No.: _____
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Street Number City Street Zip Code
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LOCATION OF BUILDING/PREMISE

House Number: 3 Street: Grafton St
Town/City: Chevy Chase Nearest Cross Street: Chevy Chase Circle
Lot: 2, plot 1 Block: _____ Subdivision: Village of Chevy Chase
Liber: 18675 Folio: 422 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Reuse
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: Roofline, Skylight, + A/C enclosure

1B. Construction cost estimate: \$ 450 000
1C. If this is a revision of a previously approved active permit, see Permit # 403712

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3A. Height: _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Trevor Draper Signature of owner or authorized agent 1 Mar 06 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 413537 Date Filed: 3/2/06 Date Issued: _____

5

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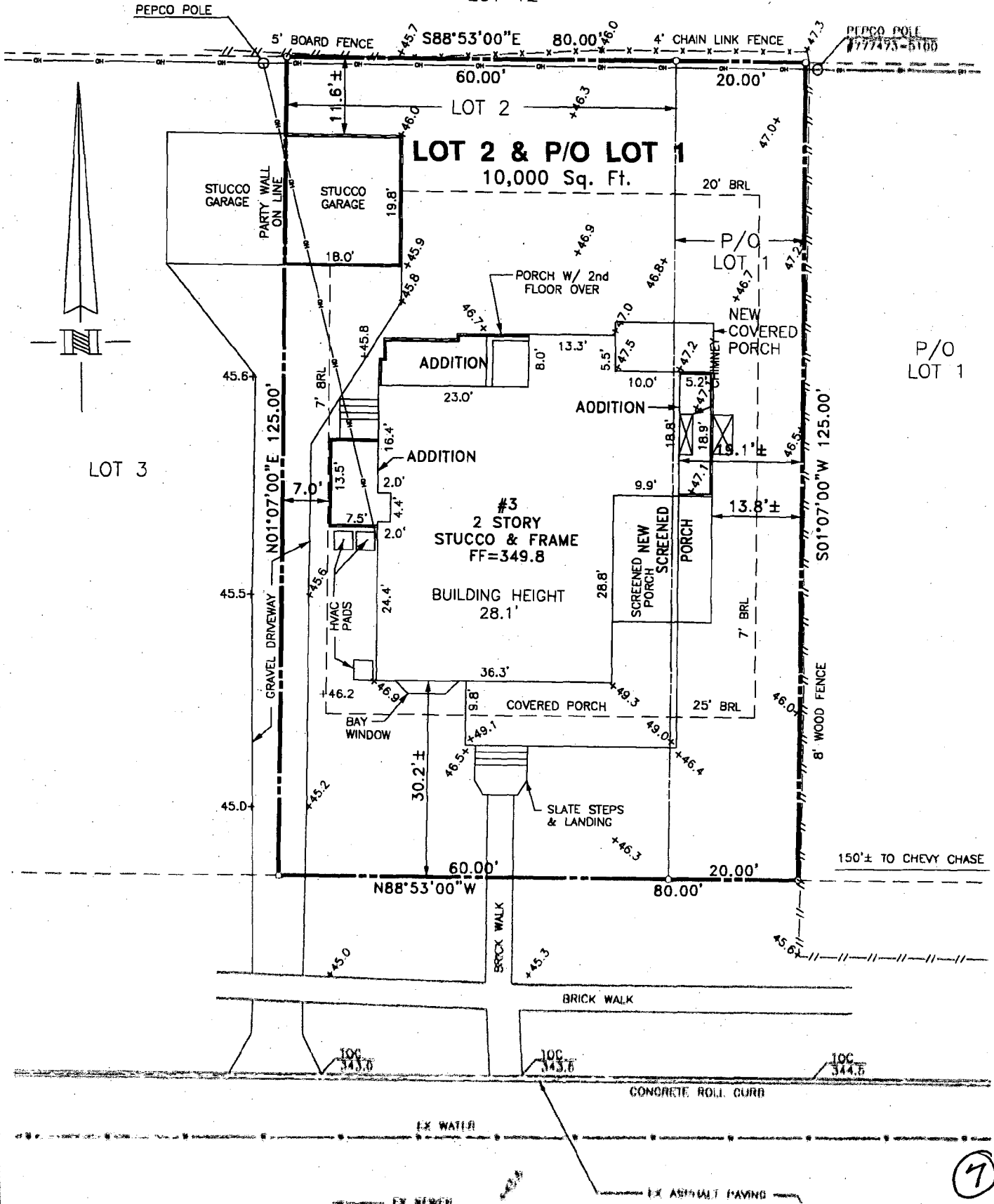
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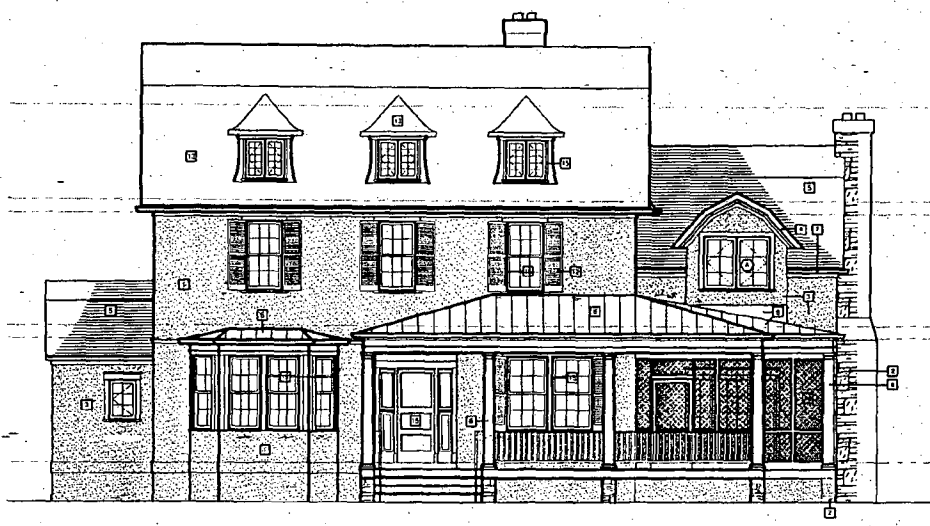
NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF VISIBLE SURFACE EVIDENCE AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UTILITIES UNDERGROUND.

LOT 12



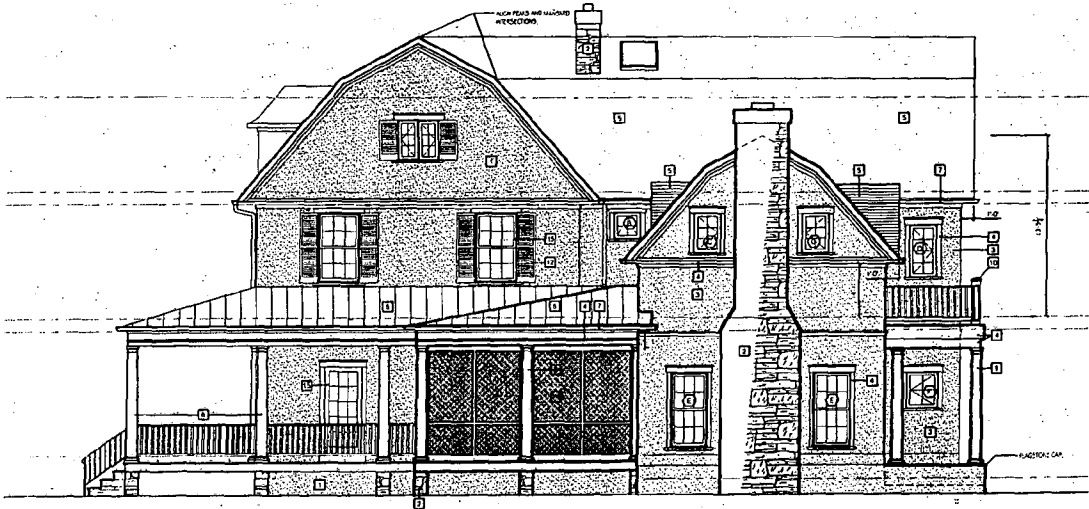
7



① Front Elevation
1/4" = 1'-0"

Material Legend

1	EXISTING STUCCO FINISH. REPAIR AND REPAINT.
2	STONE VENEER. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
3	3 COAT STUCCO FINISH. REPAIR/REMATCH EXISTING AS CLOSE AS POSSIBLE.
4	AREA PVC TRIM (TYPICAL THROUGHOUT). FINISH BY PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT, EGGSHELL EXTERIOR.
5	50 YR COMP-POSS FROM ARCHITECTURAL SHINGLE.
6	20YR COPPER STANDING SEAM ROOF.
7	1" STYLE ALUMINUM GUTTERS & DOWNSPOUTS.
8	EXISTING COLUMNS REPAIR/REPLACE AS NEEDED w/ LIKE MATERIAL AND STYLE.
9	PERMANENT COLUMNS BY IRON. STYLE TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10	PVC GUARDRAILS AND NEWEL POST BY IRON.
11	1" 1/2" PATTERED BLUE FLAGSTONE. TYPICAL FOR PATIOS, STOODS & TERRAZZOS.
12	EXISTING WORKING SHUTTERS & ASSOCIATED HARDWARE. REPAIR, PAINT & FELD FINISH 100% ACRYLIC LATEX SEMI-GLOSS EXTERIOR.
13	EXISTING SLATE ROOF. TO REMAIN.
14	SCREEN-TIGHT SCREEN SYSTEM.
15	EXISTING WOOD WINDOWS & DOORS TO REMAIN. REPAIR, PAINT & FELD FINISH 100% ACRYLIC LATEX SEMI-GLOSS EXTERIOR.



② Side Elevation
1/4" = 1'-0"

REVISION HISTORY

DATE	ISSUE
11.10.00	ISSUE REVIEW

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0505

Elevations

SCALE: AS NOTED

A400

APPROVED ELEVATIONS

22

REVISION HISTORY

DATE	ISSUE
11.10.03	HPRS REVIEW
12.03.03	OFFICE REVIEW
12.19.03	OFFICE REVIEW
12.23.03	FINAL REVIEW
02.08.04	PERMIT SET
03.27.06	REVISION 1

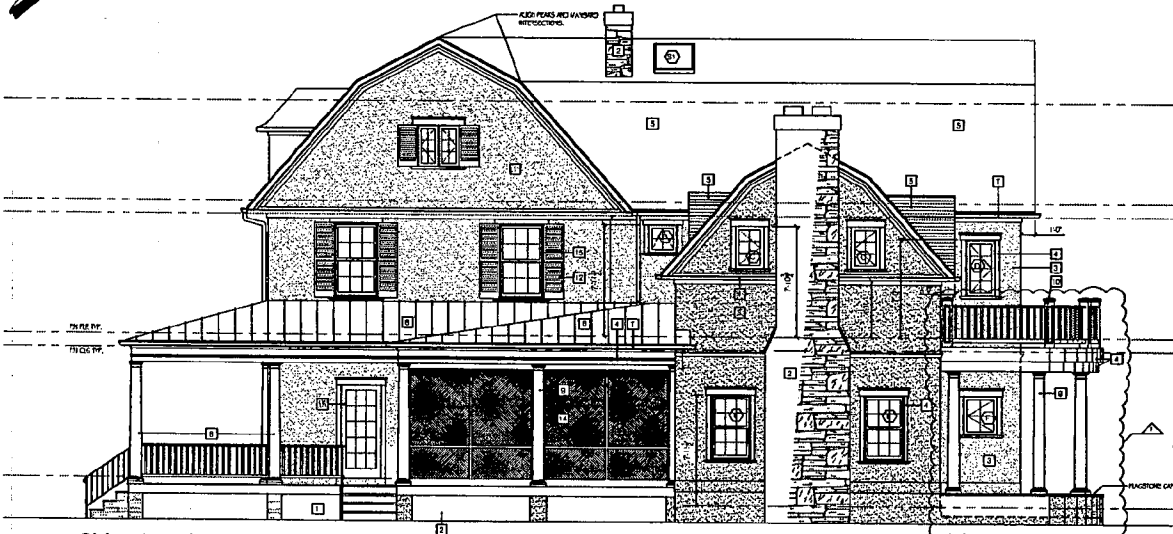
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Material Legend

1	EXISTING STUCCO FINISH. REPAIR AND REPAINT.
2	STONE VENEER. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
3	3 COAT STUCCO FINISH. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
4	WOOD TRIM (TYPICAL THROUGHOUT). FINISH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT, SEMI-GLOSS (EXTERIOR).
5	50 YR COMPOSITION ARCHITECTURAL SHINGLE.
6	200# COPPER STANDING SEAM ROOF.
7	1" STYLE ALUMINUM GUTTERS & DOWNSPOUTS.
8	EXISTING COLUMNS REPAIR/REPLACE AS NEEDED W/ LIKE MATERIAL AND STYLE.
9	PERMACAST COLUMNS BY H&MG. STYLE TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10	GUARDRAIL/PORCH AND NEWEL POST BY H&MG.
11	1 1/2" PATTERNS BLUE FLAGSTONE. TYPICAL FOR PATIOS, STAIRS & TREADS.
12	EXISTING WORKING SHUTTERS & ASSOCIATED HARDWARE. REPAIR, STIFF, PRIME, PAINT & FIELD FINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).
13	EXISTING SLATE ROOF TO REMAIN.
14	SCREEN TIGHT SCREEN SYSTEM.
15	EXISTING WOOD WINDOWS & DOORS TO REMAIN. REPAIR, PRIME & FIELD FINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).
16	WOOD TRIM PANEL. FINISH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT, SEMI-GLOSS (EXTERIOR).



1 Front Elevation
1/4" = 1'-0"



2 Side Elevation
1/4" = 1'-0"

Window Schedule

MARK	ROUGH OPENING UNO	
	WIDTH	HEIGHT
A	4'-11 1/2"	4'-0"
B	2'-0 1/2"	2'-0 1/2"
C	2'-0 1/2"	3'-0 1/2"
D	2'-0 1/2"	4'-0"
E	2'-1 1/2"	4'-8 1/2"
F	2'-4 1/2"	2'-0"
G	1'-8"	3'-0 1/2"
H	3'-0"	5'-1"
J	2'-4 1/2"	3'-4 1/2"
K	2'-4 1/2"	4'-11 1/2" + 2'-0 1/2" VP
L	3'-0"	3'-4 1/2"
M	5'-0" DIA W/TH, 8" OF RAD 1 1/2" HIGH HAND LGS	
N	2'-4 1/2"	2'-0" + 2'-0 1/2" VP
P	2'-0"	2'-0"
O	4'-0" 4'-0"	0'11 1/2" + 2'-0 1/2" VP

3 Window Schedule
SEE A700

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0506

Elevations

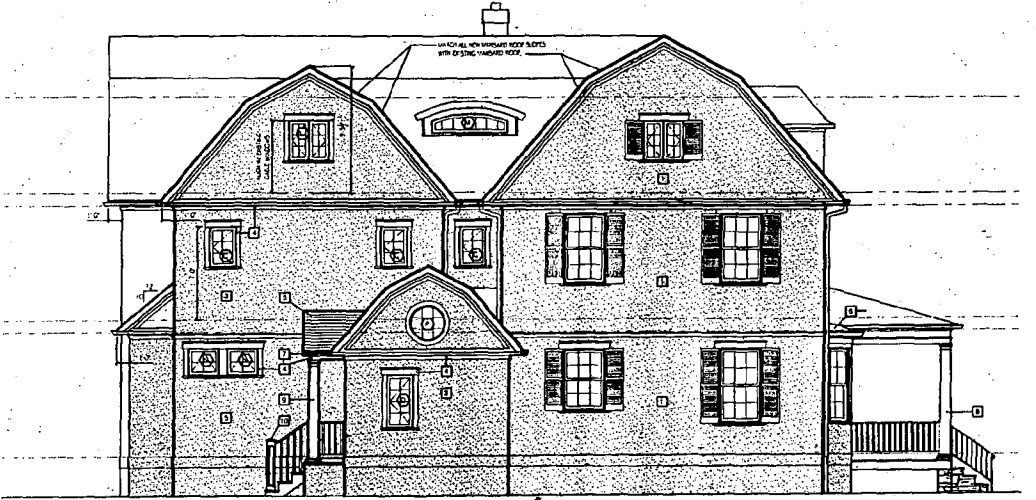
SCALE: AS NOTED

A400

6



① Rear Elevation
 1/4" = 1'-0"



② Side Elevation
 1/4" = 1'-0"

Material Legend

1	EXISTING STUCCO FINISH. REPAIR AND REFINISH.
2	STONE VENEER. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
3	3 COAT STUCCO FINISH. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
4	ALEX PVC FIRM FINISH THROUGHOUT. FINISH BY PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT. EXTERIOR.
5	30 YR COMPOSITION ARCHITECTURAL SHINGLE.
6	20YR COPPER STANDING SEAM ROOF.
7	3" STYLE ALUMINUM CLIPPERS & DOWNSPOUTS.
8	EXISTING COLUMNS REPAIRED/REPLACE AS NEEDED w/ LIKE MATERIAL AND STYLE.
9	PERMANENT EXTERIOR SCHED. 3" PILE TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10	PVC GLASS/ALUMINUM AND REVEL POST BY YONG.
11	1 1/2" PATTERNED BLUE FLAGSTONE. TYPICAL FOR PATIOS, STEPS & TERRACES.
12	EXISTING WORKING SHUTTERS & ASSOCIATED HARDWARE. REPAIR, PRIME & PAINT FINISH 100% ACRYLIC LATEX SEMI-GLOSS EXTERIOR.
13	EXISTING SLATE ROOF TO REMAIN.
14	SCREEN-NIGHT SCREEN SYSTEM.
15	EXISTING WOOD WINDOWS & DOORS TO REMAIN. REPAIR, PRIME & PAINT FINISH 100% ACRYLIC LATEX SEMI-GLOSS EXTERIOR.

REVISION HISTORY

DATE	ISSUE

DRAWN BY:

Renovation And Addition To:
 The Josephs/Carr Residence
 3 Grafton Street
 Chevy Chase, Maryland 20815

PROJECT NO. 0309

Elevations

SCALE AS NOTED

A401

APPROVED ELEVATIONS

10

REVISION HISTORY

DATE	ISSUE
1.10.05	ISSUE REVIEW
2.02.05	OFFICE REVIEW
2.15.05	OFFICE REVIEW
2.23.05	FINAL REVIEW
02.06.06	PERMIT SET
02.27.06	REVISION 1

DRAWN BY: TMD

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

Elevations

SCALE: AS NOTED

A401

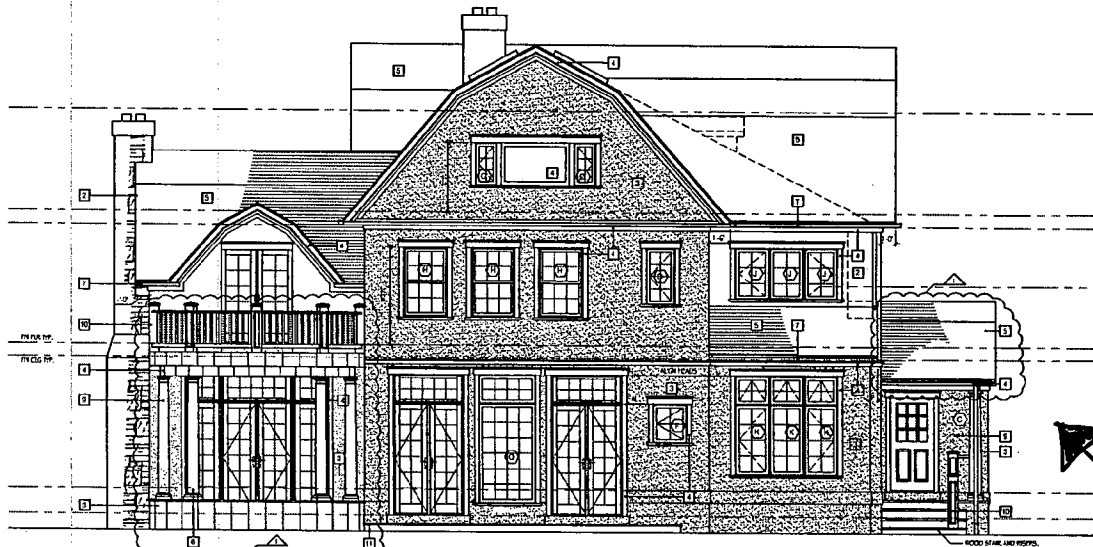
Material Legend

01	EXISTING STUCCO FINISH. REPAIR AND REPAINT.
02	STONE VENEER. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
03	3 COAT STUCCO FINISH. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
04	WOOD TRIM (TYPICAL THROUGHOUT). FRESH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT. SEMI GLOSS (EXTERIOR).
05	60 YR. COMPOSITION ARCHITECTURAL SHINGLE
06	20yr COPPER STANDING SEAM ROOF.
07	"K" STYLE ALUMINUM GUTTERS & DOWNSPUTS.
08	EXISTING COLUMNS REPAIR/REPLACE AS NEEDED w/ LIKE MATERIAL and STYLE.
09	PERMACAST COLUMNS by HERS. STYLE TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10	GUARDHANDRAIL AND NEWEL POST by HERS.
11	1 1/2" PATTERNED BLUE FLAGSTONE. TYPICAL FOR PATIOS, STAIRS & TREADS.
12	EXISTING WORKING SHUTTERS & ASSOCIATED HARDWARE. REPAIR, STRIP, PRIME, PAINT & REFINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).
13	EXISTING SLATE ROOF TO REMAIN.
14	SCREEN TIGHT SCREEN SYSTEM.
15	EXISTING WOOD WINDOWS & DOORS TO REMAIN.
16	REPAIR, PRIME & REFINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).
17	WOOD TRIM PANEL. FRESH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT. SEMI GLOSS (EXTERIOR).

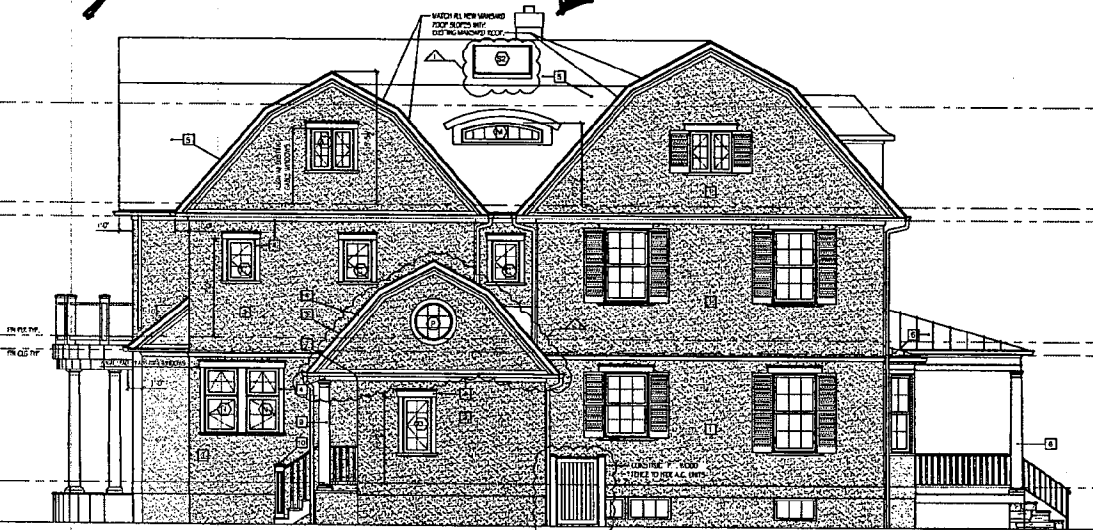
Window Schedule

MARK	ROUGH OPENING UNO	
	WIDTH	HEIGHT
A	4'-1 1/2"	4'-0"
B	2'-0"	2'-0"
C	2'-0"	3'-0"
D	2'-0"	4'-0"
E	2'-10"	4'-8 1/2"
F	2'-4 1/2"	2'-0"
G	1'-4"	3'-0"
H	3'-2"	5'-1"
J	2'-4 1/2"	3'-0"
K	2'-4 1/2"	4'-11 1/2" + 2'-0" VF
L	3'-8"	3'-0"
M	5'-6" JAMB WIDTH @ 0° RAD 1" HIGH SHARD ICC	3'-0"
N	2'-4 1/2"	3'-0" + 2'-0" VF
P	2'-0"	2'-0"
Q	4'-0" 4'-0"	0'-11 1/2" + 2'-0" VF

③ Window Schedule
SEE A700



① Rear Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

11

REVISION HISTORY	
DATE	ISSUE
11.10.09	40% REVIEW

CREATED BY:

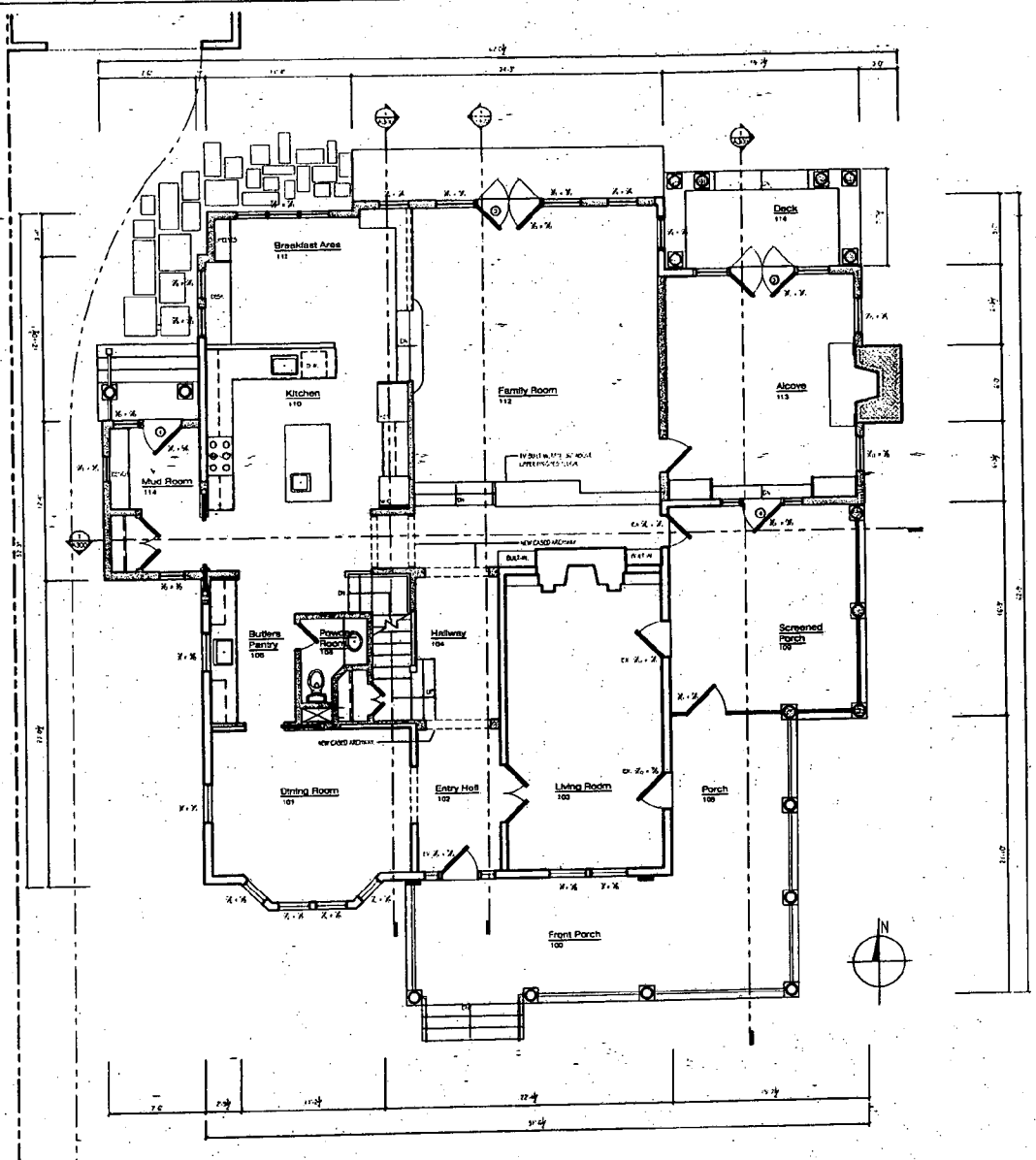
Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0508

New Work
1st Floor
Plan

SCALE: AS NOTED

A201a



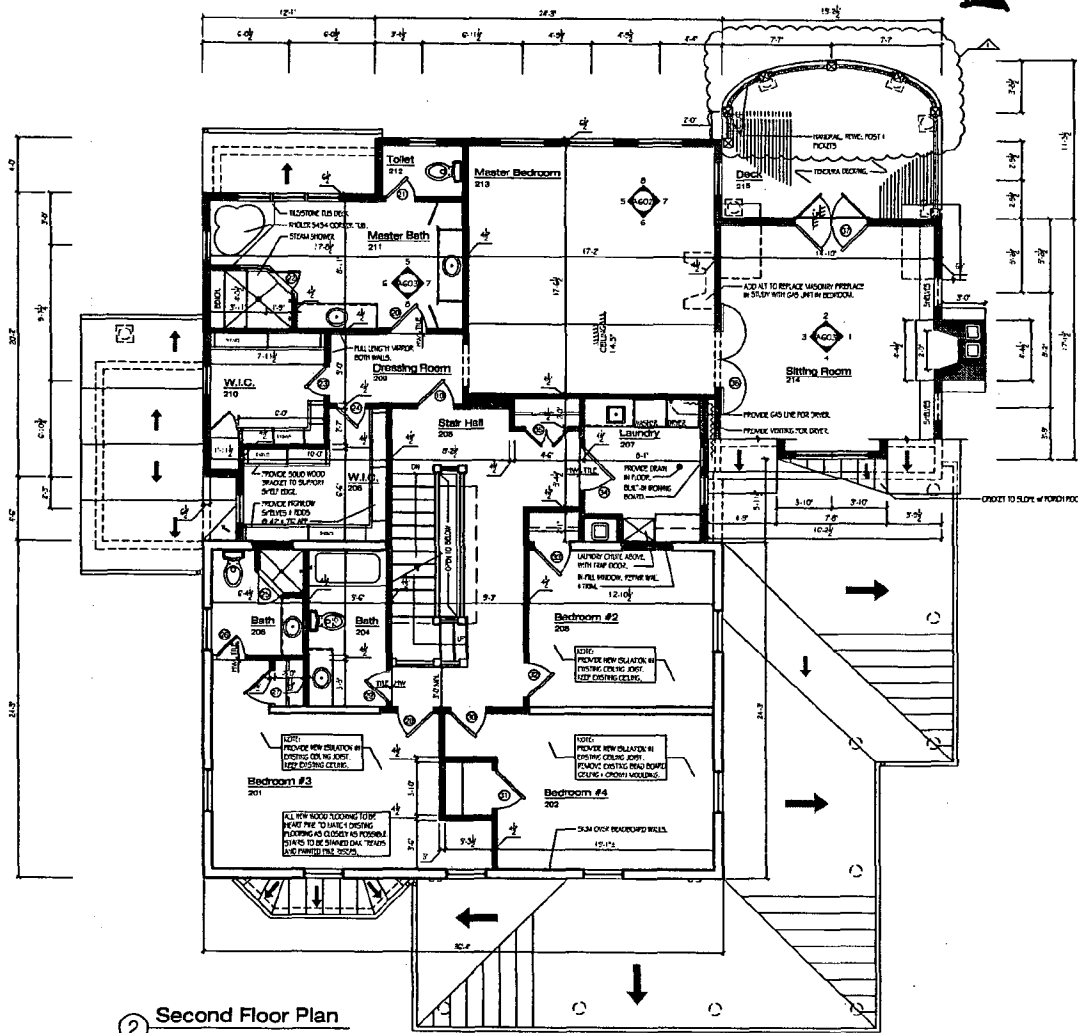
① First Floor Plan
1/4" = 1'-0"

APPROVED FIRST FLOOR PLAN

②

Door Schedule		
MARK	NOMINAL SIZE	
	WIDTH	HEIGHT
0	2'-0"	V.I.F.
1	ER	ER
2	ER	ER
3	2'-0"	7'-0"
4	PAR 2'-0"	7'-0"
5	PAR 2'-0"	7'-0"
6	2'-0"	6'-8"
7	2'-10"	6'-8"
8	V.I.F.	V.I.F.
9	V.I.F.	V.I.F.
10	V.I.F.	V.I.F.
11	2'-0"	6'-8"
12	V.I.F.	V.I.F.
13	V.I.F.	V.I.F.
14	VOID	
15	PAIR (4) 2'-0" DOORS	7'-11 1/2" x 2'-0"
16	2'-10"	6'-8"
17	PAR 2'-0"	7'-11 1/2" x 2'-0"
18	PAR 1'-3"	6'-8"
19	2'-0"	7'-0"
20	2'-0"	7'-0"
21	2'-0"	7'-0"
22	2'-6"	6'-0"
23	2'-0"	7'-0"
24	2'-0"	7'-0"
25	2'-4"	6'-0"
26	2'-0"	7'-0"
27	2'-0"	7'-0"
28	2'-0"	7'-0"
29	2'-3"	7'-0"
30	2'-0"	7'-0"
31	2'-0"	7'-0"
32	2'-0"	7'-0"
33	2'-0"	7'-0"
34	3'-0"	7'-0"
35	PAR 1'-0"	7'-0"
36	PAIR OF 2'-0"	6'-8"
37	PAR 2'-0"	6'-8"
38	VOID	
39	2'-0"	V.I.F.
40	2'-0"	V.I.F.
41	V.I.F.	V.I.F.
42	V.I.F.	V.I.F.
43	2'-0"	V.I.F.
44	V.I.F.	V.I.F.
45	PAR 2'-0"	V.I.F.
46	PAR 2'-0"	V.I.F.
47	3'-0"	V.I.F.
48	PAR 2'-0"	7'-11 1/2" x 2'-0"

1 Door Schedule
SEE A701



2 Second Floor Plan
1/4" = 1'-0"

FOX
ARCHITECTS

3885 BELD GEOMETRYWAY BUILD
SUITE 104
BETHESDA, MD 20814
301.719.3811

REVISION HISTORY	
DATE	ISSUE
11.10.05	3RD REVIEW
12.02.05	OFFICE REVIEW
12.19.05	OFFICE REVIEW
12.23.05	FINAL REVIEW
02.05.06	FINAL SET
02.27.06	REVISION 1

DRAWN BY: TMD

Renovation And Addition To:
The Josephs/Carr Residence
3 Crafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0508

New Work
2nd Floor
Plan

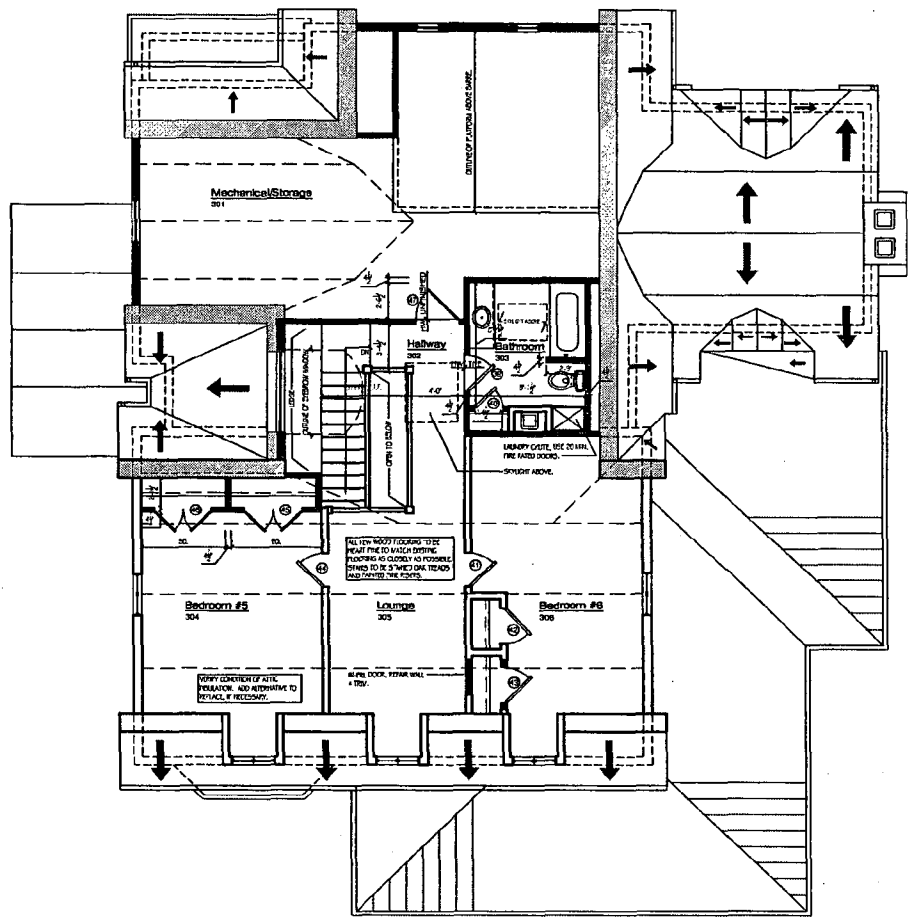
SCALE: AS NOTED

A202

147

MARK	NOMINAL SIZE	
	WIDTH	HEIGHT
0	2'-0"	V.I.F.
1	6'-0"	6'-0"
2	6'-0"	6'-0"
3	2'-0"	7'-0"
4	PARR 2'-0"	7'-0"
5	PARR 2'-0"	7'-0"
6	2'-0"	6'-0"
7	2'-10"	6'-0"
8	V.I.F.	V.I.F.
9	V.I.F.	V.I.F.
10	V.I.F.	V.I.F.
11	3'-0"	6'-0"
12	V.I.F.	V.I.F.
13	V.I.F.	V.I.F.
14	VOID	
15	PAIR (4) 2'-0" DOORS	7'-11 1/2" + 2'-0"
16	2'-10"	6'-0"
17	PARR 2'-0"	7'-11 1/2" + 2'-0"
18	PARR 1'-3"	6'-0"
19	2'-0"	7'-0"
20	2'-0"	7'-0"
21	2'-0"	7'-0"
22	2'-0"	6'-0"
23	2'-0"	7'-0"
24	2'-0"	7'-0"
25	2'-4"	6'-0"
26	2'-0"	7'-0"
27	2'-0"	7'-0"
28	2'-0"	7'-0"
29	2'-3"	7'-0"
30	2'-0"	7'-0"
31	2'-0"	7'-0"
32	2'-0"	7'-0"
33	2'-0"	7'-0"
34	3'-0"	7'-0"
35	PARR 1'-0"	7'-0"
36	PARR OF 2'-0"	6'-0"
37	PARR 2'-0"	6'-0"
38	VOID	
39	2'-0"	V.I.F.
40	3'-0"	V.I.F.
41	V.I.F.	V.I.F.
42	V.I.F.	V.I.F.
43	2'-0"	V.I.F.
44	V.I.F.	V.I.F.
45	PARR 2'-0"	V.I.F.
46	PARR 2'-0"	V.I.F.
47	2'-0"	V.I.F.
48	PARR 2'-0"	7'-11 1/2" + 2'-0"

1 Door Schedule
SEE A701



1 Roof Plan
1/4" = 1'-0"

FOX
ARCHITECTS

THIS FIRM OFFICE: 2000 WOODBURN ROAD
SAYLIE, MD
BETHESDA, MD 20814
301-716-2800

DATE	ISSUE
11.10.05	ISSUE REVIEW
12.02.05	OFFICE REVIEW
12.19.05	OFFICE REVIEW
12.23.05	FINAL REVIEW
02.05.06	PERMIT SET
02.27.06	REVISION 1

DRAWN BY: TUD

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Cherry Chase, Maryland 20815

PROJECT NO: 0508

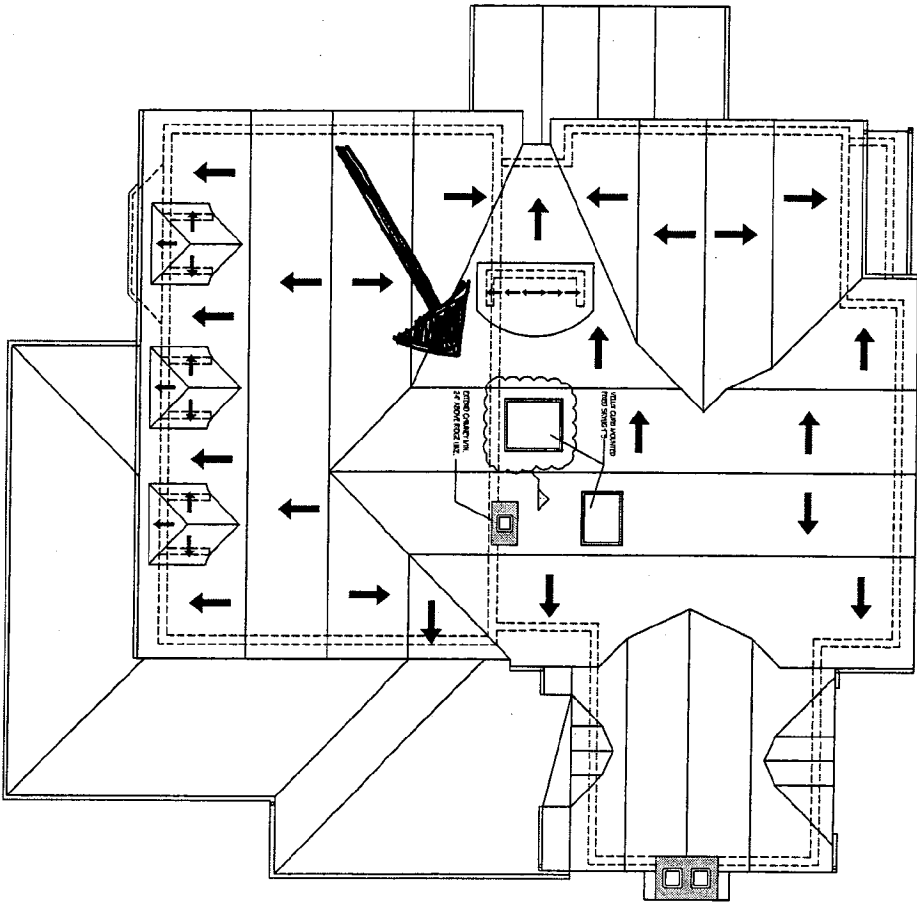
New Work
Attic
Floor Plan

SCALE: AS NOTED

A203

15

16



1 Roof Plan
 1/8" = 1'-0"

FOX
 ARCHITECTS

1000 W. GREENGROVE ROAD
 SUITE 200
 BETHESDA, MD 20814
 PH: 301.281.1111

REVISION HISTORY	DATE	ISSUE
1.1.0.0	11/10/05	PERM REVIEW
1.2.0.0	12/15/05	PERM REVIEW
1.3.0.0	02/08/06	PERM REVIEW
1.4.0.0	02/27/06	PERM REVIEW

Renovation And Addition To:
 The Josephs/Carr Residence
 3 Grafton Street
 Chevy Chase, Maryland 20815

New Work
 Roof Floor

A204



① Front Corner
No Scale



② Driveway Side
No Scale



③ Existing Screened Porch
No Scale



④ Driveway Side/Rear
No Scale



⑤ View From Grafton Street
No Scale



⑥ Rear
No Scale



⑦ Full Front View
No Scale

FOX
ARCHITECTS

THE OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MD 20814
301.738.8033

REVISION HISTORY
DATE ISSUE
FILED: P/PM REVIEW

DRAWN BY:

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0208

Existing
Photo
Documentation

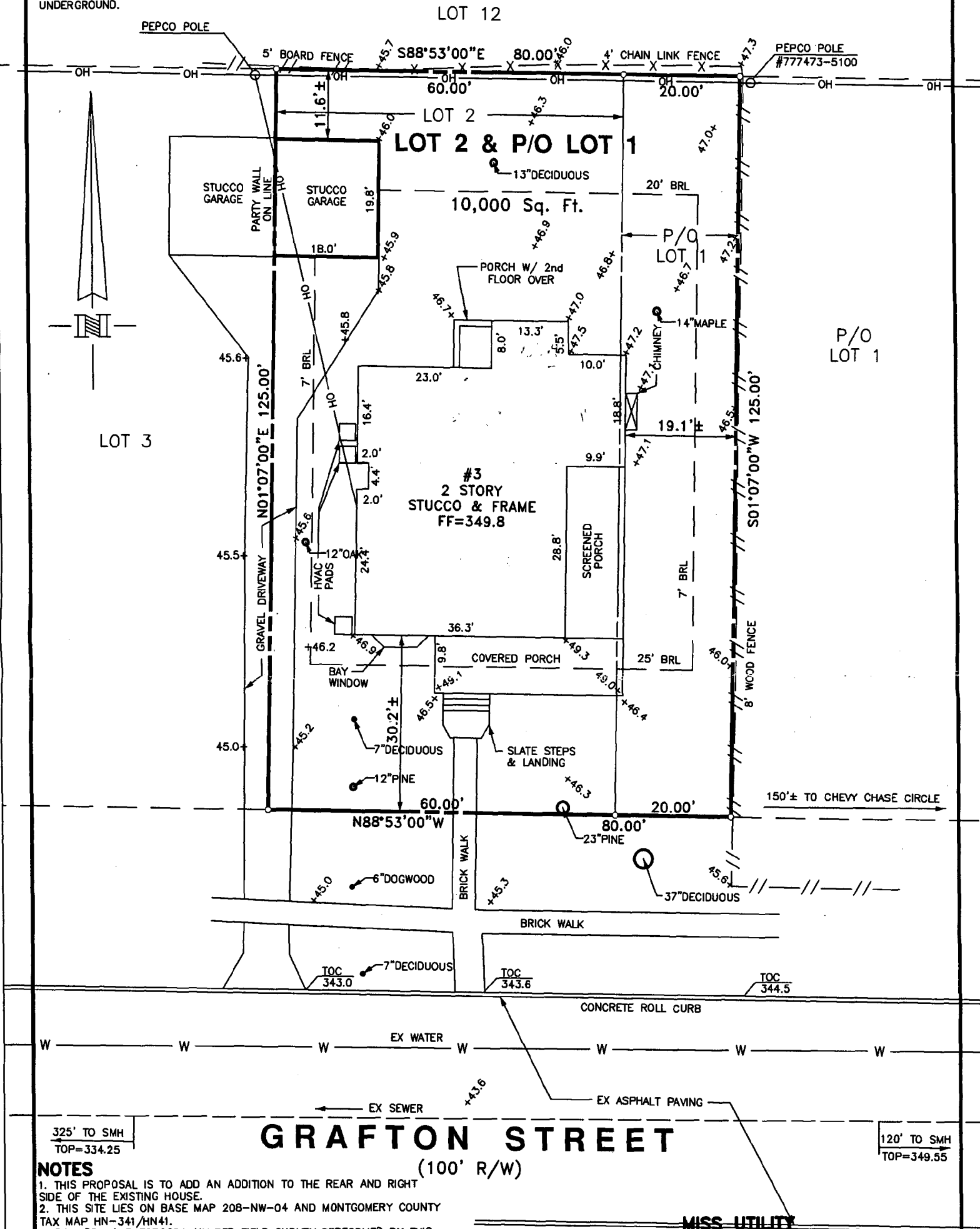
SCALE: AS NOTED

A001

17

NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF VISIBLE SURFACE EVIDENCE AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UTILITIES UNDERGROUND.



NOTES

1. THIS PROPOSAL IS TO ADD AN ADDITION TO THE REAR AND RIGHT SIDE OF THE EXISTING HOUSE.
2. THIS SITE LIES ON BASE MAP 208-NW-04 AND MONTGOMERY COUNTY TAX MAP HN-341/HN41.
3. BOUNDARY AND TOPOGRAPHY PER FIELD SURVEY PERFORMED BY THIS OFFICE. VERTICAL DATUM IS NVGD 29 PER WSSC BENCHMARK #869. HORIZONTAL DATUM PER SUBDIVISION RECORD PLAT.
4. SUBDIVISION RECORDED SEPTEMBER 9, 1909. EXISTING ZONING R-60. SETBACKS FOR ADDITIONS TO EXISTING STRUCTURES ARE:
FRONT: 25 FEET - SUBJECT TO ESTABLISHED BUILDING RESTRICTION LINE.
SIDE: 7 FEET
REAR: AVERAGE 20 FEET, NOT LESS THEN 15 FEET

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

FOWLER ASSOCIATES, INC.
Civil Engineers • Land Surveyors • Planners

255 North Washington Street
Suite 300, Rockville, Md. 20850
Phone: (301) 782-2377

SITE DEVELOPMENT PLAN

PROPERTY OF R. G. JOSEPHS & G. M. CARR
RECORDED IN LIBER 18675 AT FOLIO 422
ALSO BEING LOT 2 AND PART OF LOT 1
SECTION No. 2 - CHEVY CHASE
RECORDED IN PLAT BOOK B AT PLAT 47

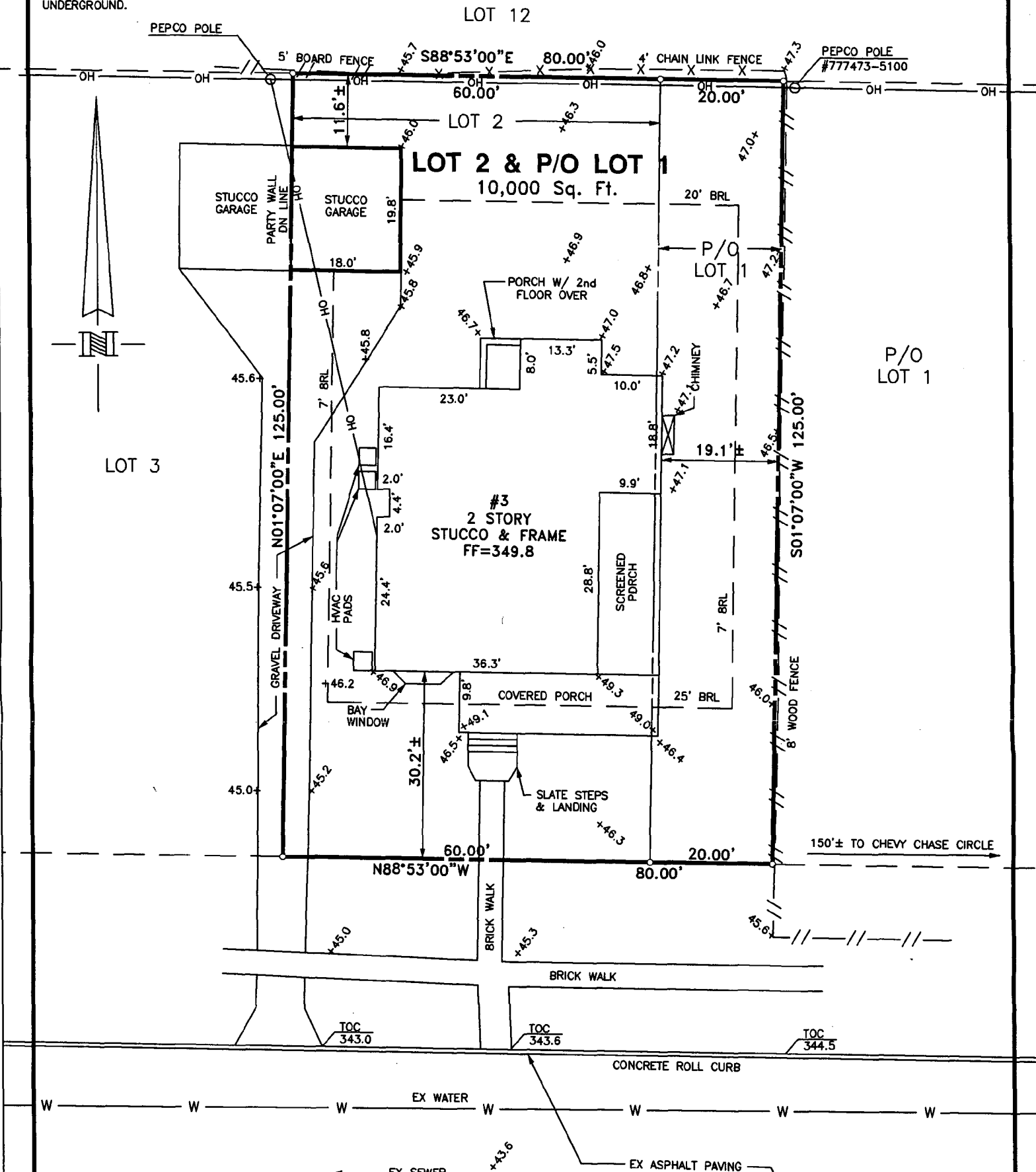
BETHESDA ELECTION DISTRICT No. 7 MONTGOMERY COUNTY, MARYLAND

DATE: 06/07/05 SCALE: 1"=20' DRAWN BY: JDJ JOB NO.: 83-024-2 SHEET: 1 OF 1

TREE SURVEY

NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF VISIBLE SURFACE EVIDENCE AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UTILITIES UNDERGROUND.



NOTES

1. THIS PROPOSAL IS TO ADD AN ADDITION TO THE REAR AND RIGHT SIDE OF THE EXISTING HOUSE.
2. THIS SITE LIES ON BASE MAP 208-NW-04 AND MONTGOMERY COUNTY TAX MAP HN-341/HN41.
3. BOUNDARY AND TOPOGRAPHY PER FIELD SURVEY PERFORMED BY THIS OFFICE. VERTICAL DATUM IS NVDG 29 PER WSSC BENCHMARK #869. HORIZONTAL DATUM PER SUBDIVISION RECORD PLAT.
4. SUBDIVISION RECORDED SEPTEMBER 9, 1909. EXISTING ZONING R-60. SETBACKS FOR ADDITIONS TO EXISTING STRUCTURES ARE:
FRONT: 25 FEET - SUBJECT TO ESTABLISHED BUILDING RESTRICTION LINE.
SIDE: 7 FEET
REAR: AVERAGE 20 FEET, NOT LESS THEN 15 FEET

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

FOWLER ASSOCIATES, INC.
Civil Engineers • Land Surveyors • Planners
255 North Washington Street
Suite 300, Rockville, Md. 20850
Phone: (301) 762-2377

SITE DEVELOPMENT PLAN
PROPERTY OF R. G. JOSEPHS & G. M. CARR
RECORDED IN LIBER 18675 AT FOLIO 422
ALSO BEING LOT 2 AND PART OF LOT 1
SECTION No. 2 - CHEVY CHASE
RECORDED IN PLAT BOOK B AT PLAT 47
BETHESDA ELECTION DISTRICT No. 7 MONTGOMERY COUNTY, MARYLAND

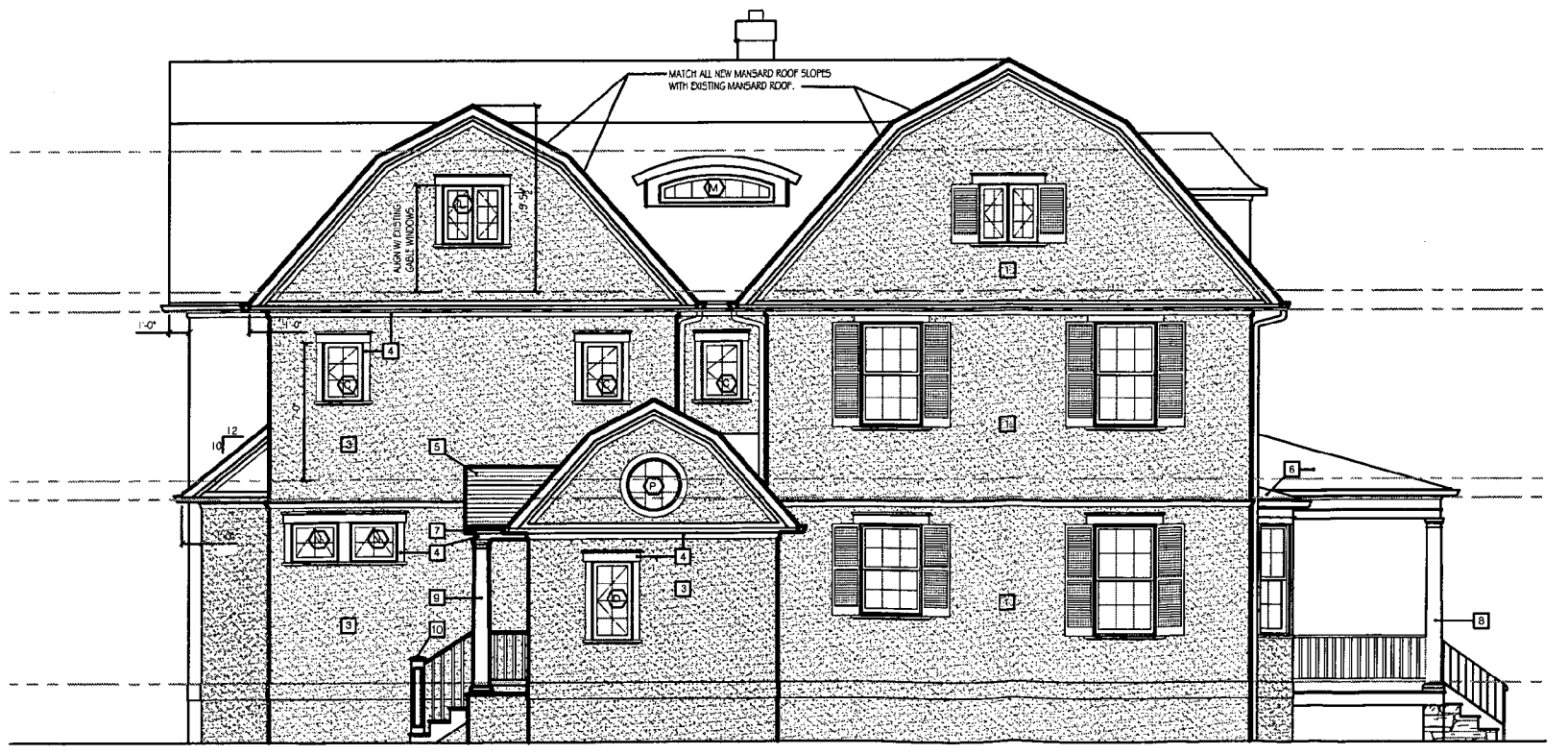
DATE: 06/07/05 SCALE: 1"=20' DRAWN BY: JDJ JOB NO.: 83-024-2 SHEET: 1 OF 1

REVISION HISTORY	
DATE	ISSUE
11.10.05	HPRB REVIEW

DRAWN BY:



① Rear Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

Material Legend

1	EXISTING STUCCO FINISH. REPAIR AND REPANT.
2	STONE VENEER. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
3	3 COAT STUCCO FINISH. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
4	AZEK PVC TRIM (TYPICAL THROUGHOUT). FINISH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT, EGGSHELL (EXTERIOR).
5	50 YR COMPOSITION ARCHITECTURAL SHINGLE
6	20oz COPPER STANDING SEAM ROOF.
7	"K" STYLE ALUMINUM GUTTERS & DOWNSPOUTS.
8	EXISTING COLUMNS REPAIR/REPLACE AS NEEDED w/ LIKE MATERIAL and STYLE.
9	PERMACAST COLUMNS by HD4G. STYLE TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10	PVC GUARDHANDRAIL AND NEWEL POST by HD4G.
11	1 1/2" PATTERNED BLUE FLAGSTONE. TYPICAL FOR PATIOS, STOOPS & TREADS.
12	EXISTING WORKING SHUTTERS & ASSOCIATED HARDWARE. REPAIR, PRIME & FIELD FINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).
13	EXISTING SLATE ROOF TO REMAIN.
14	SCREEN-TIGHT SCREEN SYSTEM.
15	EXISTING WOOD WINDOWS & DOORS TO REMAIN. REPAIR, PRIME & FIELD FINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

Elevations

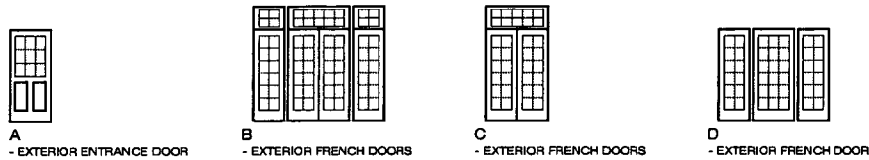
SCALE: AS NOTED

A401

Door Schedule

MARK	NOMINAL SIZE		TYPE	CORE	MANUFAC.	MDEL #	FINISH	HARDWARE	DOOR FRAME		REMARKS
	WIDTH	HEIGHT							TYPE	FINISH	
1	3'-0"	6'-8"	A	SOLID	SIMPSON	7944	P-2	A	WOOD	P-2	EXTERIOR ENTRANCE DOOR
2	PAIR 2'-8" + 2'-6" SIDES	7'-11 1/2" + 2'-0"	B	SOLID	LOEWEN	SEE REMARKS	P-2	A	WOOD	P-2	TD 0721/FD2 1521/TD0721 + TDT1 0708/FDT2 1206/TDT1 0708
3	PAIR 2'-8" + 2'-0"	7'-11 1/2" + 2'-0"	C	SOLID	LOEWEN	FD2 1521 +FDT2 1206	P-2	A	WOOD	P-2	-
4	3'-0" + 1'-6" SIDES	6'-8 1/2"	D	SOLID	LOEWEN	SEE REMARKS	P-2	A	WOOD	P-2	TD1 0420/TD1 0620/TD1 0420 -

DOOR SCHEDULE NOTES: ***** GC SHALL PROVIDE DOOR MANUFACTURER'S SUBMITTAL FOR ARCHITECT'S REVIEW PRIOR TO FINALIZING ORDER. *****



- DOOR NOTES: SEE ELEVATIONS & DETAILS FOR MILLING & TRIM DETAILS
 1) CLAD WOOD EXTERIOR, COLOR TO BE DETERMINED.
 2) PRIMED WOOD INTERIOR.
 3) GLAZING TO BE 3/8" IG, TEMPERING AS NOTED.
 4) MUNTIN PATTERNS AS NOTED, IF SHOWN, SGL, 7/8".
 5) JAMB EXTENSIONS PROVIDED WHERE NOTED - TO BE FACTORY APPLIED.
 6) ALL FRENCH DOORS TO BE TEMPERED.
 7) DOORS WITH TRANSOMS TO BE MILLED AS SINGLE UNIT.
 8) HARDWARE FINISH - T.D.D.
 9) DOOR HINGES TO MATCH HARDWARE OF SAME UNIT.
 10) PROVIDE SCREENS AT IN-SWING & SLIDING DOORS; COLOR TO MATCH CLADDING.
 11) SEE PLANS & ELEVATIONS FOR HINGING INFORMATION.

Hardware Schedule

MARK	DESCRIPTION (PROVIDE HINGES TO MATCH HARDWARE)
A	ENTRANCE: KEYPED DEADBOLT EXTERIOR WITH FINGER-TWIST INTERIOR AND KEYPED HANDLE GRIP AT EXTERIOR
B	
C	

HARDWARE SCHEDULE NOTES:

REVISION HISTORY

DATE	ISSUE
11.10.05	HPRB REVIEW

DRAWN BY:

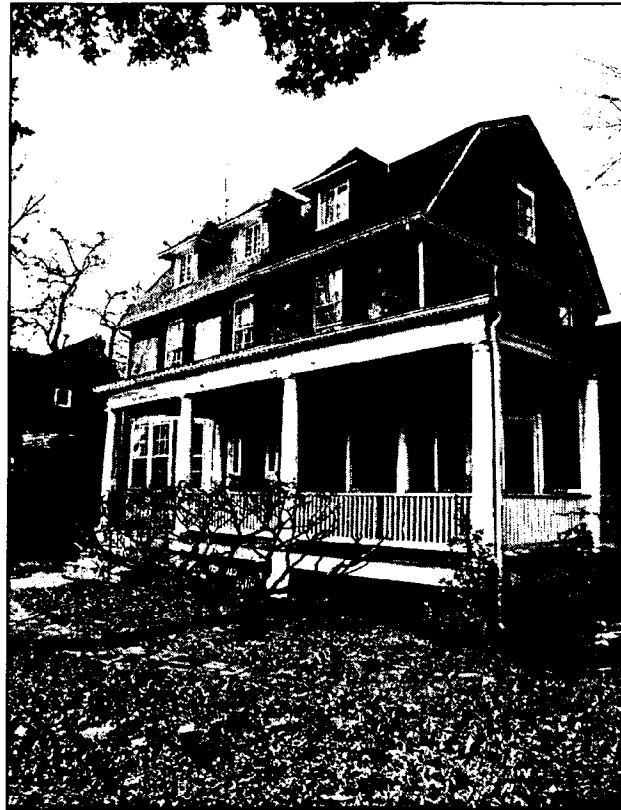
Renovation And Addition To:
 The Josephs/Carr Residence
 3 Grafton Street
 Chevy Chase, Maryland 20815

PROJECT NO: 0508

**Door Schedule
& Details**

SCALE: AS NOTED

A701



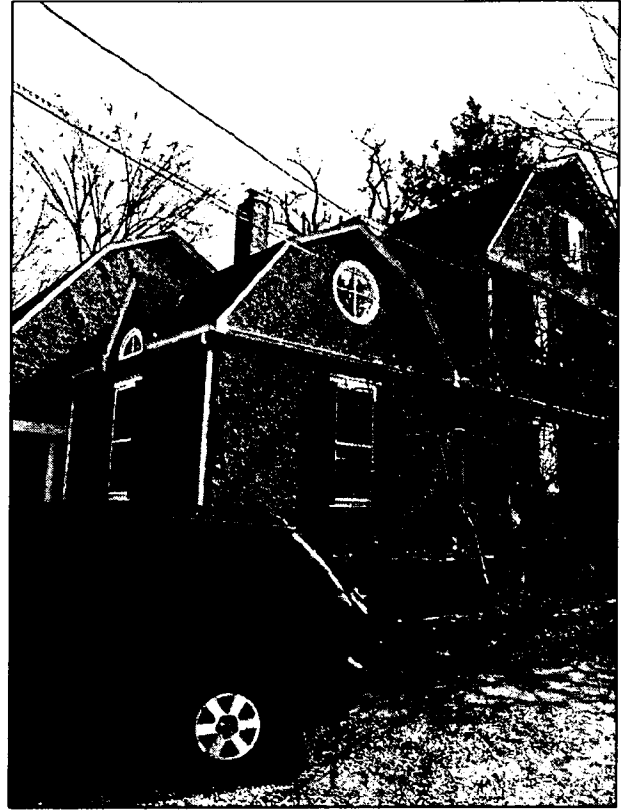
① Front Corner
No Scale



② Driveway Side
No Scale



③ Existing Screened Porch
No Scale



④ Driveway Side/Rear
No Scale



⑤ View From Grafton Street
No Scale



⑥ Rear
No Scale



⑦ Full Front View
No Scale

FOX
ARCHITECTS

7885 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MD 20814
301.718.2823

REVISION HISTORY

DATE	ISSUE
11.10.05	HPRB REVIEW

DRAWN BY:

Renovation And Addition To:

The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

Existing
Photo
Documentation

SCALE: AS NOTED

A001

REVISION HISTORY	
DATE	ISSUE
11.10.05	HPRB REVIEW

DRAWN BY:

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

Elevations

SCALE: AS NOTED

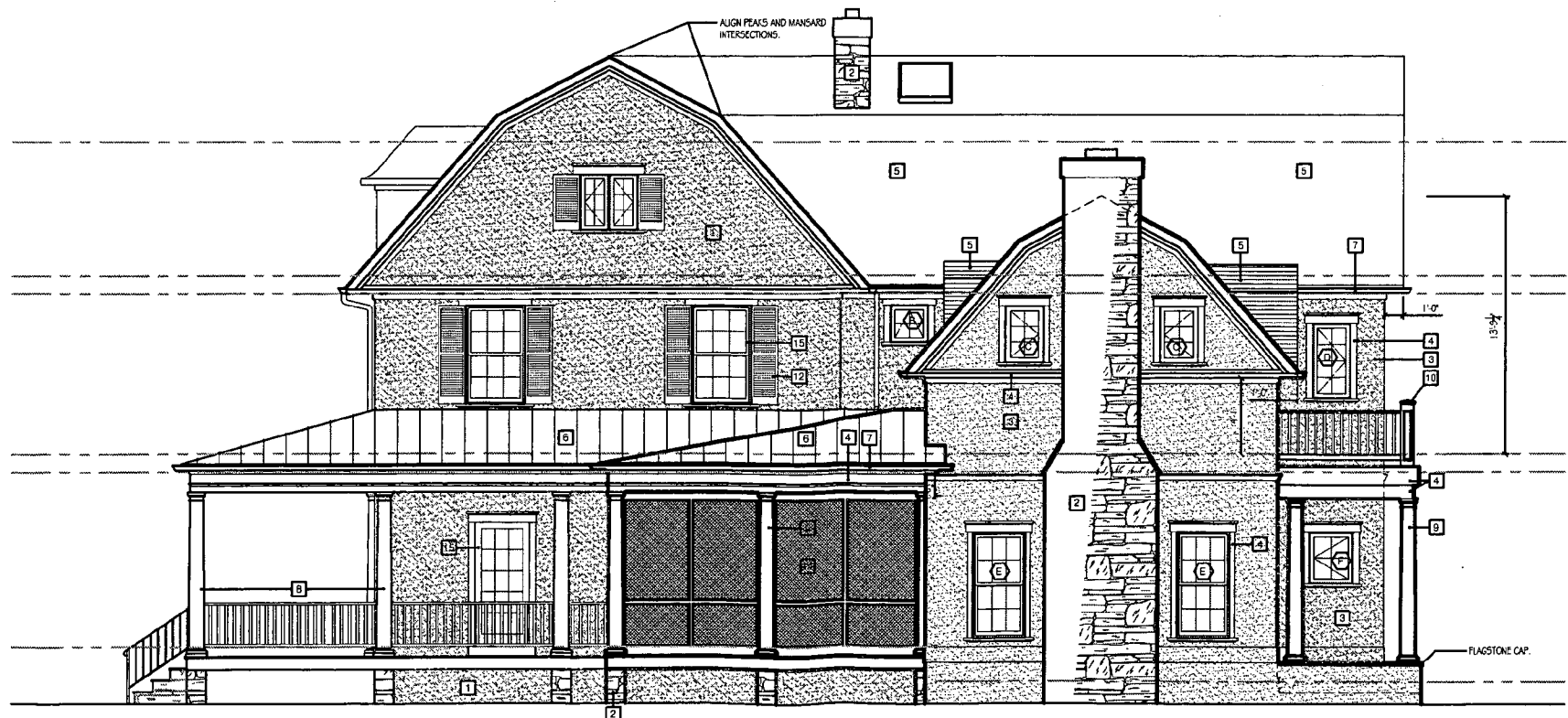
A400



① **Front Elevation**
1/4" = 1'-0"

Material Legend

1	EXISTING STUCCO FINISH. REPAIR and REPAINT.
2	STONE VENEER. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
3	3 COAT STUCCO FINISH. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
4	AZEK PVC TRIM (TYPICAL THROUGHOUT). FINISH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT, EGGSHELL (EXTERIOR).
5	50 YR COMPOSITION ARCHITECTURAL SHINGLE
6	20oz COPPER STANDING SEAM ROOF.
7	1" STYLE ALUMINUM GUTTERS & DOWNSPOUTS.
8	EXISTING COLUMNS REPAIR/REPLACE AS NEEDED w/ LIKE MATERIAL and STYLE.
9	PERMACAST COLUMNS by HBG. STYLE TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10	PVC GUARDHANDRAIL AND NEWEL POST by HBG.
11	1 1/2" PATTERNED BLUE FLAGSTONE. TYPICAL FOR PATIOS, STOOPS & TREADS.
12	EXISTING WORKING SHUTTERS & ASSOCIATED HARDWARE. REPAIR, PRIME & FIELD FINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).
13	EXISTING SLATE ROOF TO REMAIN.
14	SCREEN-TIGHT SCREEN SYSTEM.
15	EXISTING WOOD WINDOWS & DOORS TO REMAIN. REPAIR, PRIME & FIELD FINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).



② **Side Elevation**
1/4" = 1'-0"

REVISION HISTORY	
DATE	ISSUE
11.10.05	HPRB REVIEW

DRAWN BY:

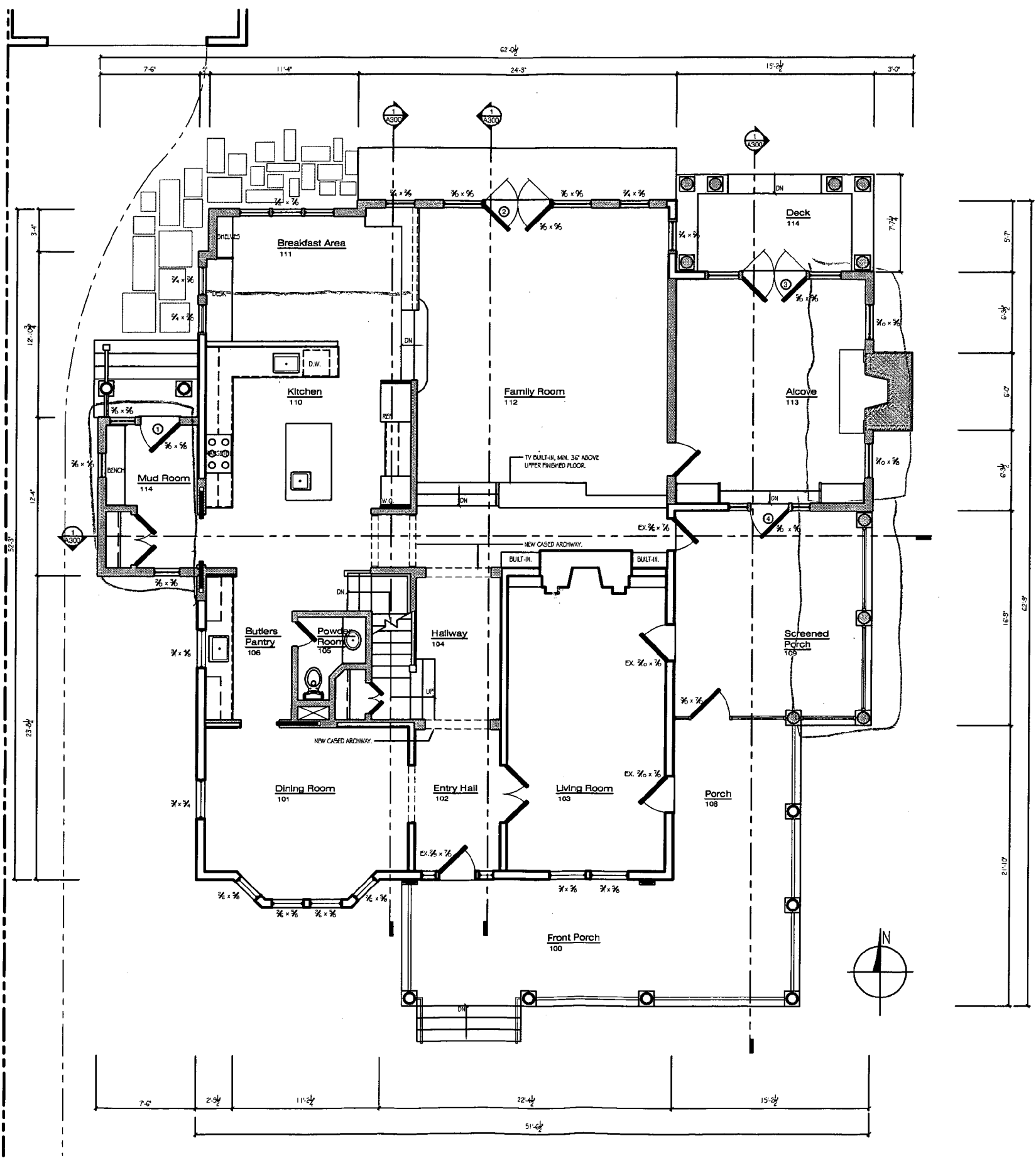
Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

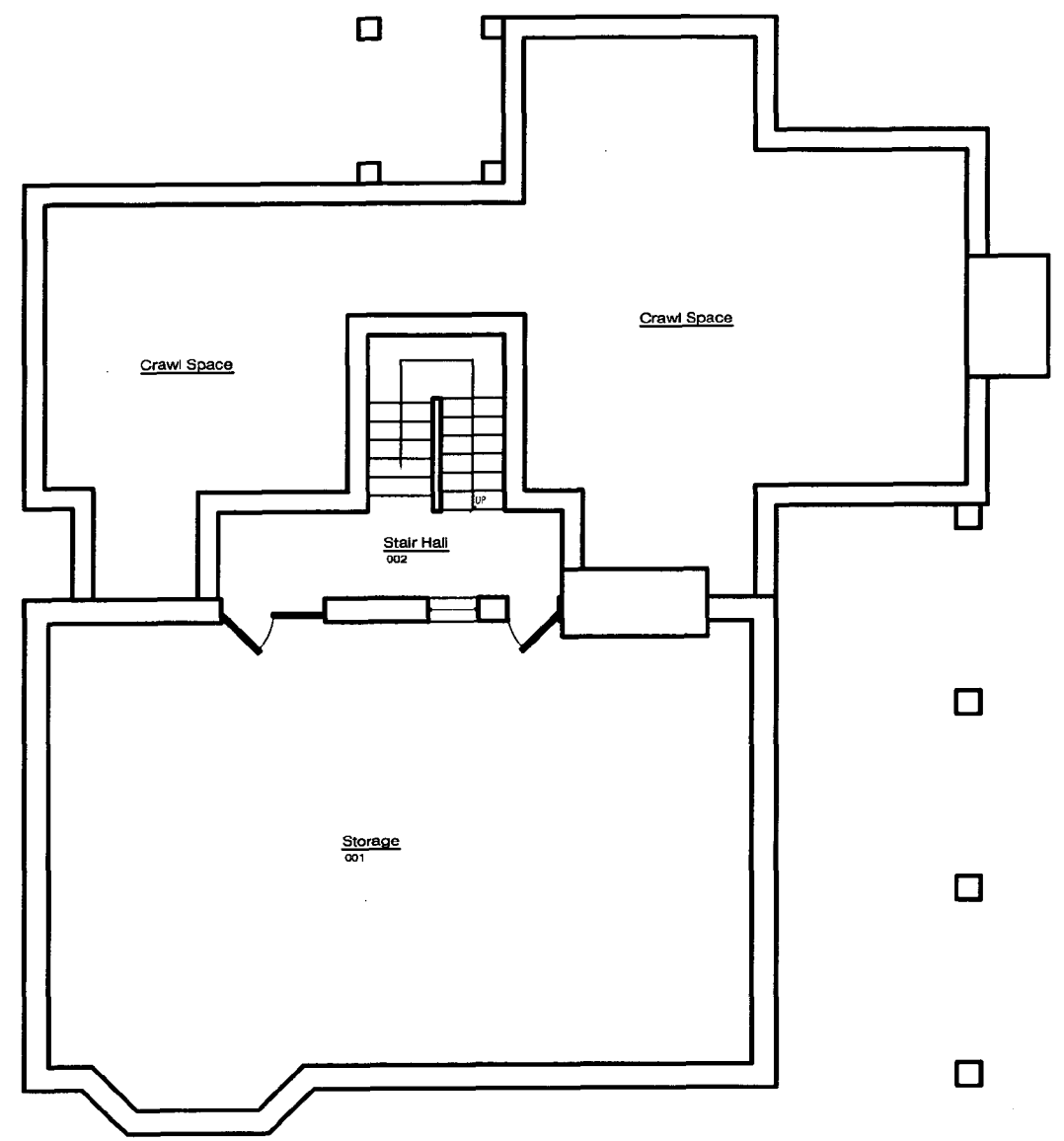
New Work
1st Floor
Plan

SCALE: AS NOTED

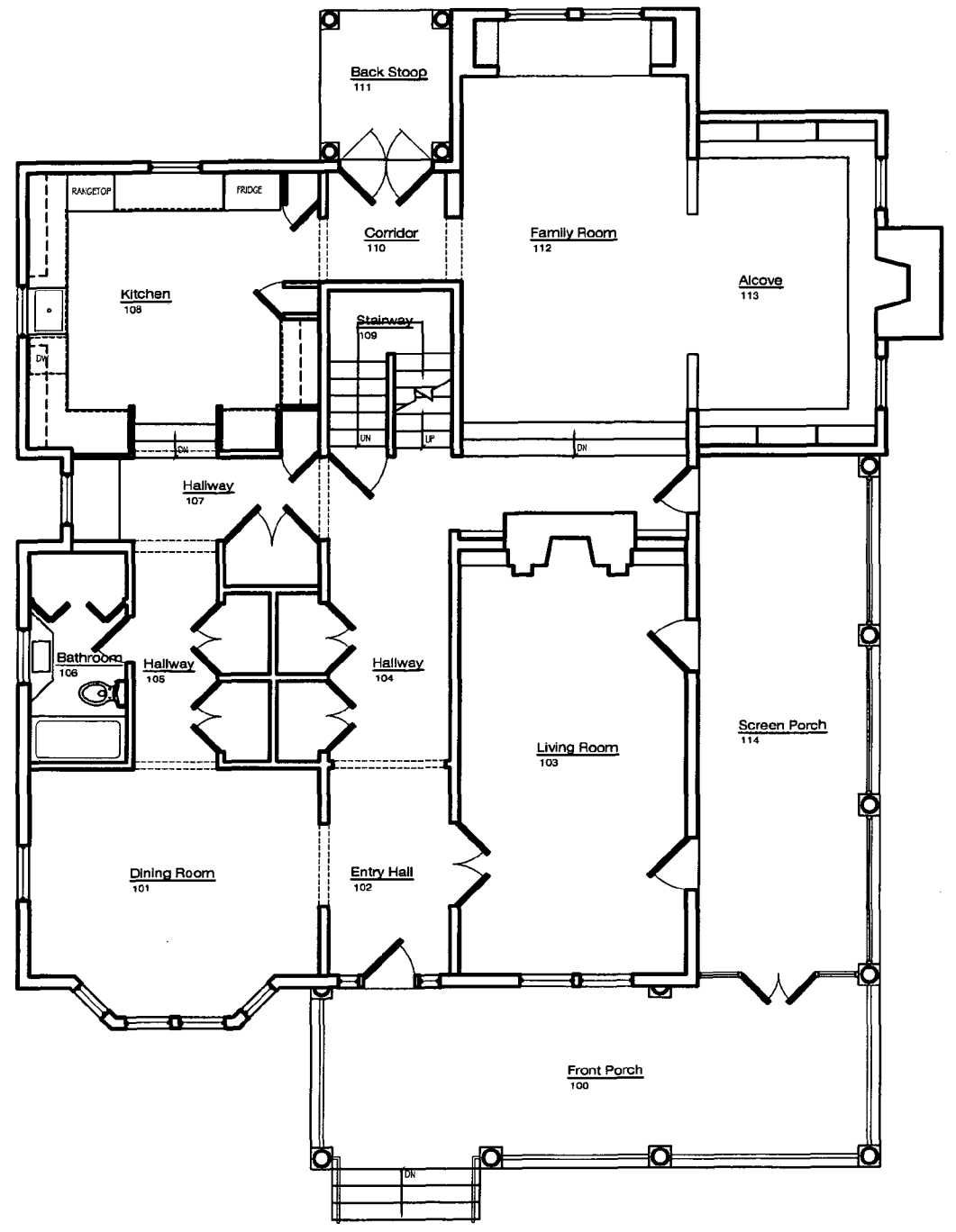
A201a



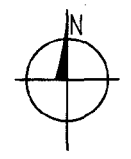
1 First Floor Plan
1/4" = 1'-0"



① **Basement Floor Plan**
1/4" = 1'-0"



② **First Floor Plan**
1/4" = 1'-0"



REVISION HISTORY	
DATE	ISSUE
11.10.05	HPRB REVIEW

DRAWN BY:

As Built Drawings of:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

**Existing
Floor Plan**

SCALE: AS NOTED

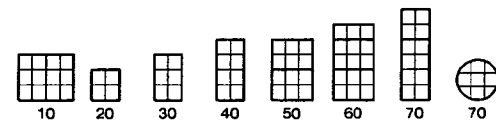
A102

Window Schedule SPECIFICATION: LOEWEN CLAD LOW-E WINDOWS

MARK	MODEL #	TYPE	ROUGH OPENING		MUNTIN PATTERN	REMARKS
			WIDTH	HEIGHT		
A	FCA 1512	1	4'-11 3/8"	4'-0"	10	PUSH OUT FRENCH CASEMENT WINDOW.
B	AWI 0606	2	2'-0 3/8"	2'-0 3/8"	20	PUSH OUT AWNING.
C	CA1 0609	3	2'-0 3/8"	3'-0 3/8"	30	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
D	CA1 0812	3	2'-0 3/8"	4'-0"	40	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
E	DH1 2830	4	2'-10 3/8"	3'-9"	50	-
F	CA1 0708	3	2'-4 3/8"	2'-8 3/8"	20	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
G	CA1 0409	3	1'-4 3/8"	3'-0 3/8"	30	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
H	DH1 3228 + DTY 3210	5	3'-2 3/8"	5'-1" + 1'-3 3/8"	60	-
J	CA1 0710	3	2'-4 3/8"	3'-4 3/8"	30	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
K	CA1 0715 + AWI 0706	6	2'-4 3/8"	4'-11 3/8" + 2'-0 3/8"	70	PUSH OUT CASEMENT AND PUSH OUT AWNING. SEE ELEVATIONS FOR HINGING.
L	FCA 1010	1	3'-4 3/8"	3'-4 3/8"	10	FRENCH CASEMENT WINDOW.
M	CUSTOM	-	5'-3/8"	1'-8 3/8"	-	CUSTOM FIXED ARCHTOP WINDOW.
N	AWI 0708	2	2'-4 3/8"	2'-0 3/8"	20	PUSH OUT AWNING.
P	FR 0508	7	2'-8 3/8"	2'-8 3/8"	80	FULL ROUND WINDOW.

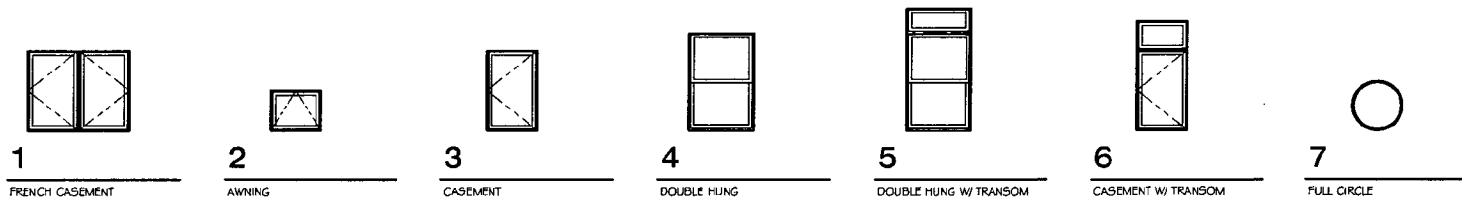
WINDOW SCHEDULE NOTES: ***** GC SHALL PROVIDE WINDOW MANUFACTURER'S SUBMITTAL FOR ARCHITECTS REVIEW PRIOR TO FINALIZING ORDER. *****

Muntin Patterns



WINDOW NOTES: SEE ELEVATIONS & DETAILS FOR MULLING & TRIM DETAILS.
 1) CLAD EXTERIOR, COLOR TO BE DETERMINED.
 2) PRIMED WOOD INTERIOR.
 3) GLAZING TO BE SIG IG, TEMPERING AS NOTED.
 4) MUNTIN PATTERNS AS NOTED, IF SHOWN, SCL. 7/8".
 5) JAMB EXTENSIONS PROVIDED WHERE NOTED.
 6) PROVIDE SPREAD MULLS AS NOTED. DIMENSIONS ARE VIEWED AT EXTERIOR.
 7) HARDWARE FINISH - T.B.D.
 8) PROVIDE HALF SCREENS AT ALL DOUBLE HUNGS. COLOR TO MATCH CLADDING.
 9) PROVIDE SCREENS AT CASEMENTS & AWNINGS; COLOR TO MATCH CLADDING.
 10) SEE ELEVATIONS FOR HINGING INFORMATION.

Window Types



REVISION HISTORY

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DRAWN BY:

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

Window Schedule

SCALE: AS NOTED

A700

Josephs/Carr Residence

3 Grafton Street, Chevy Chase, Maryland 20815

HPRB Review

November 10, 2005

FOX
ARCHITECTS

REVISION HISTORY

DATE	ISSUE
11.10.05	HPRB REVIEW

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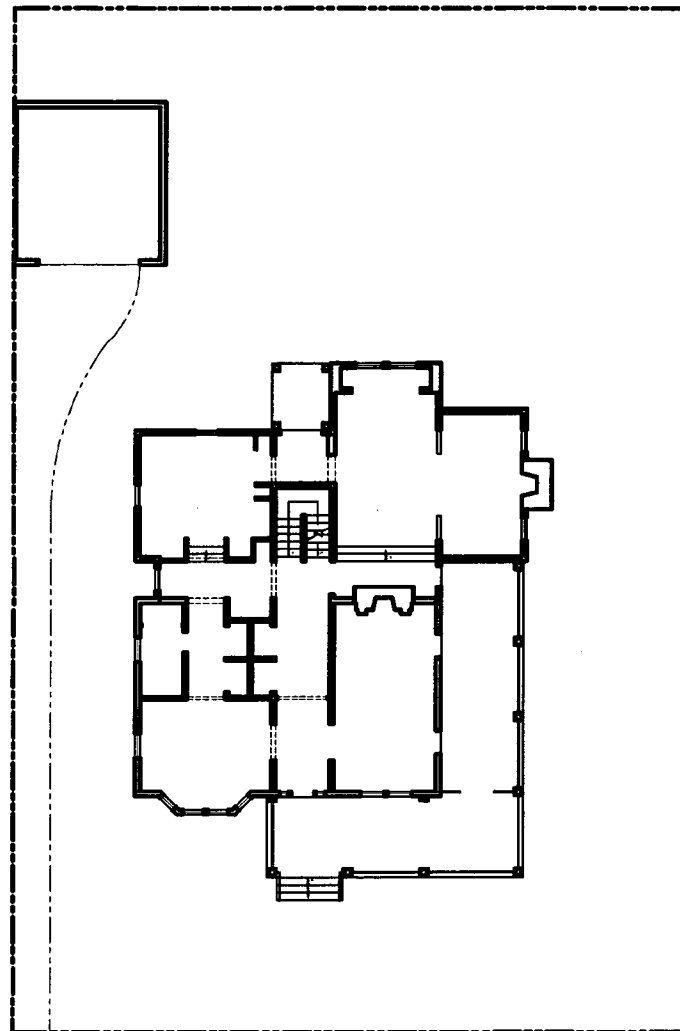
Renovation And Addition To:
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3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

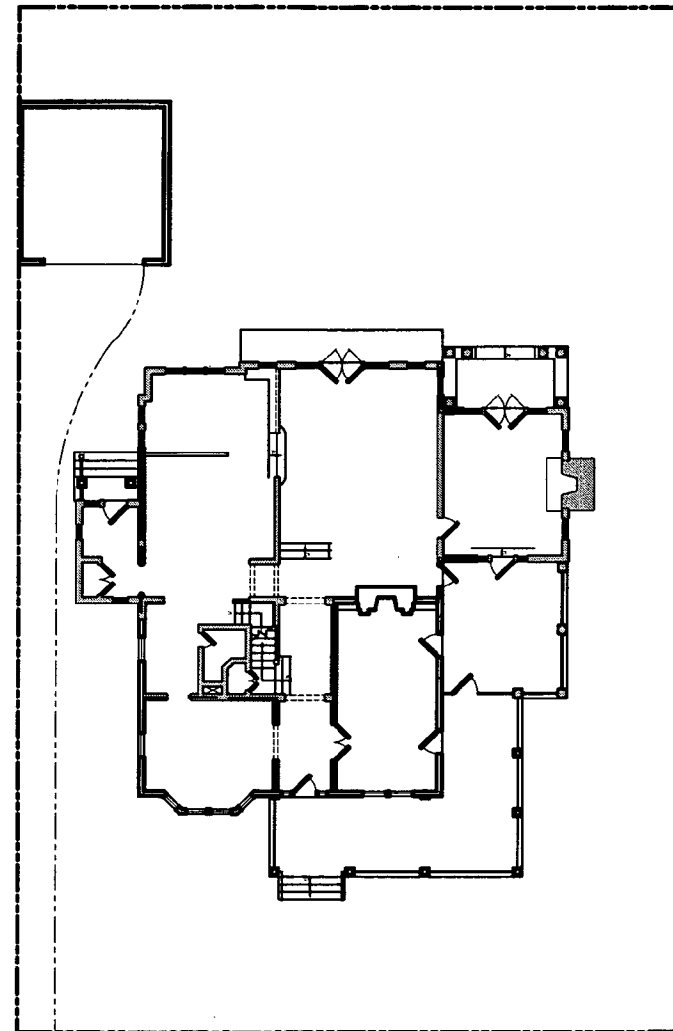
**New Work
Basement
Floor Plan**

SCALE: AS NOTED

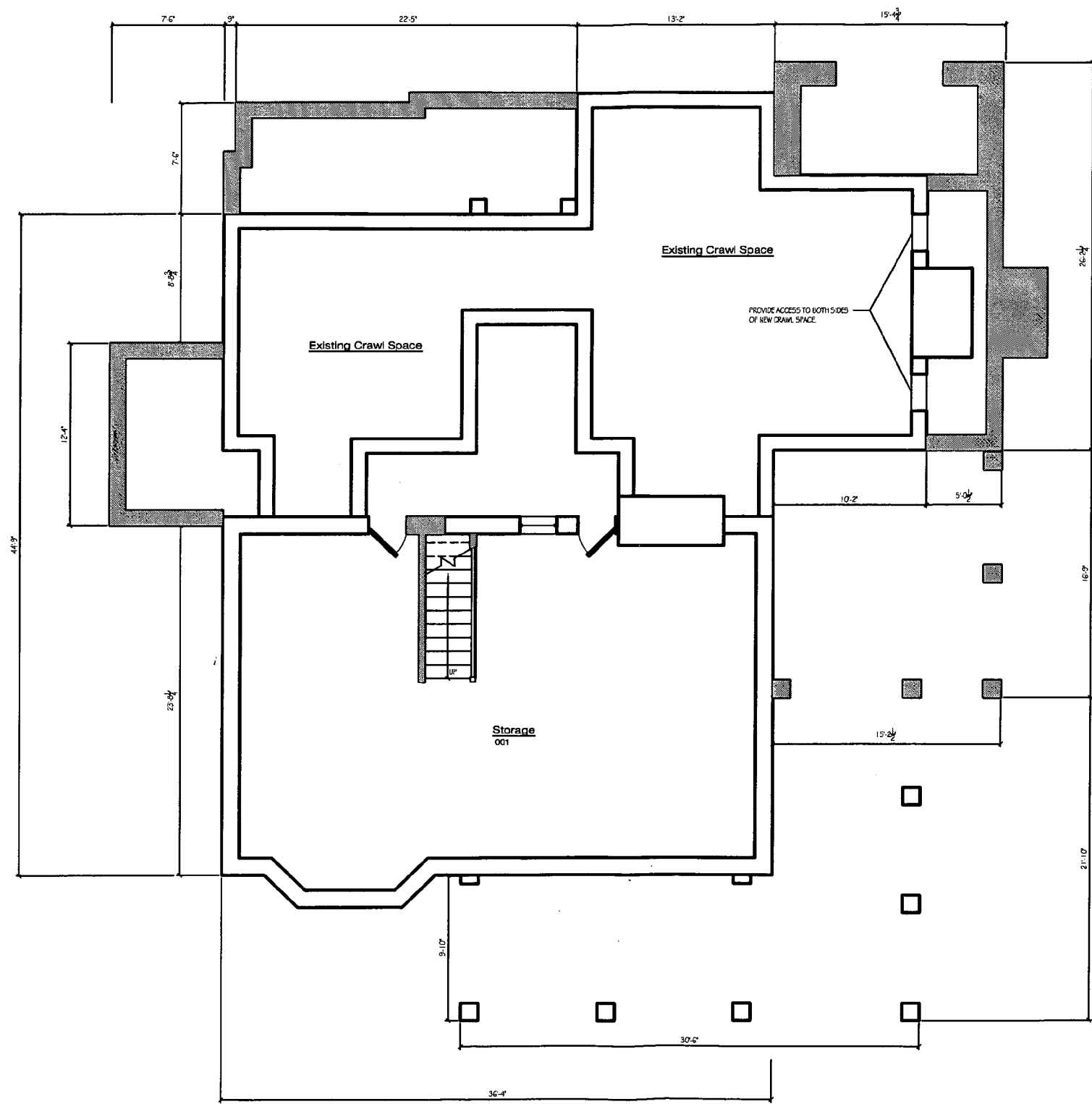
A100



① Existing Architectural Site Plan
1" = 10'-0"



① Architectural Site Plan
1" = 10'-0"



② **Basement Floor Plan**
 1/4" = 1'-0"

FOX
 ARCHITECTS

7805 OLD GEORGETOWN ROAD
 SUITE 204
 BETHESDA, MD 20814
 301.718.2021

REVISION HISTORY	
DATE	ISSUE
11.10.05	HPRB REVIEW

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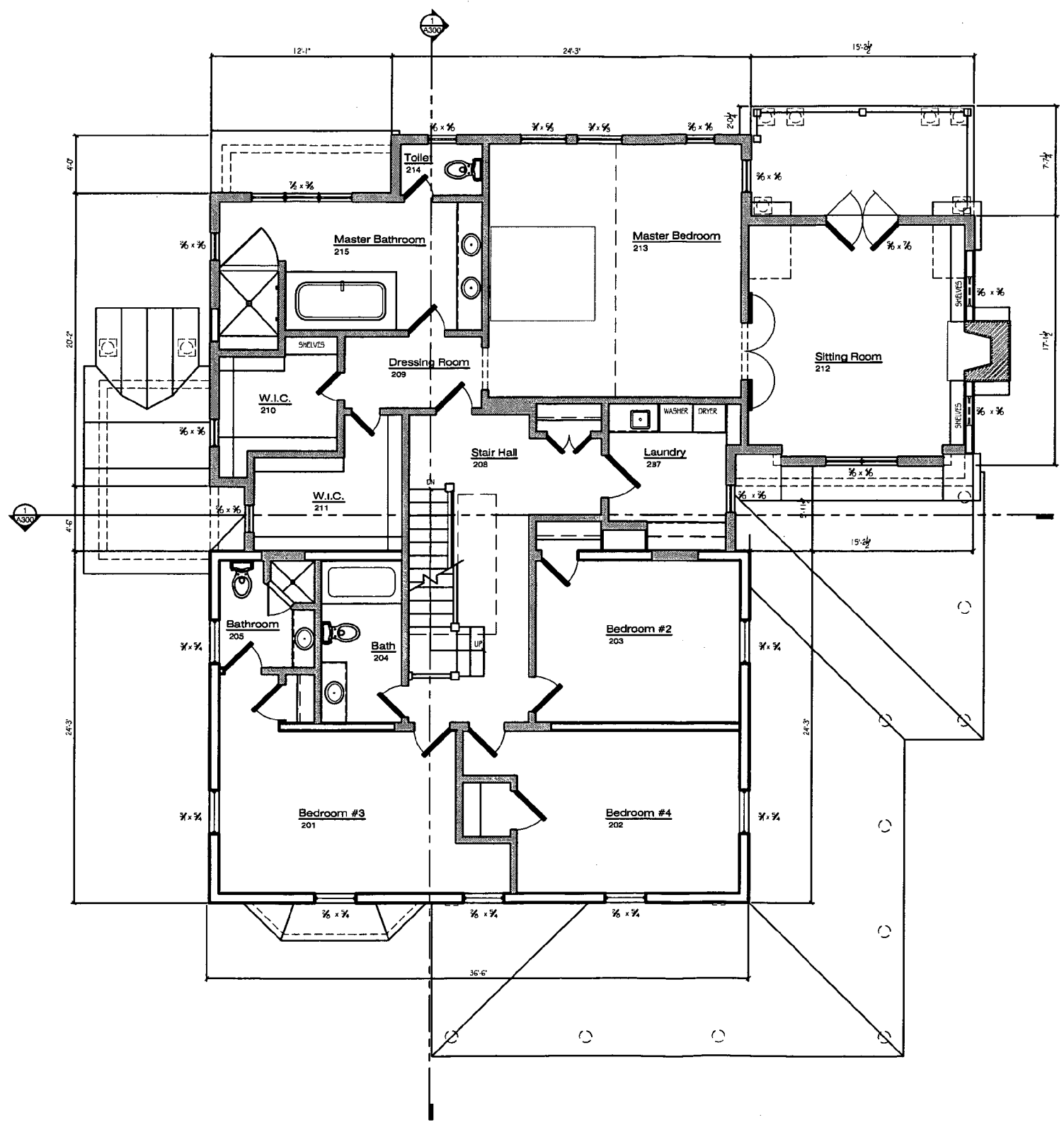
Renovation And Addition To:
 The Josephs/Carr Residence
 3 Grafton Street
 Chevy Chase, Maryland 20815

PROJECT NO: 0508

**New Work
 Basement
 Floor Plan**

SCALE: AS NOTED

A200



REVISION HISTORY	
DATE	ISSUE
11.10.05	HPRB REVIEW

DRAWN BY:

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

**New Work
2nd Floor
Plan**

SCALE: AS NOTED

A202

① **Second Floor Plan**
1/4" = 1'-0"

REVISION HISTORY

DATE	ISSUE
11.10.05	HPRB REVIEW

DRAWN BY:

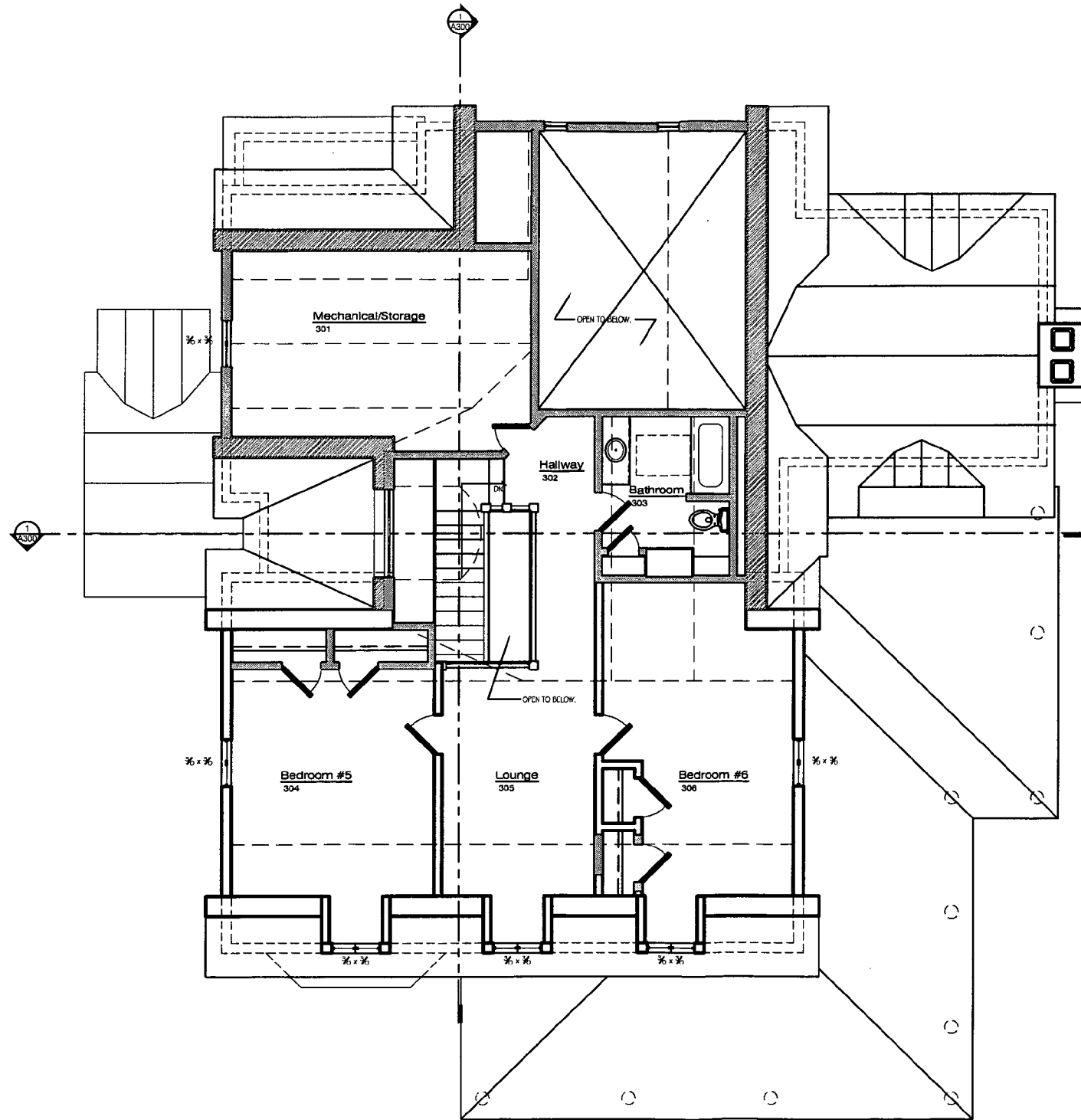
Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

**New Work
Attic
Floor Plan**

SCALE: AS NOTED

A203



① **Roof Plan**
1/4" = 1'-0"

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ARCHITECTS

7885 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MD 20814
301.718.2023

REVISION HISTORY

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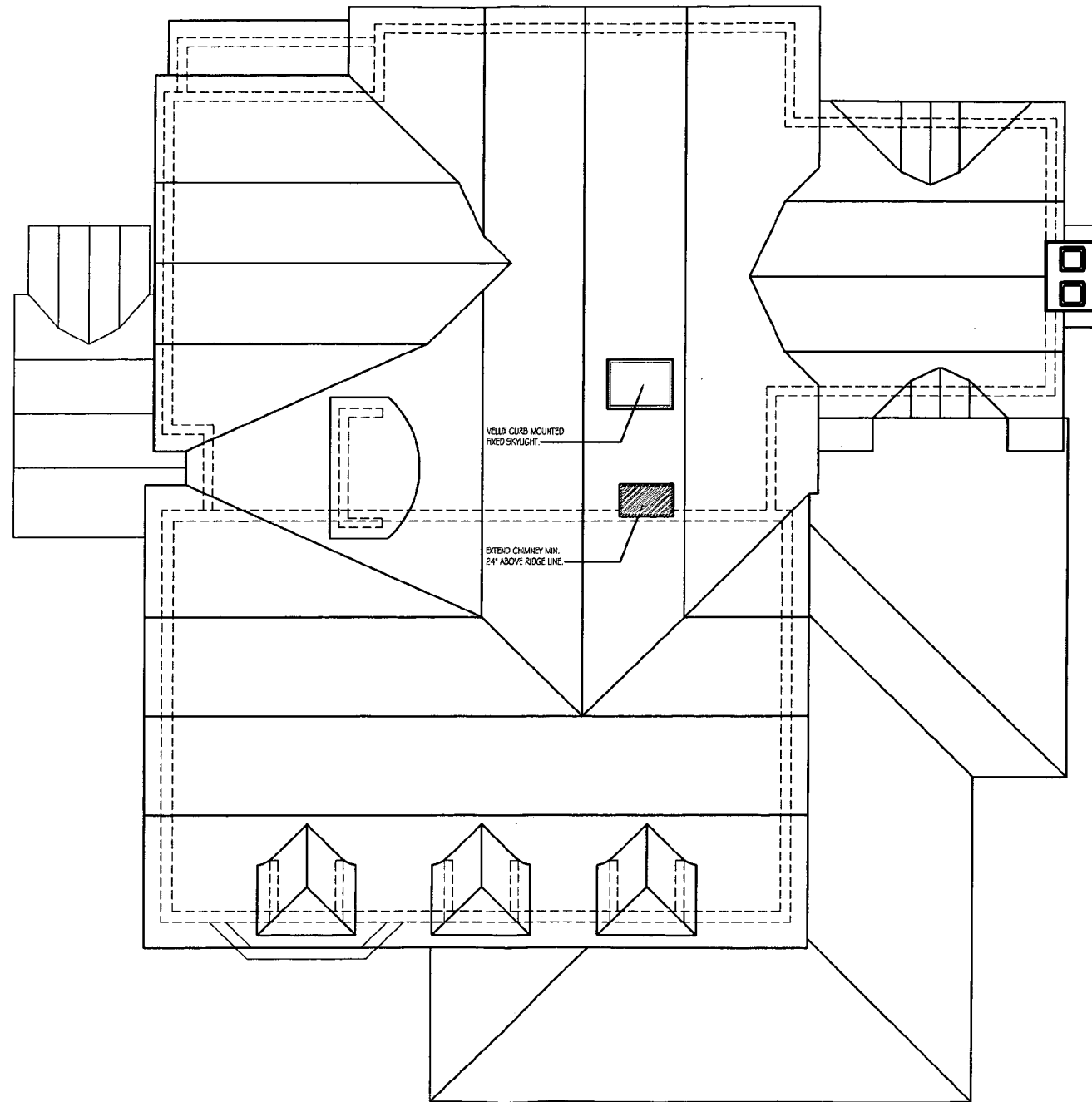
Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0505

**New Work
Roof Floor**

SCALE: AS NOTED

A204



① **Roof Plan**
1/4" = 1'-0"

- site plan w/ more detail -- to include all
Identify Hard surface fences etc
- tree plan
- existing conditions dwg?
- skylight? flush?

Written Description of the Project:

#3 Grafton Street
Chevy Chase, Maryland

Description of existing structure and environmental setting, including their historical features and significance.

Three Grafton Street is a two and a half story Dutch Colonial home with a gambrel roof. The exterior of the home has a stucco finish and detailed window and door casings. Most of the windows on the original structure have shutters. The slate roof has three symmetrical dormers, each of which has a flared hip roof. The original structure has an existing one story addition attached to the rear of the home which employs the use of gambrel roofs. However, the gambrel roofs on this addition do not hold the same proportions as the original structure. The front porch is original to the house, but only up to the edge of the house. The porch was added onto at the time of the rear addition to make it wrap around the corner of the house.

This house sits one house in from Chevy Chase Circle on a surprisingly quiet, tree-lined street. As can be seen from the photos, the area is filled with large trees which provide a unique and mature atmosphere to the neighborhood.

General description of project and its effect on the historic resource, the environmental setting, and, where applicable, the historic district.

The main portion of the building project consists of improving the existing rear addition. The roof of the existing rear addition will be removed and several small areas of new footprint will be added. A new two and a half story structure will be built based on the footprint of the existing addition and the proposed additional footprint. The proposed new addition will employ gambrel roofs throughout the design and will stay true to the proportions of the original roof.

The existing wrap-around porch, which is an addition to the original, will be modified to include a new area of screened porch. The existing bay on the front of the house has a dilapidated railing which will be removed and replaced with a copper roof structure.

The exterior of the original structure is in general disrepair. The stucco will be repaired and painted, as will trim around the windows, doors and cornices. The columns bases on the front porch are rotting and the wood column shafts are splitting. These will be repaired if possible, or replaced with wood columns to match the existing columns. Similarly, the wooden porch decking is rotting in many places and will be repaired, if possible, or replaced with new wood decking.

The goal of this project is to leave the original structure intact as much as is possible, to repair portions of the original structure that are in desperate need, and to improve upon the existing additions to unify the overall house so that the whole is in harmony with the design of the original structure. This project has very little effect to the overall streetscape as a majority of the new work will not be visible from the road.

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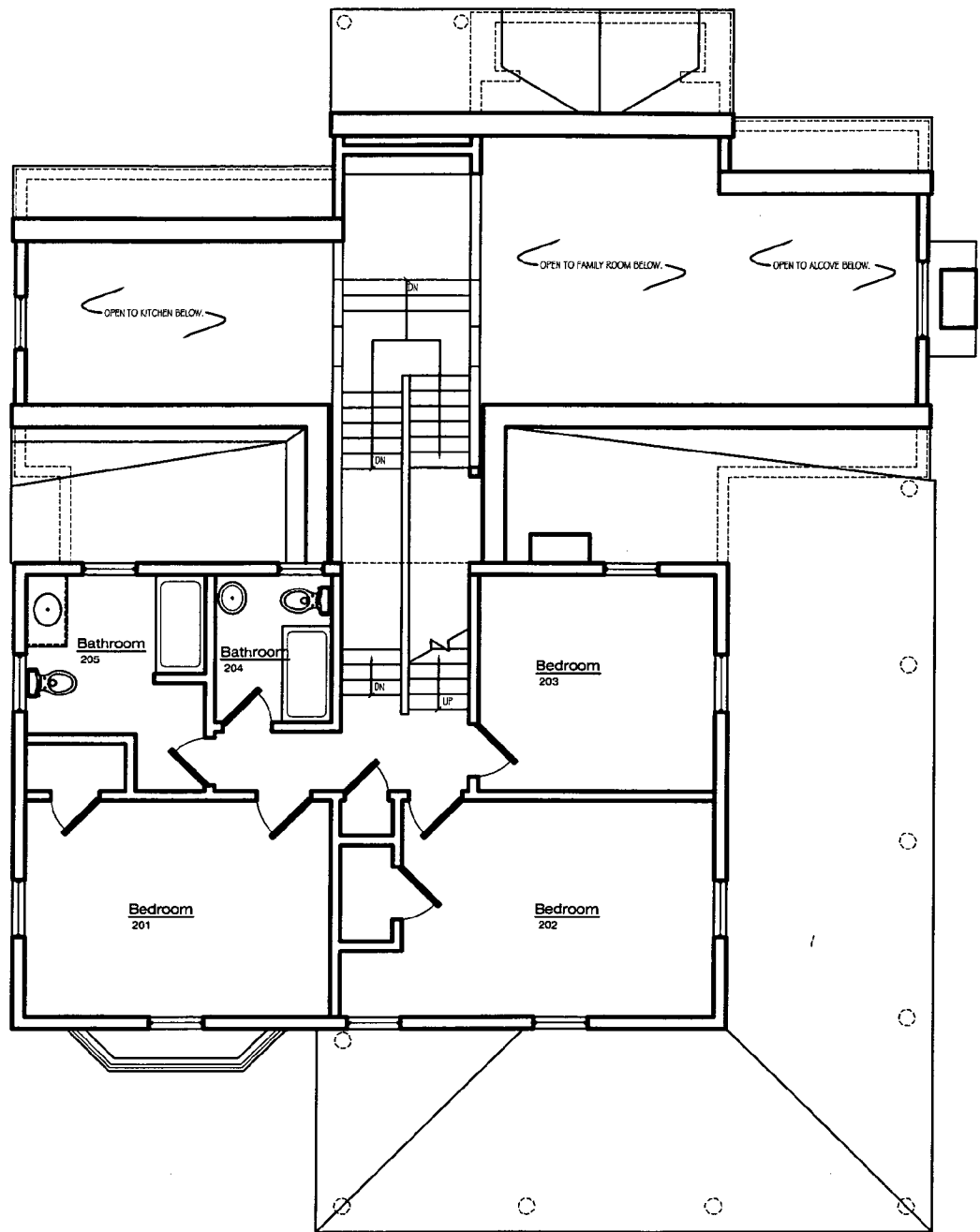
As Built Drawings of:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

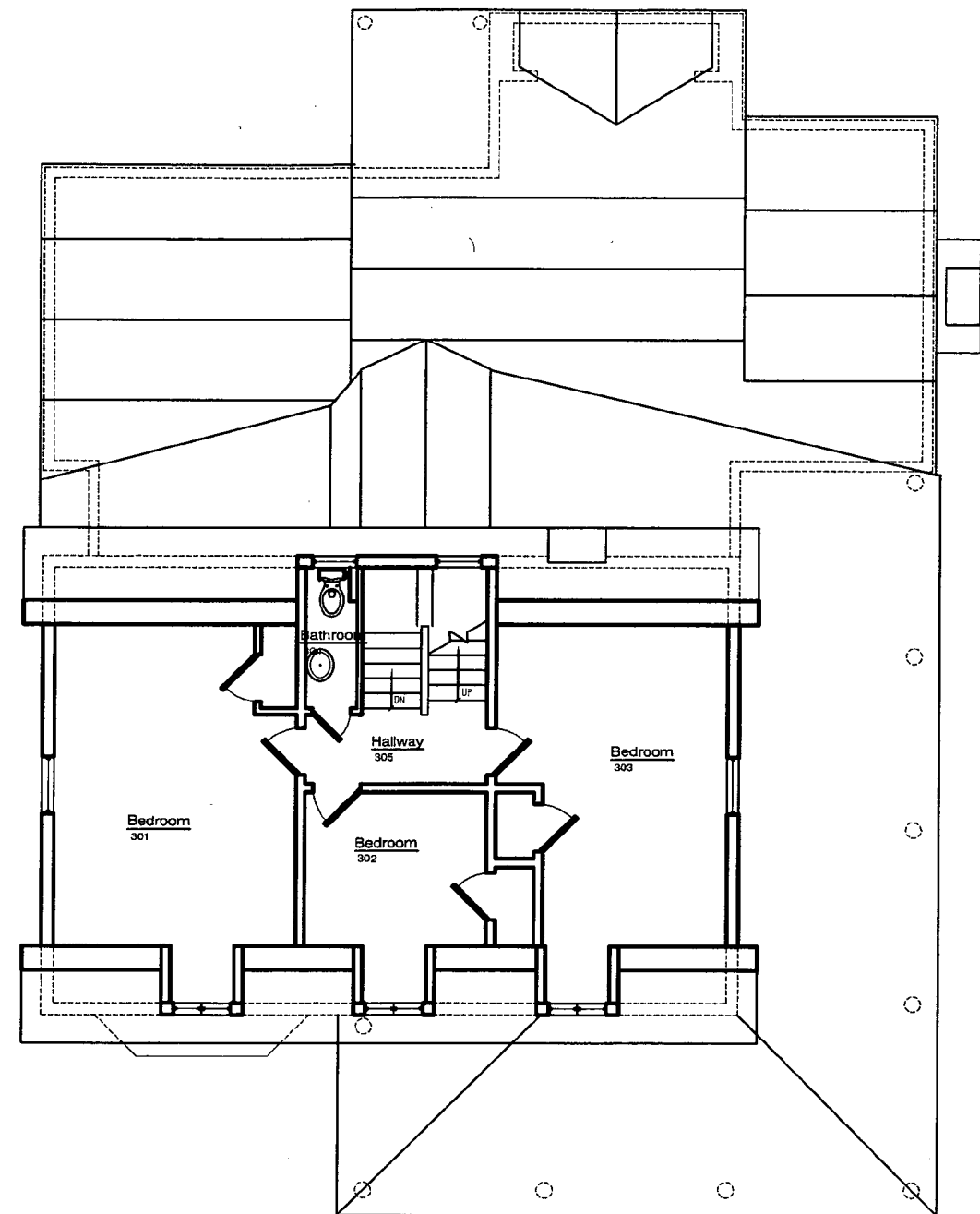
**Existing
Floor Plan**

SCALE: AS NOTED

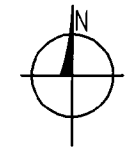
A103



① **Second Floor Plan**
1/4" = 1'-0"



② **Attic Floor Plan**
1/4" = 1'-0"





① **Front Elevation**
1/4" = 1'-0"



② **Side Elevation**
1/4" = 1'-0"

REVISION HISTORY	
DATE	ISSUE
11.10.05	HPRB REVIEW

DRAWN BY:

As Built Drawings of:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

Existing Elevations

SCALE: AS NOTED

A104

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ARCHITECTS

7805 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MD 20814
301.719.2021

REVISION HISTORY

DATE	ISSUE
11.10.05	HPRB REVIEW

DRAWN BY:



① **Rear Elevation**
1/4" = 1'-0"



② **Side Elevation**
1/4" = 1'-0"

As Built Drawings of:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0508

**Existing
Elevations**

SCALE: AS NOTED

A105

FedEx USA Airbill
Express

FedEx Tracking Number **839361990597**

Form I.O. No.

0200

Sender's Copy

1 From Please print and press hard.
Date **3/1/06** Sender's FedEx Account Number
Sender's Name **MICHELE OAKS** Phone **(301) 563 3400**
Company **MNCPCC**
Address **8787 GEORGIA AVE**
City **SILVER SPRING** State **MD** ZIP **20910**

2 Your Internal Billing Reference OPTIONAL

3 To
Recipient's Name **TREVOR DRAPER** Phone **(301) 718 2021**
Company **FOX ARCHITECTS**
Address **7805 OLD GEORGETOWN RD**
City **BETHESDA** State **MD** ZIP **20814-2460**

4a Express Package Service
 FedEx Priority Overnight
 FedEx Standard Overnight
 FedEx First Overnight
 FedEx 2Day
 FedEx Express Saver

4b Express Freight Service
 FedEx 1Day Freight*
 FedEx 2Day Freight
 FedEx 3Day Freight*

5 Packaging
 FedEx Envelope*
 FedEx Pak*
 Other

6 Special Handling
 SATURDAY Delivery Available ONLY for FedEx Priority Overnight and FedEx 2Day to select ZIP codes
 HOLD Weekday at FedEx Location NOT Available for FedEx First Overnight
 HOLD Saturday at FedEx Location Available ONLY for FedEx Priority Overnight and FedEx 2Day to select locations
Does this shipment contain dangerous goods?
 No
 Yes As per attached Shipper's Declaration
 Yes Shipper's Declaration not required
 Dry Ice
 Cargo Aircraft Only

7 Payment Bill to:
 Sender
 Recipient
 Third Party
 Credit Card
 Cash/Check
FedEx Acct. No. **1956-4145-5** Exp. Date

Total Packages _____ Total Weight _____ Total Declared Value* \$ _____
FedEx Use Only

8 Release Signature
Michele Oaks
By signing you authorize us to deliver this shipment without obtaining a signature and agree to indemnify and hold us harmless from any resulting claims.
Ref. Date 10/01 • Part #157612 • ©1994-2001 FedEx • PRINTED IN U.S.A. WCL5 02

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By using this Airbill you agree to the service conditions on the back of this Airbill and in our current Service Guide, including terms that limit our liability.

Questions? Visit our Web site at fedex.com or call 1.800.Go.FedEx® 800.463.3339.

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Agreement To Terms By giving us your package to deliver, you agree to all the terms on this Airbill and in our current Service Guide, which is available on request. You also agree to those terms on behalf of any third party with an interest in the package. If there is a conflict between the Service Guide and this Airbill, the Service Guide will control. No one is authorized to change the terms of our Agreement.

Responsibility For Packaging And Completing Airbill You are responsible for adequately packaging your goods and properly filling out this Airbill. If you omit the number of packages and/or weight per package, our billing will be based on our best estimate of the number of packages we received and/or an estimated "default" weight per package as determined by us.

Responsibility For Payment Even if you give us different payment instructions, you will always be primarily responsible for all delivery costs, as well as any cost we incur in either returning your package to you or warehousing it pending disposition.

Limitations On Our Liability And Liabilities Not Assumed

- Our liability in connection with this shipment is limited to the lesser of your actual damages or \$100, unless you declare a higher value, pay an additional charge, and document your actual loss in a timely manner. You may pay an additional charge for each additional \$100 of declared value. The declared value does not constitute, nor do we provide, cargo liability insurance.
- In any event, we will not be liable for any damage, whether direct, incidental, special, or consequential in excess of the declared value of a shipment, whether or not Federal Express had knowledge that such damages might be incurred including but not limited to loss of income or profits.

- We won't be liable:
 - for your acts or omissions, including but not limited to improper or insufficient packing, securing, marking, or addressing, or those of the recipient or anyone else with an interest in the package.
 - if you or the recipient violates any of the terms of our Agreement.
 - for loss or damage to shipments of prohibited items.
 - for loss, damage, or delay caused by events we cannot control, including but not limited to acts of God, perils of the air, weather conditions, acts of public enemies, war, strikes, civil commotions, or acts of public authorities with actual or apparent authority.

Declared Value Limits

- The highest declared value allowed for a FedEx Envelope and FedEx Pak shipment is \$500.
- For other shipments, the highest declared value allowed is \$50,000 unless your package contains items of extraordinary value, in which case the highest declared value allowed is \$500.
- Items of extraordinary value include shipments containing such items as artwork, jewelry, furs, precious metals, negotiable instruments, and other items listed in our Service Guide.
- You may send more than one package on this Airbill and fill in the total declared value for all packages, not to exceed the \$100, \$500, or \$50,000 per package limit described above. (Example: 5 packages can have a total declared value of up to \$250,000.) In that case, our liability is limited to the actual value of the package(s) lost or damaged, but may not exceed the maximum allowable declared value(s) or the total declared value, whichever is less. You are responsible for proving the actual loss or damage.

Filing A Claim YOU MUST MAKE ALL CLAIMS IN WRITING and notify us of your claim within strict time limits set out in the current Service Guide.

You may call our Customer Service department at 1.800.Go.FedEx® 800.463.3339 to report a claim; however, you must still file a timely written claim.

Within 90 days after you notify us of your claim, you must send us all the information you have about it. We aren't obligated to act on any claim until you have paid all transportation charges, and you may not deduct the amount of your claim from those charges.

If the recipient accepts your package without noting any damage on the delivery record, we will assume the package was delivered in good condition. For us to process your claim, you must make the original shipping cartons and packing available for inspection.

Right To Inspect We may, at our option, open and inspect your packages before or after you give them to us to deliver.

Right Of Rejection We reserve the right to reject a shipment when such shipment would be likely to cause delay or damage to other shipments, equipment, or personnel; or if the shipment is prohibited by law; or if the shipment would violate any terms of our Airbill or our current Service Guide.

C.O.D. Services C.O.D. SERVICE IS NOT AVAILABLE WITH THIS AIRBILL. If C.O.D. Service is required, please use a Federal Express C.O.D. Airbill.

Air Transportation Tax Included A federal excise tax when required by the Internal Revenue Code on the air transportation portion of this service, if any, is paid by us.

Money-Back Guarantee In the event of untimely delivery, Federal Express will, at your request and with some limitations, refund or credit all transportation charges. See current Service Guide for more information.



FedEx Tracking Number 8553 9082 3795

Form ID No. 0200

Sender's Copy

1 From Please print and press hard!
 Date 3/23/06 Sender's FedEx Account Number _____
 Sender's Name MICHELE OAKS Phone (301) 543-3400
 Company MNCPPC
 Address 8787 GEORGIA AVE Dept./Floor/Suite/Room _____
 City SILVER SPRING State MD ZIP 20910

2 Your Internal Billing Reference OPTIONAL
 First 24 characters will appear on invoice.

3 To
 Recipient's Name TREVOR DRAPER Phone (301) 718 2021
 Company FOX ARCHITECTS
 Recipient's Address 7805 OLD GEORGETOWN RD Dept./Floor/Suite/Room _____
STE 204
 Address _____
 To request a package be held at a specific FedEx location, print FedEx address here.
 City BETHESDA State MD ZIP 20814-2460

try online shipping at fedex.com
 By using this Airbill you agree to the service conditions on the back of this Airbill and in the current FedEx Service Guide, including terms that limit our liability.
Questions? Go to our Web site at fedex.com
 or call 1.800.GoFedEx 1.800.463.3339.

4a Express Package Service To add SATURDAY Delivery, see Section 6. **Packages up to 150 lbs.**
 FedEx Priority Overnight Next business morning.*
 FedEx Standard Overnight Next business afternoon.*
 FedEx First Overnight Earliest next business morning delivery to select locations.**

FedEx 2Day Second business day.*
 FedEx Express Saver Third business day.*
 FedEx Envelope rate not available. Minimum charge: One-pound rate.

4b Express Freight Service To add SATURDAY Delivery, see Section 6. **Packages over 150 lbs.**
 FedEx 1Day Freight** Next business day.**
 FedEx 2Day Freight Second business day.**
 FedEx 3Day Freight Third business day.**

5 Packaging *Declared value limit \$500.
 FedEx Envelope*
 FedEx Pak* Includes FedEx Small Pak, FedEx Large Pak, and FedEx Sturdy Pak.
 FedEx Box
 FedEx Tube
 Other

6 Special Handling
 SATURDAY Delivery Available ONLY for FedEx Priority Overnight, FedEx 2Day, FedEx 1Day Freight, and FedEx 2Day Freight to select ZIP codes.
 HOLD Weekday at FedEx Location NOT Available for FedEx First Overnight.
 HOLD Saturday at FedEx Location Available ONLY for FedEx Priority Overnight and FedEx 2Day to select locations.
 Does this shipment contain dangerous goods?
 No Yes As per attached Shipper's Declaration. Yes Shipper's Declaration not required.
 Dry Ice Dry Ice, SUN 1845 _____ x _____ kg
 Dangerous goods (including dry ice) cannot be shipped in FedEx packaging. Cargo Aircraft Only

7 Payment Bill to: Enter FedEx Acct. No. or Credit Card No. below.
 Sender Acct. No. in Section 1 will be billed.
 Recipient Third Party Credit Card Cash/Check
 FedEx Acct. No. 1956-4145-5 Exp. Date _____
 Credit Card No. _____
 Total Packages _____ Total Weight _____ Total Declared Value* \$ _____ .00
 *Our liability is limited to \$100 unless you declare a higher value. See back for details. FedEx Use Only

8 NEW Residential Delivery Signature Options If you require a signature, check Direct or Indirect.
 No Signature Required Package may be left without obtaining a signature for delivery.
 Direct Signature Anyone at recipient's address may sign for delivery. Fee applies.
 Indirect Signature If no one is available at recipient's address, anyone at a neighboring address may sign for delivery. Fee applies.
520

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Terms And Conditions

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Agreement To Terms By giving us your package to deliver, you agree to all the terms on this Airbill and in the current FedEx Service Guide, which is available upon request. You also agree to those terms on behalf of any third party with an interest in the package. If there is a conflict between the current FedEx Service Guide and this Airbill, the current FedEx Service Guide will control. No one is authorized to change the terms of our Agreement.

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- for loss, damage, or delay caused by events we can't control, including but not limited to acts of God, perils of the air, weather conditions, acts of public enemies, war, strikes, civil commotions, or acts of public authorities with actual or apparent authority.

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Oaks, Michele

From: Trevor M. Draper [tdraper@foxarchitects.com]
Sent: Tuesday, February 28, 2006 2:57 PM
To: Oaks, Michele
Subject: RE: 3 Grafton Street

Hi Michele – I wasn't able to get them delivered to you today. But they should arrive to you by FedEx in the morning again.

Thanks,
Trevor

From: Oaks, Michele [mailto:Michele.Oaks@mncppc-mc.org]
Sent: Tuesday, February 28, 2006 11:06 AM
To: Trevor M. Draper
Subject: RE: 3 Grafton Street

I have received them already...I should be able to stamp them and send them back out today...

Michele Oaks, Senior Planner
Historic Preservation Office
Montgomery County Department of Park and Planning
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)
(301) 563-3412 (fax)
michele.oaks@mncppc-mc.org
www.mncppc.org

-----Original Message-----

From: Trevor M. Draper [mailto:tdraper@foxarchitects.com]
Sent: Tuesday, February 28, 2006 11:06 AM
To: Oaks, Michele
Subject: 3 Grafton Street

Hi Michele,

You should be receiving the drawings this morning with the plans as they were approved previously. When you are ready to send those back to me, will you FedEx them so that they arrive the next morning? You may use our account, number: 1956-4145-5.

I have also included the application for the revision for the drawings that I sent you a couple weeks ago. Let me know if you need anything further for that.

Thanks,
Trevor

FOX ARCHITECTS

ATTN:

FIRST CLASS MAIL

MICHELLE OAKS

HPRB

CAUTION:
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AVOID EXPOSURE TO ALL MAGNETIC FIELDS

ANTI-STATIC CD/DISK MAILER

Fox Architects

*3 Grafton St
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3 Grafton St. Project


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Recordable 700 MB

Date: March 1, 2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Michele Oaks, Senior Planner 
Historic Preservation Section, M-NCPPC

SUBJECT: Historic Area Work Permit # **403712** for alterations and additions to 3 Grafton Street,
Chevy Chase Village Historic District

The Montgomery County Historic Preservation Commission (HPC) reviewed the attached application for a Historic Area Work Permit (HAWP) at its public hearing on December 07, 2005. This application was **APPROVED with conditions**. The conditions of approval were:

- The applicant will work with the Chevy Chase Village Arborist to develop a tree protection plan and implement this plan prior to construction commencement.
- All exterior details including balustrades, window/door trim, cornice details, moldings (excluding columns and soffits) will be fabricated from wood. PVC products will not be utilized.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS.

Applicant: Robert Josephs (Trevor Draper, Agent, Fox Architects)

Address: 3 Grafton Street, Chevy Chase (Chevy Chase Village Historic District)

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if they modify or make any alterations to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

AP 403712

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: TREVOR DRAPER
Daytime Phone No.: 301.718.2021

Tax Account No.: _____
Name of Property Owner: ROBERT JOSEPHS Daytime Phone No.: _____
Address: 5 GRAFTON ST. CHEVY CHASE MARYLAND 20815
Street Number City State Zip Code
Contractor: TBD Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: FOX ARCHITECTS Daytime Phone No.: 301.718.2021

LOCATION OF BUILDING/PREMISE

House Number: 3 Street: GRAFTON STREET
Town/City: CHEVY CHASE Nearest Cross Street: CHEVY CHASE CIRCLE
Lot: 2 P/O Block: _____ Subdivision: VILLAGE OF CHEVY CHASE
Liber: 18675 Folio: 422 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 450,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: _____ Date: 10 Nov. 05

Approved: X W/CONDITIONS For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: Julia DiMaio Date: 12/7/05
Application/Permit No.: 403712 Date Filed: _____ Date Issued: _____

Written Description of the Project:

#3 Grafton Street
Chevy Chase, Maryland

Description of existing structure and environmental setting, including their historical features and significance.

Three Grafton Street is a two and a half story Dutch Colonial home with a gambrel roof. The exterior of the home has a stucco finish and detailed window and door casings. Most of the windows on the original structure have shutters. The slate roof has three symmetrical dormers, each of which has a flared hip roof. The original structure has an existing one story addition attached to the rear of the home which employs the use of gambrel roofs. However, the gambrel roofs on this addition do not hold the same proportions as the original structure. The front porch is original to the house, but only up to the edge of the house. The porch was added onto at the time of the rear addition to make it wrap around the corner of the house.

This house sits one house in from Chevy Chase Circle on a surprisingly quiet, tree-lined street. As can be seen from the photos, the area is filled with large trees which provide a unique and mature atmosphere to the neighborhood.

General description of project and its effect on the historic resource, the environmental setting, and, where applicable, the historic district.

The main portion of the building project consists of improving the existing rear addition. The roof of the existing rear addition will be removed and several small areas of new footprint will be added. A new two and a half story structure will be built based on the footprint of the existing addition and the proposed additional footprint. The proposed new addition will employ gambrel roofs throughout the design and will stay true to the proportions of the original roof.

The existing wrap-around porch, which is an addition to the original, will be modified to include a new area of screened porch. The existing bay on the front of the house has a dilapidated railing which will be removed and replaced with a copper roof structure.

The exterior of the original structure is in general disrepair. The stucco will be repaired and painted, as will trim around the windows, doors and cornices. The columns bases on the front porch are rotting and the wood column shafts are splitting. These will be repaired if possible, or replaced with wood columns to match the existing columns. Similarly, the wooden porch decking is rotting in many places and will be repaired, if possible, or replaced with new wood decking.

The goal of this project is to leave the original structure intact as much as is possible, to repair portions of the original structure that are in desperate need, and to improve upon the existing additions to unify the overall house so that the whole is in harmony with the design of the original structure. This project has very little effect to the overall streetscape as a majority of the new work will not be visible from the road.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3 Grafton Street, Chevy Chase	Meeting Date:	12/07/05
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	11/30/05
Review:	HAWP	Public Notice:	11/23/05
Case No.	35/13-05Y	Tax Credit:	Partial
Applicant:	Robert Josephs (Trevor Draper, Fox Architects)	Staff:	Michele Oaks

Proposal: Front porch modifications and additions

Recommendation: Approve with conditions

STAFF RECOMMENDATION: Staff recommends that the Commission approve this HAWP application with the conditions that:

1. The applicant will work with the Chevy Chase Village Arborist to develop a tree protection plan and implement this plan prior to construction commencement.
2. All exterior details including balustrades, window/door trim, cornice details, moldings (excluding columns and soffits) will be fabricated from wood. PVC products will not be utilized.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Dutch Colonial
DATE OF CONSTRUCTION: By 1912

The original house is a three-bay, gambrel roof, stucco dwelling. The first story is detailed with an octagonal bay window and a set of 6/6 paired windows. The second story is detailed with three, single 6/6 double hung windows. The center entry surround contains a wood door flanked by partial, paneled sidelights. Most of the windows contain two, paneled louvered shutters. The front elevation is also ornamented with a wrap-around front porch. The porch fashions round Doric columns with a square, inset picket balustrade. The roof is sheathed in slate and is accentuated by three symmetrical dormers with flared hipped roofs. The dormers contain 20-light casement windows.

The current lot that the house is sited is 80' wide and 125' deep. The house is currently sited in the southern half of the lot, providing a good size rear yard. A driveway runs along the west property line and terminates at an existing garage located in the northwestern corner of the property. The property contains several large, mature trees.

PROPOSAL:

The project consists of:

1. Rehabilitation of the original massing of the house to include:
 - repairing and repainting of the stucco
 - repairing and replacing in-kind as needed the trim around the windows, doors and cornices.
 - repairing of the original columns on the front porch (original porch did not extend beyond the front elevation). If they are not repairable the applicant is proposing the replace these columns with matching wood columns.
 - repairing and replacing in-kind as needed of the wood, tongue and groove porch floor.
 - removing the non-compatible, dilapidated railing on top of the existing front bay and replace with a copper roof.

2. Installation of a Velux skylight on rear roof slope of new addition (see cut sheet on circle 26).

3. Altering the existing rear, non-contributing addition by:
 - removing the roof and constructing a new, 2-1/2 story structure on the footprint of the existing addition.
 - expanding the existing footprint of the addition by 7' wide x 15' long in the rear of the addition to create an eat-in kitchen, 5' wide x 18' long on the eastern, side elevation to increase the size of the alcove, and 5' wide x 17' long to increase the size of the screen porch. (280 total sq.ft. increase)
 - employing gambrel roof forms throughout the design that will stay true to the proportions of the original roof.
 - constructing a one-story mudroom extension projecting from the western side of the rear addition. (12'6" x 7'6"= 93.75 sq.ft)
 - extending the existing chimney an additional 24" above ridge line.

The new addition's material selection complements the existing materials on the house and matches the existing roof slopes and exterior column and porch details. The proposed material specifications for the new addition are stone veneer to match the existing as close as possible, 3 coat stucco, composition shingle roof, PVC handrails and trim, Permacast columns for the addition, the repair/replacement of the columns on the original massing is proposed to be replaced with wood. Wood, simulated divided light windows, double hung and casement, with aluminum clad exteriors.

Existing Footprint House	2220	approx. sq.ft.
Garage	356	approx sq.ft.
Proposed Footprint	2593	approx sq.ft.
Lot size	10,000	sq.ft.
Existing Lot Coverage w/ garage	25%	
Proposed Lot Coverage w/ garage	29%	

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

- Major additions should, where feasible, be placed at the rear of the existing structure so that they are less visible from the public right-of-way. Major additions, which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited.
- Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if not.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its

character, and they should be permitted where compatibility designed.

- Tree removal should be subject to strict scrutiny and consistent with the Chevy Chase Village Urban Forest Ordinance.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village's open park-like character. It is of paramount importance that the HPC recognize and foster the Village's open, park-like character, which necessitates respect for existing environmental settings, landscaping and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffers undue hardship.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property.

The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The proposed alterations to the porch are sympathetic to the style and scale of the historic resource, while also maintaining delineation between the old and the new. The original front porch historically only extended two bays wide. Evidence of this can be seen in the changes in material in the pier foundation and the ceiling beam that divides the two periods of construction. Therefore, the side porch is a non-contributing addition, and alterations to this addition should be reviewed with a lenient level of scrutiny. The proposed changes to the screened porch on this elevation are not problematic as its design, materials and scale are consistent with the architectural style of the house, and will only be moderately visible from the street, as it will be set back 22' from the front façade of the house.

The additions to the non-contributing massing's footprint will not be visible from the public right-of-way except for the one-story mudroom addition. None of the proposed changes will further disturb any original fabric on the currently exposed facades of this outstanding resource, whereby retaining and preserving the historic integrity of this resource. The one-story addition has been designed so that it protrudes from the existing rear, non-contributing addition, thus not impacting the western façade of the main massing. Having the addition protrude, 7'6" beyond the side elevation of the house does provide a level of delineation between the original and the new. Additionally, this mud room is sited 24' back from the front plane of the house, and will also be only moderately visible from the street. Finally, adding the owners desire to use a true, 3-coat stucco finish on the additions, simulated divided light wood windows, and a design that is compatible with the existing architectural style of the house, staff feels that the changes are sympathetic to the buildings historic integrity.

In terms of material specifications, the Commission has made it a policy not to approve PVC products for detail trim (window and door surrounds, cornices etc) and balustrades, therefore, we are recommending that the Commission recommend approval with the condition that the balustrades and detail trim be wood. A PVC product may be used on the soffits, and Permacast may be used for the columns to be installed on the addition. Replacement of columns on the original house will require the material to be replaced in-kind with wood.

Finally, as the tree survey provided indicates, only two trees would be potentially impacted as part of this construction. As such, the Commission has made it a policy to add a condition to the HAWP approval requiring that applicants work with the Chevy Chase Village Arborist to develop a tree protection plan.

This proposal meets the above criteria outlined in the *Chevy Chase Village Guidelines*. Staff recommends approval with the above stated conditions.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with the above-stated conditions** the HAWP application as being consistent with Chapter 24A-8(b)1 & 2:

The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; and

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Chevy Chase Village Historic District Guidelines, adopted in August 1997.

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

403912

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: TREVOR DRAPEL
Daytime Phone No.: 301.718.2021

Tax Account No.: _____
Name of Property Owner: ROBERT JOSEPHS Daytime Phone No.: _____
Address: 3 GRAFTON ST. CHEVY CHASE MARYLAND 20815
Street Number City State Zip Code
Contractor: TED Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: FOX ARCHITECTS Daytime Phone No.: 301.718.2021

LOCATION OF BUILDING/PREMISE

House Number: 3 Street: GRAFTON STREET
Town/City: CHEVY CHASE Nearest Cross Street: CHEVY CHASE CIRCLE
Lot: 2 P/C Block: _____ Subdivision: VILLAGE OF CHEVY CHASE
Liber: 18679 Folio: 422 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 450,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

10 Nov. 05
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Written Description of the Project:

#3 Grafton Street
Chevy Chase, Maryland

Description of existing structure and environmental setting, including their historical features and significance.

Three Grafton Street is a two and a half story Dutch Colonial home with a gambrel roof. The exterior of the home has a stucco finish and detailed window and door casings. Most of the windows on the original structure have shutters. The slate roof has three symmetrical dormers, each of which has a flared hip roof. The original structure has an existing one story addition attached to the rear of the home which employs the use of gambrel roofs. However, the gambrel roofs on this addition do not hold the same proportions as the original structure. The front porch is original to the house, but only up to the edge of the house. The porch was added onto at the time of the rear addition to make it wrap around the corner of the house.

This house sits one house in from Chevy Chase Circle on a surprisingly quiet, tree-lined street. As can be seen from the photos, the area is filled with large trees which provide a unique and mature atmosphere to the neighborhood.

General description of project and its effect on the historic resource, the environmental setting, and, where applicable, the historic district.

The main portion of the building project consists of improving the existing rear addition. The roof of the existing rear addition will be removed and several small areas of new footprint will be added. A new two and a half story structure will be built based on the footprint of the existing addition and the proposed additional footprint. The proposed new addition will employ gambrel roofs throughout the design and will stay true to the proportions of the original roof.

The existing wrap-around porch, which is an addition to the original, will be modified to include a new area of screened porch. The existing bay on the front of the house has a dilapidated railing which will be removed and replaced with a copper roof structure.

The exterior of the original structure is in general disrepair. The stucco will be repaired and painted, as will trim around the windows, doors and cornices. The columns bases on the front porch are rotting and the wood column shafts are splitting. These will be repaired if possible, or replaced with wood columns to match the existing columns. Similarly, the wooden porch decking is rotting in many places and will be repaired, if possible, or replaced with new wood decking.

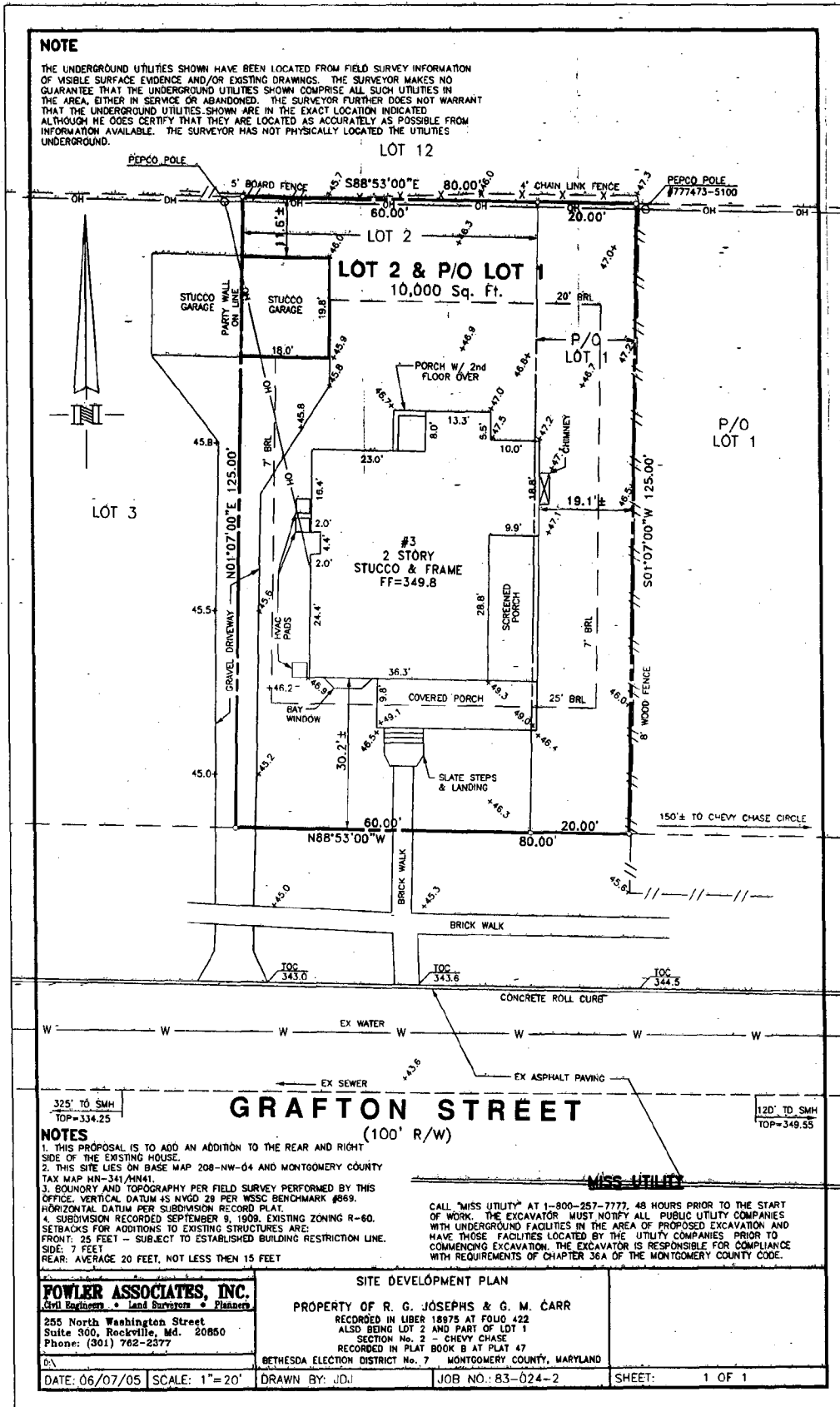
The goal of this project is to leave the original structure intact as much as is possible, to repair portions of the original structure that are in desperate need, and to improve upon the existing additions to unify the overall house so that the whole is in harmony with the design of the original structure. This project has very little effect to the overall streetscape as a majority of the new work will not be visible from the road.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address 3 Grafton St Chevy Chase MD 20815</p>	<p>Owner's Agent's mailing address Fox Architects 7805 Old Georgetown Rd Suite 204 Bethesda MD 20814</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>5 Grafton St Chevy Chase MD 20815</p>	<p>5 Chevy Chase Cir Chevy Chase MD 20815</p>
<p>3 Chevy Chase Cir Chevy Chase MD 20815</p>	<p>2 Magnolia Pkwy Chevy Chase MD 20815</p>
<p>2 Hesketh St Chevy Chase MD 20815</p>	<p>8 Grafton St Chevy Chase MD 20815</p>

NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF VISIBLE SURFACE EVIDENCE AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UTILITIES UNDERGROUND.



NOTES

1. THIS PROPOSAL IS TO ADD AN ADDITION TO THE REAR AND RIGHT SIDE OF THE EXISTING HOUSE.
2. THIS SITE LIES ON BASE MAP 208-NW-04 AND MONTGOMERY COUNTY TAX MAP NN-341, 4141.
3. BOUNDARY AND TOPOGRAPHY PER FIELD SURVEY PERFORMED BY THIS OFFICE. VERTICAL DATUM 45 NAVD 29 PER WSSC BENCHMARK #669. HORIZONTAL DATUM PER SUBDIVISION RECORD PLAT.
4. SUBDIVISION RECORDED SEPTEMBER 9, 1909. EXISTING ZONING R-60. SETBACKS FOR ADDITIONS TO EXISTING STRUCTURES ARE:
FRONT: 25 FEET - SUBJECT TO ESTABLISHED BUILDING RESTRICTION LINE.
SIDE: 7 FEET
REAR: AVERAGE 20 FEET, NOT LESS THAN 15 FEET

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

POWELL ASSOCIATES, INC.

Civil Engineers • Land Surveyors • Planners
255 North Washington Street
Suite 300, Rockville, Md. 20850
Phone: (301) 762-2377

SITE DEVELOPMENT PLAN

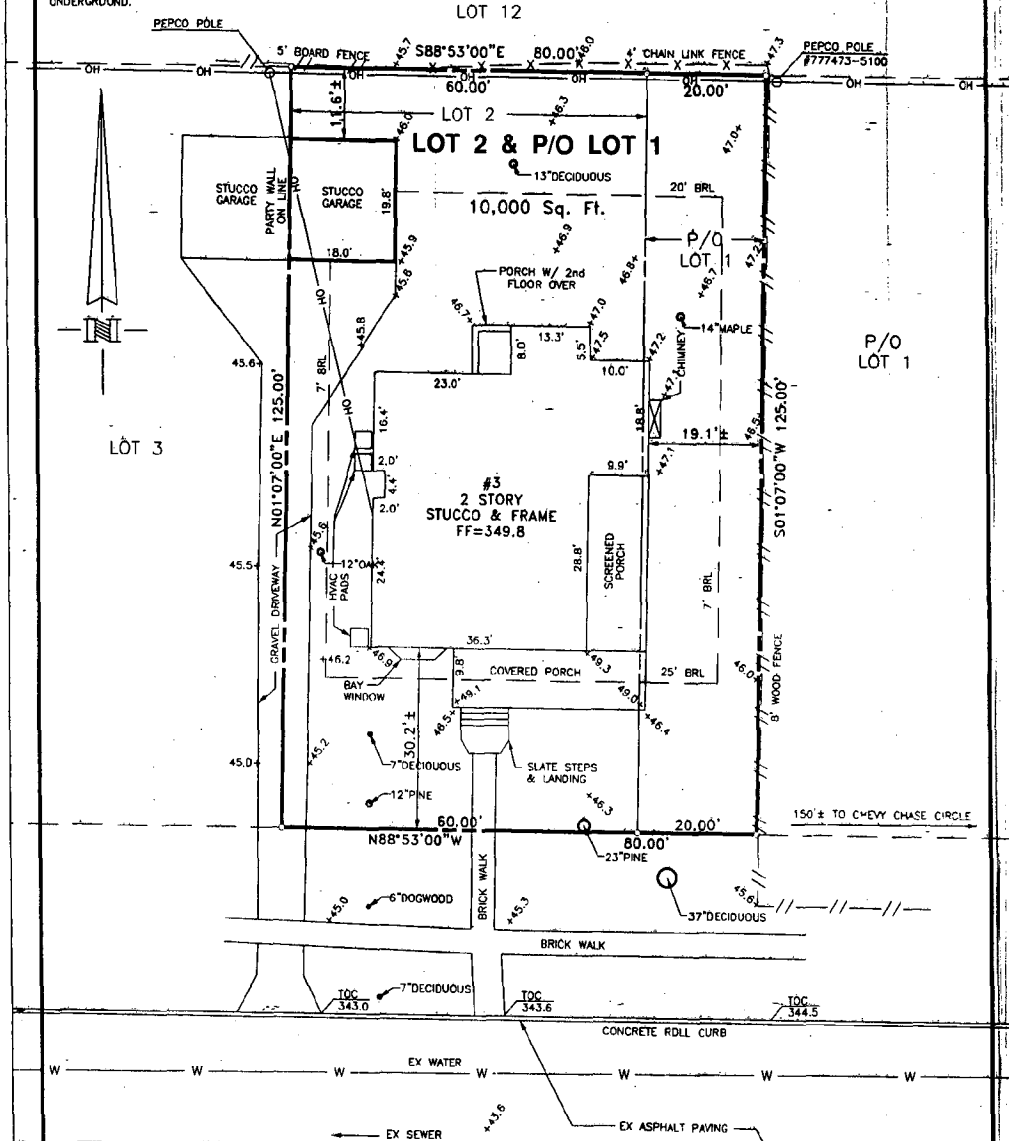
PROPERTY OF R. G. JOSEPHS & G. M. CARR
RECORDED IN LIBER 18975 AT FOLIO 422
ALSO BEING LOT 2 AND PART OF LOT 1
SECTION No. 2 - CHEVY CHASE
RECORDED IN PLAT BOOK B AT PLAT 47
BETHESDA ELECTION DISTRICT No. 7 MONTGOMERY COUNTY, MARYLAND

DATE: 06/07/05	SCALE: 1"=20'	DRAWN BY: JDI	JOB NO.: 83-024-2	SHEET: 1 OF 1
----------------	---------------	---------------	-------------------	---------------

(b)

NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF VISIBLE SURFACE EVIDENCE AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UTILITIES UNDERGROUND.



GRAFTON STREET
(100' R/W)

325' TO SMH
TOP=334.25

120' TO SMH
TOP=349.55

NOTES

1. THIS PROPOSAL IS TO ADD AN ADDITION TO THE REAR AND RIGHT SIDE OF THE EXISTING HOUSE.
2. THIS SITE LIES ON BASE MAP 208-NW-04 AND MONTGOMERY COUNTY TAX MAP HN-341/NN41.
3. BOUNDARY AND TOPOGRAPHY PER FIELD SURVEY PERFORMED BY THIS OFFICE. VERTICAL DATUM IS NVD 29 PER WSC BENCHMARK #968. HORIZONTAL DATUM PER SUBDIVISION RECORD PLAT.
4. SUBDIVISION RECORDED SEPTEMBER 9, 1909. EXISTING ZONING R-60. SETBACKS FOR ADDITIONS TO EXISTING STRUCTURES ARE:
FRONT: 25 FEET - SUBJECT TO ESTABLISHED RESTRICTION LINE.
SIDE: 7 FEET
REAR: AVERAGE 20 FEET, NOT LESS THAN 15 FEET

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

FOWLER ASSOCIATES, INC.
Civil Engineers • Land Surveyors • Planners
205 North Washington Street
Suite 300, Rockville, Md. 20850
Phone: (301) 782-2377

SITE DEVELOPMENT PLAN
PROPERTY OF R. G. JOSEPHS & G. M. CARR
RECORDED IN LIBER 18675 AT FOLIO 422
ALSO BEING LOT 2 AND PART OF LOT 1
SECTION No. 2 - CHEVY CHASE
RECORDED IN PLAT BOOK 8 AT PLAT 47
BETHESDA ELECTION DISTRICT No. 7 MONTGOMERY COUNTY, MARYLAND

DATE: 06/07/05 SCALE: 1"=20' DRAWN BY: JDJ JOB NO.: 83-024-2 SHEET: 1 OF 1

TREE SURVEY



REVISION HISTORY	
DATE	ISSUE
11.10.00	HPFB REVIEW

DRAWN BY:

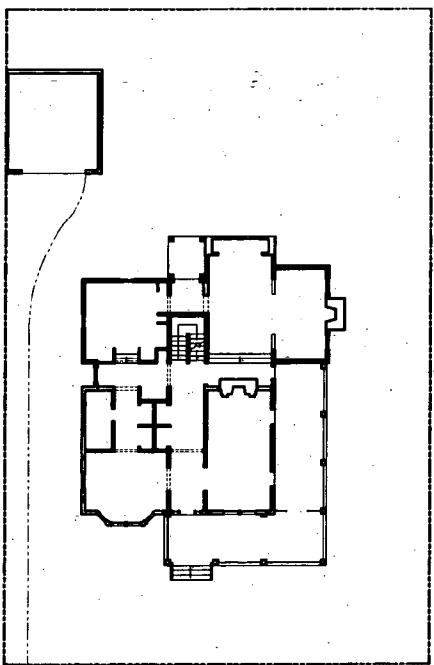
Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0508

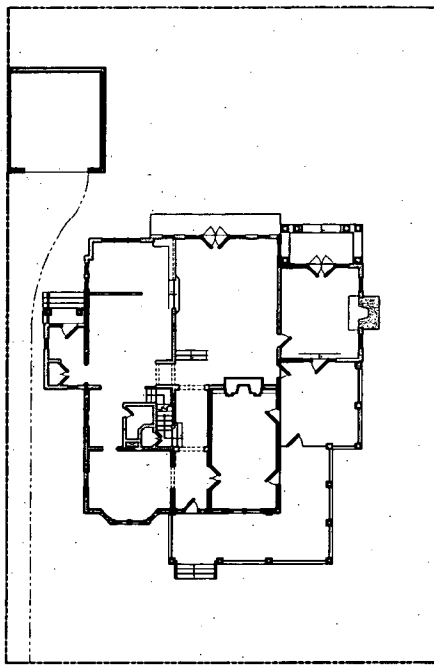
**New Work
Basement
Floor Plan**

SCALE: AS NOTED

A100

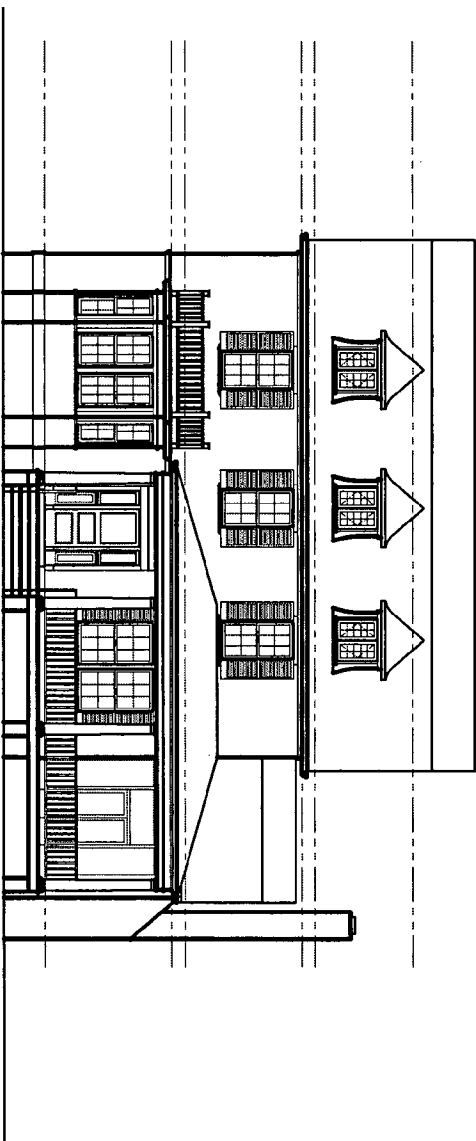


① Existing Architectural Site Plan
1" = 10'-0"

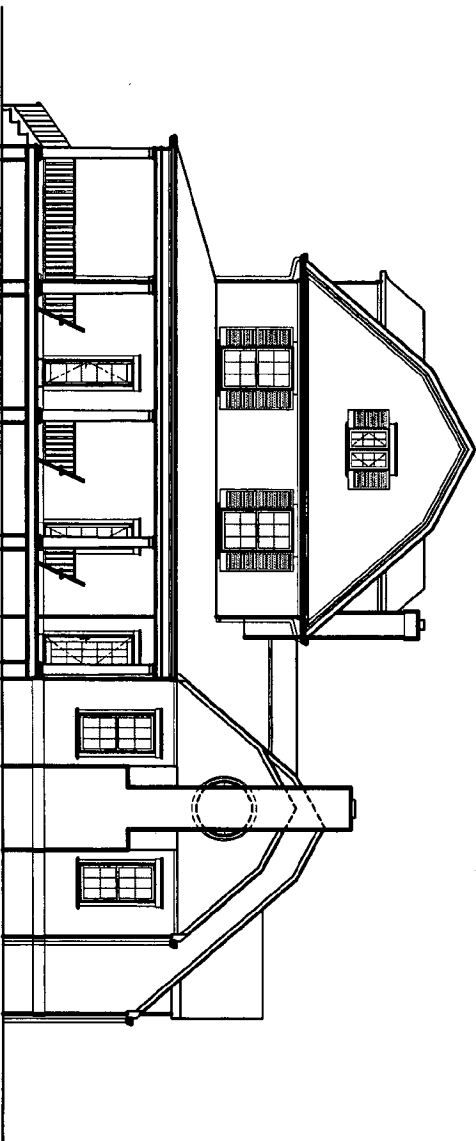


① Architectural Site Plan
1" = 10'-0"

12



1 Front Elevation
1/4" = 1'-0"



2 Side Elevation
1/4" = 1'-0"

FOX
ARCHITECTS

THE FOLD CONSTRUCTION, INC.
1000 N. WASHINGTON BLVD.
ARLINGTON, VA 22201
TEL: 703.261.1111

GENERAL CONTRACTOR	
DATE	10/20/08
SCALE	AS SHOWN
PROJECT NO.	0808

As Built Drawings of:
The Josephs/Carr Residence
 3 Grafton Street
 Chevy Chase, Maryland 20815

PROJECT NO. 0808

Existing Elevations

SCALE: AS SHOWN

A104



① Front Elevation
1/4" = 1'-0"

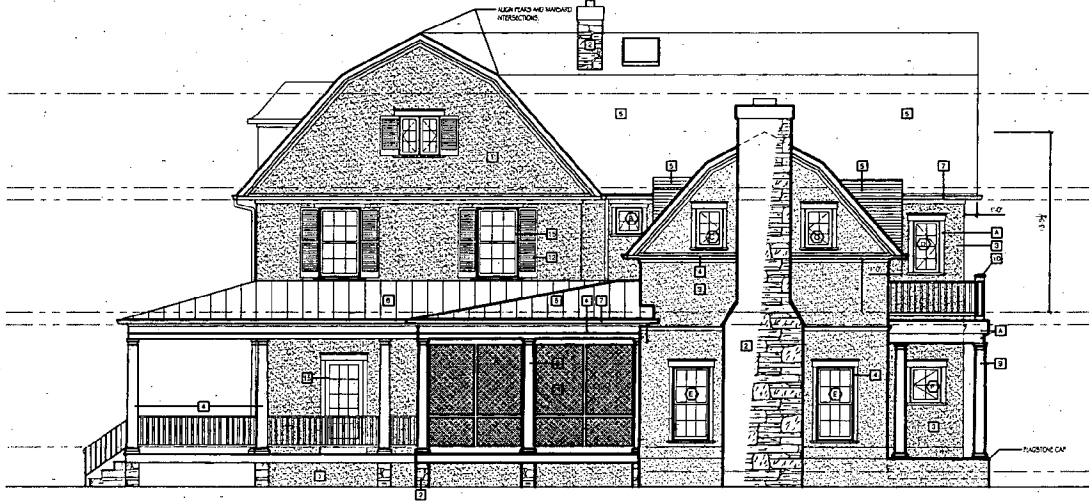
Material Legend

1	EXISTING STUCCO FINISH. REPAIR AND REPAINT.
2	STONE VENEER. TO MATCH EXISTING AS CLOSE AS POSSIBLE.
3	3 COAT STUCCO FINISH. REPAIR/TO MATCH EXISTING AS CLOSE AS POSSIBLE.
4	1/2" PINE TRIM (TYPICAL TRIM/EGGMOULD). FINISH W/ PRIMER & TWO COATS 100% ACRYLIC LATEX PAINT. EGGSHELL (EXTERIOR).
5	50 YR. COMPOSITION ARCHITECTURAL SHINGLE.
6	20GA COPPER STANDING SEAM ROOF.
7	1" STYLE ALUMINUM GUTTERS & DOWNSPOUTS.
8	EXISTING COLUMNS REPAIR/REPLACE AS NEEDED w/ LIKE MATERIAL AND STYLE.
9	PERMANENT COLLARS BY FRG. STYLE TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10	PVC GUARDRAIL AND NEWEL POST BY FRG.
11	1/2" PATTERNED BLUE FLAGSTONE. TYPICAL FOR PATIOS, STOODS & TERRAZZOS.
12	EXISTING WORKING SHUTTERS & ASSOCIATED HARDWARE. REPAIR. FRAME & FILL FINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).
13	EXISTING SLATE ROOF TO REMAIN.
14	SCREEN-TIGHT SCREEN SYSTEM.
15	EXISTING WOOD WINDOWS & DOORS TO REMAIN. REPAIR. FRAME & FILL FINISH 100% ACRYLIC LATEX SEMI-GLOSS (EXTERIOR).

REVISION HISTORY

DATE	ISSUE
11.10.00	HPBS REVIEW

DRAWN BY:



② Side Elevation
1/4" = 1'-0"

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

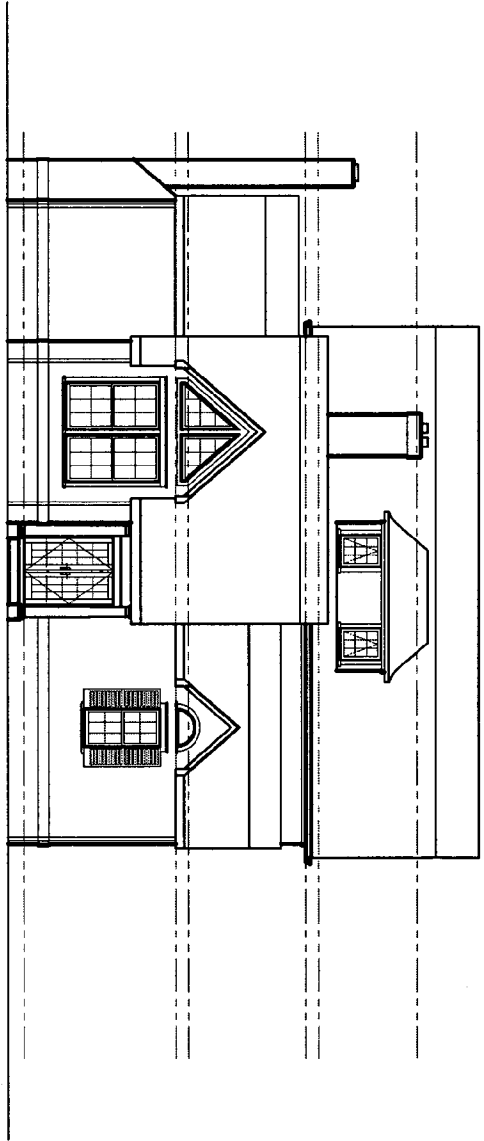
PROJECT NO. 0508

Elevations

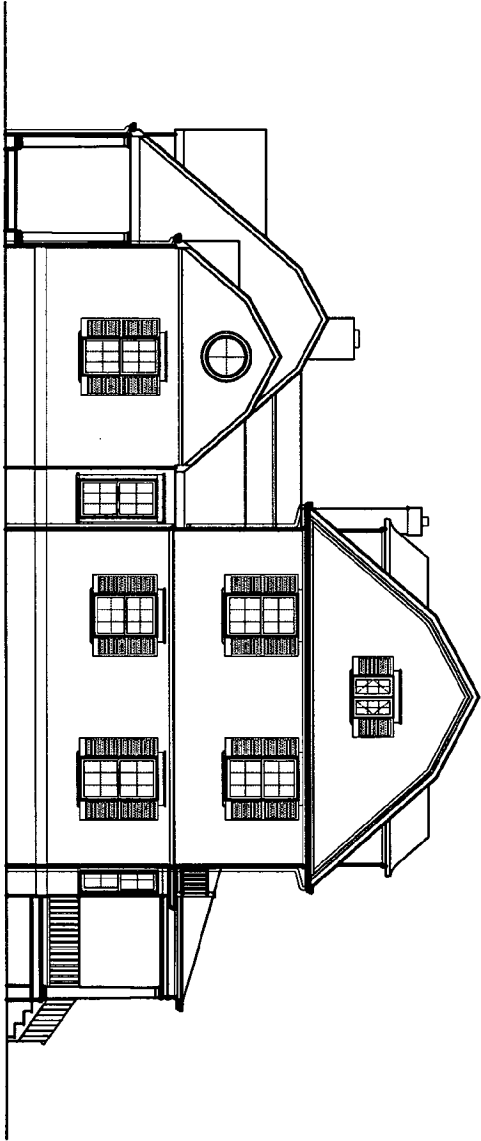
SCALE: AS NOTED

A400

171



1 Rear Elevation
1/4" = 1'-0"



2 Side Elevation
1/4" = 1'-0"

FOX
ARCHITECTS

180 BALDWIN DRIVE
SILVER SPRING, MD 20910
TEL: 301.584.1100
WWW.FOXARCHITECTS.COM

DESIGN	REVISION
DRAWN	DATE
SCALE	PROJECT NO.
TITLE	
DATE	
SCALE	
PROJECT NO.	

As Built Drawings of:
The Josephs/Carr Residence
 3 Grafton Street
 Chevy Chase, Maryland 20815

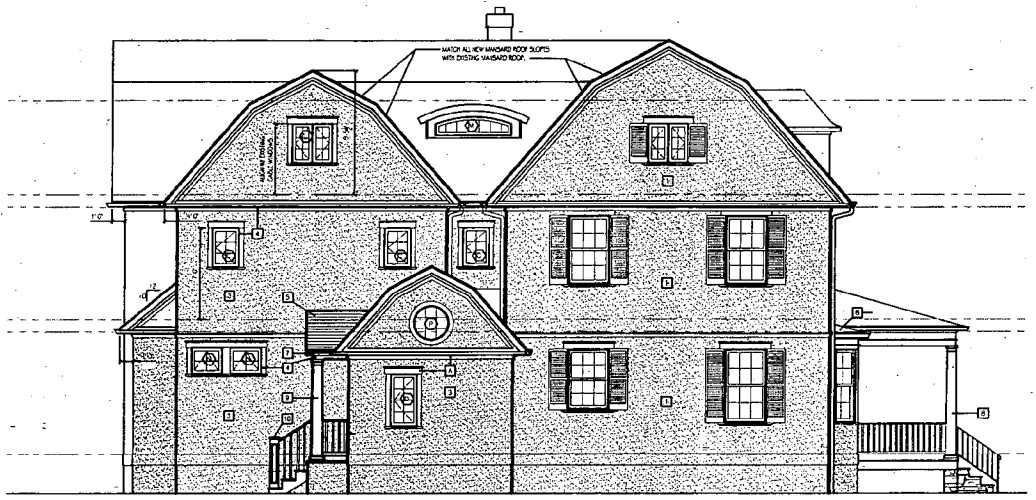
PROJECT NO. 0208
 DATE: 08/2010
 SCALE: AS NOTED

A105

Existing Elevations



① Rear Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

Material Legend

1	EXISTING STUCCO FINISH, REPAIR AND REPAINT.
2	STONE VENEER, TO MATCH EXISTING AS CLOSE AS POSSIBLE.
3	3 COAT STUCCO FINISH, TO MATCH EXISTING AS CLOSE AS POSSIBLE.
4	AZELE PVC TRIM (TYPICAL THROUGHOUT), FINISH BY PRIMER + TWO COATS 100% ACRYLIC LATEX PAINT, EGGSHELL (EXTERIOR).
5	50 YR. COMPOSITION ARCHITECTURAL SHINGLE.
6	20YR. COPPER STANDING SEAM ROOF.
7	1" STYLE ALUMINUM GUTTERS + DOWNSPOUTS.
8	EXISTING COLLARS, REPAIR/REPLACE AS NEEDED w/ LIKE MATERIAL AND STYLE.
9	PERIMASTER COLLARS BY PING, STYLE TO MATCH EXISTING AS CLOSE AS POSSIBLE.
10	PVC GUARDRAILS AND NEWEL POST BY PING.
11	1 1/2" PATTERNED BLUE FLAGSTONE, TYPICAL FOR PATIOS, STAIRS + TREADS.
12	EXISTING WOOD SHUTTERS + ASSOCIATED HARDWARE, REPAIR, PRIME + FIELD FINISH 100% ACRYLIC LATEX 300% GLOSS (EXTERIOR).
13	EXISTING SLATE ROOF TO REMAIN.
14	SCREEN-TIGHT SCREEN SYSTEM.
15	EXISTING WOOD WINDOWS + DOORS TO REMAIN.
16	REPAIR, PRIME + FIELD FINISH 100% ACRYLIC LATEX 300% GLOSS (EXTERIOR).

REVISION HISTORY

DATE	ISSUE
11.10.00	MPRB REVIEW

DRAWN BY:

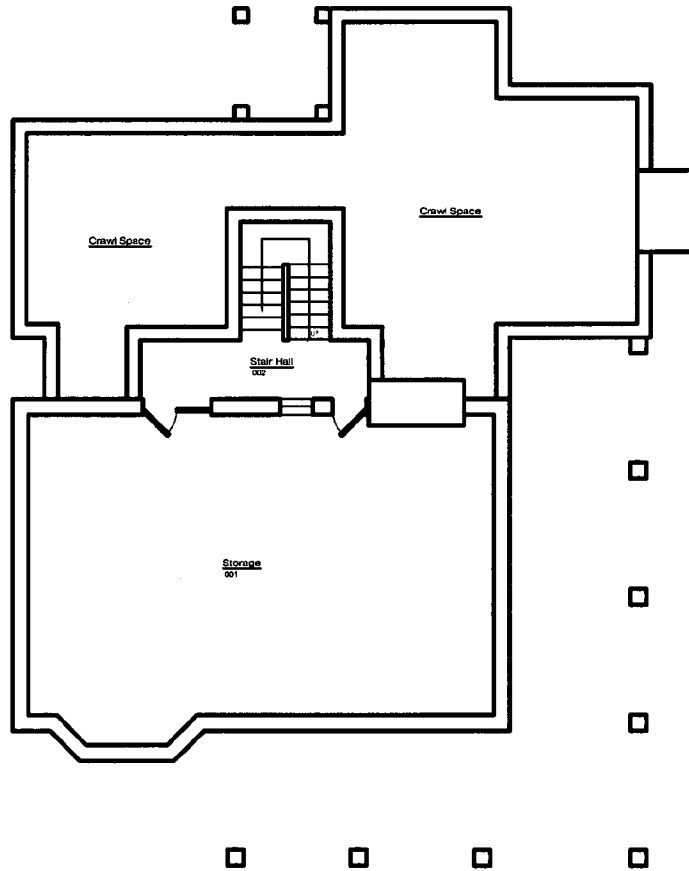
Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0908

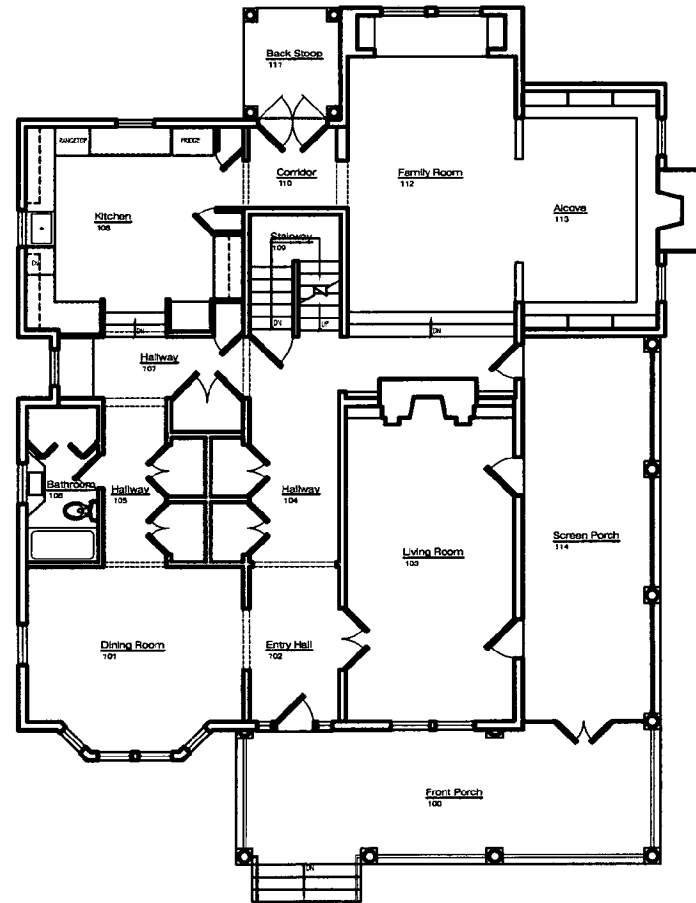
Elevations

SCALE: AS NOTED

A401



① Basement Floor Plan
1/8" = 1'-0"



② First Floor Plan
1/8" = 1'-0"



FOX
ARCHITECTS

7345 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MD 20814
301.278.3021

REVISION HISTORY	
DATE	SCALE

DESIGN BY:

As Built Drawings of:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0808

Existing Floor Plan

SCALE: AS NOTED

A102

17

REVISION HISTORY	
DATE	ISSUE
11.10.00	MPR REVIEW

DRAWN BY:

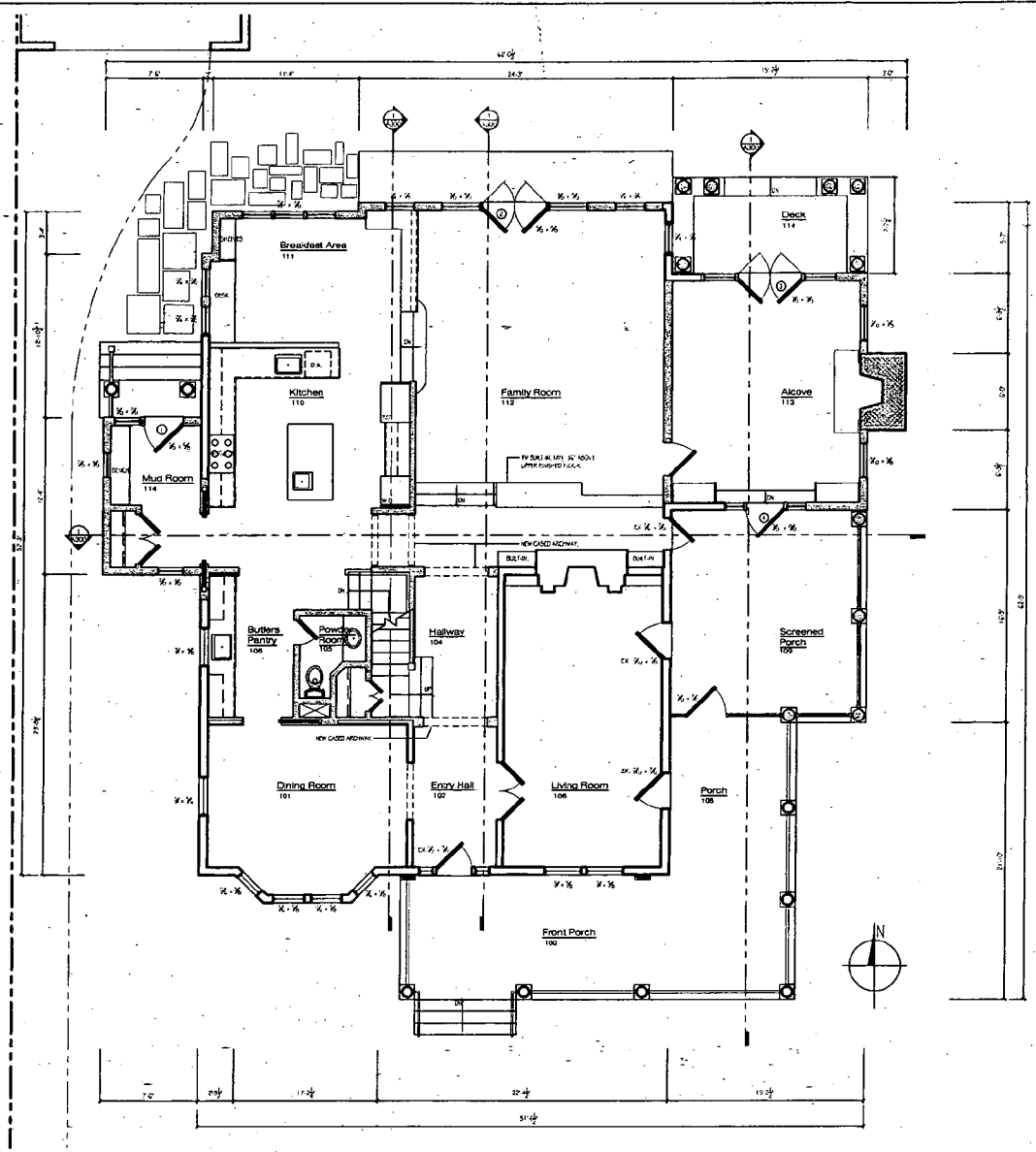
Renovation And Addition To:
The Josephs/Carr Residence
3 Crafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0008

New Work
1st Floor
Plan

SCALE: AS NOTED

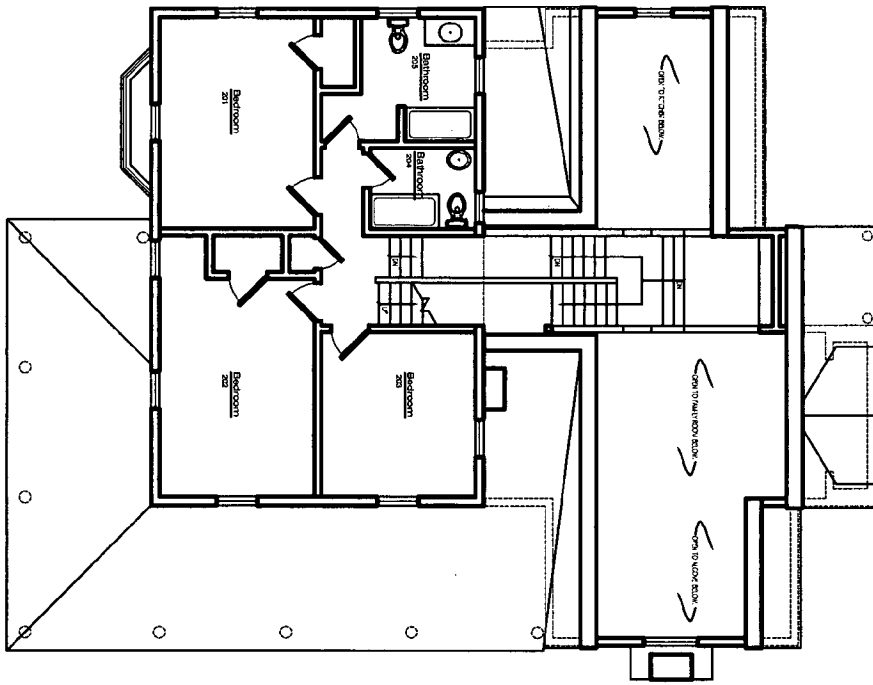
A201a



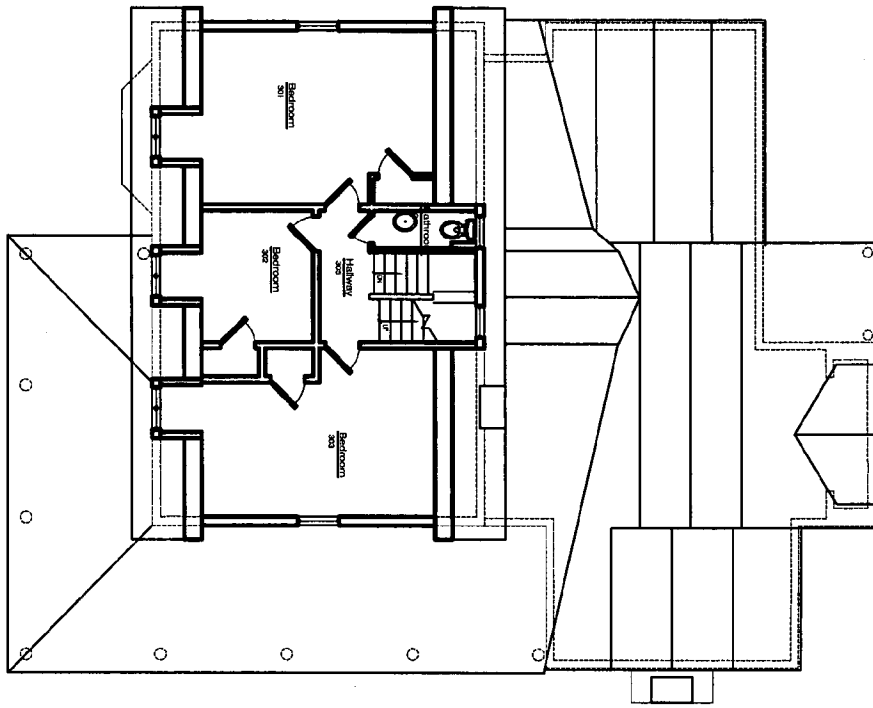
1 First Floor Plan
1/4" = 1'-0"

19

20



① Second Floor Plan
 1/8" = 1'-0"



② Attic Floor Plan
 1/8" = 1'-0"



<p>FOX ARCHITECTS</p> <p>1961 ILLINOIS EXECUTIVE BUILDING 1411 K STREET, N.W. WASHINGTON, D.C. 20004 TEL. 202-331-2000</p>	<p>PROJECT ARCHITECT</p>	<p>As Built Drawings of: The Josephs/Carr Residence 3 Grafton Street Chevy Chase, Maryland 20815</p>	<p>SCALE: AS SHOWN</p>	<p>A103</p>
	<p>DATE: 11.10.09 DRAWN BY: [Name] CHECKED BY: [Name]</p>		<p>SCALE: AS SHOWN</p>	

REVISION HISTORY	
DATE	ISSUE
11.10.00	IFRB REVIEW

DRAWN BY:

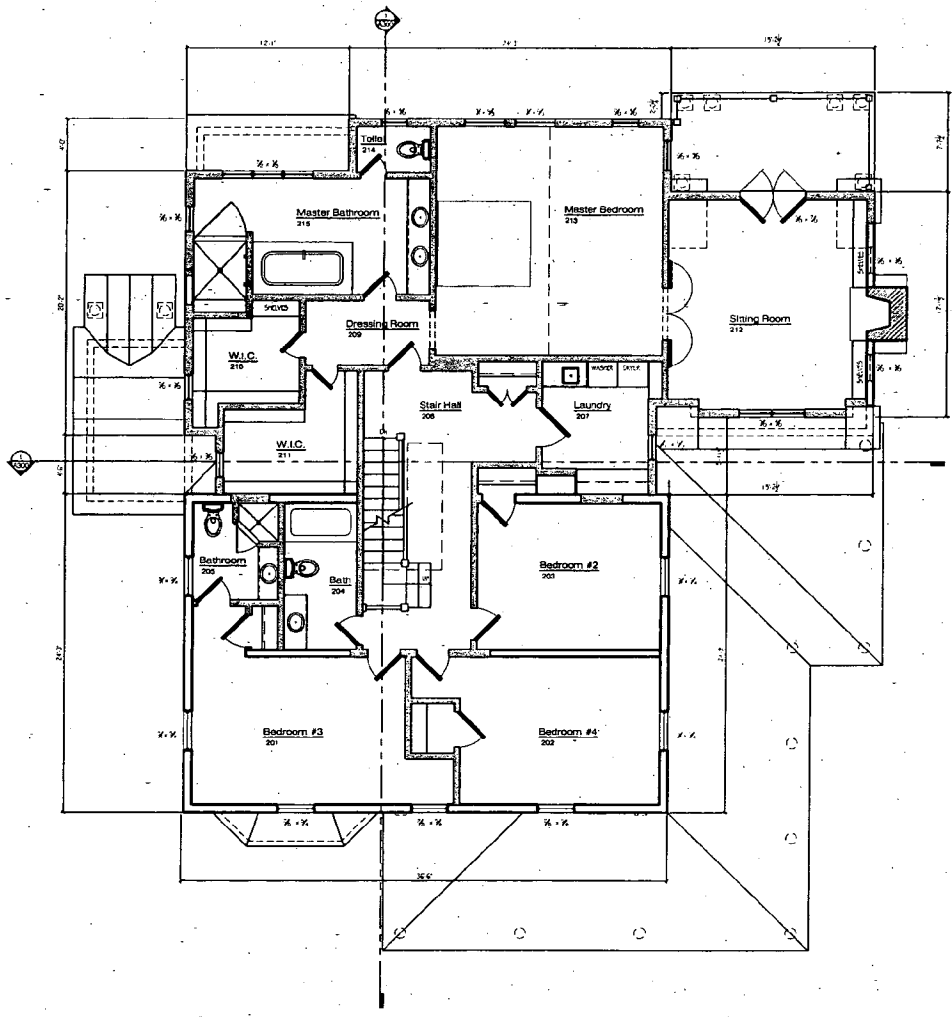
Renovation And Addition To:
The Josephs/Carr Residence
3 Craffton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0208

New Work
2nd Floor
Plan

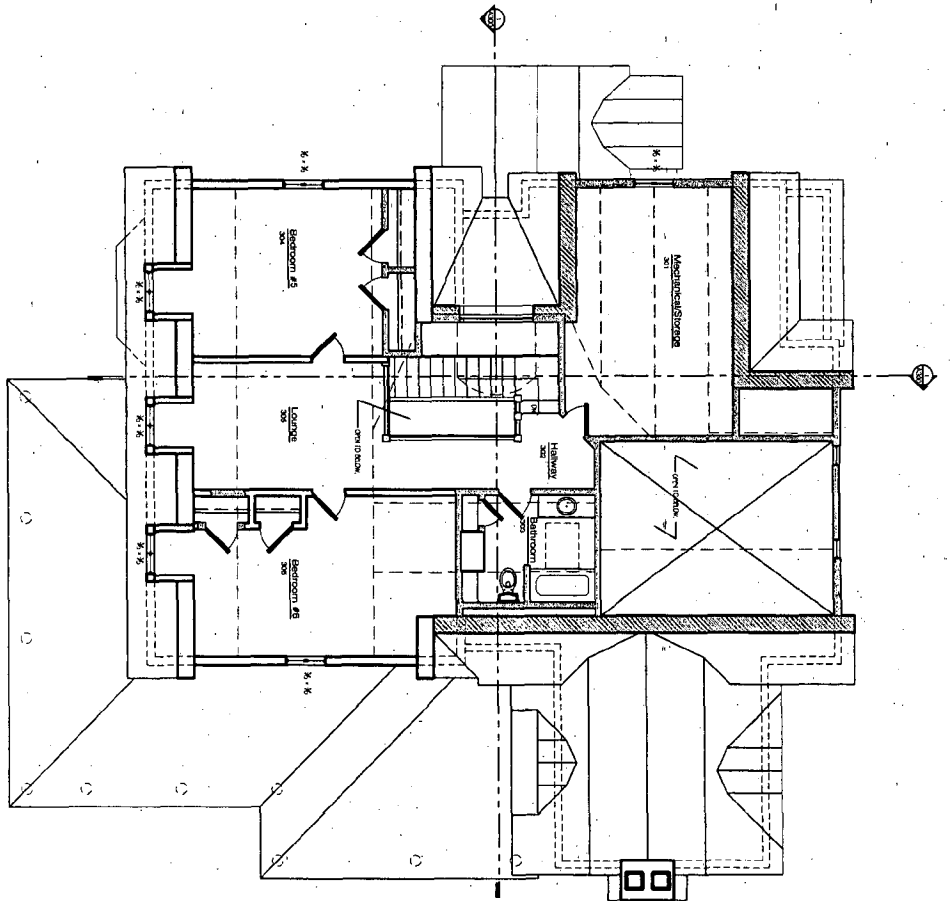
SCALE: AS NOTED

A202



① **Second Floor Plan**
1/4" = 1'-0"

22



① Roof Plan
 1/4" = 1'-0"

FOX
 ARCHITECTS

7810 OLD GEORGETOWN ROAD
 SUITE 200
 ANNAPOLIS, MD 21403
 TEL: 410.291.1000
 FAX: 410.291.1001

REVISIONS
 DATE SCALE
 11/11/00 1/4" = 1'-0"

DATE PLOT

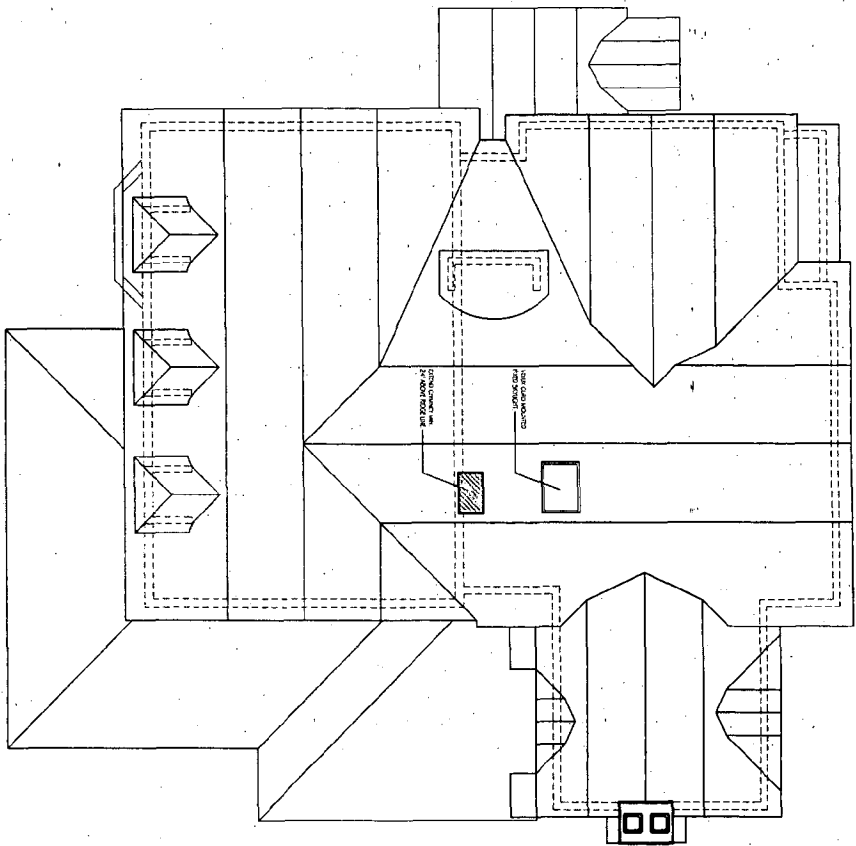
Renovation And Addition To:
 The Josephs/Carr Residence
 3 Grafton Street
 Chevy Chase, Maryland 20815

New Work
 Attic
 Floor Plan

SCALE: AS NOTED

A203

23



① Roof Plan
 1/4" = 1'-0"

FOX
 ARCHITECTS

REGISTERED ARCHITECTS
 STATE OF MARYLAND
 ARCHITECT NO. 14586
 1000 W. WASHINGTON BLVD.
 WASHINGTON, D.C. 20004

REVISION HISTORY	DATE	SCALE
	11.10.03	AS SHOWN

DRAWN BY:

Renovation And Addition To:
 The Josephs/Carr Residence
 3 Grafton Street
 Chevy Chase, Maryland 20815

PROJECT NO. 0208

New Work
 Roof Floor

SCALE: AS SHOWN

A204

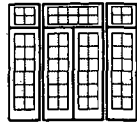
Door Schedule

MARK	NOMINAL SIZE		TYPE	CORE	MANUFAC.	MODEL #	FINISH	HARDWARE	DOOR FRAME		REMARKS
	WIDTH	HEIGHT							TYPE	FINISH	
1	3'-0"	6'-8"	A	SOLID	SIMPSON	7844	P-2	A	WOOD	P-2	EXTERIOR ENTRANCE DOOR
2	PAIR 2'-8" + 2'-8" SIDES	7'-11 1/2" + 2'-0"	B	SOLID	LOEWEN	SEE REMARKS	P-2	A	WOOD	P-2	TD 0721/FD2 1321/TD0721 +TD11 0706/FD12 1206/TD11 0706
3	PAIR 2'-8"	7'-11 1/2" + 2'-0"	C	SOLID	LOEWEN	FD2 1321 +FD12 1206	P-2	A	WOOD	P-2	-
4	3'-0" + 1'-6" SIDES	6'-6 1/2"	D	SOLID	LOEWEN	SEE REMARKS	P-2	A	WOOD	P-2	TD1 0420/TD1 0820/TD1 0420

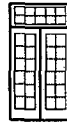
DOOR SCHEDULE NOTES: ***** GC SHALL PROVIDE DOOR MANUFACTURER'S SUBMITTAL FOR ARCHITECT'S REVIEW PRIOR TO FINALIZING ORDER. *****



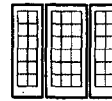
A - EXTERIOR ENTRANCE DOOR



B - EXTERIOR FRENCH DOORS



C - EXTERIOR FRENCH DOORS



D - EXTERIOR FRENCH DOOR

- DOOR NOTES: SEE ELEVATIONS & DETAILS FOR MULLING & TRIM DETAILS.
- 1) CLAD WOOD EXTERIOR, COLOR TO BE DETERMINED.
 - 2) PRIMED WOOD INTERIOR.
 - 3) GLAZING TO BE 5/8" IG, TEMPERING AS NOTED.
 - 4) MUNTIN PATTERNS AS NOTED, IF SHOWN, SDL 7/6/.
 - 5) JAMB EXTENSIONS PROVIDED WHERE NOTED - TO BE FACTORY APPLIED.
 - 6) ALL FRENCH DOORS TO BE TEMPERED.
 - 7) DOORS WITH TRANSOMS TO BE MULLED AS SINGLE UNIT.
 - 8) HARDWARE FINISH - T.B.D.
 - 9) DOOR HINGES TO MATCH HARDWARE OF SAME UNIT.
 - 10) PROVIDE SCREENS AT IN-SWING & SLIDING DOORS; COLOR TO MATCH CLADDING.
 - 11) SEE PLANS & ELEVATIONS FOR HINGING INFORMATION.

Hardware Schedule

MARK	DESCRIPTION (PROVIDE HINGES TO MATCH HARDWARE)
A	ENTRANCE: KEYED DEADBOLT EXTERIOR WITH FINGER-TWIST INTERIOR AND KEYED HANDLE GRIP AT EXTERIOR
B	
C	

HARDWARE SCHEDULE NOTES:

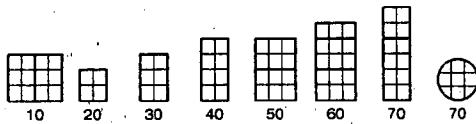
Window Schedule

SPECIFICATION: LOEWEN CLAD LOW-E WINDOWS

MARK	MODEL #	TYPE	ROUGH OPENING		MUNTIN PATTERN	REMARKS
			WIDTH	HEIGHT		
A	FCA 1512	1	4'-11 1/4"	4'-0"	10	PUSH OUT FRENCH CASEMENT WINDOW.
B	AWI 0606	2	2'-0 1/2"	2'-0 1/2"	20	PUSH OUT AWNING.
C	CAI 0609	3	2'-0 1/2"	3'-0 1/2"	30	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
D	CAI 0612	3	2'-0 1/2"	4'-0"	40	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
E	DHI 2830	4	2'-10 1/2"	5'-9"	50	-
F	CAI 0706	3	2'-4 1/4"	2'-8 1/2"	20	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
G	CAI 0409	3	1'-4 1/2"	3'-0 1/2"	30	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
H	DHI 3226 + DTI 3210	5	3'-2 1/2"	5'-1" + 1'-3 1/2"	60	-
J	CAI 0710	3	2'-4 1/4"	3'-4 1/2"	30	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
K	CAI 0715 + AWI 0706	6	2'-4 1/4"	4'-11 1/4" + 2'-0 1/2"	70	PUSH OUT CASEMENT AND PUSH OUT AWNING. SEE ELEVATIONS FOR HINGING.
L	FCA 1010	1	3'-4 1/2"	3'-4 1/2"	10	FRENCH CASEMENT WINDOW.
M	CUSTOM	-	5'-4 1/2"	1'-8 1/2"	-	CUSTOM FIXED ARCHTOP WINDOW.
N	AWI 0706	2	2'-4 1/4"	2'-0 1/2"	20	PUSH OUT AWNING.
P	FR 0606	7	2'-8 1/4"	2'-8 1/4"	80	FULL ROUND WINDOW.

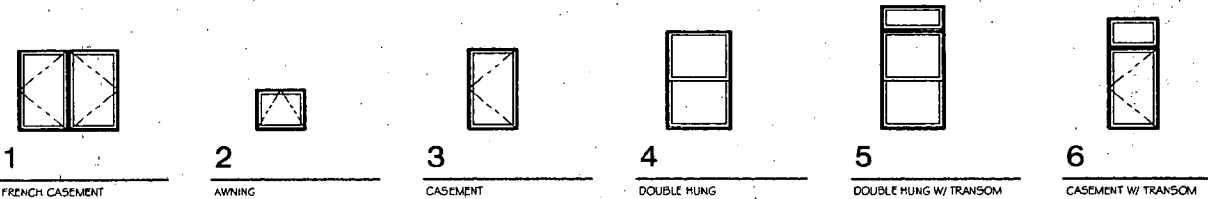
WINDOW SCHEDULE NOTES: ***** GC SHALL PROVIDE WINDOW MANUFACTURER'S SUBMITTAL FOR ARCHITECTS REVIEW PRIOR TO FINALIZING ORDER. *****

Muntin Patterns



- WINDOW NOTES: SEE ELEVATIONS & DETAILS FOR MULLING & TRIM DETAILS.
- 1) CLAD EXTERIOR. COLOR TO BE DETERMINED.
 - 2) PRIMED WOOD INTERIOR.
 - 3) GLAZING TO BE 5/8" IG. TEMPERING AS NOTED.
 - 4) MUNTIN PATTERNS AS NOTED. IF SHOWN, SCL. 7/8".
 - 5) JAMB EXTENSIONS PROVIDED WHERE NOTED.
 - 6) PROVIDE SPREAD MULLS AS NOTED. DIMENSIONS ARE VIEWED AT EXTERIOR.
 - 7) HARDWARE FINISH - T.B.D.
 - 8) PROVIDE HALF SCREENS AT ALL DOUBLE HUNG. COLOR TO MATCH CLADDING.
 - 9) PROVIDE SCREENS AT CASEMENTS & AWNINGS. COLOR TO MATCH CLADDING.
 - 10) SEE ELEVATIONS FOR HINGING INFORMATION.

Window Types



1

FRENCH CASEMENT

2

AWNING

3

CASEMENT

4

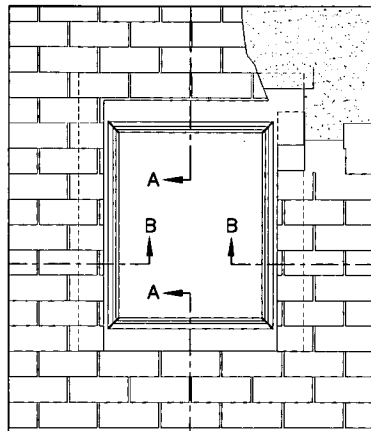
DOUBLE HUNG

5

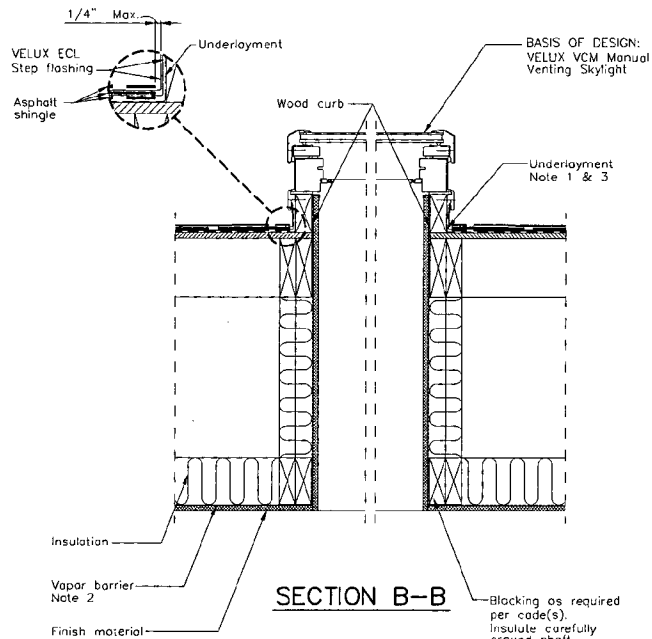
DOUBLE HUNG W/ TRANSOM

6

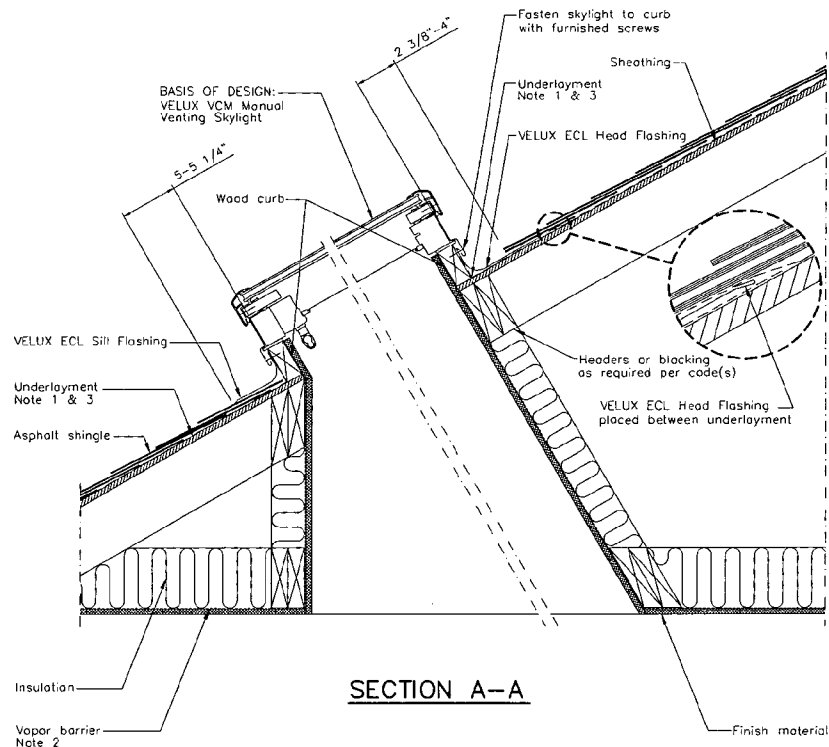
CASEMENT W/ TRANSOM



ELEVATION

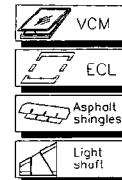


SECTION B-B



SECTION A-A

1. Underlayment to be folded up against all sides of curb.
2. Vapor barrier should be used to avoid moisture.
3. Wrap curb in underlayment. VELUX recommends use of VELUX type ZOZ underlayment in areas with severe weather conditions.



	VELUX 1418 Evans Pond Road Greenwood SC 29649 1-800-88-VELUX www.VELUXUSA.com	Name Date
	Sky-Product Management	Drawn by JDH July 05
	VCM -- Residential/Commercial Roof Section (Light Shaft and Asphalt Shingles)	Checked by JL, BDM July 05
	Drawing No. VCM-01-0705	Revised

This drawing is an instrument of service and is provided for informational use only.

216

C.C.V. supports.

exp

III-F

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3 Grafton Street, Chevy Chase	Meeting Date:	12/07/05
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	11/30/05
Review:	HAWP	Public Notice:	11/23/05
Case No.	35/13-05Y	Tax Credit:	Partial
Applicant:	Robert Josephs (Trevor Draper, Fox Architects)	Staff:	Michele Oaks

Proposal: Front porch modifications and additions

Recommendation: Approve with conditions

STAFF RECOMMENDATION: Staff recommends that the Commission approve this HAWP application with the conditions that:

1. The applicant will work with the Chevy Chase Village Arborist to develop a tree protection plan and implement this plan prior to construction commencement.
2. All exterior details including balustrades, window/door trim, cornice details, moldings (excluding columns and soffits) will be fabricated from wood. PVC products will not be utilized.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Dutch Colonial
DATE OF CONSTRUCTION: By 1912

The original house is a three-bay, gambrel roof, stucco dwelling. The first story is detailed with an octagonal bay window and a set of 6/6 paired windows. The second story is detailed with three, single 6/6 double hung windows. The center entry surround contains a wood door flanked by partial, paneled sidelights. Most of the windows contain two, paneled louvered shutters. The front elevation is also ornamented with a wrap-around front porch. The porch fashions round Doric columns with a square, inset picket balustrade. The roof is sheathed in slate and is accentuated by three symmetrical dormers with flared hipped roofs. The dormers contain 20-light casement windows.

The current lot that the house is sited is 80' wide and 125' deep. The house is currently sited in the southern half of the lot, providing a good size rear yard. A driveway runs along the west property line and terminates at an existing garage located in the northwestern corner of the property. The property contains several large, mature trees.

PROPOSAL:

The project consists of:

1. Rehabilitation of the original massing of the house to include:
 - repairing and repainting of the stucco
 - repairing and replacing in-kind as needed the trim around the windows, doors and cornices.
 - repairing of the original columns on the front porch (original porch did not extend beyond the front elevation). If they are not repairable the applicant is proposing the replace these columns with matching wood columns.
 - repairing and replacing in-kind as needed of the wood, tongue and groove porch floor.
 - removing the non-compatible, dilapidated railing on top of the existing front bay and replace with a copper roof.

2. Installation of a Velux skylight on rear roof slope of new addition (see out sheet on circle 26).

3. Altering the existing rear, non-contributing addition by:
 - removing the roof and constructing a new, 2-1/2 story structure on the footprint of the existing addition.
 - expanding the existing footprint of the addition by 7' wide x 15' long in the rear of the addition to create an eat-in kitchen, 5' wide x 18' long on the eastern, side elevation to increase the size of the alcove, and 5' wide x 17' long to increase the size of the screen porch. (280 total sq.ft. increase)
 - employing gambrel roof forms throughout the design that will stay true to the proportions of the original roof.
 - constructing a one-story mudroom extension projecting from the western side of the rear addition. (12'6" x 7'6"= 93.75 sq.ft)
 - extending the existing chimney an additional 24" above ridge line.

The new addition's material selection complements the existing materials on the house and matches the existing roof slopes and exterior column and porch details. The proposed material specifications for the new addition are stone veneer to match the existing as close as possible, 3 coat stucco, composition shingle roof, PVC handrails and trim, Permacast columns for the addition, the repair/replacement of the columns on the original massing is proposed to be replaced with wood. Wood, simulated divided light windows, double hung and casement, with aluminum clad exteriors.

Existing Footprint House	2220	approx. sq.ft.
Garage	356	approx sq.ft.
Proposed Footprint	2593	approx sq.ft.
Lot size	10,000	sq.ft.
Existing Lot Coverage w/ garage	25%	
Proposed Lot Coverage w/ garage	29%	

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

- Major additions should, where feasible, be placed at the rear of the existing structure so that they are less visible from the public right-of-way. Major additions, which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited.
- Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if not.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its

character, and they should be permitted where compatibility designed.

- Tree removal should be subject to strict scrutiny and consistent with the Chevy Chase Village Urban Forest Ordinance.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village's open park-like character. It is of paramount importance that the HPC recognize and foster the Village's open, park-like character, which necessitates respect for existing environmental settings, landscaping and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffers undue hardship.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property.

The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The proposed alterations to the porch are sympathetic to the style and scale of the historic resource, while also maintaining delineation between the old and the new. The original front porch historically only extended two bays wide. Evidence of this can be seen in the changes in material in the pier foundation and the ceiling beam that divides the two periods of construction. Therefore, the side porch is a non-contributing addition, and alterations to this addition should be reviewed with a lenient level of scrutiny. The proposed changes to the screened porch on this elevation are not problematic as its design, materials and scale are consistent with the architectural style of the house, and will only be moderately visible from the street, as it will be set back 22' from the front façade of the house.

The additions to the non-contributing massing's footprint will not be visible from the public right-of way except for the one-story mudroom addition. None of the proposed changes will further disturb any original fabric on the currently exposed facades of this outstanding resource, whereby retaining and preserving the historic integrity of this resource. The one-story addition has been designed so that it protrudes from the existing rear, non-contributing addition, thus not impacting the western façade of the main massing. Having the addition protrude, 7'6" beyond the side elevation of the house does provide a level of delineation between the original and the new. Additionally, this mud room is sited 24' back from the front plane of the house, and will also be only moderately visible from the street. Finally, adding the owners desire to use a true, 3-coat stucco finish on the additions, simulated divided light wood windows, and a design that is compatible with the existing architectural style of the house, staff feels that the changes are sympathetic to the buildings historic integrity.

In terms of material specifications, the Commission has made it a policy not to approve PVC products for detail trim (window and door surrounds, cornices etc) and balustrades, therefore, we are recommending that the Commission recommend approval with the condition that the balustrades and detail trim be wood. A PVC product may be used on the soffits, and Permacast may be used for the columns to be installed on the addition. Replacement of columns on the original house will require the material to be replaced in-kind with wood.

Finally, as the tree survey provided indicates, only two trees would be potentially impacted as part of this construction. As such, the Commission has made it a policy to add a condition to the HAWP approval requiring that applicants work with the Chevy Chase Village Arborist to develop a tree protection plan.

This proposal meets the above criteria outlined in the *Chevy Chase Village Guidelines*. Staff recommends approval with the above stated conditions.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with the above-stated conditions** the HAWP application as being consistent with Chapter 24A-8(b)1 & 2:

The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; and

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Chevy Chase Village Historic District Guidelines, adopted in August 1997.

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



7/10/05 312

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: TREVOR DEAPER
Daytime Phone No.: 301.718.2021

Tax Account No. _____
Name of Property Owner: ROBERT JOSEPH Daytime Phone No.: _____
Address: 3 GRAFTON ST. CHEVY CHASE MARYLAND 20815
Street Number City State Zip Code
Contractor: TED Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: FOX ARCHITECTS Daytime Phone No.: 301.718.2021

LOCATION OF BUILDING/PREMISE

House Number: 3 Street: GRAFTON STREET
Town/City: CHEVY CHASE Nearest Cross Street: CHEVY CHASE CIRCLE
Lot: 2710 Block: _____ Subdivision: VILLAGE OF CHEVY CHASE
Liber: 10675 Folio: 422 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Reuse Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 450,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent
10 NOV 05
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No. _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

Written Description of the Project:

#3 Grafton Street
Chevy Chase, Maryland

Description of existing structure and environmental setting, including their historical features and significance.

Three Grafton Street is a two and a half story Dutch Colonial home with a gambrel roof. The exterior of the home has a stucco finish and detailed window and door casings. Most of the windows on the original structure have shutters. The slate roof has three symmetrical dormers, each of which has a flared hip roof. The original structure has an existing one story addition attached to the rear of the home which employs the use of gambrel roofs. However, the gambrel roofs on this addition do not hold the same proportions as the original structure. The front porch is original to the house, but only up to the edge of the house. The porch was added onto at the time of the rear addition to make it wrap around the corner of the house.

This house sits one house in from Chevy Chase Circle on a surprisingly quiet, tree-lined street. As can be seen from the photos, the area is filled with large trees which provide a unique and mature atmosphere to the neighborhood.

General description of project and its effect on the historic resource, the environmental setting, and, where applicable, the historic district.

The main portion of the building project consists of improving the existing rear addition. The roof of the existing rear addition will be removed and several small areas of new footprint will be added. A new two and a half story structure will be built based on the footprint of the existing addition and the proposed additional footprint. The proposed new addition will employ gambrel roofs throughout the design and will stay true to the proportions of the original roof.

The existing wrap-around porch, which is an addition to the original, will be modified to include a new area of screened porch. The existing bay on the front of the house has a dilapidated railing which will be removed and replaced with a copper roof structure.

The exterior of the original structure is in general disrepair. The stucco will be repaired and painted, as will trim around the windows, doors and cornices. The columns bases on the front porch are rotting and the wood column shafts are splitting. These will be repaired if possible, or replaced with wood columns to match the existing columns. Similarly, the wooden porch decking is rotting in many places and will be repaired, if possible, or replaced with new wood decking.

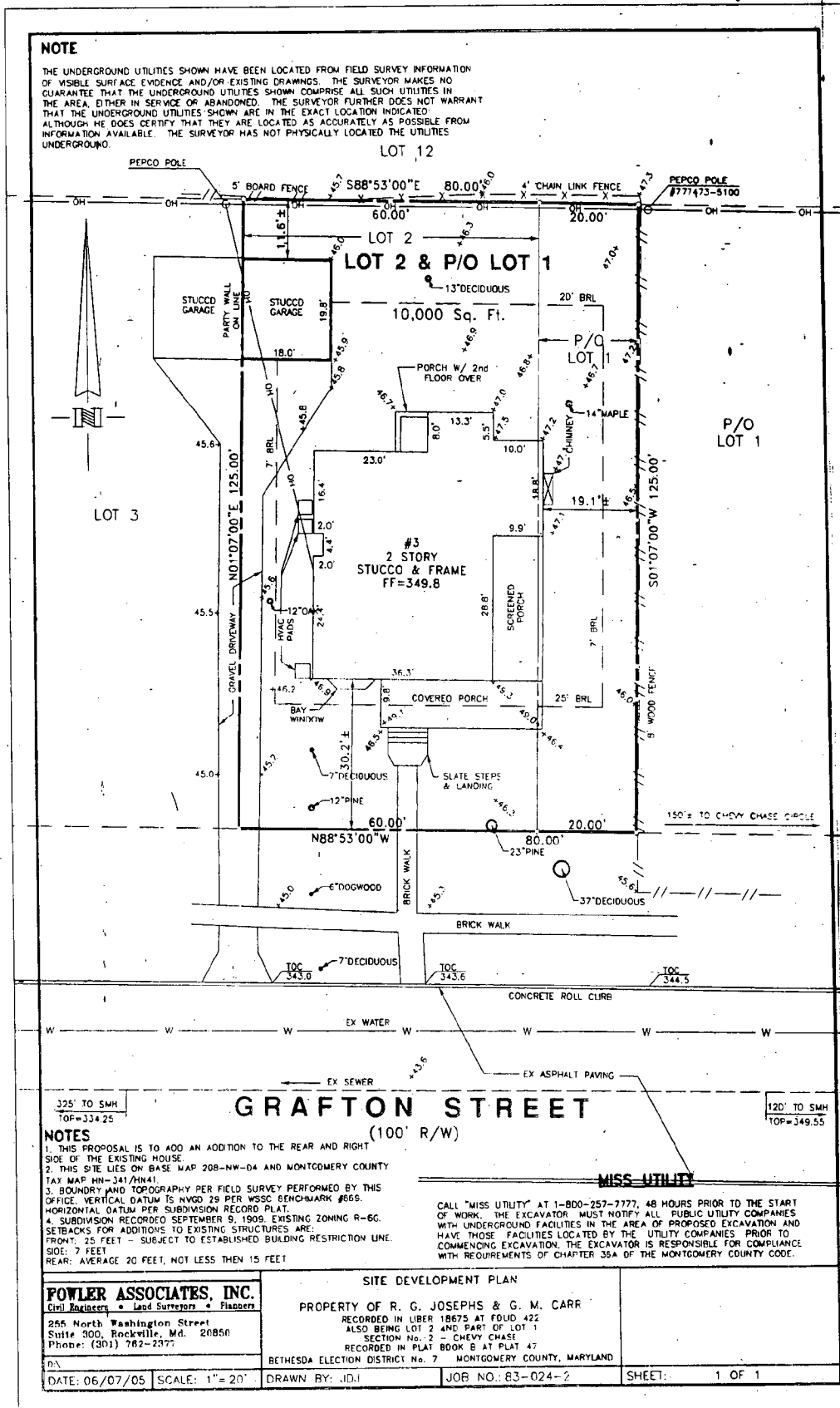
The goal of this project is to leave the original structure intact as much as is possible, to repair portions of the original structure that are in desperate need, and to improve upon the existing additions to unify the overall house so that the whole is in harmony with the design of the original structure. This project has very little effect to the overall streetscape as a majority of the new work will not be visible from the road.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
3 Grafton St Chevy Chase MD 20815	Fox Architects 7809 Old Georgetown Rd Suite 204 Bethesda MD 20814
Adjacent and confronting Property Owners mailing addresses	
5 Grafton St Chevy Chase MD 20815	5 Chevy Chase Cir Chevy Chase MD 20815
3 Chevy Chase Cir Chevy Chase MD 20815	2 Magnolia Pkwy Chevy Chase MD 20815
2 Hesketh St Chevy Chase MD 20815	8 Grafton St Chevy Chase MD 20815

NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF VISIBLE SURFACE EVIDENCE AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UTILITIES UNDERGROUND.



NOTES

1. THIS PROPOSAL IS TO ADD AN ADDITION TO THE REAR AND RIGHT SIDE OF THE EXISTING HOUSE.
2. THIS SITE LIES ON BASE MAP 208-NW-04 AND MONTGOMERY COUNTY TAX MAP NN-341/HN41.
3. BOUNDARY AND TOPOGRAPHY PER FIELD SURVEY PERFORMED BY THIS OFFICE. VERTICAL DATUM IS NAVD 29 PER WSSC BENCHMARK #665. HORIZONTAL DATUM PER SUBDIVISION RECORD PLAT.
4. SUBDIVISION RECORDED SEPTEMBER 9, 1909. EXISTING ZONING R-6C. SETBACKS FOR ADDITIONS TO EXISTING STRUCTURES ARE:
FRONT: 25 FEET - SUBJECT TO ESTABLISHED BUILDING RESTRICTION LINE.
SIDE: 7 FEET
REAR: AVERAGE 20 FEET, NOT LESS THAN 15 FEET

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 35A OF THE MONTGOMERY COUNTY CODE.

FOWLER ASSOCIATES, INC. Civil Engineers • Land Surveyors • Planners 255 North Washington Street Suite 300, Rockville, Md. 20850 Phone: (301) 762-2377		SITE DEVELOPMENT PLAN PROPERTY OF R. G. JOSEPHS & G. M. CARR RECORDED IN LIBER 18675 AT FOLD 422 ALSO BEING LOT 2 AND PART OF LOT 1 SECTION No. 2 - CHEVY CHASE RECORDED IN PLAT BOOK 8 AT PLAT 47 BETHESDA ELECTION DISTRICT No. 7 MONTGOMERY COUNTY, MARYLAND	
DATE: 06/07/05	SCALE: 1" = 20'	DRAWN BY: JDI	JOB NO: 83-024-2
		SHEET: 1 OF 1	

TREE SURVEY



FOX
ARCHITECTS

1000 W. CALVERT STREET, BALTIMORE, MD 21201
410.524.1100
WWW.FOXARCHITECTS.COM

REVISION HISTORY	
DATE	ISSUE
11.10.05	UPPER REVIEW

DRAWN BY:

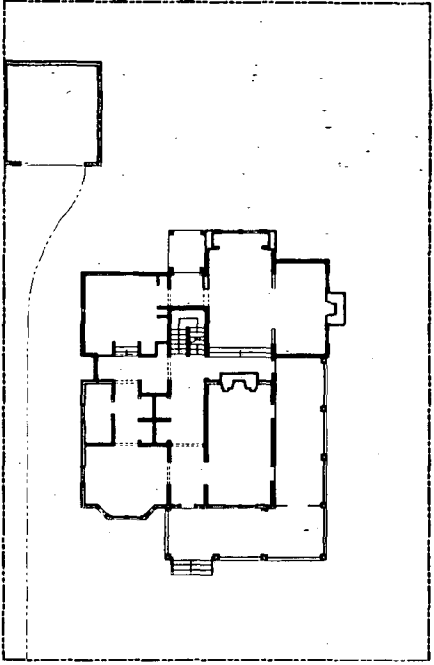
Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0508

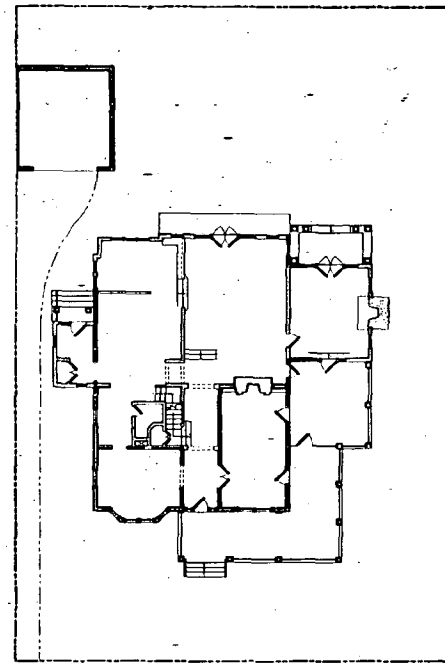
**New Work
Basement
Floor Plan**

SCALE: AS NOTED

A100



① Existing Architectural Site Plan
1" = 10'-0"



① Architectural Site Plan
1" = 10'-0"

12



① Front Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

FOX
ARCHITECTS

1005 PENNINGTON ROAD
SUITE 204
BETHESDA, MD 20814
301.718.1811

REVISION HISTORY	
DATE	BY
11.16.05	SPR

DRAWN BY:

As Built Drawings of:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO: 0208

Existing Elevations

SCALE: AS NOTED

A104

13

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0500

Elevations

SCALE: AS NOTED

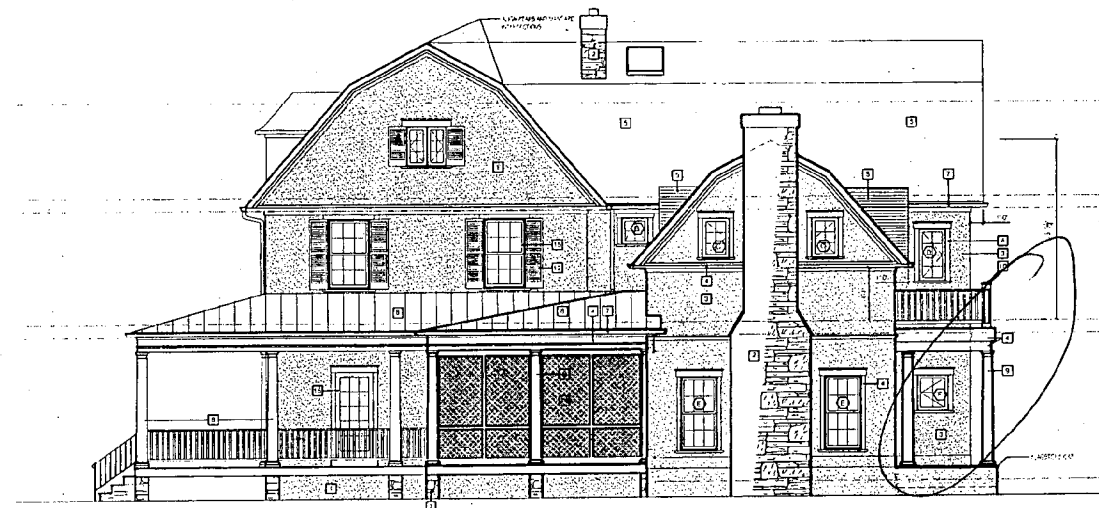
A400



① Front Elevation
1/4" = 1'-0"

Material Legend

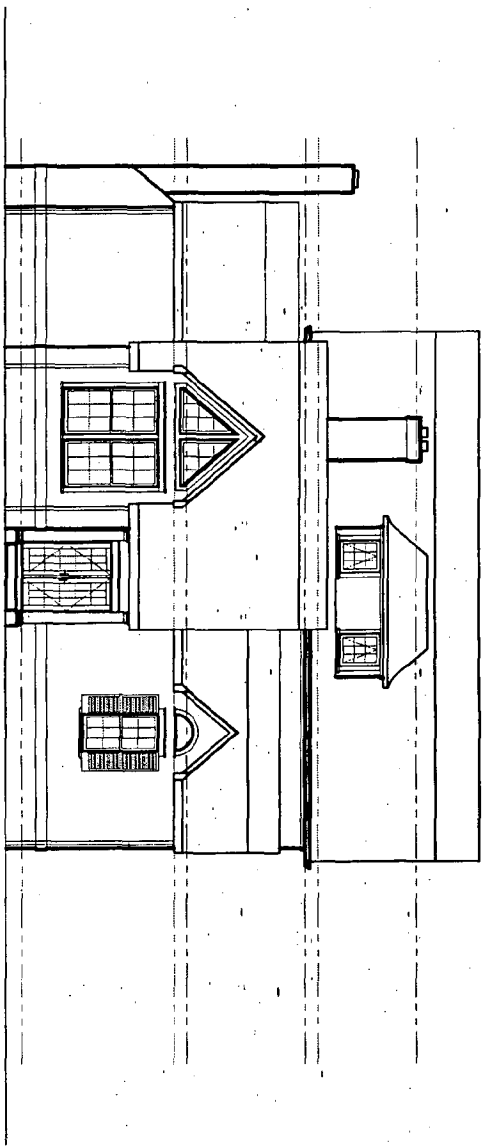
0	PAINTING: SMOOTH FINISH - REPAIR AND REFINISH
0	STONE: VENEER - TO MATCH EXISTING AS CLOSE AS POSSIBLE
0	3.5 CM 1/2 SMOOTH FINISH - REPAIR TO MATCH EXISTING AS CLOSE AS POSSIBLE
0	ASA PVC TRIM (TYPICAL THROUGHOUT) - TRIM WITH 1/2" x 1/2" x 1/2" PVC LATER PANEL, SEE THESE REFERENCES
0	SP-10 COMPOSITION ARCHITECTURAL TERRAZZO
0	2 1/2" COPPER STANDING SEAM ROOF
0	1/2" STONE REINFORCED GUTTER & DOWNSPOUTS
0	EXISTING COLUMN'S REPAIR/REPLACE AS NEEDED W/ THE MATERIAL AND STYLE
0	PORCELANITE COLUMNS - FINISH - SPOT TO MATCH FINISH AS CLOSE AS POSSIBLE
0	PVC GLAZING MATERIAL AND WEAR STRIP - FINISH
0	1.1/2" PATTERNOED PILE PLACED OVER TYPICAL FLOOR FLOORING, STOODS & BRACKS
0	EXISTING WINDOW UNITS & ASSOCIATED HARDWARE - REPAIR, PAINT & FEEL THROUGH FOR A MODERN LATER SIDE GLASS SYSTEM
0	PAINTING: GATE KEEP 100 HAZARD
0	10 GREEN LIGHT SYSTEM SYSTEM
0	EXISTING WOOD WINDOWS & DOORS TO REMAIN - REPAIR, PAINT & FEEL THROUGH FOR A MODERN LATER SIDE GLASS SYSTEM



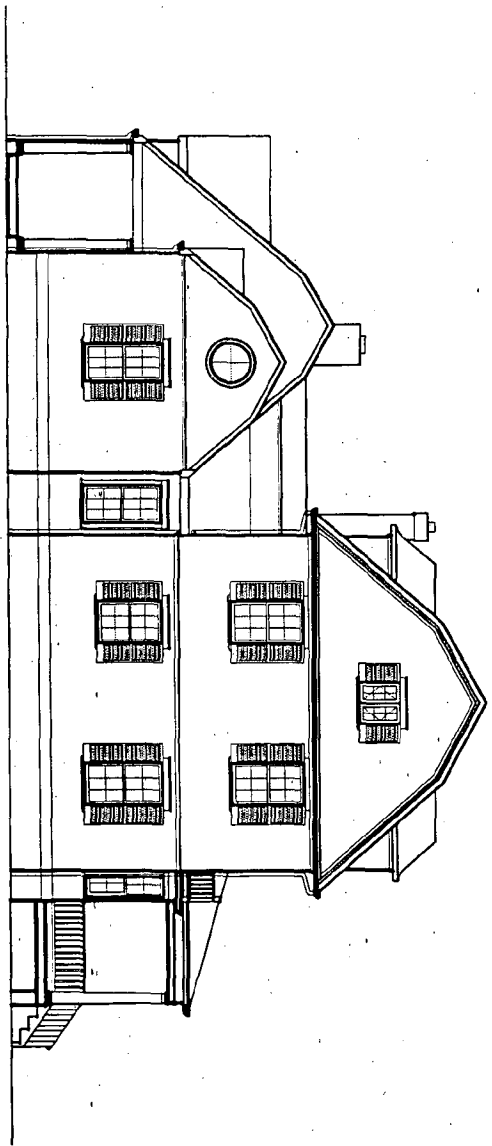
② Side Elevation
1/4" = 1'-0"

17

15



① Rear Elevation
1/8" = 1'-0"



② Side Elevation
1/8" = 1'-0"

FOX
ARCHITECTS

1000 EAST LAMAR AVENUE
ANNAPOLIS, MARYLAND 21403
TEL: 410.261.2813

DESIGNED BY	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
TYPED	
PROJECT NAME	

As Built Drawings of:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

Existing
Elevations

SCALE: AS SHOWN

A105

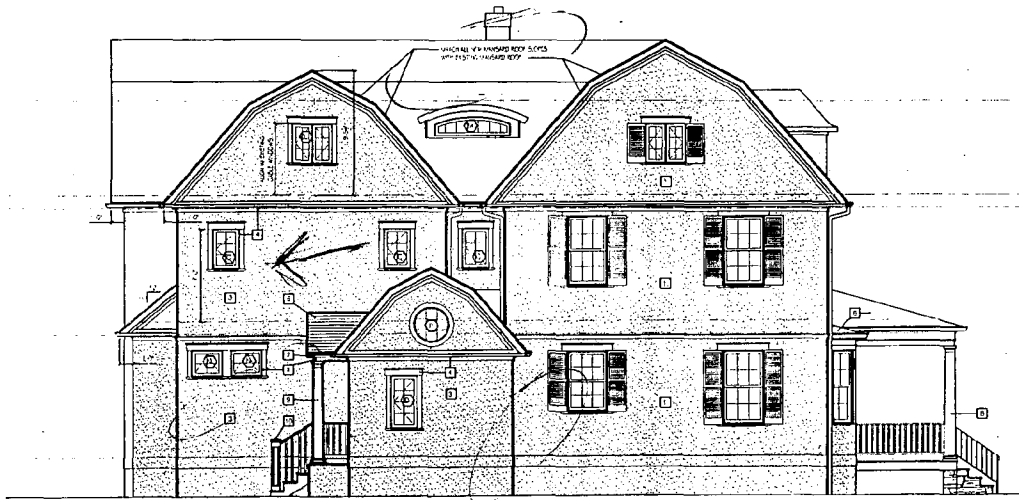
REVISION HISTORY	
DATE	ISSUE
11.10.08	ISSUE #1/REV#1
DRAWN BY:	



① Rear Elevation
1/4" = 1'-0"

Material Legend

01	EXISTING SILEXON FINISH - REPAIR & REFINISH
02	EXISTING VENEER - TO MATCH EXISTING AS CLOSE AS POSSIBLE
03	3/8" OAK SHIP LAP SIDING - TO MATCH EXISTING AS CLOSE AS POSSIBLE
04	EXTERIOR BRICK (SPICAL) THROUGHOUT - THROUGHOUT - MATCH EXISTING AS CLOSE AS POSSIBLE
05	NO. 10 PLYWOOD SHEATHING - INTERIOR WALLS
06	2" X 4" PINE STUDS - SPACING AS PER CODE
07	1/2" GYPSUM BOARD - INTERIOR WALLS & CEILING
08	EXISTING COLUMNS - REPAIR/REPLACE AS NEEDED USING ORIGINAL MATERIAL & STYLE
09	REINFORCING COLUMNS - 12" DIA. - STYLE TO MATCH EXISTING AS CLOSE AS POSSIBLE
10	PVC GLAZING MATERIAL AND NEW GLASS BY MITC
11	1/2" GYPSUM BOARD - INTERIOR WALLS & CEILING
12	EXISTING WOOD SHUTTERS & ASSOCIATED HARDWARE - REPAIR, PAINT & FINISH TO MATCH EXISTING
13	EXISTING WOOD SHUTTERS & ASSOCIATED HARDWARE - REPAIR, PAINT & FINISH TO MATCH EXISTING
14	EXISTING SLATE ROOF TO REMAIN
15	SCREENED FRONT SCREENED SYSTEM
16	EXISTING WOOD WINDOWS & DOORS TO REMAIN REPAIR FINISH & FIELD FINISH TO MATCH EXISTING



② Side Elevation
1/4" = 1'-0"

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

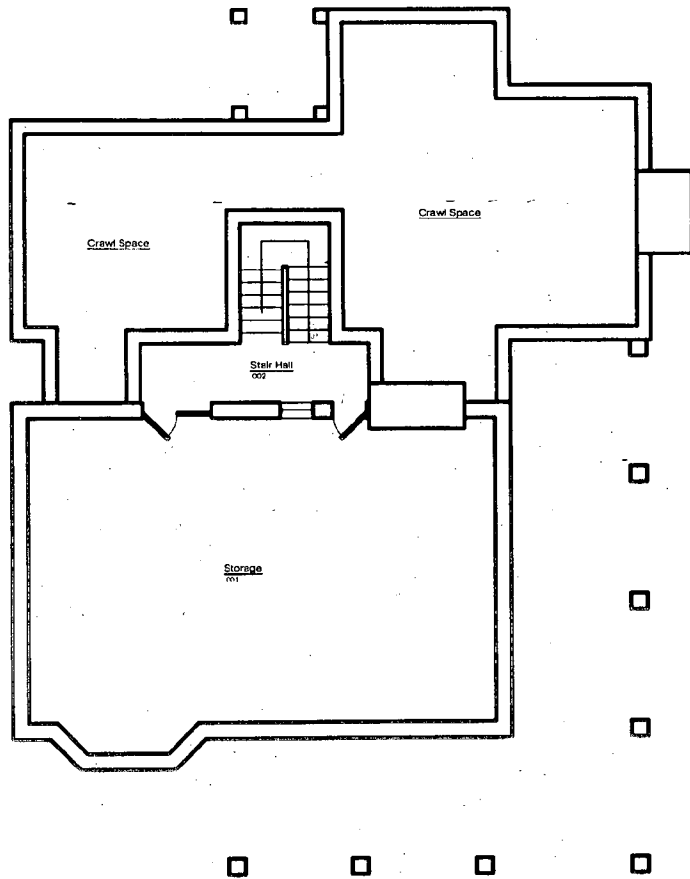
PROJECT NO. 0008

Elevations

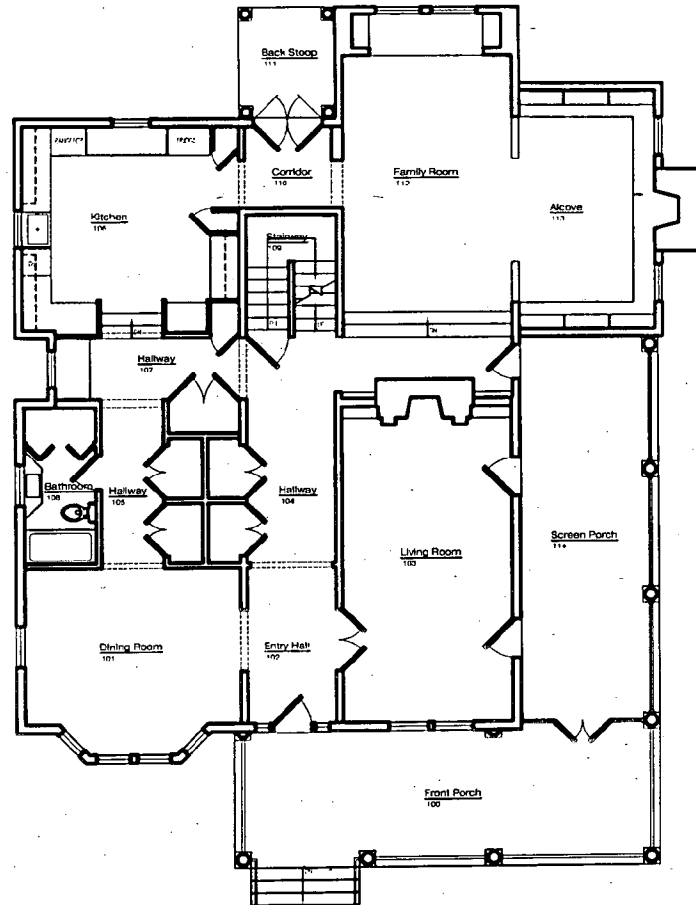
SCALE: AS NOTED

A401

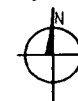
116



① Basement Floor Plan
1/4" = 1'-0"



② First Floor Plan
1/4" = 1'-0"



FOX
ARCHITECTS

TRIAL & CONFERENCE ROOM
SUITE 300
8010 WISCONSIN AVE. #200
BETHESDA, MD 20814
TEL: 714-282-1111

REVISION HISTORY	
DATE	DESCRIPTION
11.15.05	FINAL REVIEW

DESIGN BY:

As Built Drawings of:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0208

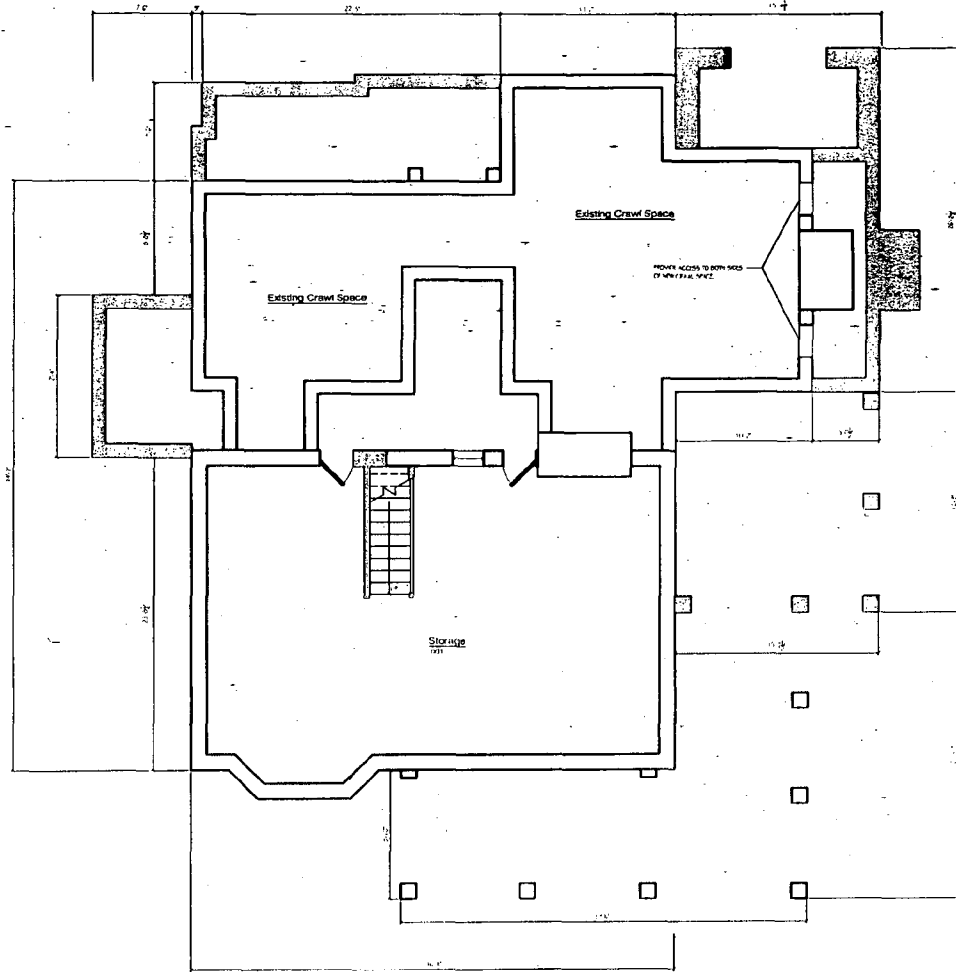
Existing
Floor Plan

SCALE: AS NOTED

A102

171

18



② Basement Floor Plan
1/4" = 1'-0"

FOX
ARCHITECTS

1001 B CHURCHILL BLVD
SUITE 204
BETHESDA, MD 20814
PH: 301.281.1000

REVISION HISTORY	
DATE	ISSUE
11.10.05	4048 REVIEW

DRAWN BY:

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0508

New Work
Basement
Floor Plan

SCALE: AS NOTED

A200

REVISION HISTORY		
DATE	ISSUE	
11.10.05	4/28	REVIEW

DRAWN BY:

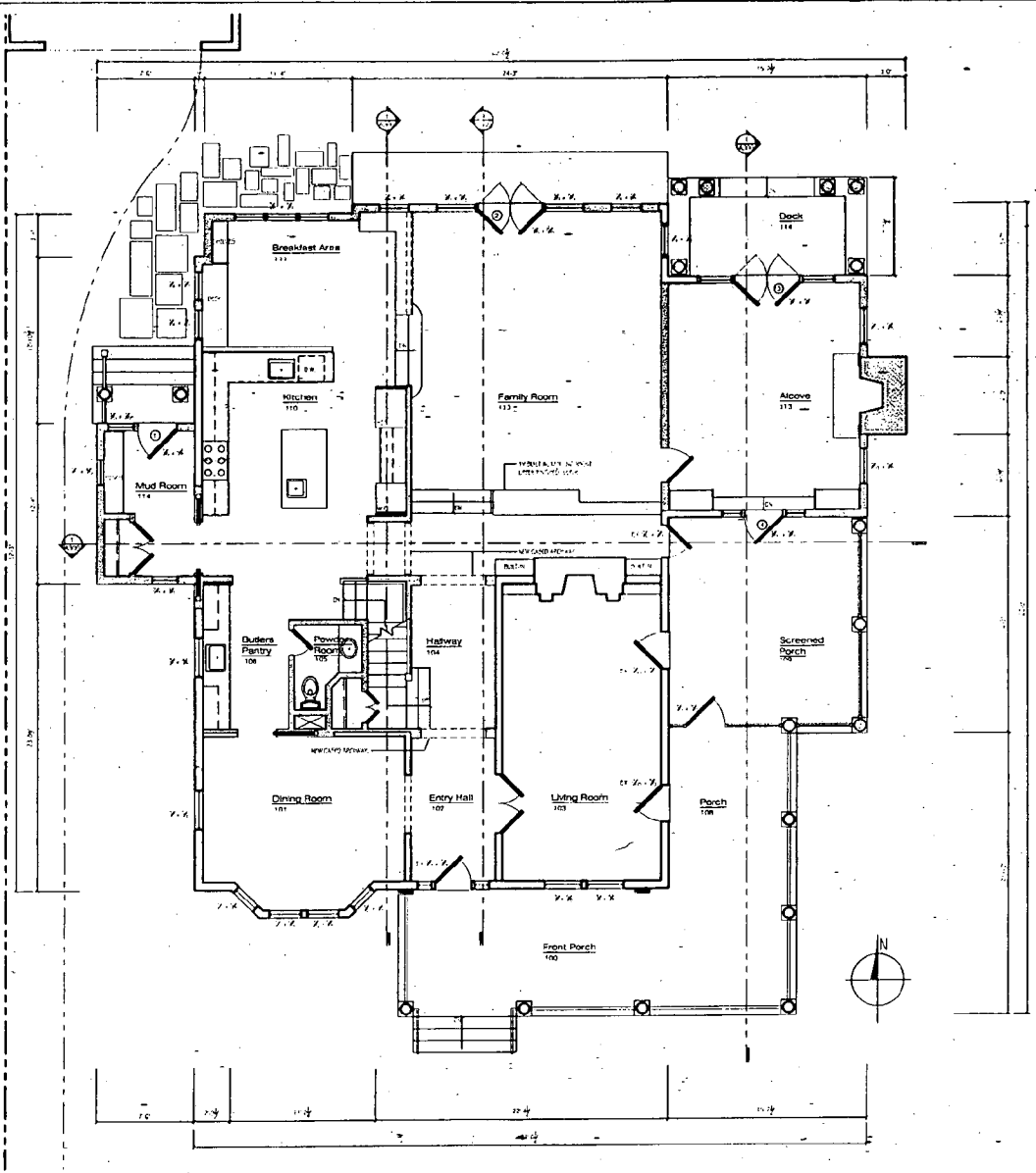
Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0308

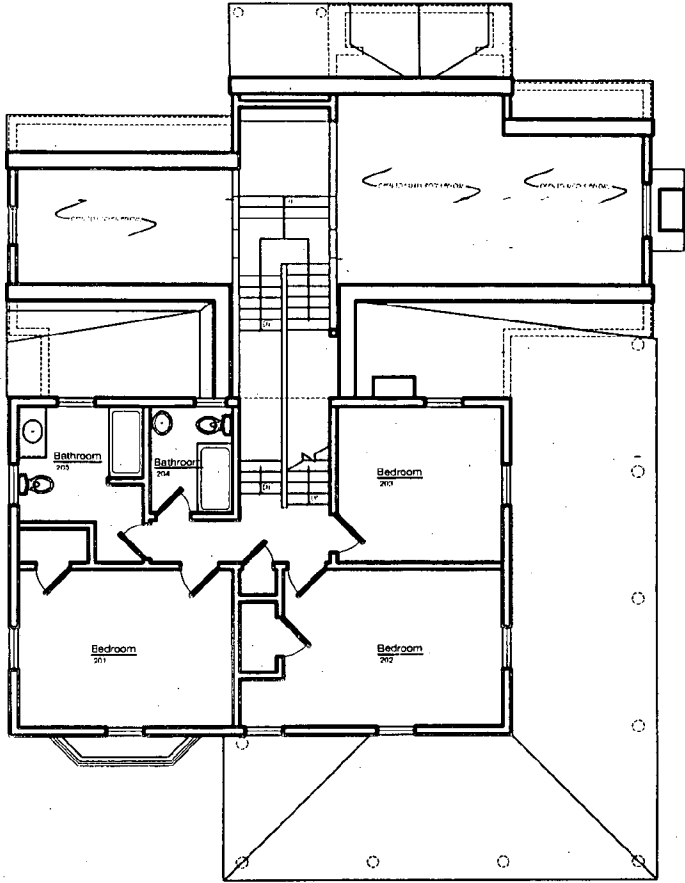
New Work
1st Floor
Plan

SCALE: AS NOTED

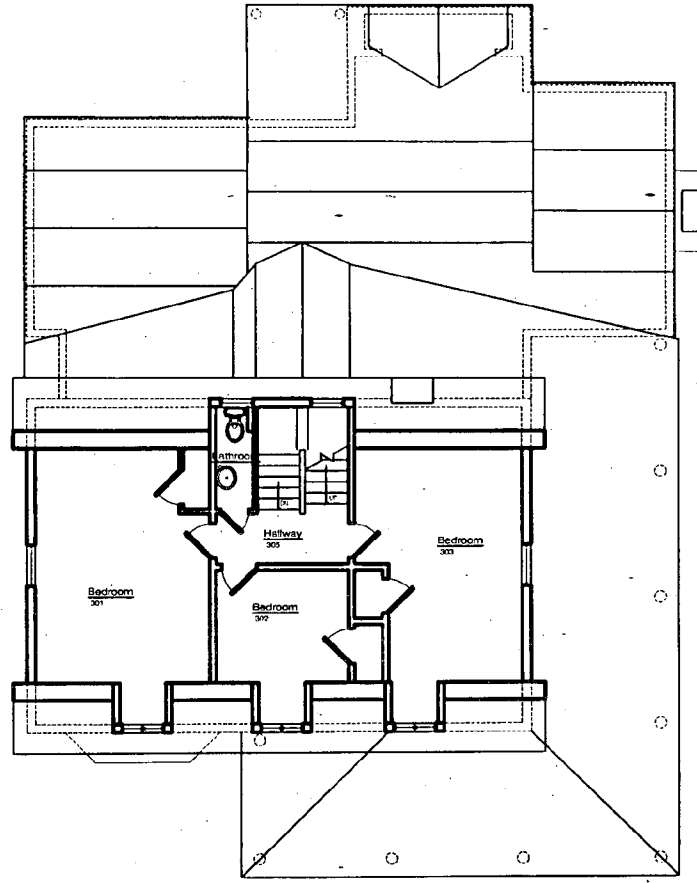
A201a



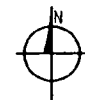
1 First Floor Plan
1/4" = 1'-0"



① Second Floor Plan
1/4" = 1'-0"



② Attic Floor Plan
1/4" = 1'-0"



FOX
ARCHITECTS

TRAVEL & COMMUNICATIONS BUILDING
SUITE 204
307 W. BALTIMORE STREET
BALTIMORE, MD 21201

REVISION HISTORY	
DATE	SCALE
11.10.05	AS SHOWN

DRAWN BY:

As Built Drawings of:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

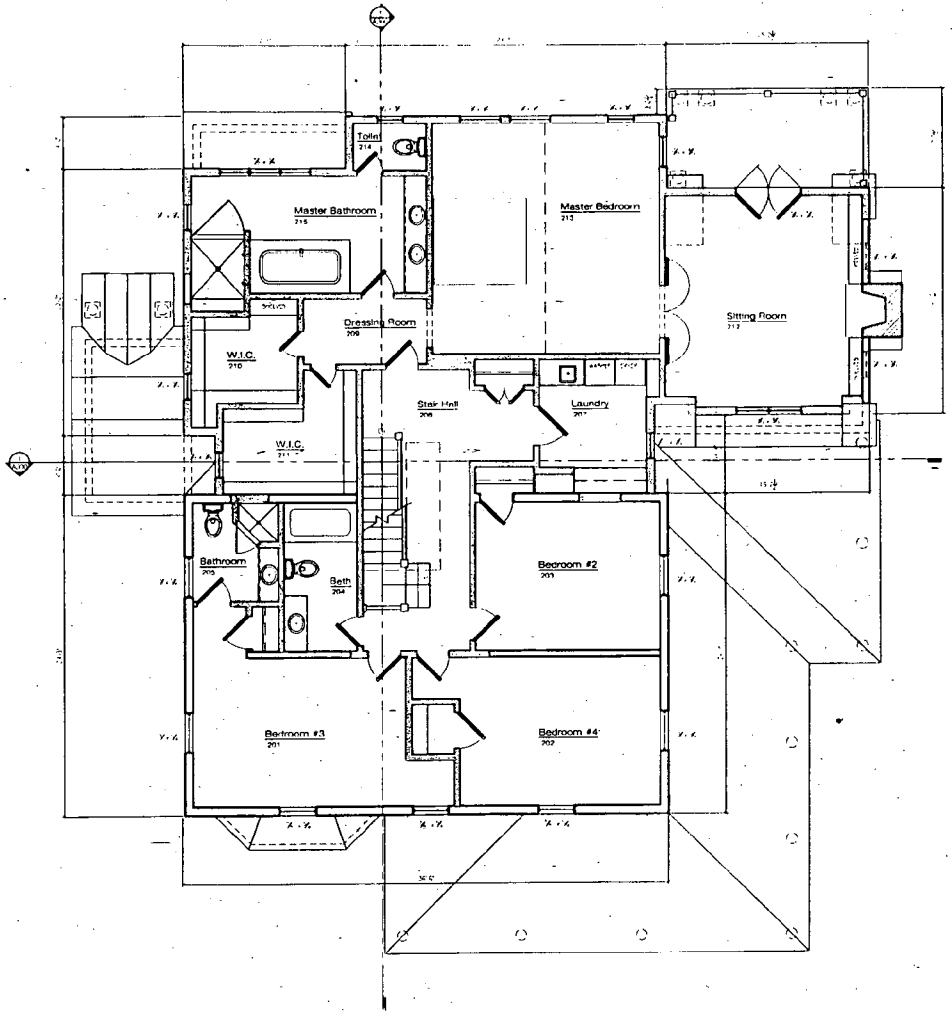
PROJECT NO. 0208

Existing
Floor Plan

SCALE: AS NOTED

A103

20



① Second Floor Plan
1/4" = 1'-0"

FOX
ARCHITECTS

1000 BOLLING ROAD
4100 SW
BETHESDA, MD 20814
301.281.3011

REVISION HISTORY	
DATE	ISSUE

DRAWN BY:

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

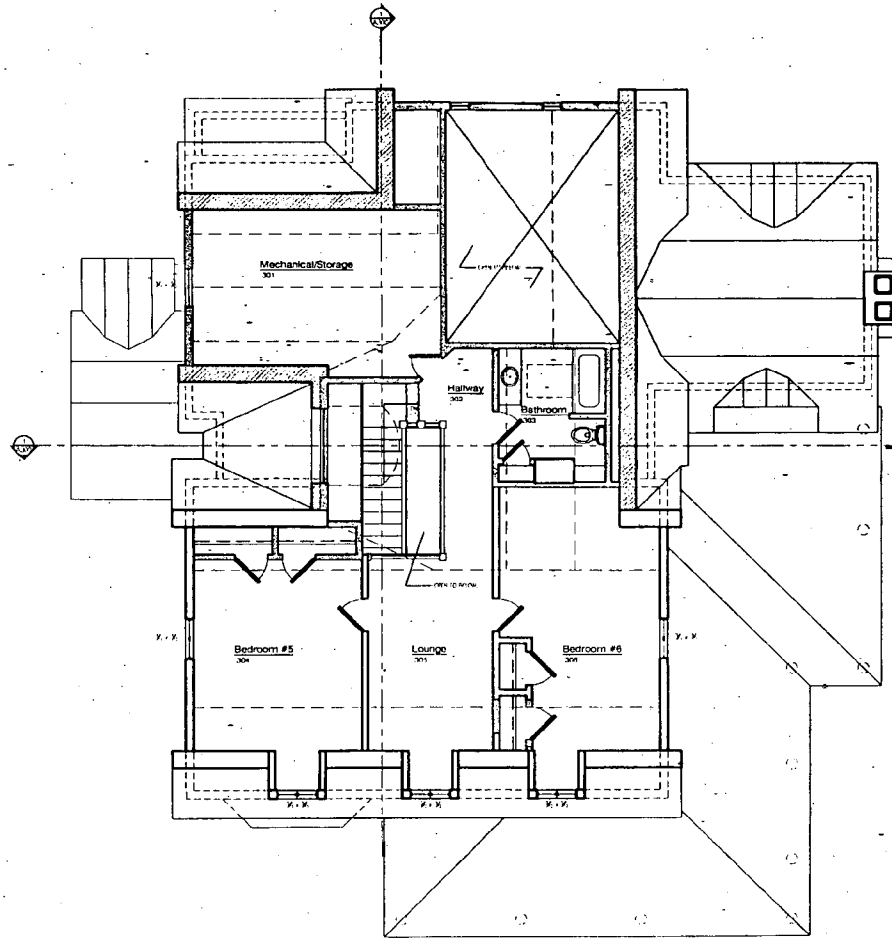
PROJECT NO. 0508

New Work
2nd Floor
Plan

SCALE: AS NOTED

A202

21



① Roof Plan
1/4" = 1'-0"

FOX
ARCHITECTS

THOMAS GEORGE FOX, P.A.
3177 W. 11th St.
BETHESDA, MD 20814
301-718-1811

REVISION HISTORY	
DATE	ISSUE
11.10.03	PHASE REVIEW

DRAWN BY:

Renovation And Addition To:
The Josephs/Carr Residence
3 Crafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0508

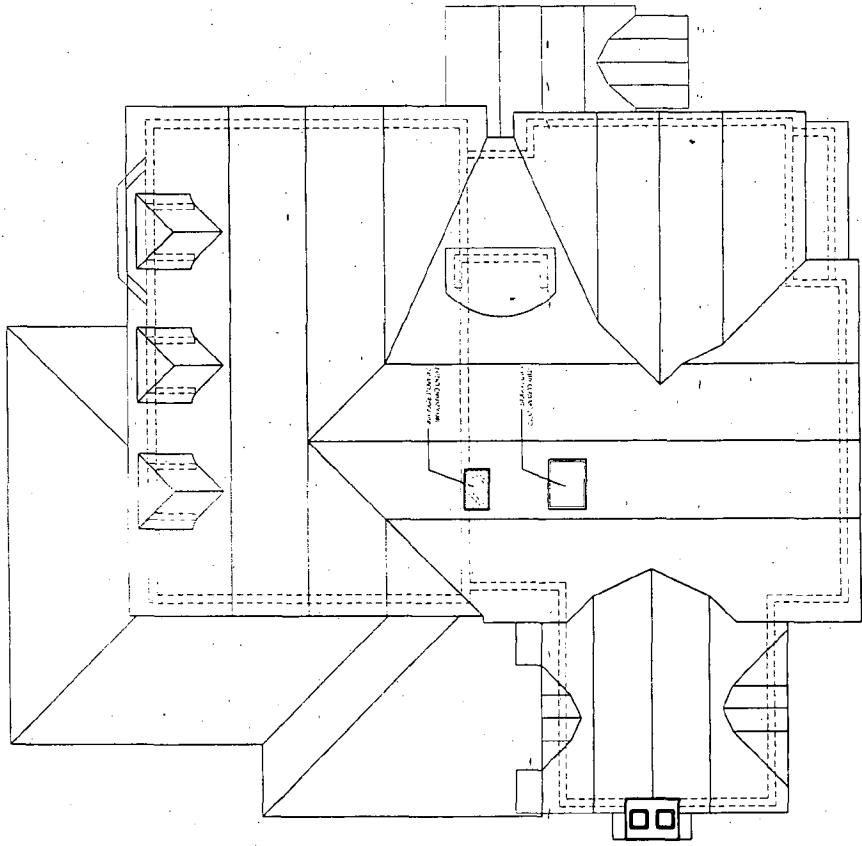
New Work
Attic
Floor Plan

SCALE: AS NOTED

A203

20

54



① Roof Plan
1/4" = 1'-0"

FOX
ARCHITECTS

1000 W. WASHINGTON STREET
BETHESDA, MD 20814
301.271.2313

PROJECT NUMBER
2011001
DATE
11/10/11

Renovation And Addition To:
The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0028
New Work
Roof Floor

A204

SCALE AS NOTED

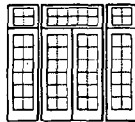
Door Schedule

MARK	NOMINAL SIZE		TYPE	CORE	MANUFAC.	MODEL #	FINISH	HARDWARE	DOOR FRAME		REMARKS
	WIDTH	HEIGHT							TYPE	FINISH	
1	3'-0"	6'-8"	A	SOLID	SIMPSON	7944	P-2	A	WOOD	P-2	EXTERIOR ENTRANCE DOOR
2	PAIR 2'-8" + 2'-6" SIDES	7'-11 1/2" + 2'-0"	B	SOLID	LOEWEN	SEE REMARKS	P-2	A	WOOD	P-2	TD 0721/FD2 1521/TD0721 +TD11 0706/FD12 1206/TD11 0706
3	PAIR 2'-8"	7'-11 1/2" + 2'-0"	C	SOLID	LOEWEN	FD2 1521 +FD12 1206	P-2	A	WOOD	P-2	-
4	3'-0" + 1'-6" SIDES	6'-8 1/2"	D	SOLID	LOEWEN	SEE REMARKS	P-2	A	WOOD	P-2	TD1 0420/TD1 0820/TD1 0420

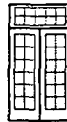
DOOR SCHEDULE NOTES: ***** GC SHALL PROVIDE DOOR MANUFACTURER'S SUBMITTAL FOR ARCHITECT'S REVIEW PRIOR TO FINALIZING ORDER *****



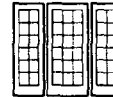
A - EXTERIOR ENTRANCE DOOR



B - EXTERIOR FRENCH DOORS



C - EXTERIOR FRENCH DOORS



D - EXTERIOR FRENCH DOOR

- DOOR NOTES: SEE ELEVATIONS & DETAILS FOR MULLING & TRIM DETAILS.
- 1) CLAD WOOD EXTERIOR. COLOR TO BE DETERMINED.
 - 2) PRIMED WOOD INTERIOR.
 - 3) GLAZING TO BE 5/8" IG, TEMPERING AS NOTED.
 - 4) MUNTIN PATTERNS AS NOTED. IF SHOWN, SGL. 7/8".
 - 5) JAMB EXTENSIONS PROVIDED WHERE NOTED - TO BE FACTORY APPLIED.
 - 6) ALL FRENCH DOORS TO BE TEMPERED.
 - 7) DOORS WITH TRANSOMS TO BE MILLED AS SINGLE UNIT.
 - 8) HARDWARE FINISH - T.B.D.
 - 9) DOOR HINGES TO MATCH HARDWARE OF SAME UNIT.
 - 10) PROVIDE SCREENS AT IN-SWING & SLIDING DOORS; COLOR TO MATCH CLADDING.
 - 11) SEE PLANS & ELEVATIONS FOR HINGING INFORMATION.

Hardware Schedule

MARK	DESCRIPTION (PROVIDE HINGES TO MATCH HARDWARE)
A	ENTRANCE: KEYED DEADBOLT EXTERIOR WITH FINGER-TWIST INTERIOR AND KEYED HANDLE GRIP AT EXTERIOR
B	
C	

HARDWARE SCHEDULE NOTES:

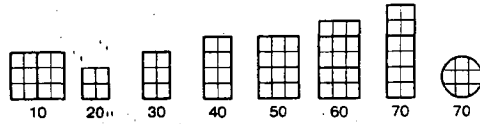
24

Window Schedule SPECIFICATION: LOEWEN CLAD LOW-E WINDOWS

MARK	MODEL #	TYPE	ROUGH OPENING		MUNTIN PATTERN	REMARKS
			WIDTH	HEIGHT		
A	FCA 1512	1	4'-11 3/8"	4'-0"	10	PUSH OUT FRENCH CASEMENT WINDOW.
B	AWI 0608	2	2'-0 3/8"	2'-0 3/8"	20	PUSH OUT AWNING.
C	CAI 0609	3	2'-0 3/8"	3'-0 3/8"	30	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
D	CAI 0612	3	2'-0 3/8"	4'-0"	40	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
E	DHI 2830	4	2'-10 1/8"	5'-9"	50	-
F	CAI 0708	3	2'-4 3/8"	2'-8 1/8"	20	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
G	CAI 0409	3	1'-4 1/8"	3'-0 3/8"	30	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
H	DHI 3226 + OTI 3210	5	3'-2 1/8"	5'-1" + 1'-3 3/8"	60	-
J	CAI 0710	3	2'-4 3/8"	3'-4 1/8"	30	PUSH OUT CASEMENT. SEE ELEVATIONS FOR HINGING.
K	CAI 0715 + AWI 0706	6	2'-4 3/8"	4'-11 3/8" + 2'-0 3/8"	70	PUSH OUT CASEMENT AND PUSH OUT AWNING. SEE ELEVATIONS FOR HINGING.
L	FCA 1010	1	3'-4 1/8"	3'-4 1/8"	10	FRENCH CASEMENT WINDOW.
M	CUSTOM	-	5'-4"	1'-8 1/8"	-	CUSTOM FIXED ARCH-TOP WINDOW.
N	AWI 0706	2	2'-4 3/8"	2'-0 3/8"	20	PUSH OUT AWNING.
P	FR 0606	7	2'-8 1/8"	2'-8 1/8"	80	FULL ROUND WINDOW.

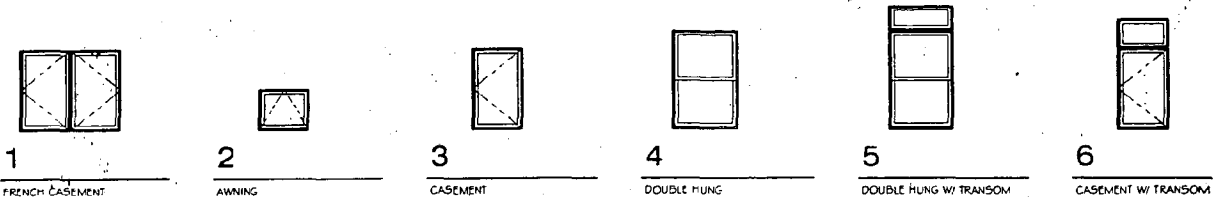
WINDOW SCHEDULE NOTES: ***** GC SHALL PROVIDE WINDOW MANUFACTURER'S SUBMITTAL FOR ARCHITECTS REVIEW PRIOR TO FINALIZING ORDER. *****

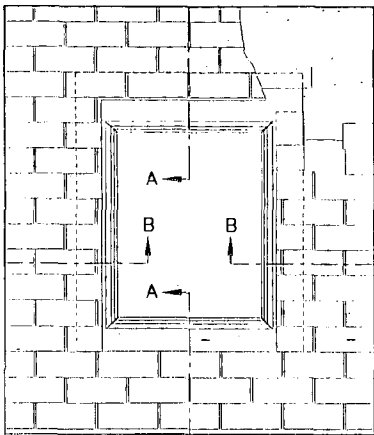
Muntin Patterns



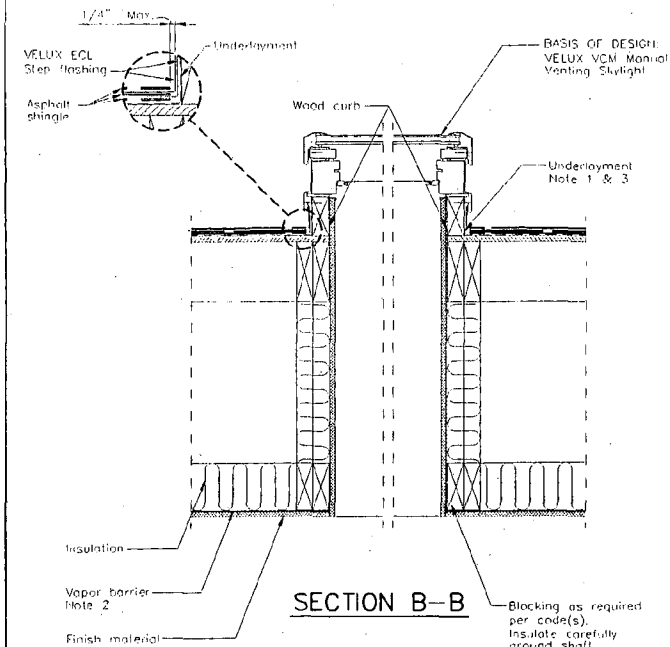
- WINDOW NOTES: SEE ELEVATIONS & DETAILS FOR MULLING & TRIM DETAILS.
- 1) CLAD EXTERIOR, COLOR TO BE DETERMINED.
 - 2) PRIMED WOOD INTERIOR.
 - 3) GLAZING TO BE 5/8" IG, TEMPERING AS NOTED.
 - 4) MUNTIN PATTERNS AS NOTED, IF SHOWN, SFL 7/8".
 - 5) JAMB EXTENSIONS PROVIDED WHERE NOTED.
 - 6) PROVIDE SPREAD MULLS AS NOTED, DIMENSIONS ARE VIEWED AT EXTERIOR.
 - 7) HARDWARE FINISH - T.B.D.
 - 8) PROVIDE HALF SCREENS AT ALL DOUBLE HUNG, COLOR TO MATCH CLADDING.
 - 9) PROVIDE SCREENS AT CASEMENTS & AWNINGS; COLOR TO MATCH CLADDING.
 - 10) SEE ELEVATIONS FOR HINGING INFORMATION.

Window Types

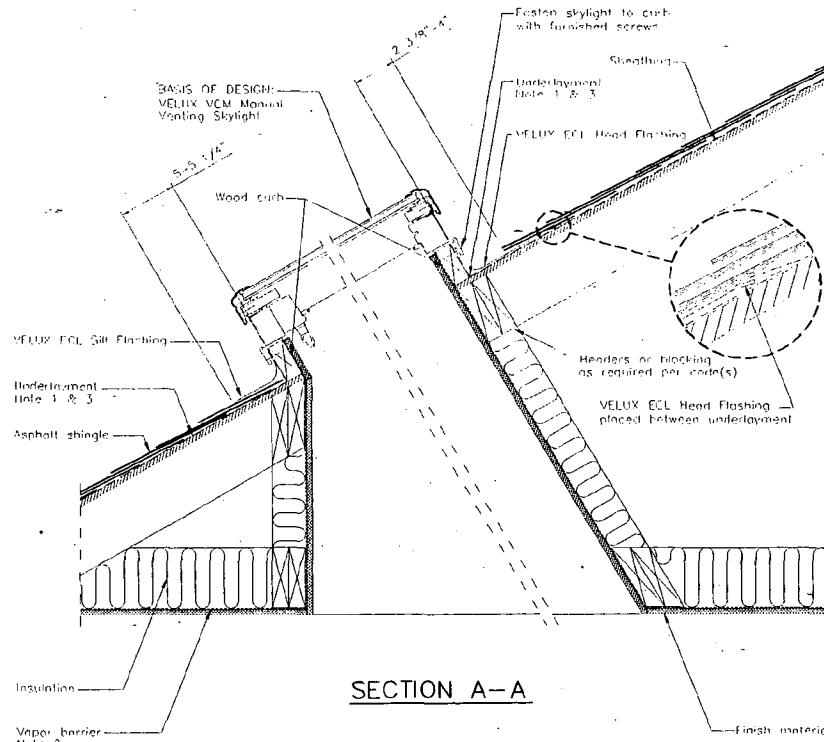




ELEVATION

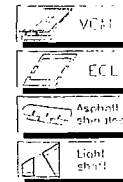


SECTION B-B



SECTION A-A

1. Underlayment to be folded up against all sides of curb.
2. Vapor barrier should be used to avoid moisture.
3. Wrap curb in underlayment. VELUX recommends use of VELUX type Z0Z underlayment in areas with severe weather conditions.



VELUX Sky-Product Management	VELUX 1418 Evans Pond Road Greenwood, SC 29649 1-800-88-VELUX www.VELEXUSA.com	Name	Date
	VCM - Residential/Commercial Roof Section (Light Shaft and Asphalt Shingles)		Drawn by: JDH July 05 Checked by: J.L. BDM July 05 Revised: Drawing No. VCM-01-0705

This drawing is an instrument of service and is provided for informational use only.

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26



① Front Corner
No Scale



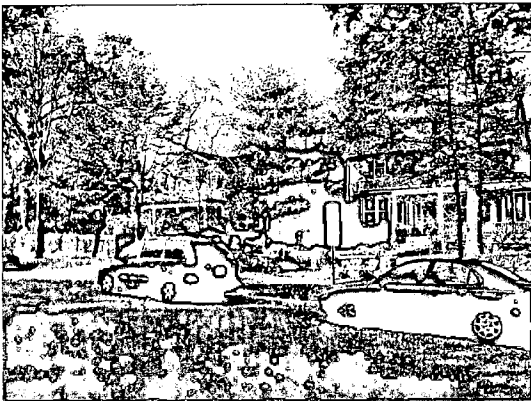
② Driveway Side
No Scale



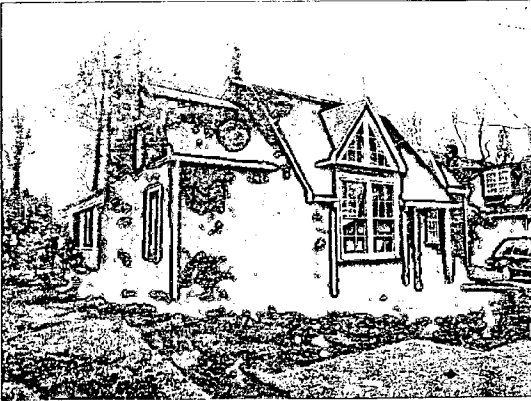
③ Existing Screened Porch
No Scale



④ Driveway Side/Rear
No Scale



⑤ View From Grafton Street
No Scale



⑥ Rear
No Scale



⑦ Full Front View
No Scale

FOX
ARCHITECTS

REGISTERED PROFESSIONAL ARCHITECTS
STATE OF
MARYLAND, M.D. 2001
NO. 721, 2011

REVISION HISTORY
DATE SCALE
11-10-05 LARRY REWER

DRAWN BY:

Renovation And Addition To:

The Josephs/Carr Residence
3 Grafton Street
Chevy Chase, Maryland 20815

PROJECT NO. 0208

Existing
Photo
Documentation

SCALE: AS NOTED

A001

27

Oaks, Michele

From: Bourke, Tom (Winchester Homes, Inc.)(Tom) [tom.bourke@whihomes.com]
Sent: Tuesday, December 06, 2005 10:20 AM
To: Oaks, Michele
Cc: Fothergill, Anne; Tully, Tania; Elliott, Bob; Feldman, Gail; FeldmanGS@aol.com; Jacobs c/o angela muckenfuss; Marsh, Joan; Stephens, Betsy; Tom Bourke; Wellington, P. (ccv)
Subject: RE: HPC hearing 12-7-05 3 Grafton, 3810 Bradley - corrected

The following are the comments of the Chevy Chase Village LAP for the hearing on 12/7/05:

3 Grafton St
Contributing Resource
front porch modifications:

Staff recommends approval with conditions (work with Village on trees and no PVC) and the LAP concurs with this recommendation

3810 Bradley
Outstanding Resource
addition rebuild and expansion and porch rehab

The LAP compliments the staff on a very thorough analysis of the property and the proposal and concurs with the recommendation to approve .

Submitted for the LAP by Tom Bourke, Chair

Thomas K. Bourke
tom.bourke@whihomes.com
tel: 301.803.4901
fax: 301.803.4929
cell: 301.252.9931