

35/110-05A 4312 Leland Street
MP Site: **Butterfield House**

**Basement Wall
Renovation
and Replacement
Exterior Basement
Stair**

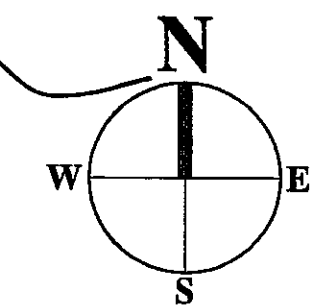
Addendum to
Permit No. 366971

REVISION	DATE
Issued for Permit and Construction	January 18, 2005

Architect

1807 California St. NW, #306
Washington, D.C. 20009
tel./fax 202-986-5542

ARCHITECT
13438



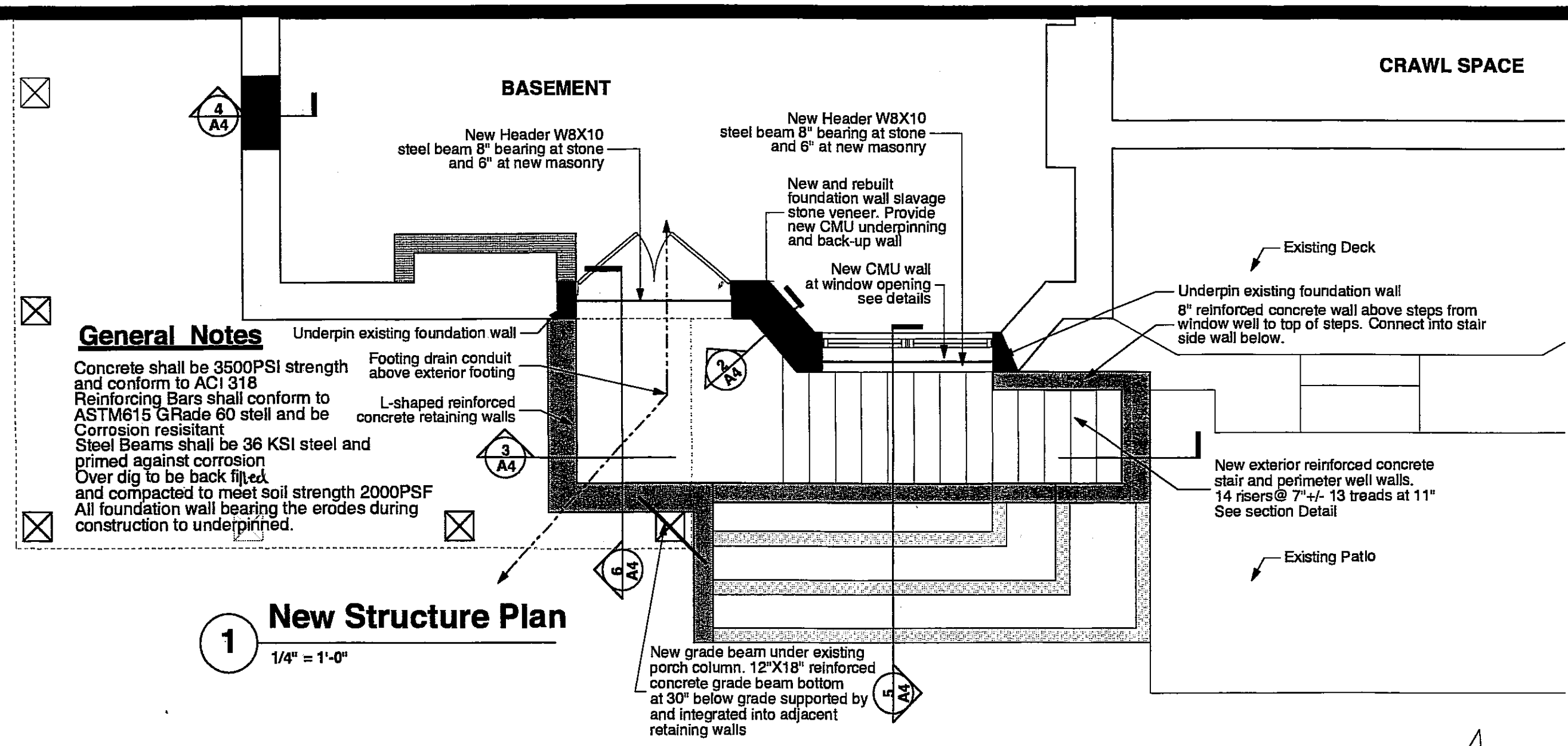
REGISTRATION SHEET TITLE

Structural Plans and Details

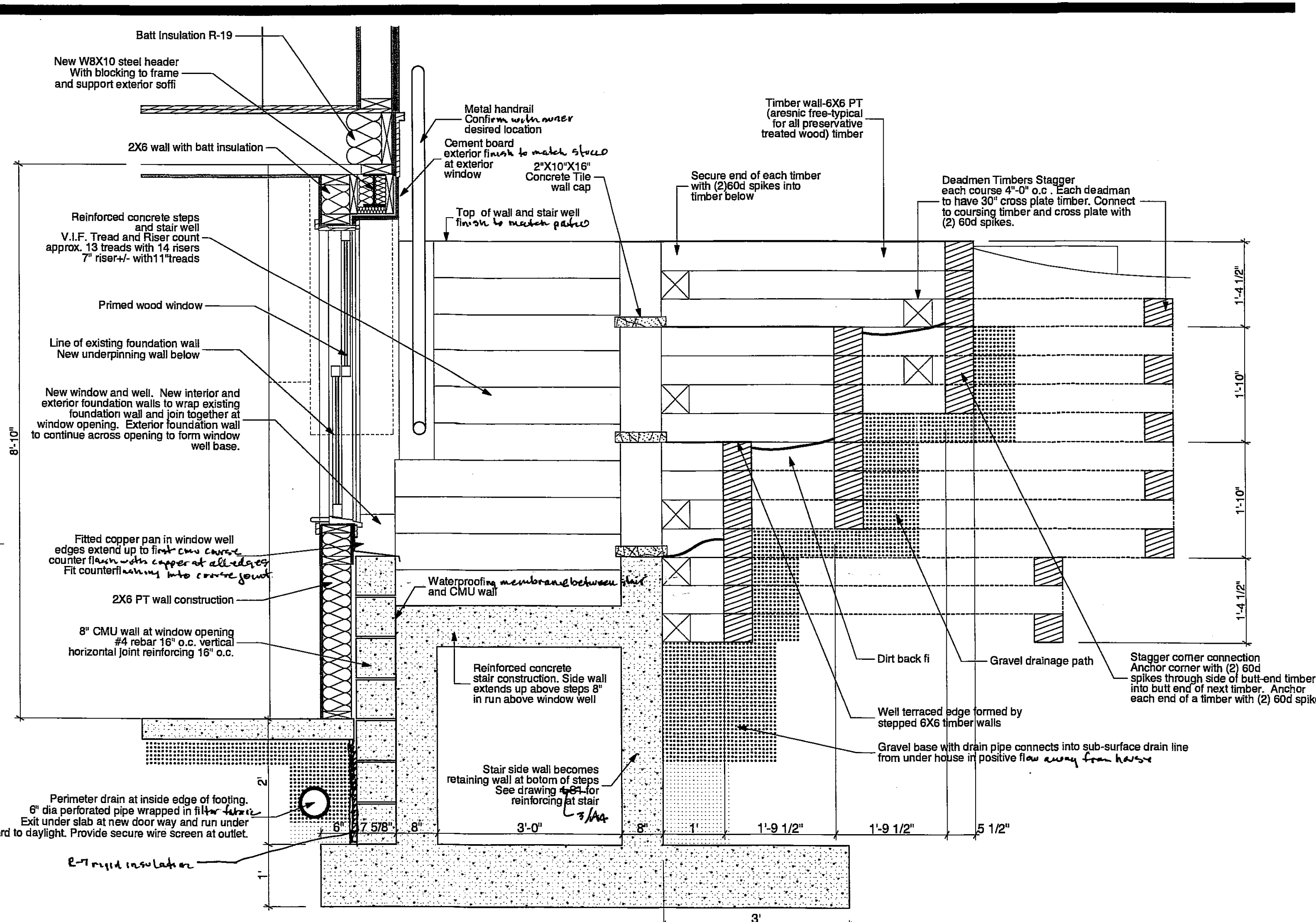
DATE	January 18, 2005
SCALE	Varies
DRAWN BY	CAD
CHECKED BY	CAD
JOB NO.	04.4

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

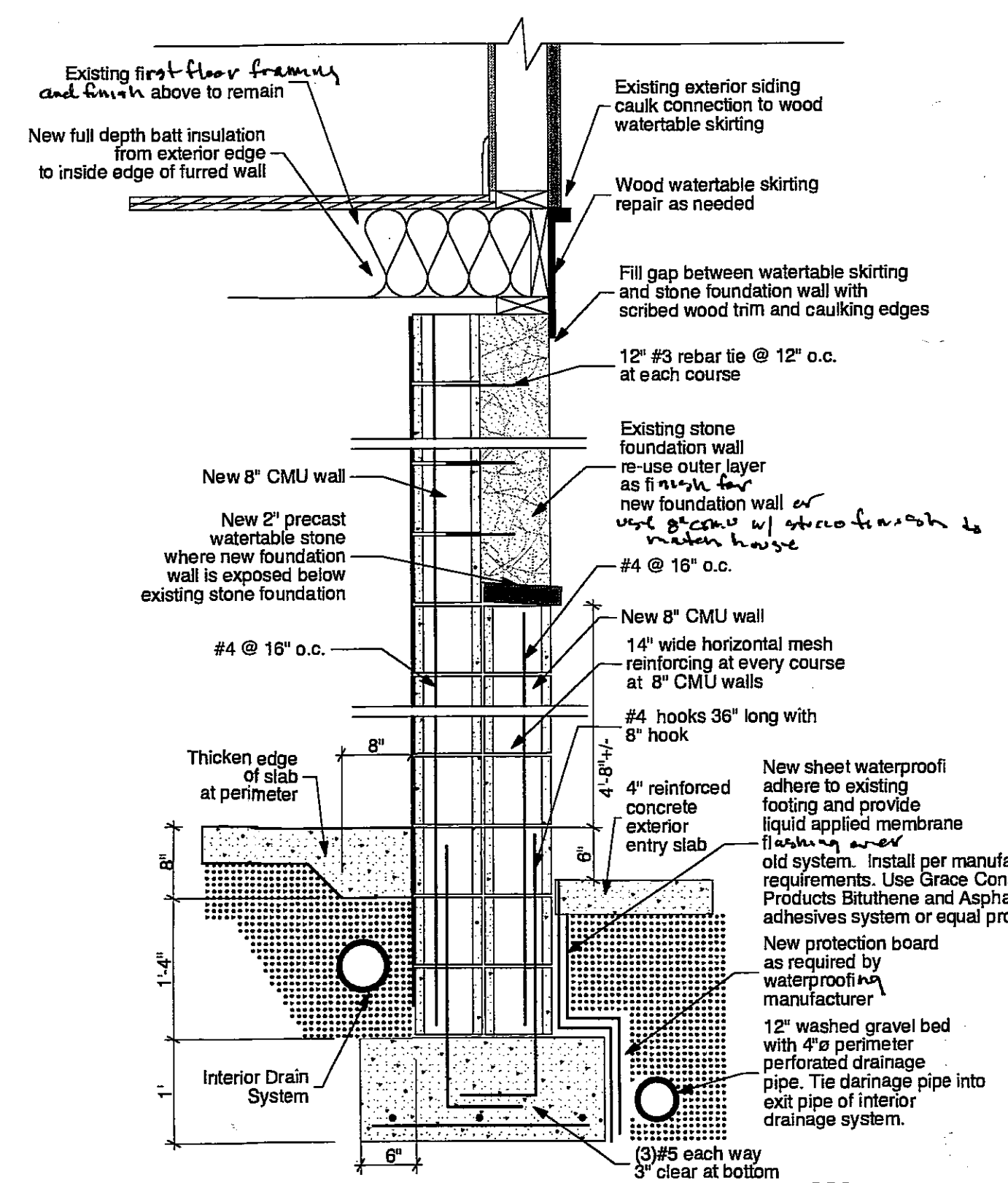
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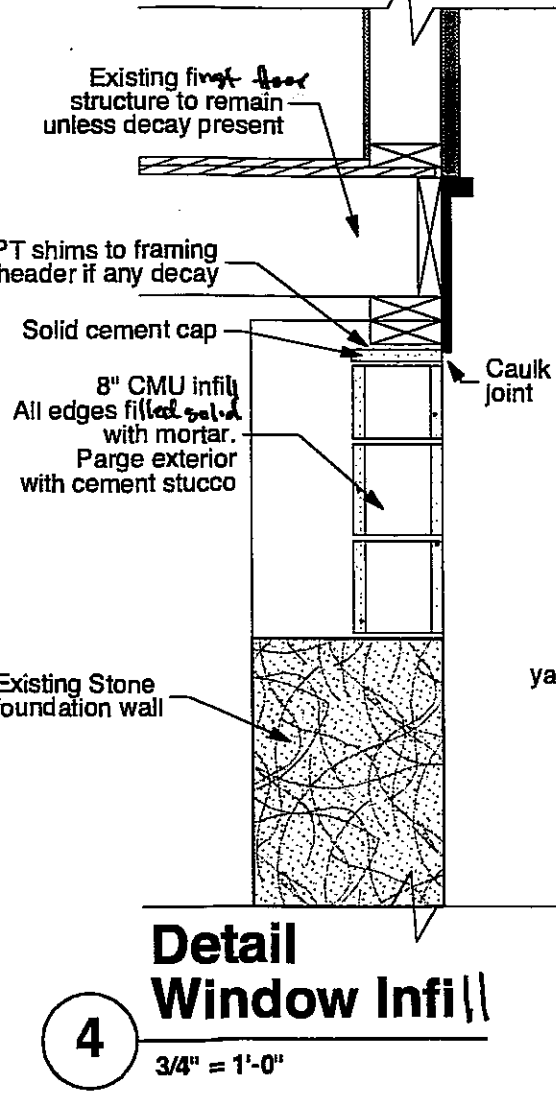
1 New Structure Plan
1/4" = 1'-0"



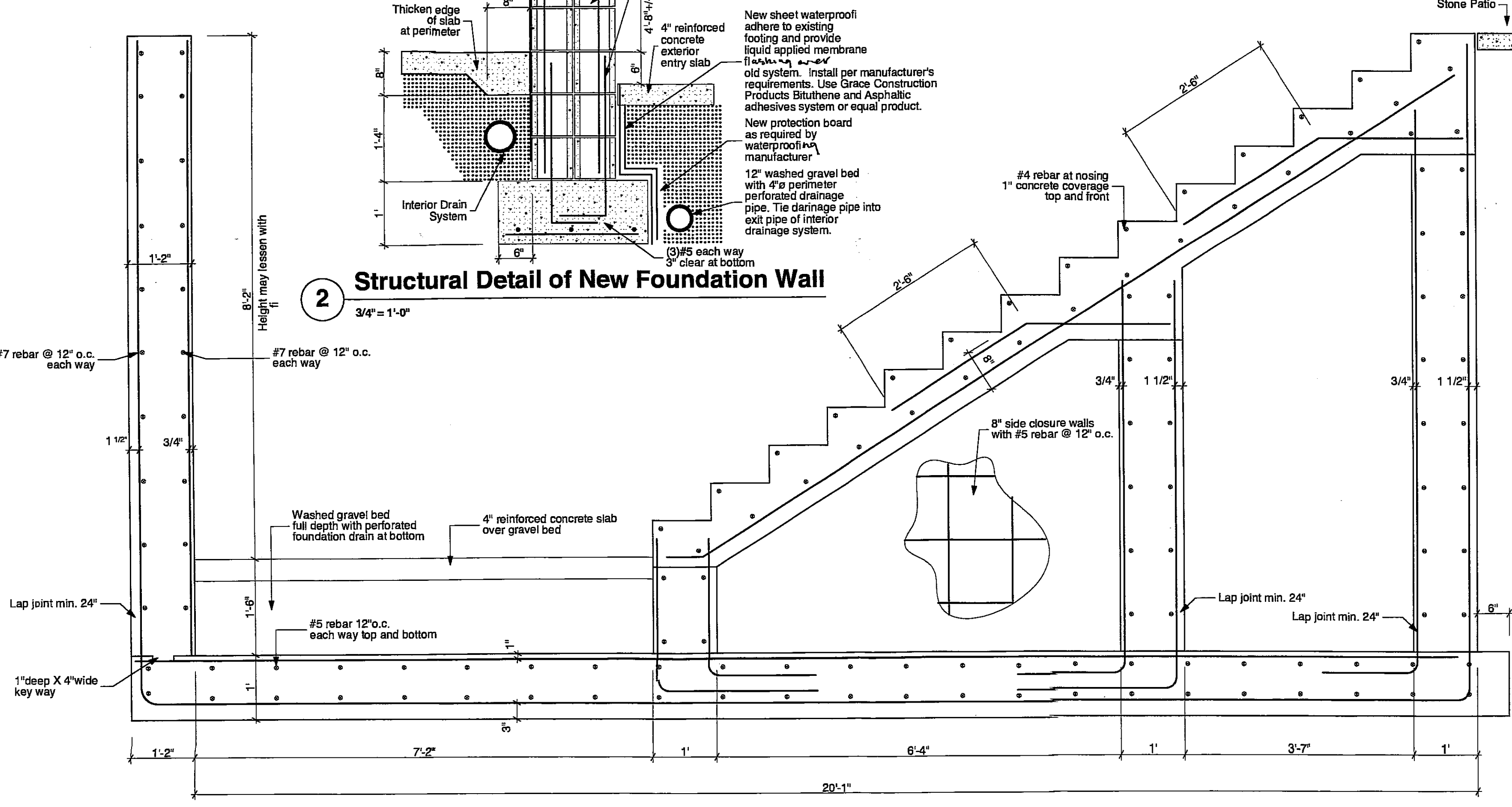
5 Basement Exterior Stair and Stepped Retaining Wall Section
3/4" = 1'-0"



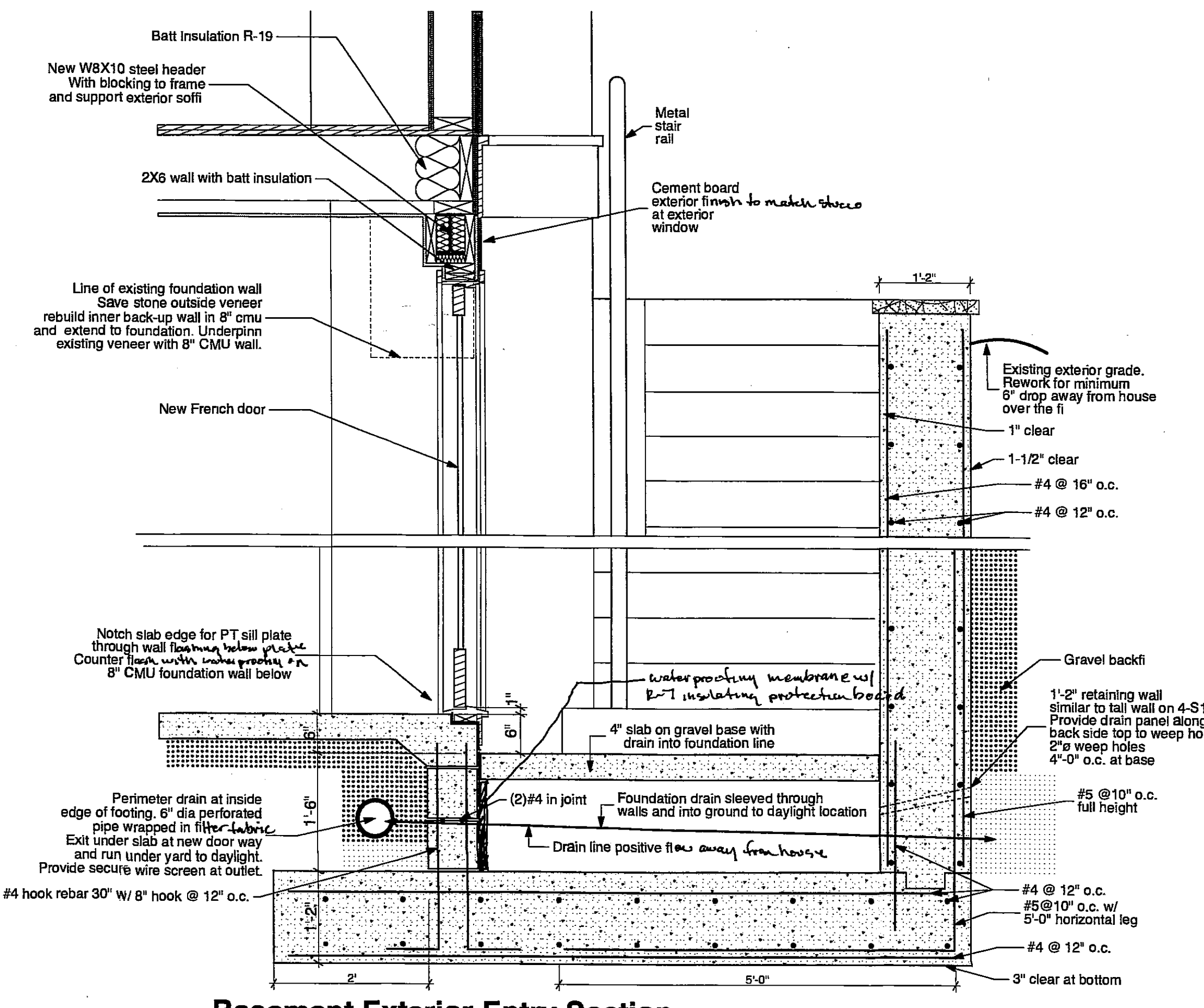
2 Structural Detail of New Foundation Wall
3/4" = 1'-0"



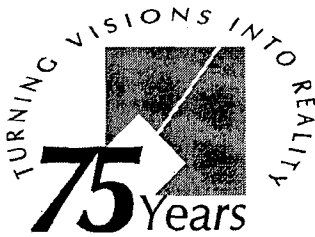
4 Detail Window Infill
3/4" = 1'-0"



3 Structural Detail of Exterior Entry Stair and Landing
3/4" = 1'-0"



6 Basement Exterior Entry Section
3/4" = 1'-0"



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: January 13, 2005

MEMORANDUM

TO: David DeBruin & Elizabeth Taylor (David Knudsen, Agent)
4312 Leland Street, Chevy Chase, *Master Plan* Site #35/110, **Butterfield House**

FROM: Tania Georgiou Tully, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application # 368645

Your Historic Area Work Permit application for basement alterations was **approved** by the Historic Preservation Commission at its January 12, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must **schedule a meeting** with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: January 13, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Tania Georgiou Tully, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 368645

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: David DeBruin & Elizabeth Taylor, David Knudsen, Agent

Address: 4312 Leland Street, Chevy Chase

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE AVE. 2nd FLOOR, ROCKVILLE, MD 20850
 301/777-6370

- #8

HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR
 HISTORIC AREA WORK PERMIT

Contact Person: DAVID KNUDSON

Daytime Phone No.: 202-986-5542

Account No.: 07 - 00523660

Name of Property Owner: DAVID DEBWIN & ELIZABETH TAYLOR Daytime Phone No.: 202-639-6000

Address: 4312 LELAND ST CHEVY CHASE MD 20815
Street Number City State Zip Code

Contractor: PETE GARGINIS Phone No.: 301-921-9649

Contractor Registration No.: 31970

Client for Owner: DAVID KNUDSON Daytime Phone No.: 202-986-5542

CATEGORIZATION OF BUILDING/PREMISE

Use Number: 4312 Street: LELAND ST.

Ward/City: CHEVY CHASE Nearest Cross Street: CURTIS ROAD

Lot: Part of Lot 3 Block: 5 Subdivision: NORWOOD HEIGHTS

Lot Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: EXTERIOR BASEMENT ENTRY STEPS

1. Construction cost estimate: \$ 50,000

2. If this is a revision of a previously approved active permit, see Permit # 306971 THIS WORK WOULD EXPAND THE SCOPE OF THE AGREEMENT GRANTED INTERIOR WORK PERMIT

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

1. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

A. Height 9 feet 0 inches AT BASEMENT STEPS AREA WAY

B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
 Signature of owner or authorized agent

12/20/04
 Date

Approved: _____ For Chairperson, Historic Preservation Commission

As approved: _____ Signature: Julia O'Malley Date: 1/12/05

Application/Permit No.: 308645 Date Filed: 12-21-04 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

HISTORIC ORIGINAL 2-STORY ITALIANATE FOUR-SQUARE FARM HOUSE
WITH 1982 KENIC 2-STORY ADDITION. ORIGINAL HOUSE HAS ROUGH STUCCO
FINISH ON ALL EXPOSED SIDES AND THE ADDITION HAS A MATCHING FINISH
ON THE SOUTH SIDE WITH WOOD CLAPBOARD ON THE NORTH AND EAST SIDES

ENVIRONMENTAL SETTING: LARGE LOT WITH MATURE TREES IN A RESIDENTIAL
NEIGHBORHOOD COMPRISED OF NON-HISTORIC ORIGINAL AND REMODELED HOMES FROM THE 20'S

AND LATER. HISTORIC SIGNIFICANCE: ORIGINAL HOUSE ONE OF THE FEW REMAINING STRUCTURES IN
EXISTENCE PRIOR TO THE NORWOOD HEIGHTS SUB-DIVISION, IT STILL EXHIBITS THE ARCHITECTURAL
FEATURES OF ITS ITALIANATE ORIGIN - ERVE DETAIL & PORCH.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PROJECT: RECONFIGURE EXISTING BASEMENT ENTRY; ENLARGE EXISTING BASEMENT DOOR,
ADD DOUBLE BASEMENT WINDOW, RECONFIGURE STAIR TO PROVIDE STEPPED WINDOW WELL AND
LARGER AREAWAY. MAJORITY OF ALTERATION WORK BELOW GRADE AND DOES NOT HAVE
VISUAL IMPACT ON THE HISTORIC RESOURCE. VISIBLE RAIL AT EXISTING PORCH SIDE STEPS
TO MATCH PORCH RAIL AND HANDRAIL AT ~~BASE~~ ^{BASEMENT} STEP TO BE METAL AND AS MINIMAL
AS POSSIBLE. THESE ALTERATIONS SHOULD NOT HARM THE ENVIRONMENTAL SETTING OR HISTORIC
OR SIGNIFICANTLY CHANGE RESOURCE.

SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

TREE SURVEY

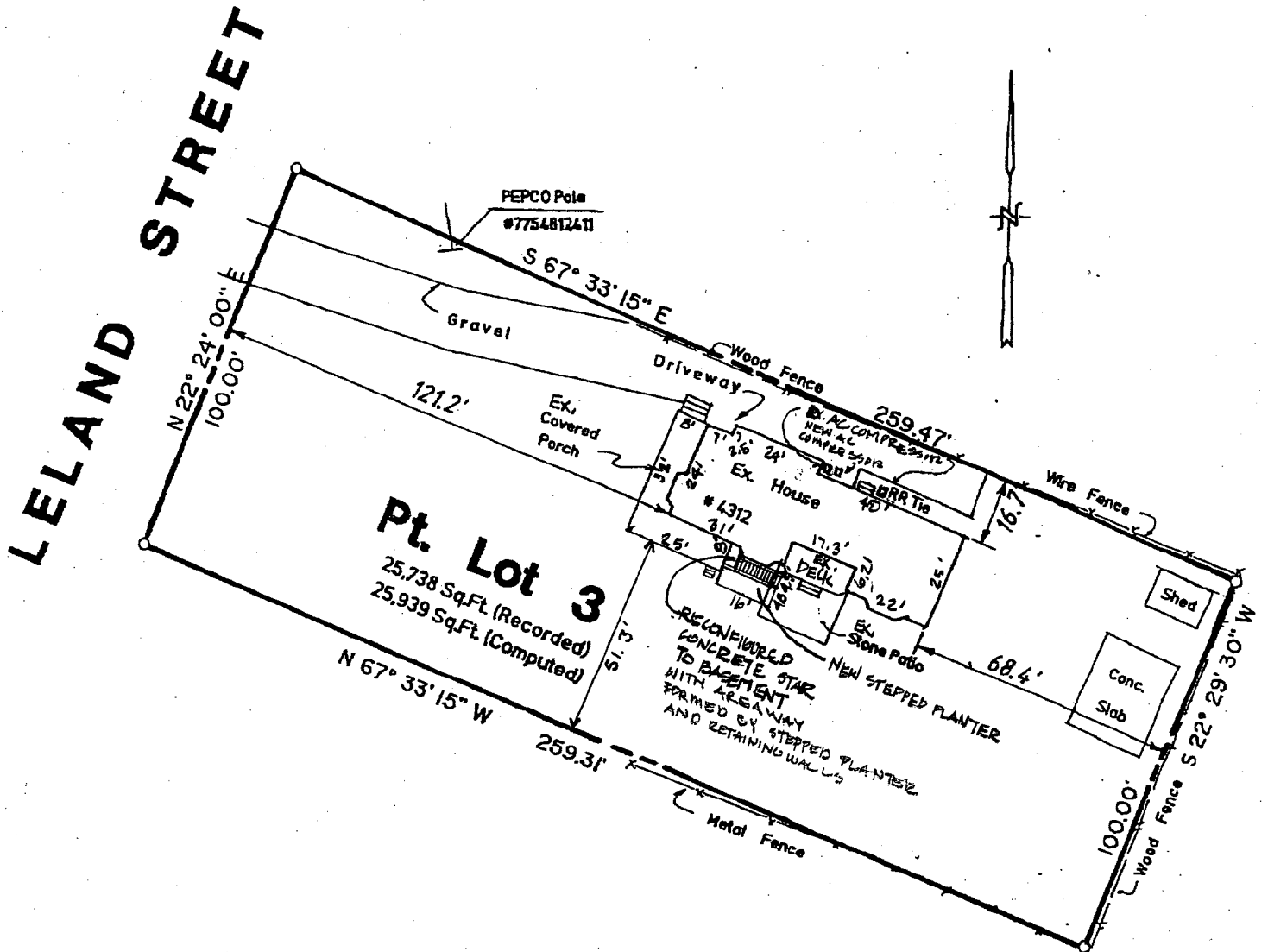
If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



NOTES

Part of Lot 3, Block 5, as shown, has been graphically reproduced from available deeds and plats of record which are recorded among the Land Records of Montgomery County, Maryland.

Locations, as shown, taken from a field run survey completed by this office, dated November, 2004.

Site Address: 4312 Leland Street.

Zone: R-60.

PLANIMETRIC SURVEY
PART OF LOT 3, BLOCK 5
NORWOOD HEIGHTS
 7TH (BETHESDA) ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND
 SCALE: 1" = 40' NOVEMBER, 2004

WITMER ASSOCIATES, LLC

Land Surveying, Land Planning & Design
 98-A Church Street
 Rockville, MD 20850
 Tele.: (301) 309 - 8600
 Fax: (301) 309 - 8603

PREPARED FOR:
 David Debruin
 4312 Leland Street
 Chevy Chase, MD 20815
 (202) 639 - 6015

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	4312 Leland Street, Chevy Chase	Meeting Date:	01/12/05
Applicant:	David DeBruin & Elizabeth Taylor David Knudsen, Agent	Report Date:	01/04/05
Resource:	<i>Master Plan Site</i> Butterfield House	Public Notice:	12/29/04
Review:	HAWP	Tax Credit:	None
Case Number:	35/110-05A	Staff:	Tania Tully
PROPOSAL:	Basement alterations	RECOMMENDATION:	Approve

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan Site #35/110, Butterfield House*
STYLE: Colonial Revival Foursquare
DATE: c.1898-1901, c.1980 rear addition

PROPOSAL:

The applicants propose to reconfigure the basement entry by enlarging the existing doorway, installing wood double French doors and adding a pair of wood 1/1 double-hung windows. The stairs will be reconfigured with a tiered planter window well. Most of the work will be below grade. The visible handrail is designed to match existing. (See Circles 6-8)

APPLICABLE GUIDELINES:

Proposed alterations to individual *Master Plan Sites* are reviewed under Montgomery County Code Chapter 24A (Chapter 24A) and the *Secretary of the Interior's Standards for Rehabilitation*. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic

resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation:

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- #5 Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

STAFF DISCUSSION

This proposal is nearly inconspicuous as most of it occurs below grade. The alterations are to an existing basement stair and entrance. The modifications allow for more light to enter the basement. The stepped-planters provide a nice transition from the yard to the stairway. Approximately 5' of the stairwell extends under the historic porch, but does not alter the porch. The proposed new doors and windows will be wood, as will the new handrail on the existing porch side steps. The stair handrail will be as minimal as possible. Staff believes the alterations to be minimal and not detrimental to the historic property and recommends approval.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation* #s 1, 2, & 5.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



ACTORIT... 95 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
410/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAVID KNUDSON

Daytime Phone No.: 202-986-5542

Account No.: 07 - 00523660

Name of Property Owner: DAVID DEBRWIN & ELIZABETH TAYLOR Daytime Phone No.: 202-639-6000

Address: 4312 LELAND ST CHEVY CHASE MD 20815
Street Number City State Zip Code

Contractor: PETE GANLONIS Phone No.: 301-921-9649

Contractor Registration No.: 31970

Agent for Owner: DAVID KNUDSON Daytime Phone No.: 202-986-5542

LOCATION OF BUILDING/PREMISE

House Number: 4312 Street: LELAND ST.

Town/City: CHEVY CHASE Nearest Cross Street: CURTIS ROAD

Block: 5 Subdivision: NORWOOD HEIGHTS

Lot: Part of Lot 3 Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable
- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: EXTERIOR BASEMENT ENTRY STEPS

3. Construction cost estimate: \$ 50,000

2. If this is a revision of a previously approved active permit, see Permit # 366971 THIS WORK WOULD EXPAND THE SCOPE OF THE ALREADY GRANTED INTERIOR WORK PERMIT

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

1. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2. Type of water supply: 01 WSSC 02 Well 03 Other:

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1. Height 9 feet 0 inches AT BASEMENT STEPS AREA WAY

2. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

12/20/04
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Signature: _____ Date: _____

Application/Permit No.: 368645 Date Filed: 12-21-04 Date Issued: _____

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
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FINISH ON ALL EXPOSED SIDES AND THE ADDITION HAS A MATCHING FINISH
ON THE SOUTH SIDE WITH WOOD CLAPBOARD ON THE NORTH AND EAST SIDES
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TREE SURVEY

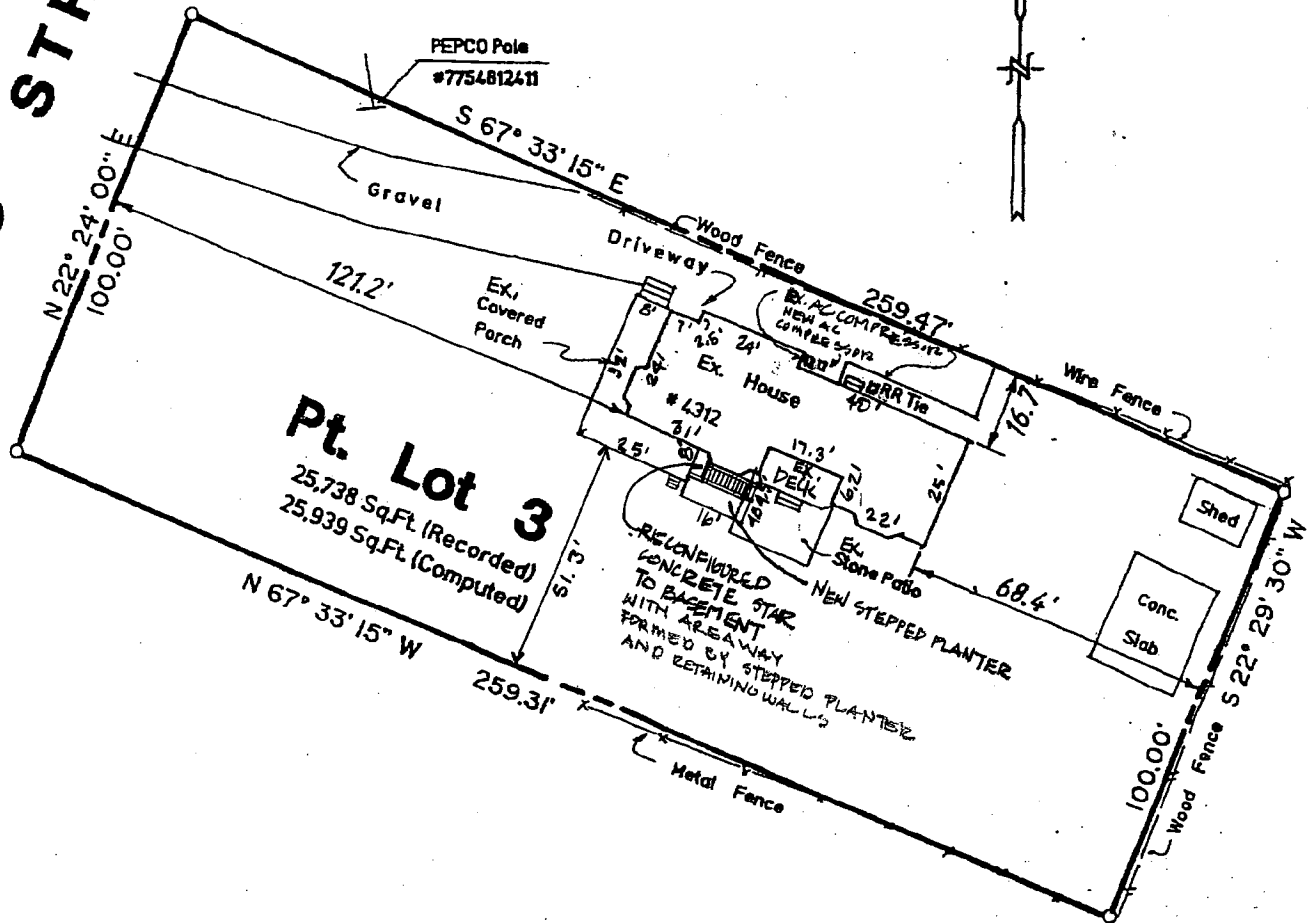
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LELAND STREET



NOTES

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Locations, as shown, taken from a field run survey completed by this office, dated November, 2004.

Site Address: 4312 Leland Street.

Zone: R-60.

PLANIMETRIC SURVEY
PART OF LOT 3, BLOCK 5
NORWOOD HEIGHTS
 7TH (BETHESDA) ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND
 SCALE: 1" = 40' NOVEMBER, 2004

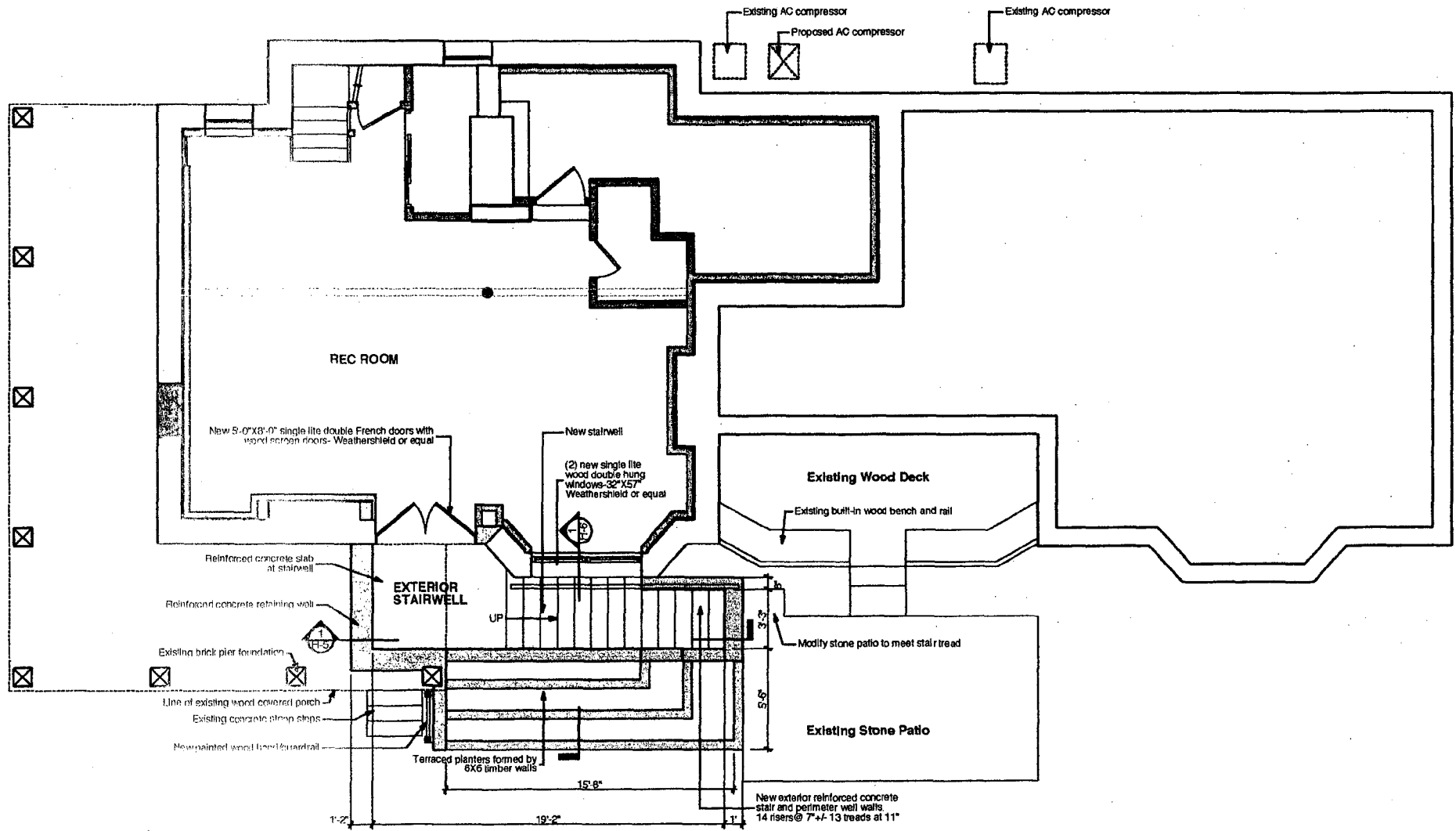
WITMER ASSOCIATES, LLC

Land Surveying, Land Planning & Design
 98-A Church Street
 Rockville, MD 20850
 Tele.: (301) 309 - 8600
 Fax: (301) 309 - 8603

PREPARED FOR:
 David Debruin
 4312 Leland Street
 Chevy Chase, MD 20815
 (202) 639 - 6015

H-1

5



1 New Plan

0 1 5 10

6

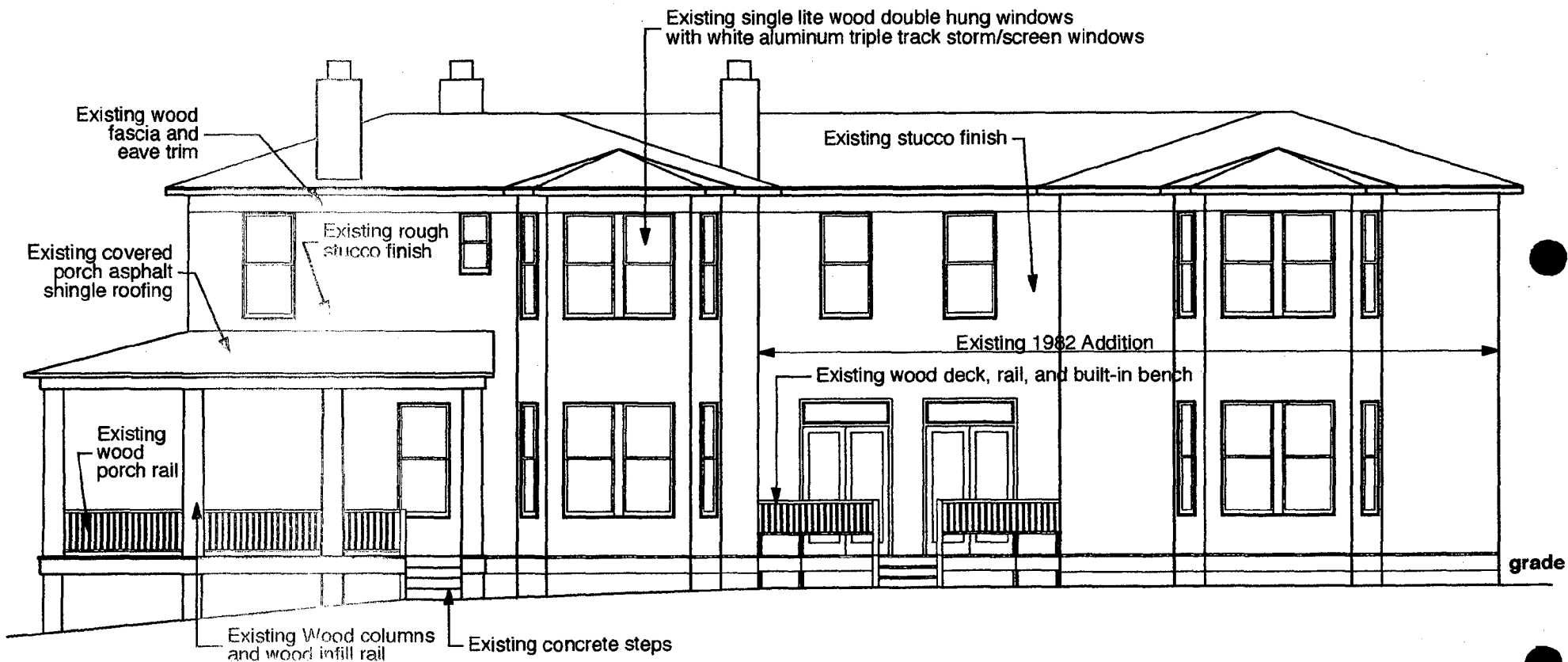
DeBruin/Taylor Residence
 4312 Leland Street
 Chevy Chase, MD 20815

TITLE: **Historic Area Work Permit Review**

DATE: **Issued 12/21/04**

H-2

David Knudson, Architect
 1807 California Street NW, #306
 Washington D.C. 20009
 tel/fax 202-986-5542



1 Existing Exterior South Side Elevation

01 5 10

4

<p>DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815</p>	<p>TITLE: Historic Area Work Permit Review</p>	<p>David Knudson, Architect 1807 California Street NW, #306 Washington D.C. 20009 tel/fax 202-986-5542</p>
<p>DATE: Issued 12/21/04</p>	<p>H-3</p>	



West Side (Street) Elevation



Southwest Corner Detail Elevation

DeBruin/Taylor Residence
4312 Leland Street
Chevy Chase, MD 20815

TITLE: **Historic Area Work Permit Review**

Orin Gordon Architect
1807 California Street NW, #306
Washington D.C. 20009
tel/fax 202-986-5542

DATE: **Issued 12/21/04**

H-8

2

Original House



Shrub to be removed
Location of new
stairwell



South Side Elevation

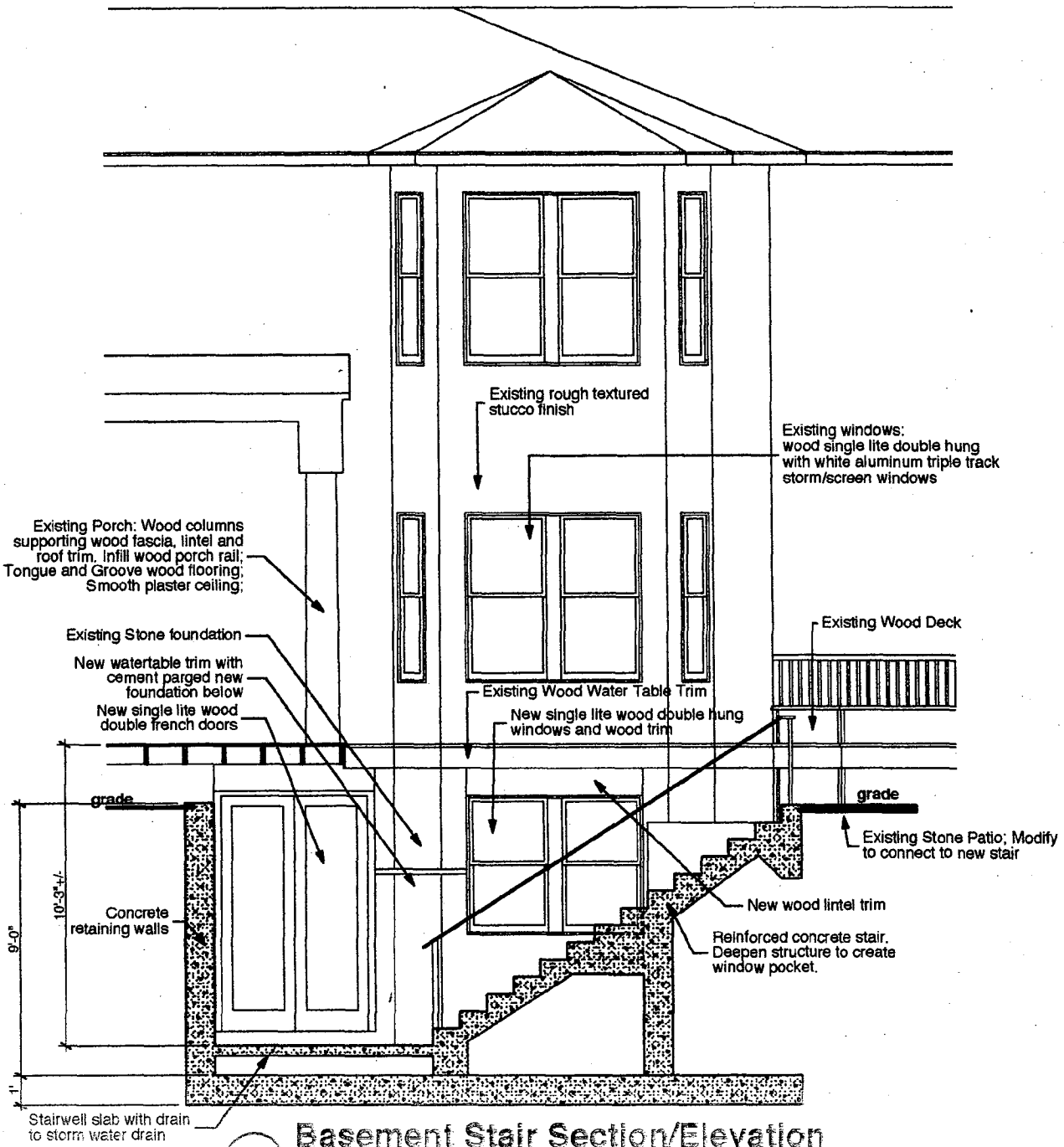
DeBruin/Taylor Residence
4312 Leland Street
Chevy Chase, MD 20815

TITLE: **Historic Area Work Permit Review**

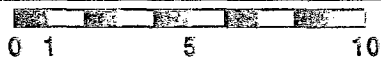
DATE: Issued 12/21/04

H-9

1807 Connecticut Avenue, NW #306
Washington, D.C. 20009
tel/fax 202-986-5542



1 Basement Stair Section/Elevation



David Knudson, Architect
 1807 California Street NW, #306
 Washington D.C. 20009
 tel/fax 202-966-5542

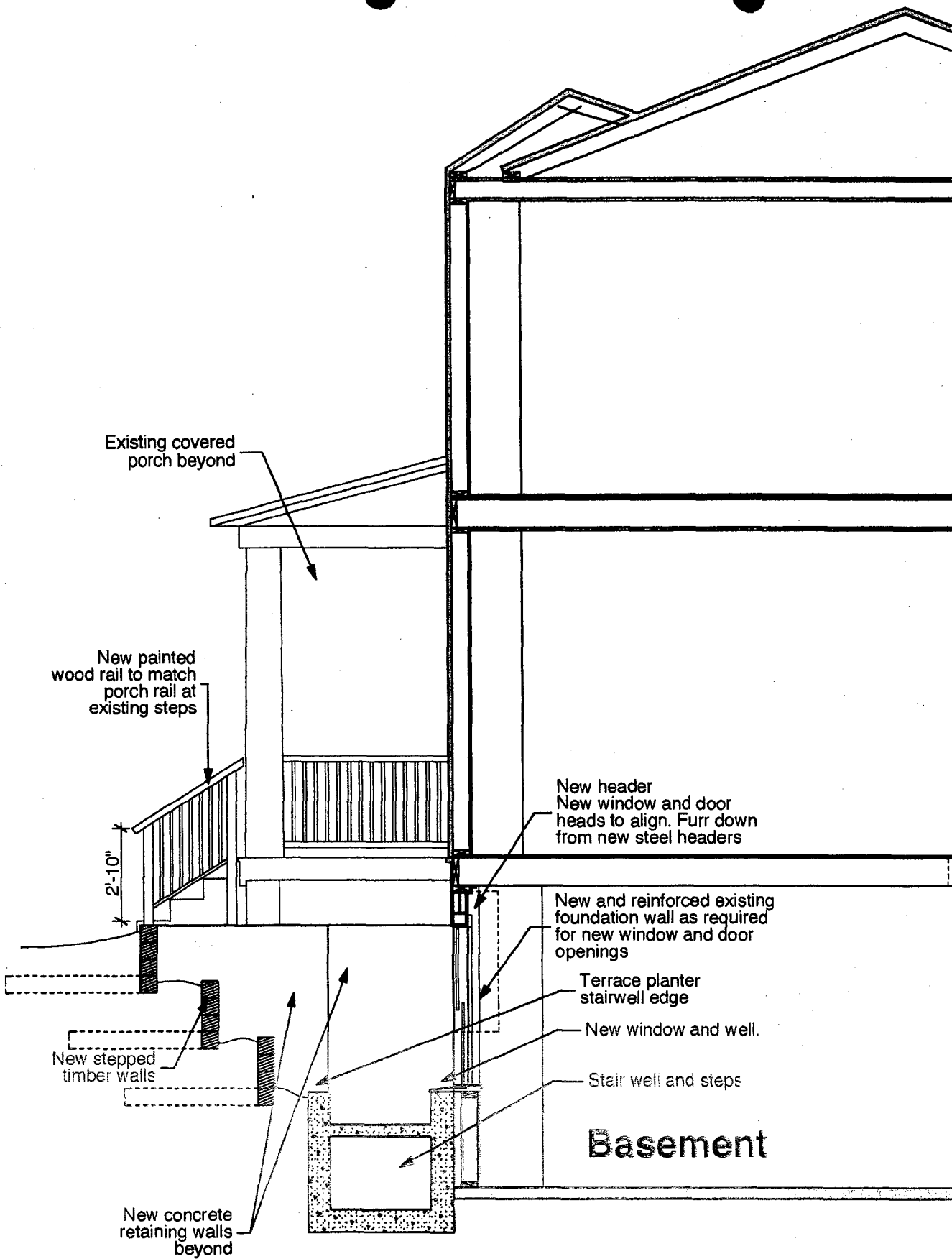
TITLE: **Historic Area Work Permit Review**

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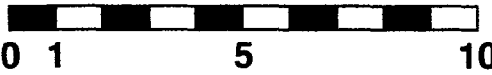
DeBruin/Taylor Residence
 4312 Leland Street
 Chevy Chase, MD 20815

11



New Stairwell Section

1



12

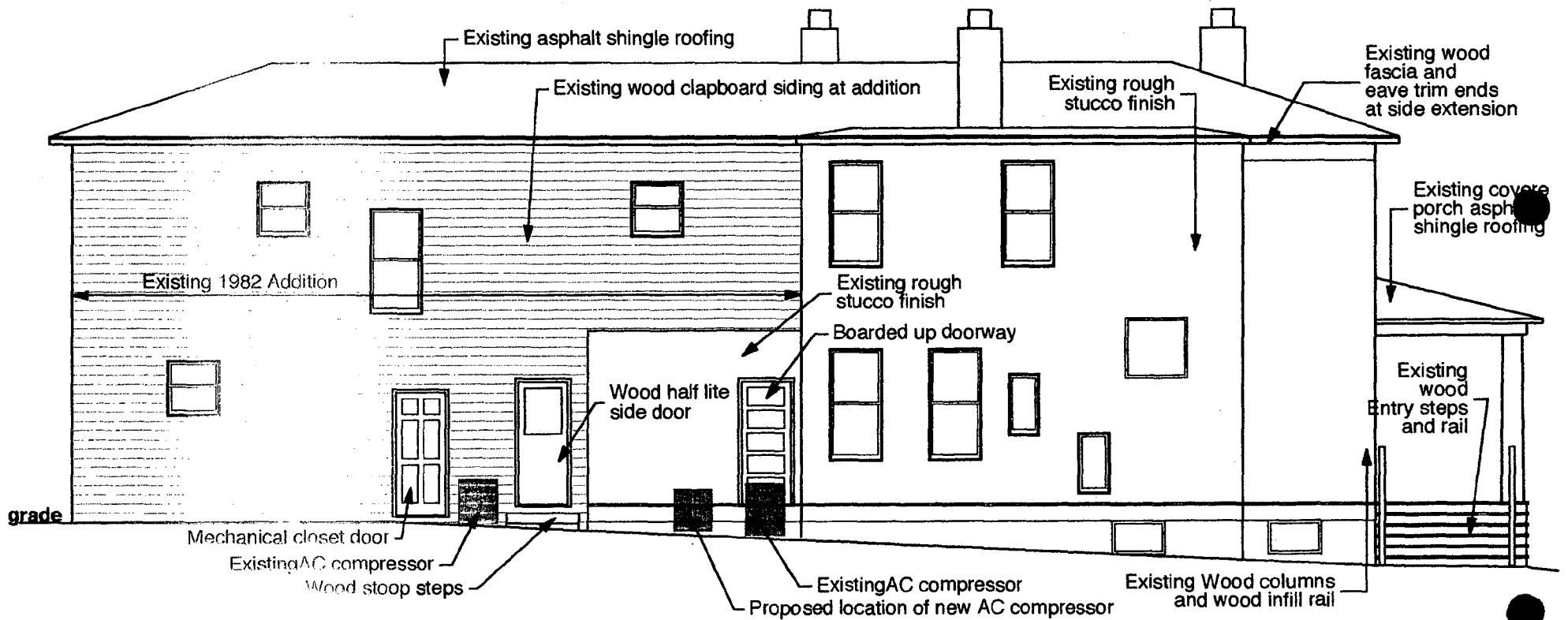
David Knudson, Architect
1807 California Street NW, #306
Washington D.C. 20009
tel/fax 202-986-5542

TITLE: **Historic Area Work Permit Review**

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DATE: **Issued 12/21/04**

DeBruin/Taylor Residence
4312 Leland Street
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Existing Exterior North Side Elevation with Proposed Compressor Location

1

01 5 10

13

DeBruin/Taylor Residence
4312 Leland Street
Chevy Chase, MD 20815

TITLE: **Historic Area Work Permit Review**

David Knudson, Architect

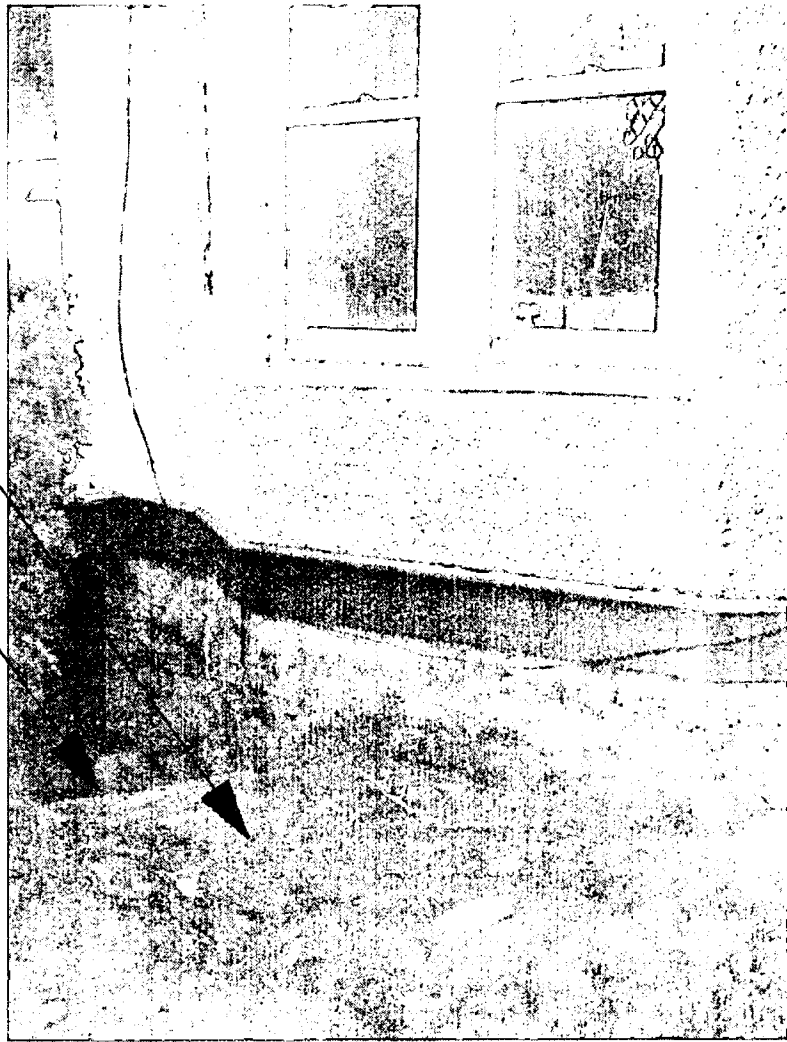
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tel/fax 202-986-5542

DATE: **Issued 12/21/04**

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Location of
New Stairwell

Existing Stairwell



Digital



Photo

Work Area Detail South Side Elevation

14

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4312 Leland Street
Chevy Chase, MD 20815

TITLE: **Historic Area Work Permit Review**

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John S. Taylor, Architect
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Washington, D.C. 20009
tel/fax 202-936-5542



**North Side Elevation
(from Northwest Corner)**



**North Side Elevation
(from Northeast Corner)**

Existing AC Compressors
Location of new
AC Compressor

15

<p>DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815</p>	<p>TITLE: Historic Area Work Permit Review</p>	<p>David Knudson, Architect 1807 California Street NW, #306 Washington D.C. 20009 tel/fax 202-986-5542</p>
<p>DATE: Issued 12/21/04</p>	<p>H-11</p>	

Location of
new stairwell



**South Side Elevation
(from Southeast Corner)**

East Side Elevation

16

DeBruin/Taylor Residence
4312 Leland Street
Chevy Chase, MD 20815

TITLE: Historic Area Work Permit Review

David Knudson, Architect
1807 California Street NW, #306
Washington D.C. 20009
tel/fax 202-986-5542

DATE: Issued 12/21/04

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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners].

Owner's mailing address	Owner's Agent's mailing address
DAVID DEBRUIN & ELIZABETH TAYLOR 4312 LELAND ST CHEVY CHASE MD 20815	DAVID KANDSOOT, ARCHITECT 1807 CALIFORNIA ST NW, #306 WASHINGTON DC 20009
Adjacent and confronting Property Owners mailing addresses	
Suzanne Parmet 4318 Curtis Rd Chevy Chase, MD 20815	Robert Greenfield 4314 Curtis Rd Chevy Chase, MD 20815
Linda Worthington 4306 Curtis Rd Chevy Chase, MD 20815	Michael Gravitz and Tracy Marks 43 Curtis Rd Chevy Chase, MD 20815
Chalon Drive LLC 4316 Leland St Chevy Chase, MD 20815	Alonso and Maria Roche 4313 Leland St Chevy Chase, MD 20815
Bruce and Kristi Craig 4315 Leland St Chevy Chase, MD 20815	Charles Fleischman 4319 Leland St Chevy Chase, MD 20815



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE AVE. 2nd FLOOR, ROCKVILLE, MD 20850
 240/777-6370

6-#8

HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR
 HISTORIC AREA WORK PERMIT

COPY

Contact Person: DAVID KNUDSON
 Daytime Phone No.: 202-986-5542
 Fax Account No.: 07 - 00523660
 Name of Property Owner: DAVID DEBRWIN & ELIZABETH TAYLOR Daytime Phone No.: 202-639-6000
 Address: 4312 LELAND ST CHEVY CHASE MD 20815
Street Number City State Zip Code
 Contractor: PETE GANGLINIS Phone No.: 301-921-9649
 Contractor Registration No.: 31970
 Agent for Owner: DAVID KNUDSON Daytime Phone No.: 202-986-5542

LOCATION OF BUILDING/PREMISE

House Number: 4312 Street: LELAND ST.
 Town/City: CHEVY CHASE Nearest Cross Street: CURTIS ROAD
 Lot: Part of Lot 3 Block: 5 Subdivision: NORWOOD HEIGHTS
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> AC	<input checked="" type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input checked="" type="checkbox"/> Fence/Wall (complete Section 4)		<input checked="" type="checkbox"/> Other: <u>EXTERIOR BASEMENT ENTRY STEPS</u>			

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # 366771 THIS WORK WOULD EXPAND THE SCOPE OF THE ALREADY GRANTED INTERIOR WORK PERMIT

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 9 feet 0 inches AT BASEMENT STEPS AREA WAY
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 12/20/04
 Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: 368645 Date Filed: 12-21-04 Date Issued: _____

**HISTORIC AREA WORK PERMIT
CHECKLIST OF APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*		*
Demolition	*	*			*		*
Deck/Porch	*	*	*	*	*		*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Major Landscaping/Grading	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/Roof Changes	*	*	*	*	*		*
Window/Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

PLEASE SEE ATTACHED INSTRUCTIONS FOR FURTHER DETAILS REGARDING THESE APPLICATIONS REQUIREMENTS.

NOTE: Historic Area Work Permits are not required for ordinary maintenance projects, such as painting, gutter repair, roof repair with duplicate materials, and window repairs. All replacement materials must match the original exactly and be of the same dimensions.

**ALL HAWPS MUST BE FILED AT DPS:
255 ROCKVILLE PIKE,
ROCKVILLE, MARYLAND, 20850.**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

HISTORIC ORIGINAL 2-STORY ITALIANATE FOUR-SQUARE FARM HOUSE WITH 1982 KERR 2-STORY ADDITION. ORIGINAL HOUSE HAS ROUGH STUCCO FINISH ON ALL EXPOSED SIDES AND THE ADDITION HAS A MATCHING FINISH ON THE SOUTH SIDE WITH WOOD CLAPBOARD ON THE NORTH AND EAST SIDES. ENVIRONMENTAL SETTING: LARGE LOT WITH MATURE TREES IN A RESIDENTIAL NEIGHBORHOOD COMPRISED OF NON-HISTORIC ORIGINAL AND REMODELED HOMES FROM THE 20'S AND LATER. HISTORICAL SIGNIFICANCE: ORIGINAL HOUSE ONE OF THE FEW REMAINING STRUCTURES IN EXISTENCE PRIOR TO THE NORWOOD HEIGHTS SUB-DIVISION, IT STILL EXHIBITS THE ARCHITECTURAL FEATURES OF ITS ITALIANATE ORIGIN - EAVE DETAIL & PORCH.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PROJECT: RECONFIGURE EXISTING BASEMENT ENTRY, ENLARGE EXISTING BASEMENT DOOR, ADD DOUBLE BASEMENT WINDOW, RECONFIGURE STAIR TO PROVIDE STEPPED WINDOW WELL AND LARGER AREASWAY. MAJORITY OF ALTERATION WORK BELOW GRADE AND DOES NOT HAVE LITTLE VISUAL IMPACT ON THE HISTORIC RESOURCE. VISIBLE RAIL AT EXISTING PORCH SIDE STEPS TO MATCH PORCH RAIL AND HANDRAIL AT ~~BASE~~ ^{BASEMENT} STEPS TO BE METAL AND AS MINIMAL AS POSSIBLE. THESE ALTERATIONS SHOULD NOT HARM THE ENVIRONMENTAL SETTING OR HISTORIC RESOURCE OR SIGNIFICANTLY CHANGE

SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the drieline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

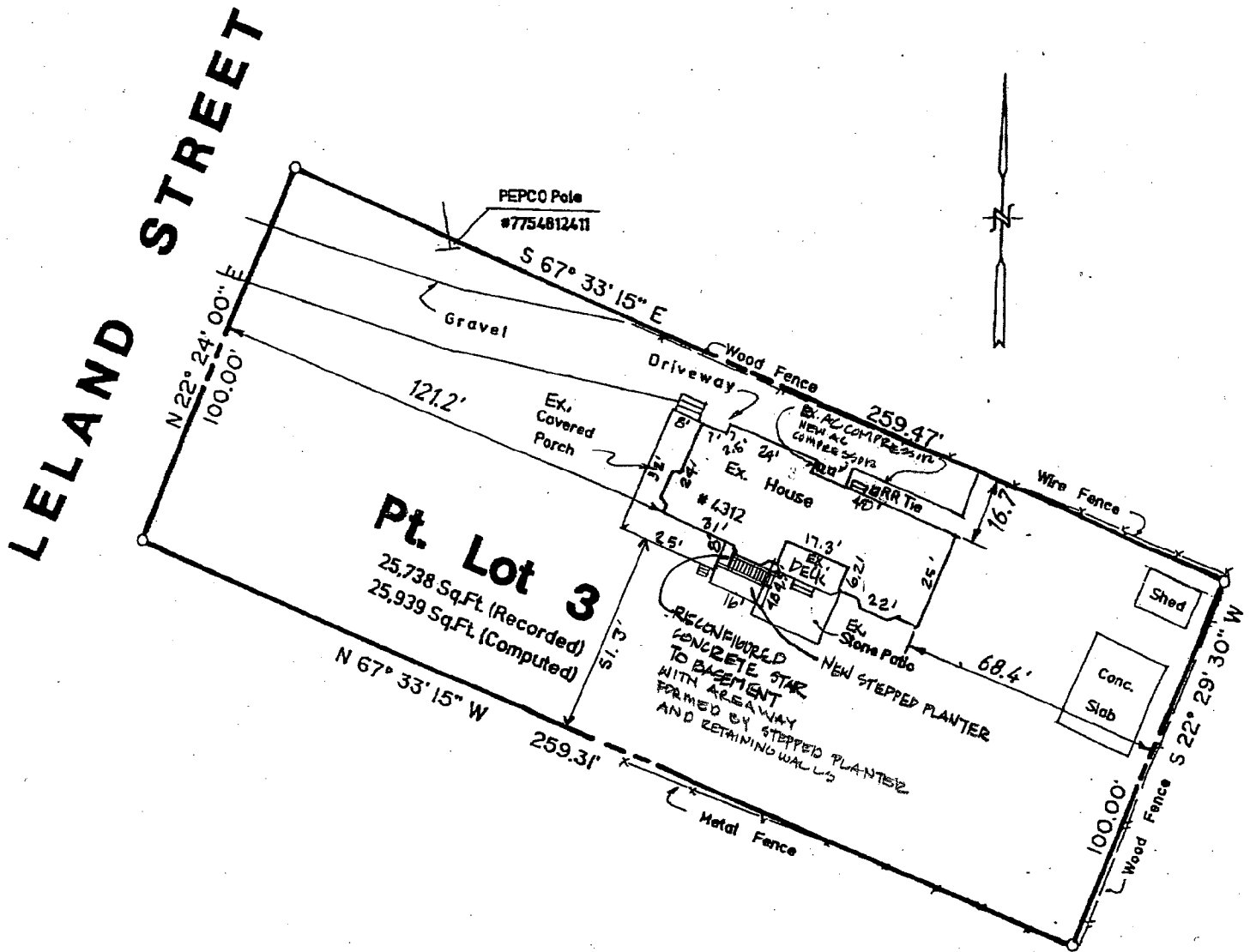
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>DAVID DEBRUIN & ELIZABETH THOR 4312 LELAND ST CHEVY CHASE MD 20815</p>	<p>Owner's Agent's mailing address</p> <p>DAVID KANDSOFF, ARCHITECT 1807 CALIFORNIA ST NW, #306 WASHINGTON DC 20009</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Suzanne Parmet 4318 Curtis Rd Chevy Chase, MD 20815</p>	<p>Robert Greenfield 4314 Curtis Rd Chevy Chase, MD 20815</p>
<p>Linda Worthington 4306 Curtis Rd Chevy Chase, MD 20815</p>	<p>Michael Gravitz and Tracy Marks 43... Curtis Rd Chevy Chase, MD 20815</p>
<p>Chalon Drive LLC 4316 Leland St Chevy Chase, MD 20815</p>	<p>Alonso and Maria Roche 4313 Leland St Chevy Chase, MD 20815</p>
<p>Bruce and Kristi Craig 4315 Leland St Chevy Chase, MD 20815</p>	<p>Charles Fleischman 4319 Leland St Chevy Chase, MD 20815</p>



NOTES

Part of Lot 3, Block 5, as shown, has been graphically reproduced from available deeds and plats of record which are recorded among the Land Records of Montgomery County, Maryland.

Locations, as shown, taken from a field run survey completed by this office, dated November, 2004.

Site Address: 4312 Leland Street.

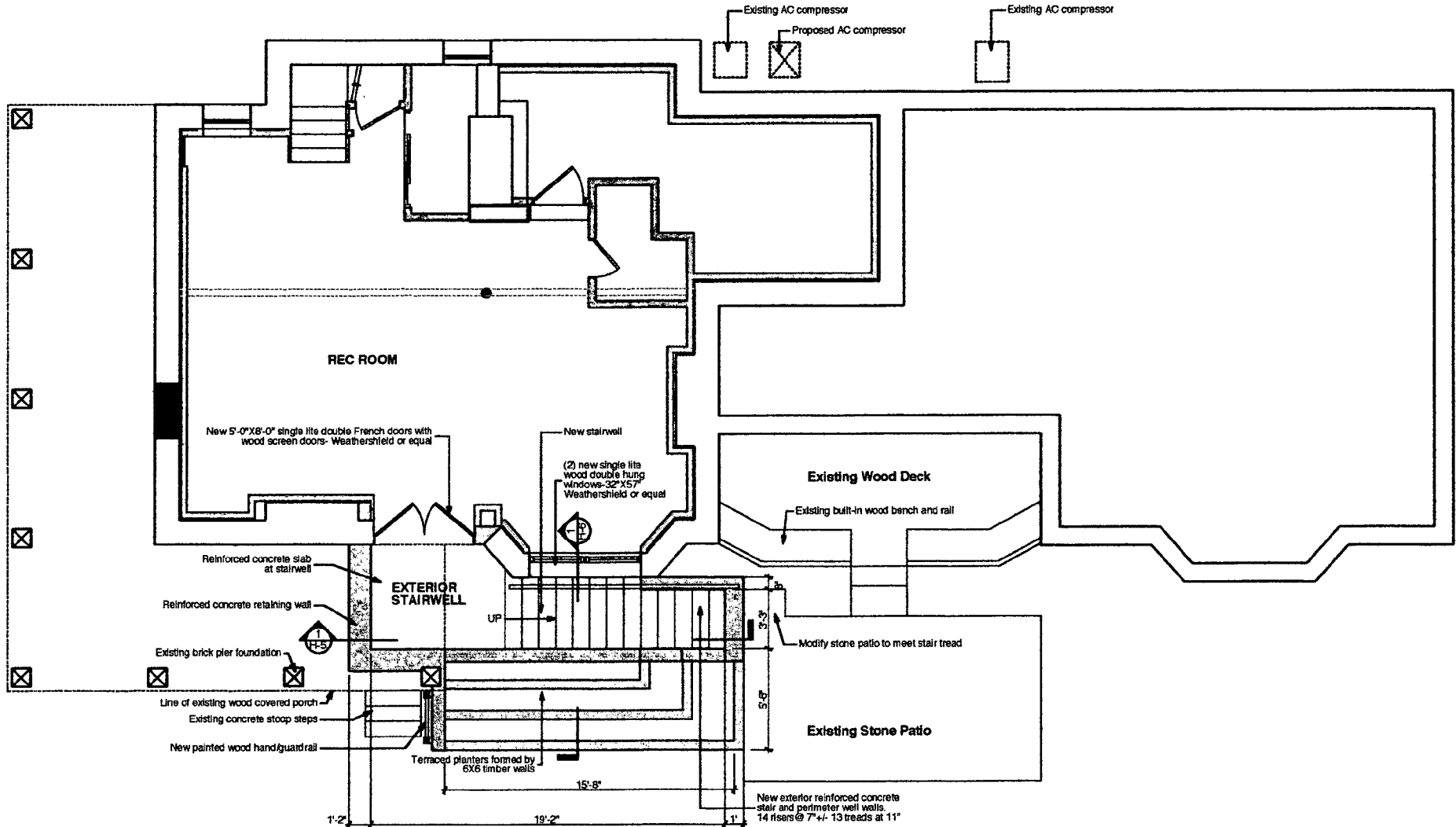
Zone: R-60.

PLANIMETRIC SURVEY
PART OF LOT 3, BLOCK 5
NORWOOD HEIGHTS
7TH (BETHESDA) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND
SCALE: 1" = 40' NOVEMBER, 2004

WITMER ASSOCIATES, LLC

Land Surveying, Land Planning & Design
 98-A Church Street
 Rockville, MD 20850
 Tele.: (301) 309 - 8600
 Fax: (301) 309 - 8603

PREPARED FOR:
 David Debruin
 4312 Leland Street
 Chevy Chase, MD 20815
 (202) 639 - 6015



1 New Plan

0 1 5 10

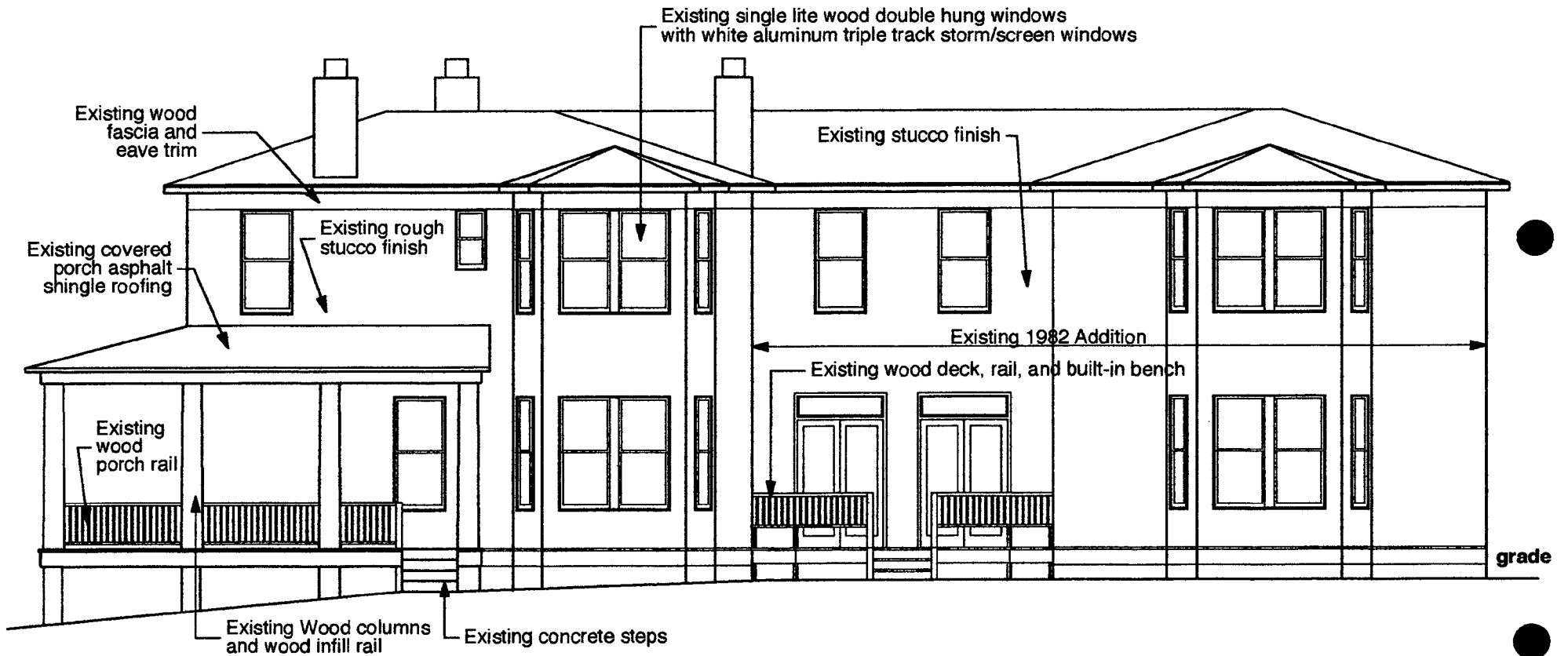
DeBruin/Taylor Residence
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TITLE: **Historic Area Work Permit Review**

David Knudson, Architect
 1807 California Street NW, #306
 Washington D.C. 20009
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DATE: **Issued 12/21/04**

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1 Existing Exterior South Side Elevation

01 5 10

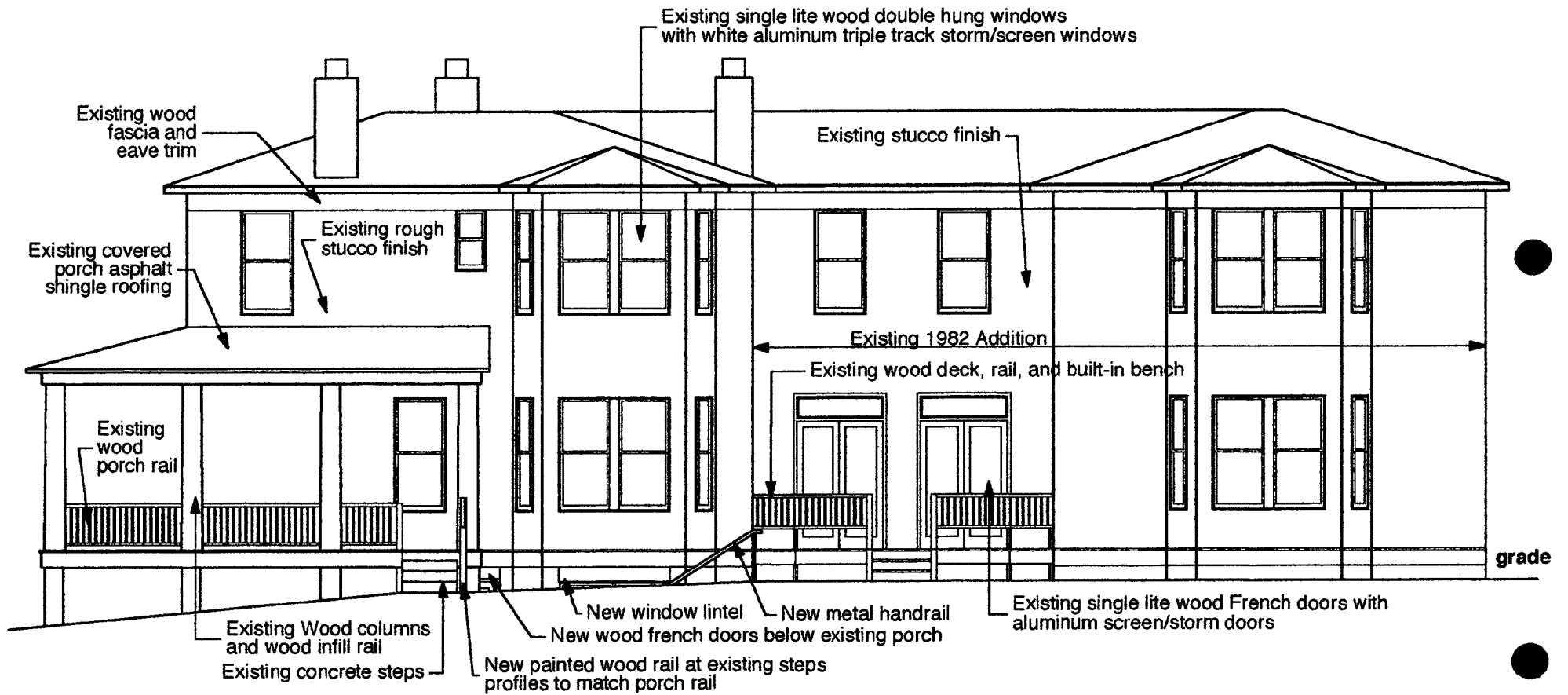
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 tel/fax 202-986-5542



1 Proposed Exterior South Side Elevation

01 5 10

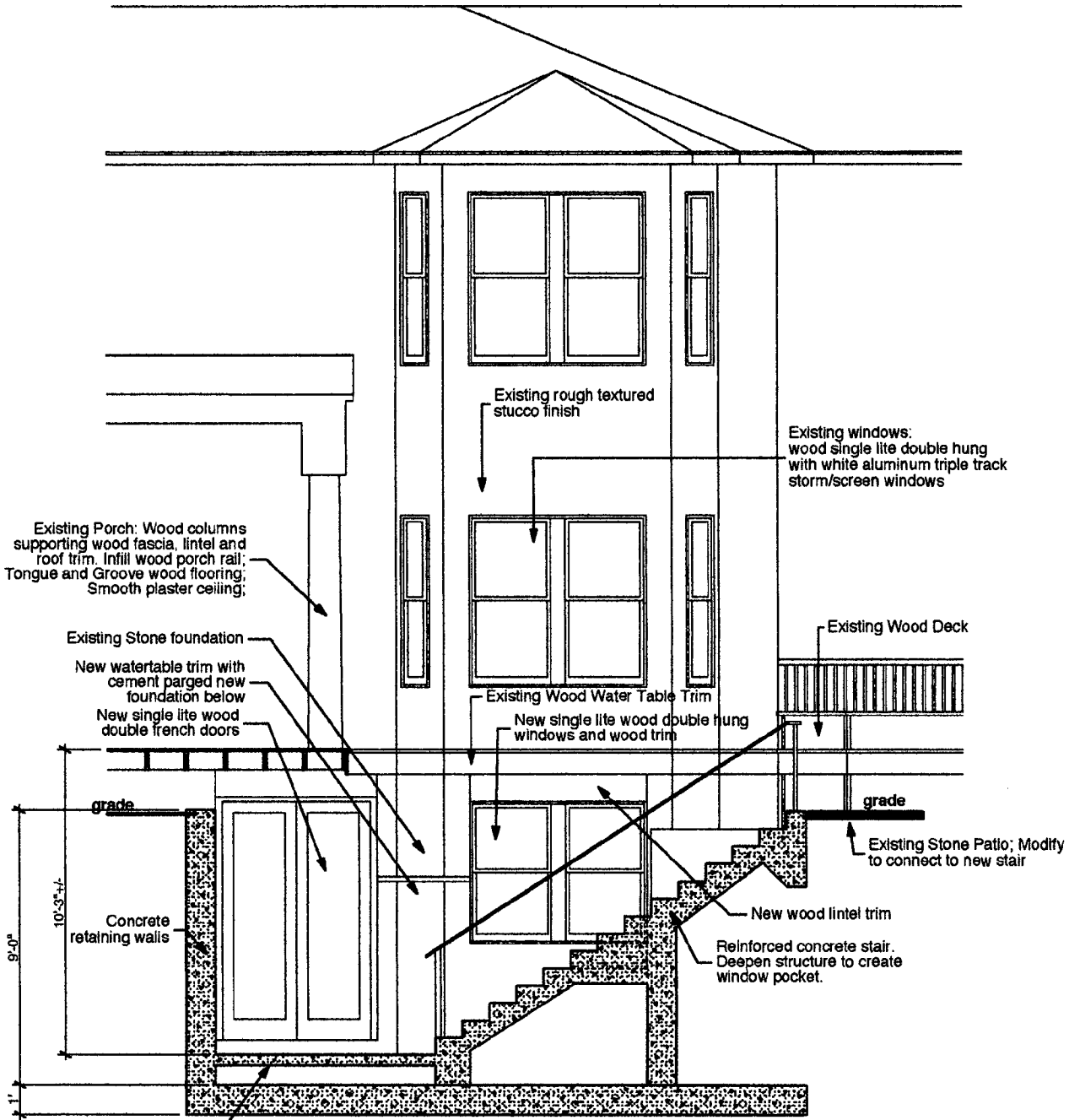
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H-4

David Knudson, Architect
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 Washington D.C. 20009
 tel/fax 202-986-5542



1 **Basement Stair Section/Elevation**

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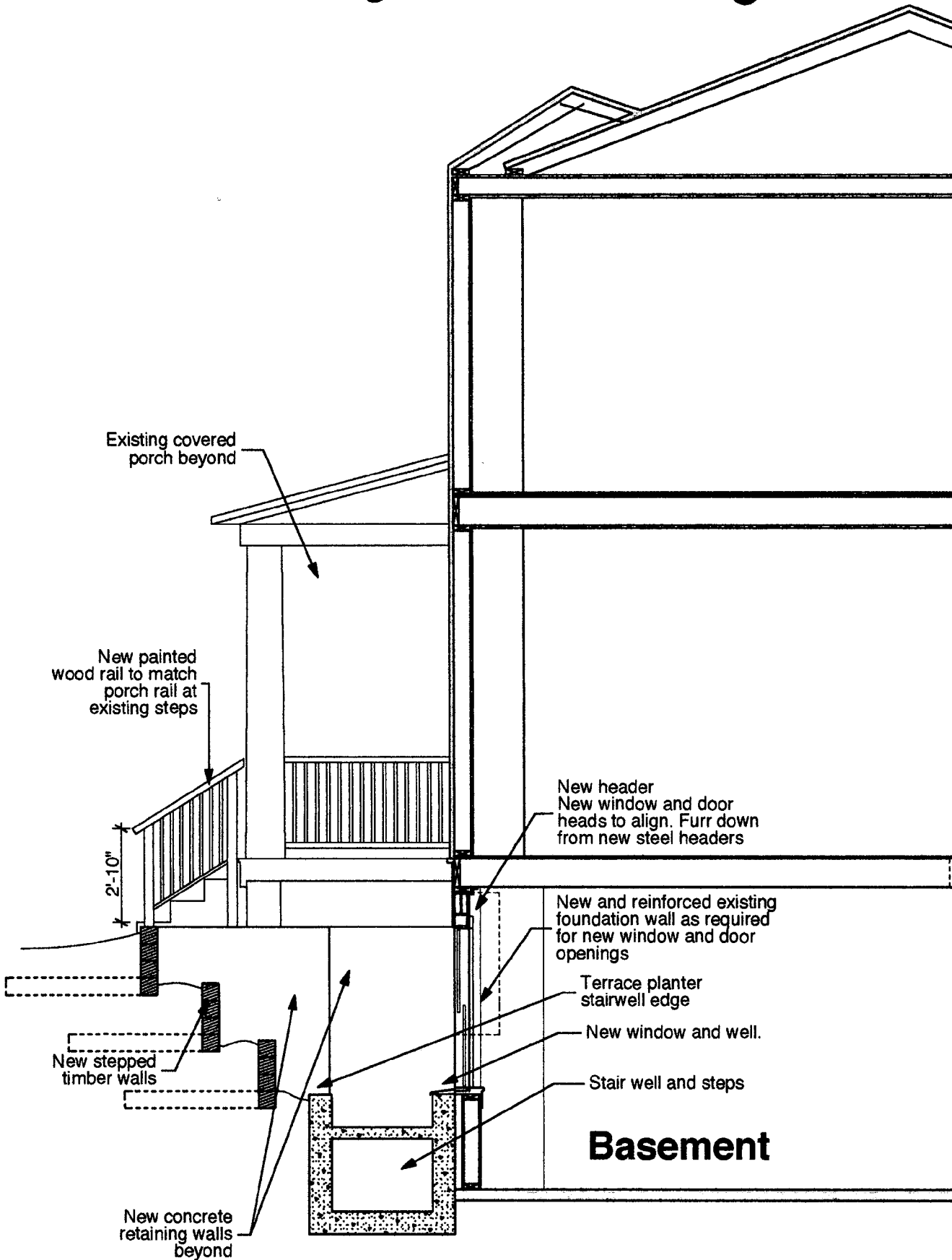
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H-5

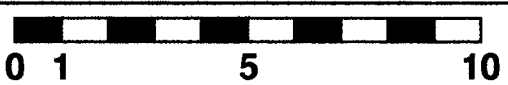
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DeBruin/Taylor Residence
 4312 Leland Street
 Chevy Chase, MD 20815



1

New Stairwell Section



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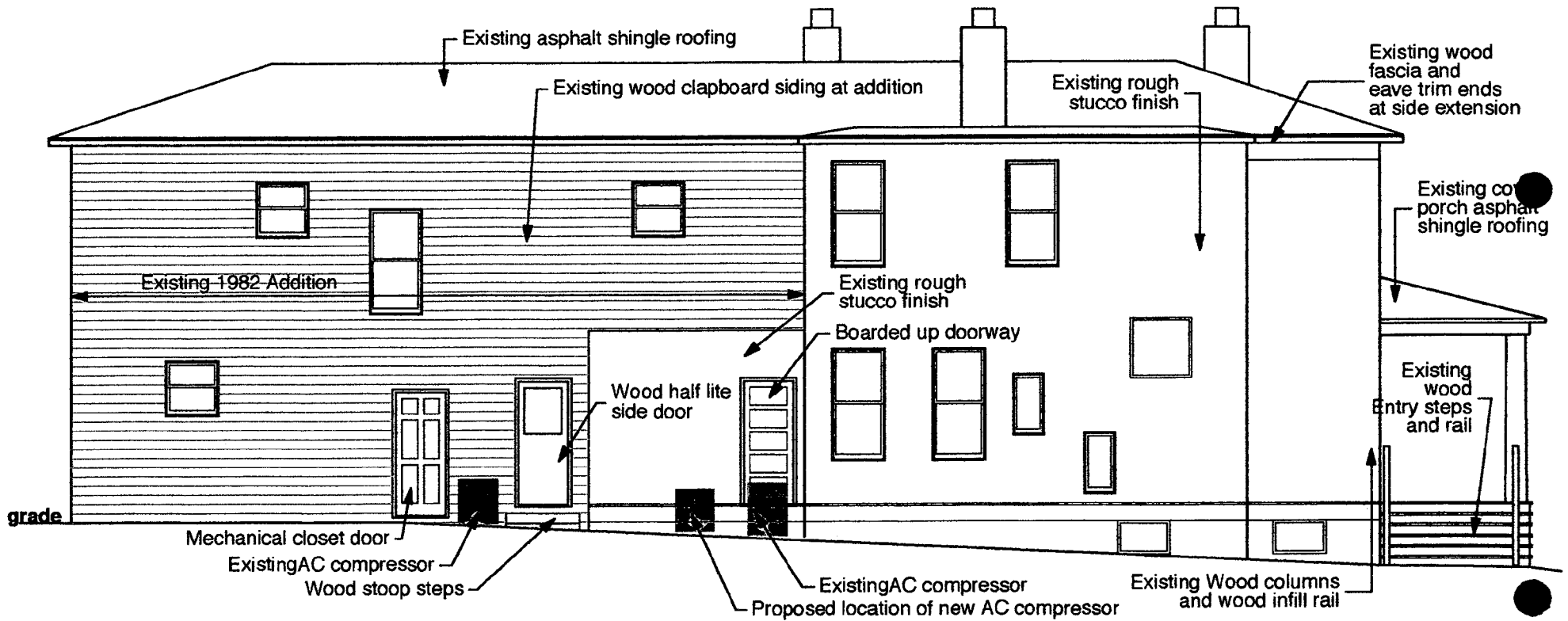
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DATE: Issued 12/21/04

DeBruin/Taylor Residence
 4312 Leland Street
 Chevy Chase, MD 20815

Basement



Existing Exterior North Side Elevation with Proposed Compressor Location

1

01 5 10

DeBruin/Taylor Residence
4312 Leland Street
Chevy Chase, MD 20815

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DATE: **Issued 12/21/04**

H-7

David Knudson, Architect
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Washington D.C. 20009
tel/fax 202-986-5542



West Side (Street) Elevation



Southwest Corner Detail Elevation

DeBruin/Taylor Residence
4312 Leland Street
Chevy Chase, MD 20815

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David Knudson, Architect
1807 California Street NW, #306
Washington D.C. 20009
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Original House



Shrub to be removed
Location of new
stairwell



South Side Elevation

DeBruin/Taylor Residence
4312 Leland Street
Chevy Chase, MD 20815

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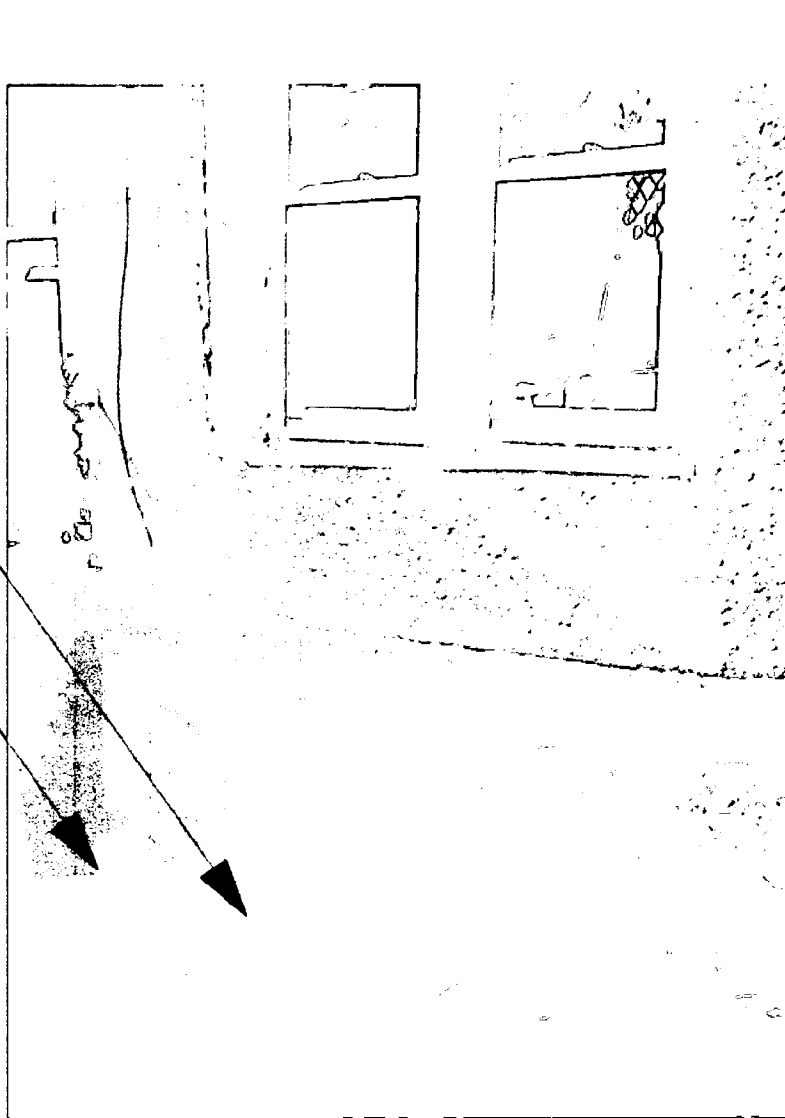
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DATE: **Issued 12/21/04**

H-9

Location of
New Stairwell

Existing Stairwell



Digital



Photo

Work Area Detail South Side Elevation

DeBruin/Taylor Residence
4312 Leland Street
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David Knudson, Architect
1807 California Street NW, #306
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tel/fax 202-986-5542



**North Side Elevation
(from Northwest Corner)**



**North Side Elevation
(from Northeast Corner)**

Existing AC Compressors
Location of new
AC Compressor

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H-11

Location of
new stairwell



**South Side Elevation
(from Southeast Corner)**



East Side Elevation

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