35/110-05A 4312 Leland Street MP Site: Butterfield House

DeBruin/Taylor Residence Outline Specifi

Project Data

David DeBruin and Elizabeth Taylor 4312 Leland Street

Chevy Chase, Maryland 20815 Architect: David Knudson, A.I.A. NCARB 1807 California St. NW, #306

Washington, D.C. 20009

Excavation of Existing Low Celling Basement and Crawl Space. Extension of foundation wall support and new on: overall basement slab. Interior construction to form rec room and support spaces. New replacement exterior stairs and stepped planting bed. Reinstallation of patio and plantings after construction

Project to conform to Current International Residential and Existing Buildings Code approved by Montgomery County, Maryland, and all other Codes Applicable to Single family Residential Construction in the Jurisdiction

Division One General Requirements

The Contractor (To be Determined) is responsible for the construction, coordination, bidding, and permitting of the project. This includes site safety and code compliance.

Submittals (min. 4 copies) of materials, construction systems specifications and stop aroungs are to be submitted to the Contractor who will then distribute to the architect or other appropriate party. Architect to be copied on all submittals. Required submissions include but are not limited to structural framing, concrete work. waterproofing and drainage systems, finish materials, million to extensor from and other specialty construction

The project is to conform to all applicable Montgomery County and Maryland Building and Life Safety Codes

related to this form of construction.

Alternates and substitutions will be made after the review by the architect, owner and contractor.

Written clarification stand missing specifications is toke obtained from one architect. Absence of a specification does not allow free application of aquestionably material or system.

Division Two Site Construction

Utilities: Locate all utilities overhead and underground prior to commencing work. Locate final service leading and organize relocation steps if relocation required.(eg. temporary locations, outages, new connections). Coordinate all general and limited utility outages or disruptions with owner. Organize work to limit these disruptions. In particular the rerouting of the sanitary waste lines must be coordinated with the owner and

limited in duration of work. Site Erosion Control Preparation: Prior to demolition and excavation secure construction perimeter edge, access lan, and debris dumping point with silt fence and haybale erosion control barrier. Provide temporary controlled drainage of construction area with silt filter fence and how bake women could barrier. Provide temporar

control systems as required by the governing authorities. Demolition: Remove structures and excavate for new basement, footings and slab removing all refuse and excess soil from site. All demolition and excavation to be done with proper, adequate and secure shoring systems to maintain the structural integrity of the existing structure, to insure a safe and stable work site, and to secure the existing structure from shifting, settling, or stress to existing finales. Contractor shall conserve with owner and agree on acceptable levels of existing finish dedress prior to commencement of work.

Drainage: Footing drains to be linked into storm water system if available or to be daylighted at a lower level of site with a screened opening or, if regid., to a sub-surface drainage field. This would need to be designed by a

Retaining Walls: All exterior retaining walls to be cement stucco parged. Drainage holes 8'-0" o.c. with gravel bed and screen on backside of wall. Wall top to receive standard concrete cap with 1" drip onboth sides of wall.

Stone Patios: Re-set disturbed portion of existing Flagstone patio in setting bed to matcch existing.

Stone walks: Loose stone slab garden walks to be set on gravel base roughly the size of the slab with the fimbled heapth of the state of the slab with the fimbled heapth of the state of the slab with the fimbled heapth of the state of the slab with the fimbled heapth of the state of the slab with the fimbled heapth of the state of the slab with the fimbled heapth of the state of the slab with the fimbled heapth of the state of the slab with the fimbled heapth of the state of the slab with the fimble details. See plans and consult owner.

Division Three Concrete

Concrete to conform to ACI Code 318-99. 28 day strength F'c=3500 PSI for exterior slabs and F'c=3000PSI for interior slabs or as noted on a particular detail. Concrete exposed to weather shall be air entrained with 6%

Foundations: All footings shall project at least 1'-0" into undisturbed natural soil or compacted controlled fill all with a min. bearing strength of 2000sf. Bottom of exterior wall footings to be min. 2'-6" below finesh grade or 6" below frost line whichever is greater. Footings shall project min. 5" from face of foundation wall and extend min. 10" deep, and they shall be reinforced, see details. Top of rough stoop slabs to be a min. 4" above finished grade. States to be confirmed wise mesh back wild your to lap joints to be as detailed in drawings. Provide control joints in interior slabs min. 20'-0" o.c. position under partitions. Interior slabs shall be laid on a layer of 6 mil. polyethylene vapor barrier over a 4" layer of washed gravel, u.o.n. Exterior slabs to be laid over

Division Four Masonry

Concrete Masonry Units: Hollow CMU in 4",8", and 12" widths, 8" height and 16" lengths grade N1 confroming to ASTM C-90 Thread reinforcing and anchor bolts for sill plates through open cells and grout solid. See details for reinforcing notes. Construction: all cells line up; provide clean-out holes above the footing in block cells to be reinforced; break all mortar protuding into block cells with reinforcing rod and remove.; file cells with 3000psi concrete. Provide control joints every 30'-0" max. consult designer for location.

All mortar shall conform to ASTMC270. Bearing wall mortar shall be type 'S' and below grade mortar shall be type 'M' All mortar joints horizontal and vertical shall be 100% filed.

Brick Veneer: Brick veneer to match existing old brick of main house. Contractor to submit samples for review and selection. Grout solid to CMU back-up wall with horizontal reinforcing at each CMU joint.

Division Five Metals

All reinforcing steel to confrom to ASTM - A615, Grade 60
All steel beams to be 36ksi steel conforming to ASTM A-36 standards. Primed all sides and penetrations. All welds to conform to AWS standards. All miscellaneous steel fabrications. Submit shop drawings. Prime all sides.

Division Six Wood and Plastics

Rough Carpentry Sheathing and Lumber
See Architectural and Framing Drawings for Dimensional Location and wall framing size. Submit Shop
Drawings and specifications of pre-engineered framing demands for received.

Load and Deflection Requirements

Standard Loads: Roof: 30 lbs/sf live (snow) load, and resist 80 lbs/sf wind uplift load, Provide tie downs at all raftr header bearing post connections. Decks/Balcony 60lbs/sf live load, Interior floors

4014/5 € 1006/56

Framing, posts, beams, joists, & rafters shall be Hem Fir #2, Southern Pine #2 or equal with Fb=850psi, E = 1.300,000 psi minimum. Structural studs shall be Fc = 500psi, E = 1,200,00 psi min. Microlams shall be Fb = 2800 psi, E = 2,000,000psi min. Framing lumber max 19% moisture content Wall framing to be blocked and braced to provide plumb, true and stable wall over full height of walls. Provide 1/2" wall sheathing with 8d nails @ 8"o.c. at all exterior wall corners. Provide blocking or additional joist in floor and ceiling for solid anchoring at new partitions that run parallel to joists and rafters and fall between them.

Exterior Timbers to be preservative treated with an aresnic free preservative.

Plywood Sheathing - Floors: T&G with glued and screwed installation -glue type to match application follow industry standard screwing/nailing schedule for best endurance and suitability. Walls: T&G following industry standard screwing/nailing schedule for best endurance and suitability.

Exterior Grade: Exposure 1, Structural 1 Plywood or OSB in thickness as noted on drawings or standard as specified here. Typical standard 3/1 of the fine with a walls. Use preservative treated material where it is in contact with masonry or concrete, within 18" of the fine wall a rade or where the installation will expose it to the planners.

Joist Hangers Simpson Strong Tie LU28 or HU210 or equal, Post Cap Connectors Simpson Strong tie AC and ACE series. or equal. Simpson Tie Down rafter connectors at all rafter headers. Sill plate anchors embedded in slab min 8" spaced max. 48" o.c but with in 12" of corners and min (2) per wall segment. Finish Carpentry to be of the best quality. All corners to be true and crisp. Interior millwork corners to have mitered construction. Miters finished and should be be that the many control true joints in painted wood elements to be patched and sanded for smooth finished true asked work to be clear grade (species TBD by owner). No joints allowed in lengths under 10'-0" and should opccur in logical transitions with In trim assemblies. Submitt shop drawings and/or specifications of all large carpentry

All exterior painted/stained timbering and trimto be 1" 5/4" and 1-1/2" cedar or approved alternate. Grade TBD. All sides and edges to be stained or back primed - depending on the first house. Final result is to match

existing trim and timburing on main house.

All millwork to be a minimum of birch plywood construction. 1/4" edge band on any exposed edge. Back prime or fimals with compatible about true makerials of all mades sortices. All exposed fasteners to be stainless steel. All exterior hidden fasteners to be hot dipped galvanized. All fasteners to be of compatible material to item being fastened and all material through which it penetrates to insure no corrosive interaction or staining of finaled product.

Basement Walls: A commercial grade Self Adherring Sheet Waterproofing system Consisting of 60 mil rubberized asphaltic sheet, portection board and composite drainage panel. Submit manufacuter's specifications and warranty information. To be included by manufacturer's requirements for full warranty. Owner and architect to review.

All exterior walls to have a continuous vapor barrier on the inside surface in the form of an integrated barrier with the insulation or a 6 mil polyethylene sheet with seams overlapped 6". Provide full depth sound insulation at bath plumbing walls. Insulate all voids in exterior walls with appropriate insulation type, including doors and windows. Provide spray type insulation at all cracks in exterior walls.

Provide Building Paper wrap Tyvek or equal over exterior side of all exterior sheathing. Lap with flucture at windows and doors for continuous moisture barner.

Caulks and Sealants Seal all open interior and exterior joints. At interior at painted elements provide painter's latex sealant. At wet or damp areas (bathrooms, wet bar) provide mildew resistent silicone sealants. At exterior provide standard painter's extenor sealant compatible with firms of materials at application, too de backer codes required. Architect to select color of caulk or sealant where left exposed.

Flash heads and sills of all exterior doors and windows with copper. Turn up edges at sill ends. Provide copper flashing pan at new basened under when sides to sill heapth at window. Evaluation with though wall copper flashing and drip.

Division Eight Doors and Windows

See schedule and elevations for sizes and light divisions. Windows to be primed wood. Exterior trim to be stock manufacturer provided brick mold. Adjust openings accordingly.

See schedule and elevations for sizes and light divisions. Doors to be primed wood.

Division Seven Thermal and Moisture Protection

Division Nine Finishes

Gypsum Wall Board Project Standard is 1/2" GWB. Use Type X at fire reled walls, to low V.L. resigns. Provide Level 4 Sunth Poside 1/2" cement board at all tile areas. Provide 1/2" moisture resistant gypsum board (green board) above cement board at showers and tubs, above and around lavatories including a distance 12" beyond the associated vanity, and at bathroom ceilings. Exterior Cement Stucco Parge minimum 3 coat system on reinforcing mesh attached to CMU wall. Final coat

ruto be an even fine fines on a retaining males and to match existing pebble times in at house Stone/Ceramic Tiles - Walls; Wainscot in Powder Room T.B.D. Flooring - Except Powder Room exterit and location TBD. All tile surfagees to be finished and them seed with a water based sealant. Financed sealant

Wood Flooring - Interior stairs from first floor to have breads to maken existing first floor word species width. painted poplar risers. At concrete continuation steps treads to be installed over treated wood on sleepers. Rough concrete steps to be adjusted accordingly.

Carpet-Laid over pad on concrete. Carpet manufacturer to provide best specification for becement

All finished wood surfaces to the parallel or shained unless other wase noted. All surfaces is be clean and free of imperfects before finalum. Colora T. E.D.

Division Ten - Specialties Louvers and vents: To match existing vents.

Toilet and Bath Accessories: T. B.D.

Division Twelve - Furnishings

Millwork- Wet bar and entertainment wall to be custom millork, or Poplar frame with standard frameless cabinet boxes set into frame. See drawings Window Treatements - by owner. Contract ro to provide blocking and to install rods or hardware as directed by

Division Thirteen- Special Construction

Division Fourteen- Conveying Systems

Division Fifteen- Mechanical See Drawings for additional information

Heating, Ventilating and Air Conditioning The information contained in these specifications and arounds are ment as the entractor's quite to 1126 type, location, and equipment.

The mechanical contractor is responsible for the find design and not submit that senge prove to commencing. work. There are(2) options for the HVAC system. Option 1: Heating- Add a branch with separate thermostatically controlled manifold to the existing hotwater radiator system located in the basement and loop to 3 or 4 thin (fin hope) well radiators to head the busement. As an add atterned feed the long that a radiator the heat system. Air Conditioning; design a through wall system under the bay window. Compressor coils would need to be offset to avoid the stairs. Option 2: Design a forced air combined heating and to side system with the airhandler in the store room and compressor ganged with the other compressors at the side of the house.

Arrangement of the compressor to be coordinated with later renovation plans. Ductwork to be run at ceiling.

Heat pump with electric back-up heat coil or gas fired by nece as per the mest effective manner to section.

design requirements.

Scope of Work.

1. The contractor shall design, build and install the new HVAC system for the basement per selection from options listed above and per conversation with owner and architect.

Unit to drain into waste line.

All furnished materials to be new and free of defects. All materials to be installed in strict accordance with manufacturer's requirements and recommendations. Contractor to provide warranty on all new equipment. Submit Grille Options for Review

Ductwork - all primary duct shall be 26ga. galv. steel min. and shall be fabricated to the latest ASHRAE and SMACNA guidelines. Flexible duct is permissible to vent connections.

Main Return Air duct to be lined. All dampers to be accessible. Perform work in accordance to all local codes,

regulations and ordinances. The contractor shall design/build system with proper duct sizes and venting to achieve proper system balance and adequate air quantities. Supply registers should not create unacceptable breezes.

All vent locations to be reviewed with designer.

Cooling design shall be adequate to maintain an inside temperature of 75° dry bulb and 50% relative humidity with an outside temperature of 95° dry bulb and 78° wet bulb. Heating design shall be adequate to maintain an inside temperature of 70° when the outside temperature of when the wind elocity is 15 mph and the is no sun. The systems must be QUIET to industry standards.

material where it is in contact with masonry or concrete, within 10 or contact.

Installation will expose it to the elements.

Interior Sub-floor on youths: Wat 15-C shocked to be enderly ment at realized to be provided to the control of the cont valves to be brass and secured to framing. Anchoring of piping to isolate for elimination of vibrations, and transference of sound. Flash all roof vents. Extend up above roof min. 12".

Division Sixteen- Electrical

See Electrical drawings for lighting and outlet layout. Perform all work in conformance with the National Electrical Code and all other governing local codes and regulations. HVAC equipment and other appliances to be on separate circuits per manufacturer's requirements. Circuit lights separate from outlets. Circuits to follow applicable code requirements. Evaluate capacity with HVAC system. Wall device style and color T.B.D. by owner & architect. Lighting Fixtures see schedule and confirm with owner and architect prior to order in Telephone, Data, and Cable to be located in field by owner. Marmand telechan typical to be liabel into existing system. All doors, windows and detectors to be connected.

PROJECT GENERAL NOTES:

1. The documents include the drawings, specifications and any addendar

2. The documents are meant to be as comprehensive as practical. If the contractor of sub-contractor find a condition unexplained in the discovered, there is contact. architect for clarification. The architect of Plan consolitant cannot be held responsible for changes to the documents that are not authorized by them.

3. Contractor and subcontractors are responsible for inspecting existing field conditions.

If discrepancies are discovered between field conditions and drawings or within the documents, contact the architect for claiffication, they shall not proceed with the work affected until clarification has been made by the exchitect. The many two proceedence over scaled dimensions. Detail drawings take precedence over drawings at a small scale.

13. No work defective in construction or quality or deficient, in any registratives of drawings and specifications will be exceptibled in construction or quality or deficient, in any registratives of drawings and specifications will be exceptibled in construction or quality or deficient, in any registratives of drawings and specifications will be exceptibled in construction or quality or deficient, in any registratives of drawings and specifications will be exceptibled in construction or quality or deficient, in any registratives of drawings and specifications will be exceptibled in construction or quality or deficient, in any registratives of drawings and specifications will be exceptibled in construction or quality or deficient, in any registratives of drawings and specifications will be exceptibled in construction or quality or deficient.

4. All work is to conform to all applicable governing codes.

5.All work is to adhere to the specifications and delades at the decimal, or judice [5.4] 4. "Furnish" means supply only for others to put in place. common practice trade standards whichever is strictest and will provide the owner with the safest and most durable construction.

15. "Provide" means furnish and install complete and in place.

6. The Contractor and Subcontractors shall take all reasonable control and precaution to eliminate dust, noise, odor nuisance and the like from and to the premises and

7.Owner shall apply for, pay for, and obtain all building permits. Contractor and subcontractors to apply for, pay for, and obtain the following items: trade permits, and inspections & all other governmental approval s . Submit copies to owner.

Contractor shall pre-arrange and coordinate with Owner all phasing of the work including delivery of materials, construction, clean-up, etc. Utility outages shall be arranged with the owner.

9.Contractor shall be responsible for maintaining a clean and safe jobsite. This includes maintaining an emergency egress path and signage throughout the construction period and maintaining the soil and erosion control systems as required by the governing jurisdiction, should the construction process and scope be capable of causing erosion problems.

10. Contractor shall coordinate and verify that no confl mechanical, telephone, electrical, and plumbing (to include all piping, duct-work and conduit and that all required clearances for installation and maintenance of above equipment are provided. Elements to be exposed or concealed shall be determined and reviewed with architect prior to construction proceeding.

11. Dimensions are not adjustable without approval of architect unless noted(±). Framing dimensions are rough to rough unless otherwise noted. Finished detail dimensions, are from finished and fine to be from above finished there (A.K.E.) Drawings are not to be scaled. If discrepancies are discovered the architect is to be notified for danhacting.

12. Regarding new items provided; only items of recent manufacture, of standard or specified and the free from defect will be permitted on the work. Reserved plant, be removed immediately from the work and replaced with items of the quality specified. Find the specified from the responsibility for quality and character of items used nor from any other obligation imposed on him by the contract.

Drawing List

General notes, Outline Specifications and equipment about not rehave the A1

Specifications and

15. "Provide" means furnish and install complete and in place.

dimensions and orientation.

17. "Typical" means identical for conditions noted.

18. Contractor and sub-contractor to provide protection of all materials through all phases of construction. The contractor and sub-contractors shall also make all necessary provisions for items to be furnished or installed by Owner. Provide protection for these provded items until completion of the project. Contractor to coordinate N.I.C. items with appropriate trades.

16. "Similar" means comparable characteristics for conditions noted. Contractor to verify

19. Contractor and subcontractors shall warrant all work to be free of defects in workmanship and materials for a period as determined by the owner but no less than one year. Certain Items will require specialty installation and these tiems will require a certain before period as determined as determined as a certain before period as determined.

20. The finished work-shell helican and well and the line of alignment plants, had with smooth, clean, uniform appearance without waves, distortions, holes, marks, cracks, stains or discolorations. Joints shall be close fitting, neat and well secretary. The finish shall not present hazardous, unsafe corners. All work shall have the provision for expansions; contraction, and shrinkage as necessary to prevent cracking, buckling and warping due to temperature and humidity conditions. Attachments, connections or fasterings of any nature are to be properly and permanently secured in conformance with best practice and the contractor and subcontractors are responsible for improving on them should conditions permit or require responsible for improving on them should conditions permit or require.

PLANIMETRIC SURVEY

PART OF LOT 3, BLOCK 5

NORWOOD HEIGHTS

7TH (BETHESDA) ELECTION DISTRICT

MONTGOMERY COUNTY, MARYLAND SCALE: 1" = 40' NOVEMBER, 2004

WITMER ASSOCIATES, LLC

Land Surveying, Land Planning & Design 98—A Church Street

Rockville, MD 20850

Tele.: (301) 309 - 8600

Fox: (301) 309 - 8603

Contractor and Subcontractors shall provide all necessary instructions and manufacturer's manuals to the owner for the operation of all materials, items and

Site Plan

A2 Demolition Plan, Excavation Plan. Partition Plan. Interior Elevation and Schedules

A3 General Building Sections and Elevations

Montgomery County distoric Preservation Comm

A4 Structural Plan and

Basement Wall Renovation and Replacement **Exterior Basement Stair**

DeBruin/Taylor

Chevy Chase, MD 20815

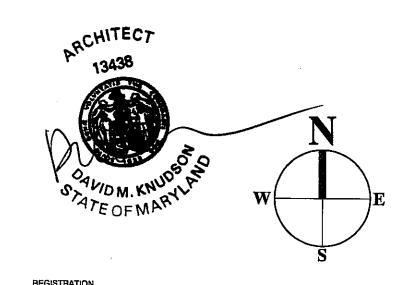
Residence

4312 Leland St.

Addendum to **Permit No. 366971**

Issued for Permit and Construction January 18, 2005

1807 California St. NW, #306 Washington, D.C. 20009 tel./fax 202-986-5542



General Notes, Specifications and Site Plan

Official Survey Plat AND SITE PLAN

Part of Lot 3, Block 5, as shown, has been graphically reproduced

the Land Records of Montgomery County, Maryland.

office, dated November, 2004.

Zone: R-60.

Site Address: 4312 Leland Street.

from available deeds and plats of record which are recorded among

Locations, as shown, taken from a field run survey completed by this

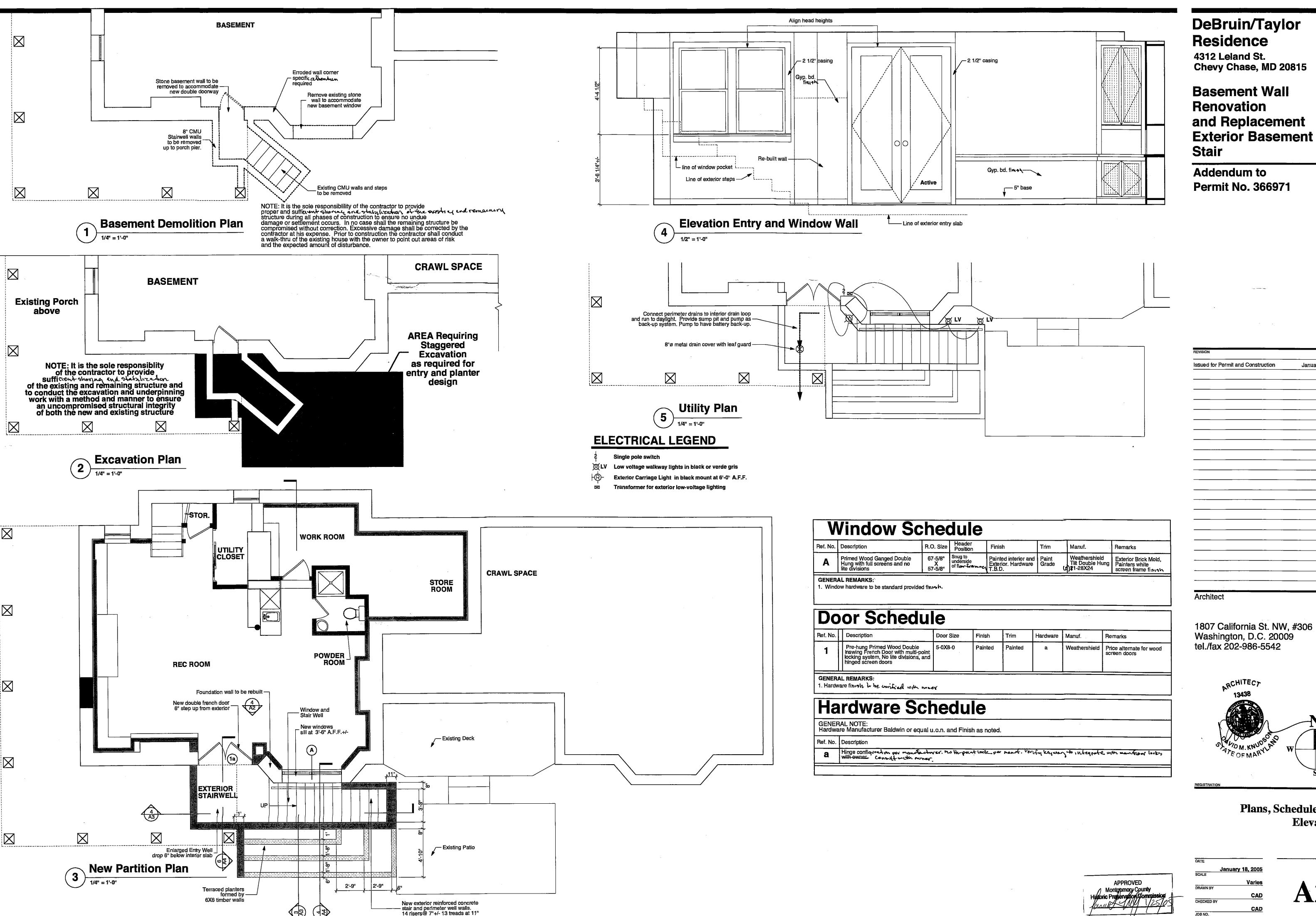
PREPARED FOR:

David Debruin

4312 Leland Street

Chevy Chase, MD 20815

(202) 639 - 6015



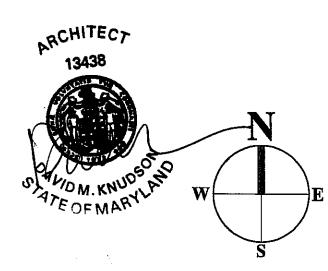
DeBruin/Taylor Residence 4312 Leland St.

> **Basement Wall** Renovation and Replacement

Addendum to **Permit No. 366971**

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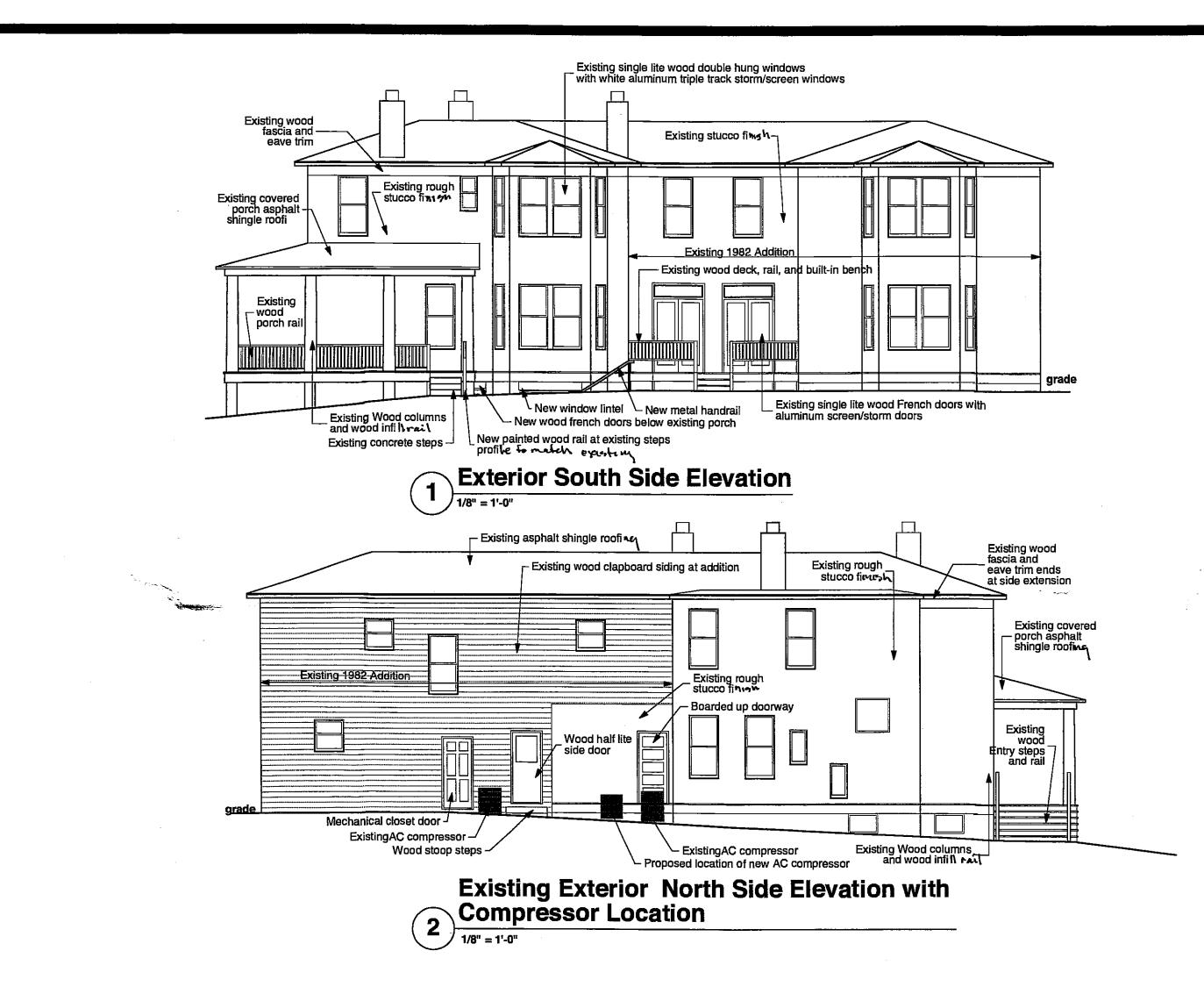
1807 California St. NW, #306 Washington, D.C. 20009 tel./fax 202-986-5542

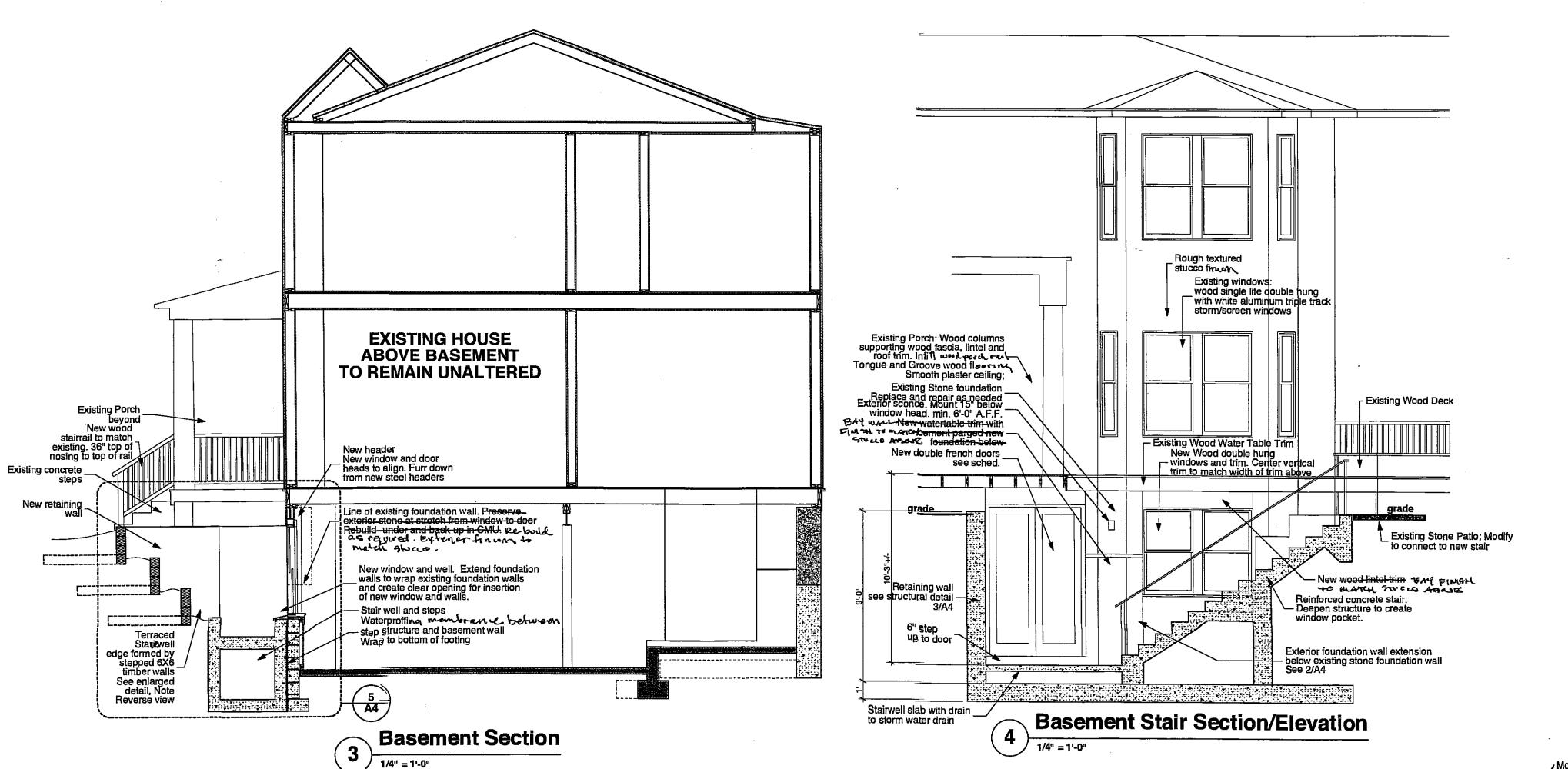


January 18, 2005

Plans, Schedules and **Elevations**

DATE	
	January 18, 2005
SCALE	
	Varies
DRAWN BY	-
	CAD
CHECKED BY	•
	CAD





DeBruin/Taylor Residence 4312 Leland St. Chevy Chase, MD 20815

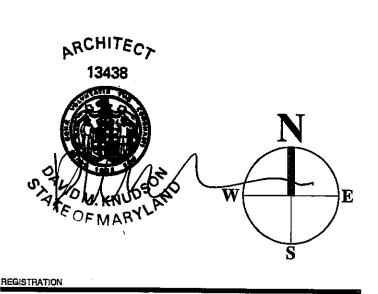
Basement Wall Renovation and Replacement Exterior Basement Stair

Addendum to Permit No. 366971

REVISION	
Issued for Permit and Construction	January 18,
	<u> </u>

1807 California St. NW, #306 Washington, D.C. 20009 tel./fax 202-986-5542

Architect



Sections and Elevations

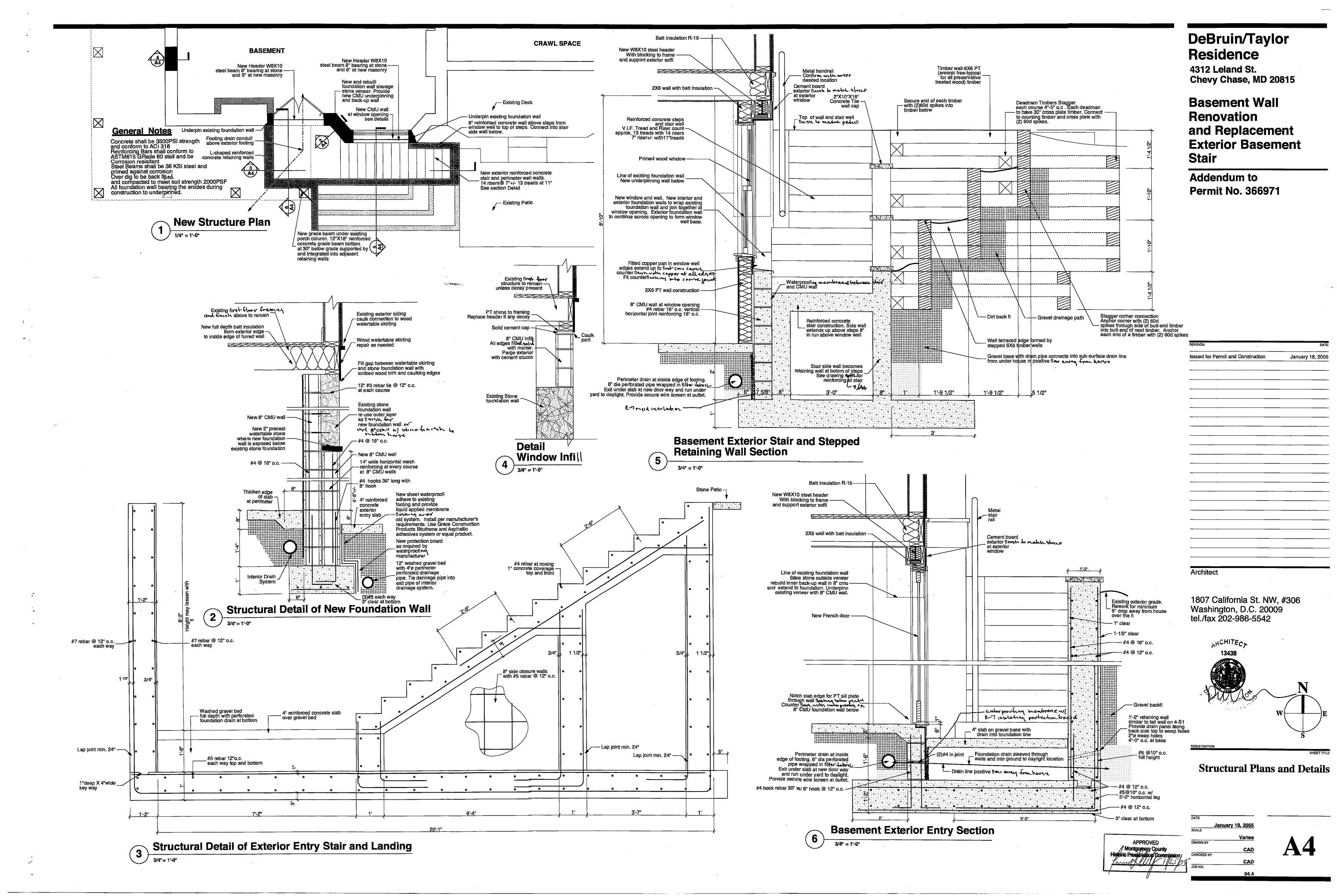
Montgomery County
Historic Preservation Commission

CAD

CAD

JOB NO.

A3





Date: January 13, 2005

MEMORANDUM

TO:

David DeBruin & Elizabeth Taylor (David Knudsen, Agent)

4312 Leland Street, Chevy Chase, Master Plan Site #35/110, Butterfield House

FROM:

Tania Georgiou Tully, Senior Planner

Historic Preservation Section

SUBJECT:

Historic Area Work Permit Application # 368645

Your Historic Area Work Permit application for basement alterations was **approved** by the Historic Preservation Commission at its January 12, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at http://permits.emontgomery.org of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



Date: January 13, 2005

MEMORANDUM

TO:

Robert Hubbard, Director

FROM:

Tania Georgiou Tully, Senior Planner

Historic Preservation Section

SUBJECT:

Historic Area Work Permit # 368645

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant:

David DeBruin & Elizabeth Taylor, David Knudsen, Agent

Address:

4312 Leland Street, Chevy Chase

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at http://permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work



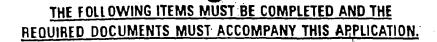


HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAVID KNUBSON	
Daytime Phone No.: 202-986-55 42	
Account No. 07 - 00523660	
ne of Property Owner: DAVID DEPRIN & ELIZABETH TA Daytime Phone No.: 202-639-6000	
tress: 4312 LELAND ST CHEVY CHASE MD ZOBIS Street Number City Steet Zip Code	
Tractor: PETE GANGINIS Phone No.: 301-921-9649	
ntractor Registration No.: 31970	
ent for Owner: DAVID KNUDGON Daytime Phone No.: 202-986-5542	
CATION OF BUILDING/PREMISE	
use Number: 4312 Street LELAND ST.	
WINCHT CHEVY CHASE Nearest Cross Street: CURTIS ROAD	
1: PARE UF LOT 3Block: 5 Subdivision: NORWOOD HETCHYS	
ver:Folio:Parcel:	Fair .
ART ONE: TYPE OF PERMIT ACTION AND USE	PA .
CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:	
Construct	
☐ Move ☐ Install ☐ Wreck/Raze ☐ Solar ☐ Fireplace ☐ Woodburning Stove 💢 Single Family	
□ Revision □ Repair □ Revocable Fence/Wall (complete Section 4)	HENT BUTEY
3. Construction cost estimate: \$ 50,000	
If this is a revision of a previously approved active permit, see Permit # 366971 THIS WORK WOULD EXPAND THE	escope of
THE ALREHOY GRANTED INTERIOR WORK PERMIT ART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS	
A. Type of sewage disposal: 01 🕱 WSSC 02 🗆 Septic 03 🗆 Other:	
3. Type of water supply: 01 💢 WSSC 02 🗆 Well 03 🗀 Other:	
ARY TUDEL. COMPLETE ONLY FOR FENCE METAINING WALL	
ART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL A. Height 9 feet 0 inches AT BASEMENT STEPS AREAWAY	
A. Height feet inches AT DASEMENT STEPS AREA WAY 3. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:	
On party line/property line	
City party line, property line 25 Charlety on land of owner 2 Charlety on Way, casement	
hereby certify that I have the authority to make the loregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.	
Mum/M/////	•
Signature of owner or authorized agent Date	
pproved:For Chair person Mistorio Proservation Commission	
isapproved:Signature:Date: 1/12/05	
Date Silver 12 - 21/2 Date Silver 12 - 21/2	

SEE REVERSE SIDE FOR INSTRUCTIONS



WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

HISTORIC OFIGINAL 2-STORY ITALIANATE FOUR SQUARE FARM HOUSE WITH 1987 KETTE 2-STORY ADDITION, OCIOINAL HOUSE HAS ROUGH STUCKO PINISH ON ALL EXPOSED SIDES AND THE AUDITION HAS A MATCHING EINISH ON THE SOUTH SIDE WITH WOOD CLAPDEAGO ON THE NORTH AND EAST SIDES ENVIRONMENTAL SETTING: LARLE LOT WITH MATURE TREES IN A RESIDENTIAL NEIGHBORHOOD COMPRISED OF NOW-HISTORIC ORIGINAL AND REMODELED MOMES FROM THE TO'S AND LATER HISTORIL SIBNIFICANCE: PRIBINAL HONSE ONE OF THE FEW REMAINING STRUCTURES IN EXISTENCE PRIDE TO THE NORMOOD HEIGHTS INB-DIVISION, IT STILL ESTIBITS THE ARCHITECTURA FEATURES OF ITS ITALIANATE BRIGIN - EAVE DETAIL & PORCH. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PROJECT: RELONGIAURE CYISTING BASEMENT ENTEY: ENLIRES EXISTING BASEMENT DOOR. ADD DOUBLE BASEMENT WINDOW, RECONFIGURE STRUK TO PROVIDE STEPPED WINDOW WELL AND THEBER AREAMAN MASORITY OF ALTERATION WALL BELOW GRATE HOR DOES NOT LITTLE VIGUAL IMPACT ON THE HISTORIC RESOURCE. VISUBLE RALLET BUSTING PORCH SIDE STORE TO MATTEL POPE CHI BALL AND HANDRALL AT BASE STEPS TO BE METEL AND AS MINWIFAL AS POSSIBLE. THESE ACTERATIONS SHOULD NOT HARMYTHE ENVIRONMENTAL SETTING OR HISTORIC

SITE PLAN

OR SIGNIFICANTLY CHANGE resource

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17", Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

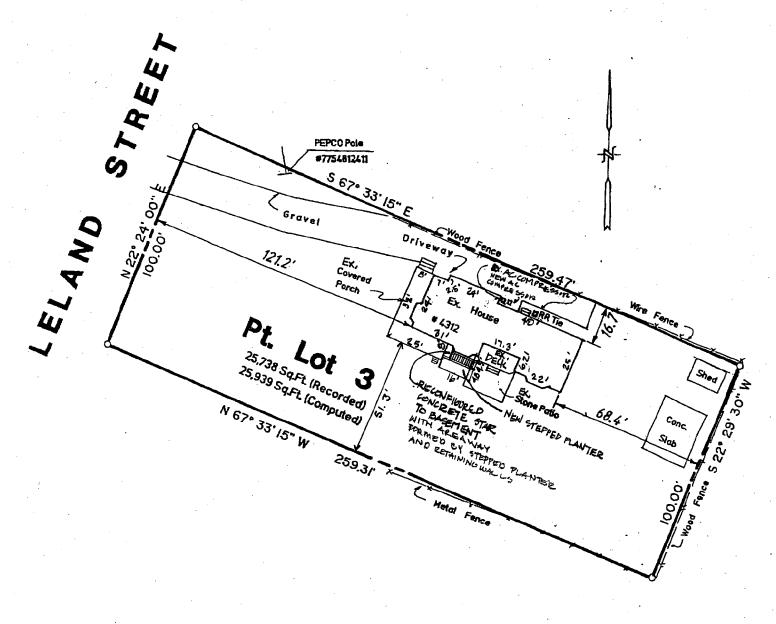
TREE SURVEY

If you are proposing construction adjacent to or within the drictine of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension,

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



NOTES

Part of Lot 3, Block 5, as shown, has been graphically reproduced from available deeds and plats of record which are recorded among the Land Records of Montgomery County, Maryland.

Locations, as shown, taken from a field run survey completed by this office, dated November, 2004.

Site Address:

4312 Leland Street.

Zone: R-60.

PREPARED FOR:
David Debruin
4312 Leland Street
Chevy Chase, MD 20815
(202) 639 - 6015

PLANIMETRIC SURVEY PART OF LOT 3, BLOCK 5

NORWOOD HEIGHTS

7TH (BETHESDA) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND SCALE: 1" = 40' NOVEMBER, 2004

WITMER ASSOCIATES, LLC

Land Surveying, Land Planning & Design 98-A Church Street Rockville, MD 20850 Tele.: (301) 309 - 8600

Fax: (301) 309 - 8603

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

4312 Leland Street, Chevy Chase

Meeting Date:

01/12/05

Applicant:

David DeBruin & Elizabeth Taylor

Report Date:

01/04/05

David Knudsen, Agent

Resource:

Master Plan Site

Public Notice:

12/29/04

Butterfield House

Tax Credit:

None

Review:

HAWP

Staff:

Tania Tully

Case Number:

35/110-05A

PROPOSAL: Basement alterations

RECOMMENDATION:

Approve

PROJECT DESCRIPTION

SIGNIFICANCE:

Master Plan Site #35/110, Butterfield House

STYLE:

Colonial Revival Foursquare

DATE:

c.1898-1901, c.1980 rear addition

PROPOSAL:

The applicants propose to reconfigure the basement entry by enlarging the existing doorway, installing wood double French doors and adding a pair of wood 1/1 double-hung windows. The stairs will be reconfigured with a tiered planter window well. Most of the work will be below grade. The visible handrail is designed to match existing. (See Circles 6-8)

APPLICABLE GUIDELINES:

Proposed alterations to individual *Master Plan* Sites are reviewed under Montgomery County Code Chapter 24A (Chapter 24A) and the *Secretary of the Interior's Standards for Rehabilitation*. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 - 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 - 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic



resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation:

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- #5 Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

STAFF DISCUSSION

This proposal is nearly inconspicuous as most of it occurs below grade. The alterations are to an existing basement stair and entrance. The modifications allow for more light to enter the basement. The stepped-planters provide a nice transition from the yard to the stairway. Approximately 5' of the stairwell extends under the historic porch, but does not alter the porch. The proposed new doors and windows will be wood, as will the new handrail on the existing porch side steps. The stair handrail will be as minimal as possible. Staff believes the alterations to be minimal and not detrimental to the historic property and recommends approval.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the Secretary of the Interior's Standards for Rehabilitation #s 1, 2, & 5.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present** <u>3 permit sets</u> of drawings to HPC staff for review and stamping prior to submission for **permits (if applicable).** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work <u>and</u> not more than two weeks following completion of work.



25 ROCK / LEE PIKE, 2nd FLOOR, RISICA / ILLE, who 2005 of



HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAVID KNUDSON	
Daytime Phone No.: 202-986-55 42	
(Account No.: 07 - 00523660	
me of Property Owner: DAVID DEPRENIN & ELIZABETH TAYLOR Daytime Phone No.: 202-639-6000	
dress: 4312 LELAND ST CHEUP CHASE MD 20815 Street Number City Steel Zin Code	
ntractor: PETE GAN 61 N 1 S Phone No.: 301 - 921 - 9649 ntractor Registration No.: 31 970	•
ntractor Registration No.: 01970 sent for Owner: PAVID KNUDGON Daytime Phone No.: 202-986-5542	
Best tot Owner. 2 A 1 1 Proposition Desymmetric Proposition Design Proposition Desymmetric Proposition Desymmetric Proposition Desymmetric Proposition Design Propo	
ICATION OF BUILDING/PREMISE	
iuse Number: 4312 Street LELAND ST.	4. ,
WIT/City: CHEVY CHASE Nearest Cross Street: CURTIS ROAD	•
t: PART UF LOT 3 Block: 5 Subdivision: NORWOOD HEIL HTS	es.
per:Folio:Parcel:	
ART ONE: TYPE OF PERMIT ACTION AND USE	44
L. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:	
Construct Extend Alter/Renovate AC Sleb Room Addition Porch Deck Shed	
☐ Move ☐ Install ☐ Wreck/Raze ☐ Solar ☐ Fireplace ☐ Woodburning Stove 💢 Single Family	
☐ Revision ☐ Repair ☐ Revocable	ient entry sters
3. Construction cost estimate: \$ 50,000	÷.
:. If this is a revision of a previously approved active permit, see Permit # 366171 THIS WORK WOULD EXPAND THE	score of
THE ALREHOY GRANTED INTERIOR WORK FERMIT	
1. Type of sewage disposal: 01 💆 WSSC 02 🗆 Septic 03 🗀 Other:	
3. Type of water supply: 01 📈 WSSC 02 🗆 Well 03 🗆 Other:	
ART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
1. Height 9 feet 0 inches AT BASEMENT STEPS AREAWAY	•
1. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:	•
☐ On party line/property line	
vereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans proved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.	
A A A A A A A A A A A A A A A A A A A	
3/10/VIIII 12/20/01	
Signature of owner or authorized agent Date	
proved: For Chairperson, Historic Preservation Commission	
sapproved: Signature: Date: Date: Date: Date Date	

SEE REVERSE SIDE FOR INSTRUCTIONS



THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

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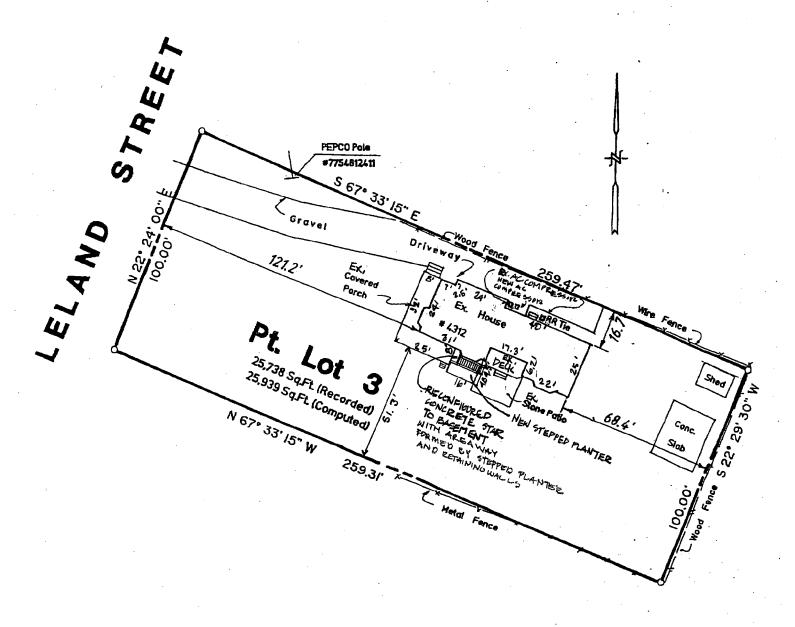
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RESOURCE_



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Zone: R-60.

PREPARED FOR:
David Debruin
4312 Leland Street
Chevy Chase, MD 20815
(202) 639 - 6015

PLANIMETRIC SURVEY PART OF LOT 3, BLOCK 5

NORWOOD HEIGHTS

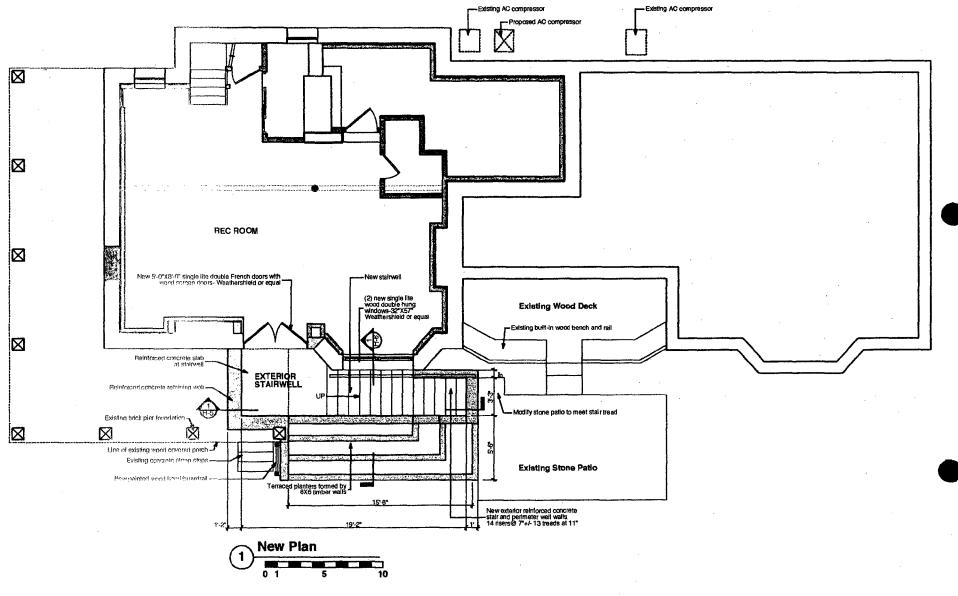
7TH (BETHESDA) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND SCALE: 1" = 40' NOVEMBER, 2004

WITMER ASSOCIATES, LLC

Land Surveying, Land Planning & Design 98—A Church Street Rockville, MD 20850 Tele.: (301) 309 — 8600

Tele.: (301) 309 - 8600 Fax: (301) 309 - 8603

H-1





DeBruin/Taylor Residence
4312 Leland Street
Chevy Chase, MD 20815

DATE: Issued 12/21/04

TITLE: Historic Area Work Permit Review
DATE: Issued 12/21/04

H-2

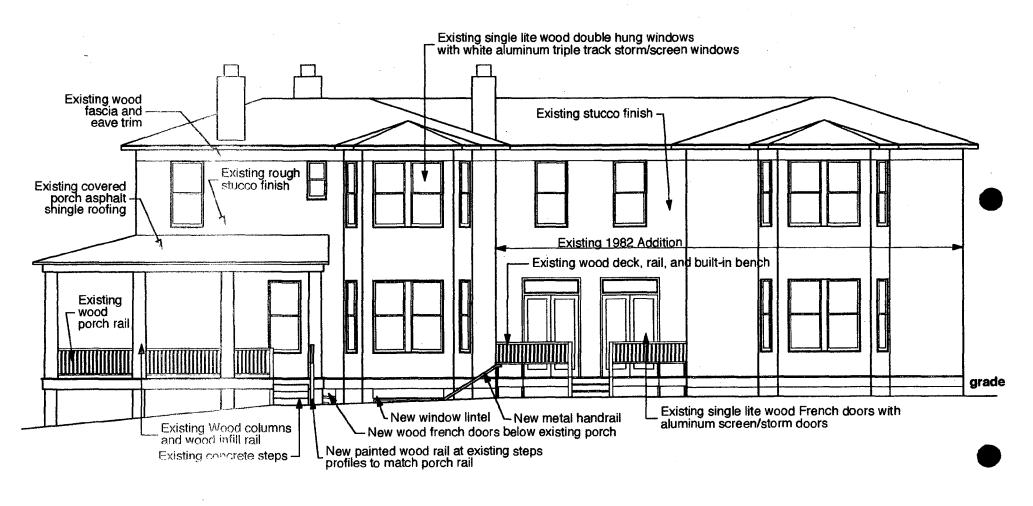
David Knudson, Architect
1807 California Street NW, #306
Washington D.C. 20009
tel/fax 202-986-5542







E: Historic Area	David Knudson, Architect 1807 California Street NW. #306 Washington D.C. 20009	
TE: Issued 12/21/04	H-3	tel/iax 202-986-5542
		Historic Area Work Permit Review H-3







DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815

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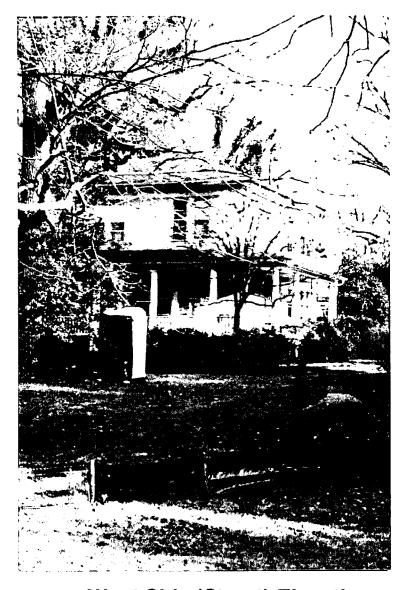
TILE: Historic Area Work Permit Review

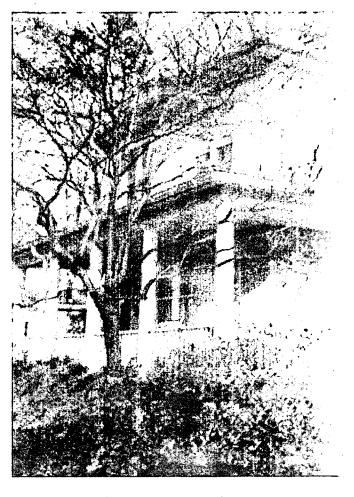
DATE: **Issued 12/21/04**

Review

David Knudson, Architect

1807 California Street NW. #306
Washington D.C. 20009
tel/fax 202-986-5542







West Side (Street) Elevation

Southwest Corner Detail Elevation

DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815

TITLE: Historic Area Work Permit Review

DATE: |ssued 12/21/04

H-8

1807 Cahornia Street NW, #306 Washington D.C. 20009 tel/ax 202-986-5542

<u>a</u>,

Original House





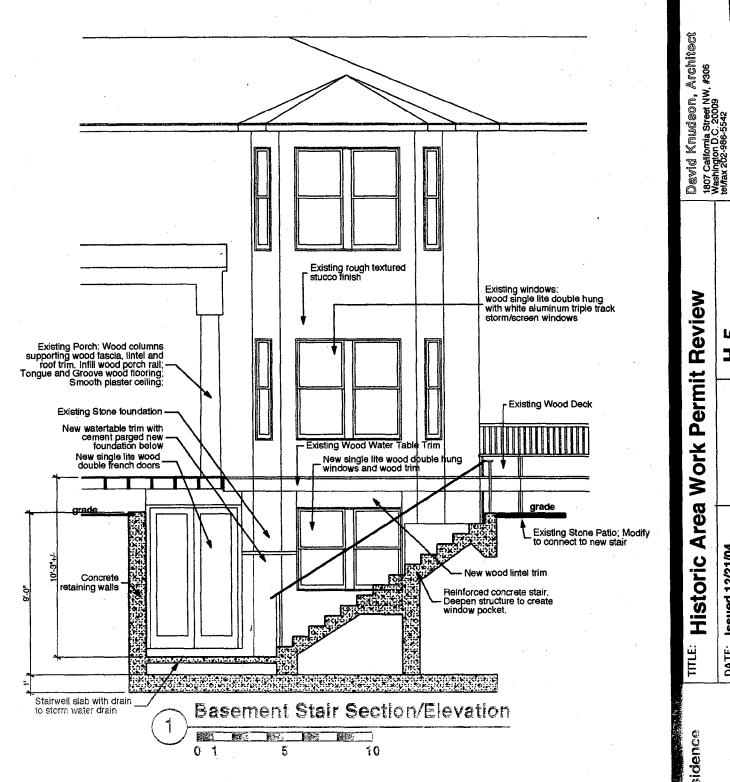
Shrub to be removed Location of new stairwell

South Side Elevation

DeBruin/Taylor Residence
4312 Leland Street
Chevy Chase, MD 20815

TITLE: Historic Area Work Permit Review

1807 C or a Street NV #306
Wast rg. on D.C 20009
telfax 202-986-5542



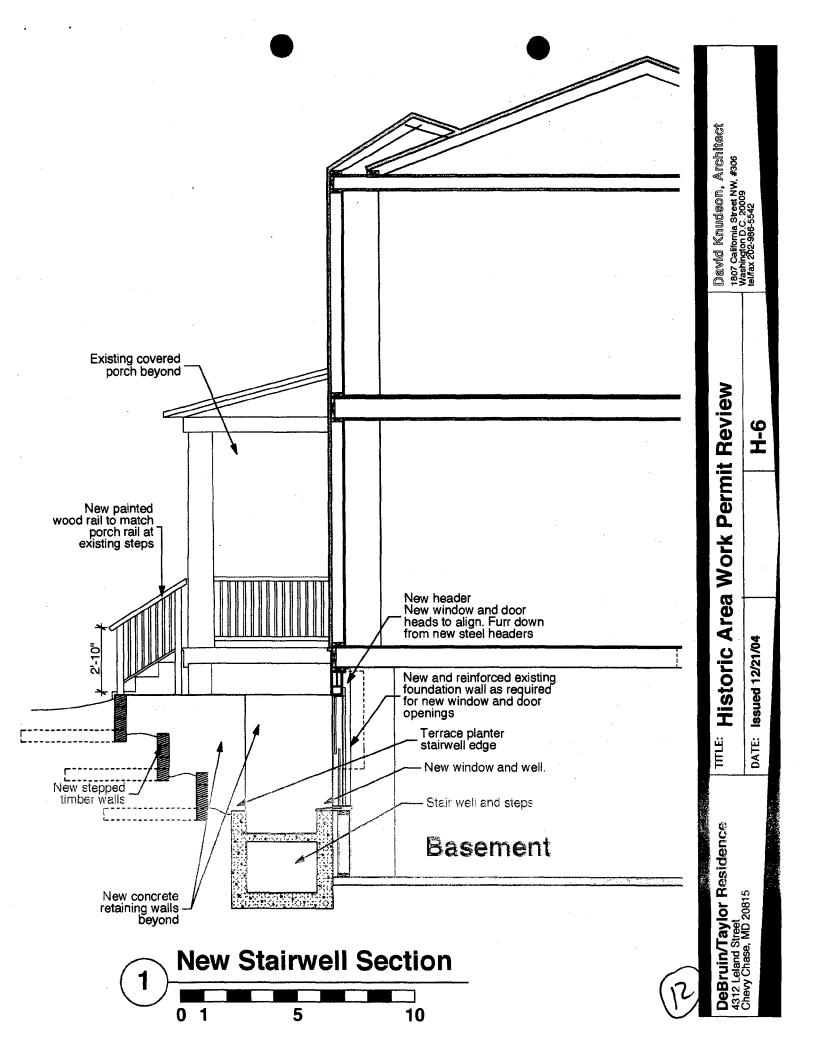
Historic Area Work Permit Review

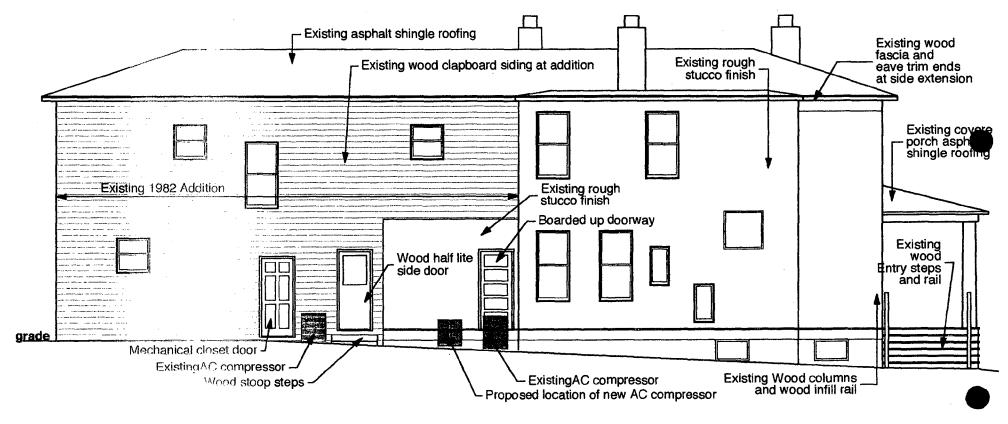
H-5

Issued 12/21/04

DATE:

DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815





Existing Exterior North Side Elevation with Proposed Compressor Location

01 5 10

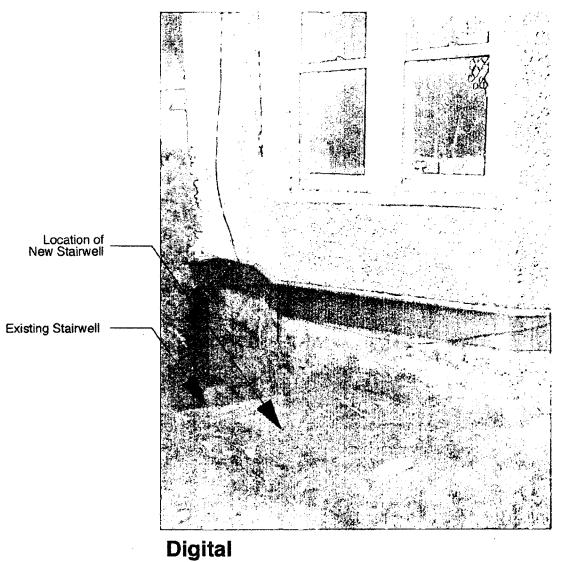
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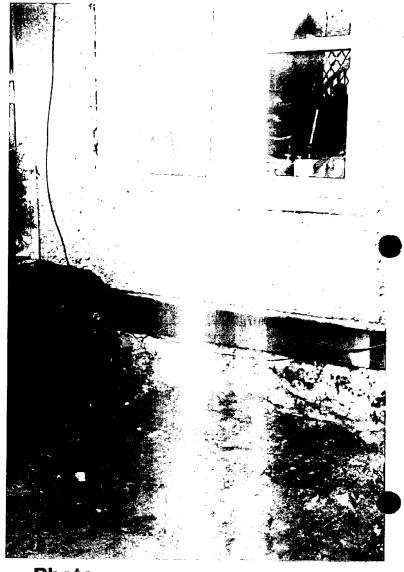
DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815 TITLE: Historic Area Work Permit Review

DATE: Issued 12/21/04

H-7

David Knudson, Architect





Photo



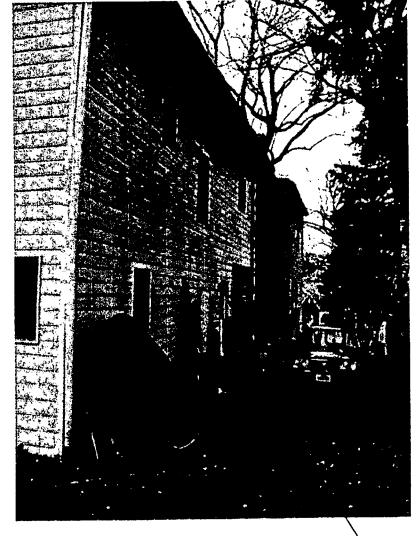
Work Area Detail South Side Elevation

DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815 TITLE: Historic Area Work Permit Review

DATE: Issued 12/21/04

H-10





North Side Elevation (from Northwest Corner)

North Side Elevation (from Northeast Corner)

Existing AC Compressors Location of new AC Compressor

DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815

Historic Area Work Permit Review

DATE: Issued 12/21/04

H-11

David Knudson, Architect







South Side Elevation (from Southeast Corner)

East Side Elevation

DeBruin/Taylor Pesidenso 4312 Leland Street Chevy Chase, MD 20815 TITLE: Historic Area Work Permit Review

DATE: Issued 12/21/04

H-12

David Knudson, Architect
1807 California Street NW. #306

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's	mailing	address
---------	---------	---------

DAVID DEBRUIN FELITABETH THYWK 4317 LELANDST CHEVY CHASE MD 70815 Owner's Agent's mailing address

DAUID KNUDSOP, ARCHITECT 1807 CALLEOLNIA ST NW, \$306 WASHINGTON DU 2009

Adjacent and confronting Property Owners mailing addresses

Suzanne Parmet 4316 Wrtis Rd Chery Chase, mp 20815

Robert Greenfield 4314 Cortis Rd Chevy Chase, MD 20815

Unda Worthington
4306 Curtis Rd
Chery Chese, MD 20815

michael Gravitz and Tracy Marks 43 Cortis Rd Chery Chese, mp 70815

Chalon Drive LLC f316 Leland St Chevy Chase, mD 20815

Alonso and Maria Roche 4313 Leland St Chevy Chase, IND 20815

Bruce and Kristi Craig 1315 Leland St Chevy Chase, MD 20815

Charles Fleischman 4319 beland St Chery Chase, MD 20815



RETURN TO: DEPAR

DEPARTMENT 255 ROCKVI PERMITTING SERVICES

MKE. 2nd FLOOR. ROCKVILLE. MD 20850



HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAVID KNUDSON Daytime Phone No.: 202-986-55 42 ax Account No.: 07 - 00523660 Name of Property Owner: DAVID DEBRUIN & ELIZABETH TAYLOR Daytime Phone No.: 202-639-6000 Contractor Registration No.: Agent for Owner: DAVID KNUDGON Daytime Phone No.: 202-986-5542 LDCATION OF BUILDING/PREMISE House Number: 4312 Nearest Cross Street: Subdivision: NORWOOD HEIGHTS Lot: PAREY UF LOT 3Block: PART DNE: TYPE OF PERMIT ACTION AND USE CHECK ALL APPLICABLE: 1A. CHECK ALL APPLICABLE: Construct ☐ A/C 🕦 Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed □ Extend 🙇 Alter/Renovate ☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Install ☐ Mave Single Family \$ Dither EXTERIOR BASEMENT ENTRY STEE ☐ Repair ☐ Revocable K Fence/Wall (complete Section 4) ☐ Revision 50,000 tB. Construction cost estimate: \$ 1C. If this is a revision of a previously approved active permit, see Permit # 366171 THIS WORK WOULD EXPAND THE SCOPE OF THE ALREHOY GRANTED INTERIOR WORK PERMIT PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS 01 🐹 WSSC Type of sewage disposal: 02 Septic 03 Dther: 02 🔲 Well 01 XX WSSC 03 Other: 2B. Type of water supply: PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL AT BASEMENT STEPS AREAWAY 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line Entirely on land of owner On public right of way/easement I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit. For Chairperson, Historic Preservation Commission Approved: Date Filed: 12-21-04

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*		*
Demolition	*	*			*		*
Deck/Porch	*	*	*.	*	*		*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	* .
Major Landscaping/ Grading	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

PLEASE SEE ATTACHED INSTRUCTIONS FOR FURTHER DETAILS REGARDING THESE APPLICATIONS REQUIREMENTS.

<u>NOTE:</u> Historic Area Work Permits are not required for ordinary maintenance projects, such as painting, gutter repair, roof repair with duplicate materials, and window repairs. All replacement materials <u>must match the original exactly</u> and be of the same dimensions.

ALL HAWPS MUST BE FILED AT DPS: 255 ROCKVILLE PIKE, ROCKVILLE, MARYLAND, 20850.

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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SITE PLAN

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schemetic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the crictine of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the carcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Morroe Street, Rockville, (301/279-1355).

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

\sim	•	• 1		1 1
Uwn	er's	mai	ino	address
O		III COL	5	addiction.

DAVID DEBRUIN FELICABETH THYWIL 4312 LELANDST CHEVY CHASE MD 70815 Owner's Agent's mailing address

DAVID KNUDSOP, ARCHITECT 1807 CALLEDENIA ST NW, \$306 WASHINGTON DU 25009

Adjacent and confronting Property Owners mailing addresses

Suzanne Parmet 4316 Curtis Rd Chevy Chase, mp 20815

Robert Greenfield 43 14 Cortis Rd Chevy Chase, MD 20815

Linda Worthington 4306 Curtis Rd Chery Chese, MD 20815

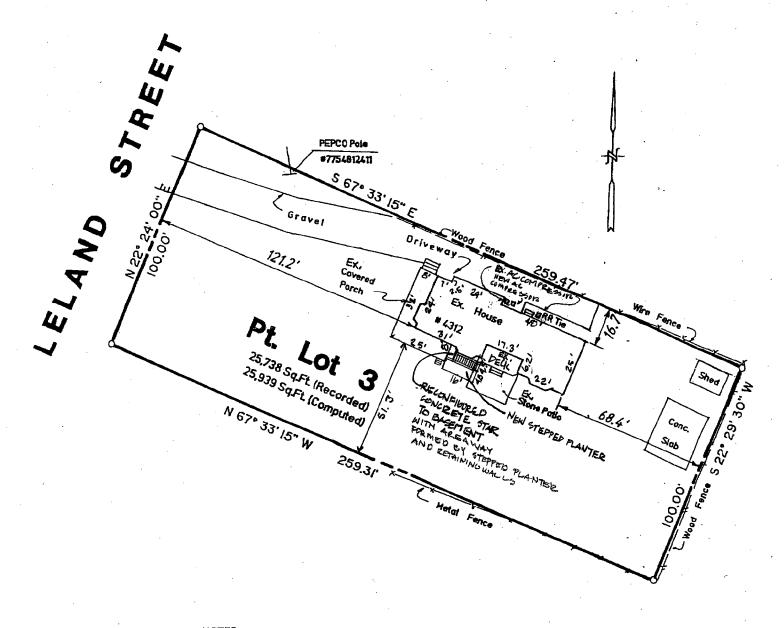
michael Gravitz and Tracy Marks 43. Curtis Rd Chery Chase, mp 20815

Chalon Drive LLC f316 Leland St Chery Chase, mD 20815

Alonso and Maria Roche 4313 Leland St Chevy Chase, MD 20815

Bruce and Kristi Craiq 1313 Leland St Chevy Chase, MD 20815

Charles Fleischman 4319 Leland St Chevy Chase, MD 20815



NOTES

Part of Lot 3, Block 5, as shown, has been graphically reproduced from available deeds and plats of record which are recorded among the Land Records of Montgomery County, Maryland. Locations, as shown, taken from a field run survey completed by this office, dated November, 2004.

Site Address:

4312 Leland Street.

Zone: R-60.

PREPARED FOR:
David Debruin
4312 Leland Street
Chevy Chase, MD 20815
(202) 639 - 6015

PLANIMETRIC SURVEY PART OF LOT 3, BLOCK 5

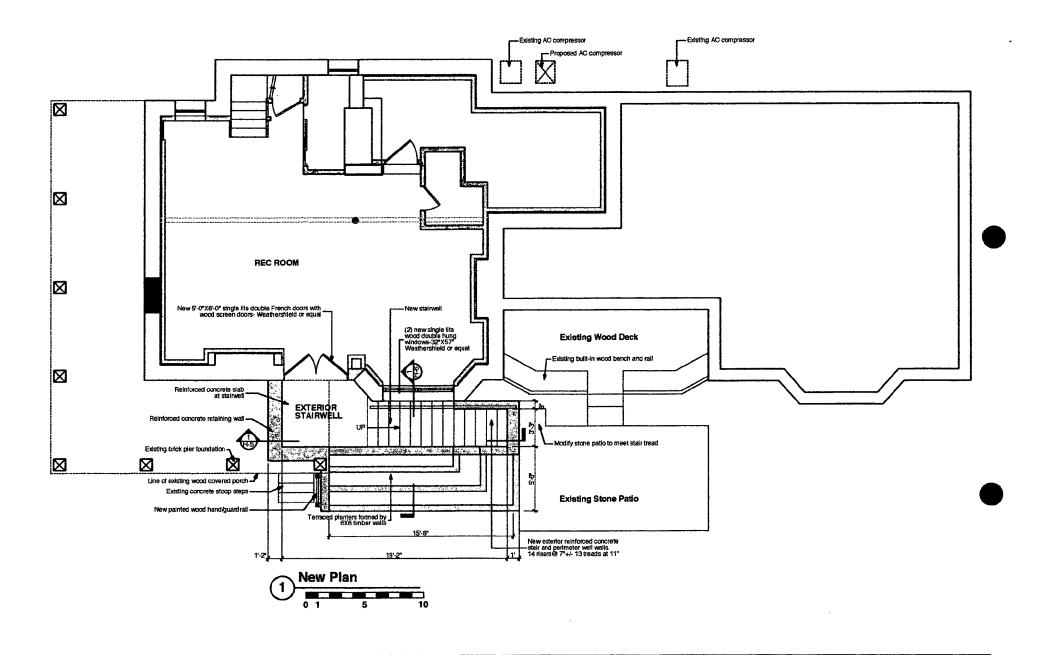
NORWOOD HEIGHTS

7TH (BETHESDA) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND SCALE: 1" = 40' NOVEMBER, 2004

WITMER ASSOCIATES, LLC

Land Surveying, Land Planning & Design 98—A Church Street Rockville, MD 20850 Tele.: (301) 309 — 8600

Tele.: (301) 309 - 8600 Fax: (301) 309 - 8603

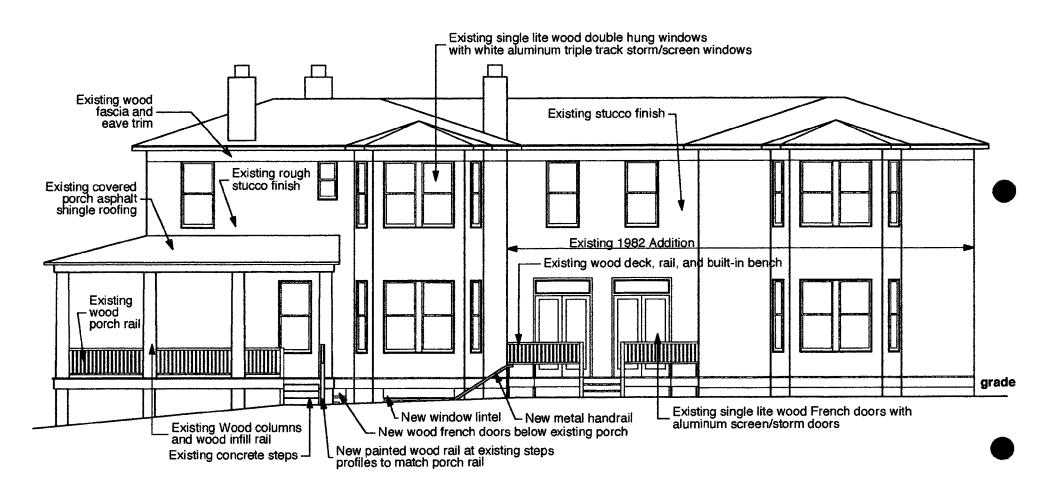


DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815	TITLE: Historic Area Work Permit Review				David Knudson, Architect 1807 California Street NW, #306 Washington D.C. 20009
Chevy Chase, WID 20015	DATE:	Issued 12/21/04		H-2	tel/fax 202-986-5542





DeBruin/Taylor Residence	HISTORIC ALEA MOIN PERMIT DEVIEW				David Knudson, Architect 1807 California Street NW, #306 Washington D.C. 20009
Chevy Chase, MD 20815	DATE:	Issued 12/21/04		H-3	tel/iax 202-986-5542





DeBruin/Taylor Residence 4312 Leland Street Charachers MD 20015	TITLE:	Historic Area	David Knudson, Architect 1807 California Street NW, #306 Washington D.C. 20009		
Chevy Chase, MD 20815	DATE:	Issued 12/21/04		H-4	tel/fax 202-986-5542

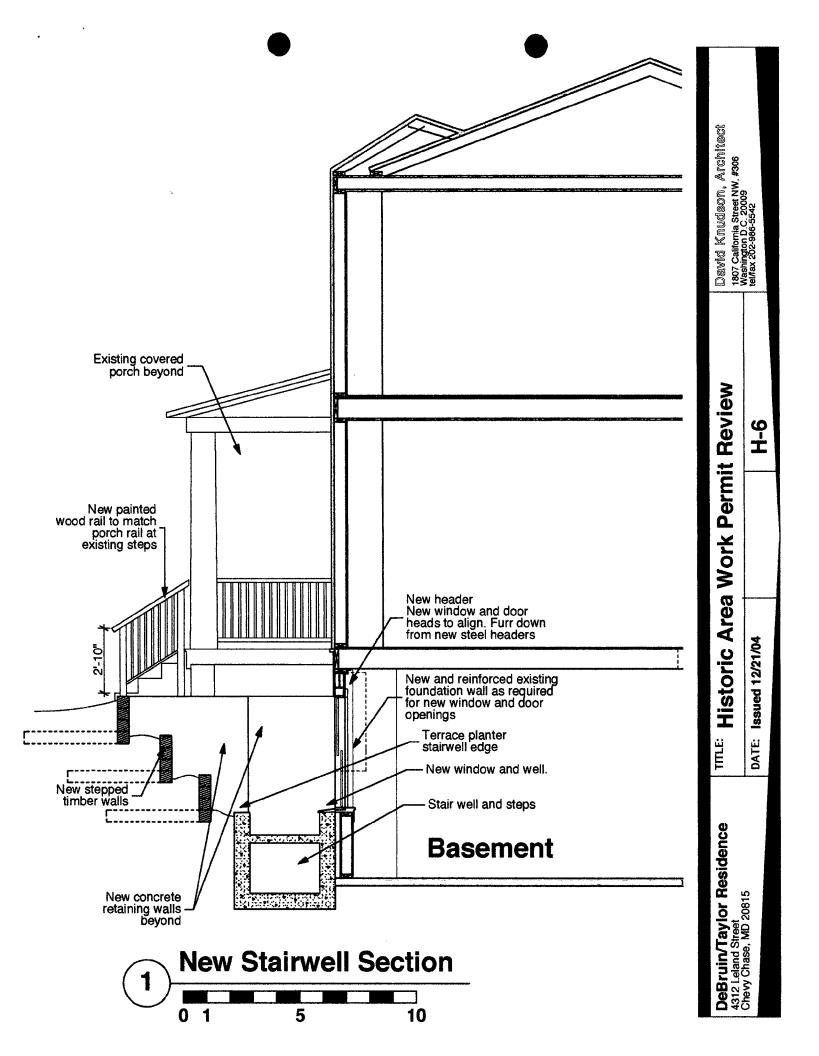
David Knudson, Architect 1807 California Street NW, #306 Washington D.C. 20009 telfax 202-986-5542

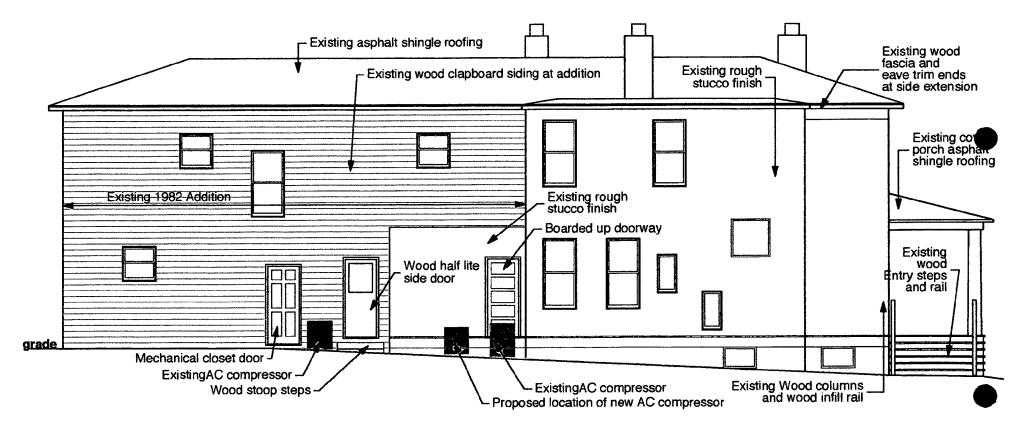
тпе: Historic Area Work Permit Review

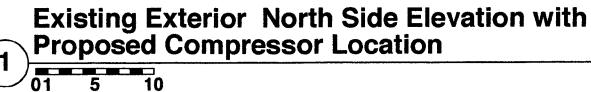
H-5

Issued 12/21/04 DATE:

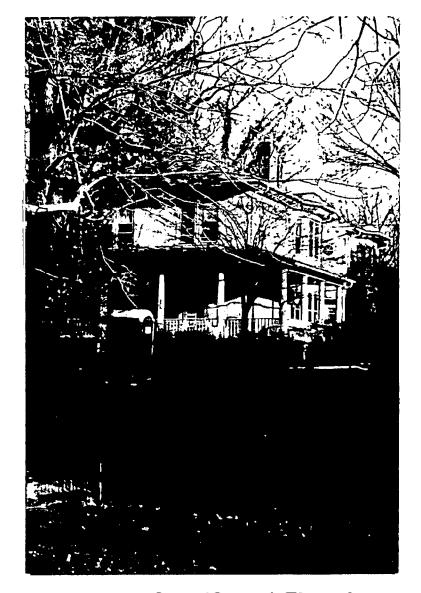
DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815







DeBruin/Taylor Residence	TITLE:	Historic Area	David Knudson, Architect 1807 California Street NW, #306 Washington D.C. 20009	
Chevy Chase, MD 20815	DATE:	Issued 12/21/04	H-7	tel/iax 202-986-5542



West Side (Street) Elevation



Southwest Corner Detail Elevation

DeBruin/Taylor	Residence
4212 Laland Stroot	

4312 Leland Street Chevy Chase, MD 20815 TITLE: Historic Area Work Permit Review

DATE: Issued 12/21/04

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David Knudson, Architect

Original House





Shrub to be removed Location of new stairwell

South Side Elevation

DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815

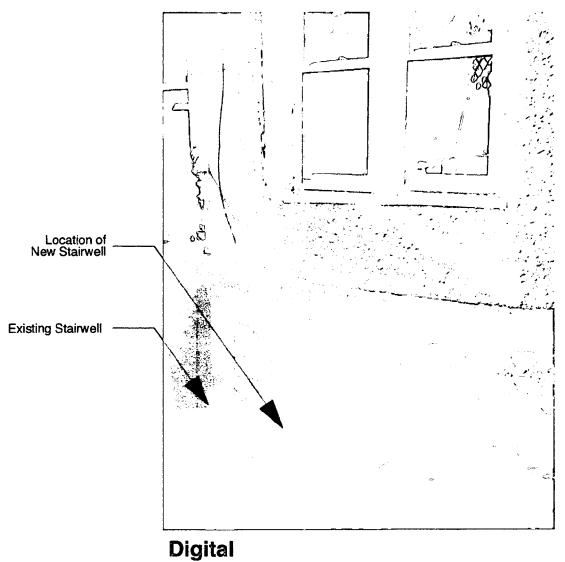
Historic Area Work Permit Review

DATE: Issued 12/21/04

David Knudson, Architect

1807 California Street NW, #306 Washington D.C. 20009 tel/lax 202-986-5542

H-9





Work Area Detail South Side Elevation

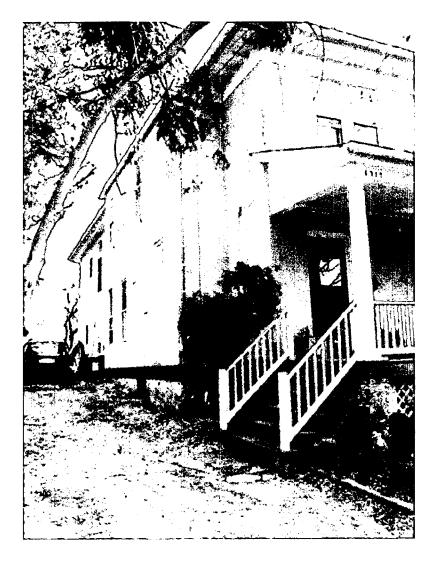
H-10

DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815

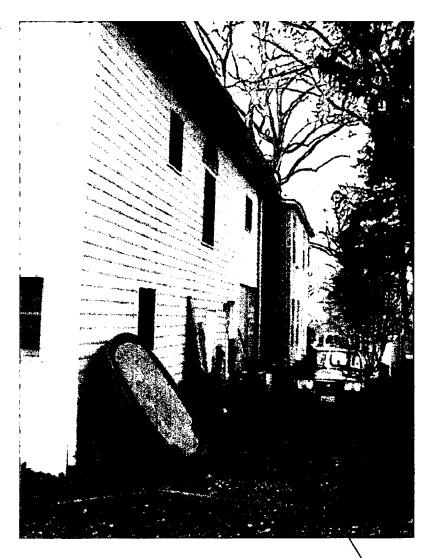
Historic Area Work Permit Review

DATE: Issued 12/21/04

David Knudson, Architect



North Side Elevation (from Northwest Corner)



North Side Elevation (from Northeast Corner)

Existing AC Compressors Location of new AC Compressor

DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815

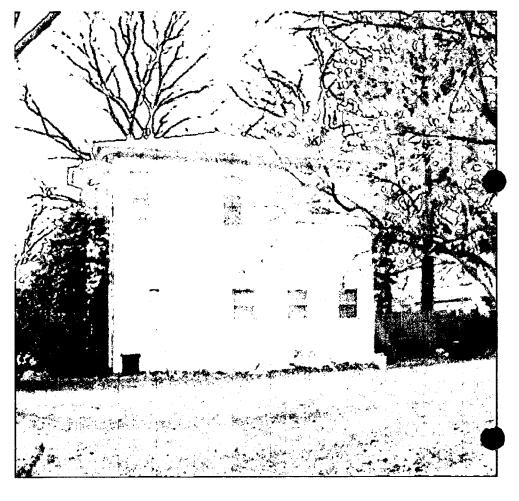
Historic Area Work Permit Review

DATE: Issued 12/21/04

H-11

David Knudson, Architect





South Side Elevation (from Southeast Corner)

DATE: Issued 12/21/04

East Side Elevation

DeBruin/Taylor Residence 4312 Leland Street Chevy Chase, MD 20815 TITLE: Historic Area Work Permit Review

H-12

David Knudson, Architect