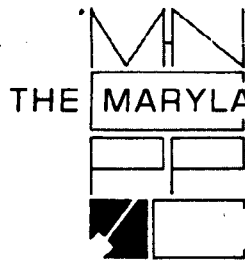


35/77-05A 3807 Williams Lane  
MP Site #35/77, Frank Simpson House

Stamped  
Dwgs in  
Michele's Office



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: December 5, 2005

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Michele Oaks, Senior Planner (M)  
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 399201 for carriage house construction with foundation

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) on at its public hearing on November 16, 2005. This application was **APPROVED with conditions**. The conditions of approval were:

- This new guest house builds-out the site to its maximum capacity, therefore, any new proposal for impermeable surfaces, additions, new buildings etc. that increase the lot coverage will **not** be approved by the Commission for this property in the future.
- The tree protection plan will be expanded to include potential trees affected on the adjacent properties (3805 Williams Lane, and the rear properties of 3810 and 3812 Woodbine Street). The tree protection measures only need to be implemented on the subject property; however, potential impacts to trees on the adjacent property must be identified as part of this plan. This revised plan must be provided to staff prior to the stamping of the permit set of drawings for approval.
- The subject 900 sq. ft. of asphalt driveway is returned to lawn.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Timothy and Kathy Lynch (Robert Lach, AIA)

Address: 3807 Williams Lane, Chevy Chase; *Master Plan* Site # 35/77 Frank Simpson House

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if any alterations to the approve plans are made prior to the implementation of such changes to the project.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
245 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: ROBERT LACH JR AIA  
Daytime Phone No.: 240.333.2021

Tax Account No.: 00468306

Name of Property Owner: TIMOTHY & KATHY LYNCH Daytime Phone No.: 301 951 6424

Address: 3807 WILLIAMS LANE, CHEY CHASE MD 20815-4953  
Street Number City Street Zip Code

Contractor: NOT SELECTED Phone No.: N/A

Contractor Registration No.: N/A

Agent for Owner: ROBERT LACH JR. AIA Daytime Phone No.: 240 333 2021

LOCATION OF BUILDING/PREMISE

House Number: 3807 Street: WILLIAMS LANE

Town/City: CHEY CHASE Nearest Cross Street: CONNECTICUT AVENUE

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: 14

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: P413

PART ONE: TYPE OF PERMIT ACTION AND USE

A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 115,000

1C. If this is a revision of a previously approved active permit, see Permit # 384016

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: \_\_\_\_\_ Date: 9/21/15

Approved: X W/CONDITIONS For Chairperson, Historic Preservation Commission

Signature: Julia O'Malley Date: 12-05-2005

Application/Permit No.: 399201 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

(SEE ATTACHED)

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

## MEMO

**Date:** September 21, 2005

**To:** Historic Preservation Review Board  
 Phone: 301-563-3400  
 Fax: 301-563-3412

**From:** GTM Architects, Inc.  
 Robert Lach Jr., A.I.A.  
 Phone: 240-333-2027  
 Fax: 240-333-2001

**Project #:** 05.0179                      **Project Name:** Lynch Residence

**Subject:** Application for Historic Area Work Permit

---

**1. Written Description of Project:**
**a. Description of existing structure(s) and environmental setting, including their historical features and significance:**

The existing structure, located on Williams Lane in Chevy Chase, was originally built in 1868, with subsequent additions throughout the years. Existing siding is lapboard & shingle. The current windows have no muntins, and the current roofing is asphalt shingle.

**b. General Description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:**

Since one of the binding elements of the previously approved HAWP was that this structure would build out the site, gaining some form of "shed" type storage for bikes, lawnmowers and such is desirable. The proposed basement and areaway would accommodate this with minimal further impact on the site.

**HAWP Application: Mailing Addresses for Notifying**

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's Mailing Address**

Timothy & Kathy Lynch  
 3807 Williams Lane  
 Chevy Chase MD 20815

**Owner's Agent's Mailing Address**

Robert Lach Jr., A.I.A.  
 GTM Architects  
 7735 Old Georgetown Road  
 Suite 700  
 Bethesda MD 20814

ILF

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	3807 Williams Lane, Chevy Chase	<b>Meeting Date:</b>	11/16/2005
<b>Applicant:</b>	Timothy and Kathy Lynch (Robert Lach, AIA)	<b>Report Date:</b>	11/09/2005
<b>Resource:</b>	<i>Master Plan Site #35/77</i> <b>Frank Simpson House</b>	<b>Public Notice:</b>	11/02/2005
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/77-05AREVISION/CONTINUED	<b>Staff:</b>	Michele Oaks

**RECOMMENDATION:** Approve with Conditions

**PROPOSAL:** New Carriage House construction

**RECOMMENDATION:** Staff recommends that the Commission support this HAWP application with the conditions that:

This new guest house builds-out the site to its maximum capacity, therefore, any new proposal for impermeable surfaces, additions, new buildings etc. that increase the lot coverage will **not** be approved by the Commission for this property in the future.

The tree protection plan will be expanded to include potential trees affected on the adjacent properties (3805 Williams Lane, and the rear properties of 3810 and 3812 Woodbine Street). The tree protection measures only need to be implemented on the subject property; however, potential impacts to trees on the adjacent property must be identified as part of this plan. This revised plan must be provided to staff prior to the stamping of the permit set of drawings for approval.

The subject 900 sq. ft. of asphalt driveway is returned to lawn.

**BACKGROUND:**

The applicants applied for and received approval for a very large, two-story, rear addition (measuring 26' x 35') onto this house in March of 2002. This increased the lot coverage on this property from 14% to 27% lot coverage – which includes garage.

On June 8, 2005, the Commission reviewed a preliminary consultation, which illustrated a proposal to construct a 1-1/2 story guesthouse on the property. The guest house footprint was 36' L x 23'6" W x 24' H and would be sited approximately 20 feet from the rear elevation of the house. The material specifications were painted, Hardi-plank siding and wood board and batten framed out in wood with an asphalt shingle and standing seam metal roof. Additionally, the proposal also includes the installation of an approx 250 sq. ft. of patio at the rear of the yard.

The Commission conveyed to the applicant that they wanted the proposed building to read more like an ancillary structure in its design and that it needed to be smaller than what was being proposed.

On July 13, 2005, the applicants returned to the Commission for a second Preliminary Consultation. They unveiled a new design for the guesthouse at this meeting that addressed the comments from the first preliminary consultation. The design and detailing of the guesthouse created the sense of an ancillary structure such as a barn or a garage. Additionally, the architect reduced the footprint by 255 sq. ft. These modifications to the building's design and size satisfied the comments expressed by the Commission, as such the Commission recommended the applicant proceed to filing a HAWP application with this new design.

The Commission reviewed a HAWP application for this project at its August 17, 2005 meeting. At this meeting the Commission approved the HAWP application for the carriage house with the conditions that the applicant understood that the new guest house builds-out the site to its maximum capacity and therefore, any new proposal for impermeable surfaces, additions, new buildings etc. that increased the lot coverage will not be approved by the Commission for the property in the future. Additionally, the Commission required that a tree protection plan be prepared by a certified arborist and implemented prior to any work beginning on the property.

At the October 12, 2005 meeting, (transcripts attached beginning on circle 19 ) Commission considered a revision to the approved Historic Area Work Permit for the construction of a carriage house on the subject property. The applicant's revisions included:

- Adding a basement to the carriage house for "shed" type storage. The basement would not exceed beyond the existing building's footprint.
- Adding a ramp or stair and areaway to the east elevation of the carriage house to provide exterior access to the basement level of the carriage house (approx. 180 sq. ft. footprint).
- Remove approximately 900 sq. ft. (15' x 60') of asphalt paving to provide the needed impermeable lot coverage/impermeable surface requirement.

The Commission was concerned with the potential impacts the new subterranean digging could have on the neighboring trees and their root systems. They asked the applicant to continue the case until the arborist that was hired to draft the tree protection plan had completed the plan based on the design on the new carriage house with basement and areaway.

### **HISTORIC CONTEXT:**

The Simpson House was the first house built on the former Williams Farm on land sold by Clayton Williams to a non-family member. It represents the beginning of the Williams Station Community, which grew along Williams Lane providing newcomers with access to the Chevy Chase Land Company streetcar stop located on Connecticut Avenue. Frank Simpson, a prominent local builder, whose extended family lived and worked in Chevy Chase in various branches of the construction business, built the house in 1898.

### **ARCHITECTURAL DESCRIPTION:**

The house is a 2-1/2 story, L-shaped, vernacular Queen Anne house characterized by its projecting front gable and its wrap-around porch. The frame structure has weatherboard walls and is covered with a cross gable roof clad with decoratively shaped asphalt shingles.

The south (principal) elevation of the house faces Williams Lane and consists of a two-bay end wall of the main wing of the ell. The first story contains a side entry door and a single four-light, double-hung window, while the second story has two 1/1 windows. Corner boards frame the walls and support a plain, frieze board, which separates the second story from the projecting gable and attic level. The gable is steeply pitched and clad with wood shingles and articulated by a projecting raking cornice and cornice returns. The gable is detailed with a central tri-partite window which features a single 1/1 sash flanked by



lower undivided and fixed sidelights. A one-story porch with a hipped roof supported by wood columns with scroll-sawn knee brackets wraps around from the front to the east side of the house. The front porch is three bays wide and raised above ground level. It is reached by a set of stairs leading to the front entry door, which is located to the side. The ceiling has narrow beaded boards.

On the east side of the front wing, the porch, which historically extended three bays to meet the cross wing of the house, has been enclosed with glass at its two end bays. A second story, sleeping porch sits atop the enclosed first-story section. There is a one-story enclosed addition on the west side of the house at the intersection of the projecting main wing and the rear wing. It has weatherboard walls and a half-hipped roof clad with asphalt shingles. The rear wing of the house projects one bay to the west side of the main wing. This bay is defined by the one-story addition on the first story and by a single 1/1 window on the second story. A two-story, rear addition was constructed onto this house in 2002.

The subject property contains an existing two-car garage (20' x 20') and several large, mature trees on the property including several along the western property line that exceed 100 years old.

### **APPLICABLE GUIDELINES:**

#### ***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Proposed new construction to individually designated Master Plan sites are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values. The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**PROPOSAL:**

The applicant is proposing to revise their previous approved HAWP application by:

- Adding a basement to the carriage house for “shed” type storage. The basement would not exceed beyond the existing building’s footprint.
- Adding a ramp [ ] and areaway to the east elevation of the carriage house to provide exterior access to the basement level of the carriage house (approx. 180 sq. ft. footprint)
- Remove approximately 900 sq. ft. (15’ x 60’) of asphalt paving to provide the needed impermeable lot coverage/impermeable surface requirement.

**STAFF DISCUSSION:**

Staff is very concerned about the trees on this and the adjacent properties. The current plan proposes to move the proposed structure 12’ from the rear and side property lines. This is an increase of 7’ and 3’ respectively. Staff does not object to this shift if this encourages the survivability of the trees on this property, however, we would like the tree protection plan to be expanded to include trees potentially affected on the adjacent properties (3805 Williams Lane, and the rear properties of 3810 and 3812 Woodbine Street). Although this is an individually designated historic resource, the surrounding landscape is important to the historic context of this property and staff would object to any adverse damage to adjacent vegetation even though it is not within the environmental setting of this property. The measures that are developed by the arborist for any of the trees on the adjacent properties will only need to be implemented on the subject property. This revised plan must be provided to staff prior to the stamping of the permit set of drawings for approval.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission *approve with the above stated conditions* the HAWP application as being consistent with Chapter 25A-8(b)1, 2 and 3:

The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district,

The proposal is compatible in character and nature with the historical, archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

and with the Secretary of the Interior’s Standards for Rehabilitation.

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
840/777-6370

DPS - #8

IIH

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: ROBERT LACH JR AIA  
Daytime Phone No.: 240.333.2027

Tax Account No.: 00468306

Name of Property Owner: TIMOTHY & KATHY LYNCH Daytime Phone No.: 301 951 6424

Address: 3807 WILLIAMS LANE, CHEVY CHASE MD 20815-4953  
Street Number City State Zip Code

Contractor: NOT SELECTED Phone No.: N/A

Contractor Registration No.: N/A

Agent for Owner: ROBERT LACH JR. AIA Daytime Phone No.: 240.333.2027

**LOCATION OF BUILDING/PREMISE**

House Number: 3807 Street: WILLIAMS LANE  
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: 14  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: P413

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  AC  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 115,000

1C. If this is a revision of a previously approved active permit, see Permit # 384016

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 9/21/15 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

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**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

(SEE ATTACHED)

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

## MEMO

**Date:** September 21, 2005

**To:** Historic Preservation Review Board  
 Phone: 301-563-3400  
 Fax: 301-563-3412

**From:** GTM Architects, Inc.  
 Robert Lach Jr., A.I.A.  
 Phone: 240-333-2027  
 Fax: 240-333-2001

**Project #:** 05.0179      **Project Name:** Lynch Residence

**Subject:** Application for Historic Area Work Permit

**1. Written Description of Project:****a. Description of existing structure(s) and environmental setting, including their historical features and significance:**

The existing structure, located on Williams Lane in Chevy Chase, was originally built in 1868, with subsequent additions throughout the years. Existing siding is lapboard & shingle. The current windows have no muntins, and the current roofing is asphalt shingle.

**b. General Description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:**

Since one of the binding elements of the previously approved HAWP was that this structure would build out the site, gaining some form of "shed" type storage for bikes, lawnmowers and such is desirable. The proposed basement and areaway would accommodate this with minimal further impact on the site.

**HAWP Application: Mailing Addresses for Notifying**

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's Mailing Address  
 Timothy & Kathy Lynch  
 3807 Williams Lane  
 Chevy Chase MD 20815

Owner's Agent's Mailing Address  
 Robert Lach Jr., A.I.A.  
 GTM Architects  
 7735 Old Georgetown Road  
 Suite 700  
 Bethesda MD 20814



G T M A R C H I T E C T S

# MEMO

## Adjacent & Confronting Property Owners Mailing Adresses

M. Lundberg  
3806 Williams Lane  
Chevy Chase MD 20815

Sinclair Residence  
3811 Williams Lane  
Chevy Chase MD 20815

Terry and Carolyn Day  
3805 Williams Lane  
Chevy Chase MD 20815

Brian and Hedy Banon  
3812 Woodbine Street  
Chevy Chase MD 20815

Phaon and Jeanine Derr  
3810 Woodbine Street  
Chevy Chase MD 20815





*Our Business is People  
and Their Love for Trees.*

The Care of Trees  
9228 Gaither Road  
Gaithersburg, MD 20877

Tel 301.948.5885  
Fax 301.948.4353  
Web www.thecareoftrees.com

October 25, 2005

GTM Architects  
7735 Old Georgetown Road  
Bethesda MD 20814

**Job Site:** 3807 Williams Lane Chevy Chase MD 20815

Attn: Mr. Robert Lach

The following proposal is for tree preservation measures for the Cherry approximately 24" in diameter at the rear of the existing garage and for the Elm 4" in diameter at the right side of the garage. The recommendations will help prevent and help offset construction injury to the root systems of the two trees. I would recommend offsetting the proposed structure to at least 11' to 12' from the rear property border to help maximize efforts in preserving the Cherry tree.

Trees and other plant life are living, changing organisms affected by innumerable factors beyond our control. Trees fail in ways and because of conditions we do not fully understand. Arborists cannot detect or anticipate every condition or event that could possibly lead to the structural failure or decline of a tree. Conditions are often hidden within the trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, for any specific period or when a tree or its parts may fail. Further, remedial treatments, as with any treatment or therapy, cannot be guaranteed.

1. Installation of tree protection fencing to protect the following trees. 4' Steel welded wire fencing will be used to protect the trees and the root systems. The fencing will be installed at the designated limit of disturbance for each tree. No activity is to occur within the tree preservation area. Approximately 40' of fencing will be installed.
  - Cherry approximately 24" in diameter at the rear of the existing garage
  - Elm 4" in diameter at the right side of the garage.
 Cost \$260.00
2. Root pruning of Cherry approximately 24" in diameter at the rear of the existing garage. Prune roots along the designated area outside the preservation fencing to a depth of 12" to 14". This will provide clean cuts on roots and will promote faster root healing. Root pruning will need to be done after the existing garage is removed.  
Cost \$375.00
3. Take soil sample from trees at rear right of property to determine nutrient content and pH of soil and to abide by Maryland legislation.  
Cost \$50.00
4. Subsurface liquid inject fertilize Cherry approximately 24" in diameter at the rear of the existing garage and for the Elm 4" in diameter at the right side of the garage in accordance with the soil analysis to help promote health and vigor and to help offset root loss. Two applications the first year and then repeat yearly.  
Cost per application \$275.00
5. Cherry approximately 24" in diameter at the rear of the existing garage: Prune to remove a 16" in diameter limb that extends over the existing garage to gain adequate clearance for future construction.  
Cost \$480.00

Serving the metropolitan areas of  
Chicago, New York, Philadelphia, San Francisco and Washington, D.C.

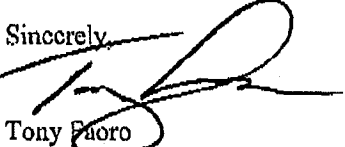
FROM :

FAX NO. :

Oct. 24 2005 07:35PM P3

Should you have any questions, please call me at 301-948-5885. If you would like to move forward with this program, please sign below and mail or fax (301-948-4353) back to my office. I look forward to being of further service.

Sincerely,



Tony Fiore  
ISA Certified Arborist NY-0774A  
Maryland Licensed Tree Expert 895

Signed \_\_\_\_\_ Date \_\_\_\_\_



N/F  
T.M. & R.H. GANN  
3814 WOODBINE ST.  
PART OF LOT 5, BLOCK 4  
L15467 / F.317

N/F  
B.A. & H.S. BANNON  
3812 WOODBINE ST.  
PT. OF LOTS 5 & 6  
WILLIAMS TRACT, SECTION 5  
L11082 / F.337

N/F  
P.B. 3RD & J.P. DERR  
3810 WOODBINE ST.  
PT. OF LOTS 6 & 7  
WILLIAMS TRACT, SECTION 5  
L13303 / F.679

SINCLAIR  
MS LANE  
414  
T, SECTION 5  
F.37

N/F  
T.O. DAY  
3805 WILLIAMS LANE  
PART OF LOT 5  
WILLIAMS TRACT, SECTION 5  
L13225 / F.706

④  
PARCEL 413  
12,828 S.F.

ORIGINAL  
SITE PLAN

FILE NAME: 050119\_SITE.dwg

# Lynch Residence Guest House

## Site Plan

CLIENT  
KATHIE LYNCH

DRAWN BY: rl CHECKED BY:	SCALE: n.t.s. DATE: 6/22/15	PROJECT NO.: 05.0179	REVISIONS:	DRAWING NO.: 1	 <b>GTM ARCHITECTS</b> 7735 OLD GEORGETOWN ROAD SUITE 700 BETHESDA, MD 20814 (240)333-2000 (240)333-2001 FAX
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IMPERVIOUS AREA

GUEST HOUSE: 545 sf

EXISTING HOUSE: 1916 sf

EXISTING DRIVE: 922 sf

TOTAL: 3383 sf

%: 26%



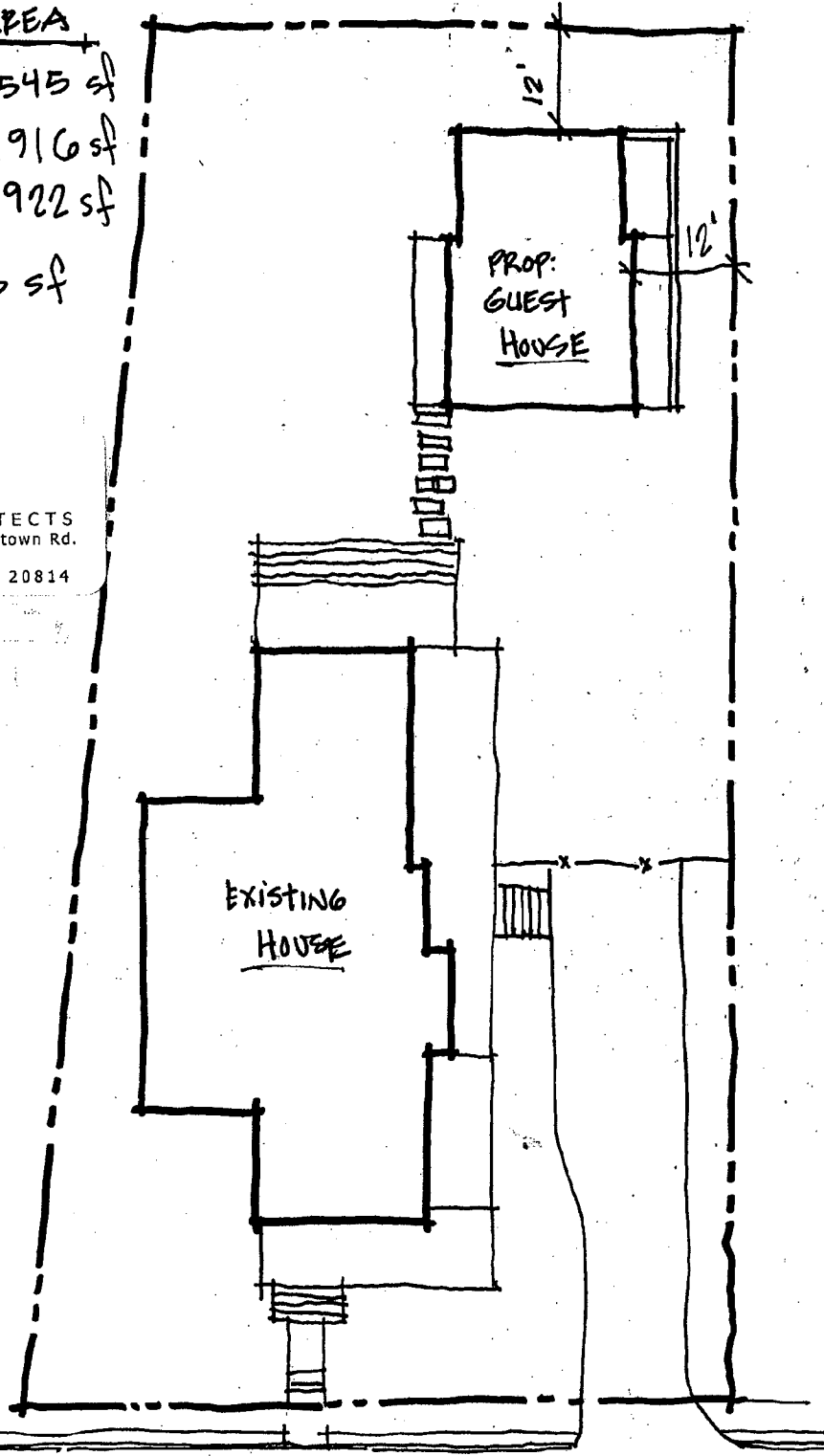
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Bethesda, MD 20814

05.01.79

10/26/05

**LYNCH  
RESIDENCE  
GUEST  
HOUSE**

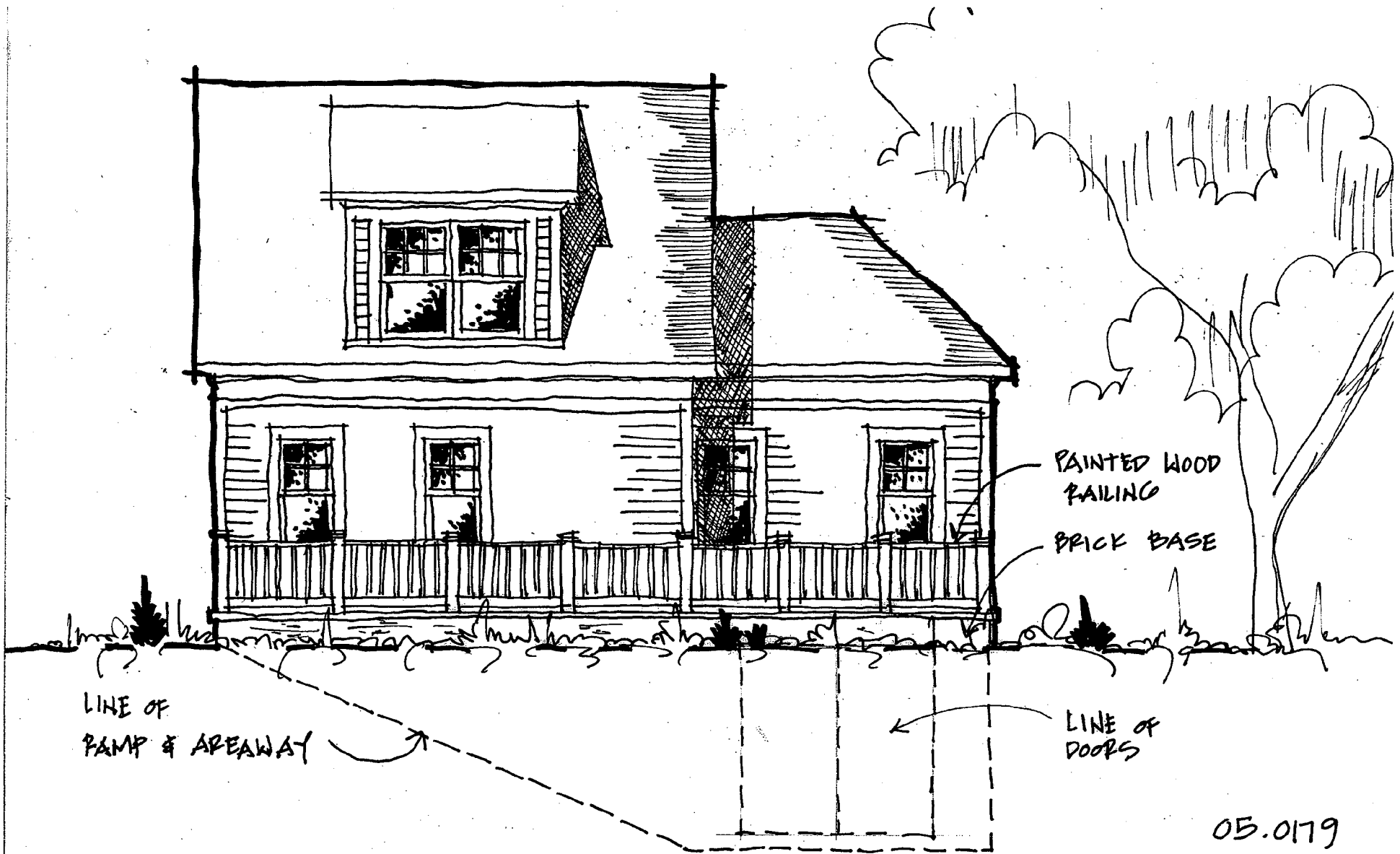
1" = 20'-0"



WILLIAMS LANE

(12)

PROPOSED NEW SITE PLAN  
BASED ON TREE PROTECTION



PAINTED WOOD  
RAILING  
BRICK BASE

LINE OF  
RAMP & AREAWAY

LINE OF  
DOORS

05.0179  
10/26/05

# LYNCH RESIDENCE GUEST HOUSE

SIDE LOT LINE ELEVATION

3/16" = 1'-0"

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10/26/05

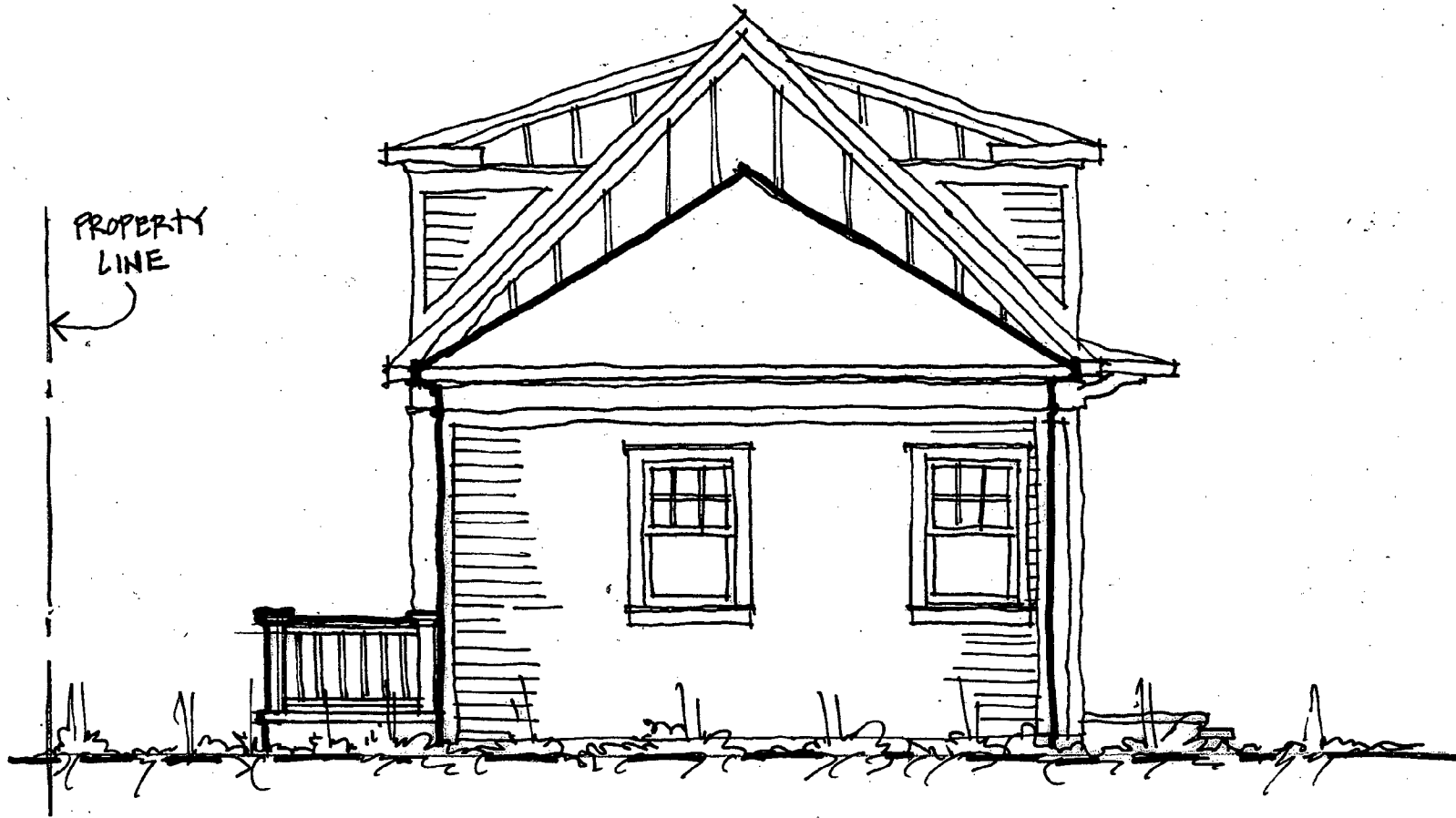
LYNCH RESIDENCE GUEST HOUSE

DRIVEWAY ELEVATION

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# LYNCH RESIDENCE GUEST HOUSE

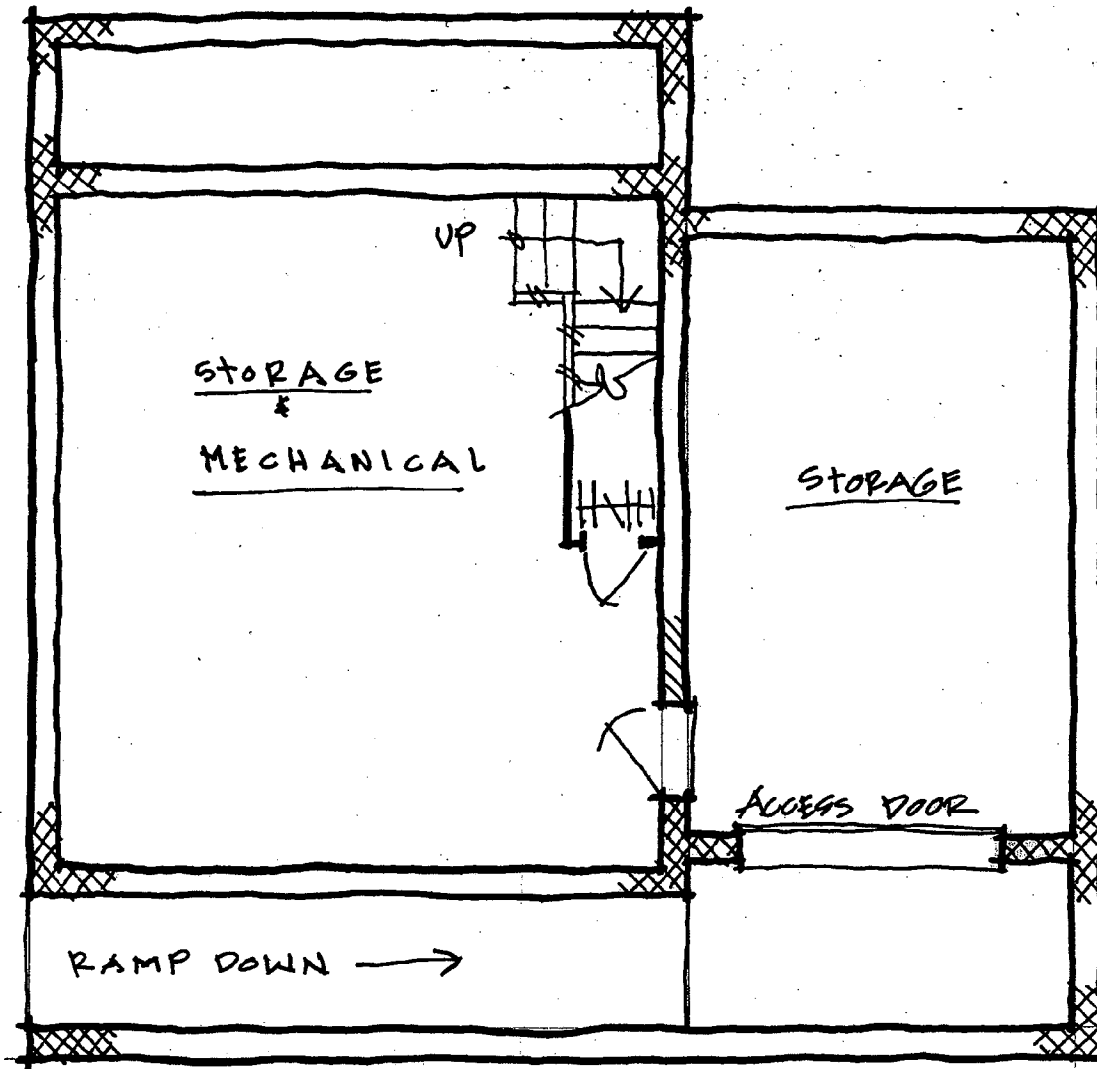
REAR LOT LINE ELEVATION

3/16" = 1'-0"

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# LYNCH RESIDENCE GUEST HOUSE

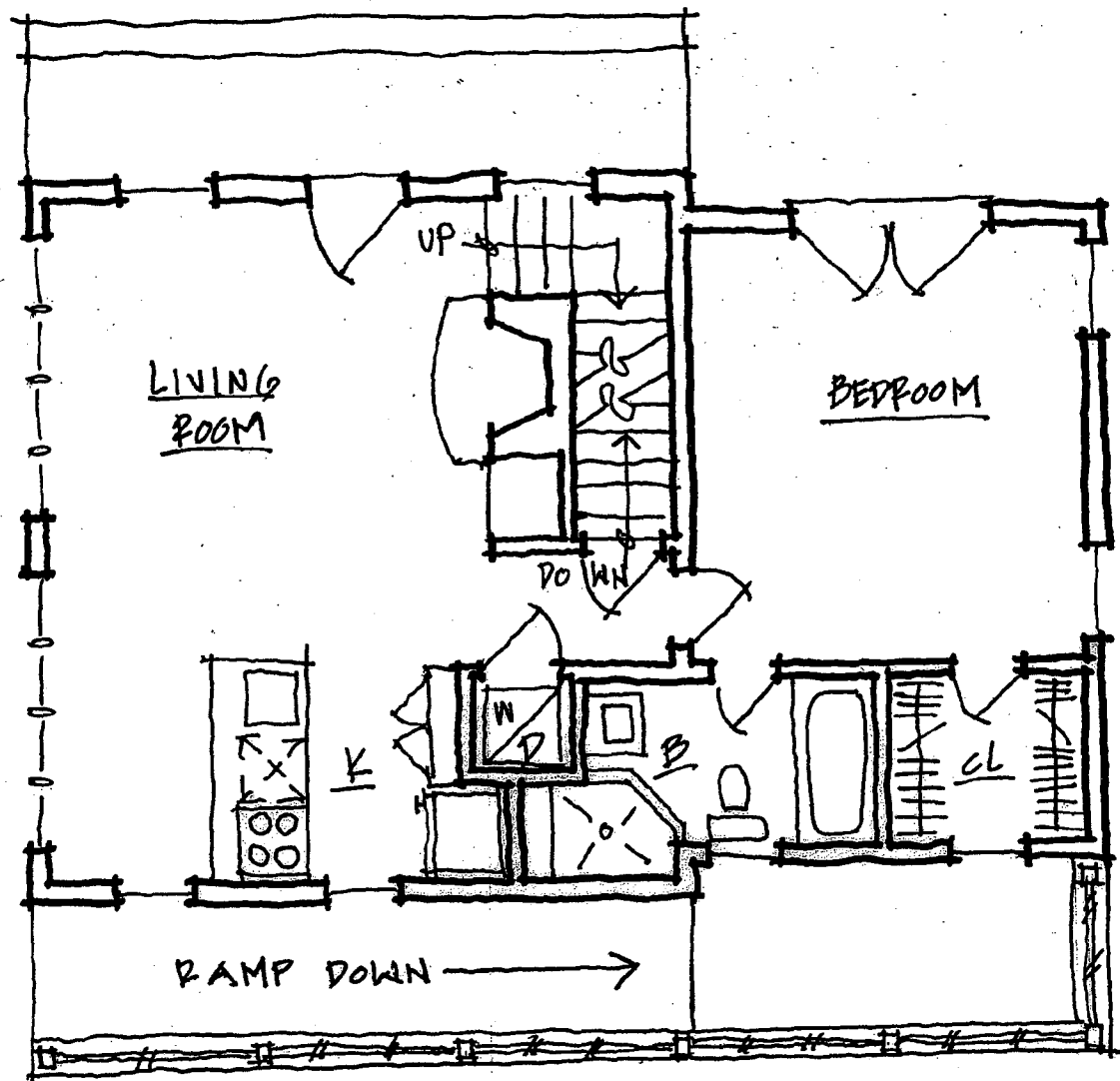
BASEMENT FLOOR PLAN

545 SF FOOTPRINT

3/16" = 1'-0"

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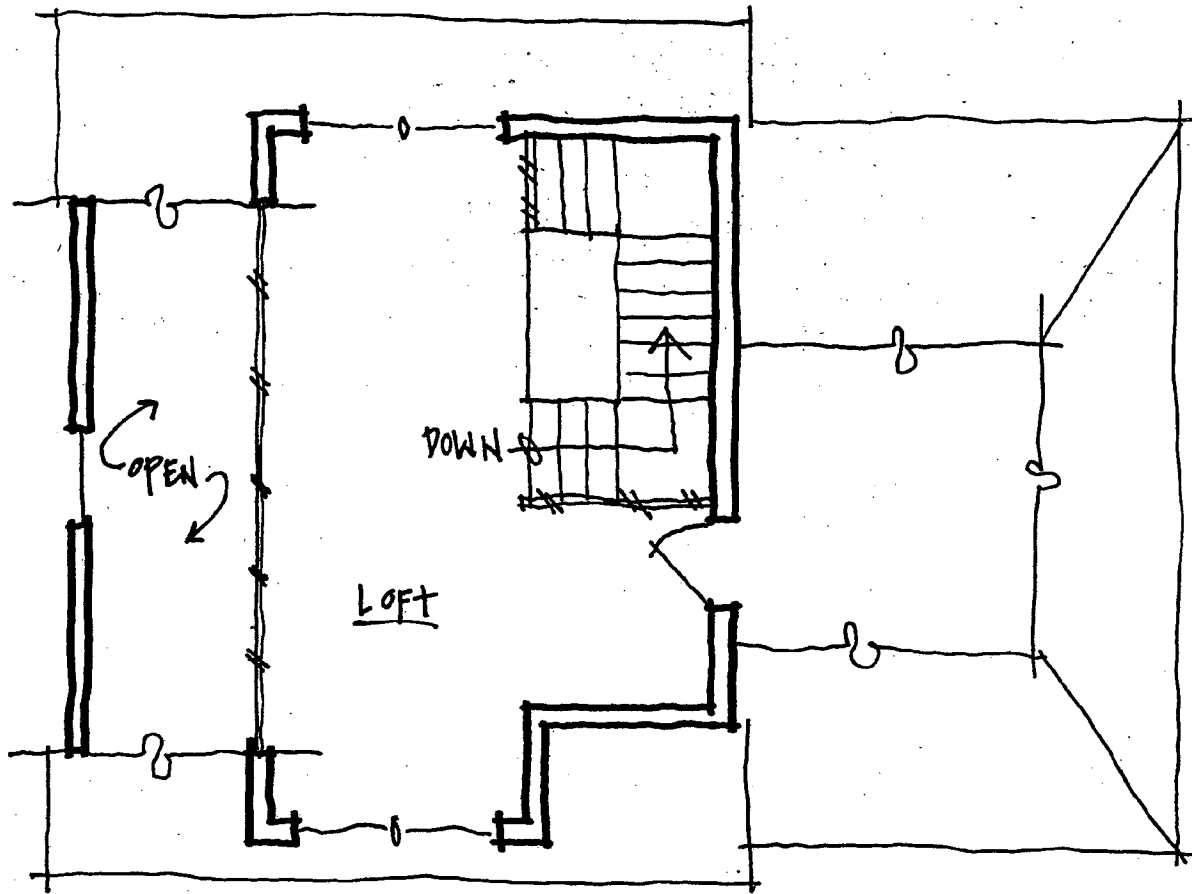
05.0179  
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**LYNCH RESIDENCE GUEST HOUSE**

FIRST FLOOR PLAN

3/16"=1'-0"

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# LYNCH RESIDENCE GUEST HOUSE

LOFT PLAN

3/16" = 1'-0"



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Suite 700  
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1 then, you know, that is, then clearly that's your motion and  
2 we work out with the applicant the detailed drawings.

3 MS. OAKS: We will work with the applicant.

4 MR. FULLER: I'm not sure the applicant has the  
5 recommendations currently with him, it needs new drawings,  
6 so from my perspective, I'll make a motion that we approve  
7 35/15-05W based on staff recommendations, the two staff  
8 recommendations.

9 MR. JESTER: Second.

10 MS. O'MALLEY: All in favor raise your right hand.

11 MS. WRIGHT: So that means the front porch change  
12 is approved.

13 MS. OAKS: You got approval with the second.

14 MS. HALLER: Then you so much.

15 MS. OAKS: And we'll be in touch tomorrow about  
16 details about getting the other --

17 MS. HALLER: And we will fix chimneys and roof  
18 lines, and what was the third thing, and windows.

19 Everything will be fixed.

20 MS. O'MALLEY: Thank you. The next case that  
21 we're hearing is Case D at 3807 Williams Lane. Can we have  
22 the staff report, please.

23 MS. OAKS: The project at 3807 Williams Lane in  
24 Chevy Chase is a master plan site, and individually  
25 designated master plan site, the Frank Simpson house. This  
26 is a revision to the previously approved carriage house new

1 construction that you saw at, you approved at your August  
2 17, 2005 meeting.

3           The applicant is coming before you this evening  
4 with this revision to add a basement to the carriage house  
5 for shed type storage. The basement would not exceed beyond  
6 the existing building's footprint, and they would like to  
7 add a ramp or a stair, an area way to the east elevation of  
8 the carriage house to provide exterior access to the  
9 basement level of the carriage house. And also to remove  
10 approximately 900 square feet of asphalt paving to provide  
11 the needed impermanentable lot coverage surface requirement.

12           Staff supports the HAWP application, however  
13 continues to be concerned with the new lot coverage  
14 percentages for this individually designate resource.  
15 However, we do feel that utilizing the basement level of  
16 this new structure for a shed use provides a creative way to  
17 getting additional shed storage on this already built out  
18 site.

19           The additional 180 square feet footprint to the  
20 carriage house is offset in staff's opinion by the removal  
21 of the 900 square feet of asphalt paving. Through removal  
22 of the paving is also a good start in returning the rear  
23 yard back to a garden setting.

24           Therefore, staff is recommending that the  
25 commission support this application with the previous  
26 condition that specified that the site has reached its

1 maximum lot coverage and that they will not approve any  
2 future proposal for this property for impermanentable  
3 surfaces, additions, new buildings, etcetera that increase  
4 the lot coverage.

5           Additionally, since this building will now have a  
6 basement, staff is very concerned about the trees on this  
7 and adjacent properties, and as such, we recommend that a  
8 tree protection plan be developed for the site and be  
9 submitted to staff for approval prior to the commencement of  
10 the work.

11           The applicant's architect is here and I'll be  
12 happy to entertain questions you might have.

13           MS. O'MALLEY: Are there questions for staff?  
14 Could the applicant architect come up, please.

15           MR. LACH: Hello. I'm Robert Lach with GTM  
16 Architects.

17           MS. O'MALLEY: All right, I basically had a couple  
18 of questions so maybe I'll start off. Number one, when we  
19 first reviewed your project, you told us that you were  
20 removing that asphalt driveway, so I don't consider that to  
21 be an exchange at this point in time. That was already an  
22 exchange.

23           MR. LACH: Sure, yeah. That was --

24           MS. O'MALLEY: When I look at the project of  
25 adding 180 square feet to a building that we hoped would be  
26 a total of 400 square feet, that adds a lot of extra

1 surface. Have you considered having your entrance on the  
2 opposite side going down underneath the interior stairs?

3 MR. LACH: There will be a stairway inside the  
4 house as well going down into that basement.

5 MS. O'MALLEY: But if your stairway started  
6 outside underneath that side porch you could go in directly  
7 under the stairs, and you would have no need for all that  
8 new work on the tree side of the building.

9 MR. LACH: Oh, I see what you're saying. We'll  
10 we'd have to look at that inception of course, but it  
11 doesn't create the most attractive view from the house and  
12 from the backyard to have that area way underneath the  
13 stair. Just a gut reaction.

14 MS. O'MALLEY: What you would have is a door.

15 MR. LACH: Oh no, you're only up a couple of  
16 risers there at that point because of the way the stair  
17 comes up.

18 MS. O'MALLEY: Isn't it coming up from the center  
19 hall?

20 MR. LACH: No, it's coming up next to the door.  
21 So that we can get underneath the roof pitch.

22 MS. O'MALLEY: Well perhaps you could rework the  
23 interior so that you could keep your stair inside rather  
24 than on the outside of the building.

25 MR. LACH: We have to come up into the center of  
26 that gable in order to get up into that loft space,

1 otherwise if we wanted to get the stair coming up from the  
2 center of the house to the exterior wall, we'd have to bump  
3 up the side walls to accommodate the stair head heights, and  
4 that would increase the volume of the overall piece, taking  
5 it away from sort of a dormer gable to more of a full two-  
6 story look.

7 MS. O'MALLEY: So yes, then your other option  
8 would be having it as part of that patio, moving your door  
9 toward the house and starting your stairs there.

10 MR. LACH: The only thing that that might save in  
11 looking at it is impact on the trees, and we do have an  
12 arborist looking at the construction, and we won't move  
13 forward without the arborist say so that we can protect the  
14 trees.

15 MR. FULLER: The thought is you're going to try to  
16 save the tree that's five feet away from the --

17 MR. LACH: We're going to do our best to save  
18 every tree on the property that we can. You know, the  
19 arborist is going to be working once we get a signed  
20 contract.

21 MR. FULLER: I mean, if you're having to excavate  
22 eight feet down and you're going to have to have at least a  
23 foot or two for your sheeting and shoring, if you're going  
24 to sheet and shore, which seems kind of extreme on this, but  
25 you going to kill that tree.

26 I mean, are you proposing to spend the money for

1 sheeting and shoring or is this supposed to be a cut?

2 MR. LACH: It'd be best if we can do an open cut.

3 We can, the other thing that we could do is increase the  
4 setbacks to get it away from the tree, but we have to  
5 increase it by a lot.

6 MR. FULLER: Is this tree on, it shows right on  
7 the property, so legally are you allowed to impact the tree?

8 MR. LACH: You know, I will have to take a look  
9 and see exactly where that tree is located.

10 MR. FULLER: Adding a basement that close to the  
11 tree I think is problematic if you're going to try to say  
12 you're saving the tree.

13 MS. WRIGHT: So I'm hearing two concerns. One is  
14 not only adding the additional paving in that nine foot  
15 setback area, which is one of the proposals, but also the  
16 whole concept of adding a full basement because of the  
17 impact that may have on the trees. And you don't have an  
18 arborist report at this point?

19 MR. LACH: Not at this point, no.

20 MS. WRIGHT: Well maybe this is the kind of issue,  
21 because if you don't have a basement then you certainly  
22 don't need the area way to get to the basement. I mean  
23 maybe we have to start with getting the arborist report and  
24 finding out the impact of putting in a basement at all.  
25 Because if it really does mean taking, killing at least that  
26 16 inch tree and maybe other trees, by doing that, I think,

1 that's something the commission would want to have  
2 information on.

3 MS. OAKS: Is the arborist looking at adjacent  
4 properties as well? Trees on adjacent properties?

5 MR. LACH: I don't know if he's looking at the  
6 adjacent properties as well.

7 MS. O'MALLEY: There are large trees on the  
8 adjacent property that need to be reviewed when he does  
9 this.

10 MS. ALDERSON: And an alternative thing would be  
11 to reduce the extent of the basement so it does not continue  
12 all the way to the back of the lot, and to visit the  
13 possibility of simply continuing that interior stair so you  
14 don't need the exterior ramp.

15 MR. LACH: The exterior ramp was primarily for  
16 when they were taking down the existing shed, the existing  
17 garage, the things that were in there like bicycles and  
18 wheelbarrows and things like that. So although they could  
19 access a smaller basement at the front of the guesthouse  
20 through the interior stair, it would just be easier and more  
21 convenient for them to have the exterior stair.

22 MR. FULLER: I guess from my perspective I think  
23 Gwen said it, I think this really needs to be continued.  
24 From my perspective I have no problems with the concept of a  
25 basement, I don't think that bothers me at all. I have a  
26 problem with the basement if it's going to kill trees, and

1 as it relates to the additional impervious area, I probably  
2 can be convinced, but I prefer not to see it and I think  
3 another alternative you could look at is whether you could  
4 put a small area well so you could lift things straight in  
5 and out.

6 I think that what you're showing in the way of  
7 steep ramp is almost impractical, I mean, that's a pretty  
8 steep ramp that you're proposing to try to walk stuff up and  
9 down. It's almost a staircase, but that's a detail that I  
10 think you need to just solve and come back to us.

11 MS. O'MALLEY: And I guess, I don't have a picture  
12 that shows the back of the house, maybe you need to look at  
13 storing that equipment under, isn't there a porch or  
14 something?

15 MR. LACH: On the back of the existing house?  
16 Nothing that's weather proof.

17 MS. O'MALLEY: This solution looks like there's a  
18 lot of problems.

19 MR. LACH: Well, it seems that a solution, the one  
20 major problem that is has is the impact on the trees, and if  
21 we come back with an arborist report that says we can solve  
22 that, that sounds like a go ahead.

23 MS. O'MALLEY: Well, you're also adding 180 square  
24 feet of impervious --

25 MR. LACH: Adding the extra area way is another  
26 issue. We would be, also willing to fill up some of the

(26)



1 impervious area that makes the concrete walkway along the  
2 front, that runs in front of the guesthouse, and reducing  
3 that to just a small pad or maybe even stepping stones to  
4 offset some of that, that square footage.

5 MS. O'MALLEY: It's already showing us a small pad  
6 on the circle 11.

7 MR. LACH: But that reduction isn't taking into  
8 account in the report. In the final tally.

9 MR. JESTER: I think the important issue is the  
10 tree and whether or not it can be preserved.

11 MR. LACH: Sounds like it makes the rest of the  
12 conversations kind of moot.

13 MR. JESTER: Right.

14 MS. WRIGHT: So are you willing to continue until  
15 you can get us an arborist report and we can address that  
16 issue?

17 MR. LACH: Sure. Makes sense.

18 MS. WRIGHT: And I think the other suggestion that  
19 was just made, may also be worth exploring because even if  
20 you can do a partial basement and area way, it's still going  
21 to be a hard area to get like a wheelbarrow up and down. I  
22 think that's what's being said, even if you do a ramp,  
23 that's going to be a fairly steep ramp, and I think one  
24 suggestion that was made that you may want to explore, is  
25 you have two existing covered porches. I don't know how  
26 high they are above the ground. I mean, at the back of the

1 existing house. Is there any way even if you excavated down  
2 a little bit under that porch to create a little storage  
3 area under there for the lawn mower.

4 MR. LACH: If we did that, technically we would  
5 want to do, put a concrete pad under there and increase our  
6 impervious area.

7 MS. WRIGHT: I think an area under a covered porch  
8 is probably not a bad place to put concrete. I don't think  
9 there would be a big concern about that.

10 MR. LACH: Okay.

11 MS. WRIGHT: And again, I'm trying to think in  
12 terms of practicality, if it was me hauling the lawn mower  
13 in and out, I would rather open a little door in my  
14 latticework of my porch and haul a lawnmower out from  
15 underneath the porch than push it up and down a ramp.

16 MR. LACH: Not to be out of line, but is  
17 practicality an issue that we discuss here or because if my  
18 client's feelings are --

19 MS. WRIGHT: No. We're just trying to give you a  
20 helpful suggestion. Just a little personal observation in  
21 terms of hauling lawnmowers.

22 MS. ALDERSON: I also would, just looking  
23 traditionally how these properties are laid out and the idea  
24 of the guest house was originally pitched as something to  
25 look like a traditional out building, a carriage house. To  
26 create storage in the back of the house under the porch is

1 much less of an impact than to turn the carriage house to  
2 essentially just another house on the property.

3           Once there's an area way, there's no fooling,  
4 carriage houses don't have area ways that go to their  
5 basements. So to me that really kind of tosses out the  
6 original concept. It very much changes the look of it so it  
7 doesn't even look like a cottage, it looks like a full scale  
8 dwelling.

9           So I would strongly prefer to see you explore the  
10 opportunities to, once you're planning to dig, to use the  
11 back of the house for that instead.

12           MS. ANAHTAR: I'm curious about something. Your  
13 rear setback is only five feet?

14           MR. LACH: Correct.

15           MS. ANAHTAR: So it's acceptable since it's an  
16 accessory structure?

17           MR. LACH: Yes, it is.

18           MS. ANAHTAR: But what if it has a basement? It's  
19 almost like another house here. And even for a garage you  
20 need 9 feet setback correct?

21           MR. LACH: Because of the restrictions that are  
22 put on a quote/unquote guesthouse, that it can only be  
23 occupied for six months out of a year it still falls under  
24 the heading of accessory structure.

25           MS. ANAHTAR: Even with a basement?

26           MR. LACH: Uh-huh.

1 MS. ANAHTAR: Interesting.

2 MS. O'MALLEY: All right, so we'll continue this  
3 and you'll bring in an arborist report --

4 MR. LACY: Yes, I will.

5 MS. O'MALLEY: -- or redesign your plan.

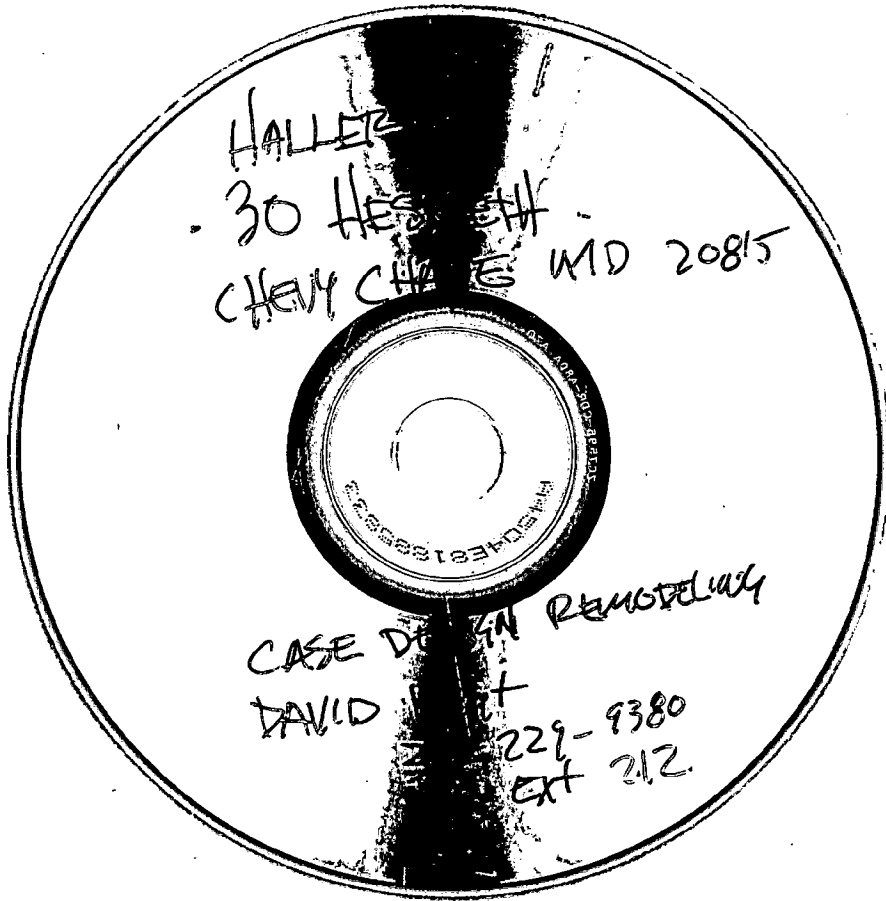
6 MR. LACY: Maybe both.

7 MS. O'MALLEY: Thank you. The next one that we  
8 will hear is Case I, 7113 Holly. Can we have a staff  
9 report, please.

10 MS. TULLY: Yes. 7113 Holly Avenue in Takoma  
11 Park. The property is a contributing resource within the  
12 Takoma Park Historic District. The applicant is -- there  
13 are three proposals in this application. One is to repair a  
14 low retaining wall in the front yard, and potentially  
15 leaving it with the same sort of stucco finish that exists,  
16 or perhaps facing it in stone.

17 The other is to construct a six and a half foot  
18 custom design wood privacy fence in the rear yard with gates  
19 located across the existing driveway, and up near the garage  
20 to allow for access for garbage pickup.

21 Additionally, the third item is to remove a 29-  
22 inch White Oak tree in the rear yard that is leaning over a  
23 neighbor's house. With regard to that, the applicant has  
24 been through the Takoma Park tree ordinance process and has  
25 received a tentative approval for that removal for that  
26 removal pending HPC concurrence.



HALLER

- 30 HESSETH

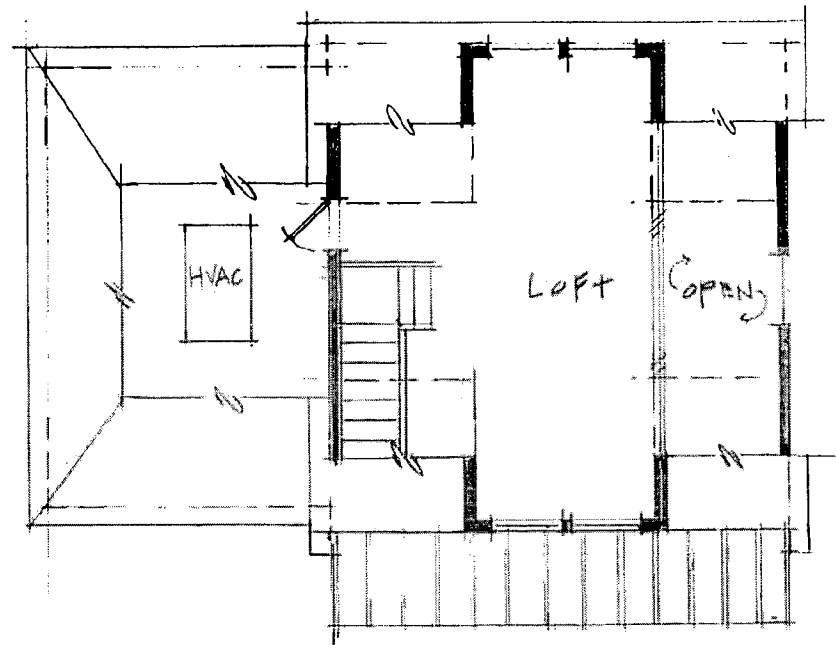
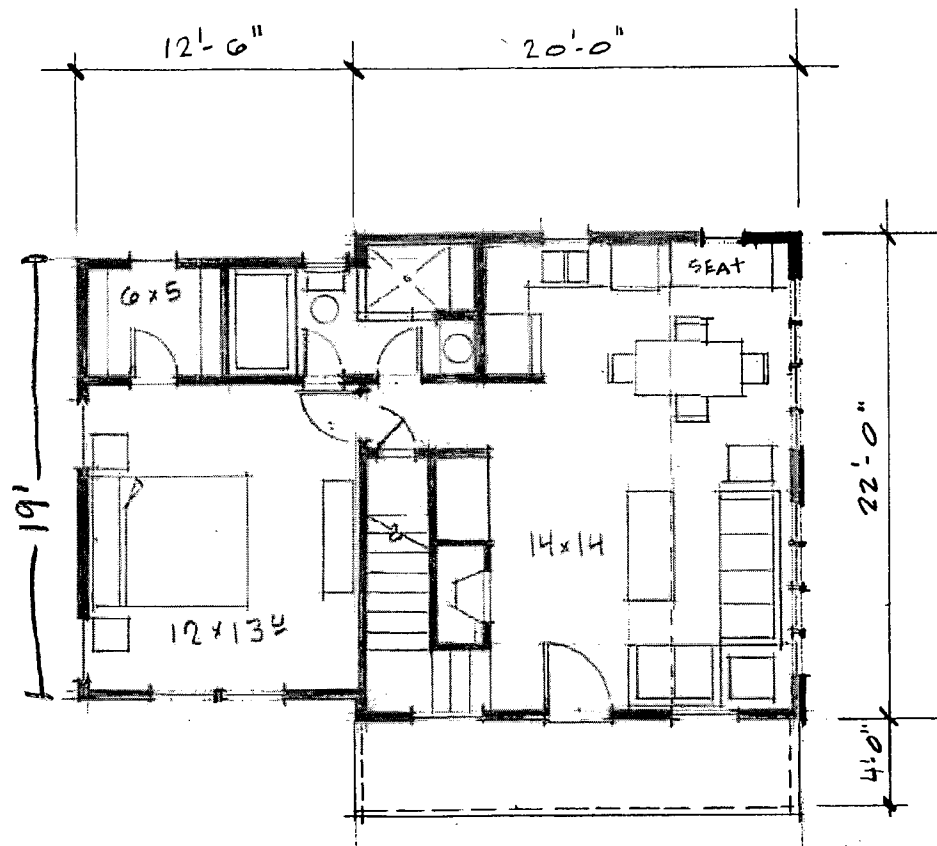
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CASE DESIGN REMODELING

DAVID

+ 229-9380

EXT 212



14



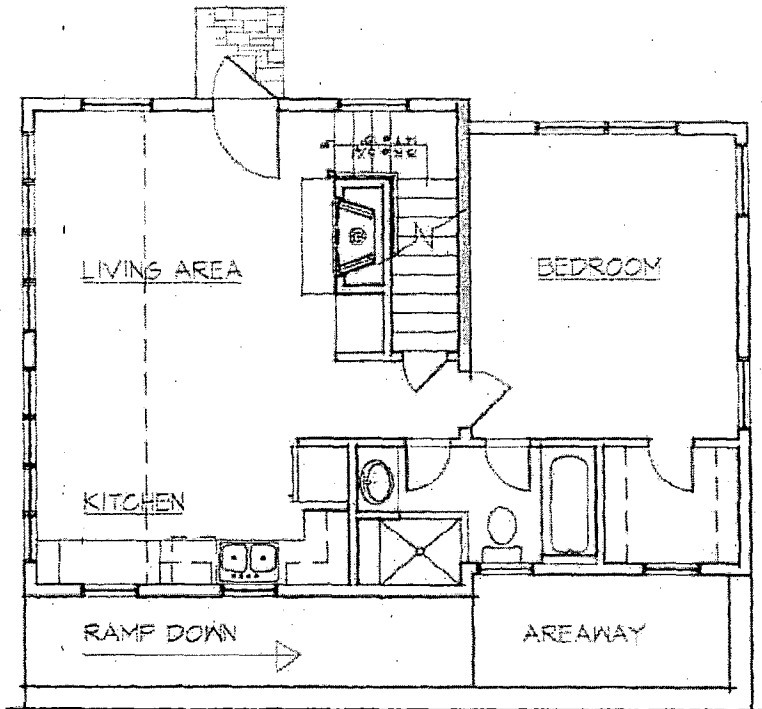
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# LYNCH RESIDENCE

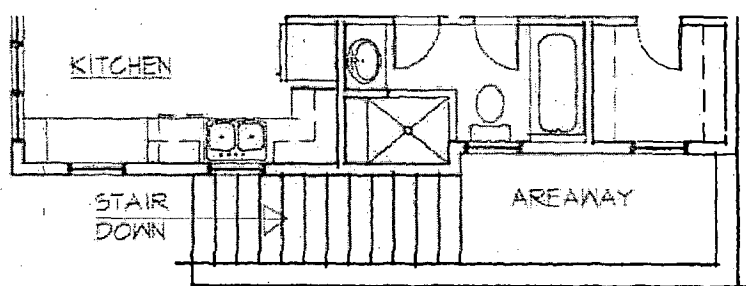
GUEST HOUSE PLANS

JUNE 21, 2005

1/8" = 1'-0"




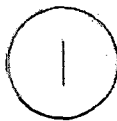
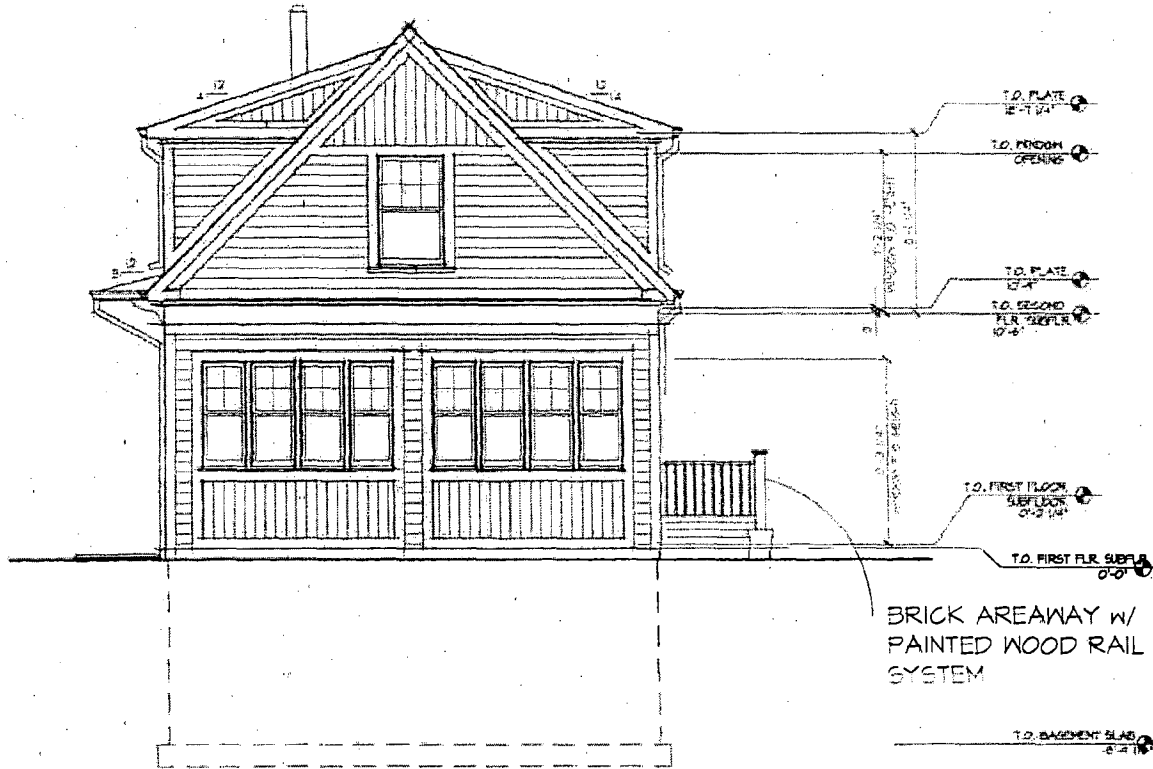
1 FLOOR PLAN W/ RAMP  
SCALE: 1/8"



2 FLOOR PLAN W/ STAIR  
SCALE: 1/8"

FILE NAME: 5075616ALL3.dwg

<b>Lynch Residence Guest House</b>				 <small>         702 E. J. GERRARD ROAD          SUITE 101          BETHESDA, MD 20814          (301) 273-7001          (301) 273-2001 FAX       </small>
<b>FLOOR PLANS</b>				
DRAWN BY: r1	SCALE: 1/8"	PROJECT NO. 05.0119	REVISIONS	DRAWING NO. <b>1</b>
CHECKED BY:	DATE: 4/13/05			



# FRONT ELEVATION

SCALE: 1/8"

## Lynch Residence Guest House

### FRONT ELEVATION

DRAWN BY: rl	SCALE: 1/8"	PROJECT NO: 05-0114	REVISIONS	DRAWING NO: <b>2</b>
CHECKED BY:	DATE: 9/13/5			

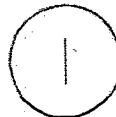
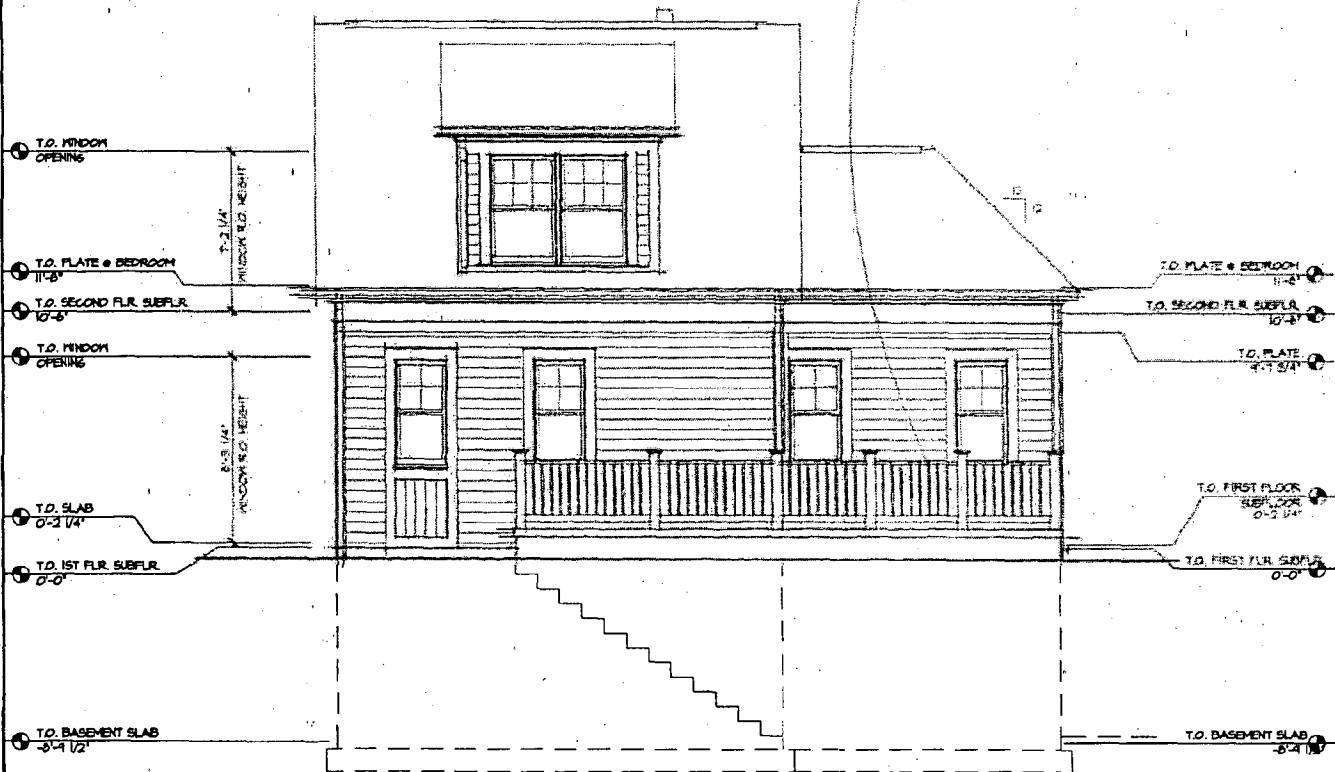


1700 OLD GEORGETOWN ROAD  
SUITE 100  
ROCHESTER, MA 01501  
(248)333-2000  
(248)333-2001 FAX

FILE NAME: 501791eall3.dwg



BRICK AREAWAY W/  
PAINTED WOOD RAIL  
SYSTEM



**SIDE ELEVATION W/ STAIR**

SCALE: 1/8"

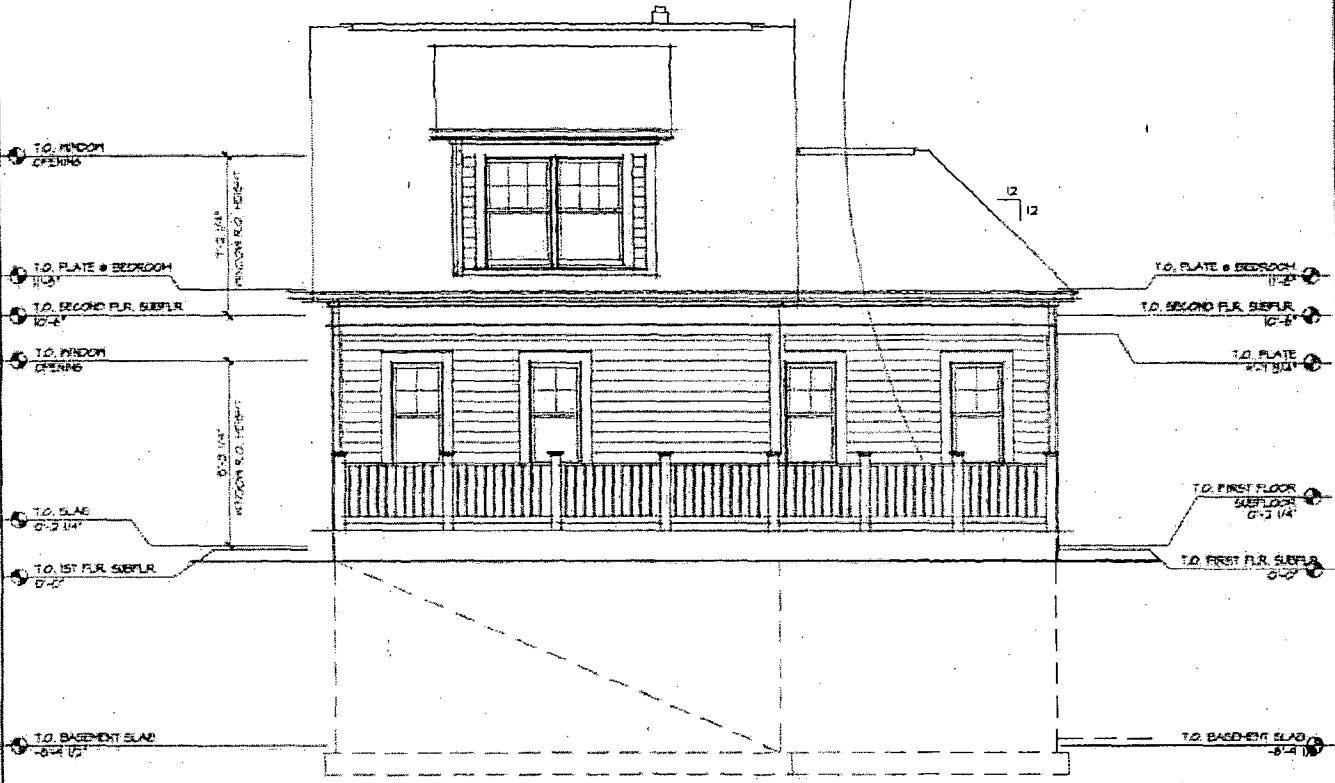
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**Lynch Residence Guest House**

**SIDE ELEVATION W/ STAIR**

DRAWN BY: ri	SCALE: 1/8"	PROJECT NO. 05.0179	REVISIONS	DOCUMENT NO. <b>3</b>	 G T M 7735 OLD 12 ROAD SUITE 100 DOTHEN, LA 70638 (225) 333-2500 (240) 333-2001 FAX
CHECKED BY:	DATE: 9/13/5				

BRICK AREAWAY W/  
PAINTED WOOD RAIL  
SYSTEM



1 SIDE ELEVATION W/ RAMP  
SCALE: 1/8"

FILE NAME: 5071010113.dwg

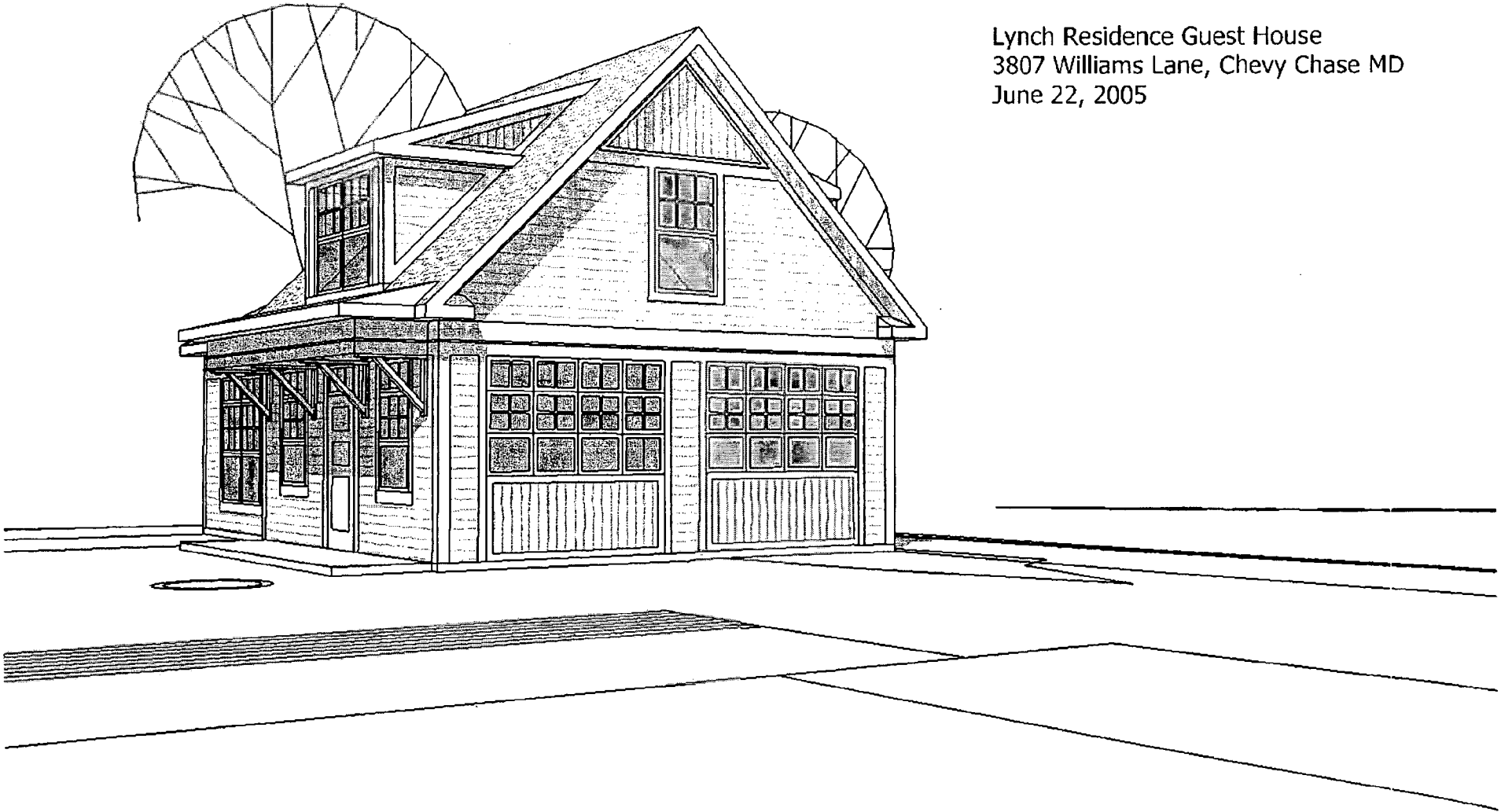
**Lynch Residence Guest House**

SIDE ELEVATION W/ RAMP

DRAWN BY: ml	SCALE: 1/8"	PROJECT NO. 05_0119	REVISIONS
CHECKED BY:	DATE: 9/13/5		

DRAWING NO.  
**4**

GTM  
7735 OLD GEORGETOWN ROAD  
SUITE 700  
BETHESDA, MD 20814  
(240)333-2000  
(240)333-2001 FAX

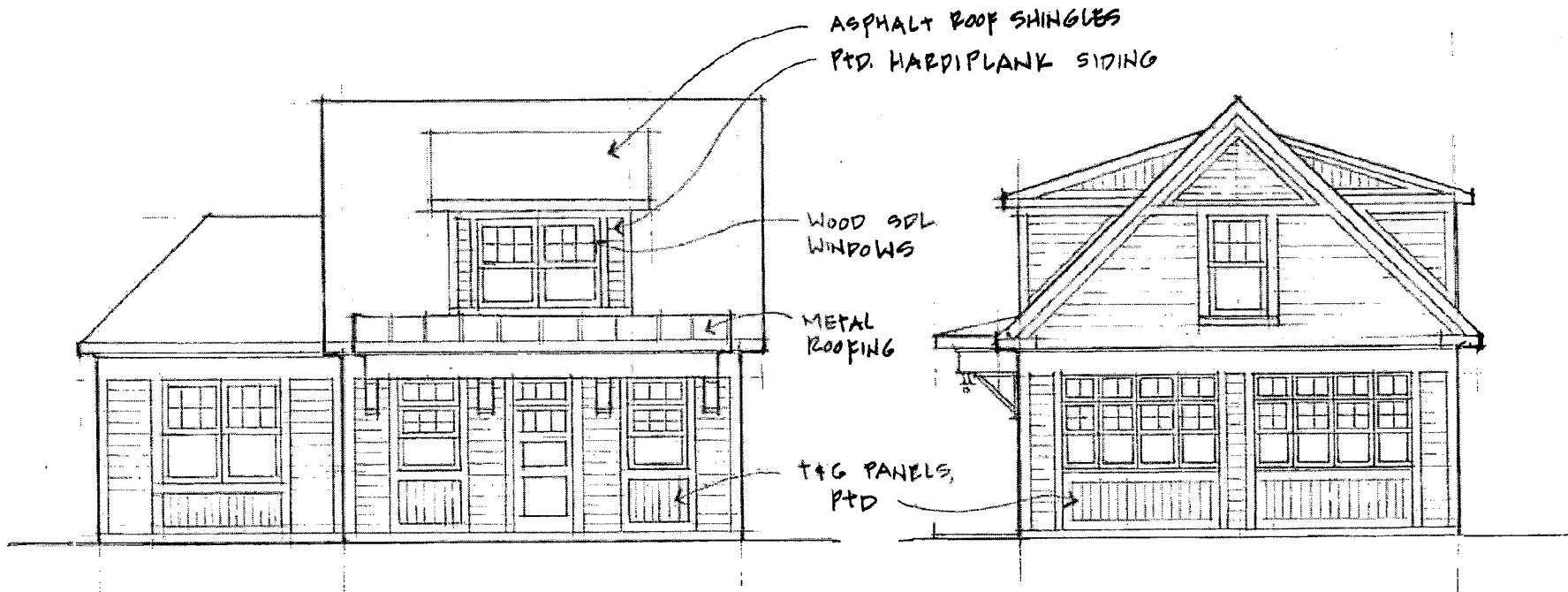


Lynch Residence Guest House  
3807 Williams Lane, Chevy Chase MD  
June 22, 2005

①  
②



**GTM ARCHITECTS**  
7735 Old Georgetown Rd.  
Suite 700  
Bethesda, MD 20814



LYNCH RESIDENCE

GUEST HOUSE ELEVATIONS  
 JUNE 21, 2005 1/8"=1'-0"



GTM ARCHITECTS  
 7735 Old Georgetown Rd.  
 Suite 700  
 Bethesda, MD 20814

13  
 8

Handwritten numbers and a scribble in the bottom left corner.

M-NCPPC



**MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING**


THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760  
301-495-4500, [www.mncppc.org](http://www.mncppc.org)

Date: October 7, 2005

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Michele Oaks, Senior Planner   
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 384016 for carriage house construction

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) on at its public hearing on August 17, 2005. This application was **APPROVED with conditions**. The conditions of approval were:

- This new guest house builds-out the site to its maximum capacity, therefore, any new proposal for impermeable surfaces, additions, new buildings etc. that increase the lot coverage will **not** be approved by the Commission for this property in the future.
- A tree protection plan will be prepared by a certified arborist and implemented prior to any work beginning on the property.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Timothy and Kathy Lynch (Robert Lach, AIA)

Address: 3807 Williams Lane, Chevy Chase; *Master Plan* Site # 35/77 Frank Simpson House

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if any alterations to the approve plans are made prior to the implementation of such changes to the project.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
 301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: ROBERT LACH JR., AIA  
 Daytime Phone No.: 240-333-2027

Tax Account No.: 00468306  
 Name of Property Owner: TIMOTHY & KATHY LYNCH Daytime Phone No.: 301 951 6424  
 Address: 3807 WILLIAMS LANE CHEVY CHASE MD 20815-4953  
Street Number City Street Zip Code  
 Contractor: NOT SELECTED Phone No.: N/A  
 Contractor Registration No.: N/A  
 Agent for Owner: ROBERT LACH JR., AIA Daytime Phone No.: 240.333.2027

**LOCATION OF BUILDING/PREMISE**

House Number: 3807 Street: WILLIAMS LANE  
 Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE  
 Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: 14  
 Easer: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: P413

**PART ONE: TYPE OF PERMIT ACTION AND USE**

A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input type="checkbox"/> Alter/Reinstate	<input checked="" type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input checked="" type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input checked="" type="checkbox"/> Wreck/Reuse	<input type="checkbox"/> Solar	<input checked="" type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 115,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*[Signature]*  
 Signature of Owner or authorized agent

5/18/5  
 Date

Approved: X W/ CONDITIONS For Chairman, Historic Preservation Commission  
 Approved: \_\_\_\_\_ Signature: Julia O'Malley Date: 10/7/05  
 Permit No.: 384016 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work;
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the pruning of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS (SEE ATTACHED)**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

## MEMO

GTM ARCHITECTS

**Date:** May 16, 2005

**To:** Historic Preservation Review Board  
Phone: 301-563-3400  
Fax: 301-563-3412

**From:** GTM Architects, Inc.  
Robert Lach Jr., A.I.A.  
Phone: 240-333-2027  
Fax: 240-333-2001

**Project #:** 05.0179                      **Project Name:** Lynch Residence

**Subject:** Application for Historic Area Work Permit

---

**1. Written Description of Project:**
**a. Description of existing structure(s) and environmental setting, including their historical features and significance:**

The existing structure, located on Williams Lane in Chevy Chase, was originally built in 1868, with subsequent additions throughout the years. Existing siding is lapboard & shingle. The current windows have no muntins, and the current roofing is asphalt shingle.

**b. General Description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:**

The project being proposed is the demolition of the current two car garage and the construction of a new story and a half guest home to be located in the year yard of the property. Siding to be a combination of painted Hardi-Plank and vertical board & batten. Roofing materials will be a combination of asphalt shingles and standing seam metal. Windows will be painted wood, with no muntins.

**HAWP Application: Mailing Addresses for Notifying**

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's Mailing Address  
Timothy & Kathy Lynch  
3807 Williams Lane  
Chevy Chase MD 20815

Owner's Agent's Mailing Address  
Robert Lach Jr., A.I.A.  
GTM Architects  
7735 Old Georgetown Road  
Suite 700  
Bethesda MD 20814



**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	3807 Williams Lane, Chevy Chase	<b>Meeting Date:</b>	10/12/2005
<b>Applicant:</b>	Timothy and Kathy Lynch (Robert Lach, AIA)	<b>Report Date:</b>	10/5/2005
<b>Resource:</b>	<i>Master Plan</i> Site #35/77 <b>Frank Simpson House</b>	<b>Public Notice:</b>	9/28/2005
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/77-05AREVISION	<b>Staff:</b>	Michele Oaks

**RECOMMENDATION:** Approve with Conditions

**PROPOSAL:** New Carriage House construction

**RECOMMENDATION:** Staff recommends that the Commission support this HAWP application with the conditions that:

This new guest house builds-out the site to its maximum capacity, therefore, any new proposal for impermeable surfaces, additions, new buildings etc. that increase the lot coverage will **not** be approved by the Commission for this property in the future.

A tree protection plan will be prepared by a certified arborist, submitted to HPC staff for approval and implemented prior to any work beginning on the property.

The subject 900 sq. ft. of asphalt driveway is returned to lawn.

**BACKGROUND:**

The applicants applied for and received approval for a very large, two-story, rear addition (measuring 26' x 35') onto this house in March of 2002. This increased the lot coverage on this property from 14% to 27% lot coverage – which includes garage.

On June 8, 2005, the Commission reviewed a preliminary consultation, which illustrated a proposal to construct a 1-1/2 story guesthouse on the property. The guest house footprint was 36' L x 23'6" W x 24' H and would be sited approximately 20 feet from the rear elevation of the house. The material specifications were painted, Hardi-plank siding and wood board and batten framed out in wood with an asphalt shingle and standing seam metal roof. Additionally, the proposal also includes the installation of an approx 250 sq. ft. of patio at the rear of the yard.

The Commission conveyed to the applicant that they wanted the proposed building to read more like an ancillary structure in its design and that it needed to be smaller than what was being proposed.

On July 13, 2005, the applicants returned to the Commission for a second Preliminary Consultation. They unveiled a new design for the guesthouse at this meeting that addressed the comments from the first

preliminary consultation. The design and detailing of the guesthouse created the sense of an ancillary structure such as a barn or a garage. Additionally, the architect reduced the footprint by 255 sq. ft. These modifications to the building's design and size satisfied the comments expressed by the Commission, as such the Commission recommended the applicant proceed to filing a HAWP application with this new design.

The Commission reviewed a HAWP application for this project at its August 17, 2005 meeting. At this meeting the Commission approved the HAWP application for the carriage house with the conditions that the applicant understood that the new guest house builds-out the site to its maximum capacity and therefore, any new proposal for impermeable surfaces, additions, new buildings etc. that increased the lot coverage will not be approved by the Commission for the property in the future. Additionally, the Commission required that a tree protection plan be prepared by a certified arborist and implemented prior to any work beginning on the property.

**HISTORIC CONTEXT:**

The Simpson House was the first house built on the former Williams Farm on land sold by Clayton Williams to a non-family member. It represents the beginning of the Williams Station Community, which grew along Williams Lane providing newcomers with access to the Chevy Chase Land Company streetcar stop located on Connecticut Avenue. Frank Simpson, a prominent local builder, whose extended family lived and worked in Chevy Chase in various branches of the construction business, built the house in 1898.

**ARCHITECTURAL DESCRIPTION:**

The house is a 2-1/2 story, L-shaped, vernacular Queen Anne house characterized by its projecting front gable and its wrap-around porch. The frame structure has weatherboard walls and is covered with a cross gable roof clad with decoratively shaped asphalt shingles.

The south (principal) elevation of the house faces Williams Lane and consists of a two-bay end wall of the main wing of the ell. The first story contains a side entry door and a single four-light, double-hung window, while the second story has two 1/1 windows. Corner boards frame the walls and support a plain, frieze board, which separates the second story from the projecting gable and attic level. The gable is steeply pitched and clad with wood shingles and articulated by a projecting raking cornice and cornice returns. The gable is detailed with a central tri-partite window which features a single 1/1 sash flanked by lower undivided and fixed sidelights. A one-story porch with a hipped roof supported by wood columns with scroll-sawn knee brackets wraps around from the front to the east side of the house. The front porch is three bays wide and raised above ground level. It is reached by a set of stairs leading to the front entry door, which is located to the side. The ceiling has narrow beaded boards.

On the east side of the front wing, the porch, which historically extended three bays to meet the cross wing of the house, has been enclosed with glass at its two end bays. A second story, sleeping porch sits atop the enclosed first-story section. There is a one-story enclosed addition on the west side of the house at the intersection of the projecting main wing and the rear wing. It has weatherboard walls and a half-hipped roof clad with asphalt shingles. The rear wing of the house projects one bay to the west side of the main wing. This bay is defined by the one-story addition on the first story and by a single 1/1 window on the second story. A two-story, rear addition was constructed onto this house in 2002.

The subject property contains an existing two-car garage (20' x 20') and several large, mature trees on the property including several along the western property line that exceed 100 years old.

**APPLICABLE GUIDELINES:**

***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
  
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Proposed new construction to individually designated Master Plan sites are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values. The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
  
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
  
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**PROPOSAL:**

The applicant is proposing to revise their previous approved HAWP application by:

- Adding a basement to the carriage house for "shed" type storage. The basement would not exceed beyond the existing building's footprint.
- Adding a ramp or stair and areaway to the east elevation of the carriage house to provide exterior access to the basement level of the carriage house (approx. 180 sq. ft. footprint)
- Remove approximately 900 sq. ft. (15' x 60') of asphalt paving to provide the needed impermeable lot coverage/impermeable surface requirement.

**STAFF DISCUSSION:**

Staff supports this HAWP application, however, continues to be concerned with the new lot coverage percentages for this individually designated historic resource. However, staff, does feel that utilizing the basement level of this new structure for a shed use provides a creative way to getting additional shed storage on this already built out site. The additional 180 sq. ft. footprint to the carriage house is offset, in staff's opinion, by the removal of the 900 sq. ft of asphalt paving. The removal of the paving is also a good start in returning the rear yard back to a garden setting. As such, staff recommends that the Commission support this HAWP application, with the previous condition that specified that the site has reached its maximum lot coverage and that they will not approve any future proposal for this property for impermeable surfaces, additions, new buildings etc. that increase the lot coverage. Additionally, since this building will now have a basement, staff is very concerned about the trees on this and adjacent properties, as such we recommend that the tree protection plan that is being developed for the site be submitted to staff for approval prior to the commencement of work.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission *approve with the above stated conditions* the HAWP application as being consistent with Chapter 25A-8(b)1, 2 and 3:

The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district,

The proposal is compatible in character and nature with the historical, archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

and with the Secretary of the Interior's Standards for Rehabilitation.

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: ROBERT LACH JR AIA  
Daytime Phone No.: 240.333.2021

Tax Account No.: 00468306

Name of Property Owner: TIMOTHY & KATHY LYNCH Daytime Phone No.: 301 951 6424

Address: 3807 WILLIAMS LANE, CHEV CHASE MD 20815-4953  
Street Number City State Zip Code

Contractor: NOT SELECTED Phone No.: N/A

Contractor Registration No.: N/A

Agent for Owner: ROBERT LACH JR. AIA Daytime Phone No.: 240.333.2021

### LOCATION OF BUILDING/PREMISE

House Number: 3807 Street: WILLIAMS LANE  
Town/City: CHEV CHASE Nearest Cross Street: CONNECTICUT AVENUE  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: 14  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: P413

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 115,000

1C. If this is a revision of a previously approved active permit, see Permit # 20840116

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

9/21/15  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 399201 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

15x60 = 900sq ft  
done by [unclear]  
[unclear]  
(5)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

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- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

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If you are proposing construction adjacent to or within the drip-line of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

(SEE ATTACHED)

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

## MEMO

## Adjacent &amp; Confronting Property Owners Mailing Addresses

M. Lundberg  
3806 Williams Lane  
Chevy Chase MD 20815

Terry and Carolyn Day  
3805 Williams Lane  
Chevy Chase MD 20815

Sinclair Residence  
3811 Williams Lane  
Chevy Chase MD 20815

Brian and Hedy Banon  
3812 Woodbine Street  
Chevy Chase MD 20815

Phaon and Jeanine Derr  
3810 Woodbine Street  
Chevy Chase MD 20815

## MEMO

**Date:** September 21, 2005

**To:** Historic Preservation Review Board  
Phone: 301-563-3400  
Fax: 301-563-3412

**From:** GTM Architects, Inc.  
Robert Lach Jr., A.I.A.  
Phone: 240-333-2027  
Fax: 240-333-2001

**Project #:** 05.0179      **Project Name:** Lynch Residence

**Subject:** Application for Historic Area Work Permit

---

**1. Written Description of Project:**
**a. Description of existing structure(s) and environmental setting, including their historical features and significance:**

The existing structure, located on Williams Lane in Chevy Chase, was originally built in 1868, with subsequent additions throughout the years. Existing siding is lapboard & shingle. The current windows have no muntins, and the current roofing is asphalt shingle.

**b. General Description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:**

Since one of the binding elements of the previously approved HAWP was that this structure would build out the site, gaining some form of "shed" type storage for bikes, lawnmowers and such is desirable. The proposed basement and areaway would accommodate this with minimal further impact on the site.

**HAWP Application: Mailing Addresses for Notifying**

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's Mailing Address  
Timothy & Kathy Lynch  
3807 Williams Lane  
Chevy Chase MD 20815

Owner's Agent's Mailing Address  
Robert Lach Jr., A.I.A.  
GTM Architects  
7735 Old Georgetown Road  
Suite 700  
Bethesda MD 20814



S 87°50'00" W 69.35'

EX. CHAIN LINK FENCE

16" CHER.

20.0'

12.5'

NEW AREAWAY

20' REAR B.R.L.

1.0'

EX. RET. WALL

1 1/2 STORY FRAME GUEST HOUSE

20.0'

20.0'

RAMP DOWN

22.0'

4.0'

1.0'

LOT 4  
PARCEL 413  
12,828 S.F.

EX. WOOD FENCE

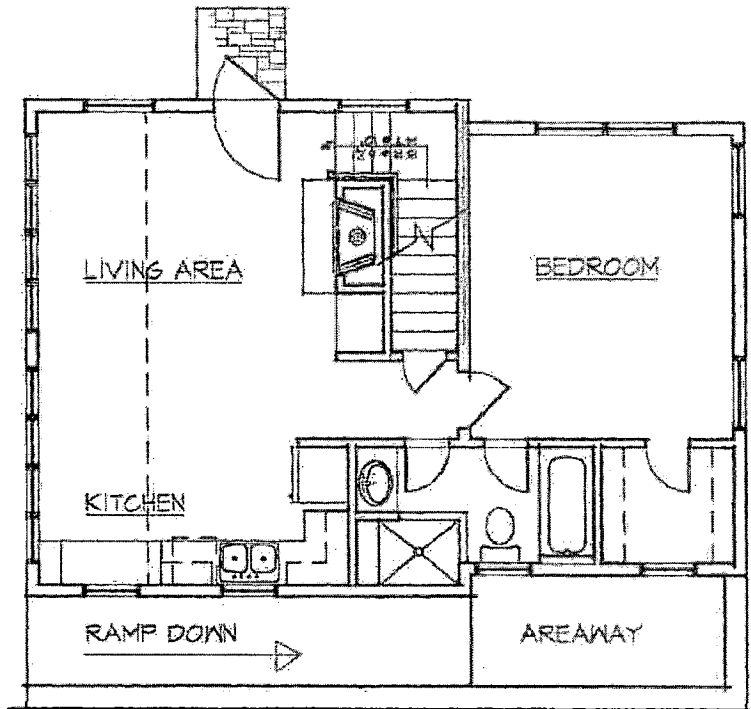
REMOVE EXISTING DRIVEWAY

EX. WOOD PORCH

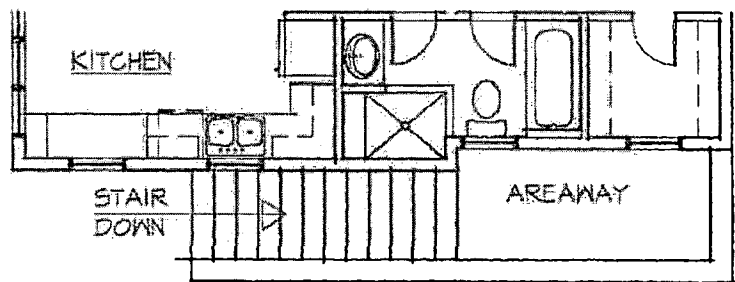
8' SIDE B.R.L.

EX. COV. PORCH

30" MAP



1 FLOOR PLAN W/ RAMP  
SCALE: 1/8"



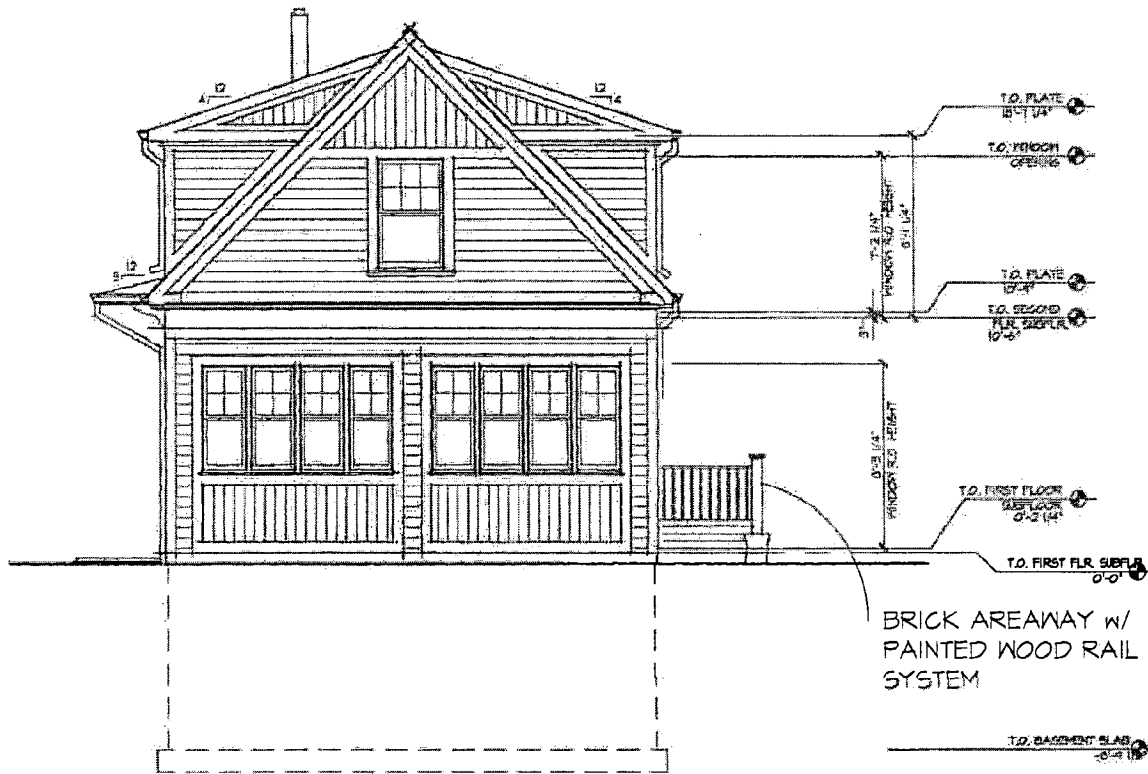
2 FLOOR PLAN W/ STAIR  
SCALE: 1/8"

FILE NAME: 507616113.dwg

**Lynch Residence Guest House**

**FLOOR PLANS**

DRAWN BY: rl	SCALE: 1/8"	PROJECT NO: 05.0174	REVISIONS	DRAWING NO: <b>1</b>	 GTM 7725 OLD GEORGETOWN ROAD SUITE 200 BETHESDA, MD 20814 (301)333-2000 (240)333-2001 FAX
CHECKED BY:	DATE: 9/13/5				



1 FRONT ELEVATION  
SCALE: 1/8"

**Lynch Residence Guest House**

**FRONT ELEVATION**

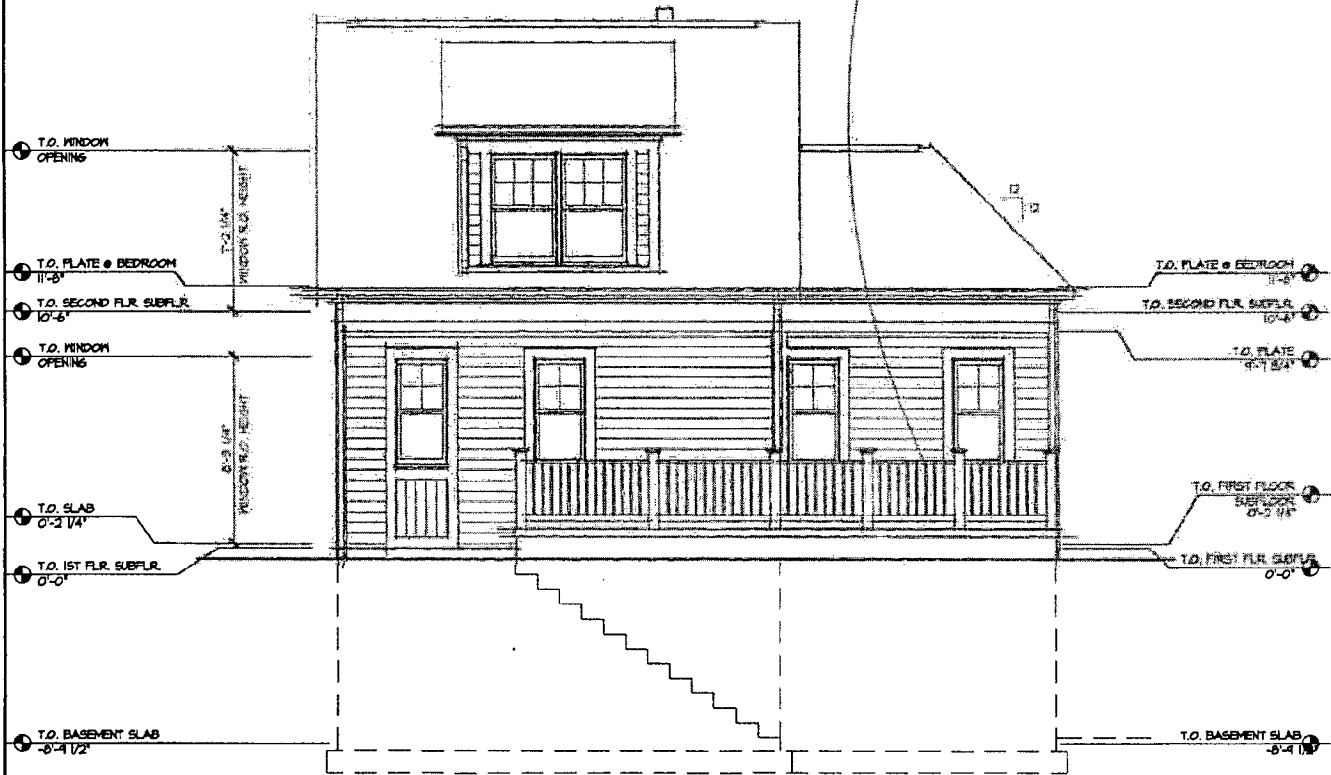


GTM  
7725 E.D. GEORGETOWN ROAD  
SUITE 719  
BETHESDA, MD 20814  
(240)333-3300  
(240)333-2001 FAX

DRAWN BY: rl	SCALE: 1/8"	PROJECT NO. 05.0119	REVISIONS	DRAWING NO. <b>2</b>
CHECKED BY:	DATE: 9/13/5			

FILE NAME: 50174e1eALL3.dwg

BRICK AREAWAY W/  
PAINTED WOOD RAIL  
SYSTEM



1

**SIDE ELEVATION W/ STAIR**

SCALE: 1/8"

FILE NAME: 501791e1a113.dwg

**Lynch Residence Guest House**

**SIDE ELEVATION W/ STAIR**

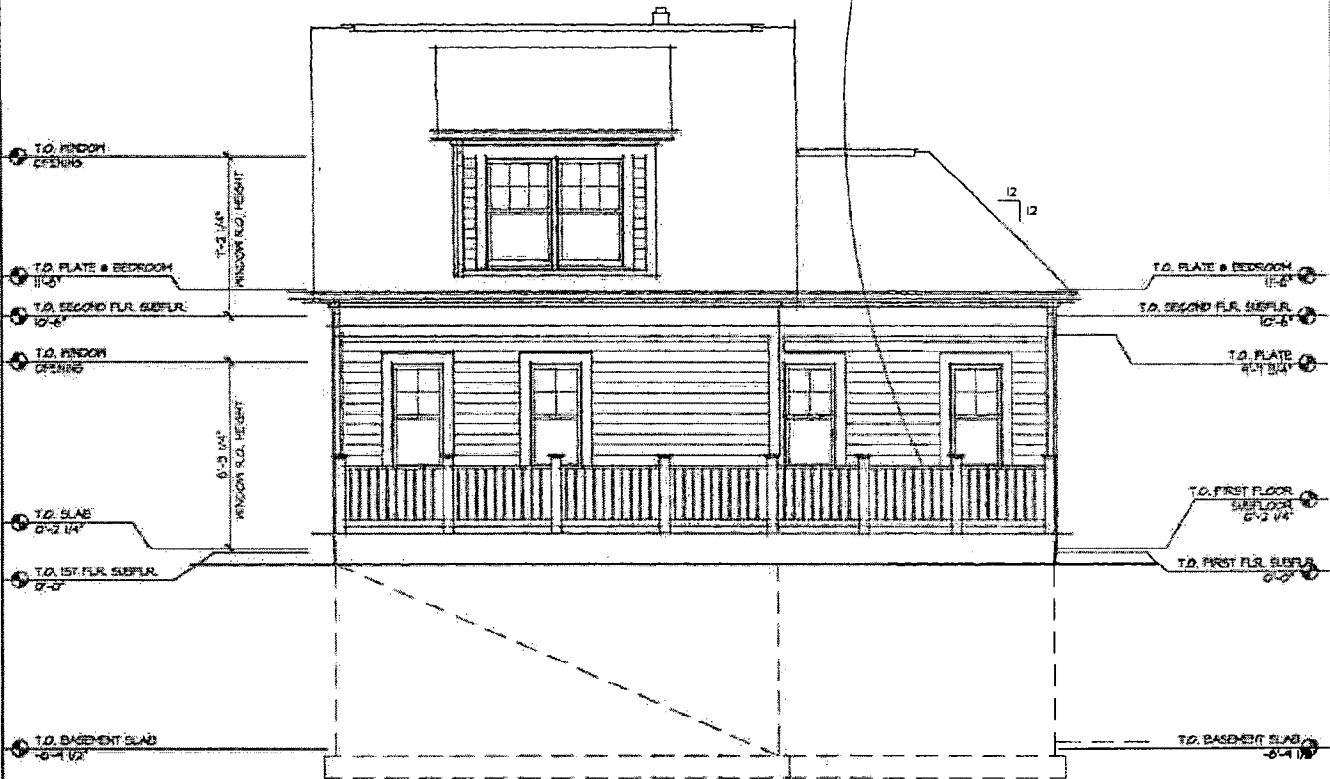
DRAWN BY: rl	SCALE: 1/8"	PROJECT NO. 05.0179	REVISIONS
CHECKED BY:	DATE: 9/13/5		

DRAWING NO.  
**3**

GTM  
7715 OLD GEORGETOWN ROAD  
SUITE 702  
BETHESDA, MD 20814  
(301)313-2500  
(240)313-2061 FAX

13

BRICK AREAWAY w/  
PAINTED WOOD RAIL  
SYSTEM



**SIDE ELEVATION w/ RAMP**

SCALE: 1/8"

FILE NAME: 5017910.dwg

**Lynch Residence Guest House**

**SIDE ELEVATION w/ RAMP**

DRAWN BY: rl	SCALE: 1/8"	PROJECT NO. 05.0119	REVISIONS
CHECKED BY:	DATE: 9/13/5		

DRAWING NO.  
**4**

GTM  
7735 OLD GEORGETOWN ROAD  
SUITE 700  
BETHESDA, MD 20814  
(240)333-2000  
(240)333-2001 FAX

14

10/10/10



A  
10

NORTHEAST



C  
10

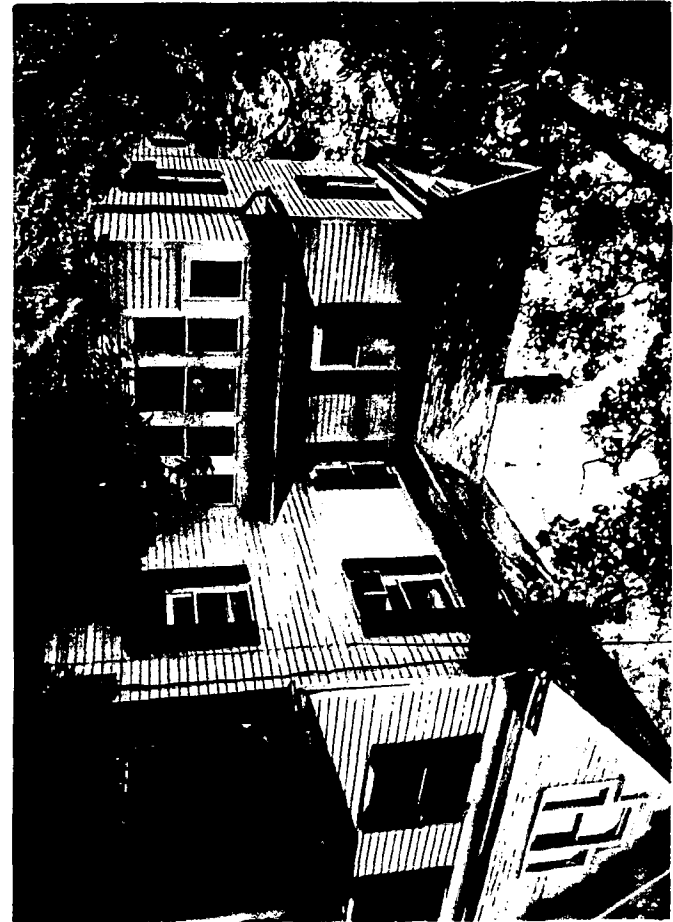
REAR

(E)

D  
10  
SIDE



B  
10  
NORTHWEST



10

### LYNCH RESIDENCE

3807 WILLIAMS LANE  
CHEVY CHASE, MD 20815

HAWP APPLICATION  
EXISTING PHOTOS

1/8" = 1'-0"  
03.06.02



TREACY & EAGLEBURGER  
ARCHITECTS

3335 CONNECTICUT AVENUE, NW, WASHINGTON, DC 20008  
202-362-5226 ■ FAX: 202-362-7791

10

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	3807 Williams Lane, Chevy Chase	<b>Meeting Date:</b>	08/17/05
<b>Applicant:</b>	Timothy and Kathy Lynch	<b>Report Date:</b>	08/10/05
<b>Resource:</b>	Master Plan Site # 35/77 Frank Simpson House	<b>Public Notice:</b>	08/03/05
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>PROPOSAL:</b>	New Guest House Construction	<b>Staff:</b>	Michele Oaks
<b>RECOMMEND:</b>	Approval with Conditions		

**RECOMMENDATION:** Staff recommends that the Commission support this HAWP application with the condition that:

This new guest house builds-out the site to its maximum capacity, therefore, any new proposal for impermeable surfaces, additions, new buildings etc. that increase the lot coverage will ~~not be entertained~~ by the Commission for this property in the future.

*Approved*

A tree protection plan will be prepared by a certified arborist and implemented prior to any work beginning on the property.

**BACKGROUND:**

The applicants applied for and received approval for a very large, two-story, rear addition (measuring 26' x 35') onto this house in March of 2002. This increased the lot coverage on this property from 14% to 27% lot coverage – which includes garage.

On June 8, 2005, the Commission reviewed a preliminary consultation, which illustrated a proposal to construct a 1-1/2 story guesthouse on the property. The guest house footprint was 36' L x 23'6" W x 24' H and would be sited approximately 20 feet from the rear elevation of the house. The material specifications were painted, Hardi-plank siding and wood board and batten framed out in wood with an asphalt shingle and standing seam metal roof. Additionally, the proposal also includes the installation of an approx 250 sq. ft. of patio at the rear of the yard.

The Commission conveyed to the applicant that they wanted the proposed building to read more like an ancillary structure in its design and that it needed to be smaller than what was being proposed.

On July 13, 2005, the applicants returned to the Commission for a second Preliminary Consultation. They unveiled a new design for the guesthouse at this meeting that addressed the comments from the first preliminary consultation. The design and detailing of the guesthouse created the sense of an ancillary structure such as a barn or a garage. Additionally, the architect reduced the footprint by 255 sq. ft. These



modifications to the building's design and size satisfied the comments expressed by the Commission, as such the Commission recommended the applicant proceed to filing a HAWP application with this new design.

### **HISTORIC CONTEXT:**

The Simpson House was the first house built on the former Williams Farm on land sold by Clayton Williams to a non-family member. It represents the beginning of the Williams Station Community, which grew along Williams Lane providing newcomers with access to the Chevy Chase Land Company streetcar stop located on Connecticut Avenue. Frank Simpson, a prominent local builder, whose extended family lived and worked in Chevy Chase in various branches of the construction business, built the house in 1898.

### **ARCHITECTURAL DESCRIPTION:**

The house is a 2-1/2 story, L-shaped, vernacular Queen Anne house characterized by its projecting front gable and its wrap-around porch. The frame structure has weatherboard walls and is covered with a cross gable roof clad with decoratively shaped asphalt shingles.

The south (principal) elevation of the house faces Williams Lane and consists of a two-bay end wall of the main wing of the ell. The first story contains a side entry door and a single four-light, double-hung window, while the second story has two 1/1 windows. Corner boards frame the walls and support a plain, frieze board, which separates the second story from the projecting gable and attic level. The gable is steeply pitched and clad with wood shingles and articulated by a projecting raking cornice and cornice returns. The gable is detailed with a central tri-partite window which features a single 1/1 sash flanked by lower undivided and fixed sidelights. A one-story porch with a hipped roof supported by wood columns with scroll-sawn knee brackets wraps around from the front to the east side of the house. The front porch is three bays wide and raised above ground level. It is reached by a set of stairs leading to the front entry door, which is located to the side. The ceiling has narrow beaded boards.

On the east side of the front wing, the porch, which historically extended three bays to meet the cross wing of the house, has been enclosed with glass at its two end bays. A second story, sleeping porch sits atop the enclosed first-story section.

There is a one-story enclosed addition on the west side of the house at the intersection of the projecting main wing and the rear wing. It has weatherboard walls and a half-hipped roof clad with asphalt shingles.

The rear wing of the house projects one bay to the west side of the main wing. This bay is defined by the one-story addition on the first story and by a single 1/1 window on the second story.

A two-story, rear addition was constructed onto this house in 2002.

The subject property contains an existing two-car garage (20' x 20') and several large, mature trees on the property including several along the western property line that exceed 100 years old.

**APPLICABLE GUIDELINES:**

Proposed new construction to individually designated Master Plan sites are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**PROPOSAL:**

The applicant is proposing to construct a 1-1/2 story guesthouse measuring 20' L x 22' W x 21'6" H. The applicant is proposing to clad the structure in painted, Hardi-plank siding trimmed out in wood with an asphalt shingle and standing seam metal roof. The building also contains a 4' x 20' entry stoop, which faces the rear yard.

No trees will need to be removed from the property for this project.

**CALCULATIONS:**

Existing lot: 12,828 sq. ft.  
Existing lot coverage: 27%

Previous Submittal:  
Measurements: 36' L x 23'6" W x 24' H  
Building and porch: 1,025 sq. ft.  
Proposed lot coverage: 32%

Current Submittal  
Measurements: 20' L x 22' W x 21'6" H  
Building and porch: 770 sq. ft.  
Proposed lot coverage: 30.5%

**STAFF DISCUSSION:**

Staff supports this HAWP application, however, continues to be concerned with the new lot coverage percentages for this individually designated historic resource. As such, staff recommends that the Commission support this HAWP application with a condition that specifies that the site has reached its maximum lot coverage and that they will not entertain any future proposal for this property for impermeable surfaces, additions, new buildings etc. that increase the lot coverage.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission *approve with condition* the HAWP application as being consistent with Chapter 25A-8(b)1, 2 and 3:

The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district,

The proposal is compatible in character and nature with the historical, archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

and with the Secretary of the Interior's Standards for Rehabilitation.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present three (3) permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
 255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
 301.707.6370

DP5 - 40

HISTORIC PRESERVATION COMMISSION  
 301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: ROBERT LACH JR, AIA

Daytime Phone No.: 140-333-2027

Tax Account No.: 00468306

Name of Property Owner: TIMOTHY & KATHY LYNCH Daytime Phone No.: 301 951 6424

Address: 3807 WILLIAMS LANE CHEVY CHASE MD 20815-4953  
Street Number City State Zip Code

Contractor: NOT SELECTED Phone No.: N/A

Contractor Registration No.: N/A

Agent for Owner: ROBERT LACH JR, AIA Daytime Phone No.: 240.333.2027

**LOCATION OF BUILDING/PREMISE:**

House Number: 3807 Street: WILLIAMS LANE

Town/City: CHEVY CHASE Highway/Cross Street: CONNECTICUT AVENUE

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: 14

Lot: \_\_\_\_\_ Parcel: P412

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**I. CHECK ALL APPLICABLE:**

- Construction
- Extend
- Alter/Reinstate
- Move
- Install
- Historic/Relic
- Rebuild
- Repair
- Borrowable

**CHECK ALL APPLICABLE:**

- AC
- SH
- Room Addition
- Patch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimates: \$ 115,000

1C. If this is a revision of a previously approved active permit, cite Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE OR FENCING WALL**

3A. Height: \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/assessment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*[Signature]*  
 Signature of Owner or Authorized Agent

5/18/15  
 Date

Approved: \_\_\_\_\_ For: Chairperson, Historic Preservation Commission

Approved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 384016 Date Filed: \_\_\_\_\_ Time Received: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You only use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site locations such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 7 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All marked and features proposed for the project must be marked on the elevation drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS (SEE ATTACHED)**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the numbers of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)779-1351.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

# MEMO



GT MARCHITECTS

**Date:** May 16, 2005

**To:** Historic Preservation Review Board  
Phone: 301-563-3400  
Fax: 301-563-3412

**From:** GTM Architects, Inc.  
Robert Lach Jr., A.I.A.  
Phone: 240-333-2027  
Fax: 240-333-2001

**Project #:** 05.0179      **Project Name:** Lynch Residence

**Subject:** Application for Historic Area Work Permit

## 1. Written Description of Project:

### a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure, located on Williams Lane in Chevy Chase, was originally built in 1868, with subsequent additions throughout the years. Existing siding is lapboard & shingle. The current windows have no muntins, and the current roofing is asphalt shingle.

### b. General Description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project being proposed is the demolition of the current two car garage and the construction of a new story and a half guest home to be located in the rear yard of the property. Siding to be a combination of painted Hardi-Plank and vertical board & batten. Roofing materials will be a combination of asphalt shingles and standing seam metal. Windows will be painted wood, with no muntins.

### HAWP Application: Mailing Addresses for Notifying

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's Mailing Address  
Timothy & Kathy Lynch  
3807 Williams Lane  
Chevy Chase MD 20815

Owner's Agent's Mailing Address  
Robert Lach Jr., A.I.A.  
GTM Architects  
7735 Old Georgetown Road  
Suite 700  
Bethesda MD 20814

# MEMO



GT MARCHITECTS

## Adjacent & Confronting Property Owners Mailing Adresses

M. Lundberg  
3806 Williams Lane  
Chevy Chase MD 20815

Sinclair Residence  
3811 Williams Lane  
Chevy Chase MD 20815

Terry and Carolyn Day  
3805 Williams Lane  
Chevy Chase MD 20815

Brian and Hedy Banon  
3812 Woodbine Street  
Chevy Chase MD 20815

Phaon and Jeanine Derr  
3810 Woodbine Street  
Chevy Chase MD 20815



Free-standing 25% rear  
YARD, max 8'.

PART OF LOTS

PART OF LOT 6 PART OF LOT 6

S. 86° 04' 30" W. - 69.34  
0.6 NW (1/4) ON LINE (1/4)

6090  
1662.50  
SF.

S. 10° 54' W.

PARCEL 413  
12,828 SF

PART OF LOTS

PARCEL 414

CURRENT  
LOT COVERAGE:

164.02

N. 86° 04' 30" E. - 84.67

MONTGOMERY COUNTY  
DEPARTMENT OF PERMITTING SERVICES

APPROVED William DATE 8-29-2007

ZONING CLASS R-60 PAGE 209 NW

BOARD OF APPEALS CASE 5' FENCE

Capitol Surveys, Inc.  
10769 Rhode Island Avenue

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other

9  
A



PROPOSED GARAGE SQUARE FOOTAGE: 440 SQ. FT. FIRST FLOOR  
 250 SQ. FT. LOFT  
 886 SQ. FT. TOTAL  
 80 SQ. FT. PATIO

CURRENT LOT COVERAGE: 27.4%

EXISTING LOT: 12,489 SQ. FT.  
 EXISTING HOUSE: 1,889 SQ. FT.  
 EXISTING GARAGE: 370 SQ. FT.  
 EXISTING PORCHES & STEPS: 1,157 SQ. FT.  
 TOTAL LOT COVERAGE: 3,416 SQ. FT.

PROPOSED LOT COVERAGE: 30.5%

EXISTING LOT: 12,489 SQ. FT.  
 EXISTING HOUSE: 1,889 SQ. FT.  
 PROPOSED GARAGE & PATIO: 770 SQ. FT.  
 EXISTING PORCHES & STEPS: 1,157 SQ. FT.  
 TOTAL LOT COVERAGE: 3,816 SQ. FT.

PROPOSED GUEST HOME HEIGHT:

GRADE TO RIDGE: 22'-6"

GRADE TO MIDPOINT OF ROOF: 16'-5"  
 (PER MONT. COUNTY CODE)



FILE NAME: G0807LFACT SHEET.DWG

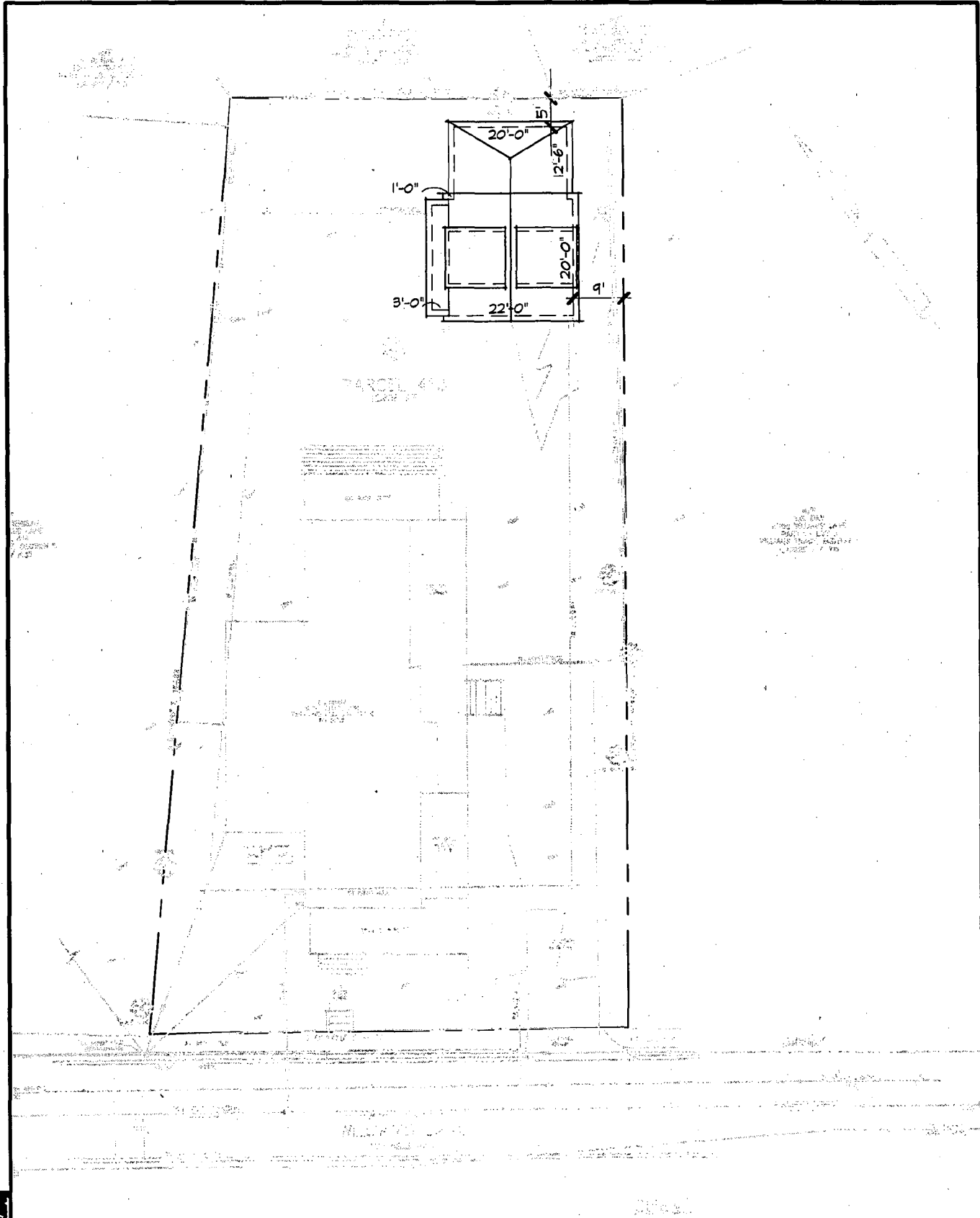
# LYNCH RESIDENCE GUEST HOUSE

## FACT SHEET

DRAWN BY: RL	SCALE: NO SCALE	PROJECT NO. G8.07M	REVISIONS	DRAWING NO. 1
CHECKED BY:	DATE: 6/22/8			

**GTM**  
 G.T.M. ARCHITECTS  
 7735 OLD GEORGETOWN ROAD  
 SUITE 700  
 BETHESDA, MD 20814  
 (240)333-2000  
 (240)333-2001 FAX

10 5



FILE NAME: 05071\_SitePlan.dwg

# Lynch Residence Guest House

## Site Plan

DRAWN BY: <b>PI</b>	SCALE: <b>n/a.</b>	PROJECT NO.: <b>05.071</b>	REVISIONS:	DRAWING NO.: <b>1</b>
CHECKED BY:	DATE: <b>4/22/05</b>			

**GTM**  
 7735 OLD GEORGETOWN ROAD  
 SUITE 700  
 BETHESDA, MD 20814  
 (240) 333-2000  
 (240) 333-2001 FAX

(11) (6)

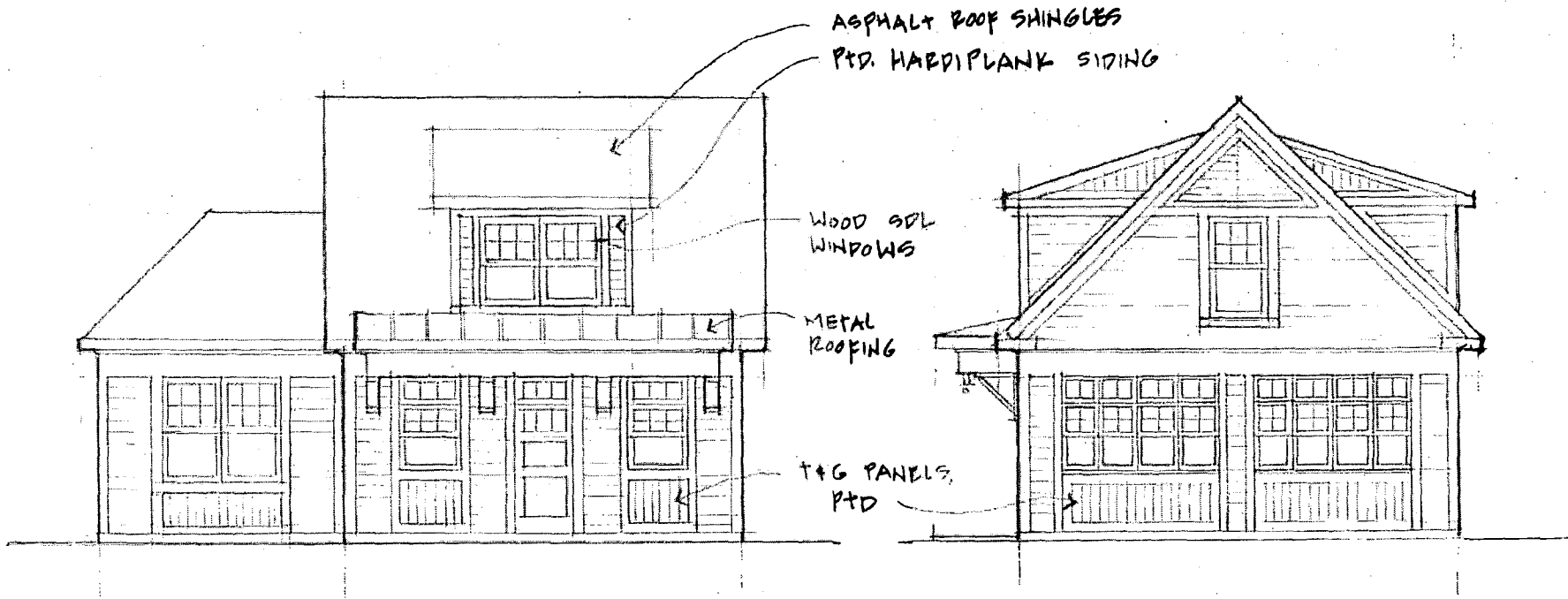


Lynch Residence Guest House  
3807 Williams Lane, Chevy Chase MD  
June 22, 2005

④



GTM ARCHITECTS  
7735 Old Georgetown Rd.  
Suite 700  
Bethesda, MD 20814



# LYNCH RESIDENCE

GUEST HOUSE ELEVATIONS

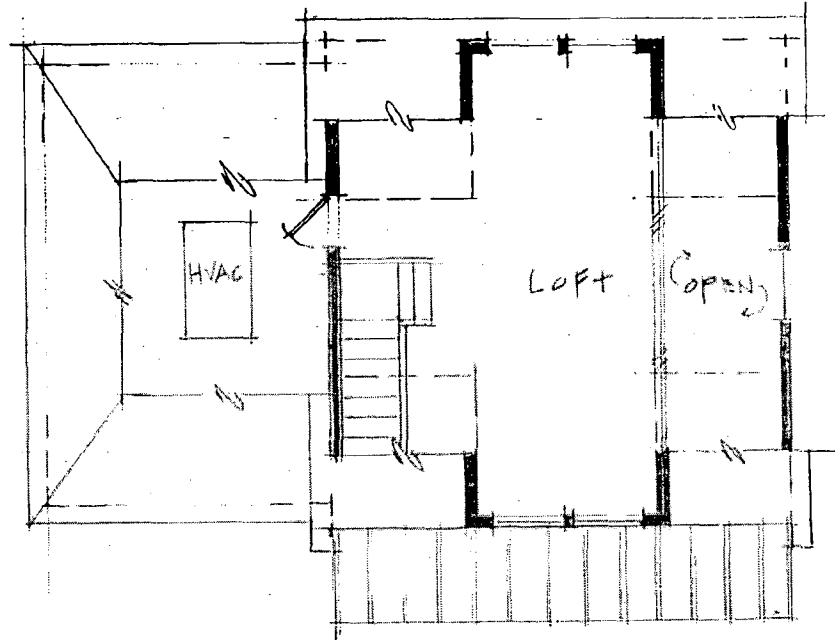
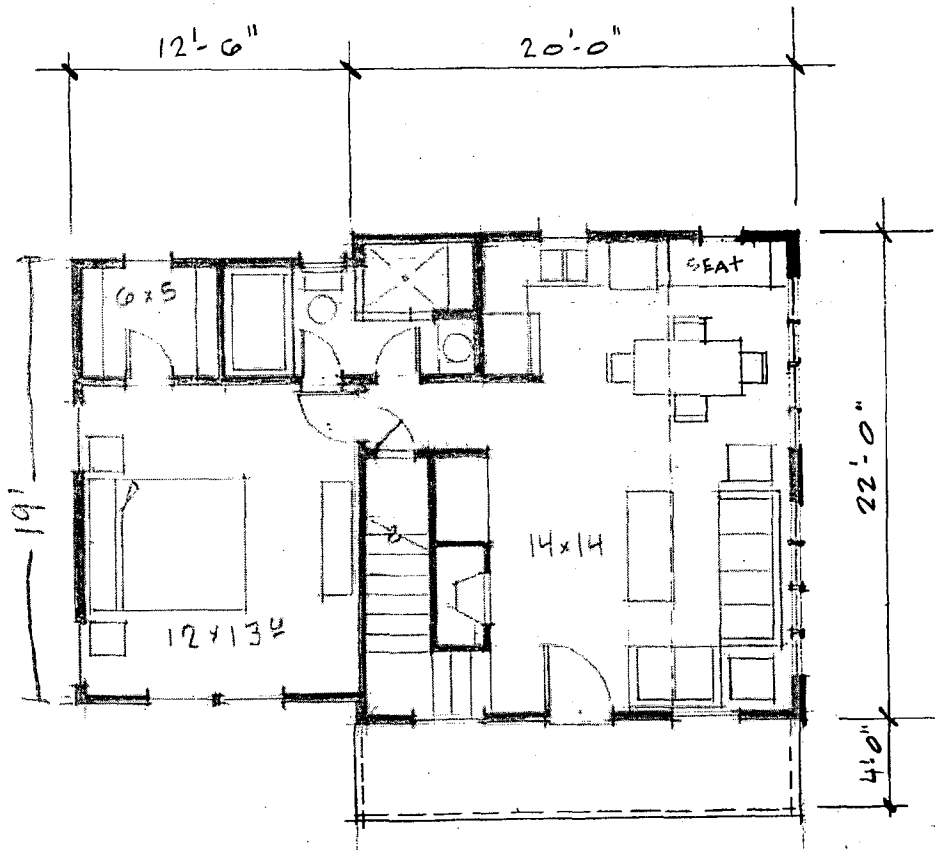
JUNE 21, 2005

1/8" = 1'-0"

**GTM**

GTM ARCHITECTS  
 7735 Old Georgetown Rd.  
 Suite 700  
 Bethesda, MD 20814

15  
 2



LYNCH RESIDENCE

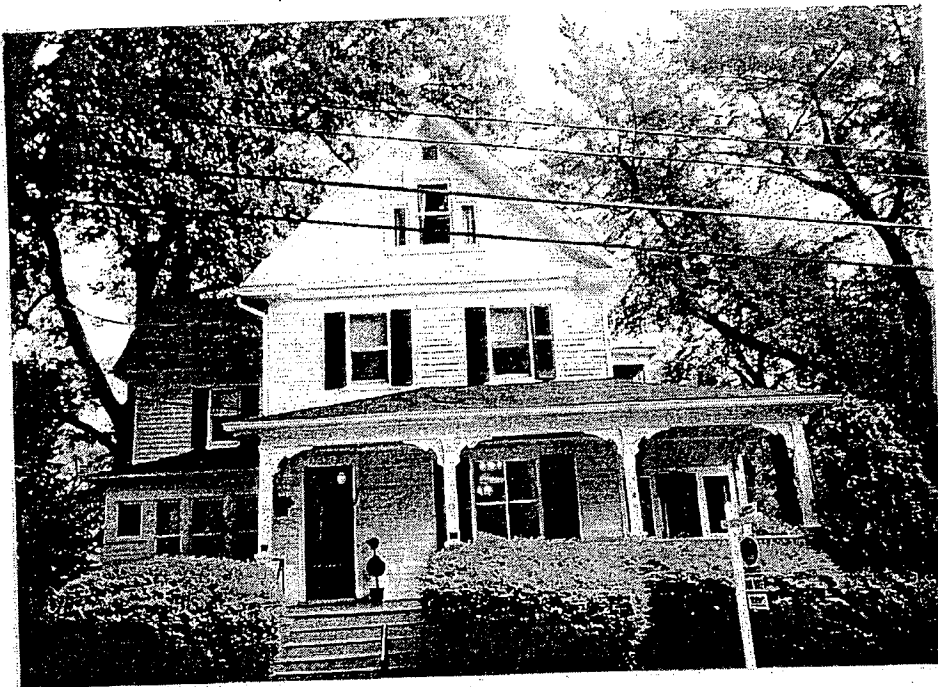
GUEST HOUSE PLANS

JUNE 21, 2005

1/8" = 1'-0"

**GTM**  
 GTM ARCHITECTS  
 7735 Old Georgetown Rd.  
 Suite 700  
 Bethesda, MD 20814

17



VIEW AT FRONT OF HOUSE




VIEW AT REAR OF HOUSE

FILE NAME: 050119\_ALL.dwg

# Lynch Guest Home

Photos

DRAWN BY: <i>rl</i>	SCALE: nts	PROJECT NO. 05.00119	REVISIONS	DRAWING NO. <b>P-1</b>
CHECKED BY:	DATE: 5/17/5			

  
 G T M  
 7335 OLD GEORGETOWN ROAD  
 SUITE 700  
 BETHESDA, MD 20814  
 (240) 333-3000  
 (301) 333-3001 FAX

(15) (29)



A  
10  
NORTHEAST



B  
10  
NORTHWEST



C  
10  
REAR



D  
10  
SIDE