

36/001-07E
9519 Woodstock Court, Silver Spring
National Park Seminary Historic District



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: October 25, 2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Joshua Silver, Senior Planner *JDS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #467774, Roof replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved with Conditions at the October 24, 2007 meeting.

1. Conditions as set forth by the Maryland Historical Trust Easement Committee.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Mission Trust

Address: 9519 Woodstock Court, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Donald L. Frost
Daytime Phone No.: 301-807-9573

Tax Account No.: 1613-03532147

Name of Property Owner: Mission Trust Daytime Phone No.: 301-807-9573

Address: 17316 Moore Rd Boyd's Maryland 20841-9530
Street Number City State Zip Code

Contractor: Owner Phone No.: 301-807-9573

Contractor Registration No.: n/a

Agent for Owner: n/a Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 9519 Street: Woodstock Ct.
Town/City: Silver Spring Nearest Cross Street: Linden Lane
Lot: 9 Block: 2 Subdivision: 7
Liber: 34402 Folio: 437 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 80K for this portion of the overall project.

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS N/A

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL N/A

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 10/07/2007

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 10/31/07
Application/Permit No.: 467774 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Reckville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

1. Written Description of Project

a.

The Mission House is located in the National Park Seminary Historic District. Its front faces north toward most of the structures on the property. The only exceptions are the Seminary Farm House that is located across the side street (Woodstock Court) to the west, the Tank/Postmaster's House that is located across the side street to the southwest, and the Seminary Farm House #2 that sits directly behind the Mission House to the south also on Woodstock Court. The Seminary Library House sits catty-cornered and across Linden Lane (the street directly at the boundary of the front yard that runs east to west) to the west. Looking to the north and down Dewitt Drive, one can view the south side of the Japanese Bungalow and the Japanese Pagoda beyond that. To the northwest and across Linden Lane just beyond the sidewalk is the view of the Seminary Ballroom. Directly west is a view of the properties stonewall that divides the west side yard from the back yard and trails off to the furthest point in the west yard. Beyond this point is where the new home construction in the area situated.

The historical significance of the structure is its use as a sorority house. Built between 1894 and 1915 the house served as part of the National Seminary School and part of an eclectic scene of sorority houses each built in a different style. As found in the National register, "[This] Historic District is significant as an architectural "folly" [and, although a "finishing school of bygone days] it did express the dominant attitudes towards women's capabilities and roles in society in the days before woman's suffrage and Women's Lib." In addition, in 1942 the site became part of the Walter Reed Army Hospital and served World War II soldiers as a recovery site for the wounded.

The historical feature/design of the structure is its Indian Mission style. Though later changed by the Army, the design was complete with clay roof tiles, stucco facades, bell wall porticos, and arched porch beams on the exterior. The interior was just as dramatic in its representations. A Beamed ceiling in the main room, arched passageways, and steps to a mission tower room all are suggestive of the Indian Mission motif.

b.

The Theta Mission House project intends to rehabilitate the structure to its original sound condition and style as authorized. Repairs and replacements are to remedy deficiencies where necessary and beneficial to the structure in order to reinstate its original historical appeal and value. The work involved should have no ill effect on its surroundings. The Seminary that in part surrounds Theta Mission house is also under historical renovation by several different contractors at this time. Repairing, refurbishing, and bringing the Theta Mission up to code will greatly help to beatify and revitalize this long forgotten historical district in Silver Spring. Property values in the vicinity may also rise.

In general, the work that is seeking permit at this time is as follows:

- Remove Army installed pitched roof and framing on flat roof section of house, and retain and protect joists below
- Repair or replacement any roofing joists that are termite damaged or rotten
- Remove Army installed roof tiles and flat roof areas and install new roofing to prevent further leaking (includes new cricket to be built of tapered insulation on flat roof)
- Flat roof area to be replaced with built-up rubber composition roof
- Slope- on flat roof section to equal 1 1/4" per foot
- Reinstall missing bell wall parapets on north and east facades
- Reinstall of arched porch posts that integrate into bell wall parapet at front of house and one side of porch.
- Repair eaves where necessary- remove peeling paint, prime and repaint
- Install new copper half round gutters, scupper conductors and down spouts
- Reinstall original cement coping on parapets to match original Mission style

2. Refer to site plan and environmental setting photo

3. The Theta Mission construction plans define the project on the following drawings:

- **Drawings 08, 09,10, 11, and 12 -**
Shows the existing structure.
- **Drawing 17 -**
Cross section drawing of the bell wall parapet and arches to be constructed for the north façade on and above the front porch of the house structure
- **Drawing 13 -**
This north elevation shows the bell wall parapet and arches to be constructed there with side view (in black) of the west parapet.
- **Drawing 16 -**
East elevation drawing (in black) of the bell wall parapet to be constructed on the east façade. View also shows arch at side of front porch that integrates into structure shown on sheet 17

- **Drawing 10 –**
Drawing shows the bell wall parapet on the west façade. The Army when in its possession did not remove this parapet. As with the reconstructed parapets on the north and east facades, the west parapet will be repaired at its top edge for water damage and a new coping will be installed.
- **Drawing 04 –**
Shows plan for roof demolition of deteriorated shingles and flat roof material
- **Drawing 08 –**
Roof plan showing removals and additions of roofing materials and parapet walls, and gutters with scupper conductors and downspouts
- **Drawing 14 –**
Shows clay roof tiles that will bring structure back to original style and condition
- **Drawing 11 –**
Shows the eaves on the tower and on the pitched roof addition that need restoration work

4. Material Specifications

Roof, Parapet, Porch Arch and Gutter Construction –

- (2) 2x 10 pine
- 2x4 framing pine 16" on center
- Posts- 2x4 framing 16" on center
- ¾" layer of CDX sheathing cut to shape
- ¾" layer of Durock cut to shape
- Portland cement coping to be poured in place in constructed mold
- Pebble Dash stucco finish on these faces to match existing
- Half round copper gutters, scupper conductors, and downspouts
- Rubber composition roof
- Alternate 1A clay tile roofing material
- Asphalt shingles
- Roofing felt
- ¾" CDX Sheeting material
- Copper flashing
- Roofing nails
- Primer
- Exterior Paint
- Caulk

5. Photographs

Refer to attached photographic prints

6. Tree Survey

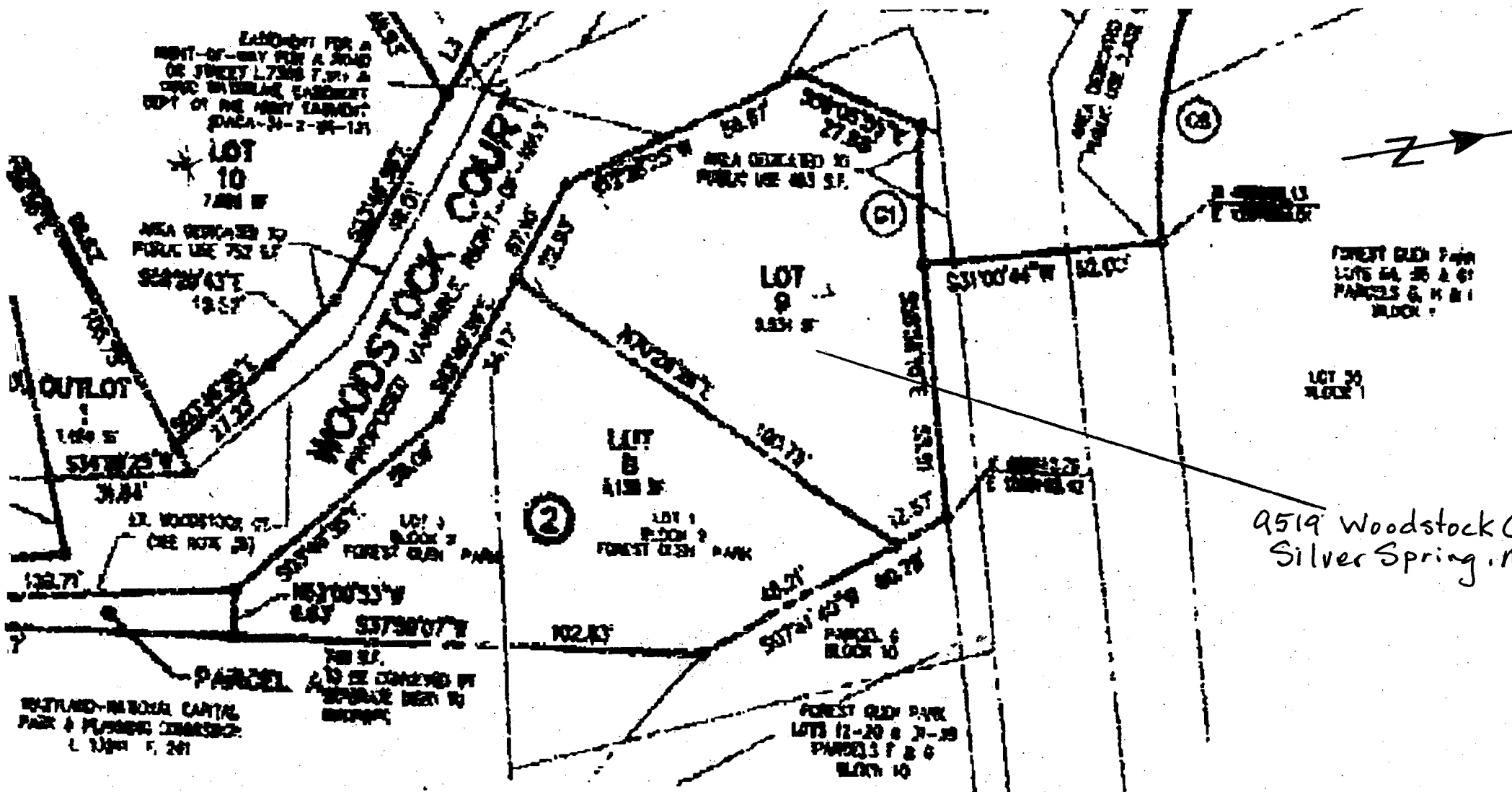
There are no trees of significant historical value on the property. Existing is two spindly pine trees branch broken and almost dead. A small Common Chokecherry tree is located approximately 30ft from the west façade. Their location and spread radius do not encroach upon the structure and any work that will take place.

7. Addresses of Adjacent and Confronting Property Owners

Plumb Square builders LLC
9518 Woodstock Ct.
Silver Spring, MD 20910
C/O 8603 Farrell Ct.
Chevy Chase, MD 20815

Kyoto Trust
9600 Dewitt Drive
Silver Spring, MD 20910
C/O 17310 Moore Road
Boys, MD 20841

Evans, Edward M
2760 Linden Lane
Silver Spring, MD 20910



- 1.) ALL TERMS, CONDITIONS, AGREEMENTS AND PRELIMINARY PLAN, SITE PLAN, AND OF THIS PROPERTY, ATTACHED BY REF. TO SURVEY AND NOT BE EXCLUDED OR OTHERWISE CONSIDERED BY THE PLAN. SUCH PLAN ARE SUBMITTED BY THE A. CLARK SCOTT, SURVEYOR.
- 2.) THE PROPERTY SHOWN HEREON IS A PART OF THE MONTGOMERY COUNTY, DC IS CONTROLLED BY THE BOARD AND THE MONTGOMERY COUNTY PLANNING BOARD NATIONAL PARK SYSTEM AND IS A SUBJECT, PHASE 7, AS MAY BE ADOPTED.
- 3.) THE PROPERTY SHOWN HEREON IS A GROUP-OPEN SPACE CONVEYANCE TO COURT, MARYLAND IN 2004 AT 10:00.
- 4.) THE PLAN CONFORMS WITH THE MONTGOMERY COUNTY CODE REGARDING NEIGHBORHOODS.
- 5.) THE PROPERTY SHOWN HEREON IS A COUNTY FOREST CONVEYANCE LAW OF 1978 ON FINAL FOREST CONVEYANCE.
- 6.) THE SURVEY IS SUBJECT TO A DEED OF TRUST (PROJECT ANDERSON) AND WOODSTOCK CO TO PUBLIC USE IN PLAY BOOK "A" AT 24 BEAR DRAWN IN FOX HILLS, (SUBJECT UNITED STATES OF AMERICA (A FOREST DECLARATION OF TAKING, 1978 AND 1979 DEED FOR THE UNITED STATES DISTRICT RECORDED BY THIS PLAN).
- 7.) THE PROPERTY SHOWN HEREON IS IN FAVOR OF THE MARYLAND HISTORICAL TRUST 2004 AT 10:00.
- 8.) THE SURVEY IS SUBJECT TO A DEED OF TRUST (PROJECT ANDERSON) AND WOODSTOCK CO TO PUBLIC USE IN PLAY BOOK "A" AT 24 BEAR DRAWN IN FOX HILLS, (SUBJECT UNITED STATES OF AMERICA (A FOREST DECLARATION OF TAKING, 1978 AND 1979 DEED FOR THE UNITED STATES DISTRICT RECORDED BY THIS PLAN).

OWNER'S CERTIFICATE

BE, THE UNDERSIGNED, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SURVEY, (TITLED) THE SURVEY, INCLUDING RESTRICTION LINES, IF ANY AND SURVEY THE SURVEY SHOWN HEREON TO PUBLIC USE.

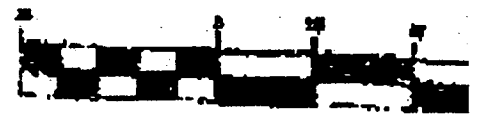
FURTHERMORE, BE AS OWNER OF THE SURVEY, OR SUCCESSORS AND ASSIGNS, WILL CAUSE ALL PROPERTY CORNER MARKERS AND ANY OTHER REQUIRED IMMEDIATELY TO BE SET BY A MARYLAND PROFESSIONAL LAND OR PROPERTY LINE SURVEYOR IN ACCORDANCE WITH SECTION 50-24 (a) OF THE MONTGOMERY COUNTY CODE.

PROPERTY ACQUIRED BY FOREST GLEN PARK FROM MONTGOMERY COUNTY, MARYLAND IN 1978 AND 1979. A BLOCK 1 AND LOT 1, BLOCK 2, MONTGOMERY COUNTY, MARYLAND.

RECORDS SHOW THIS IS A 4.3870 ACRES IN TO BE

10/07/2007

[Handwritten Signature]



CRAP

NATIONAL PARK SEMINARY
An Alexander Company & EYA Development

National Park Seminary Site Map



Click and Drag the Site Map for a better view



QUICK FINDS:

- Aloha House
- Ballroom
- Gymnasium
- Chapel
- Presidents House
- Senior House
- Music Hall
- Senior Annex
- Servants Quarters
- Carpenter's Shop
- Stables
- Practice Hall
- Fire House
- Power Plant
- Historic Condo Sales Office (located in the Pagoda)
- New Construction Sales Office
- New Construction Townhomes

9519 Woodstock Ct
Silver Spring, MD

HOME

HISTORIC CONDO SALES BY

Dr. J. 10/07/07

Most trees on rendering do not exist. Existing trees on property are marked in red ink.

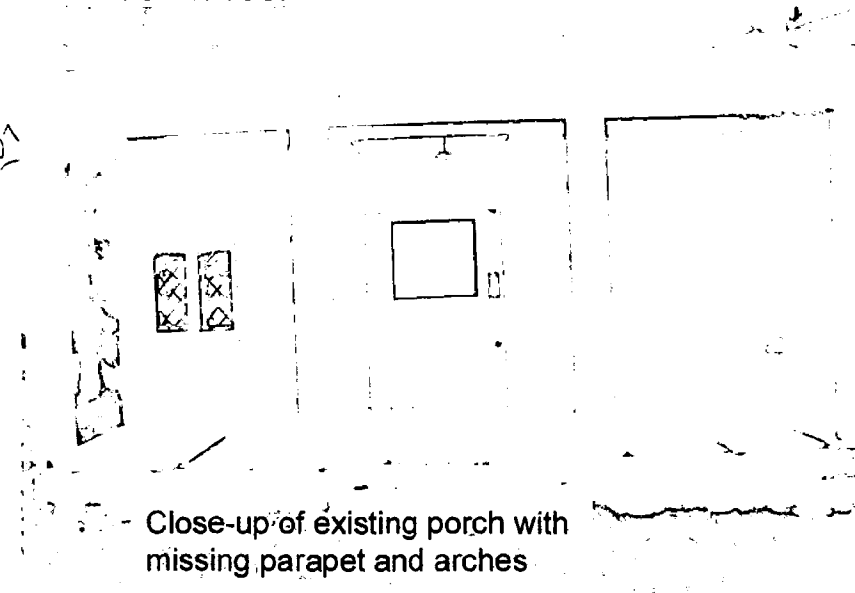
Theta Mission House



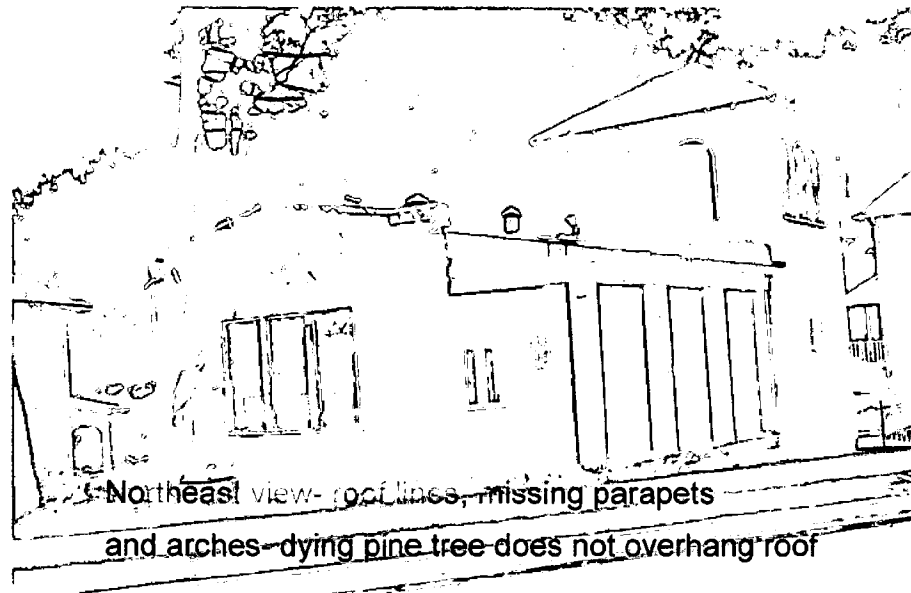
North façade existing- posts, flat roof
Tower roof



Bushes at east side of porch has been cut back. All
Trees directly behind structure were cut down to
accommodate the relocation of another historical house



Close-up of existing porch with
missing parapet and arches



Northeast view- roof lines, missing parapets
and arches- dying pine tree does not overhang roof

D. J. [Signature] 10/07/07

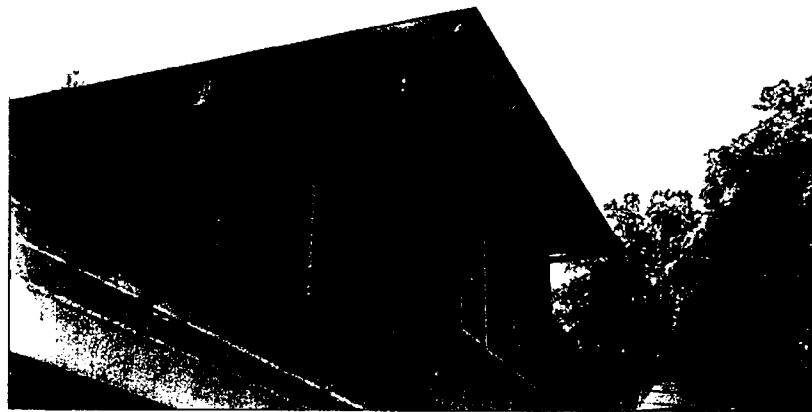
Theta Mission House Project



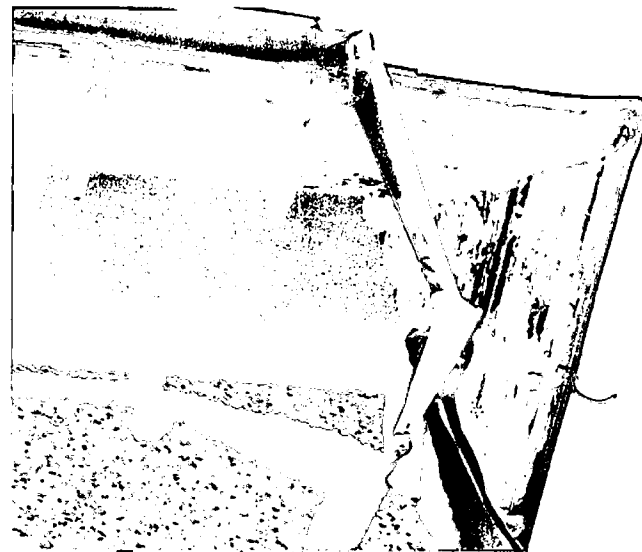
View of east façade existing
Two pine trees and small trees



West façade, roof lines, eaves
Existing and parapet with old coping



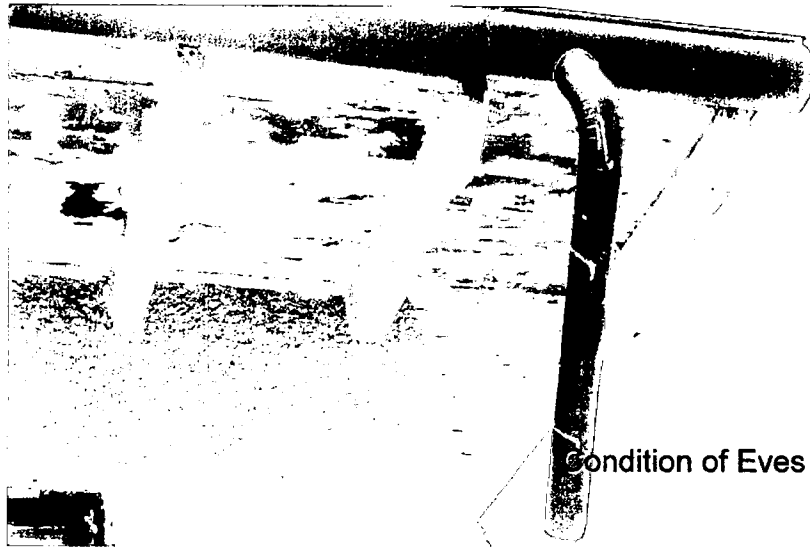
Eaves around tower



Eaves and gutters

10/07/07

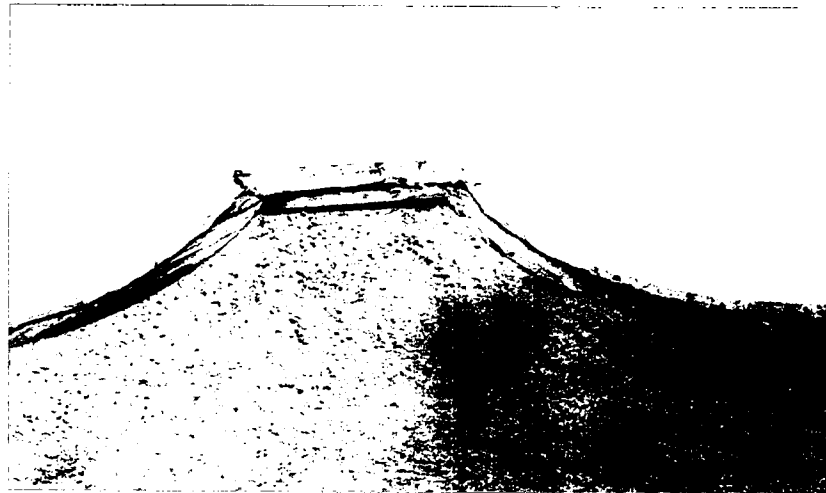
Theta Mission Project



Condition of Eaves to be repaired



All photos 9/6/2007



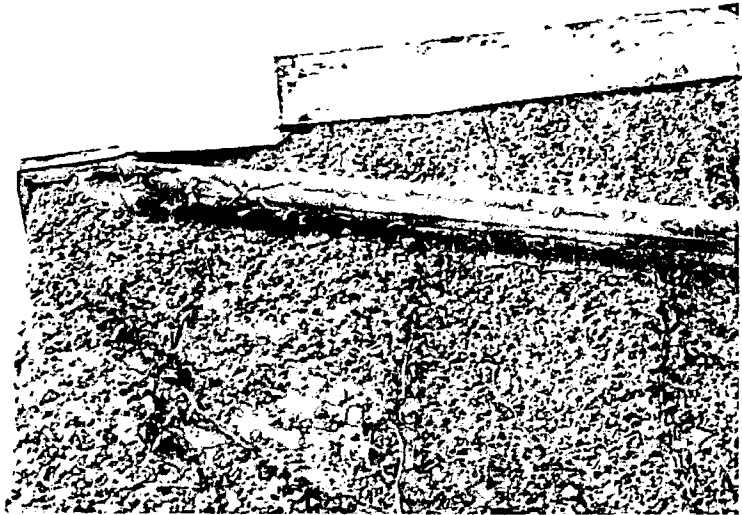
Example of coping



Example of gutter system

D. J. 10/07/07

Theta Mission Project



9/6/2007

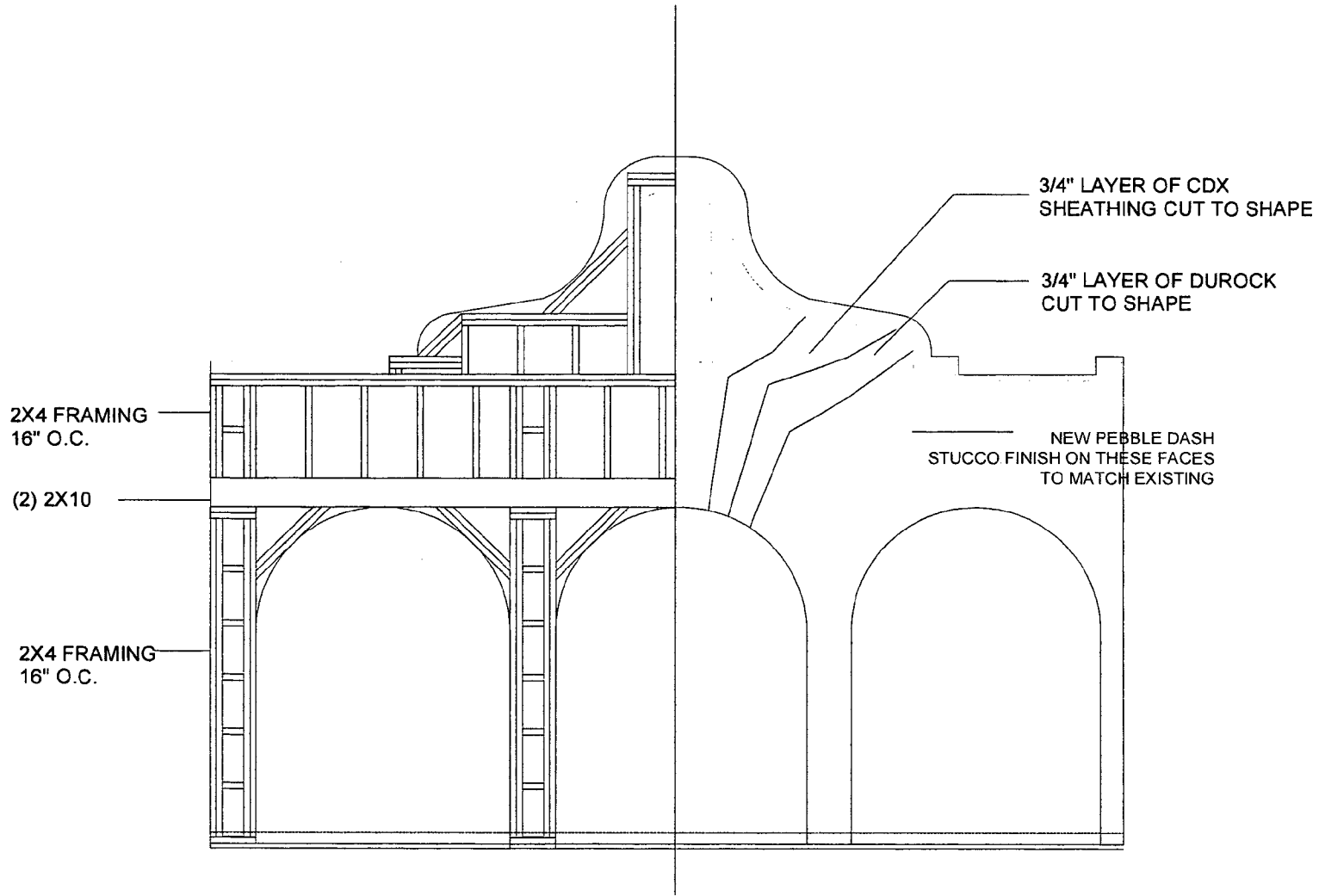
Coping and downspout

Original look and design of the
Theta Mission Sorority House



old photo

[Signature] 10/07/07



| |
|--|
| |
| |
| |
| |

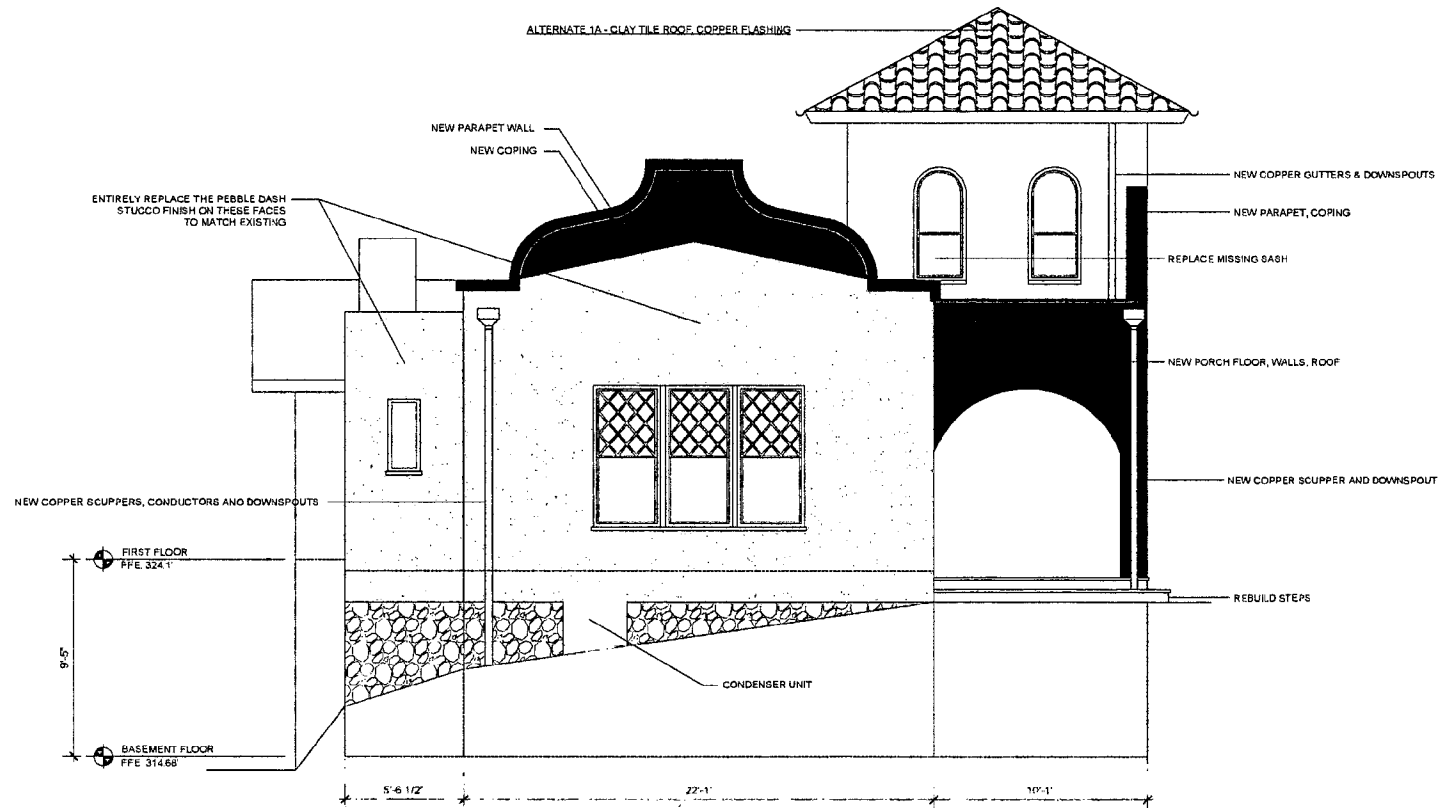
THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |

Proj. Number:
 Proj. Designer: Brian J. Pitzer
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Porter

Scale: 1/2" = 1'-0"
 Date: April 20, 2007

Sheet: 17 of 17
 Proposed 1/2" Bath Plan



4 4 EAST ELEVATION
 AS 25.2 SCALE: 1/4" = 1'-0"

THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |

| | |
|-----------------|-----------------|
| Proj. Number: | |
| Proj. Designer: | Brian J. Dicker |
| Proj. Designer: | Jason Evans |
| Proj. Manager: | Todd Barner |

| | |
|--------------|----------------|
| Scale: | Date: |
| 1/2" = 1'-0" | April 20, 2007 |

Sheet: 01
16
 Proposed 1/2" Kitchen Elevations



3
AS.2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

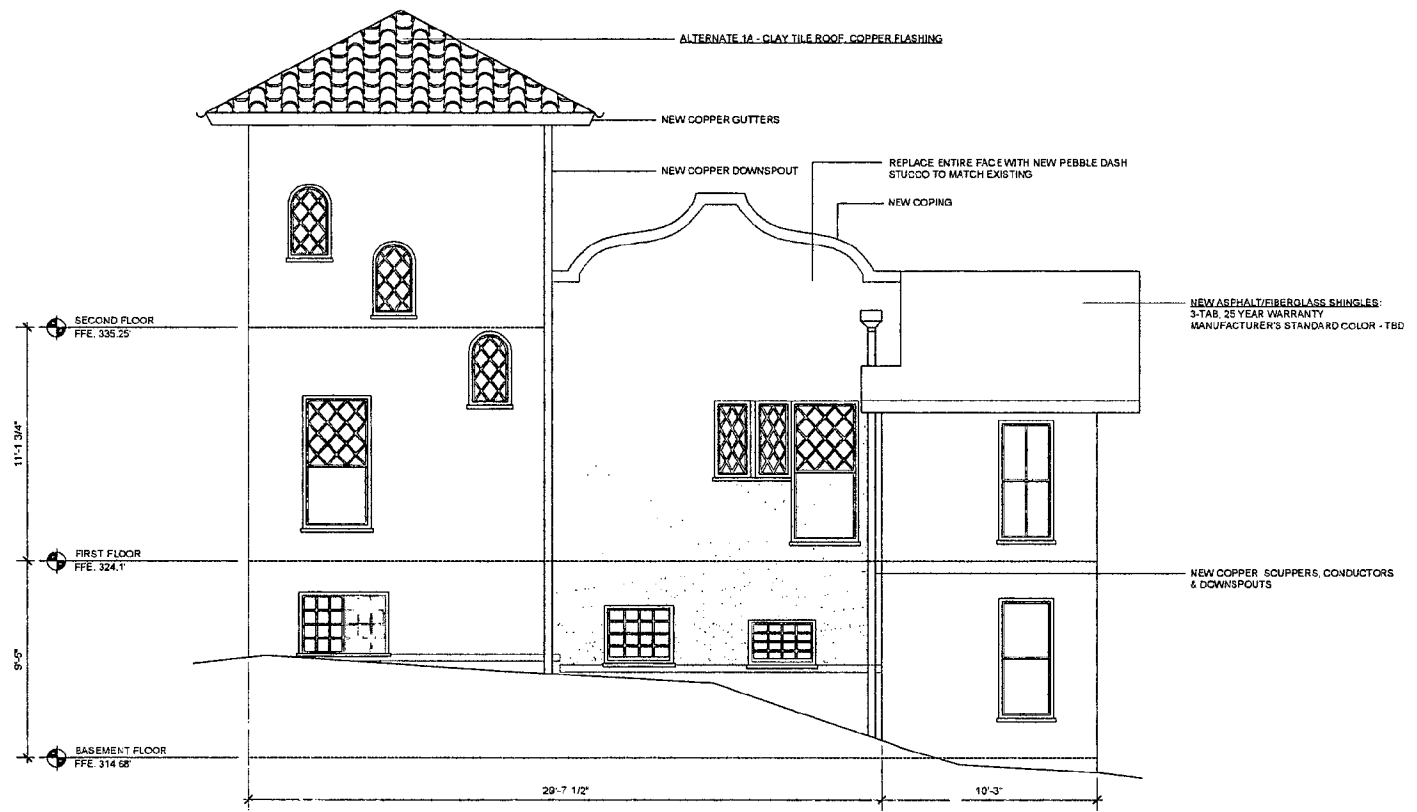
THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |

Proj. Number:
Proj. Designer: Brian J. Shiner
Proj. Designer: Jason Evans
Proj. Manager: Todd Barber

Scale: Date:
 April 20, 2007

Sheet: of:
15



2 WEST ELEVATION
AS-2 SCALE: 1/4" = 1'-0"

THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

Proj. Number:
Proj. Designer: Brian J. Dikow
Proj. Designer: Jason Erso
Proj. Manager: Todd Barner

Scale: Date:
 April 20, 2007

Sheet: Of:
14 01



AS.2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |

| | |
|-----------------|-----------------|
| Proj. Number: | |
| Proj. Designer: | Brian J. Dineer |
| Proj. Designer: | Jessie Evans |
| Proj. Manager: | Todd Barner |

| | |
|--------|----------------|
| Scale: | Date: |
| | April 20, 2007 |

Sheet: 01
13



4 EAST DEMOLITION ELEVATION
 AS 2.2

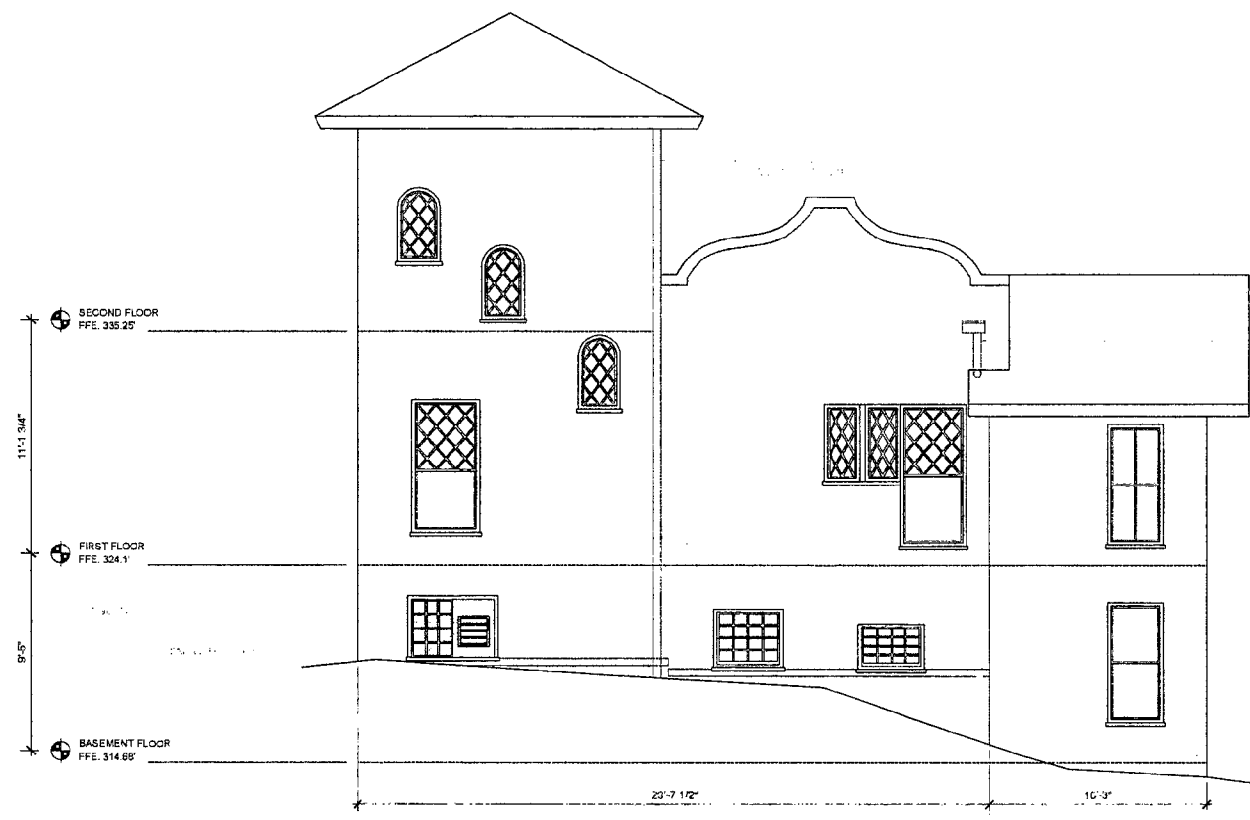
THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |

Proj. Number:
 Proj. Designer: Brian J. Biser
 Proj. Designer: James Evans
 Proj. Manager: Todd Barrer

Scale:
 Date: April 20, 2007

Sheet: 01
12



2 WEST DEMOLITION ELEVATION
 AS.2

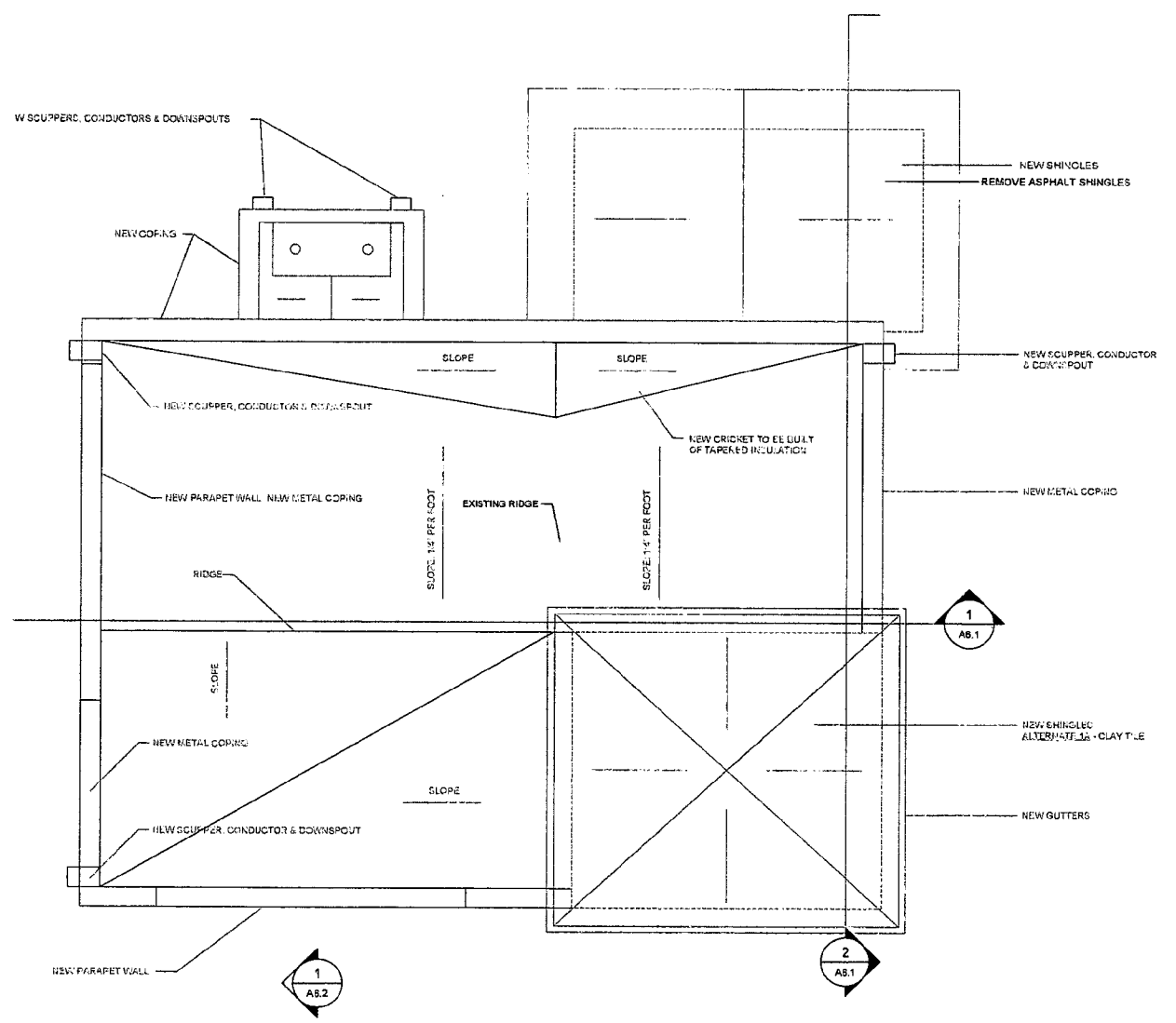
THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |

Proj. Number:
 Proj. Designer: Brian J. Baker
 Proj. Designer: James Estep
 Proj. Manager: Todd Barber

Scale: 1/4" = 1'-0"
 Date: April 20, 2007

Sheet: 10 of 11



2 ROOF PLAN
SCALE: 1/4" = 1'-0"

THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

Proj. Number:
Proj. Designer: Brian J. Bramer
Proj. Designer: Jason Evans
Proj. Managers: Todd Berrier

Scale: 1/4" = 1'-0"
Date: April 20, 2007

Sheet: 08 of 08



1
A5.2

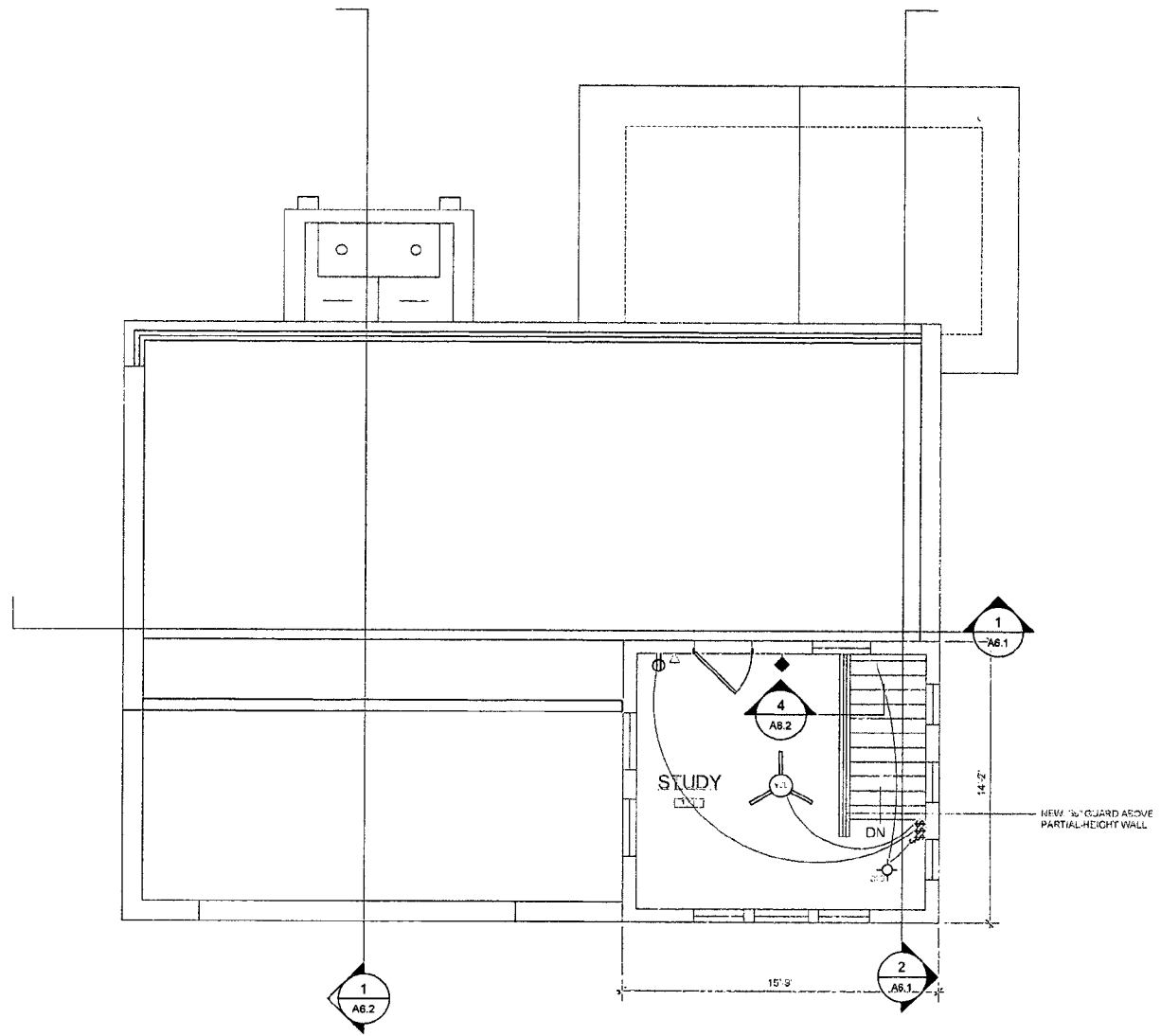
THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

Proj. Number:
Proj. Designer: Brian J. Bissar
Proj. Designer: Jason Evans
Proj. Manager: Todd Barber

Scale: 1/4" = 1'-0"
Date: April 20, 2007

Sheet: 09 of 11



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

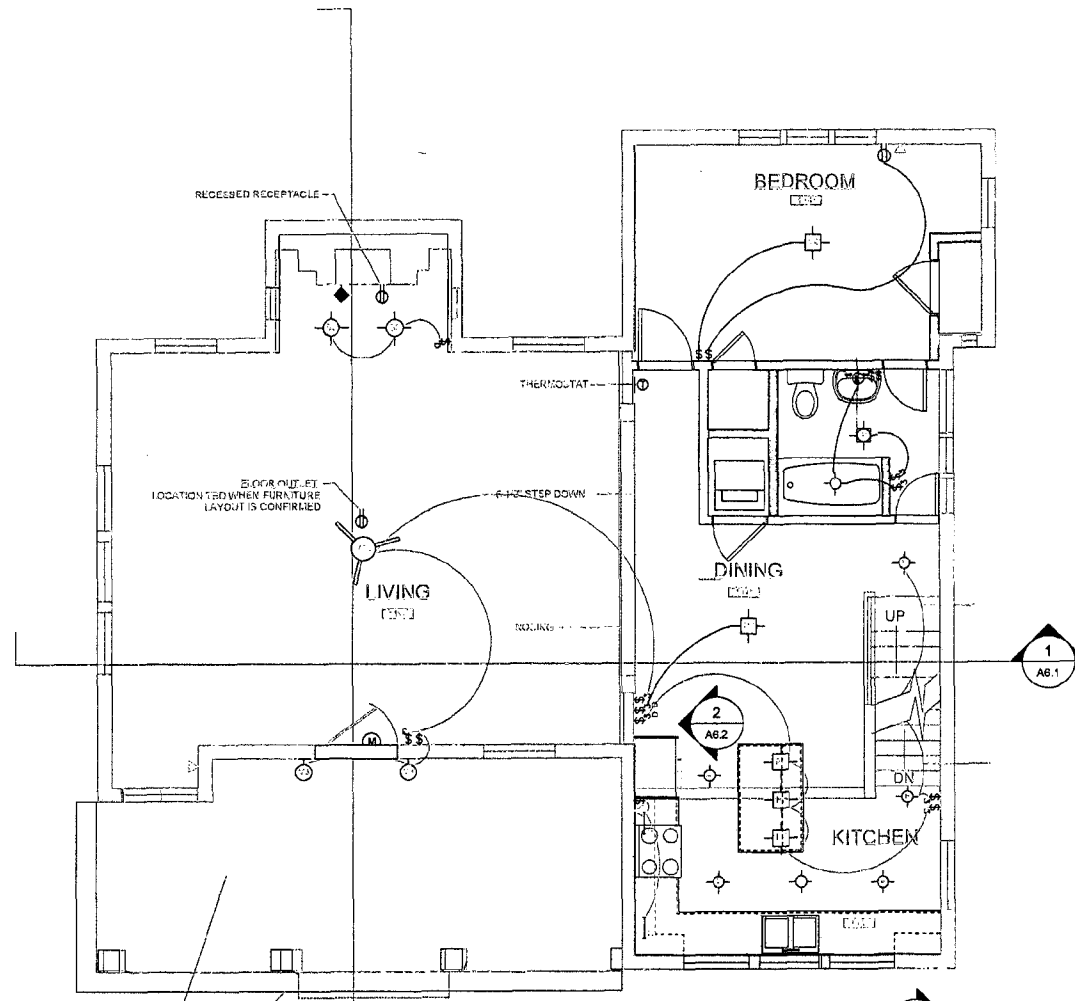
THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

Proj. Number:
Proj. Designer: Brian J. Baker
Proj. Designer: James Evans
Proj. Manager: Todd Barber

Scale: 1/4" = 1'-0"
Date: April 20, 2007

Sheet: 07 of 08



NEW T&G WOOD FLOOR
AND WOOD BEADBOARD
CEILING AT PORCH.
MATCH EXISTING WIDTHS

NEW WOOD STAIRS,
(2) RISERS, (1) TREAD

2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

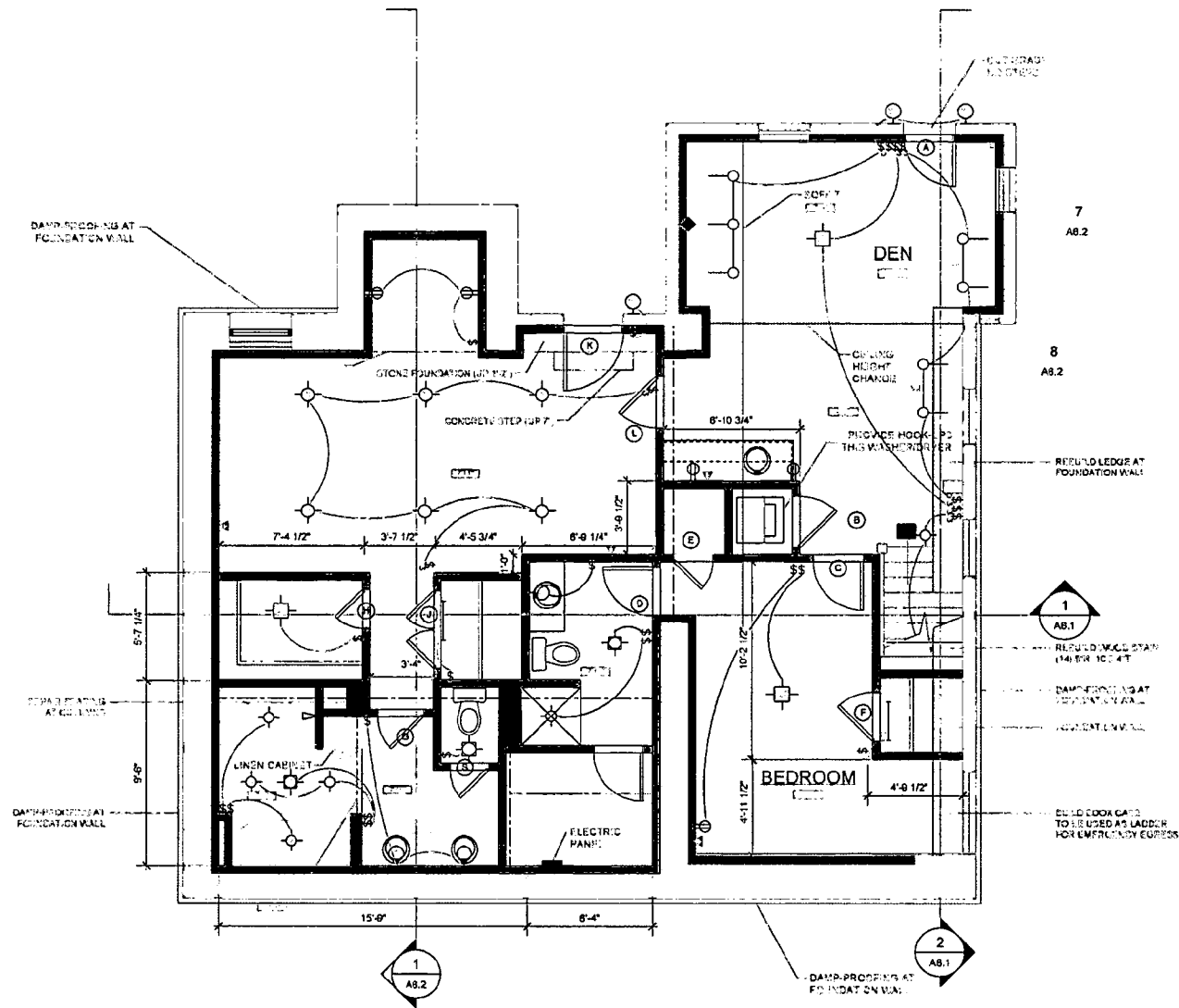
THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |

Proj. Number:
Proj. Designer: Brian J. Bisher
Proj. Designer: Jason Evans
Proj. Manager: Todd Barter

Scale: 1/4" = 1'-0"
Date: April 20, 2007

Sheet: 06 of 06



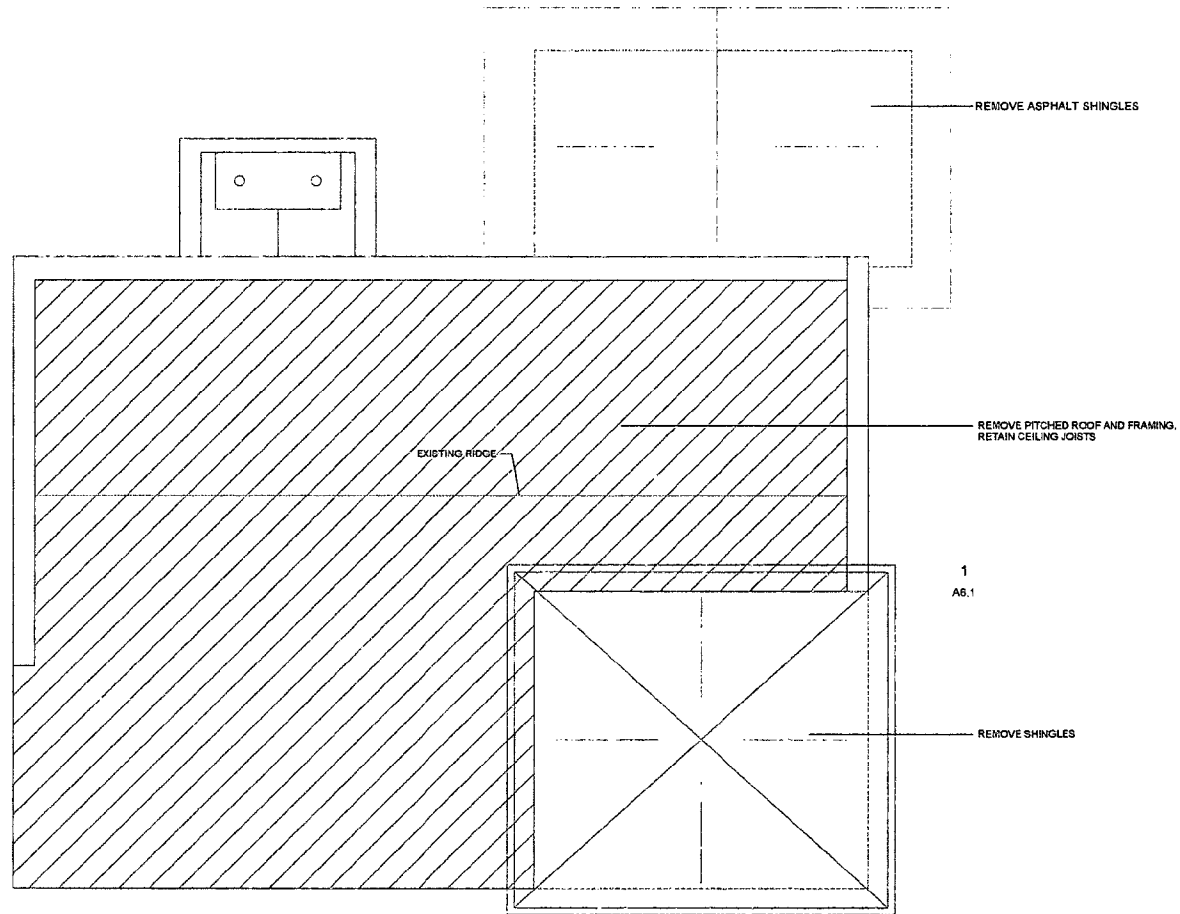
1
AB.1
BASEMENT PLAN
SCALE 1/4" = 1'-0"

THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing No. | Date |
|-------------|------|
| | |
| | |
| | |

Proj. Number: 2
 Proj. Designer: Brian J. Blaw
 Proj. Designer: James Cray
 Proj. Manager: Todd Parrier

Scale: 1/4" = 1'-0"
 Date: April 20, 2007
 Sheet: 05



2 ROOF DEMOLITON PLAN
 SCALE: 1/4" = 1'-0"

THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |

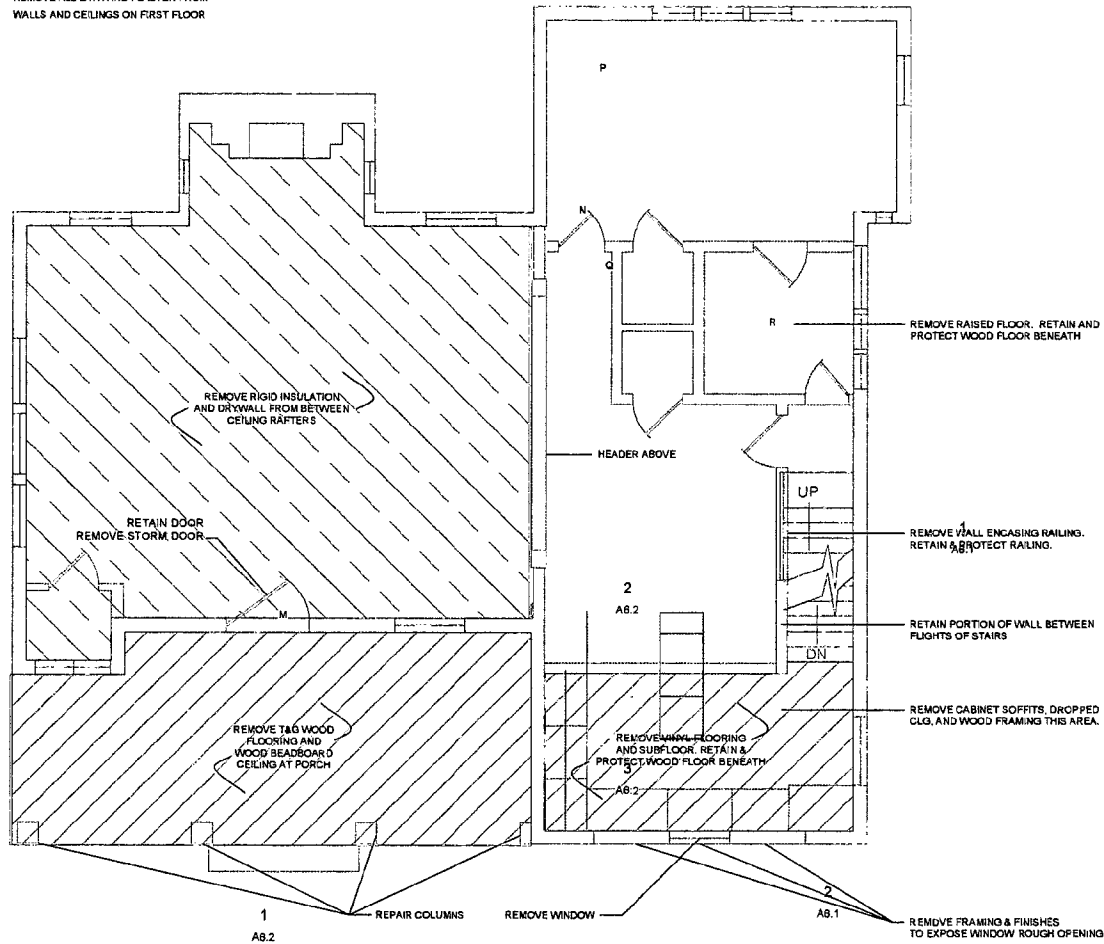
Proj. Number:
 Proj. Designer: Brian J. Biner
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Barner

Scale: 1/4" = 1'-0"
 Date: April 20, 2007

Sheet: 04

NOTE:

REMOVE ALL LATH AND PLASTER FROM WALLS AND CEILINGS ON FIRST FLOOR



2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

THETA MISSION
National Park Seminary
Silver Spring, MD

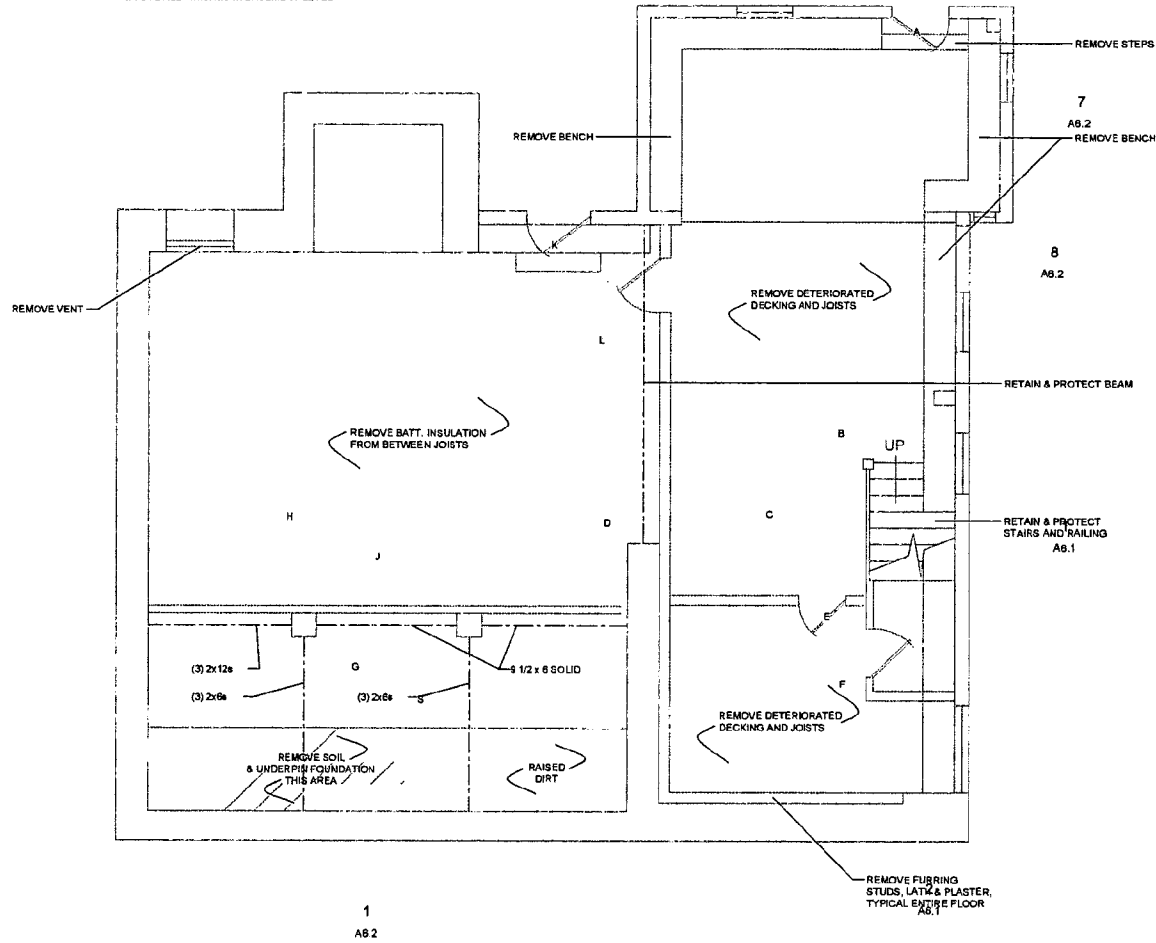
| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |

Proj. Number: _____
 Proj. Designer: Brian J. Ritter
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Parker

Scale: 1/4" = 1'-0"
 Date: April 20, 2007

Sheet: 02

NOTE:
REMOVE ALL FINISHES IN BASEMENT LEVEL



1
BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

Proj. Number:
Proj. Designer: Brian J. Pinner
Proj. Designer: James Cross
Proj. Manager: Todd Parker

Scale: Date:
 April 20, 2007

Sheet: of:
01

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---------------------|--|-----------------------|-------------|
| Address: | 9519 Woodstock Court, Silver Spring | Meeting Date: | 10/24/2007 |
| Resource: | Outstanding Resource National Park Seminary Historic District | Report Date: | 10/17/2007 |
| Applicant: | Mission Trust (Agent, Donald Frost) | Public Notice: | 10/10/2007 |
| Review: | HAWP | Tax Credit: | Partial |
| Case Number: | 36/001-07E | Staff: | Josh Silver |
| PROPOSAL: | Roof replacement | | |

STAFF RECOMMENDATION:

Staff is recommending the HPC **approve** this HAWP with the following condition:

1. Conditions as set forth by the Maryland Historical Trust Easement Committee. (See attached letter on page 25).

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the National Park Seminary Historic District
STYLE: Mission
DATE: c.1894-1915

PROPOSAL:

The proposal described below has already been given approval by the Maryland Historical Trust Easement Committee.

The applicant is proposing to rehabilitate the roof structure and supporting components of the house, per the Maryland Historical Trust Easement Committee's detailed review of the project. The proposal includes the following:

- Removal of the (non-original) pitched roof and framing on the flat roof section of the house
- Repair/replacement of damaged roof joists
- Removal of roof tiles and flat roof section of the existing roof, and installation of new roof to prevent further water damage
- Reinstallation of missing bell wall parapets on north and east facades
- Reinstallation arched porch posts
- General repairs to eaves, including priming and painting
- Installation of new copper half round gutters, scupper conductors, and downspouts
- Reinstallation of original cement coping on parapets to match original Mission style.

**Note: the above proposal includes only repair/rehabilitation work associated with the roof structure of the building. All other future work will be reviewed and approved by the HPC prior to the project commencing.*

APPLICABLE GUIDELINES:

When reviewing alterations and new construction with the National Park Seminary Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of Interior Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve with the above-stated conditions** the HAWP application as being consistent with Chapter 24A-8(b) (1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they

propose to make **any alterations** to the approved plans;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Donald L. Frost

Daytime Phone No.: 301-807-9573

Tax Account No.: 1613-03532147

Name of Property Owner: Mission Trust Daytime Phone No.: 301-807-9573

Address: 17310 Moore Rd Boyd's Maryland 20841-9530
Street Number City Street Zip Code

Contractor: Owner Phone No.: 301-807-9573

Contractor Registration No.: n/a

Agent for Owner: n/a Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 9519 Street: Woodstock Ct.

Town/City: Silver Spring Nearest Cross Street: Linden Lane

Lot: 9 Block: 2 Subdivision: 7

Liber: 34402 Folio: 437 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 80K for this portion of the overall project

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS N/A

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL N/A

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

10/07/2007
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 467774 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

1. Written Description of Project

a.

The Mission House is located in the National Park Seminary Historic District. Its front faces north toward most of the structures on the property. The only exceptions are the Seminary Farm House that is located across the side street (Woodstock Court) to the west, the Tank/Postmaster's House that is located across the side street to the southwest, and the Seminary Farm House #2 that sits directly behind the Mission House to the south also on Woodstock Court. The Seminary Library House sits catty-cornered and across Linden Lane (the street directly at the boundary of the front yard that runs east to west) to the west. Looking to the north and down Dewitt Drive, one can view the south side of the Japanese Bungalow and the Japanese Pagoda beyond that. To the northwest and across Linden Lane just beyond the sidewalk is the view of the Seminary Ballroom. Directly west is a view of the properties stonewall that divides the west side yard from the back yard and trails off to the furthest point in the west yard. Beyond this point is where the new home construction in the area situated.

The historical significance of the structure is its use as a sorority house. Built between 1894 and 1915 the house served as part of the National Seminary School and part of an eclectic scene of sorority houses each built in a different style. As found in the National register, "[This] Historic District is significant as an architectural "folly" [and, although a "finishing school of bygone days] it did express the dominant attitudes towards women's capabilities and roles in society in the days before woman's suffrage and Women's Lib." In addition, in 1942 the site became part of the Walter Reed Army Hospital and served World War II soldiers as a recovery site for the wounded.

The historical feature/design of the structure is its Indian Mission style. Though later changed by the Army, the design was complete with clay roof tiles, stucco facades, bell wall porticos, and arched porch beams on the exterior. The interior was just as dramatic in its representations. A Beamed ceiling in the main room, arched passageways, and steps to a mission tower room all are suggestive of the Indian Mission motif.

b.

The Theta Mission House project intends to rehabilitate the structure to its original sound condition and style as authorized. Repairs and replacements are to remedy deficiencies where necessary and beneficial to the structure in order to reinstate its original historical appeal and value. The work involved should have no ill effect on its surroundings. The Seminary that in part surrounds Theta Mission house is also under historical renovation by several different contractors at this time. Repairing, refurbishing, and bringing the Theta Mission up to code will greatly help to beatify and revitalize this long forgotten historical district in Silver Spring. Property values in the vicinity may also rise.

In general, the work that is seeking permit at this time is as follows:

- Remove Army installed pitched roof and framing on flat roof section of house, and retain and protect joists below
- Repair or replacement any roofing joists that are termite damaged or rotten
- Remove Army installed roof tiles and flat roof areas and install new roofing to prevent further leaking (includes new cricket to be built of tapered insulation on flat roof)
- Flat roof area to be replaced with built-up rubber composition roof
- Slope- on flat roof section to equal 1 1/4" per foot
- Reinstall missing bell wall parapets on north and east facades
- Reinstall of arched porch posts that integrate into bell wall parapet at front of house and one side of porch.
- Repair eaves where necessary- remove peeling paint, prime and repaint
- Install new copper half round gutters, scupper conductors and down spouts
- Reinstall original cement coping on parapets to match original Mission style

2. Refer to site plan and environmental setting photo

3. The Theta Mission construction plans define the project on the following drawings:

- **Drawings 08, 09,10, 11, and 12 -**
Shows the existing structure.
- **Drawing 17 -**
Cross section drawing of the bell wall parapet and arches to be constructed for the north façade on and above the front porch of the house structure
- **Drawing 13 -**
This north elevation shows the bell wall parapet and arches to be constructed there with side view (in black) of the west parapet.
- **Drawing 16 -**
East elevation drawing (in black) of the bell wall parapet to be constructed on the east façade. View also shows arch at side of front porch that integrates into structure shown on sheet 17

- **Drawing 10 –**
Drawing shows the bell wall parapet on the west façade. The Army when in its possession did not remove this parapet. As with the reconstructed parapets on the north and east facades, the west parapet will be repaired at its top edge for water damage and a new coping will be installed.
- **Drawing 04 –**
Shows plan for roof demolition of deteriorated shingles and flat roof material
- **Drawing 08 –**
Roof plan showing removals and additions of roofing materials and parapet walls, and gutters with scupper conductors and downspouts
- **Drawing 14 –**
Shows clay roof tiles that will bring structure back to original style and condition
- **Drawing 11 –**
Shows the eaves on the tower and on the pitched roof addition that need restoration work

4. Material Specifications

Roof, Parapet, Porch Arch and Gutter Construction –

- (2) 2x 10 pine
- 2x4 framing pine 16" on center
- Posts- 2x4 framing 16" on center
- ¾" layer of CDX sheathing cut to shape
- ¾" layer of Durock cut to shape
- Portland cement coping to be poured in place in constructed mold
- Pebble Dash stucco finish on these faces to match existing
- Half round copper gutters, scupper conductors, and downspouts
- Rubber composition roof
- Alternate 1A clay tile roofing material
- Asphalt shingles
- Roofing felt
- ¾" CDX Sheeting material
- Copper flashing
- Roofing nails
- Primer
- Exterior Paint
- Caulk

5. Photographs

Refer to attached photographic prints

6. Tree Survey

There are no trees of significant historical value on the property. Existing is two spindly pine trees branch broken and almost dead. A small Common Chokecherry tree is located approximately 30ft from the west façade. Their location and spread radius do not encroach upon the structure and any work that will take place.

7. Addresses of Adjacent and Confronting Property Owners

Plumb Square builders LLC
9518 Woodstock Ct.
Silver Spring, MD 20910
C/O 8603 Farrell Ct.
Chevy Chase, MD 20815

Kyoto Trust
9600 Dewitt Drive
Silver Spring, MD 20910
C/O 17310 Moore Road
Boyd's, MD 20841

Evans, Edward M
2760 Linden Lane
Silver Spring, MD 20910

NATIONAL PARK SEMINARY
An Alexandria Company / A LVA Development

National Park Seminary Site Map *Click and Drag the Site Map for a better view

QUICK FINDS:

- Aloha House
- Ballroom
- Gymnasium
- Chapel
- Presidents House Senior House
- Music Hall Senior Annex
- Servants Quarters
- Carpenter's Shop
- Stables
- Practice Hall
- Fire House
- Power Plant
- Historic Condo Sales Office (located in the Pagoda)
- New Construction Sales Office
- New Construction Townhomes

HOME HISTORIC CONDO SALES BY

9519 Woodstock Ct
Silver Spring, MD

6

[Signature] 10/07/07

Most trees on rendering do not exist. Existing trees on property are marked in red ink.

Theta Mission House



North façade existing- posts, flat roof
Tower roof



Posts at east side of porch has been cut back. All
Trees directly behind structure were cut down to
accommodate the relocation of another historical house

6/4/2007

1/10/07

7/1/2007



No trees, missing parapets
and arches- dying pine tree does not overhang roof

9/6/2007

Close-up of existing porch with
missing parapet and arches

10

[Signature] 11/07/07

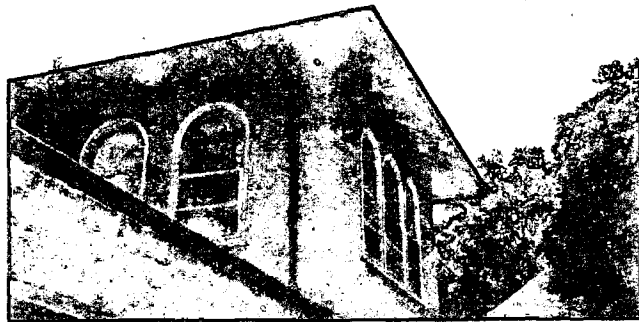
Theta Mission House Project



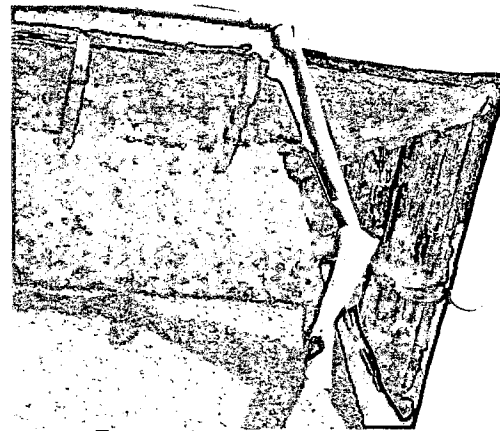
View of east facade existing
Two pine trees and small trees



West facade, floor lines, eaves
Existing and parapet with old door



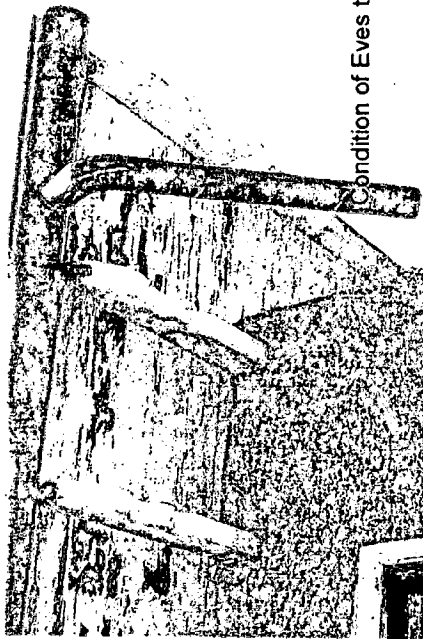
Eaves around tower



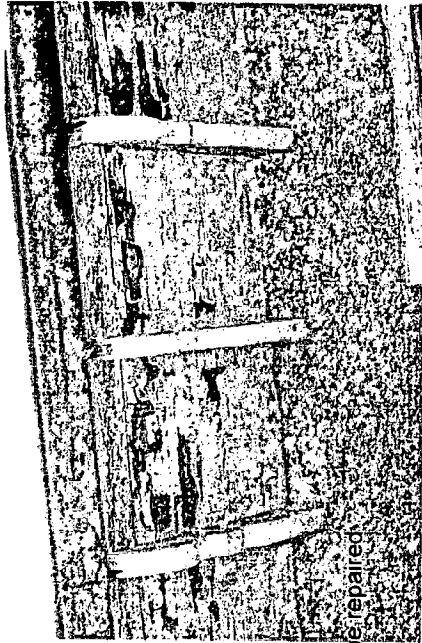
Eaves and gutters

Theta Mission Project

fill photos 9/16/2007



Condition of Eaves to be repaired



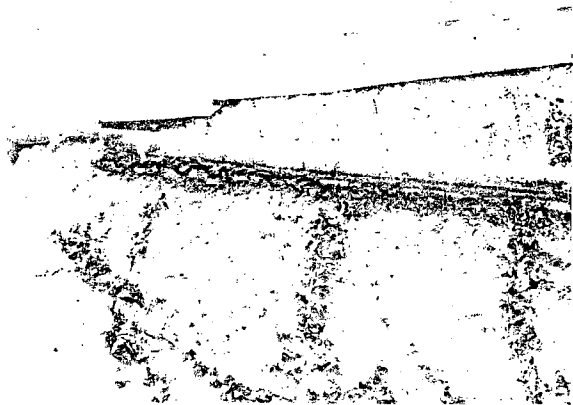
Example of coping



Example of gutter system

DPK 10/07/07

Theta Mission Project



9/6/2007

Coping and downspout

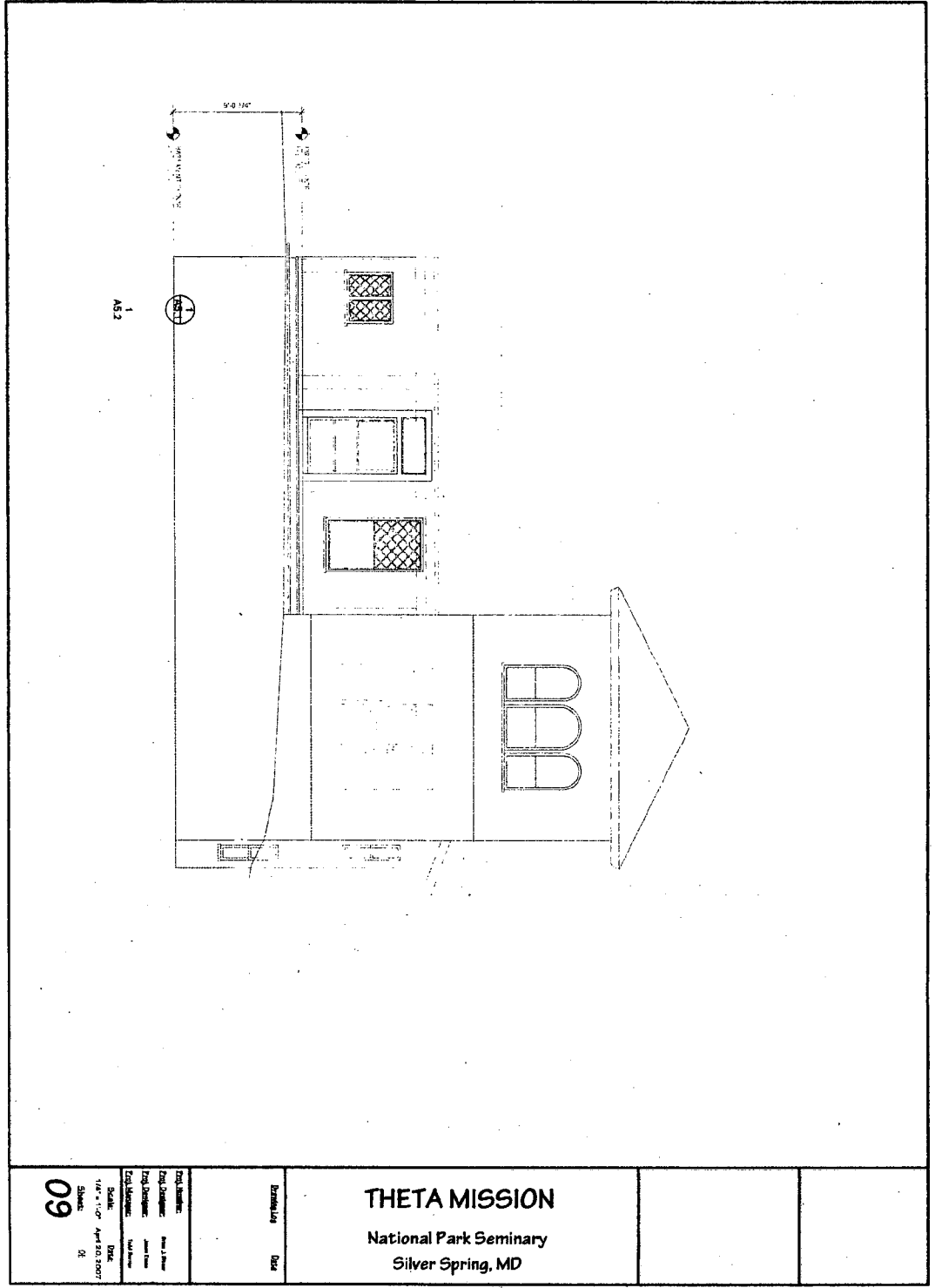
Original look and design of the
Theta Mission Sorority House



old photo

To you 10/07/07

71



1
AS2

1

50'-0"
20'-0"

THETA MISSION
 National Park Seminary
 Silver Spring, MD

Drawn by: [blank] Date: [blank]

Arch. Symbolic: [blank]
 Arch. Symbolic: [blank]
 Arch. Symbolic: [blank]

Scale: 1/4" = 1'-0"
 Date: April 20, 2007
 Sheet: 09



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

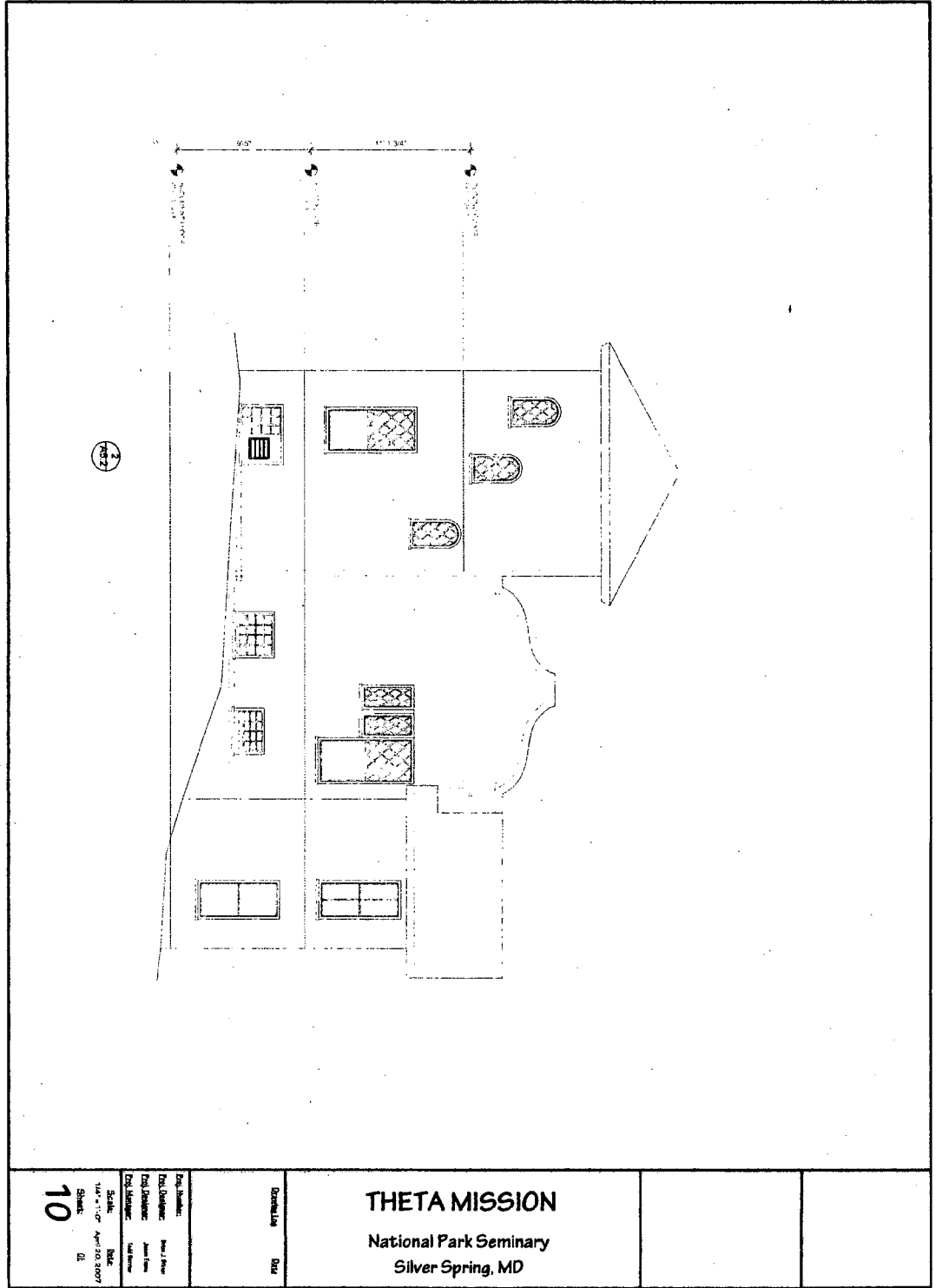
THETA MISSION
National Park Seminary
Silver Spring, MD

Drawing Log Date

Proj. Number:
Proj. Designer: Brian J. Shaw
Proj. Designer: James Egan
Proj. Manager: Todd Martin

Scale: Date:
April 20, 2007

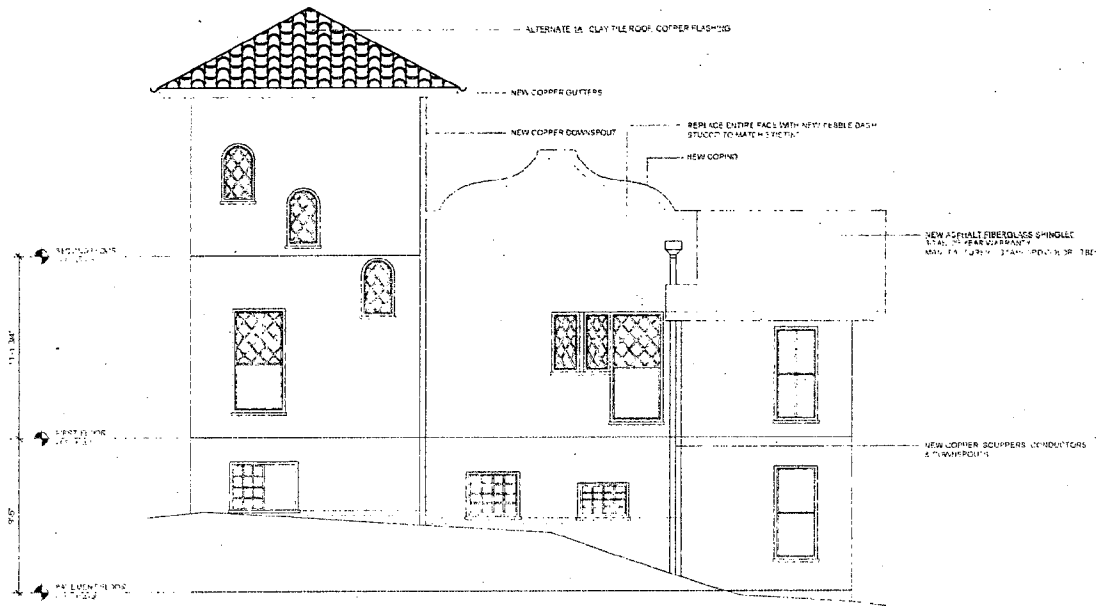
Sheet: 01
13



THETA MISSION
 National Park Seminary
 Silver Spring, MD

Drawn by: [Blank]
 Date: [Blank]

Arch. Number: [Blank]
 Proj. Name: [Blank]
 Proj. Location: [Blank]
 Scale: [Blank]
 Date: [Blank]
 1/4" = 1'-0" April 20, 2007
 Sheet: 10 of [Blank]



2 WEST ELEVATION
SCALE 1/4" = 1'-0"

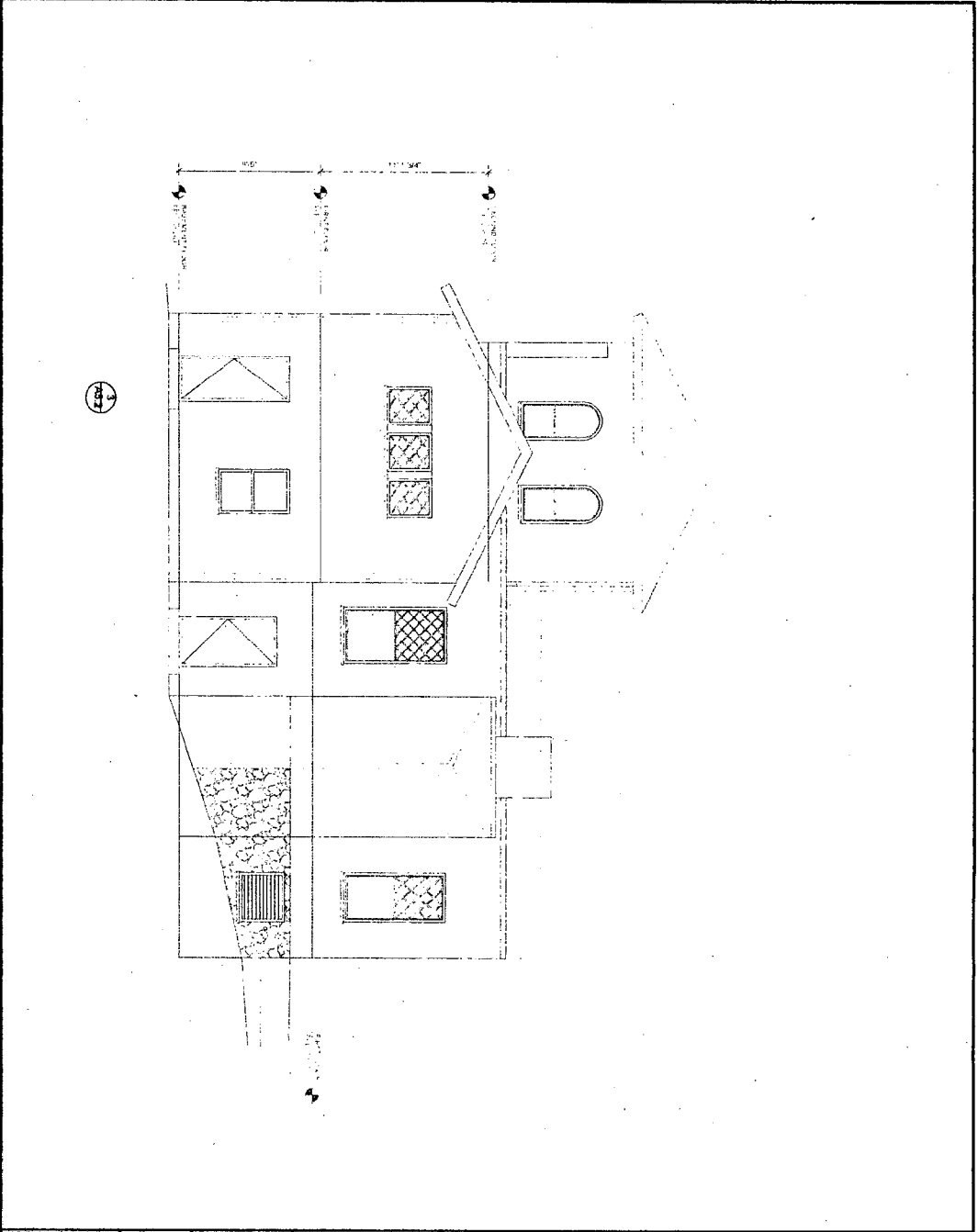
THETA MISSION
National Park Seminary
Silver Spring, MD

Drawing Log Date

Proj. Number:
Proj. Designer: Drew J. Shaw
Proj. Designer: Jason Evans
Proj. Manager: Todd Norton

Scale: Date:
April 20, 2007

Sheet: Of:
14



| | | |
|--|--|---|
| <p>THETA MISSION National Park Seminary Silver Spring, MD</p> | <p>Drawn by: _____ Date: _____</p> | <p>Proj. Number: _____ Proj. Designer: _____ Proj. Checker: _____ Proj. Manager: _____ Scale: _____ Date: _____ Sheet: _____ 11</p> |
|--|--|---|



3 SOUTH ELEVATION
 1/2" = 1'-0"

THETA MISSION
 National Park Seminary
 Silver Spring, MD

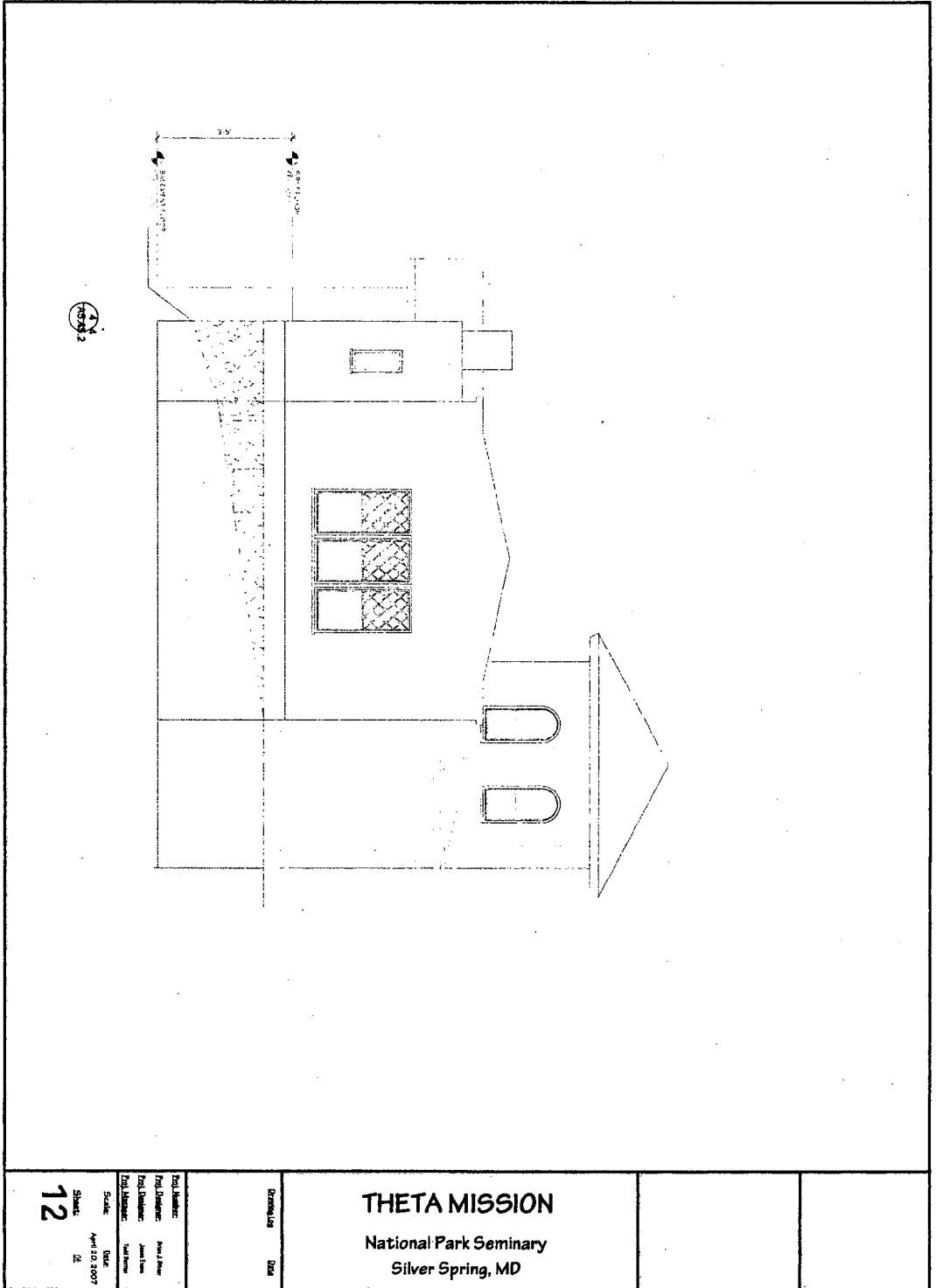
| Drawing No. | Date |
|-------------|------|
| | |

Proj. Number:
 Proj. Designer: Brian J. White
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Bennett

Scale: Date:
 April 20, 2007

Sheet: of:
15

20



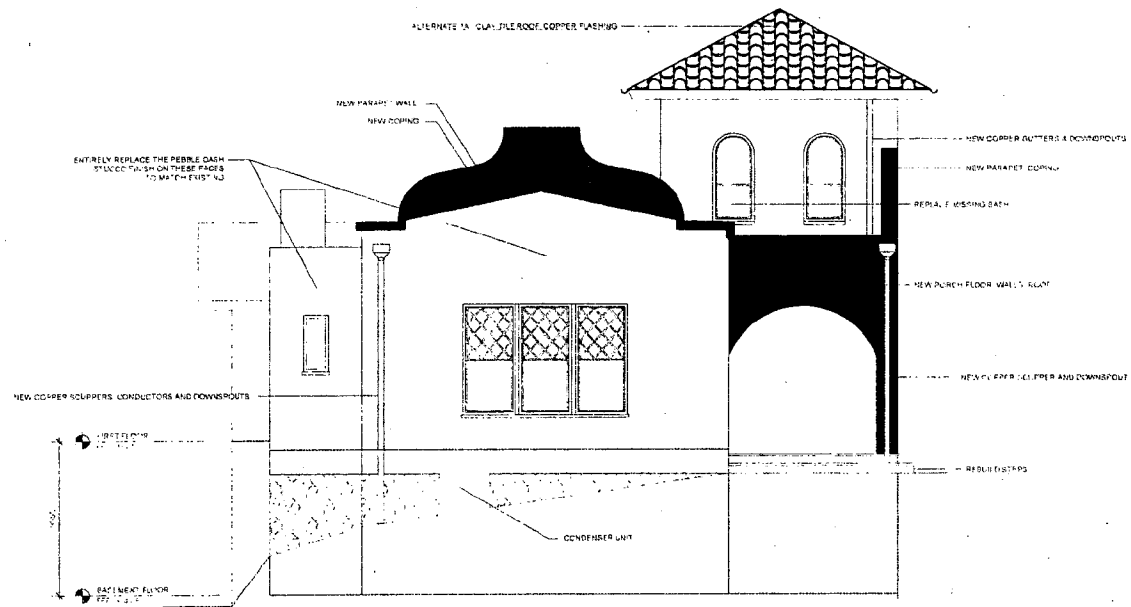
THETA MISSION

National Park Seminary
Silver Spring, MD

Drawn by: DB

P.O. Number: Area / Per
 P.O. District: Area / Per
 P.O. Location: Area / Per
 P.O. Name: Area / Per

Sheet: Date
 12 April 20, 2007
 of



EAST ELEVATION
SCALE: 1/4" = 1'-0"

THETA MISSION
National Park Seminary
Silver Spring, MD

Drawing Log Date

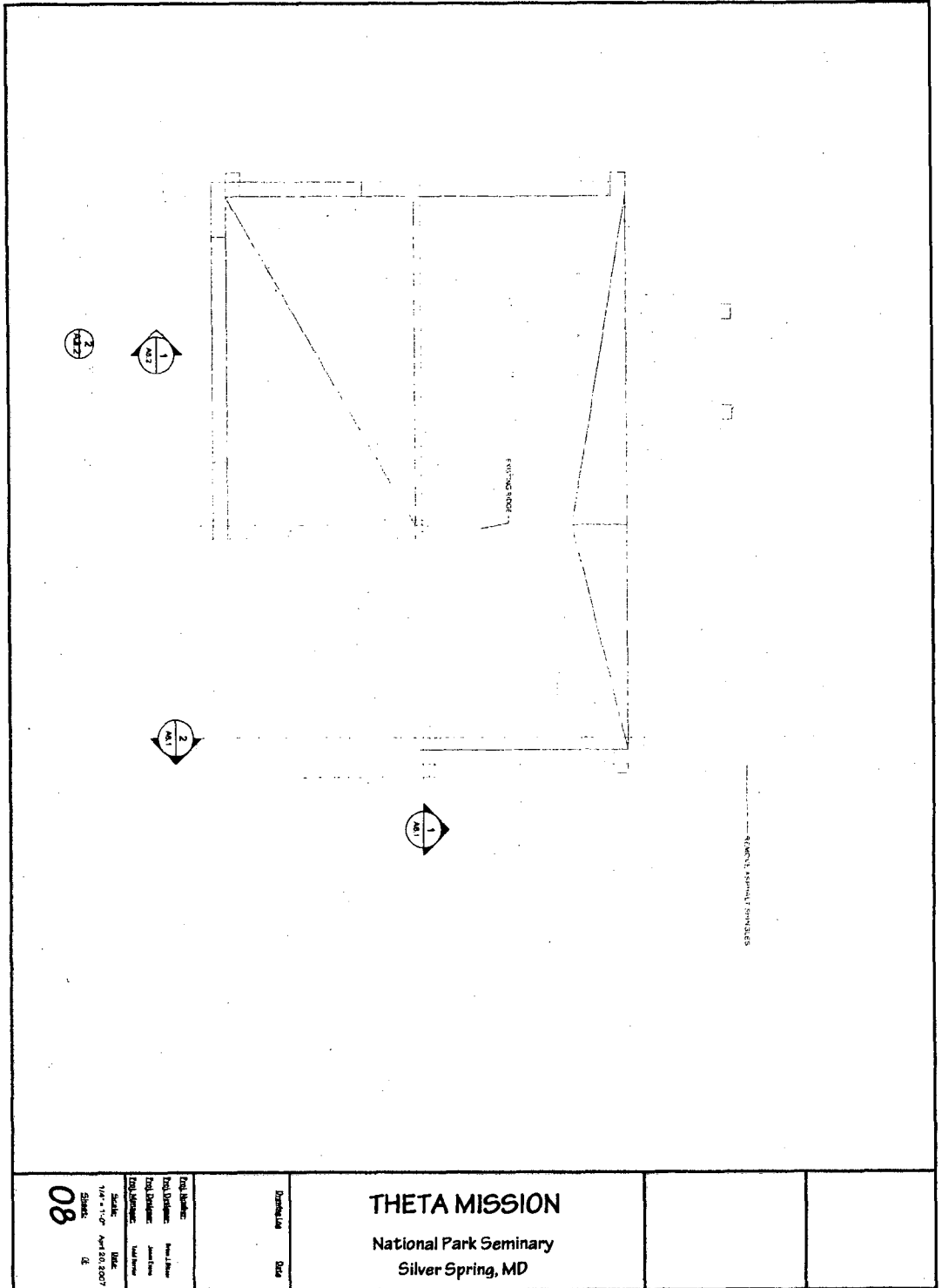
Proj. Number:
Proj. Designer: Peter J. DeWitt
Proj. Designer: Jason Cook
Proj. Manager: Todd Swartz

Scale: Date:
1/2" = 1'-0" April 20, 2007

Sheet: Of:
16

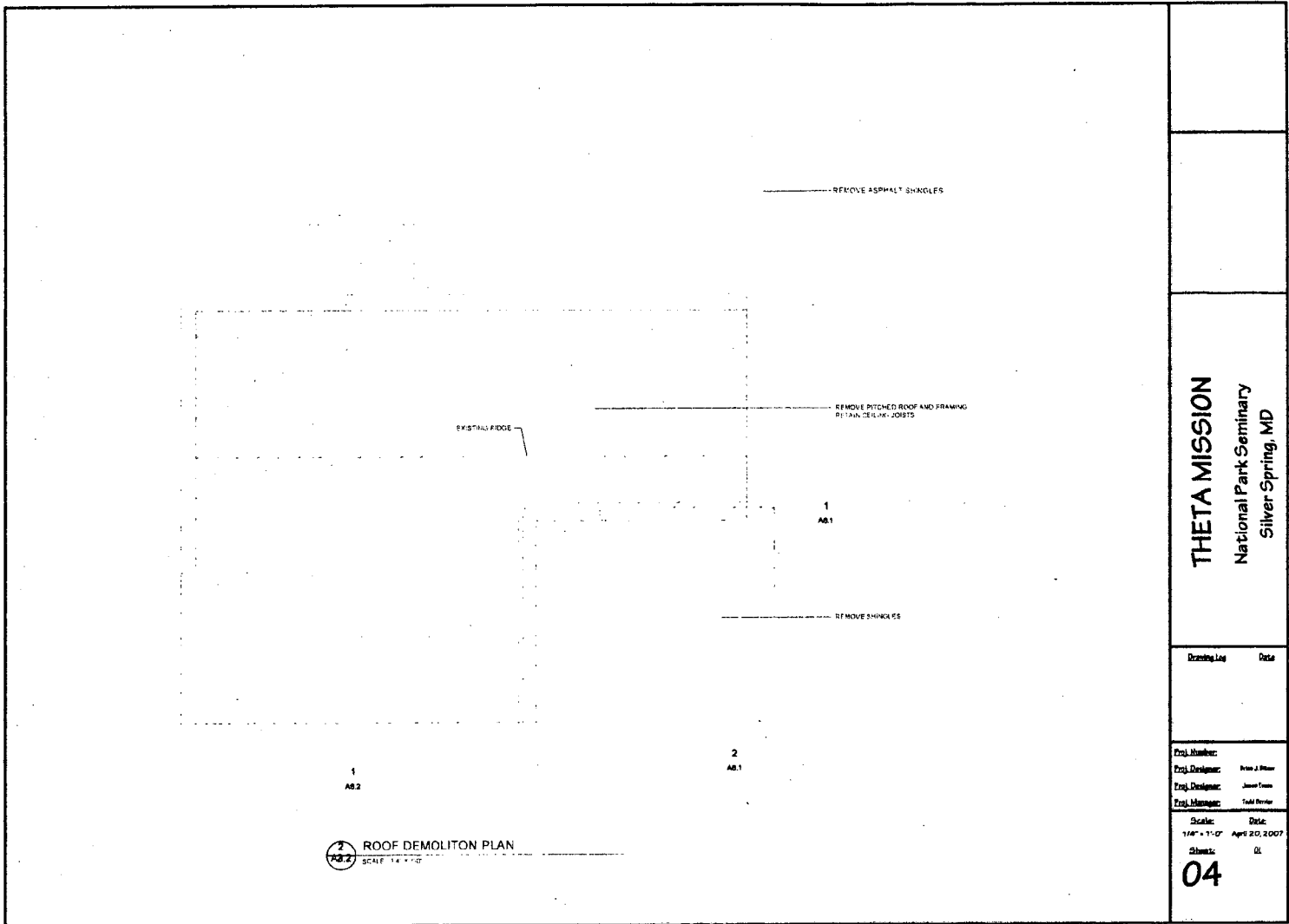
Approved: J.P. Kitchen, Licensed

22



THETA MISSION
 National Park Seminary
 Silver Spring, MD

| | |
|----|---------------------|
| 08 | Scale: 1/4" = 1'-0" |
| | Date: APR 20, 2007 |
| | Sheet: 6 |



THETA MISSION
 National Park Seminary
 Silver Spring, MD

Drawing No. Date

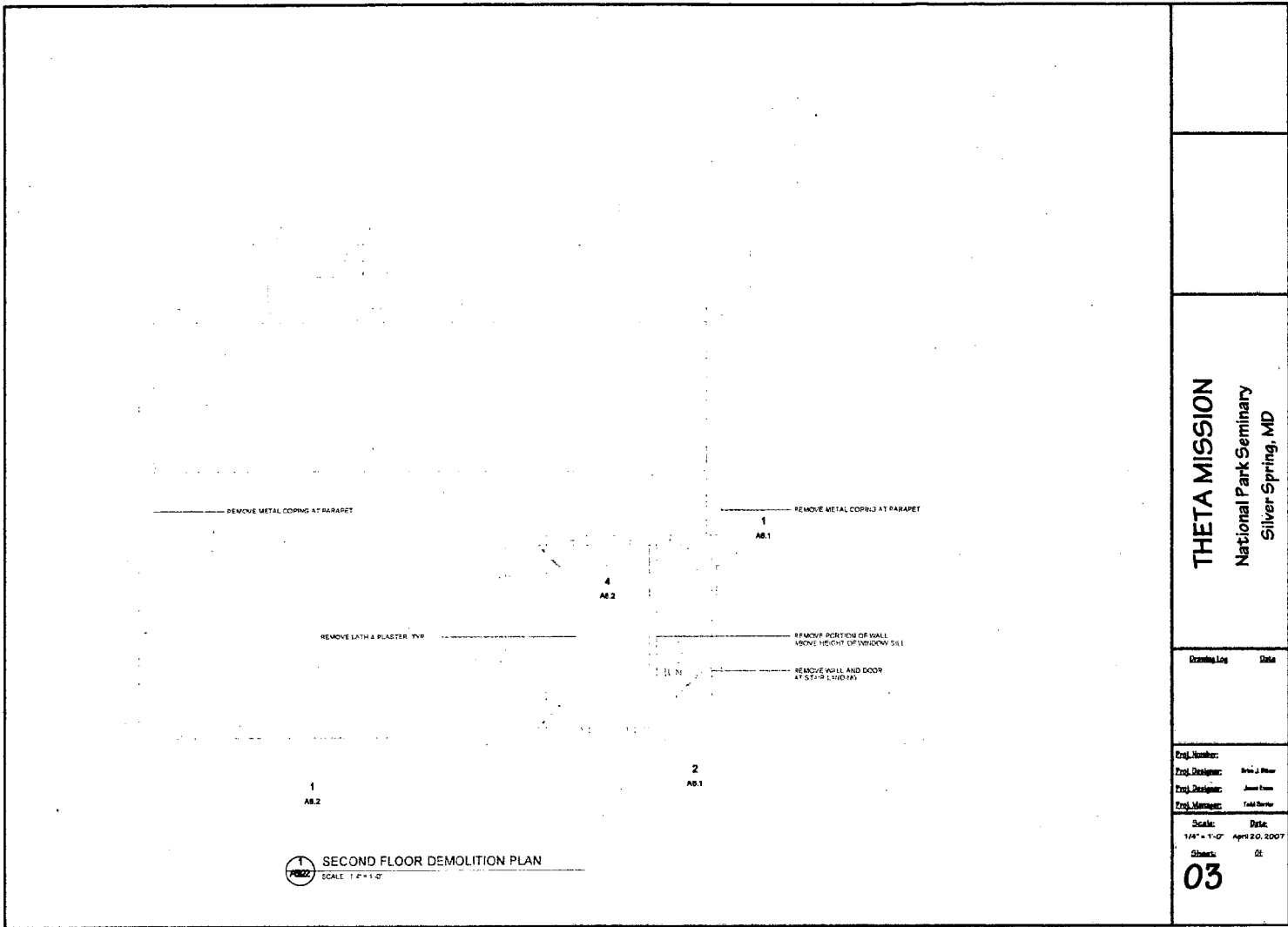
Proj. Number:
 Proj. Designer: Brian J. Pitzer
 Proj. Designer: James Cook
 Proj. Manager:

Scale: Date:
 1/4" = 1'-0" April 20, 2007

Sheet: of:
04

23

74



THETA MISSION
National Park Seminary
Silver Spring, MD

| Revising Log | Date |
|--------------|------|
| | |

Proj. Number: 2
 Proj. Designer: David J. Miller
 Proj. Designer: James P. ...
 Proj. Manager: Todd ...

Scale: 1/4" = 1'-0"
 Date: April 20, 2007

Sheet: 03 of 02



Maryland Department of Planning
Maryland Historical Trust

Martin O'Malley
Governor
Anthony G. Brown
Lt. Governor

Richard Eberhart Hall
Secretary
Matthew J. Power
Deputy Secretary

October 3, 2007

Mr. Donald L. Frost
17310 Moore Road
Boysds, Maryland 20841

Re: National Park Seminary/Forest Glen (Spanish Mission), Montgomery County
Maryland Historical Trust Preservation Easement

Dear Mr. Frost:

Thank you for your submission of plans, which we received in this office on September 17, 2007 and for attending the Maryland Historical Trust Easement Committee (Committee) on September 25, 2007.

Based upon the review and recommendation of the Committee, I approve of the plans provided that final details and specifications are submitted for Trust review and approval on the following:

- The installation of a roof railing (railing should not be visible from the ground);
- The installation of first floor kitchen windows in the tower;
- The proposed paint colors; the preservation of the interior archway;
- The proposed replacement second story tower door; and
- The installation of a roof deck should you choose to construct one.

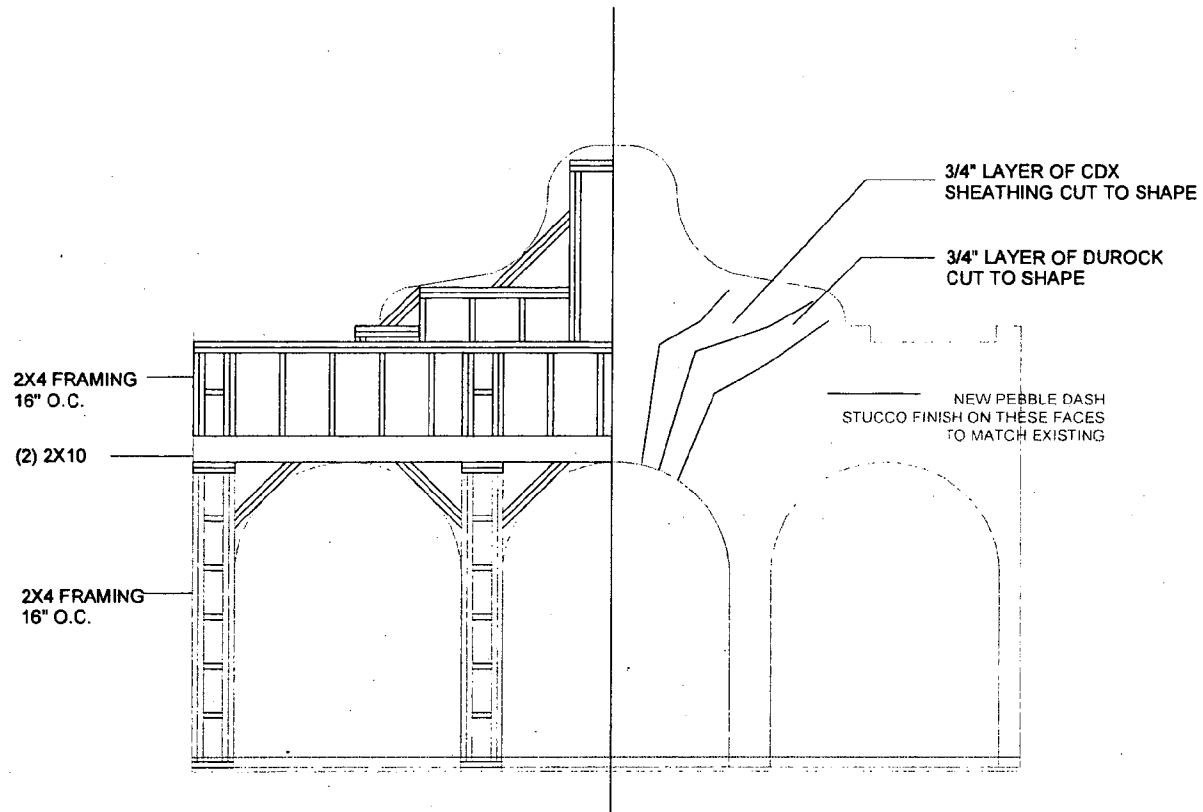
The proposed work is consistent with the Secretary of the Interior's *Standards for the Treatment of Historic Properties, Rehabilitation Standards 2, 5, 6, and 7*. Furthermore, I approve of plans by Vika, Inc. received on September 17, 2007 for the connection of water and sewer lines to the building. This work is consistent with the *Rehabilitation Standard 8*.

This approval is valid for a period of six months from the date of this letter. Should you make any changes to the scope of work as approved, or require additional time to complete this project, please contact Ms. Elizabeth Schminke, Easement Administrator, at (410) 514-7632 or by email at bschminke@mdp.state.md.us.

Sincerely,

J. Rodney Little
Director
Maryland Historical Trust

JRL/ESS



THETA MISSION
National Park Seminary
Silver Spring, MD

Drawn: Lee Title

Proj. Number:
Proj. Designer: Brian J. Pifer
Proj. Designer: Jason Fene
Proj. Manager: Todd Porter

Scale: Date:
1/2" = 1'-0" April 20, 2007

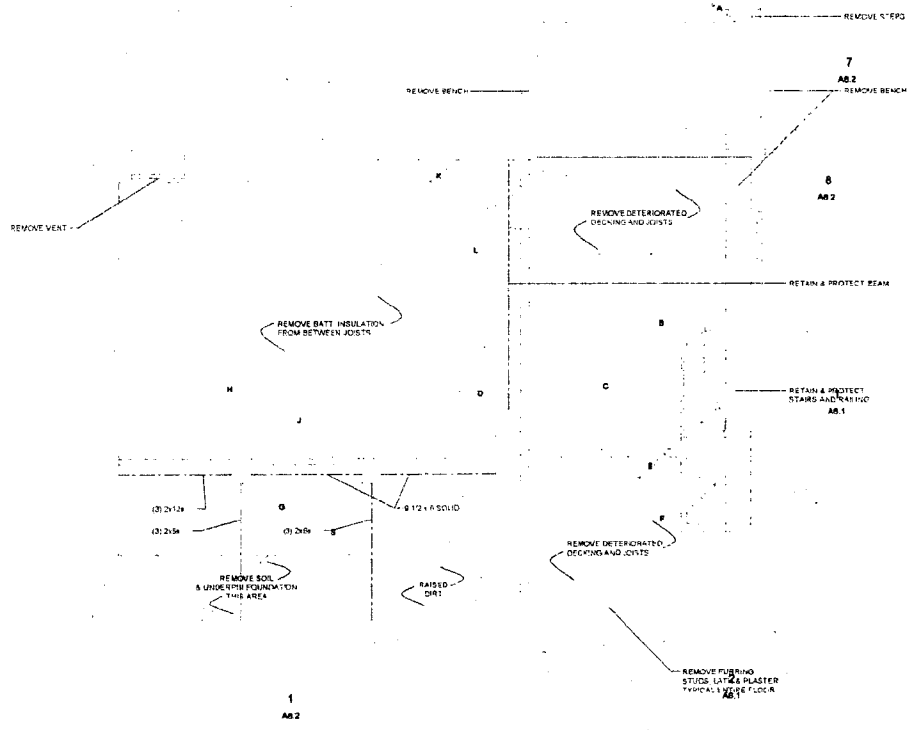
Sheet: Of

17

Approved: J.P. Smith, P.E.

NOTE

REMOVE ALL FINISHES IN BASEMENT LEVEL



1 BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

THETA MISSION
National Park Seminary
Silver Spring, MD

Drawn By: Date:

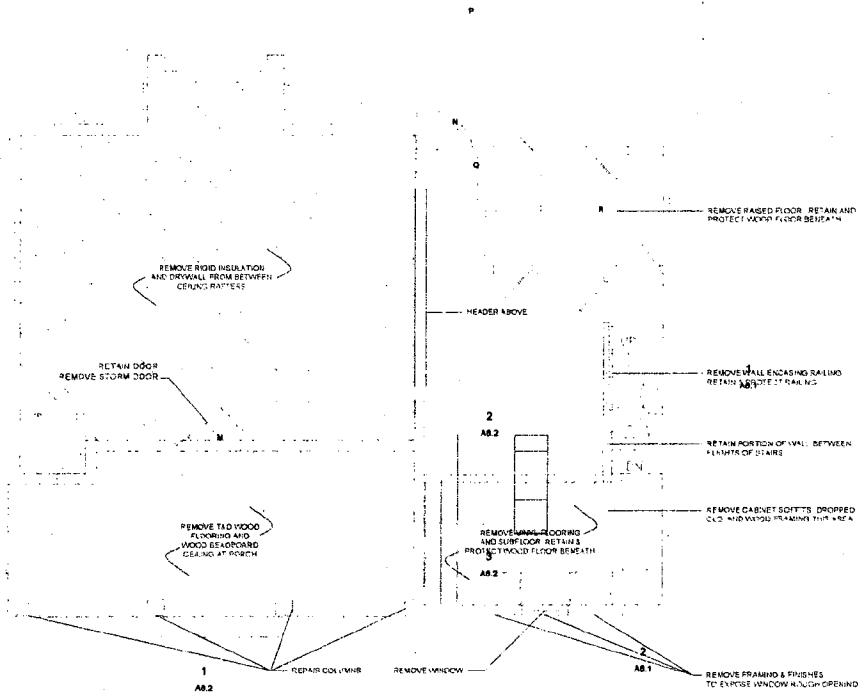
Proj. Number:
Proj. Designer: Mike J. Piser
Proj. Designer: Jason Davis
Proj. Manager: Todd Porter

Scale: Date:
Apr 1 20 2007
Sheet: 02

01

NOTE

REMOVE ALL LATH AND PLASTER FROM WALLS AND CEILING(S) OF FIRST FLOOR



2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

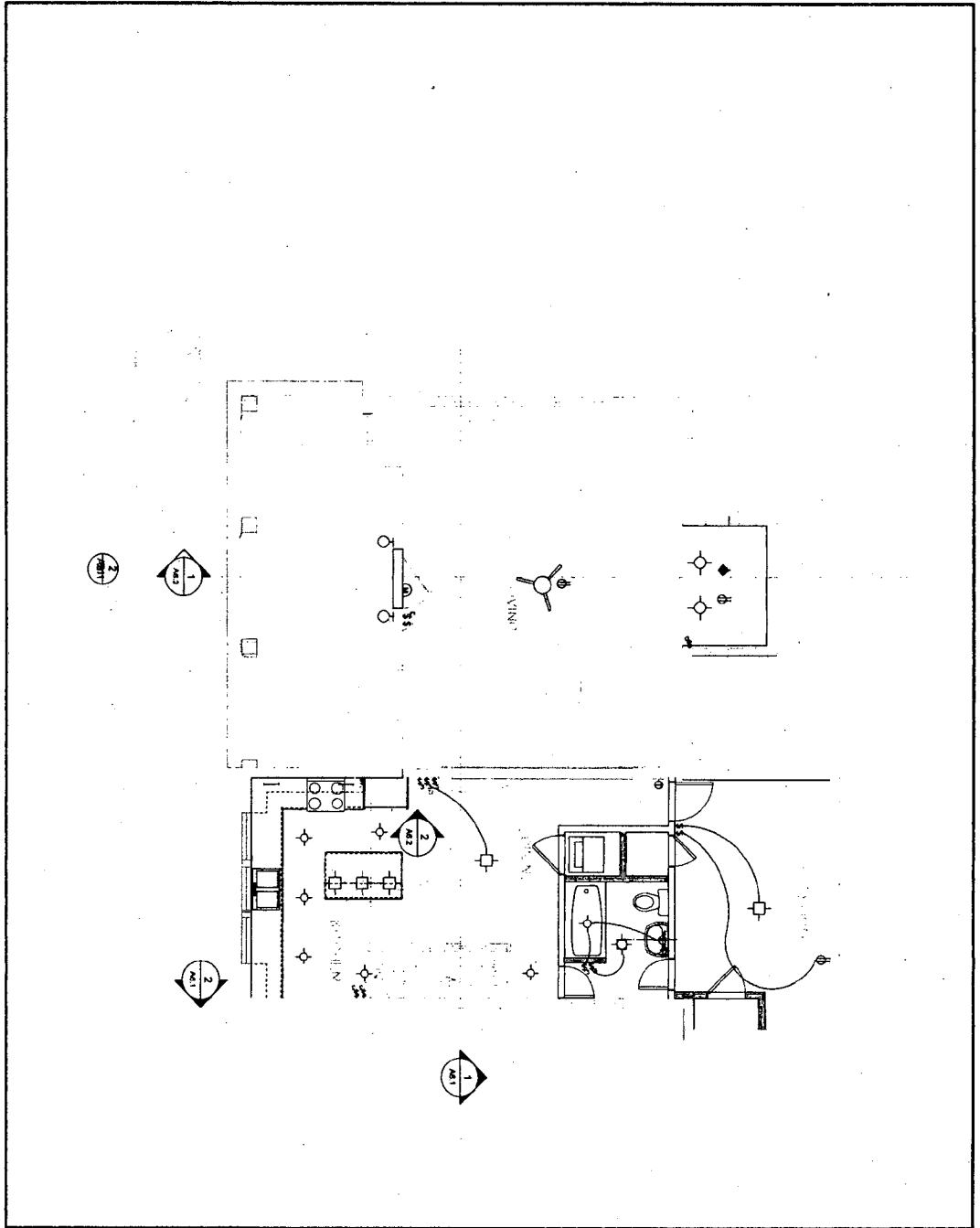
THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |

| | |
|-----------------|----------------|
| Proj. Number: | |
| Proj. Designer: | Brian J. Moore |
| Proj. Designer: | Jason Evans |
| Proj. Manager: | Todd Romer |

| | |
|--------------|----------------|
| Scale: | Date: |
| 1/4" = 1'-0" | April 20, 2007 |
| Sheet: | 02 |

02

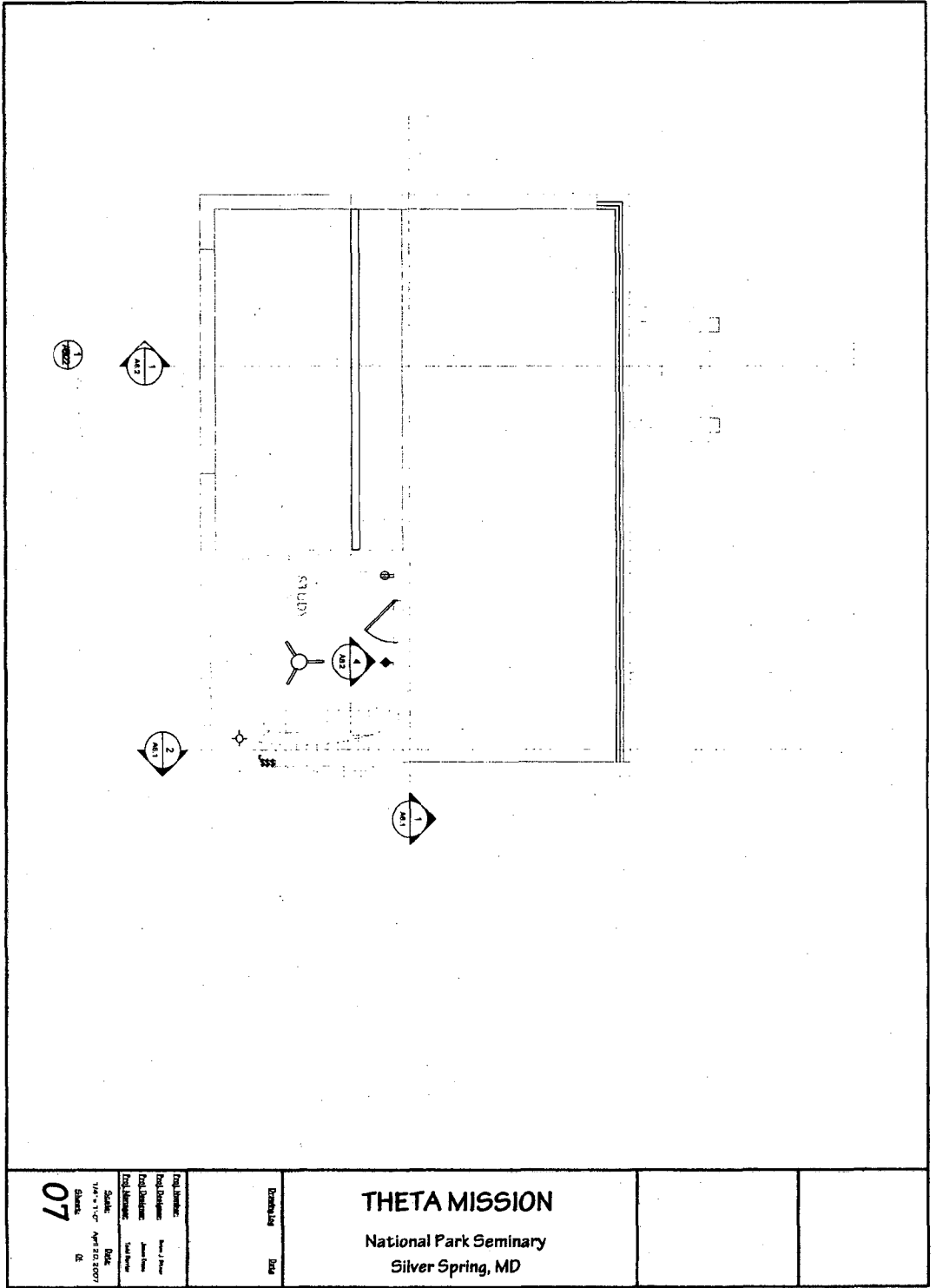


THETA MISSION

National Park Seminary
Silver Spring, MD

EXHIBIT 06A

| | | |
|--------------|----------------|-------|
| Architect: | Scale: | Date: |
| 1/4" = 1'-0" | April 20, 2007 | |
| 06 | | |



THETA MISSION

National Park Seminary
Silver Spring, MD

Drawn by: [blank] Date: [blank]

Full Name: [blank]

Room Number: [blank]

Full Name: [blank]

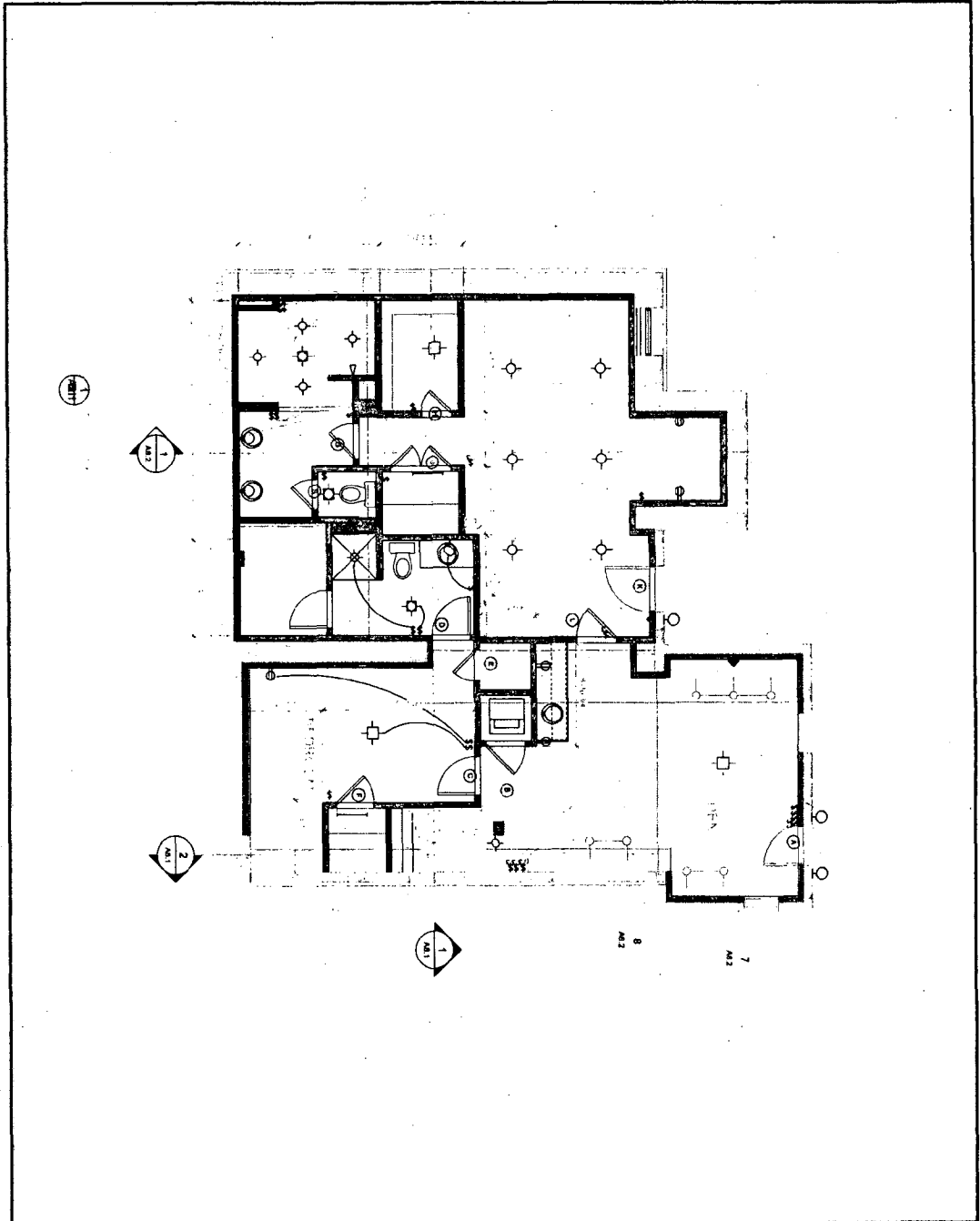
Room Number: [blank]

Scale: [blank]

Date: [blank]

Sheet: [blank]

07



THETA MISSION
 National Park Seminary
 Silver Spring, MD

Drawings Date

| | |
|--|--|
| Proj. No. 05 Date: Apr 20, 2007 Scale: 1/4" = 1'-0" Sheet: 05 | Rev. 1 Date: Apr 20, 2007 Scale: 1/4" = 1'-0" Sheet: 05 |
|--|--|

→ Colin Ingham

NPS A.D

Phillip Smith
Don Frost

Exterior - replacement in-kind, generally
restore to original configuration

(Door on Roof New never existed)

~~Added~~
Arched wind

Mechanical Building - changes

⊗ Eave structure - restoration - on
Japanese Bungalow Rebat. How to handle back corner

Letter from Easement Committee - still in draft form

Part II done
of Application) — more comfortable w/ our (APC)
review

Spanish Mission

- Custom-made door where window is —
- 2 windows — w/ vents restore —
- Restoration of parquets —

→ North Elevation

remove board install window per historic photos

→ Install clay tiles on roof per historic photos

→ Gutter fall off

Copper half round to be installed

Japanese Bungalow

- Eave reconstruction
- Remove fire escape

Rear —

add new railing

Side —

Left — Reconstruct bay window per original photos
— install Basement window

Right — Install Diamond pane window

Left elevation

- dormer reconstruction —
- clearly define dormer per historic photo
- ~~recreate~~ install ornament

Tank House / Postmaster House

Utility Building

Basement Window to replace existing door under porch.

Paint color consultant

1st Floor

- stair reorientation
- Covered porch (rear) possible conversion (enclosure) for bathroom.

Stairs have been removed.

Left elevation

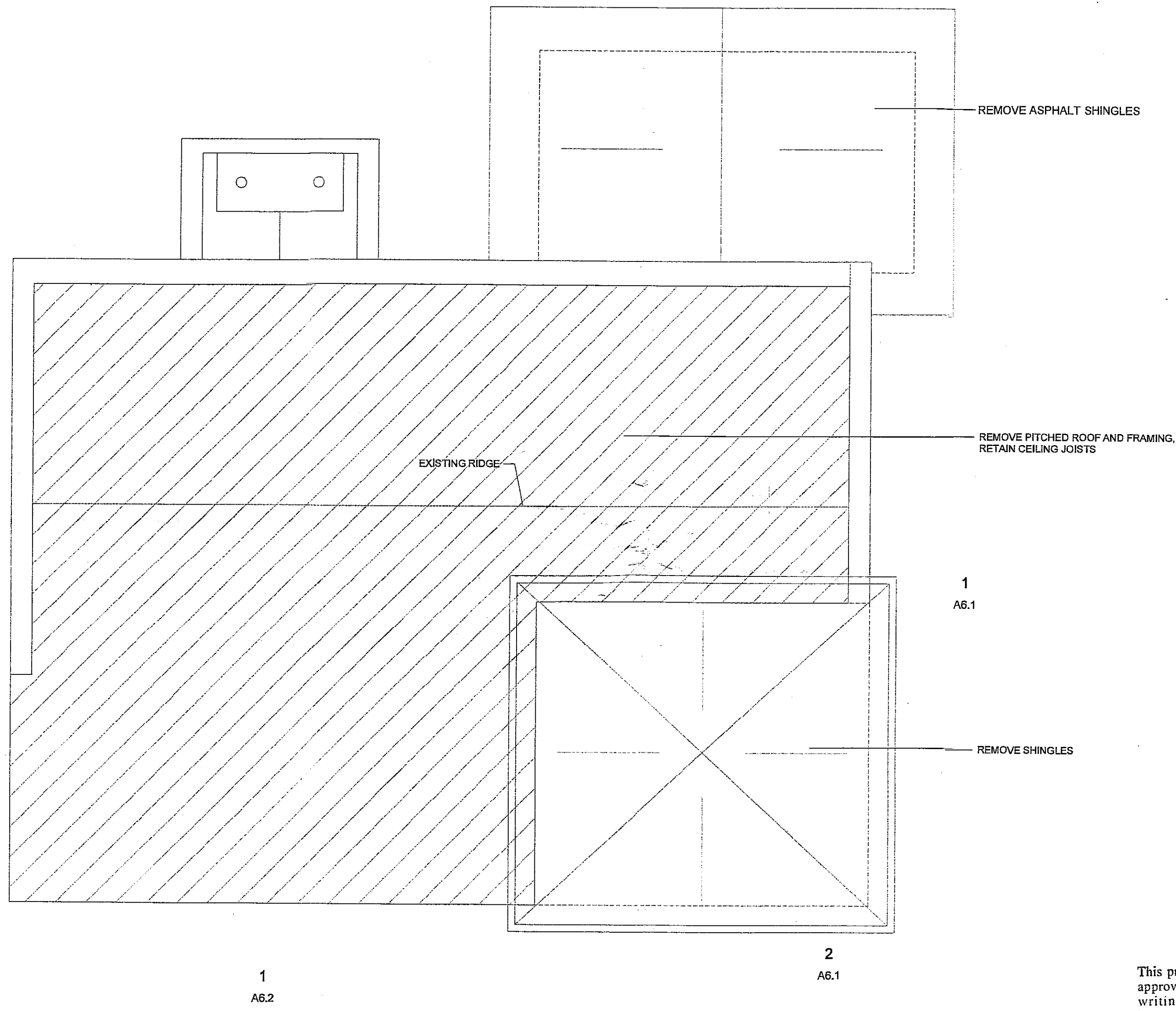
widen window opening

Rear. Window w/ bathroom enclosure

② Major Emergency

Roof structure — going ASAP

Mission
Japan Bungalow



2
A6.2 ROOF DEMOLITON PLAN
SCALE: 1/4" = 1'-0"

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 10/31/07

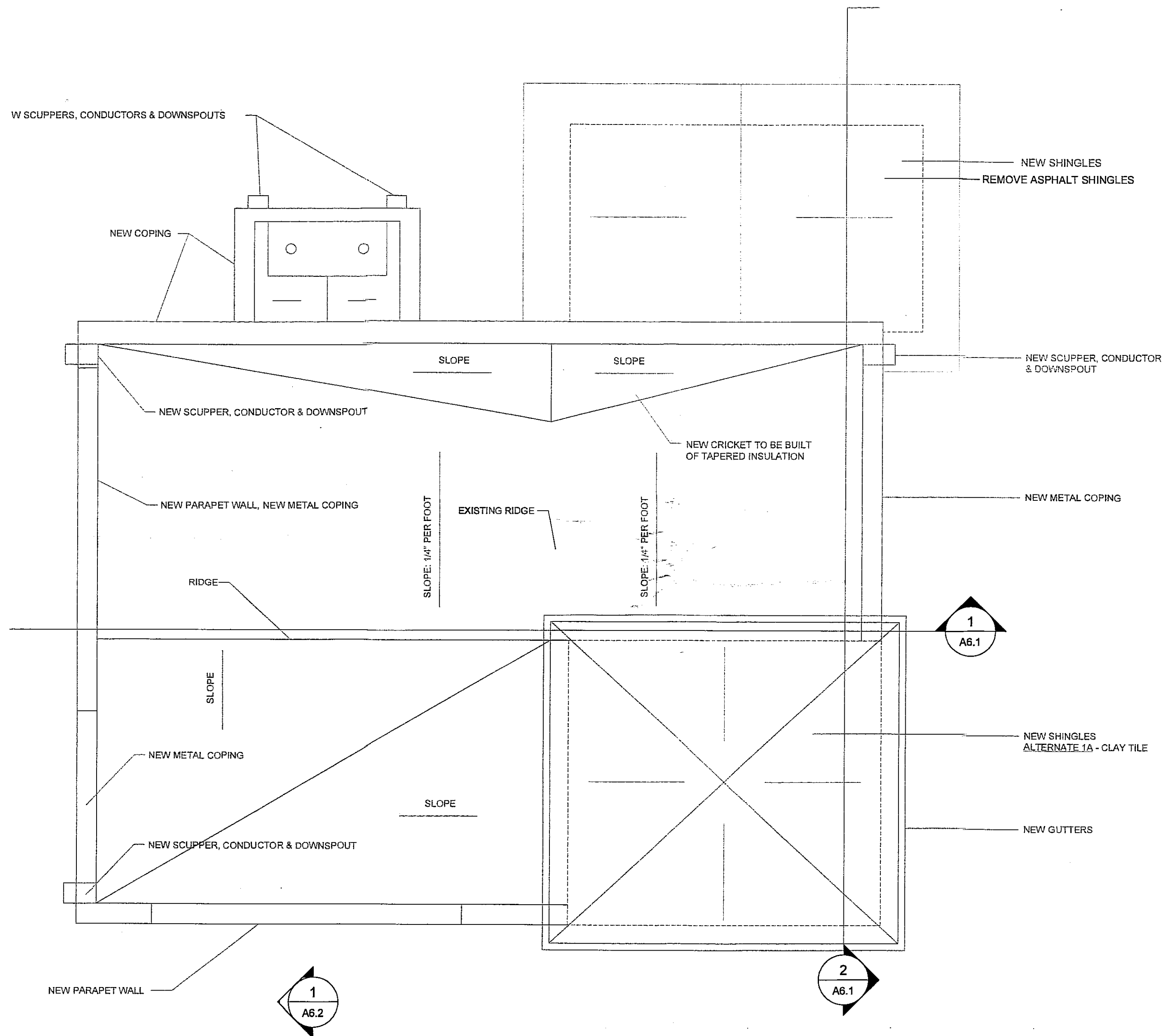
THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |

| | |
|-----------------|-----------------|
| Proj. Number: | |
| Proj. Designer: | Brian J. Bitner |
| Proj. Designer: | Jason Evans |
| Proj. Manager: | Todd Barrie |

| | |
|--------------|----------------|
| Scale: | Date: |
| 1/4" = 1'-0" | April 20, 2007 |

Sheet: **04** of 05



2 ROOF PLAN
A3.2 SCALE: 1/4" = 1'-0"

THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |

Proj. Number:
 Proj. Designer: Brian J. Bitner
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Barrier

Scale: 1/4" = 1'-0"
 Date: April 20, 2007

Sheet: **08** Of: 07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 4/20/07



1 NORTH DEMOLITION ELEVATION
 A5.1 SCALE: 1/4" = 1'-0"

1
 A5.2

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 10/3/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |
| | |

| | |
|-----------------|-----------------|
| Proj. Number: | |
| Proj. Designer: | Brian J. Bitner |
| Proj. Designer: | Jason Evans |
| Proj. Manager: | Todd Barrier |

| | |
|--------------|----------------|
| Scale: | Date: |
| 1/4" = 1'-0" | April 20, 2007 |

Sheet: 09 of 09



2 WEST DEMOLITION ELEVATION
 A5.2 SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Chantal Kline 10/31/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |

| | |
|-----------------|-----------------|
| Proj. Number: | |
| Proj. Designer: | Brian J. Bitner |
| Proj. Designer: | Jason Evans |
| Proj. Manager: | Todd Barrie |

| | |
|--------------|----------------|
| Scale: | Date: |
| 1/4" = 1'-0" | April 20, 2007 |

Sheet: 08
10



3 SOUTH DEMOLITION ELEVATION
 A5.2 SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia D. Adams 10/24/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

THETA MISSION
 National Park Seminary
 Silver Spring, MD

Proj. Number:
 Proj. Designer: Brian J. Bitner
 Proj. Designer: Jason Erans
 Proj. Manager: Todd Barrier

Scale: Date:
 April 20, 2007

Sheet: Of:
11



4 EAST DEMOLITION ELEVATION
 A5.A5.2 SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Signature 4/20/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |

Proj. Number:
 Proj. Designer: Brian J. Bigner
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Barner

Scale: Date:
 April 20, 2007

Sheet: 0f

12



1 NORTH ELEVATION
 A5.2 SCALE: 1/4" = 1'-0"

THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

Proj. Number:
 Proj. Designer: Brian J. Bitner
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Barrier

APPROVED
 Montgomery County
 Historic Preservation Commission
John A. Hill 10/31/07

Scale: Date:
 April 20, 2007

Sheet: Of:
13

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



2 WEST ELEVATION
 A5.2 SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
John L. ... 10/31/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

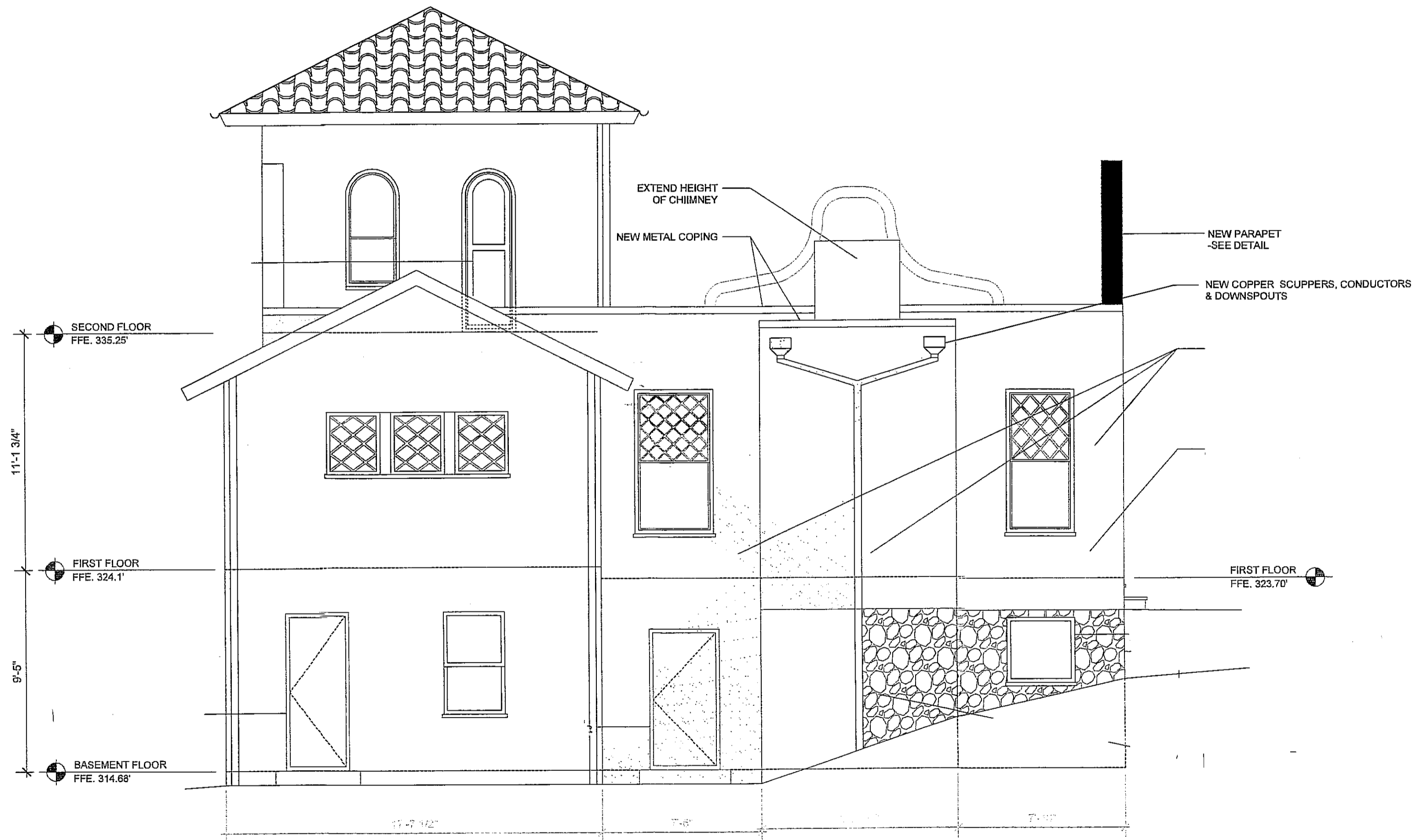
THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

Proj. Number:
 Proj. Designer: Brian J. Bitner
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Barrier

Scale: Date:
 April 20, 2007

Sheet: 08



3 SOUTH ELEVATION
 A5.2 SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Edward M. 10/21/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

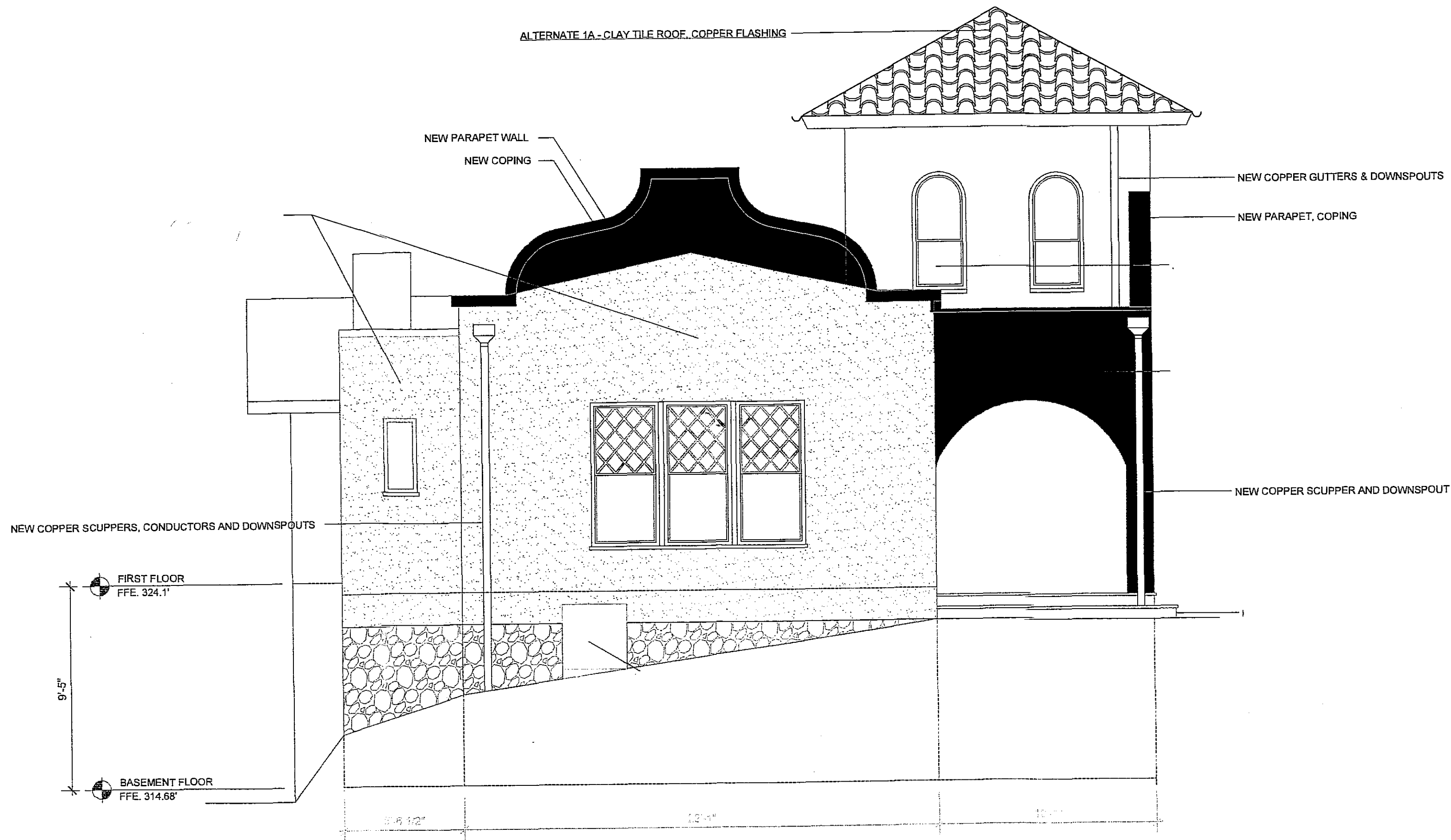
THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

Proj. Number:
 Proj. Designer: Brian J. Bitner
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Barter

Scale: Date:
 April 20, 2007

Sheet: OF
15



4 4 EAST ELEVATION
 AS 7.5.2 SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Jordan H. ... 10/31/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

THETA MISSION
 National Park Seminary
 Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |
| | |

Proj. Number:
 Proj. Designer: Brian J. Bitner
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Barrier

Scale: 1/2" = 1'-0"
 Date: April 20, 2007

Sheet: 16 of
 Proposed 1/2" Kitchen Elevations

2X4 FRAMING
16" O.C.

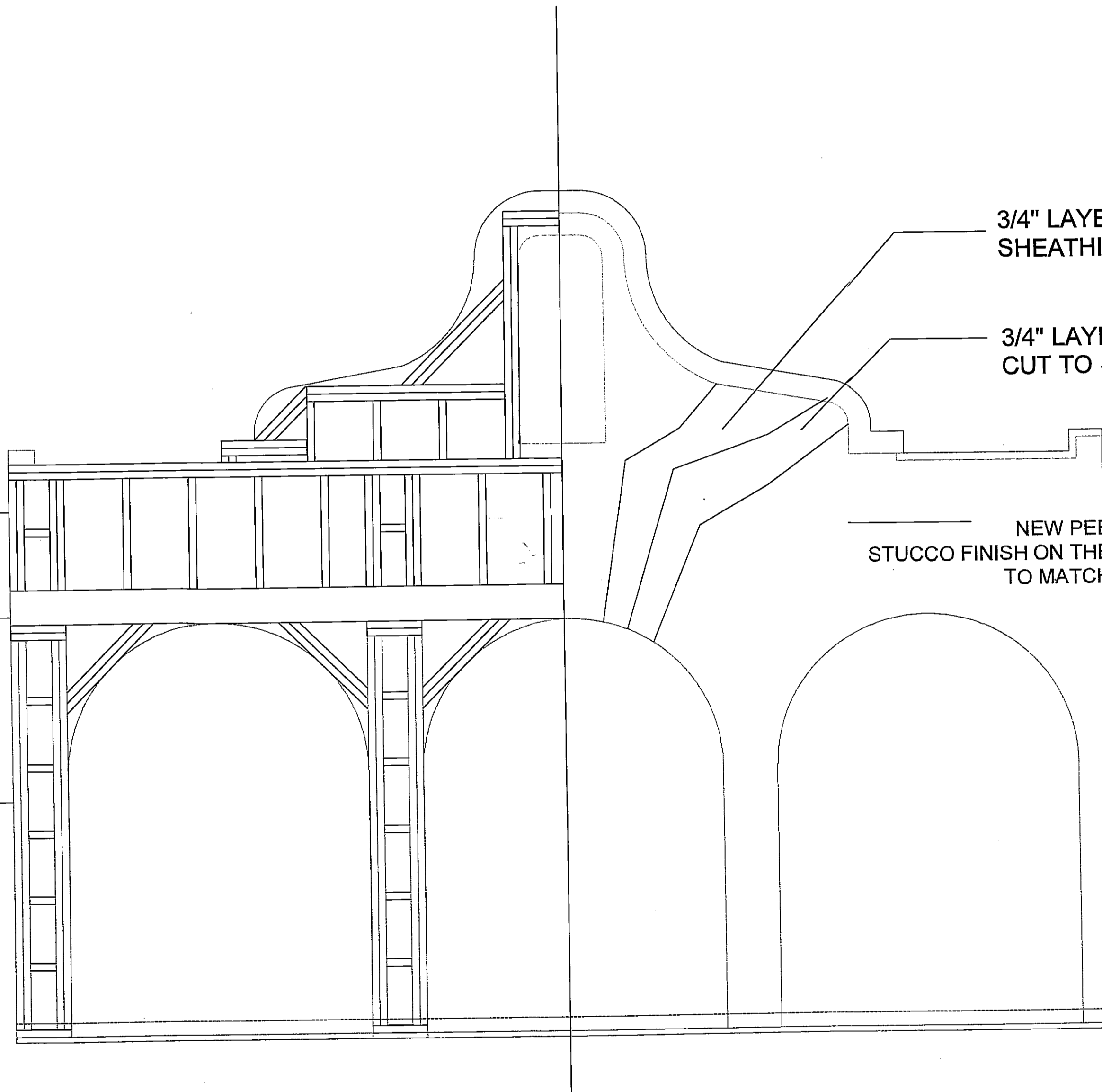
(2) 2X10

2X4 FRAMING
16" O.C.

3/4" LAYER OF CDX
SHEATHING CUT TO SHAPE

3/4" LAYER OF DUROCK
CUT TO SHAPE

NEW PEBBLE DASH
STUCCO FINISH ON THESE FACES
TO MATCH EXISTING



THETA MISSION
National Park Seminary
Silver Spring, MD

| Drawing Log | Date |
|-------------|------|
| | |
| | |
| | |
| | |

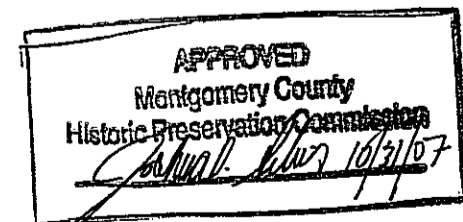
Proj. Number:
 Proj. Designer: Brian J. Bittner
 Proj. Designer: Jason Evans
 Proj. Manager: Todd Barrier

Scale: 1/2" = 1'-0"
 Date: April 20, 2007

Sheet: 0f

17

Proposed 1/2" Bath Plan



This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.