

B720? Bradley Lane, Chevy Chase
35/13-07 Z

08/07

Final (stamped) permit
drawings are in
Josh's office.



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 8/16/2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner *(JRS)*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #460634, side addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the August 15, 2007 meeting.

- 1. The applicant will work with the Chevy Chase Village arborist to identify if a tree protection plan is needed for the proposed work. If required, the plan will be implemented prior to any work beginning on the property.*
- 2. Aluminum clad windows are not approved. All windows must be constructed of painted wood. (Details to be shown on permit set of drawings).*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Earle Silber & Judith Silber

Address: 3720 Bradley Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3720 Bradley Lane, Chevy Chase	Meeting Date:	8/15/2007
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	8/8/2007
Applicant:	Earle and Judith Silber	Public Notice:	8/1/2007
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-07Z	Staff:	Josh Silver
PROPOSAL:	Side addition		

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following conditions:

- The applicant will work with the Chevy Chase Village arborist to identify if a tree protection plan is needed for the proposed work. If required, the plan will be implemented prior to any work beginning on the property.
- Aluminum clad windows are **not** approved. All windows must be constructed of painted wood. (Details to be shown on permit set of drawings).

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1916-1927

The subject house is a three bay, 2 -story, side gabled, Colonial Revival dwelling. The exterior of the house is sheathed in wood clapboard siding and is set upon a brick foundation. An exterior end brick chimney details the east façade. The windows are 8/8 double-hung windows, and flanked with operable paneled shutters, and two small 4/4 double-hung windows flanked by a single operable shutters are located above the central entryway. The front façade of the house is detailed with a recessed arched entry containing a starburst transom, and two four-light sidelights on the lower panel.

The current lot also contains a contributing garage structure, which is located in the southeast corner of the rear yard. The garage is accessed by a driveway, which runs along the east side of the house. The subject lot also contains several mature Oak and Maple trees.

HISTORIC CONTEXT

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and

architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

PROPOSAL:

The applicant is proposing minor exterior alterations to the subject property. They wish to construct a one-story, 3' x 4' side addition on the eastside (front) of the existing house, which will enclose an existing covered entry. The current entry is accessed by a set of brick stairs, leading to a brick landing. The addition will enclose this covered entry by constructing its framing system upon an existing brick landing. The entry's existing hipped roof structure will remain. Construction of the addition will require the removal of a 3'2" section of the existing exterior wall, removal of the existing non-historic masonry steps, and one non-original door.

The applicant is also proposing to remove one paired window at the rear of the house, lower the sill and replace it with a new window. A single double-hung window on the east elevation will also be removed, raising the sill and installing a fixed casement triple window.

APPLICABLE GUIDELINES:

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if not.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Commission's main objectives when reviewing additions and alterations to contributing resources within the Chevy Chase Village Historic District is to ensure that the addition or alteration will not have a negative impact on the original features of the house. Additionally, it is important to analyze its

potential impact with the other historic resources in the district and the surrounding streetscape in terms of setbacks, massing, scale, proportion, height and materials. Staff is supportive of the proposed side addition for the following reasons:

- The original roof form of the existing house will remain intact.
- The proposed design keeps within the architectural style of the existing house.
- There will be no increase to the existing lot coverage.
- The proposed addition stays within the existing footprint.
- The original massing of the house will be preserved.
- The proposed addition keeps within the rhythm of the streetscape and maintains the existing setback.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Jeffrey Hains, AIA Architect

Daytime Phone No.: 301-587-5570, ext 223

Tax Account No.: 00457792

Name of Property Owner: Earle & Judith Silber Daytime Phone No.: 301-656-6350

Address: 3720 Chevy Chase Bradley Lane 20815
Street Number City State Zip Code

Contractor: Residential Resource, Tom Stalheber Phone No.: 301-652-6616

Contractor Registration No.: 89141

Agent for Owner: Jeffrey Hains, AIA Hains Architects Daytime Phone No.: 301-587-5570, ext 223

LOCATION OF BUILDING/PREMISE

House Number: 3720 Street: Bradley Lane

Town/City: Chevy Chase Nearest Cross Street: Georgia Street

Lot: Part Lot 23 Block: 61 Subdivision: 9

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Stab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other:

1B. Construction cost estimate: \$ 50,000.00

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

6.18.07 Date

Approved: [Signature]

Disapproved: Signature: [Signature] Date: 8/16/07

Application/Permit No.: 460634 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

3720 Bradley Lane is a Colonial Revival style house built in 1923. The center hall plan originally featured a screen porch off the living room with a sleeping porch on the second floor. Exterior features brick/block foundation, wood bevel siding, 6 over 6 wood double hung sash windows. Entry features an elongated arched transom window and sidelights. The property is a quarter-acre with a detached garage and several mature Oak & Maple trees, lawn and landscaping. The home has had two additions in 1969 & 1988. In 1969 the first floor screen porch was enclosed and floor area expanded to create a study. A open side entry with covered roof was built. Materials of expansion matched original brick, wood siding and sash window. Original slate roof has been replaced with asphalt shingle roofing.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The owner's wish to renovate the study previously completed in 1969. The project is predominantly interior remodeling of the study and powder room on the main level. A small addition, approx. 3 feet by 4 feet, located on the front-east side of the house is proposed. The addition fills the space under the present covered roof of the side entry and sets back 5'-6" from the front facade plane. I believe the addition has little architectural impact (see photo's) on facade and overall environmental setting.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

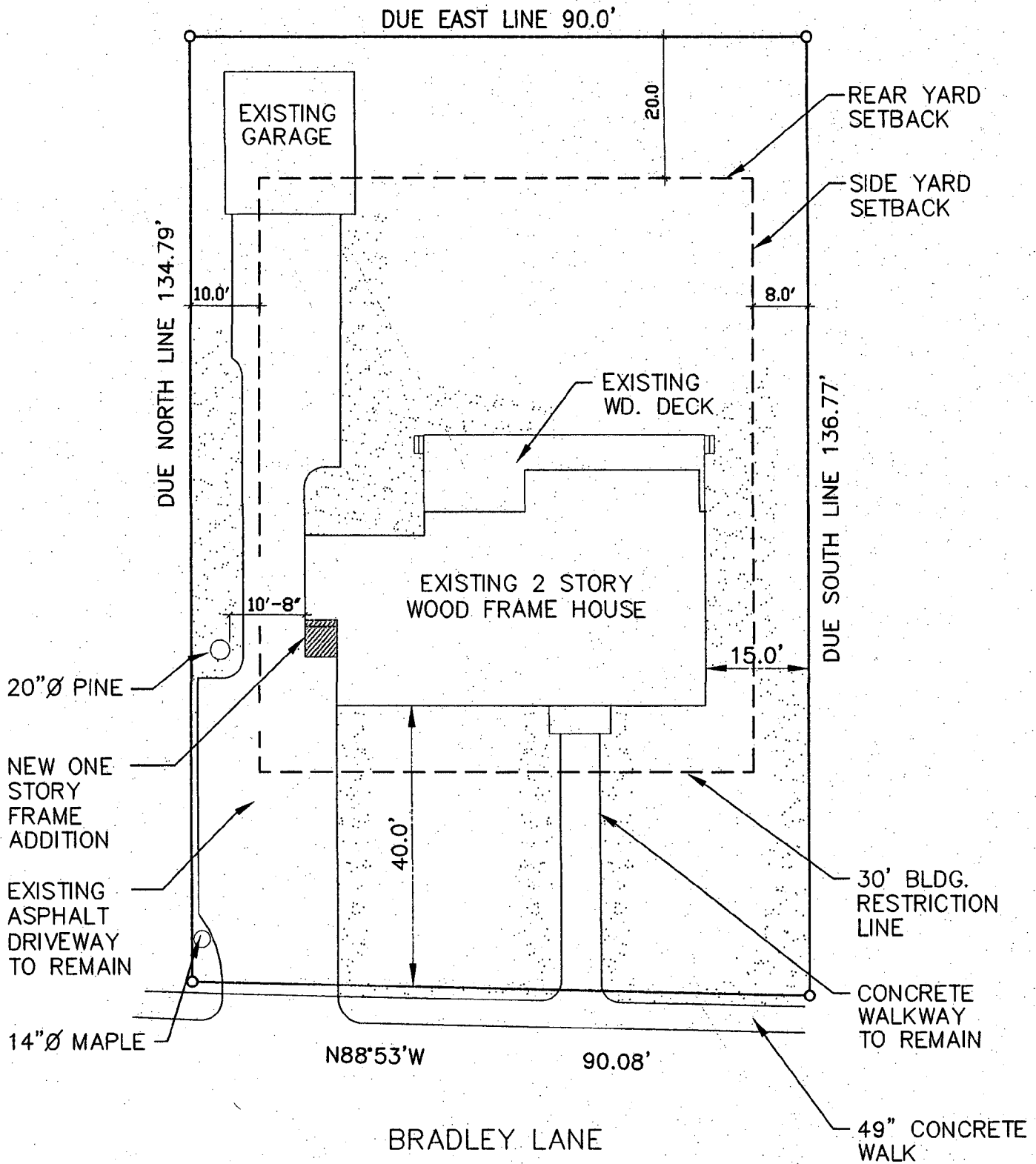
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address EARLE & JUDITH SILBER 3720 BRADLEY LN. CHEVY CHASE, MD. 20815</p>	<p>Owner's Agent's mailing address JEFFREY HAINS, AIA HAINS ARCHITECTS 1400 SPRING ST. SUITE 340 SILVER SPRING, MD 20910</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>JOHN & LIBBY OLSON 3719 BRADLEY LN. CHEVY CHASE, MD. 20815</p>	<p>ROLLIE & MATTIE OLSON 3718 BRADLEY LN. CHEVY CHASE, MD. 20815</p>
<p>CAROL MUGG 3717 BRADLEY LN. CHEVY CHASE, MD. 20815</p>	<p>GREGORY HARRINGTON & JUNE DRUMMOND 3800 BRADLEY LN. CHEVY CHASE, MD. 20815</p>

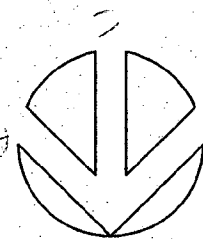


SILVER RESIDENCE
3720 BRADLEY LANE

2
CS

SITE PLAN

1" = 20'

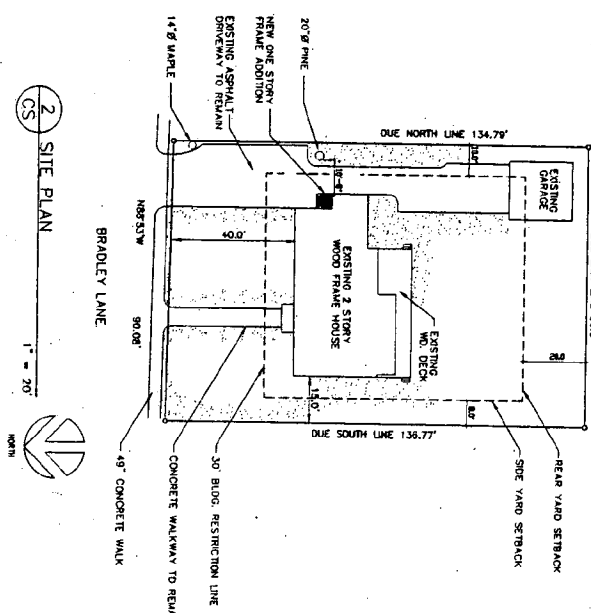


NORTH

8

Contractor shall comply with the requirements of the local building department and shall be responsible for obtaining all necessary permits and for paying the applicable fees. The Contractor shall be responsible for obtaining all necessary permits and for paying the applicable fees. The Contractor shall be responsible for obtaining all necessary permits and for paying the applicable fees. The Contractor shall be responsible for obtaining all necessary permits and for paying the applicable fees.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING THE APPLICABLE FEES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING THE APPLICABLE FEES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING THE APPLICABLE FEES.



CODE INFORMATION

101 COVER SHEET	8-40	REAR YARD SETBACK	8-4
102 COVER SHEET	8-40	REAR YARD SETBACK	8-4
103 COVER SHEET	8-40	REAR YARD SETBACK	8-4
104 COVER SHEET	8-40	REAR YARD SETBACK	8-4
105 COVER SHEET	8-40	REAR YARD SETBACK	8-4
106 COVER SHEET	8-40	REAR YARD SETBACK	8-4
107 COVER SHEET	8-40	REAR YARD SETBACK	8-4
108 COVER SHEET	8-40	REAR YARD SETBACK	8-4
109 COVER SHEET	8-40	REAR YARD SETBACK	8-4
110 COVER SHEET	8-40	REAR YARD SETBACK	8-4

INDEX OF DRAWINGS

CS	COVER SHEET	
A-1	FIRST FLOOR PLAN	
A-2	PROPOSED FIRST FLOOR PLAN	
A-3	PROPOSED EXTERIOR ELEVATIONS	
A-4	FIRST FLOOR STRUCTURAL RCP & BUILDING CROSS SECTION	
A-5	PROPOSED FIRST FLOOR FAMILY ROOM INTERIOR ELEVATIONS	
A-6	PROPOSED FIRST FLOOR FAMILY ROOM BATHROOM	
E-1	PROPOSED ELECTRICAL FLOOR PLAN	

ABBREVIATIONS

AC	ACRYLIC FINISH	AC	ACRYLIC FINISH
AD	ADHESIVE	AD	ADHESIVE
AG	AGGREGATE	AG	AGGREGATE
AI	ANODIZED ALUMINUM	AI	ANODIZED ALUMINUM
AL	ALUMINUM	AL	ALUMINUM
AS	ASBESTOS	AS	ASBESTOS
AT	ASTM	AT	ASTM
AV	AIR VENT	AV	AIR VENT
B	BATHROOM	B	BATHROOM
BR	BROWN	BR	BROWN
BS	BEST PRACTICE	BS	BEST PRACTICE
BT	BUTTON TIE	BT	BUTTON TIE
BU	BUILDING	BU	BUILDING
CA	CALIFORNIA	CA	CALIFORNIA
CB	CONCRETE BLOCK	CB	CONCRETE BLOCK
CC	CONCRETE CURB	CC	CONCRETE CURB
CD	CONCRETE DECK	CD	CONCRETE DECK
CE	CONCRETE ELEMENT	CE	CONCRETE ELEMENT
CF	CONCRETE FINISH	CF	CONCRETE FINISH
CG	CONCRETE GROUT	CG	CONCRETE GROUT
CH	CHANGING ROOM	CH	CHANGING ROOM
CI	CONCRETE INTERIOR	CI	CONCRETE INTERIOR
CJ	CONCRETE JOIST	CJ	CONCRETE JOIST
CK	CONCRETE KITCHEN	CK	CONCRETE KITCHEN
CL	CONCRETE LATH	CL	CONCRETE LATH
CM	CONCRETE MASONRY	CM	CONCRETE MASONRY
CMU	CONCRETE MASONRY UNIT	CMU	CONCRETE MASONRY UNIT
CO	CONCRETE OPERABLE	CO	CONCRETE OPERABLE
CP	CONCRETE PANEL	CP	CONCRETE PANEL
CQ	CONCRETE QUARTZ	CQ	CONCRETE QUARTZ
CR	CONCRETE REINFORCED	CR	CONCRETE REINFORCED
CS	CONCRETE SLAB	CS	CONCRETE SLAB
CT	CONCRETE TIE	CT	CONCRETE TIE
CU	CONCRETE UNDERLAYER	CU	CONCRETE UNDERLAYER
CV	CONCRETE VENT	CV	CONCRETE VENT
CW	CONCRETE WALL	CW	CONCRETE WALL
CX	CONCRETE WINDOW	CX	CONCRETE WINDOW
CY	CONCRETE YARD	CY	CONCRETE YARD
CZ	CONCRETE ZONE	CZ	CONCRETE ZONE
D	DOUBLE	D	DOUBLE
DA	DOUBLE ANGLE	DA	DOUBLE ANGLE
DB	DOUBLE BENCH	DB	DOUBLE BENCH
DC	DOUBLE CEMENT	DC	DOUBLE CEMENT
DD	DOUBLE DECK	DD	DOUBLE DECK
DE	DOUBLE ELEMENT	DE	DOUBLE ELEMENT
DF	DOUBLE FINISH	DF	DOUBLE FINISH
DG	DOUBLE GROUT	DG	DOUBLE GROUT
DH	DOUBLE HATCH	DH	DOUBLE HATCH
DI	DOUBLE INTERIOR	DI	DOUBLE INTERIOR
DJ	DOUBLE JOIST	DJ	DOUBLE JOIST
DK	DOUBLE KITCHEN	DK	DOUBLE KITCHEN
DL	DOUBLE LATH	DL	DOUBLE LATH
DM	DOUBLE MASONRY	DM	DOUBLE MASONRY
DN	DOUBLE NAIL	DN	DOUBLE NAIL
DO	DOUBLE OPERABLE	DO	DOUBLE OPERABLE
DP	DOUBLE PANEL	DP	DOUBLE PANEL
DQ	DOUBLE QUARTZ	DQ	DOUBLE QUARTZ
DR	DOUBLE REINFORCED	DR	DOUBLE REINFORCED
DS	DOUBLE SLAB	DS	DOUBLE SLAB
DT	DOUBLE TIE	DT	DOUBLE TIE
DU	DOUBLE UNDERLAYER	DU	DOUBLE UNDERLAYER
DV	DOUBLE VENT	DV	DOUBLE VENT
DW	DOUBLE WALL	DW	DOUBLE WALL
DX	DOUBLE WINDOW	DX	DOUBLE WINDOW
DY	DOUBLE YARD	DY	DOUBLE YARD
DZ	DOUBLE ZONE	DZ	DOUBLE ZONE

b

COVER SHEET

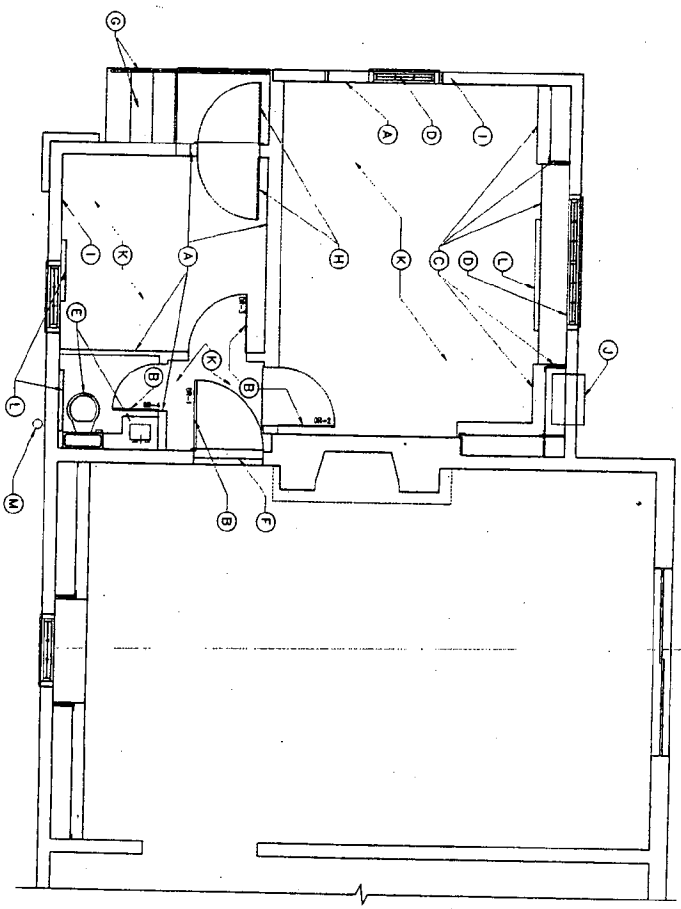
SILBER RESIDENCE
Addition & Renovation

1109 Spinn
Silber Rd
2 0
11/20/11
11/20/11

HA
ARCH

CC

1.0 INTRODUCTION
 1.1 PROJECT DESCRIPTION
 1.2 PROJECT LOCATION
 1.3 PROJECT SCOPE
 1.4 PROJECT OBJECTIVES
 1.5 PROJECT CONSTRAINTS
 1.6 PROJECT RISK
 1.7 PROJECT DELIVERABLES
 1.8 PROJECT ORGANIZATION
 1.9 PROJECT COMMUNICATION
 1.10 PROJECT MONITORING AND CONTROL
 1.11 PROJECT CLOSURE
 1.12 PROJECT APPENDICES



1 FIRST FLOOR DEMOLITION PLAN
 A1

- KEY TO DEMOLITION PLAN NOTES**
- 1 REMOVE EXISTING WALL AND COMPONENTS, REMOVE TEMPORARY SCHEDING AT REAR WALL
 - 2 REMOVE AND STORE EXISTING DOORS FOR RE-INSTALLATION (1 ROOM WALL)
 - 3 REMOVE EXISTING BATH CLOSET
 - 4 REMOVE EXISTING WINDOW
 - 5 REMOVE EXISTING PARTITION
 - 6 REMOVE EXISTING PARTITION
 - 7 REMOVE EXISTING PARTITION
 - 8 REMOVE EXISTING WOOD FLOOR TO CONC.
 - 9 REMOVE EXISTING WOODEN STAIRS & METAL PLANK DECK EXISTING BALCONY STAIR
 - 10 EXISTING DOOR TO BE FINISHED
 - 11 REMOVE EXISTING WOODWORK, CEILING TRIM & PARTITIONS
 - 12 REMOVE EXISTING TRIM-WALL, A/C UNIT
 - 13 REMOVE EXISTING W/IN, TUBING, WOOD FLOORING, AND FINISHED CEILING (INCLUDES FLOORING & END CEILING)
 - 14 REMOVE EXISTING ELECTRICAL, BACKBOARD W/PLATE
 - 15 REMOVE EXISTING SERVICE W/IRING ALONG WITH STUCK W/IRING / PLATE WORK

LEGEND

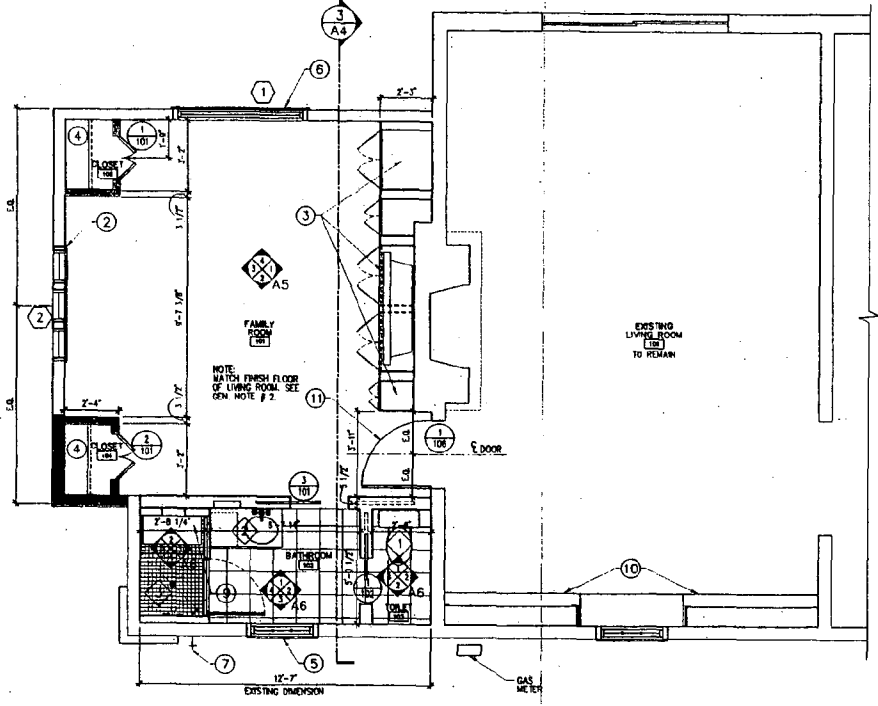
—————	EXISTING WALL TO REMAIN
-----	EXISTING WALL TO BE REMOVED
.....	EXISTING ITEM TO BE REMOVED

FINISH SCHEDULE

ON NAME	FLOOR	WALLS					CEILING	TRIM					REMARKS
		NORTH	EAST	SOUTH	WEST	OTHER		BASE	WINDOW	DOOR	CROWN	OTHER	
FAMILY	1ND-1	CWB-1	EX-PL-1	EX-PL-1	EX-PL-1	CWB-1	WB-1	WB-1	DR-1	CR-1			WALLS HAVE TILE MANSOODING - SEE A-6
LIVING	1ND-1	CWB-1	CWB-1	CWB-1	CWB-1	CWB-1	WB-1	WB-1	DR-1	CR-1			WALLS HAVE TILE MANSOODING - SEE A-6
HOLET	1ND-1	CWB-1	CWB-1	CWB-1	CWB-1	CWB-1	WB-1	WB-1	DR-1	CR-1			WALLS HAVE TILE MANSOODING - SEE A-6
CLOSET	1ND-1	CWB-1	CWB-1	CWB-1	CWB-1	CWB-1	WB-1	WB-1	DR-1	CR-1			
CLOSET	1ND-1	CWB-1	CWB-1	CWB-1	CWB-1	CWB-1	WB-1	WB-1	DR-1	CR-1			
1ND LIVING	EX-1ND-1	NONE	EX-PL-1	NONE	NONE	EX-PL-1	REPLACE	NONE	REPLACE	NONE			

LEGEND

FINISHES	WALL FINISHES	BASE TRIM
CERAMIC TILE SET ON 1/4" CEMENTITIOUS BACKER BOARDS ON 3/4" PLYWOOD SUBFLOOR	CWB-1 PAINTED 1/2" CWB	WB-1 PAINTED 1-6 WITH PAINTED SMOOT 1ND-163 BEVELED OXIDE BASE CAP SHOE MOLDING. SIZE AND PROFILE TO MATCH LIVING ROOM.
EXISTING HARDWOOD FLOOR TO REMAIN. TOOTH IN NEW MATCHING HARDWOOD FLOORING. SAND NEW AND EXISTING FLOORING. ADJUST STAIN IN NEW FLOORING TO MATCH EXISTING FINISH PER SPECIFICATIONS.	EX-PL-1 EXISTING PLASTER ON CWB WALLS TO REMAIN. REPAIR AND PATCH ANY EXISTING CRACKS OR DAMAGE, CREATED BY DEMOLITION AND CONSTRUCTION. PAINT.	WINDOW TRIM
NEW HARDWOOD FLOOR TO MATCH EXISTING. TOOTH IN WHERE NEW MEETS EXISTING. SAND, APPLY STAIN TO CREATE MATCH, AND FINISH PER SPECIFICATIONS.	CTW-1 WALL TILE ON CEMENTITIOUS BACKER	WBT-1 PAINTED TRIM. CASING, JAMB AND APRON - 3/4" x 4 1/4" FLAT WITH EASED EDGES. SMOOT 1ND-1021 STUOL. HEAD CASING 1-4 WITH SMOOT LMP 208 CROWN & SMOOT 1ND-848 STRING TRIM. PLANTED BLOCKS 5/A = 4 1/2 x 8" WITH EASED EDGES
	CEILING FINISHES	DOOR TRIM
	CWB-1 PAINTED 1/2" CWB	DR-1 PAINTED TRIM. CASING, JAMB AND APRON - 3/4" x 4 1/4" FLAT WITH EASED EDGES. SMOOT 1ND-1021 STUOL. HEAD CASING 1-4 WITH SMOOT LMP 208 CROWN & SMOOT 1ND-848 STRING TRIM. PLANTED BLOCKS 5/A = 4 1/2 x 8" WITH EASED EDGES
	EX-PL-1 EXISTING PLASTER ON CWB CEILINGS TO REMAIN. REPAIR ANY EXISTING CRACKS OR DAMAGE CREATED BY DEMOLITION AND CONSTRUCTION. PAINT.	
	CROWN MOLDINGS	
	CR-1 1/2" BACKER W/1/2" BEADED EDGE (MATCH EXISTING BACKER). SMOOT 1ND-849 CROWN - PAINTED	



1 A3 FIRST FLOOR PLAN

KEYED PLAN NOTES

- NOT USED
- DRILL AND PATCH OPENING IN WALL TO MATCH EXISTING WALL FINISH.
- NEW PAINTED WOOD ADJUSTABLE BUILT-IN SHELVES.
- NEW CLOSETS PROVIDE ROD AND SHELVES.
- EXISTING WINDOW TO REMAIN.
- EXISTING WINDOW TO BE REPLACED. ROUGH FRAME HEAD AND WIDTH DIMENSION TO REMAIN. ROUGH SILL DIMENSION TO BE LOWERED.
- EXISTING HOSE ORB TO REMAIN.
- NOT USED.
- FLURR OUT EXISTING WALL WITH 2-4'S.
- EXISTING CASINGWORK TO BE RELOCATED.
- EXISTING DOOR TO BE REMOVED AND RELOCATED.

GENERAL PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD AT NEW CONSTRUCTION AND TO FACE OF FINISH AT EXISTING CONSTRUCTION. NEW WALL THICKNESSES ARE 3/4" UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- FINISH FLOOR OF FAMILY AND BATHROOM SHALL BE FINISHED TO MATCH EXISTING LIVING ROOM FINISH FLOOR.

LEGEND

- EXISTING WALL TO REMAIN
- NEW 2-4 FRAME WALL, UNLESS NOTED OTHERWISE
- NEW 2-4 FRAME WALL, SIZE TO MATCH EXISTING WALL FINISHES
- NEW BRICK VENEER AND 4" SOLID CHU WALL MATCH EXISTING

SCHEDULE

ON NAME	DOOR SIZE	DOOR TYPE	HWR SET	FINISH	DOOR DETAILS			REMARKS
					HEAD	JAMB	SILL	
FAMILY	PK 1 3/8" x 1'-0" x 6'-8"	6-PANEL	NONE	NONE				
FAMILY	PK 1 3/8" x 1'-0" x 6'-8"	6-PANEL	NONE	NONE				
FAMILY	1 3/8" x 2'-0" x 6'-8"	6-PANEL	NONE	NONE				REUSE DOOR 3 SEE 2ND PLAN.
BATHROOM	1 3/8" x 2'-0" x 6'-8"	6-PANEL	NONE	NONE				REUSE DOOR 4 SEE 2ND PLAN.
1ND LIVING	1 3/4" x 2'-0" x 7'-0"	6-PANEL	NONE	NONE				REUSE EXISTING DOOR 1-REVERSE SWING

WINDOW SCHEDULE

SYMB	MANUFACTURER	TYPE	UNIT NO.	ROUGH OPENING (R.O.) WISDOMY OPENING (W.O.) (W x H)	WINDOW DETAILS			REMARKS
					HEAD	JAMB	SILL	
1	MAPIN	DOUBLE HUNG	ROSH 2626	5'-3 3/4" x 5'-11 1/2" R.O.				A
2	MAPIN	TWO-CASEMENT	3/WCM 2022	5'-7" x 2'-9 1/2" R.O.				A

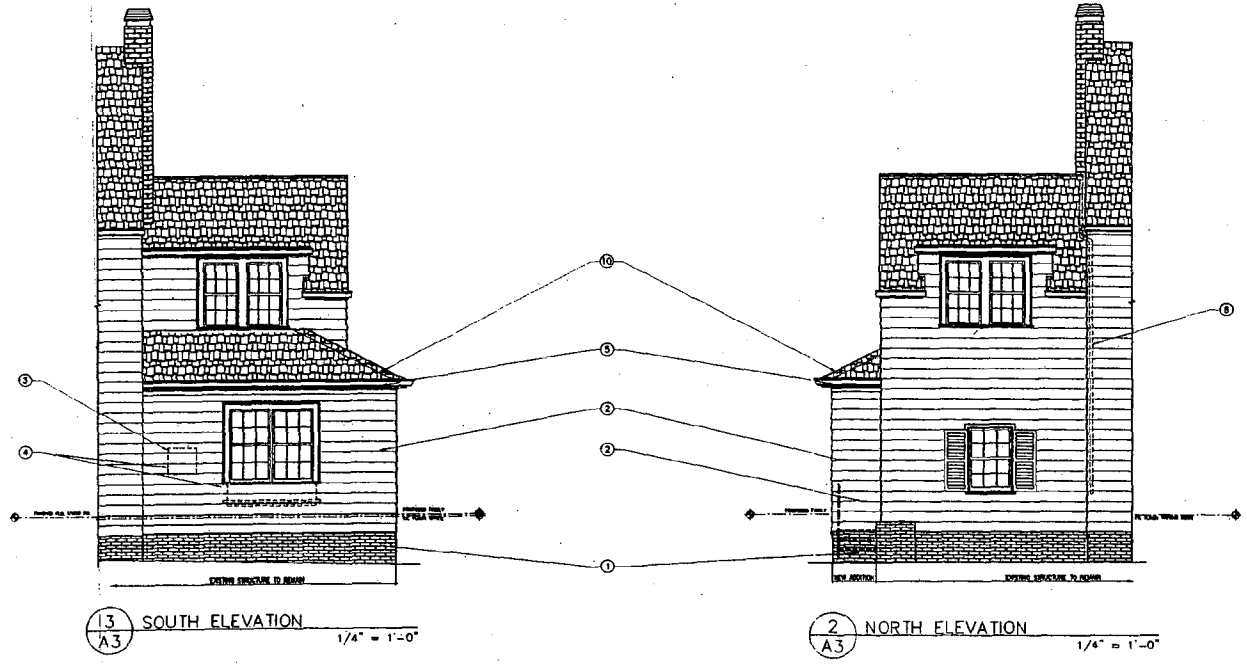
REUSE WINDOW REMARKS:
 A. MULL UNITS TOGETHER - STANDARD VERTICAL MULLION.

DOORS TO BE PAINTED WOOD DOORS. MATCH EXISTING 6-PANEL DOORS U.L.O. REUSE EXISTING DOORS AND DOOR HARDWARE WHERE INDICATED. SMOOT 1ND-848 DOOR STOPS ON LATER SIDE OF DOOR JAMB OR POCKET DOORS.

HARDWARE SCHEDULE: SEE CASH ALLOWANCE(S) SCHEDULE

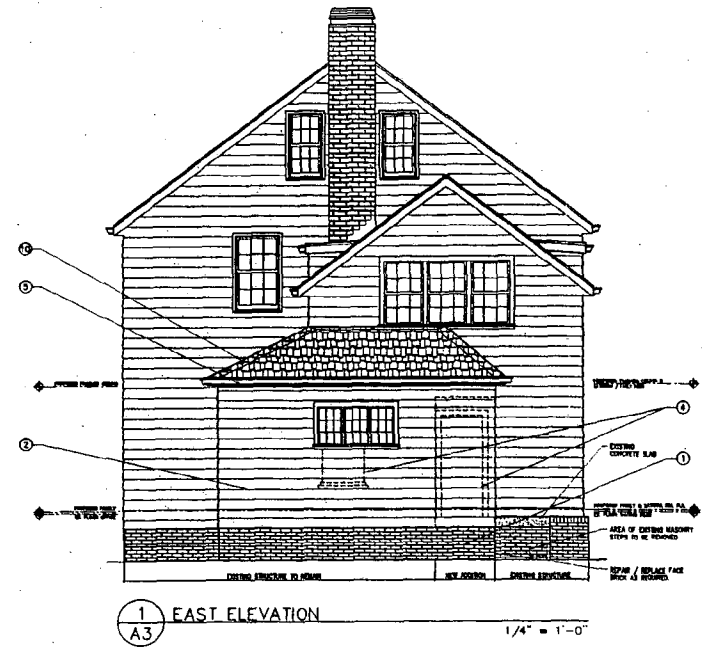
PLUMBING SCHEDULE

1	FAMILY ROOM, BATHROOM, TOILET - ODD		
2	FAMILY ROOM, BATHROOM, SINK	SINK	\$250.00
3	FAUCET & HANDLES		\$250.00
4	FAMILY ROOM, BATHROOM, SHOWER	SHOWER	\$225.00



13 SOUTH ELEVATION
A3 1/4" = 1'-0"

2 NORTH ELEVATION
A3 1/4" = 1'-0"



1 EAST ELEVATION
A3 1/4" = 1'-0"

KEYED ELEVATION NOTES

- ① EXISTING BRICK TO REMAIN.
- ② EXISTING WOOD BEVEL SIDING TO BE REMOVED AND SALVAGED FOR REINSTALLATION.
- ③ REMOVE EXISTING A/C UNIT - FRAME AND SHEATH OPENING TO MATCH EXISTING SIDING.
- ④ TOOTH-IN NEW SIDING TO MATCH EXISTING IN PROFILE AND DIMENSION. PAINT TO MATCH EXISTING.
- ⑤ EXISTING EAVE, GUTTER AND DOWNSPOUTS TO REMAIN. PREPARE FASCIA AND PAINT.
- ⑥ REMOVE EXISTING VENT STACK.
- ⑦ NOT USED.
- ⑧ NOT USED.
- ⑨ NOT USED.
- ⑩ EXISTING ROOF ASPHALT SHINGLES TO REMAIN.

NOTE:
 - NEW WOOD SURFACES, INCLUDING PANELS, TRIM, FASCIA, SOFFITS, AND EAVES ARE TO BE BACK-PRIMED AND PAINTED, UNLESS NOTED OTHERWISE. PREPARE SURFACES AS REQUIRED.
 - EXISTING PAINTED SURFACES ARE TO BE PATCHED, PREPARED AND PAINTED INCLUDING WINDOWS, DOORS, SIDING, TRIM, FASCIA, SOFFITS, EAVES, BARKS, VENTS, UNLESS NOTED OTHERWISE.

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SILBER RESIDENCE
 Addition & Renovation

ELEVATIONS

Date: 05.06.07
 Revision
 No. 001

Fig. No.: 07-01

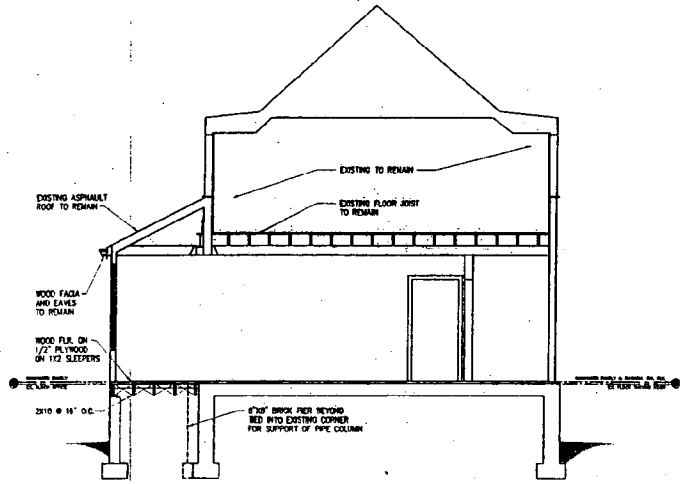
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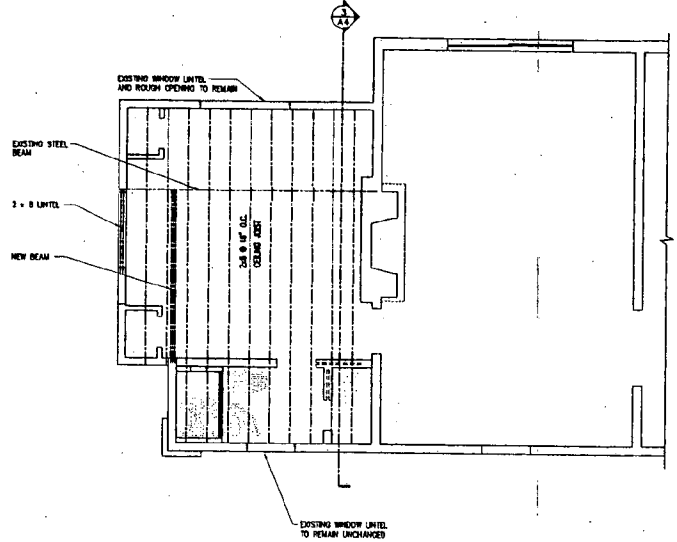
GENERAL STRUCTURAL NOTES

1. Coordination
Contractor shall be responsible for coordination of all work between the different trades. All openings, holes, sleeves, bar cuts, etc., shall be submitted for Architect/Engineer approval.
2. Existing Conditions
All existing conditions shall be verified by the contractor and any discrepancies with the contract documents shall be brought to the attention of the Architect/Engineer for resolution.
3. Codes
4. Loads
Design live loads are:
Interior Rooms 40 psf
5. Soil
a. Footings shall bear on undisturbed soil with a minimum bearing capacity of 2000 psf. To be approved by building official or verified by geotechnical engineer.
b. Contractor shall over excavate and fill with lean concrete where required.
6. Lumber
a. Wood design and construction shall be in conformance with the 1997 NFPA National Design Specification.
b. Unless noted otherwise, Lumber shall be S.P.F. Canadian #2, KD SRX, spruce or better, and shall be kept dry at the site, except pressure treated lumber shall be Southern Pine #2 or better, with a minimum wet relation of .40 @ 15% MC, noted for use with ground contact. Lumber shall KD 192 after treatment.
c. LVL Lumber shall be manufactured by Trus Joist Manufacture or be approved by Architect/Engineer.
d. Joists and beams not having direct bearing shall have properly sized 18 gage joist hangers manufactured by Simpson, s.a.s., on drawings.
e. All beams comprised of more than one member shall be nailed together with a minimum of two rows of 16d nails at 6" o.c. for each ply, unless noted otherwise. Posts comprised of more than one member shall be glued and nailed together.
f. One shall be 1/2" Praxton polyurethane caulking to AFD-01 (all additions glued on).
g. Bearing walls not having structural sheathing shall have mid-height blocking.

7. Pole to show-in framing shall be inspected by Architect/Engineer.
8. Posts shall be carried down to supporting beams, footings, or foundation walls. When posts are interrupted by floor framing, solid and girth blocking shall be installed for continuous bearing of posts.
9. Bolts shall be installed in compliance with "N.B.S." 1997 edition.
10. Doubled joists shall be used under all parallel partition walls.
11. Post caps (properly sized) shall be installed at all post/beam connections.
12. Structural Steel
a. Steel design, fabrication, and erection shall be in conformance with AISC specifications.
b. Steel plates, angles, web cleat sections, and channels shall conform to ASTM, s.a.s.
13. Masonry
a. All masonry shall be in accordance with ACI 530-88/ASCE 5-02 and ACI 201-10/ASCE 6-08.
b. Hollow load bearing concrete masonry units shall conform to ASTM C90 grade N-1.
c. Brick shall conform to ASTM C216, Grade SR. Brick shall be selected to match existing work, unless noted otherwise on architectural drawings.
d. Mortar shall comply with ASTM C270 type S. Color to match existing mortar, unless noted otherwise on architectural drawings.
e. Head and bed joints in brick work are to be filled solid with mortar.
f. Masonry anchors for all syles shall be heavy duty flat spaced at 16" o.c. each way, subject for approval.
14. Lintels
Steel angles shall be braced with long legs vertical, back to back, with one angle for each 4" of wall thickness. Unless noted otherwise, Lintels shall be as follows:
less than 8'-0" 1 - L4 x 3-1/2 x 5/16
less than 8'-0" 1 - L8 x 3-1/2 x 5/16
Lintels shall bear 1" each end for each foot of clear span, but not less than 4", and shall bear on bed of mortar, on a minimum of 8" x 8" solid masonry, unless noted otherwise.
15. Temporary Shoring, and Bracing
a. Contractor shall be solely responsible for all temporary shoring, bracing, sequencing, and means and methods of construction.
b. Contractor is responsible for all precautions for safety.



2 CROSS SECTION
A4 1/4" = 1'-0"



1 CEILING FRAMING PLAN
A4 1/4" = 1'-0"

13



HA ARCH

1400 Spring Silver Spri 2 0

Ph: 501 - 752 3011 Em: hfa@

SILBER RESIDENCE Addition & Renovation

FRAMING PLANS AND SECTION

Date: 06.06.17

Proj. No.: 074

A



(E) SILVER RESIDENCE: EXISTING PROPERTY CONDITION
3720 BRADLEY LN.

FRONT VIEW FROM
BRADLEY LN.



(15) SILBER RESIDENCE: EXISTING PROPERTY CONDITION
3720 BRADLEY LN.

FRONT VIEW FROM
BRADLEY LN.



⑤ SILBER RESIDENCE: EXISTING PROPERTY CONDITION
3720 PRADLEY LN.

EAST SIDE VIEW



① SILBER RESIDENCE: EXISTING PROPERTY CONDITION
3720 BRADLEY LN.

EAST SIDE VIEW OF
EXISTING STUDY ENTRY



SILBER RESIDENCE: EXISTING PROPERTY
3720 BRADLEY LN. CONDITION

SOUTH (BACK) VIEW

(18)