

36/04-04A 1409 Noyes Drive
Woodside L.A. District



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 14, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Tania Georgiou Tully, ^{TGT} Senior Planner
Historic Preservation

SUBJECT: Historic Area Work Permit # 341439 for second-story addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Yosefi & Michelle Seltzer

Address: 1409 Noyes Drive, Woodside Locational Atlas District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 13, 2004

MEMORANDUM

TO: Yosefi and Michelle Seltzer
1409 Noyes Drive, Woodside Locational Atlas District

FROM: Tania Georgiou Tully, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application # 341439

Your Historic Area Work Permit application for a second-story addition was **approved** by the Historic Preservation Commission at its May 12, 2004 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

RESIDENCE ADDITION

1409 NOYES DRIVE SILVER SPRING, MARYLAND LOT 28 - BLOCK 4. MONTGOMERY COUNTY

ARCHITECTS
RAOUL LISSABET, A.I.A.
ARCHITECTS, LLC
 19021 SEDLEY TERRACE
 GAITHERSBURG, MARYLAND 20879
 Tel: (301) 948-3197 / Fax: (301) 990-4169

GENERAL NOTES

- MAXIMUM SILL HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 44" IN CONFORMANCE WITH 2000 INTERNATIONAL RESIDENTIAL CODE (IRC)
- MAXIMUM RISER HEIGHT SHALL BE 7 3/4" AND MAX. TREAD 10" FOR ALL STAIRWAYS. HANDRAIL PROJECTION 3 1/2" MAXIMUM PER 2000 IRC
- ROOF SHINGLES TO BE INSTALLED PER 2000 IRC
- FIRESTOPPING SHALL BE PROVIDED PER 2000 IRC
- ROOF VENTING SHALL BE INSTALLED PER 2000 IRC
- GUARDRAIL HEIGHTS TO BE 36" MIN. ACCORDING WITH 2000 IRC
- PROVIDE GALVANIZED WALL TIES IN ACCORDANCE WITH 2000 IRC
- ALL GLAZED AREAS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY
- ALL FIREPLACES TO BE U.L. RATED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND 2000 IRC
- FOOTINGS TO EXTENDED AT LEAST 24 INCHES BELOW FINISH GRADE PER 2000 IRC
- ALL FRAME BEARING WALLS TO CONFORM WITH 2000 IRC
- PROVIDE WALL BRACING IN ACCORDANCE WITH 2000 IRC USING EITHER CONTINUOUS DIAGONAL BRACING OR APPROVED 4'x8' SHEATHING PANELS APPLIED VERTICALLY.
- PROVIDE FOUNDATION ANCHORAGE IN ACCORDANCE WITH 2000 IRC
- ALL TRUSSES, BRIDGING, AND MICRO-LAM BEAMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND 2000 IRC
- PLYWOOD USED FOR FLOOR AND ROOF SHEATHING SHALL CONFORM TO 2000 IRC
- PROVIDE FLASHING AS REQUIRED PER 2000 IRC
- PROVIDE SMOKE DETECTORS ON EVERY STORY INCLUDING THE BASEMENT OF EACH DWELING UNIT, AND IN ALL THE BEDROOMS. THE DETECTORS SHALL BE WIRED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. PER 2000 IRC
- SKYLIGHTS: SKYLIGHTS MAY BE GLAZED WITH ANY OF THE FOLLOWING MATERIALS SUBJECT TO THE NOTED LIMITATIONS AS SPECIFIED IN 2000 IRC. LAMINATED GLASS WIRED GLASS, ANNEALED GLASS, HEAT STRENGTHENED GLASS, TEMPERED GLASS, GLASS BLOCK AND LIGHT TRANSMITTING PLASTIC.

CODE ANALYSIS

CODE: 2000 INTERNATIONAL RESIDENTIAL CODE (IRC)

	EXISTING BUILDING	PROPOSED BUILDING
USE GROUP/MIXED USE	R3	R3
TYPE OF CONSTRUCTION	5B	5B
HEIGHT/NO. OF STORIES	21.5' HIGH 1 STORY	31.5' HIGH 2 STORIES
HOUSE TYPE	1 LEVEL	2 LEVEL
COVERED MALL (Y/N)	NO	NO
FULLY SPRINKLERED (Y/N)	NO	NO
FLOOR AREA OF TENANT SPACE OR AREA OF RENOVATION		
LEVEL ONE	1,436 SQ.FT.	1,436 SQ.FT.
LEVEL TWO	0 SQ.FT.	1,588 SQ.FT.
LEVEL THREE (ATTIC)	0 SQ.FT.	0 SQ.FT.
LEVEL FOUR	0 SQ.FT.	0 SQ.FT.
LEVEL FIVE	0 SQ.FT.	0 SQ.FT.
TOTALS	1,436 SQ.FT.	3,024 SQ.FT.

STRUCTURAL NOTES

SOIL BEARING AND WATER CONDITION: ASSUMED SOIL BEARING CAPACITY OF 2000 PSF (MIN.) WITH NO WATER CONDITION ANTICIPATED.

LIVE LOADS: ROOF.....30 PSF 15 PSF DEAD LOAD
 FLOOR.....40 PSF 15 PSF
 STAIRWAY.....100 PSF 15 PSF
 BALCONIES.....80 PSF 15 PSF
 FLOOR AT BEDROOM LEV. 30 PSF 15 PSF
 WIND LOAD.....17 PSF

BACKFILL: SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GRADE FRAMED FLOORS ARE IN PLACE AND REQUIRED INSPECTIONS ARE MADE. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF WALLS, BACKFILL BOTH SIDES SIMULTANEOUSLY, WITH THE GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME.

LATERAL LOADS ON FOUNDATION WALLS: WALLS BUILT TO RETAIN OR SUPPORT THE LATERAL PRESSURE OF EARTH OR WATER OR OTHER SUPERIMPOSED LOADS HAVE BEEN DESIGNED ASSUMING PRESSURE EQUIVALENT TO THAT EXERTED BY FLUID WEIGHING 30 POUNDS PER CUBIC FOOT AND HAVING A DEPTH EQUAL TO THAT OF THE RETAINED EARTH.

FOUNDATIONS: BOTTOMS OF THE ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW FINISH GRADE. ALL FOOTINGS SHALL BE AS SHOWN ON FOOTING PLANS AND PROJECT 12" INTO UNDISTURBED EX'G. NATURAL GROUND HAVING ALLOWABLE BEARING CAPACITY AS PER SOIL CONSULTANT'S RECOMMENDATIONS. DEPTHS AND SIZES OF ALL FOOTINGS SHALL BE VERIFIED IN THE FIELD. DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.

CONCRETE: ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.C.I. CODE 318. 28-DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:

F_c = 2,500 PSI FOR FOOTINGS, INTERIOR SLABS ON GRADE AND FILL IN CONCRETE BLOCKS.
 F_c = 3,000 PSI FOR EXTERIOR SLABS ON GRADE.
 F_c = 4,000 PSI FOR PRECAST CONCRETE UNITS.

SLABS ON GRADE: EXCEPT WHERE OTHERWISE NOTED, SHALL BE 6" THICK, REINFORCED WITH 6x6, # 10/10 WELDED WIRE MESH, LAP MESH 6" IN EACH DIRECTION. SLABS SHALL BE LAD ON A LAYER OF 4 MIL POLYETHYLENE OVER 4" LAYER OF WASHED GRAVEL REFER TO DRAWINGS FOR LOCATION OF THERMAL INSULATION.

EXTERIOR SLABS ON GRADE: FOR ALL EXTERIOR SLABS ON GRADE, AIR-ENTRAINED CEMENT WITH ENTRAINED AIR OF 4% OF EQUIVALENT AIR-ENTRAINING AGENT SHALL BE USED. PROVIDE CONTROL JOINTS AT 10'-0" ON CENTER EACH WAY IN ALL EXTERIOR SLABS ON GRADE (EXCEPT WITHIN TERRACE SLAB).

REINFORCING STEEL: REINFORCING STEEL OR TIES, UNLESS OTHERWISE NOTED, SHALL BE INTERMEDIATE GRADE DEFORMED BILLET STEEL CONFORMING TO ASTM SPECIFICATIONS A615-40. ALL OTHER REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A614-60. WELDED WIRE FABRIC TO CONFORM TO ASTM A-185. ALL REINFORCING SHALL BE DECALIZED, FABRICATED & INSULATED ACCORDING WITH THE LATEST DETAILING MANUAL A.C.I. 315.

STRUCTURAL STEEL: SHALL BE IN CONCORDANCE WITH THE LATEST AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. SHOP AND FIELD CONNECTIONS SHALL BE WELDED OR MADE WITH 3/4" HIGH STRENGTH BOLTS. SEE DETAILS ON DRAWINGS FOR STEEL BEAMS BEARING ON MASONRY OR CONCRETE. ALL WELDING TO CONFORM TO ASTM SPECIFICATIONS A-36. NO HOLES ARE PERMITTED IN STEEL BEAMS OTHER THAN SHOWN ON THE DRAWINGS, UNLESS APPROVED BY THE STRUCTURAL CONSULTANT.

TRUSSED RAFTERS: WOOD TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER. COMPLETE SHOP DETAILS AND STRESS DIAGRAMS, INCLUDING BEARING DETAILS, SHALL BE SUBMITTED FOR APPROVAL. WOOD TRUSSED RAFTERS SHALL BE FABRICATED WITH HYDRAULICALLY PRESSED 18 GA. TOOTHED METAL PLATED OR 20 GA. NALD STEEL GUSSET PLATES. CONNECTIONS SHALL BE CAPABLE OF TRANSMITTING THE STRESSES PLUS ALL ECCENTRICITIES. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL SHOWING THE DESIGN OF THE TRUSSED RAFTERS CAPABLE OF SUSTAINING TOTAL SUPERIMPOSED LOAD OF 50 PSI WITH F.A.A. 84541.1 DESIGN CRITERIA FOR TRUSSED RAFTERS.

WOOD PLATES RECEIVING TRUSSED RAFTERS ON MASONRY WALLS TO BE BOLTED TO WALL WITH 5/8" Ø BOLTS 18" MINIMUM LENGTH 4'-0" o.c.

WOOD SPECIES AND GRADE: HEM-FIR (SURFACED DRY OR SURFACED GREEN USED AT 18% MAX. NO. 2 OR BETTER WITH THE FOLLOWING DESIGN VALUES:

F_b = 1,150 PSI (SINGLE MEMBER)
 F_v = 75 PSI
 F_c = 825 PSI
 E = 1,400,000 PSI

LAMINATED VENEER LUMBER: MICRO-LAM LUMBER OR BETTER WITH THE FOLLOWING DESIGN PROPERTIES:

F_b = 2,800 PSI
 F_v = 285 PSI
 F_c = 2,700 PSI
 E = 2,000,000 PSI

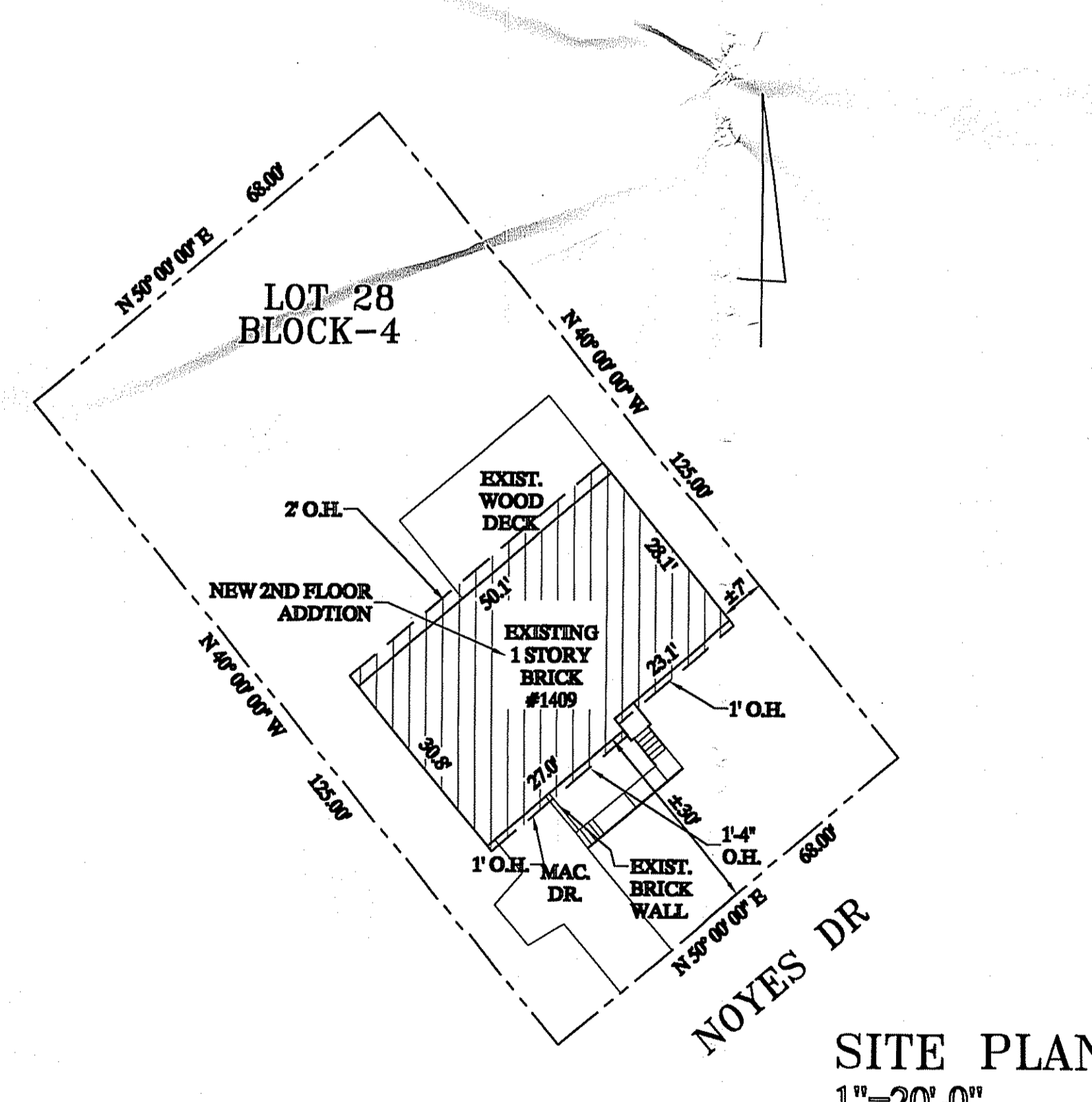
VERTICAL LOAD TRANSFER: ALL STRUCTURAL BEARING TO FOUNDATION, ALIGNED AND BLOCKED TO PROVIDE CONTINUITY.

IF A DOUBLE TOP PLATE OF LESS THAN 2x8 OR 3x4 IS USED, FLOOR JOISTS (AND TRUSSES) MUST BE CENTRED DIRECTLY OVER AND BELOW BEARING STUDS UNLESS CENTRIED BY STRUCT.

UNFINISHED INTERIOR BEARING WALLS: AT LEAST ONE SIDE OF THE ALL INTERIOR BEARING WALLS SUPPORTING MORE THAN ONE FLOOR MUST BE SHEATHED WITH A MINIMUM OF 1/2" GYPSUM BOARD FASTENED ACCORDING TO DRYWALL MANUFACTURERS RECOMMENDATIONS.

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

SITE PLAN



SITE PLAN
 1"=20'-0"

LINTEL SCHEDULE

LINTEL	MD. OPENING	BEARING R.R.
L 3-1/2x3-1/2x1/4	UP TO 3'-0"	6"
L 3-1/2x3-1/2x1/4	3'-1" TO 4'-0"	6"
L 4x3-1/2x1/4	4'-1" TO 5'-0"	6"
L 4x3-1/2x5/16	5'-1" TO 6'-0"	6"
L 6x3-1/2x5/16	6'-1" TO 7'-0"	8"
L 6x3x3/8	7'-1" TO 8'-0"	8"
L 6x3x3/8	8'-1" TO 9'-0"	8"
> 9'-0" CONSULT A/E		

UNLESS OTHERWISE NOTED PROVIDE WOOD LINTELS OVER FRAME OPENINGS AS FOLLOWS: UP TO:

DOUBLE 2x4	3'-0"
DOUBLE 2x6	4'-0"
DOUBLE 2x8	5'-0"
DOUBLE 2x10	7'-0"
DOUBLE 2x12	8'-0"

LIST OF DRAWINGS

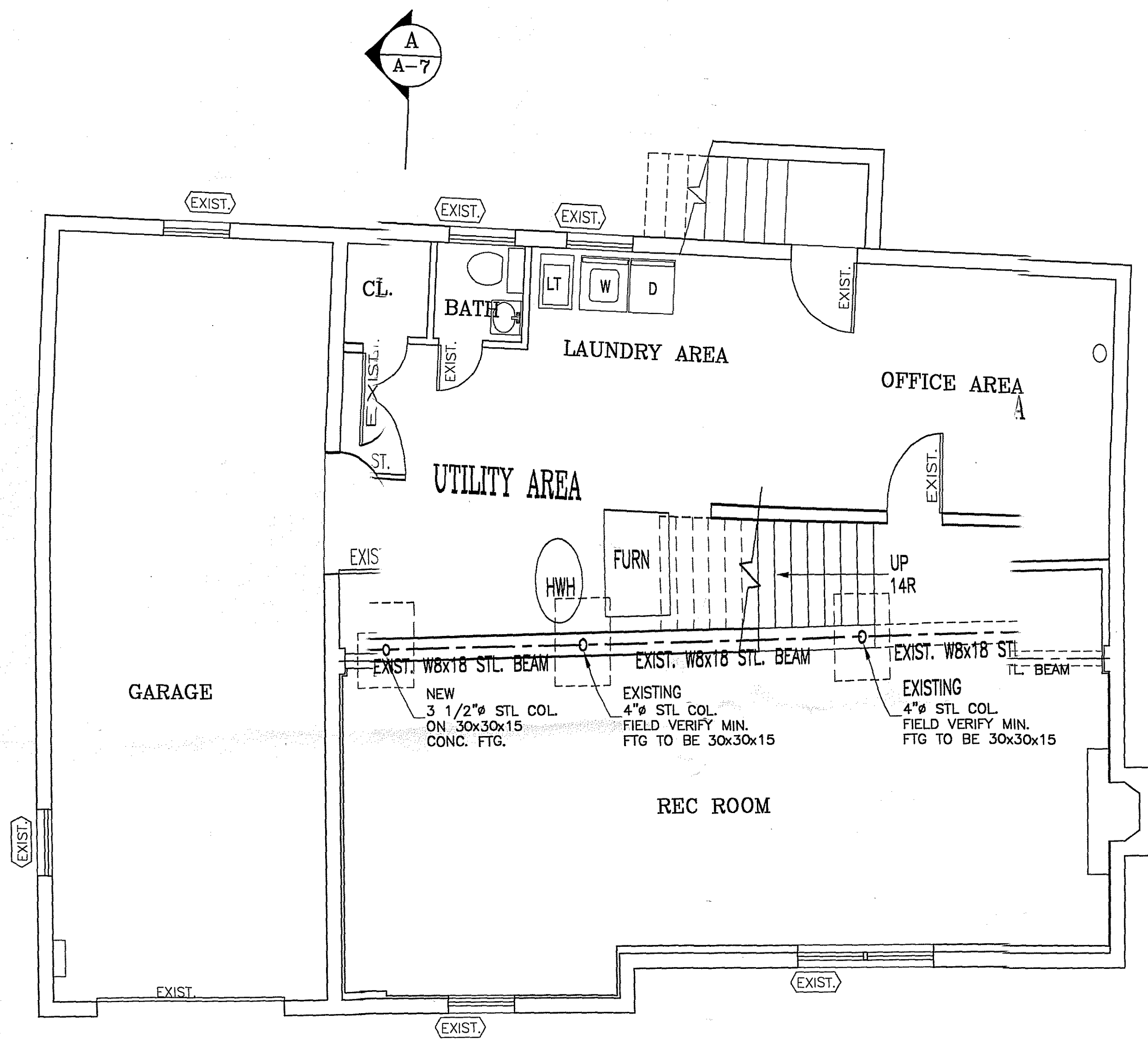
- C-1 COVERSHEET / LEGENDS
- A-1 BASEMENT, FOUNDATION
 - A-2 FIRST FLOOR PLAN
 - A-3 SECOND FLOOR PLAN
 - A-4 ELEVATIONS
 - A-5 ELEVATIONS

- A-6 FRAMING PLANS
- A-7 SECTION & WALL SECTION
- B-1 ELECTRICAL PLANS

PERMIT SET
 April 18th, 2004

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project Number: 048-2004
 Drawn By:
 Checked By:
 Sheet Title: COVERSHEET LEGENDS / SITE PLAN
 Sheet Number: C-1



EXISTING BASEMENT/FOUNDATION PLAN
 1/4"=1'-0"
 NOTE: ALL WINDOWS AT BASEMENT LEVEL TO BE REPLACED

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

DEMO. LEGEND

EXISTING TO REMAIN	=====
EXIST. TO BE DEMOLISHED	-----

WALL LEGEND

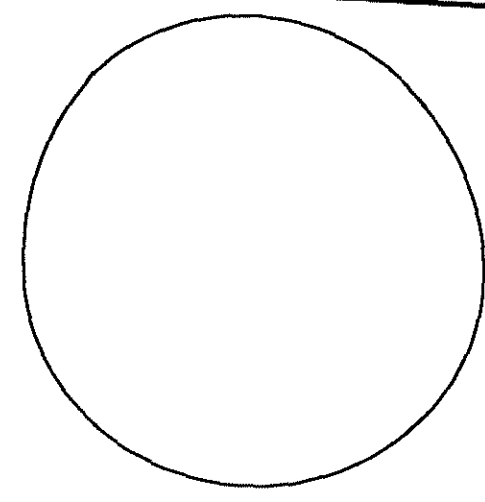
EXIST. FOUND. WALL	=====
NEW CMU FOUND. WALL	▨▨▨▨▨▨
EXISTING CONSTRUCTION	=====
NEW CONSTRUCTION	▨▨▨▨▨▨
NEW BRICK VENEER	=====

ARCHITECTS

RAOUL LISSABET, A.I.A.

ARCHITECTS, LLC

19021 SEDLEY TERRACE
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Issue Date: April 10th, 2004

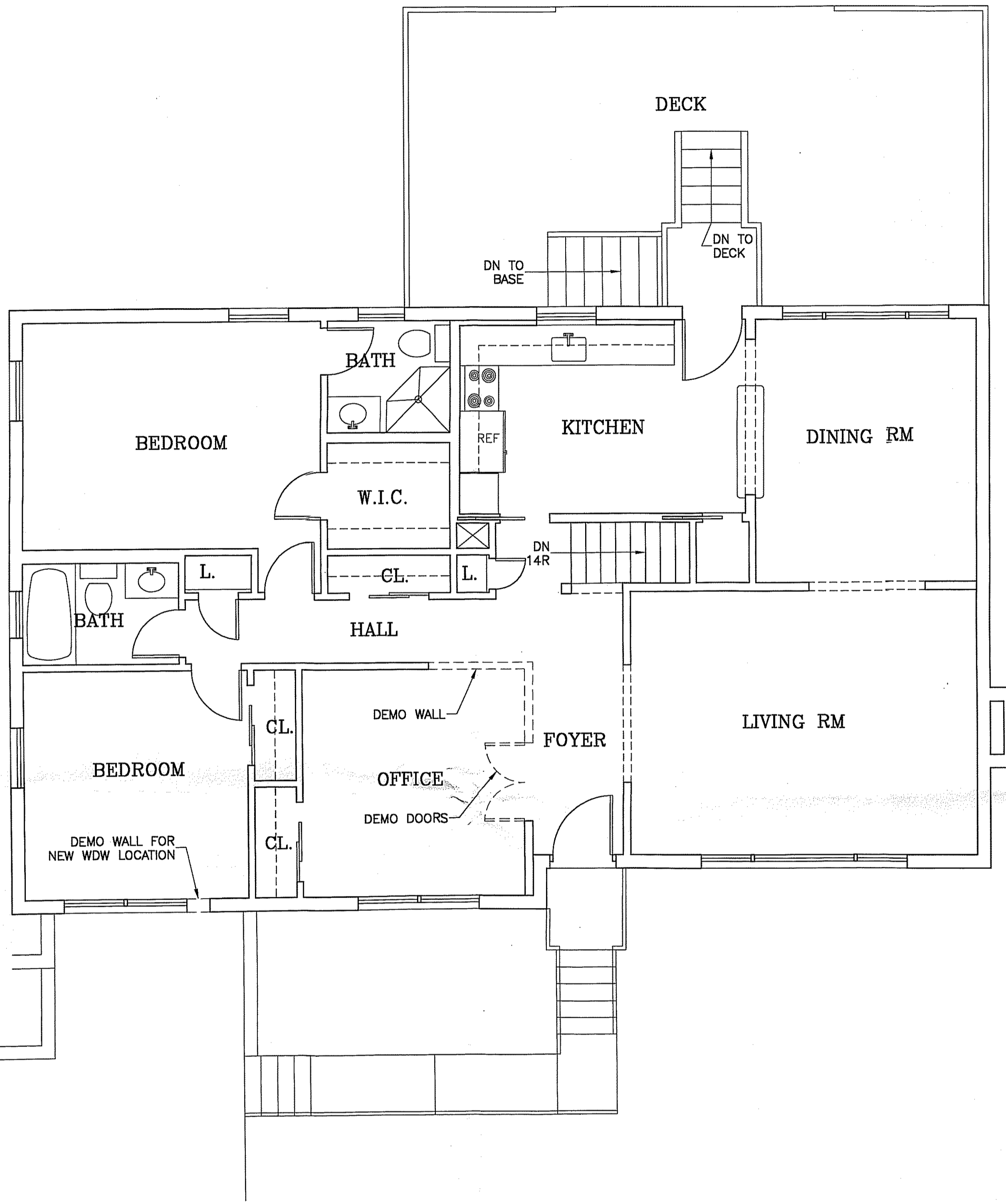
No.	Date	Revisions	Description

PERMIT SET
April 10th, 2004

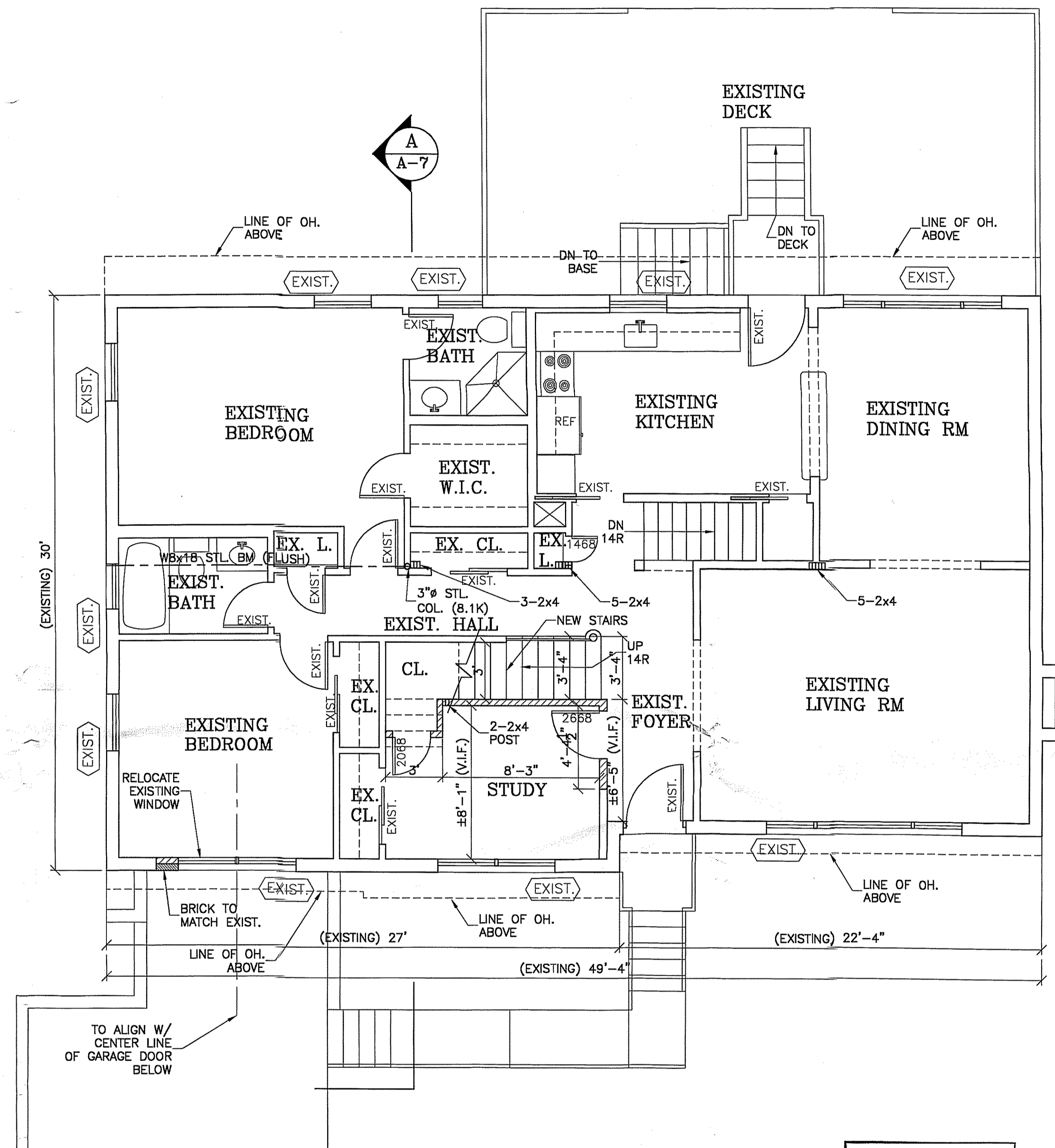
RESIDENCE ADDITION

1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project Number: 022-2004	Drawn By:
Designed By:	Checked By:
Sheet Title: BASEMENT/FOUND. PL	
Sheet Number: A-1	



EXISTING & DEMOLITION FIRST FLOOR PLAN
1/4"=1'-0"



FIRST FLOOR PLAN
1/4"=1'-0"

NOTE: ALL WINDOWS AT FIRST FLOOR LEVEL TO BE REPLACED

DEMO. LEGEND

EXISTING TO REMAIN	=====
EXIST. TO BE DEMOLISHED	-----

WALL LEGEND

EXIST. FOUND. WALL	=====
NEW CMU FOUND. WALL	▨▨▨▨▨▨
EXISTING CONSTRUCTION	=====
NEW CONSTRUCTION	▨▨▨▨▨▨
NEW BRICK VENEER	▨▨▨▨▨▨

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 4/18/04

ARCHITECTS
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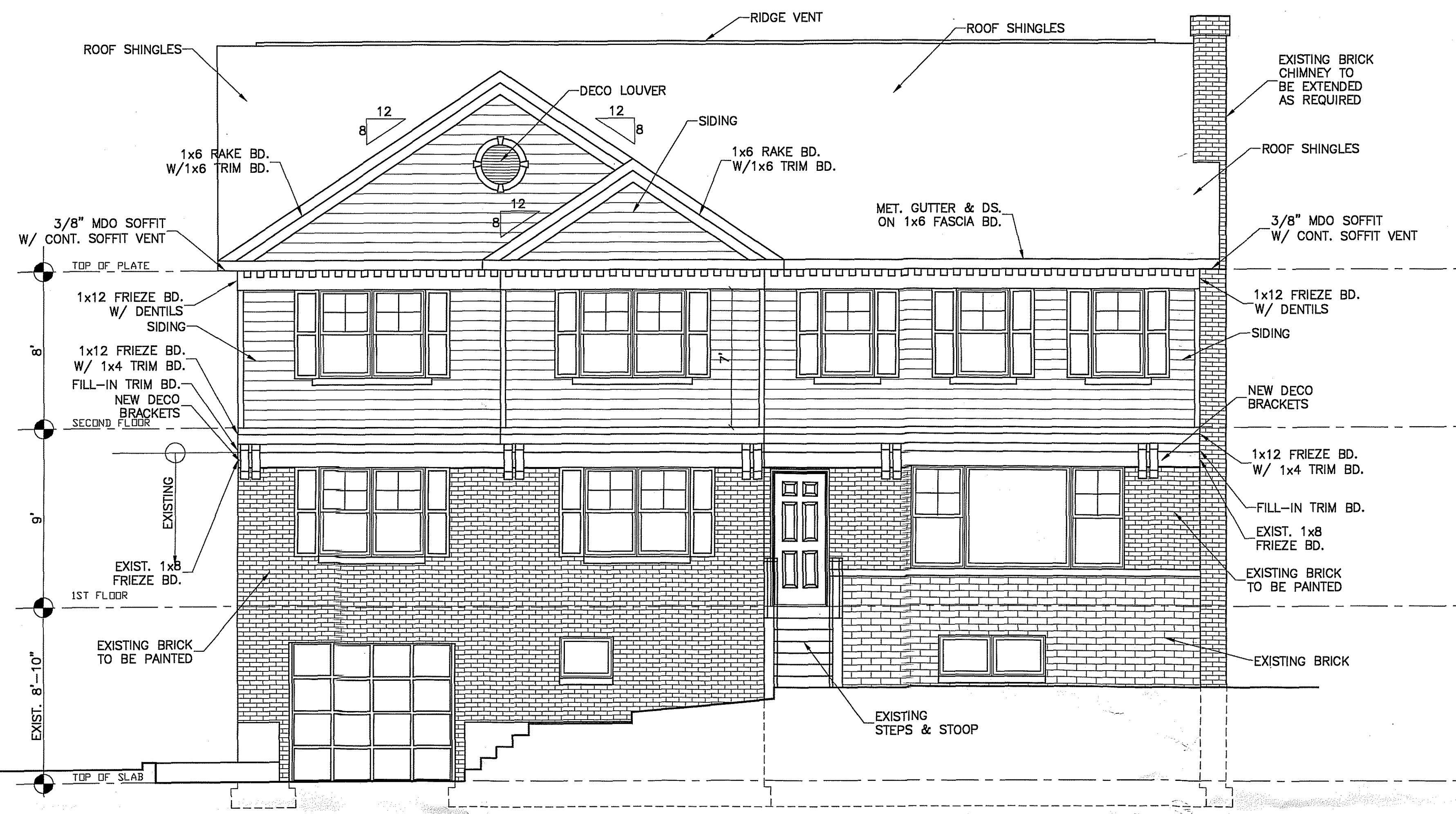
Issue Date: April 18th, 2004

No.	Date	Revisions	Description

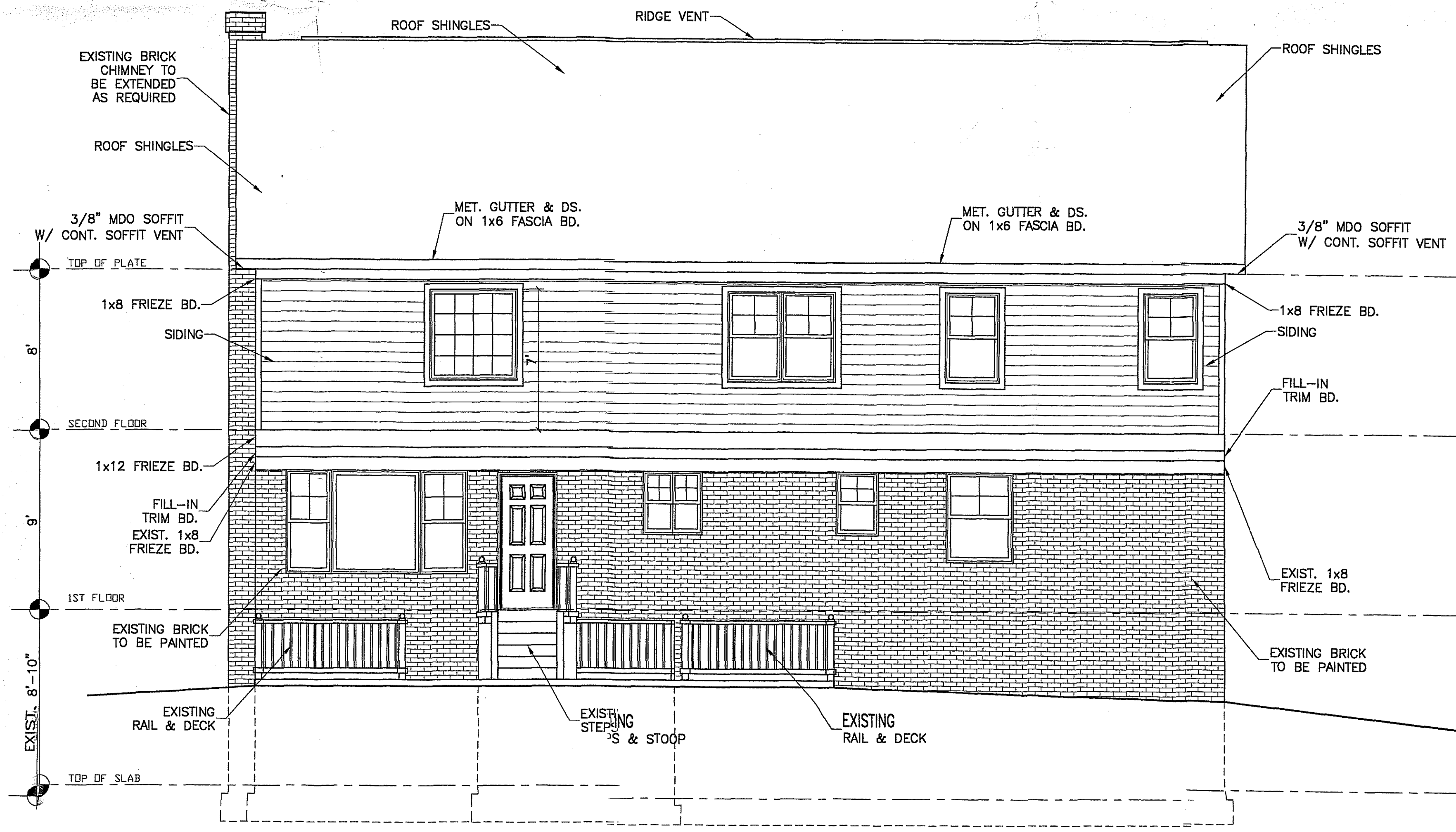
PERMIT SET
April 18th, 2004

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

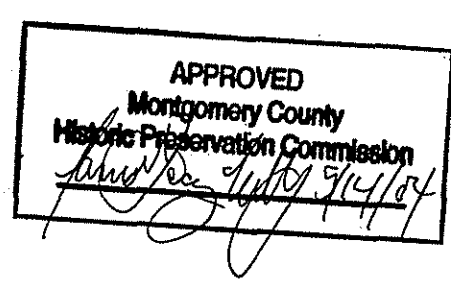
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Designed By:	Checked By:
Sheet Title: FIRST FLOOR PLAN	
Sheet Number: A-2	



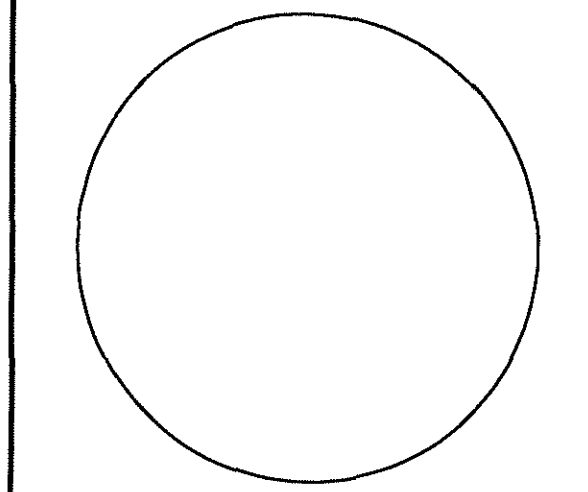
FRONT ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"



ARCHITECTS
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 Issue Date: April 18th, 2004
 Revisions

No.	Date	Description

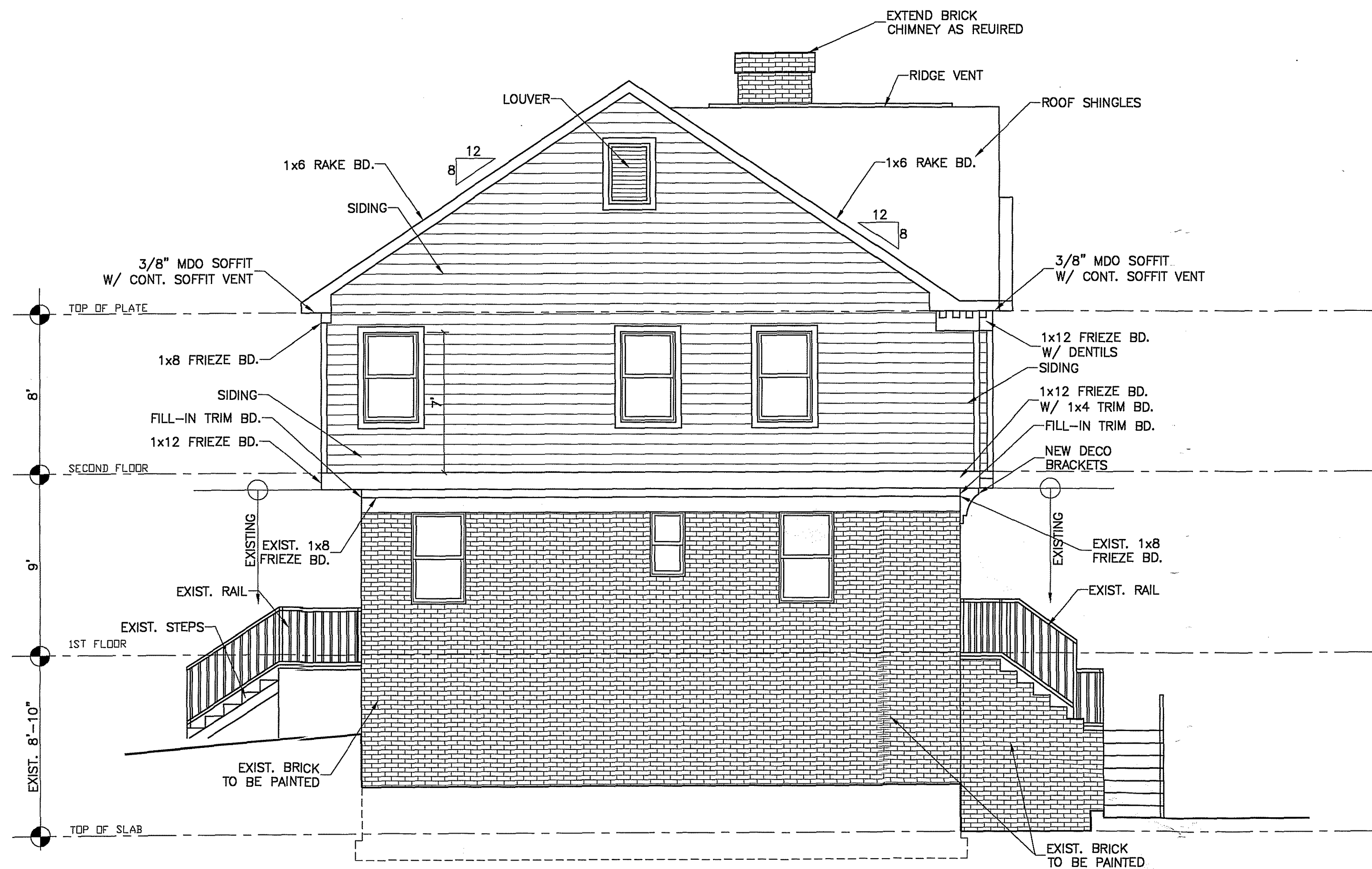
PERMIT SET
April 18th, 2004

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

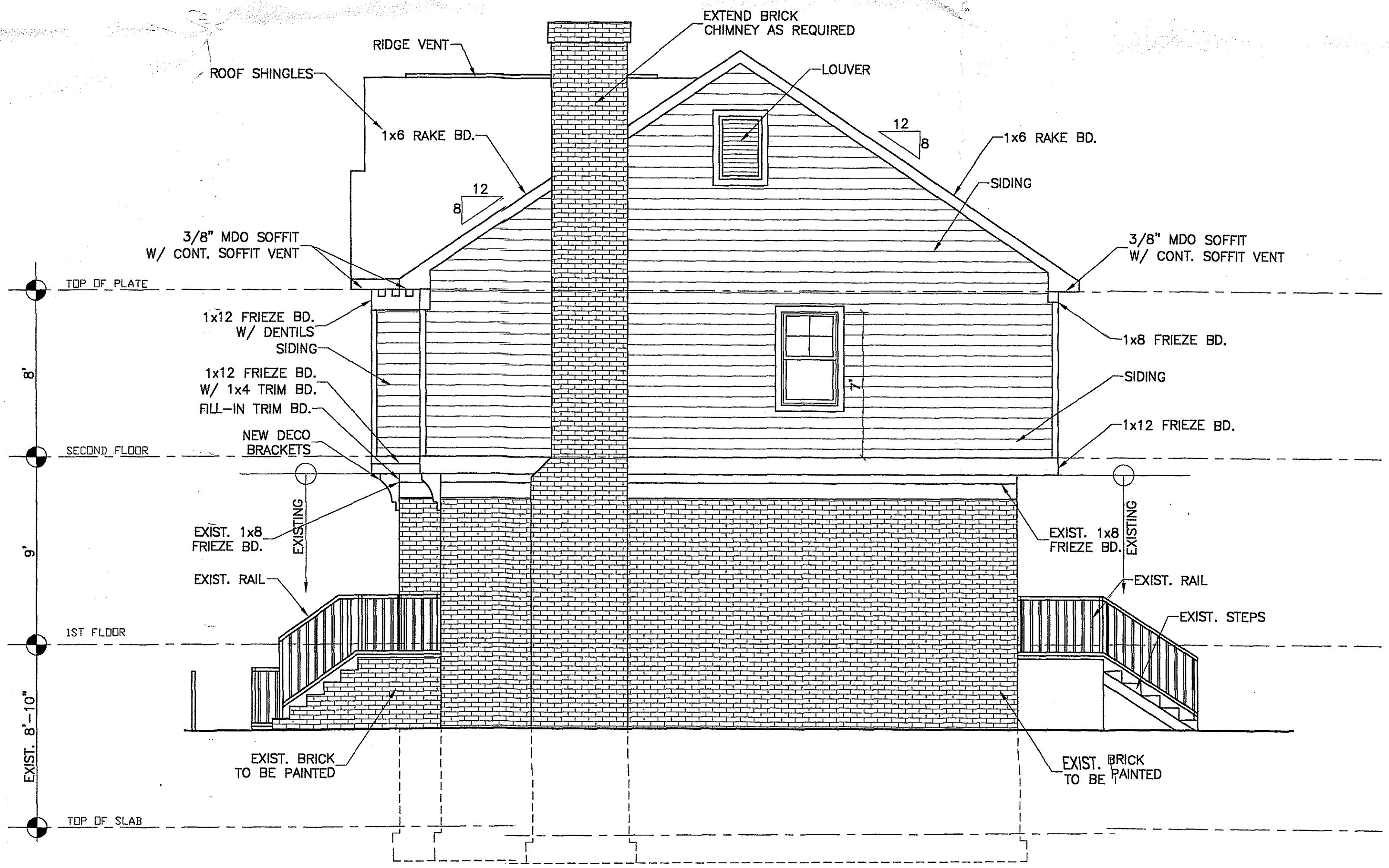
Project Number: 028-2004
 Designed By: _____
 Checked By: _____

Sheet Title:
ELEVATIONS

Sheet Number:
A-4

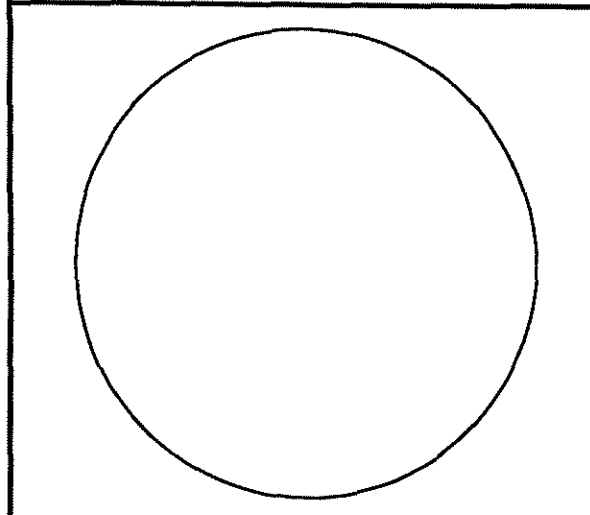


LEFT ELEVATION
 1/4"=1'-0"



RIGHT ELEVATION
 1/4"=1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature]



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 Issue Date: April 10th, 2004

No.	Date	Revisions	Description

PERMIT SET
 April 10th, 2004

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project Number: 02-2004	Drawn By:
Designed By:	Checked By:
Sheet Title:	
ELEVATIONS	
Sheet Number:	
A-5	



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Yosefi M. Seltzer
 Daytime Phone No.: 301-920-0938

Account No.: _____

Name of Property Owner: Yosefi + Michelle Seltzer Daytime Phone No.: 301-920-0938
 Address: 8320 Colesville Rd #204 Silver Spring Maryland 20910
Street Number City Street Zip Code

Tractor: _____ Phone No.: _____

Tractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 1409 Street: Noyes Drive
 Town/City: Silver Spring Nearest Cross Street: First Ave + GA Ave
 Block: 4 Subdivision: _____
 Lot: 14121 Folio: 414 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

Construction cost estimate: \$ 150,000

If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

Height _____ feet _____ inches

Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michelle Seltzer 18 Apr 04
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Signature: _____ Date: _____

Application/Permit No.: 041439 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Please see attached

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Please see attached

SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

MINIMUM TWO COPIES OF THE TEMPLATE AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS

Request for Work Permit for Property Located on Locational Atlas *1409 Noyes Drive, Silver Spring, Maryland 20910*

1a. Description of existing structure and environmental setting, including their historical features and significance:

The existing structure is an unremarkable one story brick masonry, three bedroom, two and a half bath ranch home built in 1961 with a full basement that includes a fireplace, an attached one car garage, backyard and ground level wood deck. It is not designated as a historic home, nor situated in a historic district. This proposal is before you today solely because it lies on the Locational Atlas. Although it is not an ancient house, it exposes its age due to the fact that the previous owner did not adequately maintain the roof, gutters, downspouts and exterior trim nor protect and preserve the foundation. Storm water and termites have been the primary culprits.

The roof has reached the end of its service life: wear and tear is visible. The gutters and downspouts are coming detached from the roof, which has prevented the proper repulsion of storm water away from the foundation of the house. A structural engineer inspected the foundation and found it to be sound, however, he concluded the cracks are the result of localized water ponding and infiltration of the surface runoff and from the chaotic discharge of the roof gutter downspouts. The water ponding and infiltration may also have caused water damage to the driveway. He recommended the regrading of the outside ground level to a minimum of a 1/4 inch per foot drainable slope away from the vertical walls of the house and the installation of 12 to 16 foot long downspout extensions to deliver the gutter water to the lower slope of the yard.

There are two large trees in the front yard and one large one in the back, none of which will be impacted by the proposed renovations. The backyard is level near the house but ultimately slopes away from it approximately 30-50 feet away from the foundation. The front yard is virtually level beneath the living room window on the right side as you face the front, but slopes to the street after a few feet. The flowerbed to the left of the front staircase is fairly level.

The ground level wood deck in the backyard is thought to have contributed to the water damage by impeding the flow of water away from the home. Moreover, the deck may have encouraged termites to move towards the house. Consequently, the home was diagnosed and treated for termite infestation. The home inspector recommended that the deck be elevated.

b. General description of project and its effect on the historic resource(s), the environmental setting and, where applicable, the historic district:

The owners are well aware of the unique, quaint, communal nature of the Woodside neighborhood and specifically chose it for this reason. Yosefi Seltzer was born in Silver Spring's Holy Cross hospital and resided in north Silver Spring throughout his developing years. He attended grade, high school and college in the Washington metropolitan area before departing for graduate school in Baltimore and a tour on Active Duty in the U.S. Army.

The owners purchased the home in April 2004 and finalized the proposal before you with the express desire to preserve and enhance the quality of life in the county by safeguarding the historical and cultural heritage as well as stabilizing and improving the property value by fostering civic beauty and the continued utilization and pleasure of the citizens of the county, the state and the United States of America.

The architect, Raoul Lissabet, has practiced residential architecture in Montgomery County since 1977. He has worked on several historic projects including one in Somerset that was approved by this commission in the late 1990s. As part of his training, he successfully completed a course on the historic restoration of windows.

With these objectives in mind, the owners worked closely with the architect through several revisions of the proposed renovation in order to enhance the character of the home through the incorporation of modern interpretations of historic details and features found on houses within the existing Woodside neighborhood. Consequently, the proposal illustrates an attention to detail that ensures the house's compatibility with the existing streetscape by being sensitive to the neighborhood's existing architectural character.

The owners propose to construct a second floor addition on top of the existing ranch-style house, replacing the ground level wood deck with a stone patio and regrading a portion of the back yard as well as the soil around the foundational perimeter of the house in order to protect it from further water damage and termite infestation. The second story addition was carefully designed in order to be sympathetic to the adjacent historic resources so that the character defining features and the rhythm of the streetscape are not abruptly interrupted. The house is flanked by two other houses (1407 Noyes Drive to the east and 8901 1st Avenue to the west). The proposed renovation will not expand the footprint of the house nor encroach on green space to the front, back or sides.

The proposed renovation is differentiated from the existing structure while still being respectful to and compatible with the existing house. The architect and owners specifically intend to differentiate between the second and first stories through the use of different building materials for the second story, utilizing perhaps siding or stucco. Moreover, the owners specifically chose to pursue a second story addition rather than bump out the back in order to preserve the maximum amount of green space.

Further, the owners propose landscaping as well as the replacement of the deck, roof, gutters and downspouts. They are all intended to both preserve the original foundation of the home as well as to enhance the appearance and usability of the property. Once completed, they will avert any unsafe conditions and health hazards that would be posed by an unsound structural foundation.

Finally, the owners propose to extend the chimney in proportion to the height of the new roof in order to maintain the fire-safe quality of the fireplace as well as preserve the integrity of the rooftop.

The proposal is intended to be compatible with the character and nature of the neighborhood while enhancing and aiding in the protection, preservation and reasonable utilization of the property by the owners. The structure is of little historic and design significance and therefore, the proposed renovation will not seriously impair the historic or architectural value of the surrounding historic resources, it will surely enhance them.

With these values in mind, the owners and architect prudently selected the design and features of the renovation work in the interest of celebrating the revitalization and rebirth of the renowned downtown Silver Spring community.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Yosefi and Michelle Seltzer 8320 Colesville Road #204 Silver Spring, Maryland 20910	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Leah Dickhaut 1407 Noyes Drive Silver Spring, Maryland 20910	
Baird and Sarah Brookhart 8825 1 st Avenue Silver Spring, Maryland 20910	
Hae D. and Y. S. Lee 8901 1 st Avenue Silver Spring, Maryland 20910	
Elvin C + L CJ Nichols 8905 1st Avenue Silver Spring, Maryland 20910	

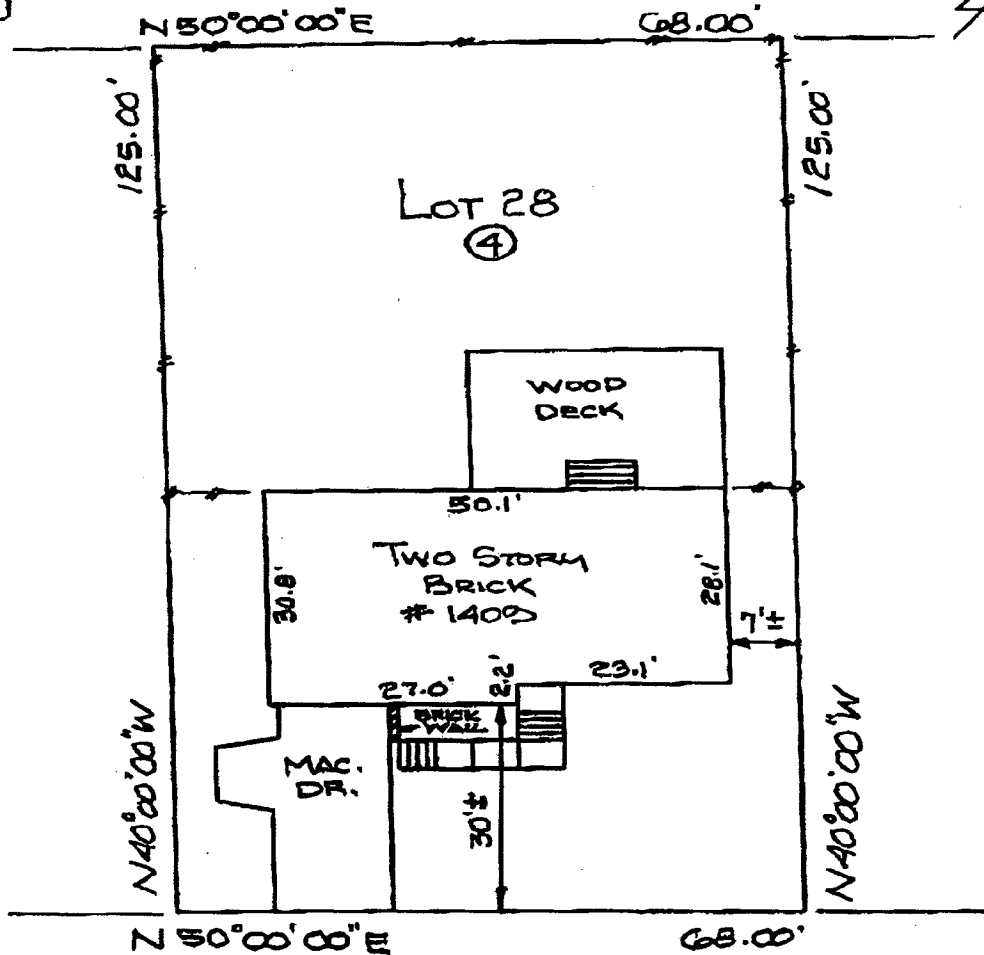
CONSUMER INFORMATION NOTES

THIS PLAN IS A BENEFIT TO A CONSUMER INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER FINANCING OR RE-FINANCING.
 THIS PLAN IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS.
 THIS PLAN DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.

1409 NOYES DR
 LOT: 28
 BLOCK: 4
 WOODSIDE
 MONTGOMERY COUNTY
 MARYLAND

Post-It® Fax Note	7671	Date	3/26	# of Pages	1
To	YOSEFI SELTZER	From	LARRY KRAMER	Co.	
Co./Dept.		Phone #	301-608-2201	Fax #	
Phone #					
Fax #	303-696-2946				

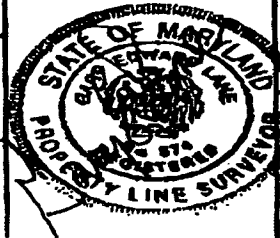
THIS PROPERTY IS LOCATED IN ZONE C (AREA OUTSIDE THE 100 YEAR FLOOD ZONE) HAZARD MAP.



NOYES DR.
 HOUSE LOCATION DRAWING

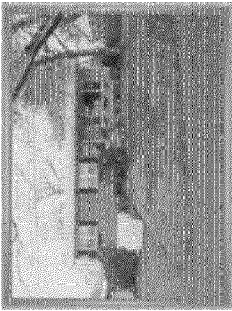
SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE PROPERTY DELINEATED HEREON IS IN ACCORDANCE WITH THE PLAT OF SUBDIVISION AND DEED OF RECORD AND THAT THE IMPROVEMENTS SHOWN WERE LOCATED BY ACCEPTED FIELD PRACTICES. THIS HOUSE LOCATION SURVEY IS NOT FOR THE DETERMINING PROPERTY LINES AND NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND LOT CORNERS HAVE NOT BEEN OBT BY THIS SURVEYOR.



SURVEY ASSOCIATES #1
 CONSULTING LAND SURVEYORS AND PLANNERS
 3838 LYON AVENUE
 LAUREL MARYLAND 20723
 301 280-5470 FAX (301) 970-2614

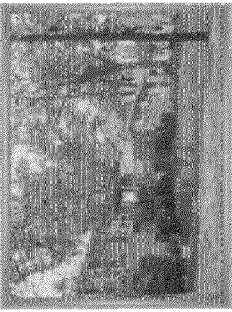
SCALE	1" = 20'	DWG. BY	GEL	CASE NO.	04030047
NUMBER	14121	ELECTION DISTRICT	13	COUNTY	MONTGOMERY
FOLD	414	DATE			
PLAT BOOK	58				



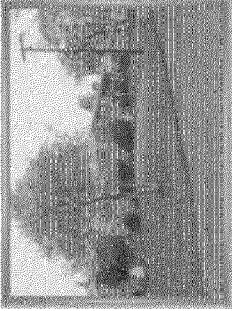
Front of house from Noyes Drive.



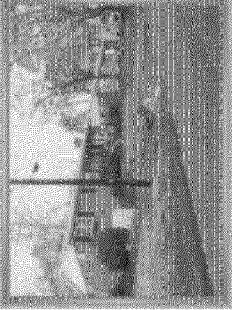
Looking east towards Georgia Ave.



Front View East 1.



Front View East 2.



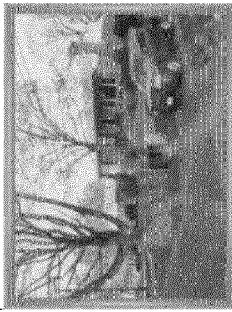
Front View East 3.



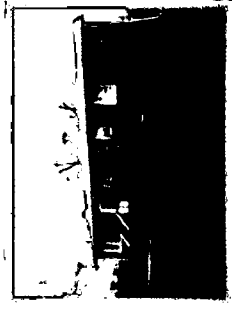
East side of house and 1407 Noyes Drive on the right.



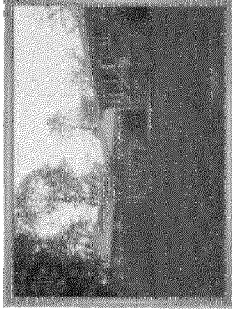
View West of 1407 Noyes Drive and 1409 Noyes Drive on Left.



View West 2.



Rear of house.



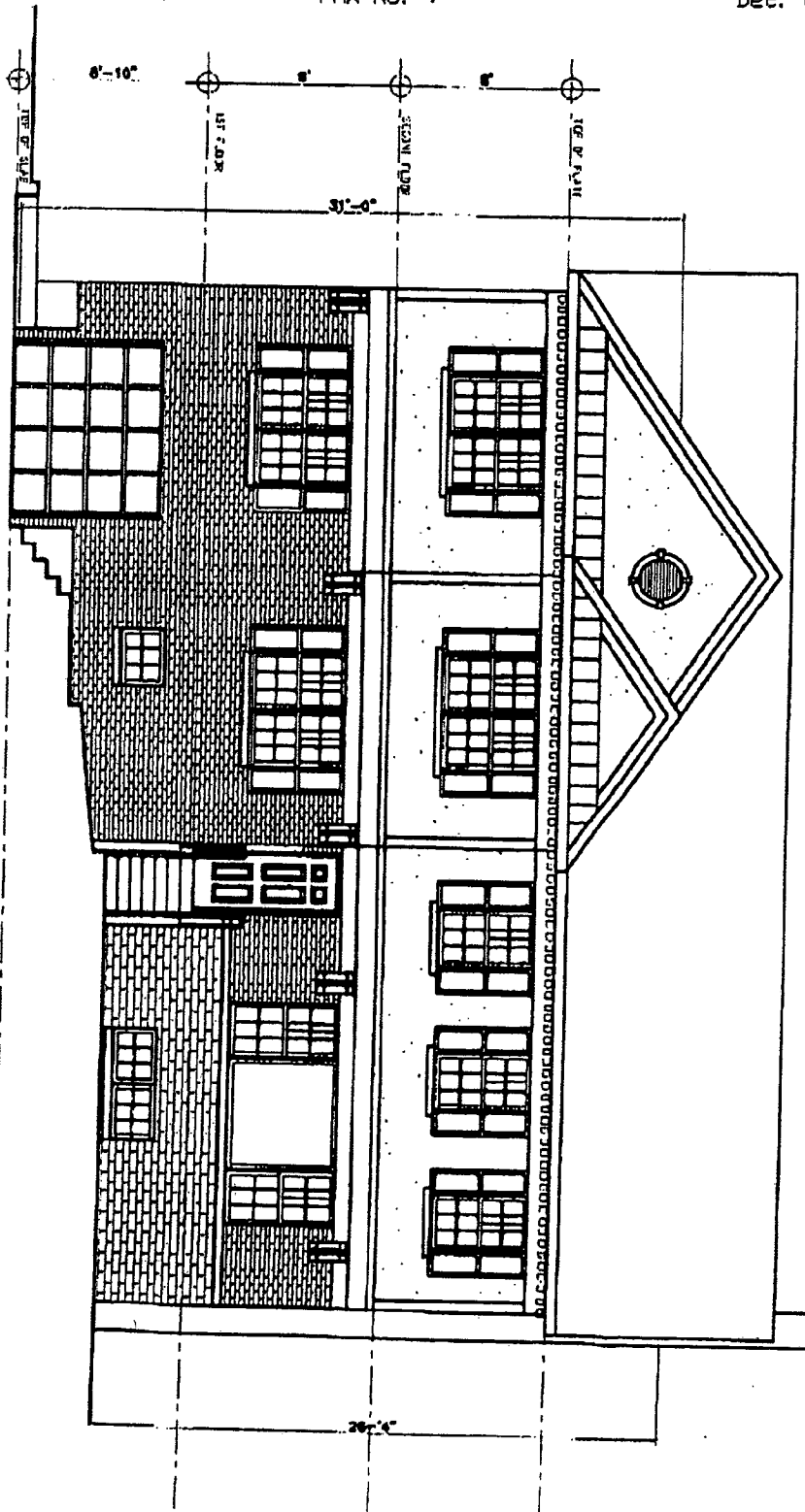
View East from Backyard including 1407 Noyes Drive's rear addition.

FROM :

FAX NO. :

Dec. 05 2001 01:18PM P4

PROPOSED FRONT ELEVATION



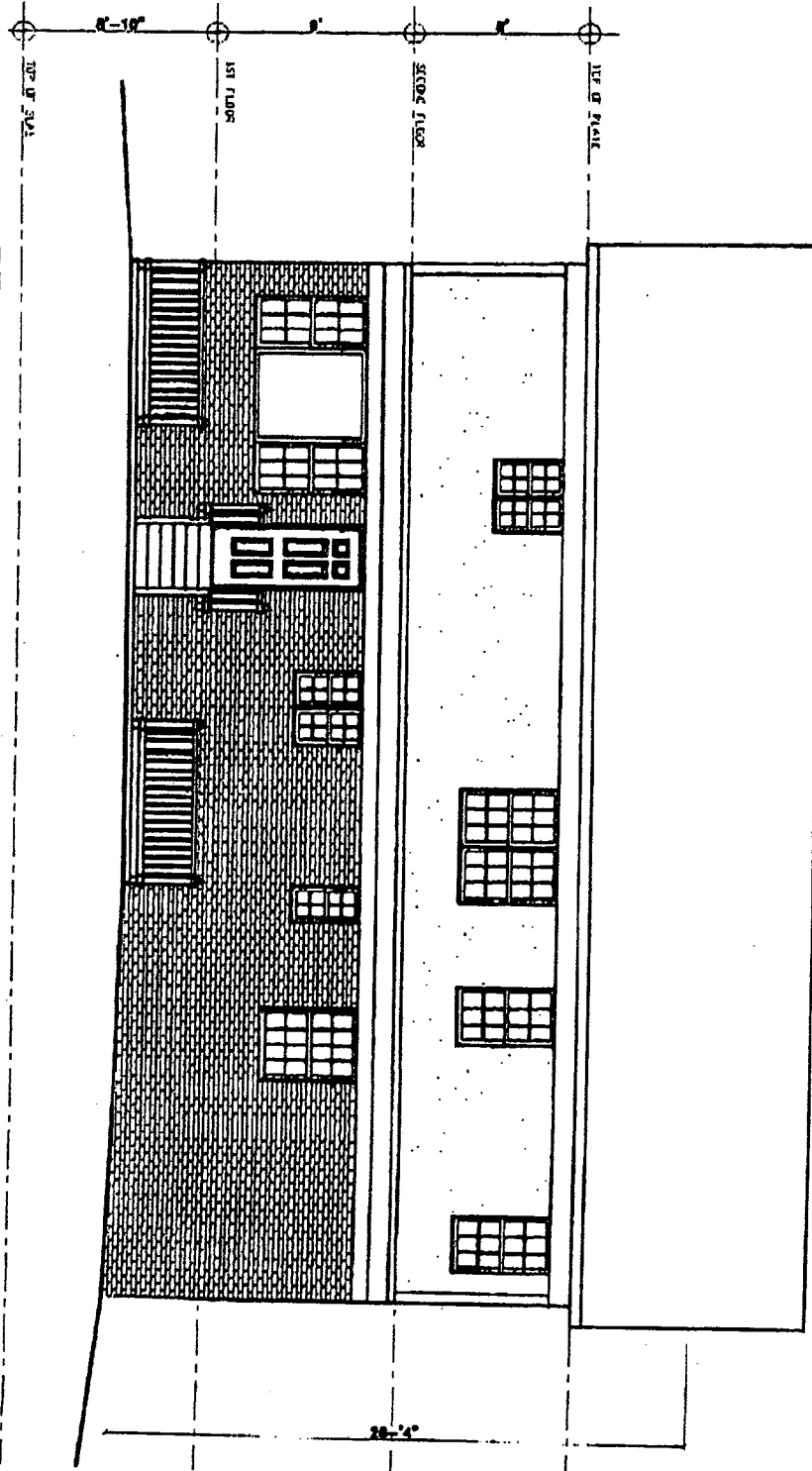
RAOUL LISSABET A.I.A.
ARCHITECTS
19021 SEDLEY TERRACE
CANTON, MASSACHUSETTS 01921

FROM :

FAX NO. :

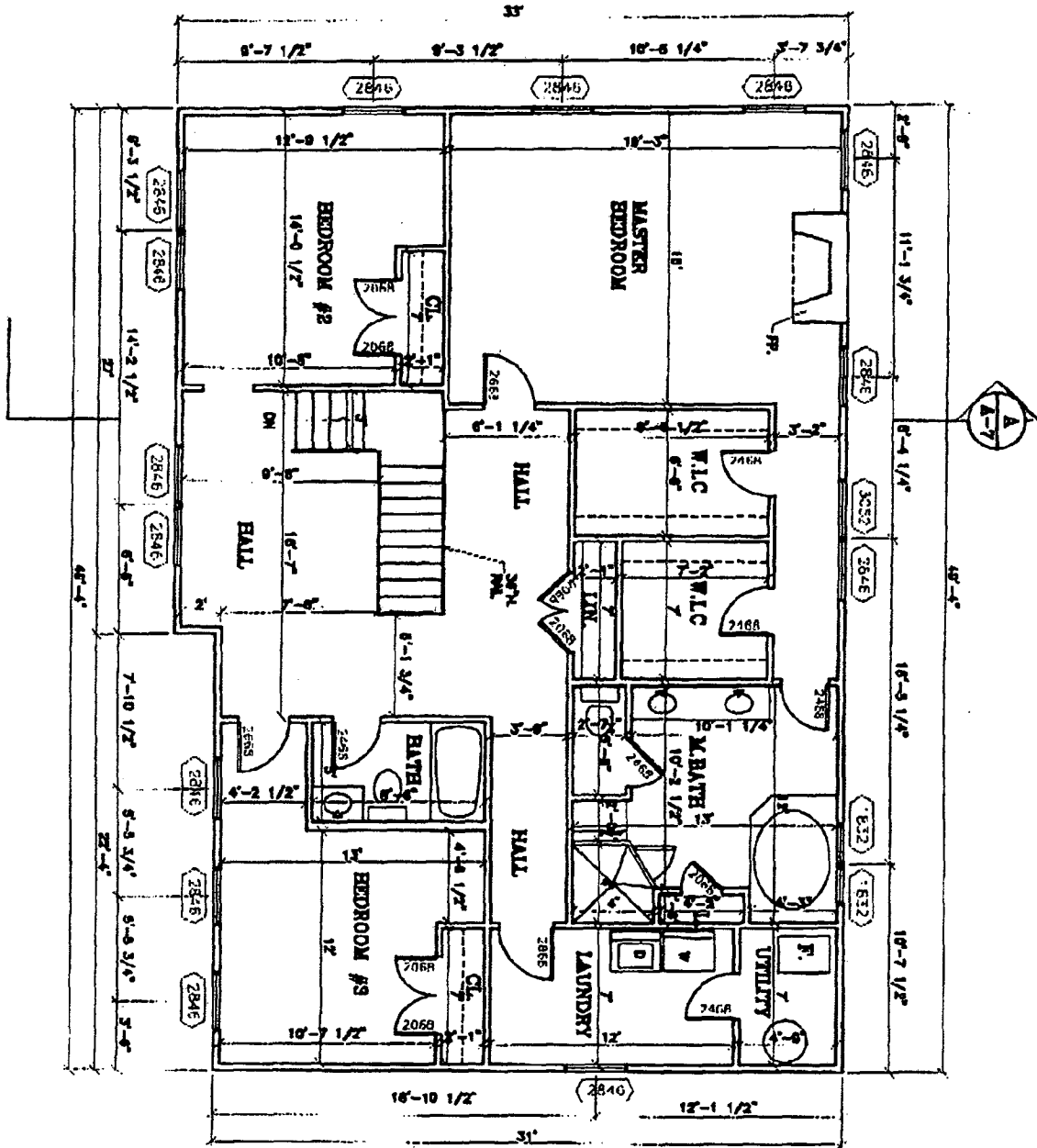
Dec. 05 2001 01:18PM P5

PROPOSED REAR ELEVATION

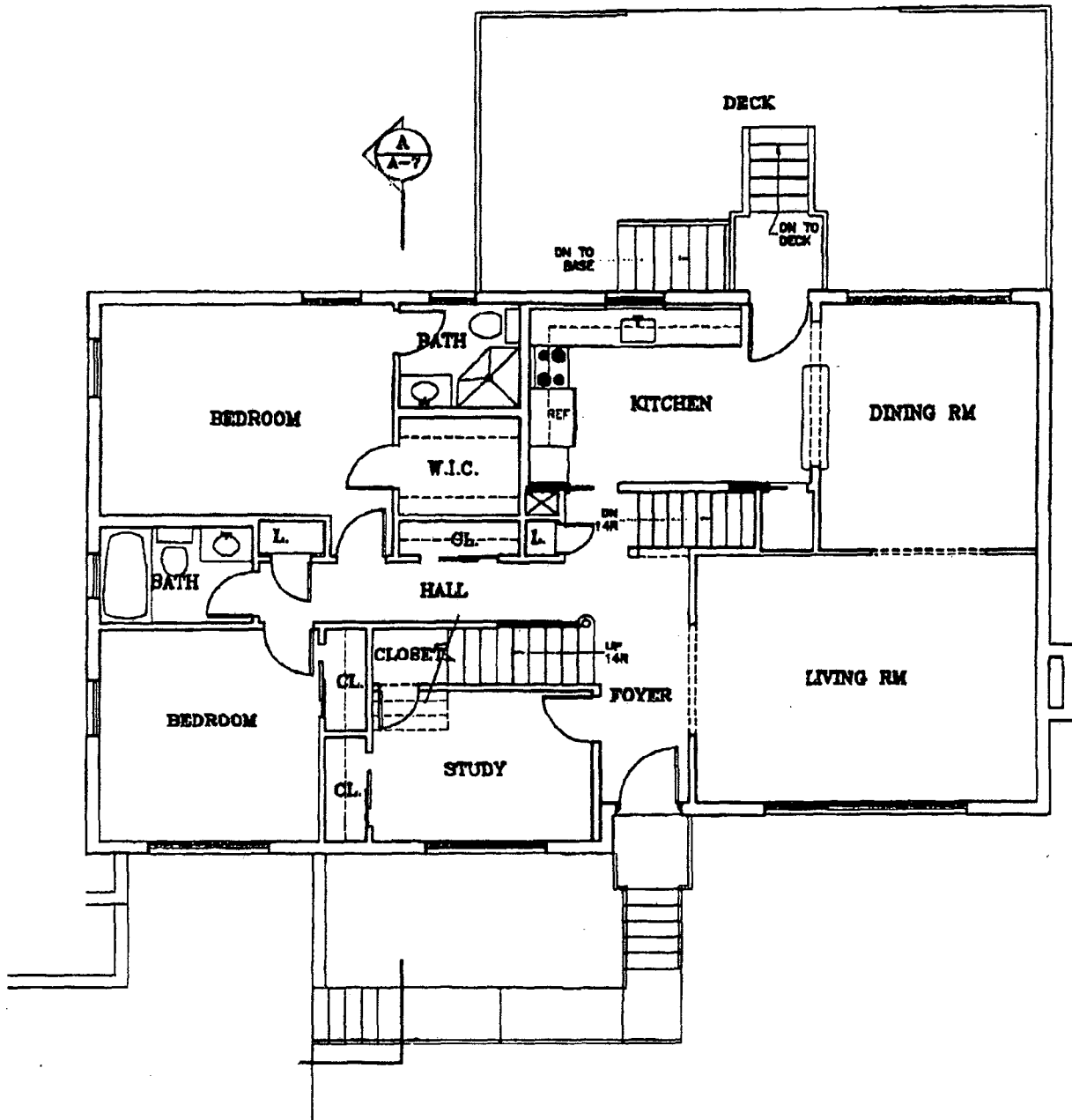


RAOUL LISSABET A.I.A.
 ARCHITECTS
 19021 SEDLEY TERRACE
 GAITHERSBURG, MD 20878

SECOND FLOOR PLAN

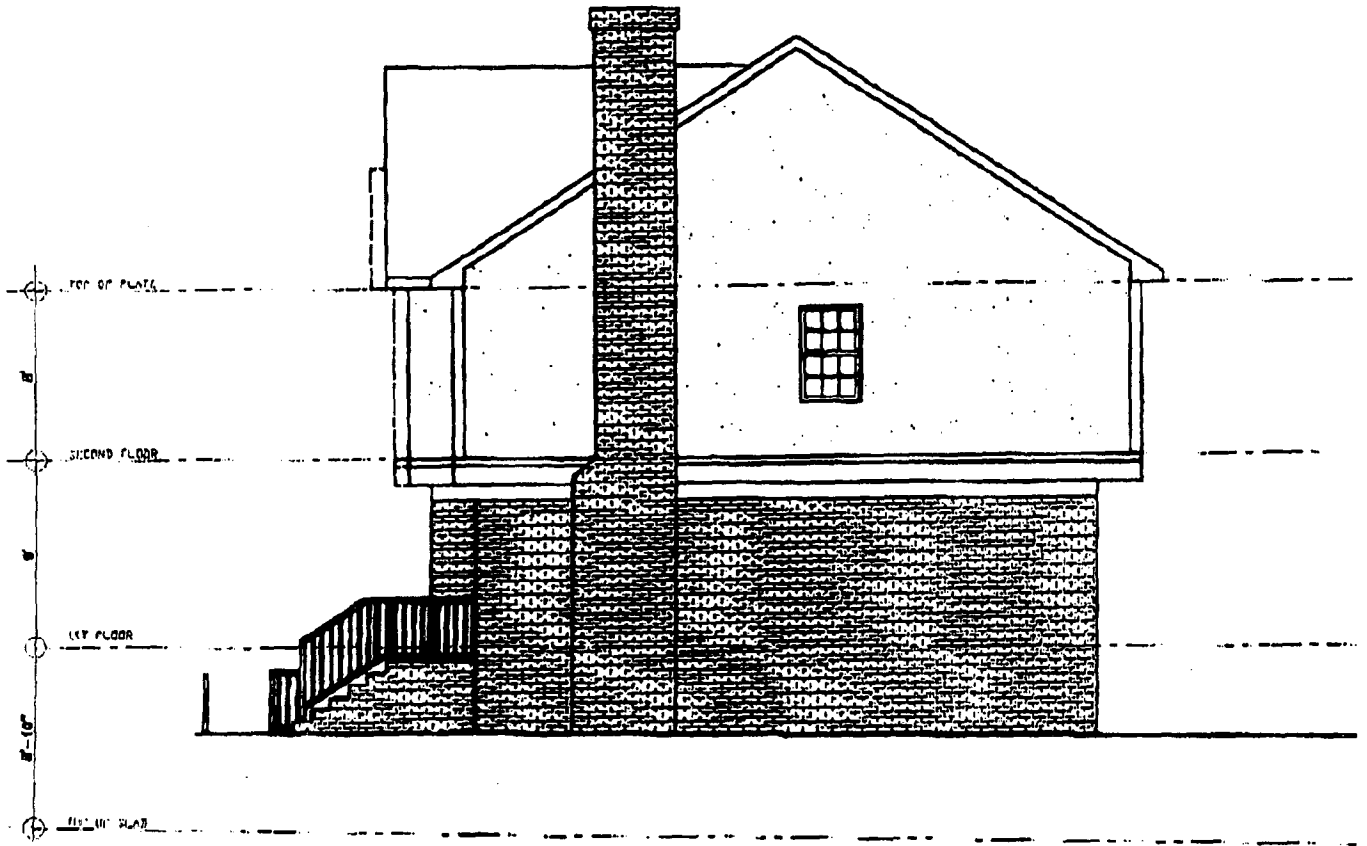


RAOUL LISSABET A.I.A.
 ARCHITECTS
 19071 SEDLEY TERRACE



FIRST FLOOR PLAN

RAOUL LISSABET A.I.A.
ARCHITECTS
19021 SEDLEY TERRACE
GAITHERSBURG, MD 20879



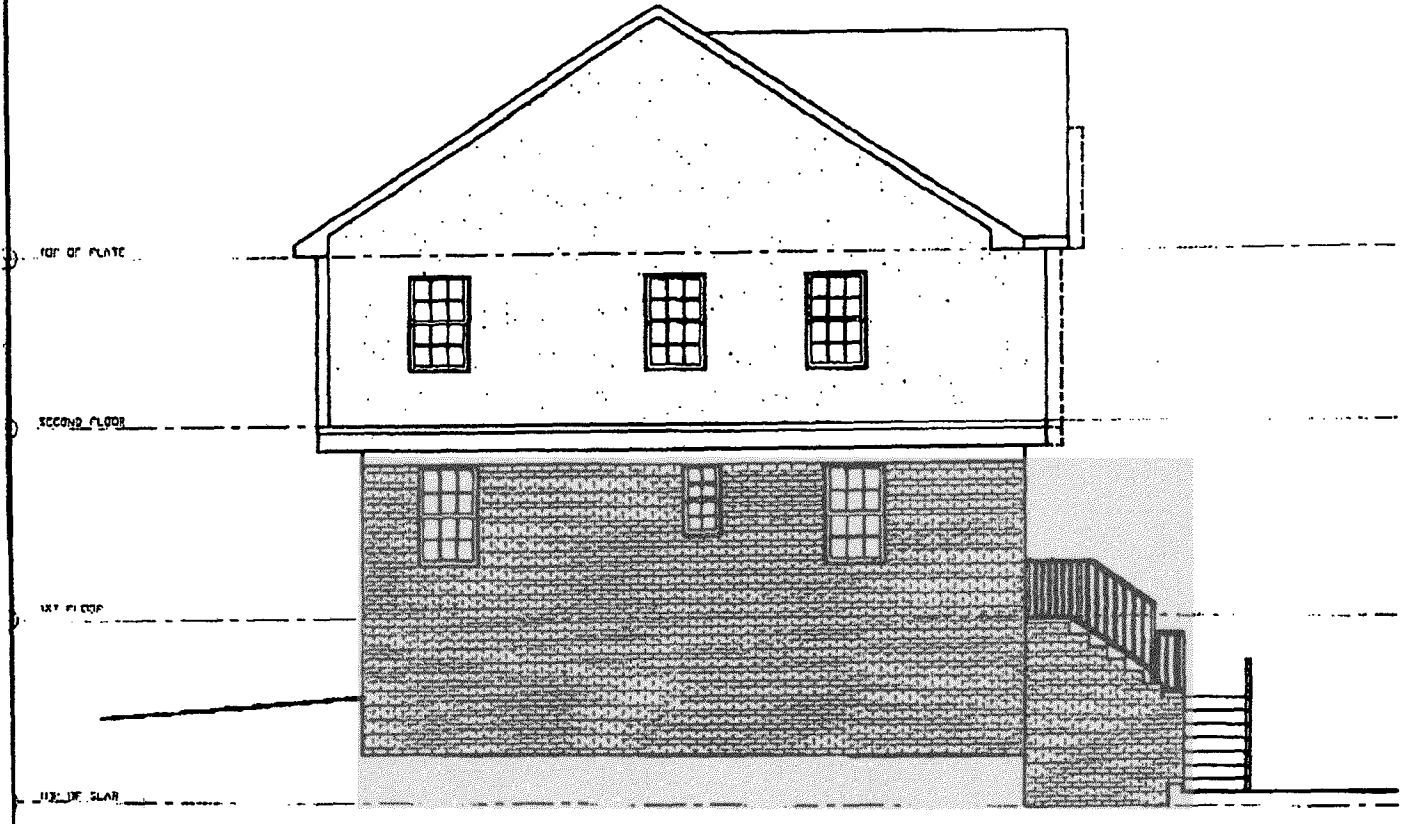
PROPOSED RIGHT ELEVATION

**RAOUL LISSABET A.I.A.
ARCHITECTS
19021 SEIDLEY TERRACE
GAITHERSBURG MD 20870**

FROM :

FAX NO. :

Dec. 05 2001 01:18PM P3



PROPOSED LEFT ELEVATION

RAOUL LISSABET A.I.A.
ARCHITECTS
19021 SEDLEY TERRACE
GAITHERSBURG, MD 20879

RESIDENCE ADDITION

1409 NOYES DRIVE

SILVER SPRING, MARYLAND

LOT 28 - BLOCK 4.

MONTGOMERY COUNTY

ARCHITECTS
RAOUL LISSABET, A.I.A.
ARCHITECTS, LLC
 10021 SEDLEY TERRACE
 GAITHERSBURG, MARYLAND 20878
 Tel: (301) 948-5187 / Fax: (301) 930-4166

GENERAL NOTES

1. MAXIMUM SILL HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 44" IN CONFORMANCE WITH 2000 INTERNATIONAL RESIDENTIAL CODE (IRC)
2. MAXIMUM RISER HEIGHT SHALL BE 7 3/4" AND MAX. TREAD 10" FOR ALL STAIRWAYS. HANDRAIL PROJECTION 3 1/2" MAXIMUM PER 2000 IRC
3. ROOF SHINGLES TO BE INSTALLED PER 2000 IRC
4. FIRESTOPPING SHALL BE PROVIDED PER 2000 IRC
5. ROOF VENTING SHALL BE INSTALLED PER 2000 IRC
6. GUARDRAIL HEIGHTS TO BE 36" MIN. ACCORDING WITH 2000 IRC
7. PROVIDE GALVANIZED WALL TIES IN ACCORDANCE WITH 2000 IRC
8. ALL GLAZED AREAS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY
9. ALL FIREPLACES TO BE U.L. RATED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND 2000 IRC
10. ALL FOOTINGS TO EXTENDED AT LEAST 24 INCHES BELOW FINISH GRADE PER 2000 IRC
11. ALL FRAME BEARING WALLS TO CONFORM WITH 2000 IRC
12. PROVIDE WALL BRACING IN ACCORDANCE WITH 2000 IRC USING EITHER CONTINUOUS DIAGONAL BRACING OR APPROVED 4"x8" SHEATHING PANELS APPLIED VERTICALLY.
13. PROVIDE FOUNDATION ANCHORAGE IN ACCORDANCE WITH 2000 IRC
14. ALL TRUSSES, BRIDGING, AND MICRO-LAM BEAMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND 2000 IRC
15. PLYWOOD USED FOR FLOOR AND ROOF SHEATHING SHALL CONFORM TO 2000 IRC
16. PROVIDE FLASHING AS REQUIRED PER 2000 IRC
17. PROVIDE SMOKE DETECTORS ON EVERY STORY INCLUDING THE BASEMENT OF EACH DWELLING UNIT. THE DETECTORS SHALL BE WIRED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. PER 2000 IRC
18. SKYLIGHTS: SKYLIGHTS MAY BE GLAZED WITH ANY OF THE FOLLOWING MATERIALS SUBJECT TO THE NOTED LIMITATIONS AS SPECIFIED IN 2000 IRC. LAMINATED GLASS, WIRED GLASS, ANNEALED GLASS, HEAT STRENGTHENED GLASS, TEMPERED GLASS, GLASS BLOCK AND LIGHT TRANSMITTING PLASTIC.

CODE ANALYSIS

CODE: 2000 INTERNATIONAL RESIDENTIAL CODE (IRC)

EXISTING BUILDING	EXISTING BUILDING	PROPOSED BUILDING
USE GROUP/MIXED USE	R3	R3
TYPE OF CONSTRUCTION	5B	5B
HEIGHT/NO. OF STORIES	17.5' HIGH 1 STORY	29.5' HIGH 2 STORIES
HOUSE TYPE	1 LEVEL	2 LEVEL
COVERED MALL (Y/N)	NO	NO
FULLY SPRINKLERED (Y/N)	NO	NO
FLOOR AREA OF TENANT SPACE OR AREA OF RENOVATION		
LEVEL ONE	1,144 SQ.FT.	1,144 SQ.FT.
LEVEL TWO	0 SQ.FT.	1,108 SQ.FT.
LEVEL THREE (ATTIC)	0 SQ.FT.	603 SQ.FT.
LEVEL FOUR	0 SQ.FT.	0 SQ.FT.
LEVEL FIVE	0 SQ.FT.	0 SQ.FT.
TOTALS	1,144 SQ.FT.	2,905 SQ.FT.

STRUCTURAL NOTES

SOIL BEARING AND UNDER CONDITION: ASSUMED SOIL BEARING CAPACITY OF 2000 PSF (MIN.) WITH NO WATER CONDITION ANTICIPATED.

LINE LOADS:	ROOF	30 PSF	15 PSF	DEAD LOAD
	FLOOR	40 PSF	15 PSF	
	STAIRWAY	100 PSF	15 PSF	
	BALCONY	100 PSF	15 PSF	
	FLOOR AT BEDROOM LVL	30 PSF	15 PSF	
	WIND LOAD	17 PSF	15 PSF	

BRICKLAYS: SHALL NOT BE PLACED AGAINST WALLS UNLESS SLABS OR GRADE FINISHED FLOORS ARE IN PLACE AND REQUIRED INSPECTIONS ARE MADE. WHERE BRICKLAYS IS REQUIRED ON BOTH SIDES OF WALLS, BRICKLAYS BOTH SIDES SIMULTANEOUSLY, WITH THE GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME.

LOADS ON FOUNDATION WALLS: WALLS SHALL BE DESIGNED TO RESIST OR SUPPORT THE LATERAL PRESSURE OF EARTH OR WATER OR OTHER SUPERIMPOSED LOADS HAVE BEEN DESIGNATED AS SUCH. EQUIVALENT TO THAT EXERCISED BY FLUID WEIGHING 30 POUNDS PER CUBIC FOOT AND HAVING A DEPTH EQUAL TO THAT OF THE BEARING EARTH.

FOUNDATIONS: BOTTOMS OF THE ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW FINISH GRADE. ALL FOOTINGS SHALL BE AS SHOWN ON FOOTING PLANS AND PROJECT 12" INTO UNDISTURBED EXISTING FIRM GROUND HAVING ALLOWABLE BEARING CAPACITY AS PER SOIL CONSULTANT'S RECOMMENDATIONS. DEPTH AND SIZE OF ALL FOOTINGS SHALL BE VERIFIED IN THE FIELD. DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.

CONCRETE: ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.C.I. CODE 318. 30-MIN CONCRETE STRENGTH SHALL BE AS FOLLOWS:

F _c = 2,800 PSI FOR FOOTINGS, INTERIOR SLABS ON GRADE AND FILL IN CONCRETE BLOCKS.	F _c = 2,800 PSI
F _c = 3,000 PSI FOR EXTERIOR SLABS ON GRADE.	F _c = 2,900 PSI
F _c = 4,000 PSI FOR FINISHERY CONCRETE WALLS.	F _c = 3,000 PSI

SLABS ON GRADE: EXCEPT WHERE OTHERWISE NOTED, SHALL BE 4" THICK, REINFORCED WITH #4 @ 10/10 WELDED WIRE MESH LAP MESH 6" IN EACH DIRECTION. SLABS SHALL BE Laid ON A LAYER OF 4 MIL POLYETHYLENE OVER A 1/2" LAYER OF INSULATED GRAVEL. REFER TO DRAWINGS FOR LOCATION OF THERMAL INSULATION.

EXTERIOR SLABS ON GRADE: FOR ALL EXTERIOR SLABS ON GRADE, AIR-ENTRAINED CEMENT WITH EXPANDED AIR OF 4% OF EQUIVALENT AIR-ENTRAINING AGENT SHALL BE USED. PRECAST CONTROL JOINTS AT 10'-0" OR CENTER EACH WAY IN ALL EXTERIOR SLABS ON GRADE (EXCEPT WITH TERRACE SLAB).

REINFORCING STEEL: REINFORCING STEEL OR TIES, UNLESS OTHERWISE NOTED, SHALL BE INTERMEDIATE GRADE DEFORMED RELIEF STEEL CONFORMING TO ASTM SPECIFICATIONS A615-60. ALL OTHER REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A615-60. WELDED WIRE FABRIC TO CONFORM TO ASTM A-185. ALL REINFORCING SHALL BE EXPOSED, FIREPROTECTED & INSULATED ACCORDING WITH THE LATEST DETAILING MANUAL, A.C.I. 318.

STRUCTURAL STEEL: SHALL BE IN CONFORMANCE WITH THE LATEST AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. SHOP AND FIELD CONNECTIONS SHALL BE WELDED OR MADE WITH 3/8" HIGH STRENGTH BOLTS. SEE DETAILS ON DRAWINGS FOR STEEL BEAMS BEARING ON MASONRY OR CONCRETE. ALL WELDING TO CONFORM TO AISC SPECIFICATIONS A-3. NO HOLES ARE PERMITTED IN STEEL BEAMS OTHER THAN SHOWN ON THE DRAWINGS, UNLESS APPROVED BY THE STRUCTURAL CONSULTANT.

TRUSSED RAFTERS: WOOD TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER. COMPLETE SHOP DETAILS AND STRESS DIAGRAMS, INCLUDING BEARING DETAILS, SHALL BE SUBMITTED FOR APPROVAL. WOOD TRUSSED RAFTERS SHALL BE FABRICATED WITH HYDRAULICALLY PRESSED 18 GA. TONGUED AND GROUVED METAL PLATED OR 20 GA. GALV. STEEL CURVED PLATES. CONNECTIONS SHALL BE CAPABLE OF TRANSMITTING THE STRESSES PLUS ALL EDCENTRICITIES. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL, SHOWING THE DESIGN OF THE TRUSSED RAFTERS CAPABLE OF SUSTAINING TOTAL SUPERIMPOSED LOAD OF 20 PSF WITH F.L.A. 84541.1 DESIGN CRITERIA FOR TRUSSED RAFTERS.

WOOD PLATES RECEIVING TRUSSED RAFTERS ON MASONRY WALLS TO BE BOLTED TO WALL WITH 1/2" Ø BOLTS 18" MINIMUM LENGTH 4'-0" O.C.

WOOD STUDS AND GRADE: 2x4-SP UNGRADED DRY OR SURFACED GREEN USED AT 16" MAX. O.C. OR BETTER WITH THE FOLLOWING DESIGN VALUES:

F _b = 1,150 PSI (SINGLE MEMBERS)
F _v = 75 PSI
E = 1,900,000 PSI
E = 1,400,000 PSI

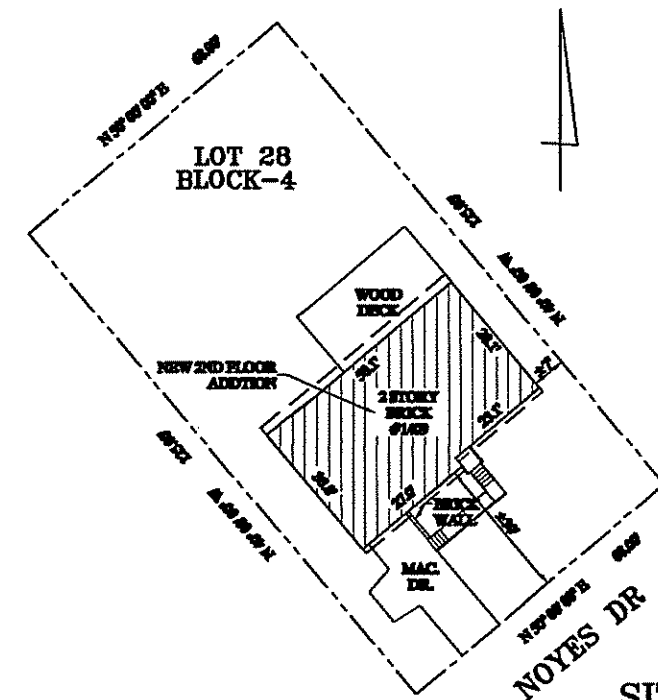
LAMINATED VENEER LUMBER: MICRO-LAM LUMBER OR BETTER WITH THE FOLLOWING DESIGN PROPERTIES:

F _b = 2,800 PSI
F _v = 280 PSI
E = 2,700,000 PSI
E = 2,000,000 PSI

VERTICAL LOAD TRANSFER: ALL STRUCTURAL POSTS MUST BE VERTICALLY ALIGNED AND BLOTTED TO PROVIDE CONTINUOUS BEARING TO FOUNDATION.

UNFINISHED INTERIOR BEARING WALLS: AT LEAST ONE SIDE OF THE ALL INTERIOR BEARING WALLS SUPPORTING MORE THAN ONE FLOOR MUST BE SHEATHED WITH A MINIMUM OF 1/2" OPTIMA BOARD FASTENED ACCORDING TO DETAIL MANUFACTURERS RECOMMENDATIONS.

SITE PLAN



SITE PLAN
1"=20'-0"

LINTEL SCHEDULE

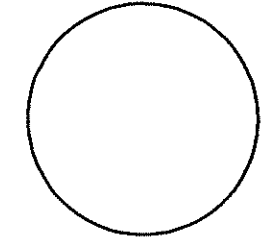
PROVIDE STEEL ANGLE LINTELS (2) FOR MASONRY OPENINGS (MIN) IN BRICK VENEER AS FOLLOWS:	MR. OPENING	BEARING BL.
1.5-12x12x1/4	UP TO 3'-0"	0"
1.5-12x12x1/4	3'-0" TO 6'-0"	0"
1.5-12x12x1/4	6'-0" TO 9'-0"	0"
1.5-12x12x1/4	9'-0" TO 12'-0"	0"
1.5-12x12x1/4	12'-0" TO 15'-0"	0"
1.5-12x12x1/4	15'-0" TO 18'-0"	0"
1.5-12x12x1/4	18'-0" TO 21'-0"	0"
1.5-12x12x1/4	21'-0" TO 24'-0"	0"
1.5-12x12x1/4	24'-0" TO 27'-0"	0"
1.5-12x12x1/4	27'-0" TO 30'-0"	0"

UNLESS OTHERWISE NOTED PROVIDE WOOD LINTELS OVER FRAME OPENINGS AS FOLLOWS: UP TO 12'

DOUBLE 2x4	0'-0" TO 4'-0"
DOUBLE 2x6	4'-0" TO 6'-0"
DOUBLE 2x8	6'-0" TO 8'-0"
DOUBLE 2x10	8'-0" TO 10'-0"
DOUBLE 2x12	10'-0" TO 12'-0"

LIST OF DRAWINGS

G-1 COVER SHEET / LEGENDS	A-1 THROUGH A-5	A-6 THROUGH A-7
A-1 BASEMENT / FOUNDATION	A-2 FIRST FLOOR PLAN	A-3 SECOND FLOOR PLAN
A-4 ELEVATIONS	A-5 ELEVATIONS	A-6 FRAMING PLANS
		A-7 SECTION & WALL SECTION



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Issue Date: April 28, 2004
Revisions

No.	Date	Description

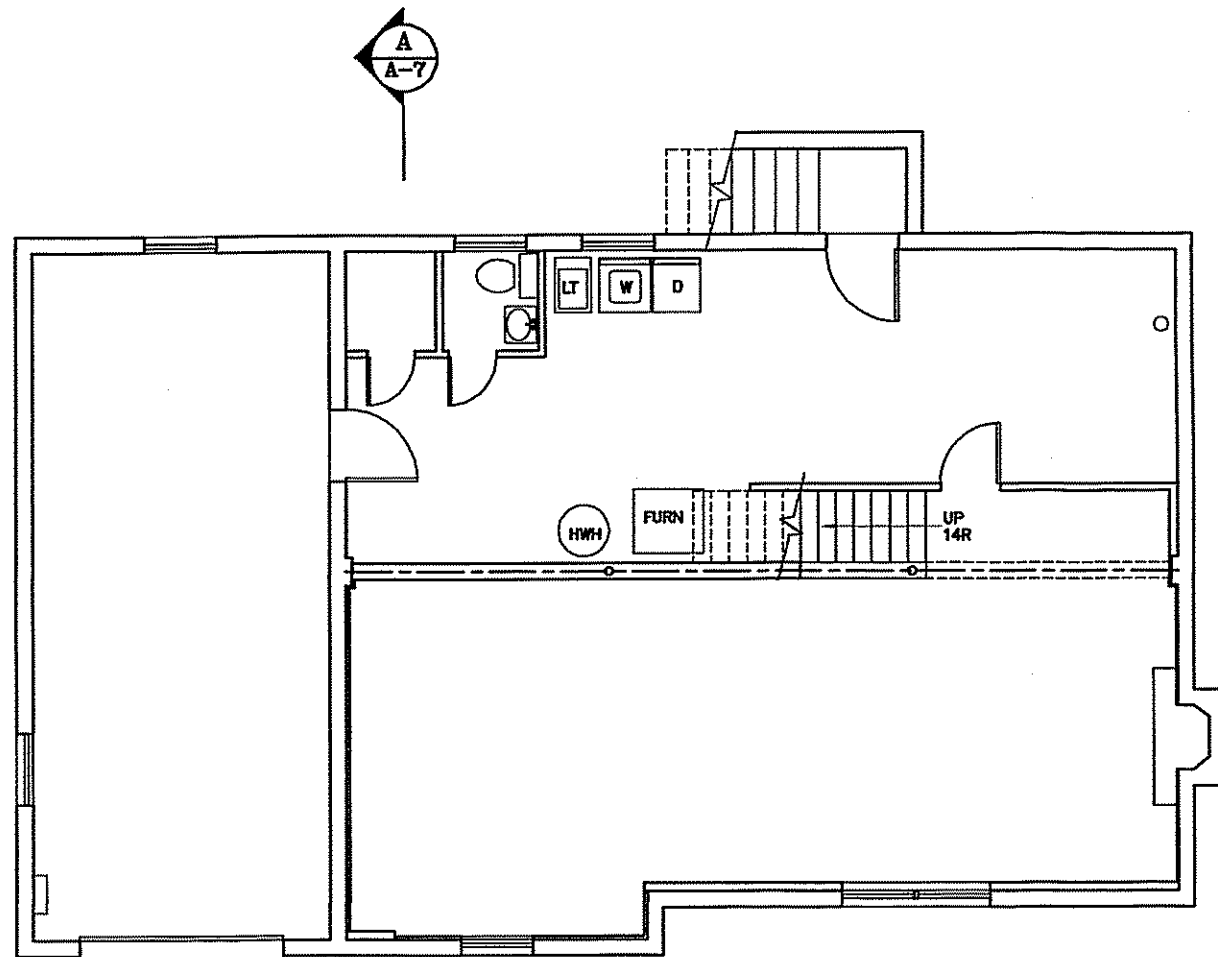
PERMIT SET
APR 28 2004

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project Number: 000-1004
Drawn By: [Signature]
Designed By: [Signature]
Checked By: [Signature]

Sheet Title:
COVER SHEET
LEGENDS / SITE PLAN

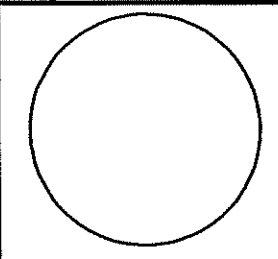
C-1



EXISTING & DEMOLITION BASEMENT/FOUNDATION PLAN
 1/8"=1'-0"

- DEMO. LEGEND**
- EXISTING TO REMAIN
 - EXIST. TO BE DEMOLISHED
- WALL LEGEND**
- EXIST. FOUND. WALL
 - NEW CMU FOUND. WALL
 - EXISTING CONSTRUCTION
 - NEW CONSTRUCTION
 - NEW BRICK VENEER

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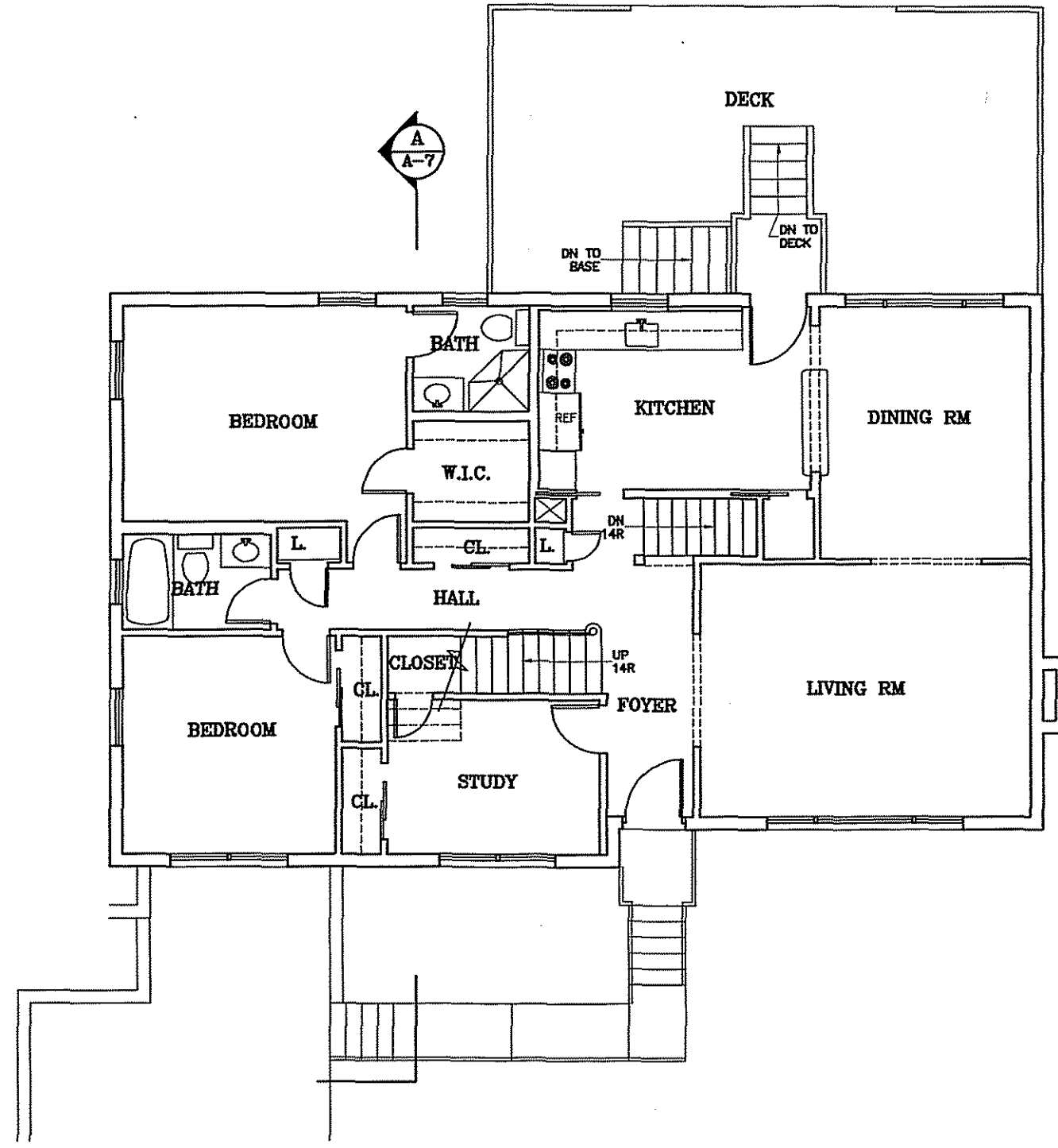
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 Issue Date: April 2004, 2004

No.	Date	Revisions

PERMIT SET

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project Number: 04-004
 Design By: _____
 Checked By: _____
 Sheet Title: **BASEMENT/FOUND. PL**
 Sheet Number: **A-1**



FIRST FLOOR PLAN
1/8"=1'-0"

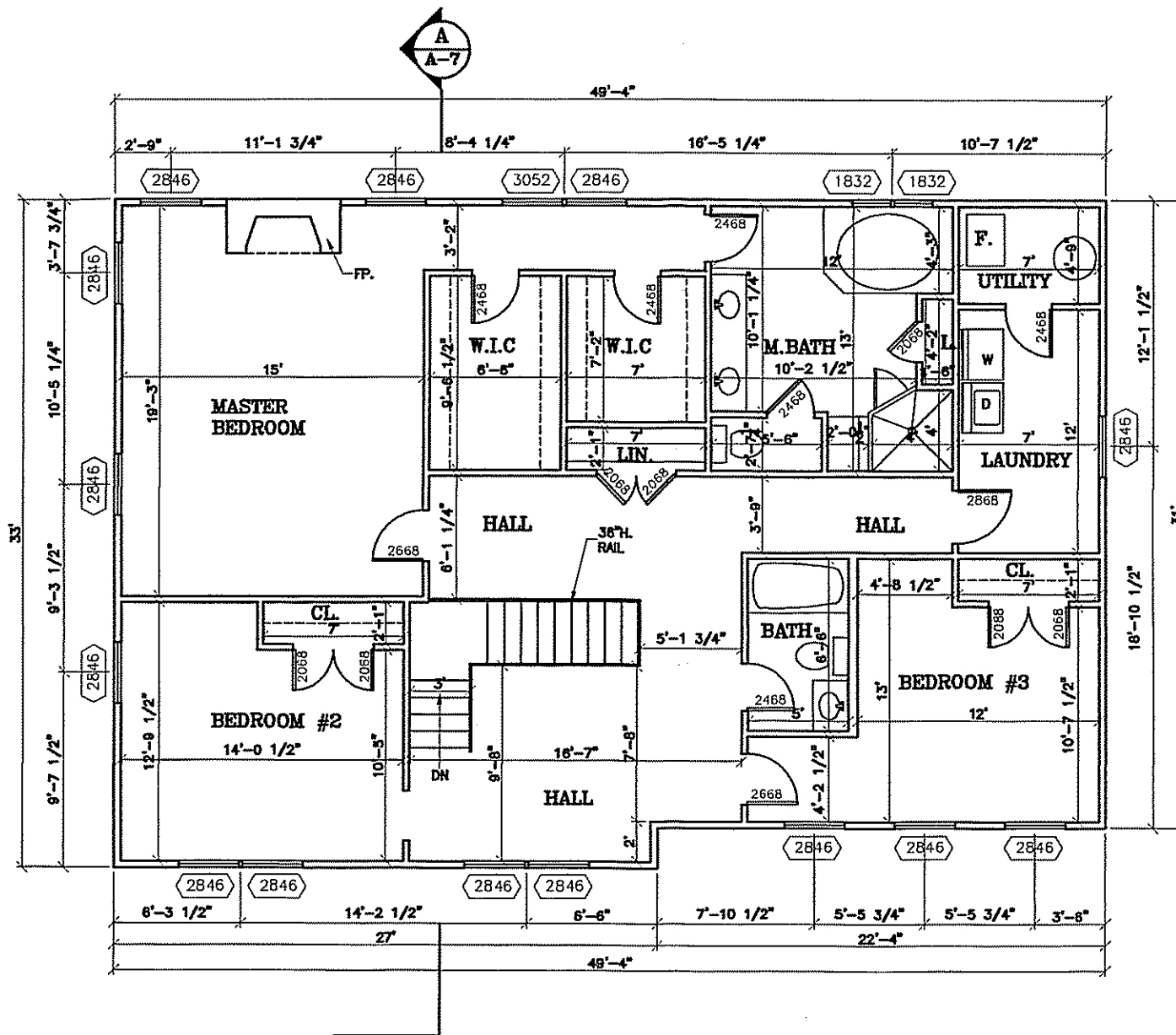
- DEMO. LEGEND**
- EXISTING TO REMAIN
 - EXIST. TO BE DEMOLISHED
- WALL LEGEND**
- EXIST. FOUND. WALL
 - NEW CMU FOUND. WALL
 - EXISTING CONSTRUCTION
 - NEW CONSTRUCTION
 - NEW BRICK VENEER

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PERMIT SET		
April 2004, 2004		


RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

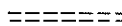
Project Number: 000-0000	Drawn By:
Designed By:	Checked By:
Sheet Title: FIRST FLOOR PLAN	
Sheet Number: A-2	




SECOND FLOOR PLAN
1/8"=1'-0"


DEMO. LEGEND

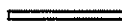
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EXIST. TO BE DEMOLISHED 


WALL LEGEND

EXIST. FOUND. WALL 

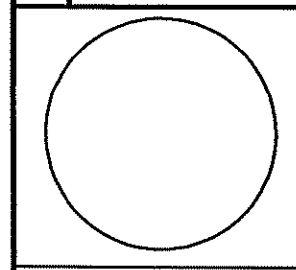
NEW CONC. FOUND. WALL 

EXISTING CONSTRUCTION 

NEW CONSTRUCTION 

NEW BRICK VENEER 

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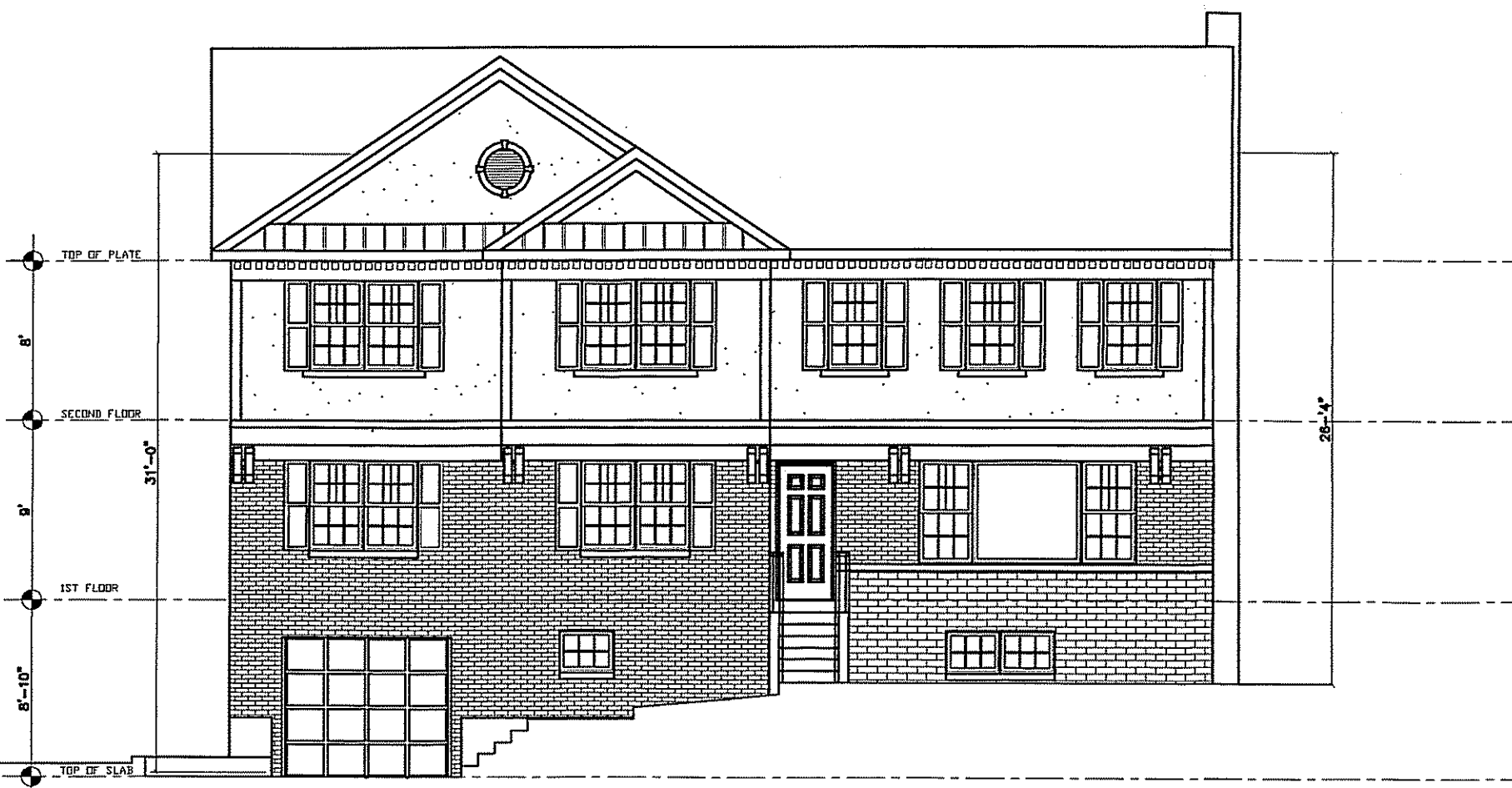
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 Revisions

No.	Date	Description

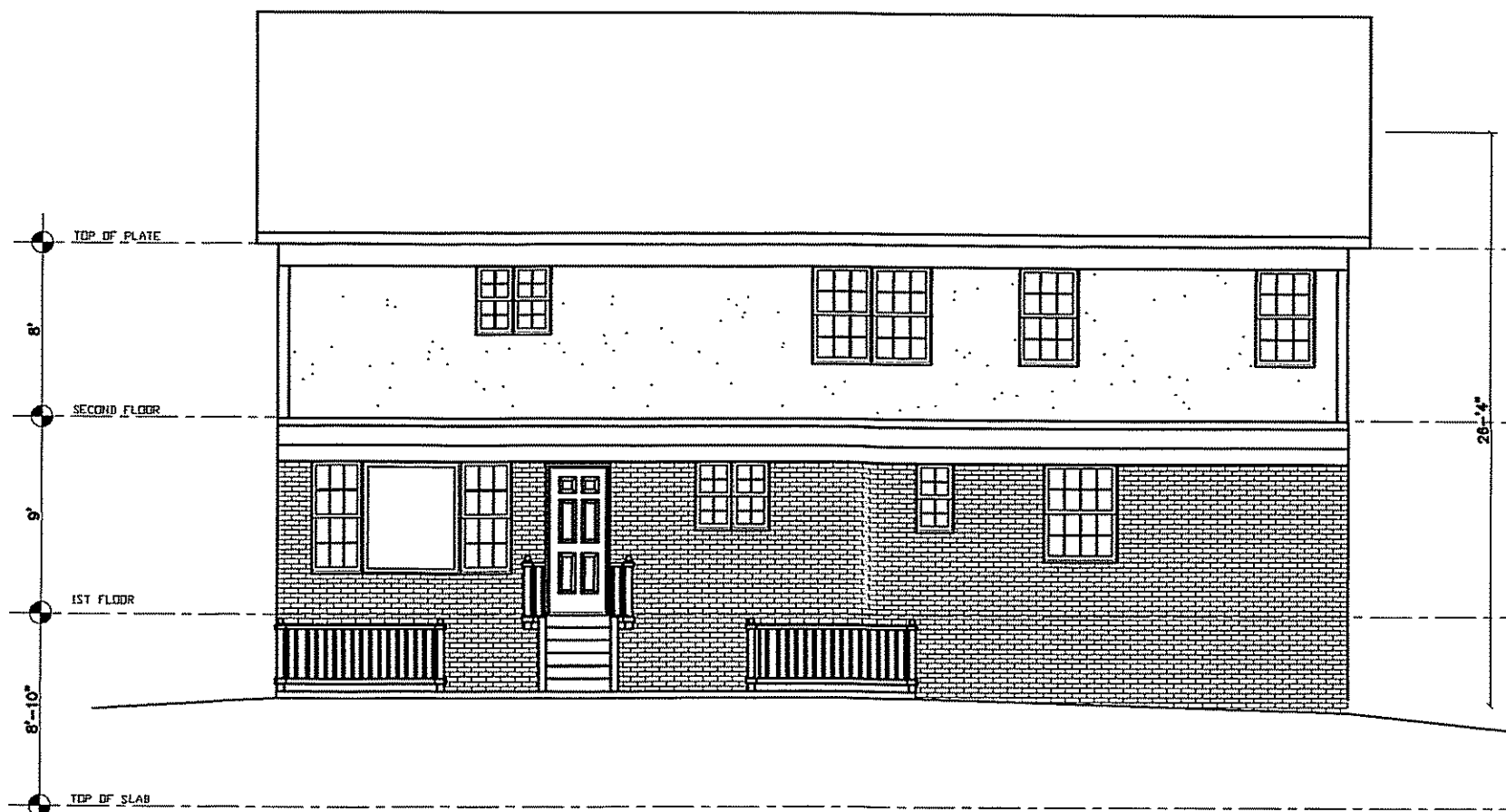
PERMIT SET
 April 2004

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project Number: 04-0004
 Designer: [Blank]
 Checked By: [Blank]
 Board Title:
SECOND FLOOR PLAN
 A-3

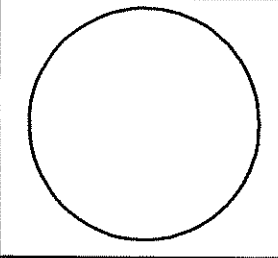


PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

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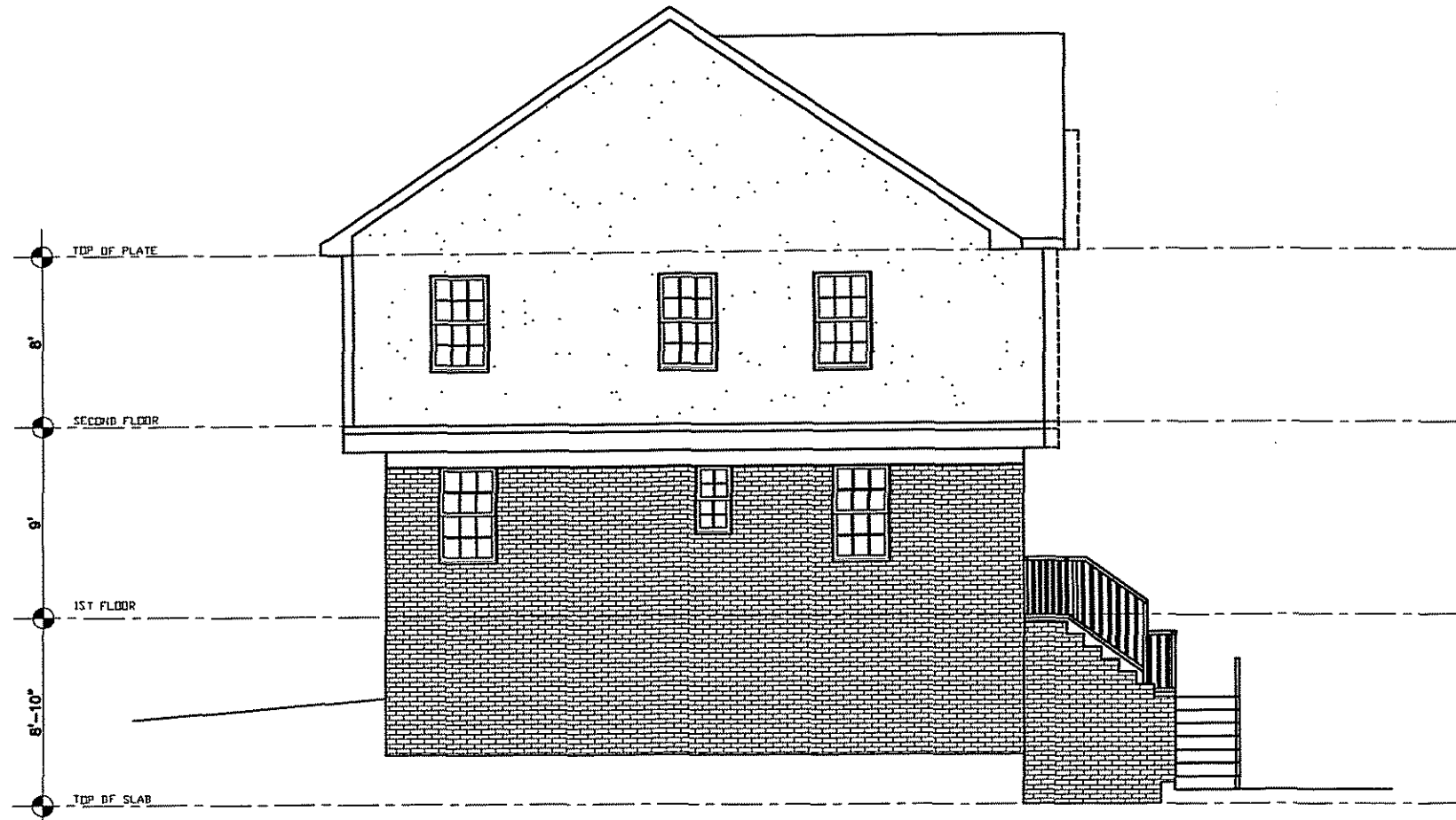
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 Issue Date: April 19th, 2004
 Revision

No.	Date	Description

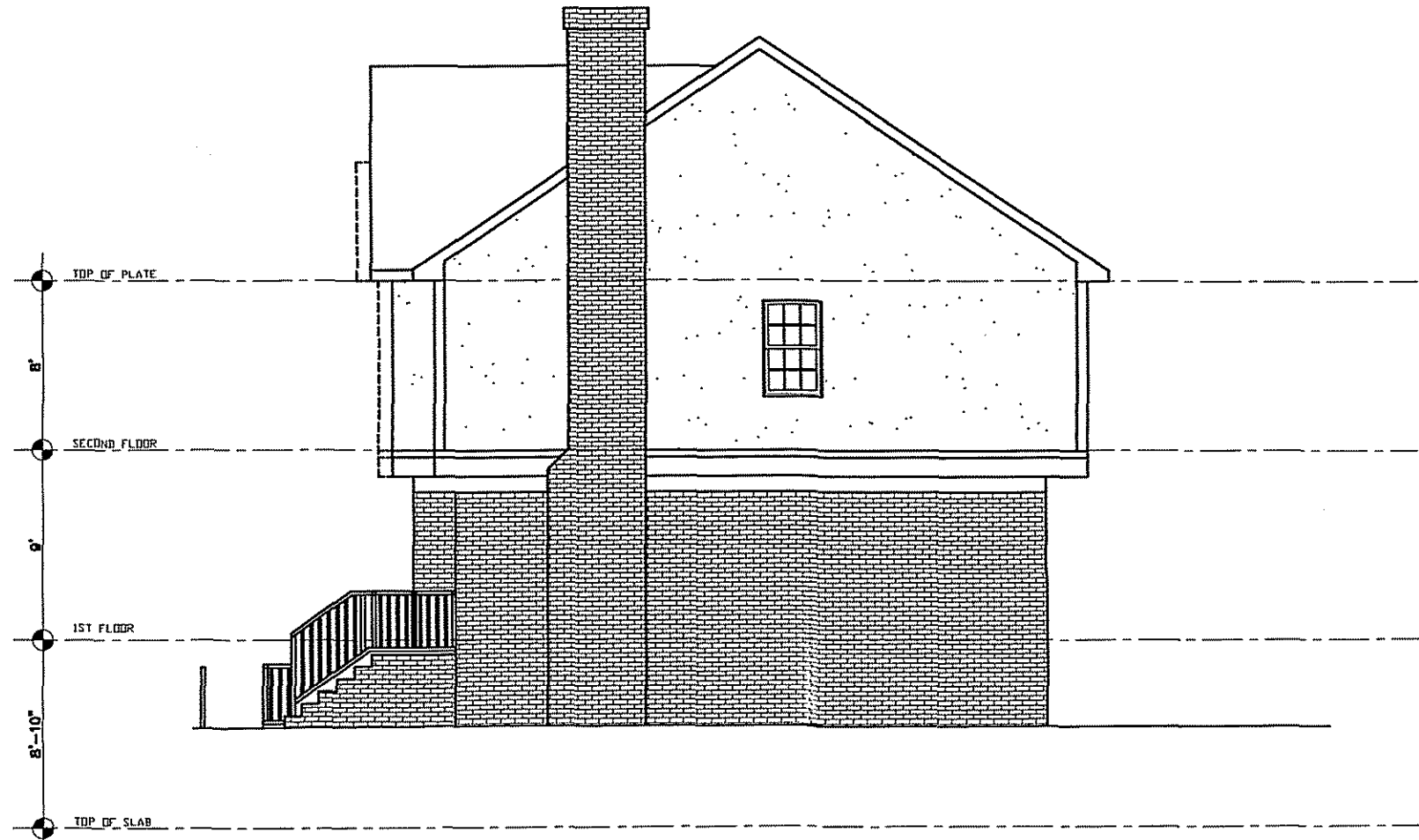
PERMIT SET
 April 19th, 2004

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project Manager: G.L. 0004	Drawn By:
Designed By:	Checked By:
Sheet Title: ELEVATIONS	
Sheet Number: A-4	



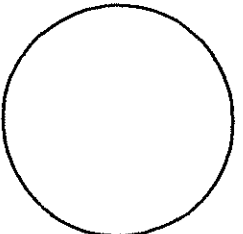
PROPOSED LEFT ELEVATION



PROPOSED RIGHT ELEVATION

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 April 19, 2004

RESIDENCE ADDITION

1409 NOYES DRIVE
 SILVER SPRING, MARYLAND

LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project Number: 000-0004
 Drawn By:
 Designed By: Checked By:
 Sheet Title:
ELEVATIONS
 Sheet Number:
A-5

RESIDENCE ADDITION

1409 NOYES DRIVE

SILVER SPRING, MARYLAND

LOT 28 - BLOCK 4.

MONTGOMERY COUNTY

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GENERAL NOTES

1. MAXIMUM SILL HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 44" IN CONFORMANCE WITH 2000 INTERNATIONAL RESIDENTIAL CODE (IRC)
2. MAXIMUM RISER HEIGHT SHALL BE 7 3/4" AND MAXTREAD 10" FOR ALL STAIRWAYS. HANDRAIL PROJECTION 3 1/2" MAXIMUM PER 2000 IRC
3. ROOF SHINGLES TO BE INSTALLED PER 2000 IRC
4. FIRESTOPPING SHALL BE PROVIDED PER 2000 IRC
5. ROOF VENTING SHALL BE INSTALLED PER 2000 IRC
6. GUARDRAIL HEIGHTS TO BE 36" MIN. ACCORDING WITH 2000 IRC
7. PROVIDE GALVANIZED WALL TIES IN ACCORDANCE WITH 2000 IRC
8. ALL GLAZED AREAS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY
9. ALL FIREPLACES TO BE U.L. RATED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND 2000 IRC
10. ALL FOOTINGS TO EXTENDED AT LEAST 24 INCHES BELOW FINISH GRADE PER 2000 IRC
11. ALL FRAME BEARING WALLS TO CONFORM WITH 2000 IRC
12. PROVIDE WALL BRACING IN ACCORDANCE WITH 2000 IRC USING EITHER CONTINUOUS DIAGONAL BRACING OR APPROVED 4x8" SHEATHING PANELS APPLIED VERTICALLY.
13. PROVIDE FOUNDATION ANCHORAGE IN ACCORDANCE WITH 2000 IRC
14. ALL TRUSSES, BRIDGING, AND MICRO-LAM BEAMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND 2000 IRC
15. PLYWOOD USED FOR FLOOR AND ROOF SHEATHING SHALL CONFORM TO 2000 IRC
16. PROVIDE FLASHING AS REQUIRED PER 2000 IRC
17. PROVIDE SMOKE DETECTORS ON EVERY STORY INCLUDING THE BASEMENT OF EACH DWELING UNIT. THE DETECTORS SHALL BE WIEDED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM UNIT WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. PER 2000 IRC
18. SKYLIGHTS: SKYLIGHTS MAY BE GLAZED WITH ANY OF THE FOLLOWING MATERIALS SUBJECT TO THE NOTED LIMITATIONS AS SPECIFIED IN 2000 IRC. LAMINATED GLASS W/HEAT TREATED GLASS, HEAT STRENGTHENED GLASS, TEMPERED GLASS, GLASS BLOCK AND LIGHT TRANSMITTING PLASTIC.

CODE ANALYSIS

CODE: 2000 INTERNATIONAL RESIDENTIAL CODE (IRC)

EXISTING BUILDING	EXISTING BUILDING	PROPOSED BUILDING
USE GROUP/MIXED USE	R3	R3
TYPE OF CONSTRUCTION	5B	5B
HEIGHT/No. OF STORIES	17.5' HIGH 1 STORY	29.5' HIGH 2 STORIES
HOUSE TYPE	1 LEVEL	2 LEVEL
COVERED MALL (Y/N)	NO	NO
FULLY SPRINKLERED (Y/N)	NO	NO
FLOOR AREA OF TENANT SPACE OR AREA OF RENOVATION		
LEVEL ONE	1,144 SQ.FT.	1,144 SQ.FT.
LEVEL TWO	0 SQ.FT.	1,158 SQ.FT.
LEVEL THREE (ATTIC)	0 SQ.FT.	603 SQ.FT.
LEVEL FOUR	0 SQ.FT.	0 SQ.FT.
LEVEL FIVE	0 SQ.FT.	0 SQ.FT.
TOTALS	1,144 SQ.FT.	2,905 SQ.FT.

STRUCTURAL NOTES

SOIL BEARING AND WATER CONDITIONS: ASSUMED SOIL BEARING CAPACITY OF 2000 PSF (MIN.) WITH NO WATER CONDITION ANTICIPATED.

LINE LOADS:

ROOF	30 PSF	15 PSF DEAD LOAD
FLOOR	40 PSF	15 PSF
CEILING	10 PSF	15 PSF
ENCLOSURE	20 PSF	15 PSF
FLOOR AT BEDROOM LVL	30 PSF	15 PSF
WIND LOAD	17 PSF	

BACKFILL: SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GROUND FRAMED FLOORS ARE IN PLACE AND REQUIRED INSPECTIONS ARE MADE. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF WALLS, BACKFILL BOTH SIDES SIMULTANEOUSLY WITH THE OTHER DIFFERED NOT TO EXCEED 2'-0" AT ANY TIME.

LATERAL LOADS ON FOUNDATION WALLS: WALLS BUILT TO BEAR OR SUPPORT THE LATERAL PRESSURE OF EARTH OR WATER OR OTHER SUPERIMPOSED LOADS HAVE BEEN DESIGNED ASSUMING PROPER EARTH EQUIVALENT TO THAT EXERTED BY FLUID WEIGHING 30 POUNDS PER CUBIC FOOT AND HAVING A DEPTH EQUAL TO THAT OF THE RETAINED EARTH.

FOUNDATIONS: BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 12" BELOW FINISH GRADE. ALL FOOTINGS SHALL BE AS SHOWN ON FOOTING PLANS AND PROJECT 12" INTO UNDISTURBED EXISTING GROUND HAVING ALLOWABLE BEARING CAPACITY AS PER SOIL CONSULTANTS RECOMMENDATIONS. DEPTHS AND SIZES OF ALL FOOTINGS SHALL BE VERIFIED IN THE FIELD. DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.

CONCRETE: ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.C.I. CODE 318. 28-DAY COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS:

F_c = 2,800 PSI FOR FOOTINGS, EXTERIOR SLABS ON GRADE AND FILL IN CONCRETE BLOCKS.
 F_c = 3,000 PSI FOR EXTERIOR SLABS ON GROUND.
 F_c = 4,000 PSI FOR PRECAST CONCRETE UNITS.

SLABS ON GROUND: EXCEPT WHERE OTHERWISE NOTED, SHALL BE 4" THICK REINFORCED WITH #4 @ 10/12" WELDED WIRE MESH, LAP MESH 6" IN EACH DIRECTION. SLABS SHALL BE Laid ON A LAYER OF 4 MIL POLYETHYLENE OVER A 1" LAYER OF UNWEDded GRNDEL. REFER TO DRAWINGS FOR LOCATION OF THERMAL INSULATION.

EXTERIOR SLABS ON GROUND: FOR ALL EXTERIOR SLABS ON GROUND, AIR-ENTRAINED CEMENT WITH EXPANDED AIR OF 4% OF EXISTENTIAL AIR-ENTRAINED AGENT SHALL BE USED. PROVIDE CONTROL JOINTS AT 10'-0" OR OTHER EACH WAY IN ALL EXTERIOR SLABS ON GROUND (EXCEPT WITHIN TERRACE SLAB).

REINFORCING STEEL: REINFORCING STEEL, ON THIS UNLESS OTHERWISE NOTED, SHALL BE INTERMEDIATE GRADE DEFORMED BILLET STEEL CONFORMING TO ASTM SPECIFICATIONS A615-60. ALL OTHER REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A615-60. WELDED WIRE MESH TO CONFORM TO ASTM A-185. ALL REINFORCING SHALL BE EXCELLED, FURNISHED & INSULATED ACCORDING WITH THE LATEST DESIGNING MANUAL, A.C.I. 318.

STRUCTURAL STEEL: SHALL BE IN CONCORDANCE WITH THE LATEST AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. SHOP AND FIELD CONNECTIONS SHALL BE WELDED OR MADE WITH 3/4" HIGH STRENGTH BOLTS. SEE DETAILS ON DRAWINGS FOR STEEL BEAMS BEARING ON MASONRY OR CONCRETE. ALL WELDING TO CONFORM TO AISC SPECIFICATIONS A-3. NO HOLES ARE PERMITTED IN STEEL BEAMS OTHER THAN SHOWN ON THE DRAWINGS, UNLESS APPROVED BY THE STRUCTURAL CONSULTANT.

TRUSSED RAFTERS: WOOD TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER. COMPLETE SHOP DETAILS AND STRESS DIAGRAMS, INCLUDING BEARING DETAILS, SHALL BE SUBMITTED FOR APPROVAL. WOOD TRUSSED RAFTERS SHALL BE PROVIDED WITH HYDRAULICALLY PRESSED 18 OR TIGHTER MESH, FLAT OR 20 GA. WELDED STEEL GUSSET PLATES. CONNECTIONS SHALL BE CAPABLE OF TRANSMITTING THE STRESSES PLUS ALL UNBALANCED SHOP DETAILS SHALL BE SUBMITTED FOR APPROVAL, SHOWING THE DESIGN OF THE TRUSSED RAFTERS CAPABLE OF SUSTAINING TOTAL SUPERIMPOSED LOAD OF 80 PSF WITH F.V.A. 94841.1 DESIGN CRITERIA FOR TRUSSED RAFTERS.

WOOD PLATES REINFORCING TRUSSED RAFTERS ON MASONRY WALLS TO BE BOLTED TO WALL WITH 3/8" Ø BOLTS 18" MINIMUM LENGTH 4'-0" o.c.

WOOD SPECIES AND GRADES: MEM-FR (DRESSED DRY OR SURFACED GREEN USED AT 10% MAX. MO. 2 OR BETTER WITH THE FOLLOWING DESIGN VALUES:

F _b	1,120 PSI (SINGLE MEMBER)
F _v	75 PSI
F _c	820 PSI
E	1,400,000 PSI

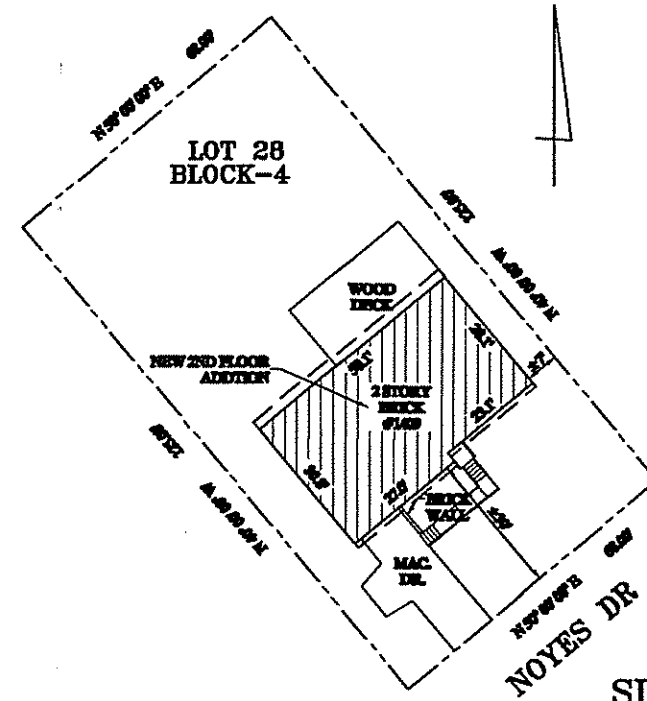
LAMINATED VENEER LUMBER: MICRO-LAM LUMBER OR BETTER WITH THE FOLLOWING DESIGN PROPERTIES:

F _b	2,800 PSI
F _v	200 PSI
F _c	2,700 PSI
E	2,000,000 PSI

VERTICAL LOAD TRANSFER: ALL STRUCTURAL PORTS MUST BE VERTICALLY ALIGNED AND BLOCKED TO PREVENT CONSIDERABLE BOWING TO FOUNDATION.

IF A DOUBLE TOP PLATE OF LESS THAN 2x6" OR 2x4" IS USED, FLOOR JOISTS (AND TRUSSES) MUST BE CENTERED DIRECTLY OVER AND BELOW BEARING STUDS UNLESS OTHERWISE IDENTIFIED BY STRUCTURAL ENGINEER.

SITE PLAN



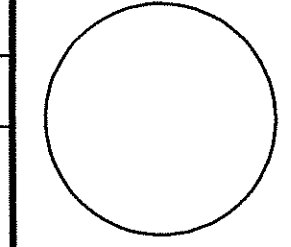
SITE PLAN
1"=20'-0"

LINTEL SCHEDULE

PROVIDE STEEL ANGLE LINTELS (L) FOR MASONRY OPENINGS (M&O) IN BRICK VENEER AS FOLLOWS:	MS. OPENING	BEARING L.E.
L-3x3-1/2x1/4	10" TO 5'4"	4"
L-3x3-1/2x1/4	5'4" TO 6'4"	6"
L-4x4-1/2x1/4	6'4" TO 7'4"	6"
L-4x4-1/2x1/4	7'4" TO 8'4"	6"
L-5x5-1/2x1/4	8'4" TO 9'4"	6"
L-6x6-1/2x1/4	9'4" TO 10'4"	6"
L-6x6-1/2x1/4	10'4" TO 11'4"	6"
L-6x6-1/2x1/4	11'4" TO 12'4"	6"
L-6x6-1/2x1/4	12'4" TO 13'4"	6"
L-6x6-1/2x1/4	13'4" TO 14'4"	6"
L-6x6-1/2x1/4	14'4" TO 15'4"	6"
L-6x6-1/2x1/4	15'4" TO 16'4"	6"
L-6x6-1/2x1/4	16'4" TO 17'4"	6"
L-6x6-1/2x1/4	17'4" TO 18'4"	6"
L-6x6-1/2x1/4	18'4" TO 19'4"	6"
L-6x6-1/2x1/4	19'4" TO 20'4"	6"
L-6x6-1/2x1/4	20'4" TO 21'4"	6"
L-6x6-1/2x1/4	21'4" TO 22'4"	6"
L-6x6-1/2x1/4	22'4" TO 23'4"	6"
L-6x6-1/2x1/4	23'4" TO 24'4"	6"
L-6x6-1/2x1/4	24'4" TO 25'4"	6"
L-6x6-1/2x1/4	25'4" TO 26'4"	6"
L-6x6-1/2x1/4	26'4" TO 27'4"	6"
L-6x6-1/2x1/4	27'4" TO 28'4"	6"
L-6x6-1/2x1/4	28'4" TO 29'4"	6"
L-6x6-1/2x1/4	29'4" TO 30'4"	6"
L-6x6-1/2x1/4	30'4" TO 31'4"	6"
L-6x6-1/2x1/4	31'4" TO 32'4"	6"
L-6x6-1/2x1/4	32'4" TO 33'4"	6"
L-6x6-1/2x1/4	33'4" TO 34'4"	6"
L-6x6-1/2x1/4	34'4" TO 35'4"	6"
L-6x6-1/2x1/4	35'4" TO 36'4"	6"
L-6x6-1/2x1/4	36'4" TO 37'4"	6"
L-6x6-1/2x1/4	37'4" TO 38'4"	6"
L-6x6-1/2x1/4	38'4" TO 39'4"	6"
L-6x6-1/2x1/4	39'4" TO 40'4"	6"
L-6x6-1/2x1/4	40'4" TO 41'4"	6"
L-6x6-1/2x1/4	41'4" TO 42'4"	6"
L-6x6-1/2x1/4	42'4" TO 43'4"	6"
L-6x6-1/2x1/4	43'4" TO 44'4"	6"
L-6x6-1/2x1/4	44'4" TO 45'4"	6"
L-6x6-1/2x1/4	45'4" TO 46'4"	6"
L-6x6-1/2x1/4	46'4" TO 47'4"	6"
L-6x6-1/2x1/4	47'4" TO 48'4"	6"
L-6x6-1/2x1/4	48'4" TO 49'4"	6"
L-6x6-1/2x1/4	49'4" TO 50'4"	6"
L-6x6-1/2x1/4	50'4" TO 51'4"	6"
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L-6x6-1/2x1/4	55'4" TO 56'4"	6"
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L-6x6-1/2x1/4	57'4" TO 58'4"	6"
L-6x6-1/2x1/4	58'4" TO 59'4"	6"
L-6x6-1/2x1/4	59'4" TO 60'4"	6"
L-6x6-1/2x1/4	60'4" TO 61'4"	6"
L-6x6-1/2x1/4	61'4" TO 62'4"	6"
L-6x6-1/2x1/4	62'4" TO 63'4"	6"
L-6x6-1/2x1/4	63'4" TO 64'4"	6"
L-6x6-1/2x1/4	64'4" TO 65'4"	6"
L-6x6-1/2x1/4	65'4" TO 66'4"	6"
L-6x6-1/2x1/4	66'4" TO 67'4"	6"
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L-6x6-1/2x1/4	68'4" TO 69'4"	6"
L-6x6-1/2x1/4	69'4" TO 70'4"	6"
L-6x6-1/2x1/4	70'4" TO 71'4"	6"
L-6x6-1/2x1/4	71'4" TO 72'4"	6"
L-6x6-1/2x1/4	72'4" TO 73'4"	6"
L-6x6-1/2x1/4	73'4" TO 74'4"	6"
L-6x6-1/2x1/4	74'4" TO 75'4"	6"
L-6x6-1/2x1/4	75'4" TO 76'4"	6"
L-6x6-1/2x1/4	76'4" TO 77'4"	6"
L-6x6-1/2x1/4	77'4" TO 78'4"	6"
L-6x6-1/2x1/4	78'4" TO 79'4"	6"
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L-6x6-1/2x1/4	85'4" TO 86'4"	6"
L-6x6-1/2x1/4	86'4" TO 87'4"	6"
L-6x6-1/2x1/4	87'4" TO 88'4"	6"
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L-6x6-1/2x1/4	90'4" TO 91'4"	6"
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L-6x6-1/2x1/4	96'4" TO 97'4"	6"
L-6x6-1/2x1/4	97'4" TO 98'4"	6"
L-6x6-1/2x1/4	98'4" TO 99'4"	6"
L-6x6-1/2x1/4	99'4" TO 100'4"	6"

LIST OF DRAWINGS

NO.	DESCRIPTION	DATE
C1	COVER SHEET / LEGENDS	
A-1	FOUNDATION	
A-2	FIRST FLOOR PLAN	
A-3	SECOND FLOOR PLAN	
A-4	ELEVATIONS	
A-5	ELEVATIONS	
A-6	FRAMING PLAN	
A-7	SECTION & WALL SECTION	

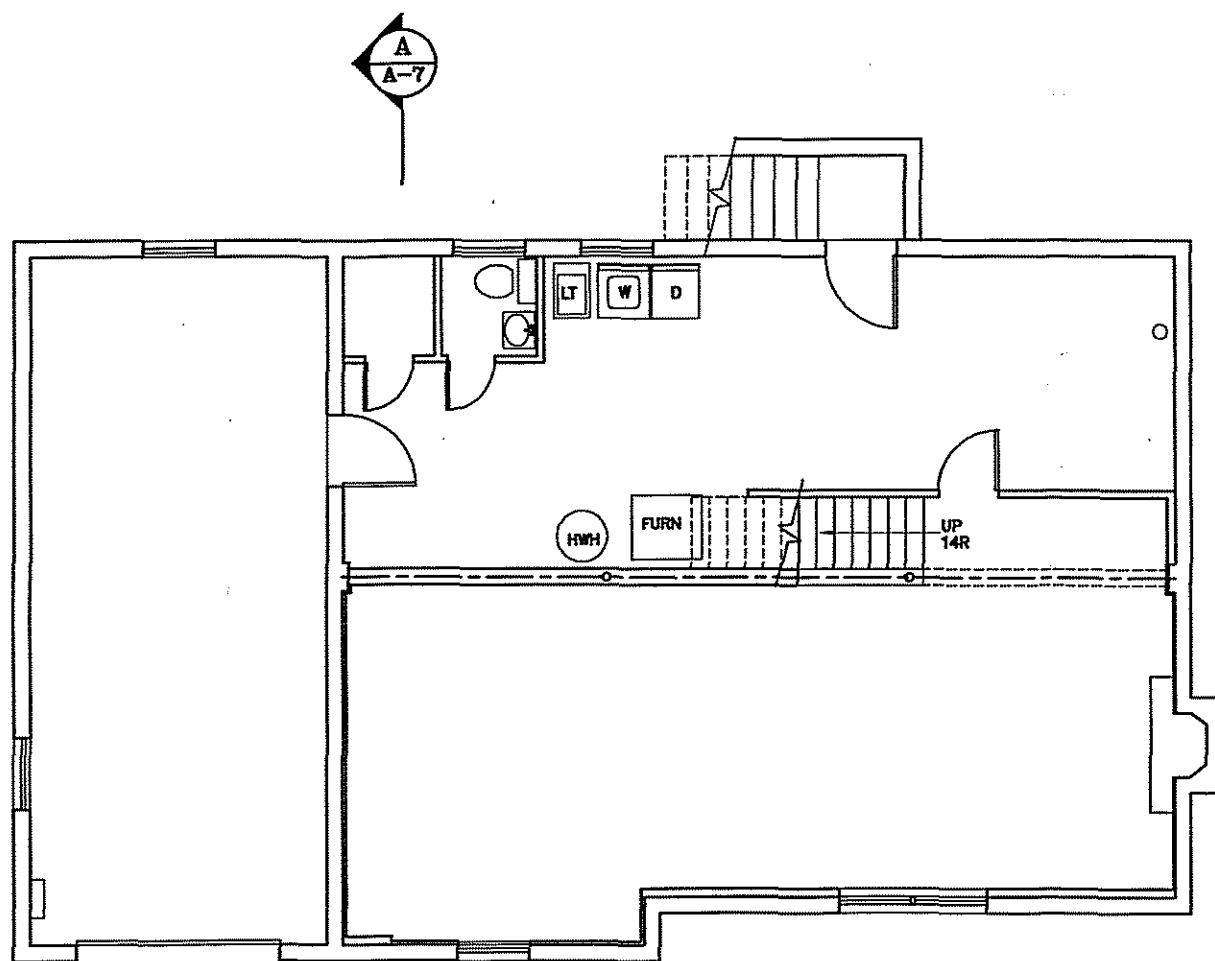


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 Issue Date: April 2004
 No. Date Description

PERMIT SET
 4-2004

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Product Number: 000-0004
 Design By: [Signature]
 Checked By: [Signature]
 Sheet Title: **COVER SHEET LEGENDS / SITE PLAN**
 Scale: [Blank]
C-1



EXISTING & DEMOLITION BASEMENT/FOUNDATION PLAN
 1/8"=1'-0"

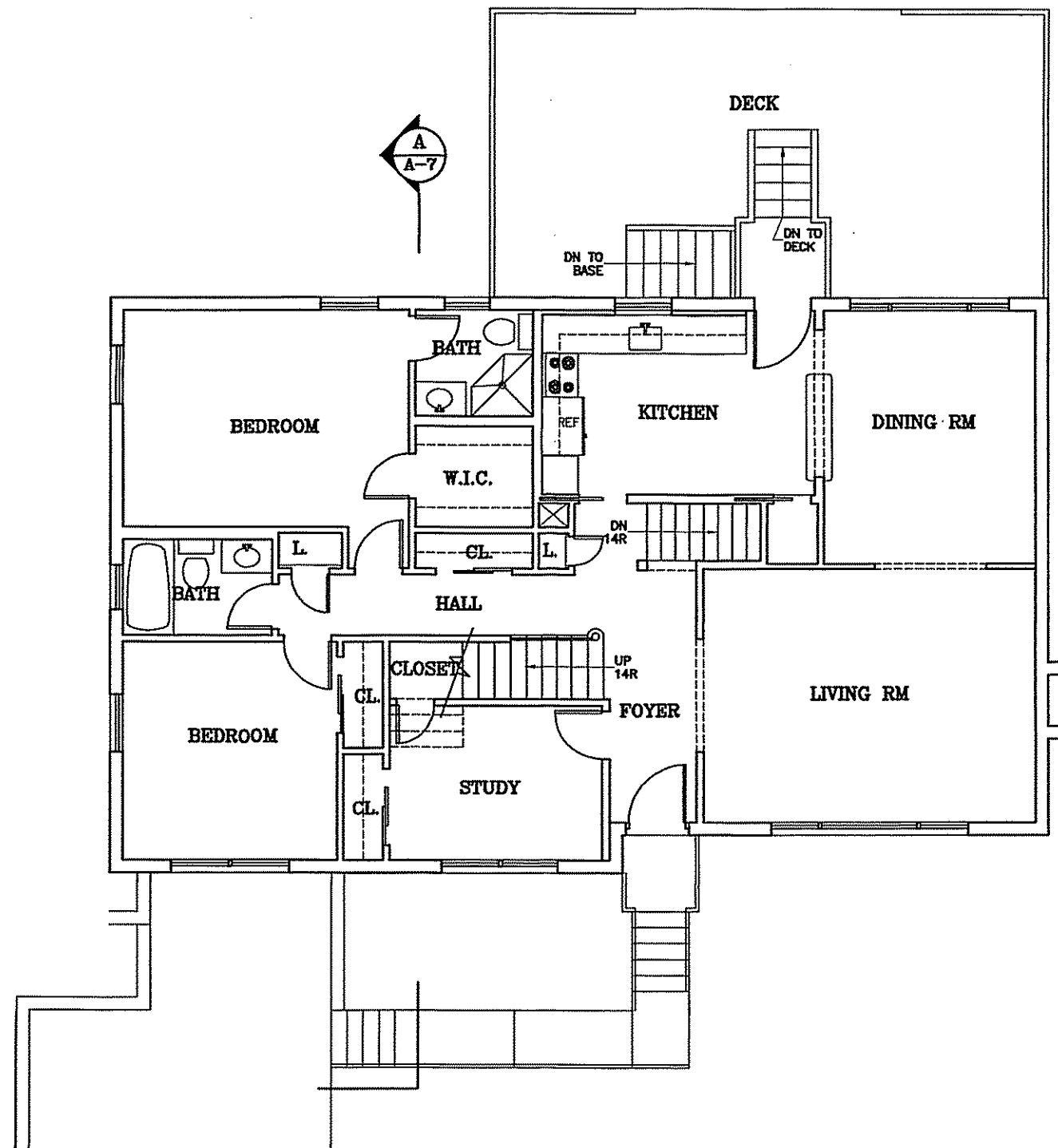
DEMO. LEGEND	
EXISTING TO REMAIN	=====
EXIST. TO BE DEMOLISHED	-----
WALL LEGEND	
EXIST. FOUND. WALL	=====
NEW CMU FOUND. WALL	=====
EXISTING CONSTRUCTION	=====
NEW CONSTRUCTION	=====
NEW BRICK VENEER	=====

ARCHITECTS
RAOUL LISSABET, A.I.A.
ARCHITECTS, LLC
 10021 SEDLEY TERRACE
 GAITHERSBURG, MARYLAND 20878
 Tel: (301) 949-3197 / Fax: (301) 990-4169


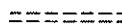
Copyright RAOUL LISSABET A.I.A., 2004	
Issue Date: April 08th, 2004	
No.	Date
	Description
PERMIT SET	






RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project Number: 004-0004	Drawn By:
Designed By:	Checked By:
Sheet Title: BASEMENT/FOUND. PL	
Sheet Number: A-1	



FIRST FLOOR PLAN
1/8"=1'-0"

DEMO. LEGEND
 EXISTING TO REMAIN 
 EXIST. TO BE DEMOLISHED 

WALL LEGEND
 EXIST. FOUND. WALL 
 NEW CMU FOUND. WALL 
 EXISTING CONSTRUCTION 
 NEW CONSTRUCTION 
 NEW BRICK VENEER 

ARCHITECTS
RAOUL LISSABET, A.I.A.
ARCHITECTS, LLC
 19021 SEDLEY TERRACE
 GAITHERSBURG, MARYLAND 20878
 Tel: (301) 948-3197 / Fax: (301) 990-4169

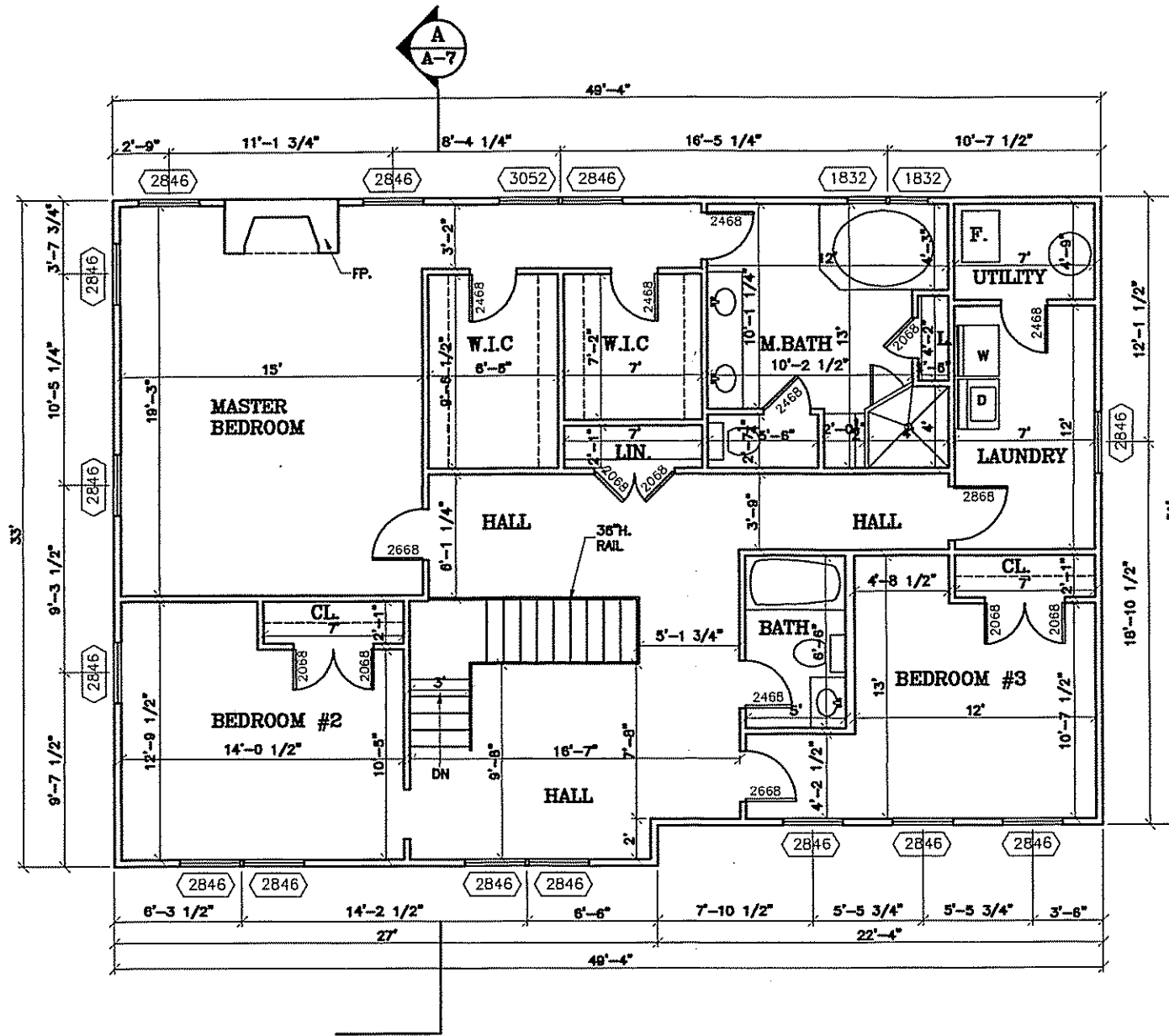
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 Issue Date: April 19th, 2004

No.	Date	Description

PERMIT SET

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project No. by: _____
 Date: _____
 Checked by: _____
 Street Title:
FIRST FLOOR PLAN
 Sheet Number:
A-2

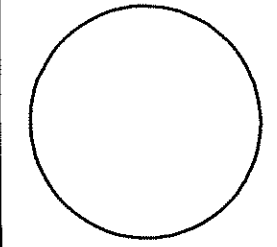


SECOND FLOOR PLAN
1/8"=1'-0"

DEMO. LEGEND
 EXISTING TO REMAIN
 EXIST. TO BE DEMOLISHED

WALL LEGEND
 EXIST. FOUND. WALL
 NEW CONC. FOUND. WALL
 EXISTING CONSTRUCTION
 NEW CONSTRUCTION
 NEW BRICK VENEER

ARCHITECTS
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ARCHITECTS, LLC
 19021 SEDLEY TERRACE
 GAITHERSBURG, MARYLAND 20878
 Tel: (301) 948-3197 / Fax: (301) 990-4169



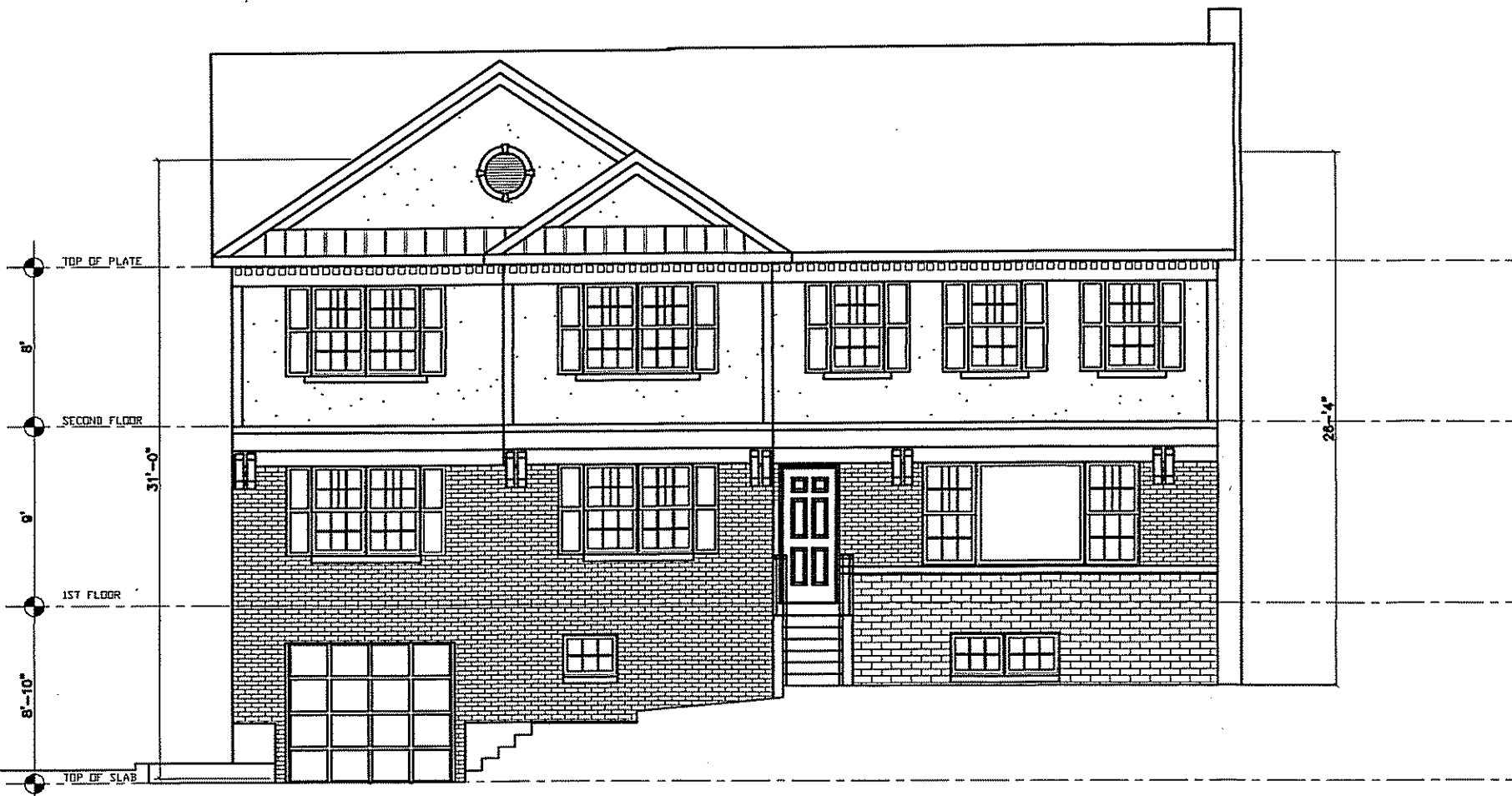
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No.	Date	Description

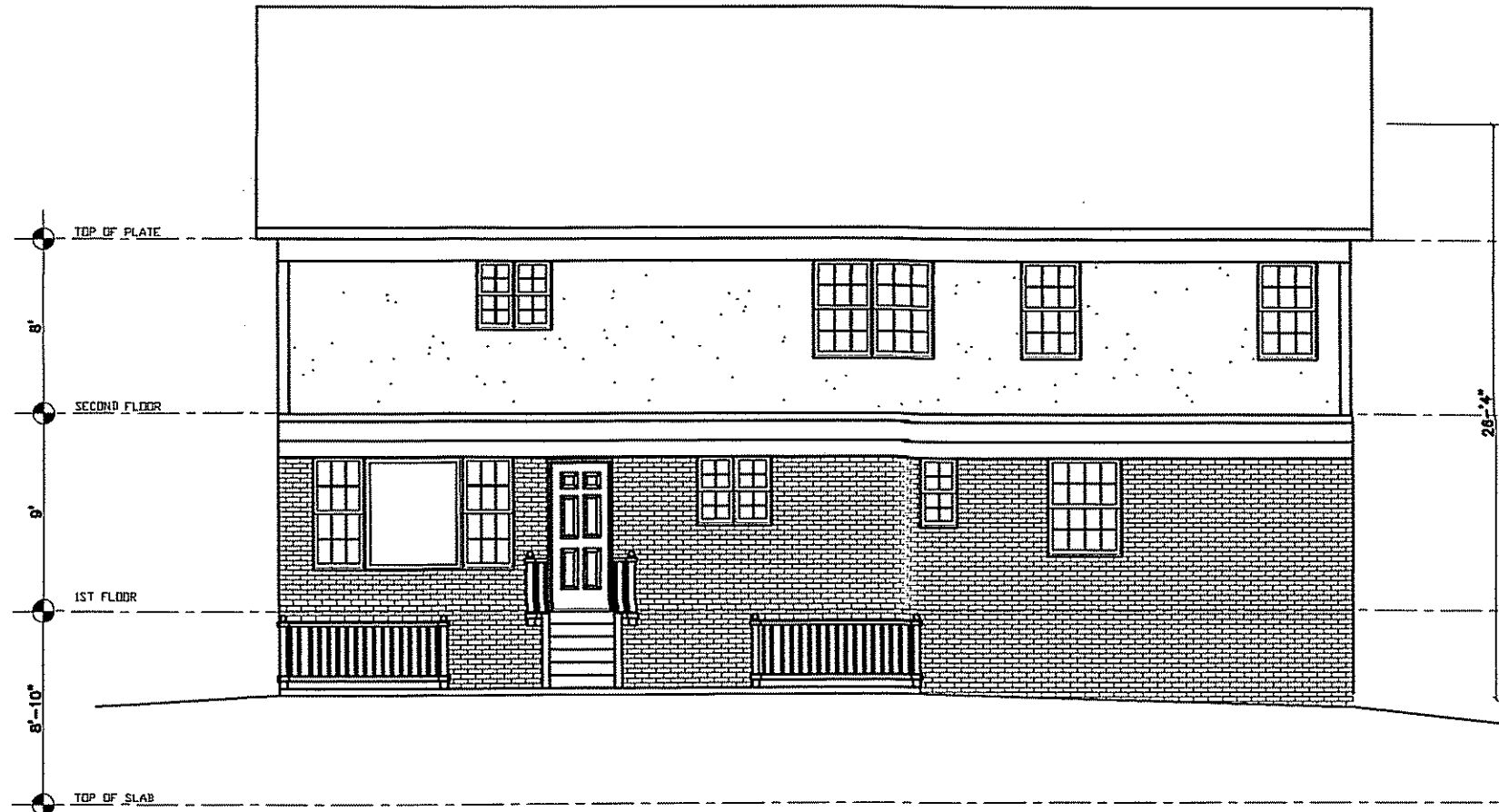
PERMIT SET

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Project Number: 28-2004	Drawn By:
Designed By:	Checked By:
Sheet Title: SECOND FLOOR PLAN	
Sheet Number: A-3	



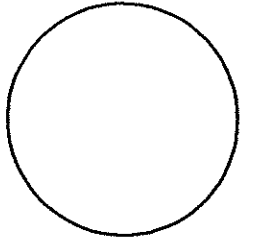
PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

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ARCHITECTS, LLC

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Issue Date:	April 18th, 2004	
No.	Date	Description

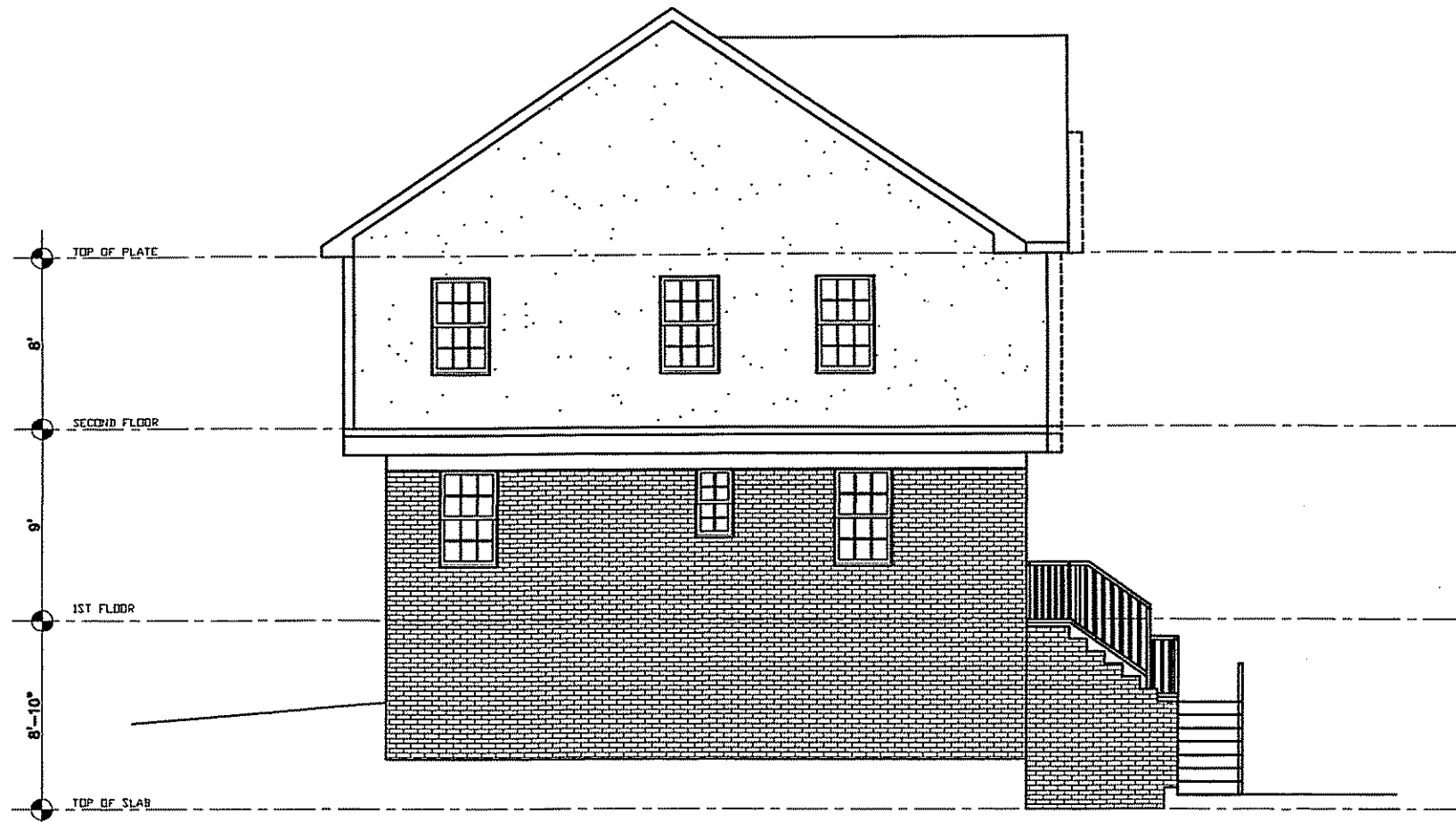
PERMIT SET
 April 18th, 2004

RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

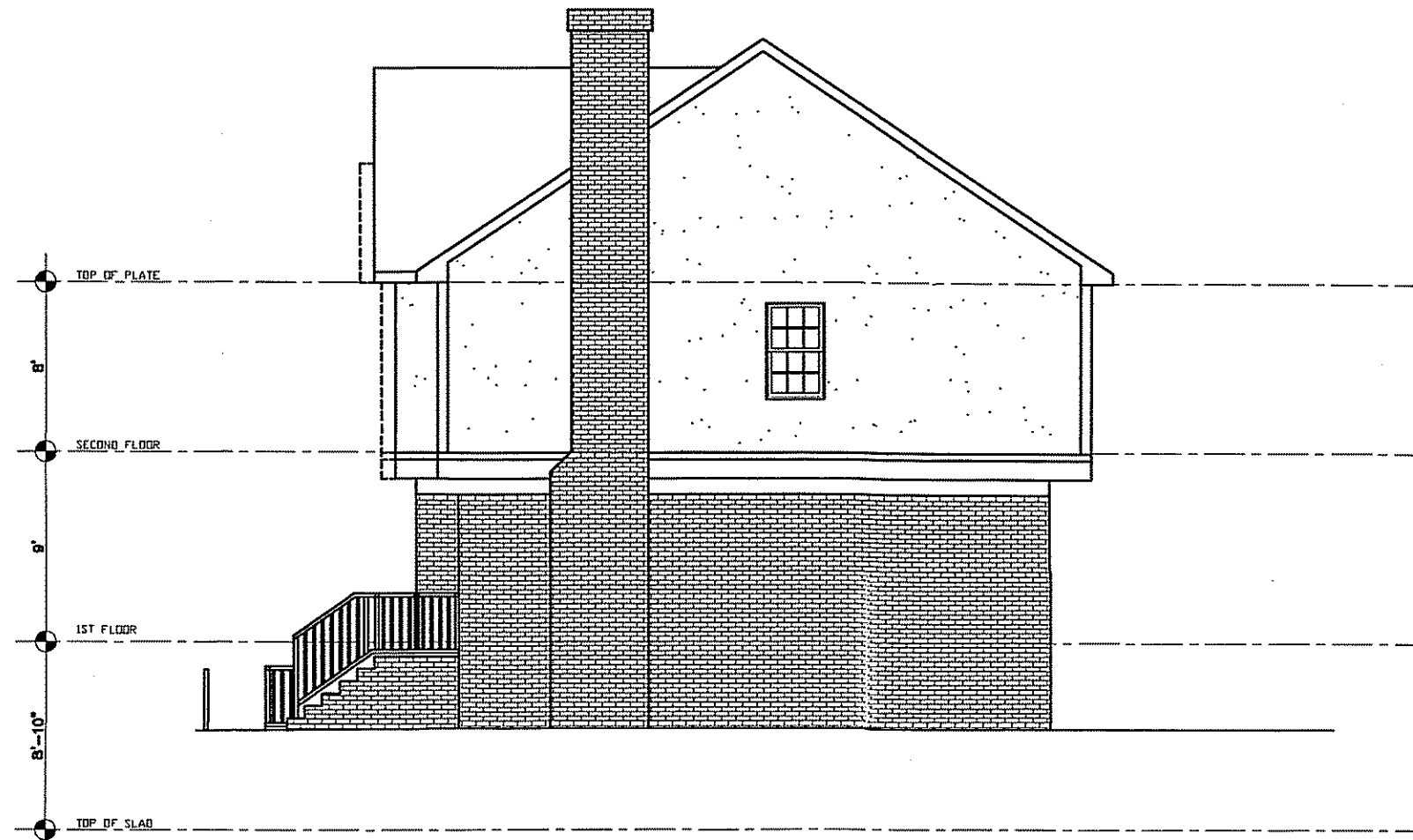
Project Number: 030-0004
 Drawn By:
 Designed By: Checked By:

Sheet Title:
ELEVATIONS

Sheet Number:
A-4



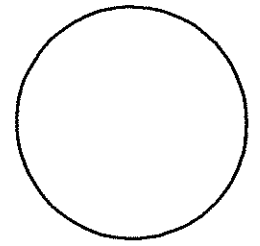
PROPOSED LEFT ELEVATION



PROPOSED RIGHT ELEVATION

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Name Date: April 18th, 2004

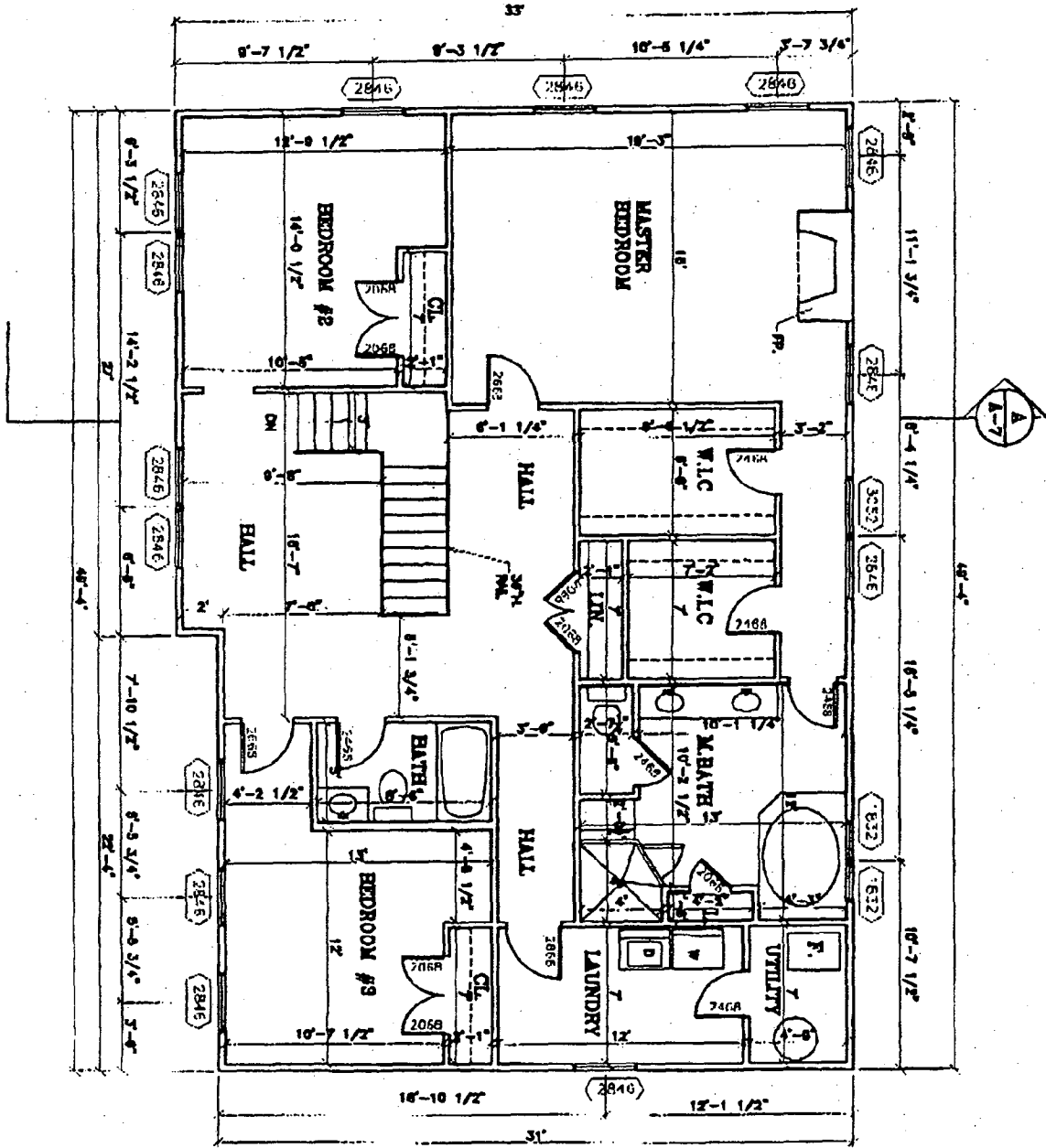
No.	Date	Description

PERMIT SET
 April 18, 2004

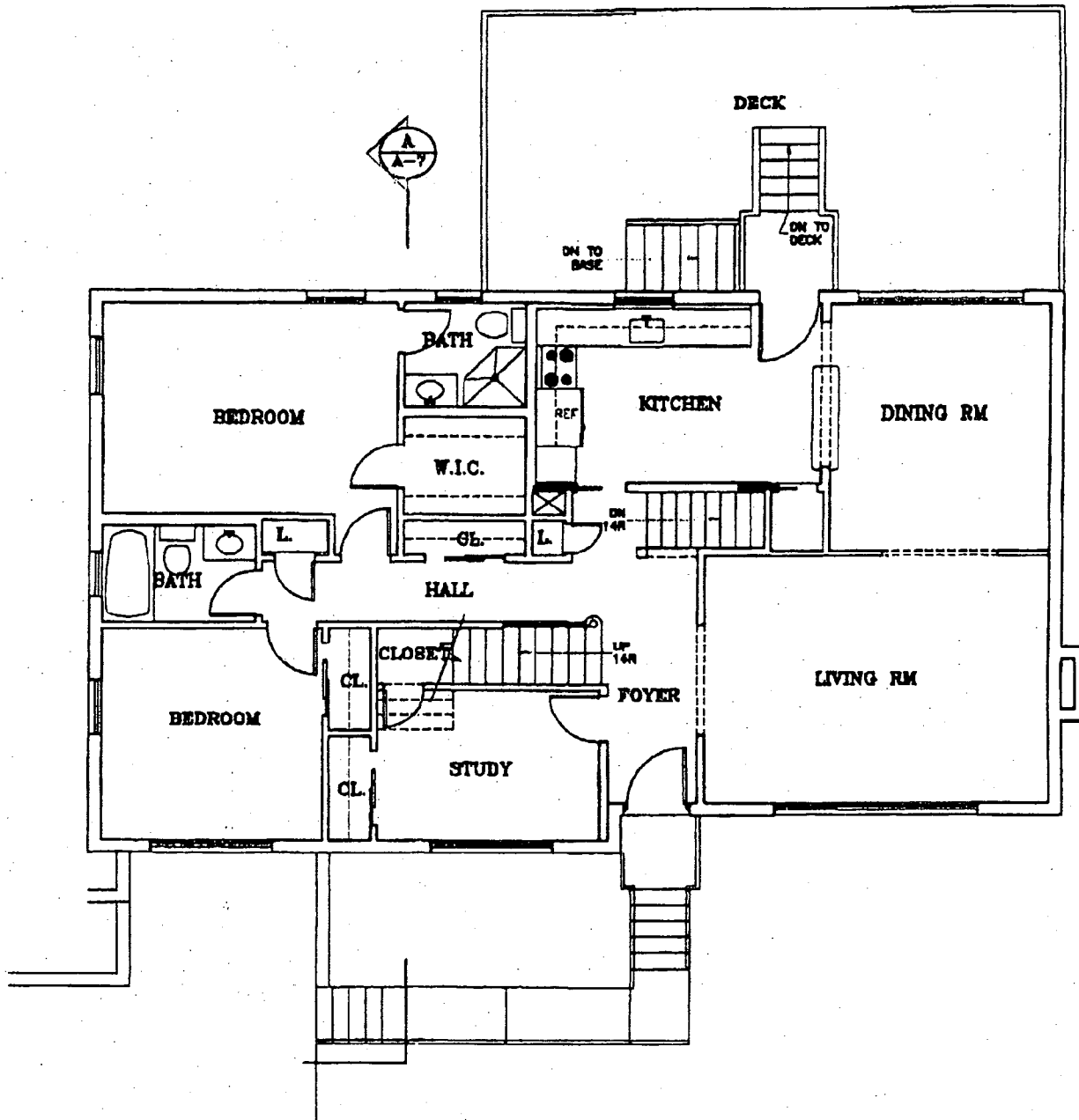
RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4.
 MONTGOMERY COUNTY

Prepared By:	Drawn By:
Designed By:	Checked By:
Sheet Title: ELEVATIONS	
Sheet Number: A-5	

SECOND FLOOR PLAN



RAOUL LISSABET A.I.A.
 ARCHITECTS
 19021 SEDLEY TERRACE



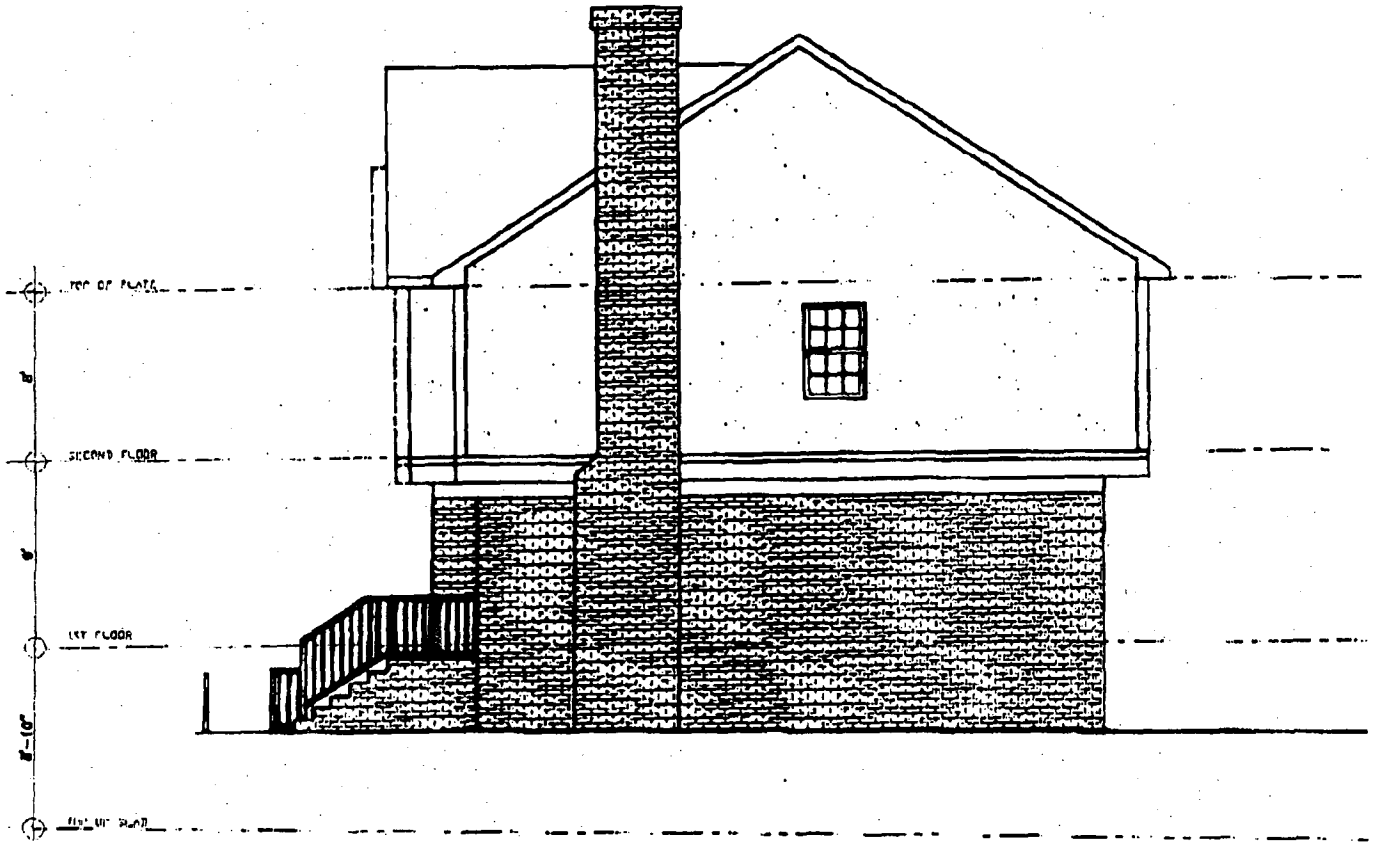
FIRST FLOOR PLAN

RAOUL LISSABET A.I.A.
ARCHITECTS
19021 SEDLEY TERRACE
GAITHERSBURG, MD 20879

FR.M :

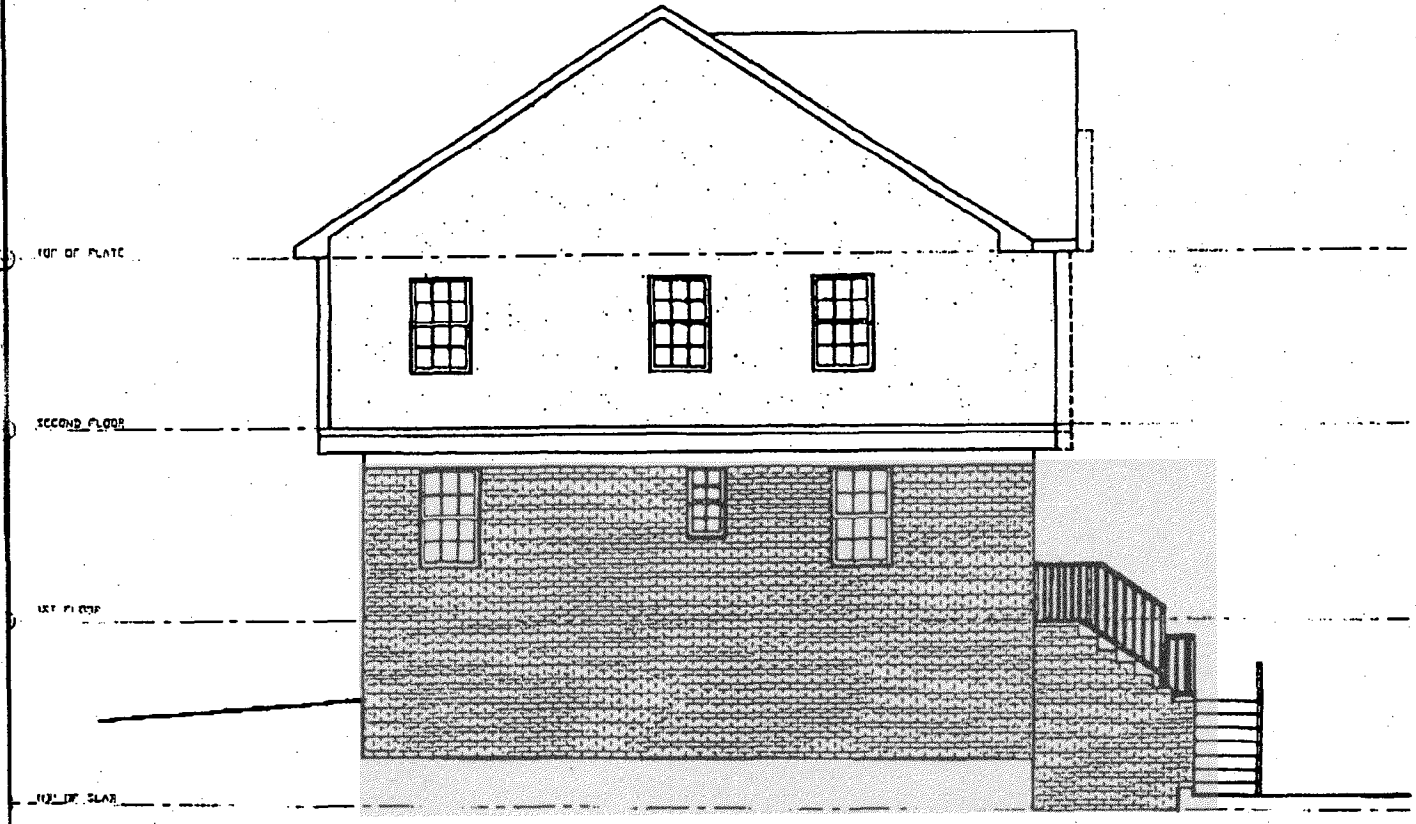
FAX NO. :

Dec. 05 2001 01:17PM P2



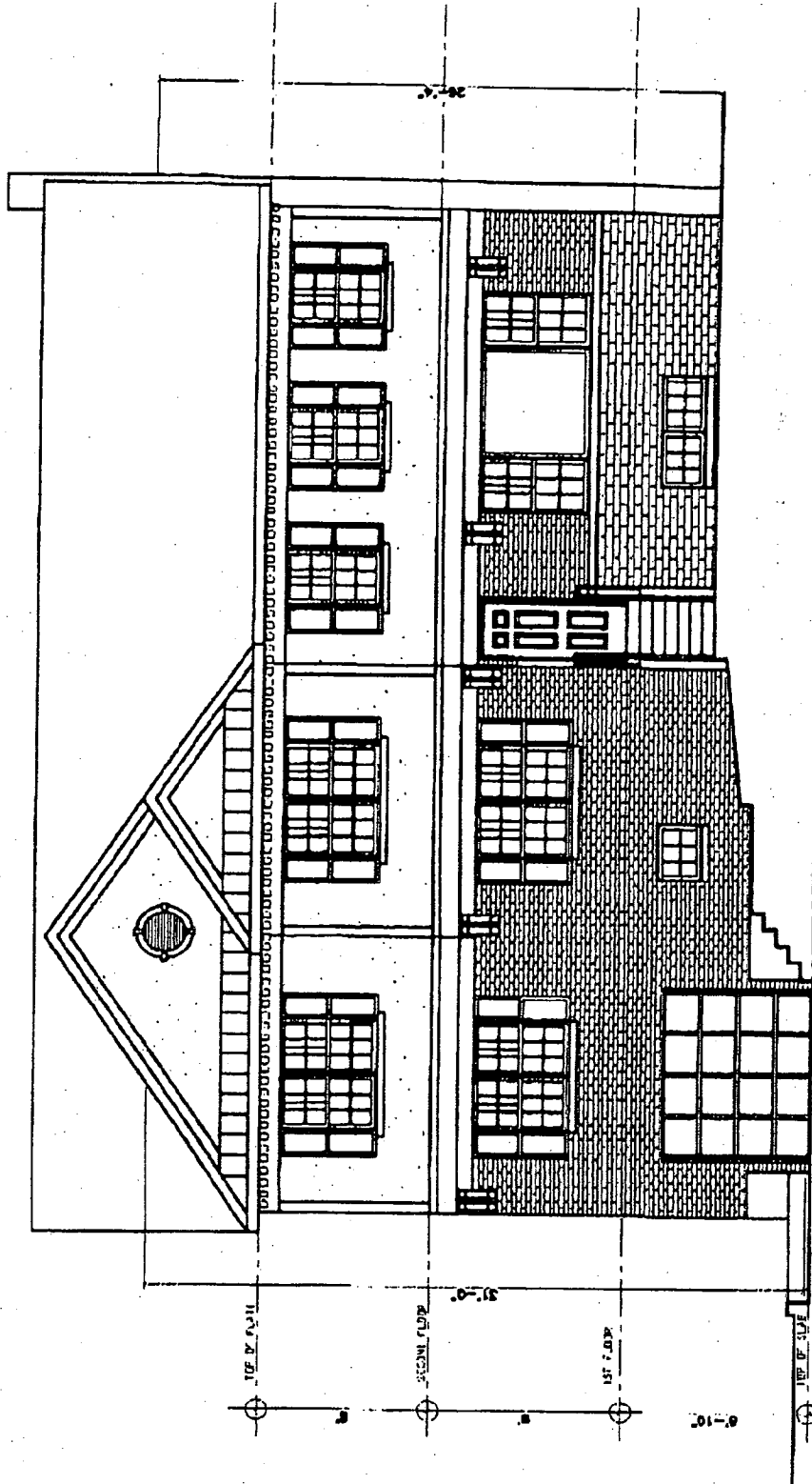
PROPOSED RIGHT ELEVATION

RAOUL LISSABET A.I.A.
ARCHITECTS
19021 SEIDLEY TERRACE
GAITHERSBURG MD 20878



PROPOSED LEFT ELEVATION

RAOUL LISSABET A.I.A.
ARCHITECTS
19021 SEDLEY TERRACE
GAITHERSBURG, MD 20879



PROPOSED FRONT ELEVATION

RAOUL LISSABET A.I.A.
ARCHITECTS
19021 SEDLEY TERRACE
CANTON, MASSACHUSETTS

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	1409 Noyes Drive	Meeting Date:	05/12/04
Resource:	Non-Contributing Resource Woodside Locational Atlas District	Report Date:	05/5/04
Review:	HAWP	Public Notice:	04/28/04
Case Number:	36/04-04A	Tax Credit:	None
Applicant:	Yosefi & Michelle Seltzer (Architect Raoul Lissabet)	Staff:	Tania Tully
Proposal:	Second Story Addition		
Recommendation:	Approve		

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Woodside Locational Atlas District
STYLE: Ranch/Rambler
DATE: 1961

PROPOSAL:

The applicant is proposing to (See circles 8-12):

1. Add a full second story.
2. Extend the chimney to accommodate the second story.
3. Replace the rear ground level deck with a stone patio..
4. The footprint of the house will not be increased.

APPLICABLE GUIDELINES

The applicant chose to submit the project for review as though the district is on the Master Plan rather than proceeding through the long evaluation process. Therefore, proposed alterations and new construction within the Woodside Locational Atlas District are reviewed

under *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation*. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
 3. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffers undue hardship.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

The *Secretary of the Interior's Standards for Rehabilitation* that pertain to this project are as follows:

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

This application, as proposed, is compatible with the character of the district. The building on the property is not historic and neither are the adjacent properties. The green space surrounding the building will remain intact. As such, staff recommends that the Commission approve the proposal, as it will not negatively impact the district.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)1 and 2:

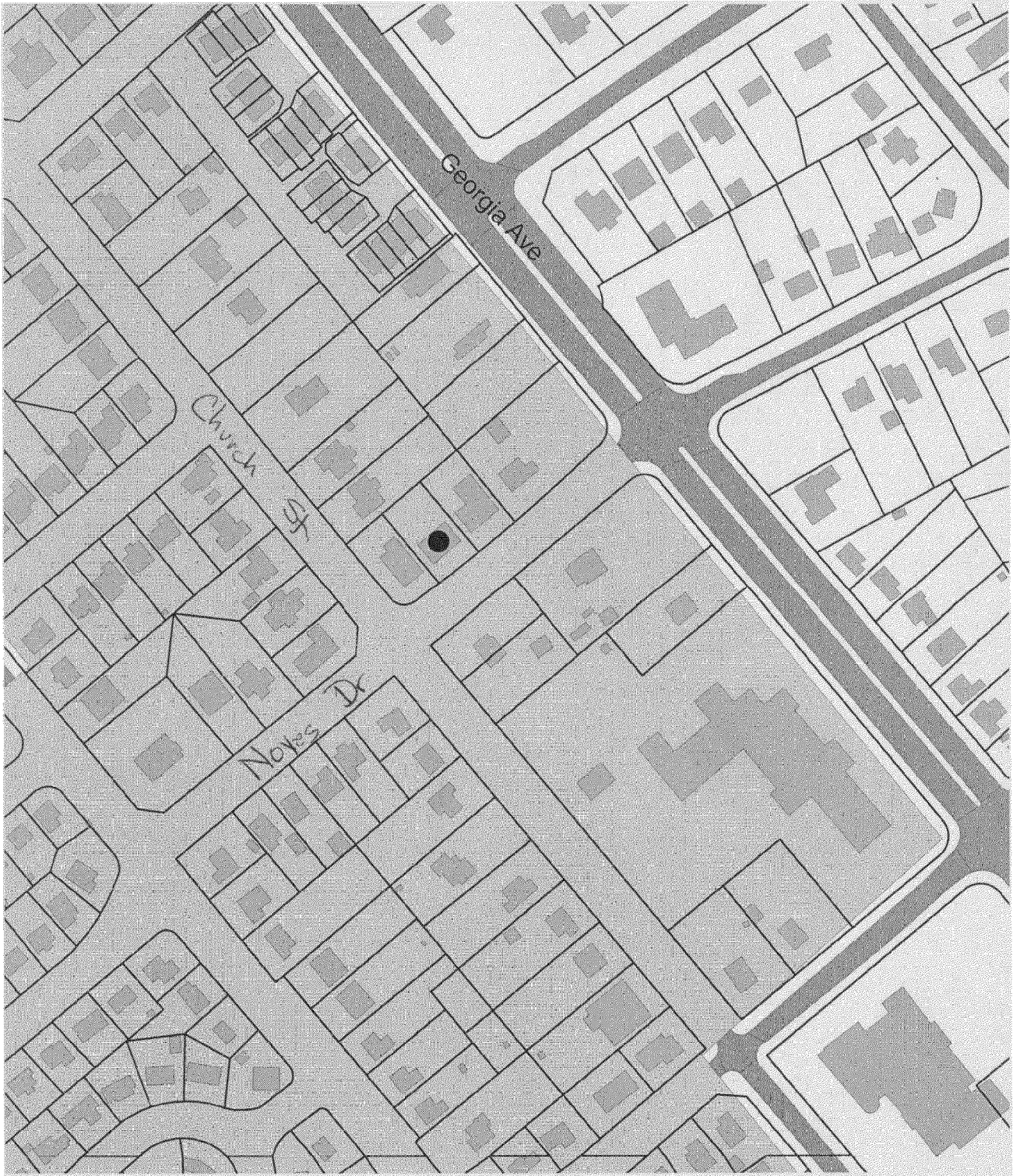
The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; and

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation #9 and #10;*

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.

1409 NOYES DRIVE



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Site visit 4/29/04

Casual User Application



Scale: 1" = 200'



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue - Silver Spring, Maryland 20910-3760



4



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Yosefi M. Seltzer
Daytime Phone No.: 301-920-0938

Account No.: _____
Name of Property Owner: Yosefi + Michelle Seltzer Daytime Phone No.: 301-920-0938
Address: 8320 Colesville Rd #204 Silver Spring Maryland 20910
Street Number City State Zip Code

Tractor: _____ Phone No.: _____
Tractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

Use Number: 1409 Street: Noyes Drive
Town/City: Silver Spring Nearest Cross Street: First Ave + GA Ave
Block: 4 Subdivision: _____
Parcel: 14121 Folio: 414

RT ONE: TYPE OF PERMIT ACTION AND USE

CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

Construction cost estimate: \$ 150,000
If this is a revision of a previously approved active permit, see Permit # _____

RT TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
Type of water supply: 01 WSSC 02 Well 03 Other: _____

RT THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

Height _____ feet _____ inches
Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michelle Seltzer 18 April 2004
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Signature: _____ Date: _____
Application/Permit No.: 041439 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Please see attached

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Please see attached

SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

(b)

Request for Work Permit for Property Located on Locational Atlas
1409 Noyes Drive, Silver Spring, Maryland 20910

1a. Description of existing structure and environmental setting, including their historical features and significance:

The existing structure is an unremarkable one story brick masonry, three bedroom, two and a half bath ranch home built in 1961 with a full basement that includes a fireplace, an attached one car garage, backyard and ground level wood deck. It is not designated as a historic home, nor situated in a historic district. This proposal is before you today solely because it lies on the Locational Atlas. Although it is not an ancient house, it exposes its age due to the fact that the previous owner did not adequately maintain the roof, gutters, downspouts and exterior trim nor protect and preserve the foundation. Storm water and termites have been the primary culprits.

The roof has reached the end of its service life: wear and tear is visible. The gutters and downspouts are coming detached from the roof, which has prevented the proper repulsion of storm water away from the foundation of the house. A structural engineer inspected the foundation and found it to be sound, however, he concluded the cracks are the result of localized water ponding and infiltration of the surface runoff and from the chaotic discharge of the roof gutter downspouts. The water ponding and infiltration may also have caused water damage to the driveway. He recommended the regrading of the outside ground level to a minimum of a 1/4 inch per foot drainable slope away from the vertical walls of the house and the installation of 12 to 16 foot long downspout extensions to deliver the gutter water to the lower slope of the yard.

There are two large trees in the front yard and one large one in the back, none of which will be impacted by the proposed renovations. The backyard is level near the house but ultimately slopes away from it approximately 30-50 feet away from the foundation. The front yard is virtually level beneath the living room window on the right side as you face the front, but slopes to the street after a few feet. The flowerbed to the left of the front staircase is fairly level.

The ground level wood deck in the backyard is thought to have contributed to the water damage by impeding the flow of water away from the home. Moreover, the deck may have encouraged termites to move towards the house. Consequently, the home was diagnosed and treated for termite infestation. The home inspector recommended that the deck be elevated.

b. General description of project and its effect on the historic resource(s), the environmental setting and, where applicable, the historic district:

The owners are well aware of the unique, quaint, communal nature of the Woodside neighborhood and specifically chose it for this reason. Yosefi Seltzer was born in Silver Spring's Holy Cross hospital and resided in north Silver Spring throughout his developing years. He attended grade, high school and college in the Washington metropolitan area before departing for graduate school in Baltimore and a tour on Active Duty in the U.S. Army.

The owners purchased the home in April 2004 and finalized the proposal before you with the express desire to preserve and enhance the quality of life in the county by safeguarding the historical and cultural heritage as well as stabilizing and improving the property value by fostering civic beauty and the continued utilization and pleasure of the citizens of the county, the state and the United States of America.

The architect, Raoul Lissabet, has practiced residential architecture in Montgomery County since 1977. He has worked on several historic projects including one in Somerset that was approved by this commission in the late 1990s. As part of his training, he successfully completed a course on the historic restoration of windows.

With these objectives in mind, the owners worked closely with the architect through several revisions of the proposed renovation in order to enhance the character of the home through the incorporation of modern interpretations of historic details and features found on houses within the existing Woodside neighborhood. Consequently, the proposal illustrates an attention to detail that ensures the house's compatibility with the existing streetscape by being sensitive to the neighborhood's existing architectural character.

The owners propose to construct a second floor addition on top of the existing ranch-style house, replacing the ground level wood deck with a stone patio and regrading a portion of the back yard as well as the soil around the foundational perimeter of the house in order to protect it from further water damage and termite infestation. The second story addition was carefully designed in order to be sympathetic to the adjacent historic resources so that the character defining features and the rhythm of the streetscape are not abruptly interrupted. The house is flanked by two other houses (1407 Noyes Drive to the east and 8901 1st Avenue to the west). The proposed renovation will not expand the footprint of the house nor encroach on green space to the front, back or sides.

The proposed renovation is differentiated from the existing structure while still being respectful to and compatible with the existing house. The architect and owners specifically intend to differentiate between the second and first stories through the use of different building materials for the second story, utilizing perhaps siding or stucco. Moreover, the owners specifically chose to pursue a second story addition rather than bump out the back in order to preserve the maximum amount of green space.

Further, the owners propose landscaping as well as the replacement of the deck, roof, gutters and downspouts. They are all intended to both preserve the original foundation of the home as well as to enhance the appearance and usability of the property. Once completed, they will avert any unsafe conditions and health hazards that would be posed by an unsound structural foundation.

Finally, the owners propose to extend the chimney in proportion to the height of the new roof in order to maintain the fire-safe quality of the fireplace as well as preserve the integrity of the rooftop.

The proposal is intended to be compatible with the character and nature of the neighborhood while enhancing and aiding in the protection, preservation and reasonable utilization of the property by the owners. The structure is of little historic and design significance and therefore, the proposed renovation will not seriously impair the historic or architectural value of the surrounding historic resources, it will surely enhance them.

With these values in mind, the owners and architect prudently selected the design and features of the renovation work in the interest of celebrating the revitalization and rebirth of the renowned downtown Silver Spring community.



Front of house from Noyes Drive.



Looking east towards Georgia Ave.



Front View East 1.



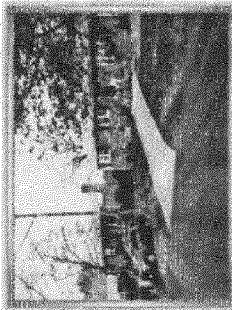
Front View East 2.



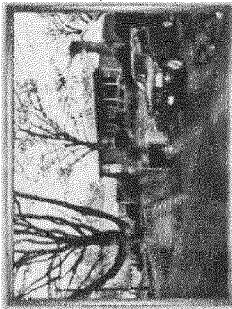
Front View East 3.



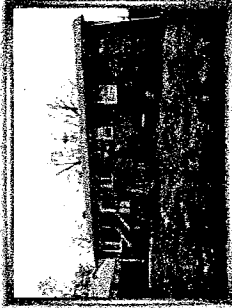
East side of house and 1407 Noyes Drive on the right.



View West of 1407 Noyes Drive and 1409 Noyes Drive on Left.



View West 2.



Rear of house.



View East from Backyard, including 1407 Noyes Drive's rear addition.

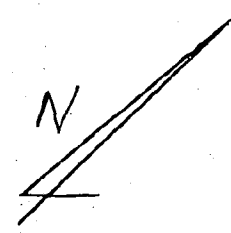
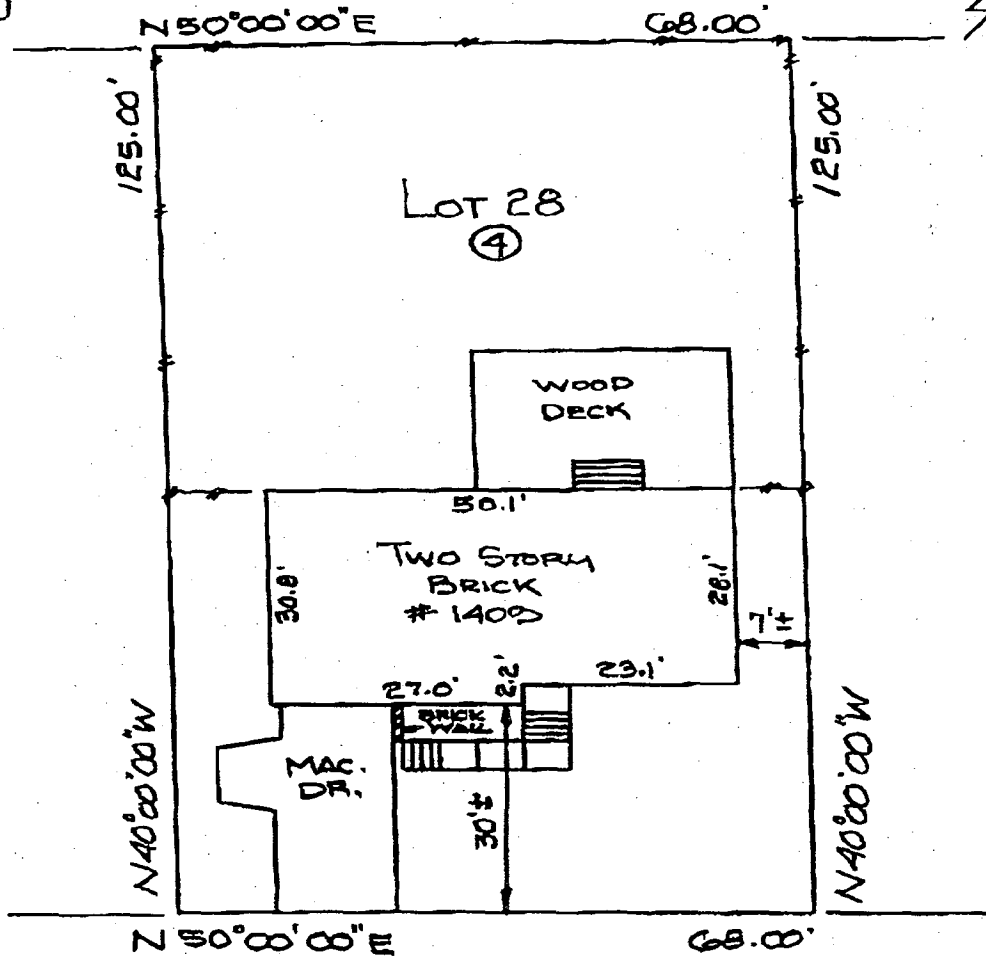
CONSUMER INFORMATION NOTES

THIS PLAN IS A BENEFIT TO A CONSUMER INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER FINANCING OR RE-FINANCING.
 THIS PLAN IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS.
 3. THIS PLAN DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.

1409 NOYES DR
 LOT: 28
 BLOCK: 4
 WOODSIDE
 MONTGOMERY COUNTY
 MARYLAND

Post-It® Fax Note	7671	Date	3/26	# of Pages	1
To	JOSEFI SELTZER	From	LARRY KRAMER	Co.	
Co./Dept.		Phone #	301-608-2201	Fax #	
Phone #					
Fax #	303-696-2940				

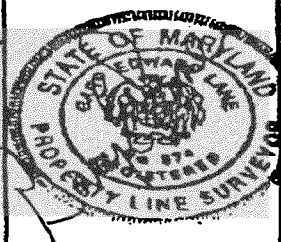
THIS PROPERTY IS LOCATED IN ZONE C (AREA OUTSIDE THE 100 YEAR FLOOD ZONE) HAZARD MAP.



NOYES DR.
 HOUSE LOCATION DRAWING

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE PROPERTY DELINEATED HEREON IS IN ACCORDANCE WITH THE PLAT OF SUBDIVISION AND DEED OF RECORD AND THAT THE IMPROVEMENTS SHOWN WERE LOCATED BY ACCEPTED FIELD PRACTICES. THIS HOUSE LOCATION SURVEY IS NOT FOR THE DETERMINING PROPERTY LINES AND NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND LOT CORNERS HAVE NOT BEEN SET BY THIS SURVEYOR.



SURVEY ASSOCIATES #1

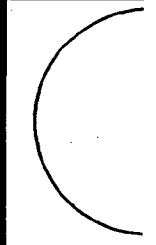
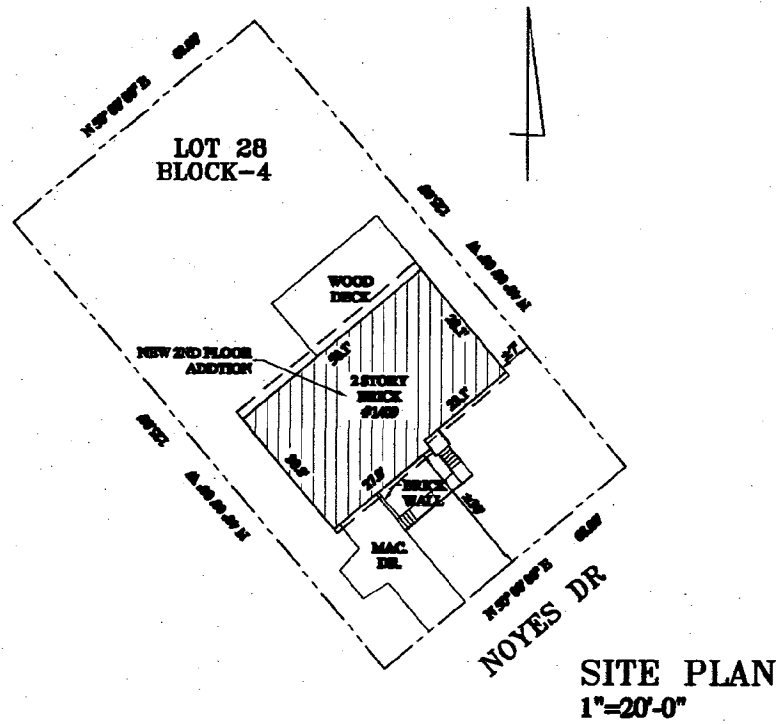
CONSULTING LAND SURVEYORS AND PLANNERS
 9898 LYON AVENUE
 LAUREL MARYLAND 20723
 (301) 268-5478 FAX (301) 978-2514

SCALE	1" = 20'	DWG. BY	GEL	CASE NO.	04030047
LIBR.	14121	ELECTION DISTRICT	13	COUNTY	MONTGOMERY
PLAT BOOK	58			DATE	

ADDITION S DRIVE , MARYLAND BLOCK 4. 7 COUNTY

ARCHITECT
RAOUL LISSABET, AIA

SITE PLAN



Copyright RAOUL LISSABET	
Issue Date: April 1999	
No.	Date
PERMIT	

RESIDENCE ADDITION
1409 NOYES DRIVE
 CITY OF GAITHERSBURG, MARYLAND

LINTEL SCHEDULE

NO.	DESCRIPTION	REMARKS
1	1" x 4" x 8"	
2	2" x 4" x 8"	
3	3" x 4" x 8"	
4	4" x 4" x 8"	
5	5" x 4" x 8"	
6	6" x 4" x 8"	
7	7" x 4" x 8"	
8	8" x 4" x 8"	
9	9" x 4" x 8"	
10	10" x 4" x 8"	

UNLESS OTHERWISE NOTED
 PROVIDE WOOD LENTILS
 OVER FRAME OPENINGS
 AS FOLLOWS: UP TO:

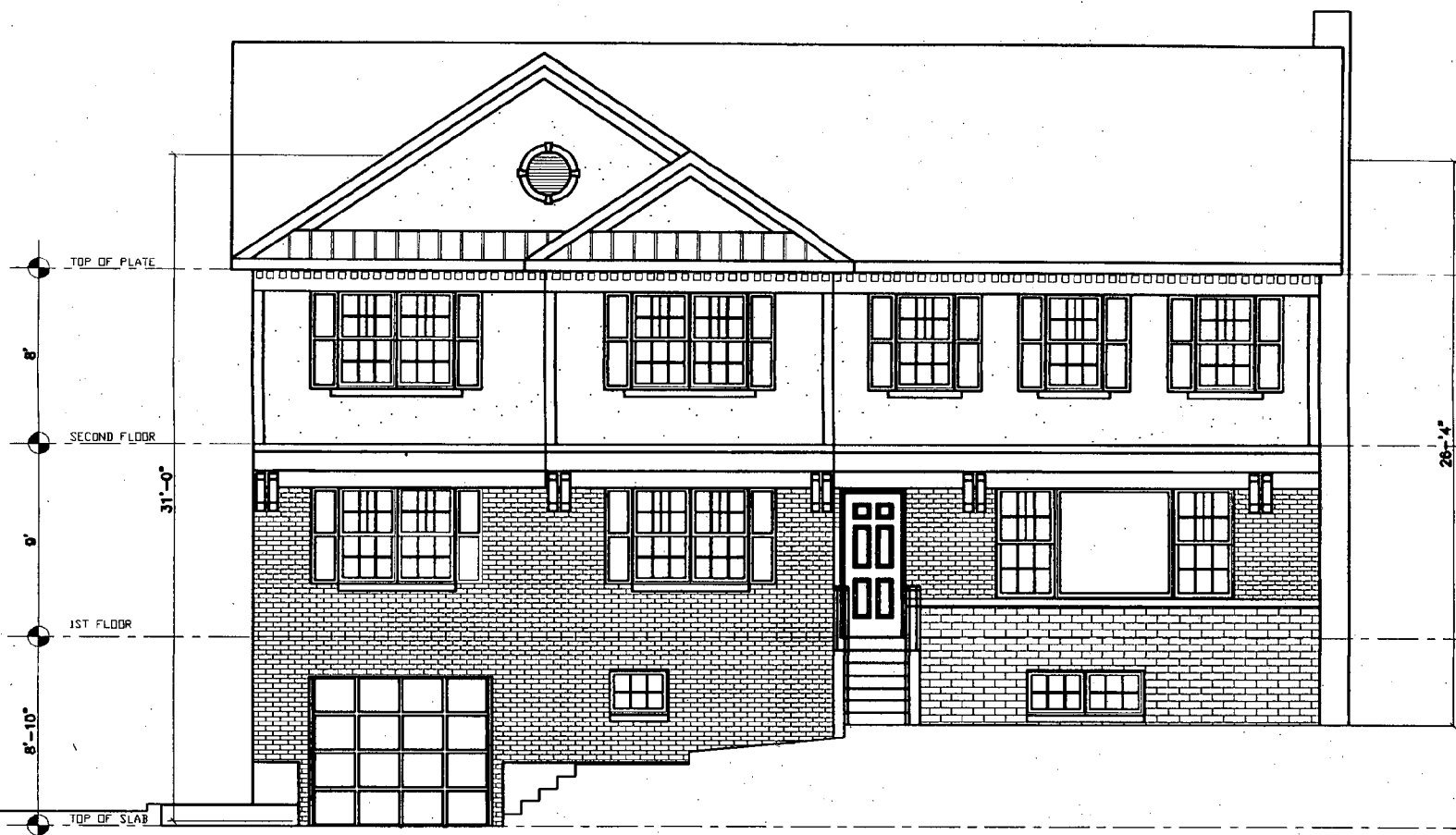
DOUBLE 2x4	3'-0"
DOUBLE 2x6	3'-0"
DOUBLE 2x8	3'-0"
DOUBLE 2x10	7'-0"
DOUBLE 2x12	9'-0"

LIST OF DRAWINGS

NO.	DESCRIPTION
C-1	COVER SHEET / LEGENDS
A-1	BASEMENT, FOUNDATION
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	ELEVATIONS
A-5	ELEVATIONS
A-6	FRAMING PLAN
A-7	SECTION & WALL SECTION

Project Number: 99-0004
Designed By:
Sheet Title: COVER SHEET / LEGENDS
Sheet Number: C-1





PROPOSED FRONT ELEVATION

12

TOP OF PLATE

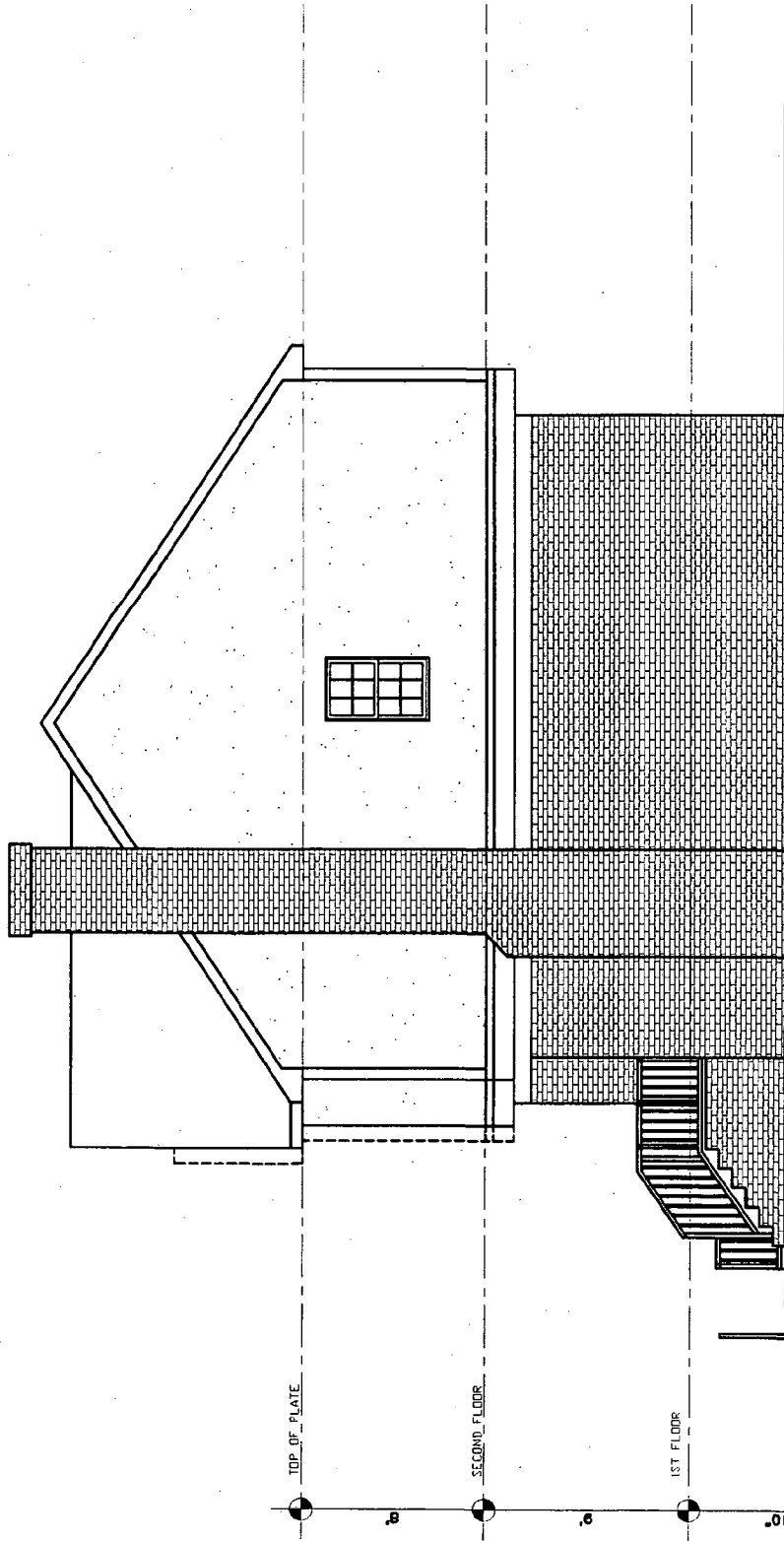
RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4
 MONTGOMERY COUNTY

PERMIT SET
 April 19th, 2004

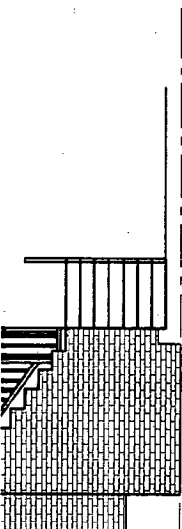
Copyright: RAQUEL LIBARDET A.I.A., 2004	
Issue Date: April 19th, 2004	
No.	Date
	Description

Project Number:	Drawn By:
Sheet Title:	Checked By:
ELEVATIONS	
Sheet Number:	

A-5



PROPOSED RIGHT ELEVATION



R
 A

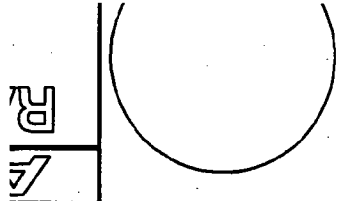
RESIDENCE ADDITION
 1409 NOYES DRIVE
 SILVER SPRING, MARYLAND
 LOT 28 - BLOCK 4

Project Number: 200-0000
 Designer: [Name]
 Checker: [Name]

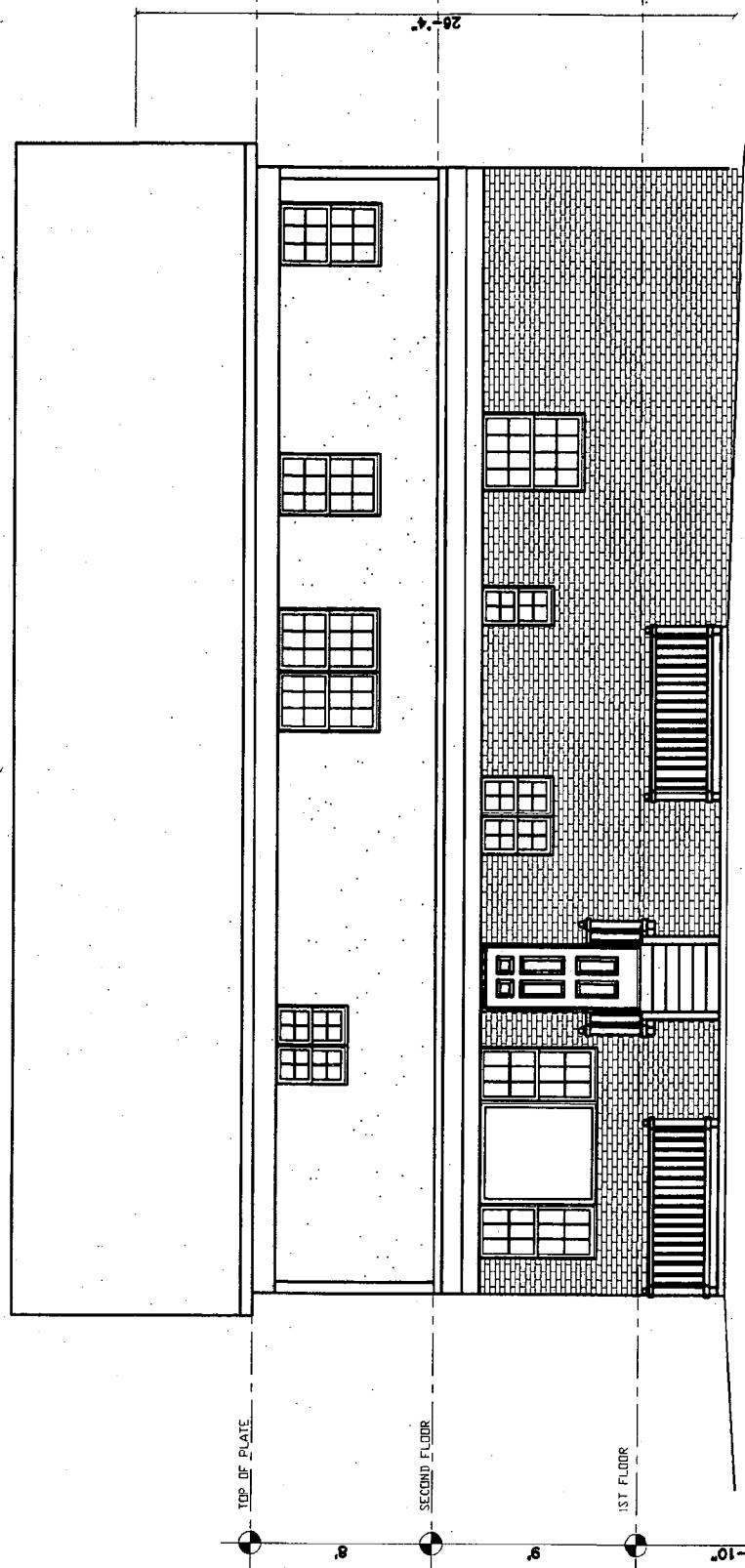
Sheet Title:
ELEVATIONS
 Sheet Number:
A-4

PERMIT SET
 April 1988, 1989

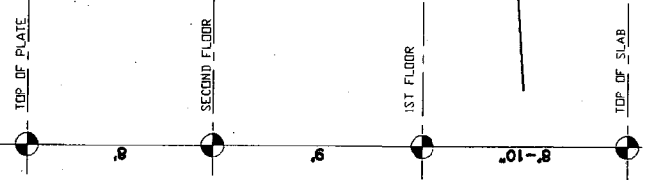
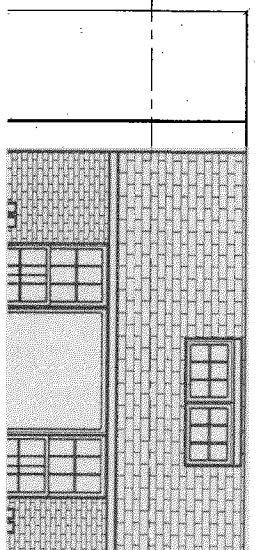
Copyright: RACHEL LERNBERT	
Issue Date: April 1988, 1989	
Revisions:	
Date:	Drawn by:
Check:	Checked:



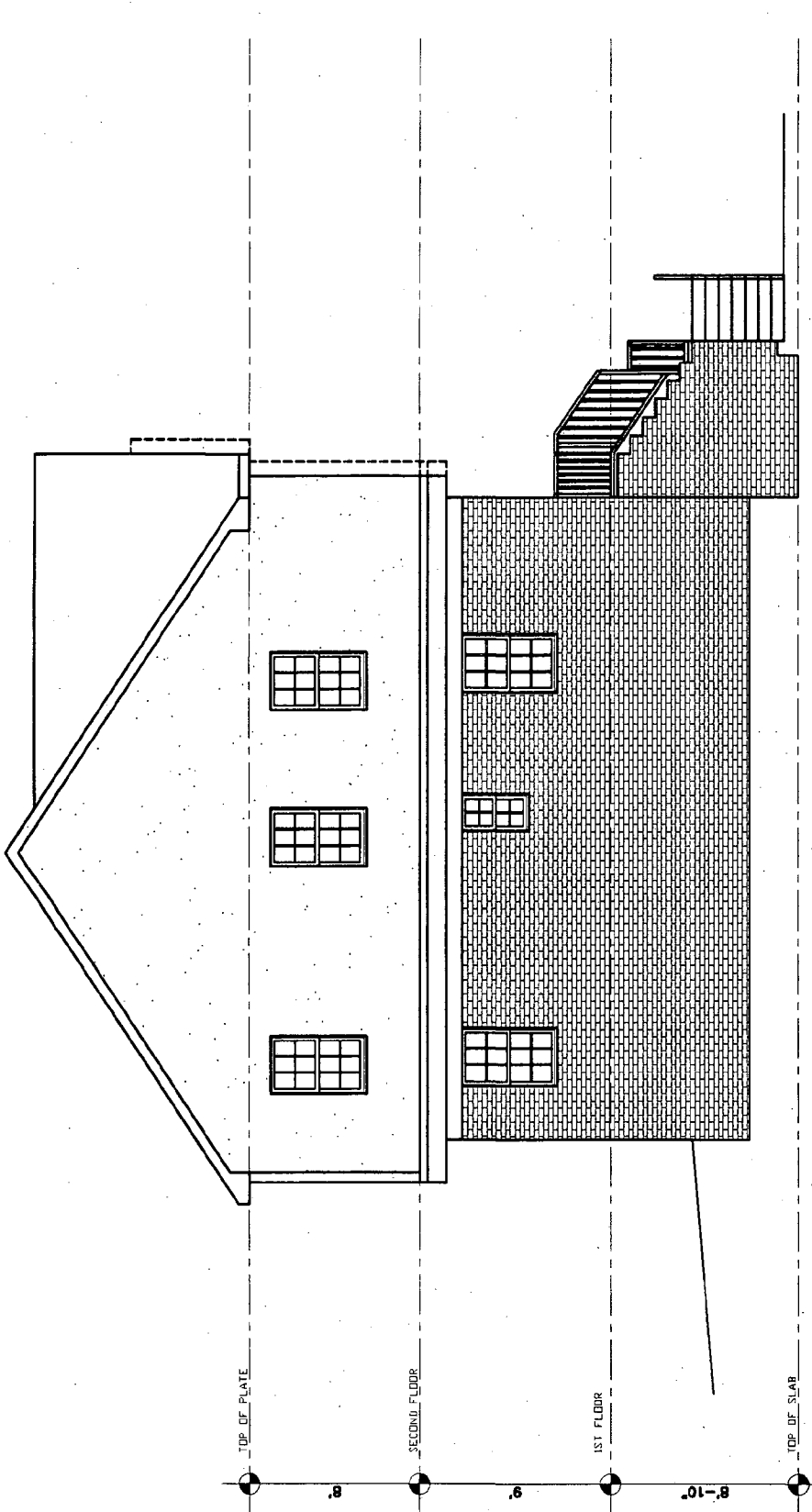
RA



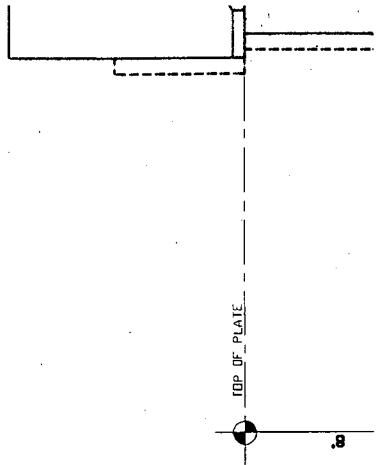
PROPOSED REAR ELEVATION

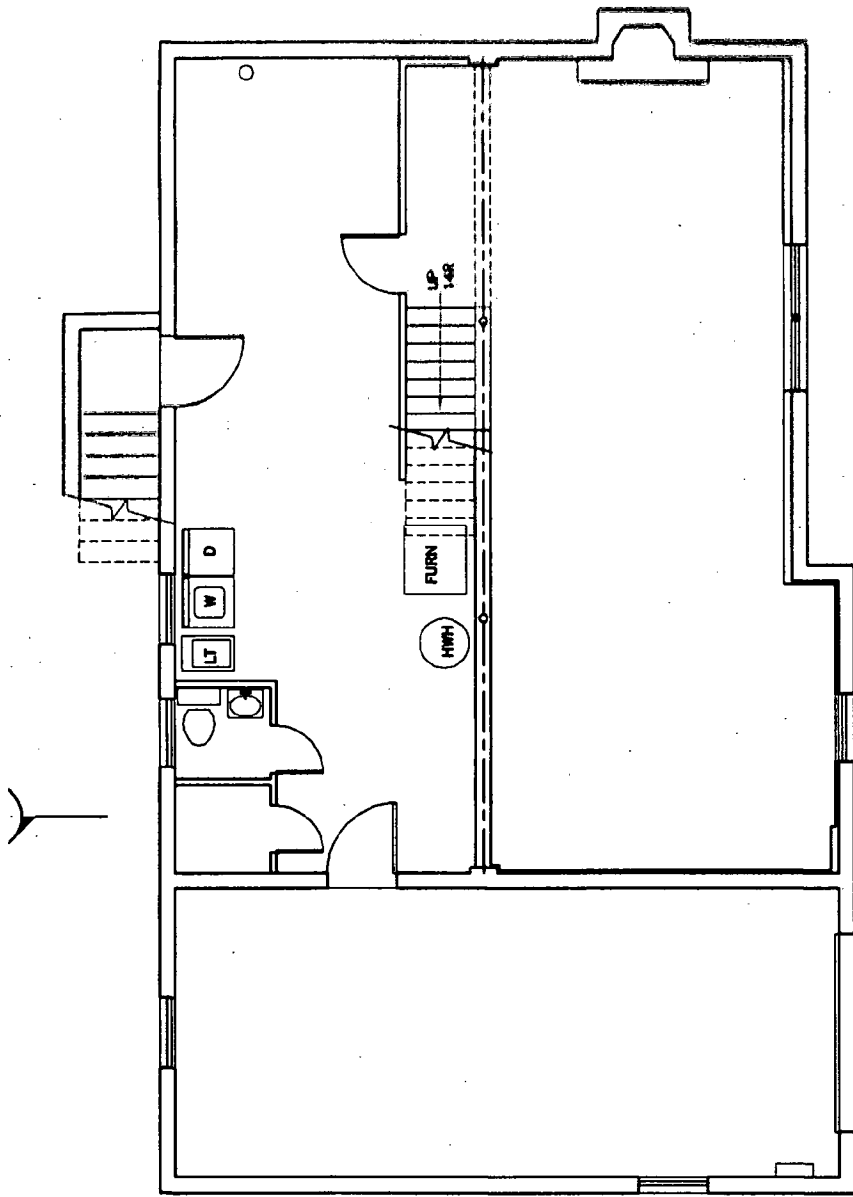


(F)

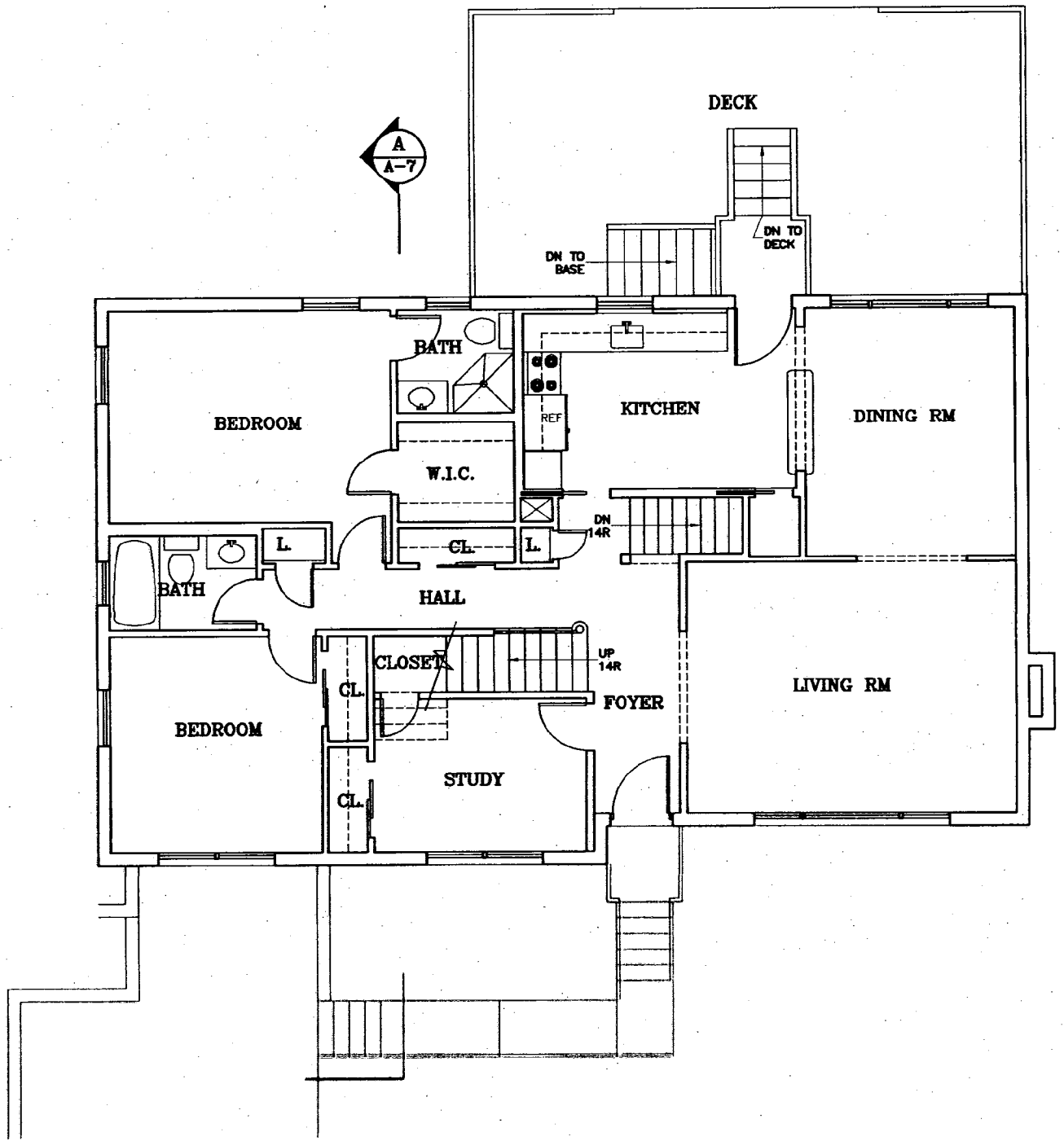


PROPOSED LEFT ELEVATION





EXISTING & DEMOLITION BASEMENT/FOUNDATION PLAN
1/8"=1'-0"



FIRST FLOOR PLAN
 1/8"=1'-0"

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Yosefi and Michelle Seltzer 8320 Colesville Road #204 Silver Spring, Maryland 20910	
Adjacent and confronting Property Owners mailing addresses	
Leah Dickhaut 1407 Noyes Drive Silver Spring, Maryland 20910	
Baird and Sarah Brookhart 8825 1 st Avenue Silver Spring, Maryland 20910	
Hae D. and Y. S. Lee 8901 1 st Avenue Silver Spring, Maryland 20910	
Elvin C + LCS Nichols 8905 1st Avenue Silver Spring, Maryland 20910	