

612 Philadelphia Avenue, Takoma Park  
(HPL Case No. 37/03-08 ZZ)  
Takoma Park Historic District



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## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
County Executive

Jef Fuller  
Chairperson

Date: September 11, 2008

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Joshua Silver, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #492838, shed replacement

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved at the September 10, 2008 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Ruth Skafsgaard & Martin Lowery

Address: 612 Philadelphia Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: RUTH SKAFES GRAPPA  
Daytime Phone No.: 301 585-8374

Tax Account No.: 161301069646  
Name of Property Owner: MARTIN LOWERY Daytime Phone No.: 301 585-2374  
Address: 612 PHILADELPHIA AVENUE TAKOMA PARK MD 20912  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 612 Street: PHILADELPHIA AVE  
Town/City: TAKOMA PARK Nearest Cross Street: IRVING AVE  
Lot: D11 Block: 69 Subdivision: 25  
Liber: 5735 Folio: 112 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 4000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] \_\_\_\_\_ Date: 9/17/2008  
Signature of owner or authorized agent Date

Approved:  \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 9/17/2008  
Application/Permit No.: 4423-8 Date Filed: 9/17/08 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

OLD GARDEN STREET/OLD HOUSE NO. 1010000.  
EXISTING WAS DESTROYED BY FIRE & FINALLY  
ON STICK IN THE LAST TWO YEARS  
NO HISTORIC VALUE

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REPLACEMENT OF OLD GARDEN STREET  
ROAD SIDE BUILDING MATERIALS SHOULD  
BE USED.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

***EXPEDITED***  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	612 Philadelphia Avenue, Takoma Park	<b>Meeting Date:</b>	9/10/2008
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	9/3/2008
<b>Applicant:</b>	Ruth Skafsgaard & Martin Lowery	<b>Public Notice:</b>	8/27/2008
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	37/03-08ZZ	<b>Staff:</b>	Josh Silver
<b>PROPOSAL:</b>	Shed replacement		

**STAFF RECOMMENDATION:**

Approval

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource Within The Takoma Park Historic District  
**STYLE:** Craftsman  
**DATE:** c1920s

**PROPOSAL:**

The applicants are proposing to construct one-story, 12' x 8' storage shed at the rear of the property. The proposed shed will replace a severely deteriorated storage shed of similar dimensions and materials in the same location. The proposed shed will consist of cedar shake siding boards, asphalt shingle roofing and wooden windows and doors.

**APPLICABLE GUIDELINES:**

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

RECEIVED  
AUG 11 2008  
DEPT. OF PERMITS

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: RUTH SKAFS GRABO

Daytime Phone No.: 301 585-8374

Tax Account No.: 161301069646

Name of Property Owner: MARTIN LOWERY Daytime Phone No.: 301 585-8374

Address: 612 PHILADELPHIA AVE TAKOMA PARK MD 20912  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number: 612 Street: PHILADELPHIA AVE

Town/City: TAKOMA PARK Nearest Cross Street: TAKOMA AVE

Lot: P11 Block: 69 Subdivision: 25

Liber: 5733 Folio: 112 Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 4000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

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3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Martin Lowery  
Signature of owner or authorized agent

8/11/08  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 492838 Date Filed: 8-11-08 Date Issued: \_\_\_\_\_

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a. Description of existing structure(s) and environmental setting, including their historical features and significance:

OLD BRADEN STREET PLAYHOUSE NO LONGER  
EXIST - WAS DESTROYED BY FIRE & BURNED  
BY STORM IN THE LAST TWO YEARS  
NO HISTORIC VALUE

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REPLACEMENT OF OLD BRADEN STREET  
PLAYHOUSE BUILDING HISTORIC DISTRICT  
& MAIN HOUSE

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

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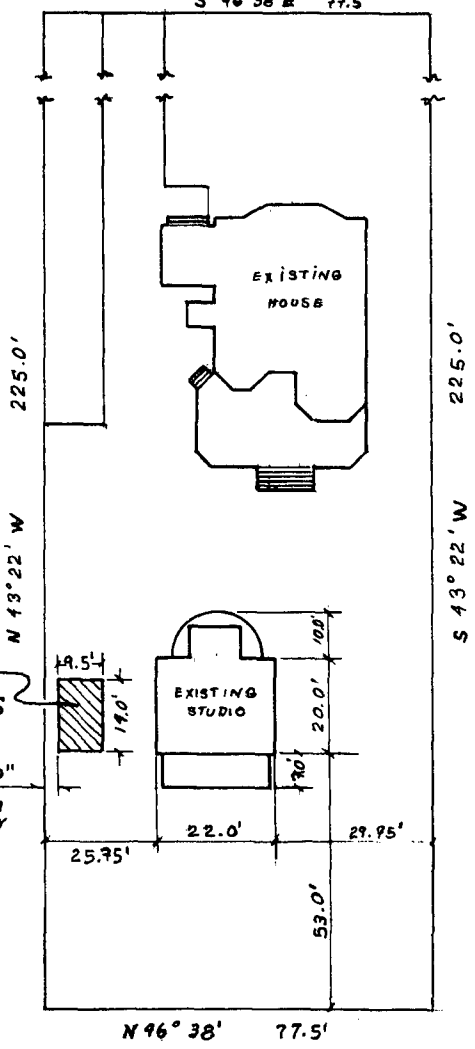
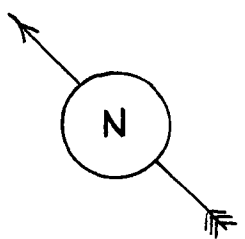
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**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
612 Philadelphia Ave. Takoma Park, MD 20912 (MARTIN LOWERY + RUTH SKAFSGAARD)	
Adjacent and confronting Property Owners mailing addresses	
FAGAN, DEBORAH + BERNARD 608 Philadelphia Ave. Takoma Park, MD. 20912	JOHN SANDAGE 704 Philadelphia Ave. Takoma Park, MD 20912
JAMES EVANS 703 New York Ave. Takoma Park, MD 20912	CHERYL SLOAN 613 Philadelphia Ave. Takoma Park, MD 20912

PHILADELPHIA AVE.  
S 46° 38' E 77.5'



LOCATION OF NEW SHED THAT REPLACES OLD SHED

OR MINIMUM REQUIRED BY ZONING CODE.

SCALE: 1" = 15'-0"

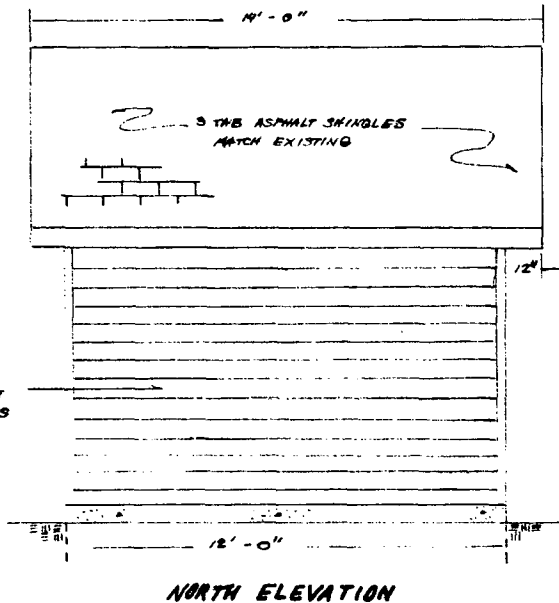
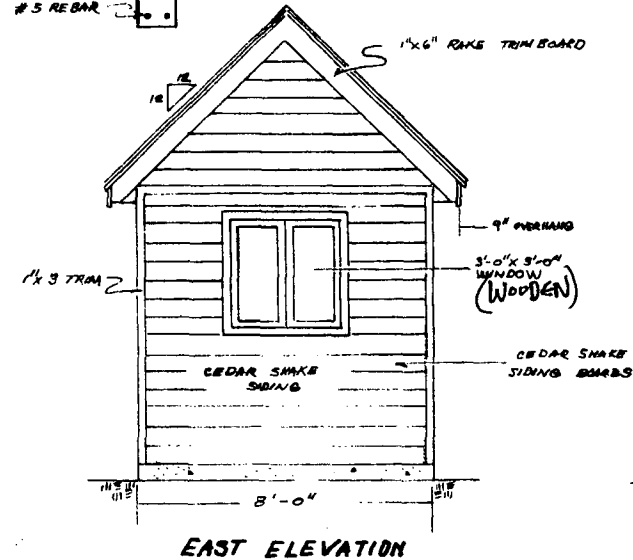
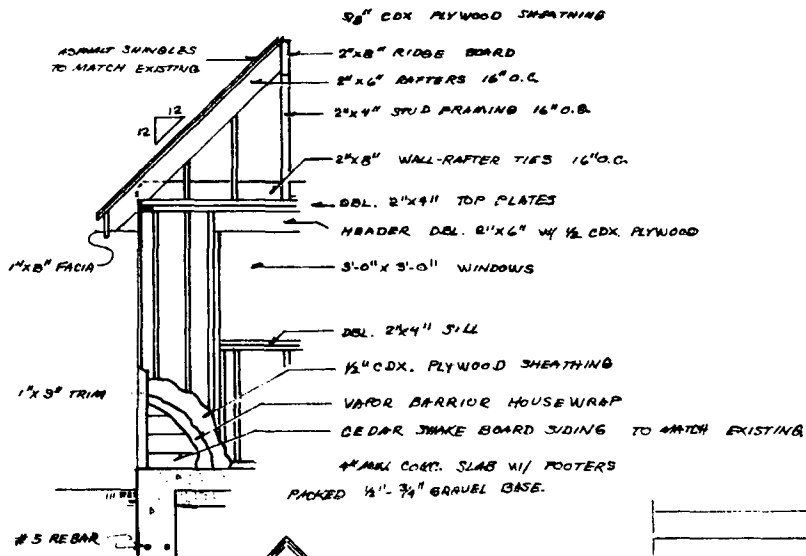
R. SKAFSGAARD  
M. LOWERY  
SHED

612 PHILADELPHIA AVE.  
TAKOMA PARK, MD.

SITE PLAN

DRAWN: S. DAVIS	SHEET
SCALE: 1" = 15'-0"	
DATE: AUG. 6, 2008	1

9



**FOUNDATION** 4" CONC. SLAB  
POURED WITH  
12" WIDE FOOTERS 24" DEEP  
MIN. W/ DBL. #5 RE-BAR.  
3000 PSI CONC. OVER 4"  
BASE OF 3/4" TO 1" PACKED  
GRAVEL. 6 MIL PLASTIC VAPOR  
BARRIER AND 6"x6" WIRE MESH.

**FRAMING:** 2"x4" STUDS 16" O.C.  
WALL PLATES PRESSURE TREATED  
1/2" BOLTED TO SLAB @ 3'-0" & 4'.  
DBL TOP PLATES. WALL FRAMING  
IS NAILED W/ 16 D SINKERS.

**RAFTERS ARE** 2"x6" W/ HNGR  
BRACKETS, HURRICANE STRAPS  
AND NAILED W/ 16 D. 16" O.C.

**WALL RAFTER TIES ARE**  
2"x8" @ 16" O.C..

**SHEATHING** 1/2" CDX FOR WALLS  
AND SOFFETS. 5/8" CDX PLYWD  
FOR ROOF. BOTH NAILED W/  
8D @ 6" ALONG EDGES  
AND 8 TO 10 IN FIELD.

**SIDING** IS CEDAR SHAKE  
BOARDS NAILED W/ 8D GALV.  
AS MANUFACTURER'S SPECS.

**ROOF COVERING** IS 3 TAB  
ASPHALT SHINGLES OVER  
30LB FELT

**WINDOWS** ARE 3'-0" x 3'-0"  
WOODEN SLIDERS.

**DOOR** IS DBL. 2'-0" x 6'-8"  
HINGED OUTWARD. (WOOD)

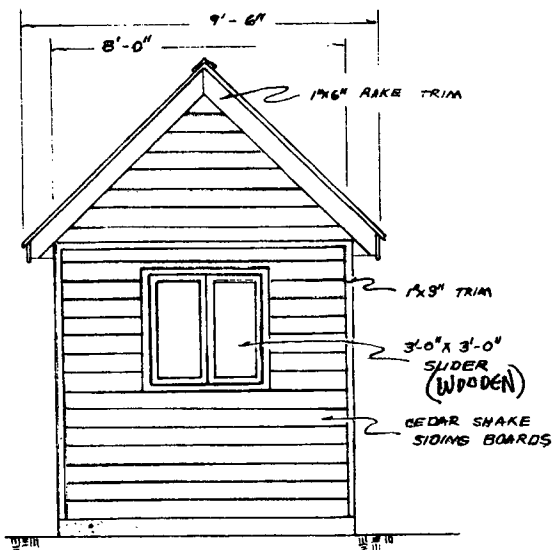
R. SKAFSGAARD  
&  
M. LOWERY  
SHED

612 PHILADELPHIA AVE.  
TAKOMA PARK, MD.

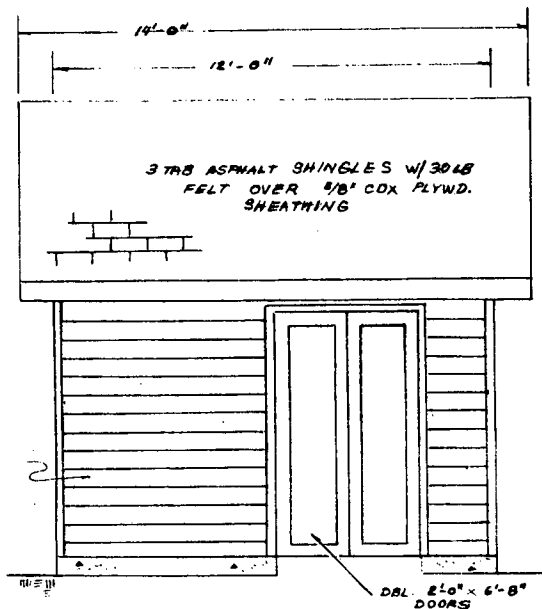
WALL SECTION,  
EAST & NORTH ELEVATION

DRAWN: S. DAVIS	SHEET
SCALE: 1/2" = 1'-0"	3
DATE: AUG. 6, 2008	

7



WEST ELEVATION



SOUTH ELEVATION

**SHEATHING:** WALL SHEATHING  
 1/2" CDX PLYWD, ROOF SHEATHING  
 3/8" CDX PLYWD, NAILED W/ 8 D  
 4 TO 6 ALONG EDGE AND 3 TO  
 10 IN FIELD.

**WALL SIDING:** CEDAR  
 SHAKE BOARDS  
 NAILED W/ 8 D GALV. OVER  
 1/2" CDX PLYWD COVERED IN  
 HOUSE WRAP.

**ROOFING:** 3 TAB ASPHALT  
 SHINGLES NAILED  
 W/ 1 1/2" GALV. AS MANUFACTURERS  
 SPECS. SHINGLES OVER  
 30 LB. FELT PAPER.

**DOOR:** DBL. 2-0" x 6-8"  
 HINGED TO SWING  
 OUTWARD. 3 HINGES / DOOR. (WOOD)

**WINDOWS:** 3-0" x 3-0"  
 WOODEN SLIDERS.

**TRIM:** CORNER TRIM IS  
 DBL. 1" x 3". RAKE  
 TRIM IS 1" x 6". FACIA TRIM  
 IS 1" x 8"

**SOFFITS:** 1/2" PLYWOOD,  
 VENTED

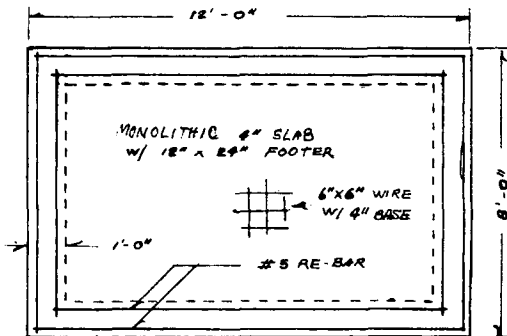
**BASE ON:** 1/2" PLYWOOD

R. SKAFSGAARD  
 M. LOWERY  
 SHED

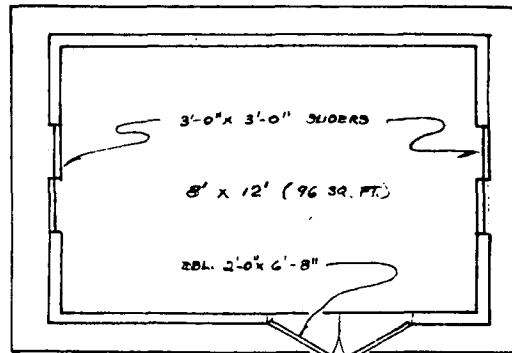
612 PHILADELPHIA AVE  
 TAKOMA PARK, MD.

DRAWN: S. DAVIS	SHEET
SCALE: 1/8" = 1'-0"	4
DATE: AUG. 6, 2008	

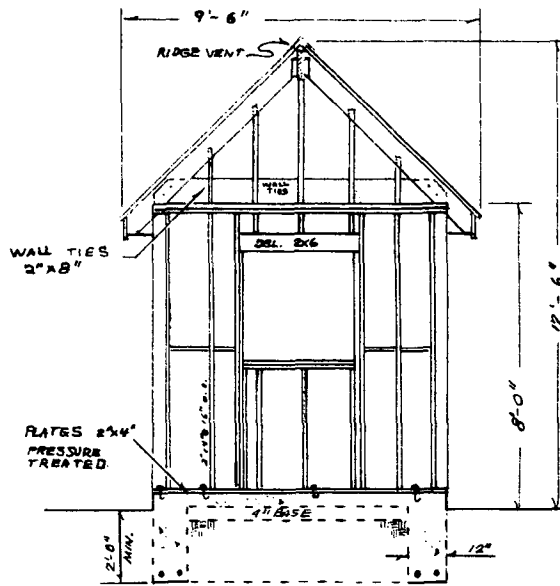
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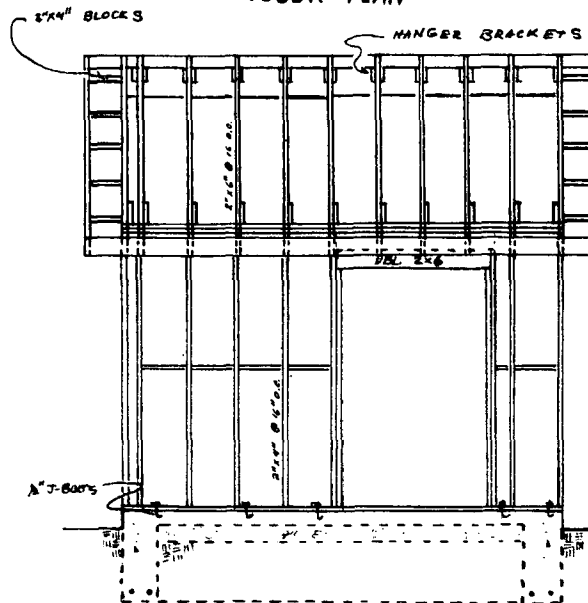
FOUNDATION PLAN



FLOOR PLAN



EAST & WEST FRAMING ELEV.



SOUTH FRAMING ELEV.

**FOUNDATION:** FOUNDATION IS MONOLITHIC SLAB W/ 12' FOOTERS THAT ARE 24" DEEP MIN. THE FOOTERS HAVE DBL. #5 RE-BAR. CONCRETE IS 3000 PSI WITH 6"x6" WIRE REINFORCING. THE BASE IS 12"-24" PACKED ROCK BASE W/ 6 MIL PLASTIC VAPOR BARRIER.

**FLOOR PLAN:** SINGLE ROOM 96 SQ. FT.. TWO WINDOWS, 3'-0" X 3'-0", DOOR WAY IS 4'-0" X 6'-8" WITH DBL. 2'-0" X 6'-8"

**FRAMING:** WALL PLATES 2"x4" PRESSURE TREATED. 1/2" BOLTED TO SLAB @ 3'-0". WALLS ARE 2"x4" @ 16" O.C. NAILED W/ 16D SINKERS.

**RAFTERS** ARE 2"x6" @ 16" O.C. W/ NAILED W/ 16D, MANGER BRACKETS AND HURRICANE STRAPS.

**SHEATHING** WALLS AND SOFFITS 1/2" CDX. ROOF SHEATHING 3/8" CDX BOTH NAILED W/ 8D #106 ALONG EDGE & 10 IN FIELD

**WALL-RAFTER TIES** ARE 2"x8" NAILED W/ 16D SINKERS.

R. SKAFSGAARD  
&  
M. LOWERY  
SHED

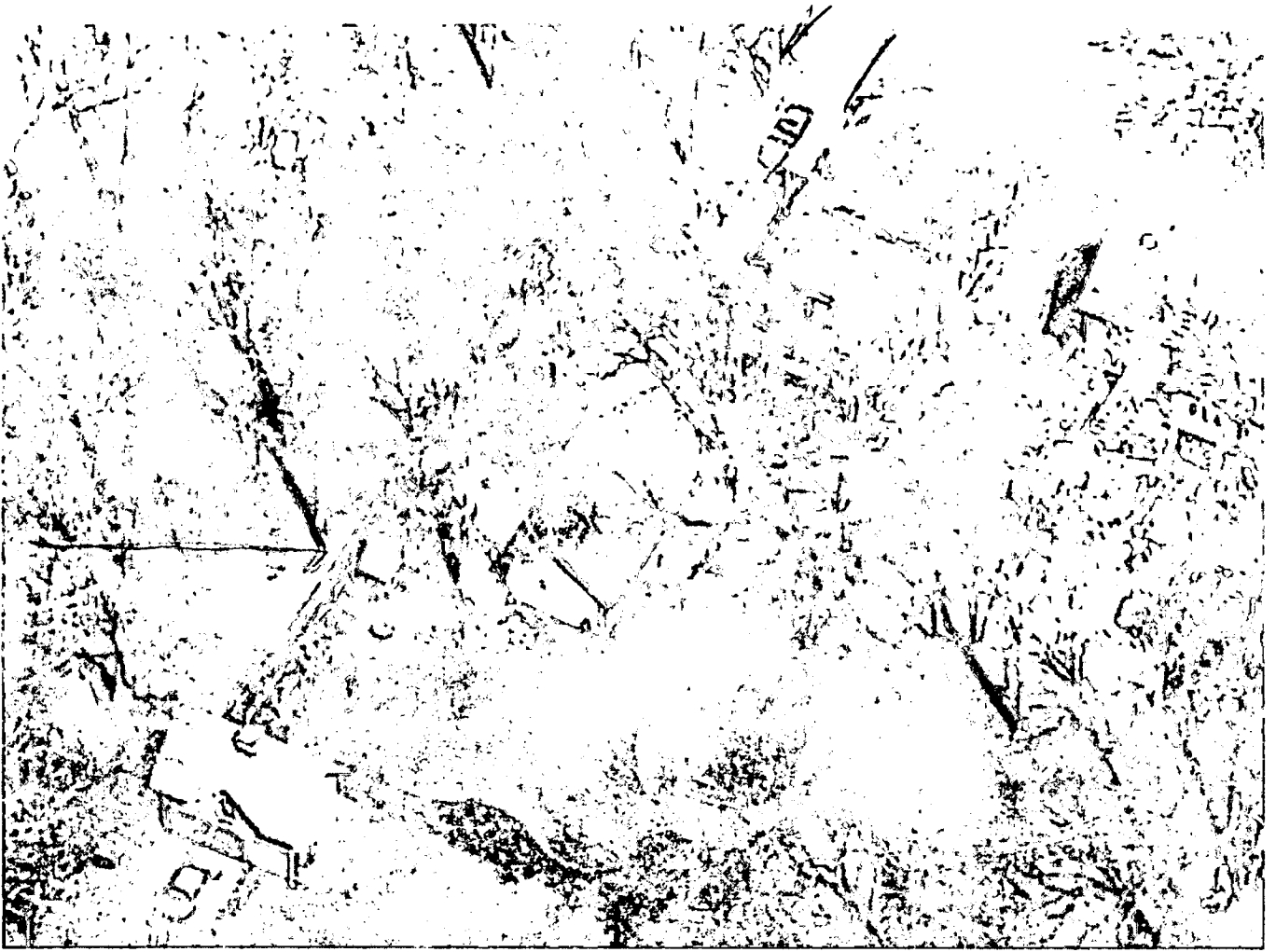
612 PHILADELPHIA AVE.  
TAKOMA PARK, M.D.

FOUNDATION & FLOOR PLANS  
EAST, WEST, SOUTH FRAMING ELEV.

DRAWN: S. DAVIS  
SCALE: 1/4" = 1'-0"  
DATE: AUG. 6, 2008

SHEET  
2

old  
SHED



old  
SHED



Subject: shed



IMG\_8913.JPG

Subject: shed



IMG\_8912.JPG



**Subject:** Shed photos



IMG\_8909.JPG

8/24/2008

13

# City of Takoma Park



## Housing & Community Development

Telephone: (301) 891-7119  
Fax: (301) 270-4568

7500 Maple Avenue  
Takoma Park, MD 20912

August 11, 2008

Department of Permitting Services  
255 Rockville Pike, 2<sup>nd</sup> Floor  
Rockville, Maryland 20850-4166

Property Owner Name: Ruth Skafsgaard and Martin Lowery

Location of Requested Building Permit: 612 Philadelphia Avenue

Proposed Scope of Work: Install a shed on a slab to replace a shed.

Dear Department of Permitting Services:

The above property owner has notified the City of Takoma Park that they are planning to apply for permits for the above summarized construction project. They have been informed that the City of Takoma Park has regulations and permit requirements that may apply to their project and if they do not comply they may be cited or fined.

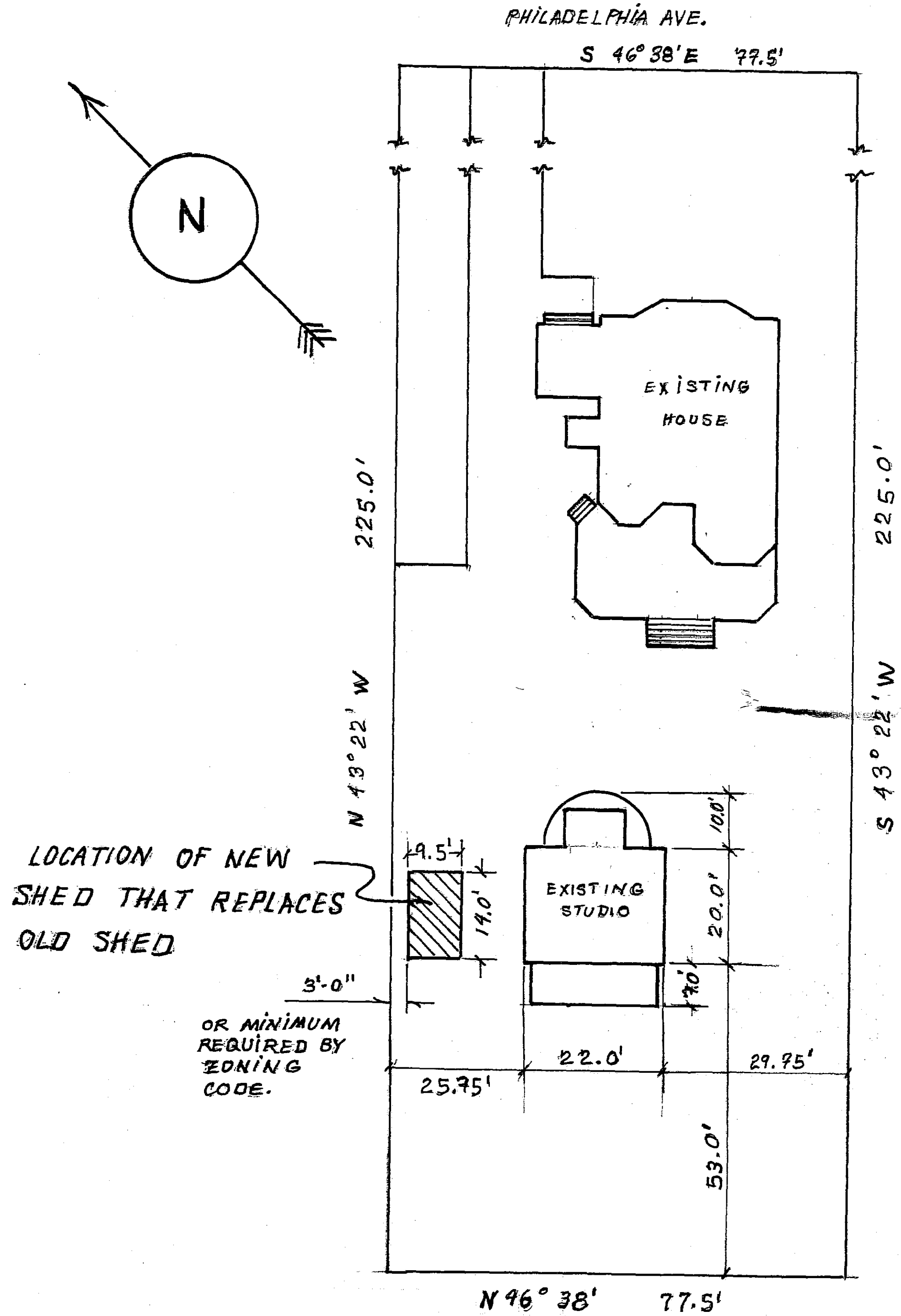
Yours sincerely,

Ilona Blanchard  
Community Development Coordinator

R. SKAFSGAARD  
M. LOWERY  
SHED

612 PHILADELPHIA AVE.  
TAKOMA PARK, MD.

DRAWN: S DAVIS	SHEET
SCALE:	
DATE: AUG. 6, 2008	



LOCATION OF NEW SHED THAT REPLACES OLD SHED

\* ALL WINDOWS AND DOORS WILL BE FABRICATED FROM WOOD.

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 9/17/08

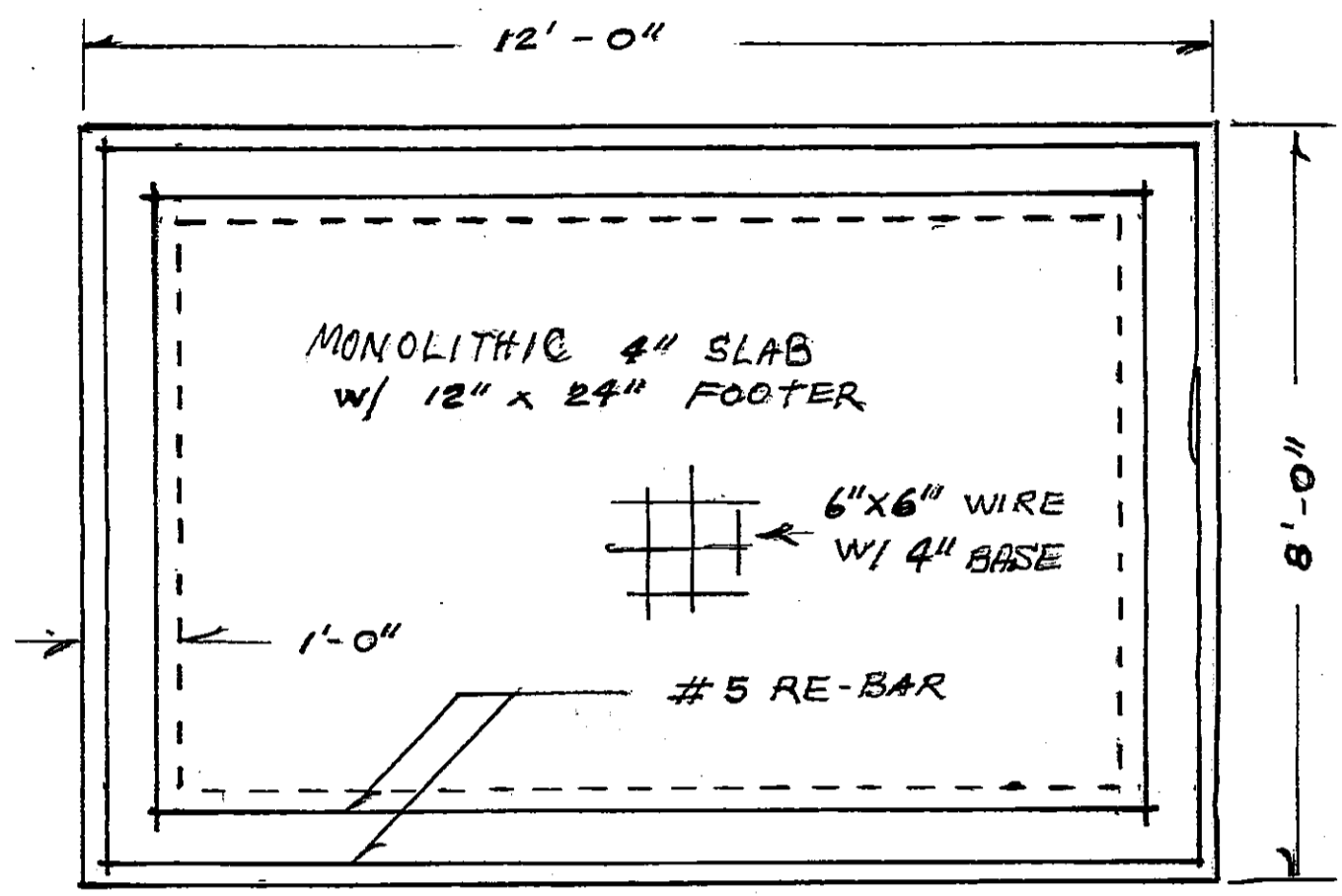
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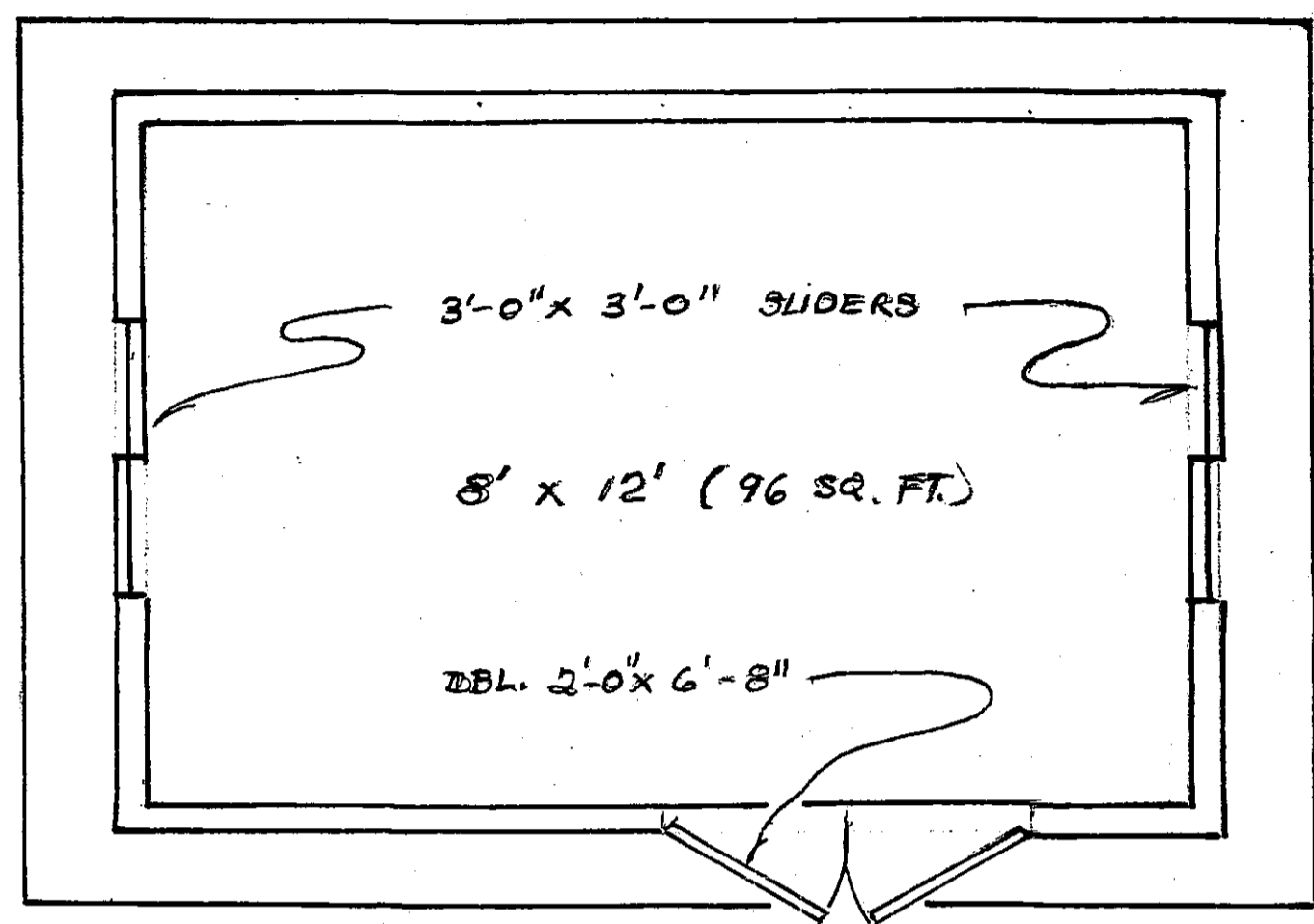
SITE PLAN

DRAWN : S. DAVIS	SHEET
SCALE : 1" = 15'-0"	
DATE : AUG. 6, 2008	1

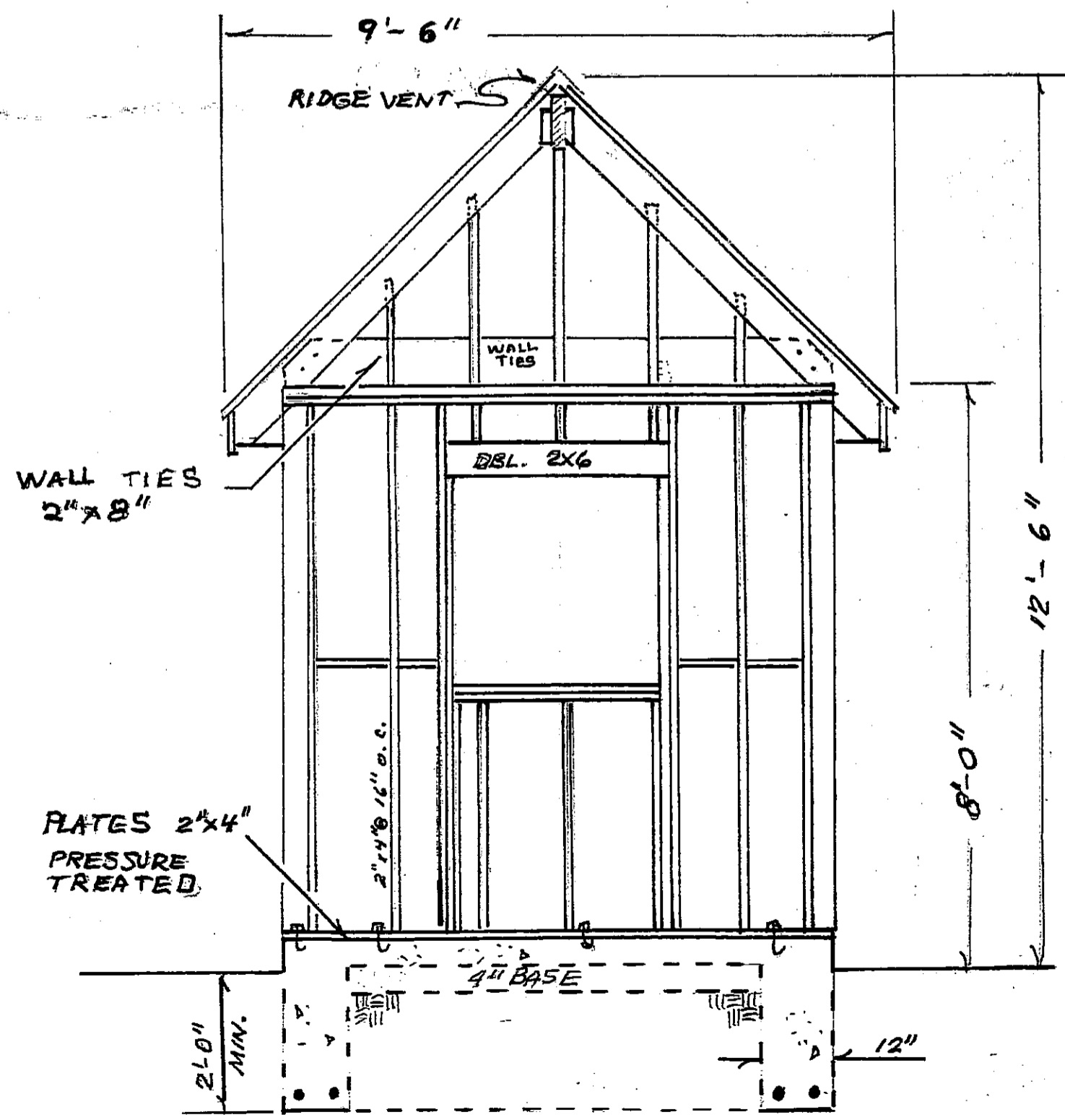
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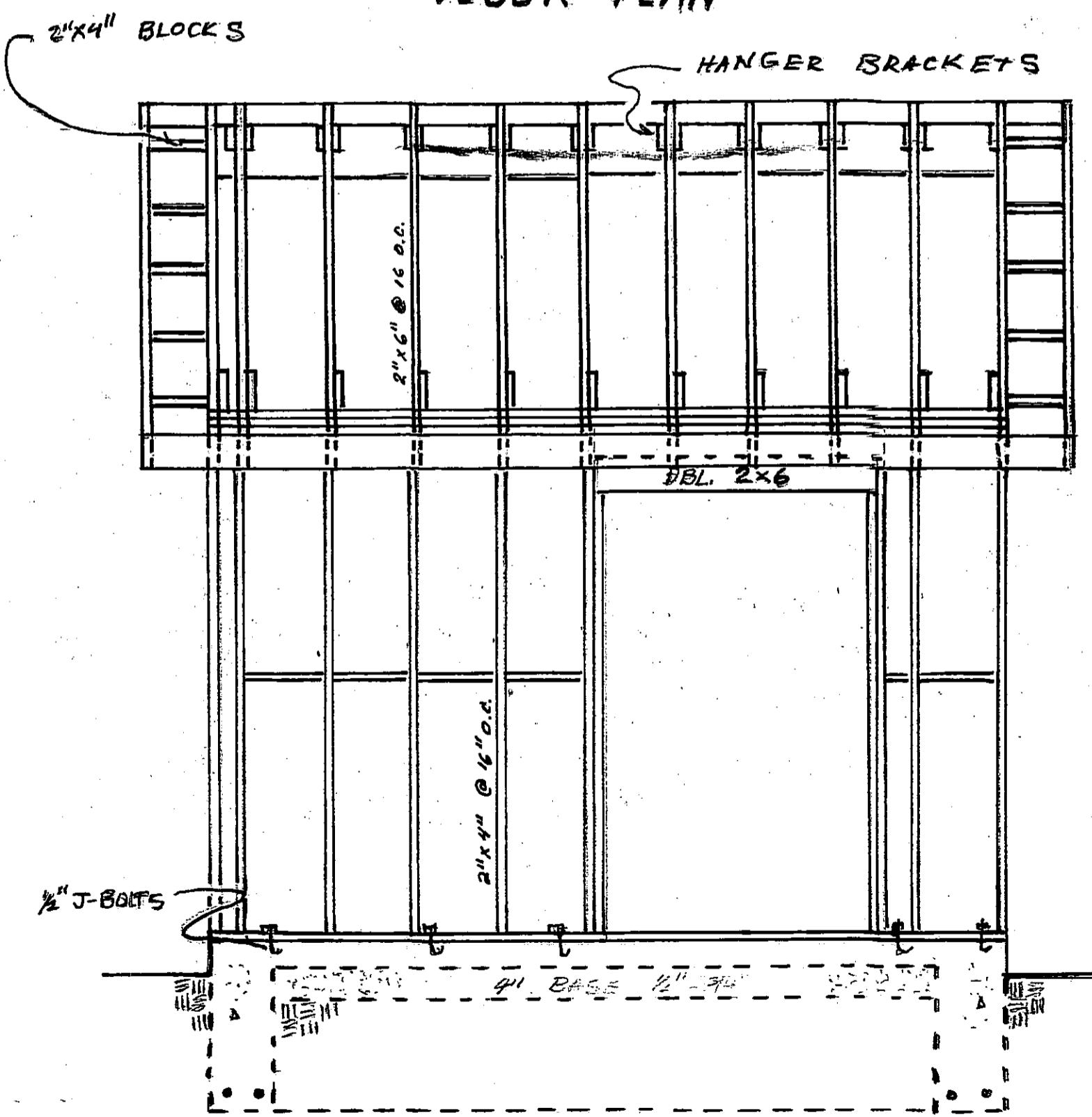
FOUNDATION PLAN



FLOOR PLAN



EAST & WEST FRAMING ELEV.



SOUTH FRAMING ELEV.

**FOUNDATION:** FOUNDATION IS MONOLITHIC SLAB W/ 12" FOOTERS THAT ARE 24" DEEP MIN. THE FOOTERS HAVE DBL. #5 RE-BAR. CONCRETE IS 3000 PSI WITH 6"x6" WIRE REINFORCING. THE BASE IS 1/2"-3/4" PACKED ROCK BASE W/ 6 MIL PLASTIC VAPOR BARRIER.

**FLOOR PLAN:** SINGLE ROOM 96 SQ. FT. TWO WINDOWS, 3'-0" x 3'-0". DOOR WAY IS 4'-0" x 6'-8" WITH DBL. 2'-0" x 6'-8"

**FRAMING:** WALL PLATES 2"x4" PRESSURE TREATED. 1/2" BOLTED TO SLAB @ 3'-0" TO 4'. WALLS ARE 2"x4" @ 16" O.C. NAILED W/ 16D SINKERS.

**RAFTERS** ARE 2"x6" @ 16" O.C. W/ NAILED W/ 16D, HANGER BRACKETS AND HURRICANE STRAPS.

**SHEATHING** WALLS AND SOFFITS 1/2" CDX. ROOF SHEATHING 5/8" CDX BOTH NAILED W/ 8D 4 TO 6 ALONG EDGE 8 TO 10 IN FIELD.

**WALL-RAFTER TIES** ARE 2"x8" NAILED W/ 16D SINKERS.

R. SKAFSGAARD  
&  
M. LOWERY  
SHED

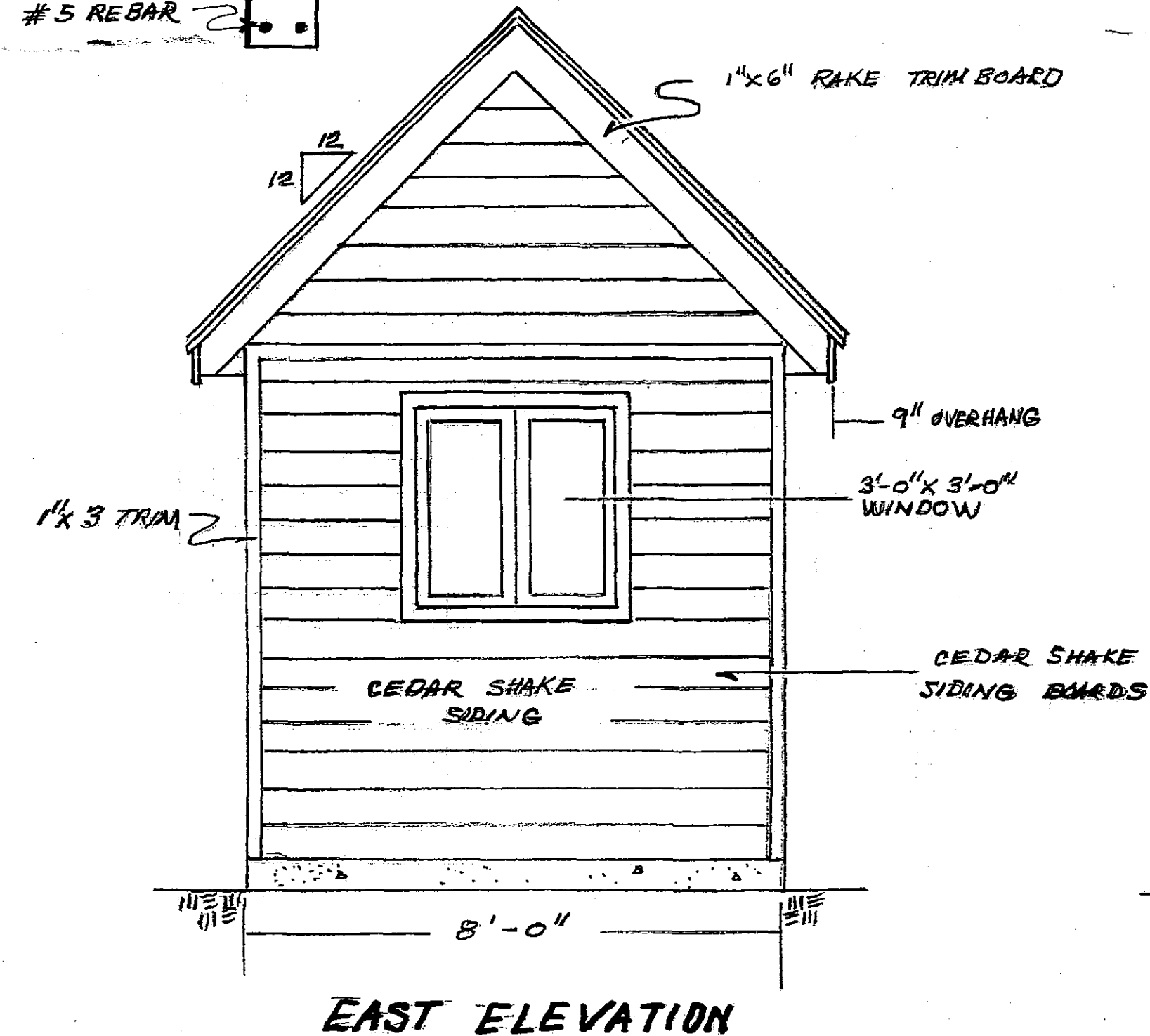
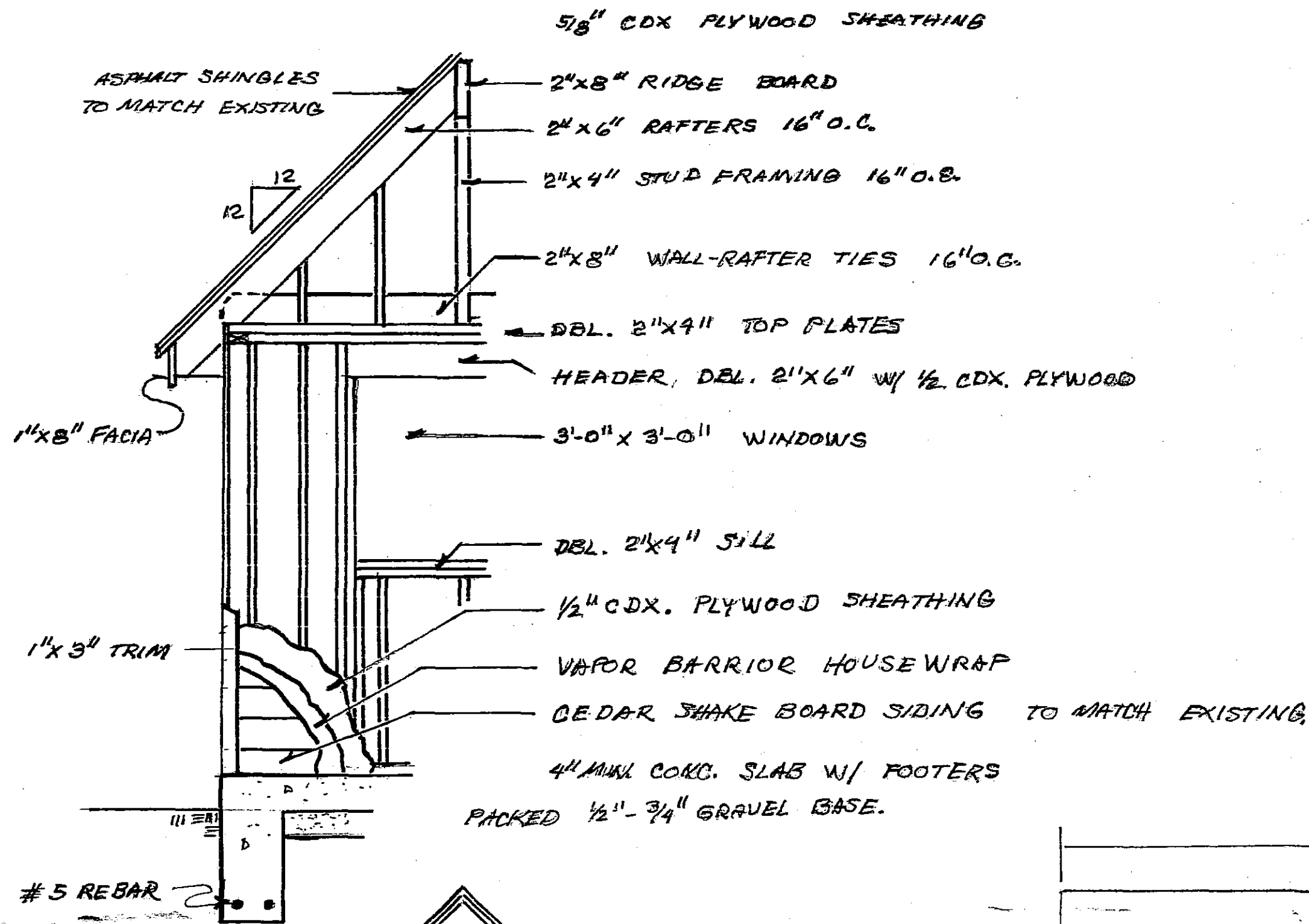
612 PHILADELPHIA AVE.  
TAKOMA PARK, M.D.

FOUNDATION & FLOOR PLANS  
EAST, WEST, SOUTH FRAMING ELEV.

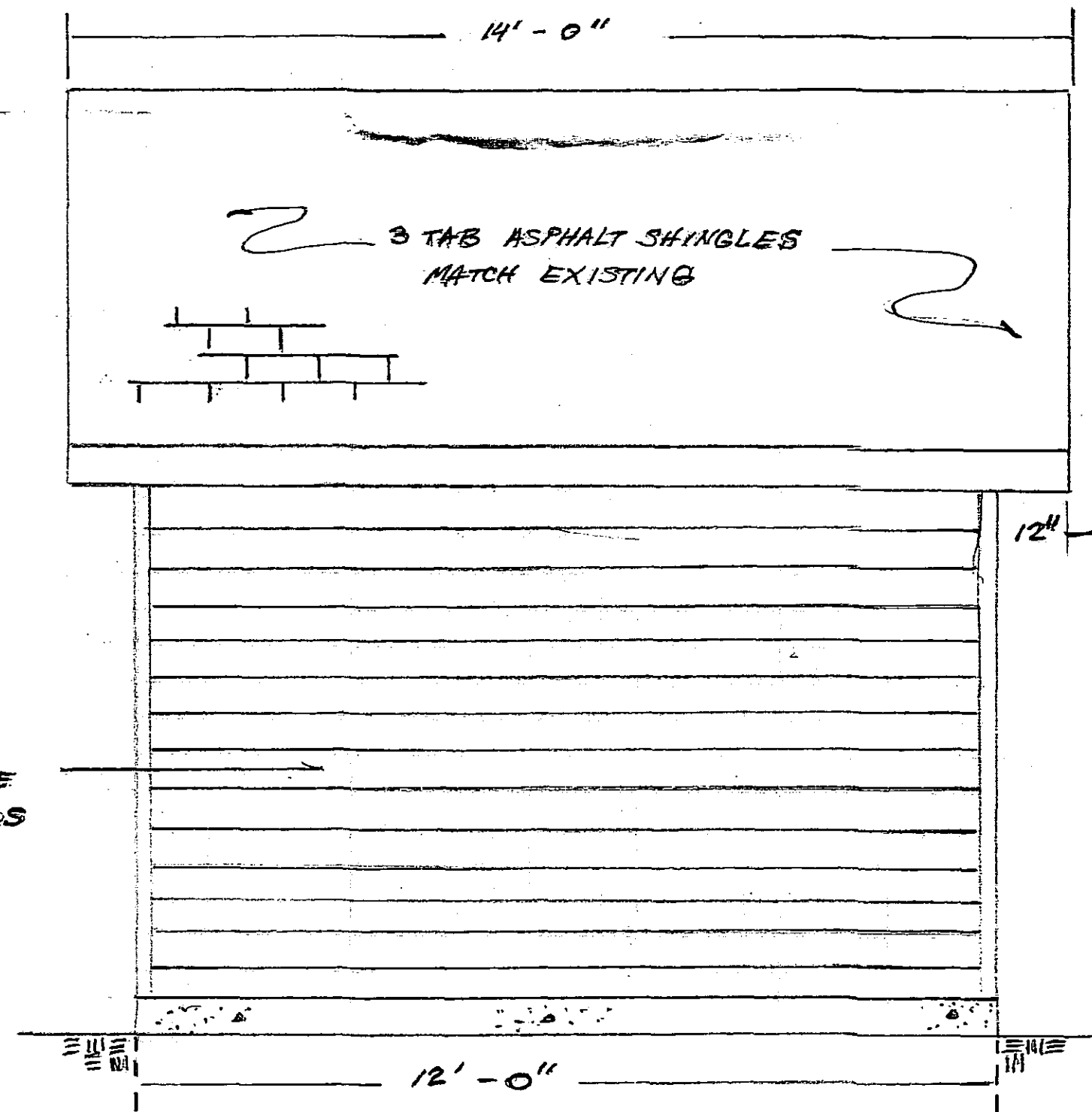
DRAWN: S. DAVIS  
SCALE: 1/2" = 1'-0"  
DATE: AUG. 6, 2008

SHEET  
2

APPROVED  
Montgomery County  
Historic Preservation Commission  
[Signature]



**EAST ELEVATION**



**NORTH ELEVATION**

**FOUNDATION:** 4" CONC. SLAB  
POURED WITH  
12" WIDE FOOTERS 24" DEEP  
MIN. W/ DBL. #5 RE-BAR.  
3000 PSI CONC. OVER 4"  
BASE OF 1/2" TO 3/4" PACKED  
GRAVEL. 6 MIL PLASTIC VAPOR  
BARRIER AND 6"x6" WIRE MESH.

**FRAMING:** 2"x4" STUDS 16" O.C.  
WALL PLATES PRESSURE TREATED  
1/2" BOLTED TO SLAB @ 3' TO 4'.  
DBL TOP PLATES. WALL FRAMING  
IS NAILED W/ 16 D SINKERS.

**RAFTERS** ARE 2"x6" W/ HNGR  
BRACKETS, HURRICANE STRAPS  
AND NAILED W/ 16 D. 16" O.C..

**WALL RAFTER TIES** ARE  
2"x8" @ 16" O.C..

**SHEATHING** 1/2" CDX FOR WALLS  
AND SOFFETS. 5/8" CDX PLYWOOD  
FOR ROOF. BOTH NAILED W/  
BD 4 TO 6 ALONG EDGES  
AND 8 TO 10 IN FIELD.

**SIDING** IS CEDAR SHAKE  
BOARDS NAILED W/ BD GALV.  
AS MANUFACTURER'S SPECS.

**ROOF COVERING** IS 3 TAB  
ASPHALT SHINGLES OVER  
30LB FELT

**WINDOWS** ARE 3'-0"x3'-0"  
WOOD SLIDERS.

**WOOD DOOR** IS DBL. 2'-0"x6'-8"  
HINGED OUTWARD.

**R. SKAFSGAARD  
&  
M. LOWERY  
SHED**

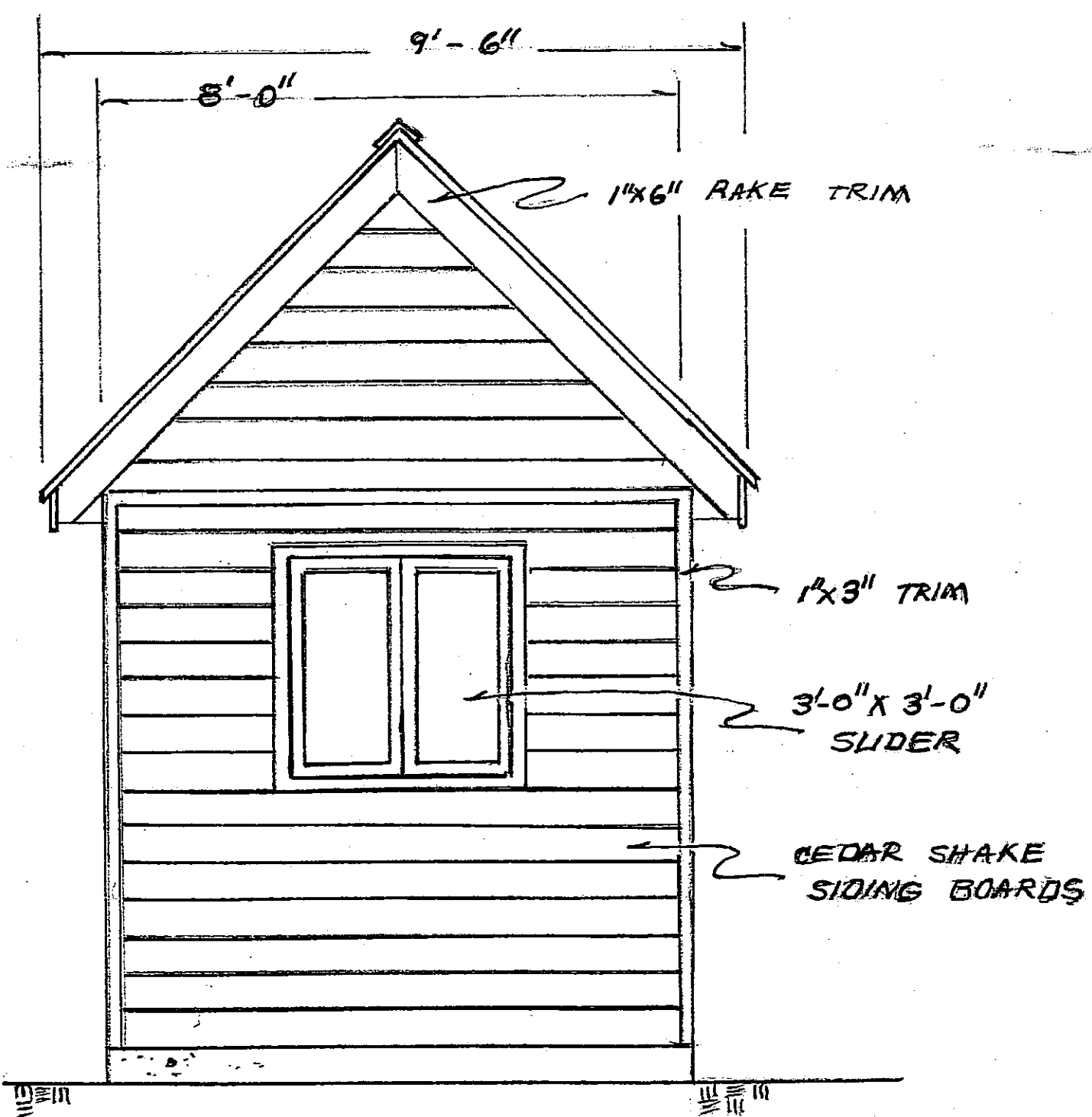
612 PHILADELPHIA AVE.  
TAKOMA PARK, MD.

WALL SECTION,  
EAST & NORTH ELEVATION

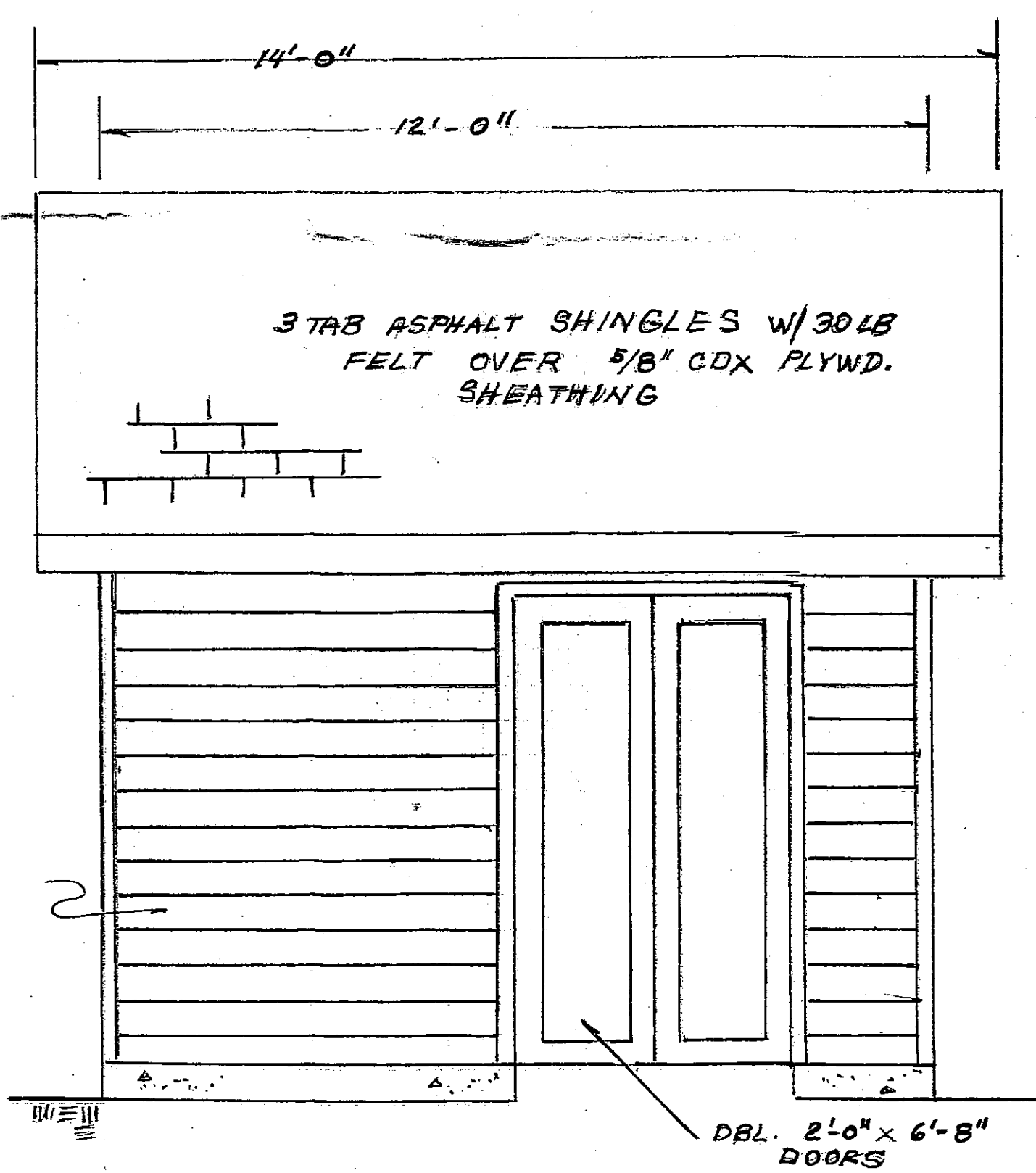
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 8/17/08

DRAWN: S. DAVIS  
SCALE: 1/2" = 1'-0"  
DATE: AUG. 6, 2008

SHEET  
**3**



WEST ELEVATION



SOUTH ELEVATION

**SHEATHING:** WALL SHEATHING  
 1/2" CDX PLYWD, ROOF SHEATHING  
 5/8" CDX PLYWD. NAILED W/ 8 D 4 TO 6 ALONG EDGE AND 9 TO 10 IN FIELD.

**WALL SIDING:** CEDAR SHAKE BOARDS  
 NAILED W/ 8 D GALV. OVER 1/2" CDX PLYWD COVERED IN HOUSE WRAP.

**ROOFING:** 3 TAB ASPHALT SHINGLES NAILED W/ 1 1/2" GALV. AS MANUFACTURERS SPECS. SHINGLES OVER 30 LB. FELT PAPER.

**WOOD DOOR:** DBL. 2'-0" x 6'-8", HINGED TO SWING OUTWARD. 3 HINGES / DOOR

**WINDOWS:** 3'-0" x 3'-0" WOOD SLIDERS.

**TRIM:** CORNER TRIM IS DBL. 1" x 3". RAKE TRIM IS 1" x 6". FACIA TRIM IS 1" x 8"

**SOFFITS:** 1/2" PLYWOOD, VENTED.

**GABLE OH:** 1/2" PLYWOOD.

R. SKAFSGAARD  
 &  
 M. LOWERY  
 SHED  
  
 612 PHILADELPHIA AVE  
 TAKOMA PARK, MD.

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*

DRAWN: S. DAVIS	SHEET
SCALE: 1/2" = 1'-0"	4
DATE: AUG. 6, 2008	

subject: Si Ou



IMG\_8913.JPG

8/24/2008



Subject: shed



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8/24/2008

stop at near photos



IMG\_8909.JPG

8/24/2008

012 Philadelphia  
TB

# City of Takoma Park, Maryland



Office of the City Arborist  
Public Works Department  
31 Oswego Avenue  
Silver Spring, Maryland 20910  
Tel: (301) 891-7612

## Tree Protection Plan Agreement

PERMIT FEE: \$25.00

DATE: 8/12/08

### Contents:

- Section I: Property Owner and Contractor Information
- Section II: Tree Protection Plan Requirements
- Section III: Requirements, Restrictions and Penalties for Non-Compliance
- Section IV: Signatures of Property Owner, General Contractor and Arborist
- Section V: Takoma Park Inspection Sheet
- Bibliography/References
- Definitions
- Appendix