

35/13-05Z 3810 Bradley Lane  
Chevy Chase Village Historic District, 35/13



File  
Cape

## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

Date: 12/8/2005

### MEMORANDUM

TO: Robert Hubbard, Director

FROM: Tania Tully, Senior Planner *TGT* — Stamped 2/23/06  
Historic Preservation Section

SUBJECT: Historic Area Work Permit #404108, Addition rebuild and porch rehabilitation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at its 12/7/2005 meeting.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Stephen Best

Address: 3810 Bradley Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant shall present the 3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
345 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: STEPHEN MUSE  
Daytime Phone No.: 202-966-6266

Tax Account No.: 00455623

Name of Property Owner: STEPHEN BEST Daytime Phone No.: 202-986-8235

Address: 3810 BRADLEY LANE CHEVY CHASE, MD 20815  
Street Number City Street Zip Code

Contractor: TO BE DETERMINED Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: MUSE ARCHITECTS Daytime Phone No.: 202-966-6266

### LOCATION OF BUILDING/PREMISE

House Number: 3810 Street: BRADLEY LANE  
Town/City: VILLAGE OF CHEVY CHASE Nearest Cross Street: CONNECTICHT AVE.  
Lot: P12 Block: 61 Subdivision: 9  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- |   |  |  |  |   |   |   |                               |                               |
|---|--|--|--|---|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend            | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C                  | <input checked="" type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install           | <input type="checkbox"/> Wreck/Reuse               | <input type="checkbox"/> Solar                           | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input checked="" type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision             | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |   | <input type="checkbox"/> Other: _____             |   |                               |                               |
- 1B. Construction cost estimate: \$ T.B.D.
- 1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stephen Muse 16 NOV 2005  
Signature of owner or authorized agent Date

Approved:  \_\_\_\_\_ For Chairman, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: Julia O'Malley Date: 12/7/2005  
Application/Permit No.: 404108 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**Tully, Tania**

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**Subject:** Mark Langhammer  
**Entry Type:** Phone call  
  
**Start:** Tue 7/11/2006 10:01 AM  
**End:** Tue 7/11/2006 10:01 AM  
**Duration:** 0 hours  
  
**Responded:** -1

301-718-8118

re: Best Residence sketches

timing please - meetings- deadlines  
\*\*\*\*\*

willapplytobe on 8/16 agenda

MUSE ARCHITECTS  
FAX COVER SHEET

MUSE ARCHITECTS 7401 Wisconsin Avenue, Suite 500 Bethesda, MD 20815 301.718.8118 FAX 301.718.8112

FAX TO:	MONTGOMERY COUNTY PARK & PLANNING	DATE:	7 JULY 2006
			HISTORIC PRESERVATION OFFICE
FAX NO.:	301-563-3412		
ATTN:	TANIA TULLY		
RE:	BEST RESIDENCE	NUMBER OF PAGES:	3

TANIA -

STEPHEN HAS ASKED ME TO FAX YOU THESE DRAWINGS RELATIVE TO AN EMAIL HE HAD SENT YOU REGARDING A POTENTIAL CHANGE TO THE DESIGN OF THE PORCH AT THE WEST END OF THE BEST RESIDENCE ON BRADLEY LANE. BASED ON THESE ELEVATIONS, IF YOU AND YOUR COLLEAGUES DETERMINE THAT A RESUBMITAL IS REQUIRED WE WOULD HOPE TO BE SCHEDULED FOR THE NEXT AVAILABLE HEARING. COULD YOU PLEASE PROVIDE US WITH THOSE DATES AND ASSOCIATED SUBMISSION DEADLINES?

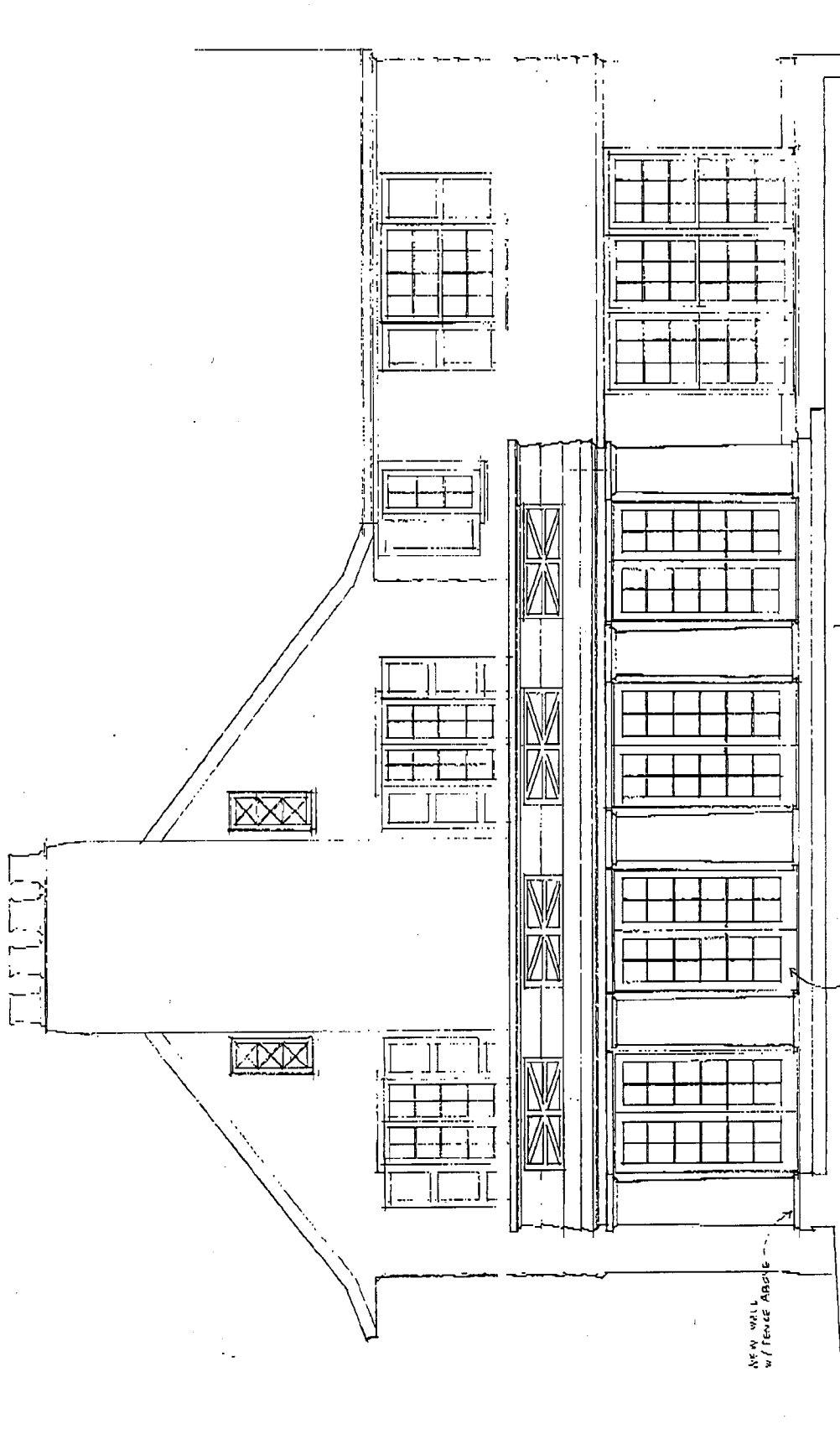
THANK YOU, AND PLEASE LET US KNOW IF YOU NEED MORE INFORMATION FROM US.

- MARC.

FROM:

Marc Langhammer

Should there be any questions regarding this material, or difficulty in receiving a clear copy, please call our office at 301-718-8118 during normal business hours.



WEST RESIDENCE  
 SCREENED PORCH -- WEST ELEVATION  
 1/2" = 1'-0"

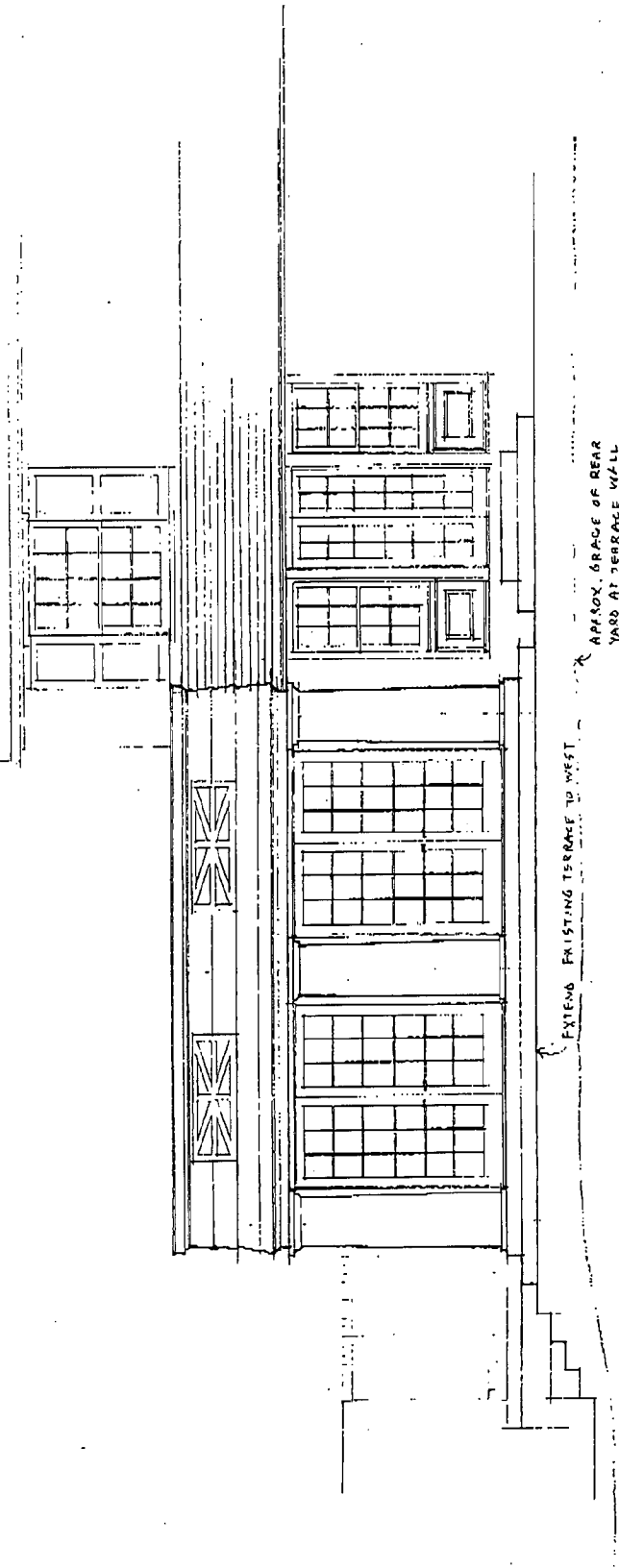
EXTENSION OF  
 ORIGINAL PORCH

(APPROX. 7'-6")

NEW FRENCH DOORS  
 (w/ SCREEN DOORS, NOT KNOWN  
 FOR CLARITY)

NEW WALL  
 W/ FENCE ABOVE

MUSE ARCHITECTS  
 5 JULY 2006



WEST RESIDENCE  
SCREENED PORCH -- SOUTH ELEVATION  
1/4" = 1'-0"  
MUSE ARCHITECTS  
5 JULY 2006 2 OF 3

## Tully, Tania

---

**From:** Marc Langhammer [mlanghammer@musearchitects.com]  
**Sent:** Thursday, February 23, 2006 5:09 PM  
**To:** Tully, Tania  
**Cc:** Ellen McCarthy  
**Subject:** Re: Best Residence, 3810 Bradley Lane - Stamped Drawings

Thanks Tania,

I (or someone from our office) will be by in the afternoon tomorrow to retrieve those. I appreciate the quick turnaround.

And I'll make a note to myself to get the window shop drawings to you when we get to that stage in the project.

Thanks again,  
Marc

-----  
Marc Langhammer  
Muse Architects  
5630 Connecticut Avenue, NW  
Washington, DC 20015  
mlanghammer@musearchitects.com  
202-966-6266

Tania.Tully@mncppc-mc.org2/23/06 4:59 PM

> Marc-  
>  
> The permit drawings and approval memos are ready and may be picked up any time  
> between the hours of 9 and 5 M-F.  
>  
> Also - Could I please have a copy of the shop drawings for the windows when  
> they are completed? Thanks!  
>  
> -Tania  
>  
> Tania Georgiou Tully  
> Historic Preservation Planner  
> Montgomery County Department of Park and Planning  
> 8787 Georgia Avenue  
> Silver Spring, MD 20910  
> 301-563-3400  
> 301-563-3412 (fax)  
> www.mc-mncppe.org  
>



MUSE ARCHITECTS

MUSE ARCHITECTS 5630 Connecticut Avenue, NW Washington, DC 20015 TEL202.966.6266 FAX202.966.9666

LETTER OF TRANSMITTAL

To: Tania Tully Date: 2.23.06  
 Address: Montgomery County Park & Planning Project Name: Best Residence  
 Historic Preservation Office  
 1109 Spring Street Suite 801  
 Silver Spring, MD 20910  
 Project Number: 05.10

- We are sending:  Attached  Under separate cover
- The following:  Prints  Tracings  Specifications  Samples  Shop Drawings  Other check
- For:  Approval  Your use  As requested  Review and comment  Other
- Via:  Federal Express  First Class Mail  UPS  Messenger  Personal Delivery

Copies	Date:	Description:
3	2/23/06	permit set

Message: Please call if you have any questions.

Thank you,  
 Ellen McCarthy

*Shop Drawings*



## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

Date: 12/8/2005

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TO: Robert Hubbard, Director

FROM: Tania Tully, Senior Planner *TGT* — *Stamped 2/23/06*  
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DPS - #8

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Lot: P12 Block: 61 Subdivision: 9  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:  
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 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

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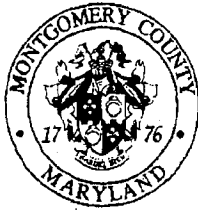
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Stephen Muse 16 NOV 2005  
Signature of owner or authorized agent Date  
 FOR STEPHEN MUSE, FAIA

Approved:  Julia O'Malley For Chairperson, Historic Preservation Commission Date: 12/7/2005  
 Disapproved: \_\_\_\_\_  
 Application/Permit No.: 404108 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_



## HISTORIC PRESERVATION COMMISSION

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Date: 12/8/2005

### MEMORANDUM

TO: Stephen Best  
3810 Bradley Lane, Chevy Chase

FROM: Tania Tully, Senior Planner *TGT*  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application #404108

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Your Historic Area Work Permit application for Addition rebuild and porch rehabilitation was **Approved** by the Historic Preservation Commission at its 12/7/2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must **contact your assigned staff person** to bring your final building permit drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval memo (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in **any way** from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400.

Thank you very much for your patience and good luck with your project!



HISTORIC PRESERVATION COMMISSION STAFF REPORT

<b>Address:</b>	3810 Bradley Lane, Chevy Chase	<b>Meeting Date:</b>	12/7/2005
<b>Applicant:</b>	Stephen Best (Stephen Muse, Architect)	<b>Report Date:</b>	11/30/2005
<b>Resource:</b>	Outstanding Resource Chevy Chase Village Historic District	<b>Public Notice:</b>	11/23/2005
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	35/13-05Z	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Addition rebuild and expansion and porch rehabilitation	<b>RECOMMENDATION:</b>	Approve

PROJECT DESCRIPTION

**SIGNIFICANCE:** Outstanding Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival  
**DATE:** c.1910

Wood Donn & Deming - Architects designed this two story stucco and wood shingle residence for E.W. Donn, Jr. Although once more symmetrical, the wings were heavily altered in the 1980s. The house and patios sit on a raised terrace that steps down into the rear yard. A noncontributing garage is east of the house and is serviced by a circular pebble driveway. The front property line, save for the curb curs, is lined with Hemlocks that afford the site a great deal of privacy.

PROPOSAL:

The applicants are proposing a number of work items intended to rehabilitate and renovate this outstanding resource with the goal of removing and improving on the 1980s alterations. Historic plans were used as reference (Circles 32-39).

- Repair and rehabilitate the exterior of the historic portions of the house. This includes replicating a replacing an attic window in the west gable.
- The west wing will be reverted back to an open porch with optional glass panel inserts for possible year round use. The round columns will be reconstructed and the attached patio wall will either be partially or completely removed.
- The east wing will be demolished.
- A new east wing will be rebuilt with the front 8' of the historic wing reproduced. The rebuilt addition will sit back from the "historic" wing, have a gable roof, and extend approximately 16' further back into the yard (approximately at the rear of the garage). This will increase the footprint by approximately 304 SF.

- The rear west patio will be regarded and reverted to lawn. The main rear patio will remain, as will the pergola. This will remove approximately 530 SF of hard surface.
- Add two attic dormers on the rear of the house.
- Two trees will be removed. (Circle 30)

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Chevy Chase Village Historic District Guidelines***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not
- Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.
- Second or third story additions or expansions which do not exceed the footprint of the first story should be subject to moderate scrutiny, in view of the predominance of large scale houses in the Village. For outstanding resources, however, such additions or expansions should be subject to strict scrutiny if they are visible from the public right-of-way.
- Tree removal should be subject to strict scrutiny and consistent with the Chevy Chase Village Urban Forest Ordinance.
- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.

- The *Guidelines* state five basic policies that should be adhered to, including:
  - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
  - Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
  - Maintaining the variety of architectural styles and the tradition of architectural excellence.
  - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

**Montgomery County Code; Chapter 24A**

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

***Secretary of the Interior's Standards for Rehabilitation:***

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- #5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Staff is supportive of this creative and thoughtful application. Rather than leaving this Outstanding Resource with its mangled wings, they have chosen to both improve on the modern addition and restore some of the architectural integrity. The applicants are fortunate to have had access to the historic plans for this property.

Staff is excited to see the round columns returned to the west wing and does not find the inclusion of removable glass panels to be inconsistent with the guidelines. Because of the historic plans, it is also appropriate to rebuild the front 6'3" of the former servants wing. The replacement addition, therefore, is set back not only from the historic house, but the rebuilt historic addition as well (Circle 11). Although the *Standards* and the *Guidelines* advocate locating additions at the rear of a property, this case is unique in that an existing addition is being replaced. The additional 300 SF are, in fact, at the rear of the property.

In this case, the replacement addition is significantly more compatible with the historic house and the District. Although the new addition is taller, the gable roof is more compatible and the ridge remains lower than the historic house. Shadow lines on the historic drawings also allude to the possibility that rear dormers were originally designed for the house. This, coupled with the lenient level of review afforded changes not visible from the public right-of-way, make the change approvable.

Of the trees proposed for removal, one is in the footprint of the addition extension and one is in danger of falling onto the house. The west patio wall is not likely to be historic and must either be removed or shortened to allow for reconstruction of the round corner column. The only other landscape change is removing the west brick patio and returning it to lawn.

Materials proposed for the project are historically appropriate to the house and district – wood shingles, stucco, and true divided light wood windows. Staff recommends a hearty approval of this application and encourages the applicants to utilize the tax credit incentives available for the rehabilitation portion of the work.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation*.

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.





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Stephen Muse 16 NOV 2005  
Signature of owner or authorized agent Date  
 FOR STEPHEN MUSE, FAIA

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 404108 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

# MUSE ARCHITECTS

## *Principals*

STEPHEN MUSE FAIA  
WILLIAM KIRWAN AIA

## *Associates*

KUK-JA C. KIM AIA  
NANCY S. MCCARREN AIA  
R. WARREN SHORT AIA

11/16/05

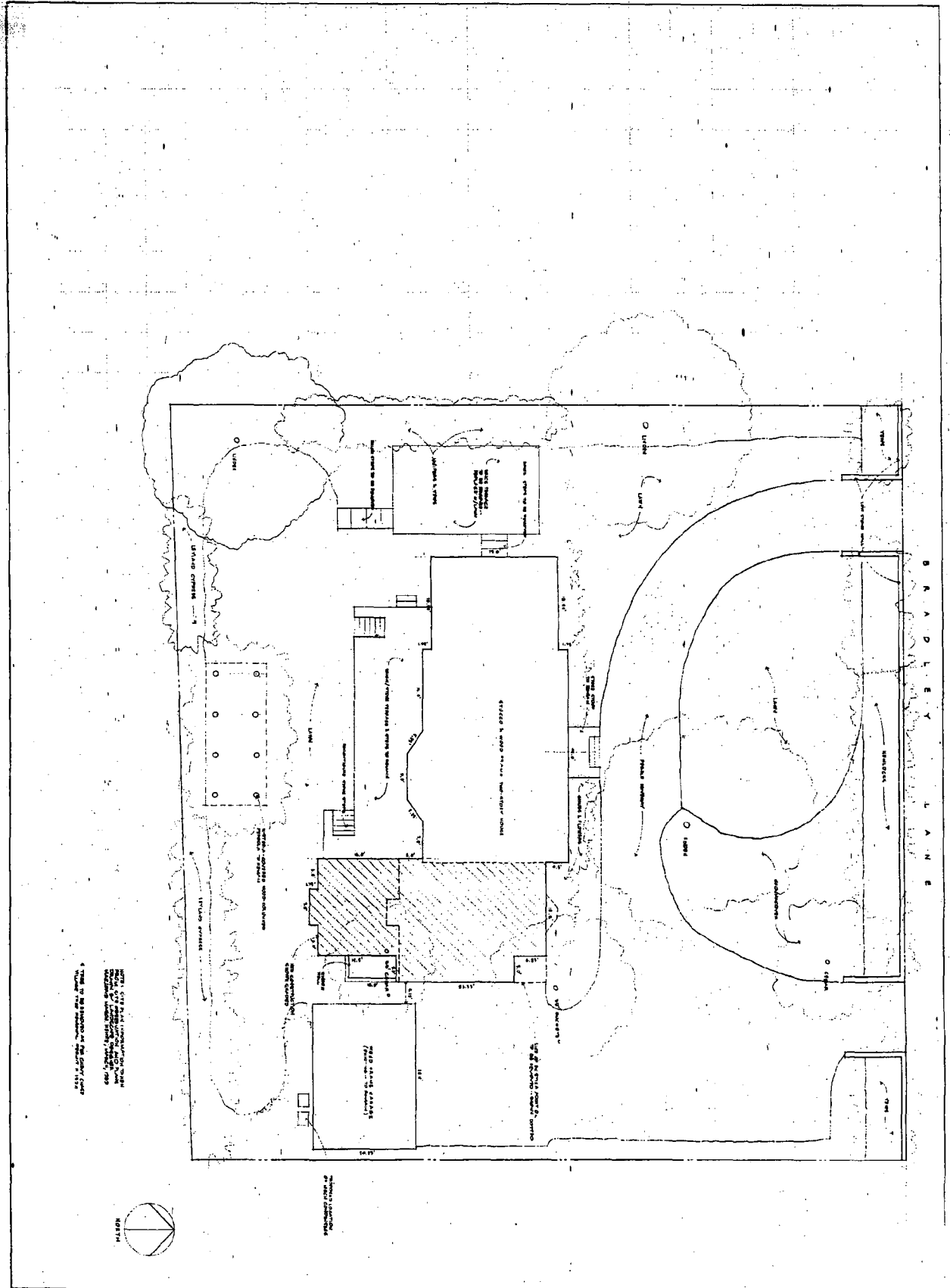
## Best Residence

### Written Description for Historic Area Work Permit.

This residence on Bradley Lane in Chevy Chase Village was built around 1910 for E.W. Donn, Jr., the architect who designed it. It is a two story stucco and wood shingle colonial revival house in a neighborhood of comparable houses. The original house had a relatively formal symmetrical façade, with a two-story gable roofed center portion flanked by two one-story wings. The west wing was an open porch comprised of generous round columns and a flat roof. The balancing east wing was a servant's wing, which had no compositional formality to it. Hiding the flat roofs on both wings were three -foot-high parapets, shingled and punctuated by open woodwork. While the central portion of the house is original -- except for parts of the interior, which will be restored-- the wings have been significantly altered. Around 1980 the west wing's columns were removed and the porch was walled in to make an enclosed extension off of the living room. The exterior walls are a continuation of the original stucco. The east wing was removed entirely, and in its place a two-story flat roofed addition was built with little to no regard for the historical precedent connected to it.

Our proposal includes undoing the damage done by the poorly executed renovations and returning the house to at least a sympathetic version of its former self. The west wing will have its round columns reinstated, and the function of the space will revert back to its original use as a porch, with the potential for year-round use with glass infill panels between the columns. The current east wing will be removed and replaced by an updated version of what was originally there. At the front, the one-story piece with the parapet and open fretwork will return, while behind it the house's two-story functionality will remain. In this scheme it will have a gabled roof symbiotic with but secondary to the gabled roof on the original two story portion of the house; and, as in the original, the materials used will be stucco and wood shingle, the windows will be a mix of wood casement and double-hung, the gutters and downspouts will be copper, and the trim will be painted wood, with shutters matching stylistically. In this way, we hope to retain the current function of the house's modern liveability, while paying respect to the original architect's intentions for a home of integrity and historical character.

7



1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



SP001

SITE PLAN 1/8" = 1'-0"

DATE: 10/10/05

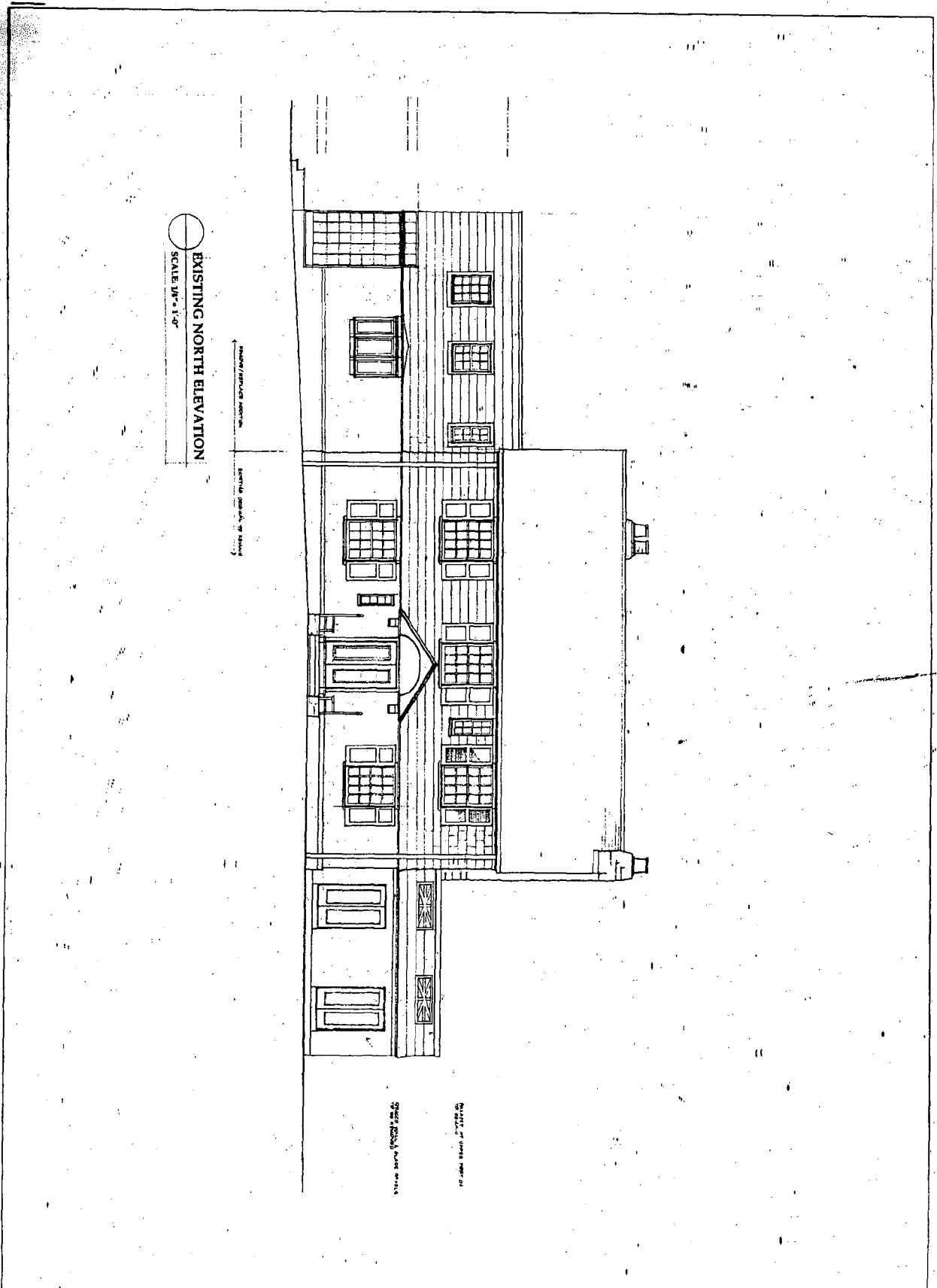
ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

MUSE ARCHITECTS

5630 Connecticut Avenue NW Washington DC 20015  
 Phone: 302.966.6266 Fax: 302.966.6666

7

8



EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

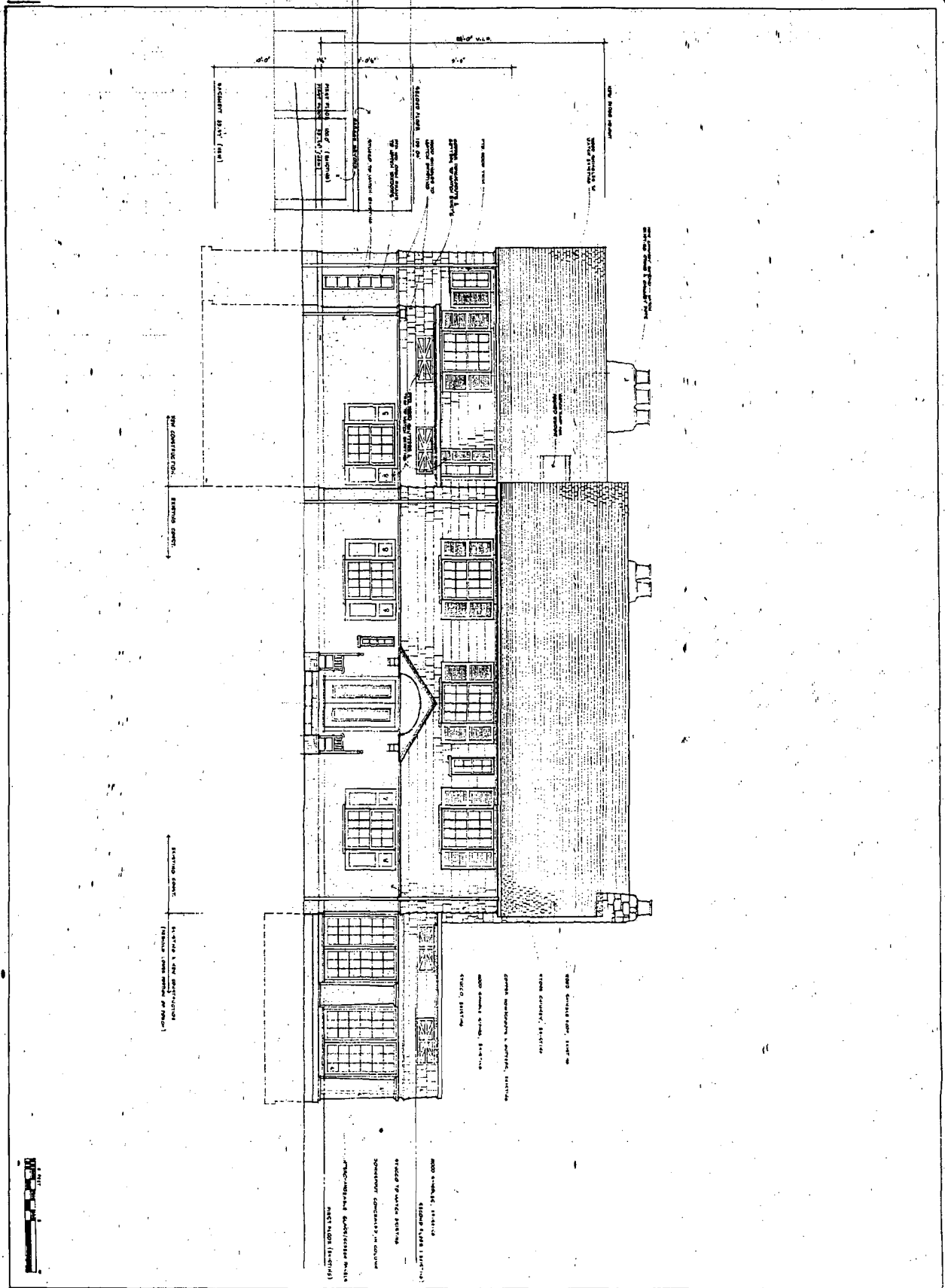
NEW SERVICE ENTRANCE  
EXISTING SERVICE ENTRANCE

DATE: 05.10  
BY: [signature]

EX200	EXISTING NORTH ELEVATION SCALE: 1/4" = 1'-0"	05.10 BY: [signature]	ADDITION TO AND RENOVATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE    CHEVY CHASE, MARYLAND 20815	<b>MUSE ARCHITECTS</b> 5430 Connecticut Avenue NW    Washington DC 20015 Phone: 202.946.6266    Facsimile: 202.946.9466

8

5

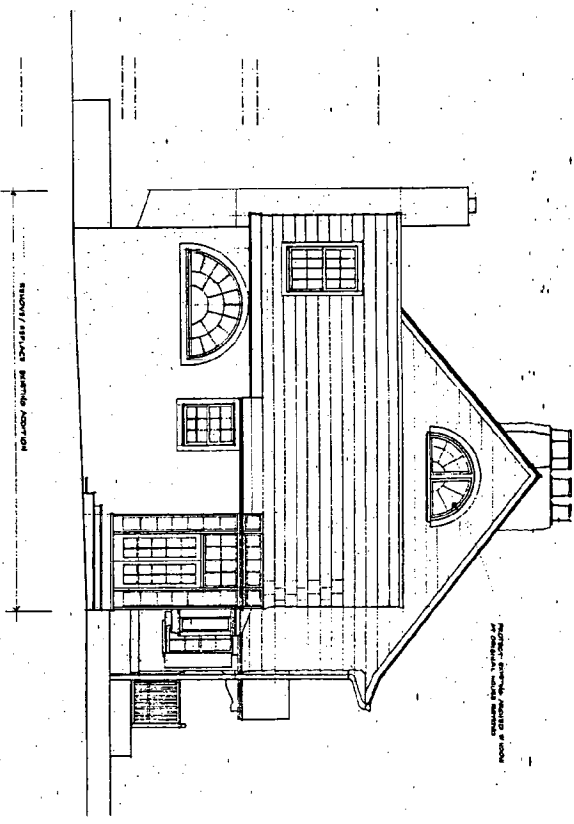


A200	NORTH ELEVATION W. 10'	ADDITION TO & ALTERATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MD 20815	<b>MUSE ARCHITECTS,</b> 5630 Connecticut Avenue NW Washington DC 20315 Phone 202.966.6266 Facsimile 202.966.4666
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6

(B)

EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



EX201

EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

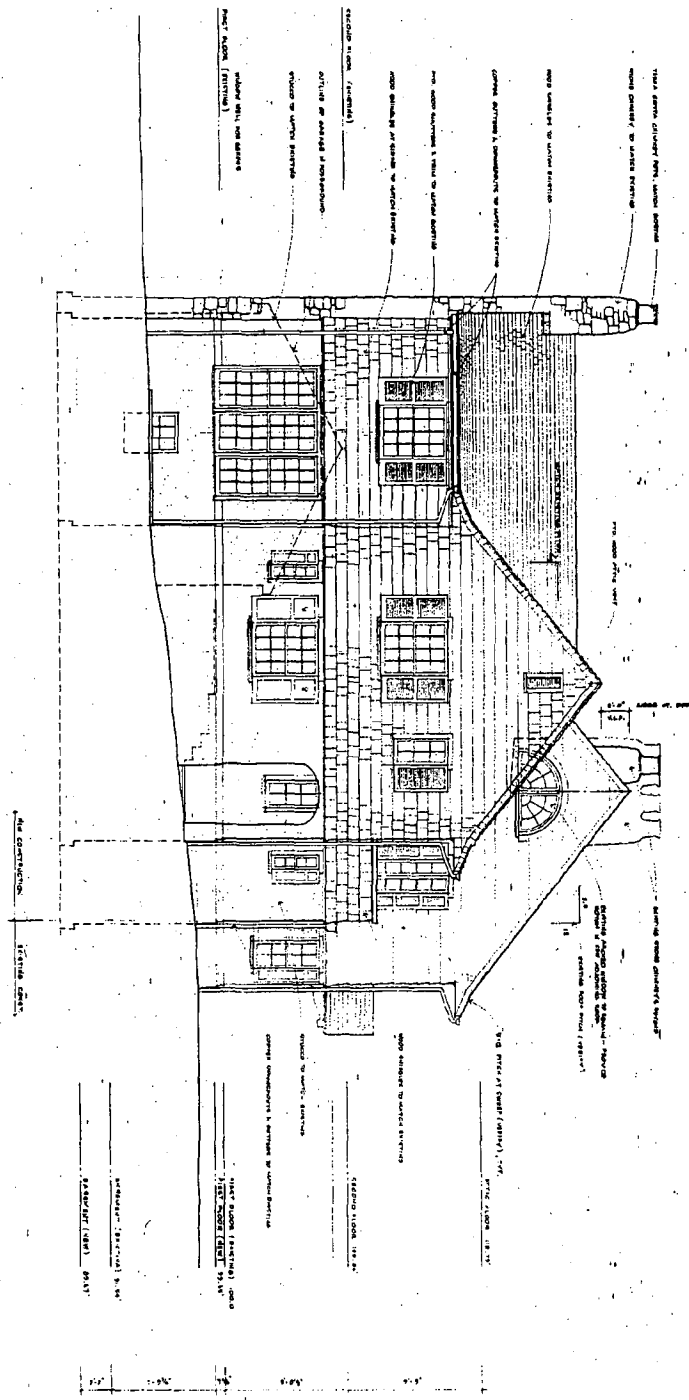
03.10  
© 2008 MUSE ARCHITECTS

ADDITION TO AND RENOVATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815

**MUSE ARCHITECTS**  
3630 Connecticut Avenue NW Washington DC 20015  
Phone: 202-966-6266 Fax: 202-966-9666

(10)

11



A201

EAST ELEVATION 6'-10"

1/2" = 1'-0"

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE, CHEVY CHASE, MD 20815

MUSE ARCHITECTS

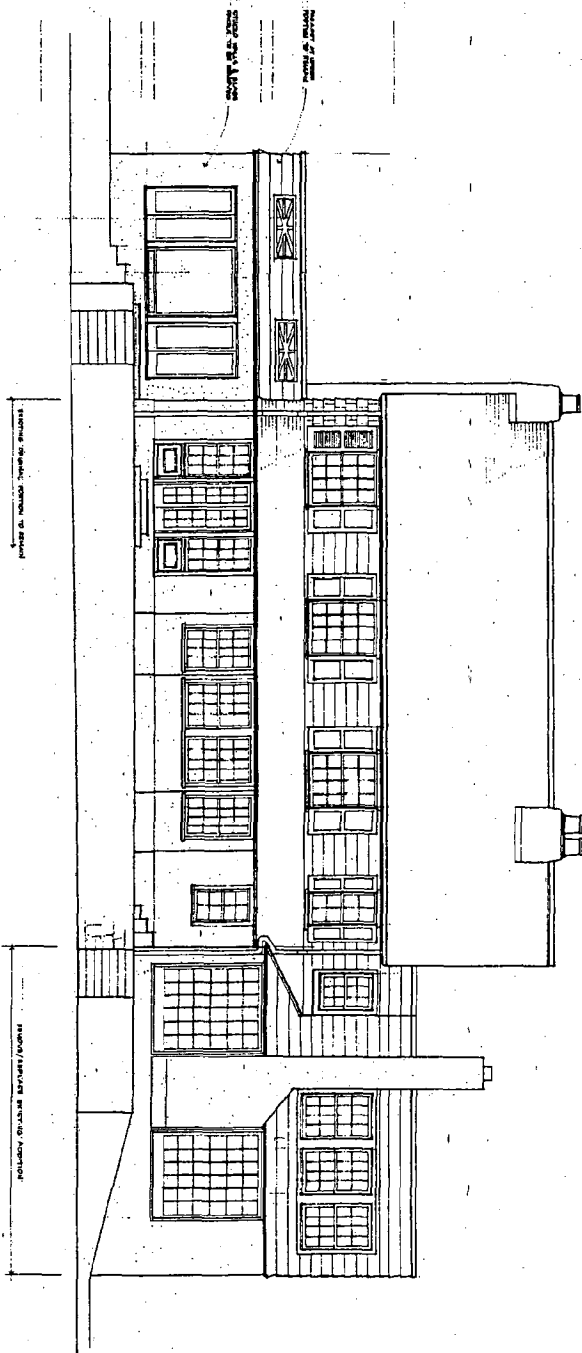
5630 Connecticut Avenue NW  
 Phone: 301.966.6536

Washington DC 20015  
 Facsimile: 301.966.9566

11

12

EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



EX202

EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

05.10  
\* APPROX. 2005

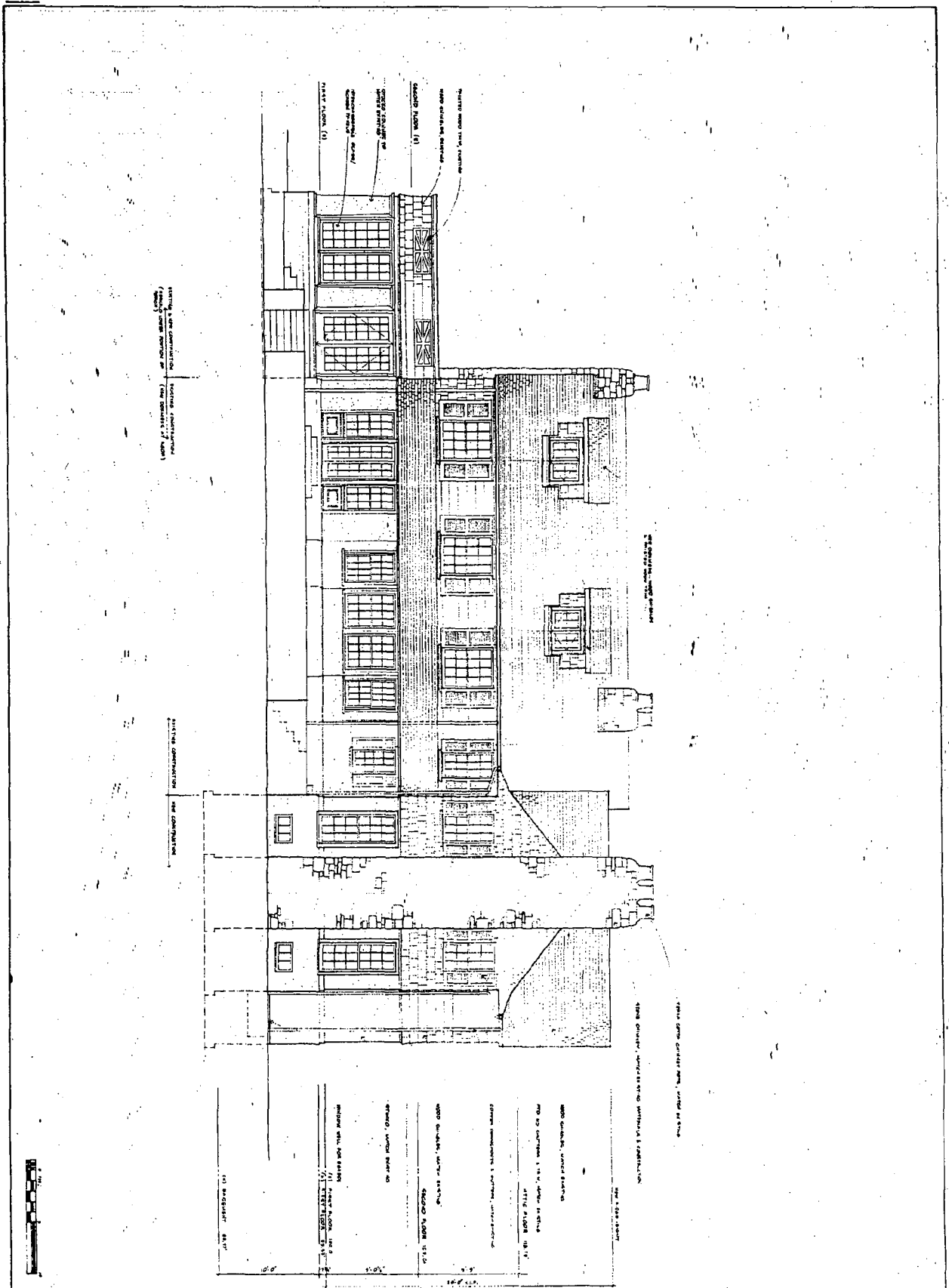
ADDITION TO AND RENOVATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW Washington DC 20015  
Phone 202.964.6366 Facsimile 202.964.9666

12



13



A202

SOUTH ELEVATION

08/10

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

MUSE ARCHITECTS

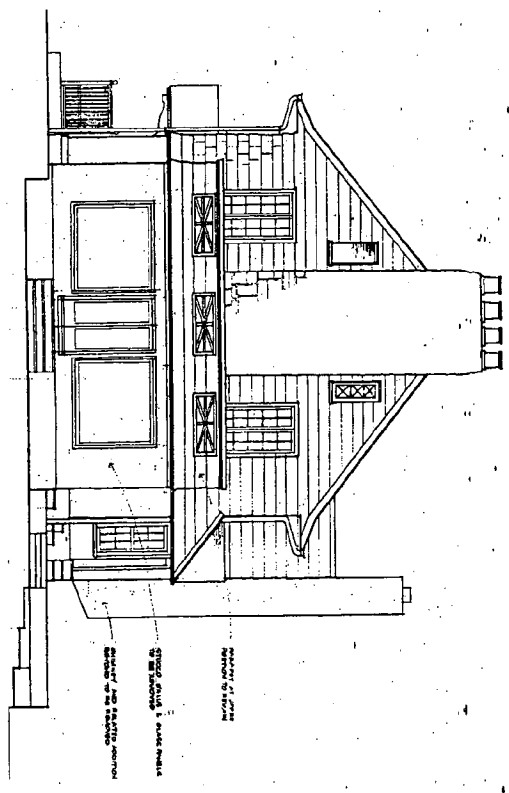
3630 Connecticut Avenue NW  
 Phone: 301.966.2266

Washington DC 20015  
 Fax: 301.966.4666

13

hl

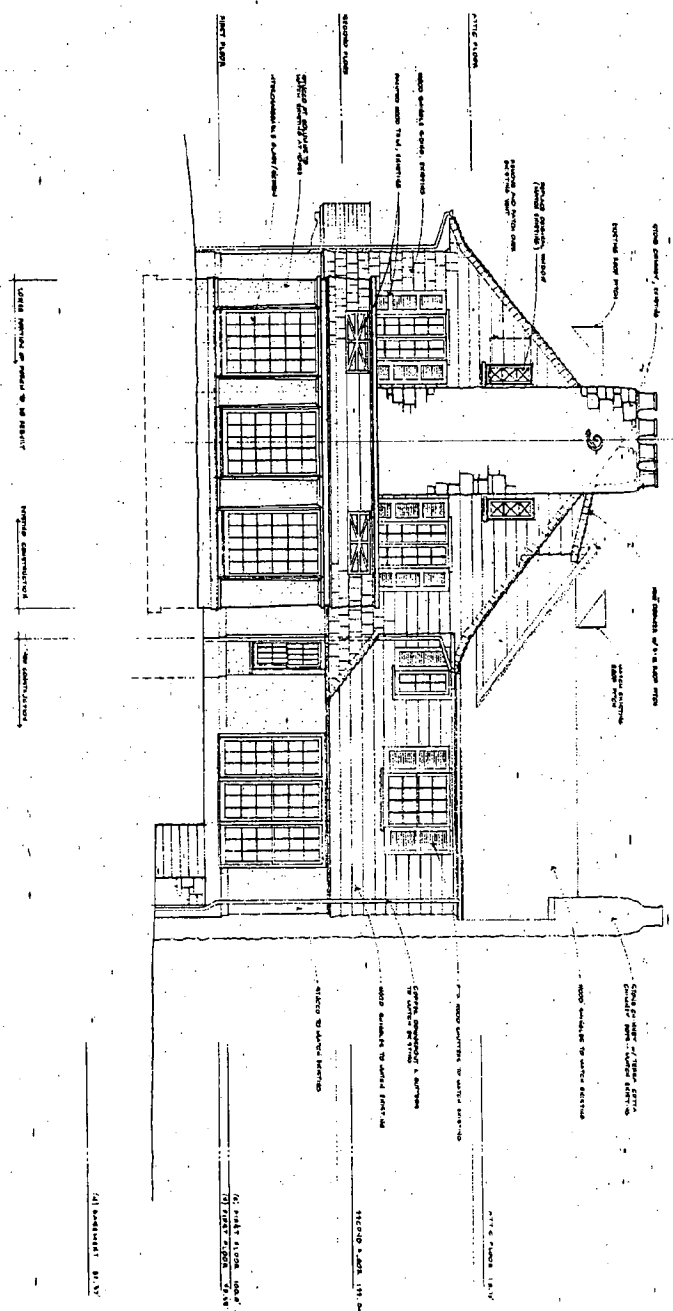
EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



14

EX203	EXISTING WEST ELEVATION SCALE: 1/4" = 1'-0"	05.10 J. J. JENSEN ARCHITECTS	ADDITION TO AND RENOVATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE    CHEVY CHASE, MARYLAND 20815	<b>MUSE ARCHITECTS</b> 5430 Connecticut Avenue NW Phone: 202.966.6264	Washington DC: 20015 Facsimile: 202.966.9666

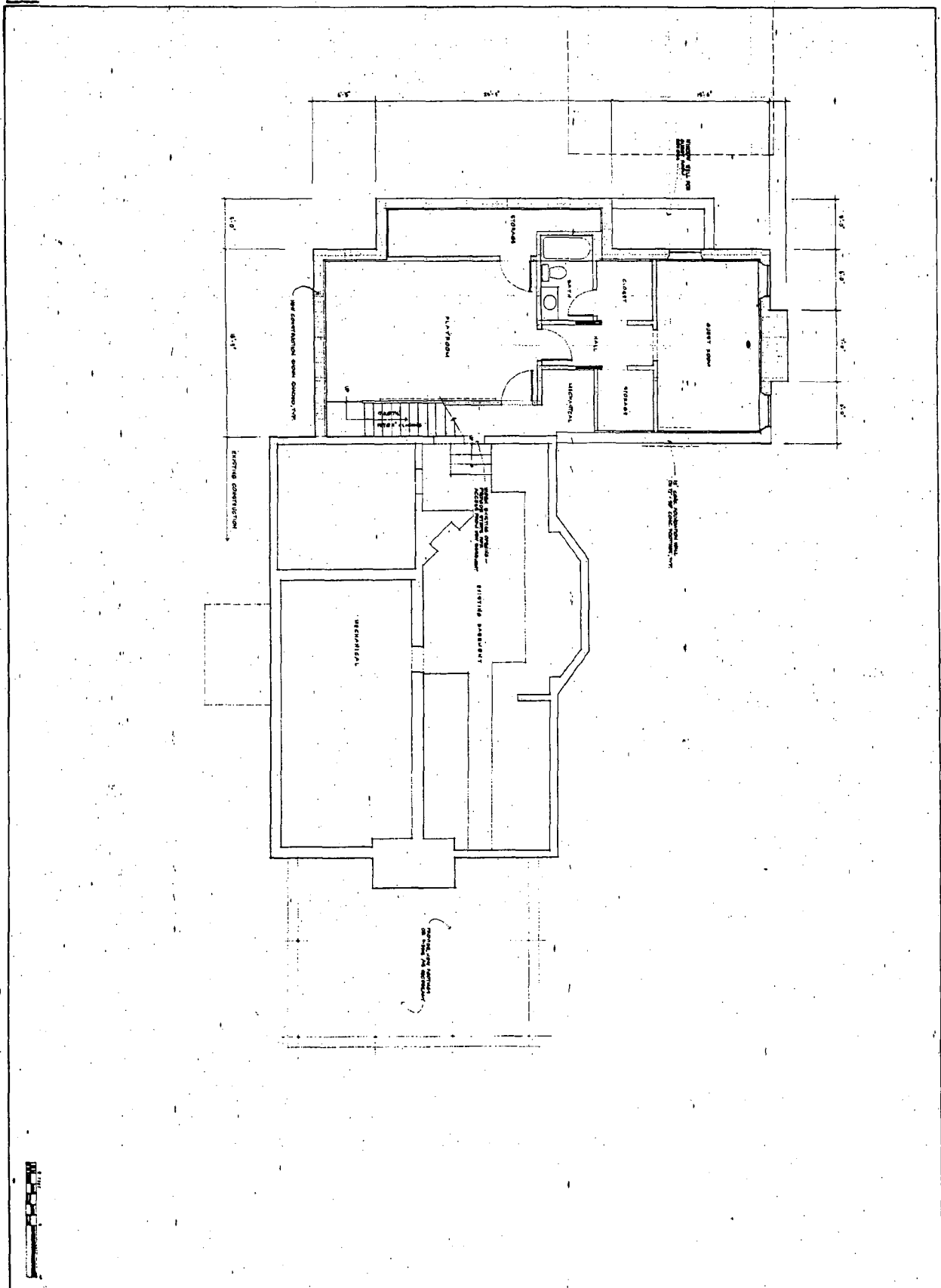
15



A203	WEST ELEVATION	2'-0"	ADDITION TO & ALTERATION OF THE <b>BEST RESIDENCE</b> 3610 BRADLEY LANE CHEVY CHASE, MD 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Washington DC 20015 Phone 202.966.6286 Facsimile 202.966.6166
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15

91



A100

BASEMENT PLAN 1/4"=1'-0"

DATE: 01/10  
SCALE: 1/4"=1'-0"

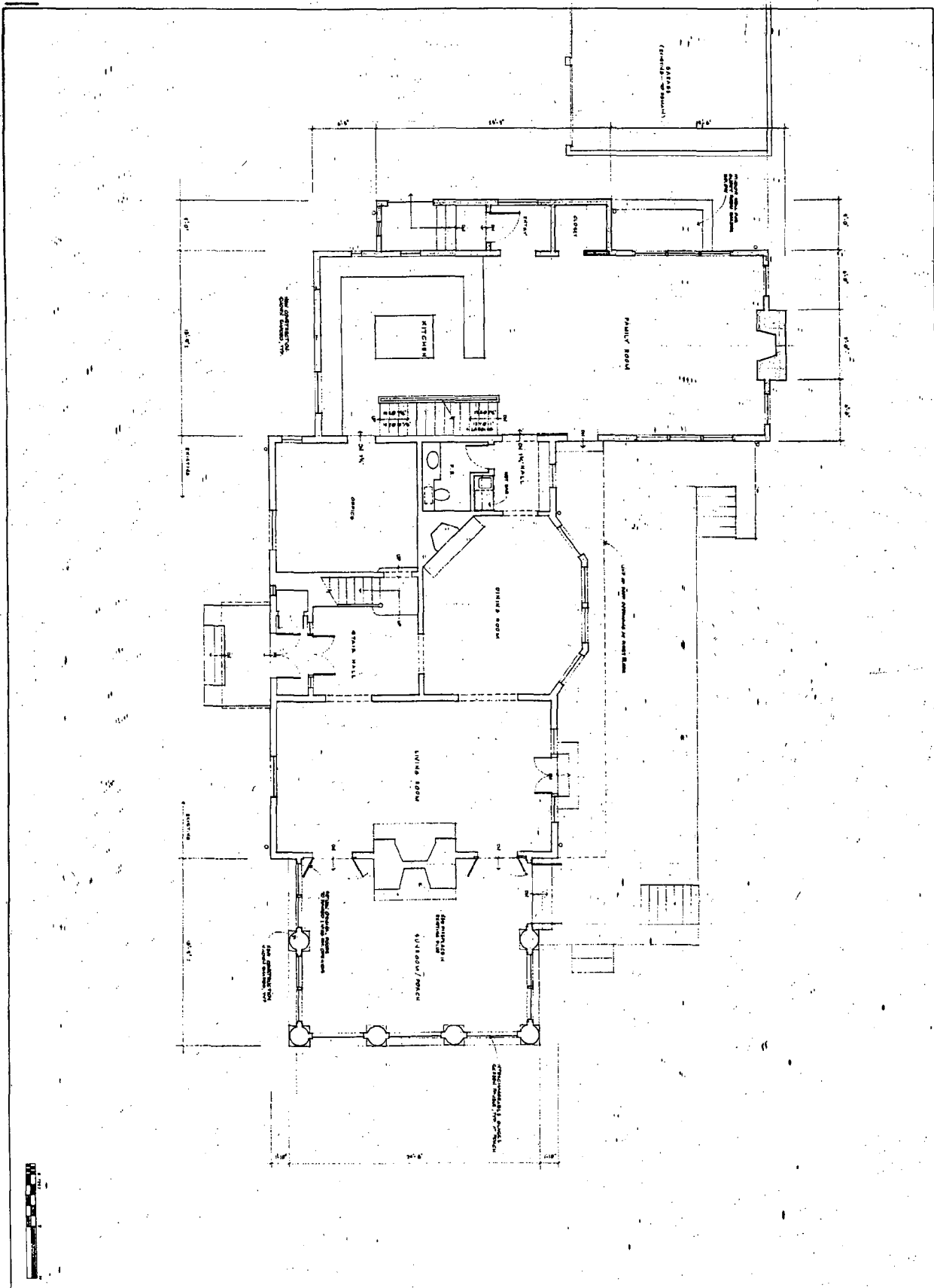
ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD. 20815

**MUSE ARCHITECTS**  
 9630 Connecticut Avenue NW Washington DC 20015  
 Phone 202.966.6206 Facsimile 202.966.7666

110

17

DATE: 10/15/03  
PROJECT: 3810 BRADLEY LANE  
DRAWN BY: [illegible]



A101

FIRST FLOOR PLAN

10/15/03

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

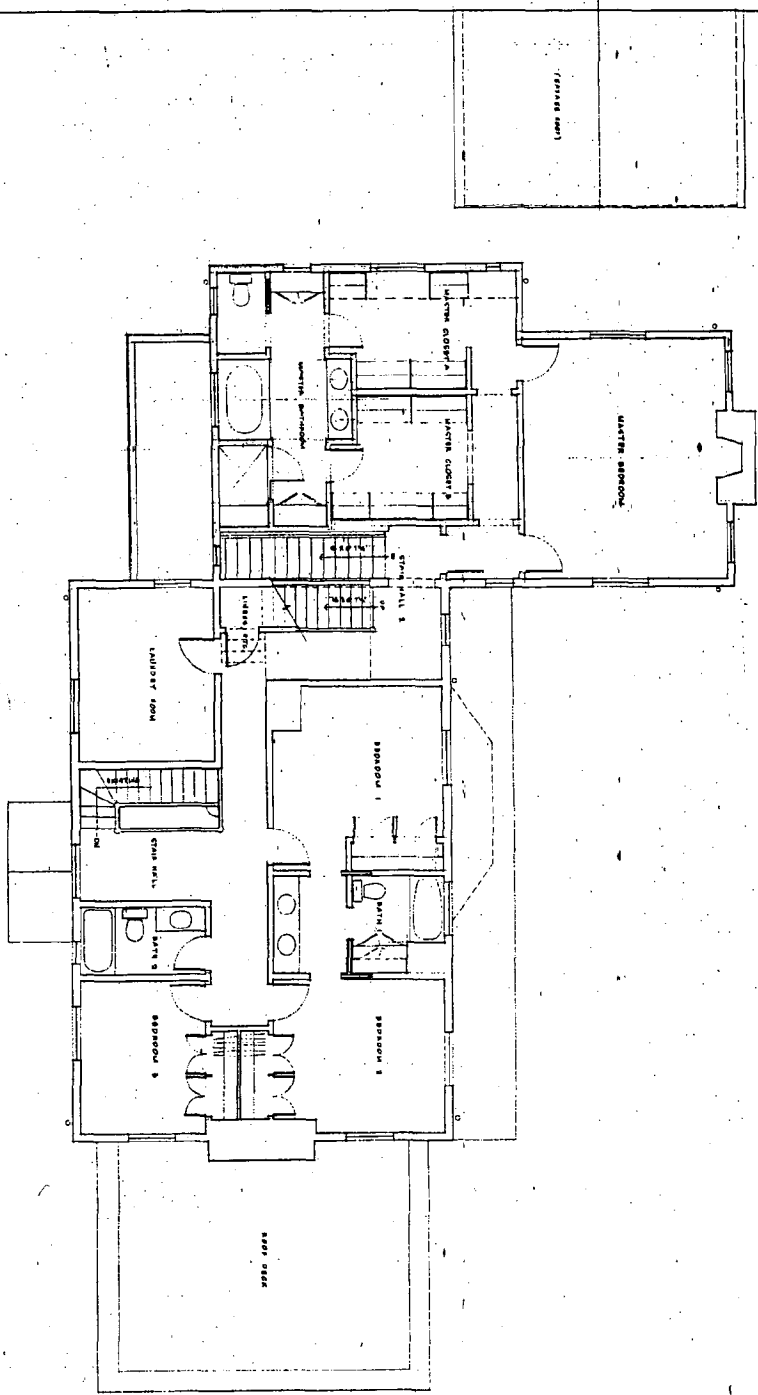
MUSE ARCHITECTS.

5630 Connecticut Avenue NW  
 Phone 202.966.6266

Washington DC 20015  
 Facsimile 202.966.9666

17

81



A102

SECOND FLOOR PLAN 1/2" = 1'-0"

DATE: 5/27/2008

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

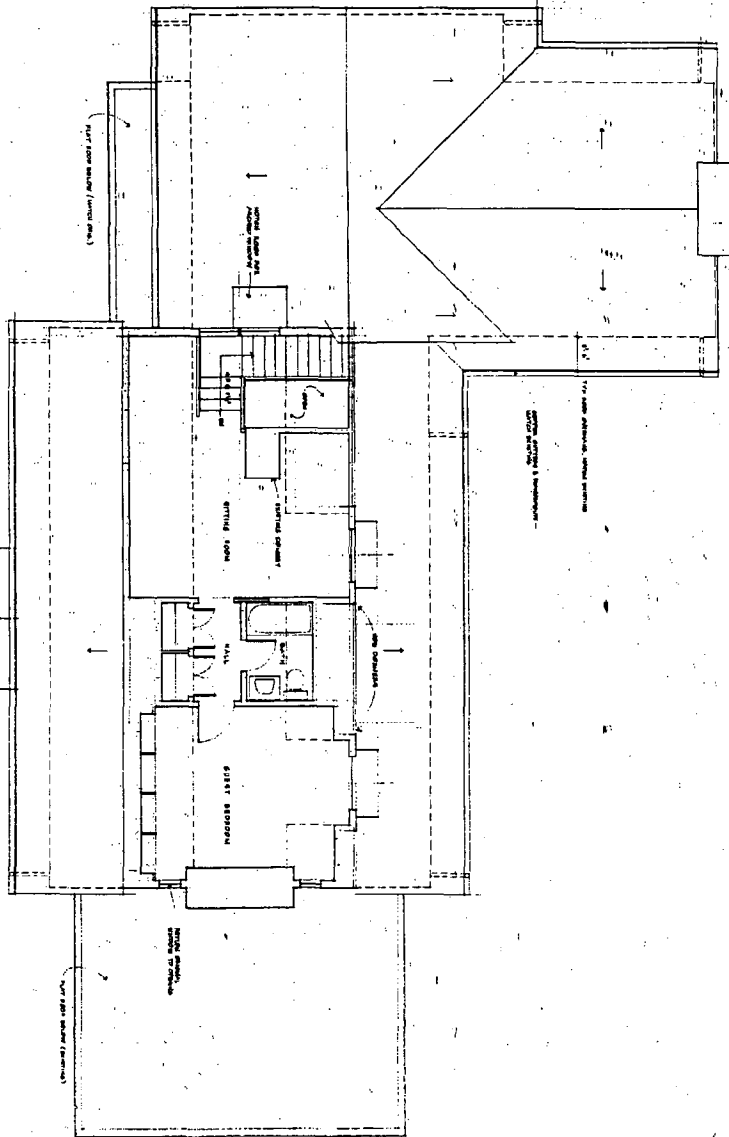
MUSE ARCHITECTS

5630 Connecticut Avenue NW  
 Phone: 202.966.6266

Washington DC 20015  
 Facsimile: 202.966.9666

81

61



A103

ATT'G PLAN

DATE: 11/10/03

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

MUSE ARCHITECTS

5630 Connecticut Avenue NW  
 Phone: 202.966.6266

Washington DC 20015  
 Facsimile: 202.966.9666

14

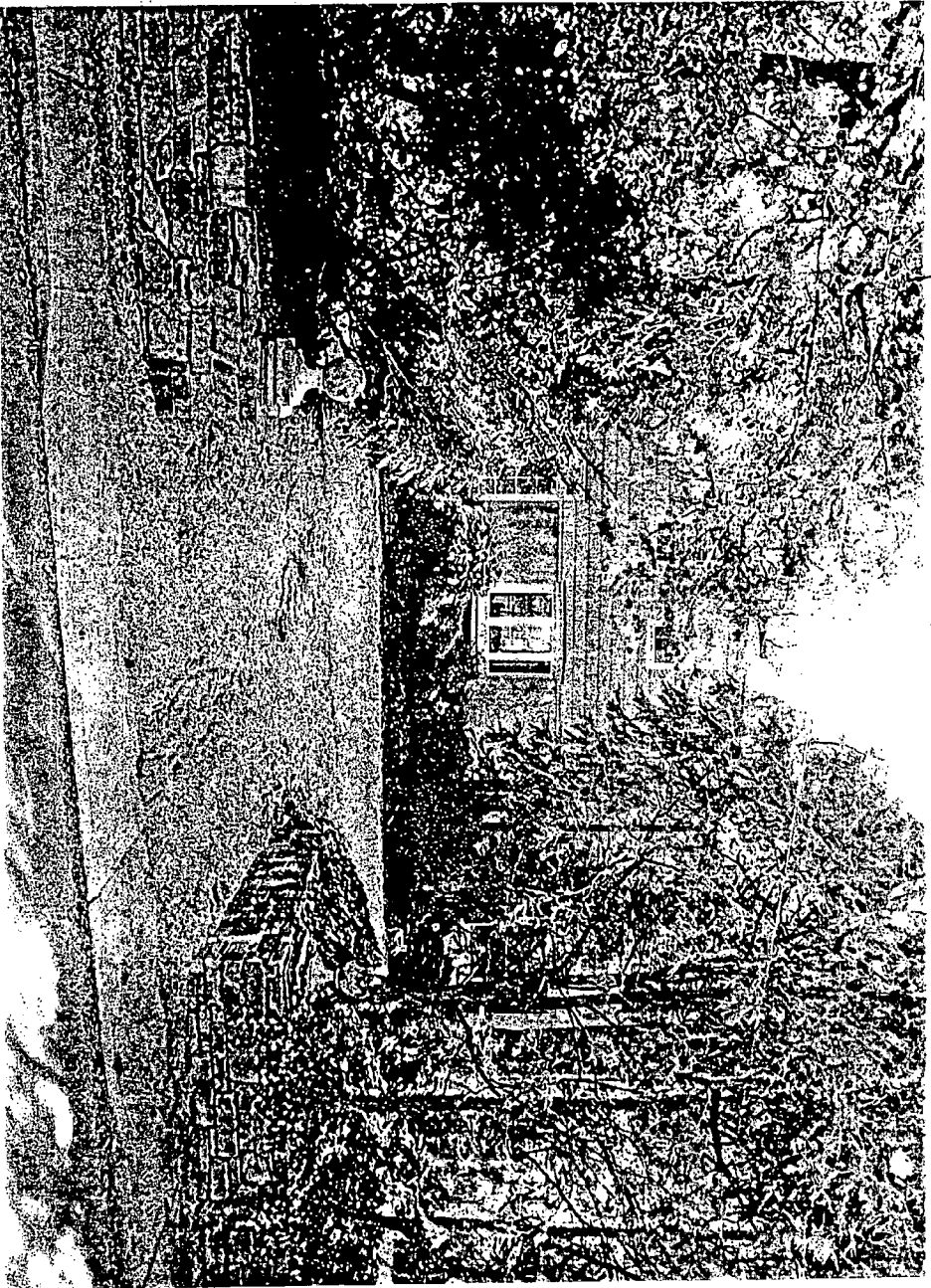


Front (north) elevation from driveway (east)

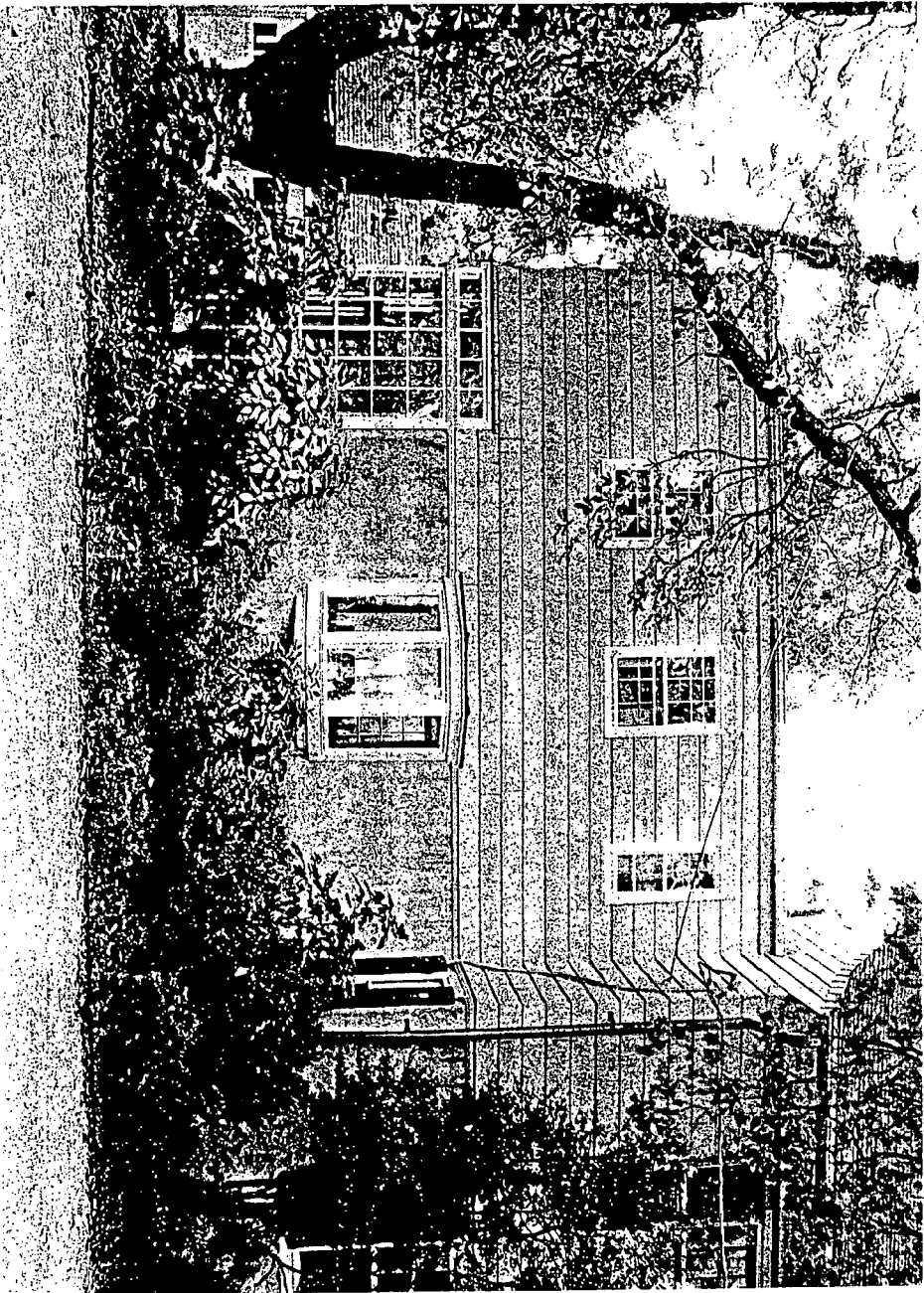


Front elevation from driveway (west)





Front elevation from public right-of-way



Detail, north elevation of existing addition

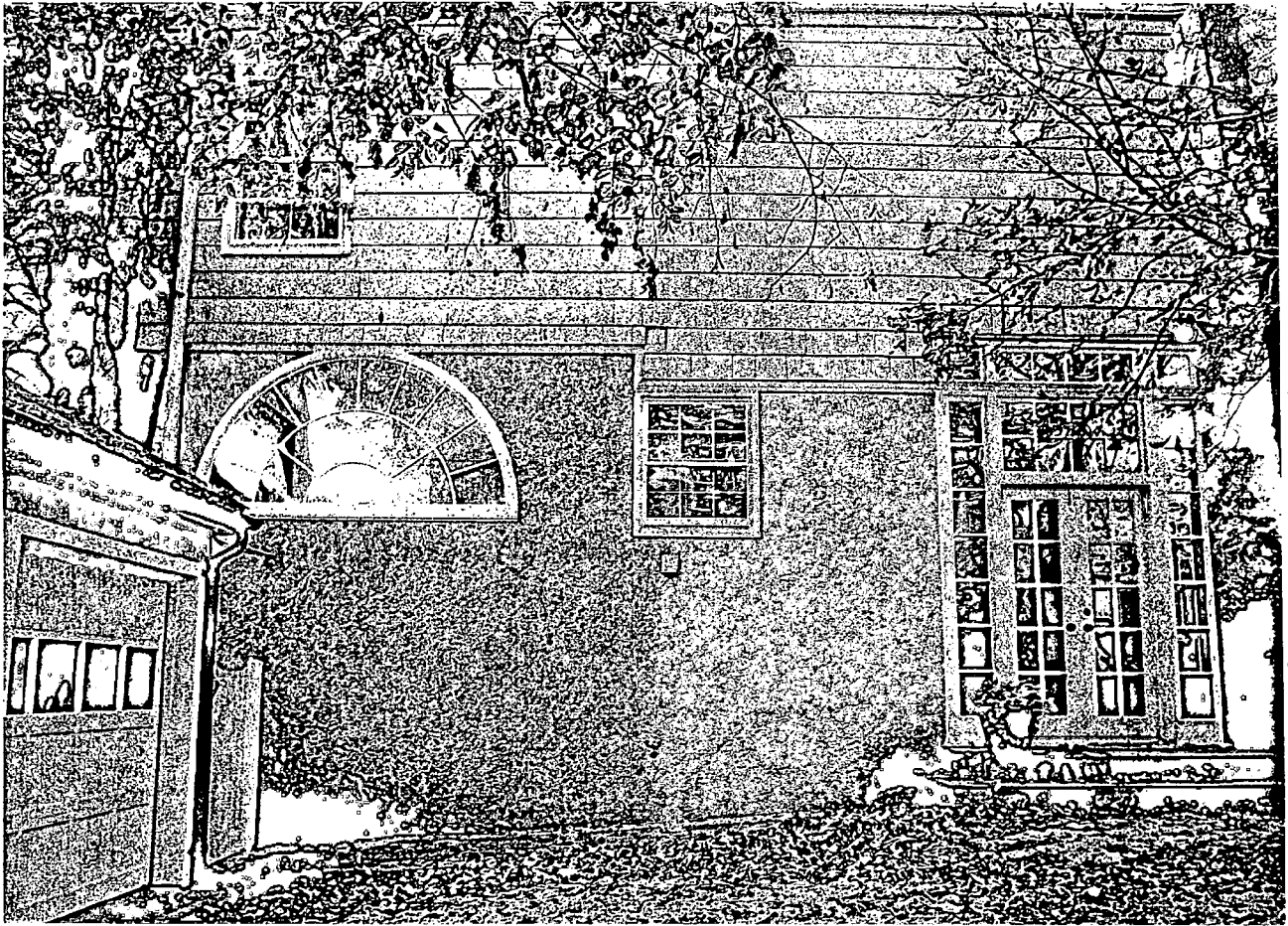


Detail, northeast corner of existing addition



Detail, northeast corner of existing addition

(20)



Detail, east elevation of existing addition



Detail, southeast corner of existing addition

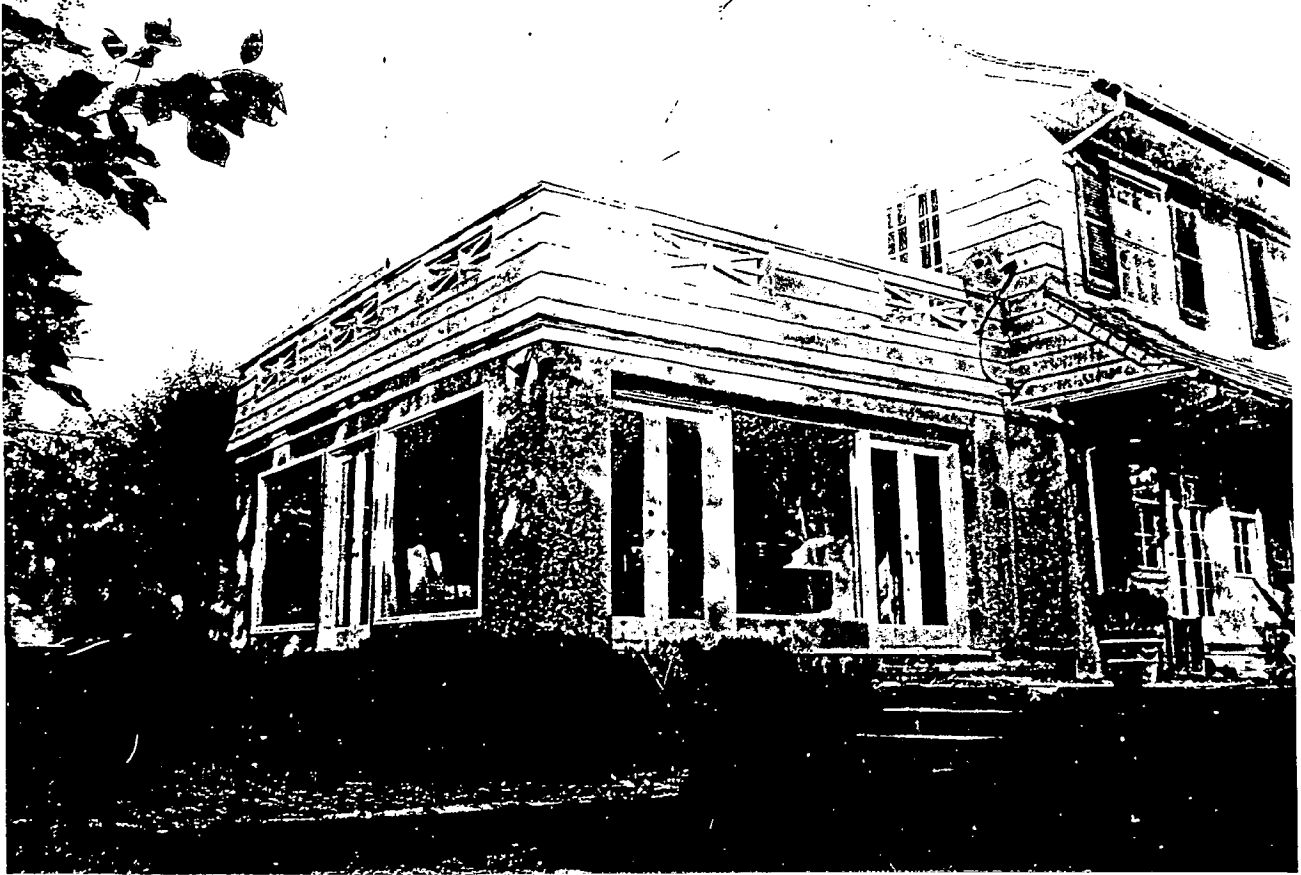


Rear (southeast) elevation from yard



Rear (southwest) elevation from yard

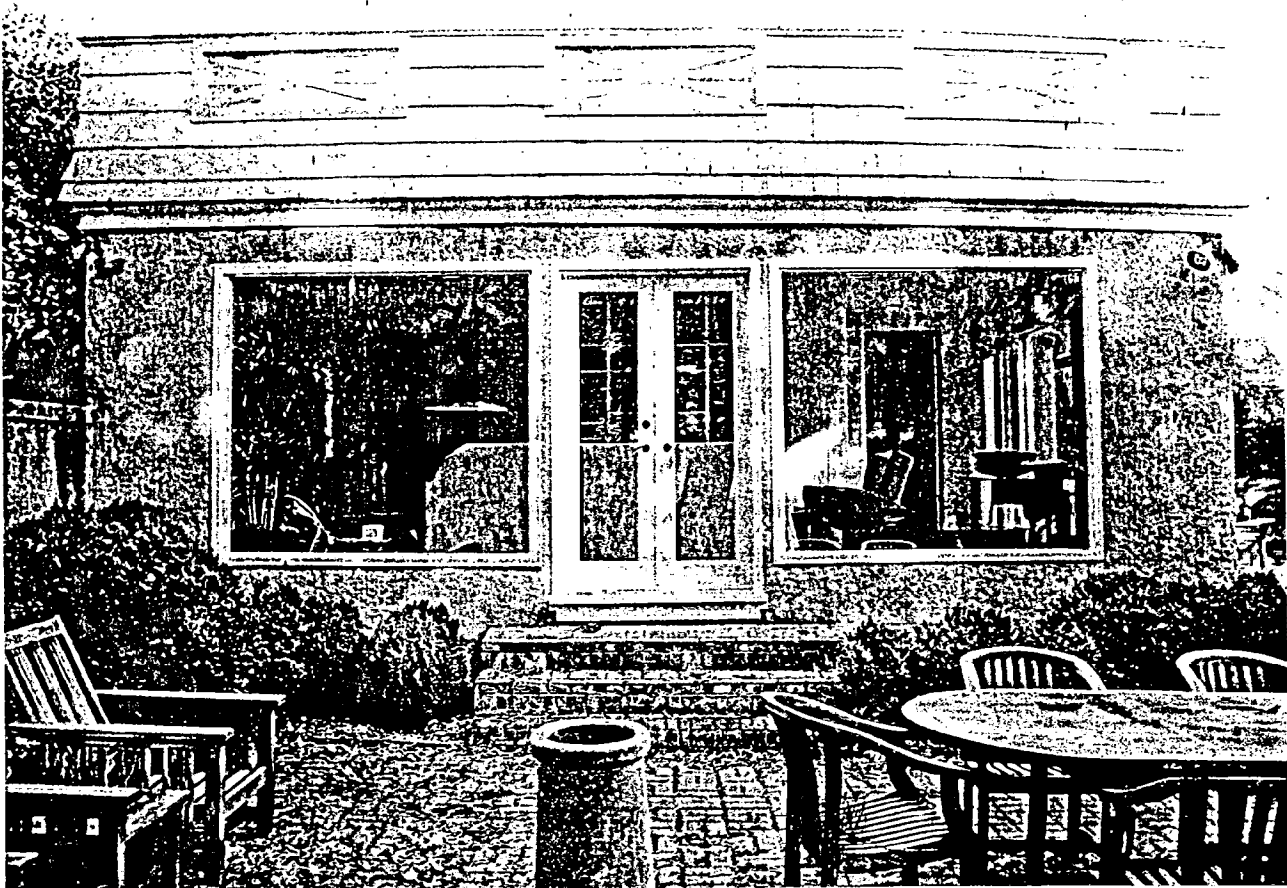
RT



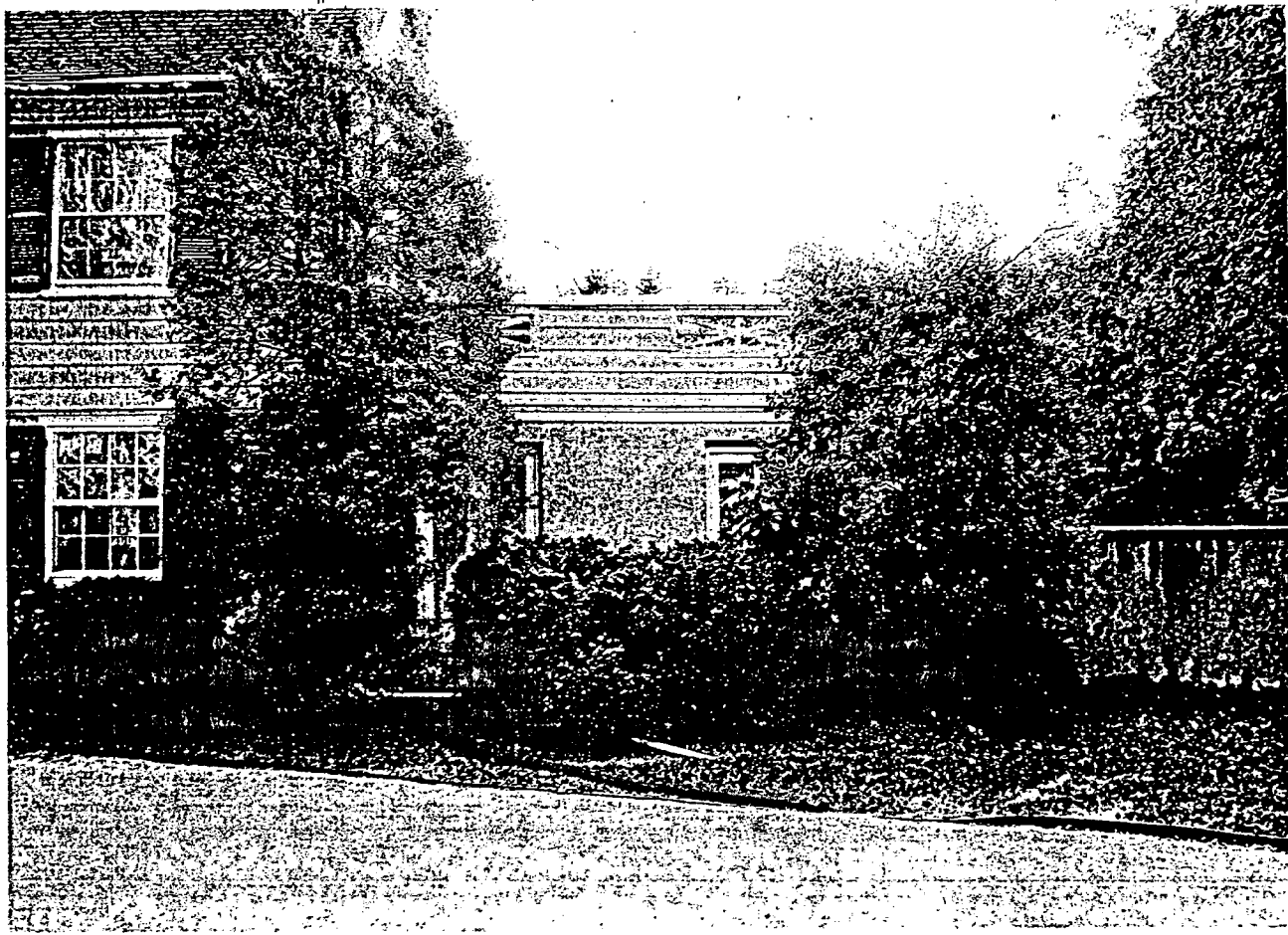
Detail, southwest corner of one-story portion



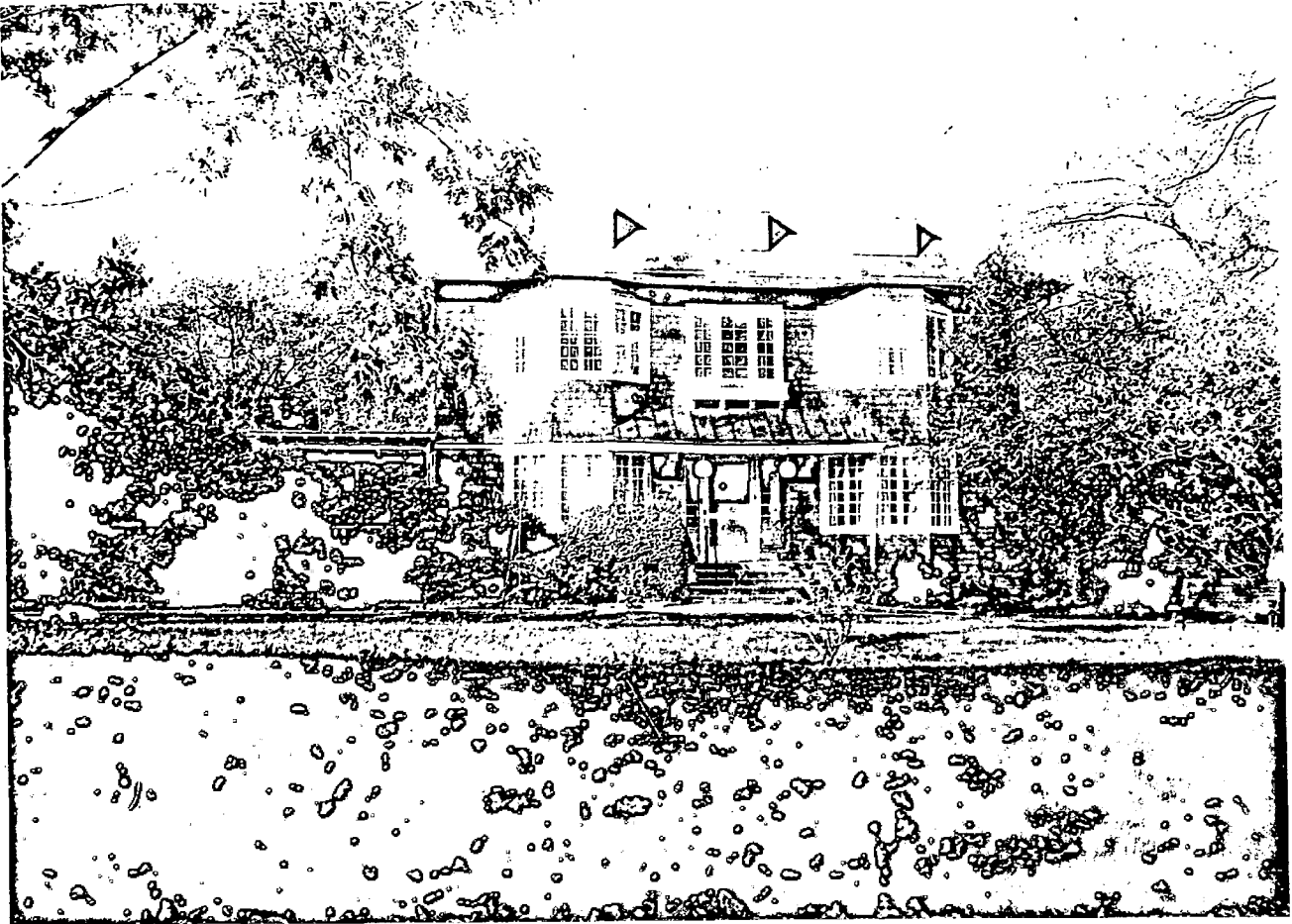
Detail, south elevation of existing one-story portion



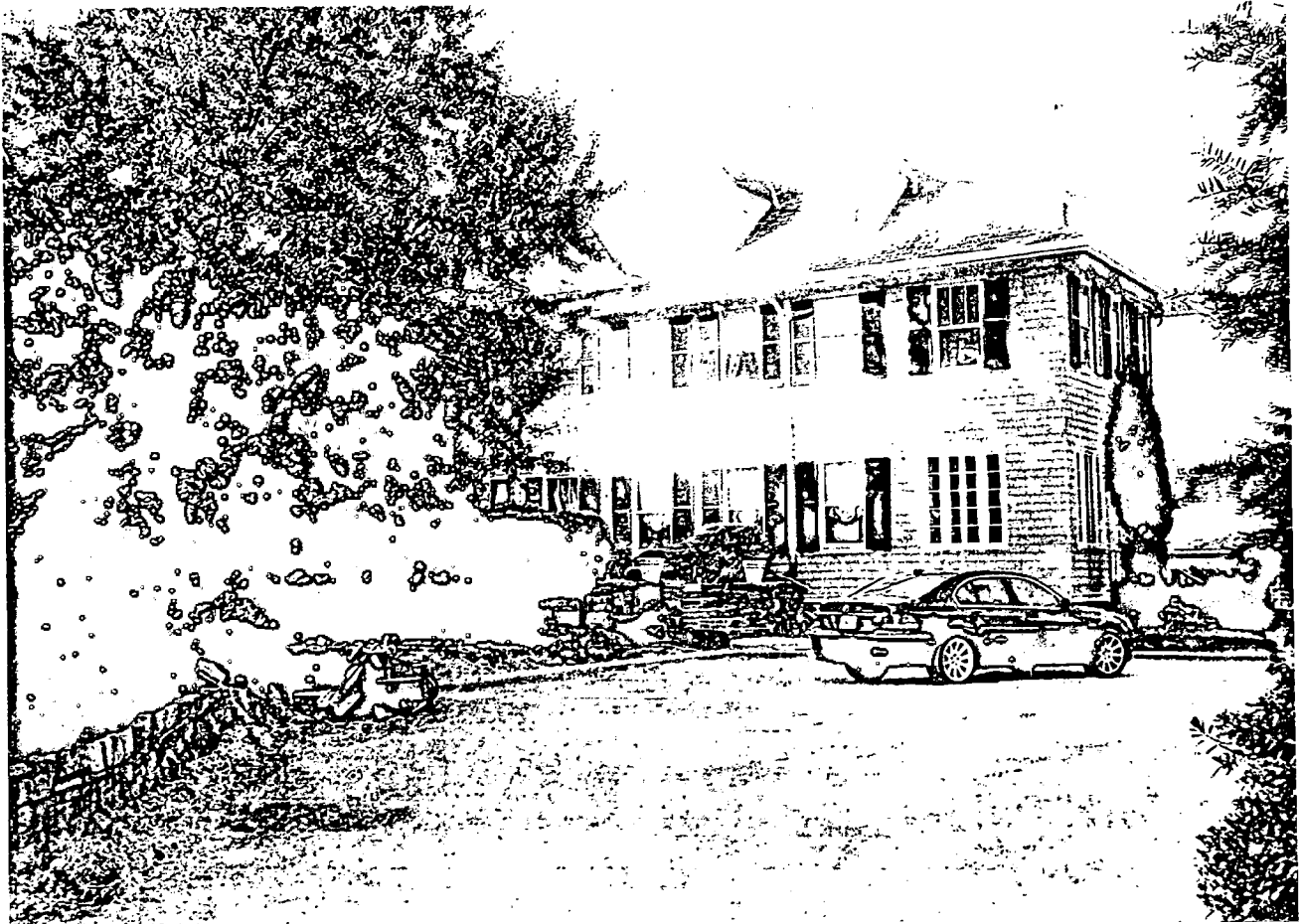
Detail, west elevation of one-story portion



Detail, northwest corner one-story portion



3807 Bradley Lane



3815 Bradley Lane

(27)



3804 Bradley Lane



1 Quincy Street

28





5 Quincy Street



11 Quincy Street

(2)

# CHEVY CHASE VILLAGE

5906 Connecticut Avenue  
Chevy Chase, Maryland 20815  
(301) 654-7300

## TREE REMOVAL PERMIT

*Permit Number: 1524*

*Date Issued: November 8, 2005*

*Expires: November 8, 2006*

*Name of Property Owner:* Stephen and Kristen Best  
*Address of Construction:* 3810 Bradley Lane  
Chevy Chase, Maryland 20815

*Contractor:* To be determined.  
*Contact Person:* Muse Architects  
*Phone Number:* (202) 966-6266

### WORK TO BE DONE

*Number of Trees to be Removed:* Two (2)  
*Diameter, Species, Location:* 33.0-inch diameter Cedar—rear yard, left of house  
35.0-inch diameter Buckeye—front yard, left of house

### SPECIAL CONDITIONS

- Work must be completed by November 8, 2006.
- All debris must be hauled away by Contractor.
- Posting of commercial signs is prohibited.

*Permit Fee: \$50.00*

*Appeal Fee: \$0.00*

*Fines: N/A*

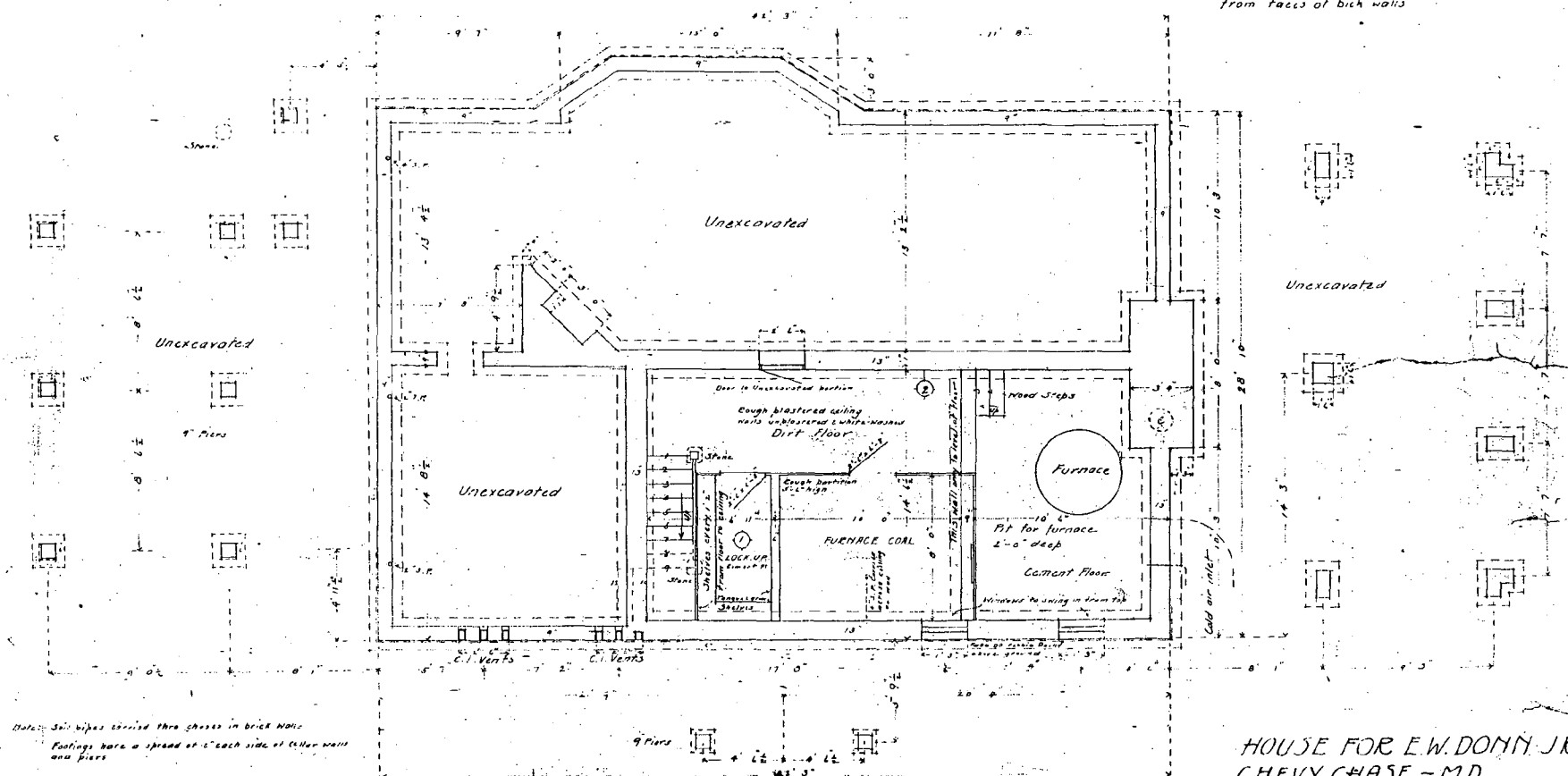
*Total Fees Due: \$50.00 (PAID)*

**THIS PERMIT MUST BE POSTED**

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
Stephen Best 3810 Bradley Lane Chevy Chase, Maryland 20815	Muse Architects 5630 Connecticut Ave. Washington, DC 20015 Attn: Stephen Muse
<b>Adjacent and confronting Property Owners mailing addresses</b> From Maryland Department of Assessments and Taxation <a href="http://www.dat.state.md.us">www.dat.state.md.us</a>	
Peter Terpeluk, Jr. PSC 9 Box 9500 APO AE 09123-9998  (3815 Bradley Lane)	Elinor L Horwitz 3807 Bradley Lane Chevy Chase, Maryland 20815
Robert H. Fogarty 3804 Bradley Lane Chevy Chase, Maryland 20815	James R. Worsley, Jr. 11 Quincy Street Chevy Chase, Maryland 20815
Leslie J. Goldman 5 Quincy Street Chevy Chase, Maryland 20815	B. Francis Saul, II 1 Quincy Street Chevy Chase, Maryland 20815

All outside measurements on Cellar Plan taken from faces of brick walls



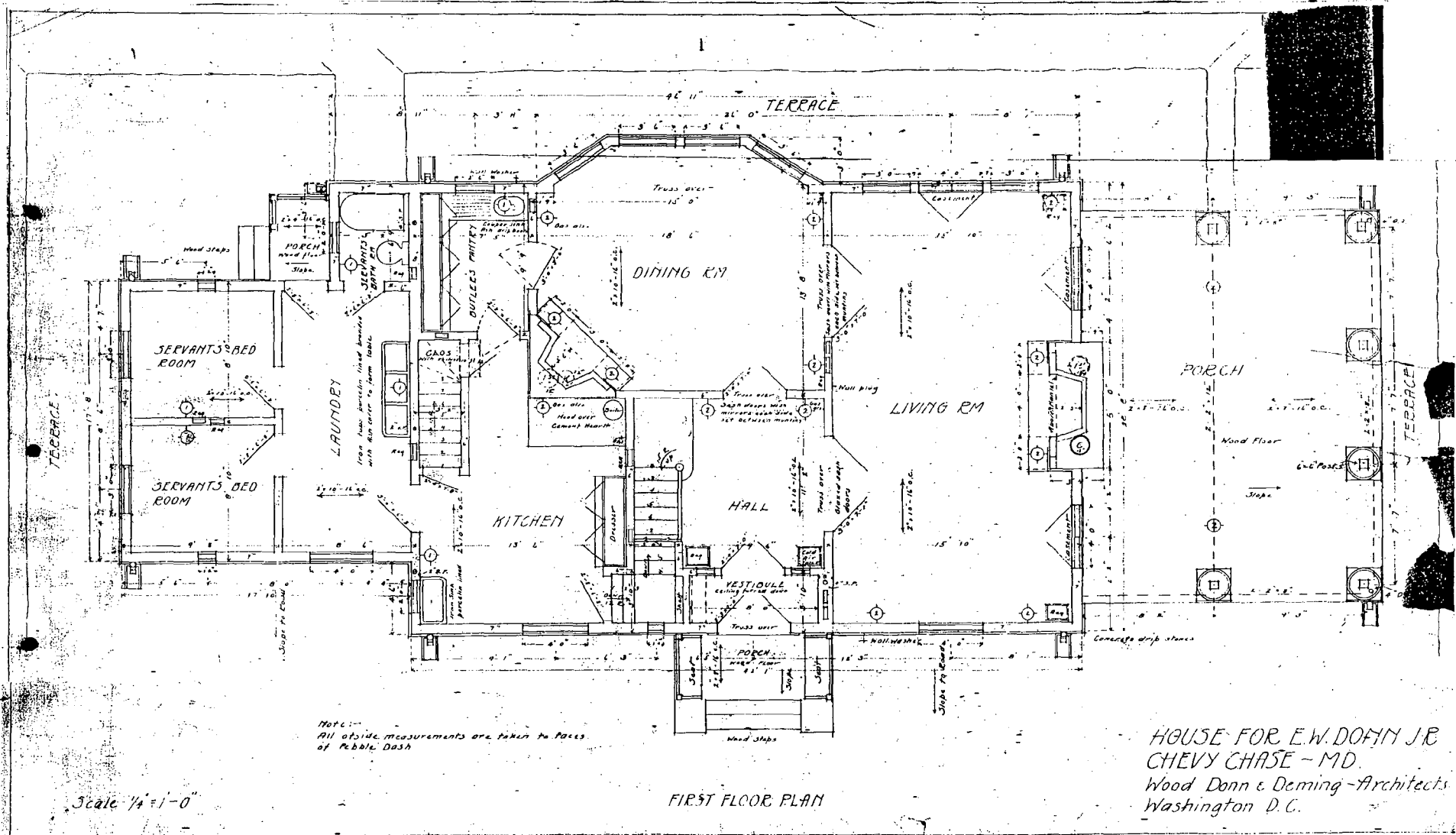
Notes: Soil pipes carried thru chases in brick walls  
Footings have a spread of 6" each side of cellar walls and piers

1/2" = 1'-0"

CELLAR PLAN

HOUSE FOR E.W. DONN, JR.  
CHEVY CHASE, - MD  
Wood, Donn & Deming - Architects  
Washington, D.C.

32



Note:  
All outside measurements are taken to faces  
of Rebbel DASH

Scale 1/4" = 1'-0"

FIRST FLOOR PLAN

HOUSE FOR E.W. DOAN JR.  
CHEVY CHASE - MD.  
Wood Donn & Deming - Architects  
Washington D.C.

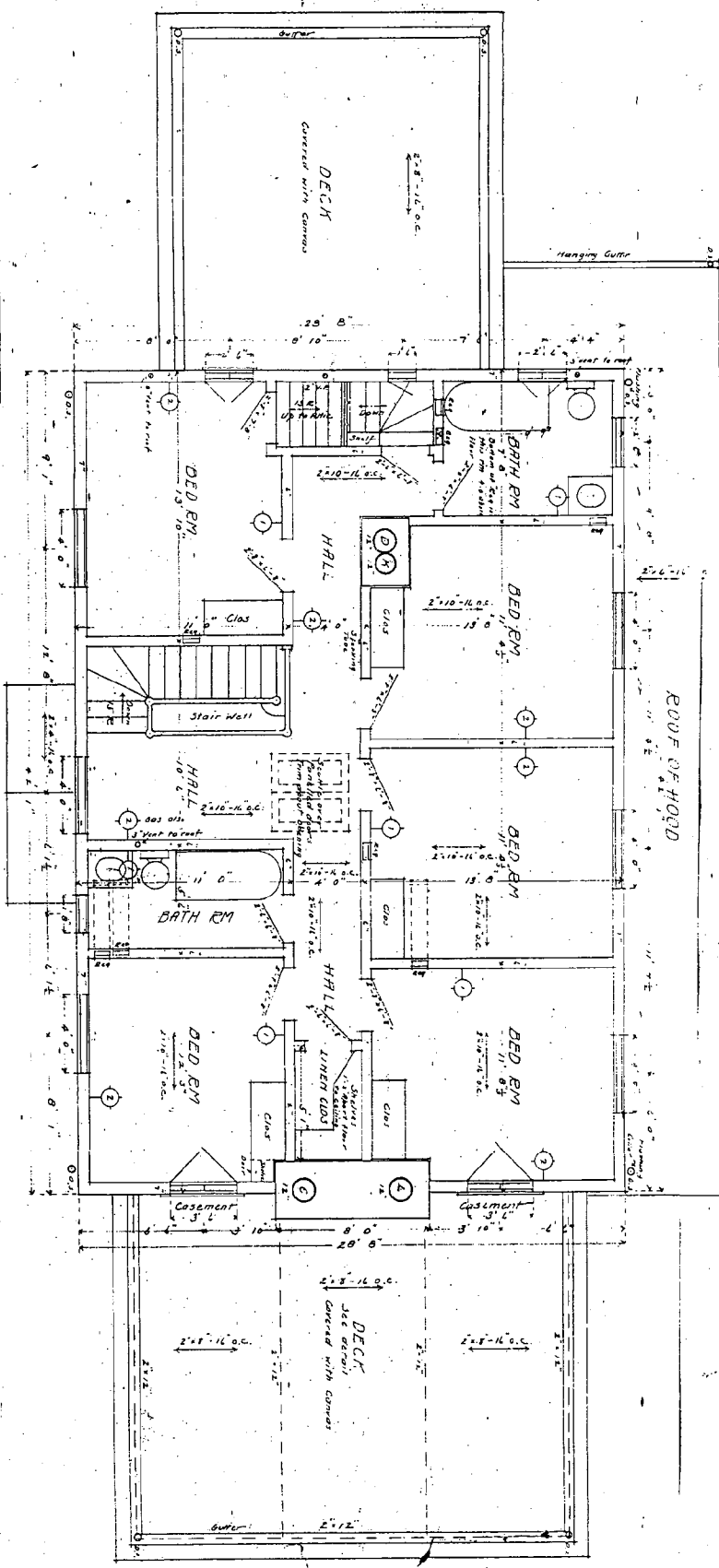
37

PLAN OF SORTIT - WOOD OVER FRONT ENTRANCE



Scale 1/4" = 1'-0"

SECOND FLOOR PLAN

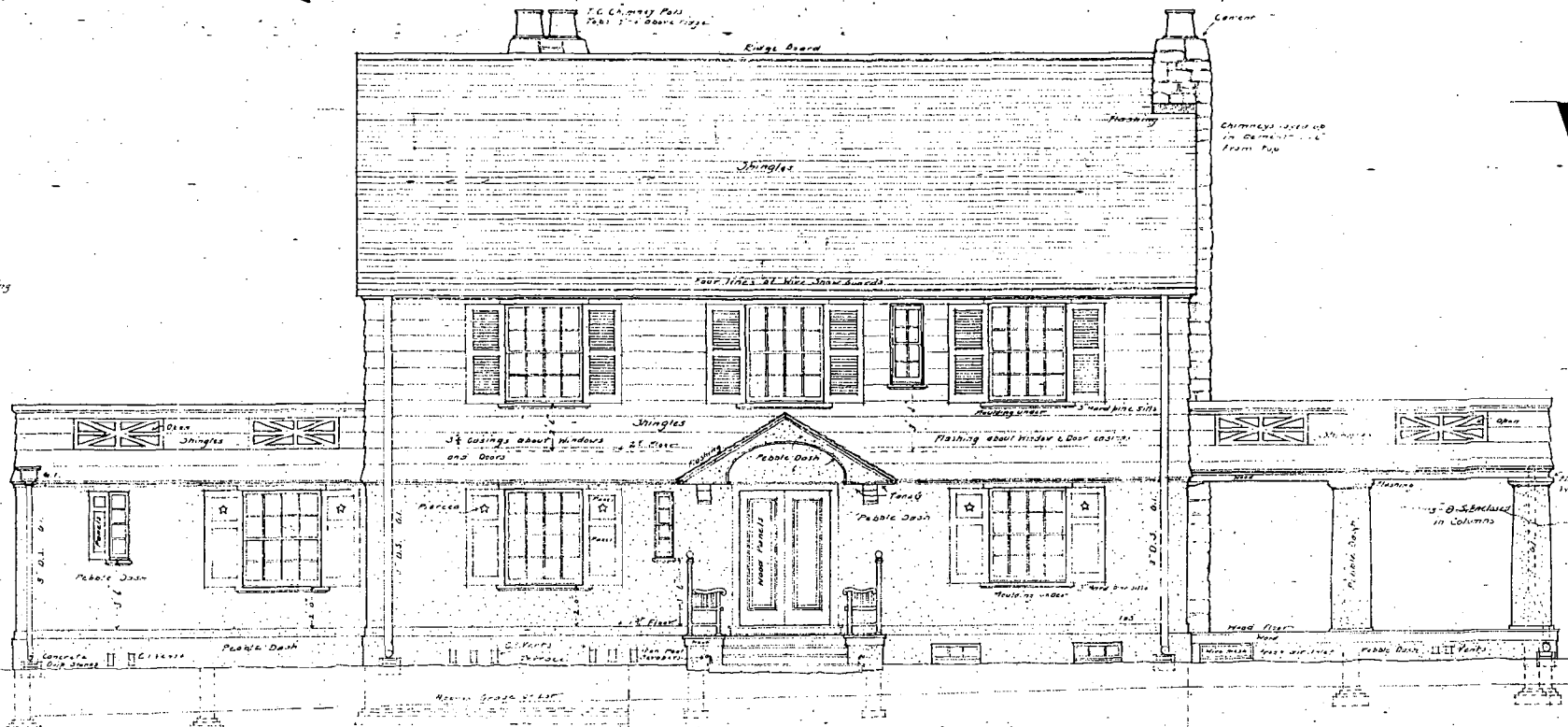


Note: Outside measurements taken from faces of Rabbie Deck

3

HOUSE FOR E.W. DOTTN JR  
 CHEVY CHASE - MD  
 Wood Donn & Demming - Architects  
 Washington D.C.

34



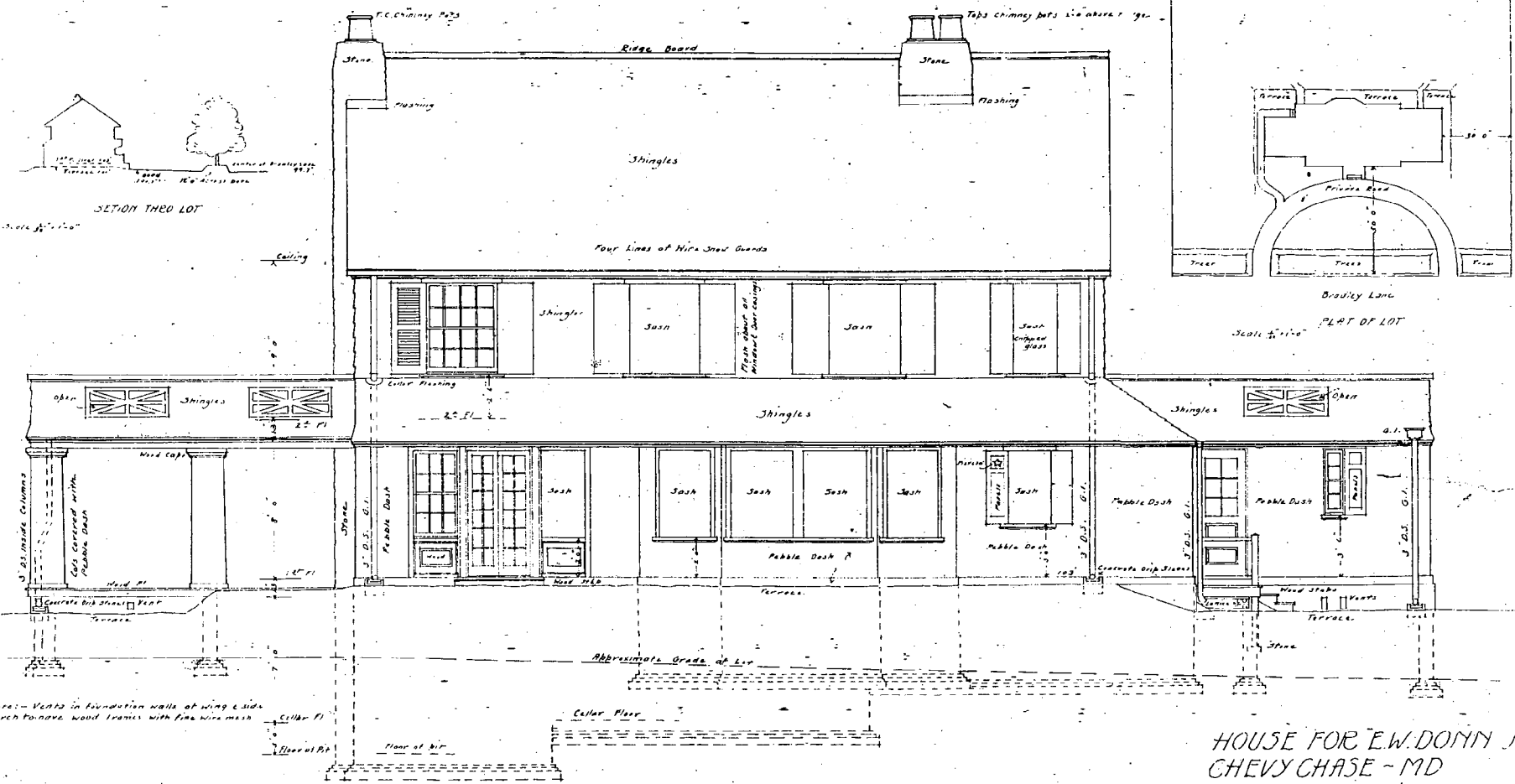
Note: Vents in foundation walls of side wing and porch to be provided with frames with fine wire mesh

Scale 1/4" = 1'-0"

FRONT ELEVATION

HOUSE FOR E.W. DONN JR.  
 CHEVY CHASE - M.D.  
 Wood Donre Deming - Architect.  
 Washington D.C.

25



SECTION THRO LOT

PLAT OF LOT

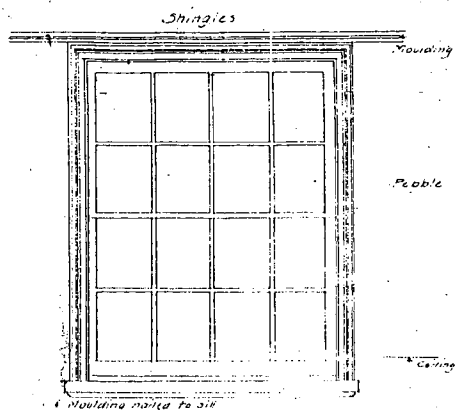
REAR ELEVATION

Scale 1/4" = 1'-0"

HOUSE FOR E.W. DONN JR.  
 CHEVY CHASE - MD  
 Wood Donn & Deming - Architects  
 Washington D.C.

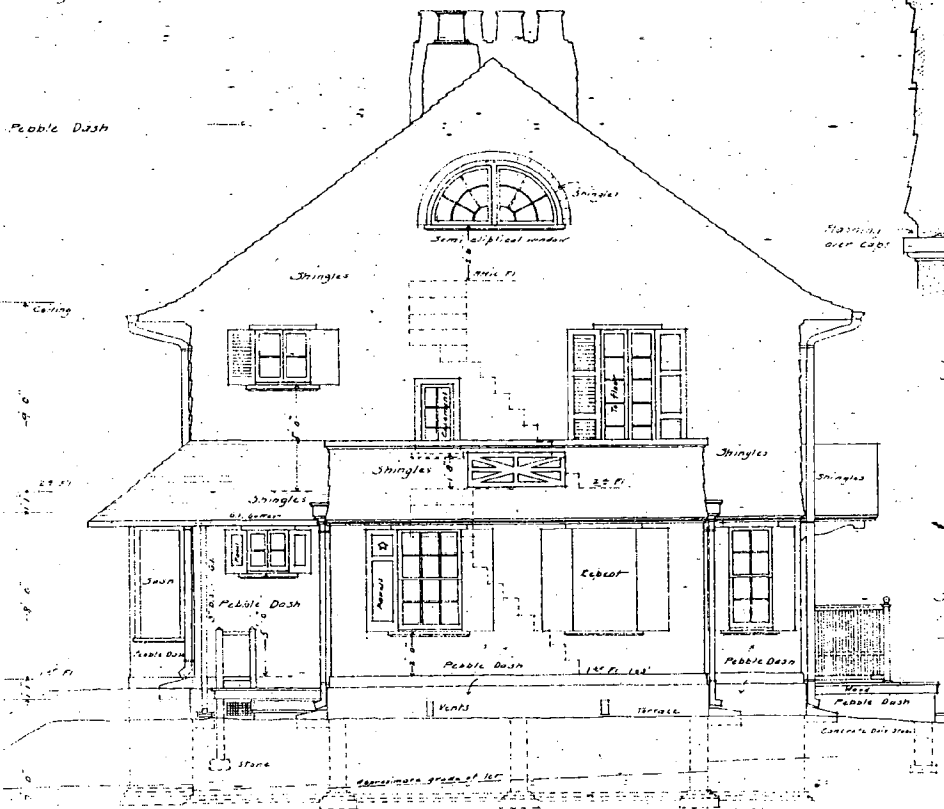
(30)



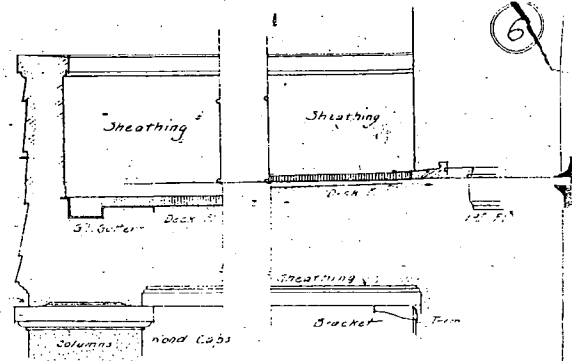


EXTERIOR ELEVATION OF WINDOW SHOWING OUTSIDE CASING - Scale  $\frac{3}{4}$ " = 1'-0"

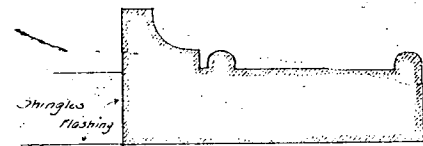
Note: Casings about outside entrance door to be 4" Vents in foundation walls at sills to have wood frames with fine wire mesh



EAST ELEVATION



SECTION THRU ROOF OF SIDE PORCH Scale  $\frac{1}{2}$ " = 1'-0"



F.S. DETAIL OF CASING TO GO ABOUT WINDOWS & DOORS

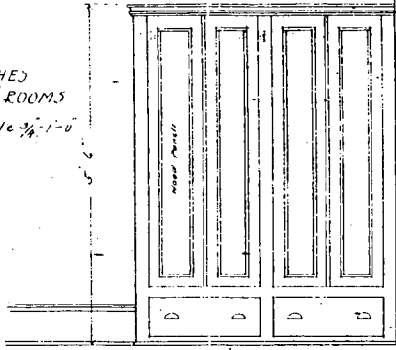
Scale  $\frac{1}{4}$ " = 1'-0"

HOUSE FOR E.W. DONN, JR.  
CHEVY CHASE - MD  
Wood, Donn & Deming - Architects  
Washington D.C.

(37)

DRAWING OF CLOTHES  
CLOSETS IN BED ROOMS

Scale 3/4" = 1'-0"



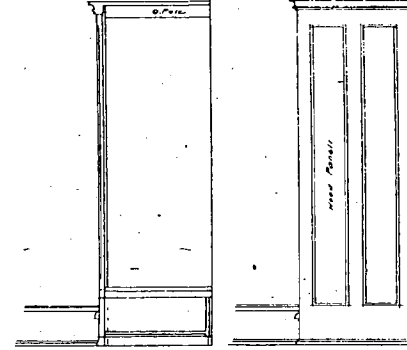
FRONT ELEVATION



PLAN

DRAWING OF CLOTHES  
CLOSETS IN BED ROOMS

Scale 3/4" = 1'-0"



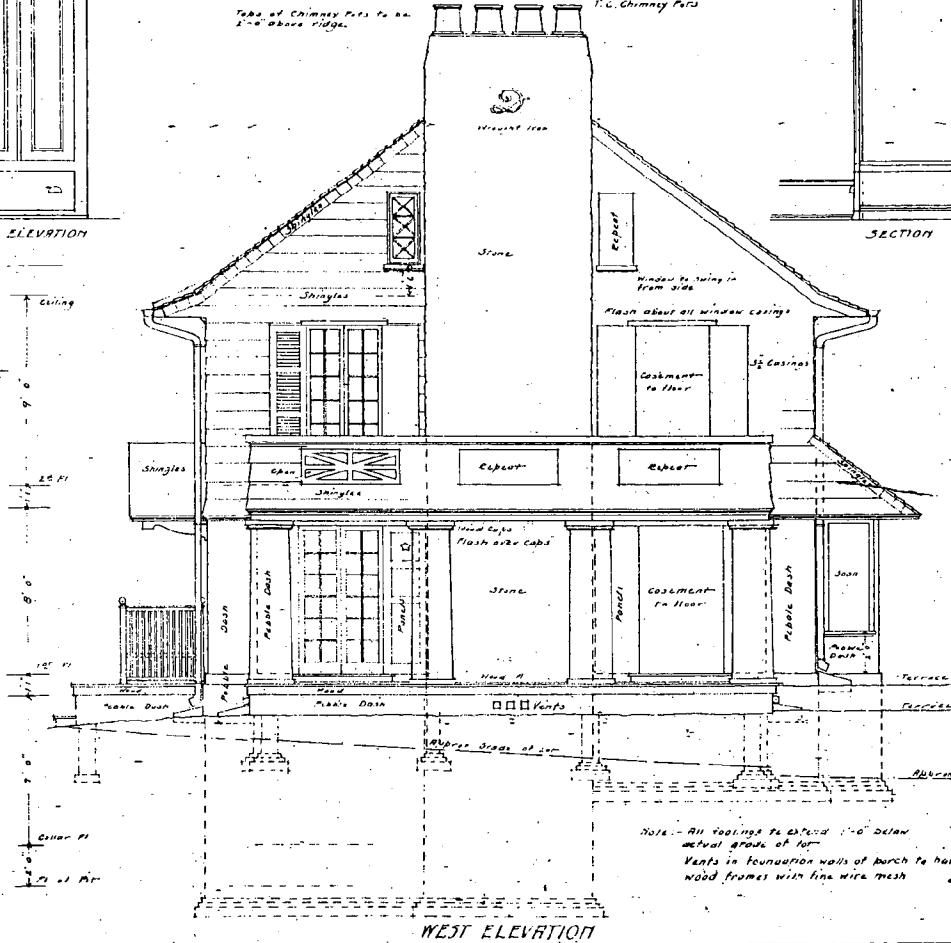
SECTION

SIDE ELEVATION

7

Top of Chimney Pile to be  
2" above ridge.

12" Chimney Pile



WEST ELEVATION

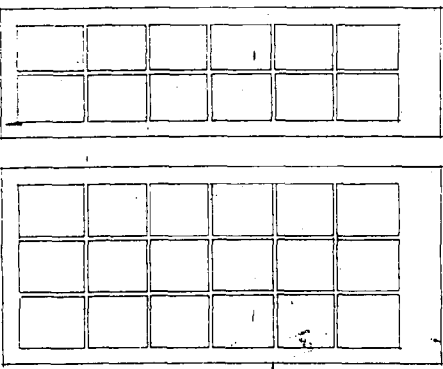
Scale 1/4" = 1'-0"

Note - All footings to extend 1'-0" below  
actual grade of lot.  
Vents in foundation walls of porch to have  
wood frames with fine wire mesh.

HOUSE FOR E.W. DONN JR.  
CHEVY-CHASE ~ MD  
Wood Donn & Deming - Architects  
Washington D.C.

246

8

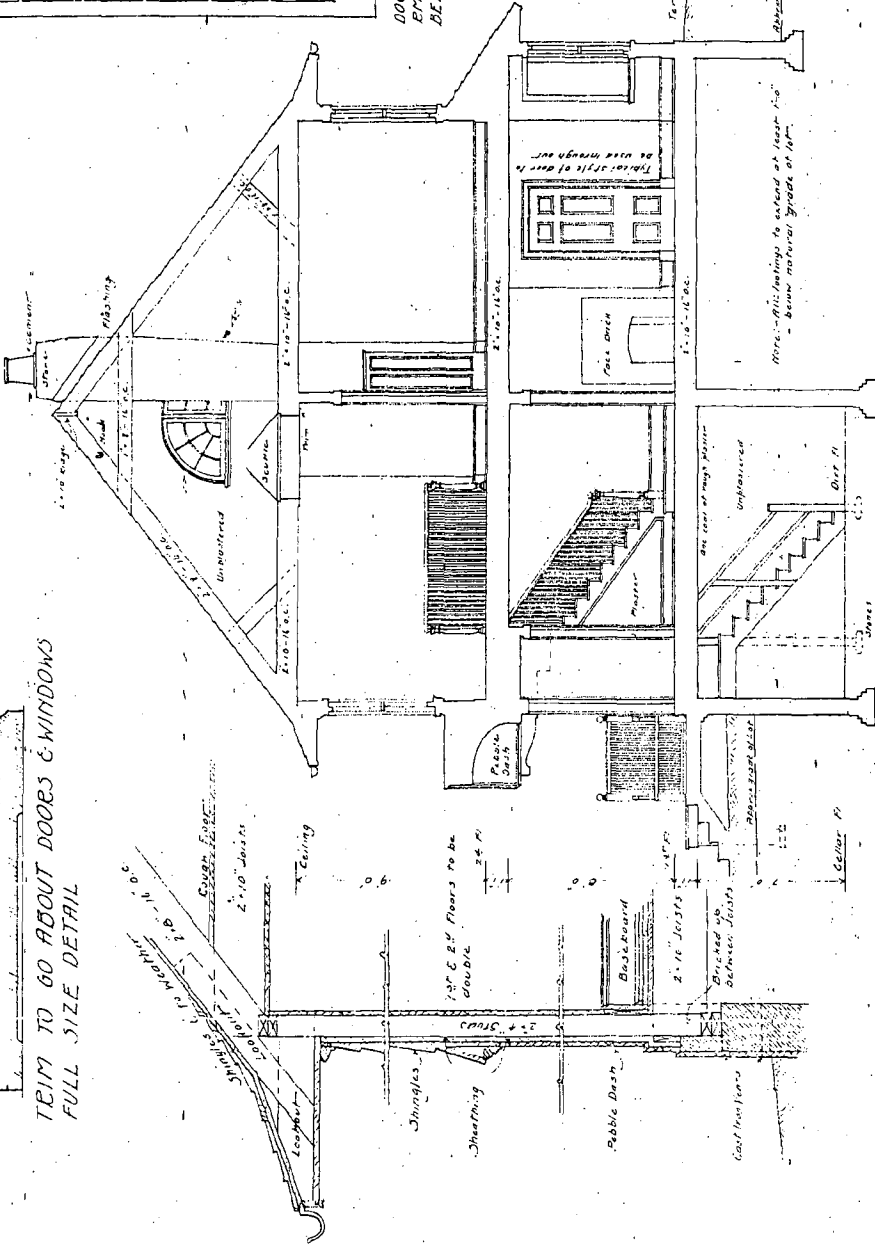


DOORS BETWEEN DINING ROOM & LIVING ROOM HALL & DINING ROOM BETWEEN LIVING ROOM HALL

Scale  $\frac{3}{4}'' = 1'-0''$

Note: - French plate glass mirrors set in between muntins each side of doors where shown - Doors between hall and living room with #1 double thick American sashes.

TEEM TO GO ABOUT DOORS & WINDOWS FULL SIZE DETAIL

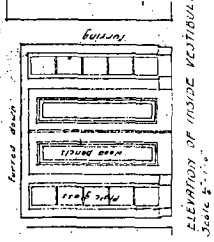


SECTION THRO FRONT WALL

Scale  $\frac{3}{4}'' = 1'-0''$

SECTION

Scale  $\frac{1}{4}'' = 1'-0''$



ALLEYWAY OF INSIDE VESTIBULE DOORS

Scale  $\frac{1}{4}'' = 1'-0''$

HOUSE FOR E. W. DONN JR  
CHEVY CHASE - MD  
Wood Donn & Demery - Architects  
Washington D.C.

299

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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PLEASE SEE ATTACHED.

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- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

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**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

# M U S E   A R C H I T E C T S

## *Principals*

STEPHEN MUSE FAIA

WILLIAM KIRWAN AIA

## *Associates*

KUK-JA C. KIM AIA

NANCY S. MCCARREN AIA

R. WARREN SHORT AIA

11/16/05

## Best Residence

### Written Description for Historic Area Work Permit.

This residence on Bradley Lane in Chevy Chase Village was built around 1910 for E.W. Donn, Jr., the architect who designed it. It is a two story stucco and wood shingle colonial revival house in a neighborhood of comparable houses. The original house had a relatively formal symmetrical façade, with a two-story gable roofed center portion flanked by two one-story wings. The west wing was an open porch comprised of generous round columns and a flat roof. The balancing east wing was a servant's wing, which had no compositional formality to it. Hiding the flat roofs on both wings were three –foot-high parapets, shingled and punctuated by open woodwork. While the central portion of the house is original -- except for parts of the interior, which will be restored-- the wings have been significantly altered. Around 1980 the west wing's columns were removed and the porch was walled in to make an enclosed extension off of the living room. The exterior walls are a continuation of the original stucco. The east wing was removed entirely, and in its place a two–story flat roofed addition was built with little to no regard for the historical precedent connected to it.

Our proposal includes undoing the damage done by the poorly executed renovations and returning the house to at least a sympathetic version of its former self. The west wing will have its round columns reinstated, and the function of the space will revert back to its original use as a porch, with the potential for year-round use with glass infill panels between the columns. The current east wing will be removed and replaced by an updated version of what was originally there. At the front, the one-story piece with the parapet and open fretwork will return, while behind it the house's two- story functionality will remain. In this scheme it will have a gabled roof symbiotic with but secondary to the gabled roof on the original two story portion of the house; and, as in the original, the materials used will be stucco and wood shingle, the windows will be a mix of wood casement and double-hung, the gutters and downspouts will be copper, and the trim will be painted wood, with shutters matching stylistically. In this way, we hope to retain the current function of the house's modern liveability, while paying respect to the original architect's intentions for a home of integrity and historical character.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
Stephen Best 3810 Bradley Lane Chevy Chase, Maryland 20815	Muse Architects 5630 Connecticut Ave. Washington, DC 20015 Attn: Stephen Muse
<b>Adjacent and confronting Property Owners mailing addresses</b> From Maryland Department of Assessments and Taxation <a href="http://www.dat.state.md.us">www.dat.state.md.us</a>	
Peter Terpeluk, Jr. PSC 9 Box 9500 APO AE 09123-9998  (3815 Bradley Lane)	Elinor L Horwitz 3807 Bradley Lane Chevy Chase, Maryland 20815
Robert H. Fogarty 3804 Bradley Lane Chevy Chase, Maryland 20815	James R. Worsley, Jr. 11 Quincy Street Chevy Chase, Maryland 20815
Leslie J. Goldman 5 Quincy Street Chevy Chase, Maryland 20815	B. Francis Saul, II 1 Quincy Street Chevy Chase, Maryland 20815

# CHEVY CHASE VILLAGE

5906 Connecticut Avenue  
Chevy Chase, Maryland 20815  
(301) 654-7300

## TREE REMOVAL PERMIT

*Permit Number: 1524*

*Date Issued: November 8, 2005*

*Expires: November 8, 2006*

*Name of Property Owner:* Stephen and Kristen Best  
*Address of Construction:* 3810 Bradley Lane  
Chevy Chase, Maryland 20815

*Contractor:* To be determined.  
*Contact Person:* Muse Architects  
*Phone Number:* (202) 966-6266

---

### WORK TO BE DONE

*Number of Trees to be Removed:* Two (2)  
*Diameter, Species, Location:* 33.0-inch diameter Cedar—rear yard, left of house  
35.0-inch diameter Buckeye—front yard, left of house

---

### SPECIAL CONDITIONS

- Work must be completed by November 8, 2006.
- All debris must be hauled away by Contractor.
- Posting of commercial signs is prohibited.

---

*Permit Fee:* \$50.00

*Appeal Fee:* \$0.00

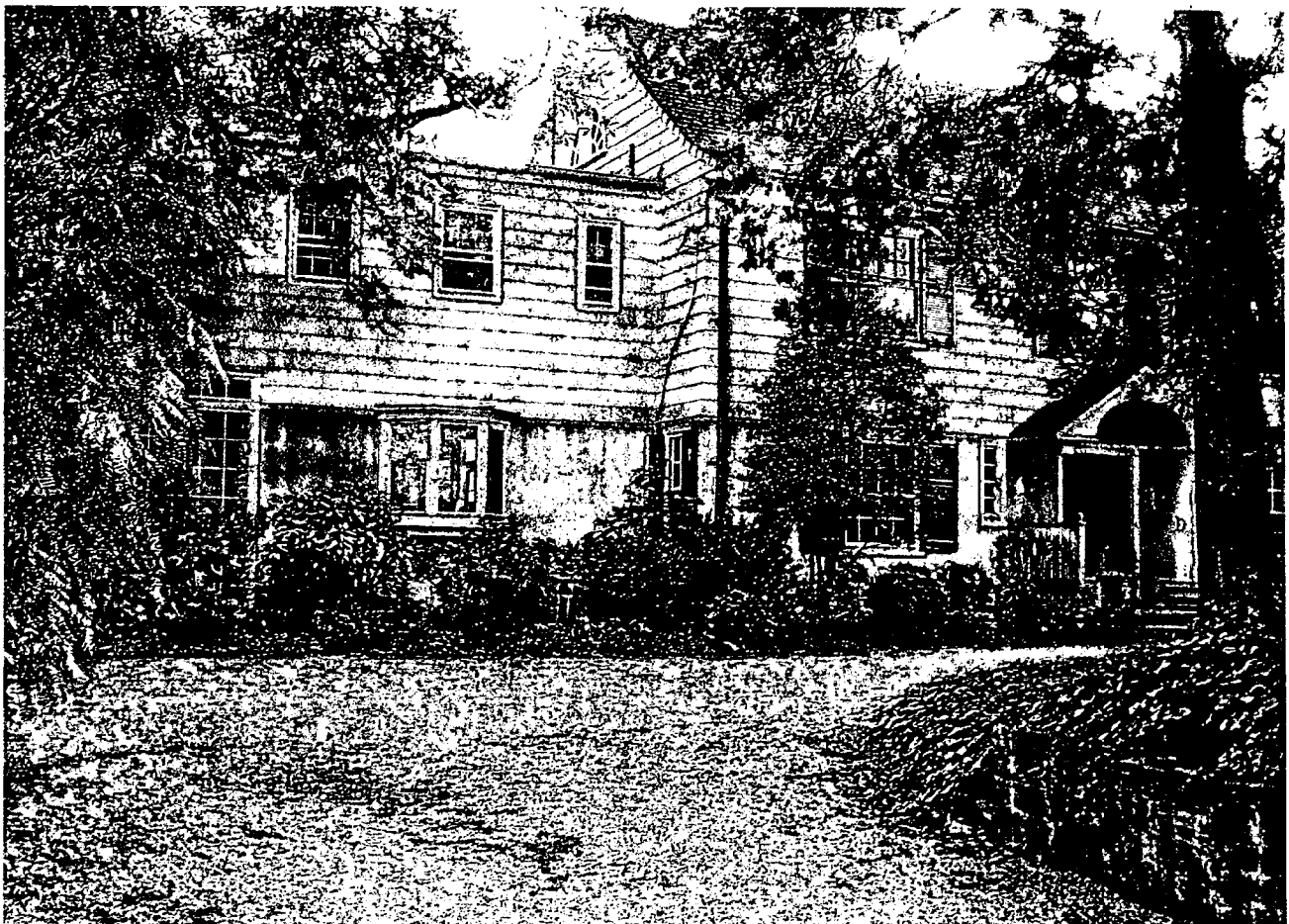
*Fines:* N/A

*Total Fees Due:* \$50.00 (PAID)

**THIS PERMIT MUST BE POSTED**



Front (north) elevation from driveway (east)



Front elevation from driveway (west)





**Front elevation from public right-of-way**



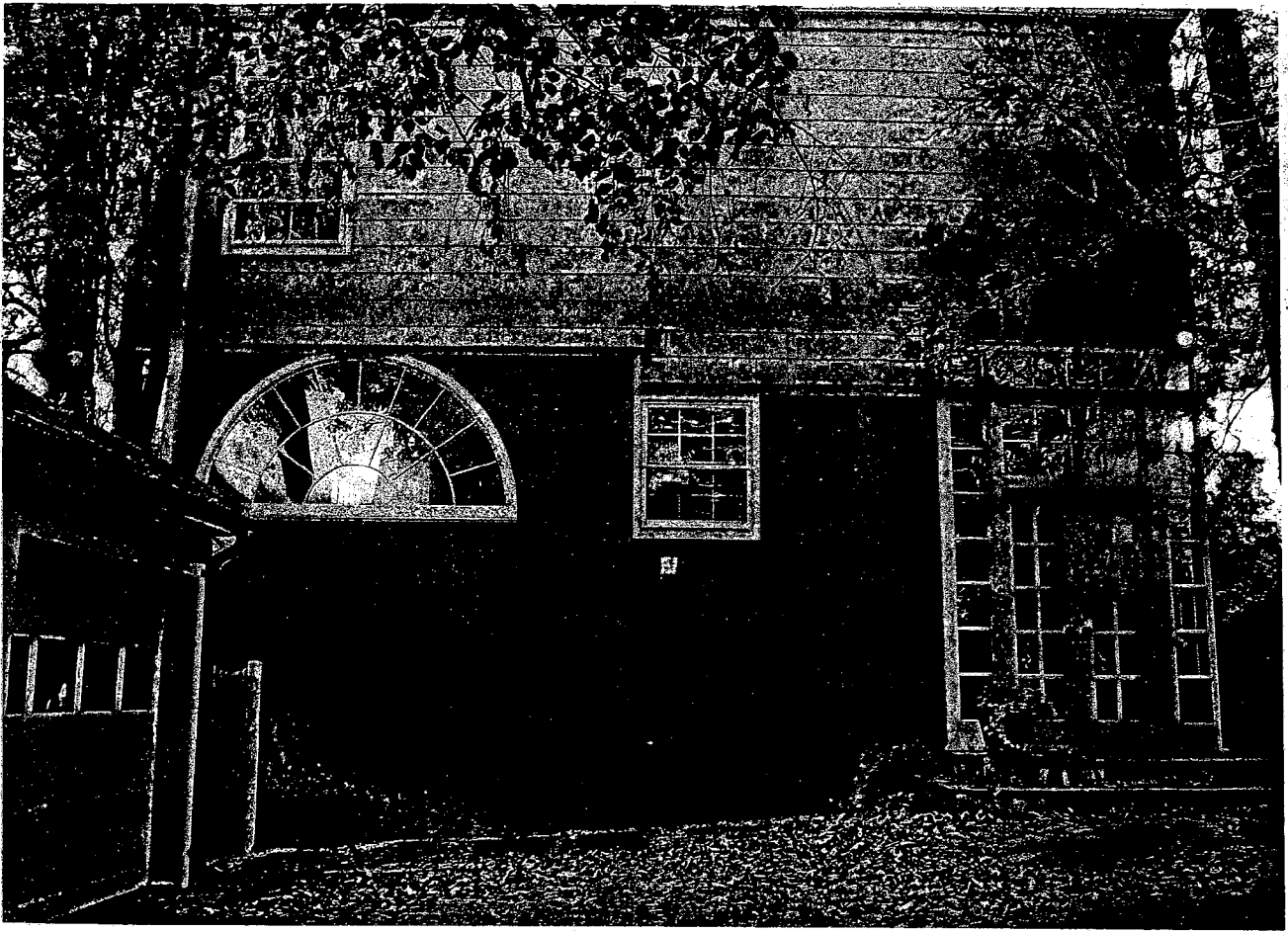
**Detail, north elevation of existing addition**



**Detail, northeast corner of existing addition**



**Detail, northeast corner of existing addition**



**Detail, east elevation of existing addition**



**Detail, southeast corner of existing addition**



Rear (southeast) elevation from yard



Rear (southwest) elevation from yard



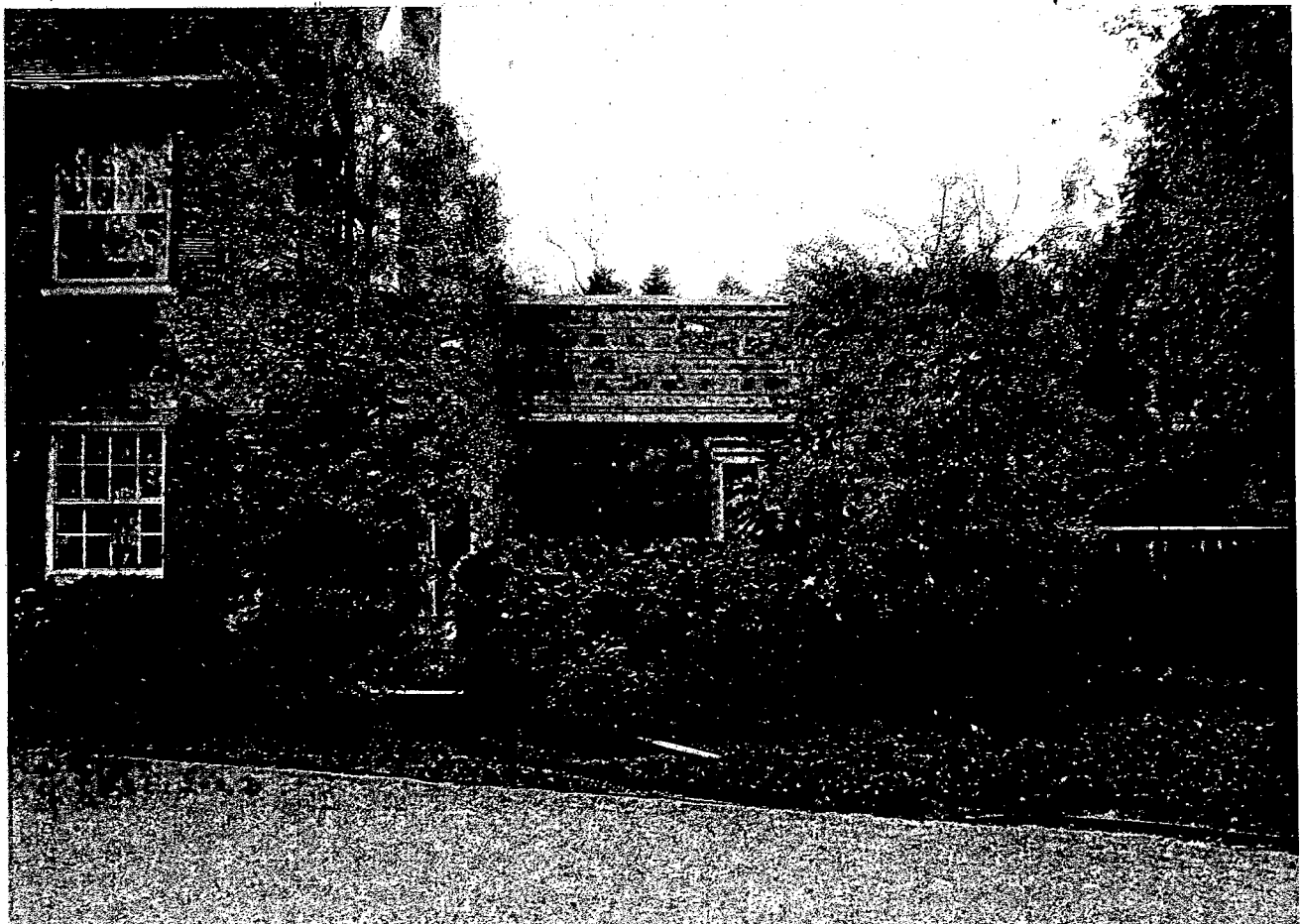
**Detail, southwest corner of one-story portion**



**Detail, south elevation of existing one-story portion**



**Detail, west elevation of one-story portion**



**Detail, northwest corner one-story portion**



3807 Bradley Lane



3815 Bradley Lane



3804 Bradley Lane



1 Quincy Street





5 Quincy Street



11 Quincy Street

**MUSE ARCHITECTS, P.C.**  
 5630 Connecticut Avenue NW  
 WASHINGTON, DC 20015

**LETTER OF TRANSMITTAL**

(202) 966-6266  
 Fax (202) 966-9666

DATE 16 NOV 2005	JOB NO. 05.10
ATTENTION	
RE: HISTORIC AREA WORK PERMIT	
A/P # 404108	

TO DEPT. OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FL.  
ROCKVILLE, MD 20850

WE ARE SENDING YOU  Attached  Under separate cover via \_\_\_\_\_ the following items:

- Shop drawings     Prints     Plans     Samples     Specifications  
 Copy of letter     Change order     AS NOTED BELOW

COPIES	DATE	NO.	DESCRIPTION
1	11/16/05		APPLICATION FOR HISTORIC AREA WORK PERMIT
2	"	13	11X17 SITE PLAN, EXISTING ELEVATIONS, PROPOSED PLANS AND ELEVATIONS
2	"	10	( 1 ORIGINAL + 1 B/W COPY ) PHOTOGRAPHS OF EXISTING HOUSE AND ADJOINING PROPERTIES.
1	"		LIST OF ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS.
1	11/8/05		CHEVY CHASE VILLAGE TREE REMOVAL PERMIT (#1524)

THESE ARE TRANSMITTED as checked below:

- For approval     Approved as submitted     Resubmit \_\_\_\_\_ copies for approval  
 For your use     Approved as noted     Submit \_\_\_\_\_ copies for distribution  
 As requested     Returned for corrections     Return \_\_\_\_\_ corrected prints  
 For review and comment     AS REQ'D. FOR 12/7/05 HPC HEARING.  
 FOR BIDS DUE \_\_\_\_\_     PRINTS RETURNED AFTER LOAN TO US

REMARKS \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

COPY TO \_\_\_\_\_

SIGNED: Wm. Snammer

If enclosures are not as noted, kindly notify us at once.

**MUSE ARCHITECTS, P.C.**

5630 Connecticut Avenue NW  
WASHINGTON, DC 20015

**LETTER OF TRANSMITTAL**

(202) 966-6266  
Fax (202) 966-9666

DATE	22 NOV 2005	JOB NO.	05.10
ATTENTION	TANIA TULLY		
RE:	BEST RESIDENCE		
	3810 BRADLEY LANE		
	<del>3810 BRADLEY LANE</del>		
	1030766 Conf #		
	COURIER 11/23/05		

TO MONTGOMERY COUNTY PARK & PLANNING  
HISTORIC PRESERVATION OFFICE  
1109 SPRING STREET, SUITE 801  
SILVER SPRING, MD 20910

WE ARE SENDING YOU  Attached  Under separate cover via \_\_\_\_\_ the following items:

- Shop drawings  Prints  Plans  Samples  Specifications  
 Copy of letter  Change order  \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
1	1910 ?	8	"HOUSE FOR E.W. DONN, JR. CHEVY CHASE, MD"
			HOUSE DRAWINGS -- PLANS, SECTIONS, ELEVATIONS

THESE ARE TRANSMITTED as checked below:

- For approval  Approved as submitted  Resubmit \_\_\_\_\_ copies for approval  
 For your use  Approved as noted  Submit \_\_\_\_\_ copies for distribution  
 As requested  Returned for corrections  Return \_\_\_\_\_ corrected prints  
 For review and comment  \_\_\_\_\_  
 FOR BIDS DUE \_\_\_\_\_  PRINTS RETURNED AFTER LOAN TO US \_\_\_\_\_

REMARKS

TANIA --

TO HELP IN YOUR ASSESSMENT OF OUR PROPOSED DESIGN...

IF YOU NEED ANYTHING ELSE OR HAVE ANY QUESTIONS OR  
COMMENTS PLEASE LET US KNOW. 11-28-05

HAPPY THANKSGIVING.

-- MARC LANGHAMMER.

TANIA -- I JUST LEARNED  
THAT THESE DRAWINGS WERE  
DELIVERED TO THE BEST RESIDENCE  
FOR SOME REASON. I AM  
SORRY FOR THE DELAY.

-- MARC

COPY TO \_\_\_\_\_

SIGNED: Marc Hammer

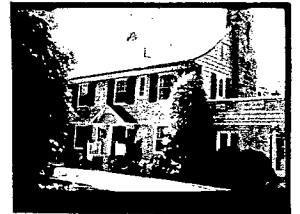
M U S E A R C H I T E C T S

Stephen Muse, FAIA  
*Principal*

Suite 300  
5630 Connecticut Avenue NW  
Washington DC 20015

202.966.6266  
Fax: 202.966.9666  
[smuse@musearchitects.com](mailto:smuse@musearchitects.com)

Nov 16<sup>th</sup> - Prelim



3810

CHEVY CHASE SURVEY FORM, 1995

SURVEY AREA # 4

ADDRESS 3810 BRADLEY F. RICE HOUSE SOUTH SIDE  
BRADLEY

Contact Sheet # 15-0

ARCHITECTURAL STYLE

CATEGORY: 1  2  NC  OOP

- 1. Gothic Revival
- 2. Renaissance Revival
- 3. Tudor Revival
- 4. Classical Revival
- 5. Mission
- 6. Dutch Colonial
- 7. Colonial Revival
- 8. Four Square
- 9. Craftsman
- 10. Bungalow
- 11. Art Deco
- 12. Other

NUMBER OF STORIES

1  1.5  2  2.5  3 or more

(indicate #)

NUMBER OF BAYS

1  2  3  4  5  6 or more

(indicate #)

PRINCIPAL WALL MATERIALS - 1st story

- 1. Wood - clapboard
- 2. Wood - shingle
- 3. Brick
- 4. Stone
- 5. Concrete
- 6. Aluminum/Vinyl
- 7. Stucco
- 8. Other

2nd story

- 1. Wood - clapboard
- 2. Wood - shingle
- 3. Brick
- 4. Stone
- 5. Concrete
- 6. Aluminum/Vinyl
- 7. Stucco
- 8. Other

PRINCIPAL WINDOW TYPE - 1st Story

a. 1/1 b. 8/8 c. 6/1 d. 6/6 e. 9/1 f. Casement g. Other

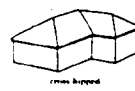
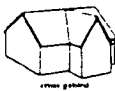
2nd Story

a. 1/1 b. 8/8 c. 6/1 d. 6/6 e. 9/1 f. Casement g. Other

ROOF SHAPE

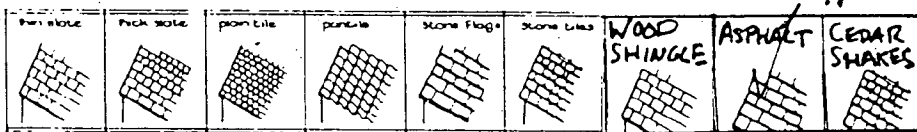
Gabled:

Hipped:



other

ROOF MATERIALS



DATE/ERA OF CONSTRUCTION

pre-1916  1916-27  1927-45  post-45  unknown

notes on back

2 story front roof extension on east side  
1916 map pebble dash 1st story  
1 story porch on west  
1 story wing on east

Edge front garage - 2 bay + 1 door

1980s redo

Probably built 1910-11 House Exhibited by Donn at WAC in 1911.

A: WOOD DOWN + DEMING Architect E W Donn

1555

1916 House on Sanborn map

1919 Mrs Edw W Donn (Laura I. Gardner)

Mrs Edw W Donn USA. AEF

Capt + Mrs Alden Sweet (Minora Donn)

10 E Bradley Ln

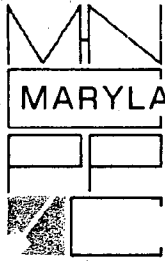
Cherry Chase Md

(1919 Social Summer Register)

1927

Edward Donn archit 10 E Bradley Lane (Folk Dir)

SOURCE :- CCHS. Comes w/ Dorothy Johnson  
- 1912 Directory



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

TRANSMITTAL SHEET

Historic Preservation Office  
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301) 563-3412

TO: Stephen Muse

FROM: Tania Tully

202 966 9666

DATE: 8/10/05

NOTE: Re: 3810 Bradley

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

return to perch & then  
enclose





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

Tania

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: STEPHEN MUSE

Daytime Phone No.: 202-966-6266

Tax Account No.: 00455623

Name of Property Owner: STEPHEN BEST Daytime Phone No.: 202-986-8235

Address: 3810 BRADLEY LANE CHEVY CHASE, MD 20815  
Street Number City Street Zip Code

Contractor: TO BE DETERMINED Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: MUSE ARCHITECTS Daytime Phone No.: 202-966-6266

**LOCATION OF BUILDING/PREMISE**

House Number: 3810 Street: BRADLEY LANE

Town/City: VILLAGE OF CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE.

Lot: P12 Block: 61 Subdivision: 9

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- |   |  |  |  |   |   |   |                               |                               |
|---|--|--|--|---|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend            | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C                  | <input checked="" type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install           | <input type="checkbox"/> Wreck/Raze                | <input type="checkbox"/> Solar                           | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input checked="" type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision             | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |   |   | <input type="checkbox"/> Other: _____             |                               |                               |

1B. Construction cost estimate: \$ T.B.D.

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Tom Swanner  
Signature of owner or authorized agent  
FOR STEPHEN MUSE, PAIA

16 NOV 2005  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 404108 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

# MUSE ARCHITECTS

## *Principals*

STEPHEN MUSE FAIA

WILLIAM KIRWAN AIA

## *Associates*

KUK-JA C. KIM AIA

NANCY S. MCCARREN AIA

R. WARREN SHORT AIA

11/16/05

*Outstanding*

## **Best Residence**

### **Written Description for Historic Area Work Permit.**

This residence on Bradley Lane in Chevy Chase Village was built around 1910 for E.W. Donn, Jr., the architect who designed it. It is a two story stucco and wood shingle colonial revival house in a neighborhood of comparable houses. The original house had a relatively formal symmetrical façade, with a two-story gable roofed center portion flanked by two one-story wings. The west wing was an open porch comprised of generous round columns and a flat roof. The balancing east wing was a servant's wing, which had no compositional formality to it. Hiding the flat roofs on both wings were three-foot-high parapets, shingled and punctuated by open woodwork. While the central portion of the house is original -- except for parts of the interior, which will be restored-- the wings have been significantly altered. Around 1980 the west wing's columns were removed and the porch was walled in to make an enclosed extension off of the living room. The exterior walls are a continuation of the original stucco. The east wing was removed entirely, and in its place a two-story flat roofed addition was built with little to no regard for the historical precedent connected to it.

Our proposal includes undoing the damage done by the poorly executed renovations and returning the house to at least a sympathetic version of its former self. The west wing will have its round columns reinstated, and the function of the space will revert back to its original use as a porch, with the potential for year-round use with glass infill panels between the columns. The current east wing will be removed and replaced by an updated version of what was originally there. At the front, the one-story piece with the parapet and open fretwork will return, while behind it the house's two-story functionality will remain. In this scheme it will have a gabled roof symbiotic with but secondary to the gabled roof on the original two story portion of the house; and, as in the original, the materials used will be stucco and wood shingle, the windows will be a mix of wood casement and double-hung, the gutters and downspouts will be copper, and the trim will be painted wood, with shutters matching stylistically. In this way, we hope to retain the current function of the house's modern liveability, while paying respect to the original architect's intentions for a home of integrity and historical character.

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<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
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<b>Adjacent and confronting Property Owners mailing addresses</b> From Maryland Department of Assessments and Taxation <a href="http://www.dat.state.md.us">www.dat.state.md.us</a>	
Peter Terpeluk, Jr. PSC 9 Box 9500 APO AE 09123-9998  (3815 Bradley Lane)	Elinor L Horwitz 3807 Bradley Lane Chevy Chase, Maryland 20815
Robert H. Fogarty 3804 Bradley Lane Chevy Chase, Maryland 20815	James R. Worsley, Jr. 11 Quincy Street Chevy Chase, Maryland 20815
Leslie J. Goldman 5 Quincy Street Chevy Chase, Maryland 20815	B. Francis Saul, II 1 Quincy Street Chevy Chase, Maryland 20815

# CHEVY CHASE VILLAGE

5906 Connecticut Avenue  
Chevy Chase, Maryland 20815  
(301) 654-7300

## TREE REMOVAL PERMIT

---

*Permit Number: 1524*

*Date Issued: November 8, 2005*

*Expires: November 8, 2006*

*Name of Property Owner:*

Stephen and Kristen Best

*Address of Construction:*

3810 Bradley Lane  
Chevy Chase, Maryland 20815

*Contractor:*

*To be determined.*

*Contact Person:*

Muse Architects

*Phone Number:*

(202) 966-6266

---

## WORK TO BE DONE

*Number of Trees to be Removed:*

Two (2)

*Diameter, Species, Location:*

33.0-inch diameter Cedar—rear yard, left of house

35.0-inch diameter Buckeye—front yard, left of house

---

## SPECIAL CONDITIONS

- Work must be completed by November 8, 2006.
  - All debris must be hauled away by Contractor.
  - Posting of commercial signs is prohibited.
- 

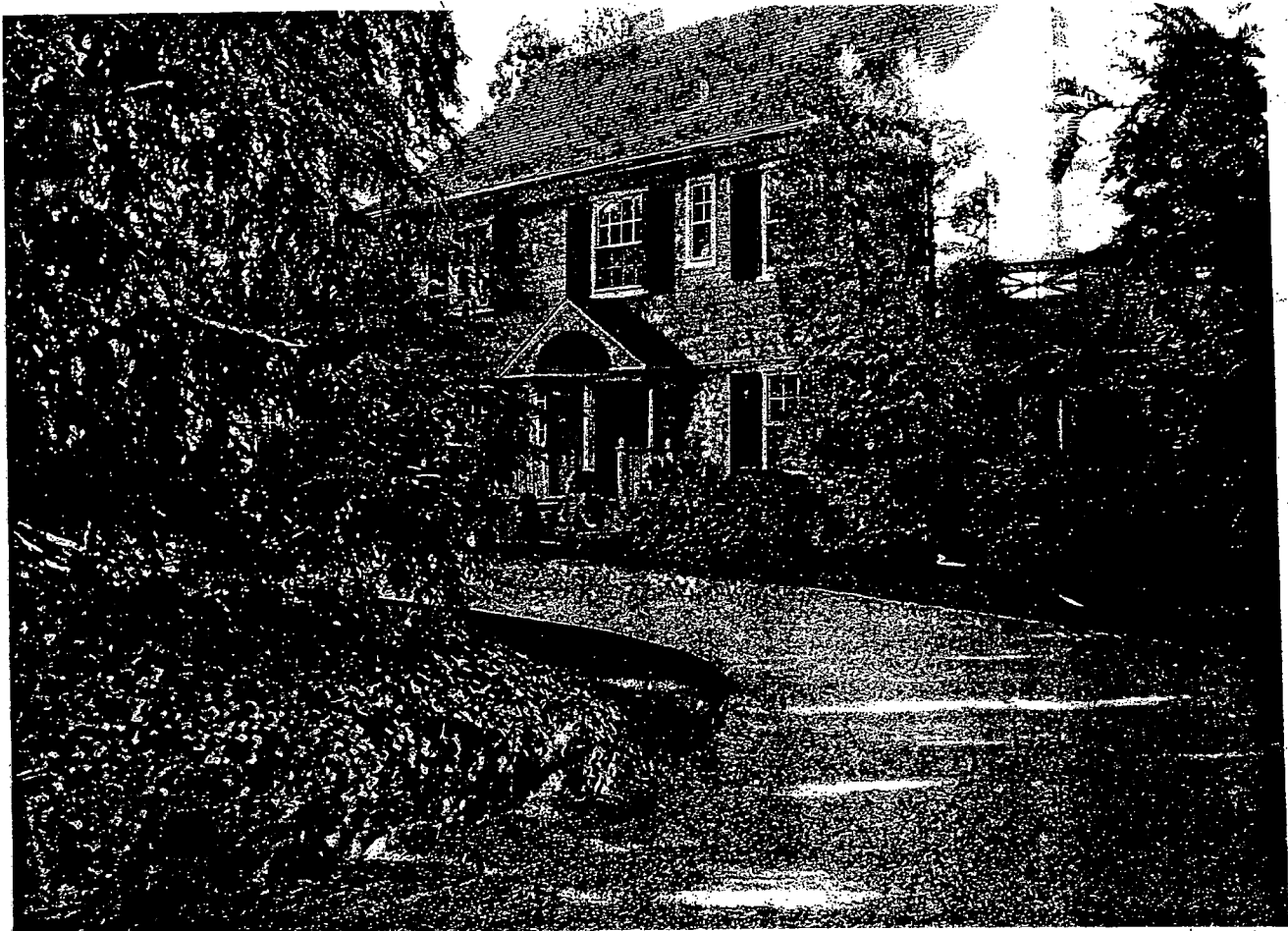
*Permit Fee: \$50.00*

*Appeal Fee: \$0.00*

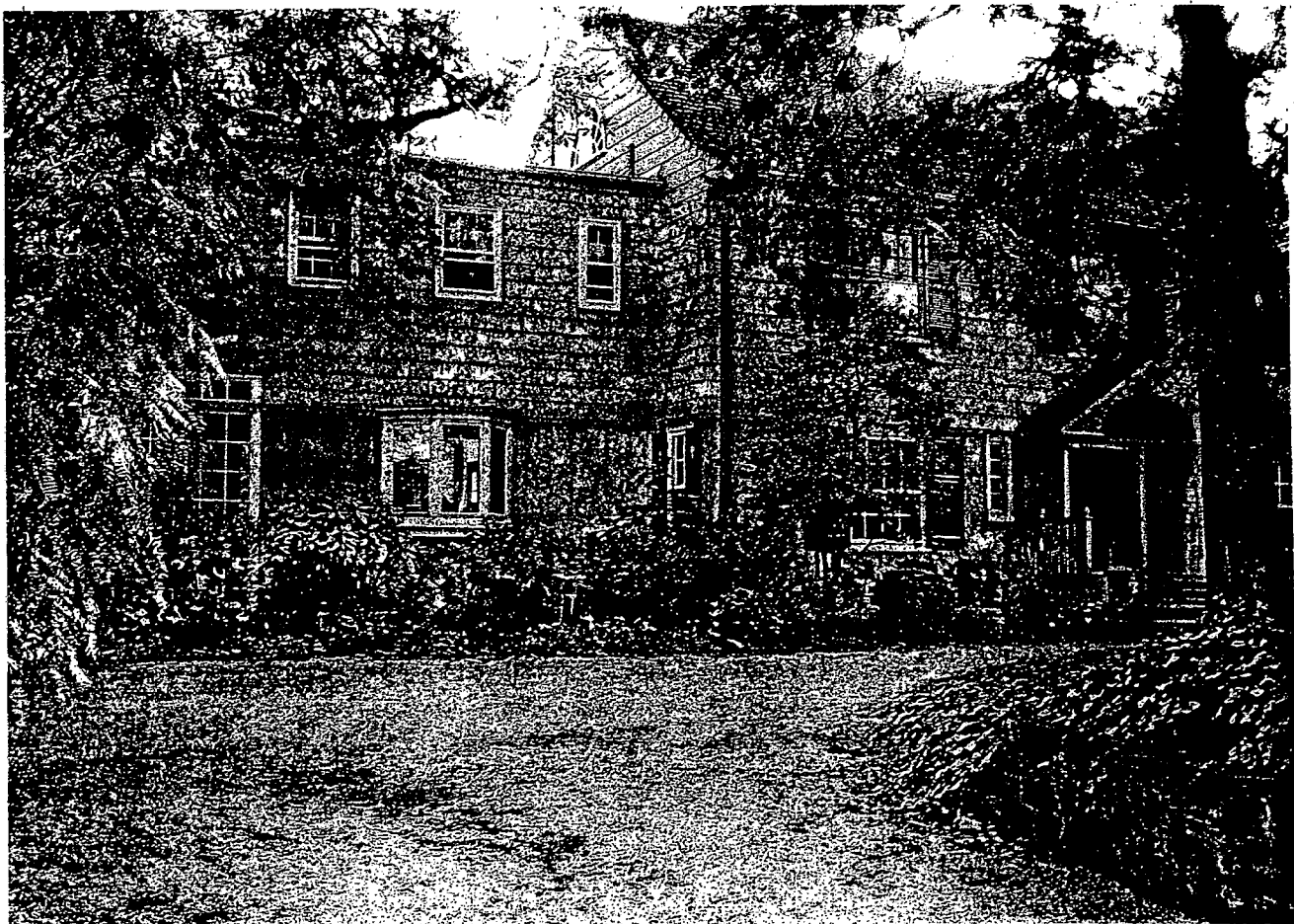
*Fines: N/A*

*Total Fees Due: \$50.00 (PAID)*

**THIS PERMIT MUST BE POSTED**



**Front (north) elevation from driveway (east)**



**Front elevation from driveway (west)**



**Front elevation from public right-of-way**



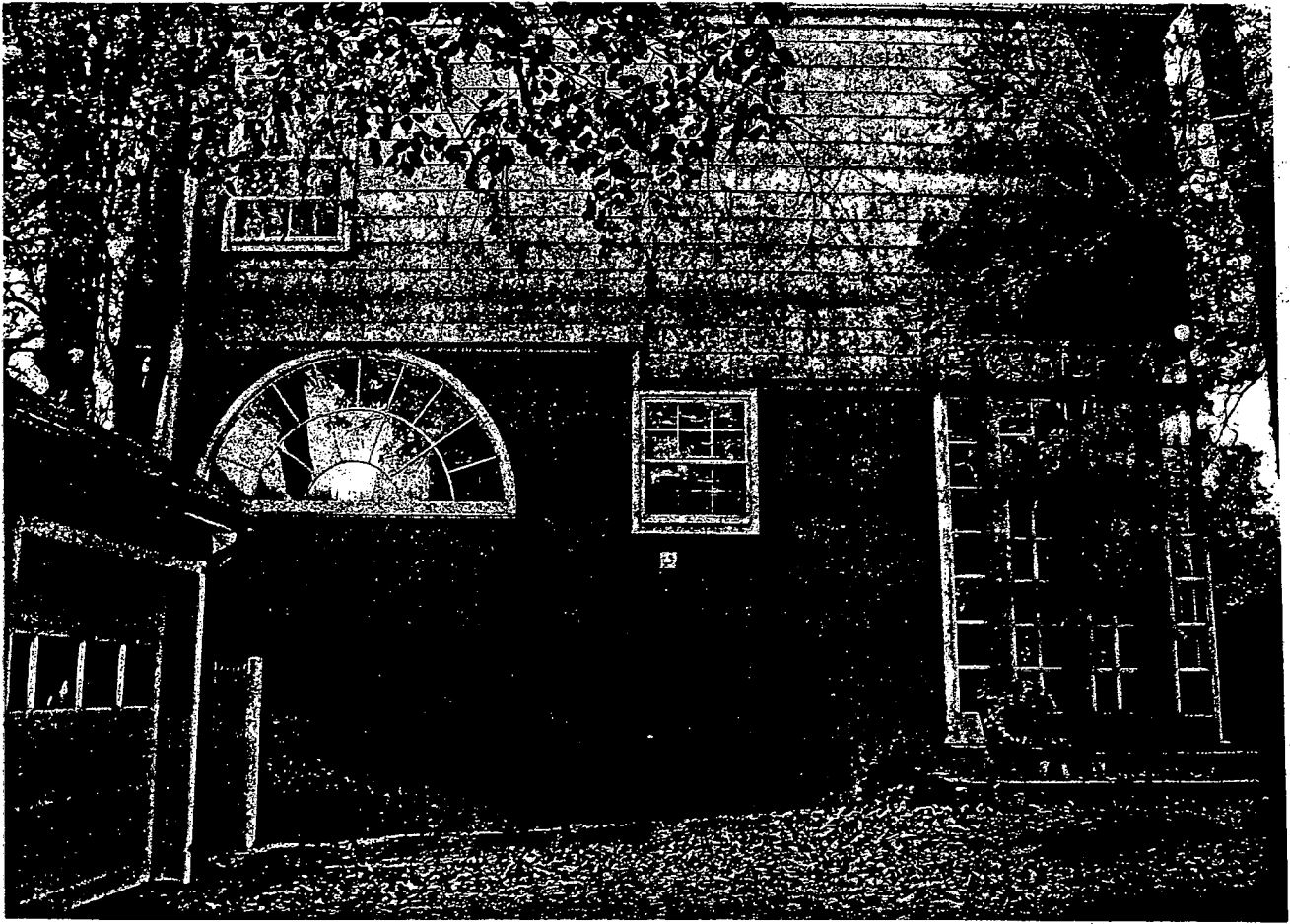
**Detail, north elevation of existing addition**



**Detail, northeast corner of existing addition**



**Detail, northeast corner of existing addition**



**Detail, east elevation of existing addition**



**Detail, southeast corner of existing addition**





**Rear (southeast) elevation from yard**



**Rear (southwest) elevation from yard**



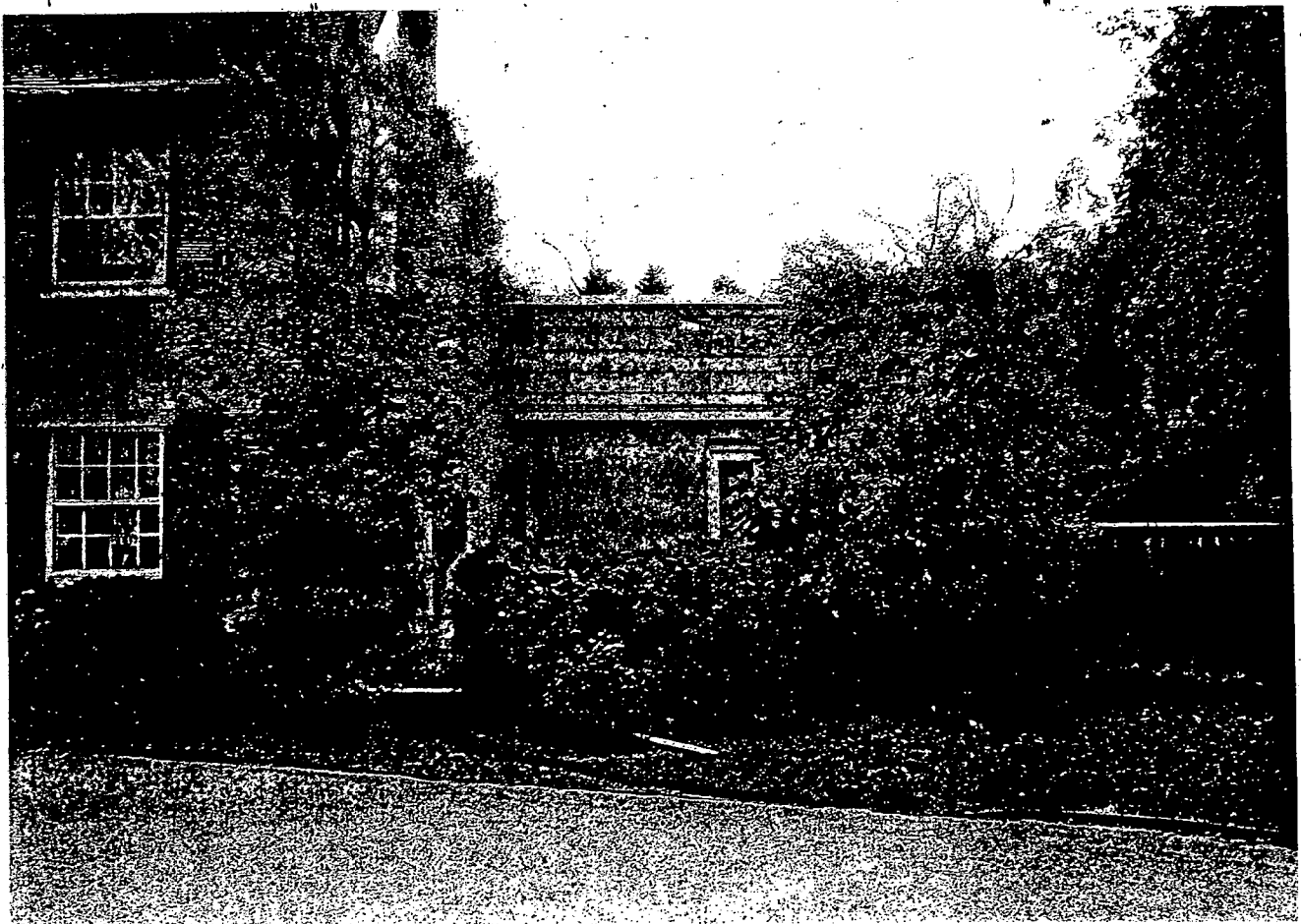
**Detail, southwest corner of one-story portion**



**Detail, south elevation of existing one-story portion**



**Detail, west elevation of one-story portion**



**Detail, northwest corner one-story portion**



3807 Bradley Lane



3815 Bradley Lane



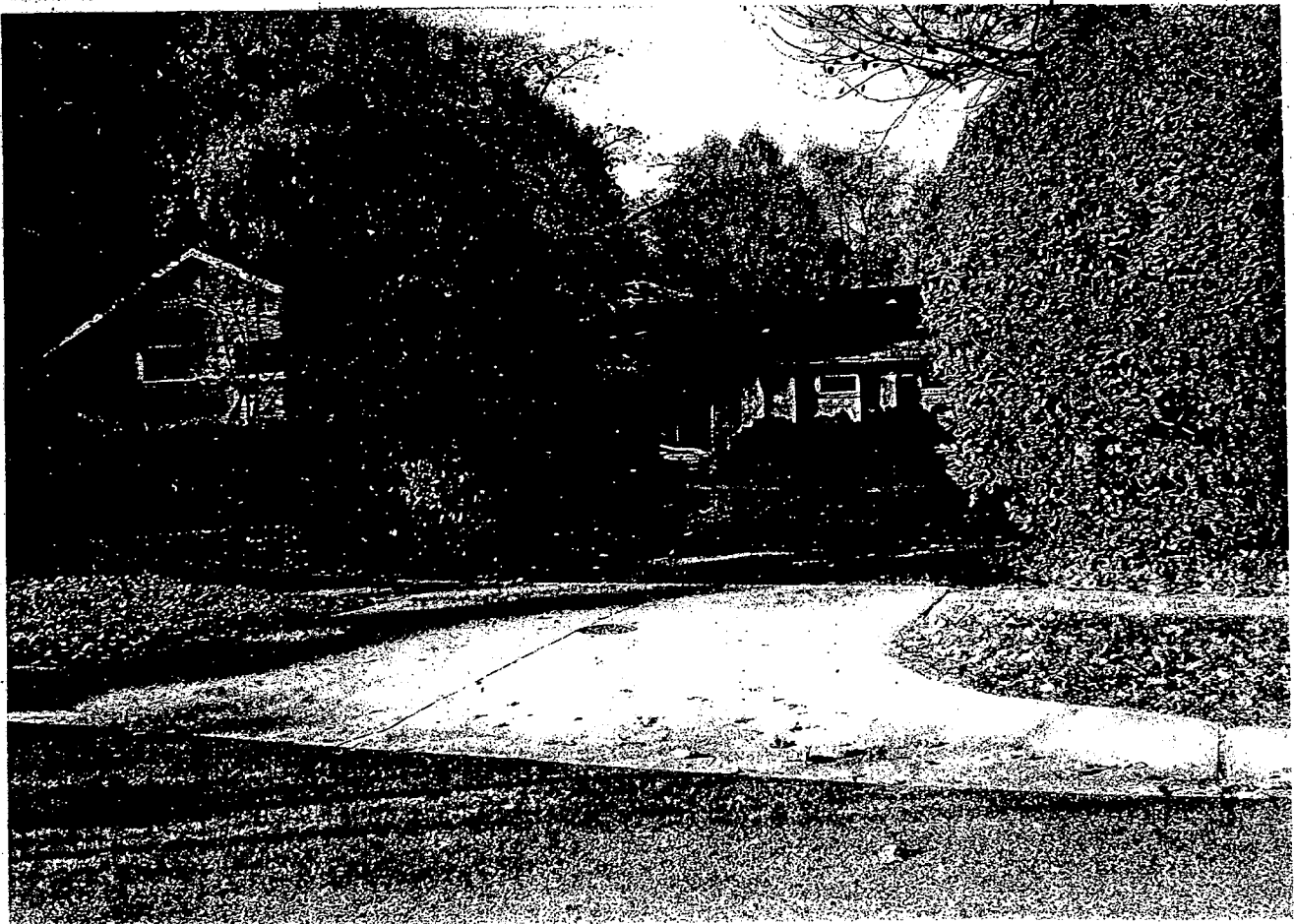
3804 Bradley Lane



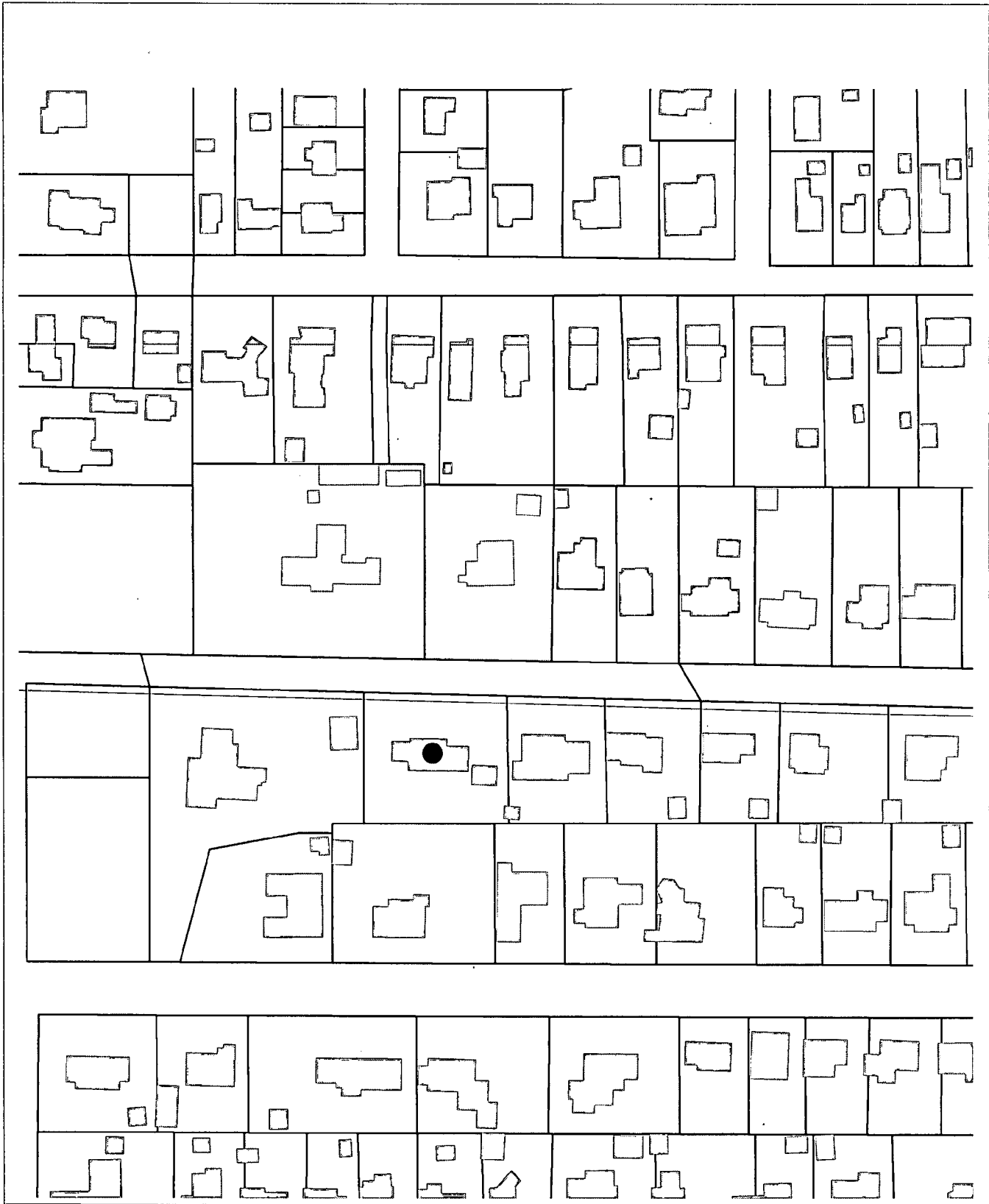
1 Quincy Street



5 Quincy Street



11 Quincy Street



Notice:  
 The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without permission from M-NCPPC. Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods. This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All maps features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended.  
 Copyright ©1998

Casual User Application



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

---

---

---

---

PLEASE SEE ATTACHED.

---

---

---

---

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

---

---

---

---

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

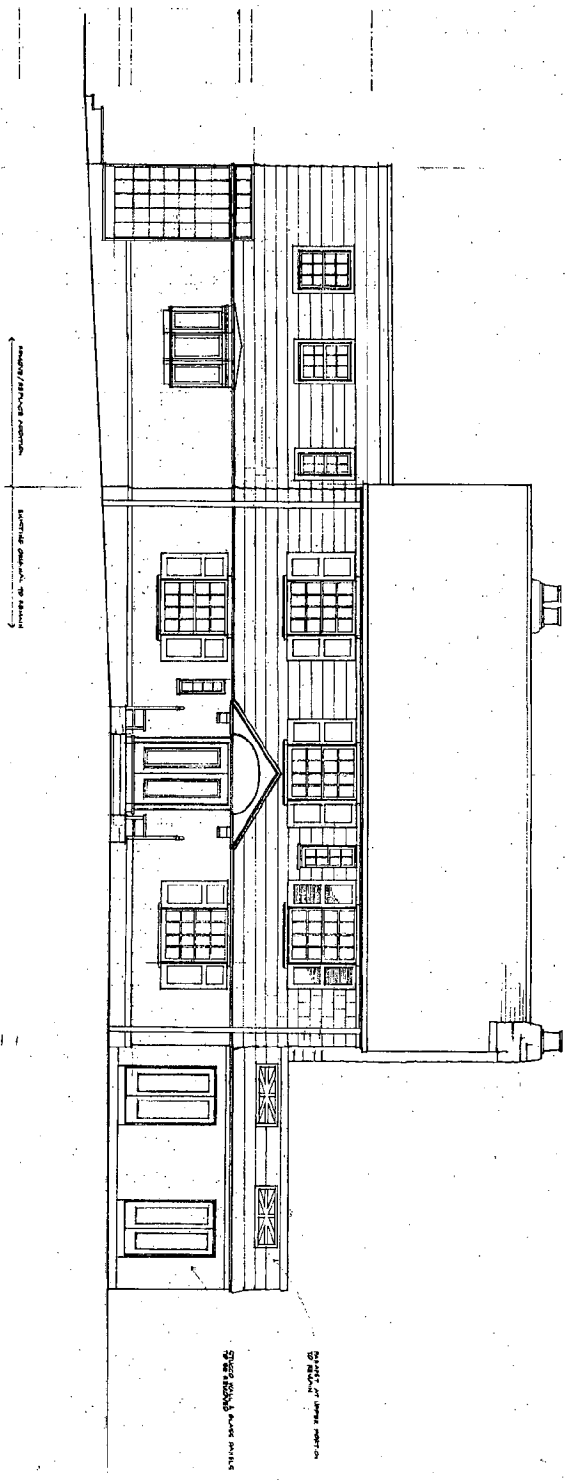
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monrae Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLDWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.





EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



EX200

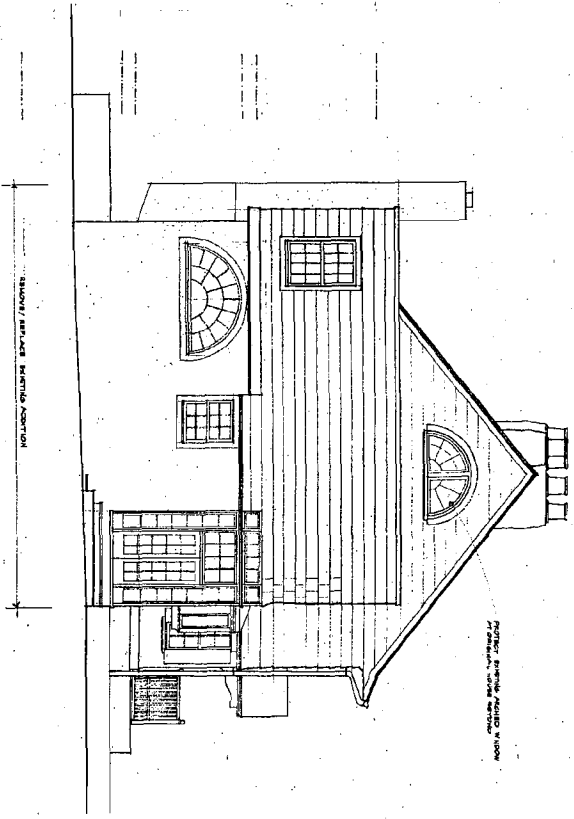
EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

05.10  
4  
DATE: 05/05/2005

ADDITION TO AND RENOVATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW  
Phone: 202.966.6266  
Washington DC 20015  
Facsimile: 202.966.9666

EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



EX201

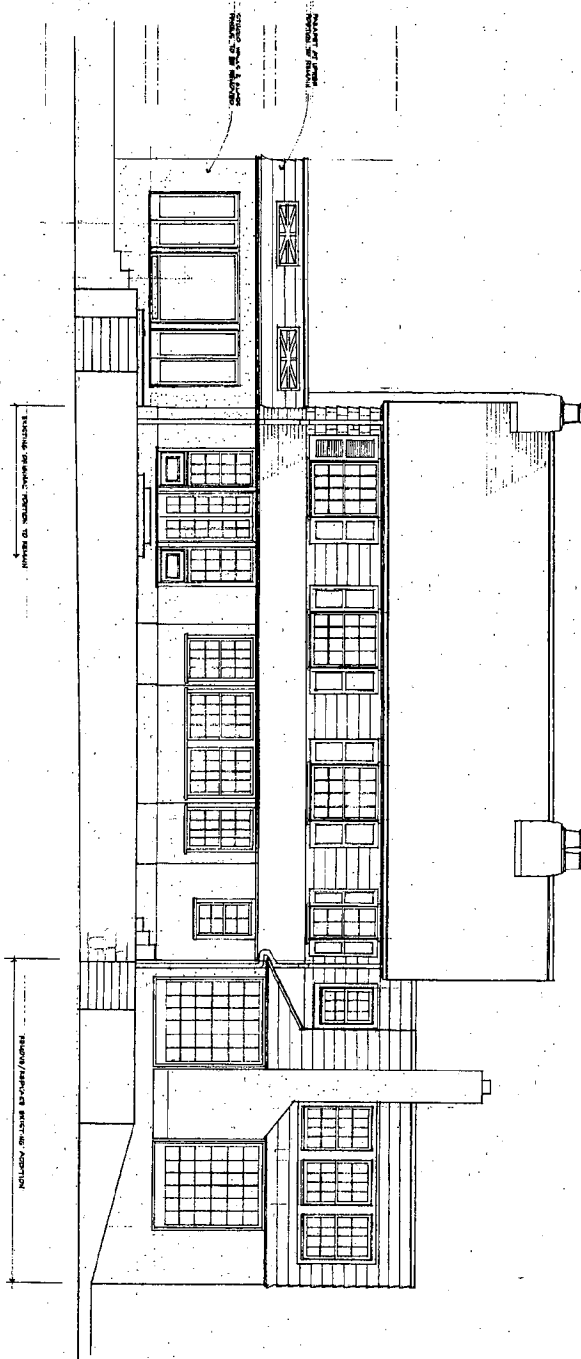
EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

DATE: 05.10  
BY: J. BROWN

ADDITION TO AND RENOVATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE  
CHEVY CHASE, MARYLAND 20815

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW  
Phone: 202.966.6266  
Washington DC 20015  
Facsimile: 202.966.9666

EXISTING SOUTH ELEVATION  
SCALE 1/4" = 1'-0"



EX202

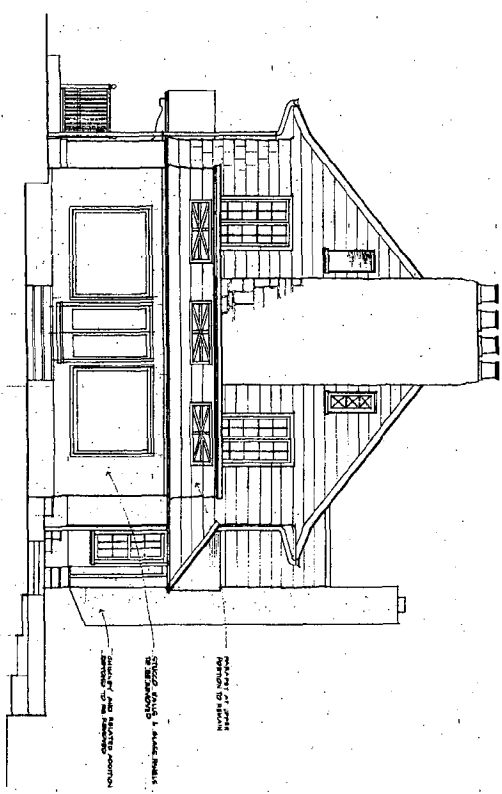
EXISTING SOUTH ELEVATION  
SCALE 1/4" = 1'-0"

02.10  
\* ARCHITECT'S COPY \*

ADDITION TO AND RENOVATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW Washington DC 20015  
Phone: 202.966.6266 Facsimile: 202.966.9666

EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



EX203

EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

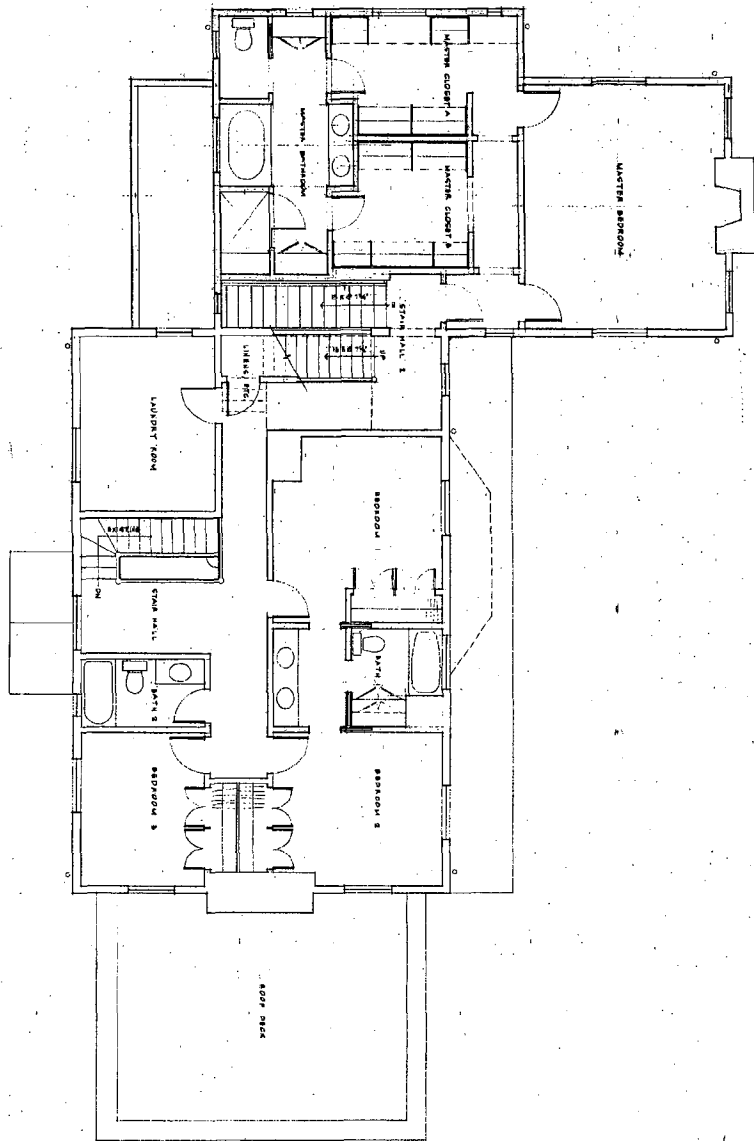
05.10  
MUSE ARCHITECTS

ADDITION TO AND RENOVATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW Washington DC 20015  
Phone 202.966.6266 Facsimile 202.966.9666







A102

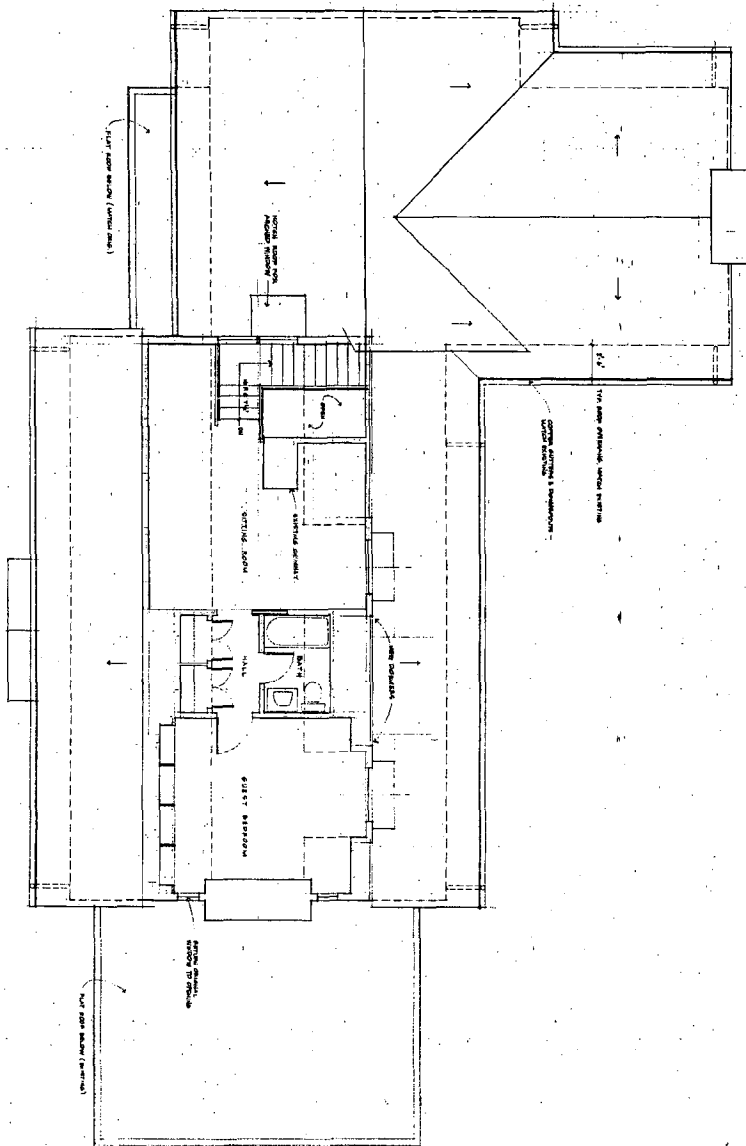
SECOND FLOOR PLAN 1/4" = 1'-0"

03.10  
S. ARCHITECTS, INC.

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

**MUSE ARCHITECTS**  
 5630 Connecticut Avenue NW Washington DC 20015  
 Phone 202.966.6266 Facsimile 202.966.9666





A103

ATTIC PLAN

1/4"=1'-0"

DATE: 10/10/03  
 15 NOVEMBER 2003

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

**MUSE ARCHITECTS**

5630 Connecticut Avenue NW  
 Phone: 202.966.6266

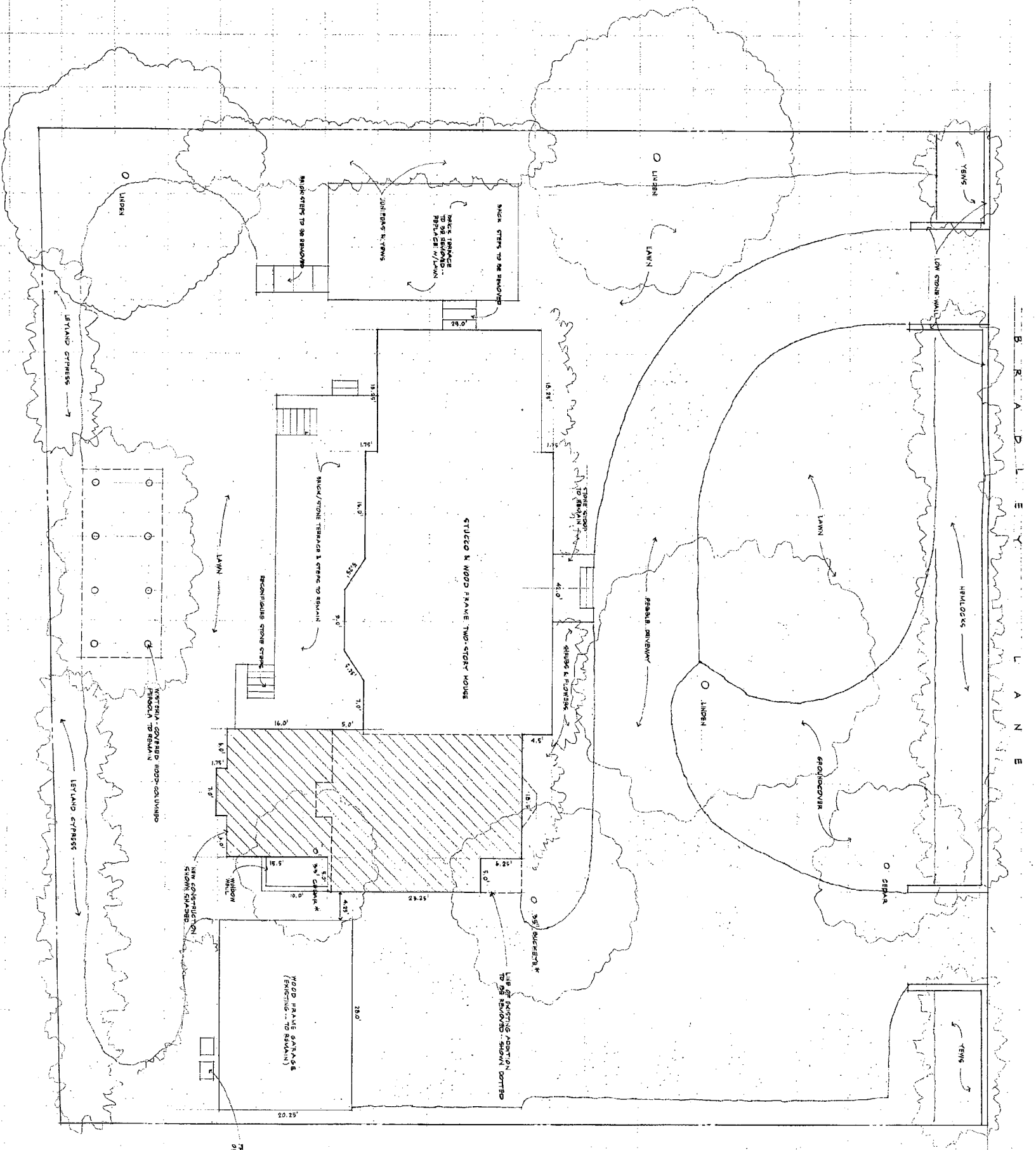
Washington DC 20015  
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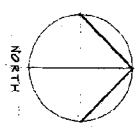






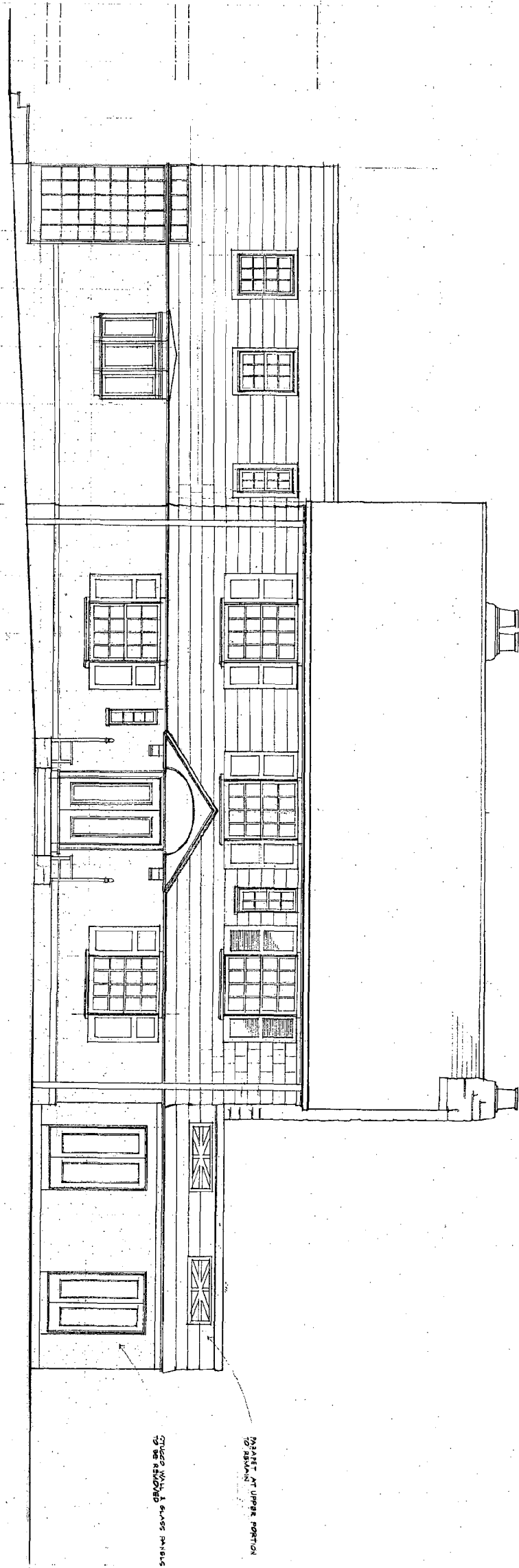
NOTE: SITE PLAN INFORMATION TAKEN FROM SITE OBSERVATION AND LANDSCAPE ARCHITECTURE CONSULTATION. VISUALS FROM SITE VISIT 10/20/05.

\* THIS TO BE REVISED AS PER CITY CAMP VISUAL TREE REMOVAL PERMIT # 1524



EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

REMOVE/REPLACE PORTION  
EXISTING ORIGINAL TO REMAIN



STRUCTURE WITH A GLASS PORTION TO BE REMOVED

MATCH AT UPPER PORTION TO REMAIN

EX200

EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

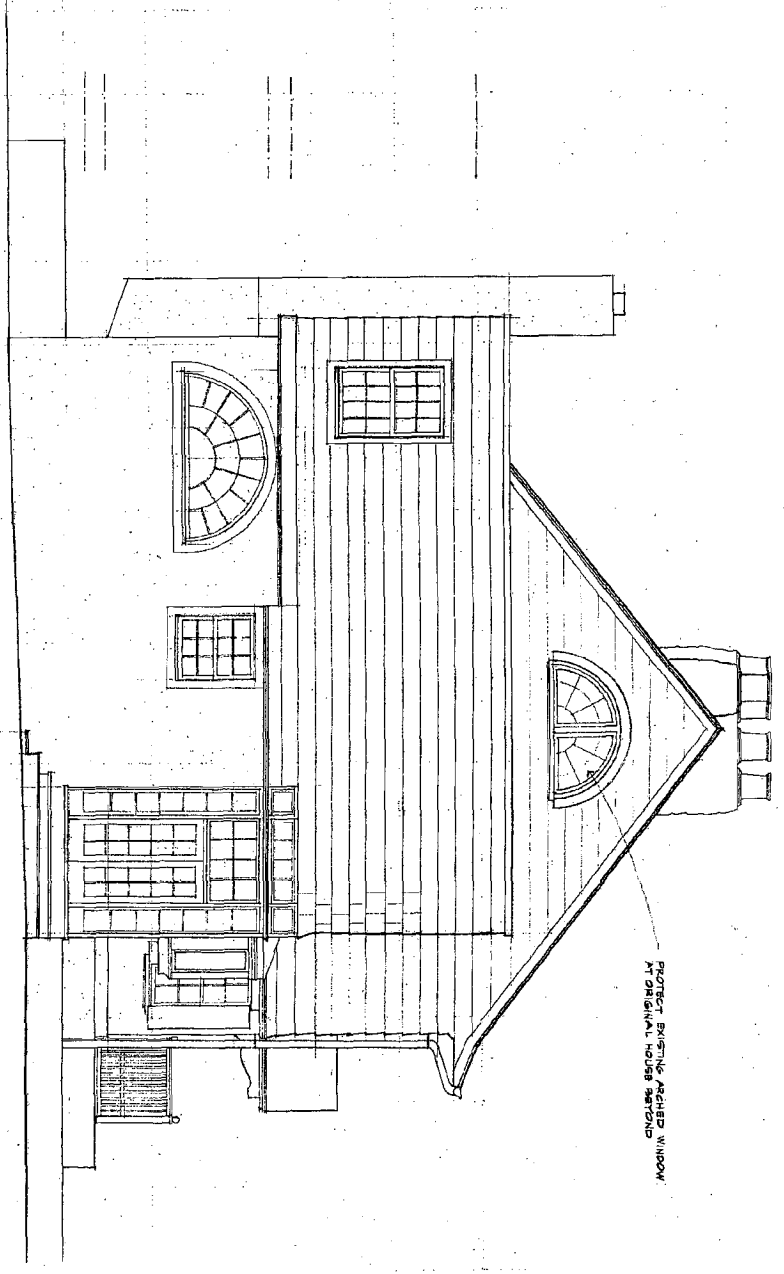
05.10  
16 NOVEMBER 2005

ADDITION TO AND RENOVATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815

**MUSE ARCHITECTS**

5630 Connecticut Avenue NW  
Phone 202.966.6266

Washington DC 20015  
Facsimile 202.966.9666



EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

EX201

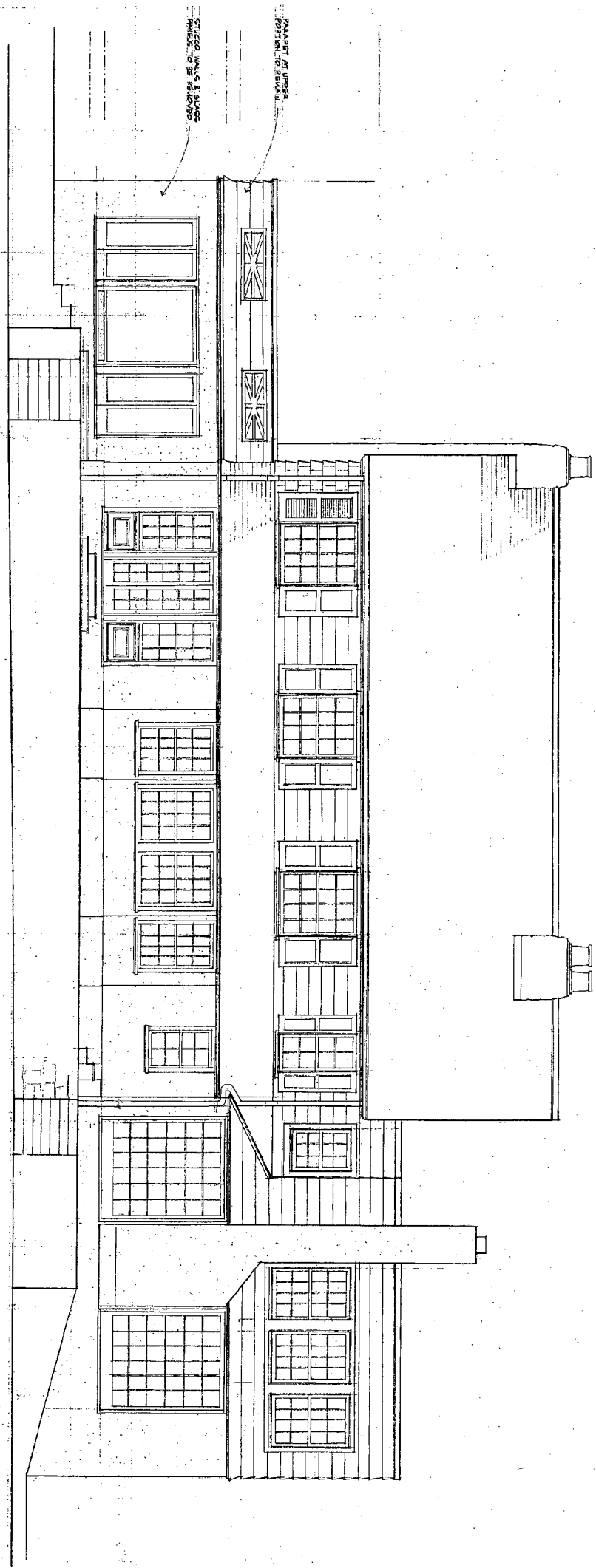
EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

16 NOVEMBER 2005  
05.10

ADDITION TO AND RENOVATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW Washington DC 20015  
Phone 202.966.6266 Facsimile 202.966.9666

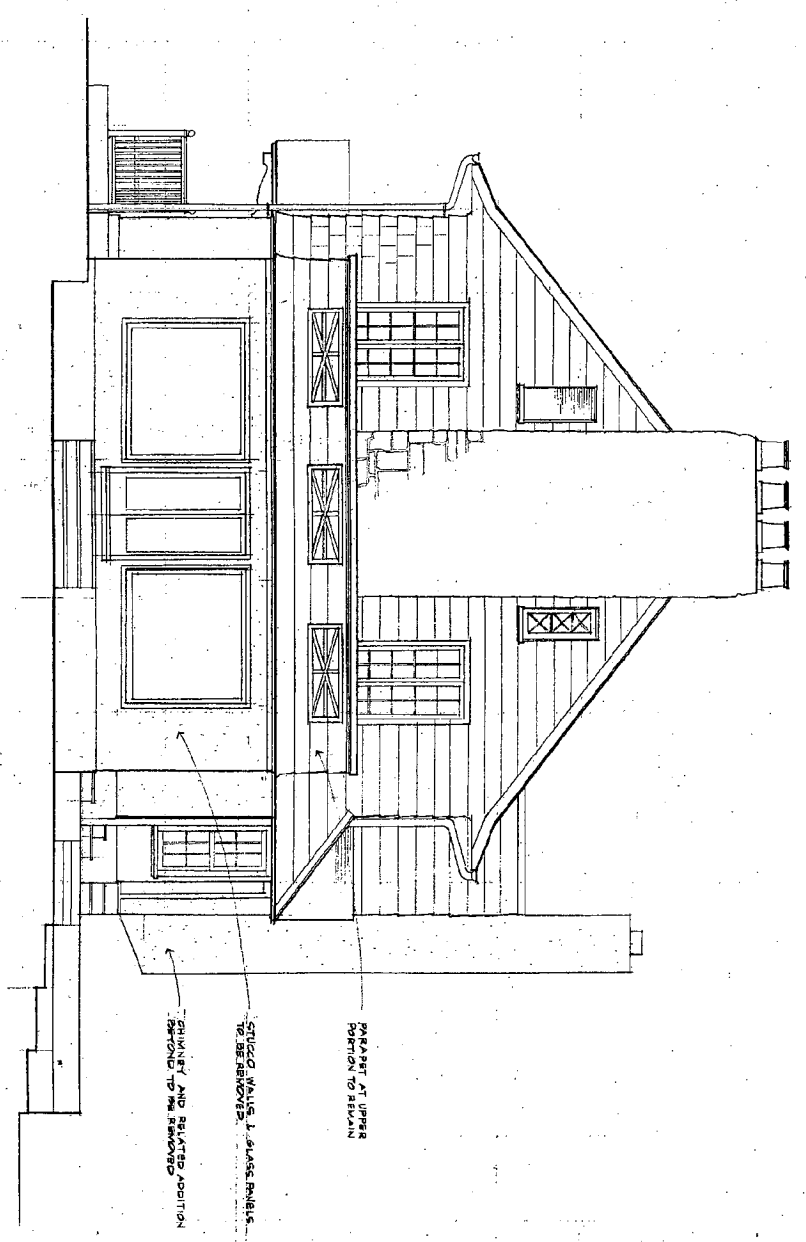




EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

EX202	EXISTING SOUTH ELEVATION SCALE: 1/4" = 1'-0"	05.10 16 NOVEMBER 2005	ADDITION TO AND RENOVATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE      CHEVY CHASE, MARYLAND 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW      Washington DC 20015 Phone 202.966.6266      Facsimile 202.966.9666

EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

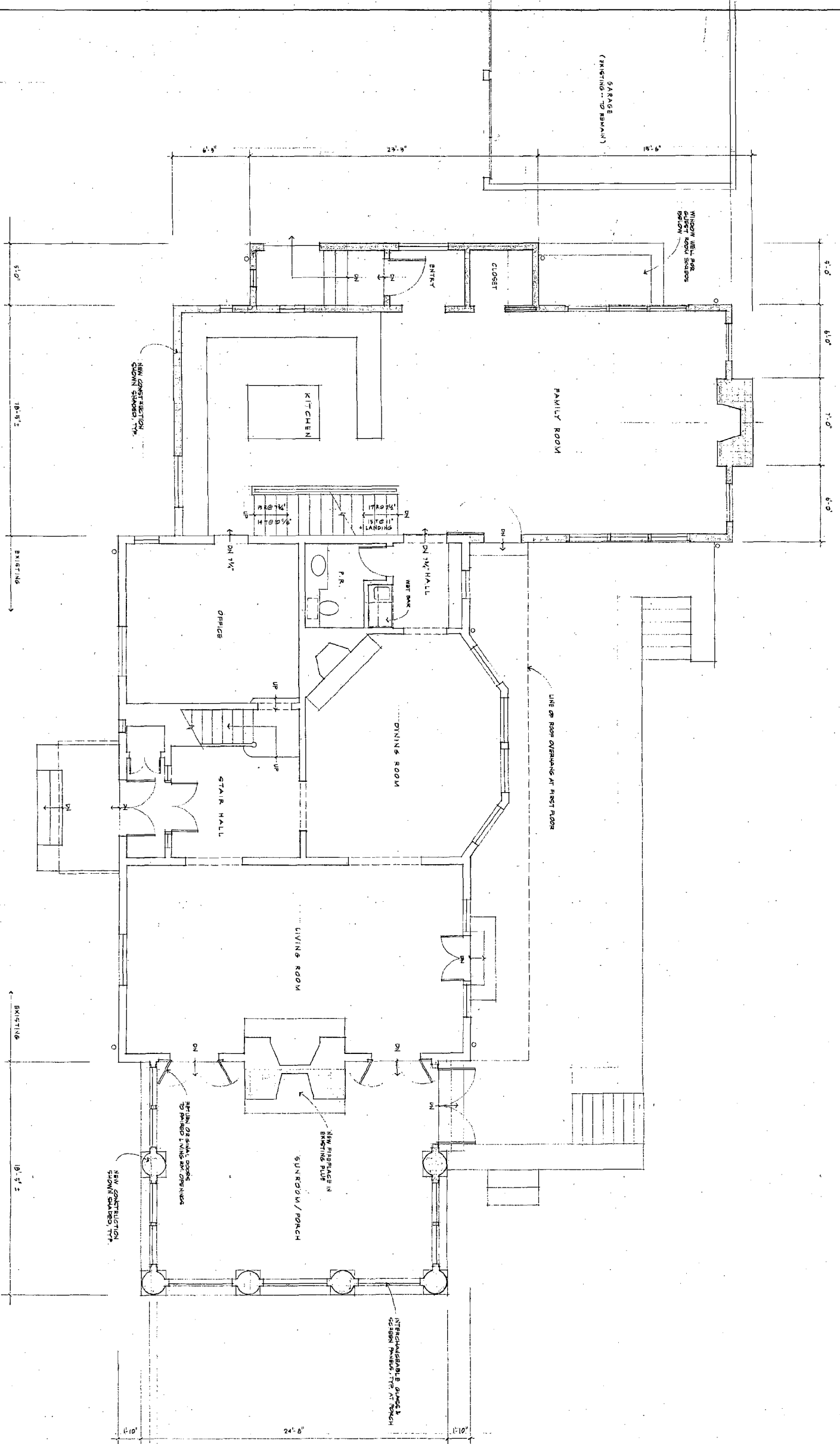


<b>EX203</b>	EXISTING WEST ELEVATION SCALE: 1/4" = 1'-0"	05.10 16 NOVEMBER 2005	<b>ADDITION TO AND RENOVATION OF THE BEST RESIDENCE</b> 3810 BRADLEY LANE    CHEVY CHASE, MARYLAND 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW    Washington DC 20015 Phone 202.966.6266    Facsimile 202.966.9666



BASEMENT - FIRST 14'-0" x 14'-0" (15'-0" x 11'-0")  
 FIRST - SECOND 9'-0" x 14'-0" (13'-0" x 10'-0")

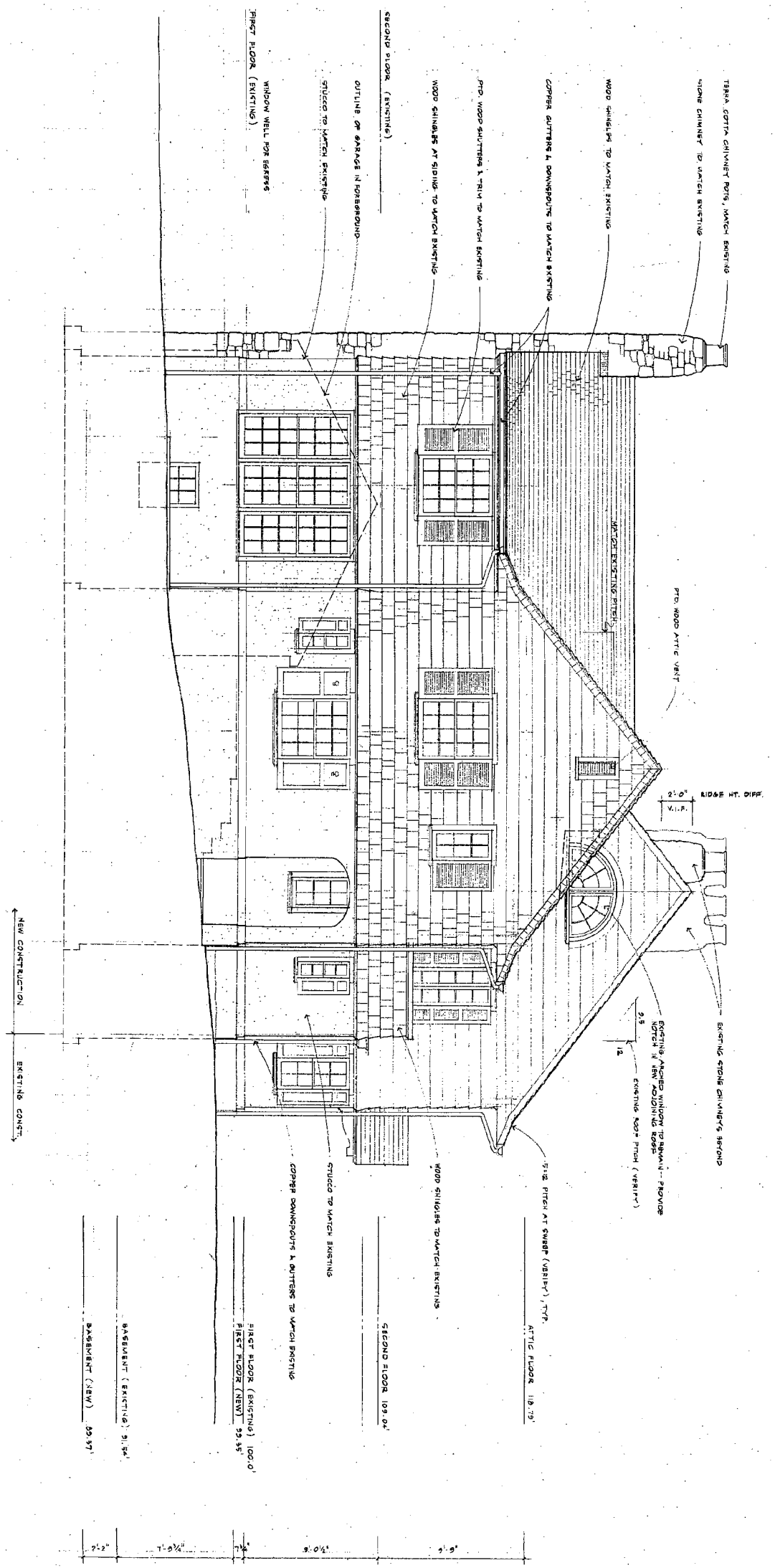
Charles P. DeLoe



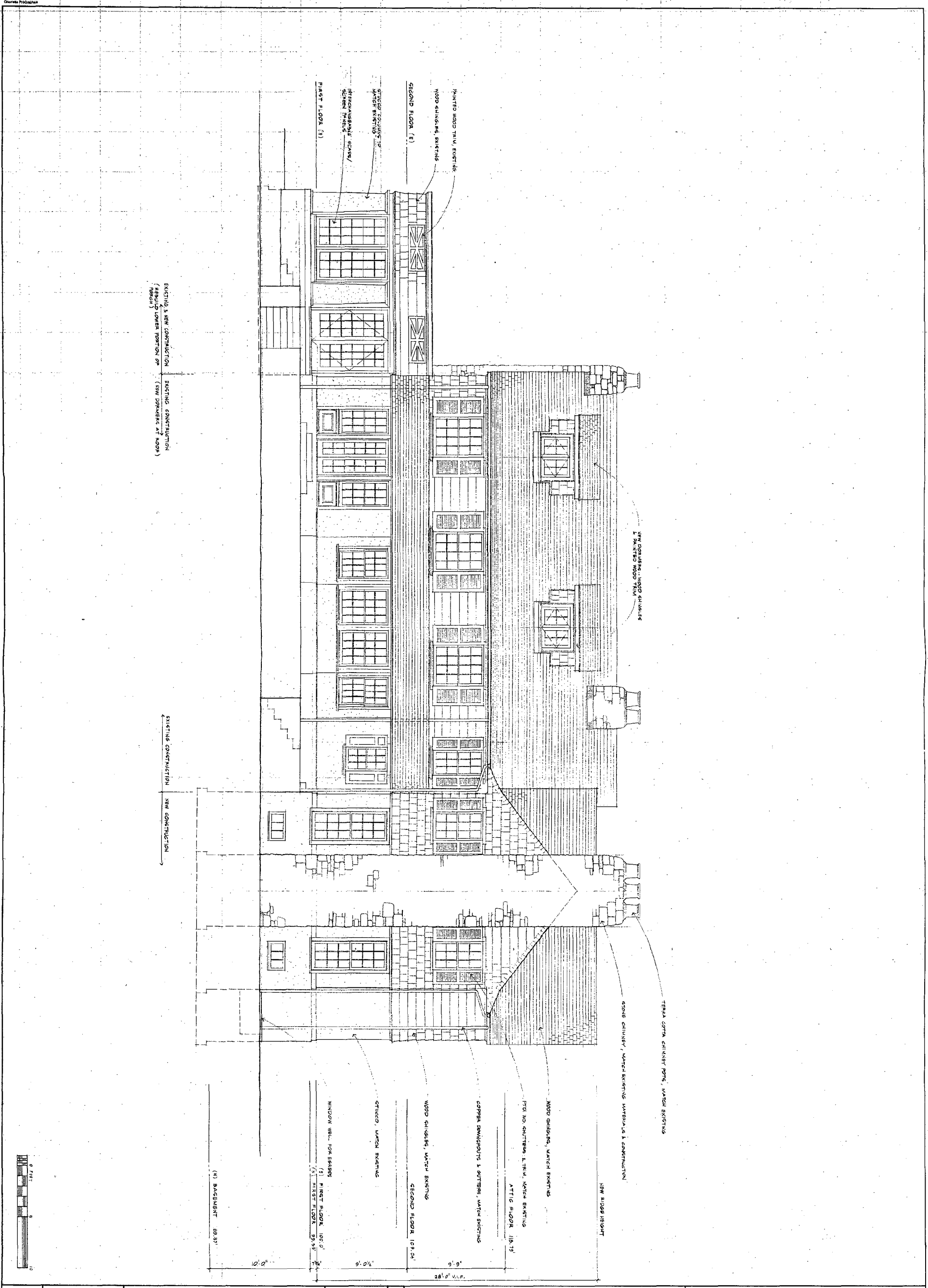
A101	FIRST FLOOR PLAN	1/4" = 1'-0"	16 NOVEMBER 2005	ADDITION TO & ALTERATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MD 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Phone 202.966.6266 Washington DC 20015 Facsimile 202.966.9666
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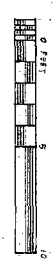


<p>A201</p>	<p>EAST ELEVATION      1/4" = 1'-0"</p>	<p>05/10 16 NOVEMBER 2005</p> <p>ADDITION TO &amp; ALTERATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MD 20815</p>	<p><b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Phone 202.966.6266</p> <p>Washington DC 20015 Facsimile 202.966.9666</p>
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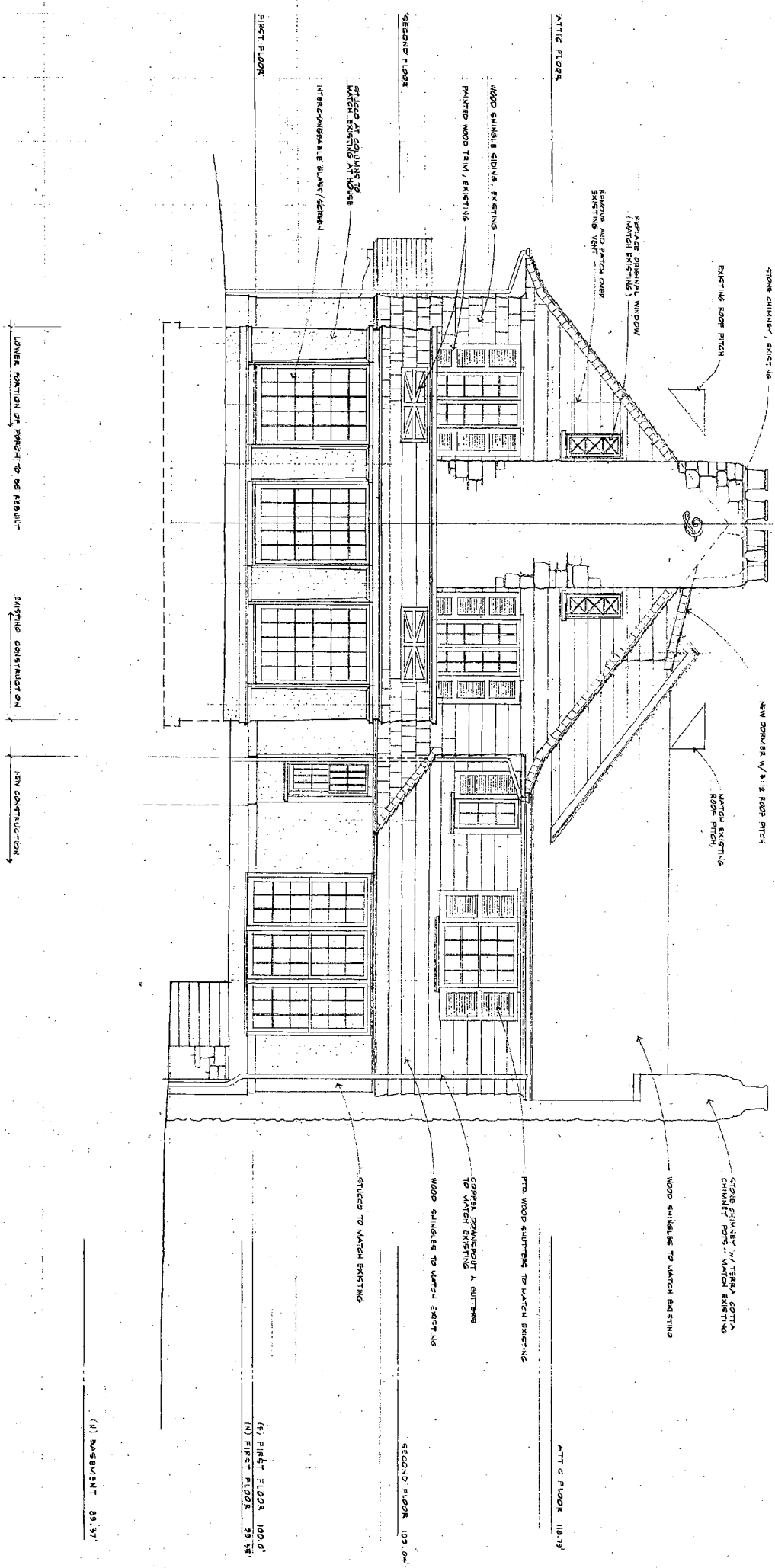
EXISTING & NEW CONSTRUCTION  
 (REBUILD LOWER PORTION OF PORCH)  
 (NEW DRIVEWAY AT ROOF)

EXISTING CONSTRUCTION  
 NEW CONSTRUCTION



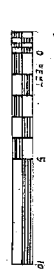
A202	SOUTH ELEVATION 1/4" = 1'-0" 05.10 16 NOVEMBER 2005	<b>ADDITION TO &amp; ALTERATION OF THE          BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MD 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Phone 202.966.6266 Washington DC 20015 Facsimile 202.966.9666
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LOWER PORTION OF PITCH TO BE RESULT  
 EXISTING CONSTRUCTION  
 NEW CONSTRUCTION

STONES QUINCY W/ TERRA COTTA CHIMNEY POTS - MATCH EXISTING  
 WOOD SHINGLES TO MATCH EXISTING  
 PRO WOOD QUINCY TO MATCH EXISTING  
 COPPER DOWNSPOUT & BUTTERFLY TO MATCH EXISTING  
 WOOD SHINGLES TO MATCH EXISTING  
 STILES TO MATCH EXISTING  
 ATTIC FLOOR 118.19'  
 SECOND FLOOR 109.04'  
 (S) FIRST FLOOR 100.0'  
 (N) FIRST FLOOR 99.95'  
 (S) BASEMENT 89.37'





**Front (north) elevation from driveway (east)**



**Front elevation from driveway (west)**



**Front elevation from public right-of-way**



**Detail, north elevation of existing addition**



Detail, northeast corner of existing addition



Detail, northeast corner of existing addition



Detail, east elevation of existing addition



Detail, southeast corner of existing addition



Rear (southeast) elevation from yard



Rear (southwest) elevation from yard



Detail, southwest corner of one-story portion



Detail, south elevation of existing one-story portion



Detail, west elevation of one-story portion



Detail, northwest corner one-story portion





3807 Bradley Lane



3815 Bradley Lane



3804 Bradley Lane



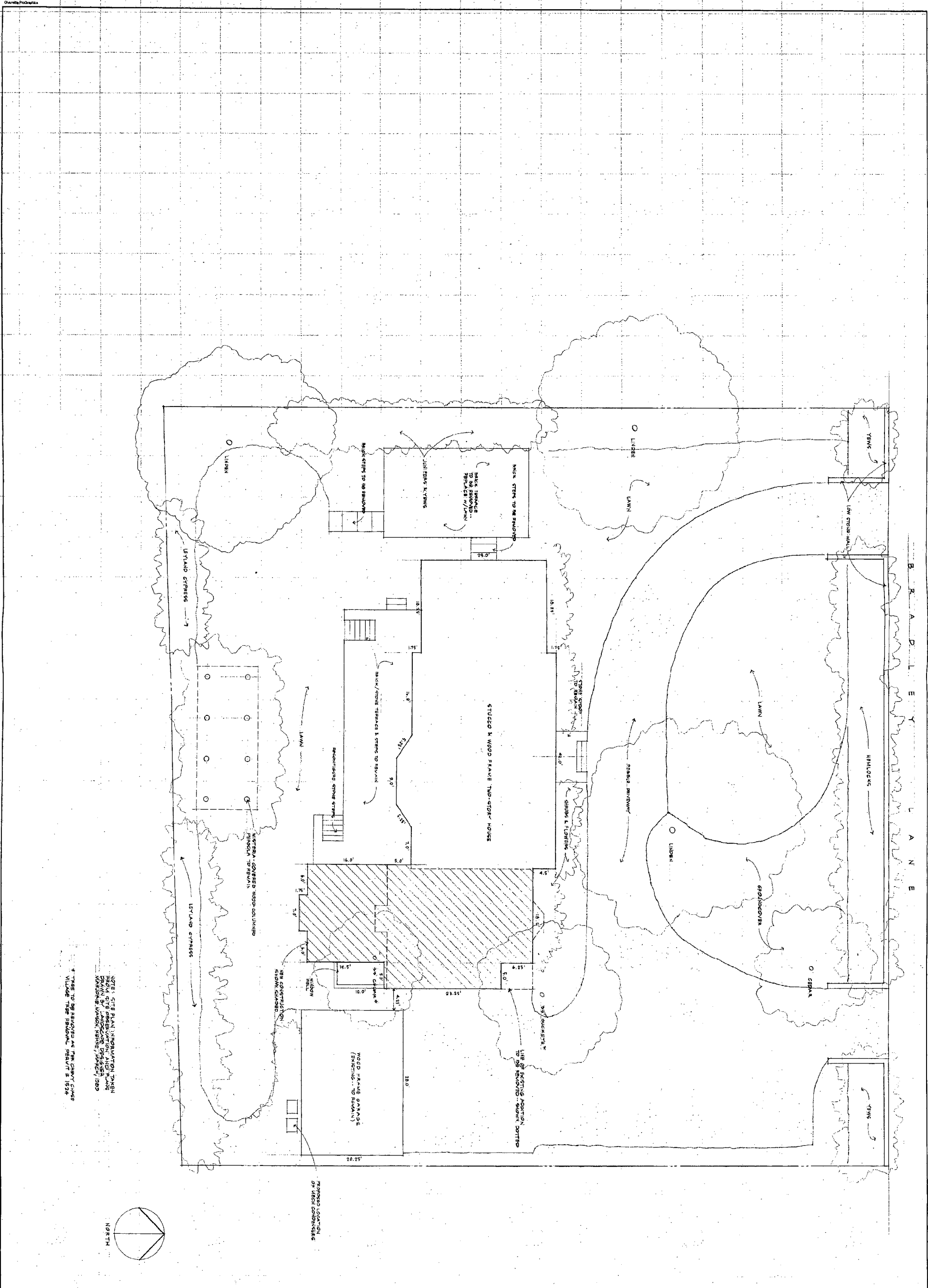
1 Quincy Street



5 Quincy Street

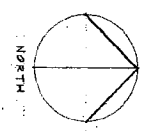


11 Quincy Street



NOTE: SITE PLAN INFORMATION TAKEN FROM SITE OBSERVATION AND PLANS PROVIDED BY ARCHITECT WALTERS AND PARTNERS ARCHITECTS, WASHINGTON, D.C. (DATE: 1/20/05)

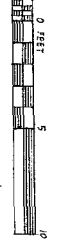
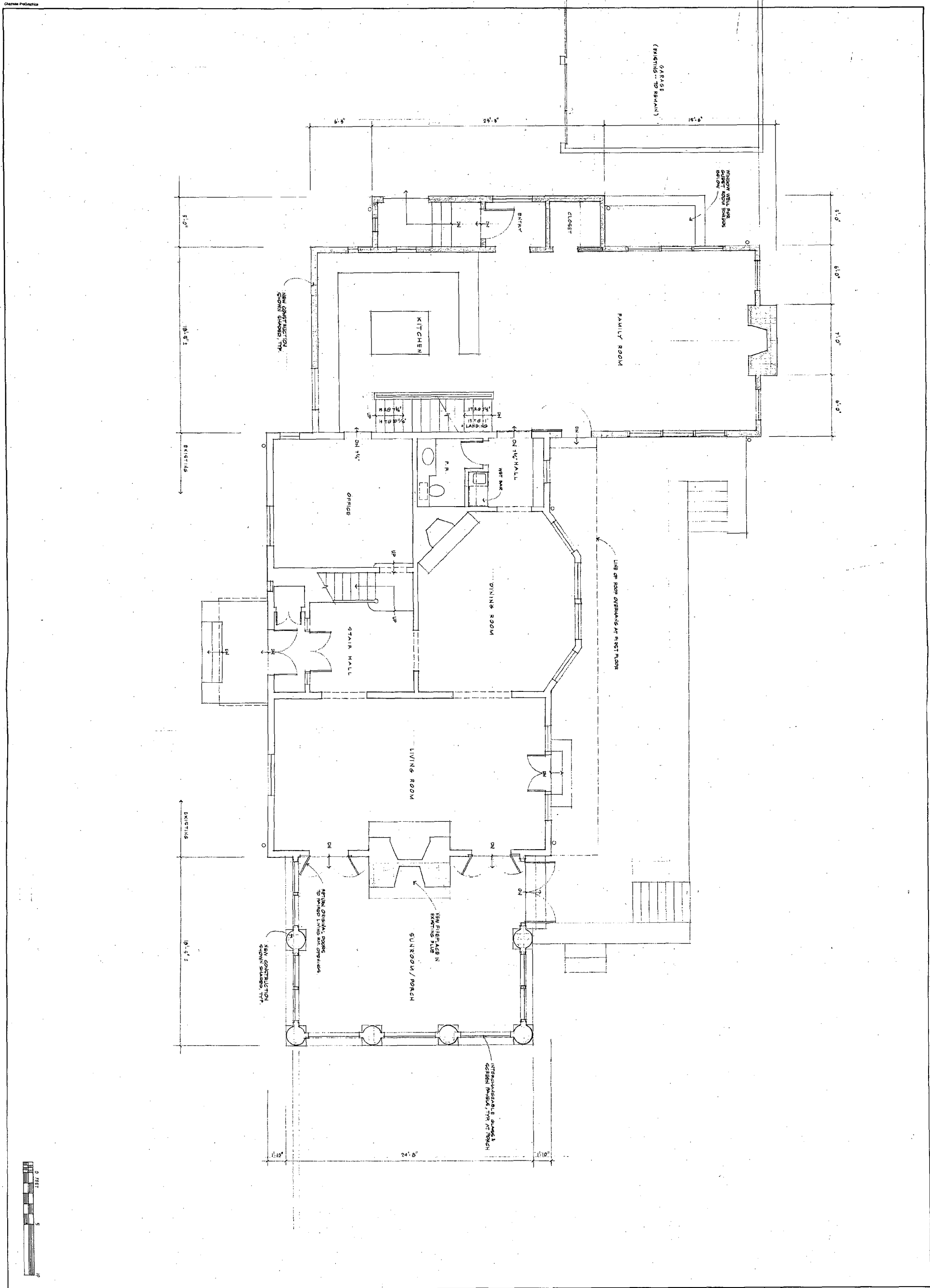
\* THESE TO BE REMOVED AS PER CHEVY CHASE VILLAGE TREE REMOVAL PERMIT # 1524



SP001	SITE PLAN 1/8" = 1'-0" 16. NOVEMBER, 2005 05.1.0	ADDITION TO & ALTERATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MD 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Phone 202.966.6266 Washington DC 20015 Facsimile 202.966.9666
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(7)

BASEMENT - FIRST 10'-0" x 16'-0" 15'-0" x 17'-0"  
 15'-0" x 17'-0"  
 FIRST - SECOND 9'-0" x 14'-0" 7'-0" x 13'-0" 10'-0" x 14'-0"

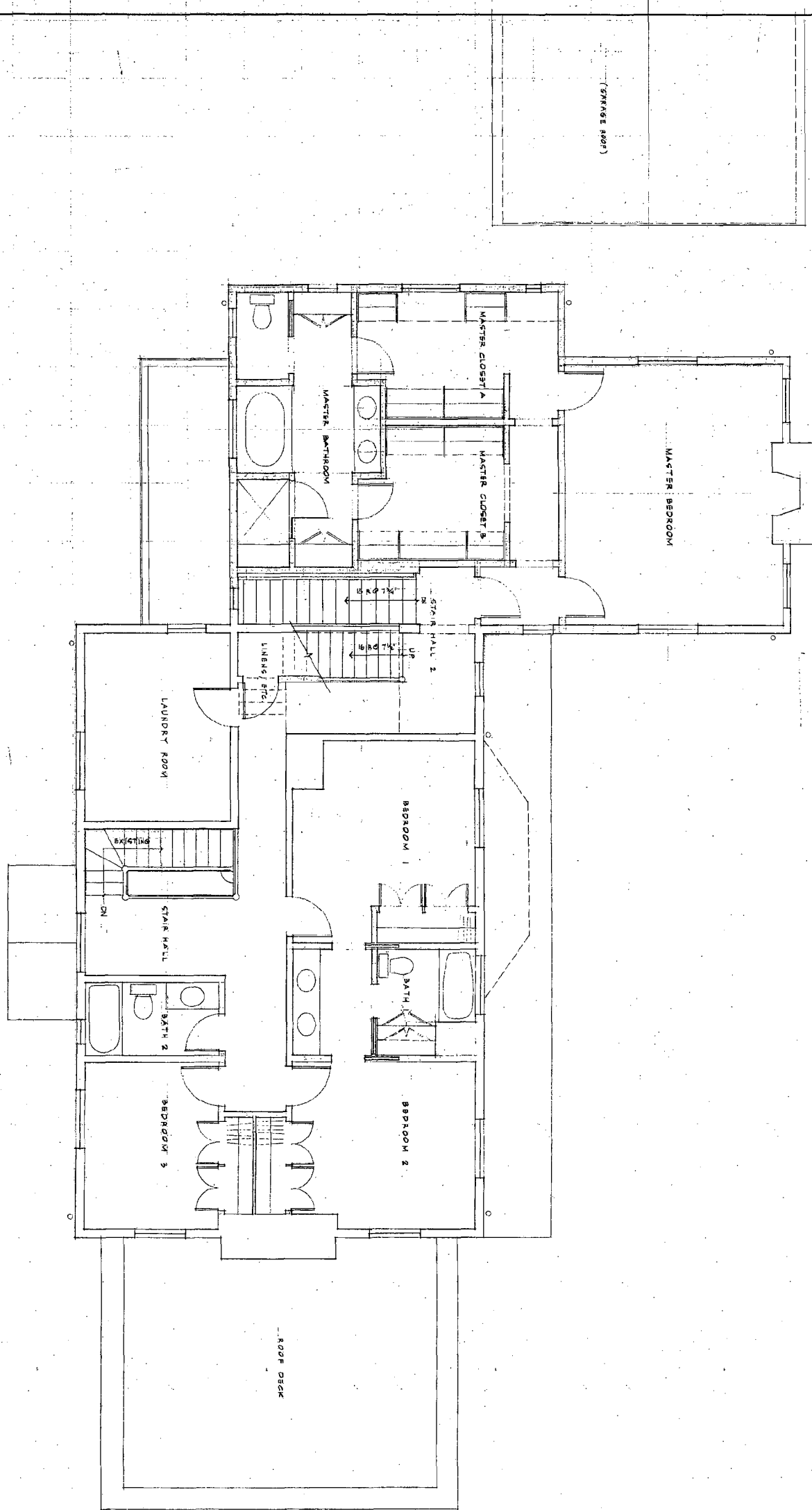


A101	FIRST FLOOR PLAN 1/4" = 1'-0"	16 NOVEMBER 2005 05/10	ADDITION TO & ALTERATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MD 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Washington DC 20015 Phone 202.966.6266 Facsimile 202.966.9666
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17

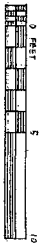
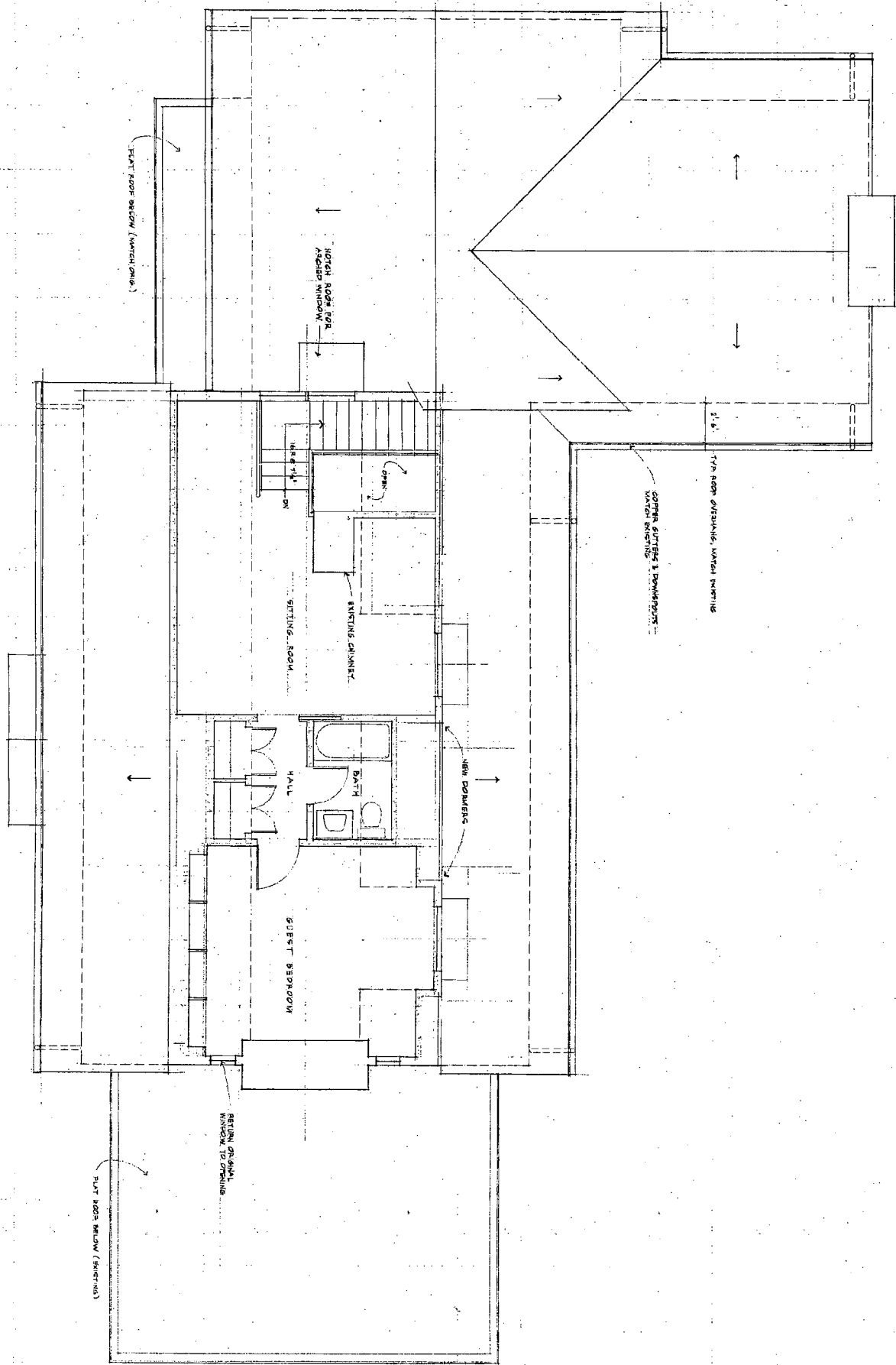
FIRST SECOND 0'-0 1/2" = 1/4" = 1/4" TO 10 1/4"

Orion Pro/Design



A102	SECOND FLOOR PLAN 1/4" = 1'-0"	03.10 15 NOVEMBER 2005	ADDITION TO & ALTERATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MD 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Phone 202.966.6266 Washington DC 20015 Facsimile 202.966.9666
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A103

ATTIC PLAN 1/4"=1'-0"

08.10 16 NOVEMBER, 2005

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

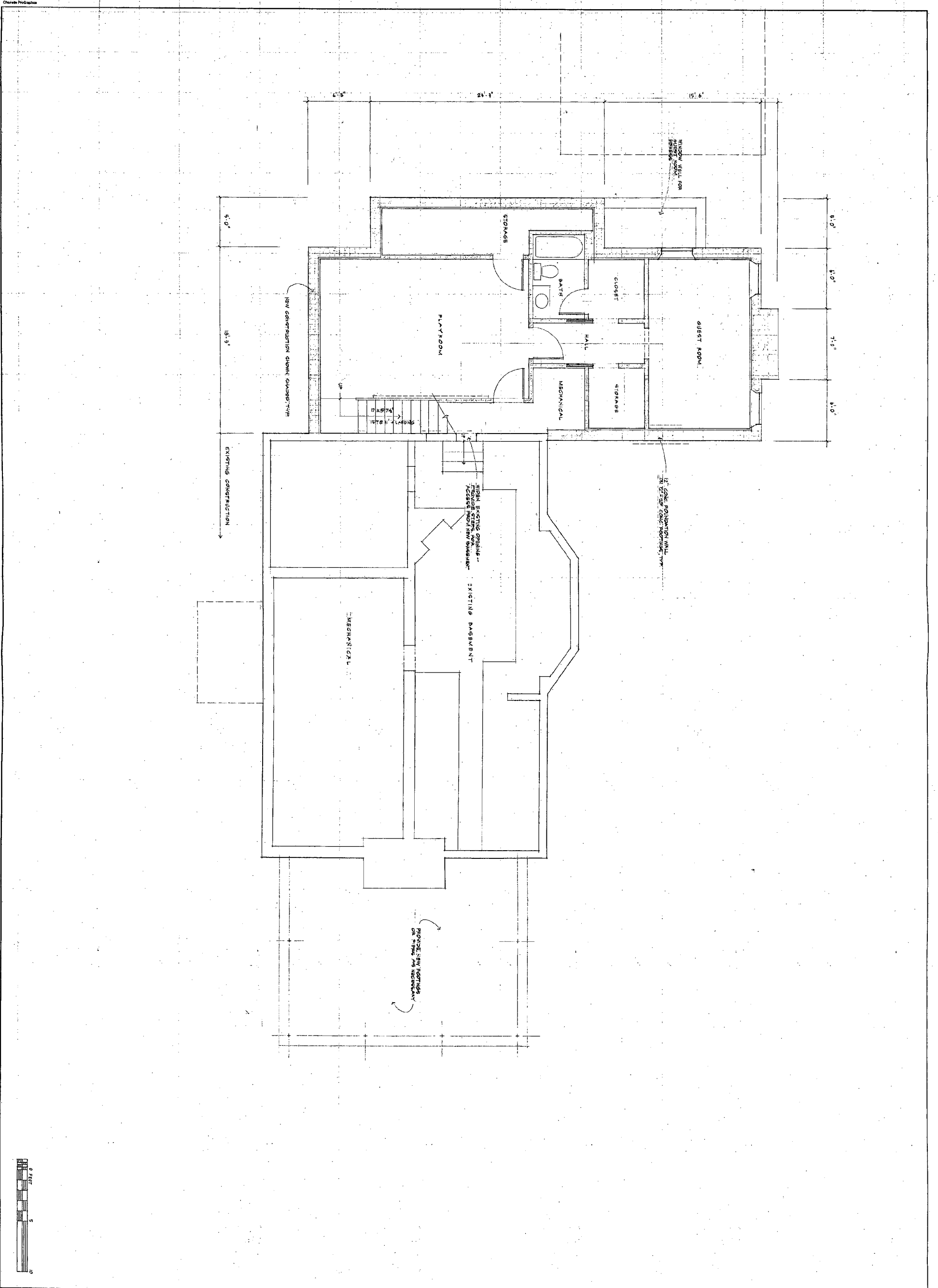
MUSE ARCHITECTS

5630 Connecticut Avenue NW  
 Phone 202.966.6266

Washington DC 20015  
 Facsimile 202.966.9666

19

BASEMENT - FIRST 1/4" = 1'-0" 11/16/05



EXISTING CONSTRUCTION

NEW CONSTRUCTION GROUND CHAIRS TYPE

MECHANICAL

PLAYROOM

STORAGE

MECHANICAL

CLOSET

STORAGE

HALL

GUEST ROOM

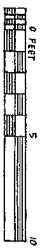
BATH

WINDOW WELL FOR GUEST ROOM

REMOVE EXISTING GRADING - PROVIDE STEPS AND RAILING TO EXISTING BASEMENT

IF GOLF FOUNDATION WALL IS IN 2'-0" CONC. FOOTINGS TYPE

PROTECT AND REPAIR OR REMOVE AS NECESSARY



A100

BASEMENT PLAN 1/4" = 1'-0"

05.10  
16 NOVEMBER 2005

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MD 20815

**MUSE ARCHITECTS**

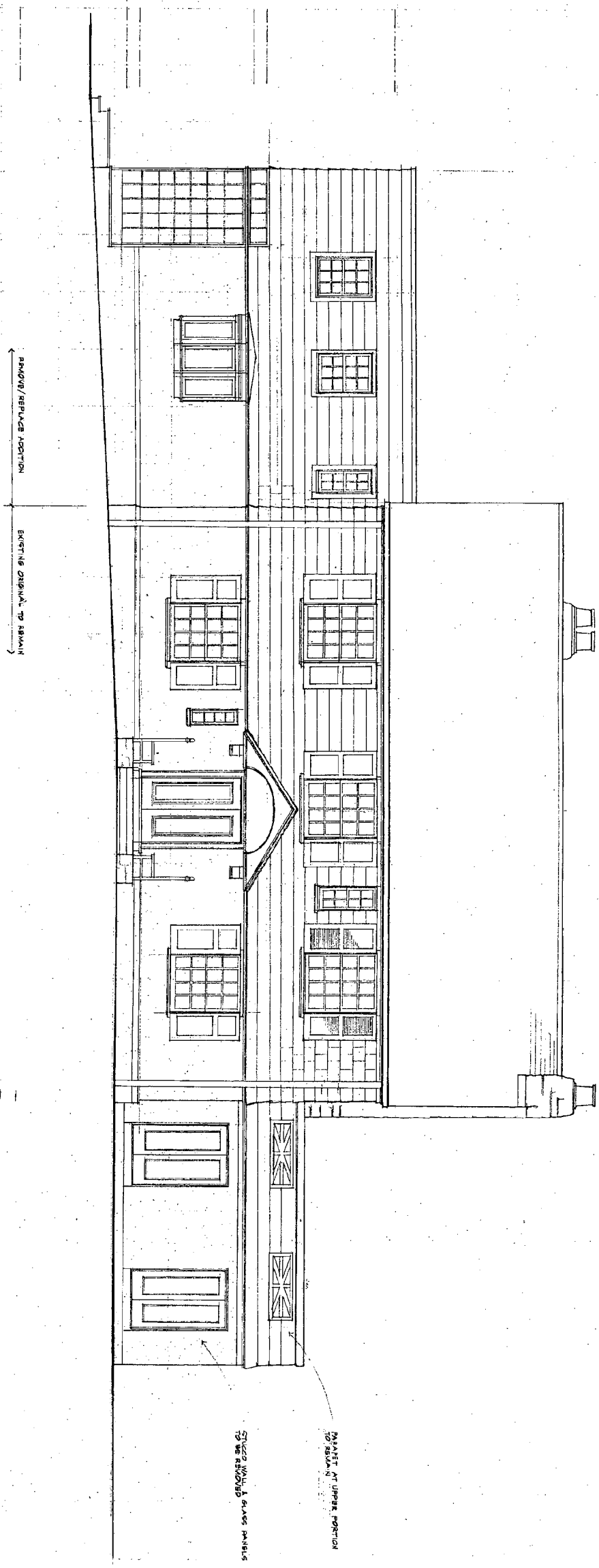
5630 Connecticut Avenue NW  
Phone 202.966.6266

Washington DC 20015  
Facsimile 202.966.9666





EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



EX200

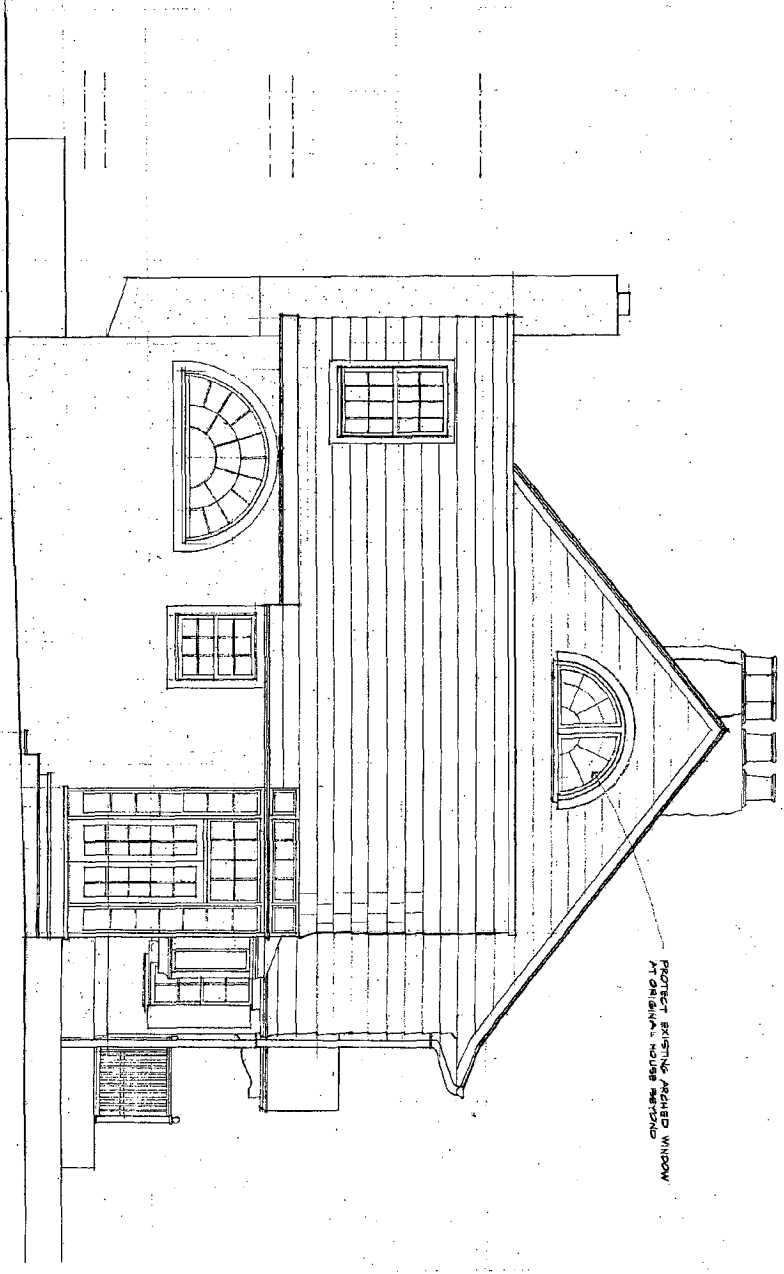
EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

05.10  
16 NOVEMBER 2005

ADDITION TO AND RENOVATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW Washington DC 20015  
Phone 202.966.6266 Facsimile 202.966.9666





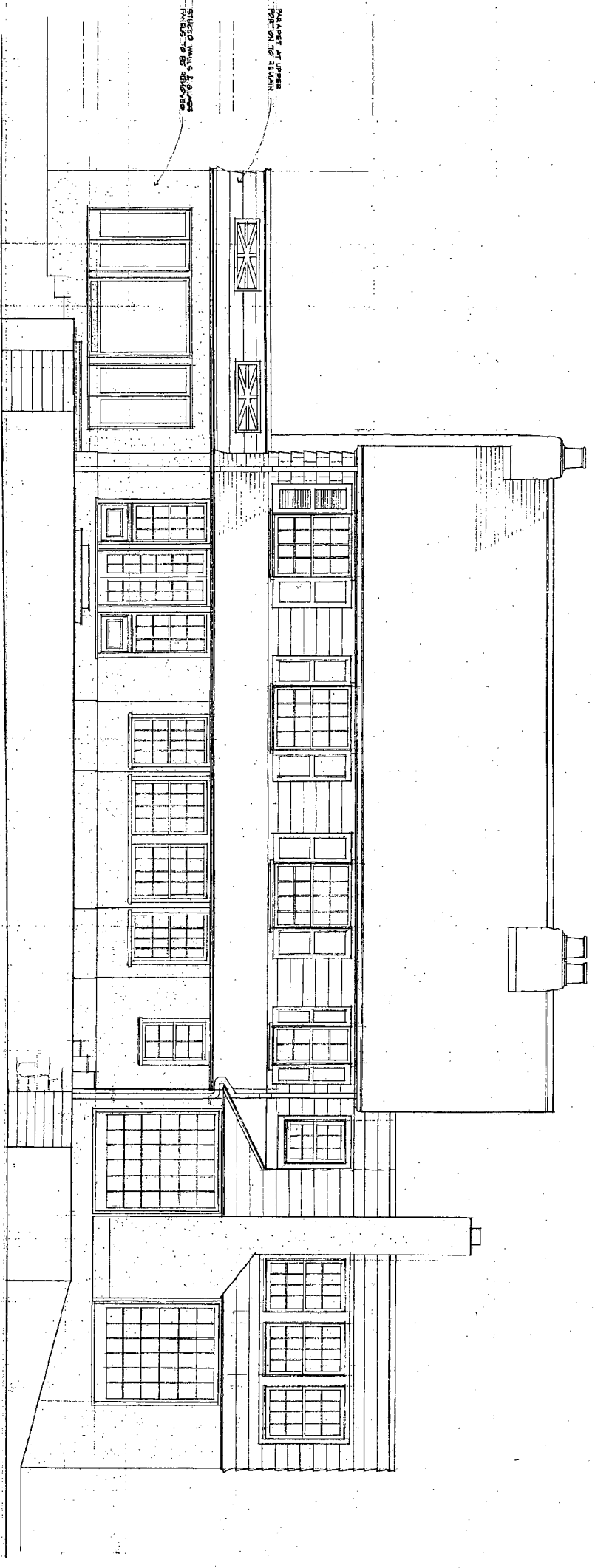
EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

EX201	EXISTING EAST ELEVATION SCALE: 1/4" = 1'-0"	05.10 6 NOVEMBER 2005	ADDITION TO AND RENOVATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Washington DC 20015 Phone 202.966.6266 Facsimile 202.966.9666

10



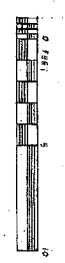
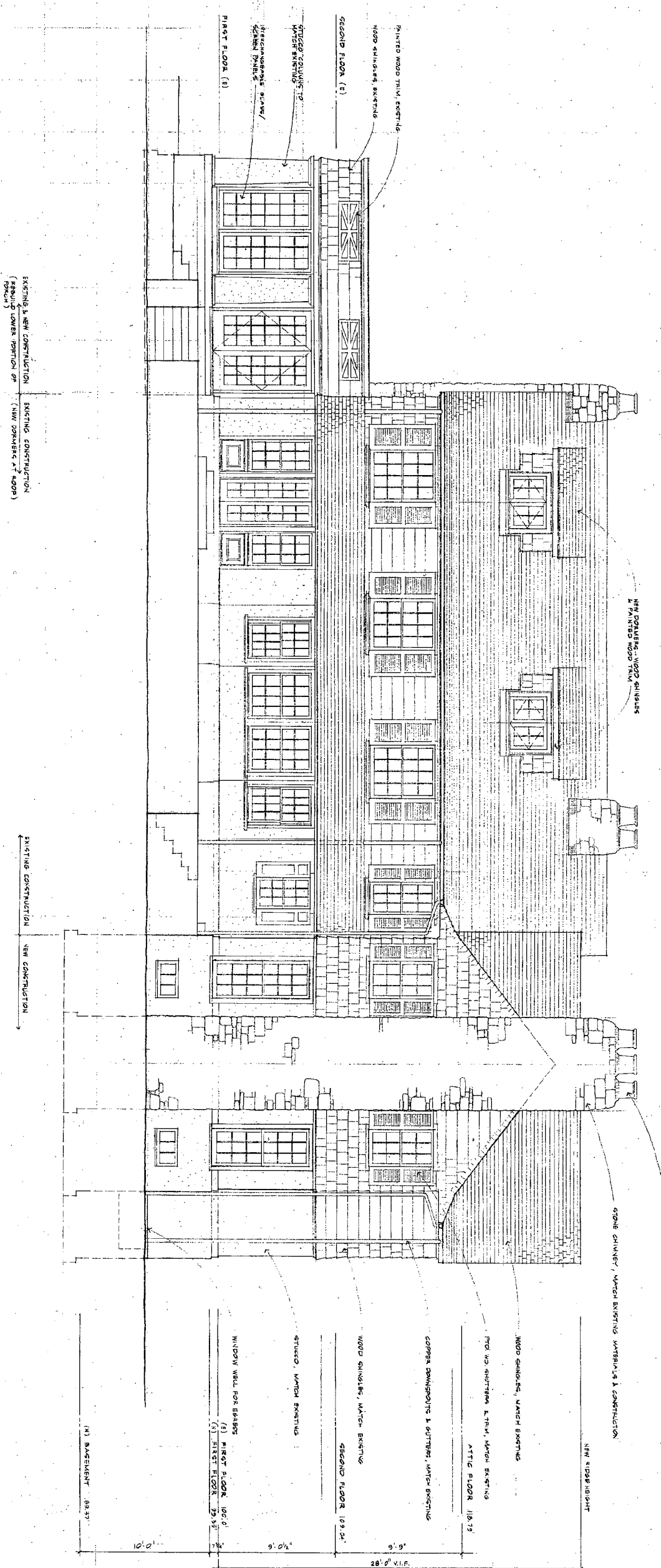
CHERRY PHOTOGRAPHY



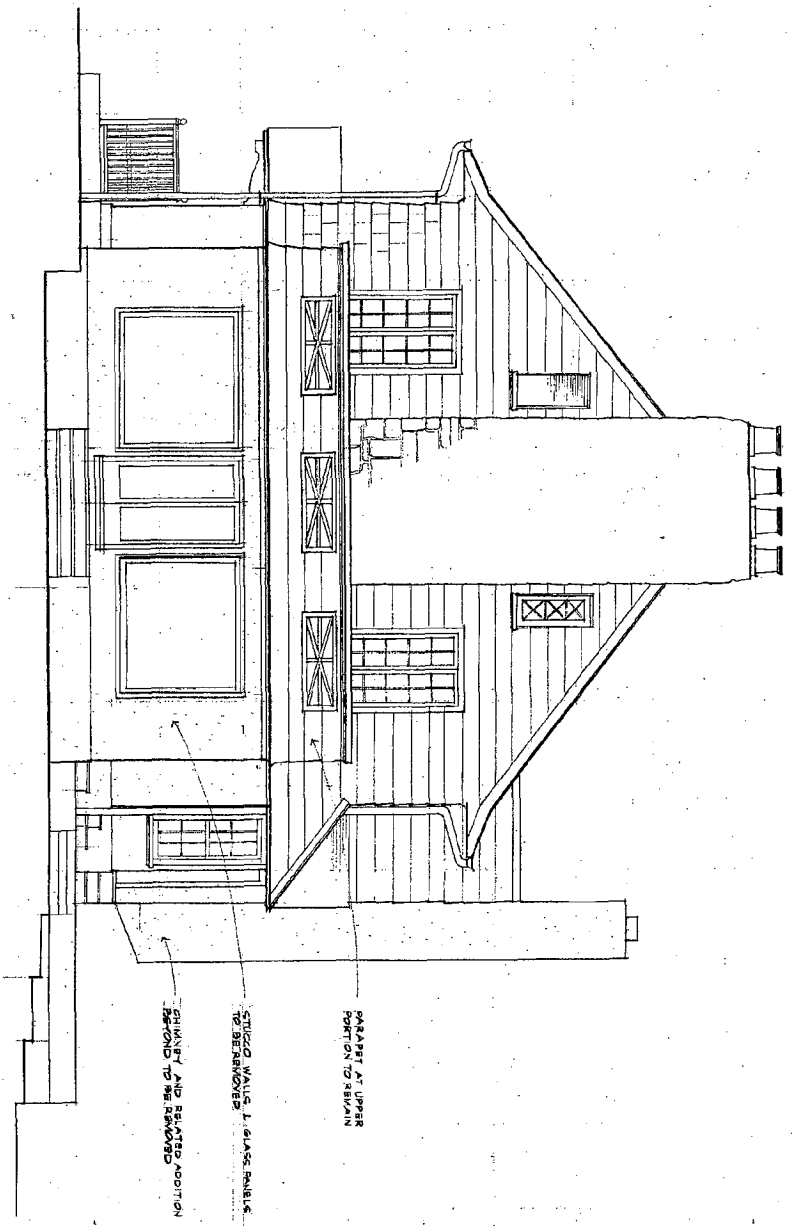
EXISTING SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

EX202	EXISTING SOUTH ELEVATION SCALE: 1/4" = 1'-0"	05.10 16 NOVEMBER 2005	ADDITION TO AND RENOVATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Washington DC 20015 Phone 202.966.6266 Facsimile 202.966.9666
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12



13



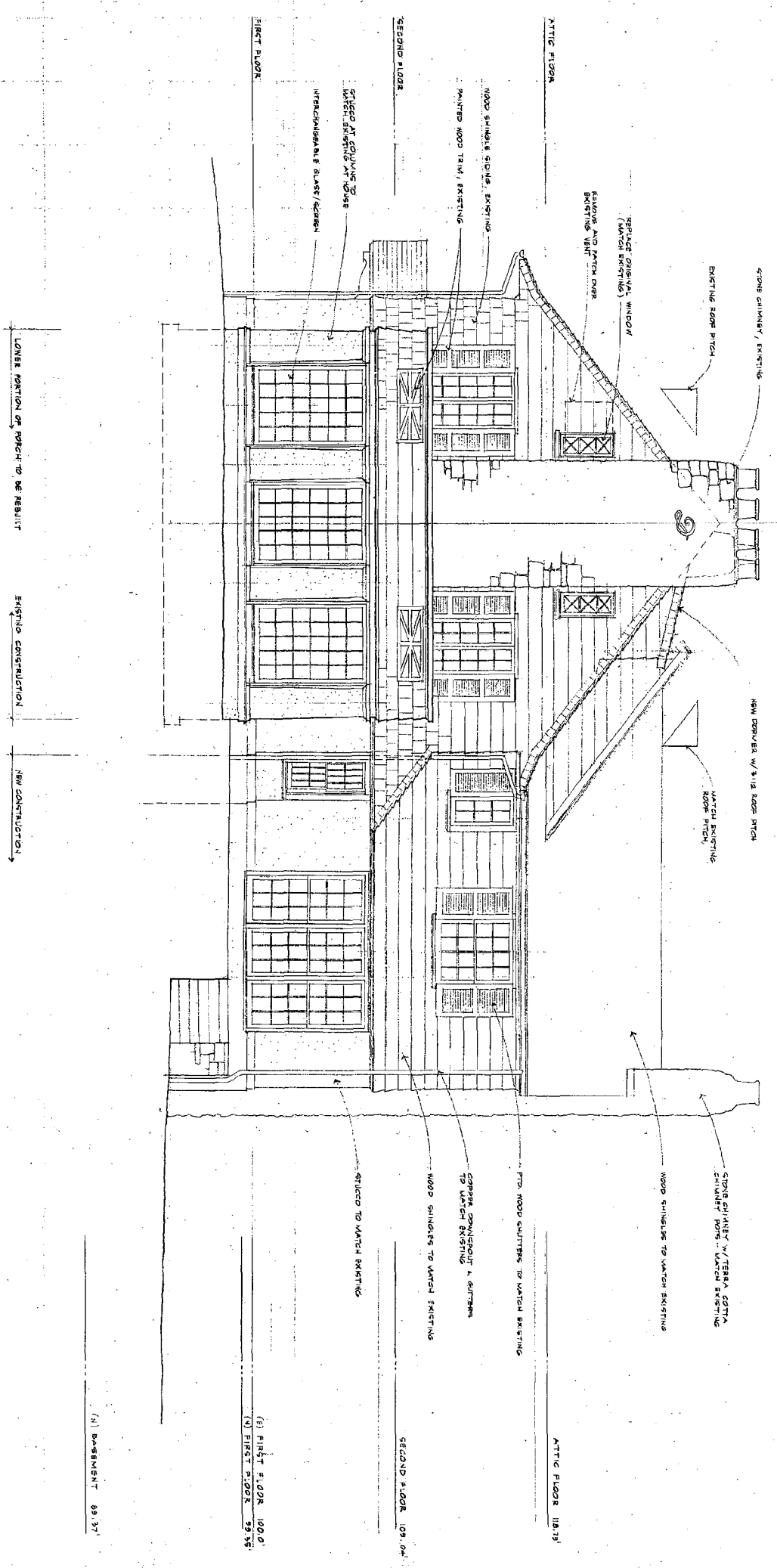
EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

05.10  
16 NOVEMBER 2005

ADDITION TO AND RENOVATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW Washington DC 20015  
Phone 202.966.6266 Facsimile 202.966.9666

EX203



(N) BASEMENT 09.37'

(S) FIRST FLOOR 100.0'  
(N) FIRST FLOOR 79.15'

SECOND FLOOR 109.04'

ATTIC FLOOR 118.13'

05.10  
16 NOVEMBER 2005

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

**MUSE ARCHITECTS**  
 5630 Connecticut Avenue NW  
 Phone 202.966.6266  
 Washington DC 20015  
 Facsimile 202.966.9666

WEST ELEVATION 1/4" = 1'-0"

A203

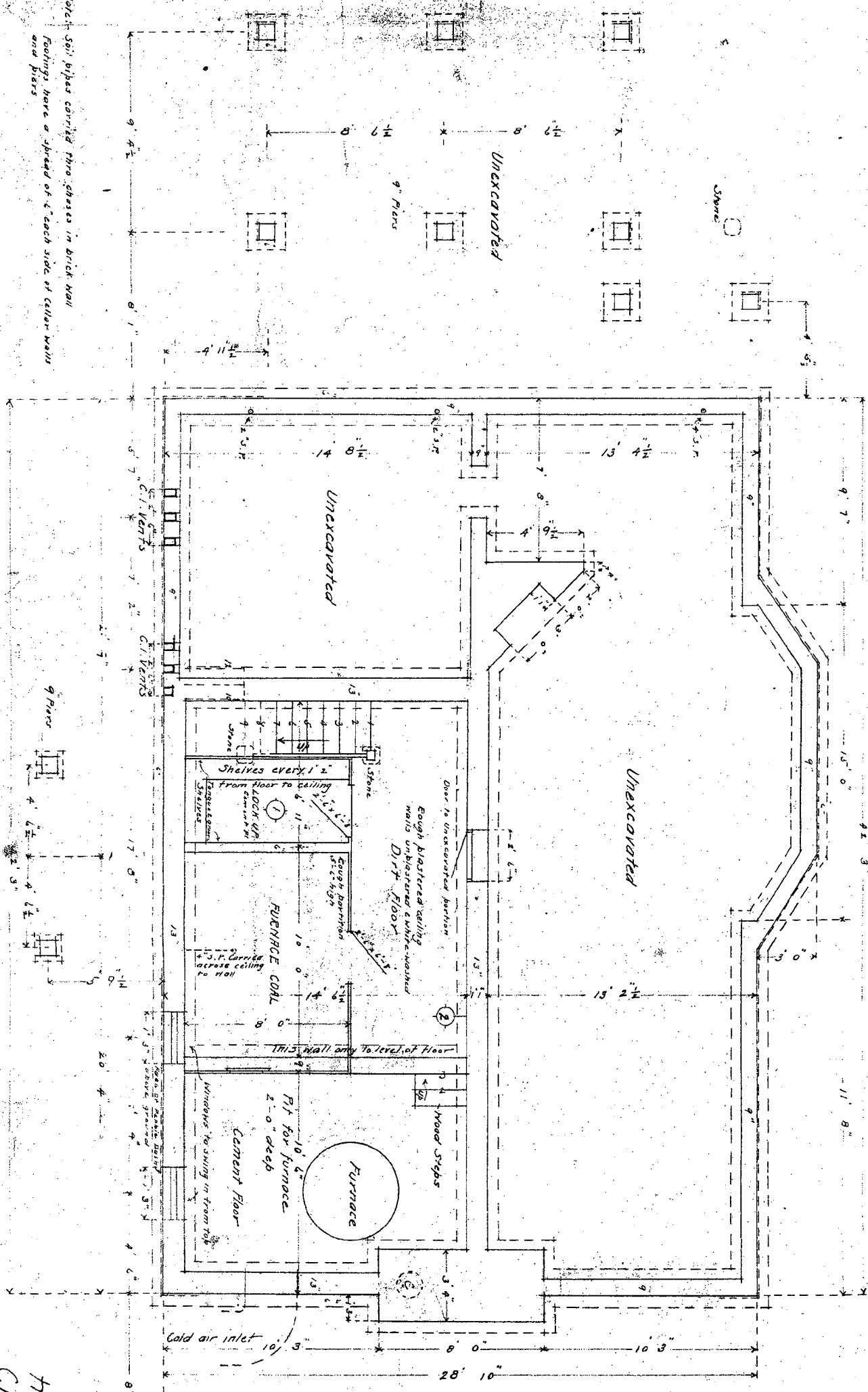




Note: Soil pipes carried thru chases in brick wall  
 Footings have a spread of 4" each side of cellar walls  
 and piers

1/4" = 1'-0"

CELLAR PLAN

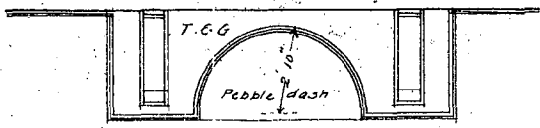
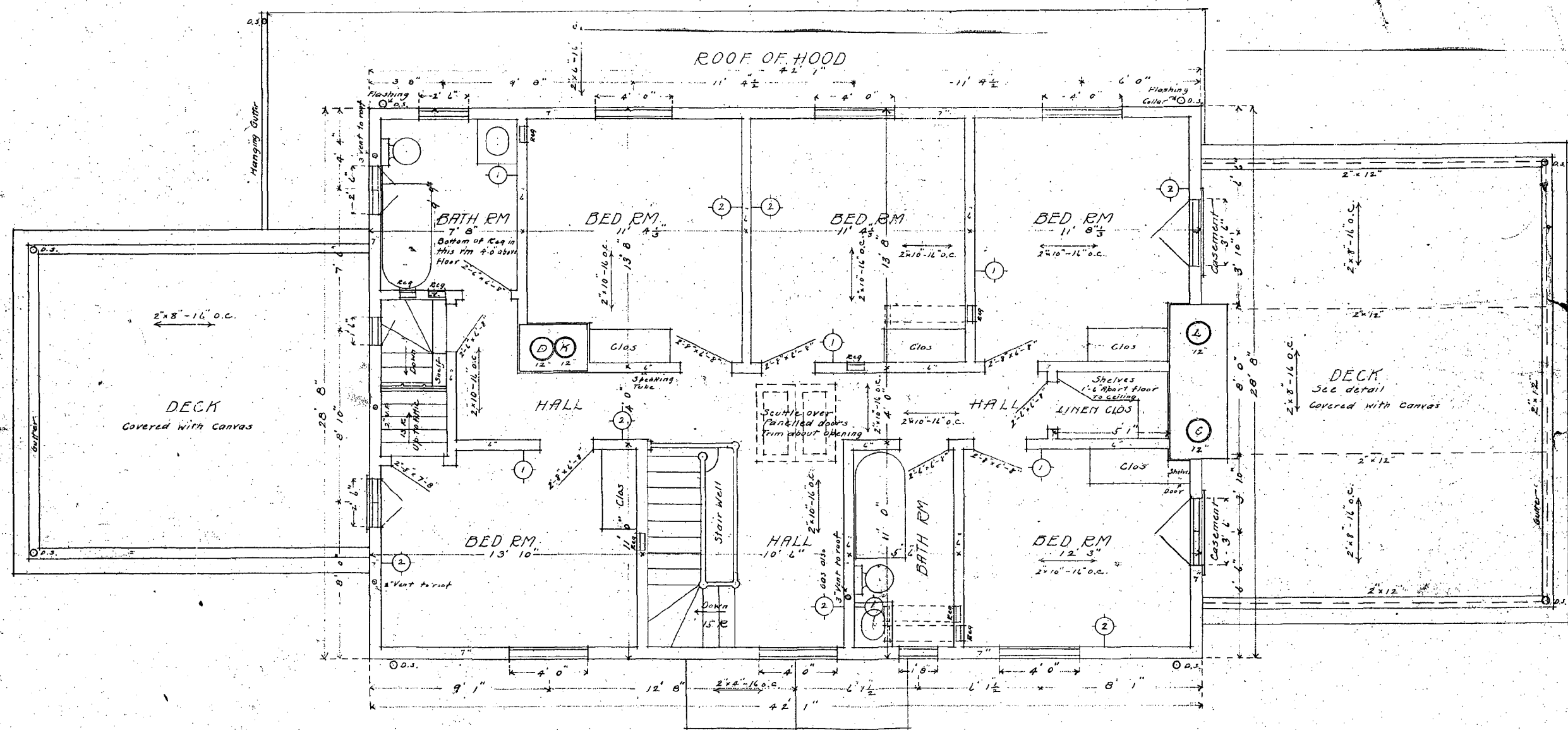


All outside measurements on Cellar Plan taken from faces of brick walls

HOUSE FOR E.W. DONN JR  
 CHEVY CHASE - MD  
 Wood Donn & Deming - Architects  
 Washington D.C.



Note: Outside measurements taken from faces of Pebble Dash

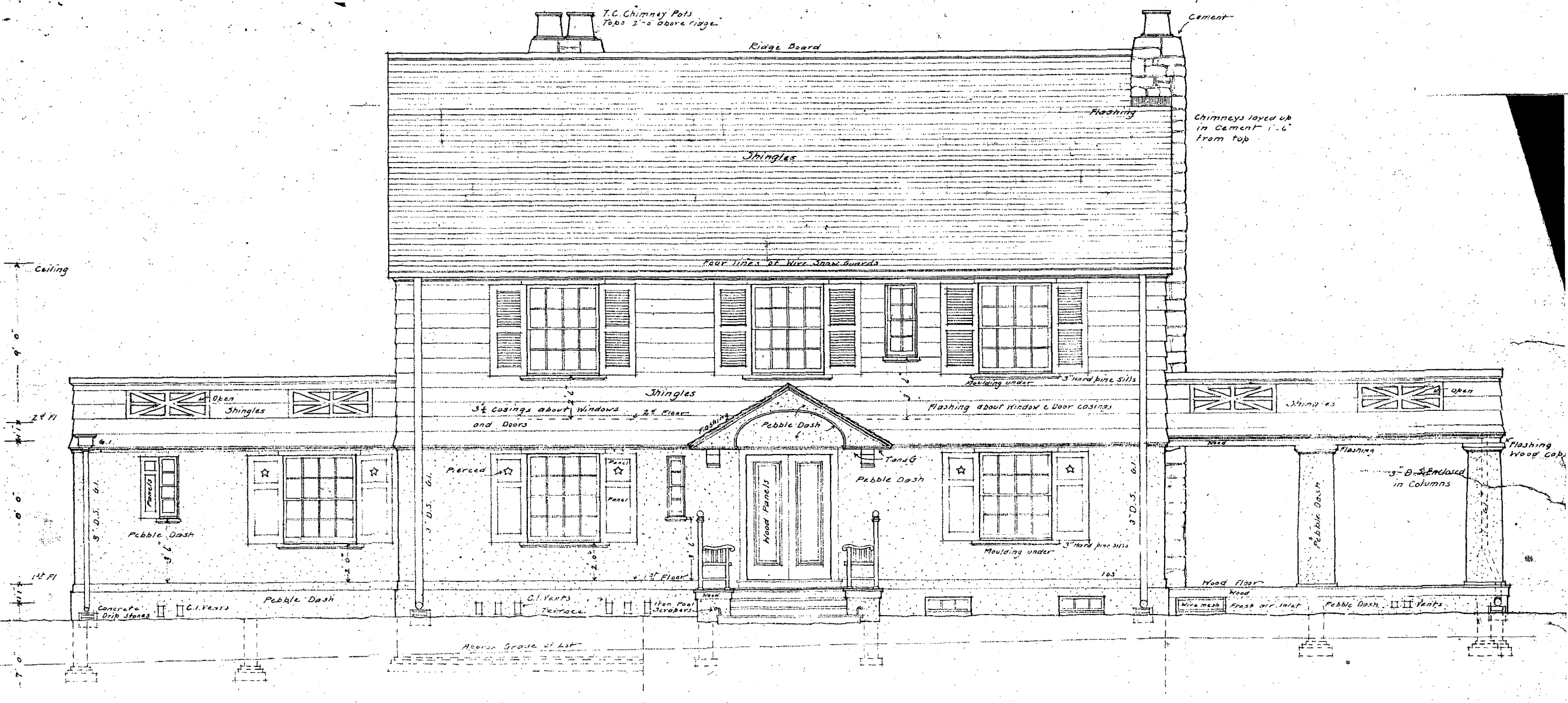


PLAN OF SOFFIT OF HOOD OVER FRONT ENTRANCE

SECOND FLOOR PLAN

Scale 1/4" = 1'-0"

HOUSE FOR E.W. DONN JR  
CHEVY CHASE ~ MD  
Wood Donn & Deming - Architects  
Washington D.C.



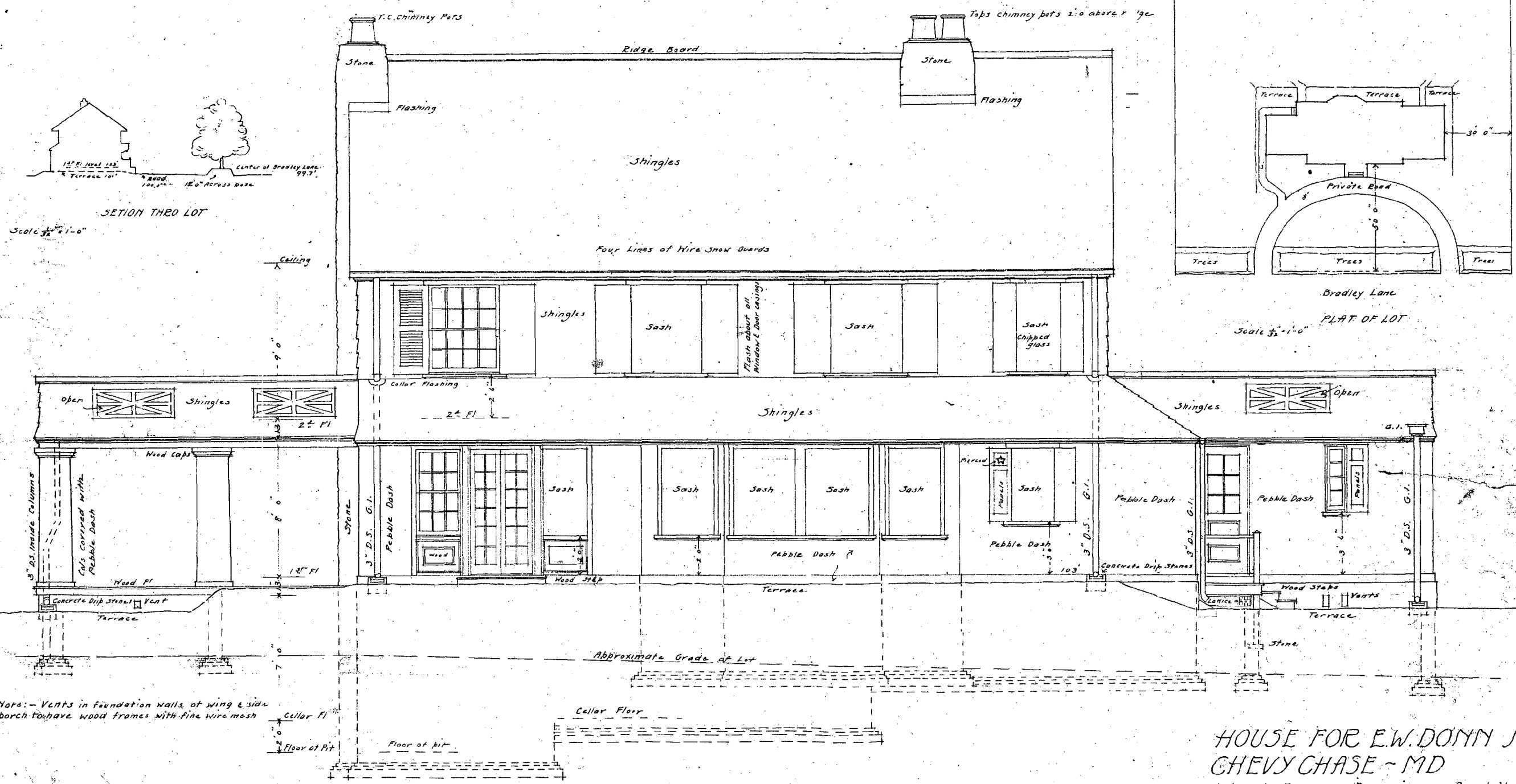
Note: - Vents in foundation walls of side wing and porch to be provided wood frames with fine wire mesh

Scale 1/4" = 1'-0"

FRONT ELEVATION

HOUSE FOR E.W. DONN JR.  
 CHEVY CHASE - MD.  
 Wood Donn & Deming - Architects  
 Washington D.C.

25

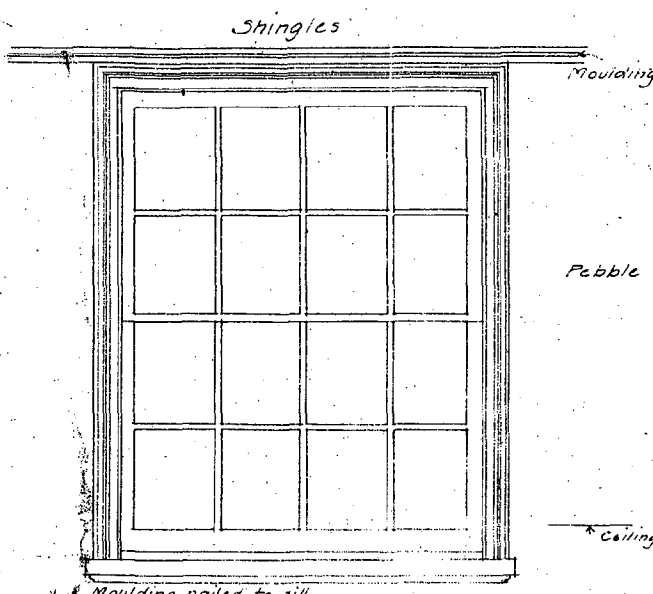


Note: - Vents in foundation walls of wing & side porch to have wood frames with fine wire mesh

Scale  $\frac{1}{4}" = 1'-0"$

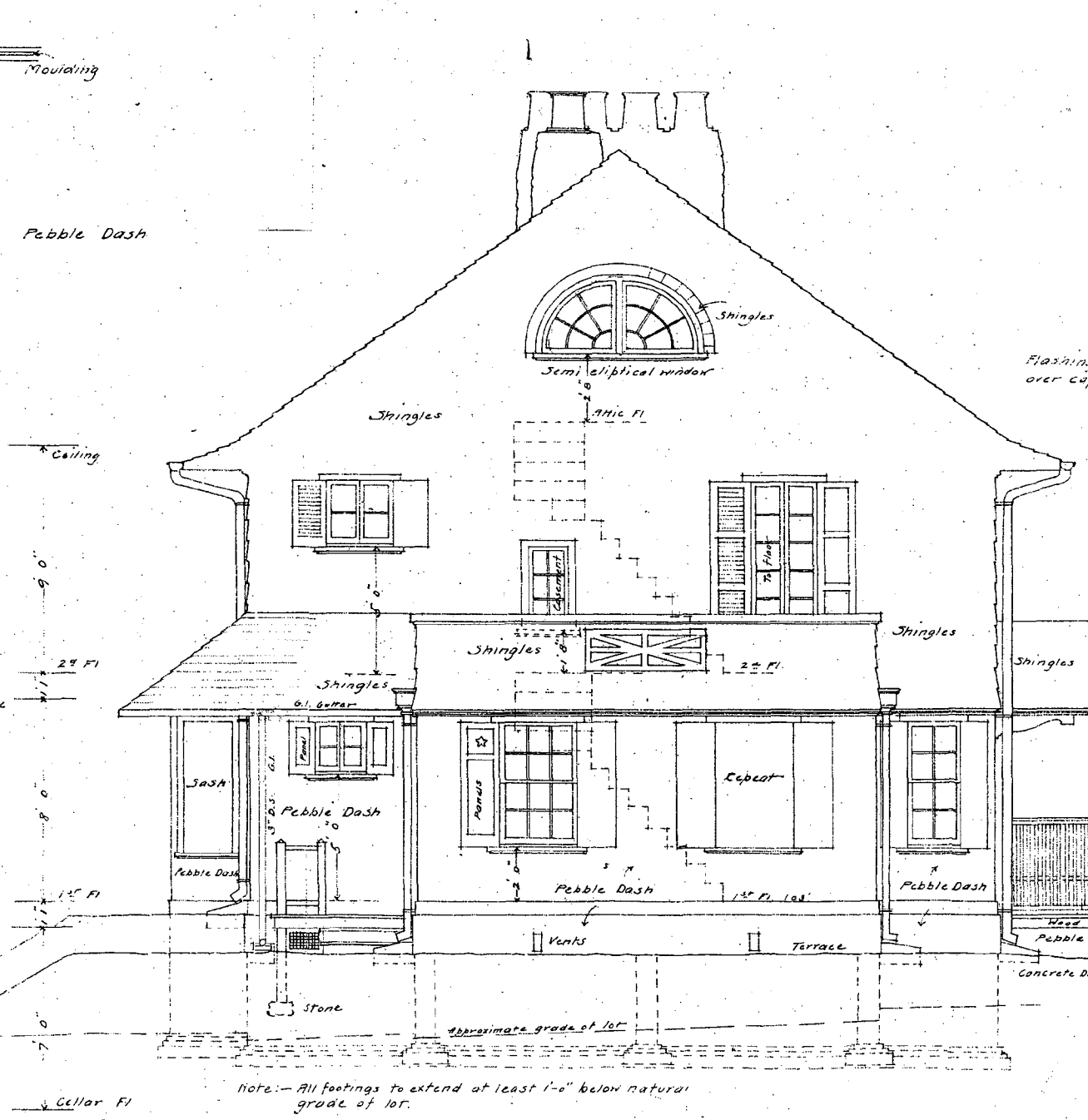
REAR ELEVATION

HOUSE FOR E.W. DONN JR  
 CHEVY CHASE - MD  
 Wood Donn & Deming - Architects  
 Washington D.C.

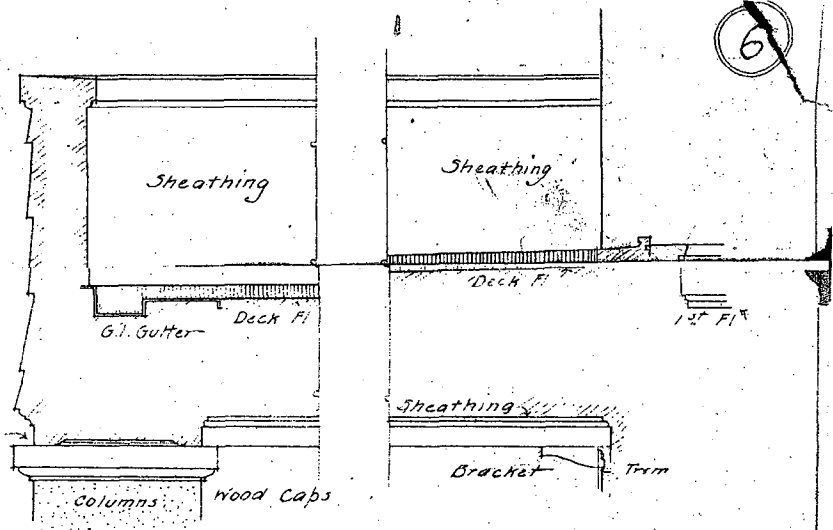


EXTERIOR ELEVATION OF WINDOW SHOWING OUTSIDE CASING - Scale  $\frac{3}{4}'' = 1'-0''$

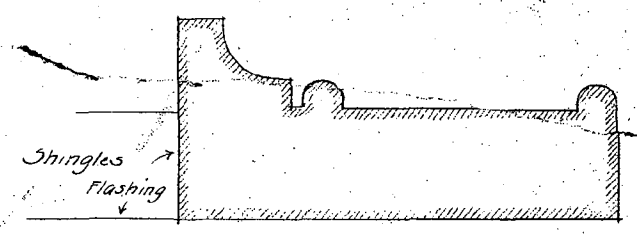
Note: - Casing about outside entrance door to be 4"  
Vents in foundation walls of wings to have wood frames with fine wire mesh



EAST ELEVATION



SECTION THRO ROOF OF SIDE PORCH Scale  $\frac{3}{4}'' = 1'-0''$



F.S. DETAIL OF CASING TO GO ABOUT WINDOWS & DOORS

Scale  $\frac{1}{4}'' = 1'-0''$

HOUSE FOR E.W. DOMY JR.  
CHEVY CHASE - MD  
Wood Donn & Deming - Architects  
Washington D.C.

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**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	3810 Bradley Lane, Chevy Chase	<b>Meeting Date:</b>	12/7/2005
<b>Applicant:</b>	Stephen Best (Stephen Muse, Architect)	<b>Report Date:</b>	11/30/2005
<b>Resource:</b>	Outstanding Resource Chevy Chase Village Historic District	<b>Public Notice:</b>	11/23/2005
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	35/15-05Z	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Addition rebuild and expansion and porch rehabilitation	<b>RECOMMENDATION:</b>	Approve

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival  
**DATE:** c.1910

Wood Donn & Deming - Architects designed this two story stucco and wood shingle residence for E.W. Donn, Jr. Although once more symmetrical, the wings were heavily altered in the 1980s. The house and patios sit on a raised terrace that steps down into the rear yard. A noncontributing garage is east of the house and is serviced by a circular pebble driveway. The front property line, save for the curb curb, is lined with Hemlocks that afford the site a great deal of privacy.

**PROPOSAL:**

The applicants are proposing a number of work items intended to rehabilitate and renovate this outstanding resource with the goal of removing and improving on the 1980s alterations. Historic plans were used as reference (Circles 32-39).

- Repair and rehabilitate the exterior of the historic portions of the house. This includes replicating a replacing an attic window in the west gable.
- The west wing will be reverted back to an open porch with optional glass panel inserts for possible year round use. The round columns will be reconstructed and the attached patio wall will either be partially or completely removed.
- The east wing will be demolished.
- A new east wing will be rebuilt with the front 8' of the historic wing reproduced. The rebuilt addition will sit back from the "historic" wing, have a gable roof, and extend approximately 16' further back into the yard (approximately at the rear of the garage). This will increase the footprint by approximately 304 SF.

- The rear west patio will be regarded and reverted to lawn. The main rear patio will remain, as will the pergola. This will remove approximately 530 SF of hard surface.
- Add two attic dormers on the rear of the house.
- Two trees will be removed. (Circle 30)

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Chevy Chase Village Historic District Guidelines***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not
- Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.
- Second or third story additions or expansions which do not exceed the footprint of the first story should be subject to moderate scrutiny, in view of the predominance of large scale houses in the Village. For outstanding resources, however, such additions or expansions should be subject to strict scrutiny if they are visible from the public right-of-way.
- Tree removal should be subject to strict scrutiny and consistent with the Chevy Chase Village Urban Forest Ordinance.
- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.

- The *Guidelines* state five basic policies that should be adhered to, including:
  - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
  - Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
  - Maintaining the variety of architectural styles and the tradition of architectural excellence.
  - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

***Secretary of the Interior's Standards for Rehabilitation:***

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- #5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Staff is supportive of this creative and thoughtful application. Rather than leaving this Outstanding Resource with its mangled wings, they have chosen to both improve on the modern addition and restore some of the architectural integrity. The applicants are fortunate to have had access to the historic plans for this property.

Staff is excited to see the round columns returned to the west wing and does not find the inclusion of removable glass panels to be inconsistent with the guidelines. Because of the historic plans, it is also appropriate to rebuild the front 6'3" of the former servants wing. The replacement addition, therefore, is set back not only from the historic house, but the rebuilt historic addition as well (Circle 11). Although the *Standards* and the *Guidelines* advocate locating additions at the rear of a property, this case is unique in that an existing addition is being replaced. The additional 300 SF are, in fact, at the rear of the property.

In this case, the replacement addition is significantly more compatible with the historic house and the District. Although the new addition is taller, the gable roof is more compatible and the ridge remains lower than the historic house. Shadow lines on the historic drawings also allude to the possibility that rear dormers were originally designed for the house. This, coupled with the lenient level of review afforded changes not visible from the public right-of-way, make the change approvable.

Of the trees proposed for removal, one is in the footprint of the addition extension and one is in danger of falling onto the house. The west patio wall is not likely to be historic and must either be removed or shortened to allow for reconstruction of the round corner column. The only other landscape change is removing the west brick patio and returning it to lawn.

Materials proposed for the project are historically appropriate to the house and district – wood shingles, stucco, and true divided light wood windows. Staff recommends a hearty approval of this application and encourages the applicants to utilize the tax credit incentives available for the rehabilitation portion of the work.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation*.

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
 301/563-3400

APPLICATION FOR  
 HISTORIC AREA WORK PERMIT

Contact Person: STEPHEN MUSE

Daytime Phone No.: 202-966-6266

Tax Account No.: 00455623

Name of Property Owner: STEPHEN BEST Daytime Phone No.: 202-986-8235

Address: 3810 BRADLEY LANE CHEVY CHASE, MD 20815  
Street Number City Street Zip Code

Contractor: TO BE DETERMINED Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: MUSE ARCHITECTS Daytime Phone No.: 202-966-6266

**LOCATION OF BUILDING/PREMISE**

House Number: 3810 Street: BRADLEY LANE

Town/City: VILLAGE OF CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE.

Lot: P12 Block: 61 Subdivision: 9

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- |   |  |  |  |   |   |   |                               |                               |
|---|--|--|--|---|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend            | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C                  | <input checked="" type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install           | <input type="checkbox"/> Wreck/Stage               | <input type="checkbox"/> Solar                           | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input checked="" type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision             | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |   | <input type="checkbox"/> Other: _____             |   |                               |                               |

CHECK ALL APPLICABLE:

1B. Construction cost estimate: \$ T.B.D.

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stephen Muse  
 Signature of owner or authorized agent  
 FOR STEPHEN MUSE, PAIA

16 NOV 2005  
 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 404108 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

# MUSE ARCHITECTS

## *Principals*

STEPHEN MUSE FAIA

WILLIAM KIRWAN AIA

## *Associates*

KUK-JA C. KIM AIA

NANCY S. MCCARREN AIA

R. WARREN SHORT AIA

11/16/05

## Best Residence

### Written Description for Historic Area Work Permit.

This residence on Bradley Lane in Chevy Chase Village was built around 1910 for E.W. Donn, Jr., the architect who designed it. It is a two story stucco and wood shingle colonial revival house in a neighborhood of comparable houses. The original house had a relatively formal symmetrical façade, with a two-story gable roofed center portion flanked by two one-story wings. The west wing was an open porch comprised of generous round columns and a flat roof. The balancing east wing was a servant's wing, which had no compositional formality to it. Hiding the flat roofs on both wings were three-foot-high parapets, shingled and punctuated by open woodwork. While the central portion of the house is original -- except for parts of the interior, which will be restored-- the wings have been significantly altered. Around 1980 the west wing's columns were removed and the porch was walled in to make an enclosed extension off of the living room. The exterior walls are a continuation of the original stucco. The east wing was removed entirely, and in its place a two-story flat roofed addition was built with little to no regard for the historical precedent connected to it.

Our proposal includes undoing the damage done by the poorly executed renovations and returning the house to at least a sympathetic version of its former self. The west wing will have its round columns reinstated, and the function of the space will revert back to its original use as a porch, with the potential for year-round use with glass infill panels between the columns. The current east wing will be removed and replaced by an updated version of what was originally there. At the front, the one-story piece with the parapet and open fretwork will return, while behind it the house's two-story functionality will remain. In this scheme it will have a gabled roof symbiotic with but secondary to the gabled roof on the original two story portion of the house; and, as in the original, the materials used will be stucco and wood shingle, the windows will be a mix of wood casement and double-hung, the gutters and downspouts will be copper, and the trim will be painted wood, with shutters matching stylistically. In this way, we hope to retain the current function of the house's modern liveability, while paying respect to the original architect's intentions for a home of integrity and historical character.

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Front elevation from driveway (west)



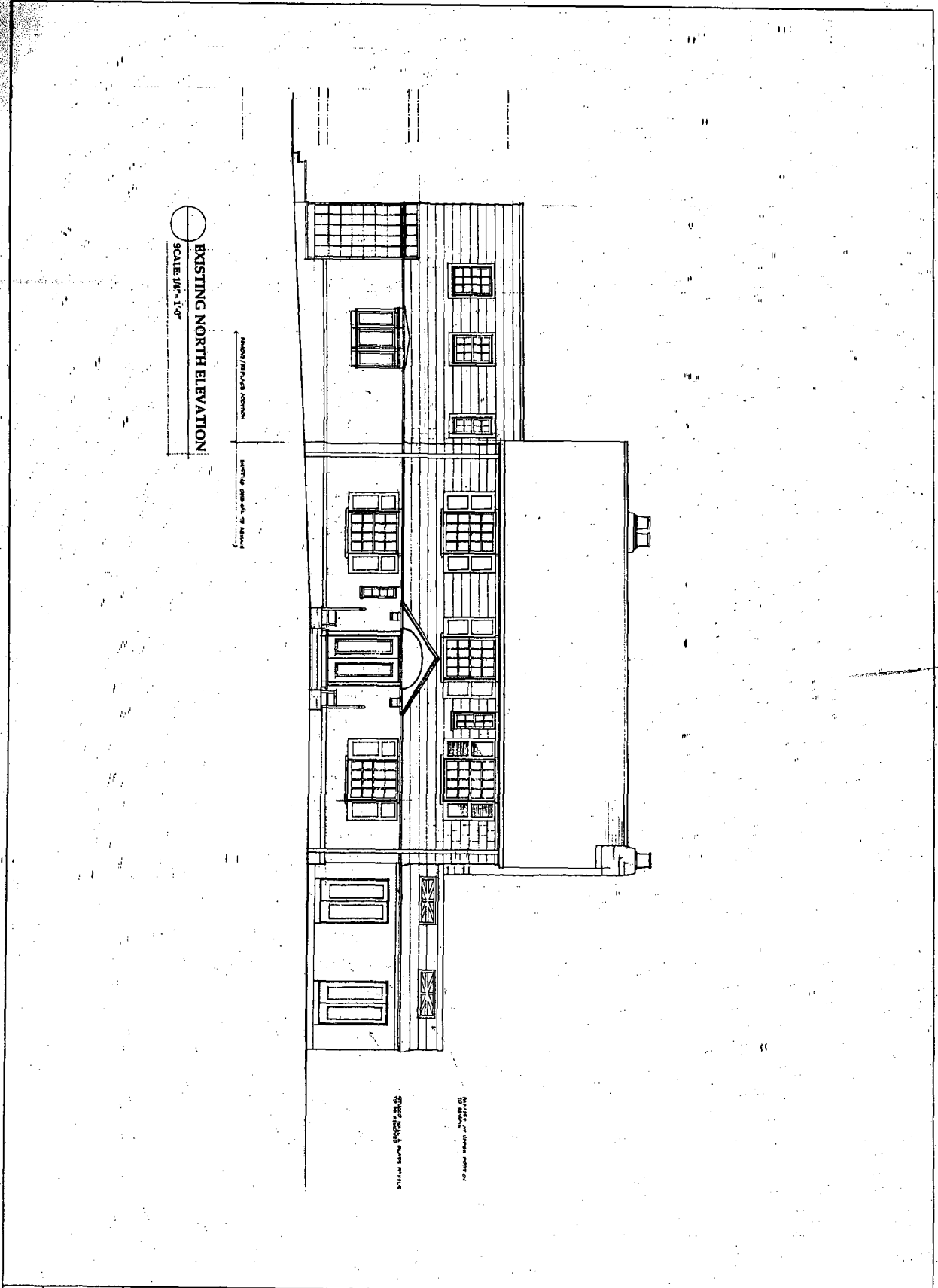
Front (north) elevation from driveway (east)







8



EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

PAVING / DRIVEWAY LOCATION

EXISTING DRIVEWAY TO DRIVE

EXISTING NORTH ELEVATION

EXISTING NORTH ELEVATION

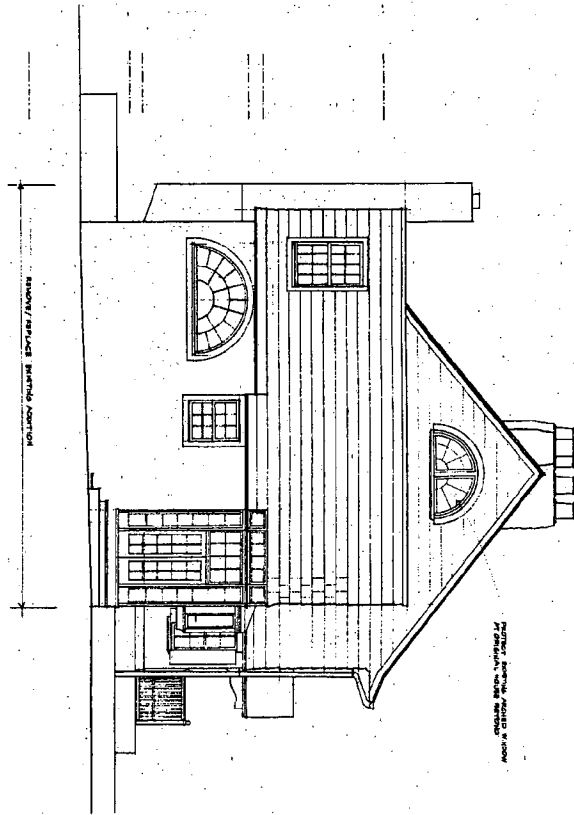
EX200	EXISTING NORTH ELEVATION SCALE: 1/4" = 1'-0"	05/10 MUSE ARCHITECTS	ADDITION TO AND RENOVATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815	MUSE ARCHITECTS 5630 Connecticut Avenue NW Phone 202.966.4266	Washington DC 20015 Facsimile 202.966.9666

8



81

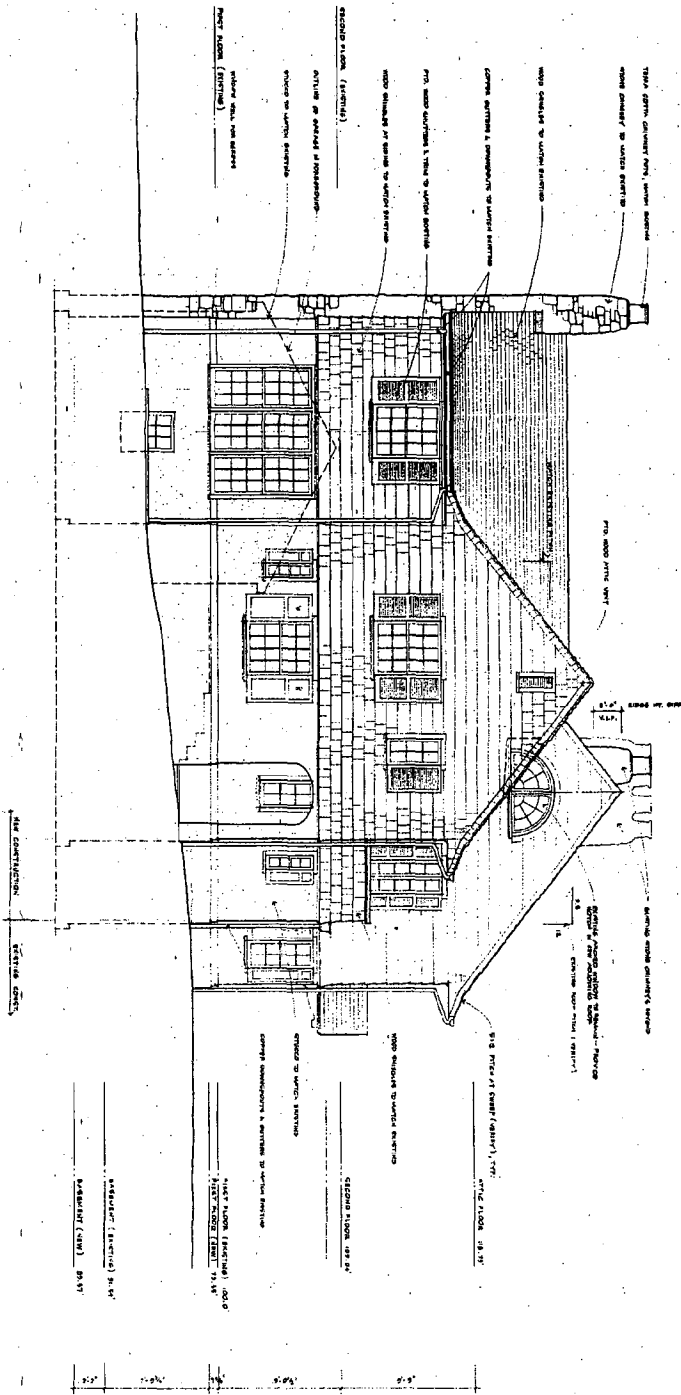
EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



EX201	EXISTING EAST ELEVATION SCALE: 1/4" = 1'-0"	05.10 MUSE ARCHITECTS	ADDITION TO AND RENOVATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815	<b>MUSE ARCHITECTS</b> 500 Connecticut Avenue NW Phone: 202.966.6266	Washington DC 20015 Facsimile: 202.966.9568

10

11



A201

EAST ELEVATION 1/4" = 1'-0"

0-2-19  
16:00:00:0000

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

MUSE ARCHITECTS

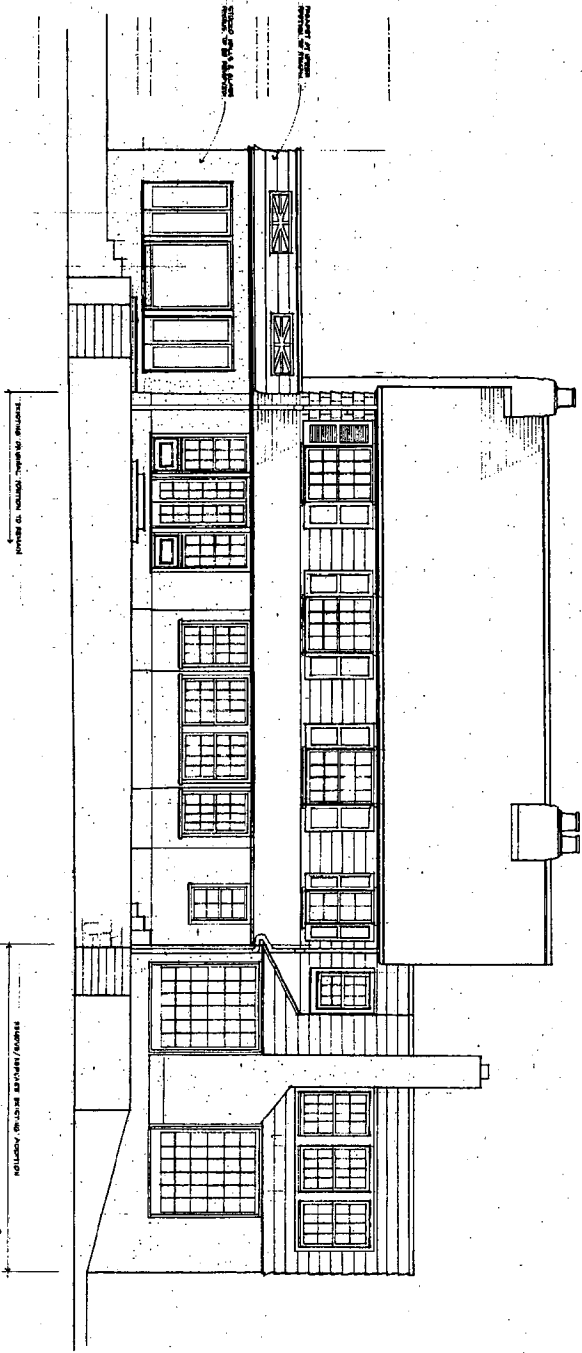
5630 Connecticut Avenue NW  
 Suite 202, 966, 6266

Washington DC 20015  
 Facsimile 202.966.9666

11

12

EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



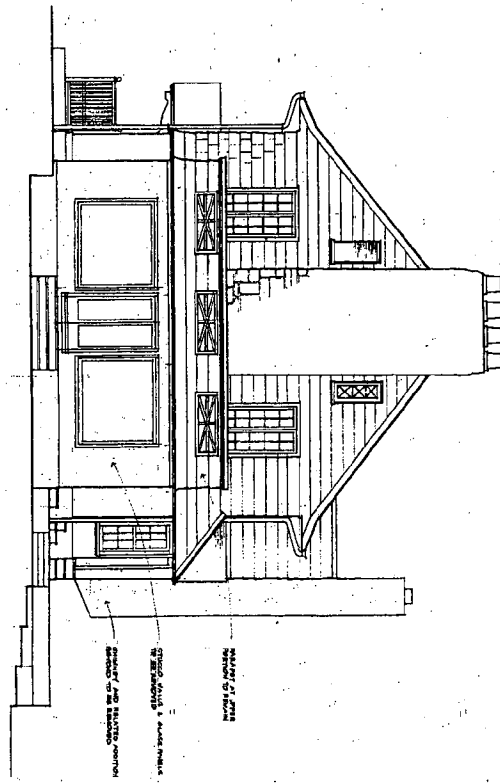
EX202	EXISTING SOUTH ELEVATION SCALE: 1/4" = 1'-0"	05.10 A. JAMES BROWN, AIA	ADDITION TO AND RENOVATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815	<b>MUSE ARCHITECTS</b> 8630 Connecticut Avenue NW Phone: 202.966.6286	Washington DC 20015 Facsimile: 202.966.9666

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h1

EXISTING WEST ELEVATION  
SCALE 1/4" = 1'-0"



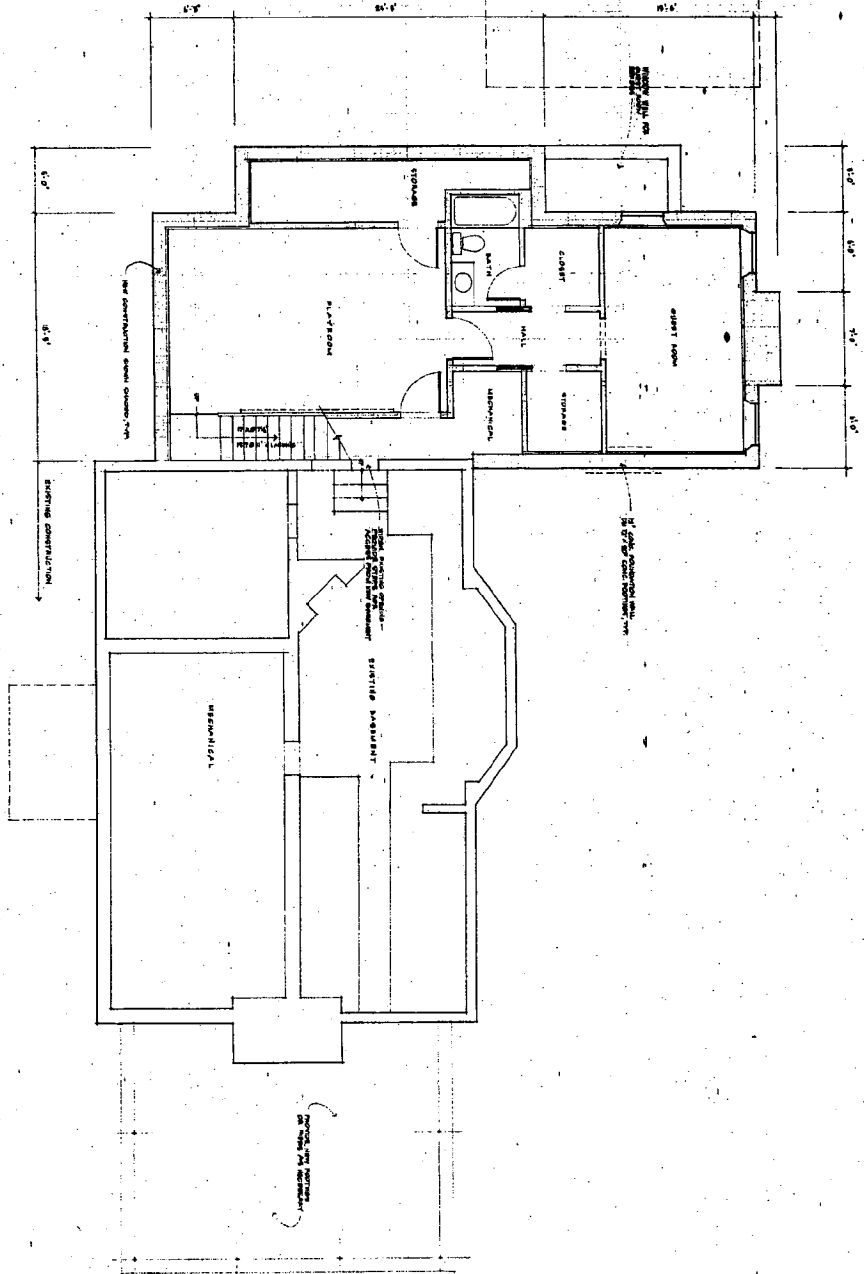
EX203	EXISTING WEST ELEVATION SCALE 1/4" = 1'-0"	05.10 K. JOHNSON ARCH.	ADDITION TO AND RENOVATION OF THE <b>BEST RESIDENCE</b> 3810 BRADLEY LANE CHEVY CHASE, MARYLAND 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Phone 202.966.6266	Washington DC, 20015 Facsimile 202.966.9666

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A100

BASEMENT PLAN 1/4"=1'-0"

DATE: 05/10  
SCALE: 1/4"=1'-0"

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
 3810 BRADLEY LANE CHEVY CHASE, MD 20815

MUSE ARCHITECTS

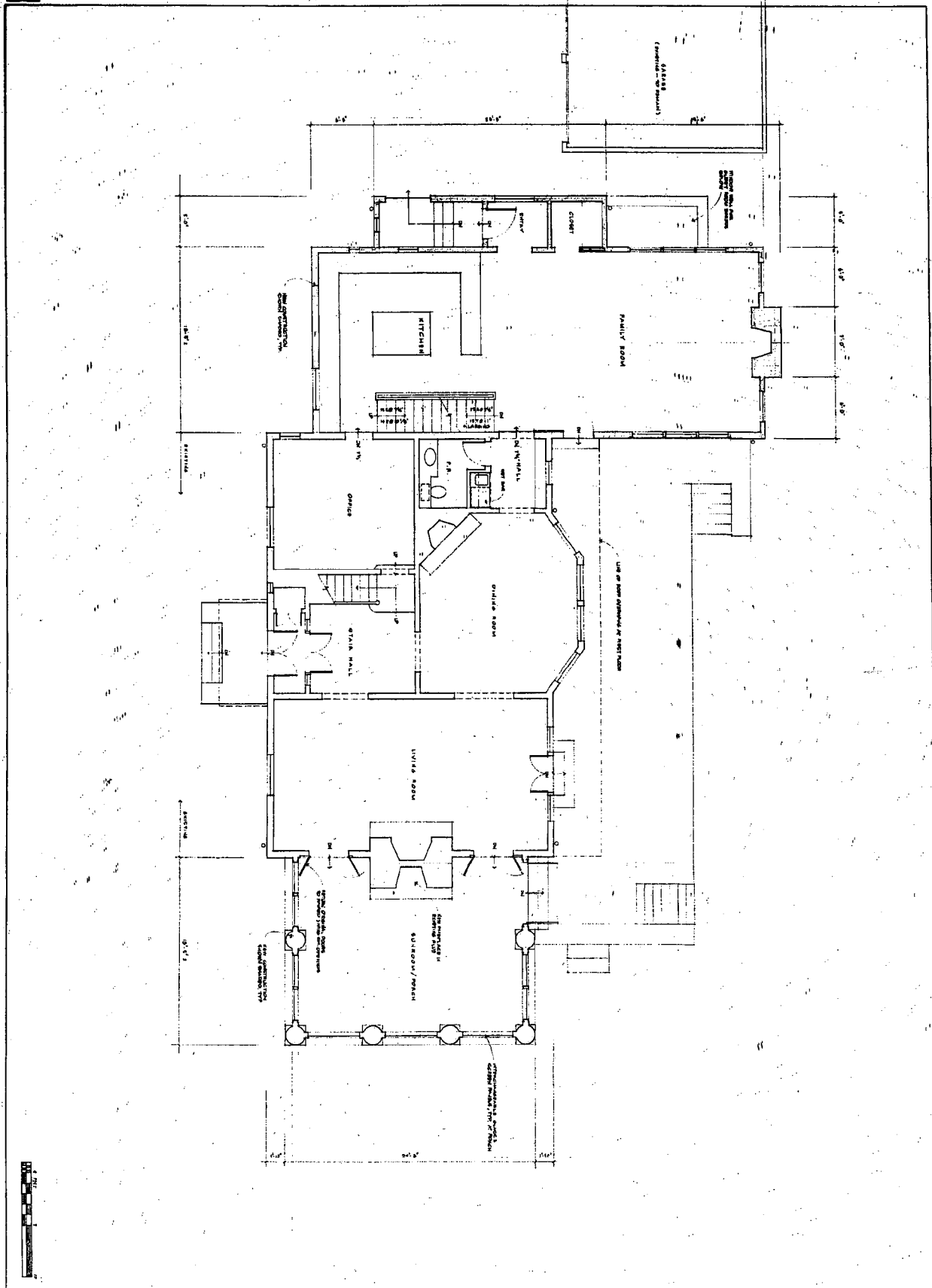
5630 Connecticut Avenue NW  
Phone 202.966.6266

Washington DC 20015  
Facsimile 202.966.9666

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REVISIONS: 1. 10/12/07  
2. 10/12/07  
3. 10/12/07



A101

FIRST FLOOR PLAN 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

ADDITION TO & ALTERATION OF THE  
**BEST RESIDENCE**  
3810 BRADLEY LANE CHEVY CHASE, MD 20815

**MUSE ARCHITECTS**

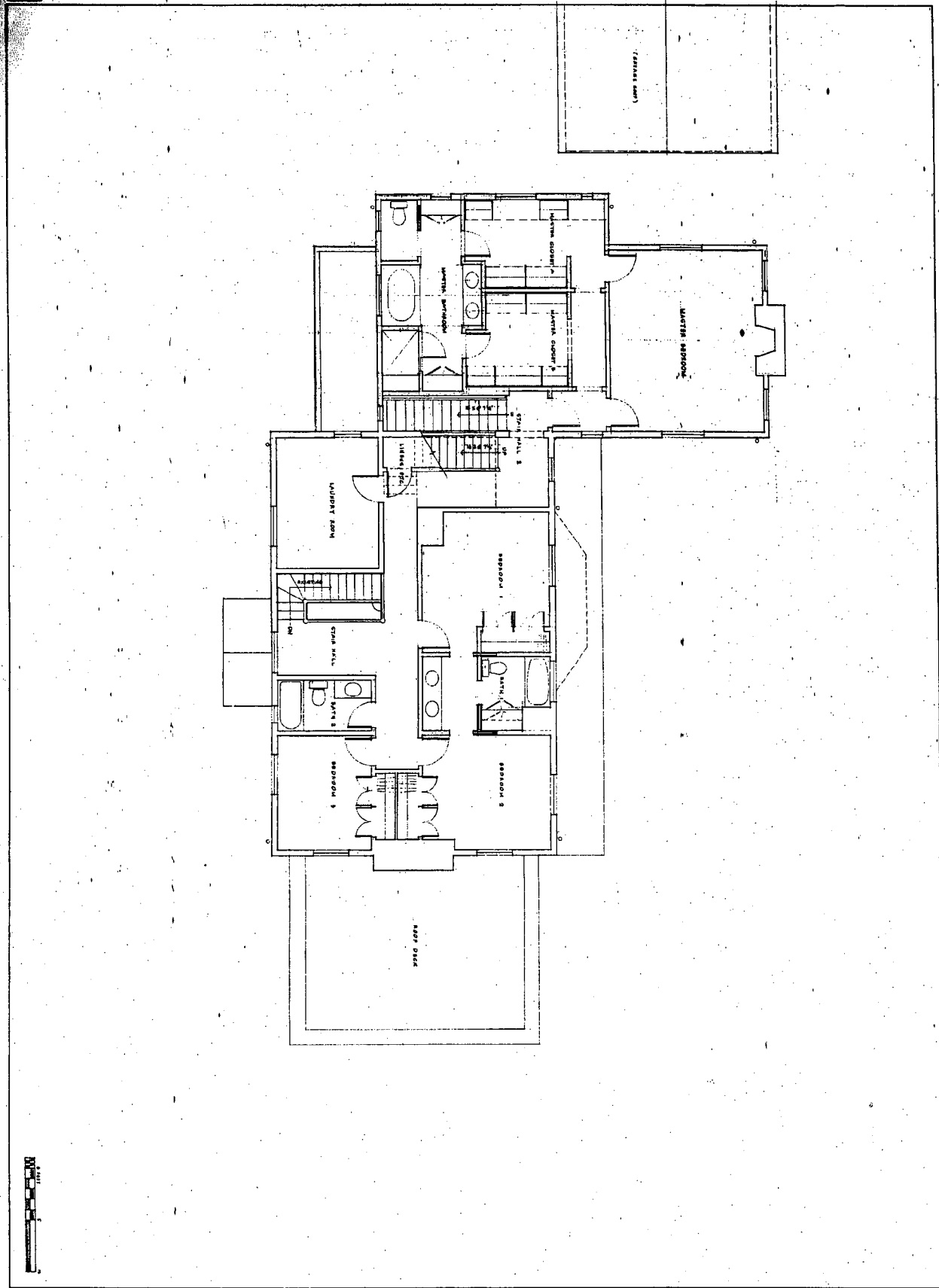
5630 Connecticut Avenue NW  
Phone 202.966.6266

Washington DC 20015  
Facsimile 202.966.9666

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PROFESSIONAL SEAL - REGISTERED ARCHITECT



A102	SECOND FLOOR PLAN 1/8" = 1'-0"	DATE: 10/1/03	ADDITION TO & ALTERATION OF THE <b>BEST RESIDENCE</b> 3610 BRADLEY LANE CHEVY CHASE, MD 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Washington DC 20015 Phone: 202.966.6266 Facsimile: 202.966.9666
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Front elevation from public right-of-way



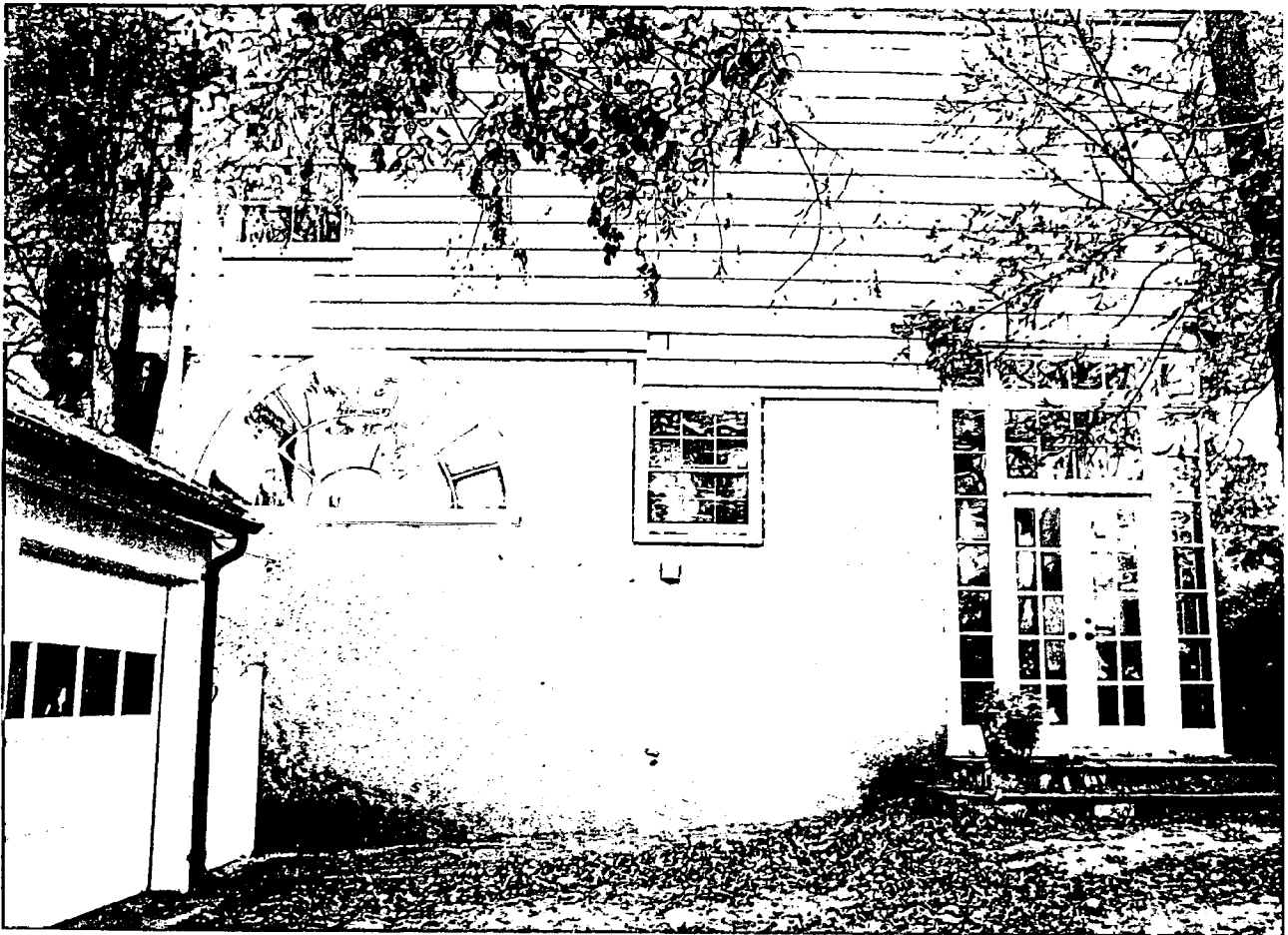
Detail, north elevation of existing addition



Detail, northeast corner of existing addition



Detail, northeast corner of existing addition



Detail, east elevation of existing addition



Detail, southeast corner of existing addition



Rear (southeast) elevation from yard



Rear (southwest) elevation from yard





Detail, southwest corner of one-story portion



Detail, south elevation of existing one-story portion



Detail, west elevation of one-story portion



Detail, northwest corner one-story portion



3807 Bradley Lane



3815 Bradley Lane

(27)



3804 Bradley Lane



1 Quincy Street



5 Quincy Street



11 Quincy Street

(2)

# CHEVY CHASE VILLAGE

5906 Connecticut Avenue  
Chevy Chase, Maryland 20815  
(301) 654-7300

## TREE REMOVAL PERMIT

*Permit Number: 1524*

*Date Issued: November 8, 2005*

*Expires: November 8, 2006*

*Name of Property Owner:* Stephen and Kristen Best  
*Address of Construction:* 3810 Bradley Lane  
Chevy Chase, Maryland 20815

*Contractor:* To be determined.  
*Contact Person:* Muse Architects  
*Phone Number:* (202) 966-6266

### WORK TO BE DONE

*Number of Trees to be Removed:* Two (2)  
*Diameter, Species, Location:* 33.0-inch diameter Cedar—rear yard, left of house  
35.0-inch diameter Buckeye—front yard, left of house

### SPECIAL CONDITIONS

- Work must be completed by **November 8, 2006**.
- All debris must be hauled away by Contractor.
- Posting of commercial signs is prohibited.

*Permit Fee:* \$50.00

*Appeal Fee:* \$0.00

*Fines:* N/A

*Total Fees Due:* \$50.00 (PAID)

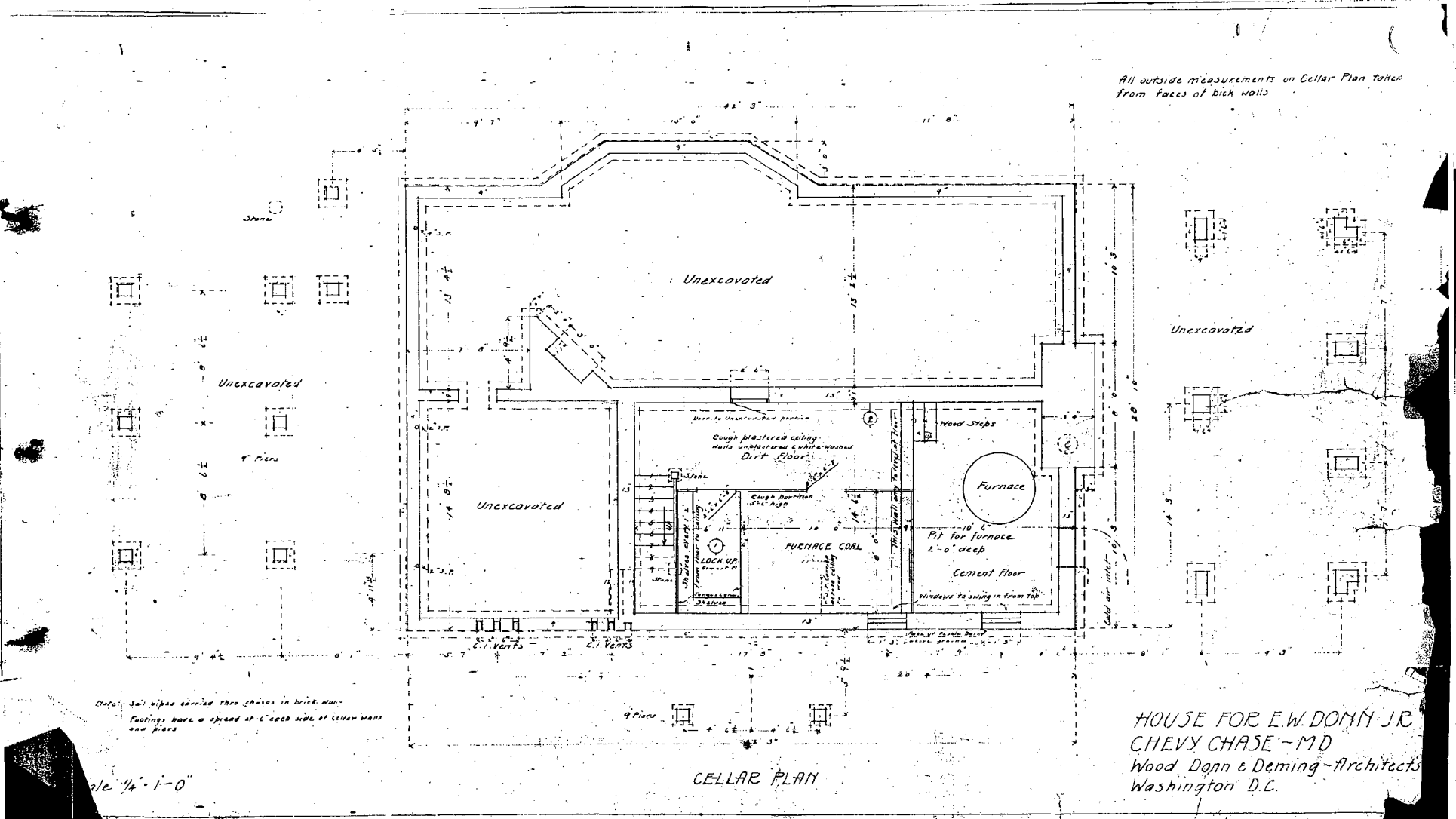
**THIS PERMIT MUST BE POSTED**

30

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Stephen Best 3810 Bradley Lane Chevy Chase, Maryland 20815	Muse Architects 5630 Connecticut Ave. Washington, DC 20015 Attn: Stephen Muse
<p align="center"><b>Adjacent and confronting Property Owners</b> mailing addresses From Maryland Department of Assessments and Taxation <a href="http://www.dat.state.md.us">www.dat.state.md.us</a></p>	
Peter Terpeluk, Jr. PSC 9 Box 9500 APO AE 09123-9998  (3815 Bradley Lane)	Elinor L Horwitz 3807 Bradley Lane Chevy Chase, Maryland 20815
Robert H. Fogarty 3804 Bradley Lane Chevy Chase, Maryland 20815	James R. Worsley, Jr. 11 Quincy Street Chevy Chase, Maryland 20815
Leslie J. Goldman 5 Quincy Street Chevy Chase, Maryland 20815	B. Francis Saul, II 1 Quincy Street Chevy Chase, Maryland 20815

All outside measurements on Cellar Plan taken from faces of brick walls



Unexcavated

Unexcavated

Unexcavated

Note: Sill plates carried thru chases in brick walls  
Footings have a spread of 4" each side of cellar walls and piers

Scale 1/4" = 1'-0"

CELLAR PLAN

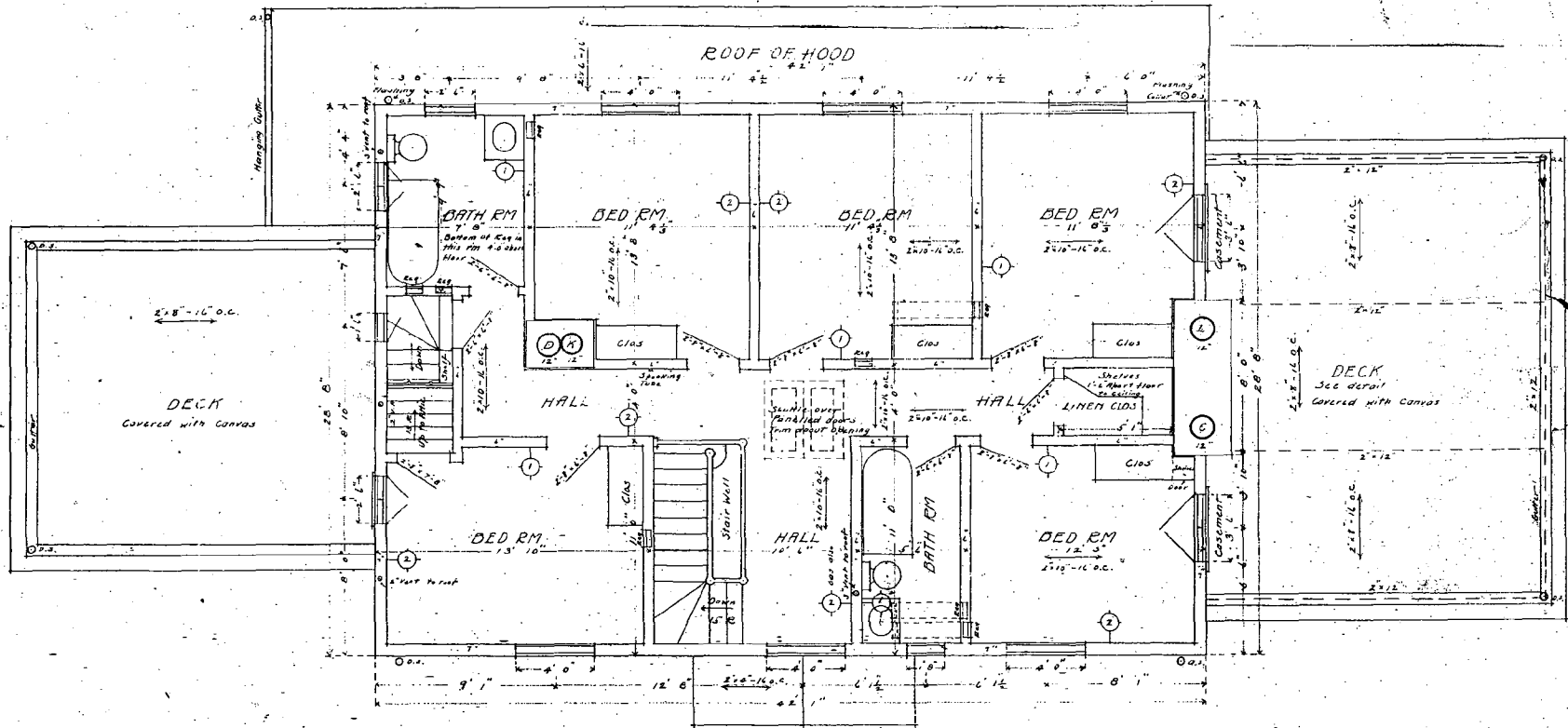
HOUSE FOR E.W. DONN JR.  
CHEVY CHASE - MD  
Wood, Donn & Deming - Architects  
Washington D.C.

32





Note: Outside measurements taken from faces of Pebble Dash



PLAN OF SOFFIT OF HOOD OVER FRONT ENTRANCE

SECOND FLOOR PLAN

Scale 1/4"=1'-0"

HOUSE FOR E.W. DONN JR  
CHEVY CHASE - MD  
Wood Donn & Deming - Architects  
Washington D.C.



Note: - Vents in foundation walls of side wing and porch to be provided wood frames with fine wire mesh

Scale 1/4" = 1'-0"

FRONT ELEVATION

HOUSE FOR E.W. DONN JR.  
 CHEVY CHASE - M.D.  
 Wood Donn & Deming - Architects  
 Washington D.C.

75

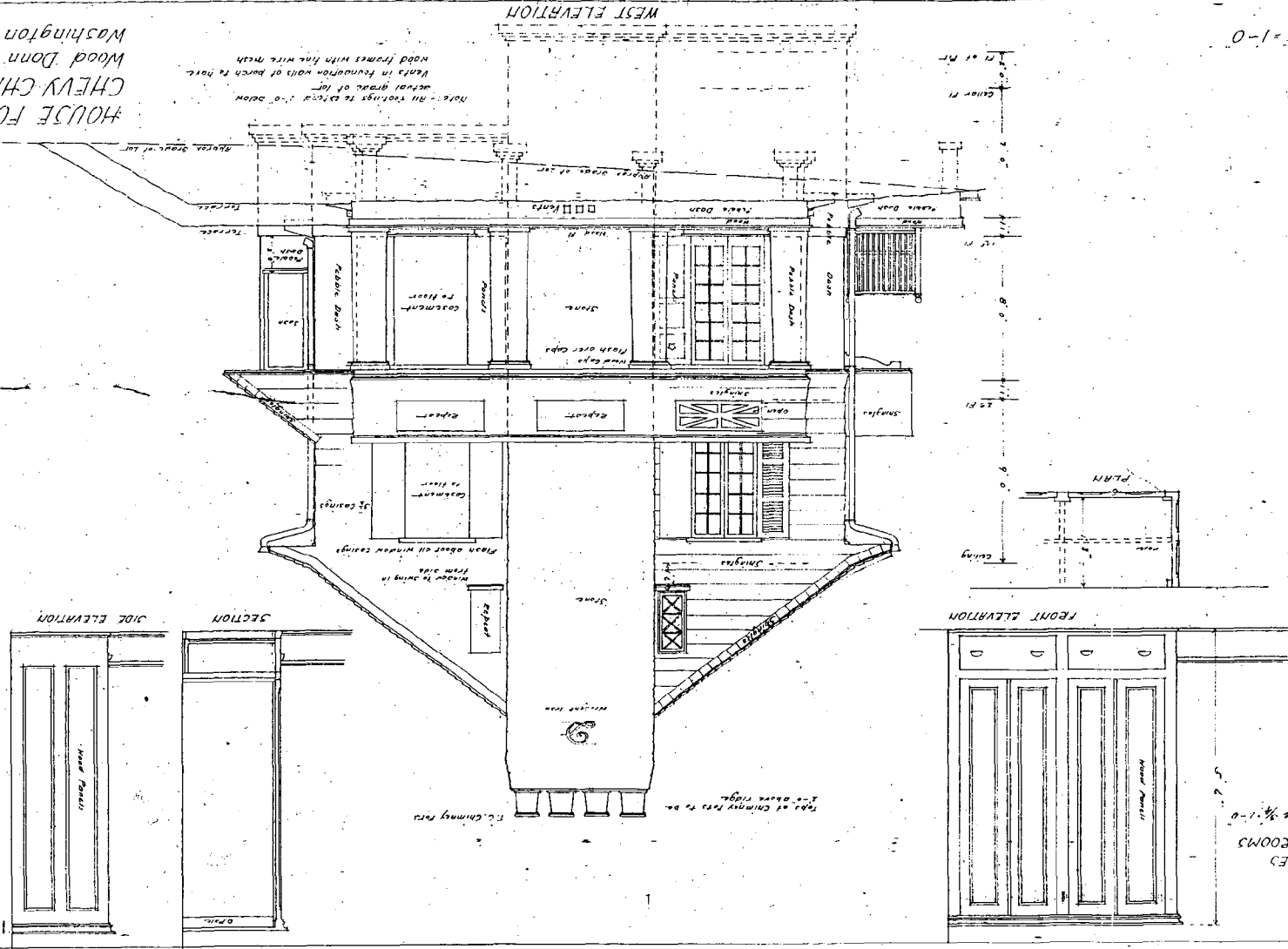




36

HOUSE FOR E.W. DOWN JR.  
CHEVY CHASE - M.D.  
Wood, Donn & Deming - Architects  
Washington D.C.

Scale 1/4" = 1'-0"

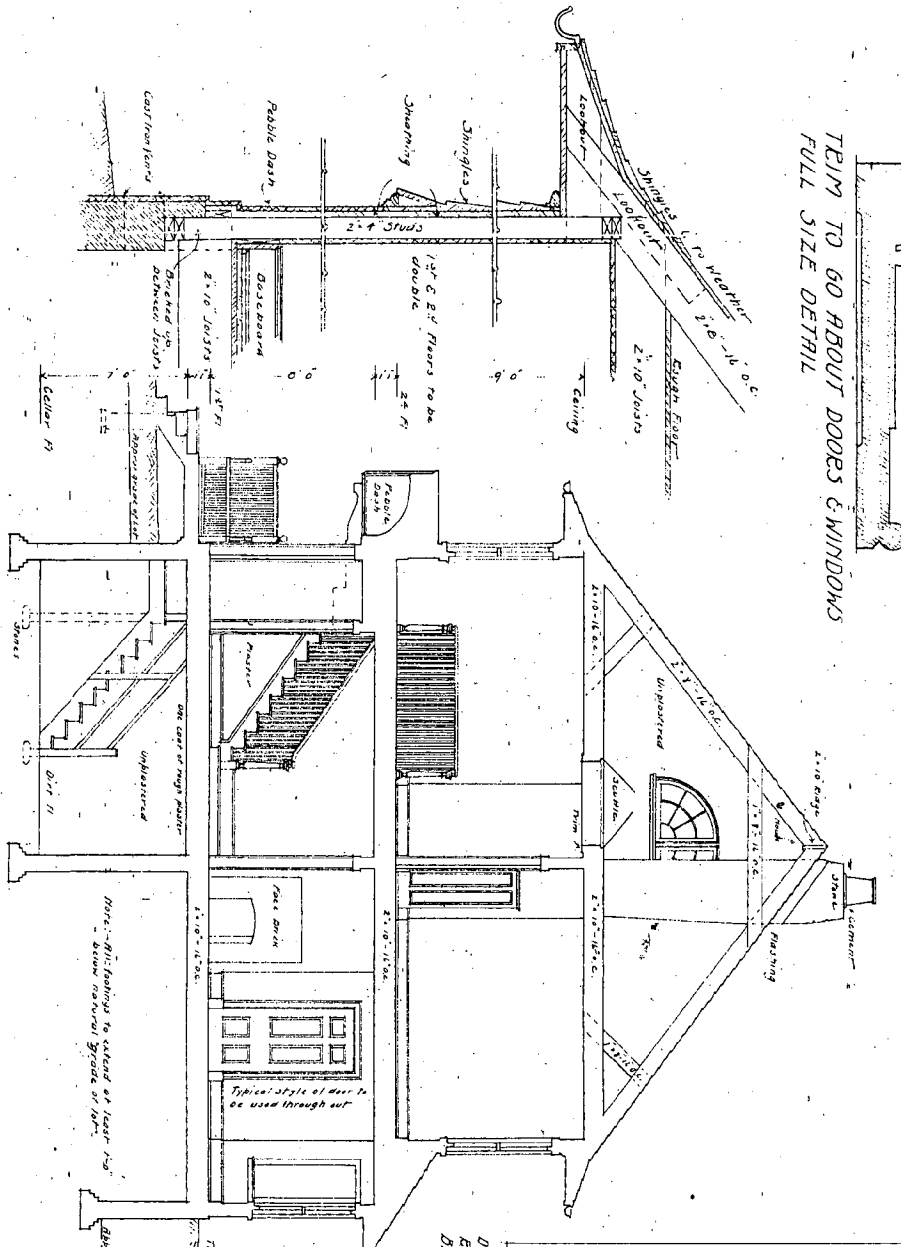


DRAWING OF CLOTHES  
CLOSETS IN BED ROOMS  
Scale 3/4" = 1'-0"

DRAWING OF CLOTHES  
CLOSETS IN BED ROOMS  
Scale 3/4" = 1'-0"

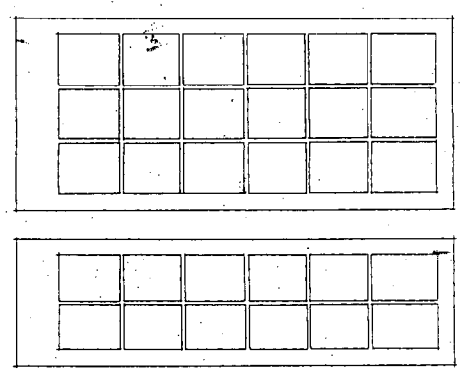
7

TEEM TO GO ABOUT DOORS & WINDOWS  
FULL SIZE DETAIL

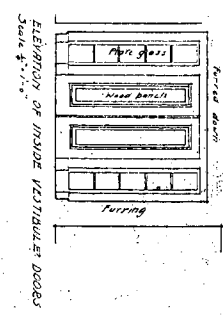


SECTION THRO FRONT WALL  
Scale 3/4" = 1'-0"

SECTION  
Scale 3/4" = 1'-0"



DOORS BETWEEN DINING ROOM & LIVING ROOM AND HALL & DINING ROOM  
Scale 3/4" = 1'-0"



ELEVATION OF INSIDE VERTICAL DOORS  
Scale 3/4" = 1'-0"

Note: - French plate glass mirrors set in between muntins each side of doors where shown - Doors between Hall and Living Room glazed with #1 double thick American Selected

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