

3810 Bradley Lane
Cherry Chase

35/13

Preliminary
Consultation

2008
HAWP

1-22-09

stamped plans
in ofc bin

AS

8/19 revised
plans in
bin



MANION &
ASSOCIATES
ARCHITECTS

LETTER OF TRANSMITTAL

PROJECT: Best Residence

DATE: 08/08/2011

TO:

Historic Preservation Commission
1109 Spring St, Suite 801, Silver Spring MD 20910

ATTN:

Anne Fothergill

WE TRANSMITT:

herewith in accordance with your request

FOR YOUR:

approval distribution to parties information

review & comment record use

THE FOLLOWING:

Drawings Specifications Change Order

Shop Drawings Samples Other

COPIES	DATE	REV. NO.	DESCRIPTION
2			Copies of approved permit/ to be resubmitted with new IRC 2009



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 1/22/09

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #501065--alterations and addition to garage

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the December 17, 2008 HPC meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Stephen and Kristen Best
Address: 3810 Bradley Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.





Approved

HPC Chairman (AP)

1/22/09 Date

RETURN TO: DEPARTMENT OF PERMITTING SERVICES 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

AP 501065

Contact Person: THOMAS MAJION Daytime Phone No.: 301.229.7000

Tax Account No.: Name of Property Owner: STEPHEN & KRISTEN BEST Daytime Phone No.: Address: 3810 BRADLEY LANE, CHEVY CHASE, MD, 20815 Contractor: OWNER Phone No.: 301.986.8671 Contractor Registration No.: N/A Agent for Owner: THOMAS MAJION Daytime Phone No.: 301.229.7000

LOCATION OF BUILDING/PREMISE

House Number: 3810 Street: BRADLEY LANE Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE Lot: PART OF LOT R&13 Block: 61 Subdivision: Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revoicable, Fence/Wall, etc. CHECK ALL APPLICABLE: AC, Slab, Room Addition, Solar, Fireplace, Woodburning Stove, Single Family, etc. 1B. Construction cost estimate: \$ 215,000.00 1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 X WSSC 02 Septic 03 Other: 2B. Type of water supply: 01 X WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

AP # 501065

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING DETACHED GARAGE LOCATED TO THE EAST OF THE HOUSE, DESCRIBED IN THE STAFF REPORT FOR THE OCTOBER 7TH MEETING OF 2008 AS A NON-CONTRIBUTING GARAGE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

STABILIZE STRUCTURE OF EXISTING GARAGE & CONSTRUCT AN ADDITION AT REAR OF 133 SQ FT WITH A SKYLIGHT & CEDAR SHINGLE ROOF, WOOD WINDOWS, WOOD TRIMS AND WOOD SHINGLES TO MATCH EXISTING GARAGE AND EXISTING HOUSE.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.

Fothergill, Anne

Subject: FW: HPC Hearing 8/12/09 - 4 Qu, 23 W Irving, 33 Ox, 3810 Br, 10 New

LAP comments for Cases II-B, F, G, I, K, and L

From: Bourke, Tom (Winchester Homes, Inc.)(Tom) [mailto:tom.bourke@whihomes.com]

Sent: Wednesday, August 12, 2009 3:00 PM

To: Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua

Cc: Bob Elliott; ChCh Village file (CCV@montgomerycountymd.gov); FeldmanGS@aol.com; Jacobs - Eph's daughter (abjdoe@gmail.com); Marsh, Joan (r.marshes@verizon.net); Stephens, Betsy; Wellington, P. (ccv)

Subject: FW: HPC Hearing 8/12/09 - 4 Qu, 23 W Irving, 33 Ox, 3810 Br, 10 New

The following are the comments from the Chevy Chase Village LAP for items on the HPC agenda for 8/12/09. Due to vacations etc, we were able to receive comments from only 3 members of the LAP:

4 Quincy

Non-contributing resource

New house construction

Staff recommendation - approval with conditions related to tree protection, new fence to be wood, 3 replacement trees

LAP comments: We had understood from Staff that the HPC on June 10th HPC had requested additional front yard setback for the main facade of the house, and we see in the minutes that there was extensive discussion of the front setback. We were disappointed that the location of the house in this submission does not appear to have been revised. In terms of square footage this will be one of the largest, if not the largest house, on Quincy St and its current location places it further forward than any of the other houses shown on the applicant's exhibit (21). All of the LAP members who were able to review this application were in agreement that the project not be approved unless the setback is increased to continue the contribute to the "park-like setting" recognized in the Guidelines. If a specific number is required, we suggest that the setback of the main front plane of the house be increased from 38.1' to the lesser of the setbacks of the two adjacent houses: 44.6'.

23 West Irving

Contributing Resource

Alterations to hardscape, shed, retaining wall, fencing

Staff recommends approval and had expedited this.

LAP concurs with Staff recommendation for approval. The LAP commends Staff for using the Expedited Approval process.

33 Oxford St

Contributing Resource

Fence installation - across side yards, 5' wooden picket

Staff recommends approval

LAP concurs with Staff recommendation

3810 Bradley

Outstanding Resource

Revision to approved addition, non-contributing garage

Staff recommends approval

LAP concurs with Staff recommendation

10 Newlands

Contributing Resource

Revisions to approved addition (in rear)

Staff recommends approval

LAP concurs with Staff recommendation

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address: 3810 Bradley Lane, Chevy Chase **Meeting Date:** 8/12/09
Resource: Outstanding Resource **Report Date:** 8/5/09
 Chevy Chase Village Historic District
Applicant: Stephen and Kristen Best (Tom Manion, Architect) **Public Notice:** 7/29/09
Review: HAWP **Tax Credit:** None
Case Number: 35/13-08BB REVISION **Staff:** Anne Fothergill

PROPOSAL: Revision to approved addition and alterations to non-contributing garage

STAFF RECOMMENDATION

Staff recommends that the HPC approve this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1910

Edward W. Donn, Jr. of Wood, Donn & Deming Architects designed this two-story stucco and wood shingle house for his residence. Although once more symmetrical, the wings were heavily altered in the 1980s. A non-contributing garage is located to the east of the house.

BACKGROUND

In December 2008 the HPC approved alterations and a rear addition to the garage. The applicants are now proposing minor revisions to those approved plans.

PROPOSAL

The applicants propose to make the following changes to the approved plans for rear addition to the non-contributing garage:

- The footprint has been reduced approximately 50 SF
- Two new dormers will be constructed with standing seam metal roofing
- Ridge skylights has been removed; new flat skylight at rear left side
- New wood trellises
- Fenestration changes in the addition

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These

documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District

The Guidelines define an Outstanding Resource as “A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historic associations that make the resource especially representative of an architectural style, it must be especially important to the history of the district, and/or it must be especially unique within the context of the district.”

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

Specifically, the *Guidelines* state:

- *Garages and accessory buildings* which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district

in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

(4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

(5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

(6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The proposed revisions to the approved plans for changes to an addition at the rear of a non-contributing outbuilding are allowable using lenient scrutiny. The addition will not have a negative impact on the historic resource or the historic district.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)1 and 2:

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; and,

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to

submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-5370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: THOMAS MANION
Daytime Phone No.: 301.229.7000

Tax Account No.: _____
Name of Property Owner: STEPHEN & KRISTEN BEST Daytime Phone No.: _____
Address: 3810 BRADLEY LANE CHEY CHASE MD 20815
Street Number City State Zip Code
Contractor: QUER Phone No.: 301.986.8671
Contractor Registration No.: N/A
Agent for Owner: THOMAS MANION Daytime Phone No.: 301.229.7000

LOCATION OF BUILDING/PREMISE

House Number: 3810 Street: BRADLEY LANE
Town/City: CHEY CHASE Nearest Cross Street: CONNECTICUT AVE.
Lot: 2 # 12 Block: 61 Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 215,000.00
1C. If this is a revision of a previously approved active permit, see Permit # 501065

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent _____ Date _____

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING DETACHED GARAGE LOCATED TO
THE EAST OF THE HOUSE, DESCRIBED IN
THE SAFF REPORT FOR THE OCTOBER
7TH MEETING OF 2008 AS A NON-CONTRIBUTING
GARAGE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

STABILIZE STRUCTURE OF EXISTING GARAGE &
CONSTRUCT AN ADDITION AT REAR OF EB SQFT -
NEW STRUCTURE TO HAVE CEDAR SHINGLE ROOF,
WOOD WINDOWS, WOOD TRIMS & WOOD SHINGLES
EXT. WALLS TO MATCH EXISTING GARAGE & EXISTING HOUSE.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
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- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

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- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/779-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

(6)



MANION & ASSOCIATES | ARCHITECTS

7307 MacArthur Boulevard, Suite 216; Bethesda, Maryland 20816; T: 301.229.7000; F:
301.229.7171

Historic Preservation Commission
Montgomery County, Maryland

July 31, 2009

Re: Revision of previously approved active permit # 501065
3810 Bradley Lane, Chevy Chase, MD 20815

Attn: Board Members

We have made several modifications to the existing approved permit per clients request and would like to have them reviewed by the board:

- 1. Added new dormer at East and West Elevation with standing seam roof and two double casement windows matching the existing house.*
- 2. Eliminated skylight at ridge from the new roof and added new small skylight at shower.*
- 3. Added obscure glass to the shower at North and East Elevation.*
- 4. Added shutters to existing windows at East and West elevation to match existing house.*
- 5. Changed window at rear to 3-unit tilt window with arch top transom.*
- 6. Eliminated entry door at East Elevation and added a double tilt window.*
- 7. New gable addition is 2'-0" shorter and 21'-2" wide. See site plan for reference.*
- 8. New painted cedar trellis with wisteria above garage doors, new side and rear window.*

Materials, construction and windows to match existing structure.

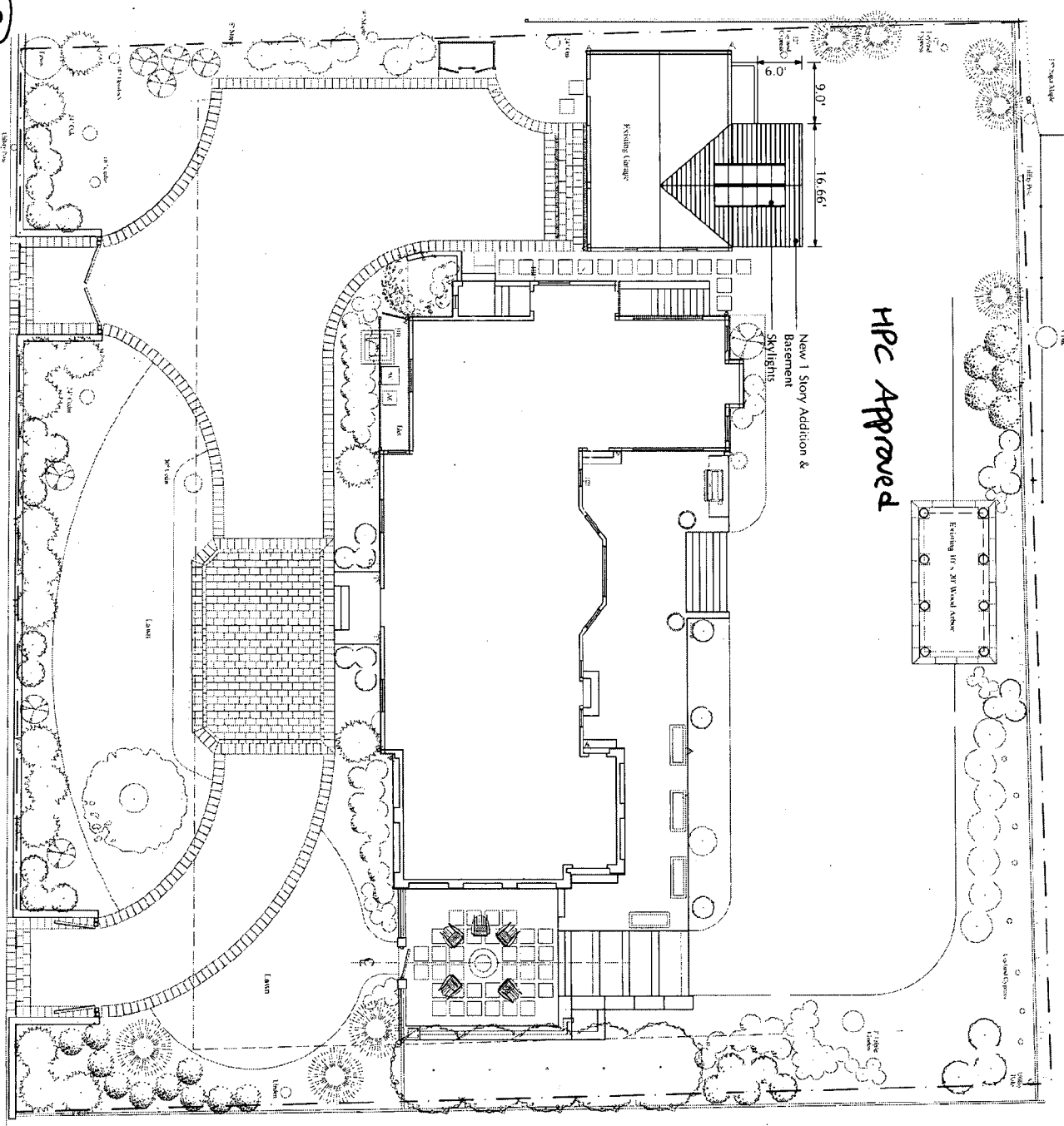
Thank you for your consideration,

Thomas Manion AIA

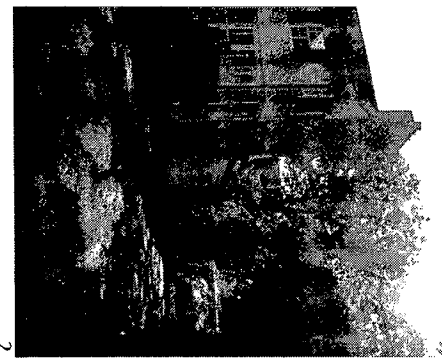
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Site Plan
SCALE: 1" = 10'

BRADLEY LANE



HPC Approved



DRAWN BY: Gabriela Lenz
CHECKED BY: Thomas Manion
DATE: 11/25/2008
© COPYRIGHT 2008 ALL RIGHTS RESERVED

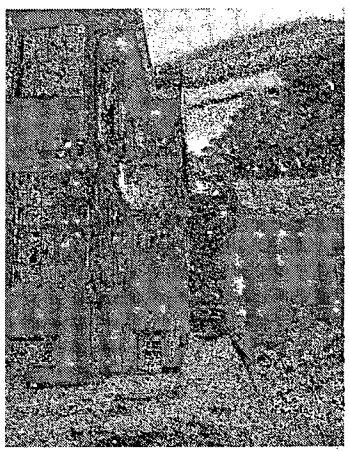
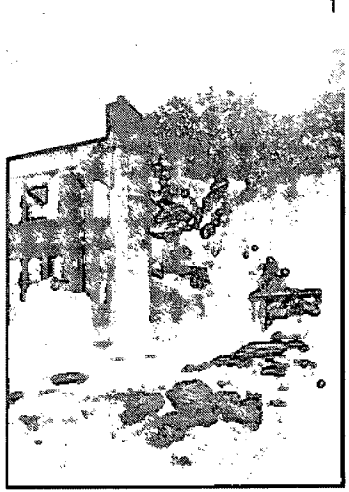
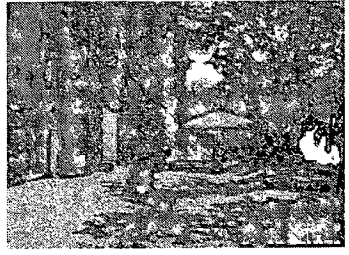
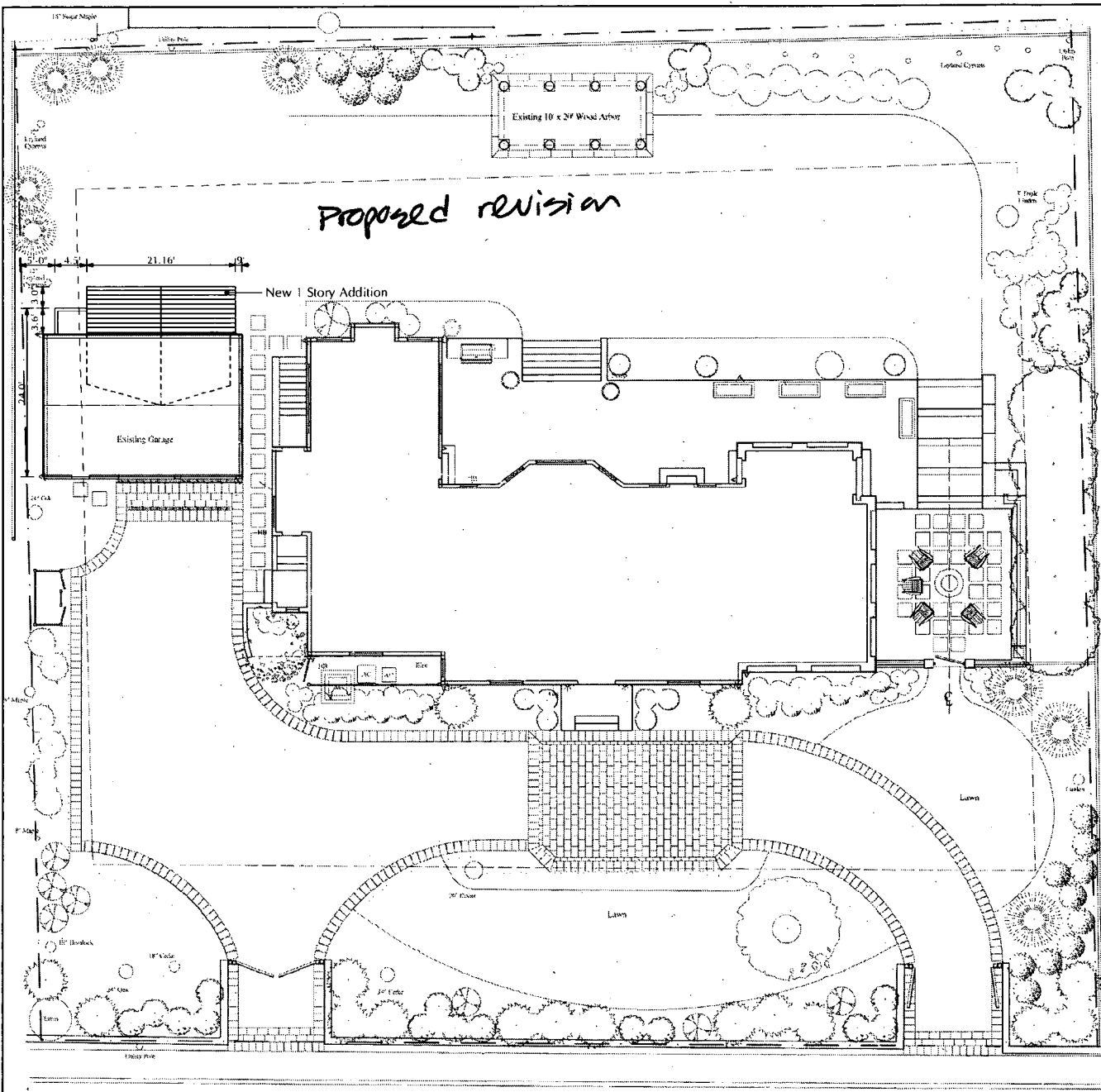
Site Plan-Historic
PHASE: #Phase
SCHEME #Scheme
NOT FOR CONSTRUCTION

Best Residence
3810 Bradley Lane
Chevy Chase, MD 20815

MANION & ASSOCIATES ARCHITECTS
7307 MACARTHUR BLVD. SUITE #216; BETHESDA, MD 20816;
T: 301.229.7000 F: 301.229.7171 www.manionandassociates.com



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**MANION & ASSOCIATES
ARCHITECTS**
7307 MACARTHUR BLVD #216
BETHESDA, MD 20816
PHONE: 301.229.7000
FAX: 301.229.7171
www.manionandassociates.com

Site Plan
Best Residence
3810 Bradley Lane
Chevy Chase, MD 20815

SEAL:
"PROFESSIONAL VERIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 3727-R EXPIRATION DATE: 05.08.2009."

DRAWN BY:
G. Lopez, dhanna
CHECKED BY:
Thomas Manion
DATE:
7/29/2009
PHASE:
Construction Drawings
REVISIONS:

DO NOT SCALE DRAWINGS
DIMENSIONS SHOWN ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. ONLY THE CHECK SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS SHOWN ON THESE DRAWINGS.

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G1.2
SHEET 2 OF 18

1
G1.2
Site Plan
SCALE: 1" = 10'

BRADLEY LANE

1

2

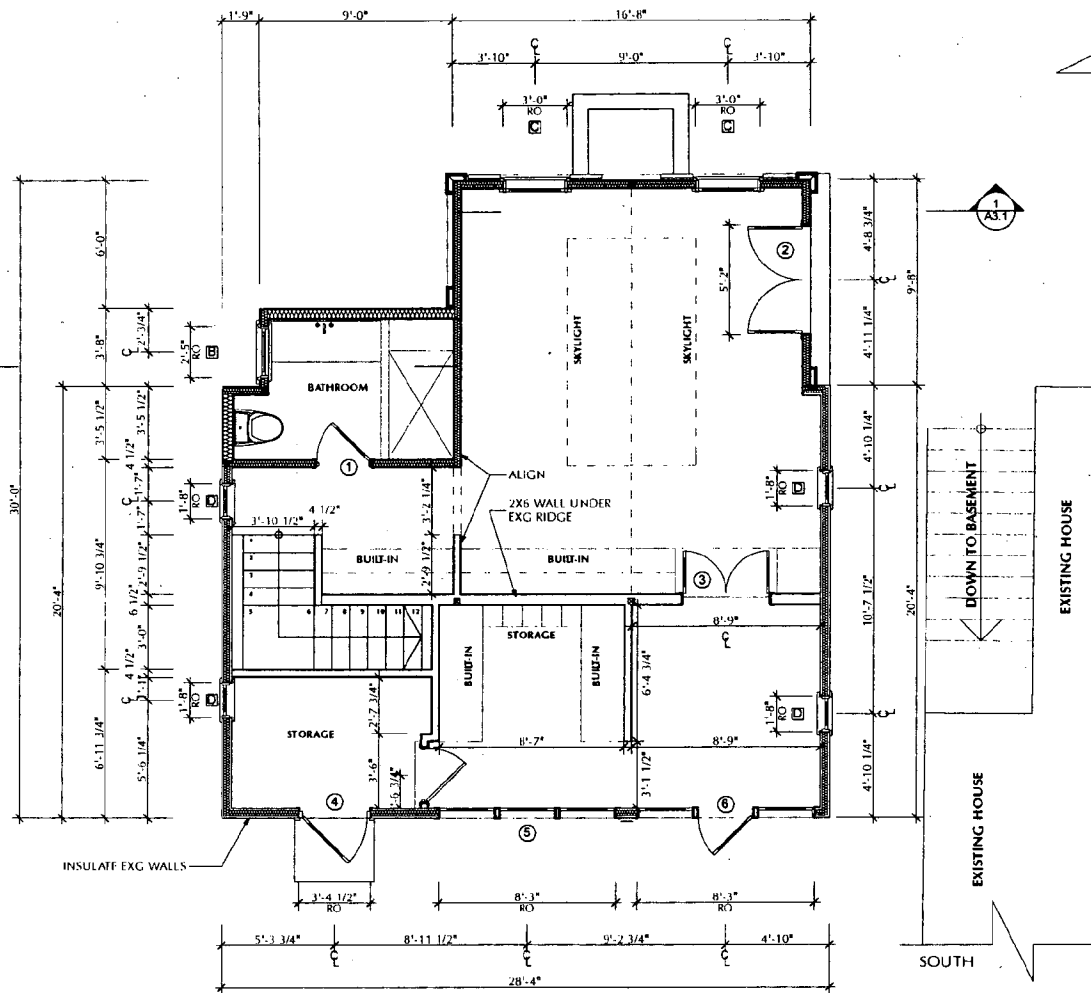
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b

M:\Projects\Best\CD's\Best_08_11-11_CD.pln

1
A1.2

1 First Floor Plan
SCALE: 1/4" = 1'-0"



HPC Approved



**MANION & ASSOCIATES
ARCHITECTS**
7307 MACARTHUR BLVD #2116
BETHESDA, MD 20816
PHONE: 301.229.7000
FAX: 301.229.7177
www.manionandassociates.com

First Floor Plan
Best Residence
3810 Bradley Lane
Chevy Chase, MD 20815

SCALE:

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM A
FULLY LICENSED ARCHITECT UNDER
THE LAWS OF THE STATE OF
MARYLAND, LICENSE NO. 3722-B
EXPIRATION DATE 05.06.1010.

DRAWN BY:
C. Lomiz, dhanna
CHECKED BY:
Thomas Manion
DATE:
11/25/2008
PHASE:
Construction Drawings
REVISIONS:

DO NOT SCALE DRAWINGS
WRITERS DIMENSIONS OR NOTES
DIMENSIONS SHALL HAVE PRECEDENCE
OVER SCALE DIMENSIONS. CONTRACTORS
SHALL VERIFY AND BE RESPONSIBLE FOR
ALL DIMENSIONS AND CONDITIONS ON
THE JOB AND THIS WORK MUST BE
PROTECTED BY ANY PROTECTIONS FROM THE
DIMENSIONS AND CONDITIONS.

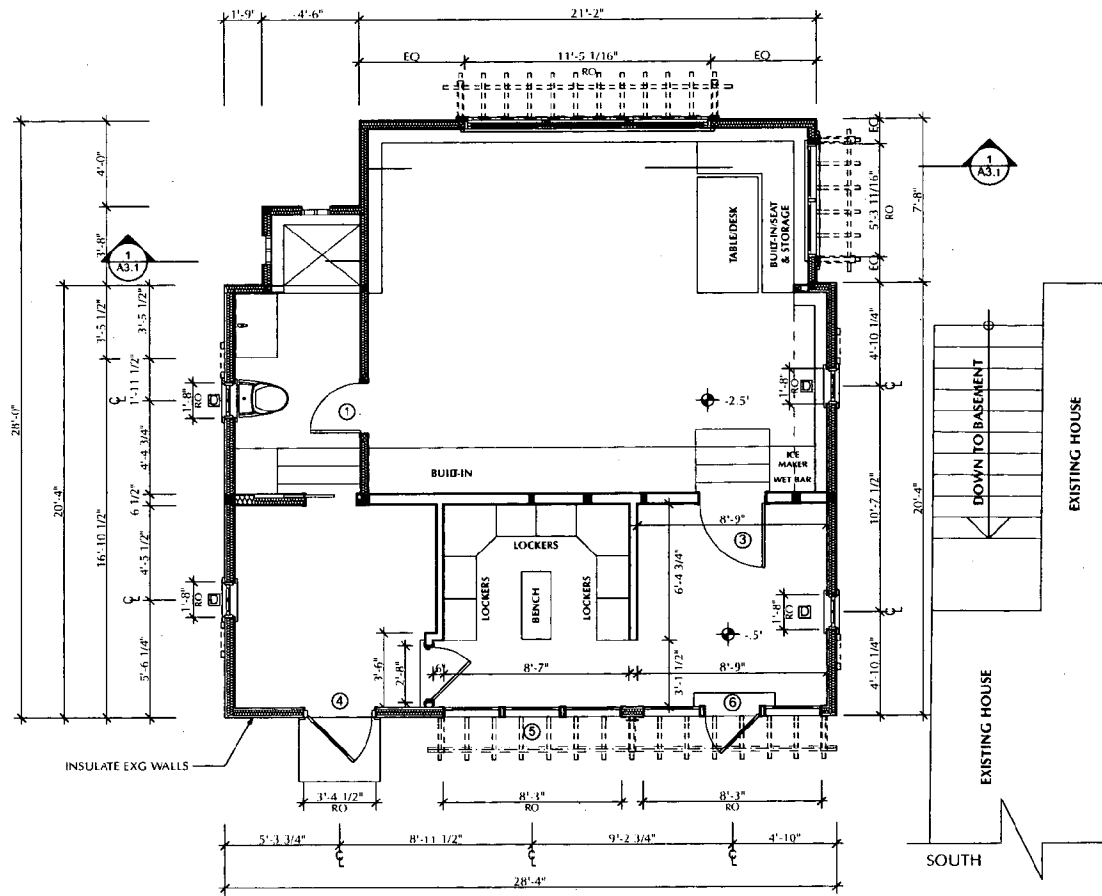
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A1.2
SHEET 11 OF 18

M:\Projects\Best\CD's\Best_09_07_31_CD_Hist.pln

11

1 First Floor Plan
SCALE: 1/4" = 1'-0"



MANION & ASSOCIATES
ARCHITECTS

7307 MACARTHUR BLVD # 216
BETHESDA, MD 20815
PHONE: 301.229.7000
FAX: 301.229.7171

www.manionandassociates.com

First Floor Plan-Sch A

Best Residence
3810 Bradley Lane
Chevy Chase, MD 20815

SEAL:

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DRAWN BY:	G. Lenz, dhama
CHECKED BY:	Thomas Manion
DATE:	7/31/2009
PHASE:	Construction Drawings
REVISIONS:	

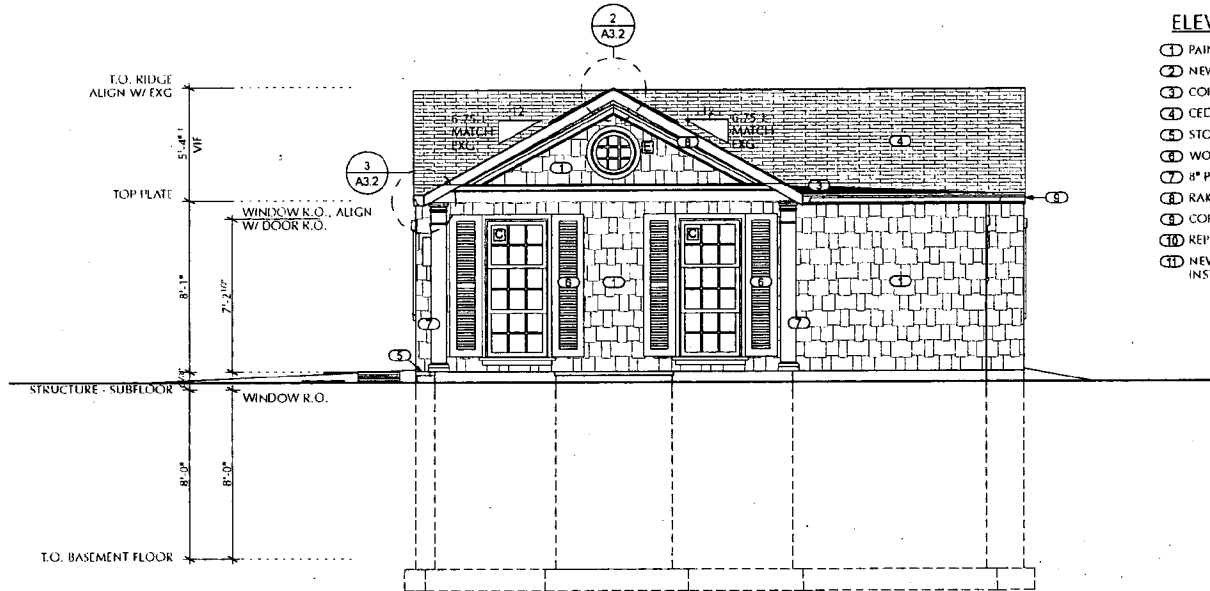
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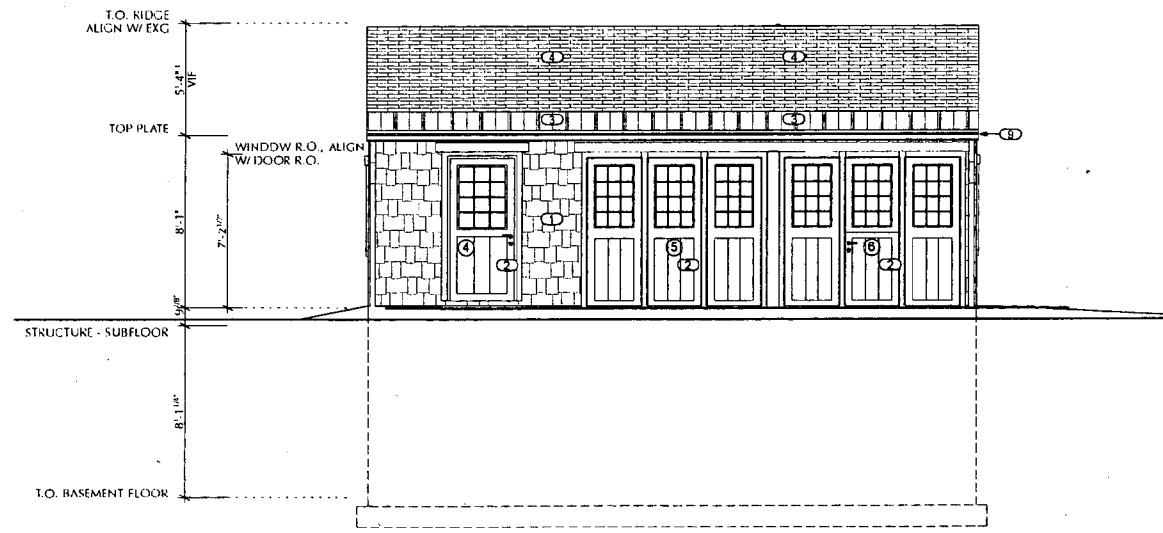
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SHEET 10 OF 16

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1 North Elevation
SCALE: 1/4" = 1'-0"



2 South Elevation
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- ① PAINTED CEDAR SHAKES TO MATCH EXG. MAIN HOUSE
- ② NEW WOOD DOOR W/ SIMULATED DIVIDED LITES
- ③ COPPER ROOFING
- ④ CEDAR SHAKE ROOFING TO MATCH EXG.
- ⑤ STONE CAP
- ⑥ WOOD SHUTTERS TO MATCH EXG. MAIN HOUSE
- ⑦ 8" PILASTERS W/ CAP & BASE
- ⑧ RAKE & TRIM TO MATCH EXG.
- ⑨ COPPER GUTTERS & DOWNSPOUTS TO MATCH EXG.
- ⑩ REPLACEMENT WINDOW
- ⑪ NEW GLASS SKYLIGHT FROM FOUR SEASONS TO BE INSTALLED BY DISTRIBUTOR



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North & South Elevations

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EXPIRATION DATE: 05.08.2018

DRAWN BY:
G. Lopez (thamma)
CHECKED BY:
Thomas Manion
DATE:
11/25/2008
PHASE:
Construction Drawings
REVISIONS:

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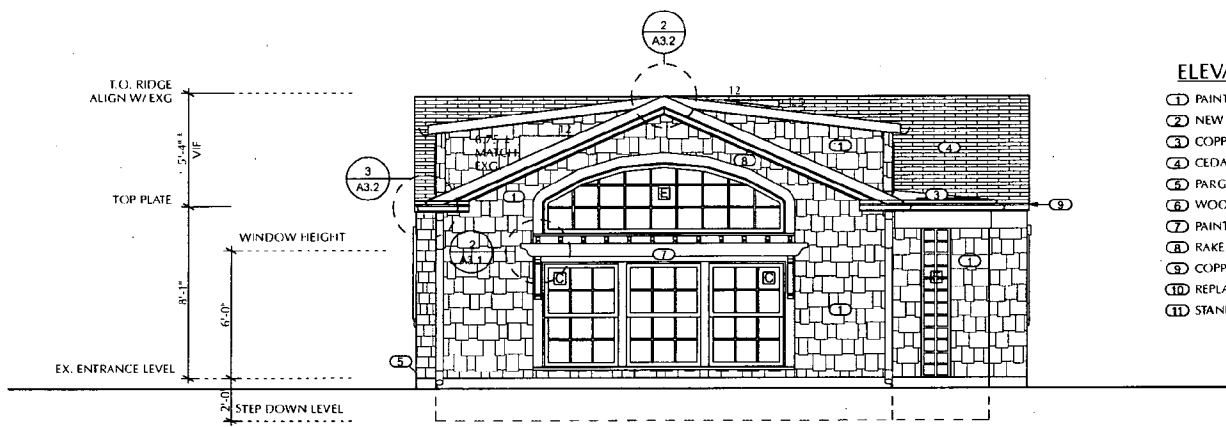
12



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- ELEVATION KEYNOTES**
- ① PAINTED CEDAR SHAKES TO MATCH EXG. MAIN HOUSE
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 - ③ COPPER ROOFING
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 - ⑤ PARGING
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 - ⑧ RAKE & TRIM TO MATCH EXG.
 - ⑨ COPPER GUTTERS & DOWNSPOUTS TO MATCH EXG.
 - ⑩ REPLACEMENT WINDOW
 - ⑪ STANDING SEAM METAL ROOF



1 North Elevation
SCALE: 1/4" = 1'-0"



2 South Elevation
SCALE: 1/4" = 1'-0"

SEAL:

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DRAWN BY: C. Leniz, rhamma
CHECKED BY: Thomas Manion
DATE: 7/21/2009
PHASE: Construction Drawings

REVISIONS:

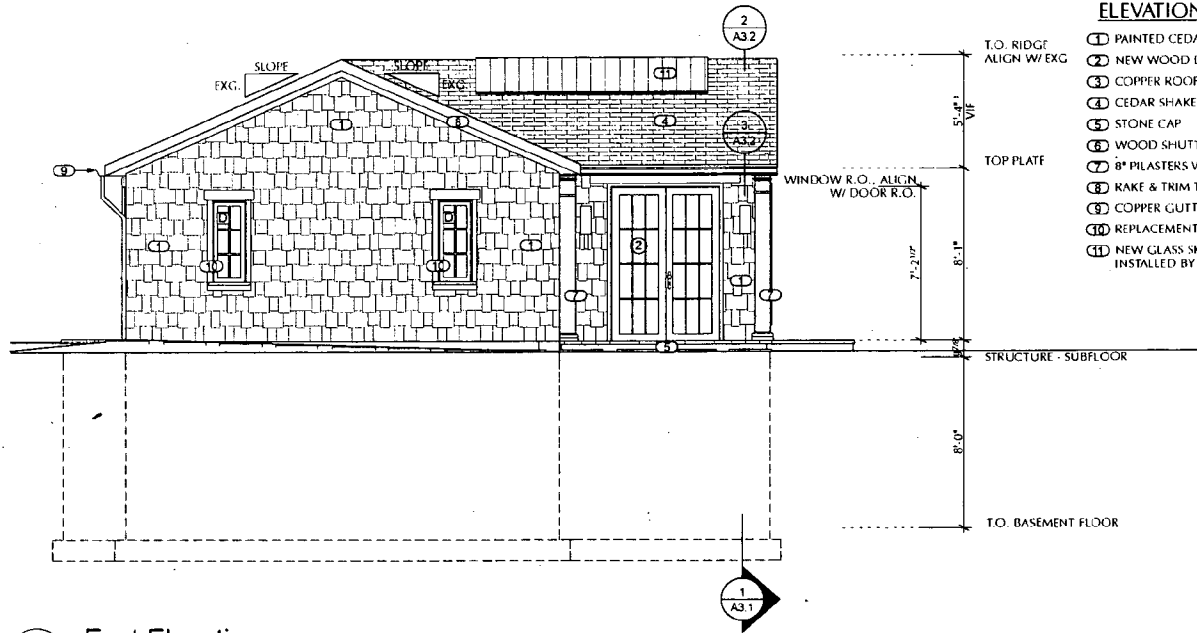
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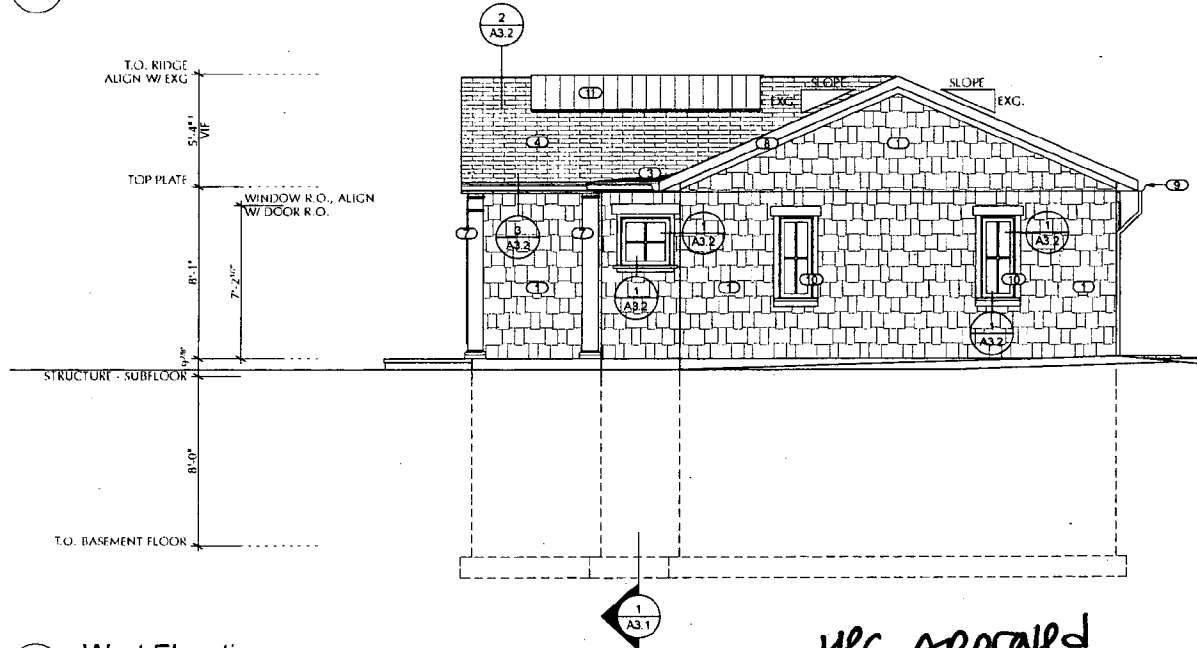
proposed revision



ELEVATION KEYNOTES

- ① PAINTED CEDAR SHAKES TO MATCH EXG. MAIN HOUSE
- ② NEW WOOD DOOR W/ SIMULATED DIVIDED LITES
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1 East Elevation
SCALE: 1/4" = 1'-0"



2 West Elevation
SCALE: 1/4" = 1'-0"

HPC Approved



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East & West Elevations

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DRAWN BY:
G. Lutz, dhanna
CHECKED BY:
Thomas Manion
DATE:
11/25/2008
PHASE:
Construction Drawings
REVISIONS:

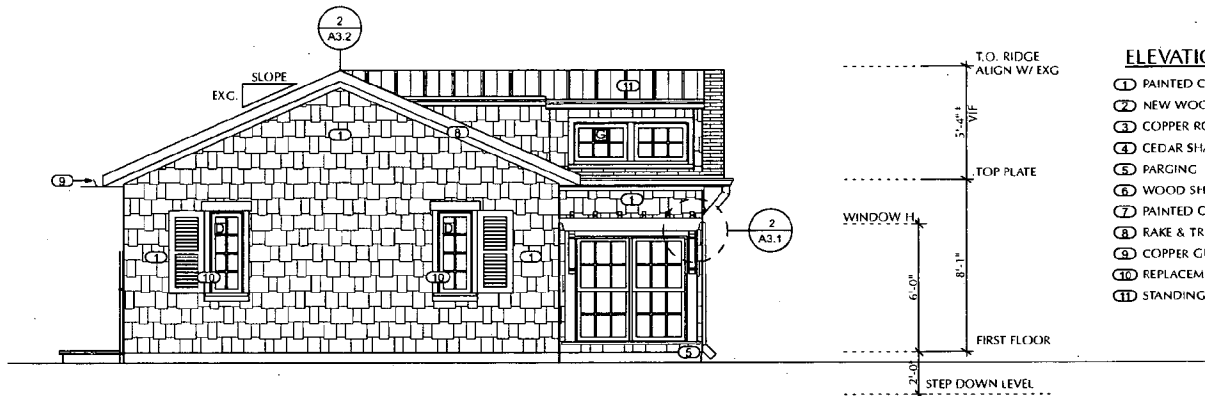
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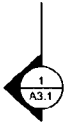
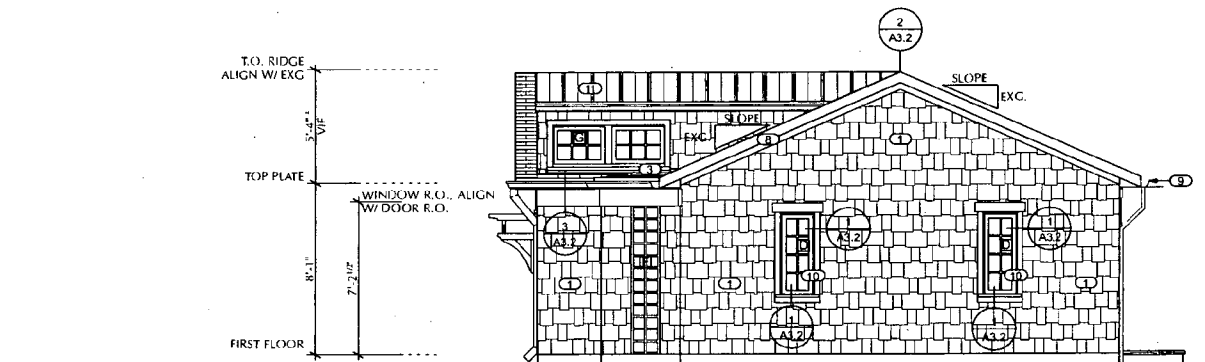


ELEVATION KEYNOTES

- ① PAINTED CEDAR SHAKES TO MATCH EXC. MAIN HOUSE
- ② NEW WOOD DOOR W/ SIMULATED DIVIDED LITES
- ③ COPPER ROOFING
- ④ CEDAR SHAKE ROOFING TO MATCH EXC.
- ⑤ PARGING
- ⑥ WOOD SHUTTERS TO MATCH EXC. MAIN HOUSE
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- ⑧ RAKE & TRIM TO MATCH EXC.
- ⑨ COPPER GUTTERS & DOWNSPOUTS TO MATCH EXC.
- ⑩ REPLACEMENT WINDOW
- ⑪ STANDING SEAM METAL ROOF



1 East Elevation
SCALE: 1/4" = 1'-0"



2 West Elevation
SCALE: 1/4" = 1'-0"

proposed revision



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CHECKED BY:	Thomas Macon
DATE:	7/21/2009
PHASE:	Construction Drawings
REVISIONS:	

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Roof Framing Plan

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DRAWN BY:

C. Lewis, dharmak

CHECKED BY:

Thomas Manion

DATE:

7/31/2009

PHASE:

Construction Drawings

REVISIONS:

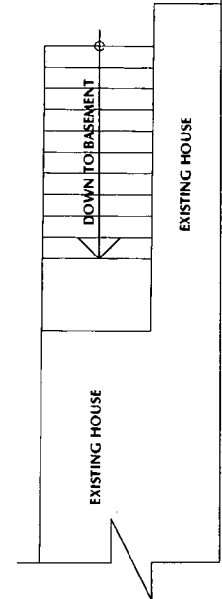
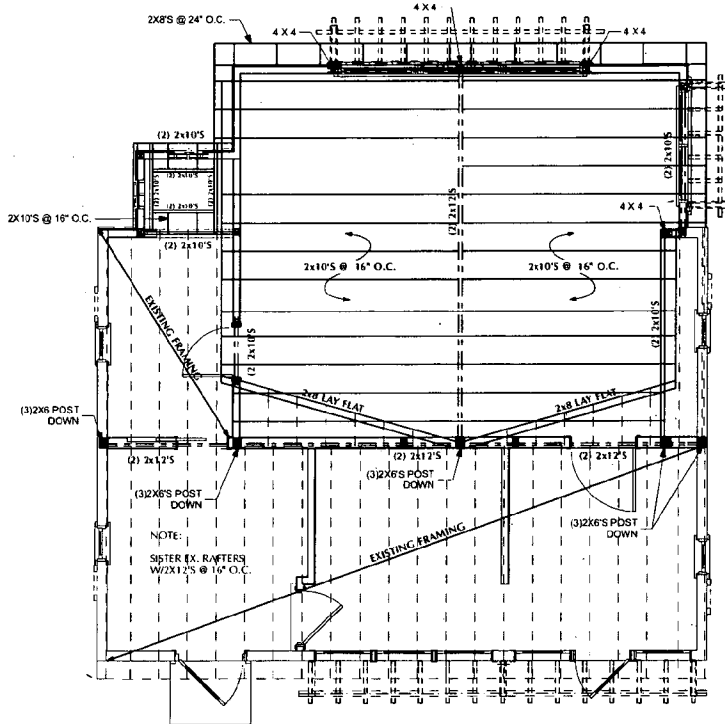
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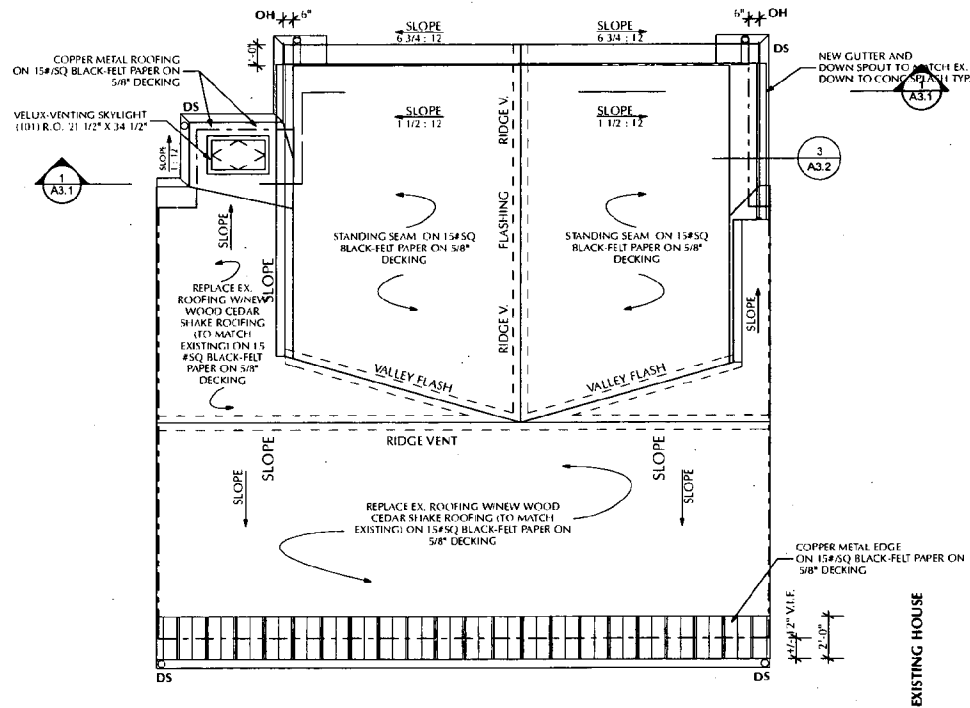


1 Roof Framing Plan
SCALE: 1/4" = 1'-0"

16

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(17)



1 Roof Plan
SCALE: 1/4" = 1'-0"



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Roof Plan
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THE LAWS OF THE STATE OF
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EXPIRATION DATE: 05.08.2010.*

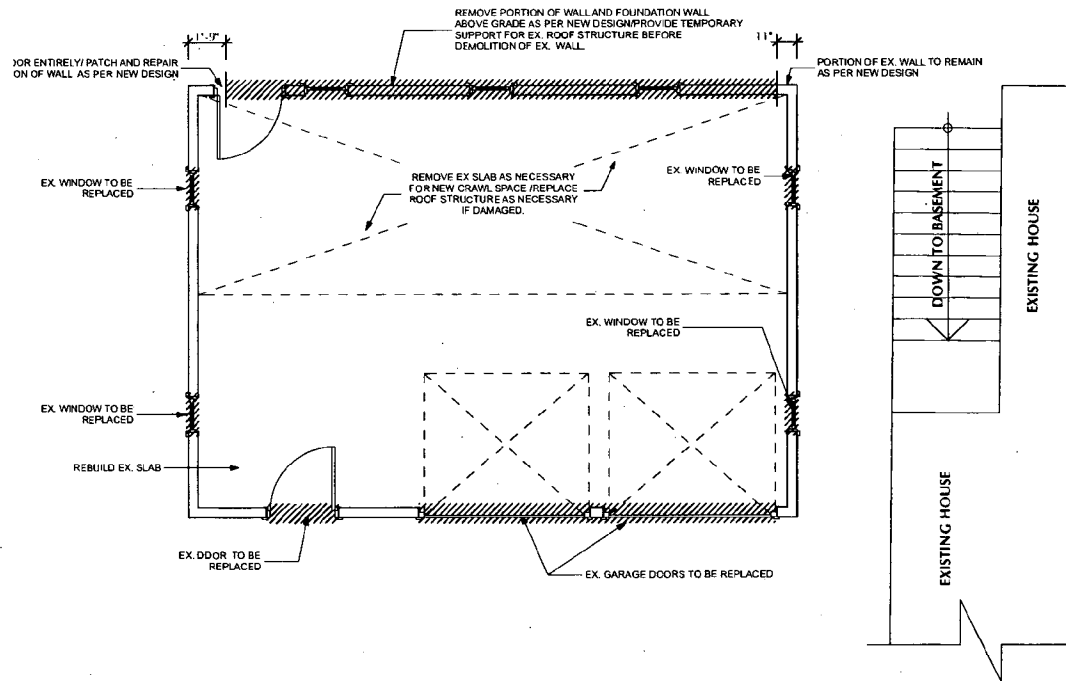
DRAWN BY:
G. Lenz, dhanna
CHECKED BY:
Thomas Manion
DATE:
7/21/2009
PHASE:
Construction Drawings
REVISIONS:

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THE JOB AND THE CONTRACT SHALL BE
NOURISHED ON ANY VARIATIONS FROM THE
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1 First Floor Demo
D1.1 SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

WALLS:

REMOVE ALL EXISTING WALLS AS NOTED ON PLANS. PROVIDE ALL NECESSARY TEMPORARY AND PERMANENT SUPPORTS FOR FLOOR JOISTS, ROOF RAFTERS, BEARING WALLS, ETC. PRIOR TO DEMOLITION.

FLOORS:

PULL UP ANY AREAS OF FLOORING DAMAGED OR TO BE REPLACED. SEE FINISH SCHEDULE FOR FLOOR FINISHES. REMOVE AND REPLACE ANY DETERIORATED SUB-FLOORING. BUILD OVER EXPOSED OPENINGS IN FLOOR, RESTRUCTURE AS NECESSARY.

CEILINGS:

REMOVE EXISTING CEILINGS IN ROOMS TO BE RENOVATED, EXPOSE JOISTS, INSPECT, AND MARK ALL JOISTS REQUIRING STRUCTURAL REINFORCEMENT. COORDINATE WITH ARCHITECT AS REQUIRED.

WINDOWS AND DOORS:

REMOVE EXISTING WINDOWS AND DOORS AS NOTED ON PLANS- SAVE FOR POSSIBLE REUSE. STRIP OPENINGS OF ALL TRIM, COUNTERWEIGHTS, SILLS, HINGES, ETC. LINTELS AND STRUCTURAL FRAMING TO REMAIN UNLESS NOTED OTHERWISE.

ELECTRICAL:

REMOVE ALL EXISTING WIRING IN AREAS TO BE RENOVATED. CHECK FOR POTENTIAL REUSE OF OUTLET CIRCUITS, CHECK ALL WIRING FROM BOX TO SUB-PANEL. CUT AND CAP (PER CODE) ANY LINES TO BE ABANDONED.

PLUMBING:

DISCONNECT EXISTING SUPPLY AND DRAIN LINES IN AREAS TO BE RENOVATED. REUSE AND RECONNECT TO NEW LINES AND LOCATIONS AS POSSIBLE. CHECK CONDITION OF EXISTING SUPPLIES, VENTS, STACKS, AND DRAINS. CLEAN OUT AND REPAIR AS NECESSARY.

HVAC:

DUCTS TO REMAIN, RELOCATE LINES IF REQUIRED BY NEW WORK. UPGRADE HVAC SYSTEM IF NEEDED, TO MEET NEW HEATING AND AIR CONDITIONING REQUIREMENTS.

SAVE:

ALL INTERIOR TRIM, WINDOWS, AND DOORS ARE TO BE REMOVED IN TACT FOR POSSIBLE REUSE. SAVE ALL CABINETS AND APPLIANCES FOR POSSIBLE REUSE. COORDINATE WITH ARCHITECT/ OWNER BEFORE DISPOSAL.



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First Floor Demo Plan

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MARYLAND. LICENSE NO.: 3727-R
EXPIRATION DATE: 06-08-2010."

DRAWN BY:
C. Lenz, diana
CHECKED BY:
Thomas Manion
DATE:
7/21/2009
PHASE:
Construction Drawings
REVISIONS:

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OVER SCALE DIMENSIONS. CONTRACTORS
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THE JOB AND THIS SHALL BE
NOTHED TO ANY VARIATIONS FROM THE
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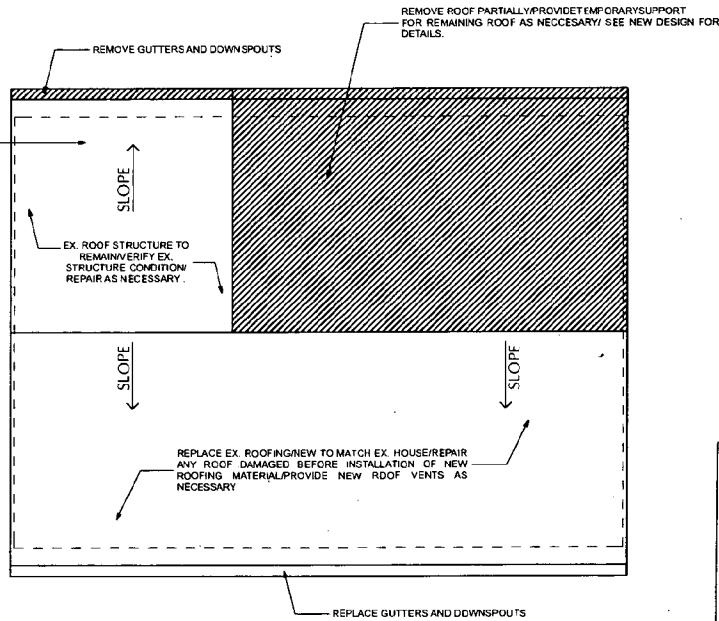
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SHEET 5 OF 18

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(b1)

REPLACE EX. ROOFING/NEW TO MATCH EX. HOUSE/REPAIR ANY ROOF DAMAGED BEFORE INSTALLATION OF NEW ROOFING MATERIAL/PROVIDE NEW ROOF VENTS AS NECESSARY.



1 Roof Demo
D1.2 SCALE: 1/4" = 1'-0"



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Roof Demo Plan

Best Residence
3810 Bradley Lane
Chevy Chase, MD 20815

SEAL:

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THE LAWS OF THE STATE OF
MARYLAND. LICENSE NO: 3727-R
EXPIRATION DATE: 05.08.2010.

DRAWN BY:
G. Lenz, dhanna

CHECKED BY:
Thomas Manion

DATE:
7/21/2009

PHASE:
Construction Drawings

REVISIONS:

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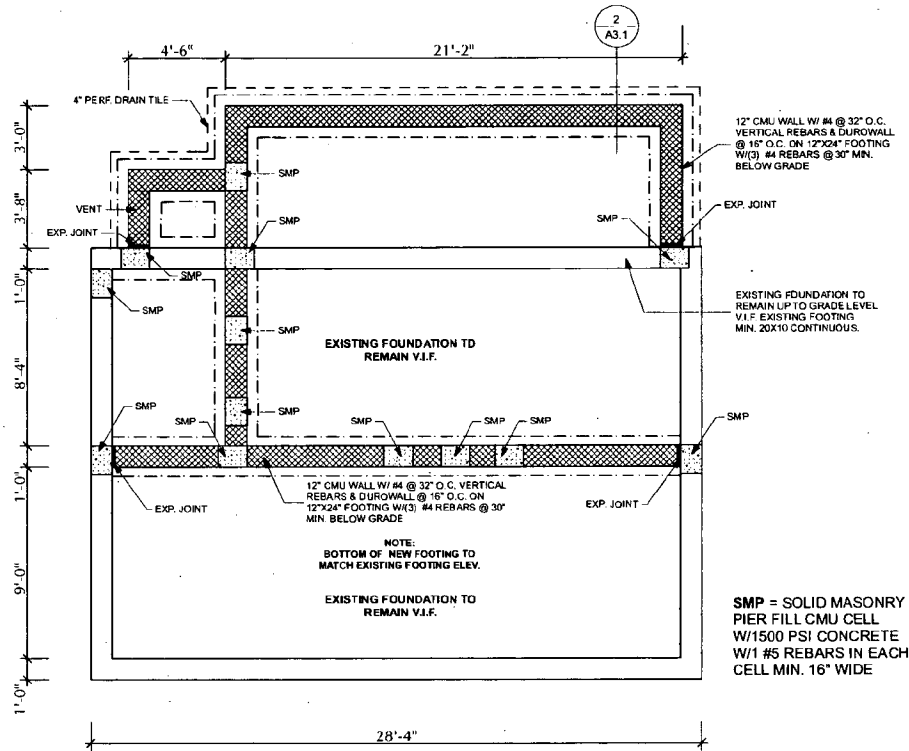
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SHEET 6 OF 18

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20

1 Foundation
SCALE: 1/4" = 1'-0"



SMP = SOLID MASONRY
PIER FILL CMU CELL
W/1500 PSI CONCRETE
W/ #5 REBARS IN EACH
CELL MIN. 16" WIDE



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FAX 301.229.7171

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Foundation Plan

Best Residence
3810 Bradley Lane
Chevy Chase, MD 20815

SCALE:

PROFESSIONAL CERTIFICATION I
HEREBY CERTIFY THAT THESE
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APPROVED BY ME, AND THAT I AM A
DULY LICENSED ARCHITECT UNDER
THE LAWS OF THE STATE OF
MARYLAND. LICENSE NO.: 3727-R
EXPIRATION DATE: 05.06.2010.

DRAWN BY:	G. Lenz, dhanna
CHECKED BY:	Thomas Manion
DATE:	7/21/2009
PHASE:	Construction Drawings
REVISIONS:	

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DIMENSIONS OF THESE
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OVER SCALE DIMENSIONS. CONTRACTORS
SHALL VERIFY AND BE RESPONSIBLE FOR
ALL DIMENSIONS AND COORDINATIONS
FOR THE JOB AND THE WORK SHALL BE
NUMBERED OR ANY VARIATIONS FROM THE
DIMENSIONS AND COORDINATIONS.

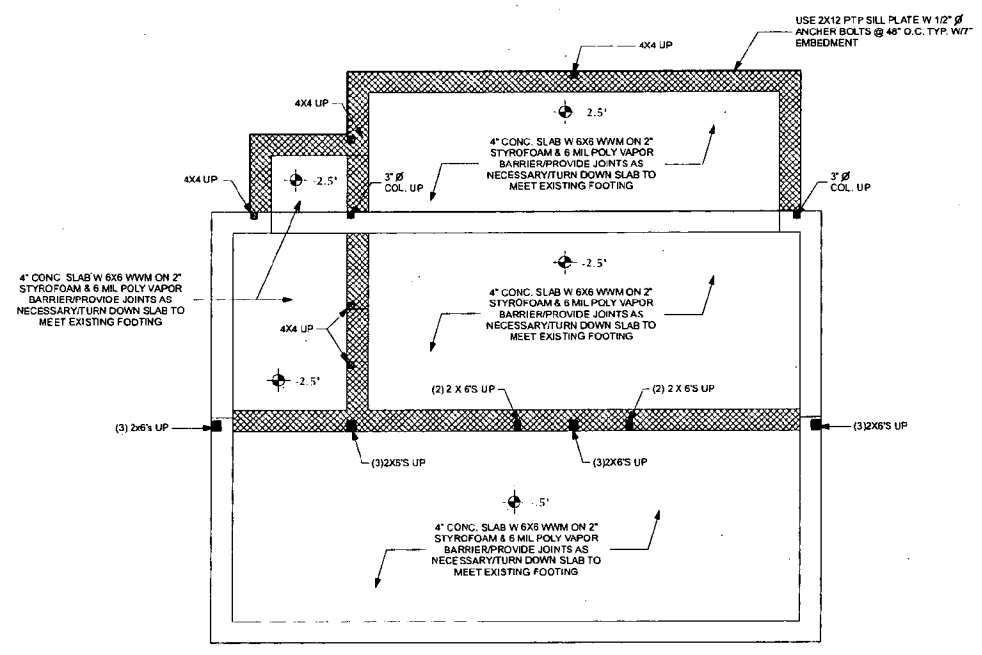
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SHEET 7 OF 18

(12)

1 First Floor Framing Plan
SCALE: 1/4" = 1'-0"




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First Floor Framing Plan
Best Residence
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Chevy Chase, MD 20815

SEAL:

"PROFESSIONAL ENGINEER ATTEST I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LEGALLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 3727-R EXPIRATION DATE: 05.08.2010"

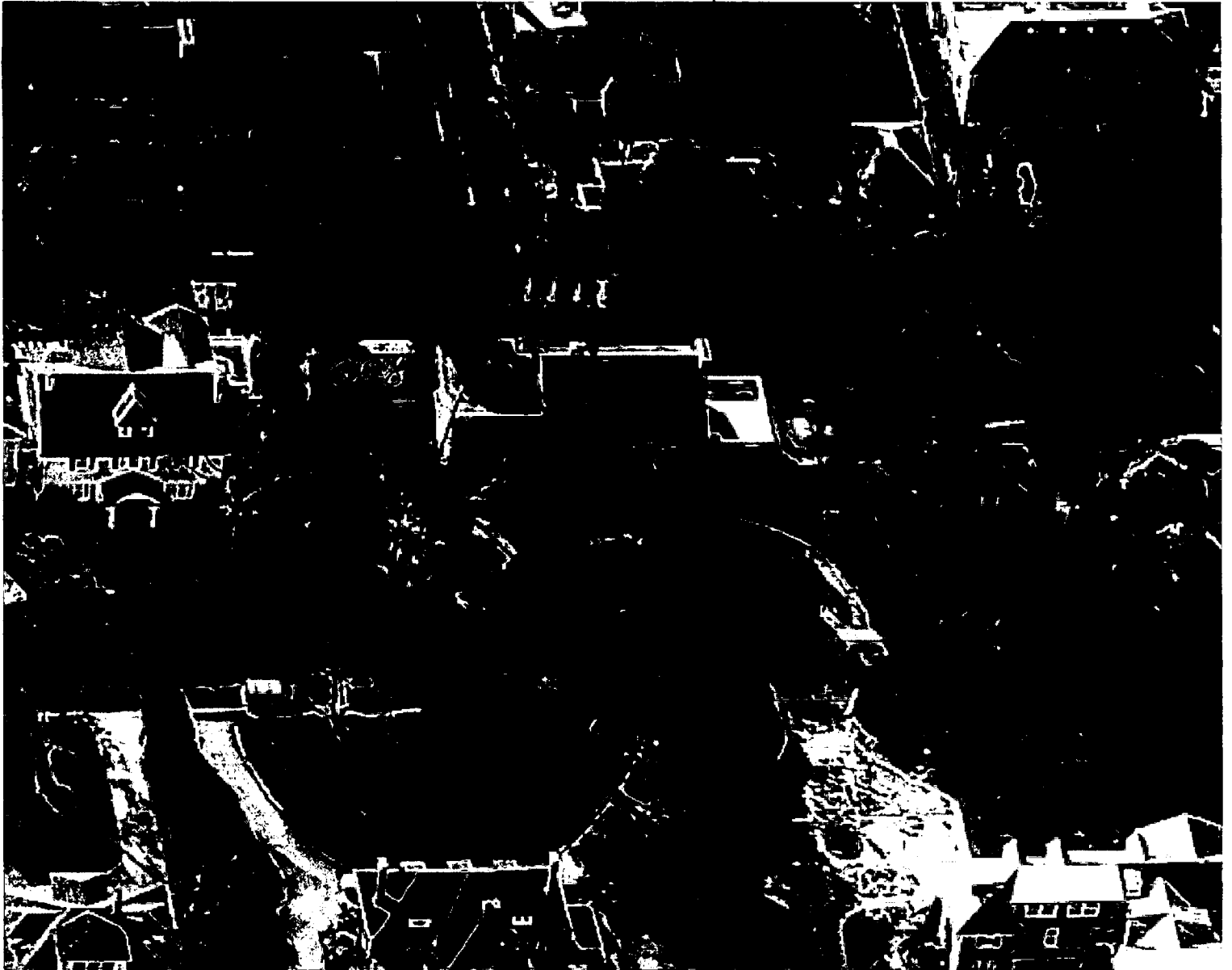
DRAWN BY:
G. Lewis, rhamms
CHECKED BY:
Thomas Manion
DATE:
7/21/2009
PHASE:
Construction Drawings
REVISIONS:

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S1.2
SHEET 8 OF 18

3810 Bradley



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29
13

3810 Bradley (looking north at back of house)



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52
14

3810 Bradley front



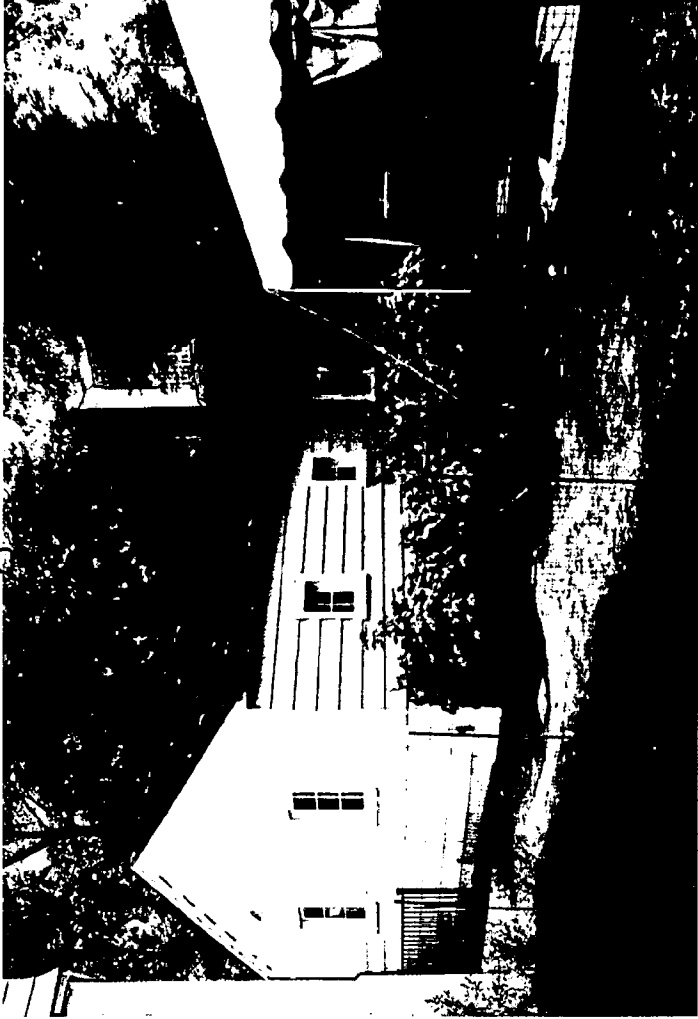
Garage

Garage at left of house

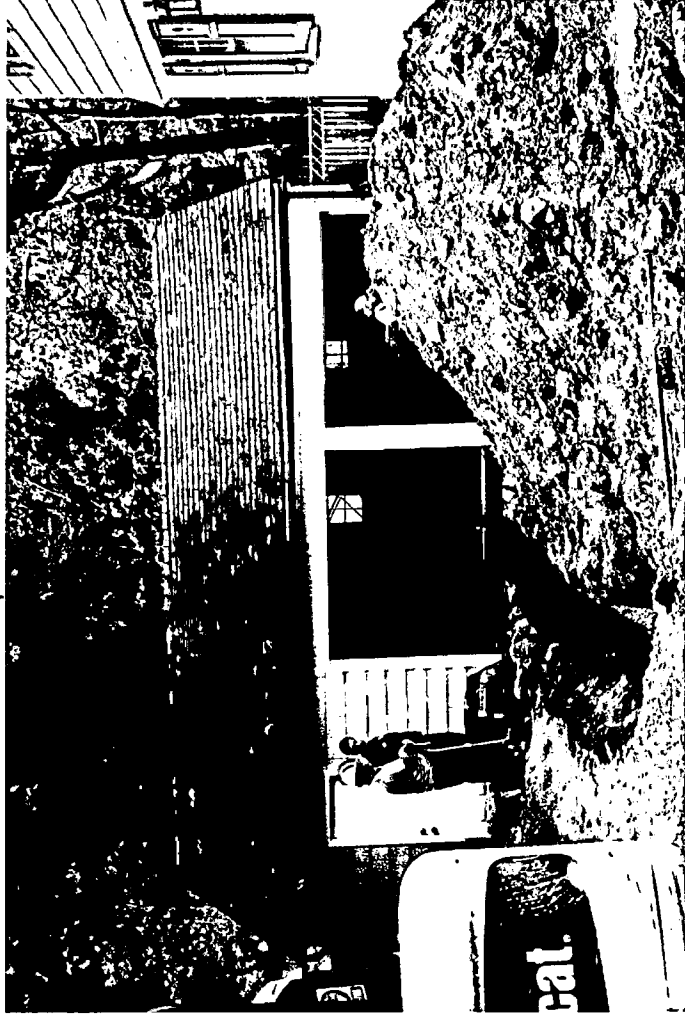


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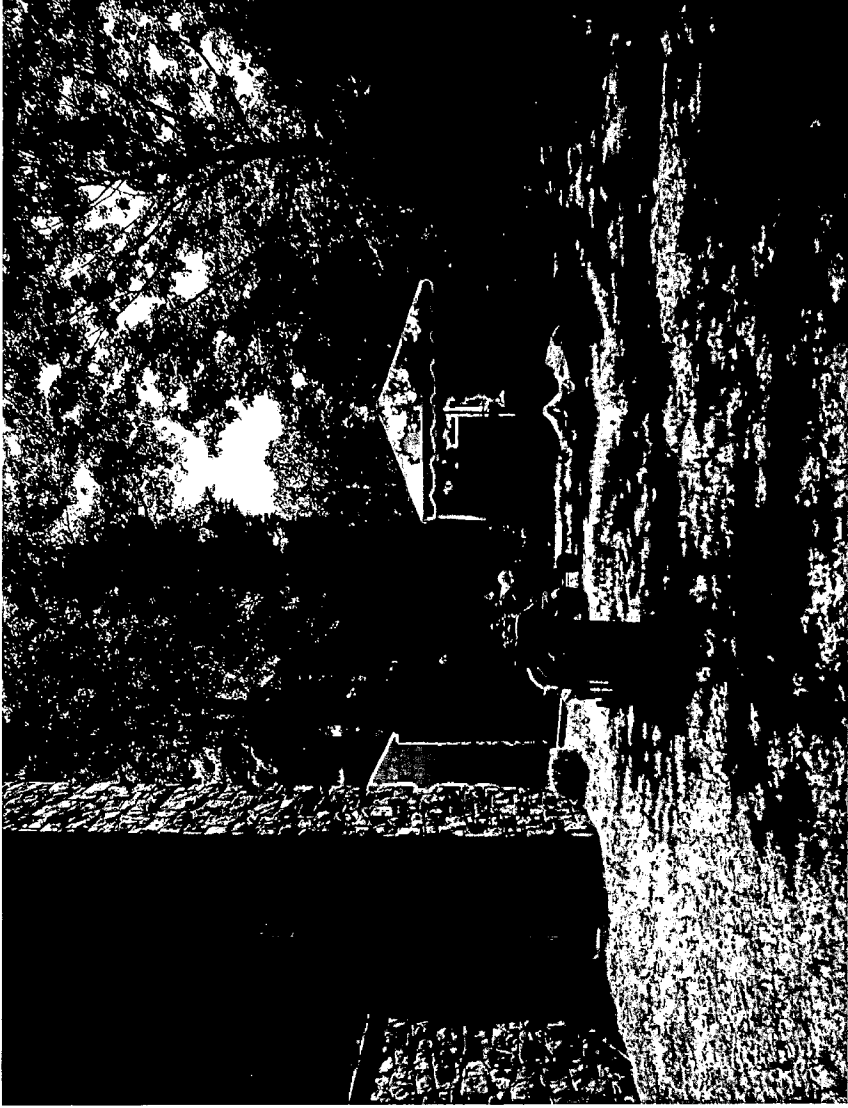
Garage - rear



front



77
16



Back yard with rear of
garage (addition location)

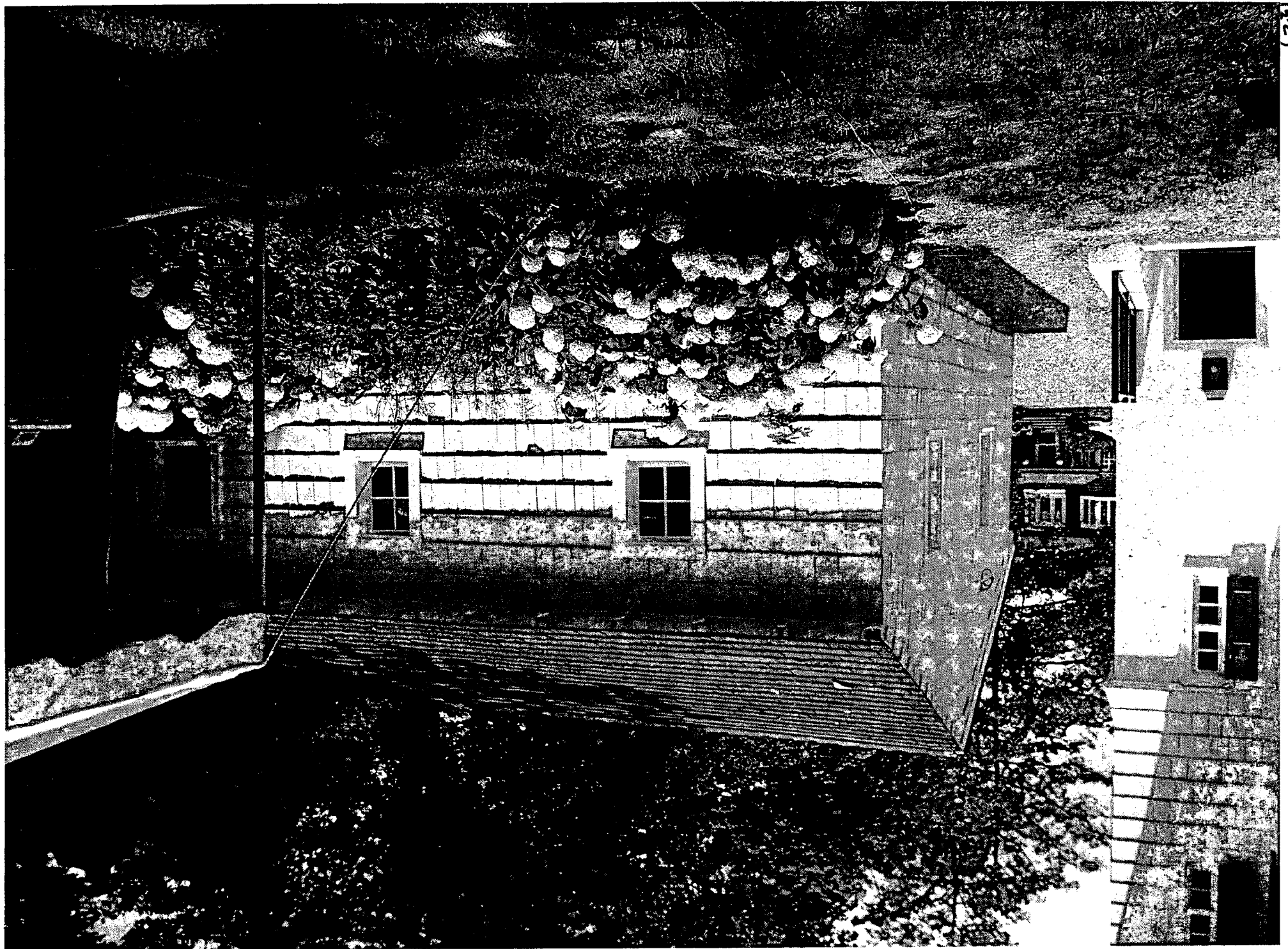


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~~18~~









Staff Item
Anne Fothergill
July 8, 2009
3810 Bradley Lane, Chevy Chase

In December 2008 the HPC approved alterations and a rear addition to the existing garage at 3810 Bradley Lane. The applicants are now proposing to add dormers and other minor alterations to the rear addition on the garage. Staff is requesting that the HPC approve this change at the staff level.

No - needs
a revision

Best Residence

3810 Bradley Lane
Chevy Chase, MD 20815

Approved



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ARCHITECTS
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BETHESDA, MD 20814
PHONE: 301.229.7000
FAX: 301.229.7171
www.manionandassociates.com

General Information

Best Residence
3810 Bradley Lane
Chevy Chase, MD 20815

SCALE:

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THE
EXCLUSIONS WERE PREPARED AND
APPROVED BY ME, AND THAT I AM A
DULY LICENSED ARCHITECT UNDER
THE LAWS OF THE STATE OF
MARYLAND. LICENSE NO.: 3737-B
EXPIRATION DATE: 03.08.2010.

DRAWN BY:
C. Lemiz, dhanna
CHECKED BY:
Thomas Manion
DATE:
11/25/2008
PHASE:
Construction Drawings
REVISIONS:

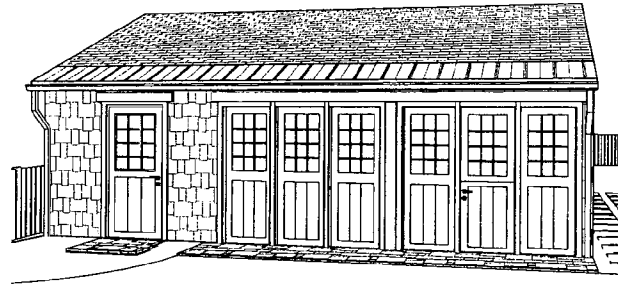
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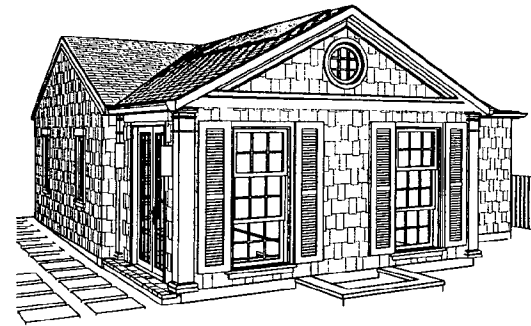
G1.1

SHEET 1 OF 18

SHEET INDEX	
Page	Name
G1.1	General Information
INSERT	Site Plan
G1.3	Project Notes
G1.4	Project Notes
D1.1	First Floor Demo Plan
D1.2	Roof Demo Plan
S1.1	Foundation Plan
S1.2	First Floor Framing Plan
S1.3	Roof Framing Plan
A1.1	Basement Floor Plan
A1.2	First Floor Plan
A1.3	Roof Plan
A2.1	North & South Elevations
A2.2	East & West Elevations
A3.1	Section, Foundation Detail
A3.2	Construction Details
E1.1	Basement Electrical Plan
E1.2	First Floor Electrical Plan



1 3D-Front View
G1.1 SCALE: 1:53.33



2 3D-Rear View
G1.1 SCALE: 1:68.57

Montgomery County/Village of Chevy Chase Zoning Calculations

Zone R-60

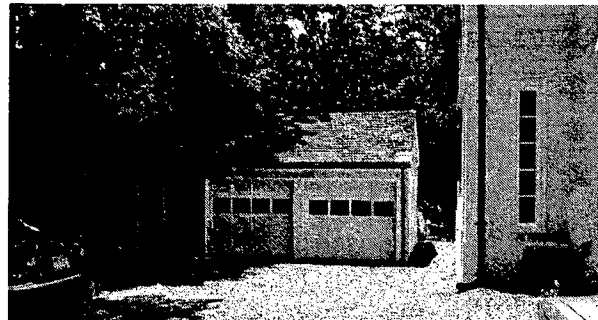
Lot Area : 21,108 sf
Existing Lot Coverage:
3,343 sf = 15.83%

Proposed Lot Coverage:
3,476sf = 16.46%

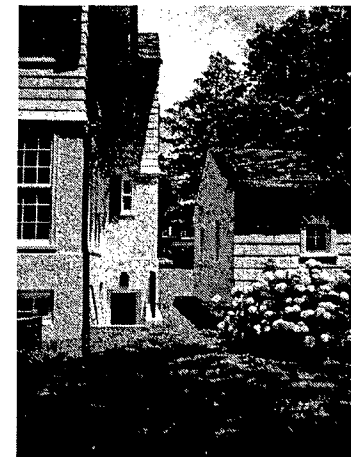
Accessory Building

Garage Addition 133 sf + Ex.576 =
709 sf Total

1.71% of Rear Yard Coverage
25.62% of Existing House Footprint



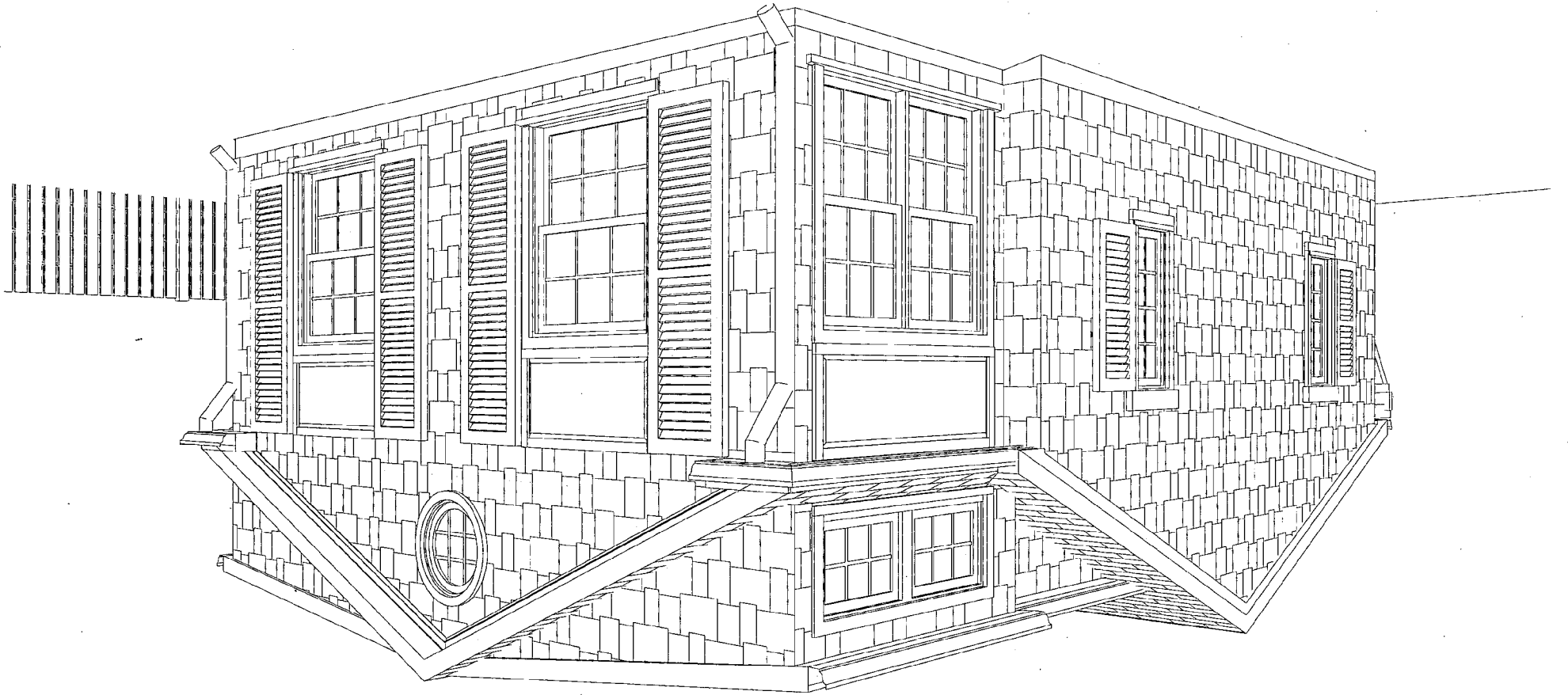
EX. GARAGE - FRONT ELEVATION



EX. GARAGE - REAR ELEVATION

M:\Project\318Best\CD\318Best_CD_11-11_CD.pln

9



proposed

Fothergill, Anne

Subject: FW: LAP comments for 12/17 HPC -- 3810 Bradley

LAP COMMENTS Case I-D

From: Bourke, Tom (Winchester Homes, Inc.)(Tom) [mailto:tom.bourke@whihomes.com]

Sent: Friday, December 12, 2008 2:50 PM

To: Kennedy, Rachel; Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua

Cc: CCV@montgomerycountymd.gov; Bob Elliott; FeldmanGS@aol.com; Jacobs - Eph's daughter (abjdoe@gmail.com); Marsh, Joan (r.marshes@verizon.net); Stephens, Betsy; Wellington, P. (ccv)

Subject: LAP comments for 12/17 HPC -- 3810 Bradley

The following are the comments of the Chevy Chase Village LAP for an item on the HPC agenda for 12/17/08

3810 Bradley

Best residence - Outstanding Resource

alterations to garage - reconfigure door openings, 200 sf addition, screened porch

The project has already been reviewed at a "consultation" with HPC and staff in October. At that time staff confirmed that the proposed changes will not have negative impact and are "almost entirely not visible from the street."

Due to holiday schedules we are submitting our comments in advance of receiving the final staff report for the actual HAWP application; so we are relying on the staff report from the preliminary consultation.

Based on our reading of the current submission, the LAP supports the proposed garage alteration, screen porch etc in this review package.

Submitted on behalf of the LAP by

Tom Bourke

Chair

Thomas K. Bourke - Vice President - Land Acquisitions - Winchester Homes Inc - 6905 Rockledge Dr, #800 - Bethesda, MD 20817
tel: 301.803.4901 - fax: 301.803.4929 - cell: 301.252.9931

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3810 Bradley Lane, Chevy Chase	Meeting Date:	10/07/08
Resource:	Outstanding Resource Chevy Chase Village Historic District	Report Date:	9/30/08
Applicant:	Stephen and Kristen Best (Tom Manion, Architect)	Public Notice:	9/23/08
Review:	Preliminary Consultation	Tax Credit:	None
Case Number:	N/A	Staff:	Anne Fothergill

PROPOSAL: Addition and alterations to garage and construction of detached screened porch structure

STAFF RECOMMENDATION

Staff recommends that the applicants make any revisions based on the HPC's recommendations and proceed to a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1910

Edward W. Donn, Jr. of Wood, Donn & Deming Architects designed this two-story stucco and wood shingle house for his residence. Although once more symmetrical, the wings were heavily altered in the 1980s. A non-contributing garage is located to the east of the house.

PROPOSAL

The applicants propose to make the following alterations to the non-original garage:

- Reconfigure garage door openings and install two new wood garage doors and one new wood entry door on the front
- Construct an approximately 200 SF rear addition with a skylight and asphalt shingle roof, wood windows, wood trim, and wood shingles to match the existing garage

The applicants also propose to construct a 20' x 24' detached screened porch/pavilion to be located 5 feet behind the expanded garage. The screened porch will have a wood trellis overhang, wood columns, metal screening, and a standing seam metal roof.

No trees will be removed for this project. See proposed plans and photos in Circles 4-18.

The applicants are currently constructing additions and making driveway and landscape alterations that were previously approved by the HPC.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District

The Guidelines define an Outstanding Resource as “A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historic associations that make the resource especially representative of an architectural style, it must be especially important to the history of the district, and/or it must be especially unique within the context of the district.”

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

Specifically, the *Guidelines* state:

- Garages and accessory buildings which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building.
- Gazebos and other garden structures should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new

construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The proposed changes will not have a negative impact on the historic resource or the historic district. The changes will all be behind the garage and will be almost entirely not visible from the street. The changes to the doors on the front of the non-contributing garage are compatible with the house and historic district. While staff might prefer that the proposal was only for the rear addition to the garage without the additional 480 SF footprint detached structure, it should be noted that the screened porch/pavilion will be located behind the garage and at the far left side of the wide back yard and it would be a reversible installation.

STAFF RECOMMENDATION

Staff recommends that the applicants revise the proposal based on the comments of the HPC and then return with a Historic Area Work Permit application.

September 25, 2008
Best Residence,

3810 Bradley Lane
Chevy Chase, Md. 20815

Renovation and additions to include,

- Renovation of existing garage.
- Expansion of rear of existing garage for an in-law suite.
- Unattached screen porch in rear Southeast corner.
- All siding/windows and trims at garage to match ex.
- New unattached screen porch to have standing seam metal roof.
- Site plan to integrate with previously approved site plan.





MANION & ASSOCIATES
ARCHITECTS
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BETHESDA, MD 20816
PHONE: 301 229 7000
FAX: 301 229 1171
www.manionandassociates.com

First Floor
Best Residence
3810 Bradley Lane
Chevy Chase, MD 20815

SEAL:

DRAWN BY:

Gabriela Leniz

CHECKED BY:

Thomas Manion

DATE:

9/29/2008

PROJECT PHASE:

#Phase

REVISIONS:

DO NOT SCALE DRAWINGS

CONTRACTOR TO COORDINATE ALL WORK ON THIS SHEET WITH ALL OTHER WORK AND FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DIMENSIONAL OR INFORMATIONAL DISCREPANCIES PRIOR TO CONSTRUCTION

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EX1.2

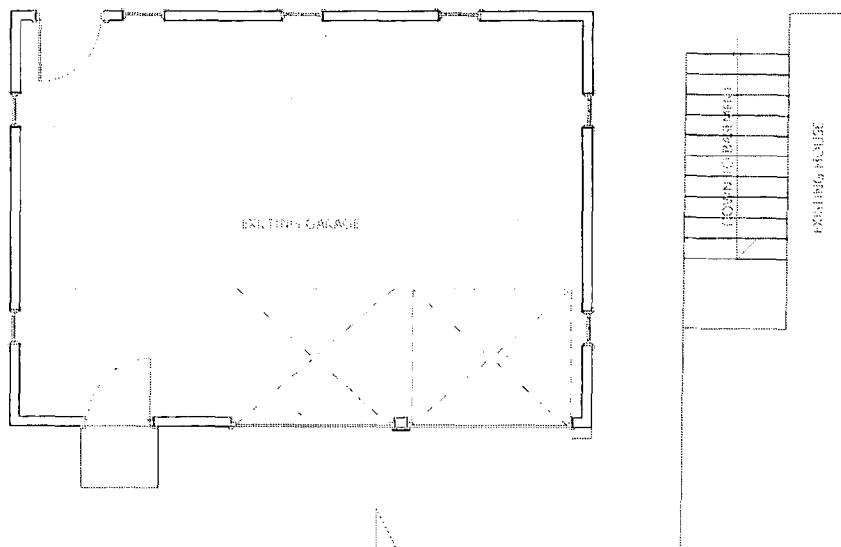
SHEET 2 OF 58



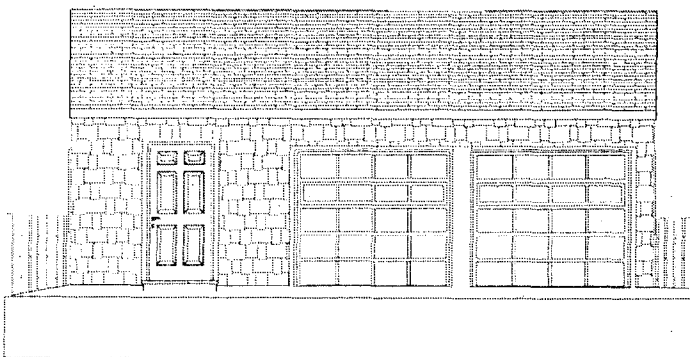
Front View-Garage



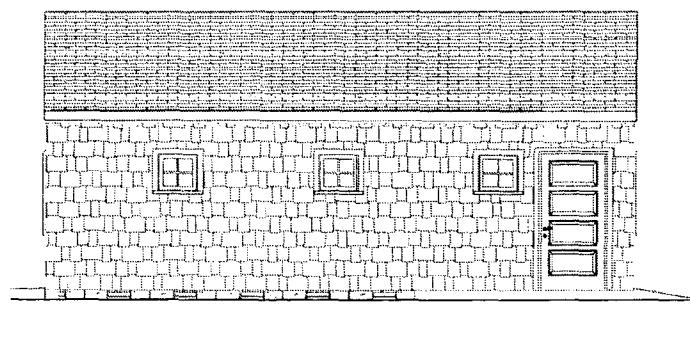
Rear View-Garage



1 First Floor
SCALE: 1/4" = 1'-0"



2 South Elevation
SCALE: 1/4" = 1'-0"



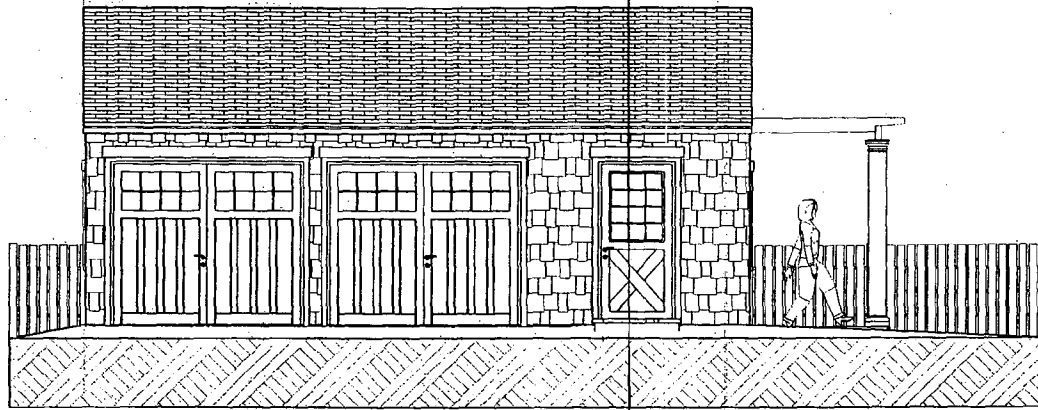
3 North Elevation
SCALE: 1/4" = 1'-0"



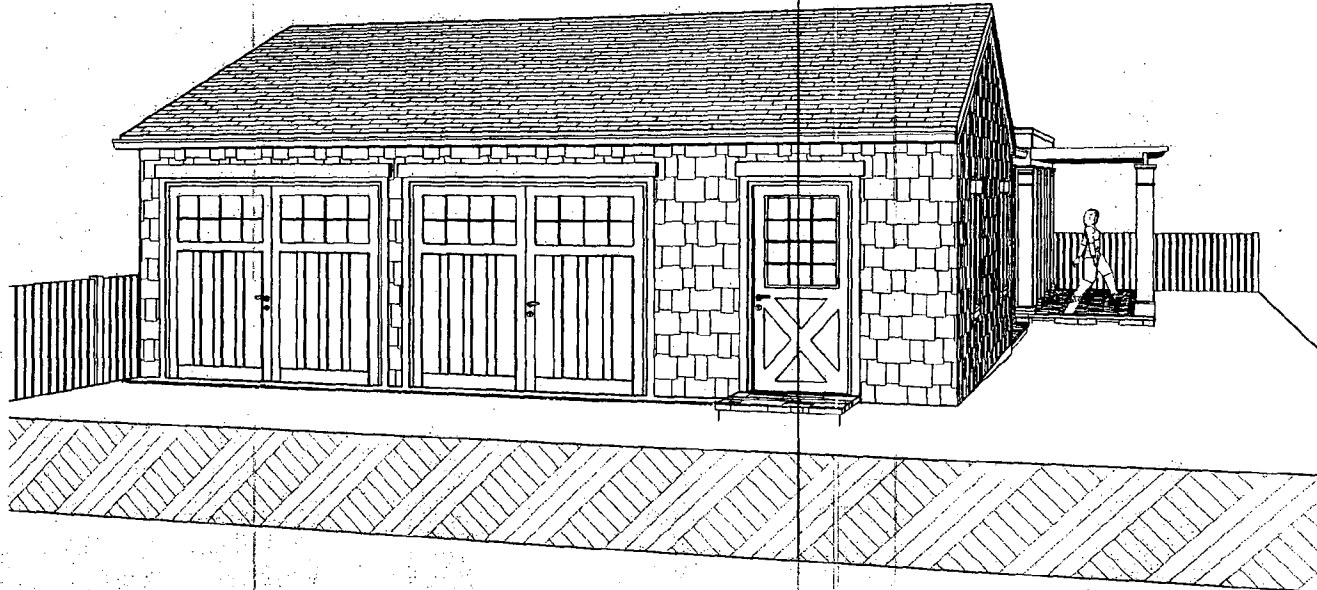
EXISTING CONDITIONS

M:\Projects\Best\Existing.pln

9



1 South Elevation
SCALE: 1/4" = 1'-0"



2 DETAIL
SCALE: 1/8" = 1'-0"

PROPOSED



MANION & ASSOCIATES
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BETHESDA, MD 20816
PHONE: 301.229.7000
FAX: 301.229.7171
www.manionandassociates.com

South Elevation
Best Residence
3810 Bradley Lane
Chevy Chase, MD 20815

SEAL:

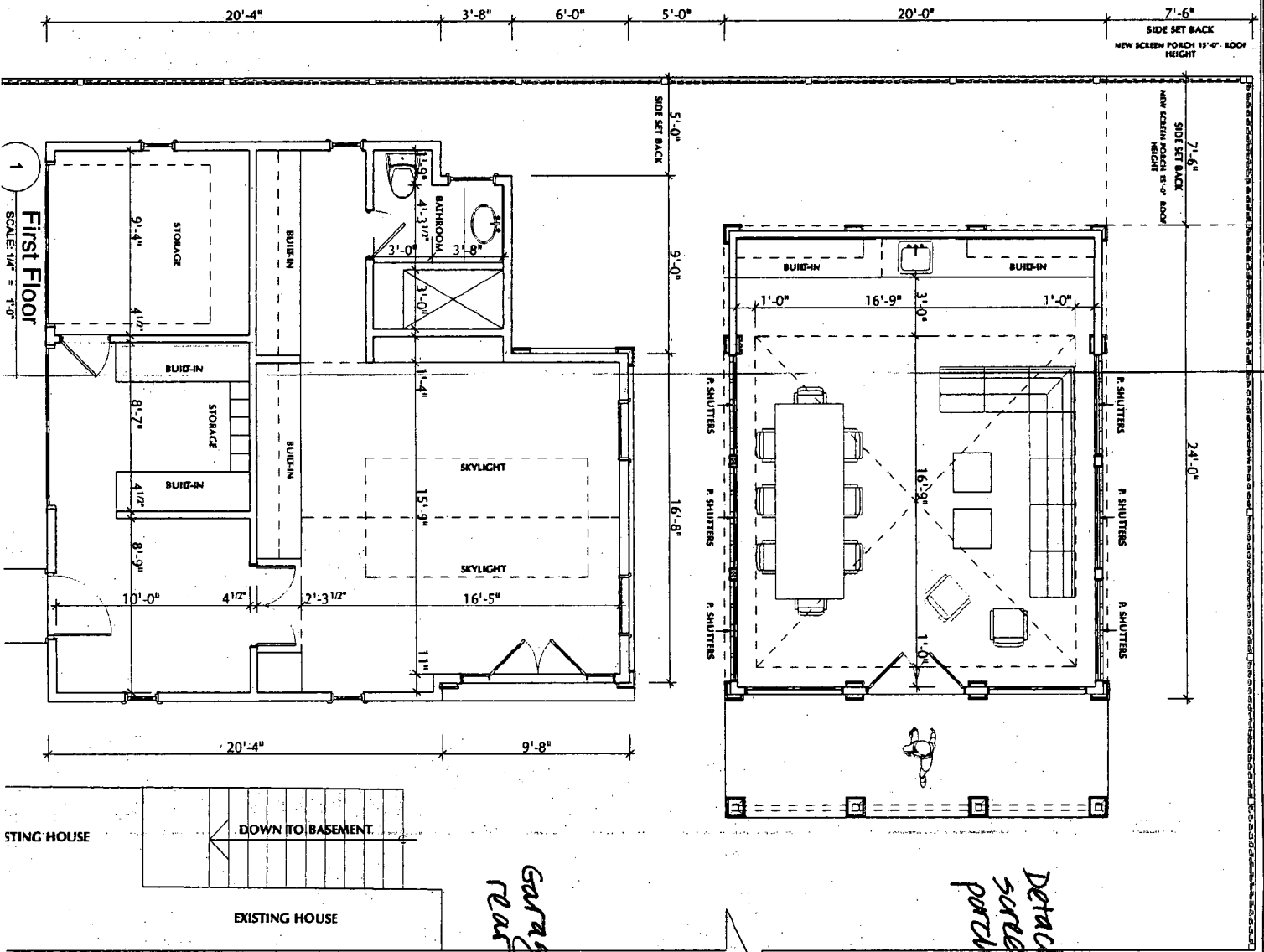
DRAWN BY:
Gabiela Leniz
CHECKED BY:
Thomas Manion
DATE:
9/18/2008
PROJECT PHASE:
#Phase
REVISIONS:

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ARCHITECT OF ANY DIMENSIONAL OR
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A2.4

8



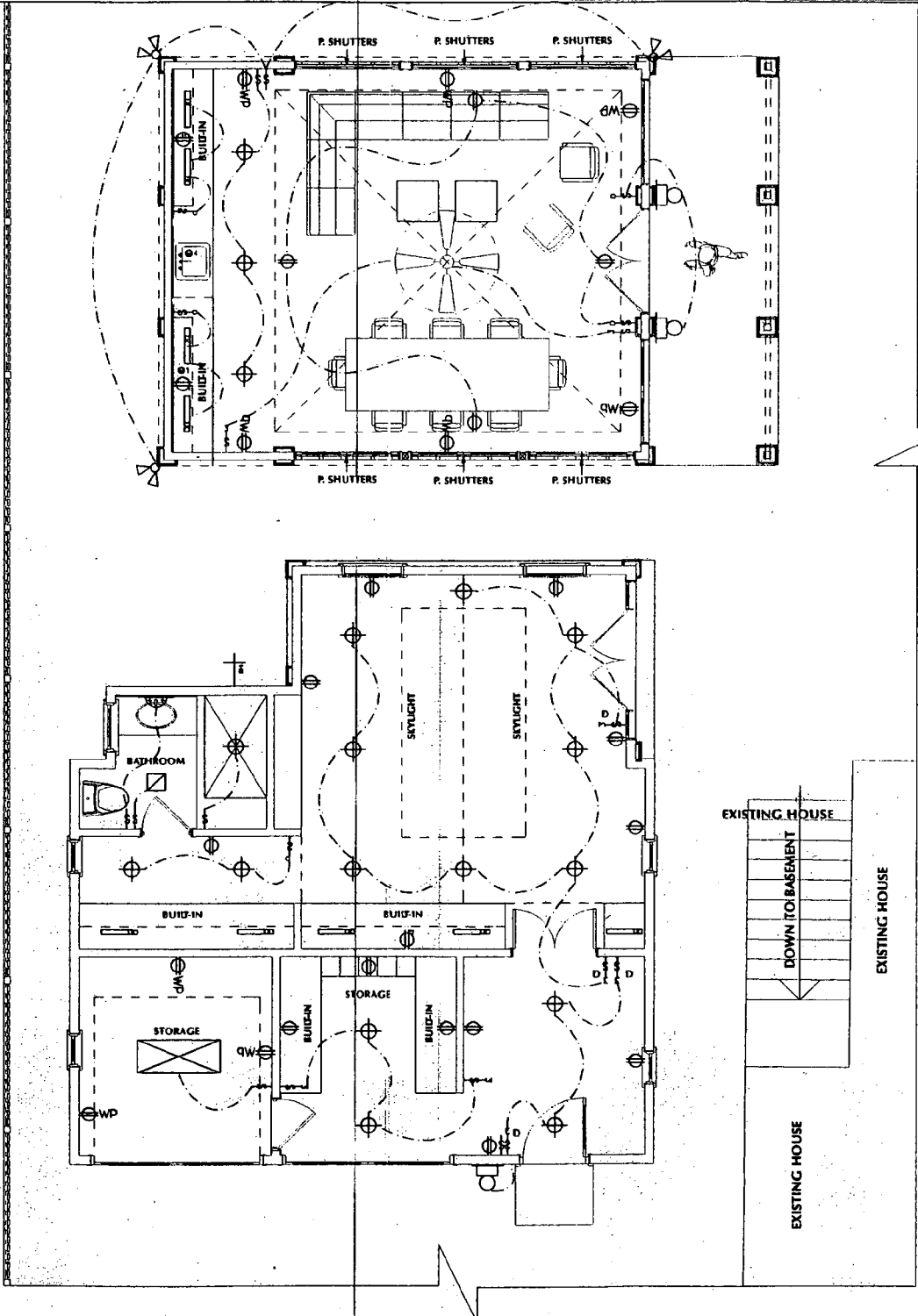
PROPOSED

Garage with rear addition

Detached screened porch/pavilion

ELECTRICAL/MECHANICAL SYMBOLS

- | | | | |
|--|-------------------------|--|---|
| | FLOOD LIGHTS | | SWITCH |
| | WALL WASHER | | 3 WAY SWITCH (2 LOCATIONS) |
| | OVERHEAD RECESSED LIGHT | | 3 OR MORE SWITCH LOCATIONS |
| | SURFACE CEILING LIGHT | | DIMMER SWITCH |
| | PULL-CORD CEILING LIGHT | | CONCEALED WIRING |
| | PENDANT LIGHT | | DOOR BELL |
| | WALL SCONCE | | HOSE BIB |
| | EX. WALL MOUNTED LIGHT | | EXHAUST FAN |
| | HALOGEN LIGHT | | SMOKE DETECTOR |
| | CEILING FAN | | COMPUTER |
| | TRACK LIGHT | | PHONE |
| | FLOURESCENT LIGHT | | THERMOSTAT |
| | VANITY LIGHT | | WALL REGISTER |
| | UNDER CABINET LIGHT | | FLOOR REGISTER |
| | REFRIGERATOR | | CEILING REGISTER |
| | DISPOSAL | | RETURN REGISTER |
| | DISH-WASHER | | POINT OF CONNECTION (NEW & EXG.) |
| | MICROWAVE OVEN | | DUPLEX RECEPTACLE |
| | WASHER | | EXTERIOR OR INTERIOR G.F.I. WATERPROOF RECEPTACLE |
| | DRYER | | GROUNDED RECEPTACLE @ 42" A.F.F. |
| | GAS FURNACE INSERT | | CABLE |
| | | | EXISTING TO REMAIN |

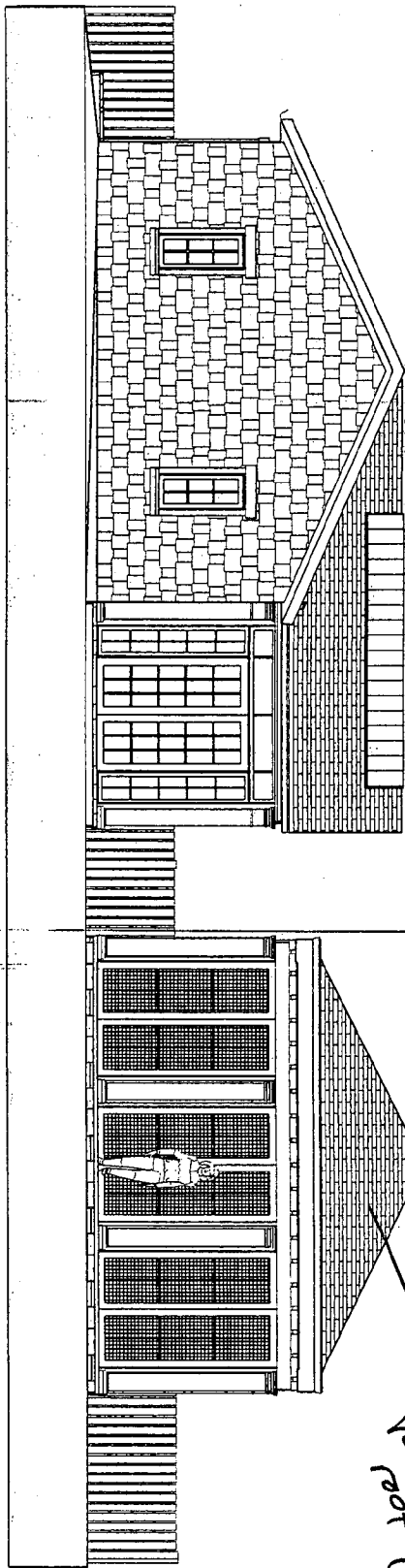


Proposed
1
A1.1 First Floor Electrical Plan
 SCALE: 1/4" = 1'-0"

10

2
A2.1

DETAIL
SCALE: 3/16" = 1'-0"

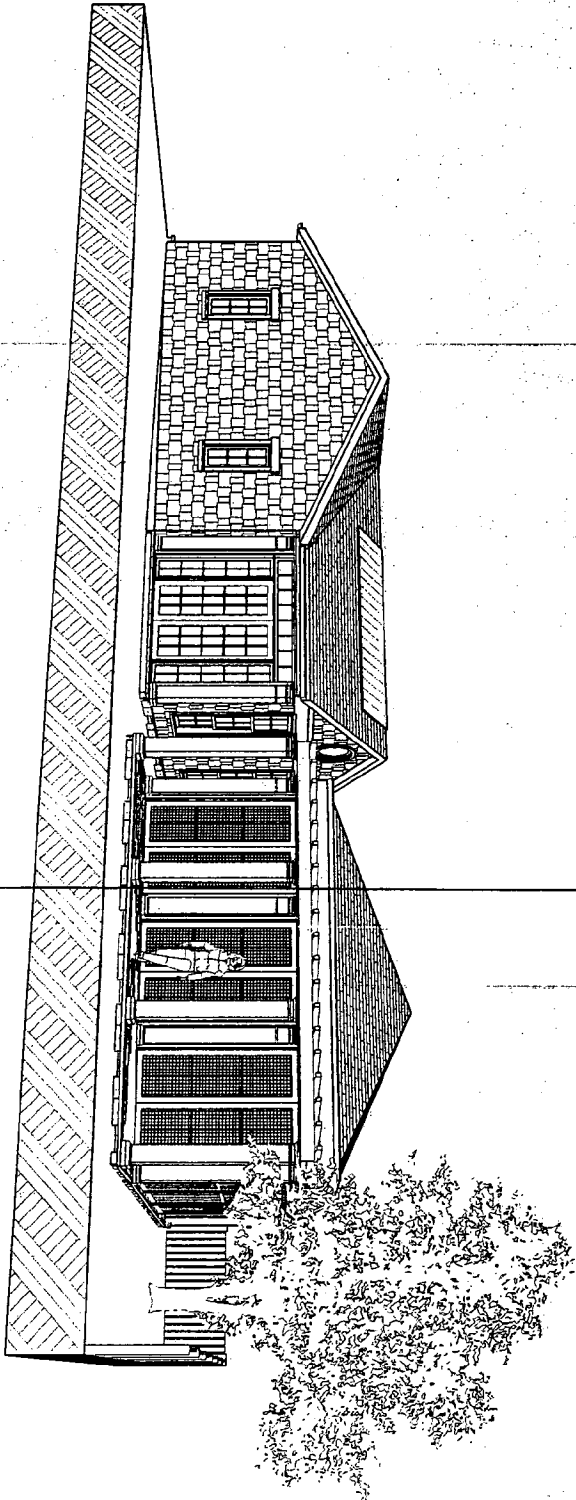


1
East Elevation
SCALE: 1/4" = 1'-0"

*Right side of garage
with rear addition*

*New
construction*

*see circle II
for roof (proposed)*



A2.

DRAWN BY: Gabriela Leniz
CHECKED BY: Thomas Marlon
DATE: 9/18/2008

East Elevation
PHASE: #Phase

Best Residence
3810 Bradley Lane
Chev Chase, MD 20815

MANION & ASSOCIATES ARCHITECTS

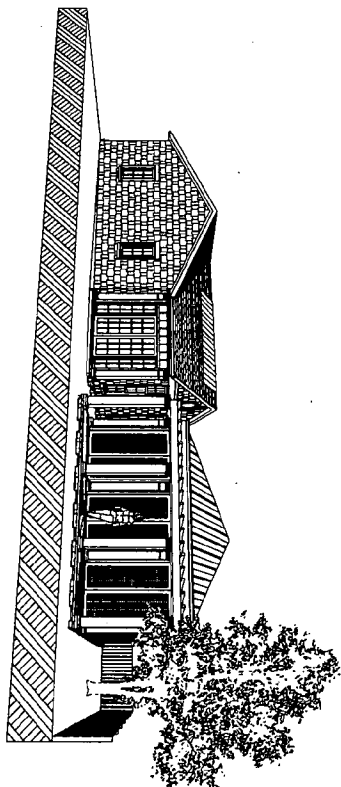
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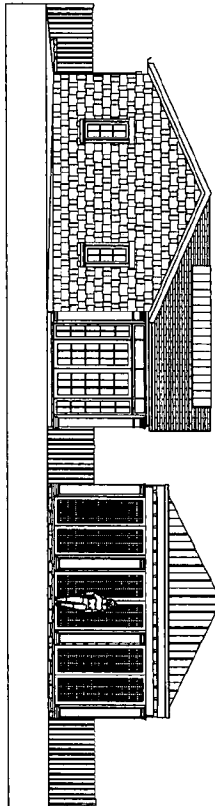
11

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2/1
DETAIL
SECTION 1-1'



1
East Elevation
SECTION 1-1'



2/1
DRAWN BY Gabriela Lani
CHECKED BY Thomas Miller
DATE 9/29/2008
http://www.manionandassociates.com

East Elevation
PHASE: Phase
SCHEME: Scheme
NOT FOR CONSTRUCTION

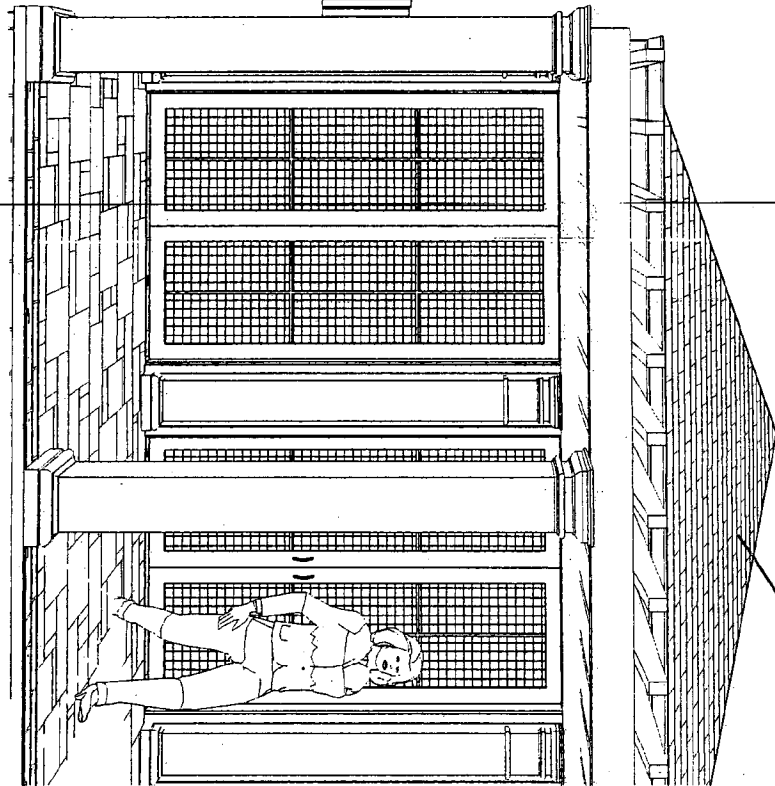
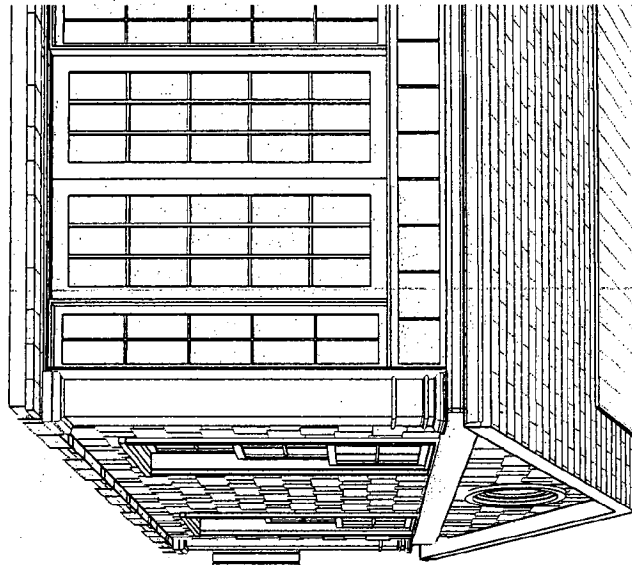
Best Residence
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Chevy Chase, MD 20815

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7307 MACARTHUR BLVD. SUITE #216, BETHESDA, MD 20814
T: 301.229.7000 F: 301.229.1171 www.manionandassociates.com



21

1
A22
DETAIL
SCALE: 1/4" = 1'-0"



metal roof

A2.

DRAWN BY: Gabriela Leniz
CHECKED BY: Thomas Mar...
DATE: 9/18/2008

3D-View 1
DETAIL

Best Residence
3810 Bradley Lane
Chew Chase, MD 20815

MANION & ASSOCIATES ARCHITECTS
7207 MACARTHUR BLVD SUITE #316, BETHESDA, MD 20814



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3810 Bradley Lane, Chevy Chase	Meeting Date:	12/17/08
Resource:	Outstanding Resource Chevy Chase Village Historic District	Report Date:	12/10/08
Applicant:	Stephen and Kristen Best (Tom Manion, Architect)	Public Notice:	12/03/08
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-08BB	Staff:	Anne Fothergill

PROPOSAL: Addition and alterations to garage

STAFF RECOMMENDATION

Staff recommends that the HPC approve this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1910

Edward W. Donn, Jr. of Wood, Donn & Deming Architects designed this two-story stucco and wood shingle house for his residence. Although once more symmetrical, the wings were heavily altered in the 1980s. A non-contributing garage is located to the east of the house.

BACKGROUND

The applicants came to the HPC on October 7, 2008 for a Preliminary Consultation. At that time they were proposing alterations and addition to the garage and construction of detached screened porch structure behind the garage. The HPC expressed total support of this proposal and recommended that the applicants apply for a HAWP. The transcript can be found in Circle 30. The applicants are now only proposing the changes to the garage and not the new construction.

PROPOSAL

The applicants propose to make the following alterations to the non-original garage:

- Install three new wood doors with simulated divided lights on the front of the garage
- Construct an approximately 200 SF rear addition with materials to match the existing garage including wood windows, wood trim, wood shutters, and wood shingles, a skylight, and cedar shake and copper roofing.

No trees will be removed for this project. See proposed plans and photos in Circles 6-29. The applicants are currently constructing additions and making driveway and landscape alterations that were previously approved by the HPC.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District

The Guidelines define an Outstanding Resource as "A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historic associations that make the resource especially representative of an architectural style, it must be especially important to the history of the district, and/or it must be especially unique within the context of the district."

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

"**Lenient Scrutiny**" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

"**Moderate Scrutiny**" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

"**Strict Scrutiny**" means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

Specifically, the *Guidelines* state:

- o Garages and accessory buildings which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building.
- o Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village's open park-like character.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- # 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The proposed changes will not have a negative impact on the historic resource or the historic district. The addition is located behind the garage and will be almost entirely not visible from the street. The changes to the doors on the front of the non-contributing garage are compatible with the house and historic district.

In general, this proposal is in keeping with the guidance for new additions found in *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, which recommends:

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)1 and 2:

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; and,

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.

GENERAL NOTES

- ALL WORK IS TO BE DONE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL CONFORM TO ALL U.S.F.A. REQUIREMENTS.
- ALL WORK TO BE IN COMPLIANCE WITH THE 2006 INTERNATIONAL RESIDENTIAL CODE.
- APPROVAL OF THESE DRAWINGS BY GOVERNING AUTHORITIES DOES NOT RELEASE THE CONTRACTOR FROM COMPLYING WITH ALL APPLICABLE CODES AND STANDARDS.
- THE GENERAL CONTRACTOR SHALL BEAR FULL RESPONSIBILITY AND COSTS FOR THE FOLLOWING:
 - PERMITS, LICENSES, INSPECTIONS AND TESTS (IMPACT TEST)
 - TEMPORARY POWER AND UTILITIES
 - TRASH REMOVAL
 - LIABILITY AND WORKMEN'S COMPENSATION INSURANCE, ETC.
 - AND OTHER ITEMS INDICATED IN SPECIFICATIONS.
- CONTRACTOR TO VISIT SITE AND COMPLETELY FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS PRIOR TO EXECUTION OF ANY CONSTRUCTION; CONTACT ARCHITECT PRIOR TO EXECUTING ANY WORK IN QUESTION.
- CHECK ALL DIMENSIONS ON JOB AND FULLY VERIFY PRIOR TO EXECUTING. ALL ELEVATIONS GIVEN ARE APPROXIMATE AND ARE GIVEN FOR RELATIONAL PURPOSES. CONTRACTOR SHALL ESTABLISH EXACT LEVELS PRIOR TO START OF WORK AND NOTIFY ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES.
- CONTRACTOR SHALL NOT SCALE DRAWINGS AND DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS SHALL BE REPORTED TO ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCEMENT OF WORK.
- THE ARCHITECT WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR JOB SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CLIENT OR HIS CONTRACTORS, SUBCONTRACTORS, OR ANYONE PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT DOCUMENTS.
- IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, FURTHER CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.
- IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- THE ARCHITECT AND OWNER WILL CONSIDER NORMAL REQUESTS FROM THE CONTRACTOR FOR SUBSTITUTION OF PRODUCTS, MATERIALS OR MANUFACTURERS. THESE REQUESTS SHALL ACCOMPANY BUT NOT BE INCLUDED IN THE BASE BID OR THE SCHEDULED BID DATE. SUBMIT TWO COPIES OF REQUEST FOR SUBSTITUTION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITHIN DATA SCHEDULED SCHEDULE TO ARCHITECT FOR REVIEW AND APPROVAL WITHIN THIRTY (30) DAYS FROM COMMENCEMENT OF WORK. SUBMIT TWO (2) COPIES TO ARCHITECT.
- DEMOLITION TO BE PROVIDED BY CONTRACTOR AS REQUIRED. COMPLETELY REMOVE ALL TRASH FROM SITE.
- WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES AND NEARBY UTILITIES. ANY AREAS DAMAGED DURING CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST. THIS APPLIES PARTICULARLY TO ADJACENT SPACES, ROOF, AND OTHER EXTERIOR AREAS AND SURFACES.
- THE CONTRACTOR IN THE FIELD SHALL ASSESS AND DETERMINE THE METHOD FOR EXCAVATION, SHORING, AND FORMING NEW FOOTINGS AND FOUNDATION WALLS.
- THE EXCAVATION CONTRACTOR WHO USES ALL NECESSARY PRECAUTIONS WHEN EXCAVATING AT OR NEAR EXISTING BUILDING FOUNDATIONS, TREES, ETC.
- ALL CONCRETE DETAILS AND CONSTRUCTION ARE TO COMPLY WITH LATEST A.C.I. CODE AND LOCAL CODES.
- ALL WOOD FRAMING EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA.
- UNLESS FIRST CLASS MATERIALS WILL BE USED (EXCEPT AS NOTED), ALL WORK AND EQUIPMENT SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE EXCEPT FOR MANUFACTURER'S WARRANTIES WHICH MAY BE LONGER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION WHETHER SUCH WORK IS OR IS NOT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS.
- ALL MANUFACTURED ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- WARRANTIES, GUARANTEES AND MANUFACTURER'S INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE CONTRACTOR SHALL BE GIVEN TO THE OWNER.
- ALL GYPSON BOARD SHALL BE TAPED, STAPLED AND SANDED SMOOTH PRIOR TO FINISHING. METAL BRACING SHALL BE USED ON ALL OUTSIDE CORNERS WHERE APPLICABLE.
- ALL PENETRATIONS THROUGH EXISTING ROOF SHALL BE SEALED IN FRESH CONCRETE AT PIPING, CONDENSING, ETC., FLASHINGS AND CURBS.
- CONTRACTOR SHALL PROVIDE PROTECTION ON A DAILY BASIS FOR ALL WORK THAT PENETRATES THE EXISTING ROOF MATERIAL. CONTRACTOR TO COVER ALL WORK UNTIL WATERWEATHER PROOF THROUGH COMPLETION OF CONSTRUCTION.
- UTILITIES TO BE COORDINATED AND PROVIDED AS PER DRAWINGS.
- REMOVAL, DISPOSAL, ABRASION AND RELOCATION OF EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT, CONDUNITES, PIPES AND DUCTS ARE INCLUDED IN THE WORK.
- ALL NOTES ON THIS DRAWING APPLY FOR THE ENTIRE PROJECT WHETHER OR NOT REPEATED ON OTHER DRAWINGS.

STRUCTURAL NOTES

LIVE LOADS:

Use	psf	kg	psf
Residential	40	1.8	30
Decks	40	1.8	30
Rooms other than Sleeping Rooms	40	1.8	30
Sleeping Rooms	30	1.4	20
Stairs	40	1.8	30
Roof	20	0.9	15

Individual steel truss shall be designed for the uniformly distributed live load of a 300 pound concentrated load acting over an area of 4 square inches, whichever produces the greatest stresses.

Handrail assemblies and guards shall be designed to resist a load of 50 plf applied in any direction at the top and to transfer the load through the supports to the structure. Handrail assemblies and guards shall be able to resist a single concentrated load of 200 pounds, applied in any direction at any point along the top, and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building (this load need not act concurrently with the loads specified above). Intermediate rails, balusters, and panel fillers shall be designed to withstand a horizontally applied normal load of 58 pounds.

WIND LOAD:
Section 1609.0 2006 IRC Code:

V _{3S}	90 mph
q _z	20.7 psf
G _z	1.0
Exposure:	B
GC/FF	0.7-1.0

- GENERAL:**
- Provide all labor, material, equipment and miscellaneous items including but not limited to clips, inserts, ties, anchor straps, hangers, bolts, and other fasteners required to complete the work.
 - Verify all floor and roof openings with the architectural and MEP drawings. Verify all depressions, distortions, and slopes from the architectural drawings. Any discrepancy shall be brought in the attention of the Architect.
 - The contractor shall be solely responsible for the safety, and the stability of all new, temporary, and existing structures, walls, slabs, etc. during the construction phase.

- FOUNDATIONS:**
- The structural engineer is not responsible for subsurface conditions encountered in the field different to those assumed for the design.
 - Assumed soil bearing value of "2,000" psf to be verified by geotechnical engineer or qualified soils technician.
 - All footings shall project at least 1'-0" into undisturbed natural soil or compacted controlled fill having a bearing value at least equal to that specified above.
 - Bottoms of all exterior footings shall be at least 2'-0" below finished grade as required by local code requirements. Footing elevations indicated on drawings have been established from available information provided by others and may not violate criteria established above. Footing elevations shall be lowered as site conditions warrant for poor soil conditions or as required to facilitate site utilities or existing conditions.
 - Unless otherwise shown on the drawings, wall footings shall be 12" deep and project 6" beyond each face of wall. Wall footings supporting masonry walls are to be reinforced with (3) #5 longitudinal continuous bottom bars.
 - All distributed earth under footings shall be replaced with lean concrete.
 - All bearing slabs shall be adequately drained below foundation concrete as placed.
 - Provide damp-proofing on exterior face of masonry walls below grade.
 - Provide a minimum of 3 courses of solid block, one course 100% solid block, or a continuous bond beam at bearing of joists, bearing walls or supported slabs.
 - Provide control joints in masonry walls at 30'-0" maximum or as shown on Architectural drawings.
 - All portions of bearing walls having a horizontal cross section of 4 square feet or less shall be of solid masonry (down to footings).
 - Provide horizontal masonry reinforcing (IDUR-O-WALL or equal) at 16" o.c. in all masonry walls U.O.N.
 - Use buckets to measure materials for mixing mortar. Grout shall be sand and cement, 8 bags of cement per cubic yard.
 - Provide 12 gage galvanized masonry straps with 3/16" diameter ties @ 24" o.c. horizontally and 16" o.c. vertically between veneer walls and back-up. Masonry tie assemblies shall be screwed into nailed to wood and light gauge steel backup. Provide dovetail anchor slots at 24" o.c. where masonry abuts concrete.

- REINFORCED MASONRY:**
- Shall be constructed as follows:
 - All cells line up.
 - Provide clean-out holes above the footing in block cells to be reinforced.
 - Break all mortar protruding into block cells with the reinforcing tied and remove loose mortar.
 - Fill cells containing reinforcing with 3000 psi pea-gravel grout.

- UNITS:**
- Provide precast lightweight concrete lintels for all openings and recesses in concrete masonry unit walls as follows:
 - one 8x8 lintel for each 8" of wall thickness.
 - one 8x8 lintel for each 6" of wall thickness.
 - Reinforce each lintel unit with one #4 rebar top and bottom with #3 stirrups @ 8" o.c. Concrete lintel units shall have 6" minimum bearing at ends and may be used for openings up to 8'-0".
 - For back or face CMU, provide a steel angle for each 4" of wall thickness as follows:
 - L4 x 3 1/2 x 1/4" for openings 4'-0" to 4'-6".
 - L4 x 3 1/2 x 5/16" for openings 5'-0" to 6'-0".
 - L6 x 3 1/2 x 3/16" for openings 6'-0" to 7'-0".
 - L6 x 4 3/8 x 5/16" for openings 7'-0" to 8'-0".
 - Provide 6" minimum bearing each end.

- CONCRETE:**
- All concrete construction including detailing, fabrication, placement of reinforcing, mixing, handling, placing, finishing, and curing shall conform to ACI "Structural Concrete for Buildings" (ACI 308), ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315), and ACI "Building Code Requirements for Reinforced Concrete" (ACI 318).
 - All concrete shall conform to ASTM C39. Minimum compressive strength and maximum water/cement ratio shall be as follows:
 - Foundations, walls, slabs on grade: 3000 psi (0.58)
 - Garage slabs on grade: 3500 psi (0.50)
 - Deck supported slabs: 3000 psi (0.58)
 - Maximum aggregate size for regular concrete shall be 3/4" and pea-gravel concrete shall be 1/8". Aggregate for regular weight concrete shall conform to ASTM C33 and lightweight concrete shall conform to ASTM C330.
 - Provide damp-proofing on exterior face of masonry walls below grade.
 - Provide a minimum of 3 courses of solid block, one course 100% solid block, or a continuous bond beam at bearing of joists, bearing walls or supported slabs.
 - Provide control joints in masonry walls at 30'-0" maximum or as shown on Architectural drawings.
 - All portions of bearing walls having a horizontal cross section of 4 square feet or less shall be of solid masonry (down to footings).
 - Provide horizontal masonry reinforcing (IDUR-O-WALL or equal) at 16" o.c. in all masonry walls U.O.N.
 - Use buckets to measure materials for mixing mortar. Grout shall be sand and cement, 8 bags of cement per cubic yard.
 - Provide 12 gage galvanized masonry straps with 3/16" diameter ties @ 24" o.c. horizontally and 16" o.c. vertically between veneer walls and back-up. Masonry tie assemblies shall be screwed into nailed to wood and light gauge steel backup. Provide dovetail anchor slots at 24" o.c. where masonry abuts concrete.

- REINFORCEMENT STEEL:**
- All reinforcing steel except beam stirrups and column ties shall conform to ASTM-A615, Grade 60. Stirrups and ties shall conform to ASTM A615, Grade 40 unless noted otherwise.
 - Welded wire mesh to conform to ASTM-A185, and have minimum side and end laps of 8".
 - Fabricate and provide standard supporting accessories in accordance with the ACI Manual of Standard Practice for Detailing Reinforced Concrete Structures (ACI 315).
 - All top reinforcing steel and beam stirrups in balconies, parking slabs and weather-exposed locations shall be epoxy coated per ASTM A 775/A 775M.

- CONCRETE PROTECTION FOR REINFORCEMENT:**
- Reinforcing bars and mesh to have concrete cover as follows:
 - Footings and other concrete poured against earth: 2"
 - Formed concrete exposed to earth for bars larger than #5: 2"
 - Formed concrete exposed to earth for bars for #5 or smaller bars: 1 1/2"
 - Interior faces of walls: 1"
 - Beams, columns and top reinforcing in the garage slabs: 1 1/2"
 - Framed Slabs: 3/4"
 - Slabs on ground to have reinforcement in top third of thickness.

POST INSTALLED MECHANICAL AND CHEMICAL ANCHORS.

- All mechanical and chemical anchors indicated within these documents shall be provided by Hilti, Inc. or an structural engineer-approved equivalent. Alternate anchors shall submitted to structural engineer for approval-submittal must include all relevant technical information including allowable load values.
- All anchors shall be installed in accordance with the anchor manufacturer's specifications.
- UDN. All anchors shall have standard embedment depth as defined by the anchor manufacturer.

TIMBER FRAMING:

- Dimensional lumber for posts, beams and joists shall be Spruce Pine Fir No. 1 No. 2 or approved equal with the following minimum properties: Fb = 875 psi, E = 1,400,000 psi, Fc = 1150 psi, Fv = 135psi
- Wall top plates and sill plates shall be Southern Pine No. 2 with the following minimum properties: Fb = 1500 psi, E = 1,600,000 psi, Fv = 175 psi
- Wall studs shall be Spruce Pine Fir No. 1 No. 2 or approved equal with the following minimum properties: Fb = 875 psi, E = 1,400,000 psi, Fc = 1150 psi, Fv = 135 psi
- Framing lumber shall have 15% maximum moisture content.
- Micro-lam beams shall have the following minimum properties: Fb = 2800 psi, E = 2,000,000 psi
- Paralam beams/joists shall have the following minimum properties: Fb = 2900 psi, Fv = 290 psi
- F1 (Pencil) = 650 psi, F2 (Sawtooth) = 2500 psi, E = 2,000,000 psi
- Provide cross-bracing for joists at 8'-0" intervals. Joists shall have minimum 4" bearing on masonry.
- Unless shown otherwise, provide double 2x10 headers over openings in bearing walls up to 6'-0" and double 2x12 headers up to 10'-0"
- Floor sheathing shall be 3/4" tongue and groove plywood sheathing (or OSB if approved) and shall be glued and screwed to joists or floor trusses no more than 8" o.c. Roof sheathing shall be 1/2" exterior grade plywood sheathing or OSB and shall be attached to rafters or roof trusses with 8d common nails spaced no more than 8" o.c. Provide plywood clips spaced no more than 12" o.c. except on rafters to receive finish nailing.
- Provide diagonal bracing, 12 gage diagonal straps or plywood sheathing at all corners of exterior wood-framed walls, U.O.N.
- Joists or trusses running parallel to masonry walls shall be anchored to the walls with 3/16"x2" steel strap anchors at 4'-0" o.c., top and bottom, or approved alternative.
- Wood joists and trusses shall not be cut or drilled unless authorized by the Engineer.
- Lumber in contact with masonry or concrete shall be pressure treated against decay.
- All hardware and fasteners for pressure treated lumber shall be stainless steel or triple zinc (G185) galvanized.
- Provide double joists below non-bearing partitions parallel to joists, U.O.N.
- Provide structural engineer-approved heavy duty bearing anchors for all beam connections not directly over bearing masonry columns as manufactured by TEGO, Simpson, etc. Refer to drawings for beam locations.
- Provide structural engineer-approved wood post base assemblies as required at bearing conditions.
- Provide end sealer & cut beams of all lumber to be utilized below grade or in contact w/MSY, concrete or grade.

TRUSS JOISTS:

- Slab designed to support the anticipated dead loads, required live loads and any mechanical equipment loads indicated on the drawings and shall conform to the "National Design Specifications for Stress Grade Lumber and its Fastening", latest edition.
- The load deflection shall be limited to span/400 for carpet, hardwood, and linoleum floors. For floors with mable, ceramic tile, or limestone the total load deflection shall not exceed span/210 for spans equal to or less than 14'-0". For spans greater than 14'-0" the total load deflection shall not exceed 7/32". Submit shop drawings and design catalogues for approval prior to fabrication.
- Joists shall have 4" minimum bearing on masonry.
- Joists running parallel to masonry walls to be anchored with 3/16"x2" steel strap anchors at 4'-0" o.c.
- Joists shall not be cut or drilled unless so authorized by the engineer.
- Use shear panels between joists at bearing walls and solid blocking at all post supports.

WOOD TRUSSES:

- Shall be designed to resist anticipated dead loads, live loads and any mechanical equipment loads indicated on the drawings.
- Trusses shall conform to the "National Design Specifications for Stress Grade Lumber and its Fastening".
- Floor trusses shall be designed such that the calculated live load deflection is limited to span/400.
- Shop drawings including an erections plan and details indicating dimensions, forces, lumber sizes, grades, connector sizes and properties shall be submitted for approval prior to fabrication.
- See mechanical drawings for roof equipment.
- Contractor shall adequately brace trusses until sheathing is in place and roof system is stabilized against exterior forces.

GLUED LAMINATED STRUCTURAL MEMBERS:

- Materials, manufacture, and quality control shall be in accordance with the proposed Commercial Standard "Structural Glued Laminated Lumber" of the AISC and current WCLCA glued laminated standards.
- Adhesive shall meet the requirements for wet-service condition. Appearance of members shall be "Architectural Appearance Grade".
- A coat of end sealer shall be supplied to ends of all members as soon as practical after trimming.
- Surfaces of members shall be sealed with penetrating sealer and members shall be individually wrapped. The fabricator shall furnish connecting and supporting hardware and all other accessories necessary for the system to perform as indicated.

SLABS ON GRADE:

- Except where otherwise noted, shall be 4" thick, reinforced with 6x6 - W1-AW1 4 (max - 10'10") WWF Lap mesh @ 8" in each direction. Slab reinforcement shall be located in top third of slab thickness.
- Provide control joints at 15'-0" o.c. each way in all slabs on grade. Control joints shall be sawcut within 4 hours after finishing or shall be a pre-fabricated mechanical joint.
- Interior slabs shall be laid on a layer of 6 mil. polyethylene over a 4" layer of washed gravel unless otherwise recommended in Geotechnical report.

BACKFILL:

- Shall not be placed against walls until top of wall is either temporarily braced or permanently braced with floor system. If floor system is a concrete slab, the floor system concrete must have achieved 75% of design strength prior to placement of backfill. Where backfill is required on both sides of walls, backfill both sides simultaneously.

SUMP PUMPS:

- Are to be provided during construction as required to control surface water and after construction as permanent means of controlling underground water.

WOOD WALL FRAMING:

- Refer to Section R602 in The International Residential Building Code 2006 (IRC 2006)

WALL BRACING:

- All exterior walls shall be braced in accordance with Section R602 in The International Residential Building Code 2006.
- Wall bracing shall consist of 1/2" minimum exterior grade structural sheathing installed in accordance with Tables R602.3(2), R602.3(2)a, and R602.3(3) in IRC 2006. Alternate methods of wall bracing shall be submitted for approval.
- The amount of wall bracing shall be in accordance with Table R602.3.1 in IRC 2006:
 - One story, and top or two or three story - Located at each end and at least every 25 feet on center but not less than 16% of braced wall line.
 - First story of two story, and second story of three story - Located at each end and at least 25 feet on center but not less than 25% of braced wall line.
 - First story of three story - Minimum 48-inch-wide panels located at each end and at least every 25 feet on center but not less than 35% of braced wall line.



MANION & ASSOCIATES ARCHITECTS

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Project Notes
Best Residence
3810 Bradley Lane
Chevy Chase, MD 20815

SLAC

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE EXCERPTS WERE PREPARED BY APPROVED BY ME, AND THAT I AM A REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 3737-R EXPIRES DATE: 03/06/2016.

DRAWN BY:
C. Emery, Dittman
CHECKED BY:
Thomas Manion
DATE:
11/25/2008
PHASE:
Construction Drawings
REVISIONS:

DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS ON THIS DRAWING SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS. CONSULT THE DRAWING AND THE DIMENSIONS THEREON FOR ALL DIMENSIONS AND CONDITIONS AND UNDERSTAND.

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RADON CONTROL METHODS

APPENDIX F FROM 2006 INTERNATIONAL RESIDENTIAL CODE

SECTION AF101: SCOPE

AF101.1 GENERAL. THIS APPENDIX CONTAINS REQUIREMENTS FOR NEW CONSTRUCTION IN JURISDICTIONS WHERE RADON-RESISTANT CONSTRUCTION IS REQUIRED.

INCLUSION OF THIS APPENDIX BY JURISDICTIONS SHALL BE DETERMINED THROUGH THE USE OF LOCALLY AVAILABLE DATA OR DETERMINATION OF ZONE 1 DESIGNATION IN FIGURE AF101.

SECTION AF102: DEFINITIONS

AF102.1 GENERAL. FOR THE PURPOSE OF THESE REQUIREMENTS, THE TERMS USED SHALL BE DEFINED AS FOLLOWS:

SUB-SLAB DEPRESSURIZATION SYSTEM (PASSIVE)

A SYSTEM DESIGNED TO ACHIEVE LOWER SUB-SLAB AIR PRESSURE RELATIVE TO INDOOR AIR PRESSURE BY USE OF A VENT PIPE ROUTED THROUGH THE CONDITIONED SPACE OF A BUILDING AND CONNECTING THE SUB-SLAB AREA WITH OUTDOOR AIR, THEREBY RELYING ON THE CONNECTIVE FLOW OF AIR UPWARD IN THE VENT TO DRAW AIR FROM BENEATH THE SLAB.

SUB-SLAB DEPRESSURIZATION SYSTEM (ACTIVE)

A SYSTEM DESIGNED TO ACHIEVE LOWER SUB-SLAB AIR PRESSURE RELATIVE TO INDOOR AIR PRESSURE BY USE OF A FAN-POWERED VENT DRAWING AIR FROM BENEATH THE SLAB.

DRAIN TILE LOOP

A CONTINUOUS LENGTH OF DRAIN TILE OR PERFORATED PIPE EXTENDING AROUND ALL OR PART OF THE INTERNAL OR EXTERNAL PERIMETER OF A BASEMENT OR CRAWL SPACE FOOTING.

RADON GAS.

A NATURALLY OCCURRING, CHEMICALLY INERT, RADIOACTIVE GAS THAT IS NOT DETECTABLE BY HUMAN SENSES. AS A GAS, IT CAN MOVE READILY THROUGH PARTICLES OF SOIL AND ROCK AND CAN ACCUMULATE UNDER THE SLABS AND FOUNDATIONS OF HOMES WHERE IT CAN EASILY ENTER INTO THE LIVING SPACES THROUGH CONSTRUCTION CRACKS AND OPENINGS.

SOIL-GAS RETARDER.

A CONTINUOUS MEMBRANE OF 6-MIL (0.15mm) POLYETHYLENE OR OTHER EQUIVALENT MATERIAL USED TO RETARD THE FLOW OF SOIL GASES INTO A BUILDING.

SUB-MEMBRANE DEPRESSURIZATION SYSTEM.

A SYSTEM DESIGNED TO ACHIEVE LOWER-SUB-MEMBRANE AIR PRESSURE RELATIVE TO CRAWL SPACE AIR PRESSURE BY USE OF A VENT DRAWING AIR FROM BENEATH THE SOIL-GAS RETARDER MEMBRANE.

SECTION AF103: REQUIREMENTS

AF103.1 GENERAL. THE FOLLOWING CONSTRUCTION TECHNIQUES ARE INTENDED TO RESIST RADON ENTRY AND PREPARE THE BUILDING FOR POST-CONSTRUCTION RADON MITIGATION, IF NECESSARY (SEE FIGURE AF102). THESE TECHNIQUES ARE REQUIRED IN AREAS WHERE DESIGNATED BY THE JURISDICTION.

AF103.2 SUBFLOOR PREPARATION.

A LAYER OF GAS-PERMEABLE MATERIAL SHALL BE PLACED UNDER ALL CONCRETE SLABS AND OTHER FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND AND ARE WITHIN THE WALLS OF THE LIVING SPACES OF THE BUILDING, TO FACILITATE FUTURE INSTALLATION OF A SUB-SLAB DEPRESSURIZATION SYSTEM, IF NEEDED THE GAS-PERMEABLE LAYER SHALL CONSIST OF ONE OF THE FOLLOWING:

1. A UNIFORM LAYER OF CLEAN AGGREGATE, A MINIMUM OF 4 INCHES (102mm) THICK, THE AGGREGATE SHALL CONSIST OF MATERIAL THAT WILL PASS THROUGH A 2-INCH (51mm) SIEVE AND BE RETAINED BY A 1/4-INCH (6.4mm) SIEVE.
2. A UNIFORM LAYER OF SAND (NATIVE OR FILL), A MINIMUM OF 4 INCHES (102mm) THICK, OVERLAIN BY A LAYER OR STRIPS OF GEOTEXTILE DRAINAGE MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
3. OTHER MATERIALS, SYSTEMS OR FLOOR DESIGNS WITH DEMONSTRATED CAPABILITY TO PERMIT DEPRESSURIZATION ACROSS THE ENTIRE SUB-FLOOR AREA.

AF103.3 SOIL GAS RETARDER.

A MINIMUM 6-MIL (0.15mm) [OR 3-MIL (0.075mm) LCROSS- LAMINATED] POLYETHYLENE OR EQUIVALENT FLEXIBLE SHEETING MATERIAL SHALL BE PLACED ON TOP OF THE GAS-PERMEABLE LAYER PRIOR TO CASTING THE SLAB OR PLACING THE FLOOR ASSEMBLY TO SERVE AS A SOIL-GAS RETARDER BY BRIDGING ANY CRACKS THAT DEVELOP IN THE SLAB FLOOR ASSEMBLY AND TO PREVENT CONCRETE FROM ENTERING THE VOID SPACES IN THE AGGREGATE BASE MATERIAL. THE SHEETING SHALL COVER THE ENTIRE FLOOR AREA WITH SEPARATE SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES (305mm). THE SHEETING SHALL FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATIONS OF THE MATERIAL. ALL PUNCTURES OR TEARS IN THE MATERIAL SHALL BE SEALED OR COVERED WITH ADDITIONAL SHEETING.

AF103.4 ENTRY ROUTES.

POTENTIAL RADON ENTRY ROUTES SHALL BE CLOSED IN ACCORDANCE WITH SECTIONS AF103.4.1 THROUGH AF103.4.10.

AF103.4.1 FLOOR OPENINGS.

OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPES, WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

AF103.4.2 CONCRETE JOINTS.

ALL CONTROL JOINTS, ISOLATION JOINTS, CONSTRUCTION JOINTS AND ANY OTHER JOINTS IN CONCRETE SLABS OR BETWEEN SLABS AND FOUNDATION WALLS SHALL BE SEALED WITH A CAULK OR SEALANT GAPS AND JOINTS SHALL BE CLEARED OF LOOSE MATERIAL AND FILLED WITH POLYURETHANE CAULK OR OTHER ELASTOMERIC SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

AF103.4.3 CONDENSATE DRAINS.

CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NONPERFORATED PIPE TO DAYLIGHT.

AF103.4.4 SUMPS.

SUMP PITS OPEN TO SDIL OR SERVING AS THE TERMINATION POINT FOR SUB-SLAB OR EXTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH A GASKETED OR OTHERWISE SEALED LID. SUMPS USED AS THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE. SUMPS USED AS A FLOOR DRAIN SHALL HAVE A LID EQUIPPED WITH A TRAPPED INLET.

AF103.4.5 FOUNDATION WALLS.

HD.LLOW BLOCK MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED WITH EITHER A CONTINUOUS COURSE OF SOLID MASONRY, ONE COURSE OF MASONRY GRUTED SOLID, OR A SOLID CONCRETE BEAM AT OR ABOVE FINISHED GROUND SURFACE TO PREVENT PASSAGE OF AIR FROM THE INTERIOR OF THE WALL INTO THE LIVING SPACE. WHERE A BRICK VENEER OR OTHER MASONRY LEGGIE IS INSTALLED, THE COURSE IMMEDIATELY BELOW THAT LEGGIE SHALL BE SEALED. JOINTS, CRACKS OR OTHER OPENINGS AROUND ALL PENETRATIONS OF BOTH EXTERIOR AND INTERIOR SURFACES OF MASONRY BLOCK OR WOOD FOUNDATION WALLS BELOW THE GROUND SURFACE SHALL BE FILLED WITH POLYURETHANE CAULK OR EQUIVALENT SEALANT. PENETRATIONS OF CONCRETE WALLS SHALL BE FILLED.

AF103.4.6 DAMPROOFING.

THE EXTERIOR SURFACES OF PORTIONS OF CONCRETE AND MASONRY BLOCK WALLS BELOW THE GROUND SURFACE SHALL BE DAMPROOFED IN ACCORDANCE WITH SECTION R406 OF THIS CODE.

AF103.4.7 AIR-HANDLING UNITS.

AIR-HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR FROM BEING DRAWN INTO THE UNIT.

EXCEPTION: UNITS WITH GASKETED SEAMS OR UNITS THAT ARE OTHERWISE SEALED BY THE MANUFACTURER TO PREVENT LEAKAGE.

AF103.4.8 DUCTS.

DUCTWORK PASSING THROUGH OR BENEATH A SLAB SHALL BE OF SEAMLESS MATERIAL UNLESS THE AIR-HANDLING SYSTEM IS DESIGNED TO MAINTAIN A CONTINUOUS POSITIVE PRESSURE WITHIN SUCH DUCTING. JOINTS IN SUCH DUCTWORK SHALL BE SEALED TO PREVENT AIR LEAKAGE.

DUCTWORK LOCATED IN CRAWL SPACES SHALL HAVE ALL SEAMS AND JOINTS SEALED BY CLOSURE SYSTEMS IN ACCORDANCE WITH SECTION M1601.3.1

AF103.4.9 CRAWLSPACE FLOORS.

OPENINGS AROUND ALL PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

AF103.4.10 CRAWLSPACE ACCESS.

ACCESS DOORS AND OTHER OPENINGS OR PENETRATIONS BETWEEN BASEMENT AND ADJOINING CRAWL SPACES SHALL BE CLOSED, GASKETED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

AF103.5 PASSIVE SUB-MEMBRANE DEPRESSURIZATION SYSTEM.

IN BUILDINGS WITH CRAWL SPACE FOUNDATIONS, THE FOLLOWING COMPONENTS OF PASSIVE SUB-MEMBRANE DEPRESSURIZATION SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION.

EXCEPTION: BUILDINGS IN WHICH AN APPROVED MECHANICAL CRAWL SPACE VENTILATION SYSTEM OR OTHER EQUIVALENT SYSTEM IS INSTALLED.

AF103.5.1 VENTILATION:

CRAWL SPACES SHALL BE PROVIDED WITH VENTS TO THE EXTERIOR OF THE BUILDING. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL COMPLY WITH SECTION R408.1 OF THIS CODE.

AF103.5.2 SOIL GAS RETARDER:

THE SOIL IN CRAWL SPACES SHALL BE COVERED WITH A CONTINUOUS LAYER OF MINIMUM 6-MIL (0.15mm) POLYETHYLENE SOIL GAS RETARDER. THE GROUND COVER SHALL BE LAPPED A MINIMUM OF 12 INCHES (305mm) AT JOINTS AND SHALL EXTEND TO ALL FOUNDATION WALLS ENCLOSING THE CRAWL SPACE AREA.

AF103.5.3 VENT PIPE.

A PLUMBING TEE OR OTHER APPROVED CONNECTION SHALL BE INSERTED HORIZONTALLY BENEATH THE SHEETING AND CONNECTED TO A 3-OR 4-INCH-DIAMETER (76mm OR 102mm) FITTING WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE SHEETING. THE VENT PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, TERMINATE AT LEAST 12 INCHES (305mm) ABOVE THE ROOF IN A LOCATION AT LEAST 10 FEET (3048mm) AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET (610mm) BELOW THE EXHAUST POINT, AND 10 FEET (3048mm) FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS.

AF103.6 PASSIVE SUBSLAB DEPRESSURIZATION SYSTEM.

IN BASEMENT OR SLAB-ON-GRADE BUILDINGS, THE FOLLOWING COMPONENTS OF A PASSIVE SUBSLAB DEPRESSURIZATION SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION.

AF103.4.10 CRAWLSPACE ACCESS.

ACCESS DOORS AND OTHER OPENINGS OR PENETRATIONS BETWEEN BASEMENT AND ADJOINING CRAWL SPACES SHALL BE CLOSED, GASKETED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

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AF103.6 PASSIVE SUBSLAB DEPRESSURIZATION SYSTEM.

IN BASEMENT OR SLAB-ON-GRADE BUILDINGS, THE FOLLOWING COMPONENTS OF A PASSIVE SUBSLAB DEPRESSURIZATION SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION.

AF103.6.1 VENT PIPE.

A MINIMUM 3-INCH-DIAMETER (76mm) ABS, PVC OR EQUIVALENT GAS-TIGHT PIPE SHALL BE EMBEDDED VERTICALLY INTO THE SUB-SLAB AGGREGATE OR OTHER PERMEABLE MATERIAL BEFORE THE SLAB IS CAST. A "T" FITTING OR EQUIVALENT METHOD SHALL BE USED TO ENSURE THAT THE PIPE OPENING REMAINS WITHIN THE SUB-SLAB PERMEABLE MATERIAL. ALTERNATIVELY, THE 3-INCH (76mm) PIPE SHALL BE INSERTED DIRECTLY INTO AN INTERIOR PERIMETER DRAIN TILE LOOP OR THROUGH A SEALED SUMP COVER WHERE THE SUMP IS EXPOSED TO THE SUB-SLAB AGGREGATE OR CONNECTED TO IT THROUGH A DRAINAGE SYSTEM. THE PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, TERMINATE AT LEAST 12 INCHES (305mm) ABOVE THE SURFACE OF THE ROOF IN A LOCATION AT LEAST 10 FEET (3048mm) AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET (610mm) BELOW THE EXHAUST POINT, AND 10 FEET (3048mm) FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS.

AF103.6.2 MULTIPLE VENT PIPES

IN BUILDINGS WHERE INTERIOR FOOTING OR OTHER BARRIERS SEPARATE THE SUB-SLAB AGGREGATE OR OTHER GAS-PERMEABLE MATERIAL, EACH AREA SHALL BE FITTED WITH AN INDIVIDUAL VENT PIPE. VENT PIPES SHALL CONNECT TO A SINGLE VENT THAT TERMINATES ABOVE THE ROOF OR EACH INDIVIDUAL VENT PIPE SHALL TERMINATE SEPARATELY ABOVE THE ROOF.

AF103.7 VENT PIPE DRAINAGE.

ALL COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER.

AF103.8 VENT PIPE ACCESSIBILITY.

RADON VENT PIPES SHALL BE ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OTHER AREA OUTSIDE THE HABITABLE SPACE.

EXCEPTION: THE RADON VENT PIPE NEED NOT BE ACCESSIBLE IN AN ATTIC SPACE WHERE AN APPROVED ROOF-TOP ELECTRICAL SUPPLY IS PROVIDED FOR FUTURE USE.

AF103.9 VENT PIPE IDENTIFICATION.

ALL EXPOSED AND VISIBLE INTERIOR RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ: "RADON REDUCTION SYSTEM."

AF103.10 COMBINATION FOUNDATION-

COMBINATION BASEMENT/ CRAWL SPACE OR SLAB-ON-GRADE/ CRAWL SPACE FOUNDATIONS SHALL HAVE SEPARATE RADON VENT PIPES INSTALLED IN EACH TYPE OF FOUNDATION AREA. EACH RADON VENT SHALL TERMINATE ABOVE THE ROOF OR SHALL BE CONNECTED TO A SINGLE VENT THAT TERMINATES ABOVE THE ROOF.

AF103.11 BUILDING DEPRESSURIZATION.

JOINTS IN AIR DUCTS AND PLENUMS IN UNCONDITIONED SPACES SHALL MEET THE REQUIREMENTS OF SECTION M1601. THERMAL ENVELOPE AIR INFILTRATION REQUIREMENTS SHALL COMPLY WITH THE ENERGY CONSERVATION PROVISIONS IN CHAPTER 11. FIRESTOPPING SHALL MEET THE REQUIREMENTS CONTAINED IN SECTION R602.8.

AF103.12 POWER SOURCE.

TO PROVIDE FOR FUTURE INSTALLATION OF AN ACTIVE SUB-MEMBRANE OR SUB-SLAB DEPRESSURIZATION SYSTEM, AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ATTIC OR OTHER ANTICIPATED LOCATION OF VENT PIPE FANS. AN ELECTRICAL SUPPLY SHALL ALSO BE ACCESSIBLE IN ANTICIPATED LOCATIONS OF SYSTEM FAILURE ALARMS.



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Project Notes
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3810 Bradley Lane
Chevy Chase, MD 20815

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C. Leutz, dhama
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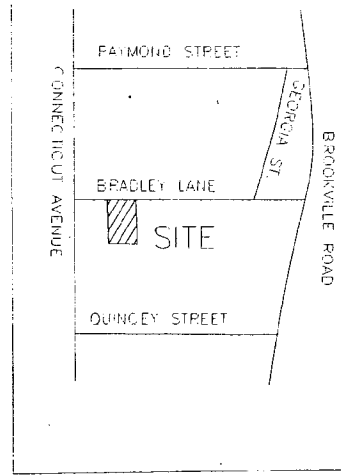
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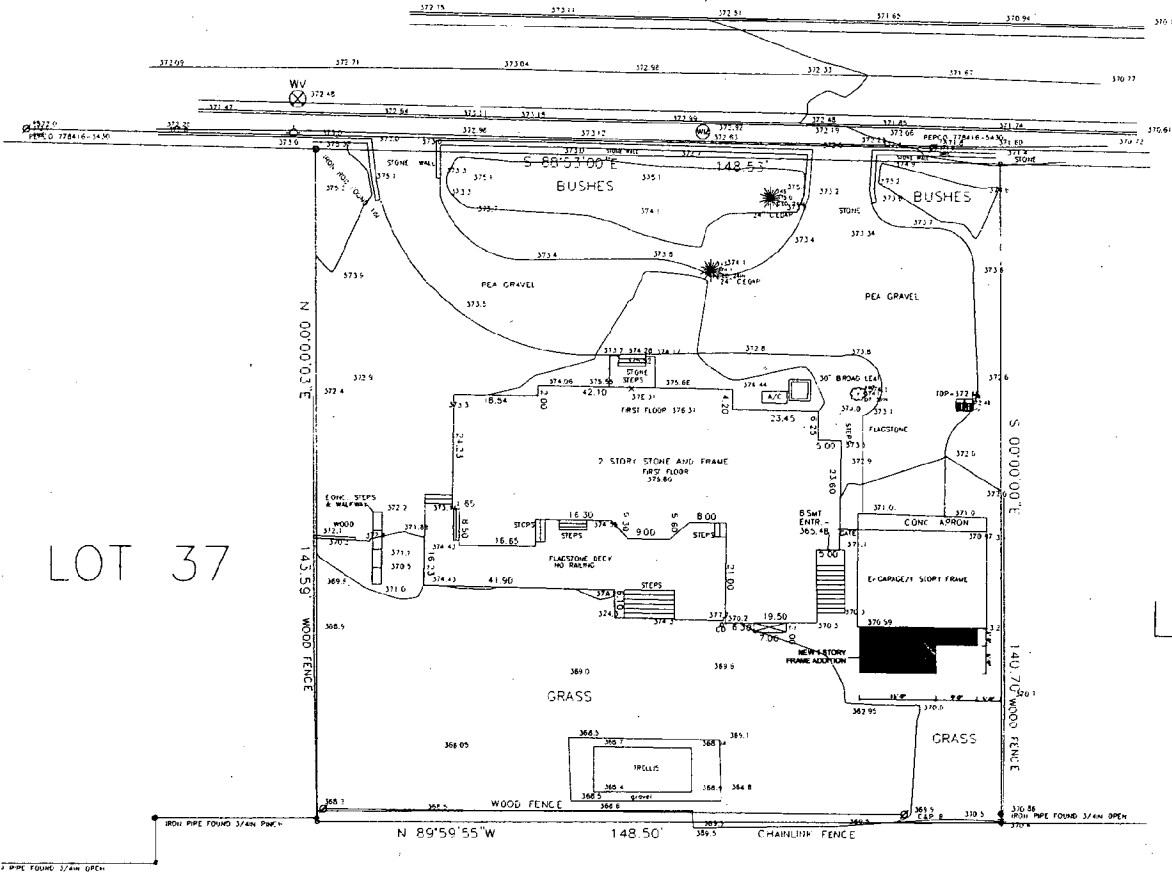


BRADLEY LANE

(30' R/W)



VICINITY MAP



LOT 37

LOT 35

LEGEND

- POWER POLE
- DROP INLET-GRATE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- BROAD LEAF DRIVEWAY
- EDGE OF GRAVEL
- RETAINING WALL
- EDGE OF WALL
- OVERHEAD ELECTRIC BUILDING FEATURE
- BUILDING
- STEP
- SIDEWALK PUBLIC CONCRETE
- WOOD FENCE
- CHAIN LINK FENCE

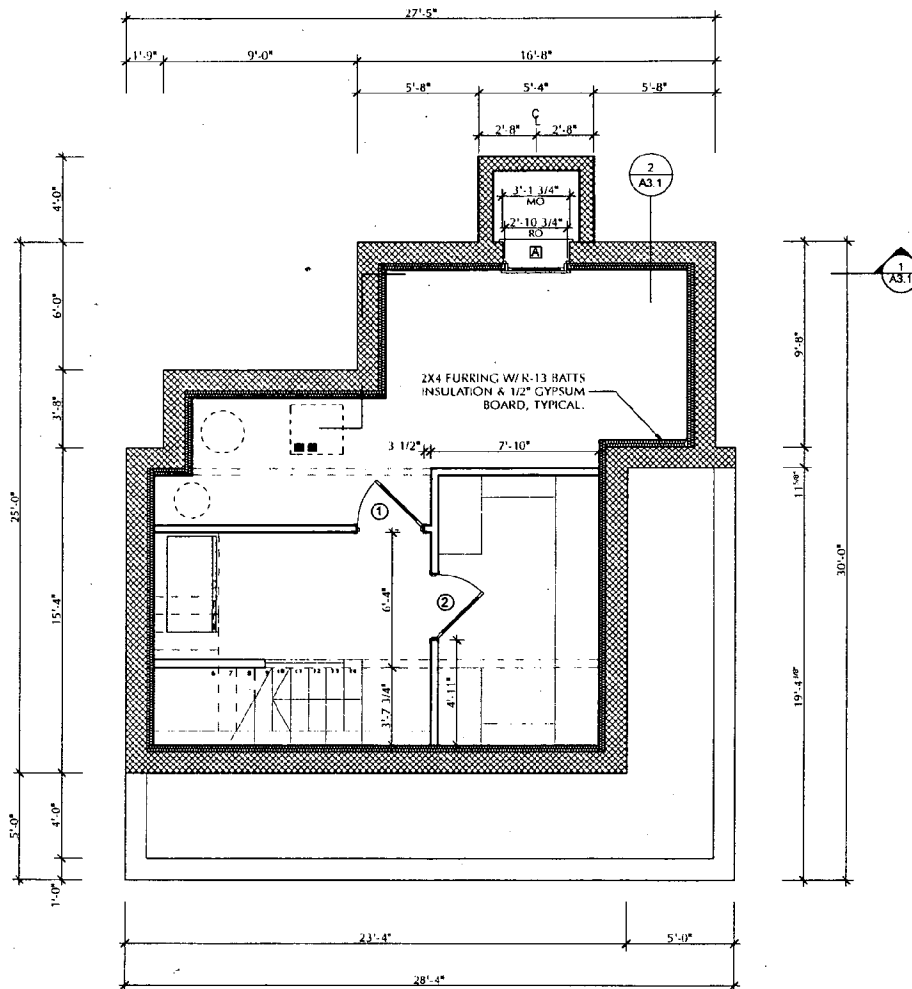
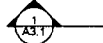
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 HORIZONTAL DATUM PLAT No 20428

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3. SOME ITEMS SHOWN HEREON ARE INTENTIONALLY DRAWN OUT OF SCALE FOR CLARITY.

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BOUNDARY & TOPOGRAPHIC SURVEY
 PARTS OF LOT 12 AND 13 BLOCK 61 SECTION 2
 PLAT No 20428
 LIBER. 30150 FOLIO 778
 CHEVY CHASE
 BETHESDA (7711) ELECTION DISTRICT - MONTGOMERY COUNTY, MARYLAND
 SCALE: 1"=40' DATE: FEBRUARY 2006
 REVISED: AUGUST 2008

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1 **Basement Floor Plan**
SCALE: 1/4" = 1'-0"



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Basement Floor Plan
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C. Lemiz, dhanna
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Thomas Manion
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11/25/2008
PHASE:
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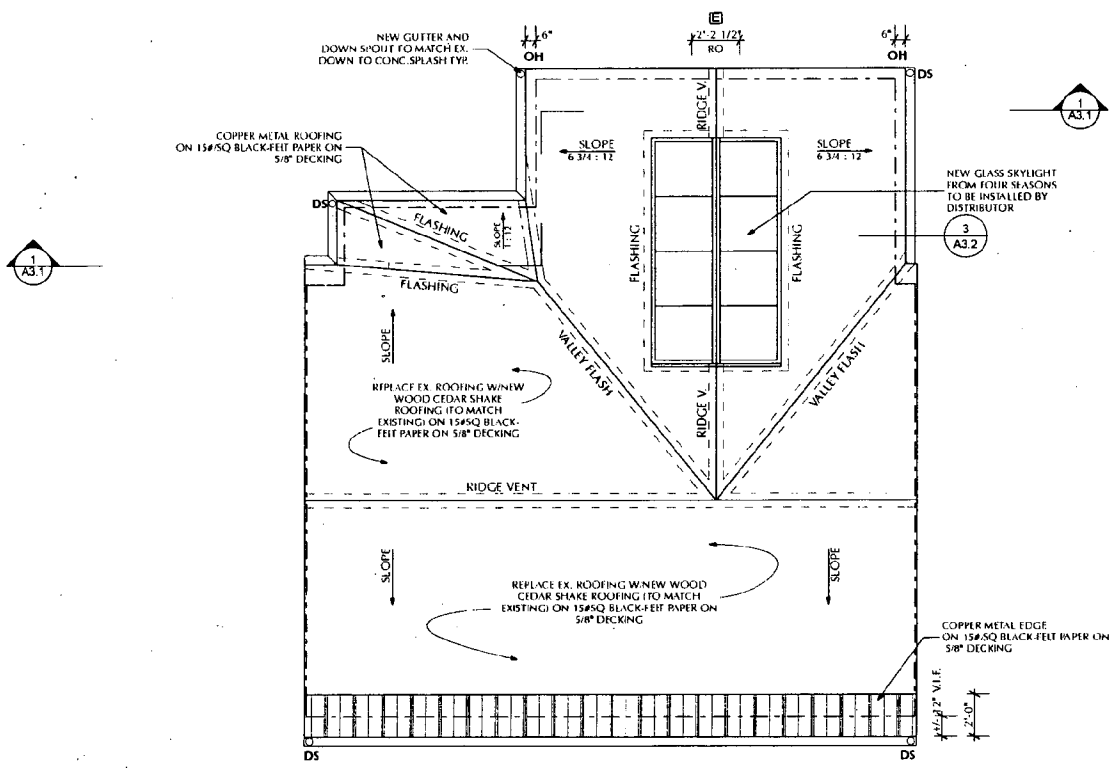
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SHEET 10 OF 18

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1 Roof Plan
SCALE: 1/4" = 1'-0"



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G. Lenin, dharma
CHECKED BY:
Thomas Manion
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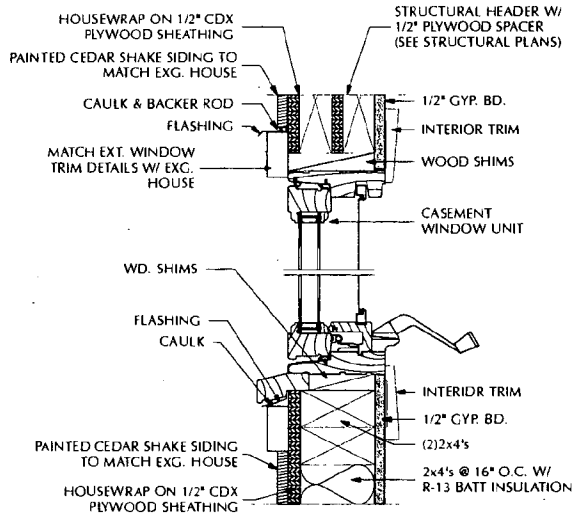
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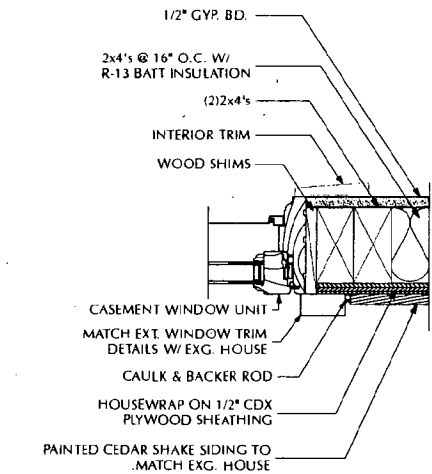
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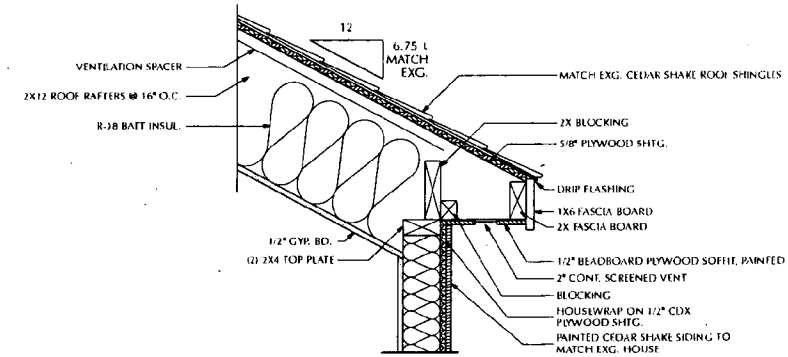
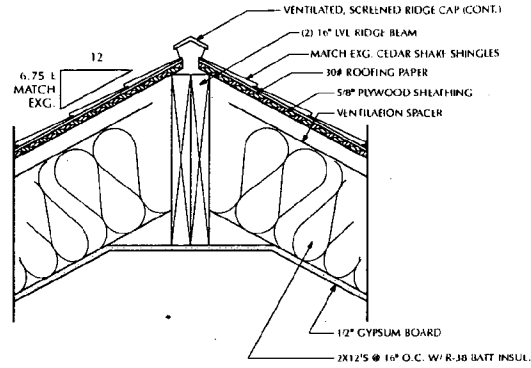
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1 Detail @ CASEMENT
SCALE 3" = 1'-0"



2 Detail @ RIDGE
SCALE 1 1/2" = 1'-0"



3 Detail @ EAVE
SCALE 1 1/2" = 1'-0"



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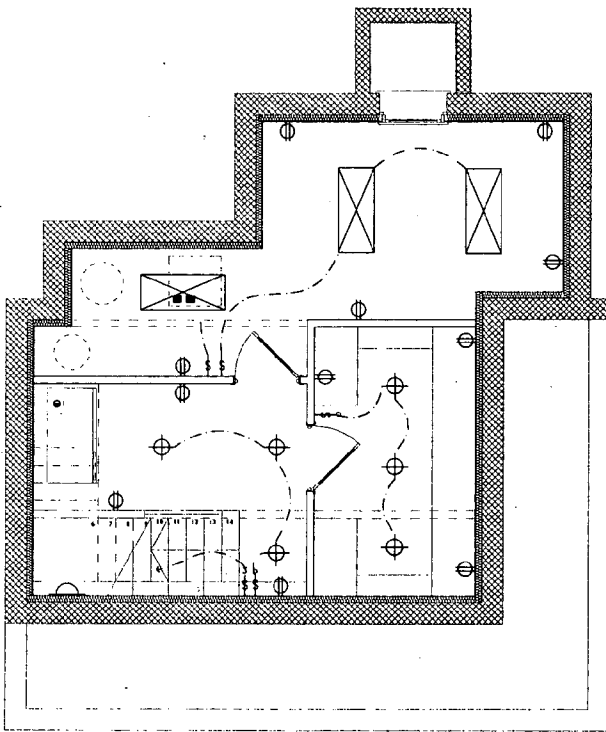
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SHEET 16 OF 18

18



ELECTRICAL/MECHANICAL SYMBOLS

- FLOOD LIGHTS
- WALL WASHER
- OVERHEAD RECESSED LIGHT
- SURFACE CEILING LIGHT
- PULL-CORD CEILING LIGHT
- PENDANT LIGHT
- WALL SCONCE
- EX. WALL MOUNTED LIGHT
- HALOGEN LIGHT
- CEILING FAN
- TRACK LIGHT
- FLOURESCENT LIGHT
- VANITY LIGHT
- UNDER CABINET LIGHT
- REFRIGERATOR
- DISPOSAL
- DISHWASHER
- MICROWAVE DVEN
- WASHER
- DRYER
- GAS FURNACE INSERT
- SWITCH
- 3 WAY SWITCH (2 LOCATIONS)
- 3 OR MORE SWITCH LOCATIONS
- DIMMER SWITCH
- CONCEALED WIRING
- DOOR BELL
- HOSE BIB
- EXHAUST FAN
- SMOKE DETECTOR
- COMPUTER
- PHONE
- THERMOSTAT
- WALL REGISTER
- FLOOR REGISTER
- CEILING REGISTER
- RETURN REGISTER
- POINT OF CONNECTION (NEW & EXG.)
- DUPLTX RfCEPTACLE
- WATERPROOF RECEPTACLE
- GROUNDED RECEPTACLE @ 42" A.F.F.
- CABLE
- EXISTING TO REMAIN

1 **Basement Electrical Plan**
SCALE: 1/4" = 1'-0"



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Thomas Manion
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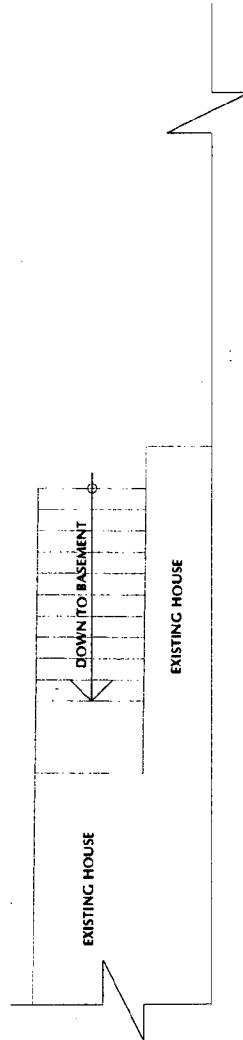
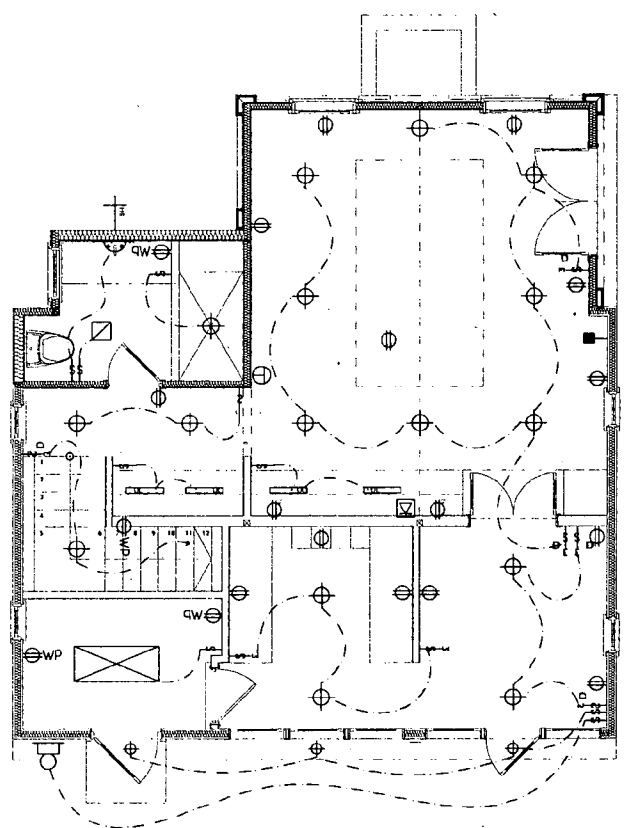
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E1.1
SHEET 17 OF 18

(19)

1 First Floor Electrical Plan
SCALE: 1/4" = 1'-0"



ELECTRICAL/MECHANICAL SYMBOLS

- | | | | |
|--|-------------------------|--|-----------------------------------|
| | FLOOD LIGHTS | | SWITCH |
| | WALL WASHER | | 3 WAY SWITCH (2 LOCATIONS) |
| | OVERHEAD RECESSED LIGHT | | 3 OR MORE SWITCH LOCATIONS |
| | SURFACE CEILING LIGHT | | DIMMER SWITCH |
| | PULL-CORD CEILING LIGHT | | CONCEALED WIRING |
| | PENDANT LIGHT | | DOOR BELL |
| | WALL SCONCE | | HOSE BIB |
| | EX WALL MOUNTED LIGHT | | EXHAUST FAN |
| | HALOGEN LIGHT | | SMOKE DETECTOR |
| | CEILING FAN | | COMPUTER |
| | TRACK LIGHT | | PHONE |
| | FLOURESCENT LIGHT | | THERMOSTAT |
| | VANITY LIGHT | | WALL REGISTER |
| | UNDER CABINET LIGHT | | FLOOR REGISTER |
| | REFRIGERATOR | | CEILING REGISTER |
| | DISPOSAL | | RETURN REGISTER |
| | DISHWASHER | | POINT OF CONNECTION (NEW & EXC.) |
| | MICROWAVE OVEN | | DUPLEX RECEPTACLE |
| | WASHER | | WATERPROOF RECEPTACLE |
| | DRYER | | GROUNDING RECEPTACLE @ 42" A.F.F. |
| | GAS FURNACE INSERT | | CABLE |
| | | | EXISTING TO REMAIN |

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E1.2
SHEET 18 OF 18

October 7, 2008 HPC Meeting Transcript

MR. FULLER: Next on the agenda tonight are preliminary consultations. We have a garage addition and alteration at 3810 Bradley Lane, Chevy Chase. I will inform the applicants as they come forward that the HPC has reviewed the application as it was shown to us, and is in general supportive, so I think the applicant's report can be kept very brief.

MR. MANION: Good evening. We handed an additional piece with some information that Anne asked us on lot coverage. We set it up to meet the zoning setbacks, the house which is now complete has details which will be mirrored in the additions. This is just a simple guest house behind an existing garage, and a screened porch behind that. Colors, details, etcetera will be again in keeping with the house, and the landscaping plan, which was already approved, we are tying in too.

MR. FULLER: Thank you very much. I will summarize what I've heard from the commission. I think we're ready for you to come back with a real HAWP. Is there any other discussion?

MR. DUFFY: I only have one comment. I don't have any problem with the proposal. I would just request that when you come back with a HAWP, that there be a better site plan. What we have in the pack is very small and it's somewhat difficult to read.

MR. MANION: We'll get another one.

MR. FULLER: Any other discussion? I think you hear the consensus of the commission on your application. Thank you for your complete application.

MR. MANION: Thank you very much.

MR. FULLER: I think that's the shortest preliminary we've ever had. Thank you.