

35/108-04

35/13-04V 7202 Connecticut Ave
Chevy Chase Historic District




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: July 19, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator 
Historic Preservation

SUBJECT: Historic Area Work Permit # (not noted on application)

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED WITH THE FOLLOWING CONDITION:**

1. A tree protection plan will be provided to staff, and tree protection measures will be in place prior to pool construction.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Tom Koutsoumpas

Address: 7202 Connecticut Avenue, Chevy Chase, MD 20815

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Andrew Kaupert
Daytime Phone No.: 240 447 5615

Tax Account No.: 00464150
Name of Property Owner: TOM Koutsoumpas Daytime Phone No.:
Address: 7202 Connecticut Ave Chevy Chase MD 20815
Street Number City State Zip Code
Contractor: Town and Country Pools, Inc Phone No.: 703 451-6660
Contractor Registration No.:
Agent for Owner: Andrew Kaupert Daytime Phone No.: 240 447 5615

LOCATION OF BUILDING/PREMISE

House Number: 7202 Connecticut Avenue Street:
Town/City: Chevy Chase Nearest Cross Street: East West Highway
Lot: 2 Block: 4 Subdivision: Chevy Chase section 4
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: in-ground pool
1B. Construction cost estimate: \$ 50,000
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 0 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Andrew Kaupert 5/21/04
Signature of owner or authorized agent Date


Approved: ✓ w/one condition For Chairperson, Historic Preservation Commission
Disapproved: Signature: Julia O'Malley AF Date: 7-19-04
Application/Permit No.: Date Filed: Date Issued:

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

 in-ground concrete (gunite) swimming pool and concrete deck (exposed aggregate) on existing level ground. Pool filter and heater, min. 5' from property line. 6' High black ornamental aluminum fence from house to side prop. line. 6' High flatboard privacy fence (natural wood color) on side and rear property lines. Poolhouse structures will be submitted for separately when decided upon.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Pool level with existing topography. No change to existing topography is proposed. Pool equipment will be screened from view with fence and landscaping.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

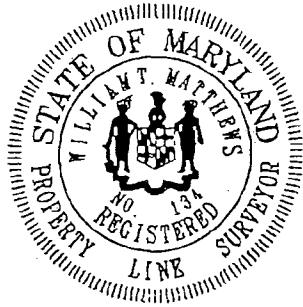
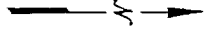
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

106301

Lot Number: 2
Block/Section: 4
Plat Reference: Book: 2 Page: 104
Title of Plat: Chevy Chase, Section 4



Location Drawing

Scale: 1" = 30'

This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, dwellings or other existing or future improvements nor does this plat purport to reflect setbacks or other distances with any specific level of accuracy. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing. The approximate location of the dwelling is shown in relation to the apparent property lines for the property known as

7202 Connecticut Avenue
Montgomery County, Maryland

William T. Matthews 5/16/03

Ruxton Design Corporation

8422 Bellona Lane
Suite 300

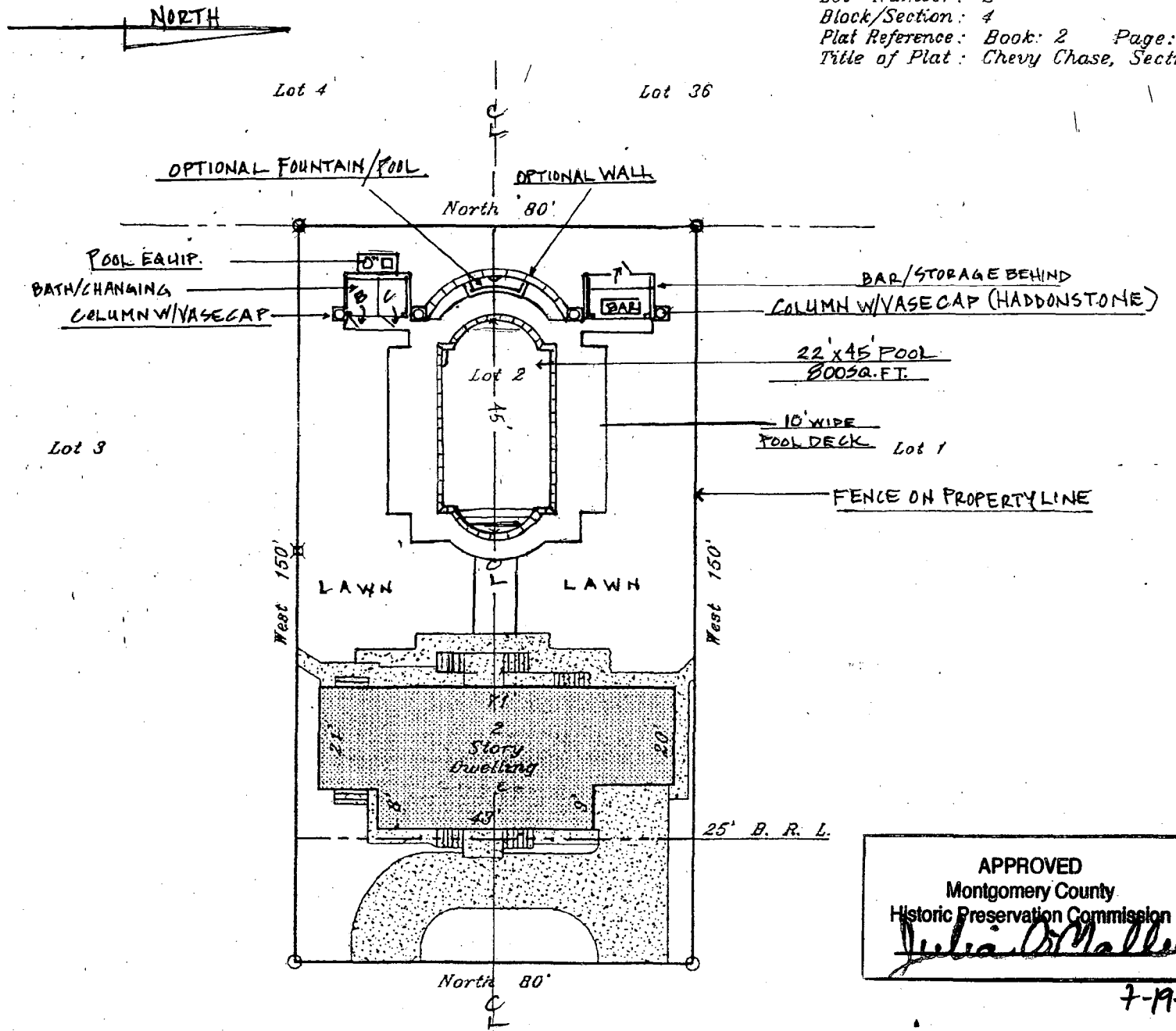
Towson, Maryland 21204

410-823-5000
410-823-0115 fax

rdc@ruxtondesign.com

www.ruxtondesign.com

E03-1272



APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Malley

7-19-04

CONNECTICUT AVENUE

Dwelling lies in Flood Zone
C



07/12/04

Town and Country Pools
Attn. Andy Kulpert
7540 Fullerton Ct.
Springfield, Va. 22153
Ref: Koutsoumpas project
7202 Connecticut Ave,
Chevy Chase, Md.

Dear Andy,

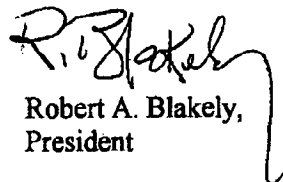
This letter comes in response to your request for information relative to the preservation of trees at the above referenced property in preparation for the upcoming pool construction.

The primary focus of our company, as you know, is that of tree preservation. Our team of arborists will work with you and the homeowner to provide the necessary protection to the existing trees and thereby minimize any stress which might be encountered from construction. Our procedures for protecting these trees will adhere to ANSI 300 standards and draw from over twenty seven years of corporate experience. Our foreman assigned to this project is an arborist that has been certified by the International Society of Arboriculture and will execute root pruning where needed and provide detailed guidelines and assistance in the construction of fencing to protect against soil compaction and mechanical damage as well as pre and/or post construction root inoculations to compensate for subsurface related stress.

Please inform our office of your construction timeline so that we can coordinate the installation of the necessary protective elements before any construction begins.

We look forward to working with you on this project. Please let us know if you have any questions or need additional information.

Sincerely,


Robert A. Blakely,
President

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7202 Connecticut Ave., Chevy Chase **Meeting Date:** 07/14/04
Applicant: Tom Koutsoumpas **Report Date:** 07/07/04
Resource: *Master Plan Site # 35/108* **Public Notice:** 06/30/04
Frank Lopuzone House
Review: HAWP **Tax Credit:** None
Case Number: 35/108-04A **Staff:** Anne Fothergill

PROPOSAL: Pool and fence installation

RECOMMEND: Approval with condition

STAFF RECOMMENDATION

Staff recommends that the Commission approve the HAWP application with the condition that:

1. A tree protection plan will be provided to staff, and tree protection measures will be undertaken during pool construction.

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan Site # 35/108 Frank Lopuzone House*
STYLE: Italian Renaissance Revival
DATE: 1925

This is one the three Lozupone houses that sit in a row on the west side of Connecticut Avenue between Underwood and Thornapple Streets. The houses were built by the Lozupone brothers, Stephano, Constantino, and Frank, highly skilled ornamental plasterers who emigrated from Italy in the early 1900s. The Lopuzone family provided ornamental plaster work for Union Station, the Capitol, and many other public and private buildings in the Washington area over several decades.

These three houses are outstanding examples of the Italian Renaissance Revival style. Constructed of concrete and stucco, the three flat roofed two-story three bay houses are similar in design but each has distinguishing features. 7202 is the middle house in the row and it has an end wall porch at the south wall elevation with a balustraded roof.

PROPOSAL

The applicant is proposing installation of a pool in the backyard and a fence around the pool. The proposed pool is an in-ground concrete (gunite) swimming pool with a concrete deck (exposed aggregate). The fence is a 6' high black ornamental aluminum fence from the house to the side property line. Along the side and rear property lines will be a 6' high flatboard privacy fence. No trees will be removed. The applicant will return to the HPC at a later date for review of a separate pool house and possible fountain and wall.

STAFF DISCUSSION

Staff used the Secretary of the Interior's *Standards for Rehabilitation* as a guide, specifically:

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided;

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed pool and fencing would be located behind the historic resource and in a site where trees would not need to be removed.

Staff is recommending the standard condition that a tree protection plan be submitted and tree protection measures be undertaken during construction to protect the 36" maple located along the right side property line.

The proposal would not have an adverse effect on the historic resource. Staff recommends approval with the one condition.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with the condition listed at the beginning of this report** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation* #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

8/10/16 TRUC 12153410 4/20/2017



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255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Andrew Kaupert
Signature of owner or authorized agent

5/21/04
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

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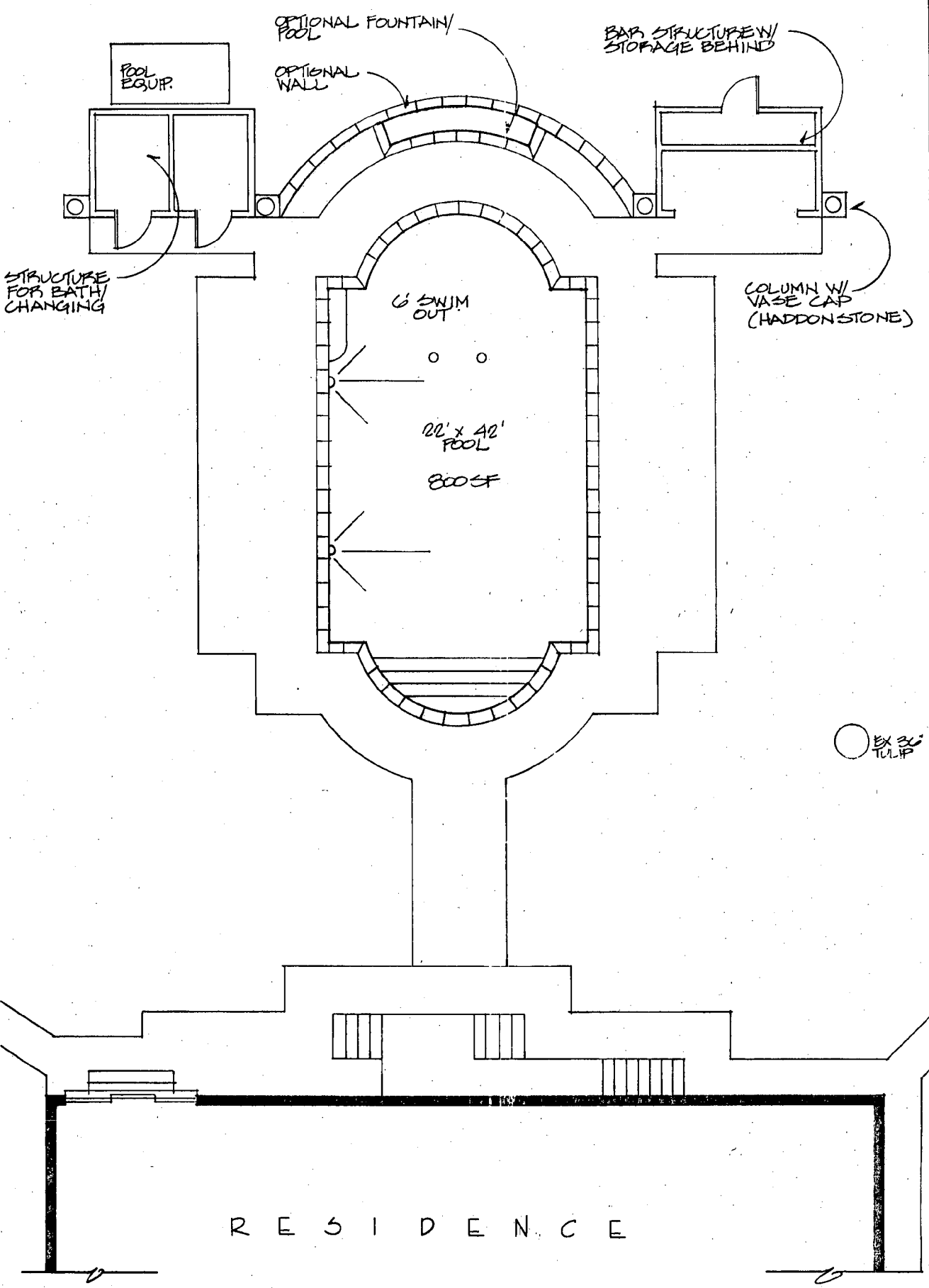
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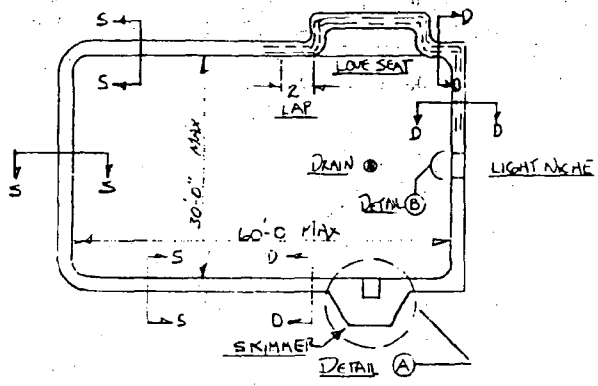
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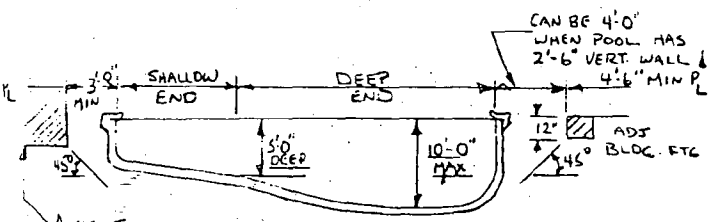
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PLAN



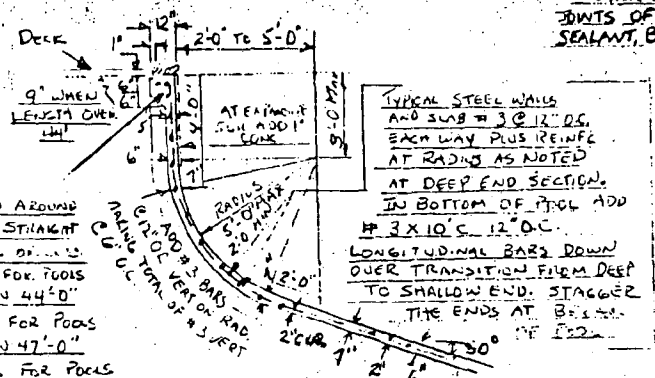
SECTION

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE
2. CONCRETE SHALL BE PNEUMATICALLY PLACED GRADE 3" 3500 PSI STRENGTH AT 28 DAYS AND PROPORTIONED 1 PART CEMENT TO 4 1/2 PARTS SAND WITH MAXIMUM 3 GAL WATER PER SACK OF CEMENT OR SHALL BE MACHINE MIXED GRADE "C" 3500 PSI STRENGTH AT 28 DAYS WITH 3% WITH 7 1/2 GAL WATER MAXIMUM PER SACK 3/4 GRAVEL OR 1:2:3 PEA GRAVEL MIX
3. REINFORCE STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A15-58T AND A 30S-58T LAP ALL BARS 40 DIAMETERS MINIMUM
4. CONCRETE SHALL BE PLACED AGAINST NATURAL SOIL (3000 PSI) OR BUILDING DEPT APPROVED 90% COMPACTED FILL, STANDARD POOL DESIGNED FOR 2'-6" FILL ABOVE NATURAL GRADE OR COMPACTED FILL LINE
5. PLUMBING FILTERING SYSTEM UNDER SEPARATE SPECIFICATIONS
6. OWNER SHALL INSTALL ADEQUATE FENCE OR OTHER APPROVED BARRIER BY BUILDING DEPT
7. NO DAY WELLS TO BE LOCATED IN GRADING AREA

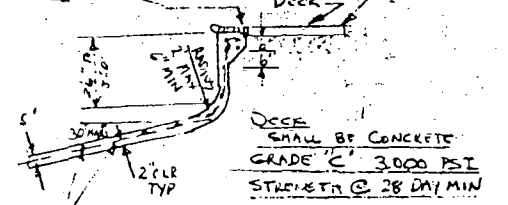
- 4 #4 BARS MIN AROUND POOL WHERE STRAIGHT WALLS 40' LONG OR LESS
- 5 #4 BARS FOR POOLS 40'-1" THRU 44'-0"
- 6 #4 BARS FOR POOLS 44'-1" THRU 47'-0"
- 7 #4 BARS FOR POOLS 47'-1" THRU 50'-0"
- 9 #4 BARS FOR POOLS 50'-1" THRU 60'-0"

NOTE THIS SECTION CAN BE USED FOR DEEP END RAMPS UP TO 5' IN DEPTH USE 5 #4 BOND BEAM BARS FEAT END BARS 3' LENGTH SIDE OF RAMP

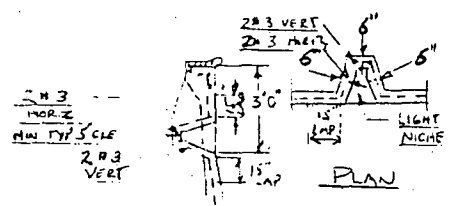


SECTION D-D
TYPICAL SECTION
DEEP END
1/4" - 1'-0"

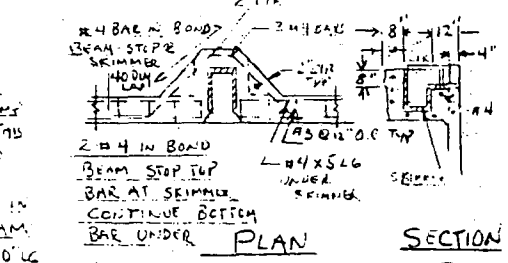
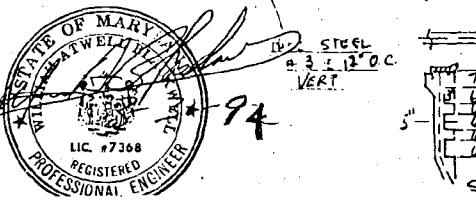
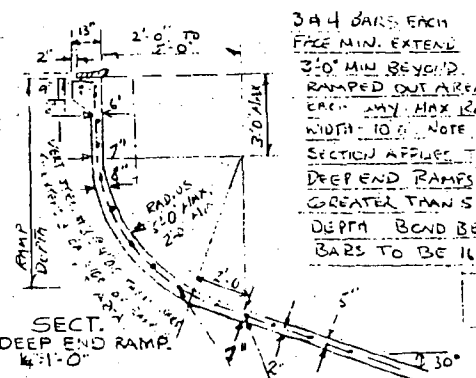
OWNER SHALL MAINTAIN ALL JOINTS OF WATER TIGHT MASTIC OR SEALANT, BUILDING DEPT APPROVED. SLOPE DECK AWAY FROM POOL TO PROVIDE ADEQUATE DRAINAGE 1/4" PER FT MIN



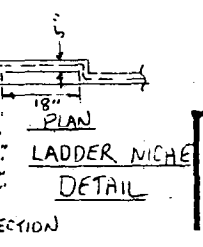
SECTION S-S
SHALLOW END
1/4" - 1'-0"



SECTION
DETAIL B FOR LIGHT NICHE

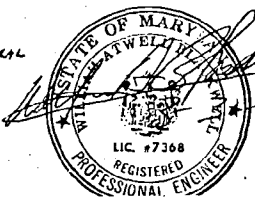


NOTE ALL OTHER DETAILS SIMILAR TO SEC D-D
DETAIL A SKIMMER BOX



LADDER NICHE
DETAIL

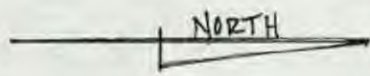
TOWN & COUNTRY POOLS INC.
1540 FULLERTON CT.
SPRINGFIELD, VA. 22153



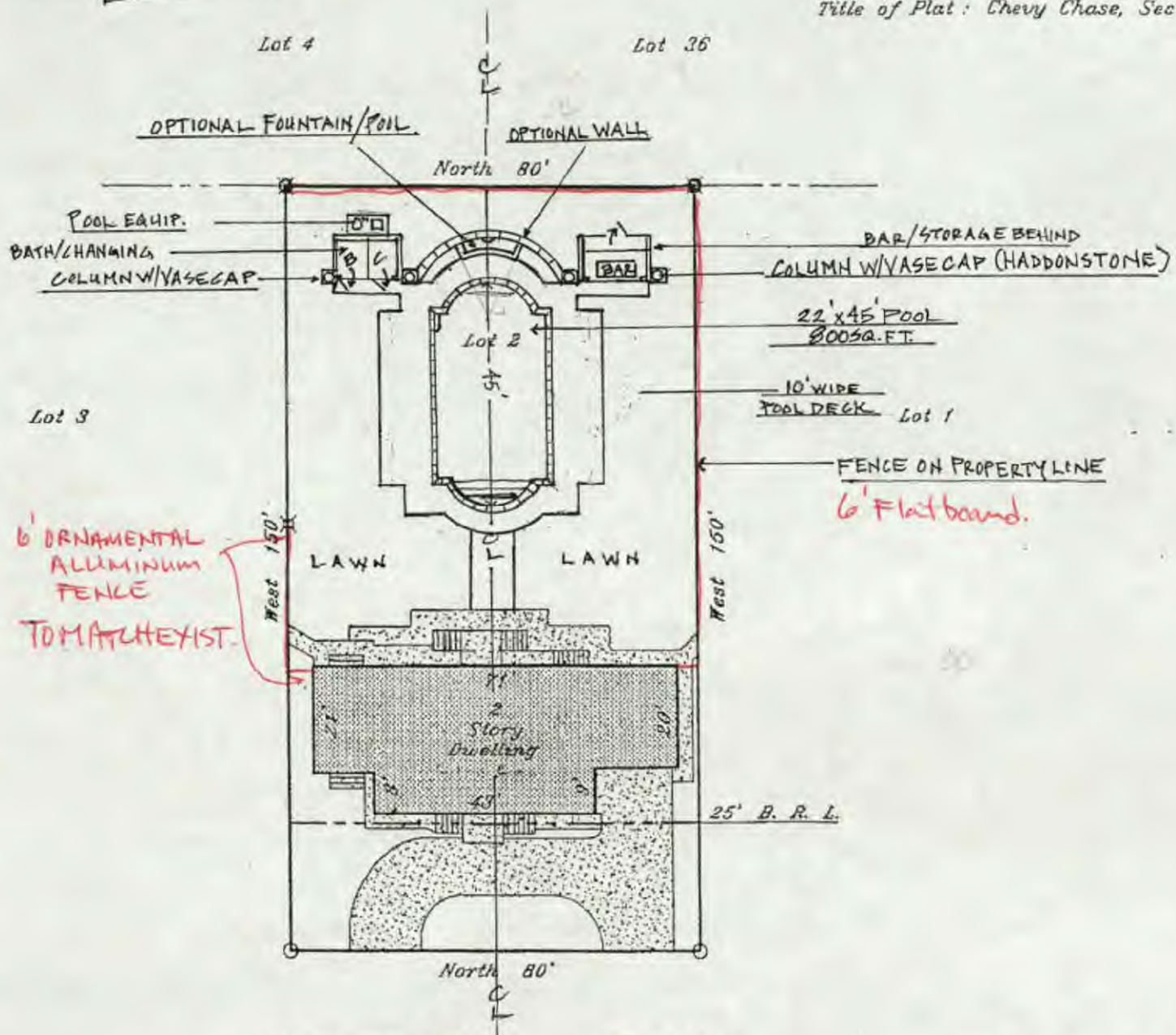




Lot Number: 2
 Block/Section: 1
 Plat Reference: Book: 2 Page: 104
 Title of Plat: Chevy Chase, Section 4



Handwritten: 15' x 45' + 65' x 80' = 250'



Handwritten in red: 6' ORNAMENTAL ALUMINUM FENCE TO MATCH EXIST.

Vertical text on the left side: Insofar as it is or its agent or refinancing, not or location - existing or not to reflect accuracy. This certification of not be required or refinancing, in relation by known as

d

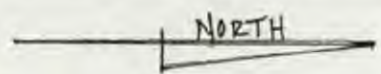
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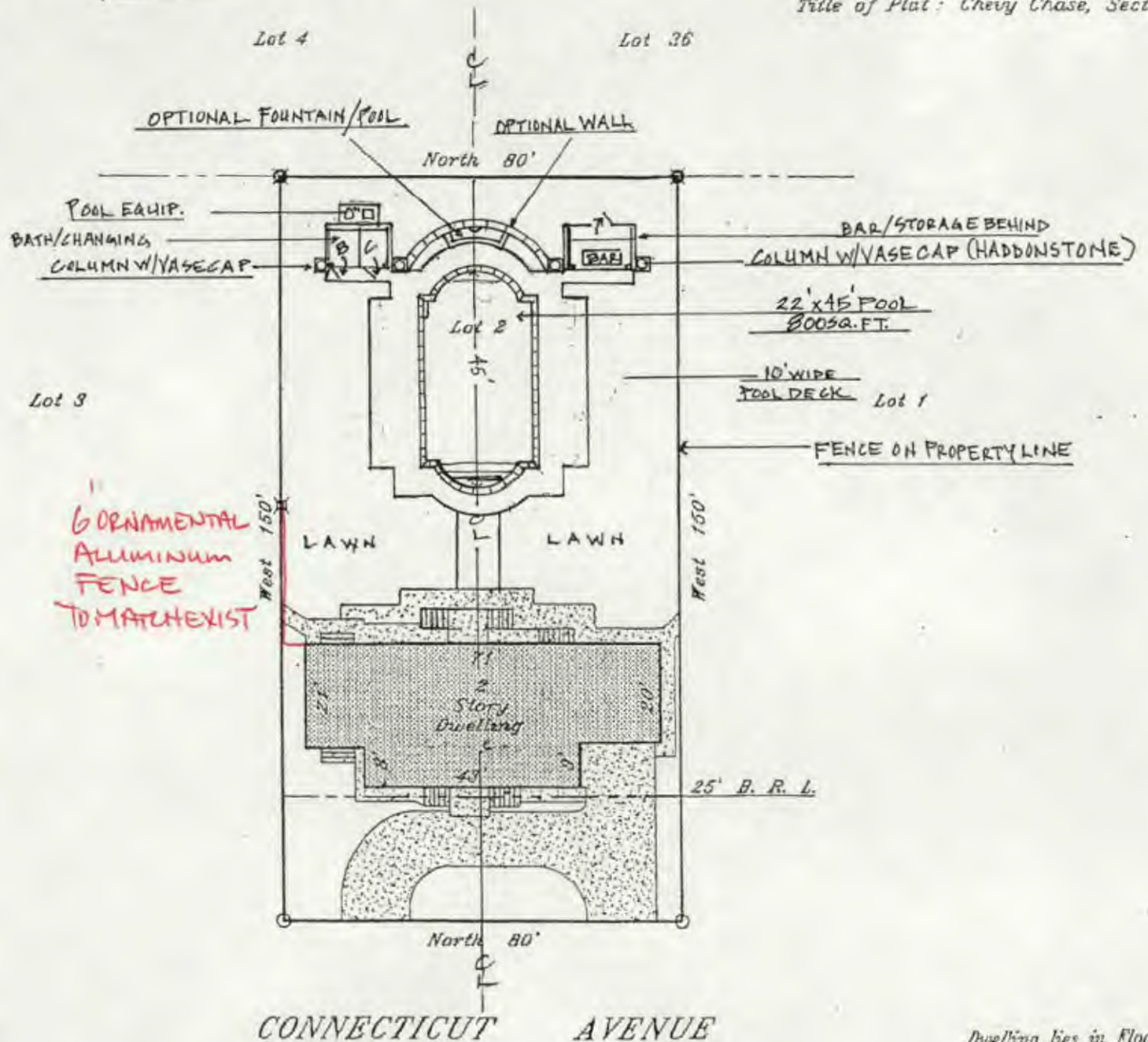
CONNECTICUT AVENUE

Dwelling lies in Flood Zone C

Lot Number: 2
 Block/Section: 4
 Plat Reference: Book: 2 Page: 104
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MS 15' x 15' x 80'
 515
 515
 515



6 ORNAMENTAL
 ALUMINUM
 FENCE
 TO MATCH EXIST

far as it is
 or its agent
 or refinancing,
 nt or location
 - existing or
 rt to reflect
 accuracy. This
 ification of
 et be required
 r refinancing,
 n in relation
 y known as

5/16/03

tion

Dwelling lies in Flood Zone C



↑ VIEW FROM LEFT REAR OF PROPERTY FACING THE REAR OF THE RESIDENCE.



↑ VIEW FROM RIGHT REAR OF PROPERTY FACING THE REAR OF THE RESIDENCE.



A VIEW FROM LEFT REAR OF RESIDENCE FACING
THE REAR OF THE PROPERTY



VIEW FROM RIGHT REAR OF RESIDENCE
FACING REAR OF PROPERTY.



VIEW FROM SOUTHWEST CORNER OF PROPERTY
FACING NORTHERN PROPERTY LINE



VIEW FROM NORTHERN PROPERTY LINE
FACING REAR OF RESIDENCE AND SOUTHERN
PROPERTY LINE

VIEW FROM LEFT REAR CORNER OF RESIDENCE
FACING THE REAR OF THE PROPERTY (WEST)



VIEW FROM RIGHT REAR CORNER OF PROPERTY
(WEST) FACING THE REAR OF THE RESIDENCE (EAST)

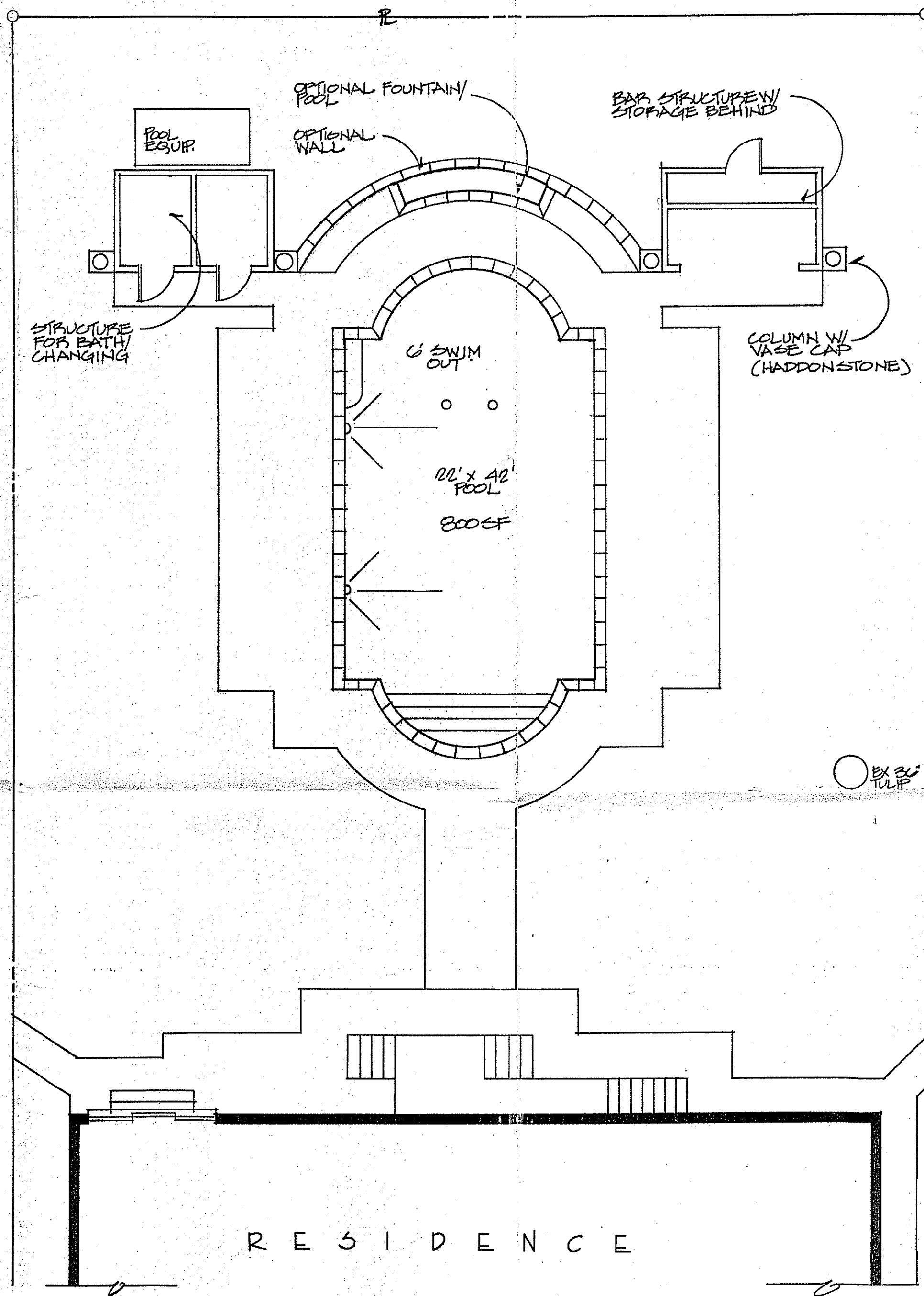




VIEW FROM LEFT REAR CORNER OF RESIDENCE
FACING LEFT (SOUTHERN BORDER) OF PROPERTY.

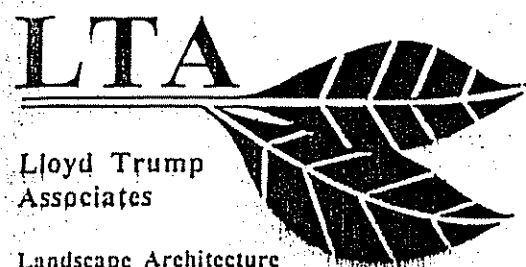


VIEW FROM LEFT REAR CORNER OF RESIDENCE ↗
FACING RIGHT (NORTHERN BORDER) OF PROPERTY
↙ POOL TO BE IN AREA OF TRAMPOLINE.



APPROXIMATE QUANTITIES	
POOL DECK & WALKS	1210 SF±
NOTES: QUANTITIES DO NOT INCLUDE WALKS & HOUSE	
POOL TO BE CENTERED ON PROPERTY NOT ON HOUSE	

SCALE 1/8" = 1'-0"



Lloyd Trump
Associates
Landscape Architecture
& Planning
4406 Sanders Ln. • Catharpin, Virginia 20143 • (703) 754-4679

JUNE 04, 2004

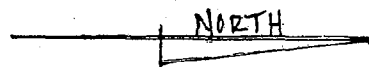
Pool Layout Plan
for

Koutsoumpas Residence

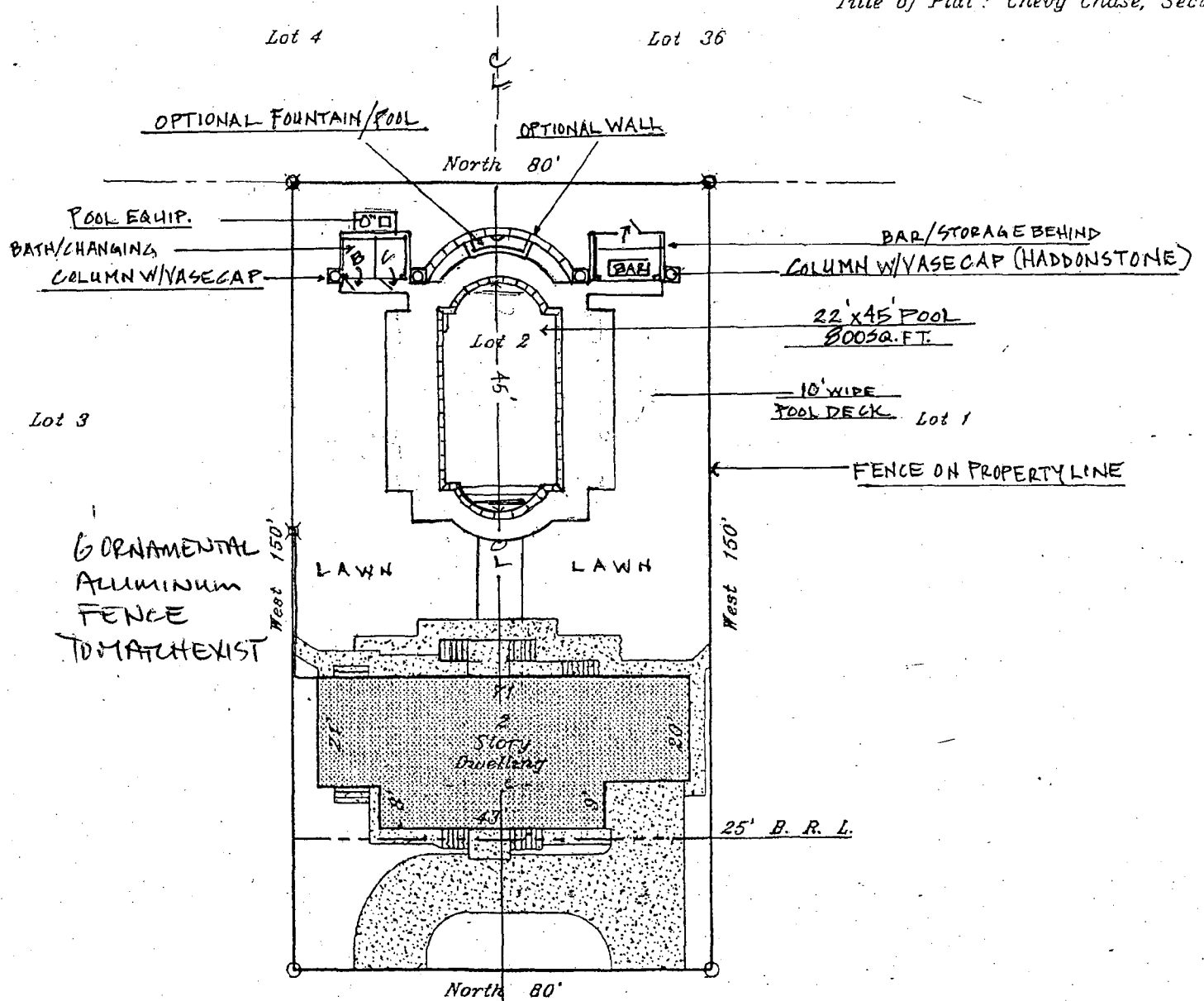
Town & Country Pools, Inc.
7540 Fullerton Court
Springfield, Virginia 22153

Ph. (703) 451-6660
Fax. (703) 451-6696

Lot Number: 2
 Block/Section: 4
 Plat Reference: Book: 2 Page: 104
 Title of Plat: Chevy Chase, Section 4



$45 + 65 + 80 = 190$
 $190 \times 1.25 = 237.5$



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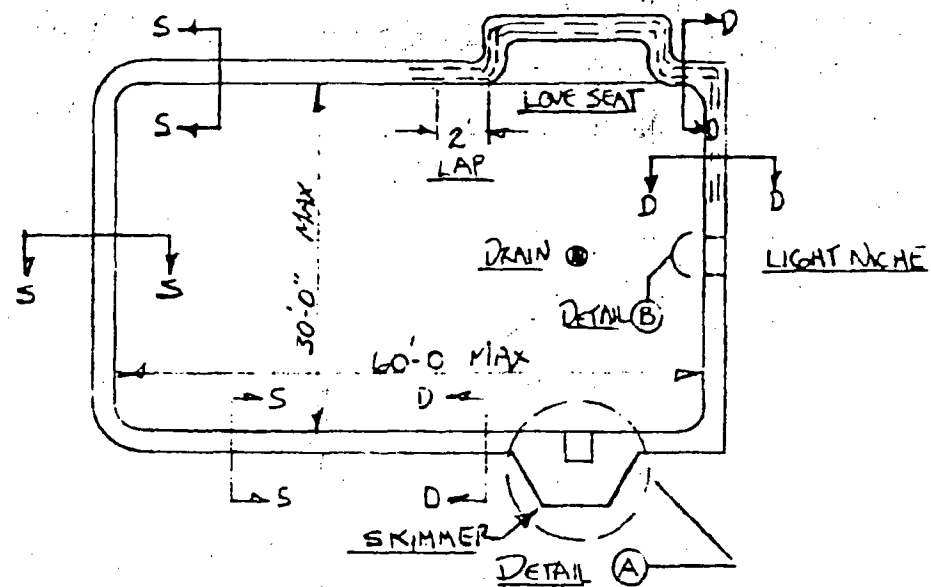
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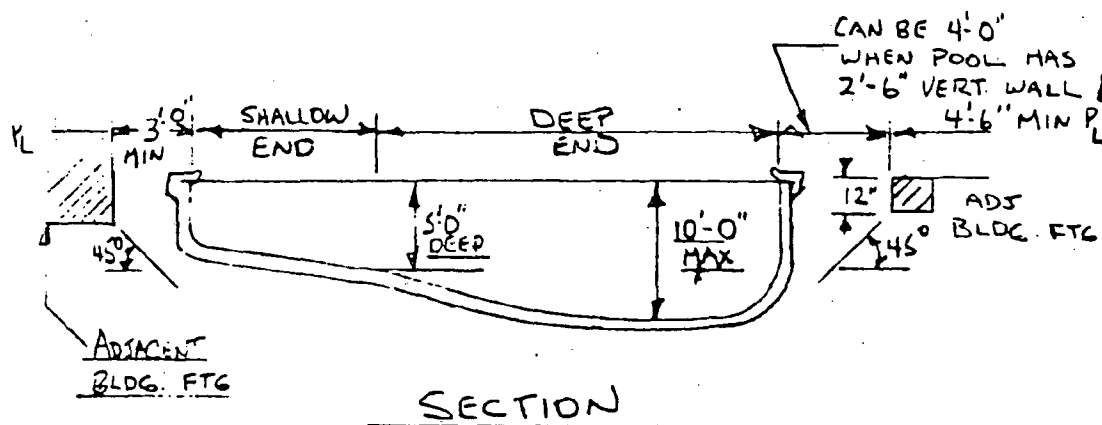
tion

CONNECTICUT AVENUE

Dwelling lies in Flood Zone
 C



PLAN



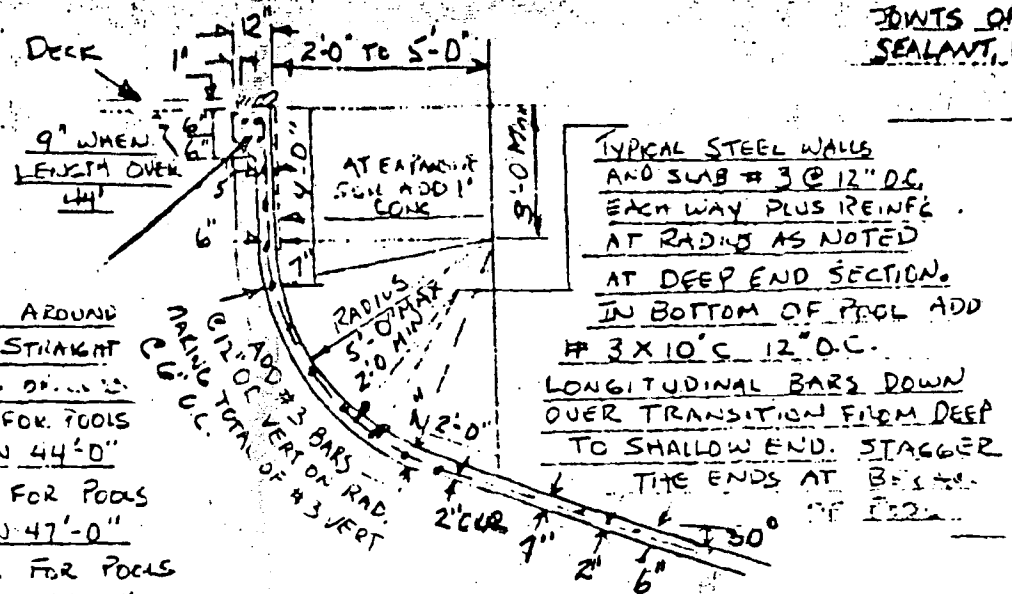
SECTION

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE
 2. CONCRETE SHALL BE PNEUMATICALLY PLACED GRADE "B" 3000 PSI STRENGTH AT 28 DAYS AND PROPORTIONED 1 PART CEMENT TO 4 1/2 PARTS SAND WITH MAXIMUM 3 GAL WATER PER SACK OF CEMENT. OR SHALL BE MACHINE MIXED GRADE "C", 3500 PSI STRENGTH AT 28 DAYS, 1:1 1/2: 3 1/2 WITH 7 1/2 GAL WATER MAXIMUM PER SACK 3/4 GRAVEL OR 1:2:3 FEA GRAVEL MIX
 3. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A15-SBT AND A305-SBT. LAP ALL BARS 40 DIAMETERS MINIMUM.
 4. CONCRETE SHALL BE PLACED AGAINST NATURAL SOIL (2000 PSI) OR BUILDING DEPT APPROVED 90% COMPACTED FILL, STANDARD POOL DESIGNED FOR 2'-6" FILL ABOVE NATURAL GRADE OR COMPACTED FILL LINE
 5. PLUMBING FILTERING SYSTEM UNDER SEPARATE SPECIFICATIONS
 6. OWNER SHALL INSTALL ADEQUATE FENCE OR OTHER APPROVED BARRIER BY BUILDING DEPT
- 1 NO DAY WELLS TO BE LOCATED IN GRADING AREA

- 4 #4 BARS MIN AROUND POOL WHERE STRAIGHT WALLS 40' LONG OR MORE
- 5 #4 BARS FOR POOLS 40'-1" THRU 44'-0"
- 6 #4 BARS FOR POOLS 44'-1" THRU 47'-0"
- 7 #4 BARS FOR POOLS 47'-1" THRU 50'-0"
- 9 #4 BARS FOR POOLS 50'-1" THRU 60'-0"

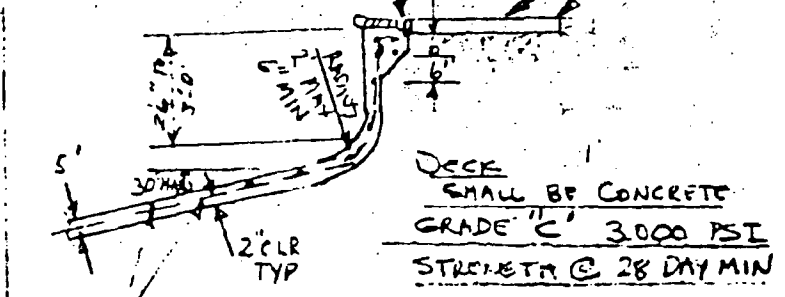
NOTE THIS SECTION CAN BE USED FOR DEEP END RAMPS UP TO 5' IN DEPTH. USE 5 #4 BOND BEAM BARS. EXTEND BARS 3" EACH SIDE OF RAMP.



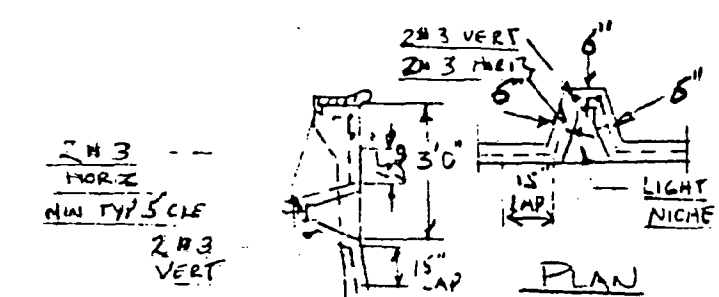
SECTION D-D
TYPICAL SECTION
DEEP END
1/4 - 1'-0"

OWNER SHALL MAINTAIN ALL JOINTS OF WATERTIGHT MASTIC OR SEALANT, BUILDING DEPT APPROVED. EQUAL. SLOPE DECK AWAY FROM POOL TO PROVIDE ADEQUATE DRAINAGE 1/4" PER FT MIN

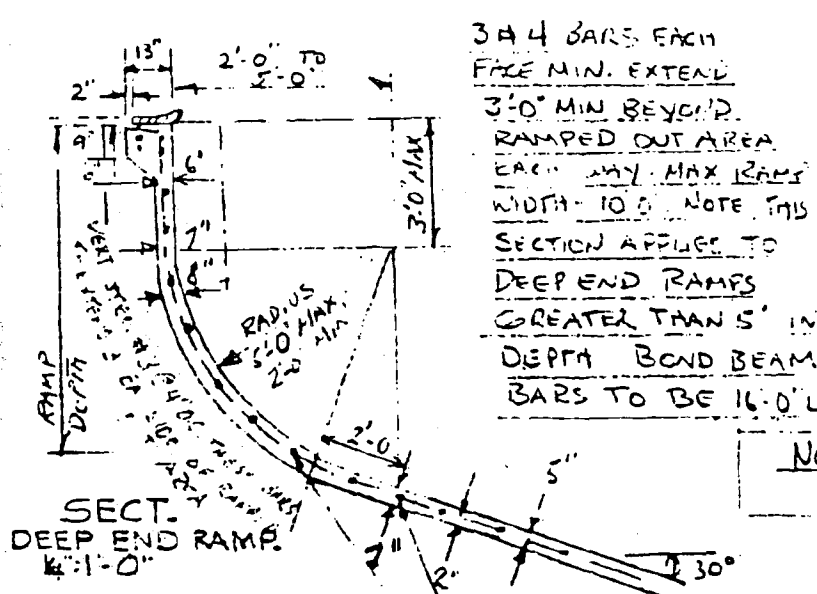
TYPICAL STEEL WALLS AND SLAB #3 @ 12" O.C. EACH WAY PLUS REINFC AT RADIUS AS NOTED AT DEEP END SECTION. IN BOTTOM OF POOL ADD #3 X 10' @ 12" O.C. LONGITUDINAL BARS DOWN OVER TRANSITION FROM DEEP TO SHALLOW END. STAGGER THE ENDS AT 180° OF FEED.



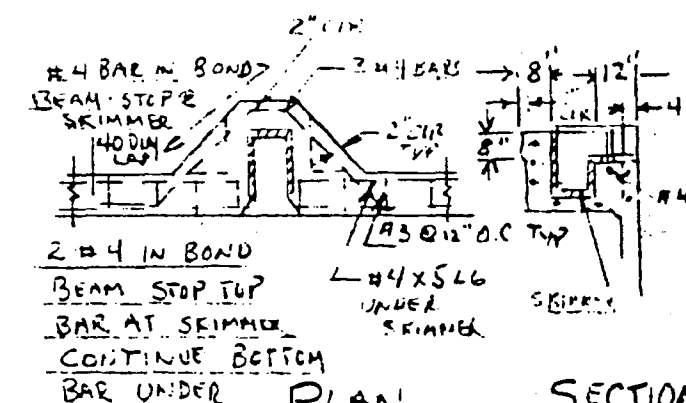
SECTION S-S
SHALLOW END
1/4 - 1'-0"



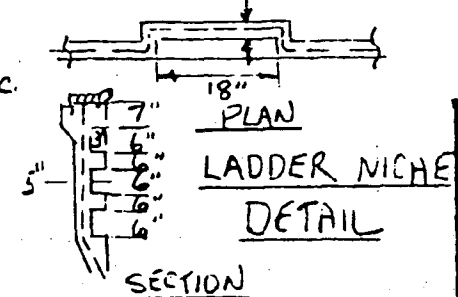
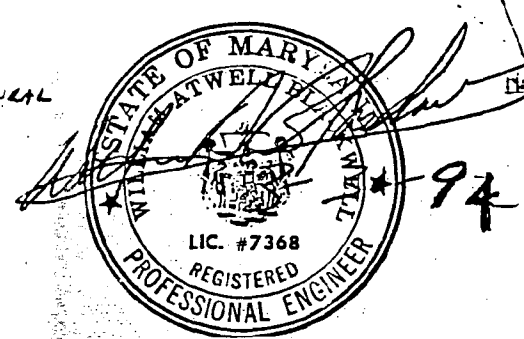
SECTION
DETAIL B FOR LIGHT NICHE



3 #4 BARS EACH FACE MIN. EXTEND 3'-0" MIN BEYOND RAMPED OUT AREA EACH WAY MAX RAMP WIDTH 10'. NOTE THIS SECTION APPLIES TO DEEP END RAMPS GREATER THAN 5' IN DEPTH BOND BEAM BARS TO BE 16'-0" LC



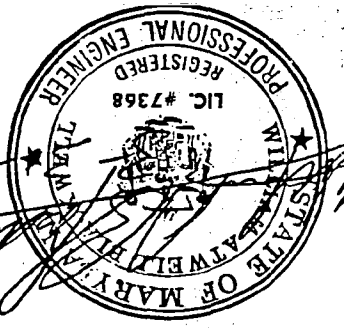
NOTE ALL OTHER DETAILS SIMILAR TO SEC D-D
DETAIL A SKIMMER BOX



PLAN
LADDER NICHE
DETAIL
SECTION

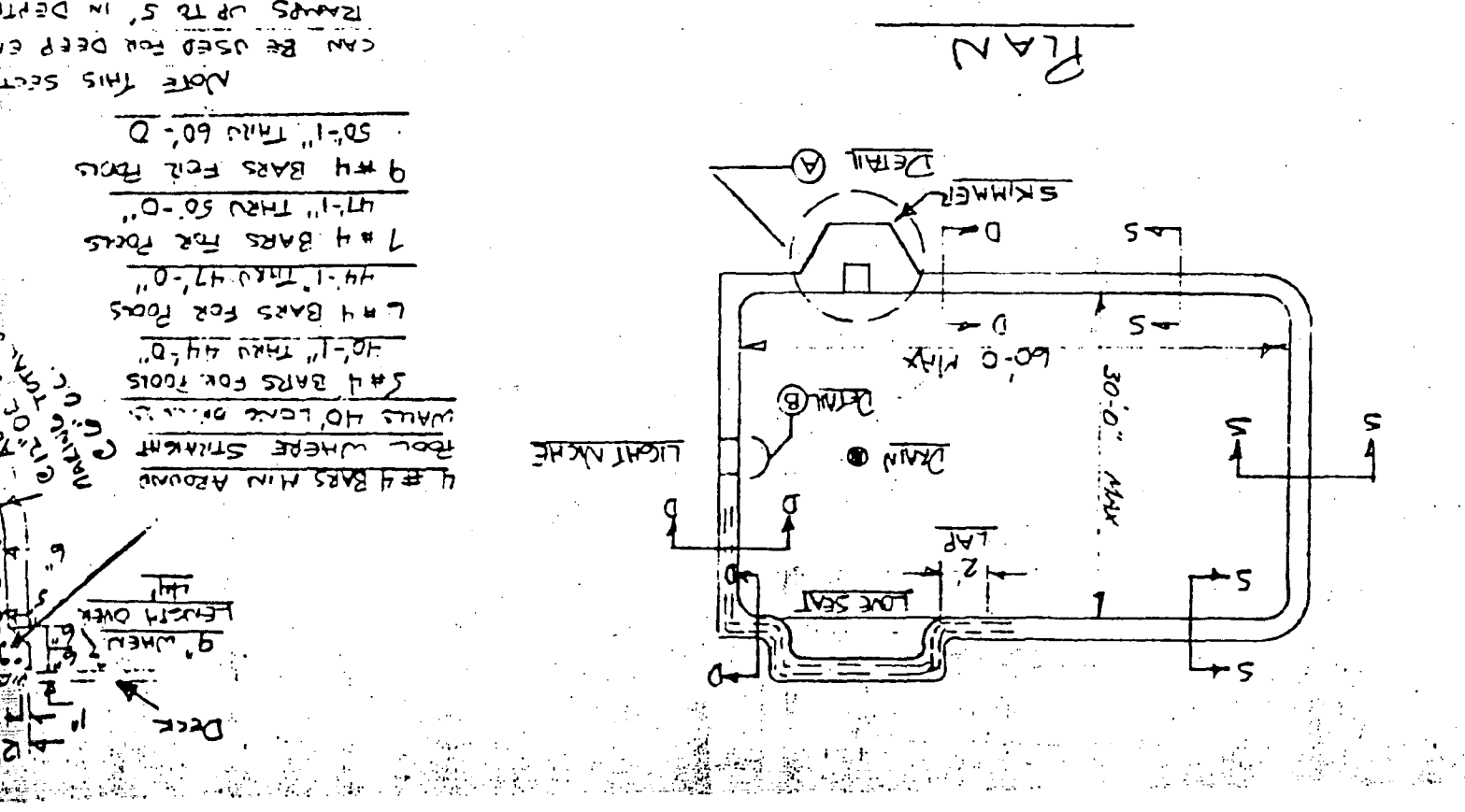
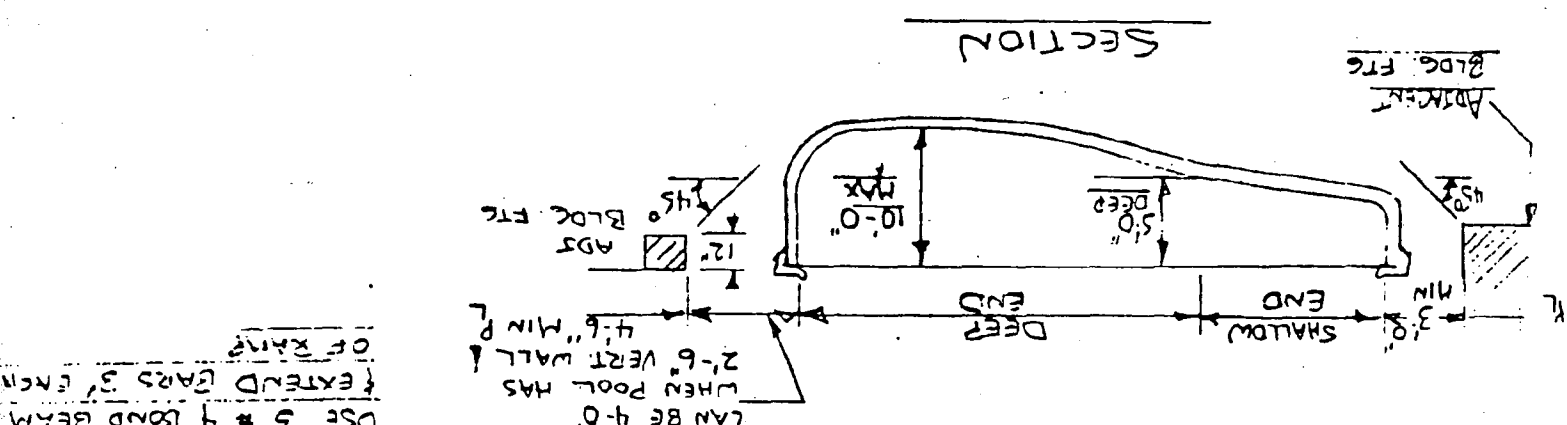
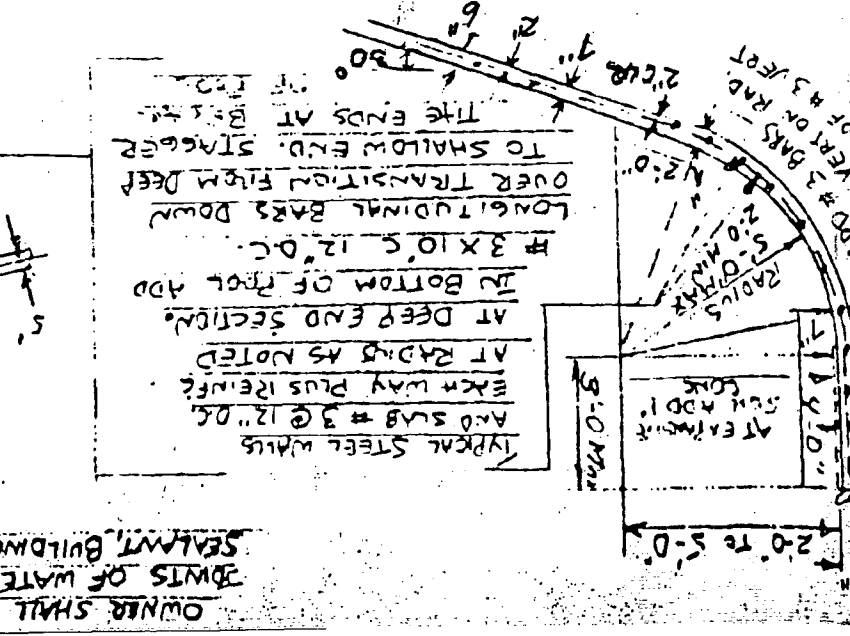
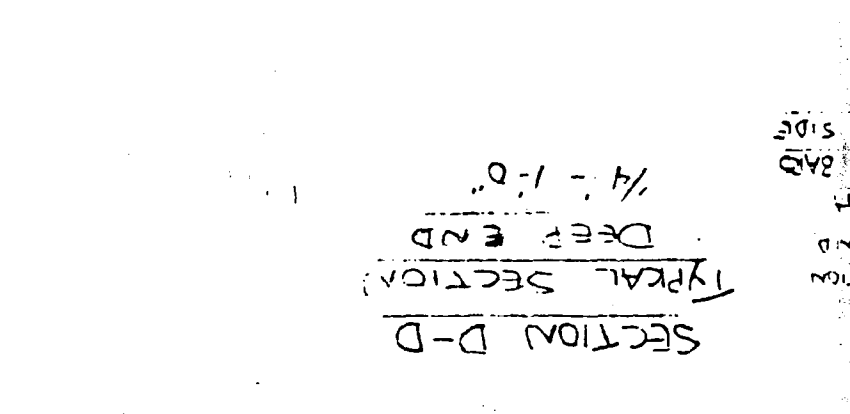
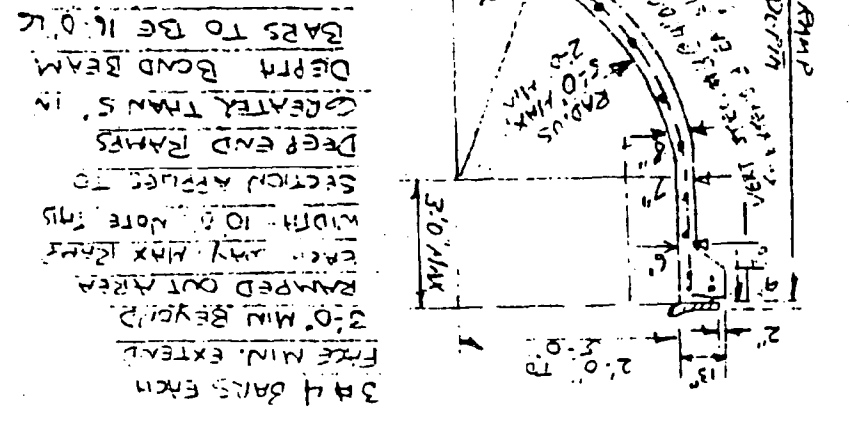
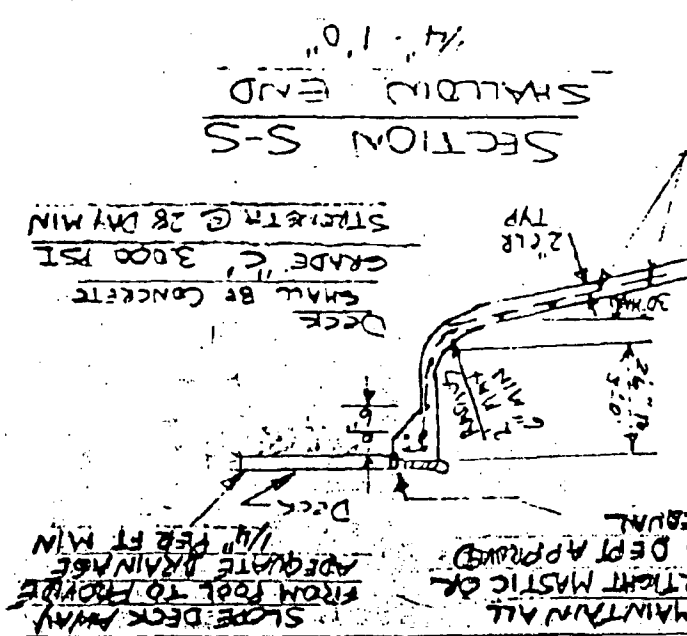
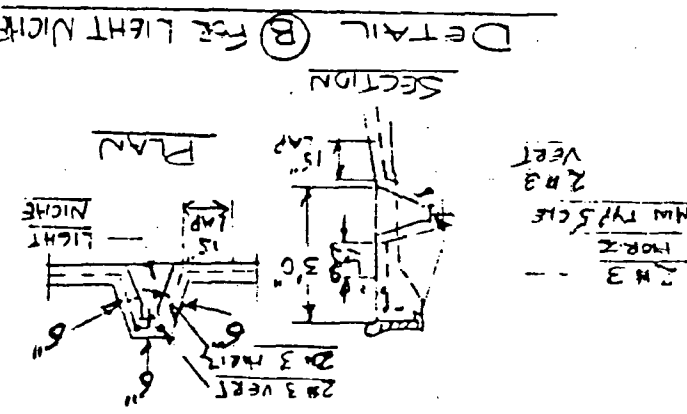
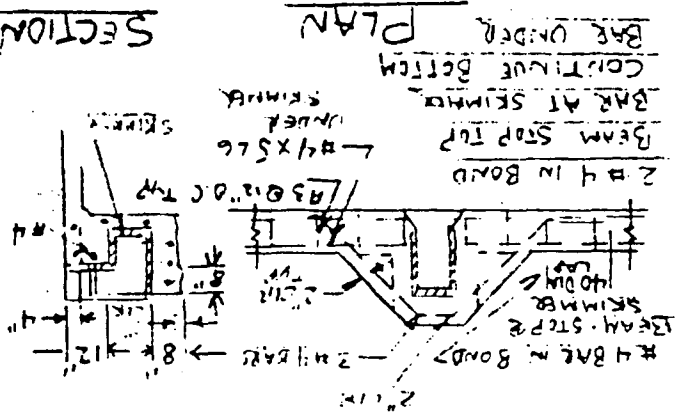
TOWN & COUNTRY POOLS INC.
1540 FULLERTON CT.
SPRINGFIELD, VA. 22153

TOWN & COUNTRY ROOLS INC.
1540 FULLERTON CT
STRANXFIELD, VA 22153



- GENERAL NOTES:**
1. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE
 2. CONCRETE SHALL BE PUMPOMATICALLY PLACED GRADE "B" 3500 PSI STRENGTH AT 28 DAYS AND PROPORTIONED 1 PART CEMENT TO 4 1/2 PARTS SAND WITH MAXIMUM 3 GAL WATER PER BAGS OF CEMENT. OR SHALL BE MACHINE MIXED GRADE "C" 3500 PSI STRENGTH AT 28 DAYS 1 1/2" 3/4" WITH 7 1/2 GAL WATER MAXIMUM PER BAGS 3/4 GRAVEL OR 1:2:3 PFA GRAVEL MIX
 3. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A15-58T AND A305-58T LAP ALL BARS AND DIAMETERS MINIMUM
 4. CONCRETE SHALL BE PLACED AGAINST NATURAL SOIL (2000 PSI) OR BUILDING DEPT APPROVED 90% COMPLETED FILL, STANDARD POOL DESIGNED FOR 2'6" FILL ABOVE NATURAL GRADE OR COMPLETED FILL LINE
 5. PLUMBING FILTERING SYSTEM UNDER SEPARATE SPECIFICATIONS
 6. OWNER SHALL INSTALL ADEQUATE FENCE OR OTHER APPROVED BARRIER BY BUILDING DEPT
 7. NO DRY WELLS TO BE LOCATED IN GRADING AREA

NOTE ALL OTHER DETAILS SIMILAR TO SEC D-D
DETAIL A SKINNER BOX



- NOTE THIS SECTION CAN BE USED FOR DEEP END RAMP UP TO 5' IN DEPTH
- USE 5 #4 BOND BEAM BAR
 - EXTEND BARS 3' EACH SIDE OF RAMP

- NOTE THIS SECTION CAN BE USED FOR SHALLOW END
- 4 #4 BARS MIN AROUND POOL WHERE STRAIGHT WALLS 40' LONG OR MORE
 - 5 #4 BARS FOR TOOLS
 - 10'-1" THRU 44'-0"
 - 6 #4 BARS FOR ROOLS
 - 44'-1" THRU 47'-0"
 - 7 #4 BARS FOR TOOLS
 - 47'-1" THRU 50'-0"
 - 9 #4 BARS FOR ROOLS
 - 50'-1" THRU 60'-0"

OWNER SHALL MAINTAIN ALL JOINTS OF WATER TIGHT MASTIC OR SEALANT, BUILDING DEPT APPROVED. ADEQUATE DRAINAGE FROM ROOF TO PROVIDE 1/4" PER FT MIN SLOPE DECK AWAY