


3704 Bradley Lane
Chevy Chase

35/13-08D





HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 03/13/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #478378 - Garage alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the March 12, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Pattie and Charles Firestone
Address: 3704 Bradley Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Pattie P. Firestone
Daytime Phone No.: 301-654-5528

Tax Account No.: _____
Name of Property Owner: Pattie & Charles Firestone Daytime Phone No.: 301-654-5528
Address: 3704 Bradley Lane, Chevy Chase, MD 20815
Street Number City Street Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 3704 Street: Bradley Lane
Town/City: Chevy Chase Nearest Cross Street: Brookville Road
Lot: Parts 14 & 28 Block: 61 Subdivision: Section 2 Chevy Chase
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: Garage

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Pattie P. Firestone Signature of owner or authorized agent
Date: 2/20/08

Approved: ✓ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: AP Date: 3-13-08
Application/Permit No.: 478378 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*Detached Garage behind house
Brick walls on concrete slabs with only one window
Over the years one window was filled in and
the flat replaced with a pitched roof.*

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Nothing structurally will change - garage door stays.
The only window will become a door. Windows to
be placed in pediment - East + West Skylight to be
put in roof. Add 2" to existing slab.*

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

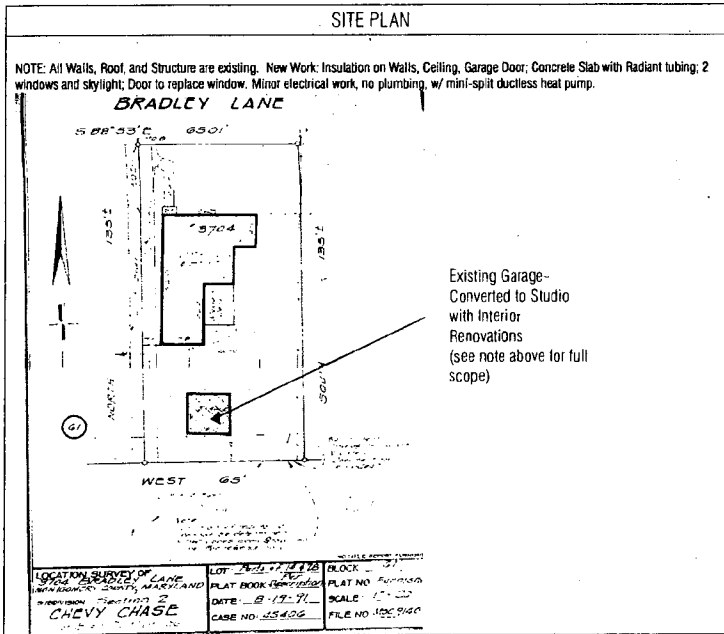
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

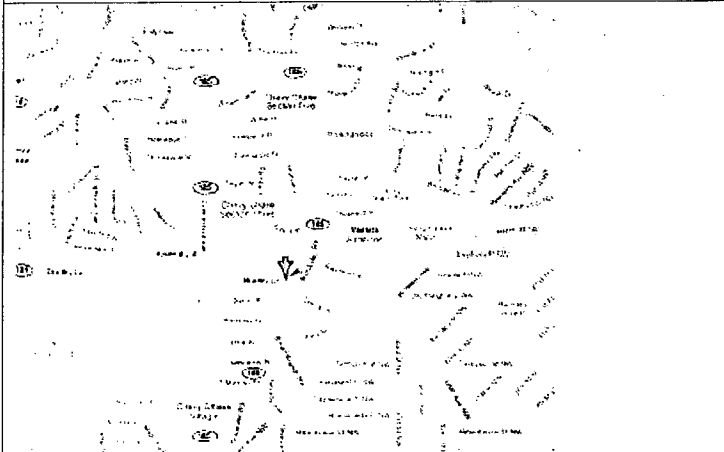
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY DNTO MAILING LABELS.



VICINITY MAP



WINDOW SCHEDULE

	Location	Type	Size
1	East Wall		22" x 24" - Awning
2	West Wall		22" x 24" - Awning

DOOR SCHEDULE

	Location	Type	Size
1	South Wall		36" x 80"

SYMBOL LEGEND

	BOUNDARY LINE (Dashed)		BOUNDARY LINE (Solid)
	WINDOW (Circle with cross)		WINDOW (Circle with dot)
	DOOR (Circle with vertical line)		DOOR (Circle with horizontal line)
	WALL (Line with dots)		WALL (Line with dashes)
	WALL TYPE - SEE TO EXISTING		WALL TYPE - SEE PROPOSED
	WINDOW TYPE - SEE TO EXISTING		WINDOW TYPE - SEE PROPOSED
	DOOR TYPE - SEE TO EXISTING		DOOR TYPE - SEE PROPOSED
	WALL TO BE REPLACED		WINDOW TO BE REPLACED
	DOOR TO BE REPLACED		WALL TO BE ADDED
	WINDOW TO BE ADDED		DOOR TO BE ADDED
	WALL TO BE DELETED		WINDOW TO BE DELETED
	DOOR TO BE DELETED		WALL TO BE RELOCATED
	WINDOW TO BE RELOCATED		DOOR TO BE RELOCATED
	WALL TO BE RELINED		WINDOW TO BE RELINED
	DOOR TO BE RELINED		WALL TO BE INSULATED
	WINDOW TO BE INSULATED		DOOR TO BE INSULATED
	WALL TO BE SEALED		WINDOW TO BE SEALED
	DOOR TO BE SEALED		WALL TO BE PAINTED
	WINDOW TO BE PAINTED		DOOR TO BE PAINTED
	WALL TO BE PLASTERED		WINDOW TO BE PLASTERED
	DOOR TO BE PLASTERED		WALL TO BE STUCCOED
	WINDOW TO BE STUCCOED		DOOR TO BE STUCCOED

DRAWING INDEX

COVER SHEET

- A - 01 FLOOR PLAN
- A - 02 SECTIONS
- A - 03 ELEVATIONS 1
- A - 04 ELEVATIONS 2
- A - 05 ELECTRICAL PLAN
- S - 01 STRUCTURAL

BUILDING DATA & CODE ANALYSIS

Location: Chevy Chase, MD

Owner: Pattie Firestone
3704 Bradley Lane
Chevy Chase, MD

Scope of Work: Garage Conversion

APPLICABLE CODES

GENERAL NOTES

- The following notes are applicable to the project as described in the construction documents.
These Drawings indicate the general scope of the project in terms of architecture, design concept of the building and any major architectural elements or major types of M.E.P. and structural elements. These drawings do not necessarily indicate or describe all work for full performance and completion of the scope indicated, described, or implied. The general contractor shall furnish all items required for the proper execution and timely completion of this project.
- Prior to commencement of work the general contractor shall carefully study the contract documents and all existing site conditions. The general contractor shall report to the architect any inconsistencies, errors, and/or omissions prior to commencement of any construction. Failure to notify the architect of discrepancies and/or unsatisfactory conditions will be construed as acceptance of the conditions to properly perform all required work.
- All work shall be performed in strict accordance with local codes and national standards.
- Do not scale drawings, dimensions govern. Large scale details govern over small scale. New construction is dimensioned from face of stud to face of stud unless otherwise noted.

HELICON WORKS ARCHITECTS
7738 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE RESIDENCE
3704 Bradley Lane
Chevy Chase, MD

Date 01.25.08
Scale 1/4" = 1'0"
Drawn by: AC
Rev - Date:

Historic Preservation Commission

3-13-11

HELICON WORKS
ARCHITECTS
7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD

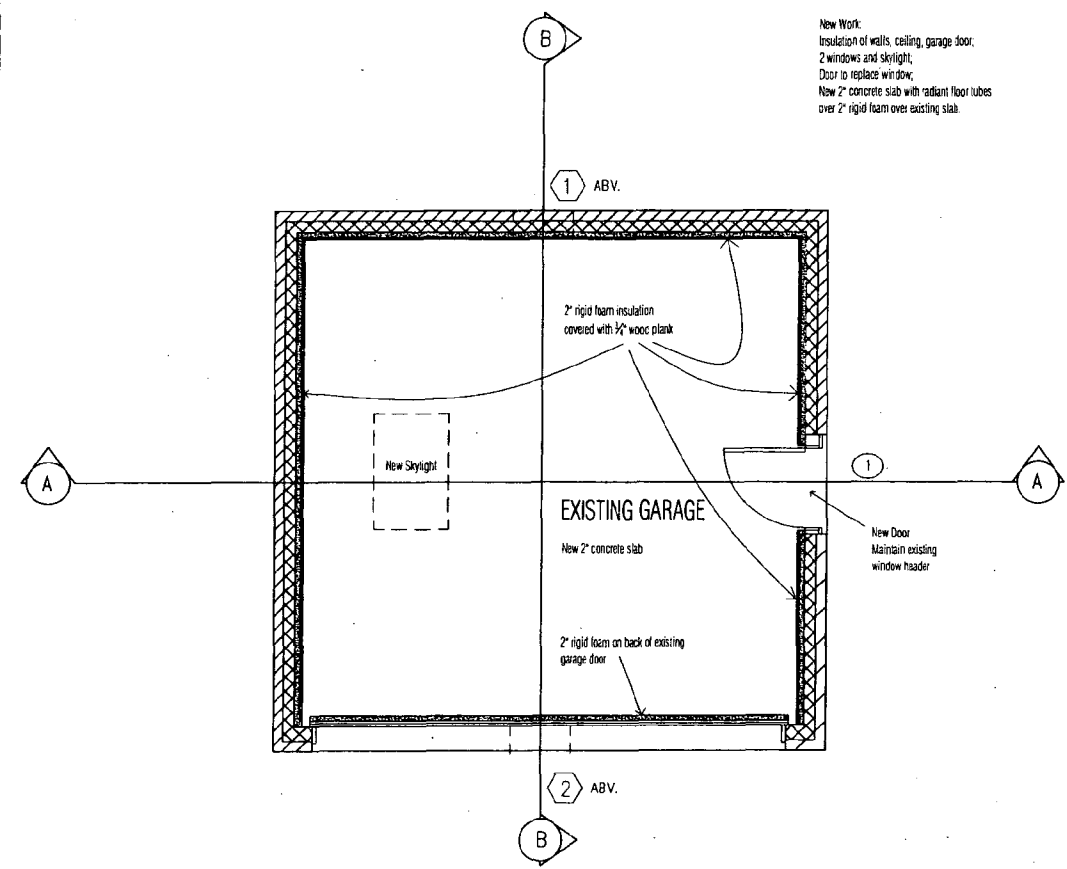
APPROVED
Historic Preservation
3-13-08

A - 01

Floor Plan

Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by : AC
Rev - Date:

NOTE:
All walls, roof, and structure are existing.
New Work:
Insulation of walls, ceiling, garage door;
2 windows and skylight;
Door to replace window;
New 2" concrete slab with radiant floor tubes
over 2" rigid foam over existing slab.

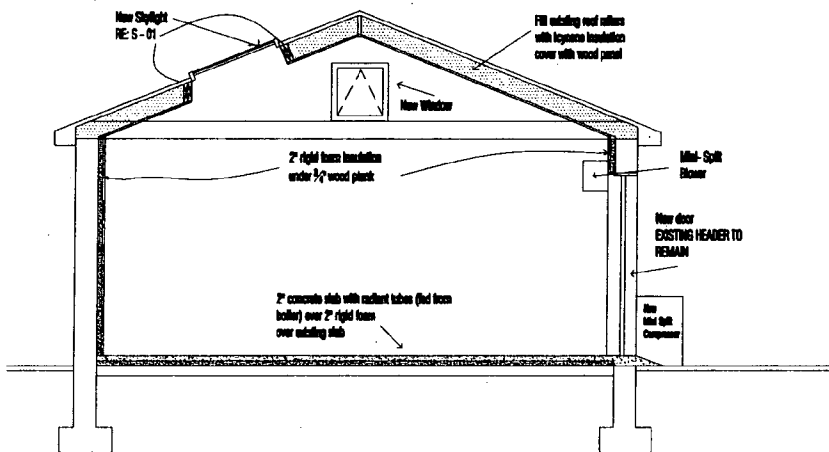


01 FLOOR PLAN
A - 01 SCALE 1/4" = 1' 0"

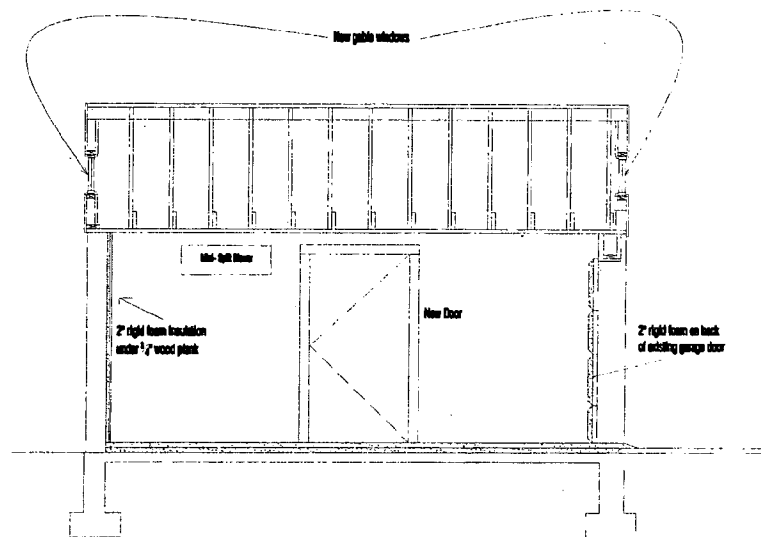
NOTE: All structural members shown
are existing U.O.N.

HELICON WORKS
ARCHITECTS
7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD



01 SECTION A
A - 02 SCALE 1/4" = 1' 0"



02 SECTION B
A - 02 SCALE 1/4" = 1' 0"

APPROVED
Morgan L. ...
Helicon Works
3/13/08

A - 02

Sections

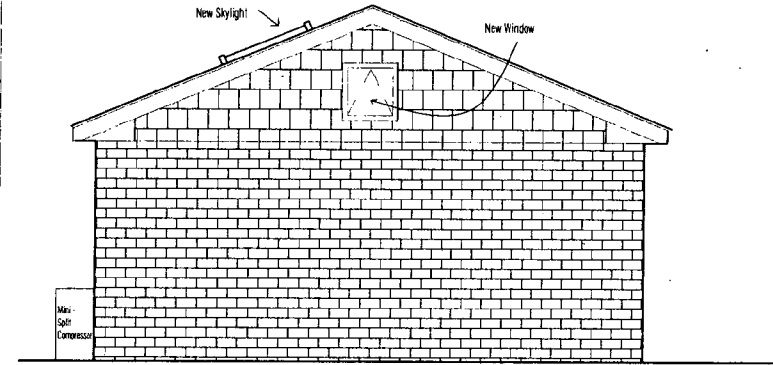
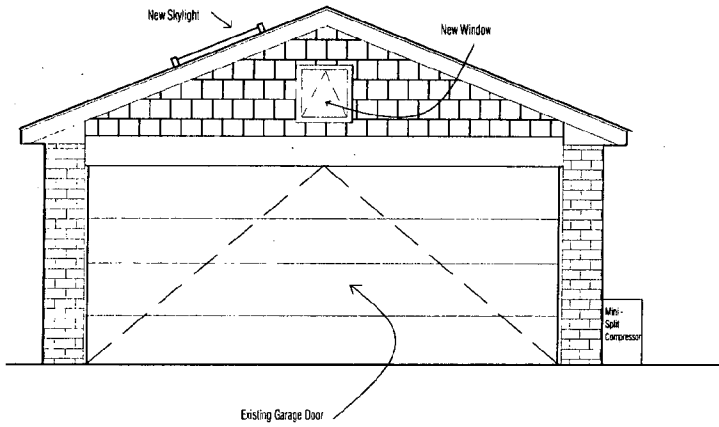
Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by: AC
Rev - Date:

HELICON WORKS
ARCHITECTS
7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD

NOTE: All Materials existing.

New Work - Windows, Skylight,
Mini-split Compressor, Trim
Around Windows



3-13-08
AC

A - 03

Elevations 1

Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by: AC
Rev - Date:

01 EAST ELEVATION
A - 03 SCALE 1/4" = 1' 0"

02 WEST ELEVATION
A - 03 SCALE 1/4" = 1' 0"

HELICON WORKS
ARCHITECTS
7108 Holly Ave
Takoma Park, MD
202-332-7949

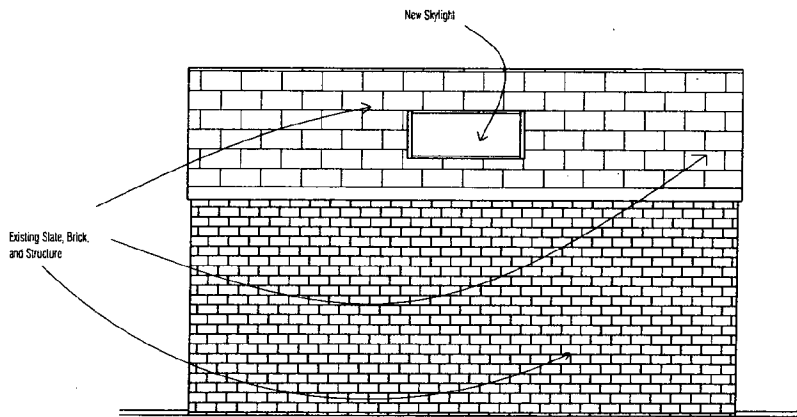
FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD

APPROVED
Mortgage
Historic Preservation
3-13-08

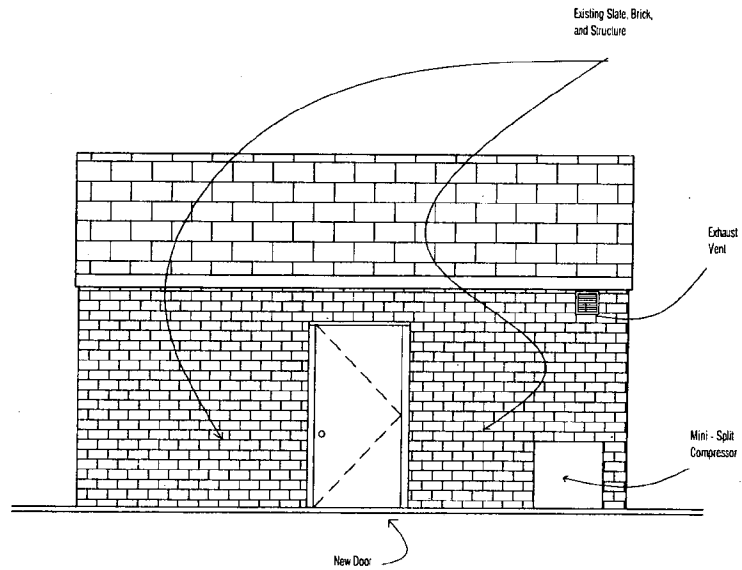
A - 04

Elevations 2

Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by : AC
Rev - Date:



01 SOUTH ELEVATION
A - 04 SCALE 1/4" = 1' 0"

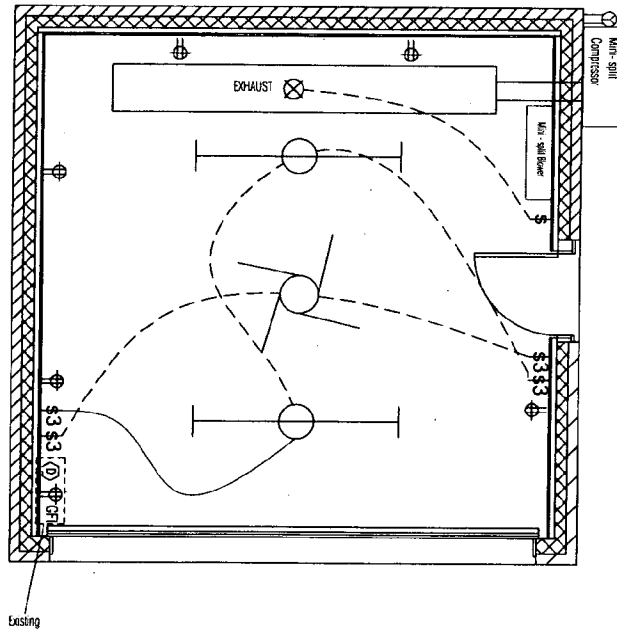


02 NORTH ELEVATION
A - 04 SCALE 1/4" = 1' 0"

SYMBOL LEGEND

	FLUORESCENT LIGHT STRIP
	TRACK LIGHT
	RECESSED FLUORESCENT WALL WASHER
	RECESSED LOW VOLTAGE HALOGEN DOWNLIGHT
	EXISTING RECESSED DOWNLIGHT TO REMAIN
	FLUORESCENT CONE
	WALL SCONCE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	EXIT SIGN
	EXHAUST FAN W/ REMOTE MOTOR
	DUPLEX WALL RECEPTACLE
	DUPLEX WALL RECEPTACLE GFI
	DUPLEX WALL RECEPTACLE (DEDICATED CIRCUIT)
	QUADRAPLEX WALL RECEPTACLE
	PERIPHERAL SUB-PANEL SUPPLY (DEDICATED CIRCUIT)
	TELEPHONE OUTLET
	DATA OUTLET
	FLOOR MOUNTED TELEPHONE OUTLET
	FLOOR MOUNTED DATA OUTLET
	FLOOR MOUNTED DUPLEX OUTLET
	JUNCTION BOX
	FLOOR MOUNTED JUNCTION BOX
	JUNCTION BOX MOUNTED ABOVE FINISHED CEILING
	WALL MOUNTED TELEPHONE OUTLET @ 54" AFF
	DATA & TELEPHONE OUTLET IN SAME BOX
	SMOKE DETECTOR HARD WIRED

NOTE:
Bring all existing electrical up to code as required



01
A - 05

ELECTRICAL PLAN

SCALE 1/4" = 1' 0"

HELICON WORKS ARCHITECTS

7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE RESIDENCE
3704 Bradley Lane
Chevy Chase, MD

APPROVED
Historic Preservation
3-13-08

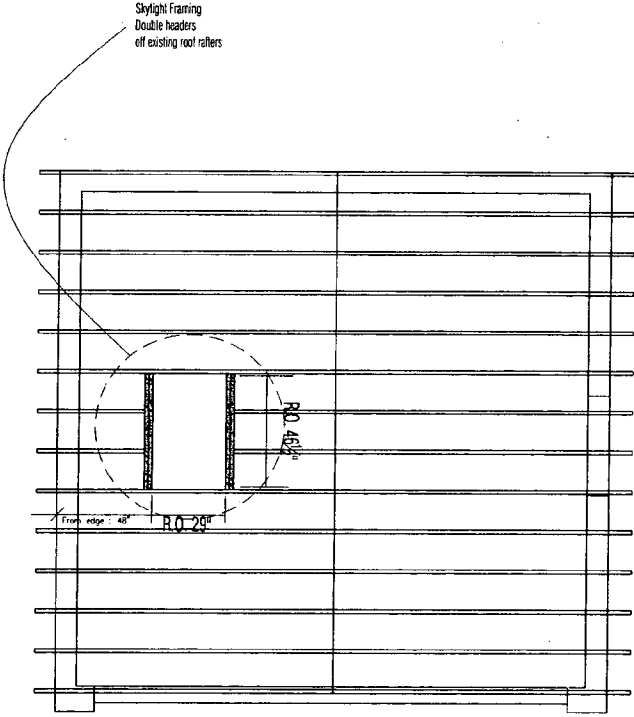
A - 05

Electrical Plan

Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by: AC
Rev - Date:

HELICON WORKS
ARCHITECTS
7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD



APPROVED
March 13, 2008
Historic Preservation Commission
AC
3-13-08

S - 01

Roof Framing Plan

Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by : AC
Rev - Date:

01
S - 01

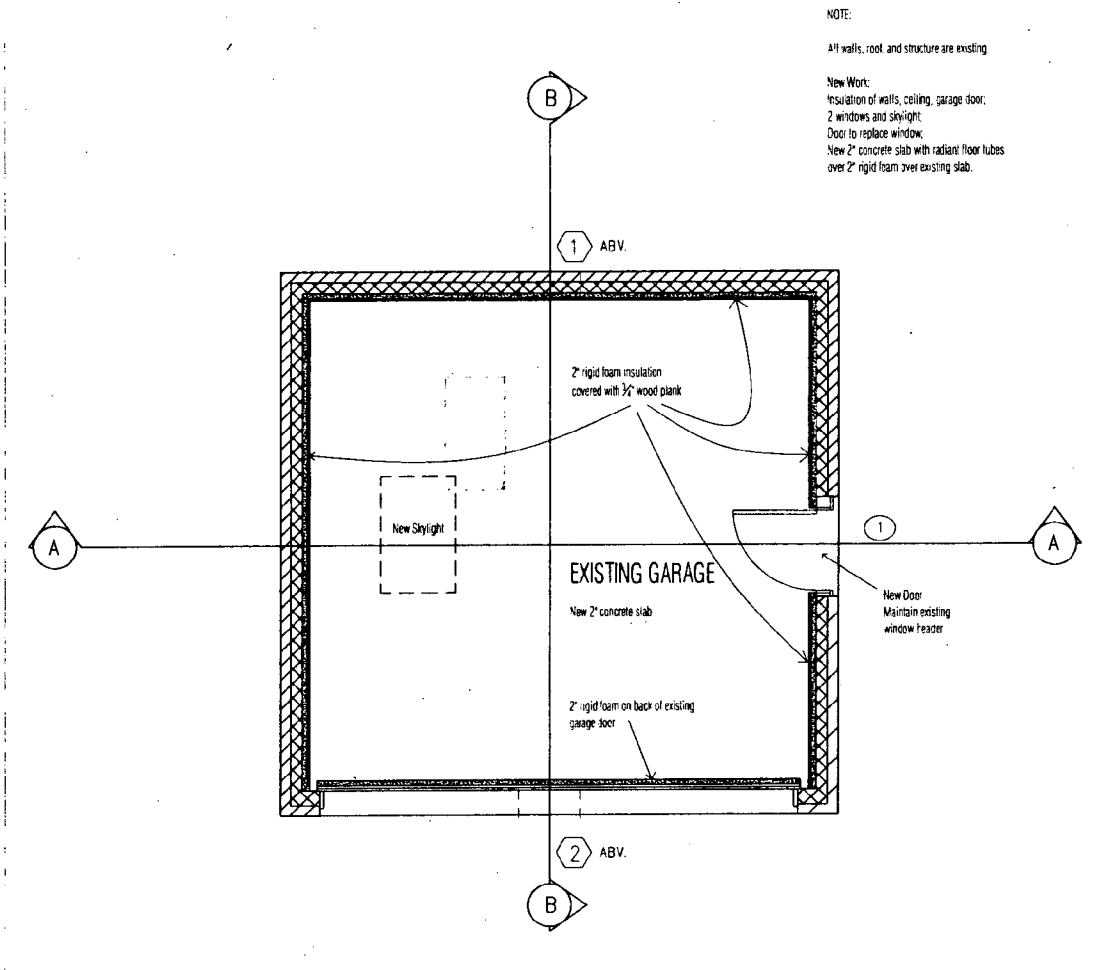
ROOF FRAMING PLAN

SCALE 1/4" = 1' 0"

HELICON WORKS
ARCHITECTS

7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD



01
A - 01
FLOOR PLAN
SCALE 1/4" = 1' 0"

A - 01

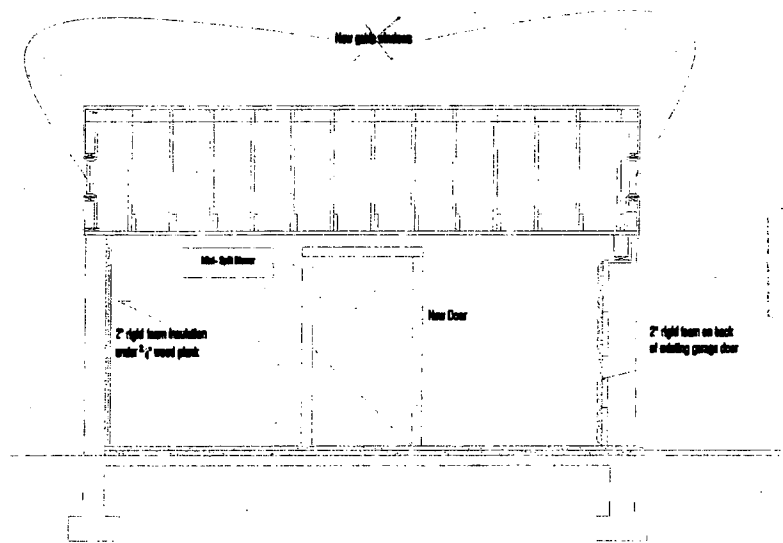
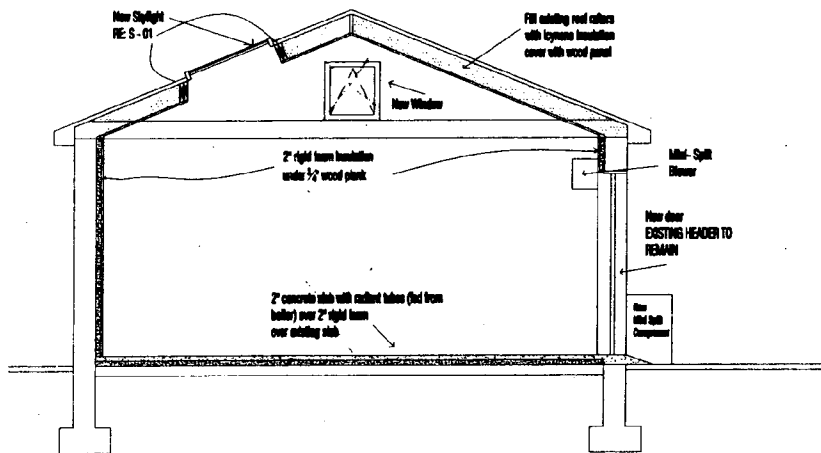
Floor Plan

Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by : AC
Rev - Date:

NOTE: All structural members shown are existing U.O.N.

HELICON WORKS
ARCHITECTS
7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD



01 SECTION A
A - 02 SCALE 1/4" = 1' 0"

A - 02

Sections

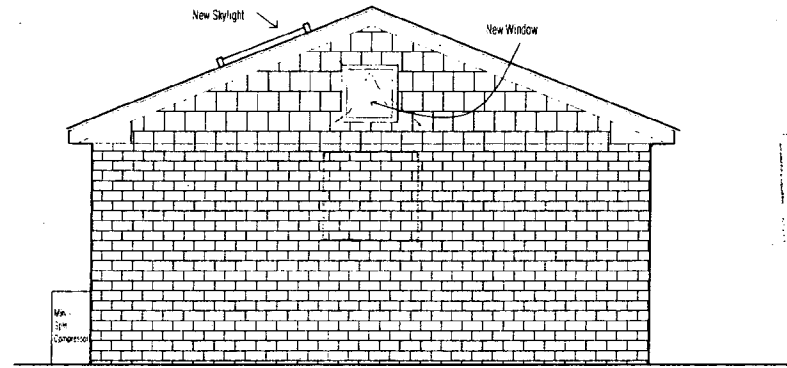
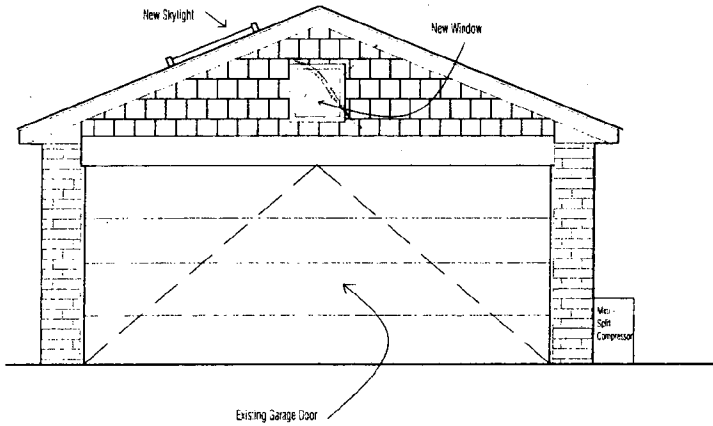
Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by : AC
Rev - Date:

HELICON WORKS
ARCHITECTS
7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD

NOTE: All Materials existing.

New Work - Windows, Skylight,
Mini-split Compressor, Trim
Around Windows



A - 03

Elevations 1

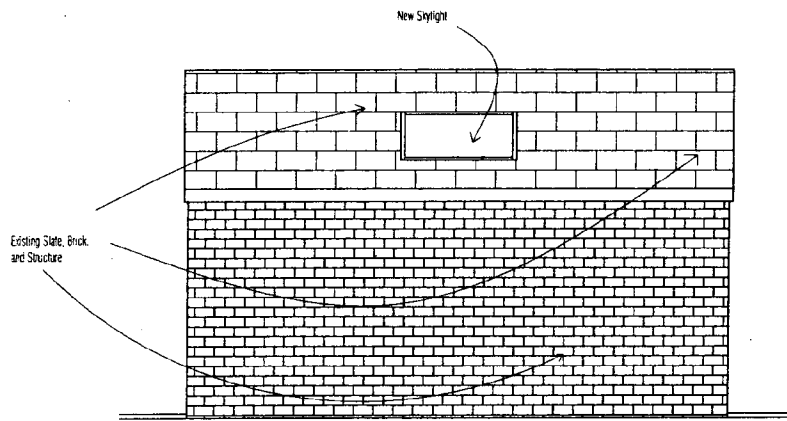
Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by : AC
Rev - Date:

01 EAST ELEVATION
A - 03 SCALE 1/4" = 1' 0"

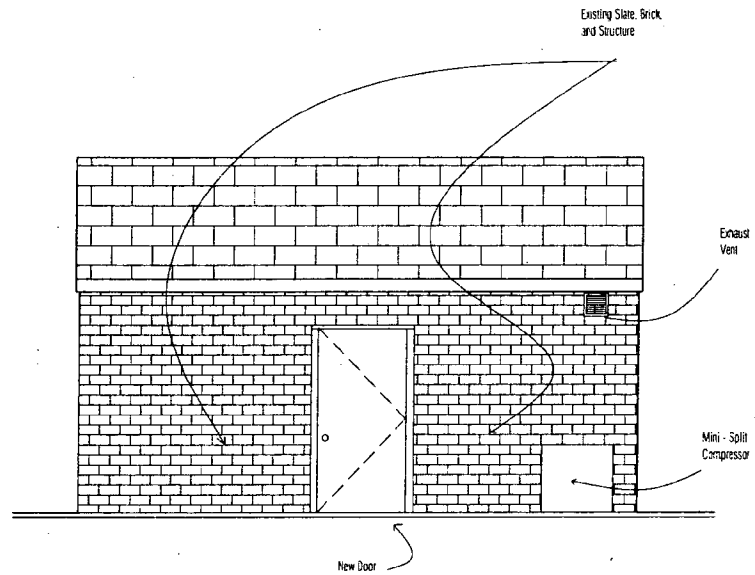
02 WEST ELEVATION
A - 03 SCALE 1/4" = 1' 0"

HELICON WORKS
ARCHITECTS
7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD



01 SOUTH ELEVATION
A - 04 SCALE 1/4" = 1' 0"



02 NORTH ELEVATION
A - 04 SCALE 1/4" = 1' 0"

A - 04

Elevations 2

Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by : AC
Rev - Date:

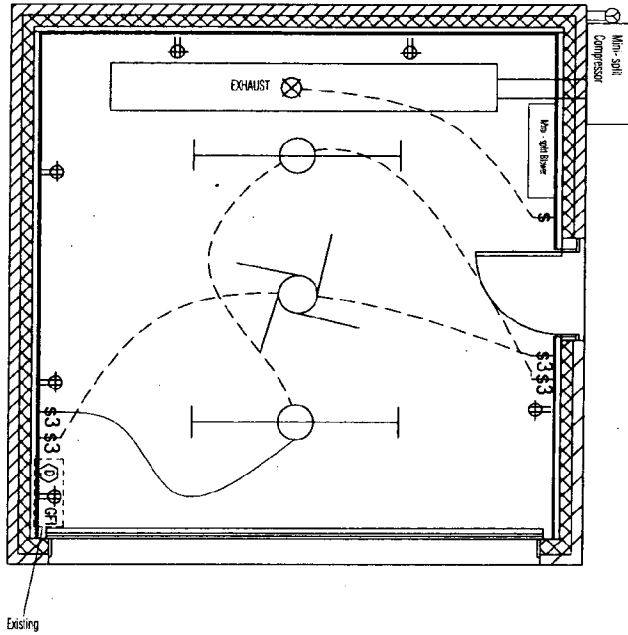
HELICON WORKS
ARCHITECTS
7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD

SYMBOL LEGEND

	FLUORESCENT LIGHT STRIP
	TRACK LIGHT
	RECESSED FLUORESCENT WALL WASHER
	RECESSED LOW VOLTAGE HALOGEN DOWNLIGHT
	EXISTING RECESSED DOWNLIGHT TO REMAIN
	FLUORESCENT COVE
	WALL SCONCE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	EXIT SIGN
	EXHAUST FAN W/ REMOTE MOTOR
	DUPLEX WALL RECEPTACLE
	DUPLEX WALL RECEPTACLE GFI
	DUPLEX WALL RECEPTACLE (DEDICATED CIRCUIT)
	QUADRAPLEX WALL RECEPTACLE
	RESIDENTIAL EQUIPMENT OUTLET (DEDICATED 20A)
	TELEPHONE OUTLET
	DATA OUTLET
	FLOOR MOUNTED TELEPHONE OUTLET
	FLOOR MOUNTED DATA OUTLET
	FLOOR MOUNTED DUPLEX OUTLET
	JUNCTION BOX
	FLOOR MOUNTED JUNCTION BOX
	JUNCTION BOX MOUNTED ABOVE FINISHED CEILING
	WALL MOUNTED TELEPHONE OUTLET 3/4" AFF
	DATA & TELEPHONE OUTLET IN SAME BOX
	SMOKE DETECTOR HARD WIRED

NOTE:
Bring all existing electrical up to code as required



01 ELECTRICAL PLAN
A - 05 SCALE 1/4" = 1' 0"

HELICON WORKS ARCHITECTS
7108 HOLLY AVE
TAKOMA PARK, MD 20912
202-332-7949

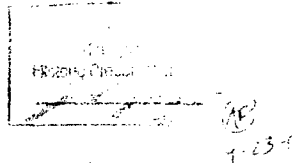
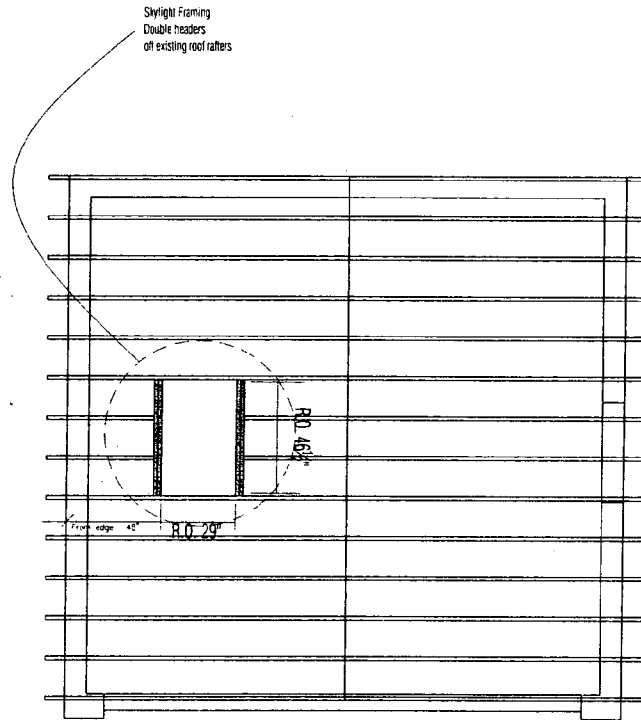
A - 05

Electrical Plan

Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by : AC
Rev - Date:

HELICON WORKS
ARCHITECTS
7108 Holly Ave
Takoma Park, MD
202-332-7949

FIRESTONE
RESIDENCE
3704 Bradley Lane
Chevy Chase, MD



S - 01

Roof Framing Plan

Date 01.25.08
Scale 1/4" = 1' 0"
Drawn by : AC
Rev - Date:

01
S - 01

ROOF FRAMING PLAN

SCALE 1/4" = 1' 0"



3704 BRADLEY LANE SOUTH



3704 BRADLEY LANE NORTH



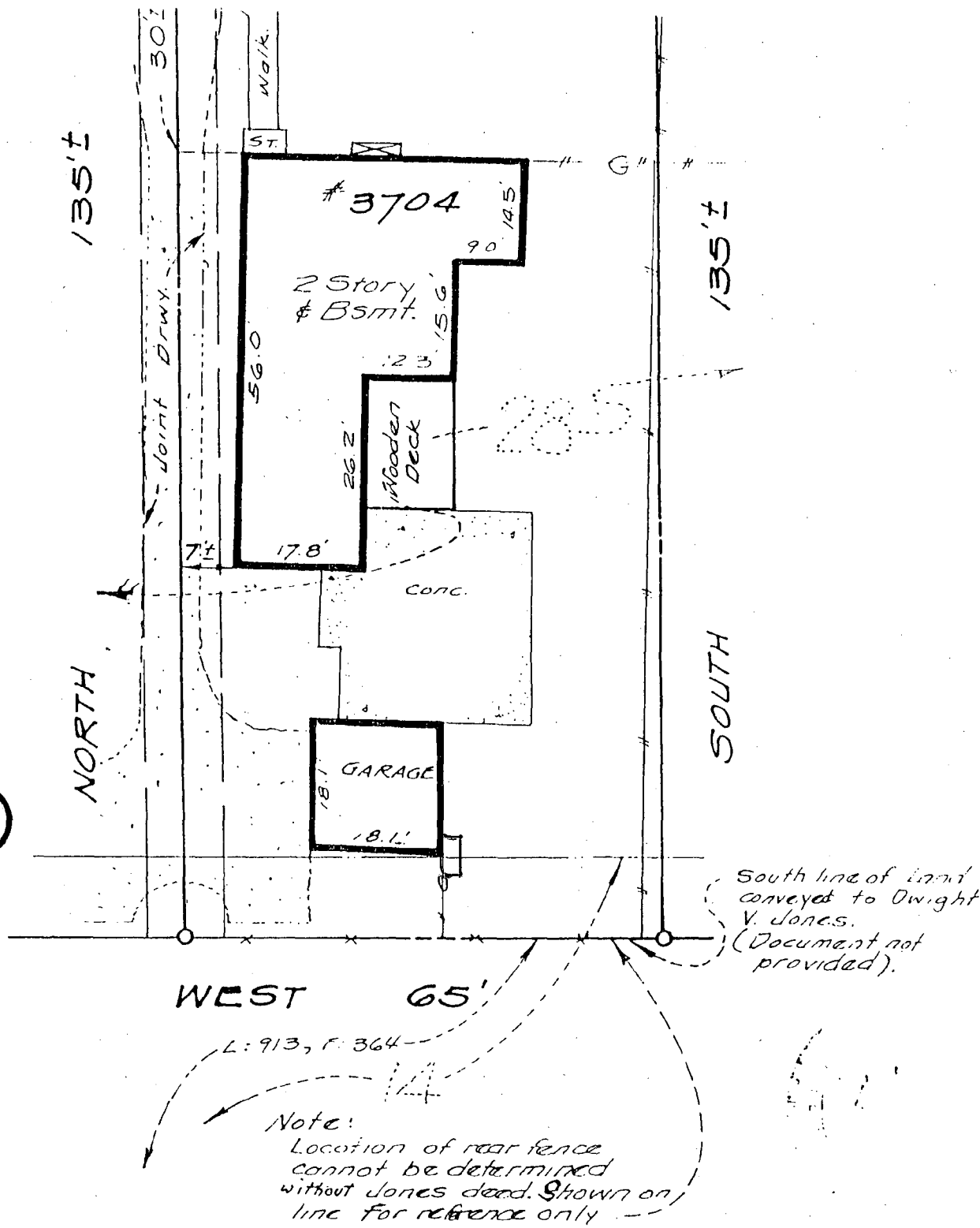
3704 Bradley Lane EAST



3704 Toradley Lane WEST



61



LOCATION SURVEY OF
 3704 BRADLEY LANE
 MONTGOMERY COUNTY, MARYLAND
 SUBDIVISION Section 2
CHEVY CHASE
 Plat Book 2, Plat 106

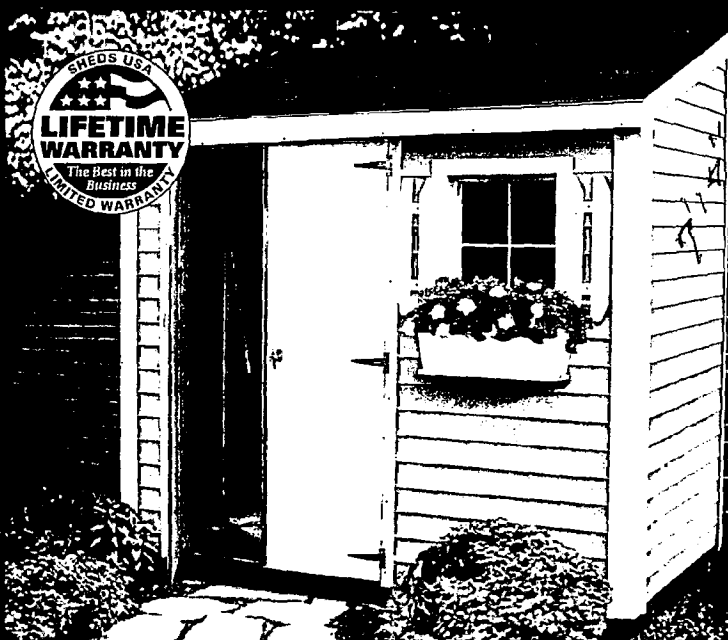
LOT: Parts of 14 & 28
 PLAT BOOK Per Description
 DATE: 8-19-91
 CASE NO: 45406

NO TITLE REPORT FURNISH
 BLOCK: 61
 PLAT NO: Furnish
 SCALE: 1" = 20'
 FILE NO: MSC-9140

CERTIFICATION I hereby certify that the position of all the existing visible improvement on the above described property has been carefully established in relation to the apparent title lines and that, unless otherwise shown, there are no visible encroachments. This is not a property line survey and should not be used for the erection of fences or any other improvements

Garden Hutch

4' x 8' Garden Hutch, gray vinyl siding, black shingles



Big Storage for Small Spaces

It's a picture perfect way to give smaller yards big storage. This stylish shed has a slim 4' profile and 40" double doors for easy access. It also comes standard with a 4-light window, shutters and flowerbox.

- 2" x 4" PT joists, 16" on center



Satisfies most Homeowner's Association Guidelines

CAUTION:

Due to the shallow depth of this product it may tip over if too much weight or pressure is placed on one side. We strongly recommend that the homeowner secure the Garden Hutch by attaching it to another structure, i.e. a wall, fence or side of a building.



Choose Your Options

FLOOR UPGRADES

- 2" x 6" Pressure Treated Floor Joists 12" on center\$1.45 sq. ft.

NEW! Tough Floor Special

- All sizes ~~\$125~~ ~~ft.~~ ~~#449~~

MORE OPTIONS

- Gable Vents (pair)\$29.00
- Shelf (1" x 12" x 7' long)\$39.00
- Ramp 4' Long\$59.00
- 6' Heavy duty\$119.00
- Upgrade to Functional Window (vinyl sheds only)\$59.00
- Window Screen (each)\$19.00
- Anchor Kit\$120.00

GARDEN HUTCH SIZE & PRICE

2-4 weeks

FOR SALES ASSOCIATE: SKU #615-208

SIZE (W x L)	SMART SIDING		PINE		CEDAR		VINYL CLAPBOARD	
	PRICE	FINANCE PER MONTH	PRICE	FINANCE PER MONTH	PRICE	FINANCE PER MONTH	PRICE	FINANCE PER MONTH
4' x 8'	\$899.99	\$25	\$1,249.99	\$34	\$1,339.99	\$37	\$1,549.99	\$38
4' x 10'	\$1,259.99	\$34	\$1,459.99	\$39	\$1,559.99	\$38	\$1,779.99	\$43
4' x 12'	\$1,479.99	\$39	\$1,649.99	\$40	\$1,749.99	\$43	\$1,999.99	\$50

x. 15.46%
\$1300.62

Vinyl Colors

- WHITE
- LIGHT GRAY
- DARK GRAY
- CREAMY YELLOW
- TAN
- CLAY

Call toll-free 866-616-2685 or

Firestone shed
3704 Bradley Lane
Cherry Chase, MD

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3704 Bradley Lane, Chevy Chase	Meeting Date:	3/12/08
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	3/5/08
Applicant:	Pattie and Charles Firestone	Public Notice:	2/27/08
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-08D	Staff:	Anne Fothergill
PROPOSAL:	Alterations to non-contributing garage		

STAFF RECOMMENDATION

- Approval
- Approval with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Tudor Revival
DATE: c. 1916-27

PROPOSAL

The applicants are proposing alterations to their non-historic garage which is not visible from the street. They are proposing to change a window to a door, install one skylight and two windows, and add 2" to existing concrete slab.

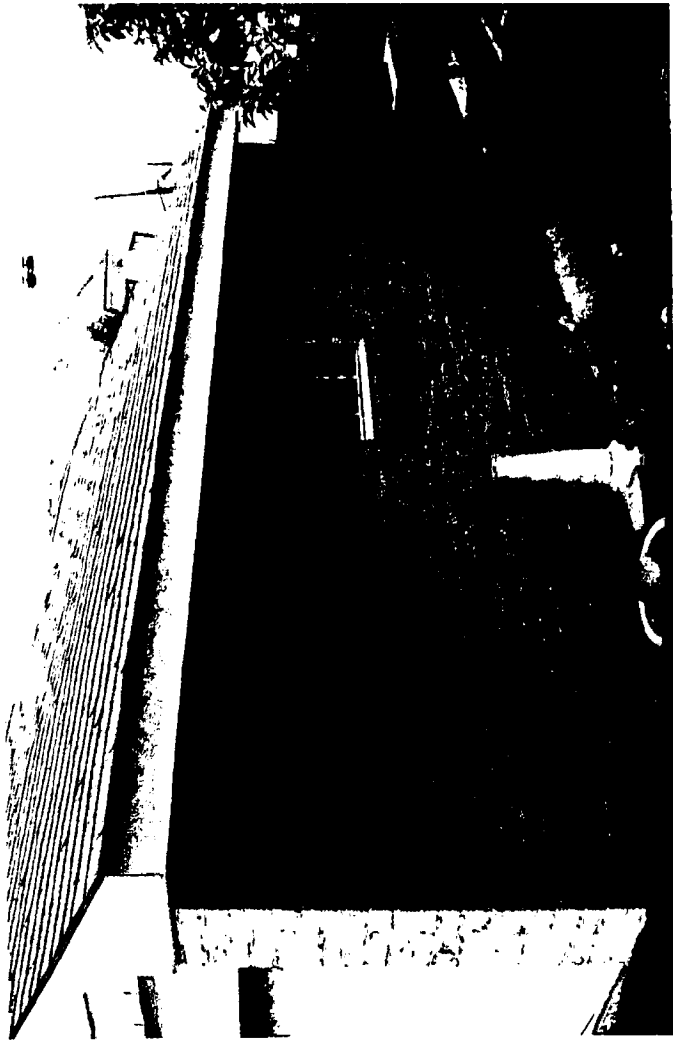
APPLICABLE GUIDELINES

Approval is based on the approved and adopted amendment for the *Chevy Chase Village Historic District*, the *Secretary of the Interior's Standards for Rehabilitation*, and the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

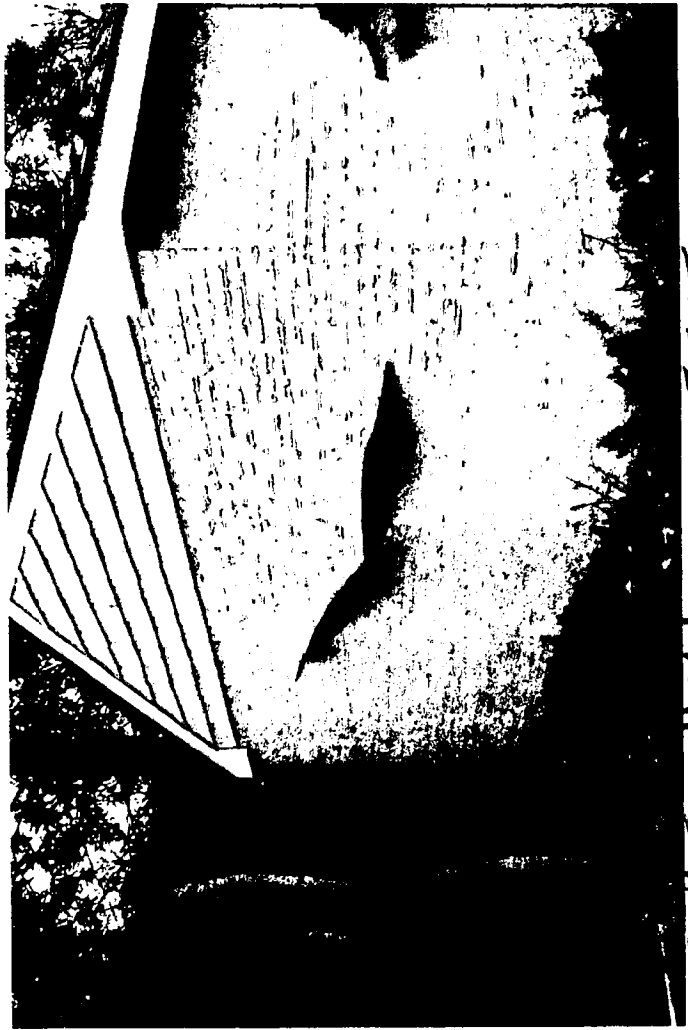
- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



3704 BRADLEY LANE EAST



3707 BRADLEY LANE EAST



3704 BRADLEY LANE WEST



3707 BRADLEY LANE WEST

3704 Bradley



CHEVY CHASE VILLAGE

Facsimile Transmission



5906 Connecticut Avenue
Chevy Chase, MD 20815

Telephone: (301) 654-7300

Facsimile: (301) 907-9721

Website: www.ccvillage.org

E-Mail: ccv@montgomerycountymd.gov

To: ~ Anne Falthergill
Historic Preservation Commission

From: Shana Davis-Cook

Date: March 20, 2008

Fax Number: 301 563 3412

Total Number of Pages (Including Cover Sheet): Two (2)

Comments: Municipality letter for 3704 Bradley La.

CONFIDENTIAL

If all pages are not received, please contact the Village office at (301) 654-7300.

CHEVY CHASE VILLAGE

5906 CONNECTICUT AVENUE

CHEVY CHASE, MD 20815

Telephone (301) 654-7300

Fax (301) 907-9721

ccv@montgomerycountymd.gov

GEOFFREY B. BIDDLE

Village Manager

DAVID R. PODOLSKY

*Legal Counsel*BOARD OF MANAGERS

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PETER M. YEO

Board Member

ROBERT L. JONES

Board Member

2/25/2008

Property Owner Name:

Firestone

Contractor Name:

Homeowner—Pattie Firestone

Location of Requested Building Permit:

Address:

3704 Bradley Lane

City, State, Zipcode

Chevy Chase, MD 20815

Proposed Scope of Work:

Convert garage to art studio—all interior
renovation within existing garage structure.

Dear Department of Permitting Services:

The above homeowner/contractor has notified Chevy Chase Village that they are planning to apply for both County and Municipal permits for the above summarized construction project. We have supplied them with a full set of the appropriate regulations, and they fully understand that a permit from the County does not guarantee a permit from this municipality, unless they comply with all the rules and regulations given to them with this letter. They have been provided with this information and the appropriate instructions to file for a Building Permit and/or variance form from this municipality.

Sincerely,



Geoffrey Biddle





3704 Bradley