

36/1-05A 2801 Linden Lane

SITE PLAN

MP#36 National Park Seminary

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	2801 Linden Lane, Silver Spring	Meeting Date:	03/23/05
Applicant:	Forest Glen Ventures, LLC (David G. Vos, Agent)	Report Date:	03/16/05
Resource:	<i>Master Plan</i> Site #36/01 National Park Seminary Historic District	Public Notice:	03/09/05
Review:	HAWP	Tax Credit:	Partial
Case Number:	36/01-05A	Staff:	Tania Tully
PROPOSAL:	Rehabilitation, new construction, and site alterations	RECOMMENDATION:	Conditional Approval

STAFF RECOMMENDATION:

Staff is recommending the following:

1. Support of the site plan as revised with staff providing specific comments for the Planning Board.
 - a. Allow Linden Lane to remain as narrow as possible to retain the historic character of the district.
 - b. Support the fast tracking the reviews of this project for the good of the historic buildings.
 - c. The design of the interpretive signage will be reviewed and approved by HPC staff prior to completion of the project.
 - d. The proposed parking structure will be reviewed through the HAWP process.
 - e. The location and design of the new townhouse construction is conceptually approved. Specific architectural details will be reviewed through the HAWP process.
 - f. The location of the new single-family house is approved. Specific architectural details will be reviewed through the HAWP process.
 - g. Demolition of the Army buildings is conceptually approved, but will require a HAWP.
2. Approval for the rehabilitation of the Main Building.
3. The applicant may proceed to a HAWP for the new construction noted above after receiving approval from the Maryland Historical Trust.
4. The applicant should continue to work with staff on the rehabilitation plans for the remaining buildings.

PROPERTY DESCRIPTION

SIGNIFICANCE: *Master Plan* Historic District
STYLE: Eclectic
DATE: 1887-1942

The subject parcel 880 and part of 394 (just under an acre) encompasses approximately 33 acres and is

roughly bounded by I-495 on the north, a private road that runs parallel to the CSX line on the east, and Linden Lane on the south and west. The neighborhood west of the district consists of single-family residences constructed from the 1920s through the 1980s. The area to the east contains Army warehouses, commercial properties and single-family residences. South of the district is a vacant lot that will be built-out with new construction as part of this project and the Walter Reed Army Medical Center is south and east of that.

HISTORY:

The history of the site as described in the attached prior staff report is referenced herein. (Circles beginning A-41 and B-27)

PROJECT BACKGROUND:

Due to the complex nature of this project, which involves new construction in addition to rehabilitation, and because of the number of buildings, rehabilitation and Historic Area Work Permit (HAWP) applications will be phased. On October 13, 2004, the Commission made recommendations to the Planning Board on the property rezoning and the development plan (Circles beginning A-41). Additionally, the Commission approved the first HAWP for building stabilization with selective demolition (Circles beginning B-27).

Since that time, three important changes have taken place: the development team is in ownership of the property, the Maryland Historical Trust historic preservation easement is in place (Circles 15, 16), and the zoning change has been approved by the County Council.

PROPOSAL:

1. Rehabilitation of the Main Building (Bldgs 101, 104, 114, 116)
 - Demolition of non-historic brick stairwells
 - Window repair and rehabilitation
 - Window sash and sill replacement as needed
 - Roof top ventilators will be removed
 - Slate roof repair and replacement in-kind
 - Slate roof replacement with fiber-cement or asphalt imitation slate
 - New copper flashing, gutters, and downspouts
 - Clean and repoint exterior masonry
 - Rebuild missing and damaged sections of masonry
 - Repair and preservation of stucco – limited replacement where damaged beyond repair
2. New Condominium Construction
3. New Parking Structure Construction
4. Site improvements including replacement of drive and walkway materials. Most of the existing locations will remain.
5. Site Lighting
6. Landscaping

APPLICABLE GUIDELINES:

The guidelines listed in the attached prior staff report are still applicable and are referenced herein. (Circles beginning B-27)

STAFF DISCUSSION

This is a large and complex project. With this in mind staff has broken down the current proposal into four categories for the Commission's comments and decisions as appropriate. While absorbing the extensive and lengthy application staff would like the Commission to keep these categories in mind so that clear recommendations can be made to the applicants for each one.

A) *Site Plan*

The site plan currently presented is a refinement of the Development Plan the Commission saw at the October 13, 2004 HPC meeting. The relatively few changes are in response to comments from the Commission, the Maryland Historical Trust, and the National Park Service as well as from other departments within Park & Planning (Environmental, Transportation, etc.). The Commission should specifically note the following modifications to the plan (Circle A-4):

- Surface parking by the Music Hall and the circle has been reconfigured.
- A parking structure is proposed at the end of the Music Hall.
- The Right-of-Way for Linden Lane up to the intersection of Woodstock is 52' rather than 50'. (pavement is 28')
- The Site Plan will be presented to the Planning Board in two phases. The portion of the site by the Italian Villa will be presented with additional detail at a later date.
- A compromise with DPWT has resulted in the Right-of-Way for Linden Lane past the intersection of Woodstock changing to 20' wide on the NPS. At the Pagoda stoop there will be three feet, then curb and gutter, and then 20' of pavement.

Staff is looking for approval of these changes by the Commission. A written description of the site improvements is found on Circle 9. It is important to note that once the Site Plan is approved by the Planning Board, the configuration of elements on the site are locked into place. With this in mind, the Commission should focus on the following areas of the site plan:

- Proposed Parking – Staff is comfortable with the level of parking as proposed. The applicants have worked to pull parking away from the front lawn and tuck it into small chunks throughout the site. Parking locations are also reflective of grade changes and of the location of existing trees. Certainly it would be ideal for there to be no need to have additional parking, but it is a requirement of the residential use that will ultimately preserve the historic buildings.
- Parking Structure – The structure, as seen in Circle A-36 is preliminary in design, but its proposed location and footprint is roughly the same as the surface lot seen previously. Staff accepts the need for the structure and does not object to the location. It would sit at the location of the former Odeon Theater so there is a precedent for a building at this location. On the other hand, staff will need to see more detailed elevation drawings before it could proceed to a HAWP. The current design needs significant revision.
- New Town Homes – The footprints and locations of the proposed townhouses has not changed since October. The new construction within the district is concentrated towards the east end with fewer units in between the Gymnasium and the Maids Quarters/Practice Hall. The scale of the

new construction in comparison with the historic buildings can be seen in the sections provided in Circles C-3. Due to the topography of the site, some of the new buildings will be taller than the Practice Hall and power Plant, but the reduction in the number of units will allow for a better view of the historic buildings from the main entrance off of Linden Lane. In addition, they are smaller in scale than the gymnasium. Most of the infill construction will replace non-contributing concrete block Army-era buildings.

- New Single Family House – A new single-family residence is proposed to the west of the Swiss Chalet due to a slight reduction in land available south of Linden Lane.
- Linden Lane – The Commission has already recommended that Linden Lane be allowed to remain as narrow as possible, and despite the apparent increase in ROW, it is narrower than what the transportation officials would prefer. The applicant has applied for a waiver to allow the 52' ROW. If the road is required to be widened, staff recommends that the Commission support a waiver allowing the widening to be as minimal as possible. Bump-outs and on-street parking are included as measures to reduce traffic speed through the area into the adjacent neighborhoods. The proposed changes to Linden Lane past Woodstock will unify the pavement width at 20' and add curb and gutter. With the bump outs and parking that precede this section, there will be a continuous 20' drive lane through the entire site.

B) Main Building Rehab

The HAWP resulting from this application is for the rehabilitation of the Main Building (101), including Senior House (101b), Senior Annex (101f), the Music Hall (104), the Chapel (114), and Aloha House (116). Most of the work will be either on the interior or repairs and replacement in kind as described in Circles 10-13, however, there are a few exterior changes that necessitate this HAWP (Circles 12 and 14). Staff is recommending approval from the Commission for this massive rehabilitation effort. The project adheres to the Secretary of the Interior's Standards for Rehabilitation favoring retention of historic materials over replacement and sensitive repair of excessively damaged historic material.

In order to aid the review and decision-making process, staff has noted any exterior changes beginning on Circle B-6. Additionally, the applicant has provided annotated photographs on Circle B-2. Items to specifically note include the following:

- A small stucco non-historic addition will be removed from the south side of the east end of the building. (Circle B-8)
- The Army era fire structures will be removed.
- The roofing materials will be repaired and replaced as needed. Some slate will be replaced with imitation slate material as noted on Circles B-2 through B-5.
- Dormers will be rebuilt on the north side of the east end of the building. (Circles B-5 and B-17)
- In-filled arches will be restored to original appearance (Circle B-2).
- The existing wood windows will be retained and repaired where feasible with limited in-kind replacement.
- The existing wood doors will be retained and repaired where feasible with limited in-kind replacement.
- Remaining stained glass windows will be retained and repaired.
- Porches will be retained and repaired.

C) New Construction

At this time, staff is recommending concept approval of the new construction location and design. The applicant will come forward with a new or amended HAWP at a later date. As with the rest of the project,

the applicant has worked very closely with the Maryland Historical Trust on the new construction. Current building locations and massing is based in large part on comments by the MHT Easement Committee and Rehabilitation Tax Credit staff. The façade designs have been similarly influenced. In order to reflect the variety of architecture found within the district, the new construction will consist of three styles: Tudor, Mission, and Colonial Revival. Materials will be modern interpretations of historic materials (Circles C-1 and C-2).

Staff is generally supportive of the design of the new construction and looks forward to further review as more details are provided. The location and massing of the new townhouses is generally sympathetic to the surrounding historic buildings and makes use of the existing topography. While using architectural styles taken from the historic buildings, the designs are not replicative and will be easily distinguishable as new (Beginning on Circle C-4). It is appropriate at this time for the Commission to make general suggestions to the applicants regarding design and materials. Staff notes the following:

- The cornice lines within each block of buildings are irregular.
- Window details are not specified. Staff recommends wood simulated divided light windows with or without aluminum cladding.
- The painted synthetic simulated wood products are not specified. Staff would not support any vinyl or other plastic products.
- The windows on the Colonial Revival buildings are a mix of 4/1 and 9/1. Staff recommends the use of one or the other on each building block.

The additional information that will be needed at the time of HAWP application must include, but is not limited to, the following:

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings and other fixed features of the existing resources and the proposed work.
- Elevations with marked dimensions. All materials and fixtures for the proposed exterior work must be noted on the elevation drawings.
- The site and environmental setting drawn to scale – focusing on the areas of new construction. This will include the dimensions of existing and proposed structures and the location of landscape elements.

D) *Rehabilitation of the Remaining Buildings*

The applicant has provided blocking plans for your initial review (Beginning on Circle D-1). These are very preliminary in nature and will change as the applicants receive further comments on the interior plans from MHT and the resulting exterior components from staff. These drawing are intended to show the proposed use of each of the remaining buildings that will inform the designs.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the conditions stated on Circle 1;

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
301/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAVID VOS
Daytime Phone No.: (608) 268-8112

Tax Account No.: _____
Name of Property Owner: FOREST GLEN VENTURES LLC Daytime Phone No.: (608) 258-5580
Address: 145 EAST BADGER ROAD, SUITE 200 MADISON WI 53713
Street Number City Street Zip Code
Contractor: STRUBNER BROTHERS EGGES & ROUSE Phone No.: (443) 573-4080
Contractor Registration No.: _____
Agent for Owner: DAVID G VOS Daytime Phone No.: (608) 268-8112

LOCATION OF BUILDING/PREMISE

House Number: 2601 LINDEN Street: LINDEN LAVE
Town/City: SILVER SPRING Nearest Cross Street: WOODSTOCK COURT
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: REDEVELOPMENT PER PLANS

1B. Construction cost estimate: \$ 45,000,000

1C. If this is a revision of a previously approved active permit, see Permit # 359221

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: _____ feet _____ inches (VARIES - SEE PLAN)
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 02/24/05
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

375455

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached exhibits

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached exhibits

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 6 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

8

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

1. SITE IMPROVEMENTS

Existing: The National Park Seminary is located on two parcels covering a total of 32 acres and containing a forested glen and two streams. The primary access to the buildings was across three bridges spanning to the north. Access to the front (North) side was terminated when the bridges were demolished through neglect and upon construction of the North Capitol Beltway.

Narrow drives within the site connect to Linden Lane at five different points. Limited parking is available on the South portion of the site. Portions of concrete walkways remain hinting the original connection and orientation to the glen. Stone buttresses and retaining walls remain at the edge of the glen where bridges once crossed.

In addition to the Main Building (Bldgs 101, 104, 114 and 116) there are 19 other historic contributing structures on the site and 4 noncontributing concrete block structures (Bldgs 185-188) and two noncontributing houses (Bldgs 135 & 139) (See the Historic District Plan). Some original specimen trees, statuary, vines and shrubs remain.

Proposed: The site will be subdivided into numerous parcels all deed restricted to ensure historic preservation. The deed restriction will require approval of physical improvements by the Maryland Historic Trust. A neighborhood association, comprised of the owners of all subdivided lots, will be formed to maintain the outlots and community amenities. The forested glen will be the subject of a conservation easement with Montgomery County.

The Main Building (which for this application includes the Senior House (101b), Senior Annex (101f), Music Hall (104), Chapel (114) and Aloha House (116)) will occupy three subdivided parcels. The only portion of the Main Building that is utilized for rental housing is (101a,c,d&e). The remaining portion of the building and the other buildings will be on separately owned parcels and converted into condominiums and single-family homes. Rehabilitation plans for the remaining existing buildings will be submitted HWAP amendments.

New condominiums will be constructed on vacant parcels replacing the noncontributing concrete block structures and in other underutilized areas of the site. The buildings will be of similar scale and style to the existing structures, however, differentiated by modern materials (See the narrative attached to the elevations). The Site Plan, Elevations and Site Sections provide the location and scale of the proposed buildings.

The existing drives and walk locations will be retained as much as possible, however their condition warrants replacement in most areas. A new two level 100 stall parking structure will be constructed to the north of the Music Hall where the Odeon Theater once stood. The structure will be flush with the grade on its south (building) side and be one story above grade on its north (glen) side. The attached parking lot will follow the proximate contours of the existing lawn in order to preserve the existing specimen trees.

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

Parking lot and drive lighting will be modern non-period lighting (See lighting plans).
Landscaping will be provided as identified in the landscape plans.

Drawings: SP1A-SP12, L0-0 – L4-2, L1-1 –5; Building Elevations and Narrative prepared by Lessard Group; Blocking Plan Set for Buildings 107-138, Schematic Documents (Sheets T-1 – A6.7) for the Main Building and Historic District Plan, all prepared by The Alexander Company.

2. BUILDING PLAN

TYPICAL CORRIDORS

Existing: Most floors contain original double loaded corridors with individual or adjoining rooms on each side. Single loaded corridors exist in the Ballroom and in the Music Hall. Noncontributing brick stairwells were added by the Army to eliminate dead end corridors and to reduce exiting distances as required for medical facilities.

Proposed: Many of the brick stairwells that have an adverse effect on the exterior will be demolished and the facade rebuilt to match the original (post Ament era). Many secondary corridors will be shortened to eliminate noncompliant dead end situations. Primary corridors will remain.

Drawings: A2.0-A3.4, A5.1-A5.4

TYPICAL WALLS

Existing: Walls are constructed of wood studs with wood lath and plaster. Plaster conditions vary from fair to unsalvageable depending on the degree of water infiltration and water/steam leaks. Wood trim, base and casing are present in both the hallways and individual rooms. Wainscoting exists in some rooms. Wood trim is in varying condition from good (Ballroom) to unsalvageable (portions a Sectors a,b and d of the Key Plan).

Proposed: Many interior partitions will be selectively demolished to make room for the adaptive reuse or because of their condition. Stub walls and headers will remain in order to provide an indication of their former locations. Wood trim, casing and base will be salvaged and reinstalled on retained and reconstructed walls. Existing plaster walls will be repaired per Specification Section 09950 and new walls drywalled. New base will consist of simple wood sections and vinyl base. New doors will not receive casing.

Drawings: A2.0 - A3.4,

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

TYPICAL CEILINGS

Existing: Wood Ceilings were removed from the main dining area and were replaced with acoustical tiles. The original wood trimmed beams remain and are in varying condition from good to unsalvageable (north portion of Sector e). Wood beams and ceiling in the ballroom remain in good condition. Tin ceilings exist in varying condition in the kitchen area (southeast portion of Sector e). All other ceilings are plaster ceilings of varying condition from fair to unsalvageable)

Proposed: Wood beaded ceilings will be reconstructed in the area of the dining room that is to become the community room. Wood ceilings will be cleaned and refinished in the ballroom. Tin ceilings will be retained in the former kitchen area and refinished. Plaster ceilings will be repaired, when possible per Specification Sections 09950 - 09970, or replaced with drywall. New ceilings will be drywall.

Drawings: A2.0 - A3.3

TYPICAL FLOORS

Existing: Most floors are hardwood floors with the exception of hearths, the former kitchen and the areas where water damage required replacement. Replaced floors were constructed of plywood. The conditions of the floors range from good (ballroom) to unsalvageable (numerous areas). The floors in the Senior house and many of the floors over crawl spaces and steam tunnels have collapsed or are in the process of collapsing. These floors will be completely removed and reframed.

Proposed: Salvageable wood floors will be sanded and refinished in selected areas of the building where the floors are level to an acceptable tolerance (See specification 09550). Corridors will be carpeted to reduce noise. Other flooring will consist of vinyl flooring (all kitchens and baths) and carpet over pad (remaining living rooms, dens and bedrooms) over floor leveling where floors are out of level by more than 1/2" in 10' (See Specification Section 03650).

Drawings: A2.0 - A3.4

TILE

Existing: Some tile remains in original bathrooms and around some fireplaces. Many tile pieces are broken or missing.

Proposed: Salvaged tile will be used to repair fireplace mantels and hearths and to patch floors in areas where bathrooms will remain. (See Specification Section 09300)

Drawings: A2.0- A3.3

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

TYPICAL DOORS

Existing: Most Interior doors are in good to fair condition. Exterior doors are in good condition where protected from the elements and in fair to unsalvageable condition elsewhere.

Proposed: Interior doors located in walls that are to be retained will be refinished. Damaged and unoriginal hardware will be replaced with hardware salvaged from doors that were in demolished partitions. Unusable doors facing the corridors will be fixed closed and refinished on the corridor side (new walls will be constructed behind them on the unit side). All retained doors will be repaired and refinished. Replacement doors in existing locations will be milled to match the original. New doors in new partitions will be flush wood doors.

Drawings: A2.0- A3.4 & A7.1- A7.3

TYPICAL WINDOWS

Existing: Most windows are in salvageable condition although many sills, bottom rails and some jambs are damaged beyond repair. One leaded stained glass windows remains in the attic of the south side of the main building. Original clerestory windows remain in the kitchen, however original skylights have been removed.

Proposed: Wood windows will be repaired per Specification Section 08615. Unsalvageable sashes and sills will be replaced with identical sections. Windows will be refinished, weather-stripped and re-roped or fixed closed. The stained glass window will be repaired per Preservation Brief 33. Skylights will be replaced with unit skylights and clerestory windows repaired.

Drawings: A5.1 – A5.4

CABINETS

Existing: Some original cabinetry remains although it is generally of simple low quality built-in wood shelving and drawers with little or no detailing. The army installed metal medical and laboratory cabinetry in various locations.

Proposed: Very little shelving or cabinetry will be retained. New cabinets will be plastic laminate with flush doors and wire pulls.

Drawings: A7.1- A7.3

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

HVAC

Existing: Heating is provided via steam heat from the central heating plant. Radiators line the perimeter of the building. Steam piping leaks are commonplace in the building. No air conditioning exists and ventilation was accomplished with roof top power ventilators supplied by large grills in the corridors.

Proposed: All steam piping, condensate lines and radiators will be removed. Roof top and through-wall ventilators and ductwork will be removed where accessible. HVAC will be accomplished via a two-pipe water source system. The boilers will provide heated water in the winter and the chillers will provide chilled water in the summer to the air-handling units in each of the apartments. The air-handlers will be installed horizontally above a dropped soffit in each of the units. Proposed dropped soffit locations will be submitted as an amendment to this Part 2 once the locations are coordinated with the HVAC contractor. (See Specification Section 15500).

Drawings: A5.1

PLUMBING

Existing: Much of the existing plumbing is in poor condition due to freezing conditions. Broken pipes are responsible for much of the water damage that has occurred in the building, especially in the Senior House (Sector b) where floors have collapsed.

Proposed: All plumbing waste, water and vent piping will be removed. Some tubs and pedestal sinks will be retained for reuse on the third floor of the main building where ceiling heights do not permit fiberglass modules. New plumbing including fixtures, equipment and piping will be provided throughout the building.

Drawings: A3.0 – A3.3, A7.2

ELECTRICAL

Existing: Most of the fixtures within the building are unoriginal. Original fixtures are limited to grand spaces such as the ballroom. Electrical service includes cloth-insulated wiring and fuses and must be replaced.

Proposed: Original fixtures will be retained and repaired. New fixtures within the apartments will be limited to can lights and strip fixtures over the vanities. Hallway lighting will be provided with wall sconces and pendant fixtures depending on ceiling height and accessibility. These fixtures will be submitted as an amendment to this Part 2 for approval.

Drawings: A5.1 & A5.4, A7.2

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

ROOF

Existing: The existing roofs are of various constructions. There are slate roofs of many types, sloped metal roofs of two types flat metal roofs, asphalt built-up roofing and shingles. Most of the roofing is leaking and needs to be replaced. Much of the roof decking has rooted out exposing the underside of the slate from the attic spaces, especially near valleys. Gutters and downspouts exist on some roofs and are no longer safely secured.

Proposed: The slate roofs on the front of the building and on turrets and hipped projections (where indicated on the elevations) will be repaired and replaced with salvaged slate material per Preservation Brief 29. Other slate roofs will be replaced with fiber-cement shingles cast from slate patterns or asphalt Slateline shingles per Specification Section 07310 depending on its visibility (slope of the roof height above grade and location) see elevations for locations. Damaged roof deck will be replaced with 3/4" T&G OSB and covered with felt. New copper flashings, gutters and downspouts will be installed to replace the existing.

Drawings: A5.1 – A5.4, A2.5, A3.5

MASONRY

Existing: Most of the masonry is stone although some brick masonry exists mainly on the fireplaces, chimneys and the army-built stairwells. The condition of the masonry walls range from fair to poor condition. Failure of the stone is occurring on the north side of the senior house.

Proposed: The exterior masonry and stone will be cleaned and tuckpointed per the Specifications Section 04500 Masonry Restoration and Cleaning. Missing and badly damaged sections will be rebuilt.

Drawings: A5.1 – A5.4

STUCCO

Existing: The stucco is in fair condition. Caulking is required around decorative wood trim, windows and doors. Damaged stucco exists primarily below leaking balconies

Proposed: Stucco will be preserved and repaired per Preservation Brief 22. Soffits that are damaged beyond repair (under failing balconies) will be replaced with stucco on wire lath or EIFS to match.

Drawings: A5.1 – A5.4



Robert L. Ehrlich, Jr.
GOVERNOR
Michael S. Steele
LT. GOVERNOR
Victor L. Hoskins
SECRETARY
Shawn S. Karimian
DEPUTY SECRETARY

March 4, 2005

Mr. David G. Vos
Alexander Company
145 East Badger Road
Suite 200
Madison, Wisconsin 53713

RE: MHT Easement Committee Review
Forest Glen

Dear Mr. Vos:

Thank you for your letter, received on February 16, 2005, and your appearance before the Easement Committee of the Maryland Historical Trust on February 22, 2005, to explain the progress and request approvals for certain work at Forest Glen.

Based on the recommendation of the Easement Committee, I approve of the work as outlined in your letter. This approval is conditional on the Trust reviewing and approving the final construction documents for these various construction projects. Please submit construction documents for review and approval as they are developed. My comments below follow the same sequence as your letter.

Phasing: As noted in your letter, the first phase of this project will be the construction and rehabilitation south of the Glen and certain utility and stream channel protection work in the Glen during the years from 2005 through 2008. Included at this time are the schematic and rehabilitation plans for the Main Building, Aloha House, Chapel and Music Hall. The work proposed in these areas is acceptable as shown.

Schematic plans for the construction of a new house on Lot 59 and a two level parking structure as well as plans for the remaining historic structures are acceptable, but more detailed plans will need to be submitted for approval.

Selective demolition of the Senior House will now include the removal of the existing roof and the construction of a new roof probably reusing the existing slate on the rebuilt roof. This change from earlier plans is approved.

Phase Two of the project will not occur before 2006 and will include construction of new town homes on lots 65-73; rehabilitation of the Castle; rehabilitation, selective demolition and an addition to the Villa. This work could include reconstruction of the bridge across the Glen. This work is approved conceptually but further details will need to be submitted as the development process moves forward.

DIVISION OF HISTORICAL AND
CULTURAL PROGRAMS
100 Community Place
Crownsville, MD 21032
PHONE 410-514-7600
TOLL FREE 1-800-756-0119
FAX 410-987-4071
TTY/RELAY 711 or 1-800-735-2258
WEB www.mdhousing.org



15

Mr. David G. Vos
Page 2
March 4, 2005

Demolition/Relocation: Six non-contributing structures will be demolished as well as the Poultryman's Cottage. The eastern half of the Italian Villa will also be demolished as part of Phase Two and building 135 will be relocated to Woodstock Court. This work is approved.

Sitework: Much of the existing infrastructure will be demolished including but not limited to steam tunnels, parking lots and roadways. Significant historic elements including many walkways, roadways, gardens, stairs and statuary, etc. will be retained. This is also approved.

This is a very large project and I commend you for your diligence in coordinating and directing the interaction with the Trust. The approvals for the above work are general and conditional where planning is still going on and more specific where plans are formulated, such as the selective demolition of the Senior House. Please be cautious and keep the Trust informed of your actions as they are developing. As you actually begin work in the historic areas, please give us as much notice as possible so that we may be able to do a site visit if necessary.

This project is being coordinated between the Easement office and the Tax-Credit office. Please make sure that they are both kept informed of the plans as they develop. At the moment Collin Ingraham, for Tax-Credits is taking the lead. We look forward to your offer to conduct a site visit later in March.

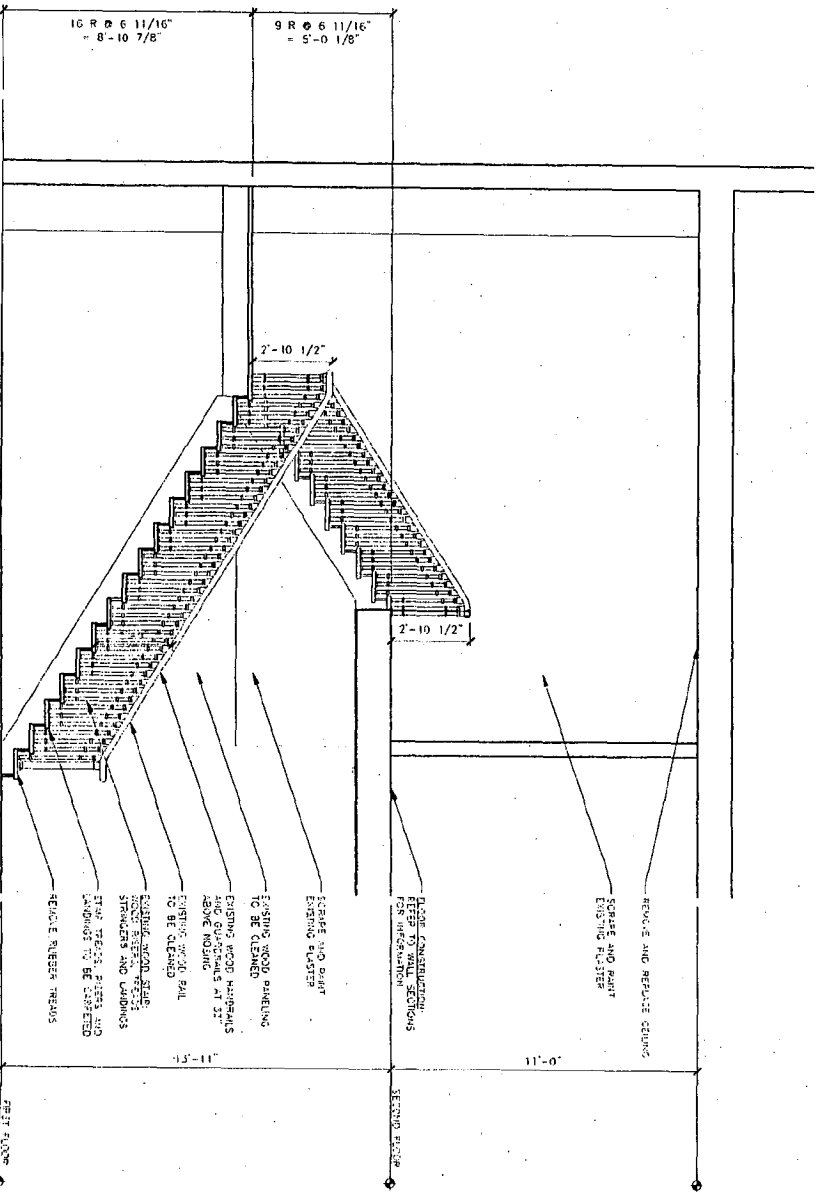
The above approvals are for one year from the date of this letter. As your plans develop please send them to the Trust for review and approval. For further information please contact Collin Ingraham or Richard Brand at 1-800-756-0119 x7634 or by email at brand@dhcd.state.md.us.

Sincerely,

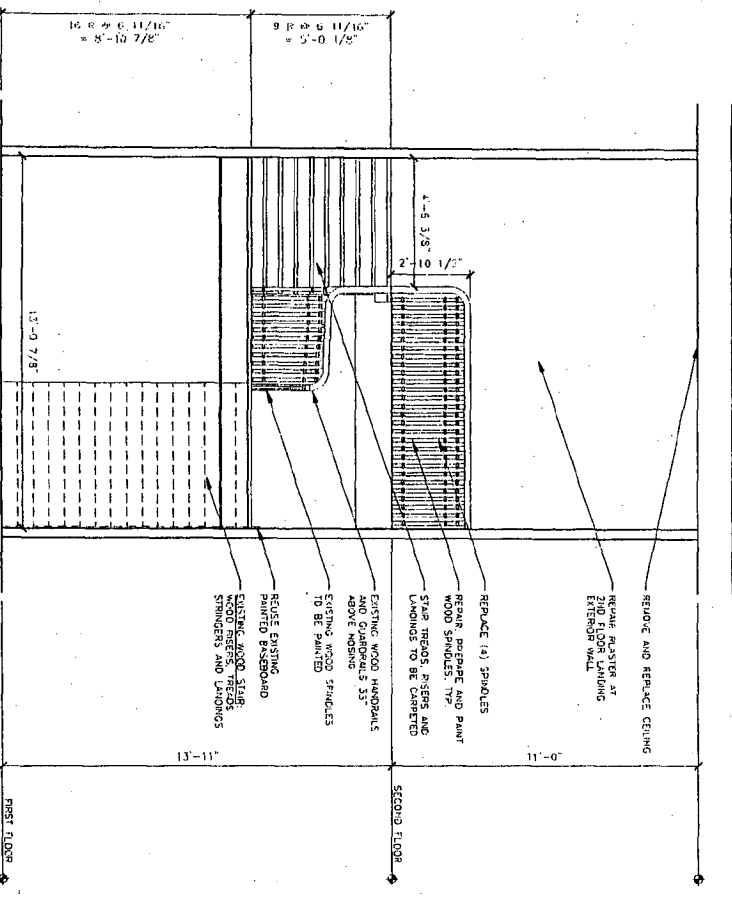


J. Rodney Little
Director

cc: Collin Ingraham



STAIR S-5 SECTION
SCALE: 3/8" = 1'-0"



STAIR S-5 SECTION
SCALE: 3/8" = 1'-0"

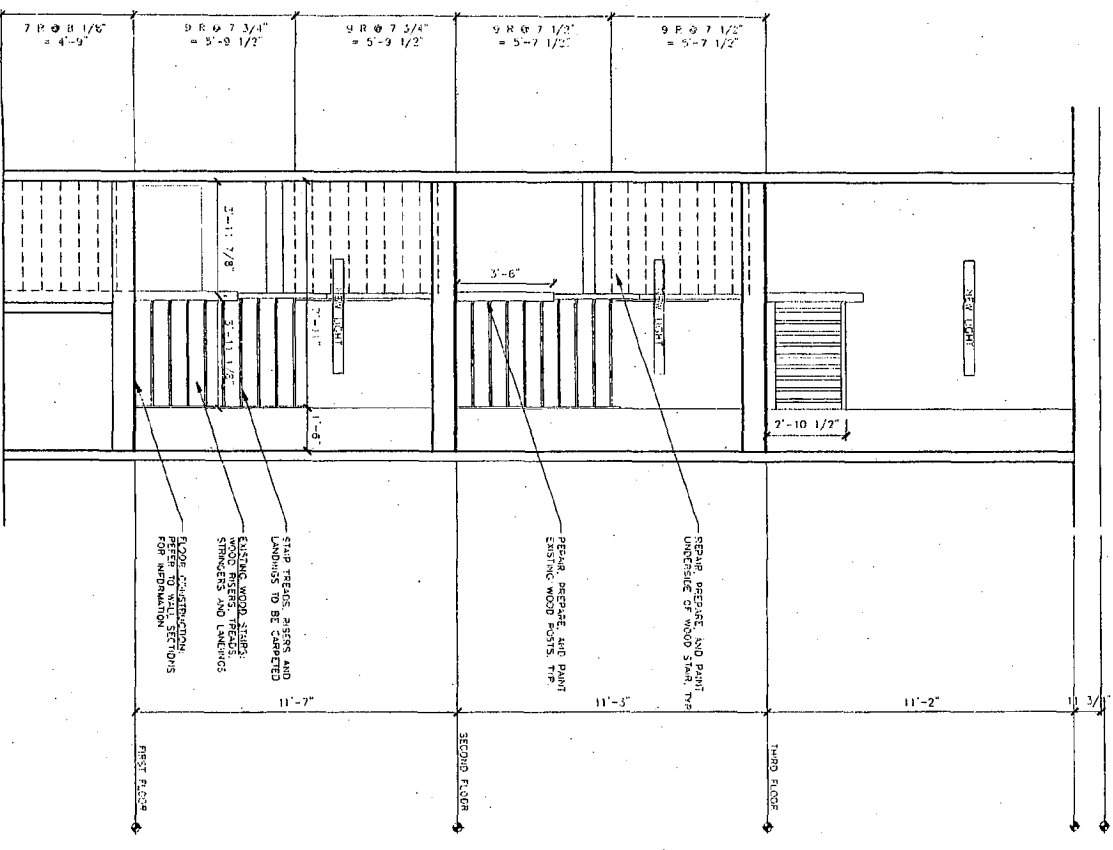
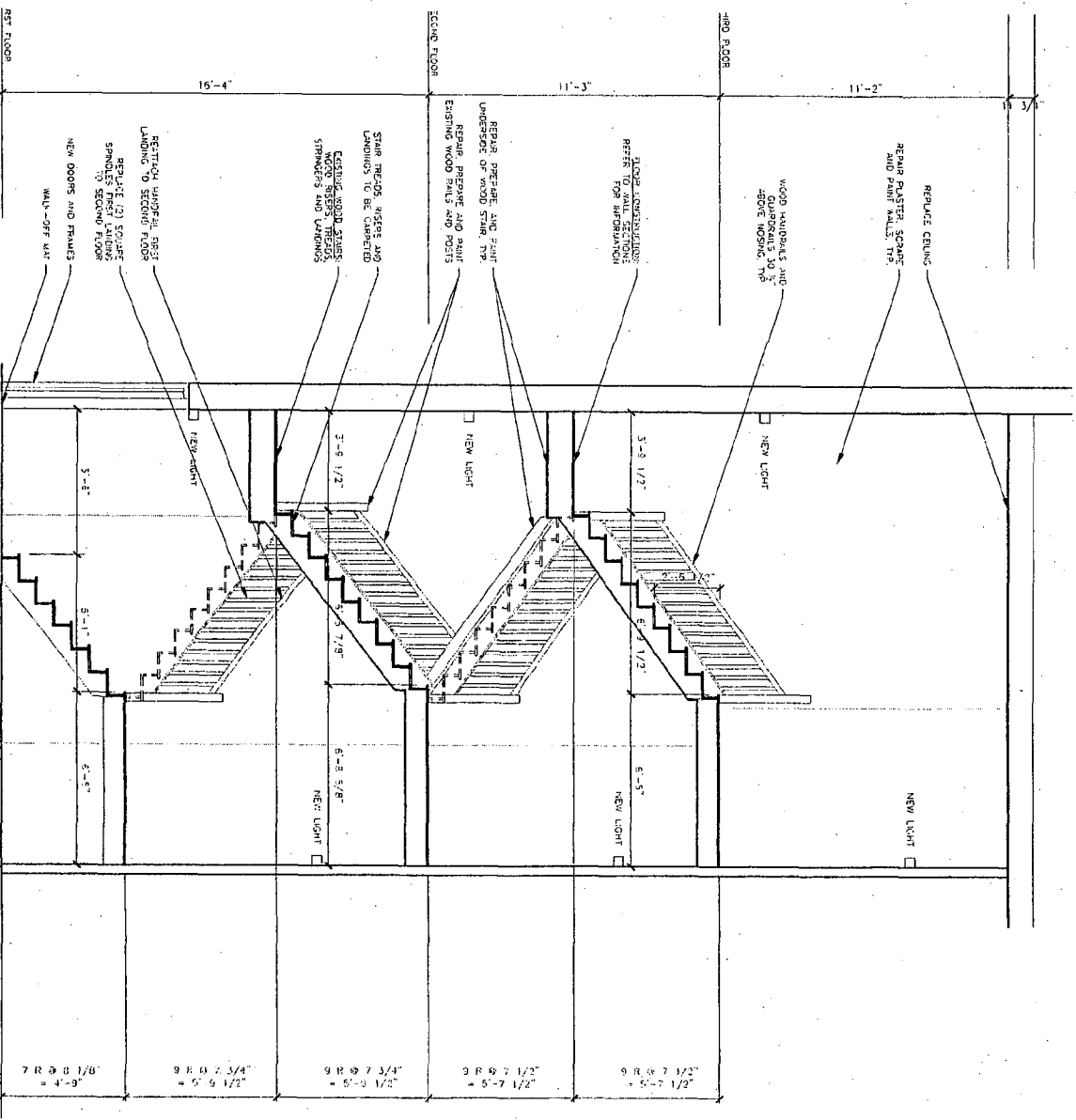
STAIR SECTIONS - STAIR (S-5)			
DRAWN:	APPR.:	DATE:	SCALE:
5-28-04	PART I	11/9/04	3/8" = 1'-0"
9-16-04	PART I AMENDMENT #1		
11-24-04	SCHEMATIC DESIGN		

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

SHEET NO.
PROJECT NO.
03-537
A 27



X
A-V
SCALE: 3/8" = 1'-0"

STAIR S-3 SECTION

X
A-V
SCALE: 3/8" = 1'-0"

STAIR S-3 SECTION

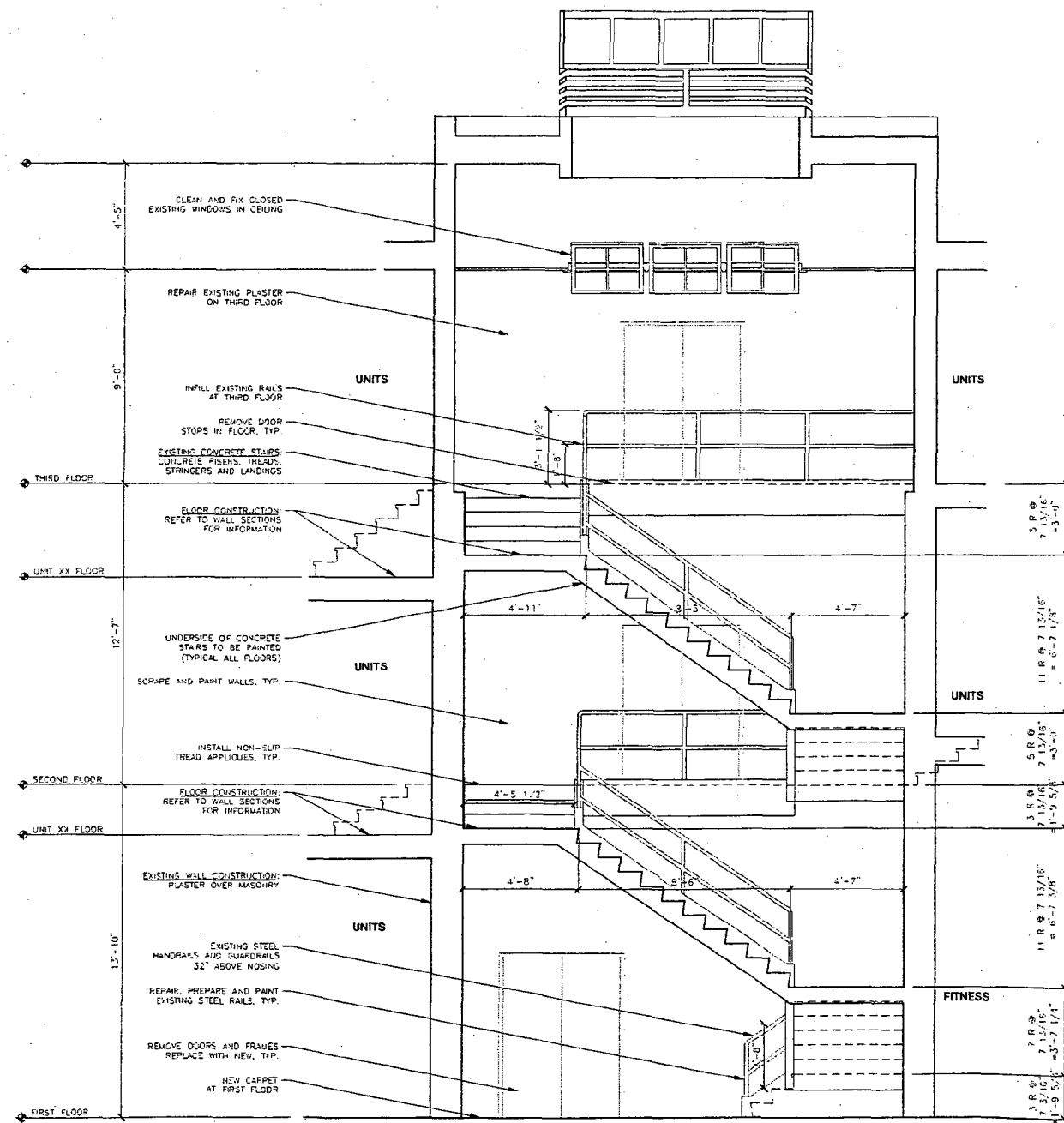
STAIR SECTIONS - STAIR (S-3)	
DRAWN: ASK	APPR.: []
DATE: 11/9/04	SCALE: 3/8" = 1'-0"
6-28-04	PART II
9-16-04	PART II AMENDMENT #1
11-24-04	SCHEMATIC DESIGN

NATIONAL PARK SEMINARY
 MAIN BUILDING
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND

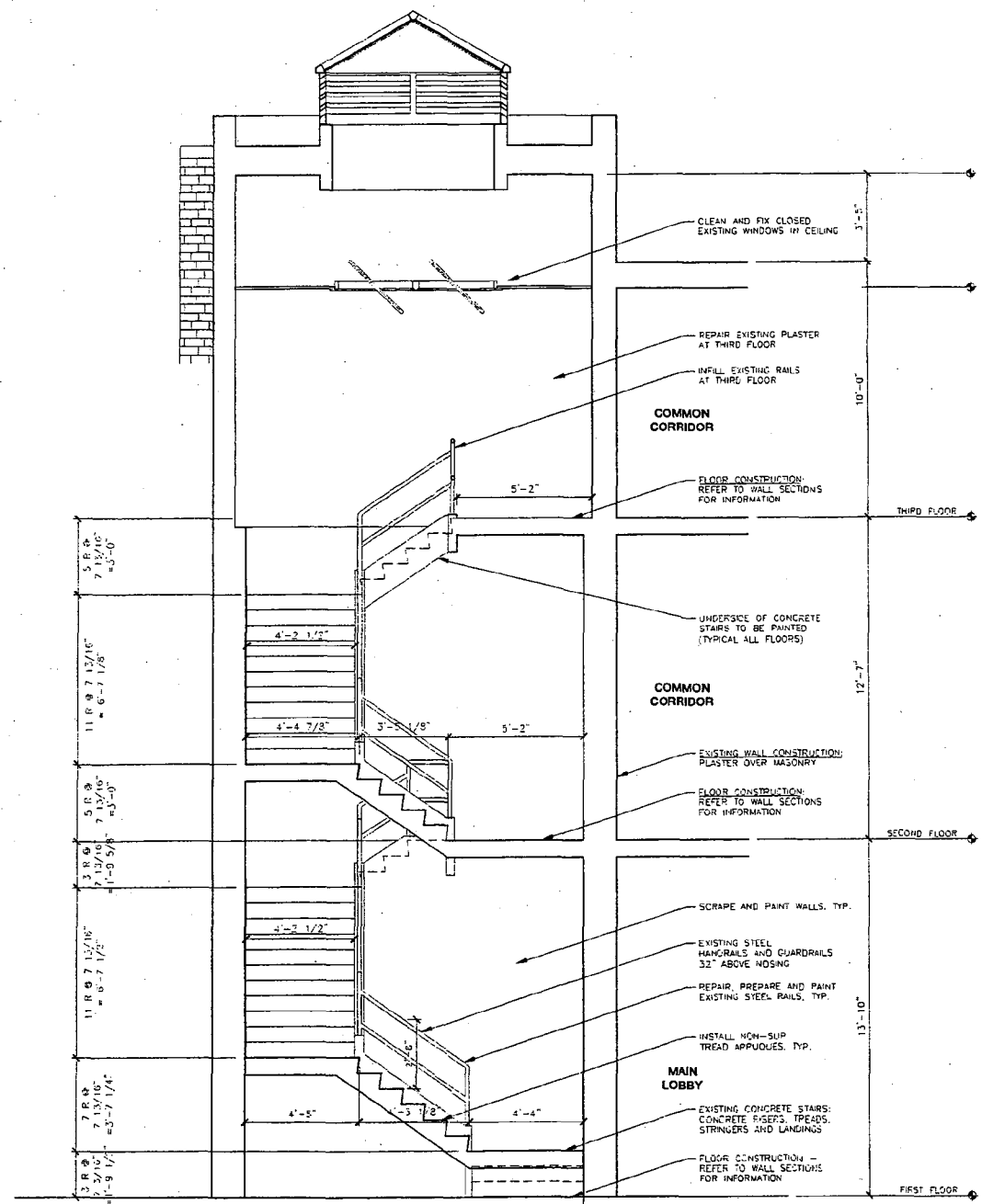
PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
 NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
 145 E. BADGER ROAD, SUITE 200
 MADISON, WISCONSIN 53713
 TELEPHONE 608-258-5591
 FAX 608-258-5599

SHEET NO.
 03-537



X
A6.X STAIR S-2 SECTION
SCALE: 3/8" = 1'-0"



X
A6.X STAIR S-2 SECTION
SCALE: 3/8" = 1'-0"

Architecture, Planning & Construction
URBAN RESOURCES
 145 E. BADGER ROAD, SUITE 200
 MADISON, WISCONSIN 53713
 TELEPHONE 608-258-5591
 FAX 608-258-5599

PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
NOT FOR CONSTRUCTION

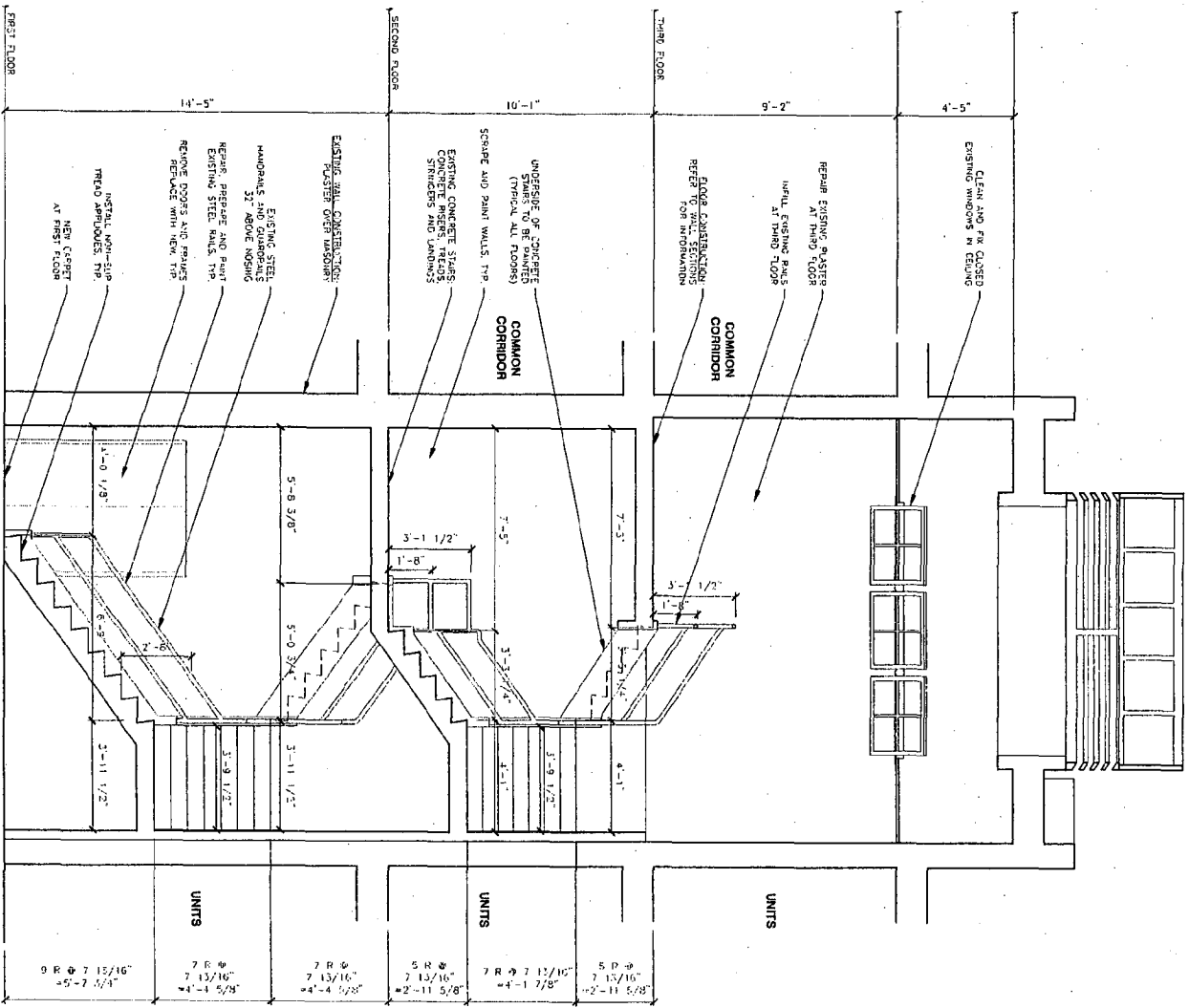
NATIONAL PARK SEMINARY
 MAIN BUILDING
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND

STAIR SECTIONS - STAR (S-2)	DATE: 11/9/04	SCALE: 3/8" = 1'-0"
DRAWN/ASK	APPR:	
5-28-04	PART 1	
9-16-04	PART 1 AMENDMENT #1	
11-24-04	SCHEMATIC DESIGN	

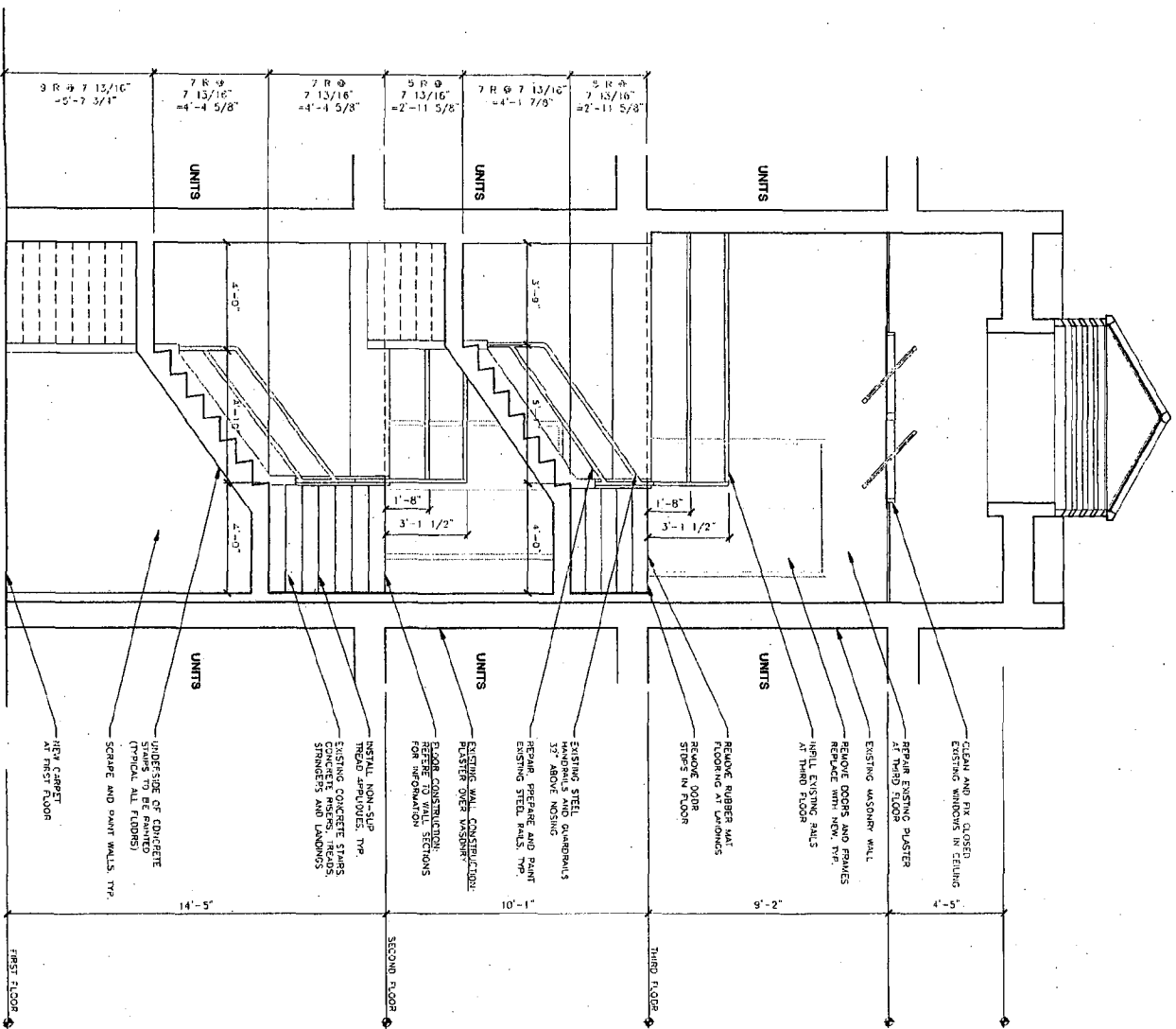
PROJECT NO.
03-537

SHEET NO.





AS X STAIR S-1 SECTION
SCALE: 3/8" = 1'-0"



AS X STAIR S-1 SECTION
SCALE: 3/8" = 1'-0"

STAIR SECTIONS - STAIR (S-1)

DRAWN: ASK	APPR.:	DATE: 11/9/04	SCALE: 3/8" = 1'-0"
5-20-04	PART I		
9-16-04	PART I AMENDMENT #1		
11-24-04	SCHEMATIC DESIGN		

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

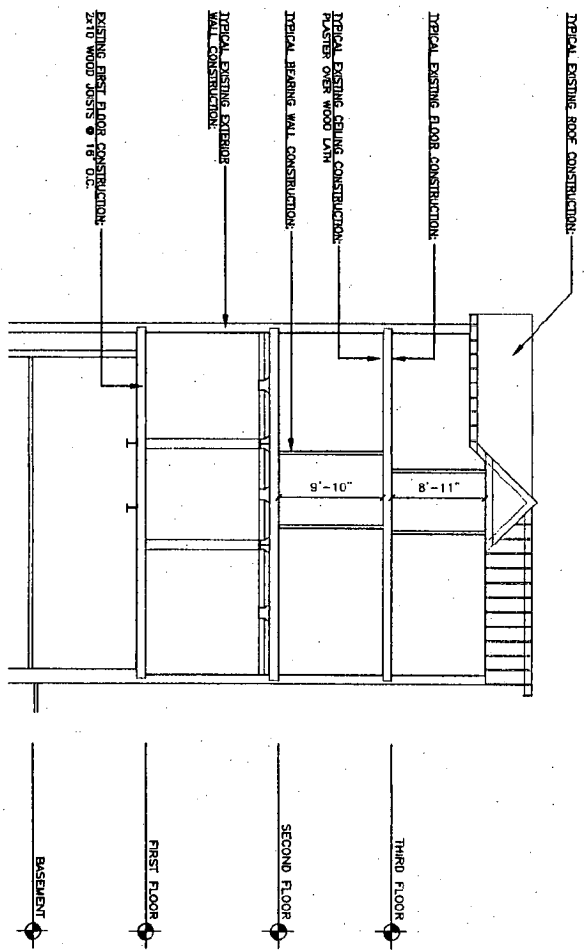
PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

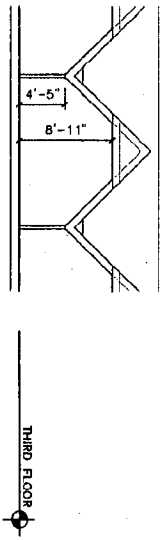
SHEET NO.

PROJECT NO.
03-537

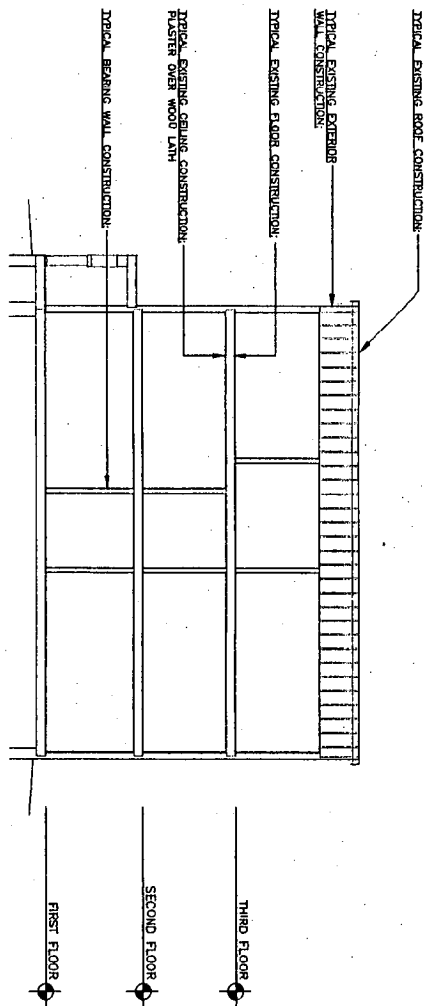




1 BUILDING SECTION (MAIN)
A6.3 SCALE: 1/8" = 1'-0"



3 BUILDING SECTION (MAIN)
A6.3 SCALE: 1/8" = 1'-0"



2 BUILDING SECTION (ALOHA HOUSE)
A6.3 SCALE: 1/8" = 1'-0"

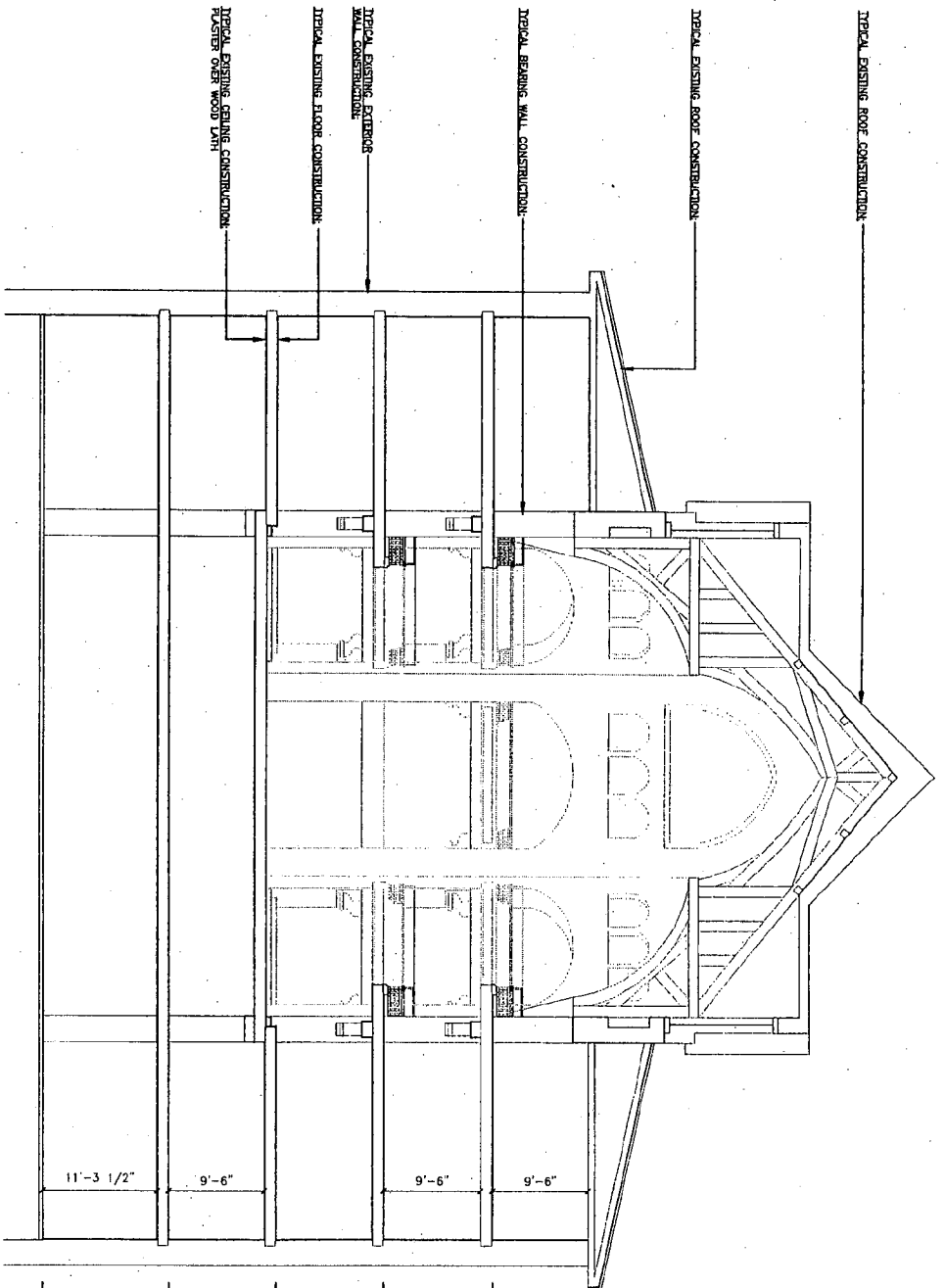
BUILDING SECTIONS	
DRAWN: DZ	APPR.: JFB DATE: 11-22-04 SCALE: 1/8" = 1'-0"
5-28-04	PART II
9-16-04	PART II AMENDMENT #1
11-24-04	SCHEMATIC DESIGN

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

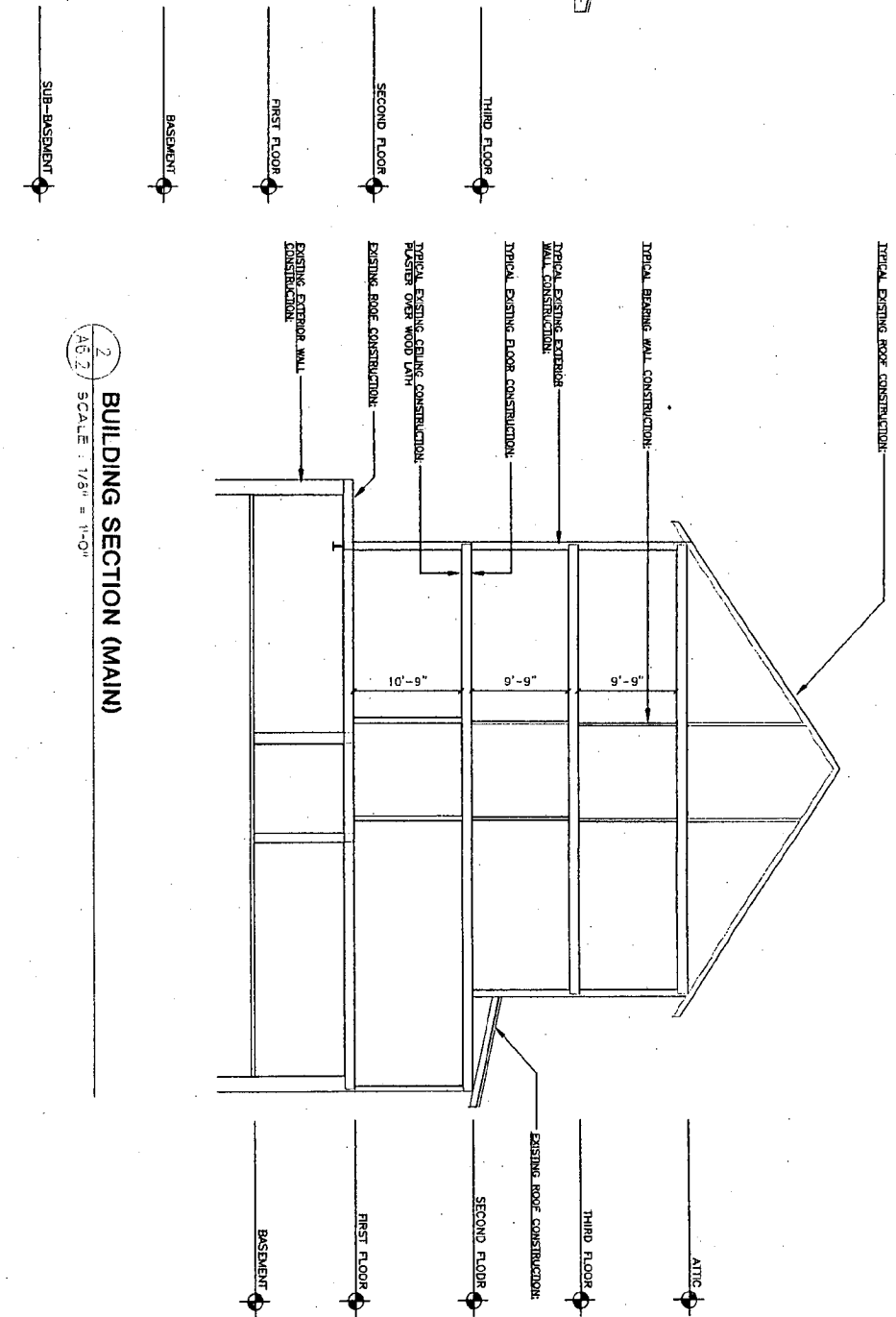
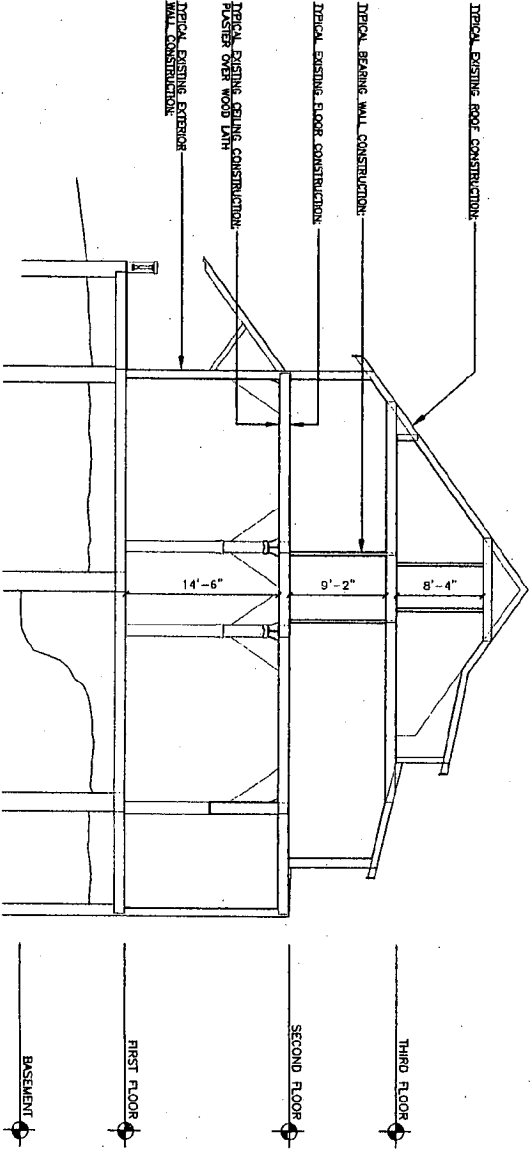
PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

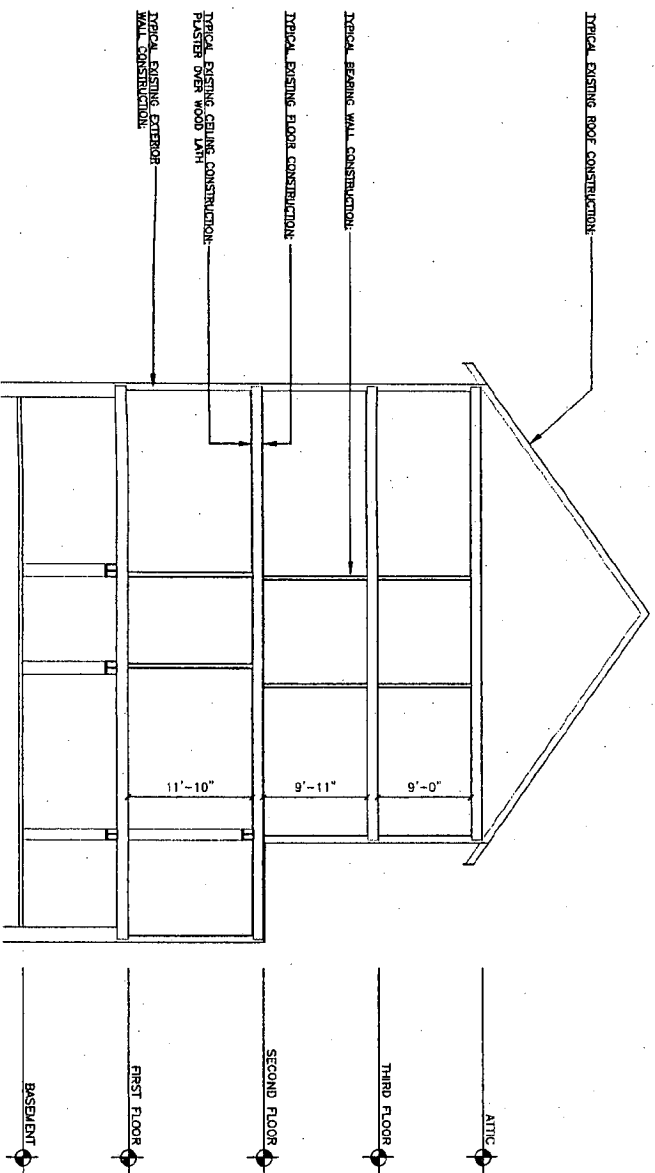
PROJECT NO.
03-537
SHEET NO.



1
A6.2 BUILDING SECTION (BALLROOM)
SCALE: 1/8" = 1'-0"



2
A6.3 BUILDING SECTION (MAIN)
SCALE: 1/8" = 1'-0"



NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

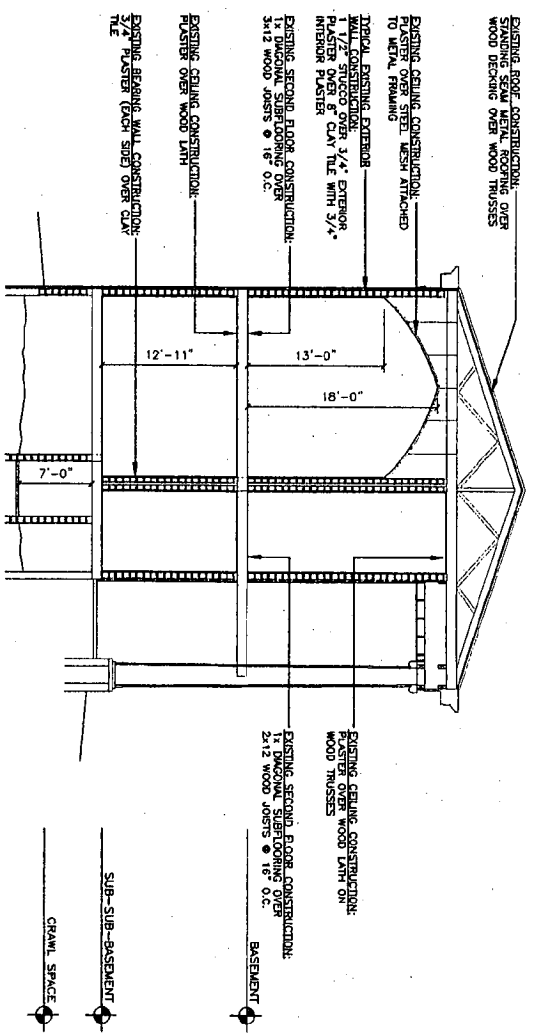
Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

BUILDING SECTIONS

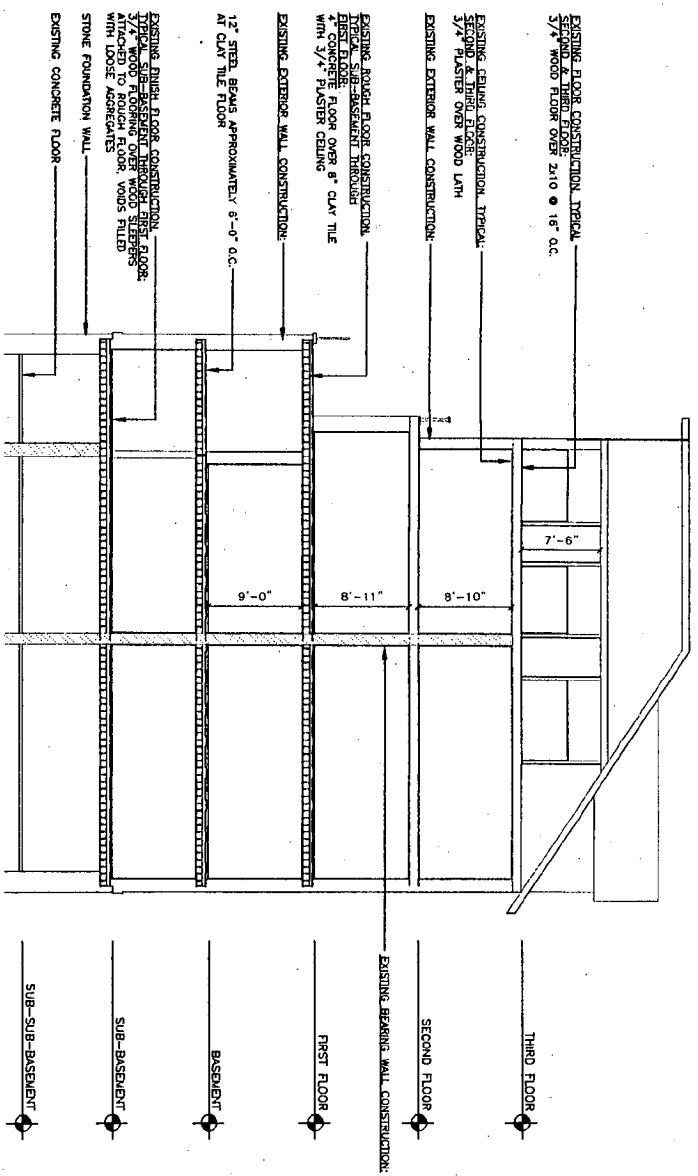
DRAWN: DZ	APPR.: JFB	DATE: 11-22-04	SCALE: 1/8" = 1'-0"
5-28-04	PART I		
9-16-04	PART II AMENDMENT #1		
11-24-04	SCHEMATIC DESIGN		

PROJECT NO.
03-537

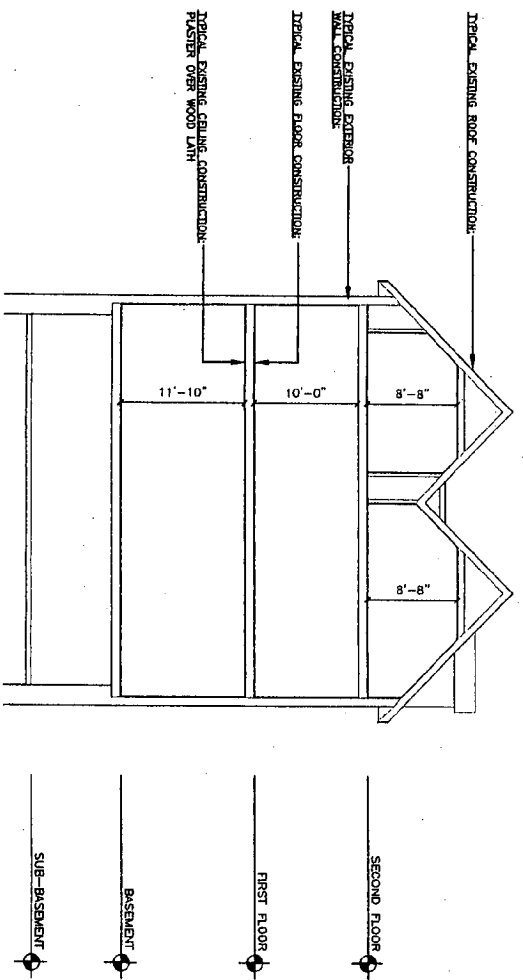
SHEET NO.



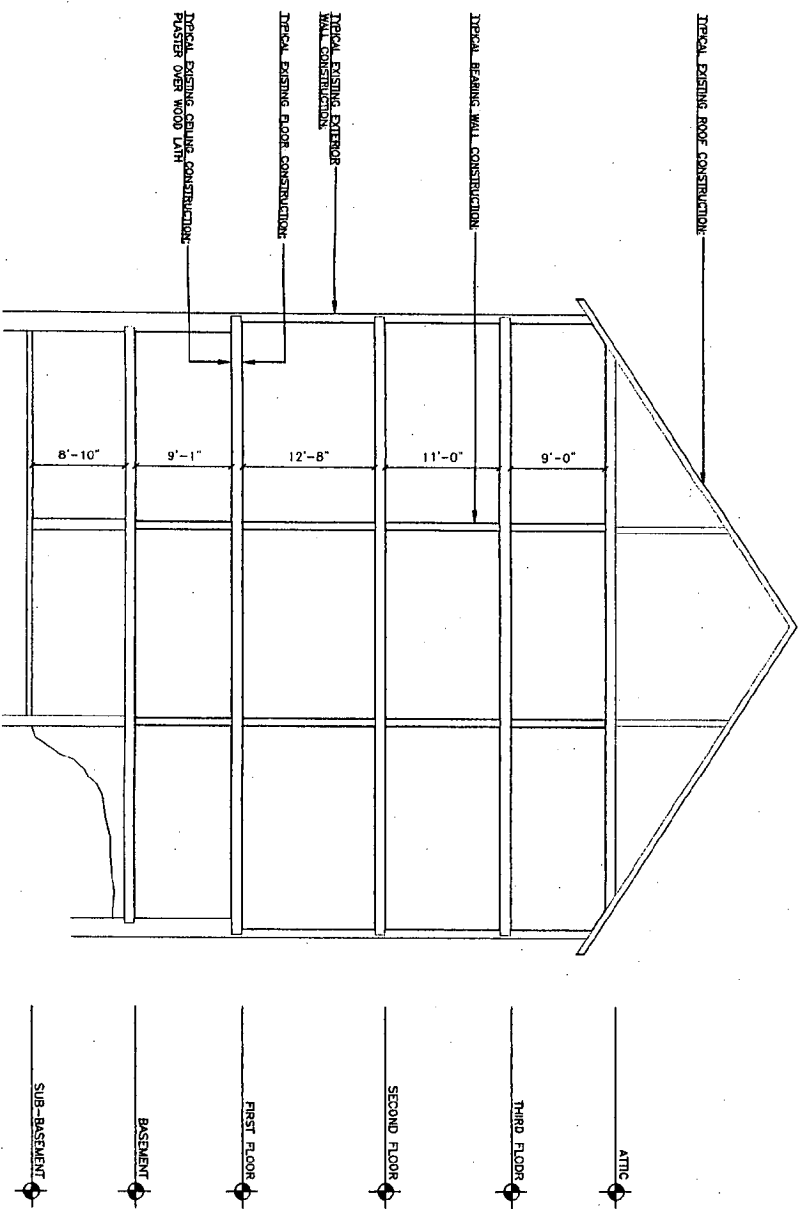
1 BUILDING SECTION (MUSIC HALL)
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION (SENIOR ANNEX)
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION (SENIOR HOUSE)



4 BUILDING SECTION (PRESIDENTS HOUSE)

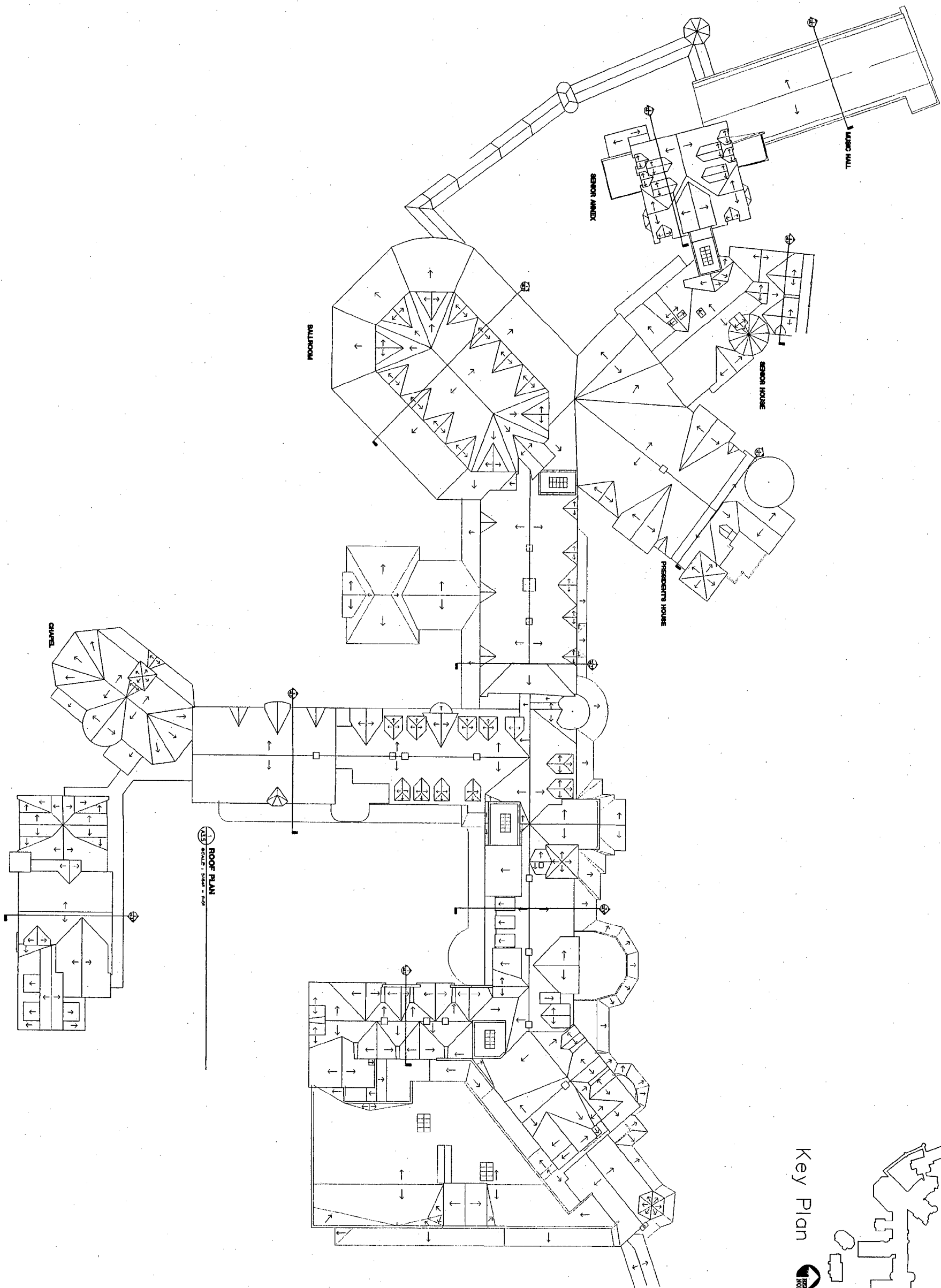
BUILDING SECTIONS			
DRAWN: DZ	APPR.: JFB	DATE: 11-22-04	SCALE: 1/8" = 1'-0"
5-28-04	PART II		
9-16-04	PART II AMENDMENT #1		
11-24-04	SCHEMATIC DESIGN		

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

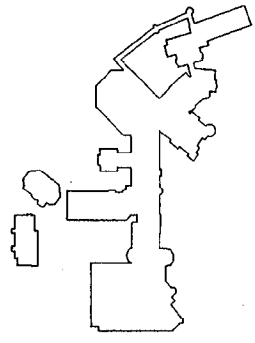
Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

PROJECT NO.
03-537
SHEET NO.



1 ROOF PLAN
SCALE: 3/64" = 1'-0"

Key Plan

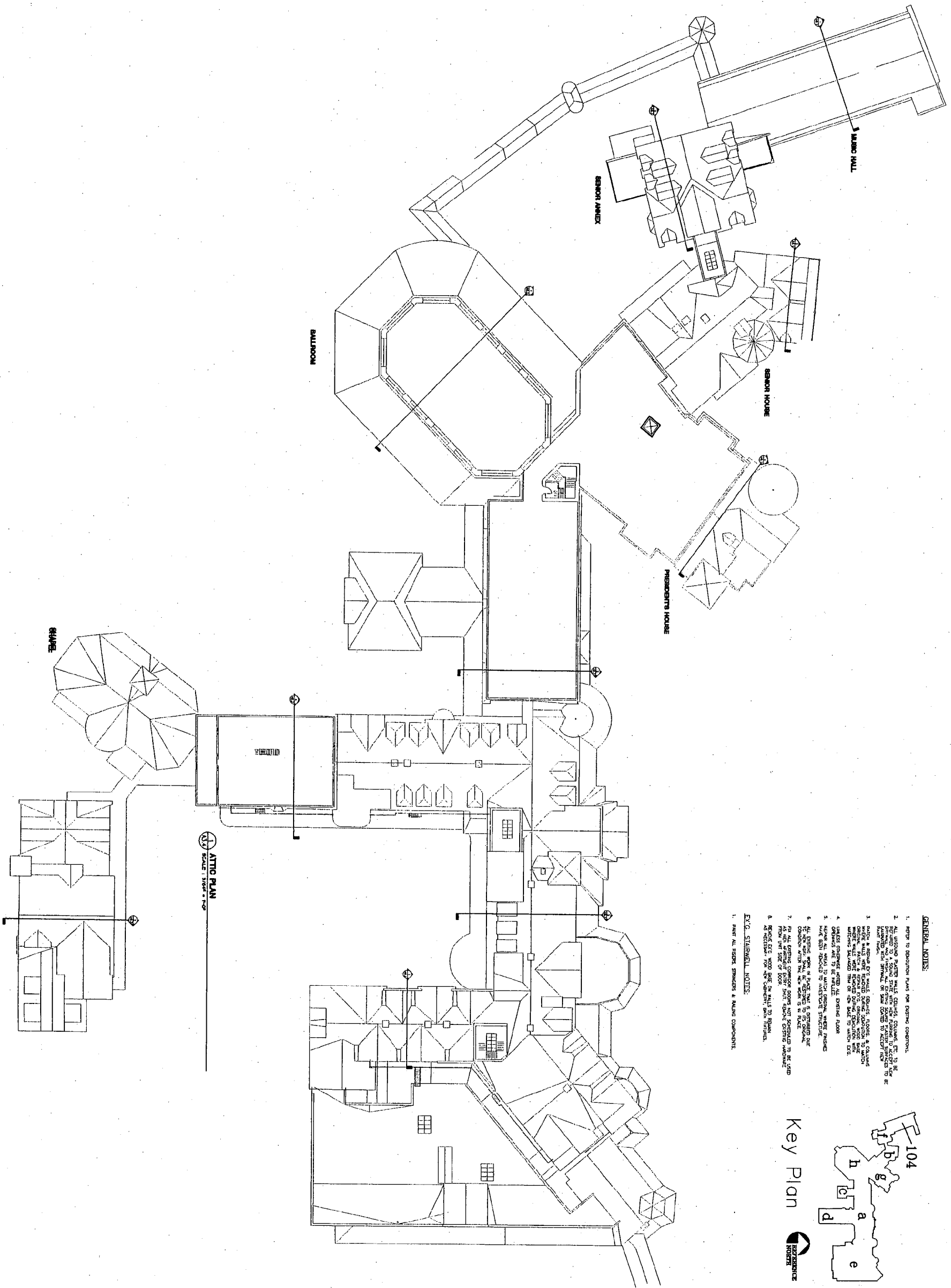


SHEET NO.	ROOF PLAN			
	DRAWN: DZ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"
	6-28-04	PART II		
	9-16-04	PART II AMENDMENT #1		
PROJECT NO.	03-537			

NATIONAL PARK SEMINARY
 MAIN BUILDING
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND

PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
 145 E. BADGER ROAD, SUITE 200
 MADISON, WISCONSIN 53713
 TELEPHONE 608-258-5591
 FAX 608-258-5599

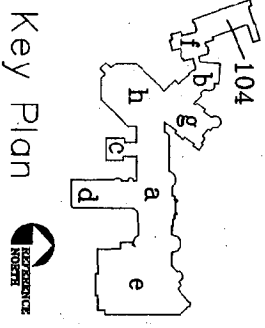


GENERAL NOTES:

1. REFER TO DEMOLITION PLANS FOR EXISTING COMMENTS.
2. ALL EXISTING PARTIAL WALLS, CORNER FRAMING, ETC., TO BE DEMOLISHED TO A SOUND STRUCTURE WITH NEW PARTIALS TO BE INSTALLED WITH ORIGINAL OR SAME CONTOUR TO ACCEPT LOADS.
3. REMOVE EXISTING PARTIAL WALLS, CORNER FRAMING, & PARTIALS WHERE WALLS WERE REMOVED DURING CONSTRUCTION TO MATCH EXISTING WALLS. NEW WALLS TO BE CONSTRUCTED WITH NEW PARTIALS TO MATCH EXISTING WALLS.
4. MATCH EXISTING PARTIALS TO EXISTING PARTIALS.
5. REMOVE ALL WALLS TO MATCH ORIGINAL, WHERE FRAMES HAVE BEEN REMOVED TO RECONSTRUCT STRUCTURE.
6. ALL EXISTING WALLS IN PLACE THAT IS OBTAINED BUT CONSTRUCTION SHALL BE AS SHOWN ON THE ORIGINAL.
7. FOR ALL EXISTING CORNER FRAMING NOT SHOWN TO BE DEMOLISHED, REMOVE EXISTING CORNER FRAMING AND RECONSTRUCT WITH NEW CORNER FRAMING.
8. REMOVE EXISTING WALLS TO MATCH ORIGINAL WALLS.

E.T.C. STAIRWELL NOTES:

1. PARTIAL ALL ROOF, STAIRWELL & BALCONY COMPONENTS.



Key Plan



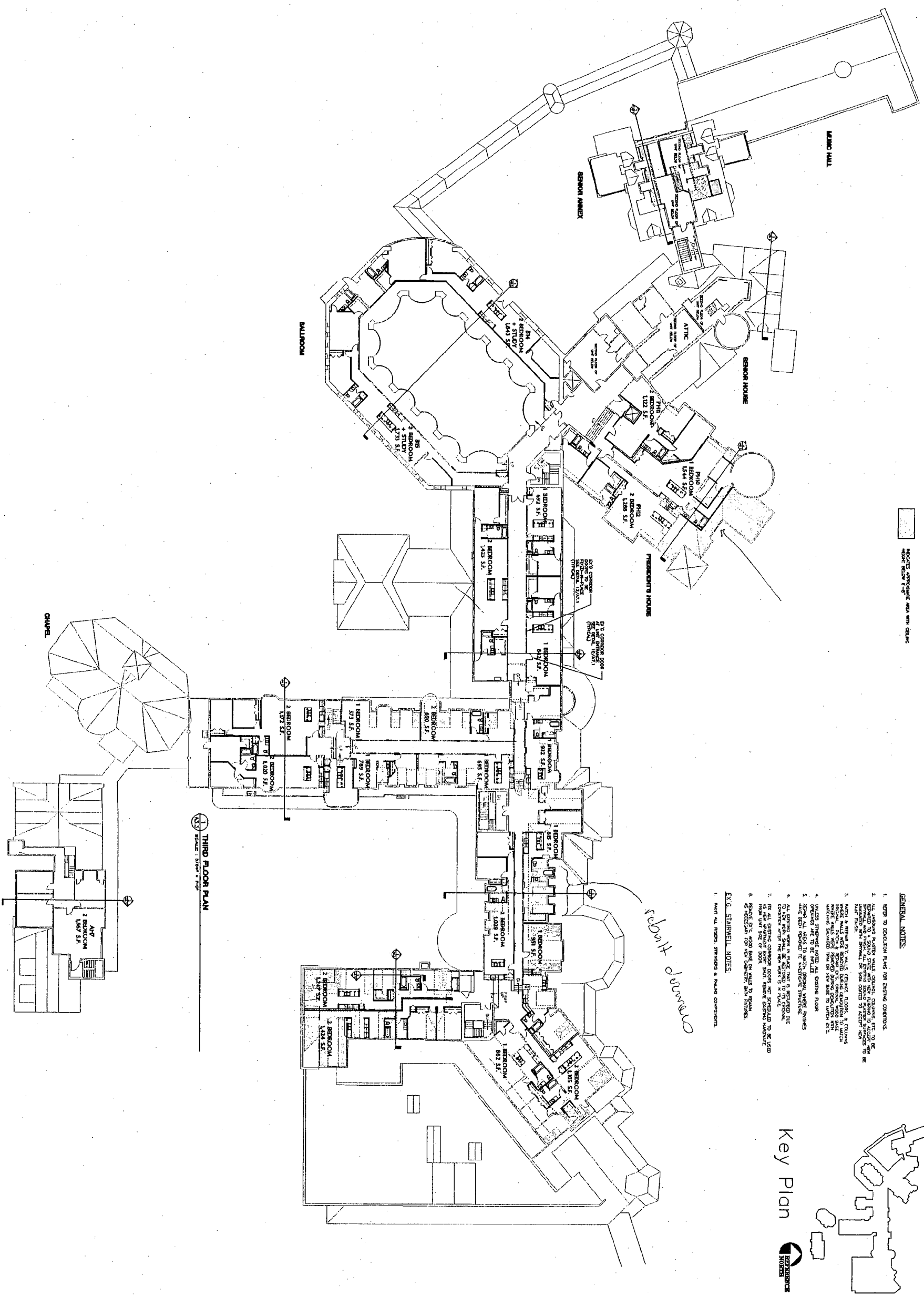
ATTIC PLAN			
DRAWN: DZ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"
5-28-04	PART I		
9-16-04	PART I AMENDMENT #1		
11-24-04	SCHEMATIC DESIGN		

**NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND**

**PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION**

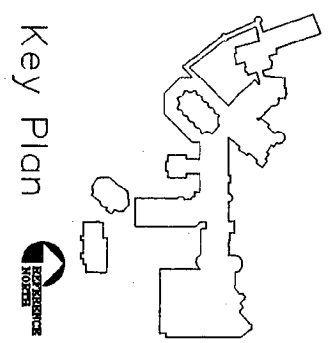
Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

PROJECT NO.
03-537
SHEET NO.



REBUILD DORMS

- GENERAL NOTES**
1. REFER TO EXISTING FLOOR PLAN FOR EXISTING CONDITIONS.
 2. ALL EXISTING ROOMS SHALL BE DEMOLISHED, EXCEPT THOSE TO BE RECONSTRUCTED AND REFINISHED. ALL EXISTING ROOMS TO BE RECONSTRUCTED SHALL BE REFINISHED TO MATCH EXISTING CONDITIONS.
 3. MATCH & REPAIR EX. WALLS, CEILING, FLOORING, & CEILING LIGHT FIXTURES. ALL EXISTING LIGHT FIXTURES SHALL BE REFINISHED TO MATCH EXISTING CONDITIONS.
 4. EXISTING MEASUREMENTS SHALL BE USED TO DETERMINE ROOM SIZES. UNLESS OTHERWISE NOTED, ALL EXISTING ROOM SIZES SHALL BE USED TO DETERMINE ROOM SIZES.
 5. ALL EXISTING ROOMS SHALL BE RECONSTRUCTED TO MATCH EXISTING CONDITIONS.
 6. RECONSTRUCT EX. ROOMS TO MATCH EX. ROOMS.
 7. RECONSTRUCT EX. ROOMS TO MATCH EX. ROOMS.
 8. RECONSTRUCT EX. ROOMS TO MATCH EX. ROOMS.
- EX. C. STAIRWELL NOTES**
1. MATCH ALL EXISTING STAIRWELLS & FINISH COMPONENTS.



THIRD FLOOR PLAN
SCALE: 3/64" = 1'-0"

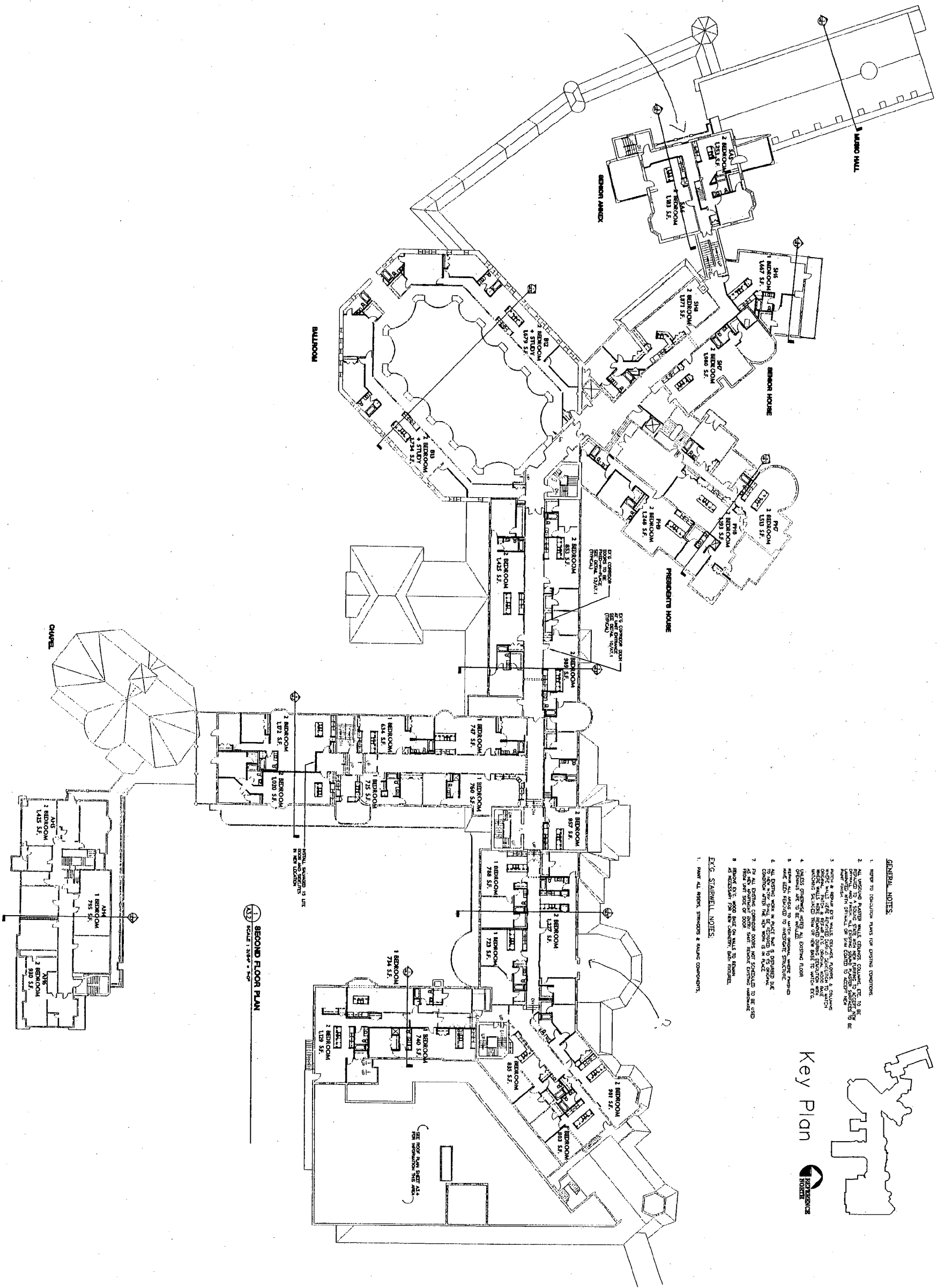
THIRD FLOOR PLAN			
DRAWN: DZ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"
5-28-04	PART #		
9-16-04	PART # AMENDMENT #1		
11-24-04	SCHEMATIC DESIGN		

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

PROJECT NO.
03-537
SHEET NO.



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. REFER TO CONSTRUCTION PLANS FOR EXISTING CONDITIONS.
2. ALL WORKING PARTS SHALL BE SHOWN ON THIS PLAN. THE EXISTING PARTS SHALL BE SHOWN ON THE PREVIOUS PLAN. THE EXISTING PARTS SHALL BE SHOWN ON THE PREVIOUS PLAN.
3. ALL WORKING PARTS SHALL BE SHOWN ON THIS PLAN. THE EXISTING PARTS SHALL BE SHOWN ON THE PREVIOUS PLAN. THE EXISTING PARTS SHALL BE SHOWN ON THE PREVIOUS PLAN.
4. UNLESS OTHERWISE NOTED, ALL EXISTING FLOORS SHALL BE MAINTAINED AS SHOWN ON THE PREVIOUS PLAN.
5. UNLESS OTHERWISE NOTED, ALL EXISTING WALLS SHALL BE MAINTAINED AS SHOWN ON THE PREVIOUS PLAN.
6. UNLESS OTHERWISE NOTED, ALL EXISTING CEILING SHALL BE MAINTAINED AS SHOWN ON THE PREVIOUS PLAN.
7. ALL EXISTING CONCRETE SHALL BE MAINTAINED AS SHOWN ON THE PREVIOUS PLAN.
8. EXISTING CONCRETE SHALL BE MAINTAINED AS SHOWN ON THE PREVIOUS PLAN.

EXG. STAIRWELL NOTES:

1. SHOW ALL EXISTING STAIRWELLS & RELATED COMPONENTS.

Key Plan

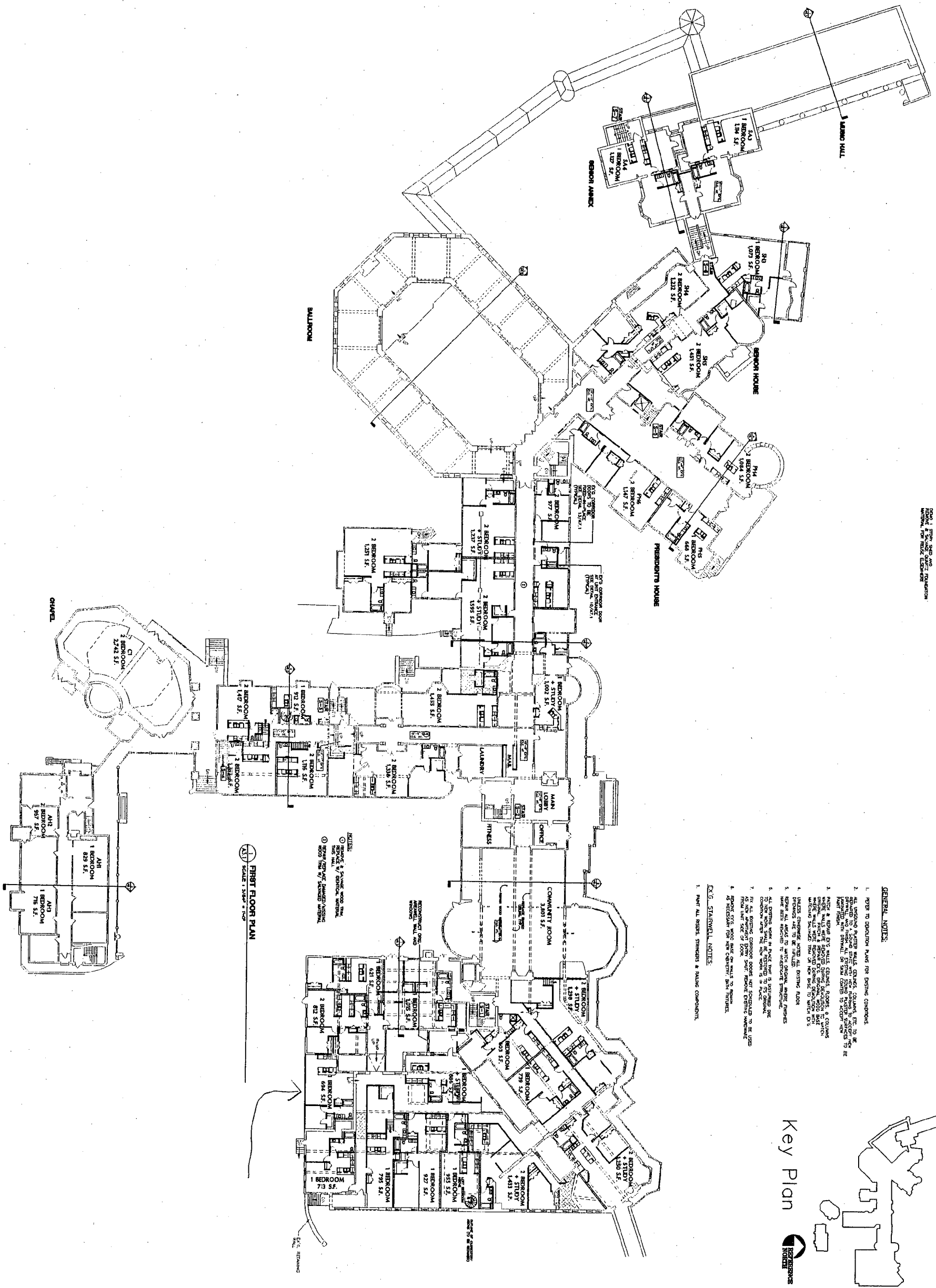


SECOND FLOOR PLAN			
DRAWN: DZ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"
5-28-04	PART 1		
9-16-04	PART 1 AMENDMENT #1		
11-24-04	SCHEMATIC DESIGN		

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

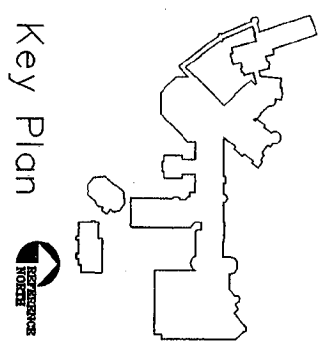
Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599



ROOM 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

- GENERAL NOTES**
1. REFER TO DEMOLITION PLANS FOR EXISTING CONDITIONS.
 2. ALL UNFINISHED PARTS (WALLS, CEILING, FLOORS, ETC.) TO BE DEMOLISHED AND REBUILT AS SHOWN ON THESE PLANS UNLESS OTHERWISE NOTED.
 3. FINISH & REPAIR OF WALLS, CEILING, FLOORS, & COLUMNS SHALL BE AS SHOWN ON THESE PLANS UNLESS OTHERWISE NOTED.
 4. UNLESS OTHERWISE NOTED, ALL EXISTING FLOOR FINISHES SHALL BE MAINTAINED.
 5. REMOVE ALL WALLS TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
 6. ALL EXISTING ROOFING TO BE MAINTAINED UNLESS OTHERWISE NOTED.
 7. ALL NEW ROOFING SHALL BE INSTALLED TO MATCH EXISTING UNLESS OTHERWISE NOTED.
 8. REPORT CITY, STATE, AND FEDERAL AGENCIES FOR ALL NECESSARY PERMITS AND APPROVALS.
 9. REFER TO ALL OTHER PLANS FOR DETAILS.
- EXC. STAIRWELL NOTES**
1. PAINT ALL IRON, STEEL, & GALV. COMPONENTS.

1 FIRST FLOOR PLAN
SCALE: 3/64" = 1'-0"



Key Plan

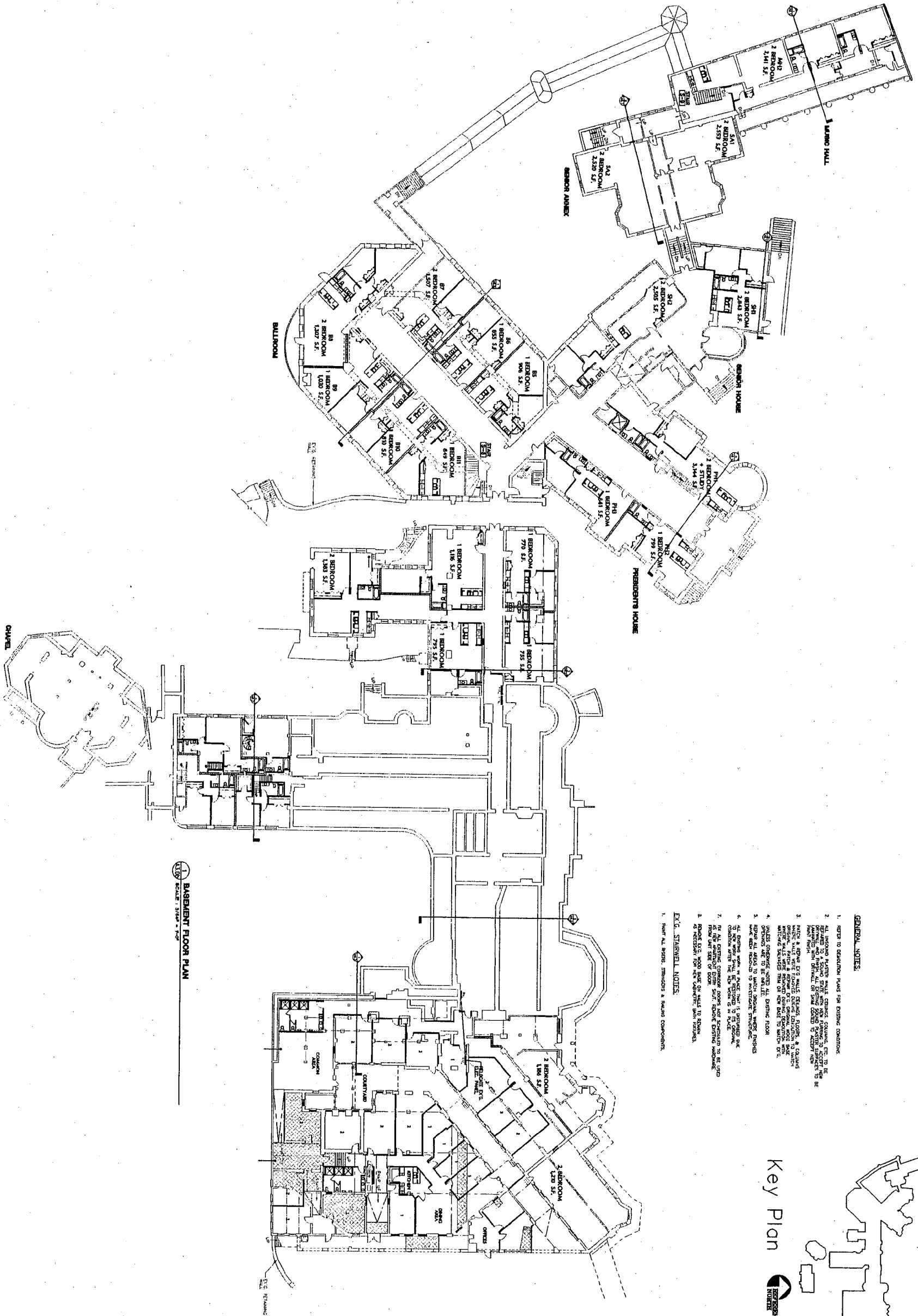


FIRST FLOOR PLAN			
DRAWN: DZ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"
5-28-04	PART I		
9-18-04	PART I AMENDMENT #1		
11-24-04	SCHEMATIC DESIGN		
PROJECT NO. 03-537			
SHEET NO.			

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599



GENERAL NOTES:

1. REFER TO SPECIFICATION PLANS FOR EXISTING CONDITIONS.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES, AS APPLICABLE TO THE PROJECT.
3. MATCH & REPAIR EXISTING CEILING, FLOORING, & WALLS TO EXISTING CONDITIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES, AS APPLICABLE TO THE PROJECT.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES, AS APPLICABLE TO THE PROJECT.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES, AS APPLICABLE TO THE PROJECT.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES, AS APPLICABLE TO THE PROJECT.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES, AS APPLICABLE TO THE PROJECT.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES, AS APPLICABLE TO THE PROJECT.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES, AS APPLICABLE TO THE PROJECT.

EXG. STAIRWELL NOTES:

1. REFER TO ALL STAIR, STAIRWAYS & RAMP COMPONENTS.

BASEMENT FLOOR PLAN
SCALE: 3/64" = 1'-0"

Key Plan



BASEMENT FLOOR PLAN	
DRAWN: DZ	APPR.: DH
5-28-04	PART I
9-16-04	PART I AMENDMENT #1
11-24-04	SCHEMATIC DESIGN

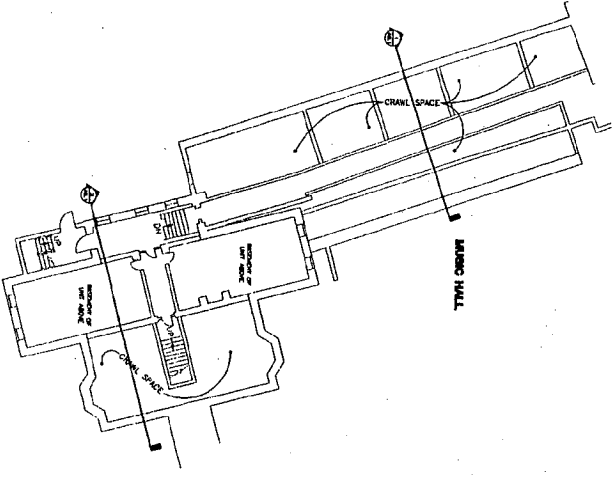
**NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND**

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

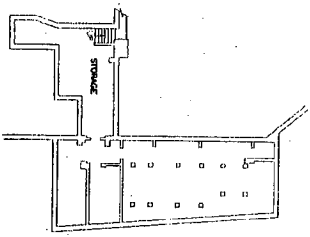
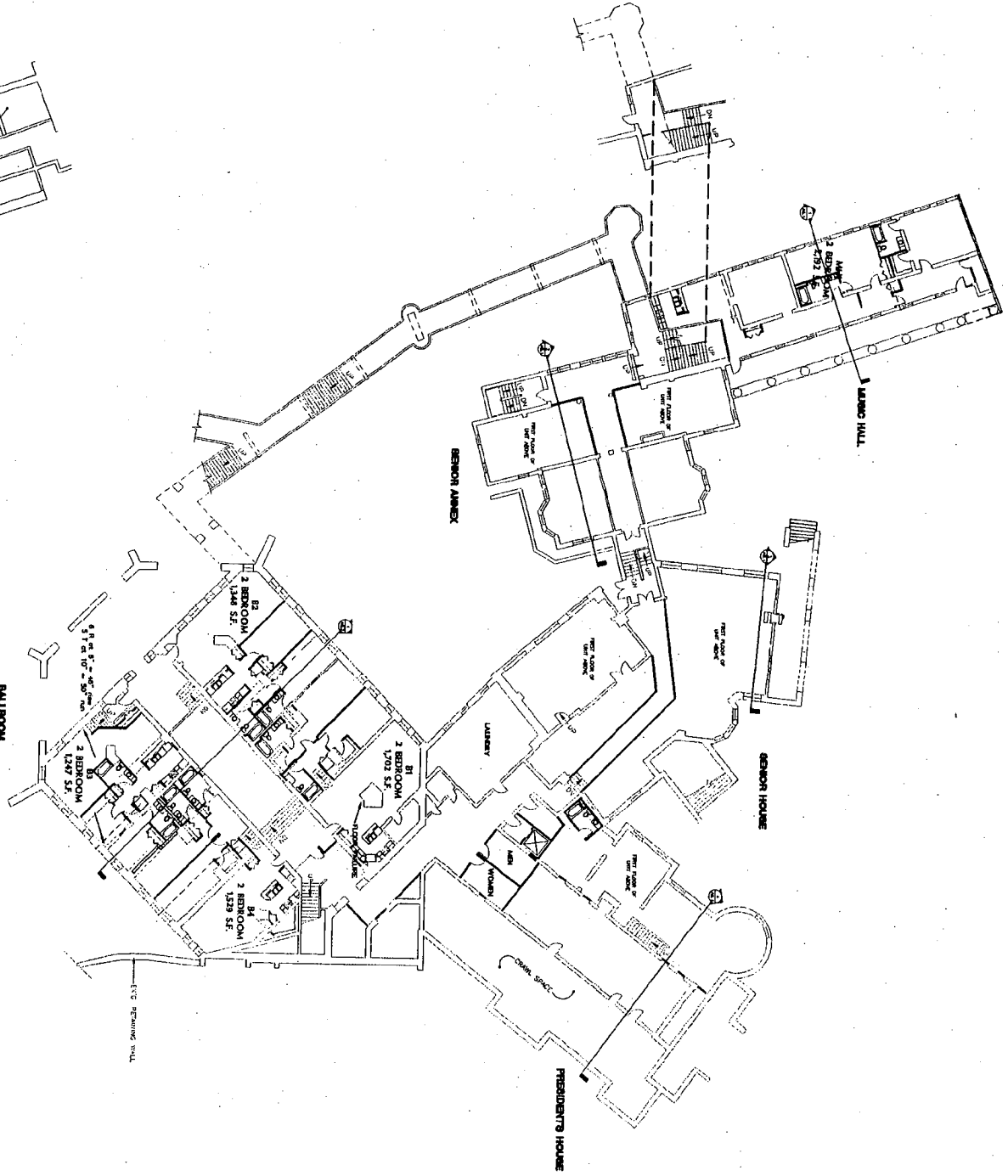
SHEET NO.

PROJECT NO.
03-537

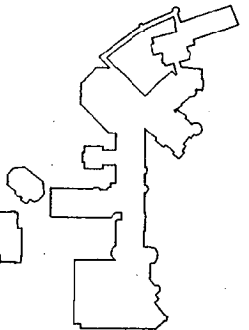
1
SUB-BASEMENT
FLOOR PLAN
SCALE: 3/64" = 1'-0"



1
SUB-BASEMENT FLOOR PLAN
SCALE: 3/64" = 1'-0"



Key Plan

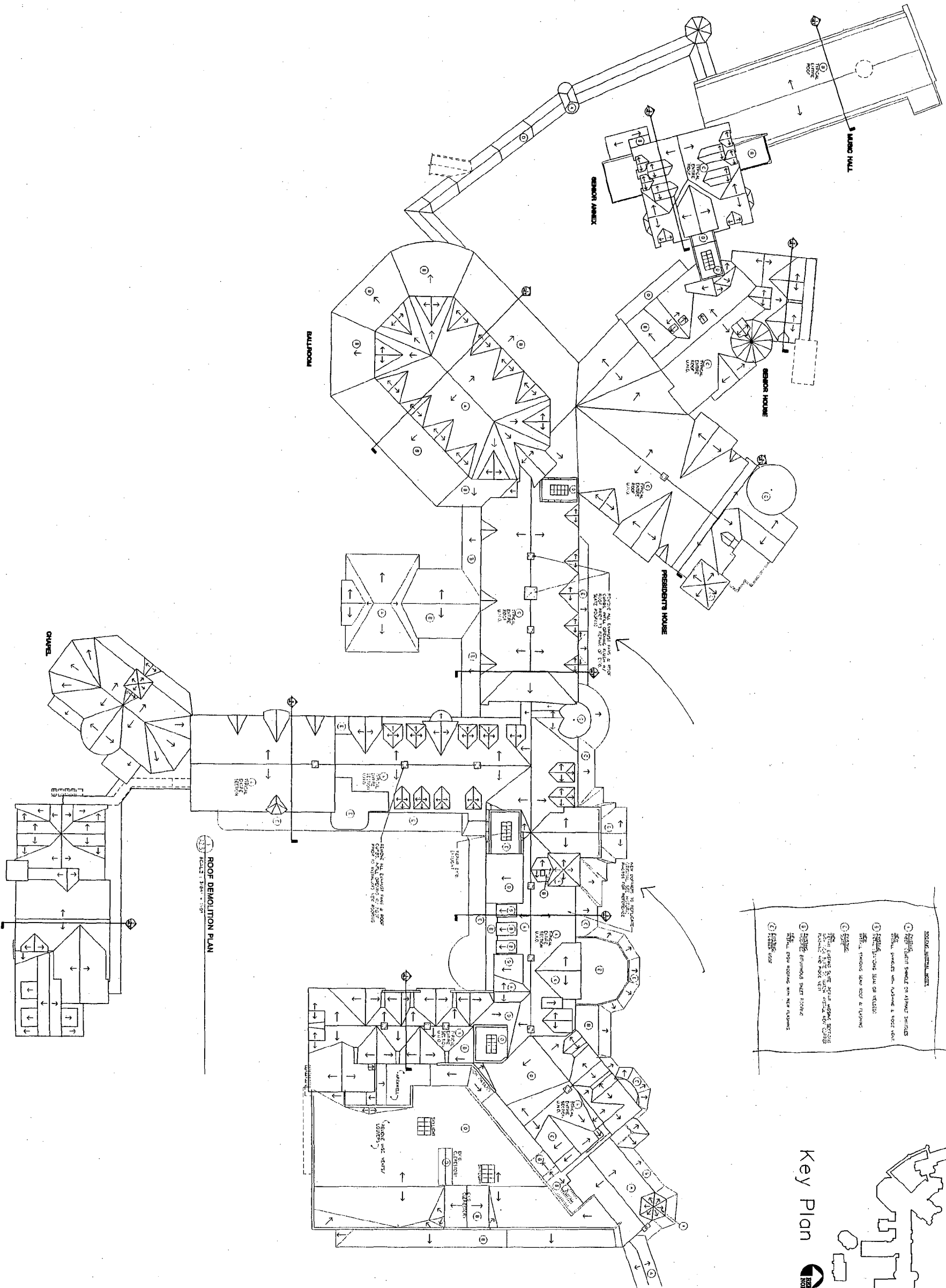


SHEET NO. 03-537	SUB-BASEMENT FLOOR PLAN			
	DRAWN: DZ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"
	5-28-04	PART #		
	9-16-04	PART # AMENDMENT #1		
	11-24-04	SCHEMATIC DESIGN		

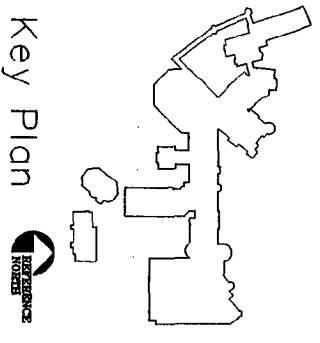
NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599



- ROOF DEMOLITION PLAN**
- 1. EXISTING
 - 2. NEW
 - 3. EXISTING
 - 4. EXISTING
 - 5. EXISTING
 - 6. EXISTING
 - 7. EXISTING
 - 8. EXISTING
 - 9. EXISTING
 - 10. EXISTING



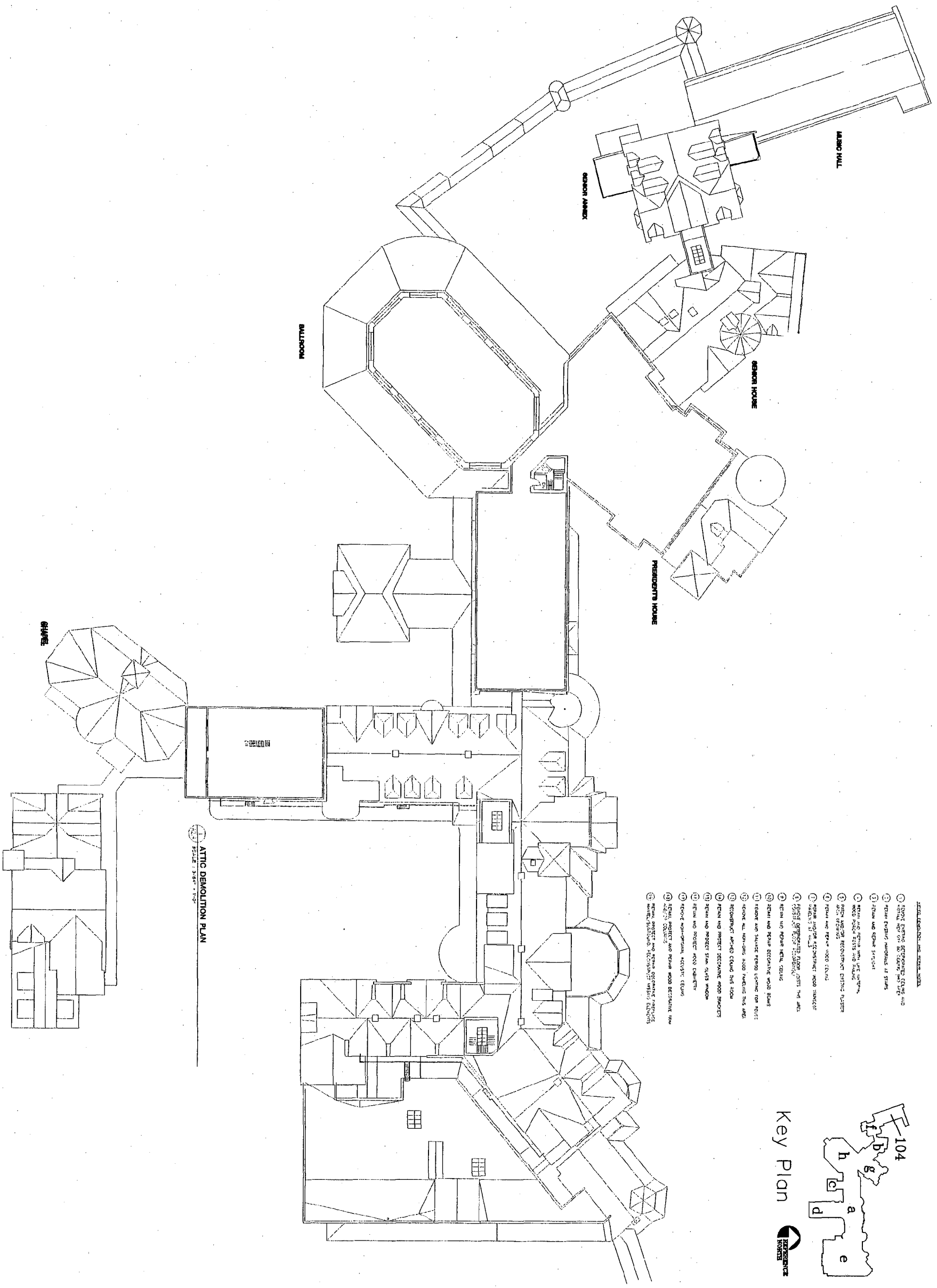
ROOF DEMOLITION PLAN			
DRAWN: DZ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"
5-28-04	PART I		
9-16-04	PART I AMENDMENT #1		

**NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND**

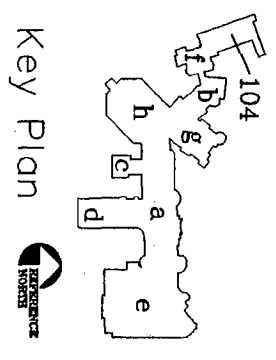
**PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION**

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

PROJECT NO.
03-537
SHEET NO.



- GENERAL NOTES AND SPECIFICATIONS**
1. REMOVE EXISTING GYPSONUM CEILING AND REPAIR EXPOSED STRUCTURE OF STUDS
 2. REMOVE AND REPAIR EXISTING WOOD FLOOR
 3. REMOVE AND REPAIR EXISTING WOOD FLOOR
 4. REMOVE AND REPAIR EXISTING WOOD FLOOR
 5. REMOVE AND REPAIR EXISTING WOOD FLOOR
 6. REMOVE AND REPAIR EXISTING WOOD FLOOR
 7. REMOVE AND REPAIR EXISTING WOOD FLOOR
 8. REMOVE AND REPAIR EXISTING WOOD FLOOR
 9. REMOVE AND REPAIR EXISTING WOOD FLOOR
 10. REMOVE AND REPAIR EXISTING WOOD FLOOR
 11. REMOVE AND REPAIR EXISTING WOOD FLOOR
 12. REMOVE AND REPAIR EXISTING WOOD FLOOR
 13. REMOVE AND REPAIR EXISTING WOOD FLOOR
 14. REMOVE AND REPAIR EXISTING WOOD FLOOR
 15. REMOVE AND REPAIR EXISTING WOOD FLOOR
 16. REMOVE AND REPAIR EXISTING WOOD FLOOR
 17. REMOVE AND REPAIR EXISTING WOOD FLOOR
 18. REMOVE AND REPAIR EXISTING WOOD FLOOR
 19. REMOVE AND REPAIR EXISTING WOOD FLOOR
 20. REMOVE AND REPAIR EXISTING WOOD FLOOR
 21. REMOVE AND REPAIR EXISTING WOOD FLOOR
 22. REMOVE AND REPAIR EXISTING WOOD FLOOR
 23. REMOVE AND REPAIR EXISTING WOOD FLOOR
 24. REMOVE AND REPAIR EXISTING WOOD FLOOR
 25. REMOVE AND REPAIR EXISTING WOOD FLOOR
 26. REMOVE AND REPAIR EXISTING WOOD FLOOR
 27. REMOVE AND REPAIR EXISTING WOOD FLOOR
 28. REMOVE AND REPAIR EXISTING WOOD FLOOR
 29. REMOVE AND REPAIR EXISTING WOOD FLOOR
 30. REMOVE AND REPAIR EXISTING WOOD FLOOR



ATTIC DEMOLITION PLAN
SCALE: 3/64" = 1'-0"

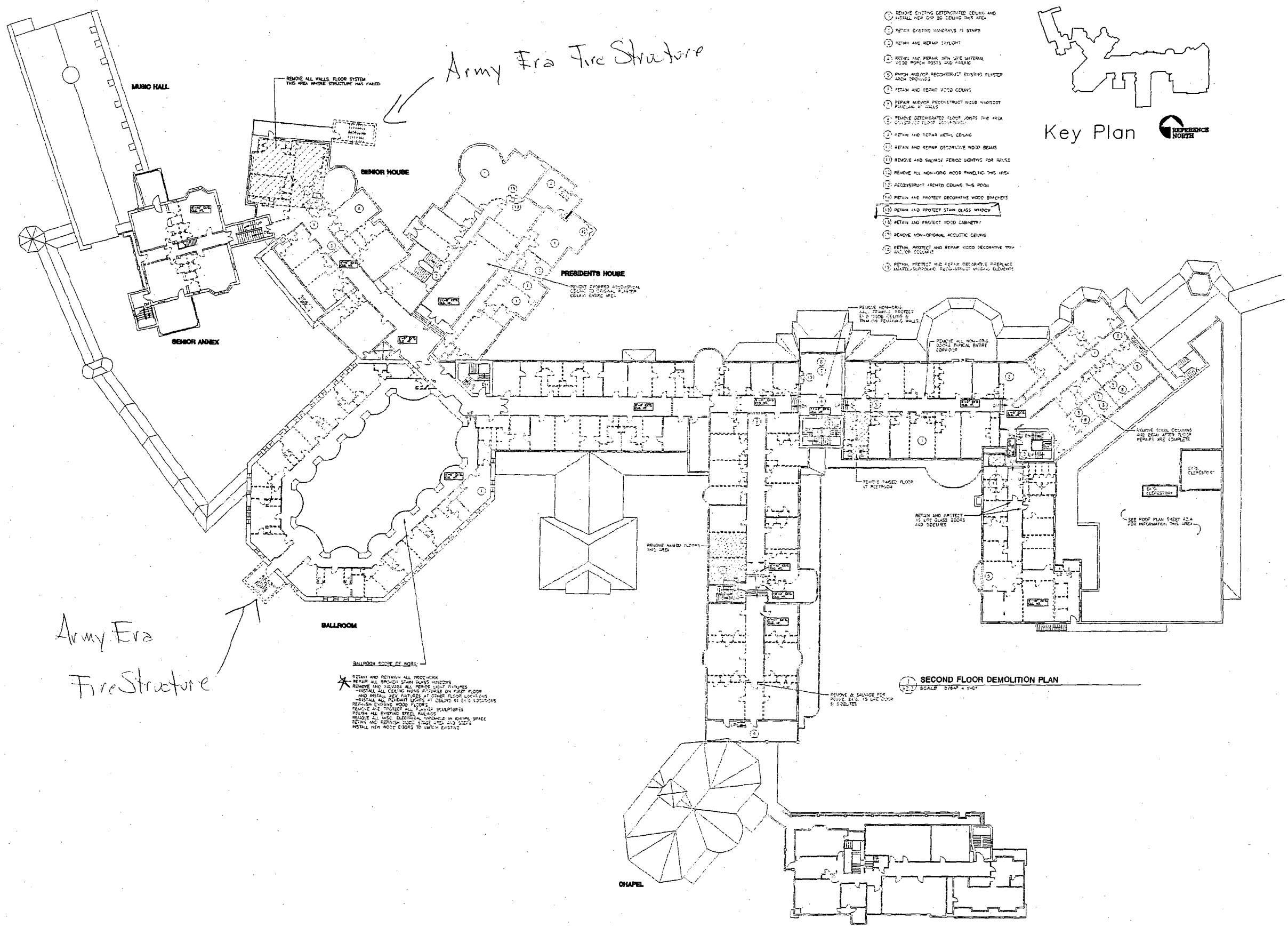
ATTIC DEMOLITION PLAN			
DRAWN: DZ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"
5-28-04	PART #		
9-16-04	PART # AMENDMENT #1		
11-24-04	SCHEMATIC DESIGN		

**NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND**

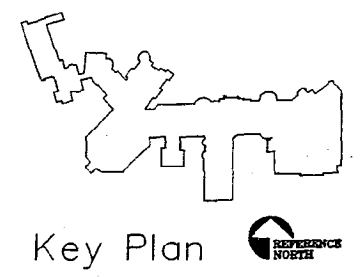
**PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION**

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

PROJECT NO.
03-537
SHEET NO.



- REPAIR, DEMOLITION AND REPAIR NOTES:**
- 1 REMOVE EXISTING DETERIORATED CEILING AND INSTALL NEW GIP TO CEILING THIS AREA
 - 2 RETAIN EXISTING MINERALS IN STUDS
 - 3 RETAIN AND REPAIR EXHIBIT
 - 4 REMOVE AND REPAIR WITH GIP MATERIAL TO BE REPAIR POSTS AND FILLING
 - 5 PATCH AND/OR RECONSTRUCT EXISTING PLASTER ARCH DOORWAYS
 - 6 RETAIN AND REPAIR GIP CEILING
 - 7 REPAIR AND/OR RECONSTRUCT WOOD HANDSCAP PANELING OF WALLS
 - 8 REMOVE DETERIORATED FLOOR JOISTS THIS AREA RECONSTRUCT FLOOR JOISTS
 - 9 RETAIN AND REPAIR METAL CEILING
 - 10 RETAIN AND REPAIR DECORATIVE WOOD BEAMS
 - 11 REMOVE AND SALVAGE PERIOD LIGHTING FOR REUSE
 - 12 REMOVE ALL NON-ORG WOOD PANELING THIS AREA
 - 13 RECONSTRUCT ARCHED CEILING THIS ROOM
 - 14 RETAIN AND PROTECT DECORATIVE WOOD BRACKETS
 - 15 RETAIN AND PROTECT STAIN GLASS WINDOW
 - 16 RETAIN AND PROTECT WOOD CABINETS
 - 17 REMOVE NON-ORIGINAL ACOUSTIC CEILING
 - 18 RETAIN, PROTECT AND REPAIR WOOD DECORATIVE TRIM AND/OR COLUMNS
 - 19 RETAIN, PROTECT AND REPAIR DECORATIVE STAIRS AND/OR BALUSTRADES, RECONSTRUCT MISSING ELEMENTS



Army Era
Fire Structure

Army Era Fire Structure

BALLROOM SCOPE OF WORK:

- * RETAIN AND REPAIR ALL WOODWORK
- REPAIR ALL BRONZE STAIN GLASS WINDOWS
- REMOVE THE TRUSS AND REMOVE LIGHT FIXTURES
- REMOVE ALL CEILING WOOD PANELING ON ROOF FLOOR
- REMOVE ALL CEILING WOOD PANELING ON FLOOR FLOOR
- REMOVE ALL PERIMETER LIGHTS AT CEILING TO EXISTING
- REMOVE EXISTING WOOD FLOORS
- REMOVE ALL TRUSSES AND WOOD STAIRWAYS
- REMOVE ALL EXISTING STEEL RAFTERS
- REMOVE ALL WOOD ELECTRICAL PANELS IN EXISTING SPACE
- REMOVE AND REPAIR EXISTING STAIRS AND STEPS
- REMOVE AND REPAIR EXISTING STAIRS AND STEPS
- REMOVE AND REPAIR EXISTING STAIRS AND STEPS
- REMOVE AND REPAIR EXISTING STAIRS AND STEPS

SECOND FLOOR DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

Architecture, Planning & Construction

URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

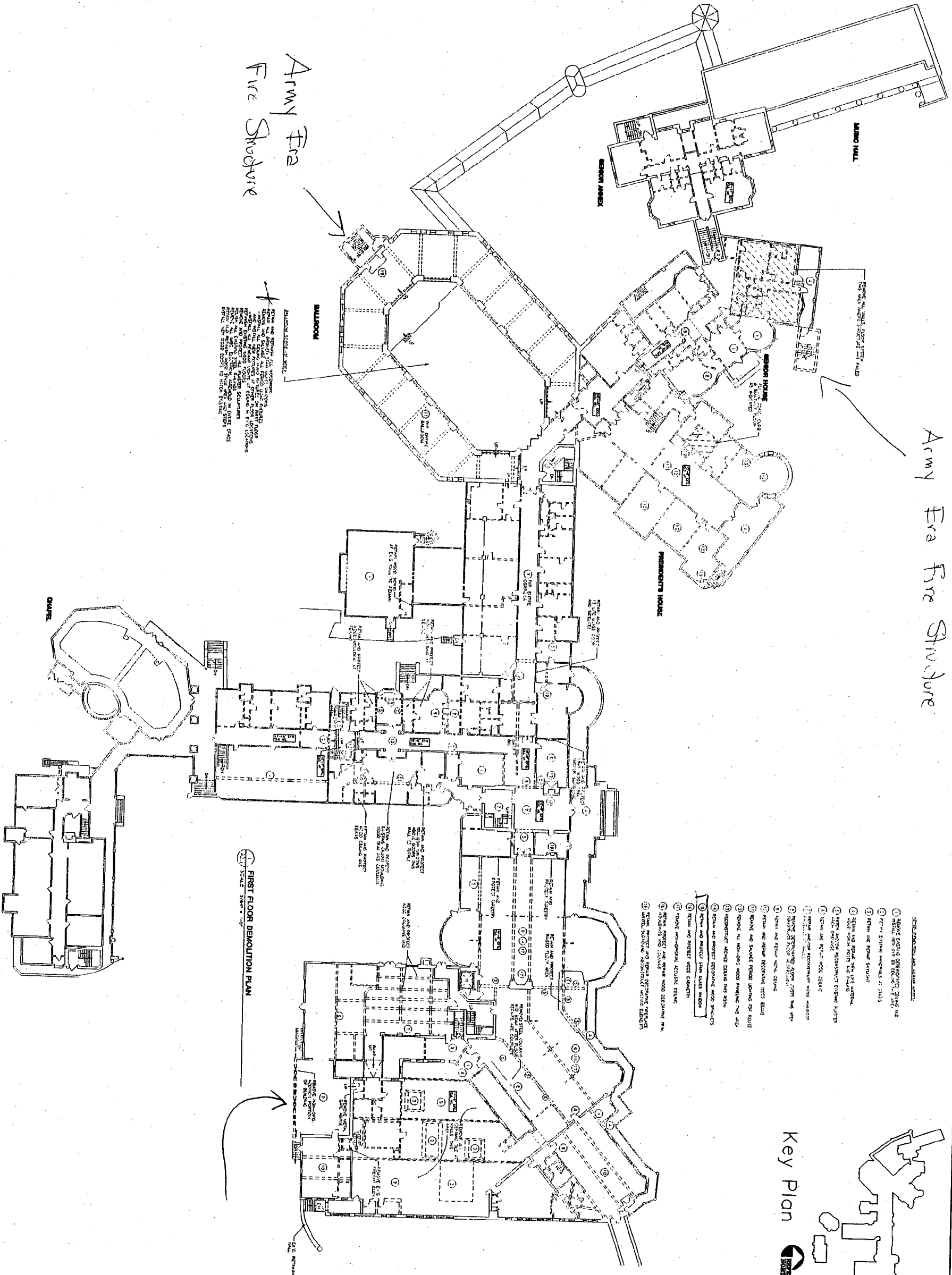
SECOND FLOOR DEMOLITION PLAN
DRAWN: DZ | APPR.: DH | DATE: 2-24-04 | SCALE: 3/8" = 1'-0"
5-28-04 | PART 1 | 9-24-04 | PART 1 AMENDMENT #1 | 11-24-04 | SCHEMATIC DESIGN

PROJECT NO.
03-537

SHEET NO.

Army Era
Fire Structure

Army Era Fire Structure

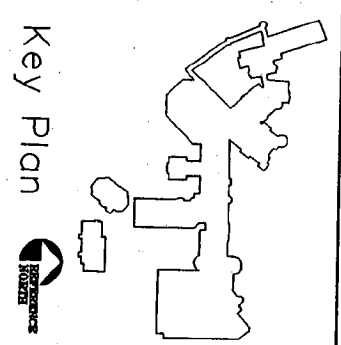


BALLROOM

REMOVE AND REPAIR ALL STRUCTURE, INTERIOR FINISHES, MECHANICAL, ELECTRICAL, AND PLUMBING. DEMOLISH ALL EXISTING PARTITION WALLS, CEILING, FLOORING, AND INTERIOR WALLS. REPAIR AND REFINISH ALL EXISTING SCULPTURES. REMOVE ALL EXISTING LIGHT FIXTURES, SMOKE DETECTORS, AND SPRINKLER HEADS. REPAIR AND REFINISH ALL EXISTING PARTITION WALLS. REMOVE ALL EXISTING PARTITION WALLS. REPAIR AND REFINISH ALL EXISTING PARTITION WALLS. REMOVE ALL EXISTING PARTITION WALLS. REPAIR AND REFINISH ALL EXISTING PARTITION WALLS.

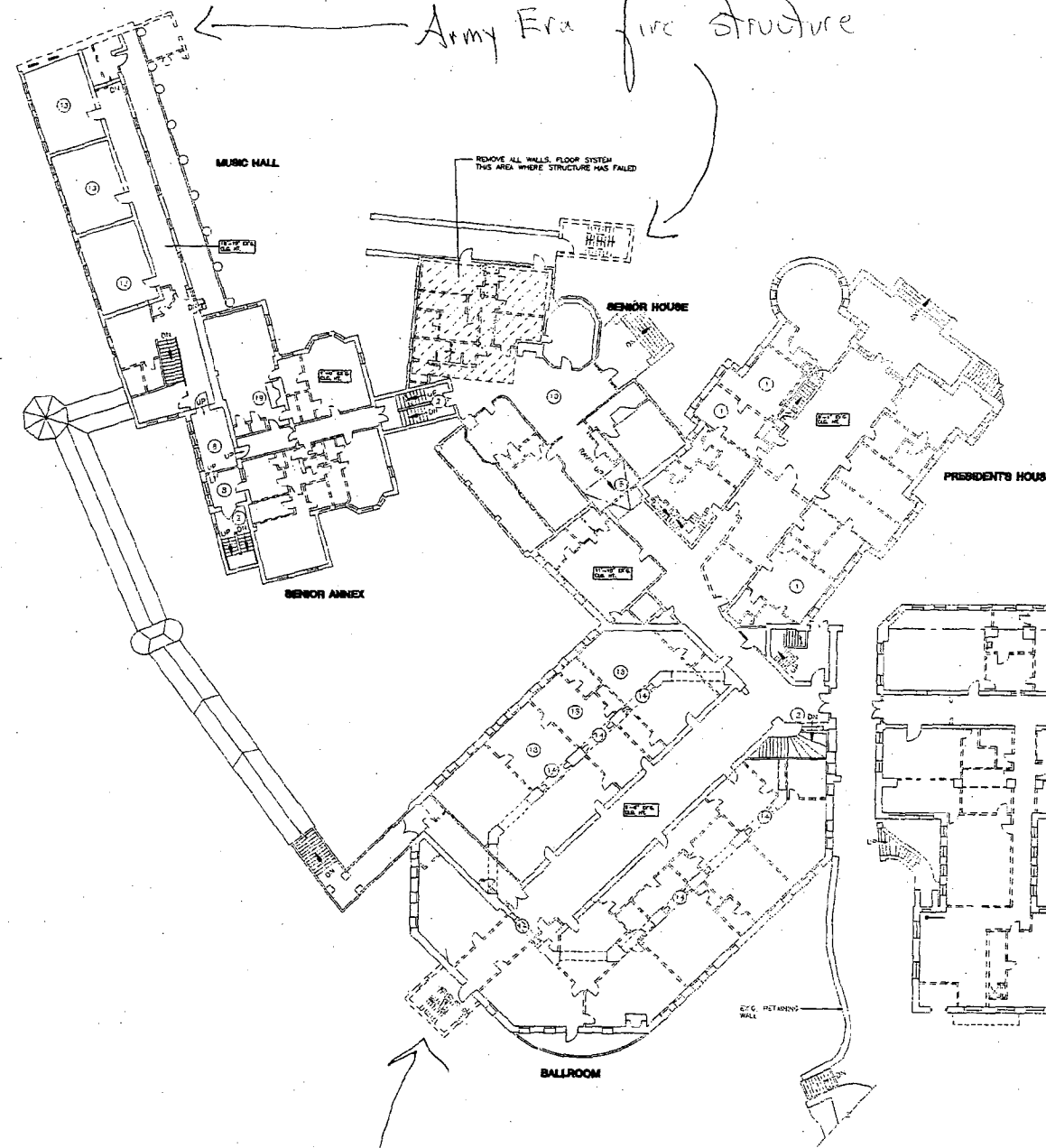
- FROM EXISTING AND DEMOLITION:
- 1 REMOVE EXISTING STRUCTURAL STEEL AND REPAIR AND REFINISH ALL EXISTING PARTITION WALLS
 - 2 REMOVE EXISTING MECHANICAL AND ELECTRICAL
 - 3 REMOVE AND REPAIR STRUCTURE
 - 4 REMOVE AND REPAIR INTERIOR WALLS
 - 5 REMOVE AND REPAIR EXISTING PARTITION WALLS AND CEILING
 - 6 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 7 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 8 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 9 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 10 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 11 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 12 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 13 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 14 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 15 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 16 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 17 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL
 - 18 REMOVE AND REPAIR EXISTING MECHANICAL AND ELECTRICAL

FIRST FLOOR DEMOLITION PLAN
SCALE: 3/64" = 1'-0"

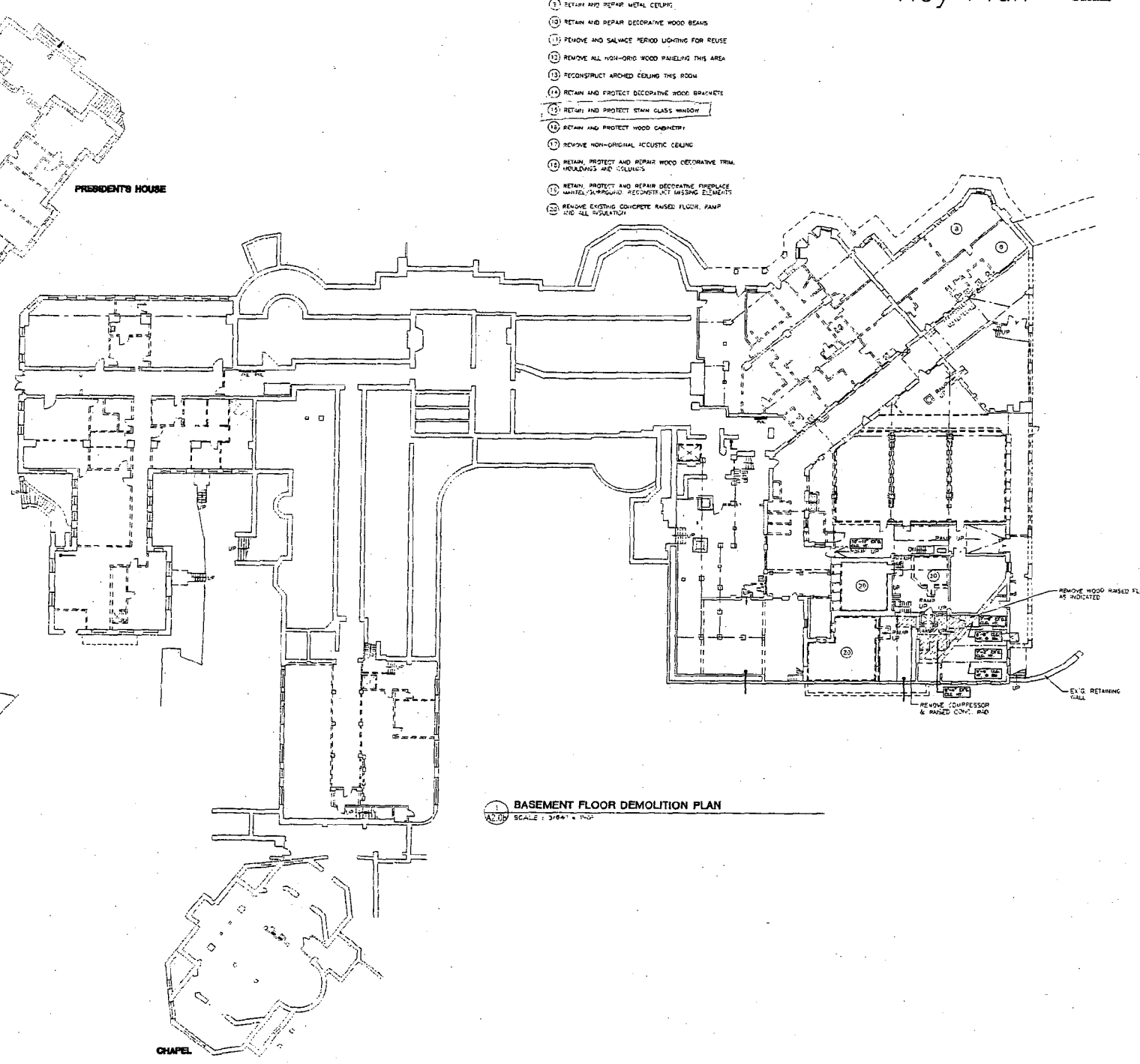


FIRST DEMOLITION FLOOR PLAN		NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND		PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599
DRAWN: DZ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"		
5-28-04	PART I				
9-16-04	PART I AMENDMENT #1				
11-24-04	SCHEMATIC DESIGN				
PROJECT NO. 03-537		SHEET NO.			

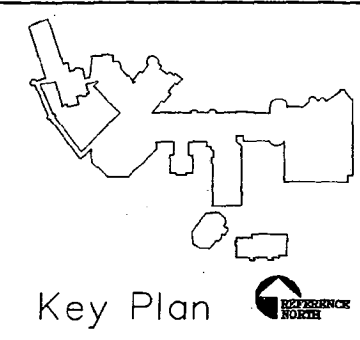
Army Era fire structure



Army Era Fire Structure



- PERIOD DEMOLITION AND REPAIR NOTES
- 1 REMOVE EXISTING BETERATED CEILING AND FRESHEN UP BY WELDER THIS AREA
 - 2 RETAIN EXISTING HANDRAILS AT STAIRS
 - 3 RETAIN AND REPAIR SPACELIGHT
 - 4 RETAIN AND REPAIR WITH LIVE WATERSHED WOOD FLOOR JOISTS AND SIKING
 - 5 PATCH AND/OR RECONSTRUCT EXISTING PLASTER ARCH OPENINGS
 - 6 RETAIN AND REPAIR WOOD CEILING
 - 7 REMOVE AND/OR RECONSTRUCT WOOD RAFTERS/ROOFING OF HALL
 - 8 REMOVE DEGRADED FLOOR JOISTS THIS AREA CONSTRUCT FLOOR AS SHOWN
 - 9 RETAIN AND REPAIR METAL CEILING
 - 10 RETAIN AND REPAIR DECORATIVE WOOD BEAMS
 - 11 REMOVE AND SALVAGE PERIOD LIGHTING FOR REUSE
 - 12 REMOVE ALL HIGH-GRID WOOD PANELING THIS AREA
 - 13 RECONSTRUCT ARCHED CEILING THIS ROOM
 - 14 RETAIN AND PROTECT DECORATIVE WOOD BRACKETE
 - 15 RETAIN AND PROTECT STAIN GLASS WINDOW
 - 16 RETAIN AND PROTECT WOOD CABINETS
 - 17 REMOVE NON-ORIGINAL ACUSTIC CEILING
 - 18 RETAIN, PROTECT AND REPAIR WOOD DECORATIVE TRIM, MOLDINGS AND CORNICES
 - 19 RETAIN, PROTECT AND REPAIR DECORATIVE FIREPLACE MANTEL AS SHOWN. RECONSTRUCT MISSING ELEMENTS
 - 20 REMOVE EXISTING CONCRETE RAISED FLOOR, PUMP AND ALL INSULATION



BASEMENT FLOOR DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

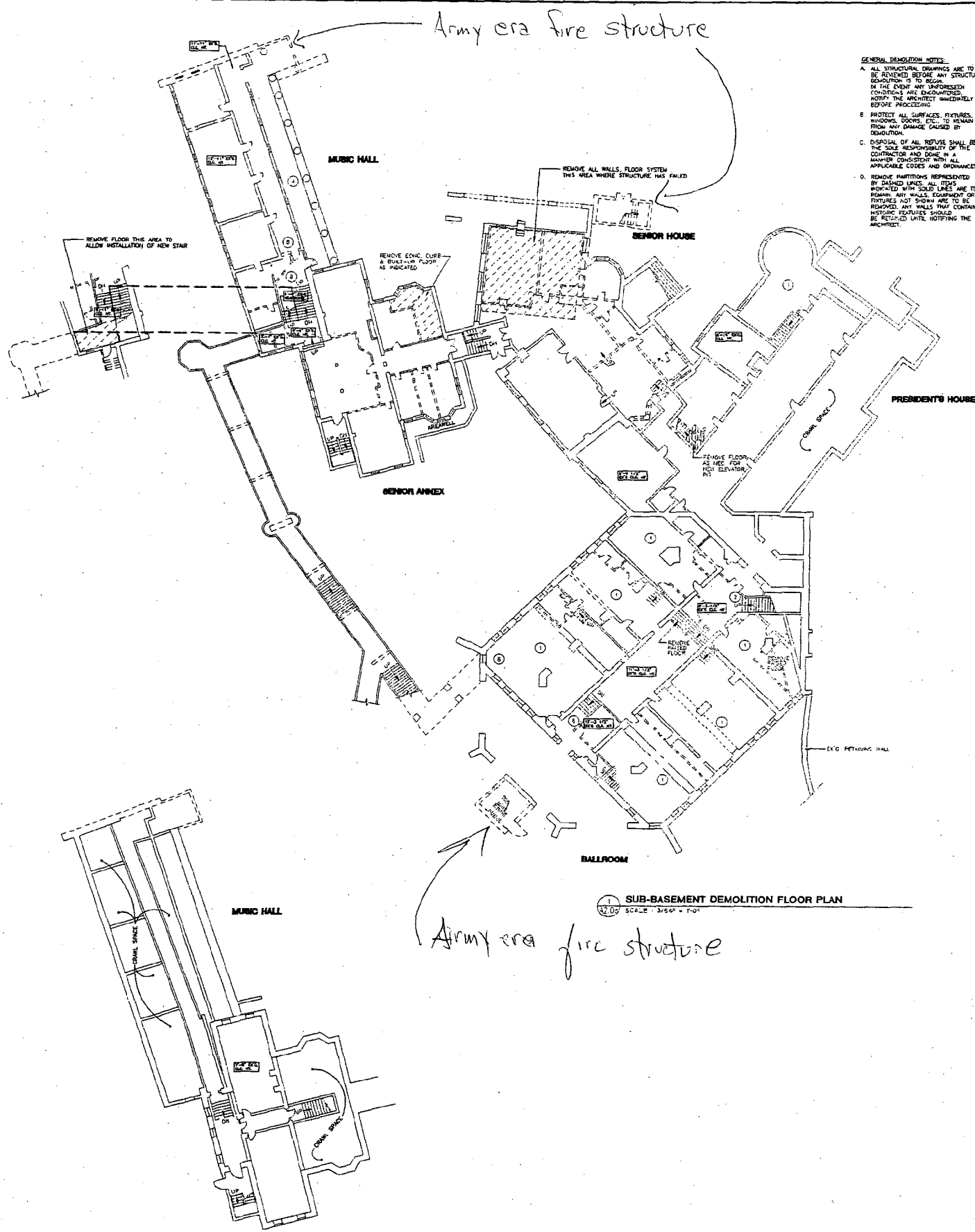
Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

BASEMENT DEMOLITION FLOOR PLAN		SCALE: 3/8" = 1'-0"
DRAWN: DZ	APPR.: DH	DATE: 2-24-04
5-28-04	PART 1	
9-16-04	PART 1 AMENDMENT #1	
11-24-04	SCHEMATIC DESIGN	

PROJECT NO.
03-537

SHEET NO.



GENERAL DEMOLITION NOTES:

- A. ALL STRUCTURAL DEMOLITIONS ARE TO BE REVIEWED BEFORE ANY STRUCTURAL DEMOLITION IS TO BEGIN. IN THE EVENT ANY UNFORSEEN CONDITIONS ARE ENCOUNTERED NOTIFY THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING.
- B. PROTECT ALL SURFACES, FIXTURES, WINDOWS, DOORS, ETC. TO REMAIN FROM ANY DAMAGE CAUSED BY DEMOLITION.
- C. DISPOSAL OF ALL REFUSE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND DONE IN A MANNER CONSISTENT WITH ALL APPLICABLE CODES AND ORDINANCES.
- D. REMOVE FIXTURES REPRESENTED BY DASHED LINES. ALL ITEMS INDICATED WITH SOLID LINES ARE TO REMAIN. ANY WALLS, EQUIPMENT OR FIXTURES NOT SHOWN ARE TO BE REMOVED. ANY WALLS THAT CONTAIN HISTORIC FEATURES SHOULD BE RETAINED UNTIL NOTIFYING THE ARCHITECT.

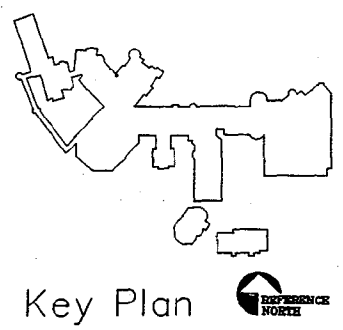
- E. REMOVE ALL PLUMBING, ELECTRICAL AND MECHANICAL SYSTEMS INCLUDING BUT NOT LIMITED TO: RADIATORS, CONDUIT, LIGHT FIXTURES, SWITCHES, JUNCTION BOXES, VALVES AND SUPPLY PIPING. PLUMBING AREAS FIXTURES EXCEPT SINKS, RETAIN EXISTING ROOF DRAINS AND PIPING, UNLESS OTHERWISE NOTED.
- F. REMOVE ALL CABINETRY, UNLESS NOTED OTHERWISE.
- G. REMOVE ALL NON-ORIGINAL SPOILED CEILING EXCEPT WHERE NOTED ON PLANS.
- H. REMOVE FLOOR FINISHES INCLUDING CARPETING AND VINYL TILE UNLESS OTHERWISE NOTED.
- I. REMOVE ALL ACCUMULATED REFUSE, LEAVING THE SITE "BROOM-CLEAN".
- J. RETAIN AND PROTECT ALL WOOD WINDOWS, DOORS AND CASINGS. ANY MISSING SASHES TO BE REPLACED BY C.

- K. REMOVE ALL EXTERIOR PIPING, CONDUIT, ANCHORS, DOWNSPUTS AND MECHANICAL ROOMS UNLESS NOTED OTHERWISE.
- L. REMOVE ALL NON-ORIGINAL GYPSUM BOARD, AND PLUMBING FROM CEILING UNLESS NOTED OTHERWISE. RETAIN PLASTER CEILING.
- M. RETAIN ALL ORIGINAL WOOD BASE ON EX'S WALLS TO REMAIN. SALVAGE ORIGINAL WOOD BASE ON REMOVED WALLS & STORE IN BASEMENT FOR REUSE.
- N. REMOVE ALL SURFACE APPLIED FINISHES ON EXISTING WALLS TO REMAIN TO MATCH FACE OF ADJACENT WALL (EX: MURAL, CERAMIC TILE).
- O. CORPSE AND DISPOSAL OF ALL LOOSE PAINT FROM WALLS, CEILING AND OTHER FINISHED SURFACES INCLUDING PAINT DEBRIS ON FLOORS.
- P. RETAIN AND PROTECT ALL ORIG. WOOD CORRIDOR DOORS AND FRAMES.

- Q. REMOVE ALL NON-ORIGINAL INTERIOR WALL FINISHES (E.G. WALLPAPER, PANELING, ETC.)
- R. RETAIN ALL ORIGINAL DECORATIVE PLASTER MOLDINGS. PROTECT EXISTING DECORATIVE PLASTER DURING DEMOLITION AND CONSTRUCTION.
- S. RETAIN ALL ORIGINAL SILLS AT ALL WINDOWS AND OPENINGS.
- T. REMOVE ALL HVAC UNITS FROM FLOORS, CEILING, WINDOWS, AND ROOFS.
- U. COORDINATE ALL NEW OPENINGS IN EXTERIOR OF BUILDING WITH PRIMARY GENERAL CONTRACTOR.
- V. REMOVE ALL TEMPORARY ENCLOSURES FROM EXISTING WINDOW & DOOR OPENINGS. COORDINATE W/ PRIMARY GENERAL CONTRACTOR.
- W. PROVIDE O.S.M.A. BRACKETS AT ALL FLOOR & WINDOW OPENINGS FOR DURATION OF PROJECT WORK. WINDOW OPENINGS AT FIRST FLOOR SHALL BE CLOSED WITH PLYWOOD TO SECURE.
- X. REMOVE ALL BASED FLOORS IN EXISTING BATHROOMS, CLOSETS AND/OR LAUNDRY AREAS.
- Y. REMOVE CEILING FIXTURES. IF DAMAGE TO PLASTER OCCURS, THEN DEMO CONTRACTOR WILL BE REQUIRED TO PATCH.
- Z. RETAIN AND PROTECT ALL ORIG. WOOD CORRIDOR DOORS AND FRAMES.
- AA. RETAIN AND PROTECT ALL DECORATIVE WOOD COLUMNS, TRIMS, AND MOLDINGS. REPLACE ANY MISSING PIECES TO MATCH EXISTING.
- BB. RETAIN AND PROTECT ALL WOOD, STONE, MASONRY AND PLASTER FIREWORKS, MANTELS, AND TRIMS. REPLACE ANY MISSING PIECES TO MATCH EXISTING.
- CC. RETAIN A PORTION OF EXISTING WALLS BEING REMOVED AT CORRIDOR AND EXTERIOR WALL LOCATIONS. SEE DETAIL 12/A/1.

SEVEN DEMOLITION AND REPAIR NOTES:

- 1. REMOVE EXISTING DETERIORATED CEILING AND INSTALL NEW GYP BOARD CEILING THIS AREA.
- 2. RETAIN EXISTING HANDRAILS AT STAIRS.
- 3. RETAIN AND REPAIR SKYLIGHT.
- 4. RETAIN AND REPAIR WITH LIVE MATERIAL BRICK PORCH, POSTS AND RAILING.
- 5. PATCH AND/OR RECONSTRUCT EXISTING PLASTER ARCH OPENINGS.
- 6. RETAIN AND REPAIR WOOD CEILING.
- 7. REPAIR AND/OR RECONSTRUCT WOOD WAINSCOT PANELING AT WALLS.
- 8. REMOVE DETERIORATED FLOOR JOISTS THIS AREA. RECONSTRUCT FLOOR ACCORDINGLY.
- 9. RETAIN AND REPAIR METAL CEILING.
- 10. RETAIN AND REPAIR DECORATIVE WOOD BEAMS.
- 11. REMOVE AND SALVAGE PERIOD LIGHTING FOR REUSE.
- 12. REMOVE ALL HIGH-DRAW WOOD PANELING THIS AREA.
- 13. RECONSTRUCT ARCHED CEILING THIS ROOM.
- 14. RETAIN AND PROTECT DECORATIVE WOOD BRACKETS.
- 15. RETAIN AND PROTECT STAIN GLASS WINDOW.
- 16. RETAIN AND PROTECT WOOD CABINETRY.
- 17. REMOVE NON-ORIGINAL ACOUSTIC CEILING.
- 18. RETAIN, PROTECT AND REPAIR WOOD DECORATIVE TRIM, MOLDINGS AND COLUMNS.
- 19. RETAIN, PROTECT AND REPAIR DECORATIVE PREPARED TRIMEL, SUPPORTS. RECONSTRUCT MISSING ELEMENTS.



Key Plan



Architecture, Planning & Construction
URBAN RESOURCES
 145 E. BADGER ROAD, SUITE 200
 MADISON, WISCONSIN 53713
 TELEPHONE: 608-258-5591
 FAX: 608-258-5599

PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
NOT FOR CONSTRUCTION

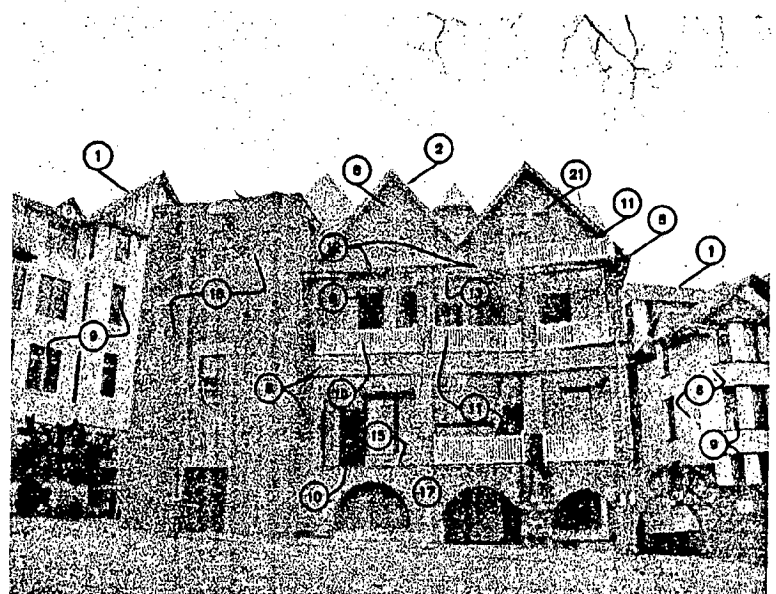
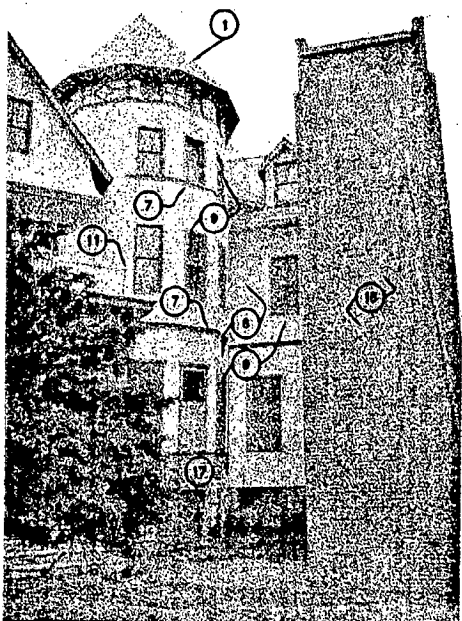
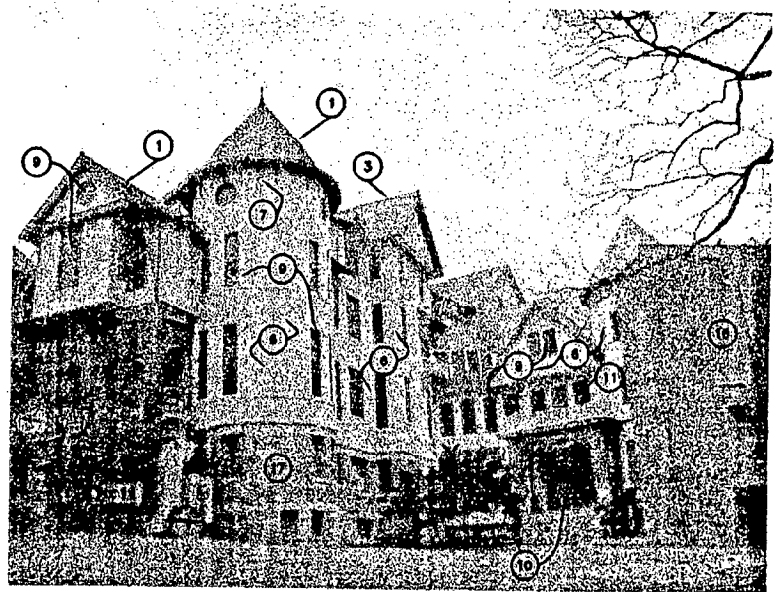
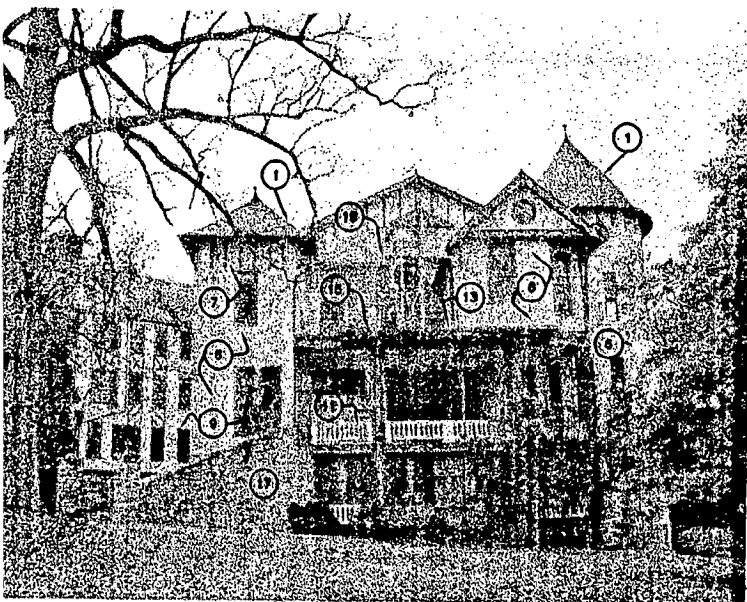
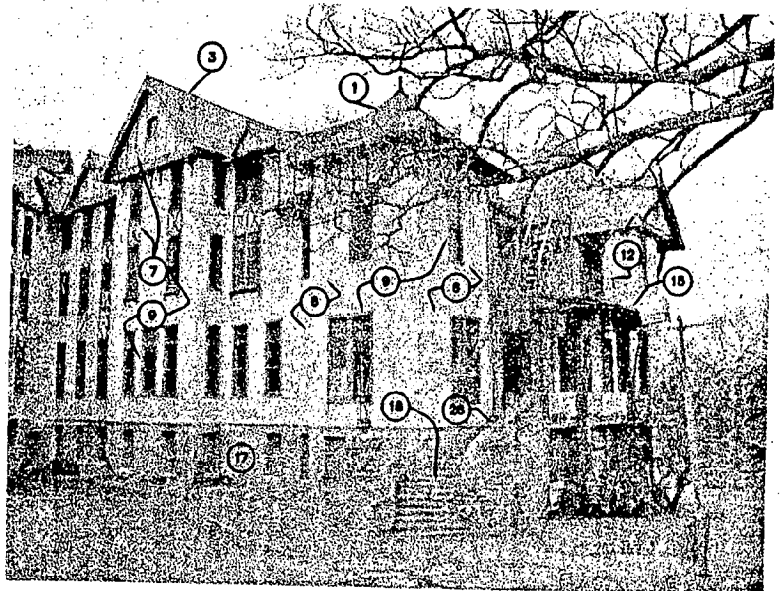
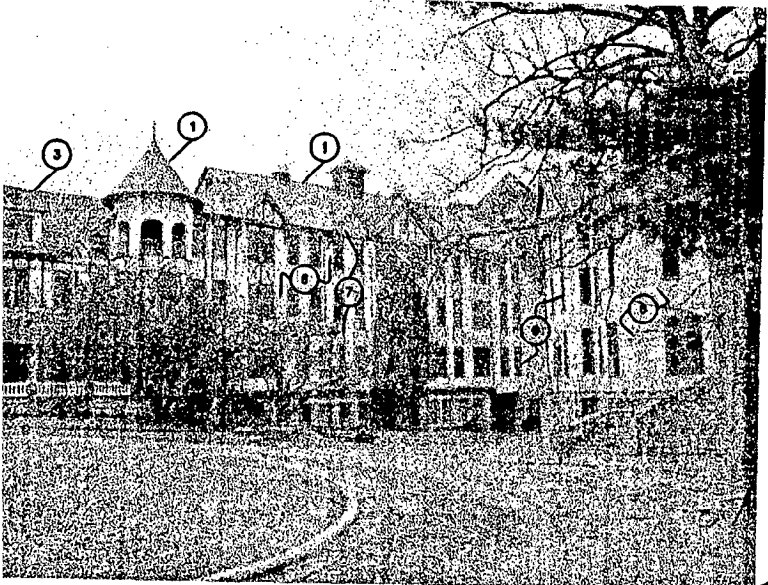
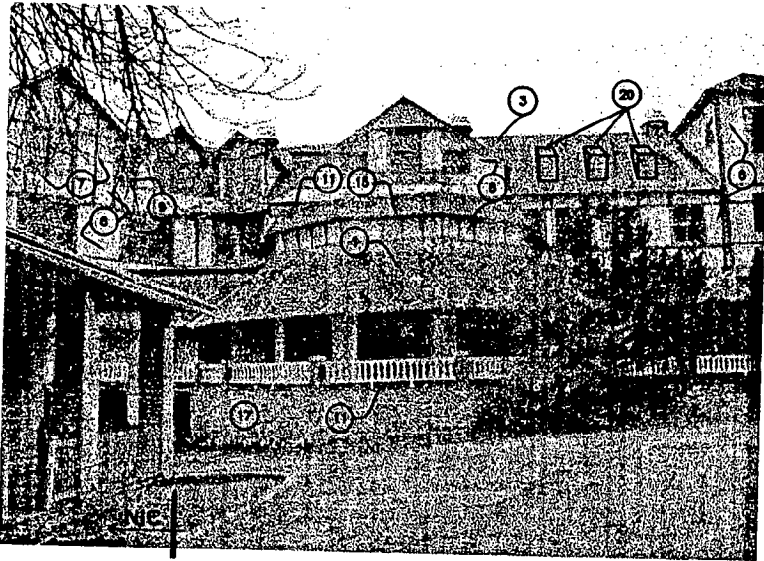
**NATIONAL PARK SEMINARY
 MAIN BUILDING
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND**

SUB-BASEMENT DEMOLITION FLOOR PLAN		SCALE: 3/64" = 1'-0"
DRAWN: DZ	APPR.: DH	DATE: 2-24-04
5/28/04	PART 1	
9/16/04	PART 1 AMENDMENT #1	
11/24/04	SCHEMATIC DESIGN	

PROJECT NO.
03-537

SHEET NO.

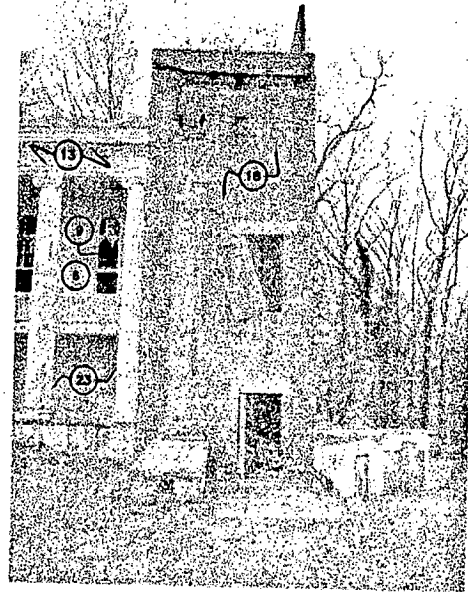
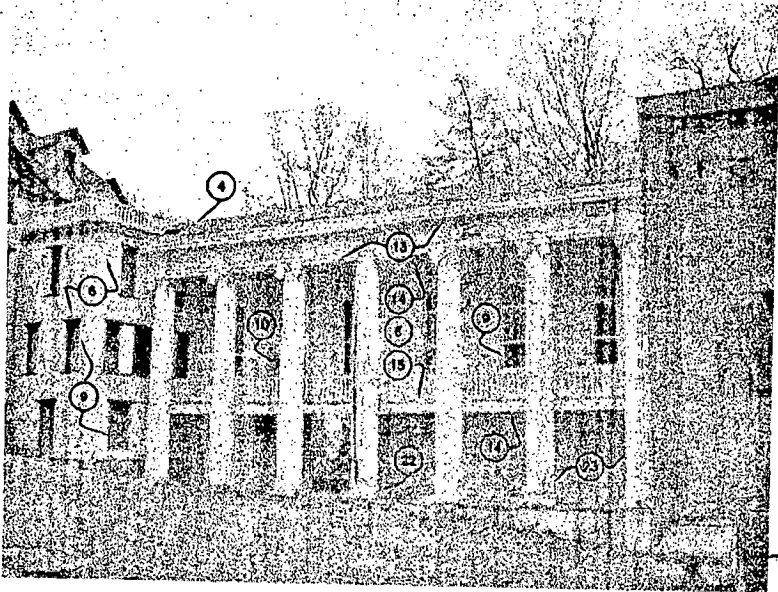
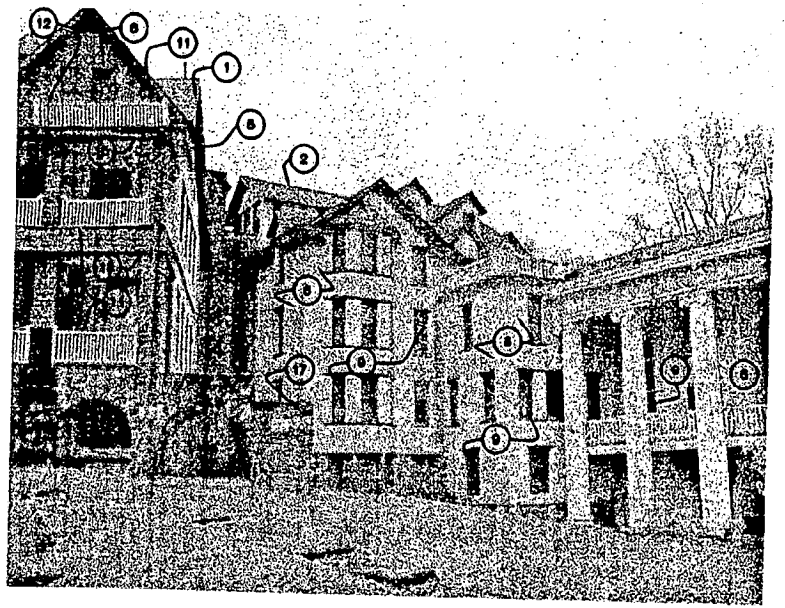
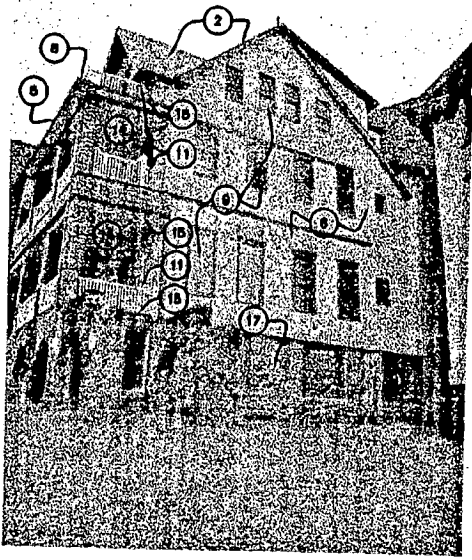
**SUB-SUB-BASEMENT
 DEMOLITION FLOOR PLAN**
 SCALE: 3/16" = 1'-0"



TYPICAL REPAIR NOTES

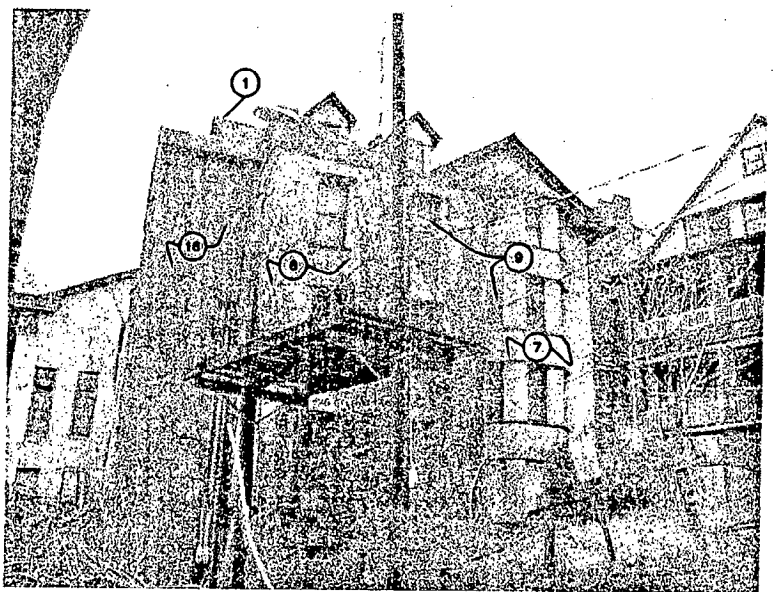
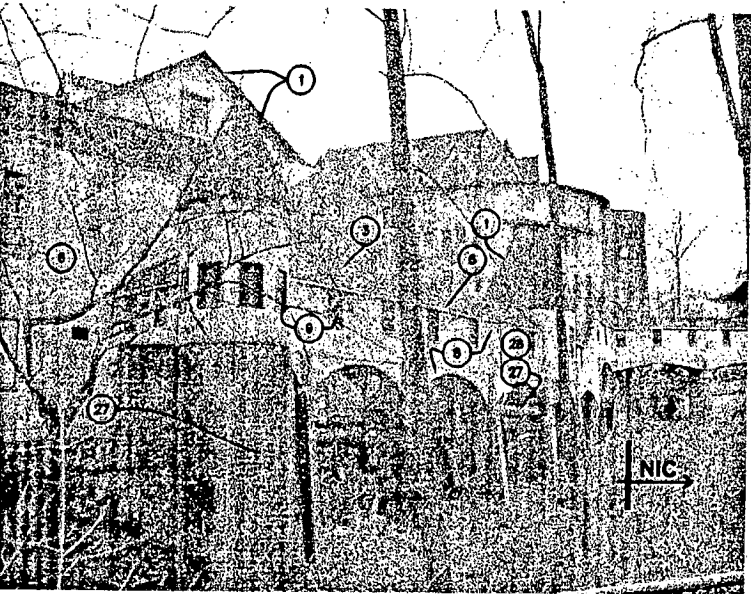
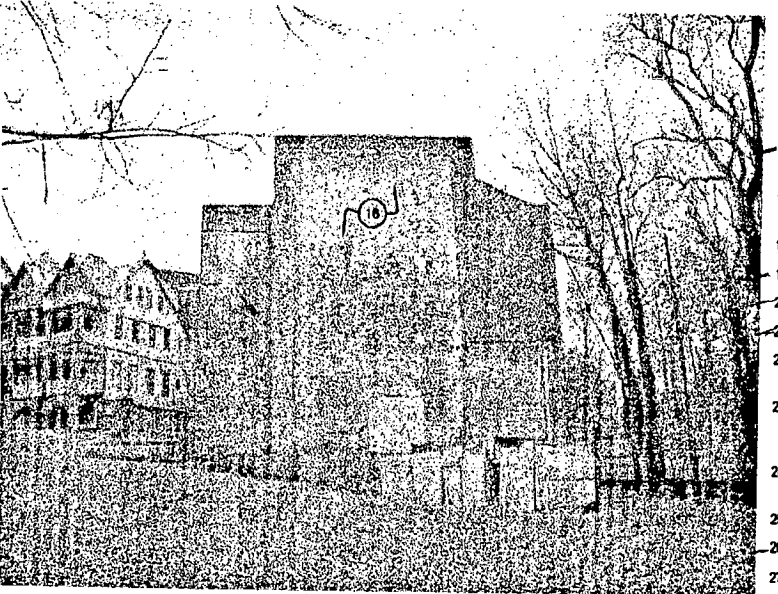
1. Repair historic slate roof per Preservation Brief 29.
2. Remove existing slate roof and damaged deck. Rodeck with 30# felt over 3/4" T&G, OSB. Replace flashing and drip edges with new copper sections. Reshingle with fibercement, slate style, shingles to match existing. Store slate for reuse elsewhere. (Typical U.N.O.)
3. Remove existing damaged roofing and deck and shingles. Rodeck with 30# felt over 3/4" OSB. Replace flashing and drip edges with new copper sections. Reshingle entire section with GAF SlateLine fiberglass shingles.
4. Repair and refinish existing metal roof. (Typical U.N.O.)
5. Replace damaged sections of gutters and downspouts with new copper sections to match existing. (Typical U.N.O.)
6. Preserve and repair historic stucco per Preservation Brief 22.
7. Repair and refinish wood trim per Specification section 08815 (Sim). (Typical).
8. Replace damaged cedar shingles. Powerwash and bleach existing shingle siding to remain and refinish.
9. Repair wood windows per Specification Section 08615 (Typical). Remove plywood covering where applicable.
10. Repair and refinish wood doors per Specification Section 08615 (Sim). (Typical).
11. Repair and refinish wood balustrade (Typical).
12. Replace missing balustrade sections to match existing (Typical).
13. Repair and refinish damaged fascia/soffit (Typical).
14. Repair and refinish damaged soffits (Typical).
15. Replace damaged balcony framing and decking. Install T&G decking over new EPCOM on 1/2" OSB.
16. Remove masonry stairwell and foundation to 4' below grade. Rebuild facade to its original state.
17. Repair stone masonry wall per Specification Section 04500
18. Repair stone stairs per Specification Section 04500
19. Remove fire escape.
20. Reconstruct Dormers to match Original.
21. Install new 1/2 lite door to match original.
22. Replace severely damaged column. Salvage undamaged sections, repair others.
23. Repair and refinish existing columns. Reconstruct base out of GFRC to match one remaining original column base. Strip paint and refinish.
24. Repair stained glass window per Preservation Brief 33
25. Remove power ventilator
26. Install new light fixture to match original
27. Repair clay block support wall.
28. Remove temporary shoring after repair.
29. Remove plaster from opening. Install new wood windows/doors to match original.

A5.4	SHEET NO.	BUILDING PHOTO ELEVATIONS		NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599		
		DRAWN: AK	APPR.: DGV				DATE: 2-1-05	SCALE: NONE
		1-4-06	SCHEMATIC DOCUMENTS					

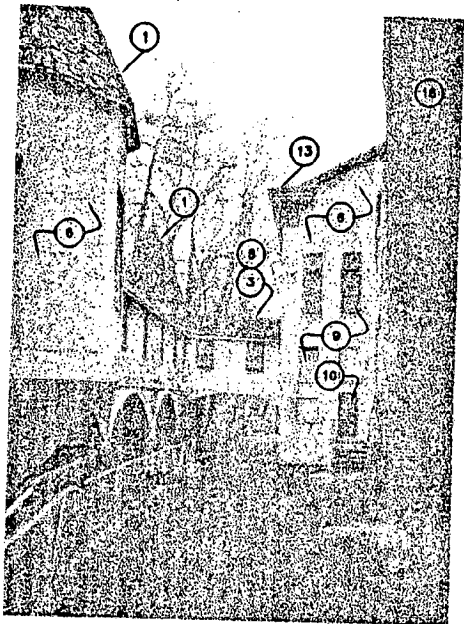
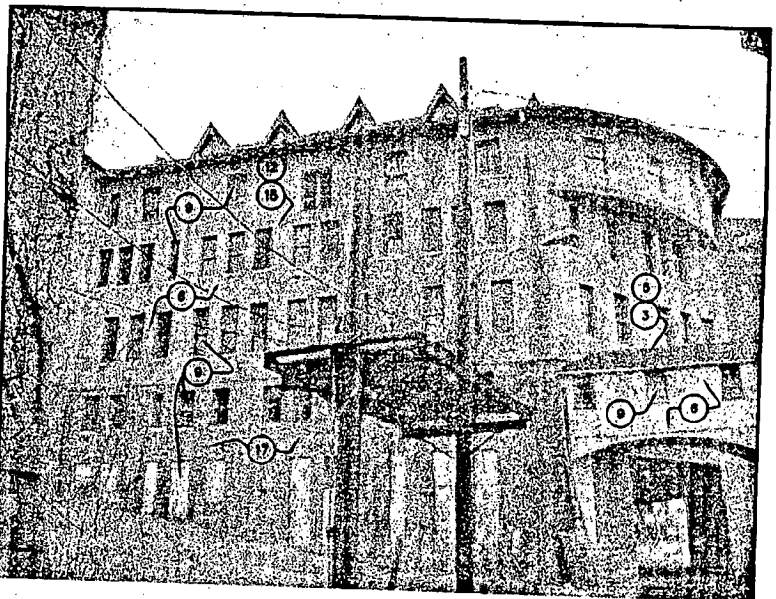
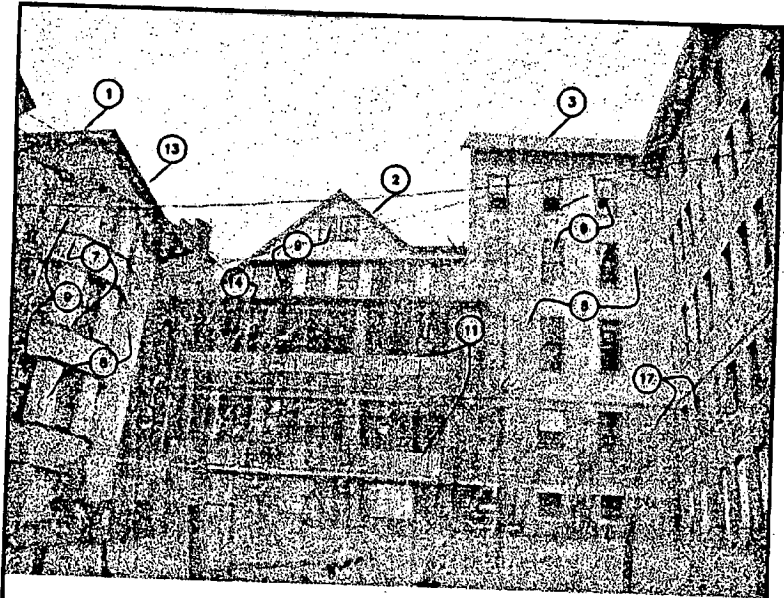


TYPICAL REPAIR NOTES

1. Repair historic slate roof per Preservation Brief 29.
2. Remove existing slate roof and damaged deck. Redeck with 30# felt over 3/4" T&G, OSB. Replace flashing and drip edges with new copper sections. Reshingle with fiber cement, slate style, shingles to match existing. Store slate for reuse elsewhere. (Typical U.N.O.)
3. Remove existing damaged roofing and deck and shingles. Redeck with 30# felt over 3/4" OSB. Replace flashing and drip edges with new copper sections. Reshingle entire section with GAF StateLine fiberglass shingles.
4. Repair and refinish existing metal roof. (Typical U.N.O.)
5. Replace damaged sections of gutters and downspouts with new copper sections to match existing. (Typical U.N.O.)
6. Preserve and repair historic stucco per Preservation Brief 22.
7. Repair and refinish wood trim per Specification section 08615 (Sim). (Typical).
8. Replace damaged cedar shingles. Powerwash and bleach existing shingle siding to remain and refinish.
9. Repair wood windows per Specification Section 08615 (Typical). Remove plywood covering where applicable.
10. Repair and refinish wood doors per Specification Section 08615 (Sim). (Typical).
11. Repair and refinish wood balustrade (Typical).
12. Replace missing balustrade sections to match existing (Typical).
13. Repair and refinish damaged fascias/cornices (Typical) and refinish damaged soffits (Typical).
14. Repair and refinish damaged soffits (Typical).
15. Replace damaged balcony framing and decking. Install T&G decking over new EPDM on 1/2" OSB.
16. Remove masonry stairwell and foundation to 4' below grade. Rebuild facade to its original state.
17. Repair stone masonry well per Specification Section 04500
18. Repair stone stairs per Specification Section 04500
19. Remove fire escape.
20. Reconstruct Dormers to match Original.
21. Install new 1/2" fire door to match original.
22. Replace severely damaged column. Salvage undamaged sections, repair others.
23. Repair and refinish existing columns. Reconstruct base out of GFRG to match one remaining original column base. Strip paint and refinish.
24. Repair stained glass window per Preservation Brief 33
25. Remove power ventilator
26. Install new light fixture to match original
27. Repair clay block support wall.
28. Remove temporary shoring after repair.
29. Remove plaster from opening. Install new wood windows/doors to match original.

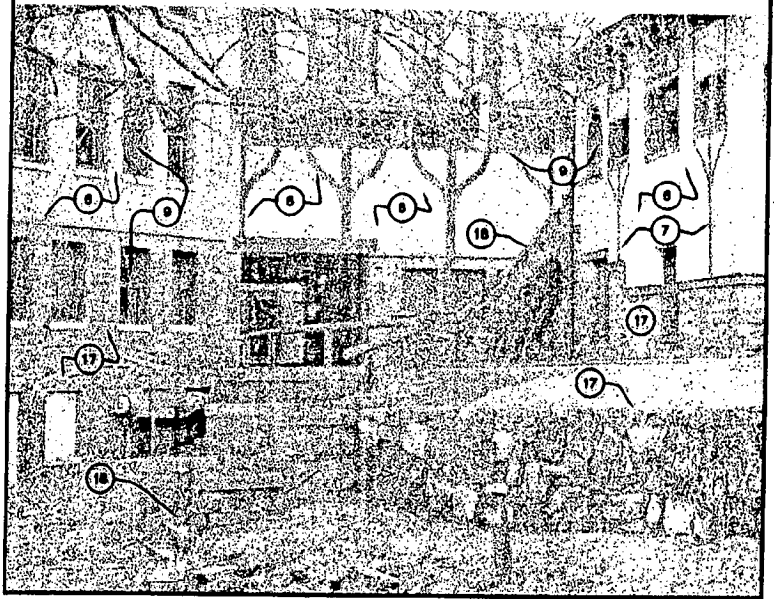
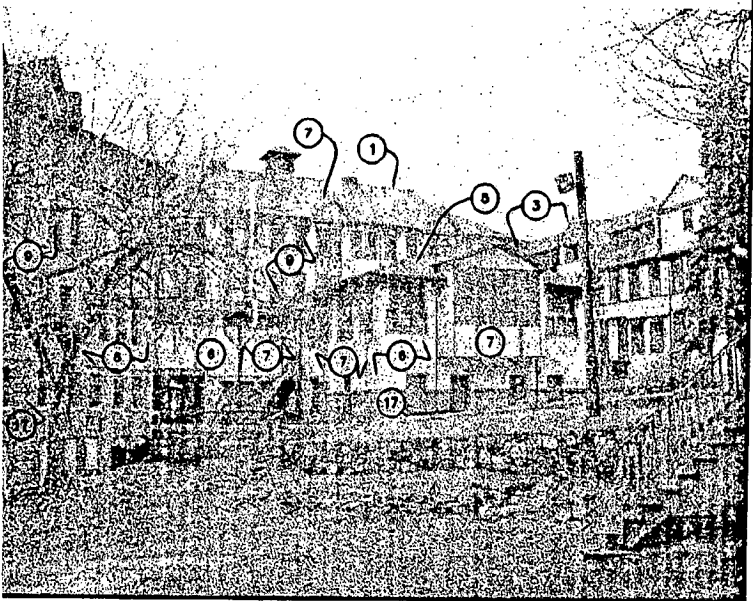
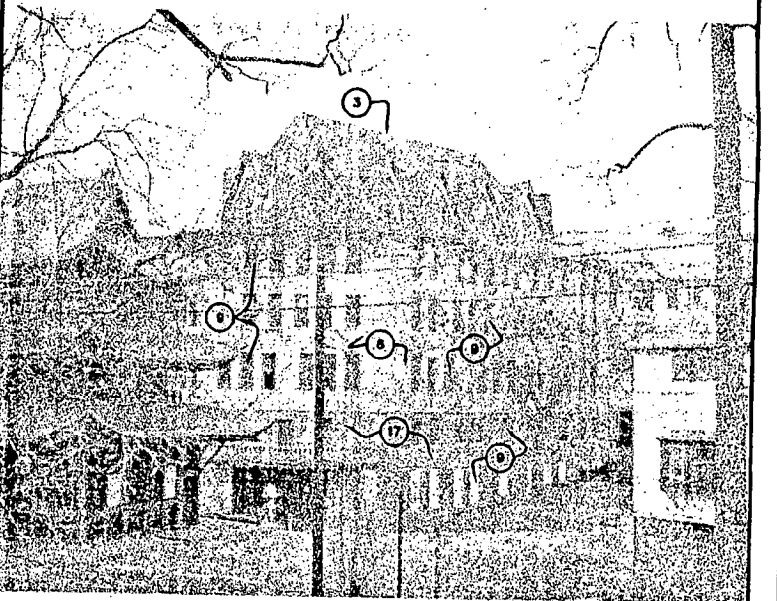
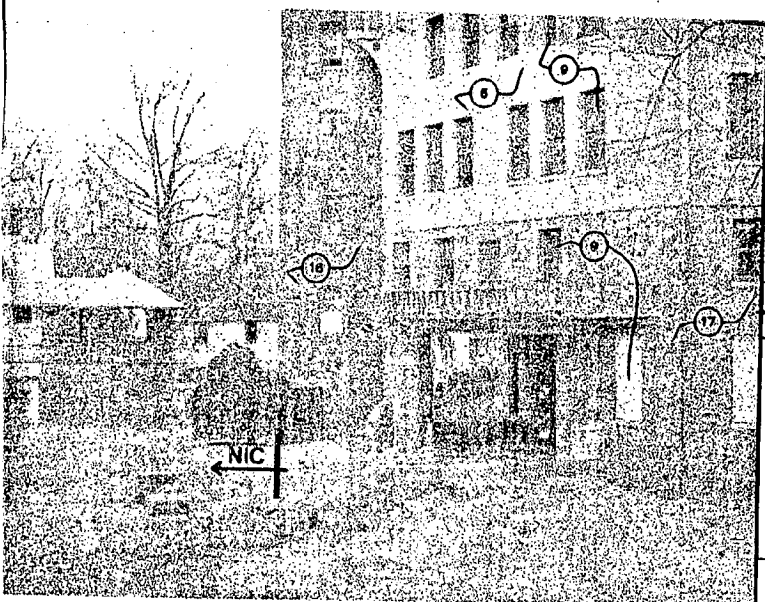
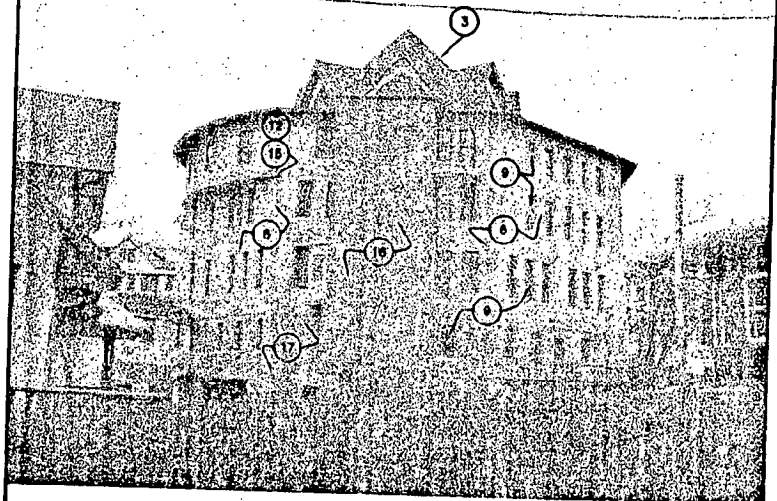


A5.3	SHEET NO. 04-579	BUILDING PHOTO: ELEVATIONS	NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599
		DRAWN: AK APPR.: DGV DATE: 2-1-05 SCALE: NONE			
		1-4-05 SCHEMATIC DOCUMENTS			



TYPICAL REPAIR NOTES

1. Repair historic slate roof per Preservation Brief 29.
2. Remove existing slate roof and damaged deck. Radeck with 30# felt over 3/4" T&G, OSB. Replace flashing and drip edges with new copper sections. Reshingle with fibercement, slate style, shingles to match existing. Store slate for reuse elsewhere. (Typical U.N.O.)
3. Remove existing damaged roofing and deck and shingles. Radeck with 30# felt over 3/4" OSB. Replace flashing and drip edges with new copper sections. Reshingle entire section with GAF Stearns fiberglass shingles.
4. Repair and refinish existing metal roof. (Typical U.N.O.)
5. Replace damaged sections of gutters and downspouts with new copper sections to match existing. (Typical U.N.O.)
6. Preserve and repair historic stucco per Preservation Brief 22.
7. Repair and refinish wood trim per Specification section 08615 (Sim), (Typical).
8. Replace damaged cedar shingles. Powerwash and bleach existing shingle siding to remain and refinish.
9. Repair wood windows per Specification Section 08615 (Typical). Remove plywood covering where applicable.
10. Repair and refinish wood doors per Specification Section 08615 (Sim), (Typical).
11. Repair and refinish wood balustrade (Typical).
12. Replace missing balustrade sections to match existing (Typical).
13. Repair and refinish damaged fascia/cornice (Typical).
14. Repair and refinish damaged soffit (Typical).
15. Replace damaged balcony framing and decking. Install T&G decking over new EPDM on 1/2" OSB.
16. Remove masonry stairwell and foundation to 4' below grade. Rebuild facade to its original state.
17. Repair stone masonry wall per Specification Section 04500
18. Repair stone stairs per Specification Section 04500
19. Remove fire escape.
20. Reconstruct Dormers to match Original.
21. Install new 1/2" fire door to match original.
22. Replace severely damaged column. Salvage undamaged sections, repair others.
23. Repair and refinish existing columns. Reconstruct base out of GERC to match one remaining original column base. Strip paint and refinish.
24. Repair stained glass window per Preservation Brief 33
25. Remove power ventilator
26. Install new light fixture to match original
27. Repair clay block support wall.
28. Remove temporary shoring after repair.
29. Remove plaster from opening. Install new wood windows/doors to match original.

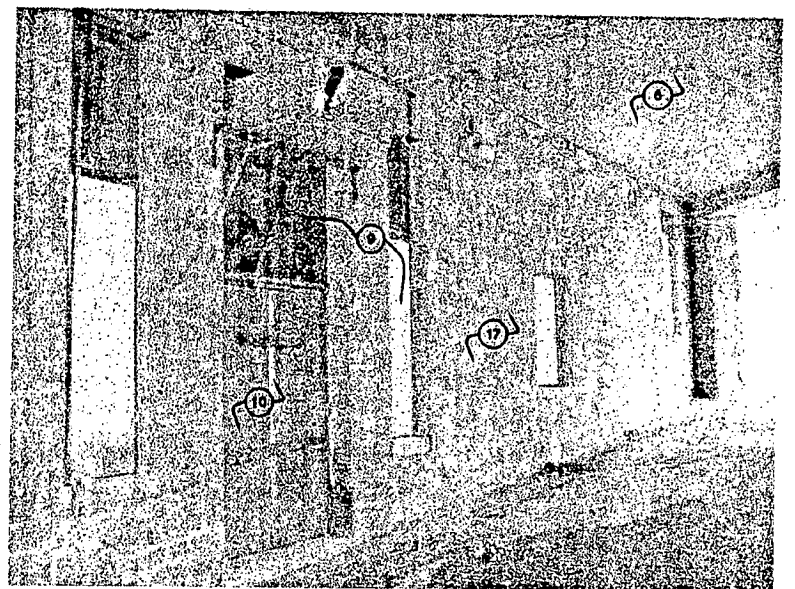
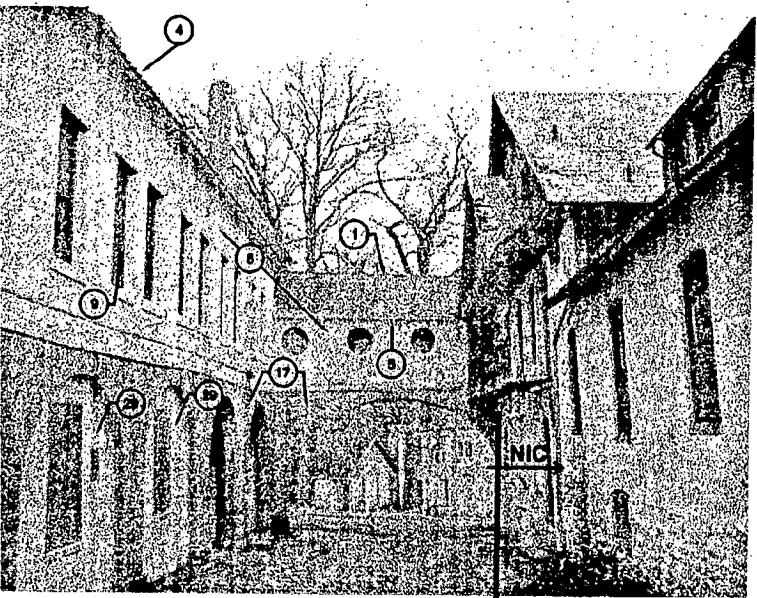
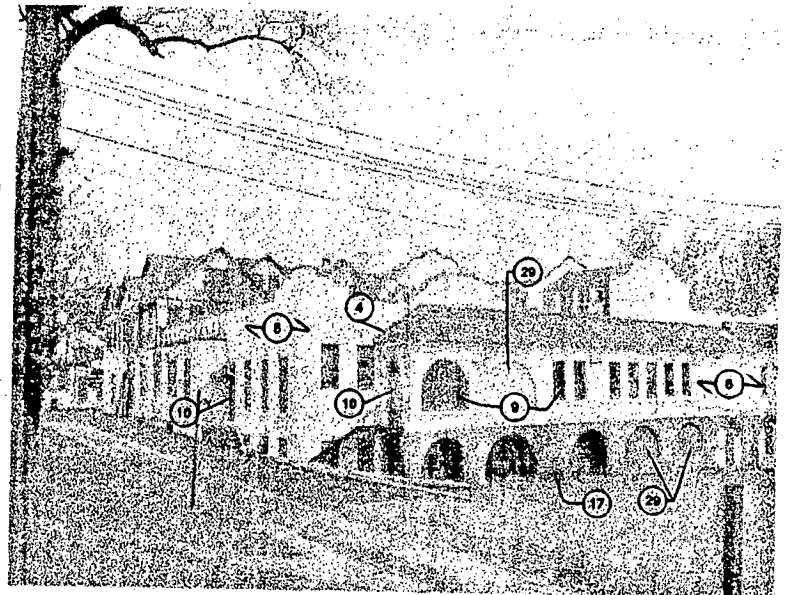
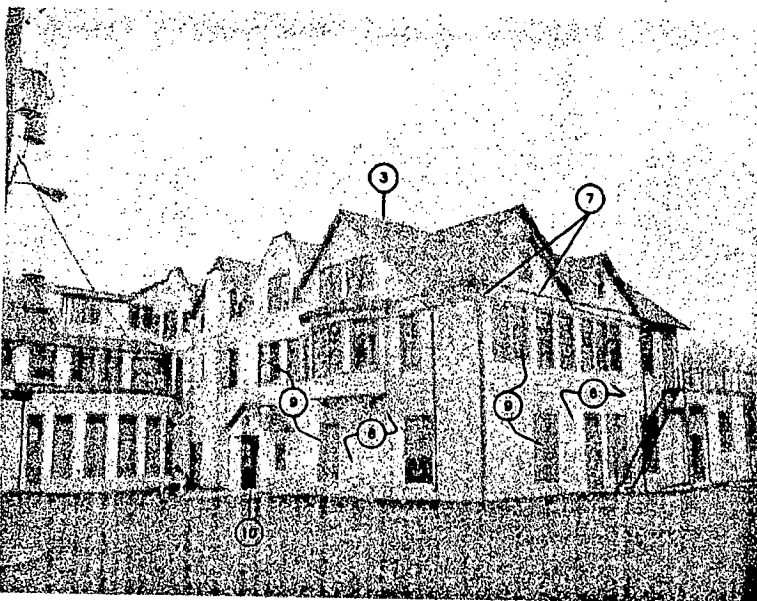
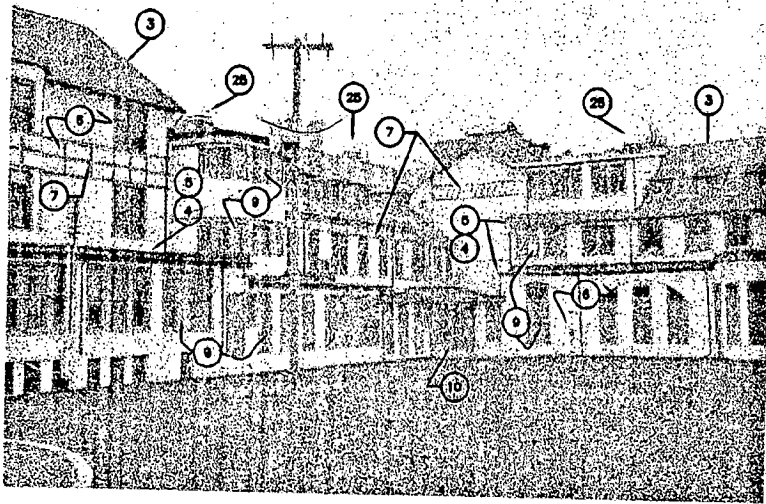
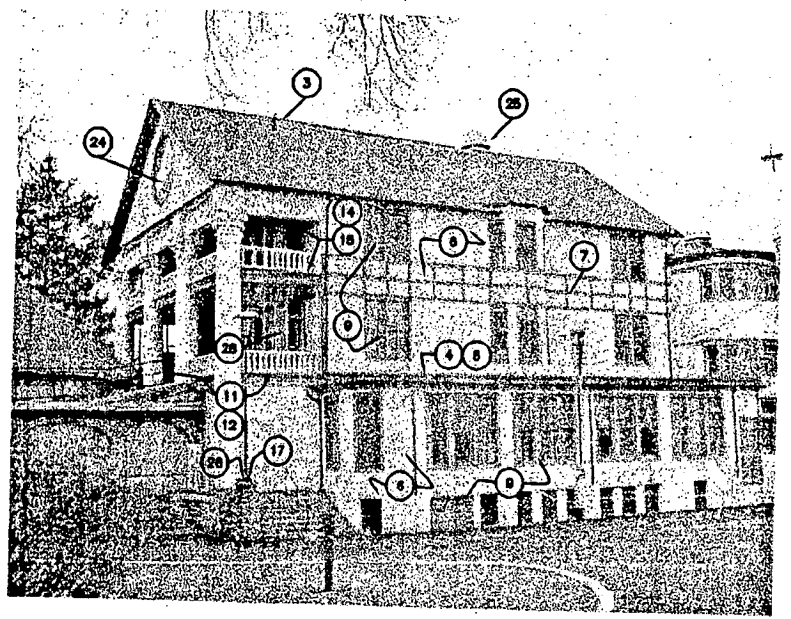
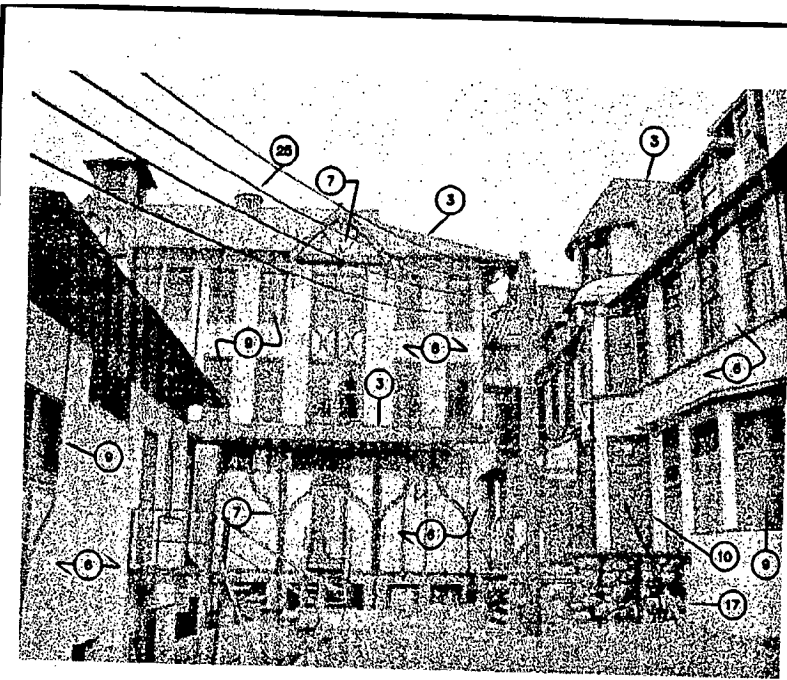


A52	SHEET NO.	BUILDING PHOTO ELEVATIONS		
		DRAWN: AK	APPR.: DGV	DATE: 2-1-05
		14-06	SCHEMATIC DOCUMENTS	
PROJECT NO.	SCALE: NONE			
04-579				

**NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND**

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599



TYPICAL REPAIR NOTES

1. Repair historic slate roof per Preservation Brief 28.
2. Remove existing slate roof and damaged deck. Redeck with 3/8" felt over 3/4" T&G OSB. Replace flashing and drip edges with new copper sections. Reshingle with fibercement, slate style, shingles to match existing. Store slate for reuse elsewhere. (Typical U.N.O.)
3. Remove existing damaged roofing and deck and shingles. Redeck with 3/8" felt over 3/4" OSB. Replace flashing and drip edges with new copper sections. Reshingle entire section with GAF StateLine fiberglass shingles.
4. Repair and refinish existing metal roof. (Typical U.N.O.)
5. Replace damaged sections of gutters and downspouts with new copper sections to match existing. (Typical U.N.O.)
6. Preserve and repair historic stucco per Preservation Brief 22.
7. Repair and refinish wood trim per Specification Section 08615 (Sim), (Typical).
8. Replace damaged cedar shingles. Powerwash and bleach existing shingle siding to remain and refinish.
9. Repair wood windows per Specification Section 08615 (Typical). Remove plywood covering where applicable.
10. Repair and refinish wood doors per Specification Section 08615 (Sim), (Typical).
11. Repair and refinish wood balustrade (Typical).
12. Replace missing balustrade sections to match existing (Typical).
13. Repair and refinish damaged fascia/soffit (Typical).
14. Repair and refinish damaged soffit (Typical).
15. Replace damaged balcony framing and decking. Install T&G decking over new EPDM on 1/2" OSB.
16. Remove masonry stairwell and foundation to 4' below grade. Rebuild facade to its original state.
17. Repair stone masonry wall per Specification Section 04500
18. Repair stone steps per Specification Section 04500
19. Remove fire escape.
20. Reconstruct Dormers to match Original.
21. Install new 1/2 lite door to match original.
22. Replace severely damaged column. Salvage undamaged sections, repair others.
23. Repair and refinish existing columns. Reconstruct base out of GFRG to match one remaining original column base. Strip paint and refinish.
24. Repair stained glass window per Preservation Brief 33
25. Remove power ventilator
26. Install new light fixture to match original
27. Repair clay block support wall.
28. Remove temporary shoring after repair.
29. Remove plaster from opening. Install new wood windows/doors to match original.

BUILDING PHOTO ELEVATIONS

DRAWN: AK | APPR.: DGV | DATE: 2-1-05 | SCALE: NONE

1-4-06 | SCHEMATIC DOCUMENTS

**NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND**

**PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION**

Architecture, Planning & Construction
URBAN RESOURCES

145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

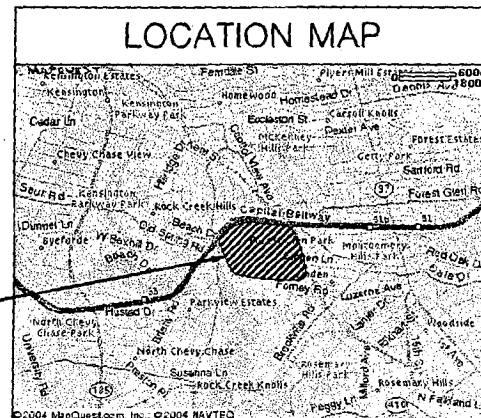
A5.1

SHEET NO.

PROJECT NO.
04-579

NATIONAL PARK SEMINARY

MAIN BUILDING (101) SILVER SPRING, MARYLAND



DRAWING INDEX	
T1	TITLE SHEET
C1	SITE PLAN
A2.0a	SUB-BASEMENT DEMOLITION PLAN
A2.0b	BASEMENT FLOOR PLAN
A2.1	FIRST FLOOR DEMOLITION PLAN
A2.2	SECOND FLOOR DEMOLITION PLAN
A2.3	THIRD FLOOR DEMOLITION PLAN
A2.4	ATTIC DEMOLITION PLAN
A2.5	ROOF DEMOLITION PLAN
A3.0a	SUB-BASEMENT FLOOR PLAN
A3.0b	BASEMENT FLOOR PLAN
A3.1	FIRST FLOOR PLAN
A3.2	SECOND FLOOR PLAN
A3.3	THIRD FLOOR PLAN
A3.4	ATTIC PLAN
A3.5	ROOF PLAN
A5.1	BUILDING ELEVATIONS (PHOTO ELEVATIONS)
A5.2	BUILDING ELEVATIONS (PHOTO ELEVATIONS)
A5.3	BUILDING ELEVATIONS (PHOTO ELEVATIONS)
A5.4	BUILDING ELEVATIONS (PHOTO ELEVATIONS)

DRAWING INDEX	
A6.1	BUILDING SECTIONS
A6.2	BUILDING SECTIONS
A6.3	BUILDING SECTIONS
A6.4	STAIR SECTIONS
A6.5	STAIR SECTIONS
A6.6	STAIR SECTIONS
A6.7	STAIR SECTIONS

THE ALEXANDER COMPANY

145 E. BADGER ROAD
SUITE 200
MADISON, WI. 53713
(608) 258-5580

APPROVALS	NAME	DATE
DESIGN		
CONSTR.		
DEV.		
MGT.		
OWNER		

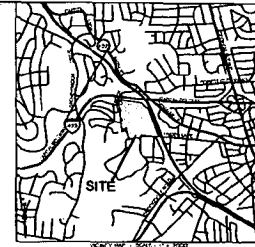
Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

TITLE SHEET	SCALE: NONE
DRAWN: DJ	DATE:
11-05	SCHEMATIC DOCUMENTS

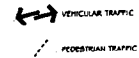
PROJECT NO.
04-579
SHEET NO.
T-1



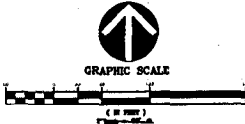
PROPOSED CIRCULATION EXHIBIT
NATIONAL PARK SEMINARY
 -Phase I- (8-05024)

LEGEND

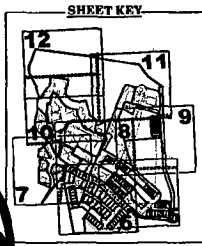
- FLOODPLAIN DEL
- 150 YEAR FLOODPLAIN
- STREAM VALLEY BUFFER
- EDGE OF PAVEMENT
- PRICING LINE
- PROPERTY LINES
- SANITARY CLEANOUT
- STORM DRAIN MANHOLE
- ELECTRICAL JUNCTION BOX
- ELECTRICAL MANHOLE
- FIRE DEPT CONNECTION
- FIRE HYDRANT
- GAS MANHOLE
- GAS POLE
- LIGHT POLE
- PHONE FEEDLINE
- PHONE MANHOLE
- UTILITY POLE
- SANITARY MANHOLE
- TRAFFIC CONTROL BOX
- TRAFFIC SIGNAL POLE
- TREE
- CABLE TELEVISION FEEDLINE
- UNKNOWN UTILITY MANHOLE
- WATER METER
- WATER MANHOLE
- WASTE VALVE
- ISOLATED
- SIGN POST
- WOOD POST
- INLETS
- CURB INLET
- ELECTRICAL POLE



PROJECT TEAM	
ARCHITECT KIMLEY-HORN & ASSOCIATES 145 EAST BLOOR ROAD WASHINGTON, DC 20004 CONTACT: NATHAN BODEN 202-536-5000	
ENGINEER KIMLEY-HORN & ASSOCIATES 1000 WILSON BOULEVARD SUITE 2100 CONTACT: NATHAN BODEN 703-252-5363 x-49	
LANDSCAPE ARCHITECT LEICA TRINITY DESIGN 1 BETHesda, MARYLAND 20814 SUITE 400 CONTACT: STINE ROOPE 301-251-2141	
ARCHITECTURAL CONSULTANT ARCHITECTURAL GROUP, INC. 8603 WESTWOOD CENTER DR SUITE 402 CONTACT: MICHAEL WILSON 703-770-3377	
PLANNING THE URBAN GROUP 9000 FARMLEY 50 DRIVE SUITE 11 DALLAS, TX 75243 CONTACT: WES BUCKLEY 800-307-0411	
CIVIL ENGINEER CENTURY ENGINEERS, INC. 20251 CENTURY BOULEVARD SUITE 400 GERMANTOWN, MARYLAND 20874 CONTACT: CHUCK FISH 301-251-1100	
NATIONAL PARK SEMINARY -Phase I- (8-05024) SPRING MONTGOMERY COUNTY, MARYLAND 1378 EASTGATE DRIVE	
PROPOSED CIRCULATION EXHIBIT	
VIA REVISIONS	
DATE	March 14, 2005
DES.	DWM
CHECKED	WFO
SCALE	1" = 60'
PROJECT NO.	1200
SHEET NO.	CI-2



Note: Some of the proposed circulation is not on the plan. It is based on information from the National Park Seminary and may vary from the actual site plan.



Handwritten initials/signature



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

October 6, 2004

MEMORANDUM

TO: Montgomery County Historic Preservation Commission

FROM: Tania Georgiou Tully, Senior Planner
Historic Preservation Section

SUBJECT: Application to Rezone the National Park Seminary Historic District (*Master Plan* Site #36/01)

STAFF RECOMMENDATION

Support the current application (G-828) to rezone the National Park Seminary from R-90 to PD-15.

BACKGROUND

The National Park Seminary was designated to the *Master Plan for Historic Preservation* in 1979. The property, currently owned by the U.S. Army, will be transferred in the near future to Forest Glen Venture, LLC, a development team devoted to the adaptive reuse of the historic buildings.

In approximately 2000, the Army began the process to declare the National Park Seminary as excess and to dispose of it and has been working with the General Services Administration (GSA) in the effort. Initially, it was not clear as to what role the Montgomery County government wished to play in the excessing process. However, in the last two years, the county – through the Executive’s Office of Planning Implementation – has taken an active role in working to find a development team to undertake the rehabilitation and redevelopment of this historic site.

In May 2003, the county issued a Request for Expressions of Interest for the project and a number of qualified development teams responded. A committee of county staff (including Gwen Wright, MNCPPC Historic Preservation Supervisor), Maryland Historical Trust (MHT) staff, and community representatives interviewed several of the development teams and made recommendations to County Executive Doug Duncan about which team seemed most qualified to take on the National Park Seminary project. In December 2003, Mr. Duncan announced that the Alexander Company, in partnership with Eakin/Youngentob, was the selected development team.

This rezoning request is the first of many steps that will enable rehabilitation and reuse of the National Park Seminary.

PROPOSED REZONING

The applicants have requested rezoning the National Park Seminary from R-90 to PD-15, a planned development zone. The purpose of this request is to allow for the higher density needed to help finance the project and allow

for the rehabilitation of the historic properties. The amount of property to be rezoned is approximately 32 acres, the majority of which is within the boundaries of the historic district.

STAFF DISCUSSION

The success of the rehabilitation and re-use of the historic buildings at the National Park Seminary is dependent on many factors including finances. The financing on this project is extremely complex, requiring new construction and the use of State and Federal Historic Preservation tax incentives. This rezoning will allow for the density and number of housing units needed to finance the rehabilitation. All new construction within the historic district proposed as a result of this change would, of course, be subject to HPC review and require an Historic Area Work Permit. It will also need to be reviewed by MHT, which will hold an easement on the property.

Staff supports the rezoning request and recommends that the Commission do the same.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7180 Linden Lane	Meeting Date:	10/13/04
Applicant:	Forest Glen Ventures, LLC	Report Date:	10/06/04
Resource:	Master Plan Site #36/01 National Park Seminary Historic District	Public Notice:	09/24/04
Review:	PRELIMINARY SITE PLAN	Tax Credit:	No
Case Number:	N/A	Staff:	Tania Tully

PROPOSAL: Redevelop property for medium density residential use, including new construction.

STAFF RECOMMENDATION

Staff recommends that the HPC support this development proposal with the following comments for the Planning Board:

- Allow Linden Lane to remain as narrow as possible to retain the historic character of the district.
- Support the fast tracking the reviews of this project for the good of the historic buildings.

BACKGROUND

The National Park Seminary Historic District as it stands today is a combination of many architectural styles and building types constructed over its more than 100-year history. The property was originally part of a large tract of land owned by Daniel Carroll, Commissioner of the District of Columbia. Carroll's brother John, the first Bishop and first Archbishop of the American Roman Catholic Church, began his ecclesiastical career on a different portion of the property in 1772.

In 1887, the Forest Glen Improvement Company built Ye Forest Inne as a resort hotel. By 1893 the Inne had proven to be a financial disaster and was closed. In early 1894 it was leased to John and Vesta Cassedy who converted the Inne into the main building of the National Park Seminary, a finishing school for girls. The majority of the seminary's buildings were built by the Cassedys between 1894 and 1915. This included buildings such as the stone chapel, the gymnasium, the Aloha Dormitory, the Odeon Theater (no longer extant), an Italianate dormitory, and multiple sorority houses depicting architecture from across the globe.

In 1916, James E. Ament took over the seminary adding the ballroom, installing sculptures, and landscaping the grounds. Roy Tasco Davis replaced Ament in the late 1930s converting the Seminary into a junior college. Davis was only able to remain until 1942 when the U.S. Army took the property for use as part of the Walter Reed Army Hospital. In response to a threat of demolition, the site was listed in the National Register of Historic Places in 1972. The Army actively used the site until 1973 and, over the next 20 years, the patients, services, and offices were moved to other Walter Reed Army Medical Center facilities.

A-43

As the Army vacated the site, there were significant concerns about neglect and deterioration of the property. The Army discussed the possibility of disposing of the property for nearly 30 years. Two major feasibility studies were completed for re-use of the site (one in 1972 and one in 1995) and the Army undertook a wide variety of studies and documentation efforts in response to federally and state mandated regulations. However, little maintenance of the buildings took place and one major building – the Odeon Theater – was destroyed by arson in 1993. Finally, in approximately 2000, the Army began the process to declare the National Park Seminary as excess and to dispose of it. The Army has been working with the General Services Administration (GSA) in the effort.

SITE DESCRIPTION

SIGNIFICANCE: *Master Plan Site #36/01*
STYLE: *Varies – Tudor, Colonial, Greek Revival, Italianate, etc...*
DATE: *1887-1927*

The subject parcel 880 and part of 394 (just under an acre) encompasses approximately 33 acres and is roughly bounded by I-495 on the north, a private road that runs parallel to the CSX line on the east, and Linden Lane on the south and west. The neighborhood west of the district consists of single-family residences constructed from the 1920s through the 1980s. The area to the east contains Army warehouses, commercial properties and single-family residences. South of the district is a vacant lot that will be built-out with new construction as part of this project and the Walter Reed Army Medical Center is south and east of that.

PROPOSAL:

The applicant is proposing to redevelop the National Park Seminary as a residential neighborhood consisting of no more than 280 dwelling units with many of them located within the existing historic buildings. The Development Plan (Circle 5) is broken into 2 parcels; Parcel 2 is not within the historic district (Circle 12). The breakdown of residential units on Parcel 1 is as follows:

18'x40' Townhouse.....	51
Front-load Townhouse.....	8
Single-family Detached.....	13
Multiple-family, 4 stories or less.....	135
<u>Multiple-family, over 4 stories.....</u>	<u>31</u>
Total units within Historic District ...	238

These numbers may be revised and changed as the site plan review process proceeds, but the total number of residential units on both parcels will not exceed 280.

STAFF DISCUSSION

Because of the size and complexity of this project the applicant is working with M-NCPPC staff to expedite and streamline the permitting and approval processes. The plan as submitted today is not the first iteration and is not the last, however, it has changed from what the Commission saw at the June 9, 2004 briefing (Circle 11). The changes are in response to comments from the Commission, the Maryland Historical Trust, and the National Park Service as well as from other departments within Park & Planning

(Environmental, Transportation, etc.). The major changes to and challenges with the site with are the new construction and the required parking. In an ideal world the development team would be able to finance the rehabilitation and adaptive reuse of the historic buildings without the need for new construction on the historic site – this is not the case.

In order to reduce the size of the parking lot in the former front lawn of the main building, spaces have been tucked into corners throughout the site. The new construction within the district is concentrated towards the east end with fewer units in between the Gymnasium and the Maids Quarters/Practice Hall. Eight units are now proposed along the private drive leading to the Villa rather than one or two and the east end of the Villa is still proposed for demolition at a later date. A new single-family residence is proposed to the west of the Swiss Chalet due to a slight reduction in land available south of Linden Lane.

At this time (assuming that stabilization measures for the historic properties are put in place) only the west end of the Villa, a collapsed portion of Main (see HAWP 36/01-04A), some of the Army constructed stair towers, and four non-contributing buildings are proposed for demolition. The applicant is moving forward on applications for State and Federal Historic Preservation Tax Credits and is well aware of the Preservation Easement that will be in place once they obtain ownership of the property.

The scale of the new construction in comparison with the historic buildings can be seen in the sections provided in circles 7-10. Due to the topography of the site, some of the new buildings will be taller than the Practice Hall and power Plant, but the reduction in the number of units will allow for a better view of the historic buildings from the main entrance off of Linden Lane. In addition, they are smaller in scale than the gymnasium. Most of the infill construction will replace non-contributing the concrete block Army-era buildings.

One of the issues of concern to staff and neighboring residents is the proposed road widening currently being required by the Department of Public Works and Transportation. Linden Lane is a narrow road and historically was the back door to the Seminary and several of the historic buildings are already set very close to the existing road. Staff believes that widening the road has the potential to decrease the historic character of the district and its connection with surrounding neighborhoods. If the road is required to be widened, staff recommends that the Commission support a waiver allowing the widening to be as minimal as possible.

Staff is supportive of this plan and will continue to work with the applicant as the plan is tweaked in response to concerns by other departments. At this time, though, the applicant is seeking the Commissions approval of the current proposal. If there were substantive changes the plan would be brought back before the Commission, but the applicant needs a positive recommendation from the Commission in order to proceed with design of the new construction.

31-45

GENERAL NOTES:

1. The horizontal datum is Maryland State Plane (NAD83) & is based on WSC control stations 20341 (BM 592 1), 20282 (BM 6023) and BM 5038.

2. The subject property lies within Zone C (area of minimal flooding) as shown on Flood Insurance Rate Map (FIRM) community panel number D173C-0200C for Montgomery County, Maryland, dated August 5, 1991.

3. The subject property is located on tax assessment map numbers HPS61 & HPS62.

4. Boundary survey was prepared by VIKI, Inc. Dated July 2004.

5. The site is located in the Rock Creek watershed and is classified as use 1F.

6. The project is proposed to be served by public water and sewer systems and is currently in water and sewer service categories W-1 & S-1, respectively.

7. A portion of the subject site as listed as National Park Seminary on the National Register of Historic Places (1972) and is also designated on the Montgomery County Master Plan for Historic Preservation (1979).

8. Public utility easements & rights of way will be provided on site where required to allow for water, sewer, gas, electric, telephone & cable service to the proposed buildings.

9. The applicant, on behalf of itself or its successors and assigns, will provide for perpetual maintenance of open space areas and other areas used for recreational, common or quasi-public purposes.

10. The applicant is seeking a waiver of the setbacks & height requirements of Section 59-C-7.15.

11. A. Where a planned development adjoins land for which the Area Master Plan recommends a one-family detached zoning: 1. No building other than a one-family detached residential can be constructed within 100 feet of such adjoining land; and 2. No building can be constructed to a height greater than its distance from such adjoining land.

12. A waiver of these provisions may be permitted if: 1. The site is within or in close proximity to a Historic District and the Planning Board finds that reduced setbacks will facilitate the preservation, reuse, or redevelopment of a designated Historic District and the immediately adjoining property will not be adversely affected by the waiver. 2. The maximum building height under this waiver must not exceed 50 feet.

13. The applicant will provide at least 20% of the total dwelling units as housing affordable to people at not more than 60% of the area median income. This will result in a minimum of 50 affordable units consisting of 25 one-bedroom units and 25 two-bedroom units. The affordable units will be located within that part of the historic main structure located on Lot G 1, Block A. 20% of the total units to be provided as both phases will be affordable housing, with all of such affordable housing to be provided in Phase 1.

14. The County's Transitional Housing Facility (THF) currently located on the site will be relocated to Lot G 1, Block A. The Transitional Housing Facility is in addition to the proposed density and will include approximately 32 beds in 19 rooms.

15. The development is contemplated to be completed in two phases. Phase 1, which is the subject of this site plan, includes all of the development except for Lots 63-72 and Lots 11, 14 & 15, Block A. The improvements shown on this site plan may be completed in phases as appropriate for construction sequencing and financing availability and the amenities will be provided with each phase as shown on the plan.

16. Drawing zoning for this property is PD-15, per zoning Case #G-028 currently pending before County Council.

17. This plan is subject to Preliminary Plan # 1-05054.

18. The SWM Concept Plan was submitted to MCDF on 1-7-05.

19. The unimproved portion of Highland Avenue within this subdivision, originally dedicated on Subdivision Plat #B King 13, is hereby proposed for abandonment by the Planning Board in accordance with chapter SO-1 51A-E-F of the Subdivision Regulations and article V Chapter 49-67A of the Montgomery County Code, subject to the existing WSCC rights of way, created under separate documents remaining in full force and effect.

20. An optional parking deck is planned for the northwest portion of the site, adjacent to the main hall portion of the new building on lot G2. The final determination as to whether the parking deck will be constructed will be made prior to signature act. This site plan includes an alternate design for the parking lot in the event that the optional parking deck is decided at signature act, and the parking tabulation indicates the count both with and without the optional deck.

21. The property that is the subject of this development plan is encumbered by a deed of easement (MNT easement) dated October 25, 2004 by and between the County Board and County Council of Montgomery County, Maryland, its successors and assigns and the Maryland Historical Trust, an instrumentality of the State of Maryland, recorded among the land records for Montgomery County at their 265564 at folio 1 G2. The MNT easement addresses (a) public access to the exterior of the property and certain interior spaces, (a) maintenance obligations, (a) requirements for changes and alterations to the property and structures thereon, (a) protection of archeological resources, if any, (a) MNT inspection rights and (a) remedies for a breach.

Site Plan for NATIONAL PARK SEMINARY -Phase 1- MNCP&PC #8-05024

13th Election District, Silver Spring Montgomery County, Maryland



LEGEND

<p>..... FOREST CONSERVATION ESMIT</p> <p>----- FLOODPLAIN BR</p> <p>----- 100 YEAR FLOODPLAIN</p> <p>----- STREAM VALLEY BUFFER</p> <p>----- ELECTRICAL CONDUIT</p> <p>----- EDGE OF PAVEMENT</p> <p>----- FENCE LINE</p> <p>----- NATURAL GAS CONDUIT</p> <p>----- OVERHEAD WIRES</p> <p>----- PROPERTY LINES</p> <p>----- PUBLIC UTILITIES EASEMENTS</p> <p>----- SANITARY SEWER</p> <p>----- STORM DRAIN</p> <p>----- WATER LINE</p> <p>----- STREAM CONDUIT</p> <p>----- SANITARY CLEANOUT</p> <p>----- STORM DRAIN MANHOLE</p> <p>----- ELECTRICAL JUNCTION BOX</p> <p>----- ELECTRICAL MANHOLE</p> <p>----- FIRE DEPT CONNECTION</p> <p>----- FIRE HYDRANT</p> <p>----- GAS MANHOLE</p> <p>----- GUY POLE</p> <p>----- GAS VALVE</p> <p>----- LIGHT POLE</p> <p>----- PHONE PEDESTAL</p> <p>----- PHONE MANHOLE</p> <p>----- UTILITY POLE</p> <p>----- SANITARY MANHOLE</p> <p>----- TRAFFIC CONTROL BOX</p> <p>----- TRAFFIC SIGNAL POLE</p> <p>----- TREE</p> <p>----- CABLE TELEVISION PEDESTAL</p> <p>----- UNKNOWN UTILITY MANHOLE</p> <p>----- WATER METER</p> <p>----- WATER MANHOLE</p> <p>----- WATER VALVE</p> <p>----- BOLLARD</p> <p>----- SIGN POST</p> <p>----- WOOD POST</p> <p>----- INLETS</p> <p>----- CURB INLET</p> <p>----- ELECTRICAL POLE</p> <p>----- EXISTING TO BE REMOVED</p> <p>----- TO BE REMOVED</p> <p>----- BUILDING</p> <p>----- STOR</p> <p>----- ASPHALT</p> <p>----- ESMIT</p> <p>----- CONCRETE PIPE</p> <p>----- CORRUGATED METAL PIPE</p> <p>----- BUILDING RESTRICTION LINE</p> <p>----- RIGHT-OF-WAY</p>	<p>----- INTERPRETATIVE TRAIL ALIGNMENT</p> <p>----- 100' V.P.</p> <p>----- SB</p> <p>----- SB</p> <p>----- SB</p>
---	--

MONTGOMERY COUNTY PLANNING BOARD OPINION



SITE PLAN DRAWING INDEX

- Sheet # Sheet Title
- SP-1 Cover Sheet - Notes & Exhibitions
- SP-1A Composite Site Plan
- SP-2 Existing Conditions Plan
- SP-3 Site & Adjacent Area Plan
- SP-4 Green Area Plan
- SP-5 Site & Utility Plan
- SP-6 Site & Utility Plan
- SP-7 Site & Utility Plan
- SP-8 Site & Utility Plan
- SP-9 Site & Utility Plan
- SP-10 Site & Utility Plan
- SP-11 Site & Utility Plan
- SP-12 Site & Utility Plan
- SP-13 Site Details
- SP-14 Site Details

LANDSCAPE & LIGHTING PLAN INDEX (separate set)

- Sheet # Title
- L0-0 Reference Plan
- L0-1 Recreation Plan
- L1-1 Landscape Plan
- L1-2 Landscape Plan
- L1-3 Landscape Plan
- L1-4 Landscape Plan
- L1-5 Landscape Plan
- L1-6 Landscape Plan
- L1-7 Landscape Plan
- L1-8 Landscape Plan
- L2-1 Site Easements
- L3-1 Site Details
- L3-2 Site Furnishings
- L3-3 Retaining Wall Plan
- L4-1 Typical Unit Planting
- L4-2 Planting Details
- U1-1 Site Lighting
- U1-2 Site Lighting
- U1-3 Site Lighting
- U1-4 Site Lighting

SUPPLEMENTAL PLANS (separate sheets)

- Local Area Map
- Drainage Area Map
- Conceptual Sediment Control Plan

SITE DENSITY & UNIT TABULATION

	Phase 1		Phase 2		Total	
	PERMITTED REQUIRED	PROVIDED	PERMITTED REQUIRED	PROVIDED	PERMITTED REQUIRED	PROVIDED
GRASSY TRACT AREA - AC (see note 20)	---	27.35	---	4.23	---	32.18
LESS PRIOR DEDICATION (TO REMAIN)	---	0.21	---	---	---	0.21
LESS PROPOSED DEDICATION - AC	---	0.64	---	4.23	---	0.64
NET LOT AREA - AC	---	26.46	---	164.335	---	30.63
NET LOT AREA - SF	---	1,182,621 sf	---	184,335 sf	---	1,366,956 sf
MINIMUM GREEN AREA (see notes 9 & 20)	50%	61%	50%	64%	50%	61%
% OF GRASSY AREA	626.762	750,000	92,117	116,000	700,879	866,000
MAXIMUM DENSITY PER ACRE	15	9.19	15	5.44	15	6.70
Dwelling Units	419	237	63	403	482	260

MINIMUM/maximum PERCENTAGE OF UNITS ALLOWED BY TYPE:
 One-Family Detached: no min. / no max. 5%
 Townhouse: 10% min. 35%
 Multi-Family (four story or less): 25% min. / 75% max. 44%
 Multi-Family (over 4 stories): no min. / 50% max. 16%

Phase 2 total figures are based on current conceptual plans for phase 2 which are subject to change at site plan for Phase 2. Only the Phase 1 portion is being provided with this site plan.

DEVELOPMENT SEQUENCE

The Phase 1 of the site plan for National Park Seminary is intended to be built in two or more sub-phases. All sub-phases will be built in accordance with the associated recreation, landscaping and stormwater management amenities.

PARKING TABULATION SUMMARY

Unit Type	Phase 1**			Phase 2**			Total*		
	proposed units	required parking	proposed parking	proposed units	required parking	proposed parking	proposed units	required parking	proposed parking
One Family Detached/Townhouse	102	204	225	9	18	18	111	222	243
Multiple Family									
1 Bedroom	42	53	1	1	1	43	54		
2 Bedroom	65	126	3	5	8	68	133		
3 Bedroom	29	56	10	20	30	39	76		
Subtotal	155	237	297	14	26	26	109	203	322
Total	257	460*	542*	23	44	44	260	504*	565**

* The parking provided for the Catholic Charities/Transitional Housing is one space per room, with a total of 19 rooms provided in Phase 1. The total parking numbers noted with one star indicates these spaces.
 ** Phase 1 parking count includes parking to be provided in the optional parking deck. If the optional parking deck is not provided, the total parking count for Phase 1 is reduced to 450 spaces and for both phases the total is reduced to 534 spaces.
 *** Phase 2 total parking figures are based on conceptual plans for phase 2 which are subject to change at site plan for Phase 2. Only the Phase 1 portion is being provided with this site plan.

Notes: The parking reflected in this chart does not include spaces shown along Underline Line, in the proposed right of way.
 The parking provided for the Catholic Charities/Transitional Housing is one space per room, with a total of 19 rooms provided in Phase 1. The total parking numbers noted with one star indicates these spaces.
 ** Phase 1 parking count includes parking to be provided in the optional parking deck. If the optional parking deck is not provided, the total parking count for Phase 1 is reduced to 450 spaces and for both phases the total is reduced to 534 spaces.
 *** Phase 2 total parking figures are based on conceptual plans for phase 2 which are subject to change at site plan for Phase 2. Only the Phase 1 portion is being provided with this site plan.

PROJECT TEAM

CONTRACTORS

Company
 144 EAST SANDY ROAD
 SUITE 202
 MOUNTAIN VIEW, MD 20854
 CONTACT: MATT BERNDSON
 703-285-5503 x149

ARCHITECT

Company
 1000 WILSON BOULEVARD
 SUITE 2750
 ARLINGTON, VIRGINIA 22202
 CONTACT: MATT BERNDSON
 703-285-5503 x149

ATTORNEY

Company
 3 BETHESDA METRO CENTER
 SUITE 400
 BETHESDA, MARYLAND 20814
 CONTACT: STEVE ROHRIG
 301-457-0747

ARCHITECTURAL ENGINEER

Company
 ARCHITECTURAL GROUP, INC.
 8603 WESTWOOD CENTER DR
 SUITE 400
 VIENNA, VIRGINIA 22182
 CONTACT: JACK McLAUGHLIN
 703-770-3777

TRAFFIC ENGINEER

Company
 THE TRAFFIC GROUP
 3900 FRANKLIN SQ DRIVE
 SUITE 110
 BALTIMORE, MD 21236
 CONTACT: WES GICKERT
 800-583-8411

CIVIL ENGINEER

Company
 ENGINEERING GROUP, INC.
 2025 1/2 CENTURY BOULEVARD
 SUITE 400
 GERMANTOWN, MARYLAND 20874
 CONTACT: CHUCK IRISH
 301-516-4100

Site Plan Set for NATIONAL PARK SEMINARY -Phase 1- MNCP&PC #8-05024 13th Election District, Silver Spring MONTGOMERY COUNTY, MARYLAND

COVER SHEET NOTES & TABULATIONS

VIKA REVISIONS

DATE	January, 2005
DES.	DWN.
CADD.	IPD
SCALE	None
PROJECT/FILE NO.	1200
SHEET NO.	COVER SHEET

M-NCP&PC SITE INSPECTION CHECKLIST

M-NCP&PC Approval Signature	Date	Task Performed
		Pre-Construction Measures in place before clearing and grading
		After Construction Production (prior to planting, installation)
		After Installation of landscaping, lighting, paving (private), and recreation amenities
		After Restoration - Beginning of Two-year Maintenance Period
		After Two-year Maintenance Period - Must meet sustainability rate

SITE PLAN APPROVAL STAMP

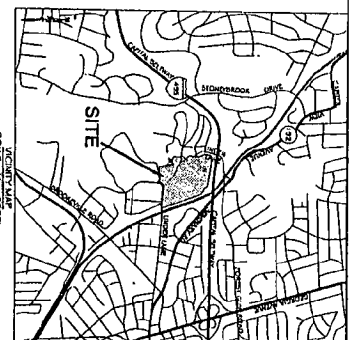


APPLICANT'S AGREEMENT

The Undersigned agrees to observe all the features and requirements of this Site Plan in accordance with the Montgomery County agreement between the Montgomery County Planning Board and the Undersigned.

Forest Glen Ventures, LLC
 A joint venture of affiliates of The Alexander Company, Inc & Calverton Associates, Inc.
 By: Matthew Brannaman Date: _____
 Senior Vice President, East/Washington, Inc.

A-1



PROJECT TEAM
DESIGNER
 1445 EAST WASHINGTON STREET
 MONTGOMERY COUNTY, MARYLAND
 20814-2800
 301-251-3500
 301-251-3501

SITE & UTILITY PLAN
NATIONAL PARK SEMINARY
 Phase 1 - (8-05024)

1000 WILSON BOULEVARD
 ANNAPOLIS, MARYLAND 21403
CONTRACT DATE 09/20/08
CONTRACT NO. 11-1
DATE OF REVISION
 11/19/08
DESIGNED BY J. J. BARKER
CHECKED BY J. J. BARKER
DATE OF REVIEW 11/19/08
SCALE 1" = 200'
PROJECT NO. 11-1
SHEET NO. SF-9

NATIONAL PARK SEMINARY
 Phase 1 - (8-05024)
 13TH ELECTION DISTRICT, SILVER SPRING
 MONTGOMERY COUNTY, MARYLAND

LEGEND

—————	FOREST CONSERVATION EASEMENT
—————	INTERPRETIVE TRAIL ALIGNMENT
—————	100% GRADE
—————	15% GRADE
—————	20% GRADE
—————	30% GRADE
—————	40% GRADE
—————	50% GRADE
—————	60% GRADE
—————	70% GRADE
—————	80% GRADE
—————	90% GRADE
—————	100% GRADE
—————	STORM WATER DRAINAGE
—————	STORM WATER MANHOLE
—————	STORM WATER JUNCTION BOX
—————	ELECTRICAL CONDUIT
—————	ELECTRICAL JUNCTION BOX
—————	ELECTRICAL PANEL
—————	TELEPHONE CONDUIT
—————	TELEPHONE JUNCTION BOX
—————	TELEPHONE PANEL
—————	TELEPHONE CONTROL BOX
—————	TELEPHONE SERVICE POLE
—————	TELEPHONE MOUNTING
—————	CABLE TELEVISION SERVICE
—————	CABLE TELEVISION MANHOLE
—————	CABLE TELEVISION JUNCTION BOX
—————	CABLE TELEVISION CONTROL BOX
—————	WATER MAIN
—————	WATER MANHOLE
—————	WATER JUNCTION BOX
—————	WATER VALVE
—————	WATER METER
—————	WATER METER VALVE
—————	WOOD POST
—————	WOOD PILE
—————	WOOD RAIL
—————	ELECTRICAL POLE
—————	ELECTRICAL JUNCTION BOX
—————	ELECTRICAL PANEL
—————	TELEPHONE JUNCTION BOX
—————	TELEPHONE PANEL
—————	TELEPHONE CONTROL BOX
—————	TELEPHONE SERVICE POLE
—————	TELEPHONE MOUNTING
—————	CABLE TELEVISION SERVICE
—————	CABLE TELEVISION MANHOLE
—————	CABLE TELEVISION JUNCTION BOX
—————	CABLE TELEVISION CONTROL BOX
—————	CABLE TELEVISION SERVICE POLE
—————	CABLE TELEVISION MOUNTING

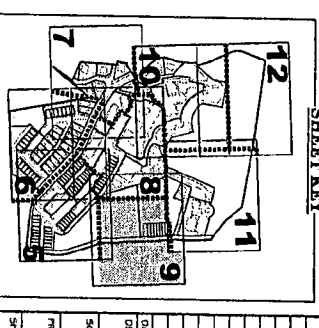
SITE PLAN APPROVAL STAMP

APPLICANT'S AGREEMENT

The undersigned agrees to accept the terms and requirements of this Site Plan in accordance with the Montgomery County Agreement between the Montgomery County Planning Board and the Applicant, Forest Glen, Virginia, LLC.

A part of the applicant is the Applicant Company, Inc. 11000 Rockville Pike, Rockville, Maryland, 20850.

By: Matthew Bertram, Owner
 Matthew Bertram, Date:

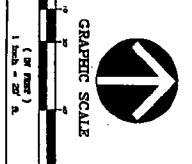
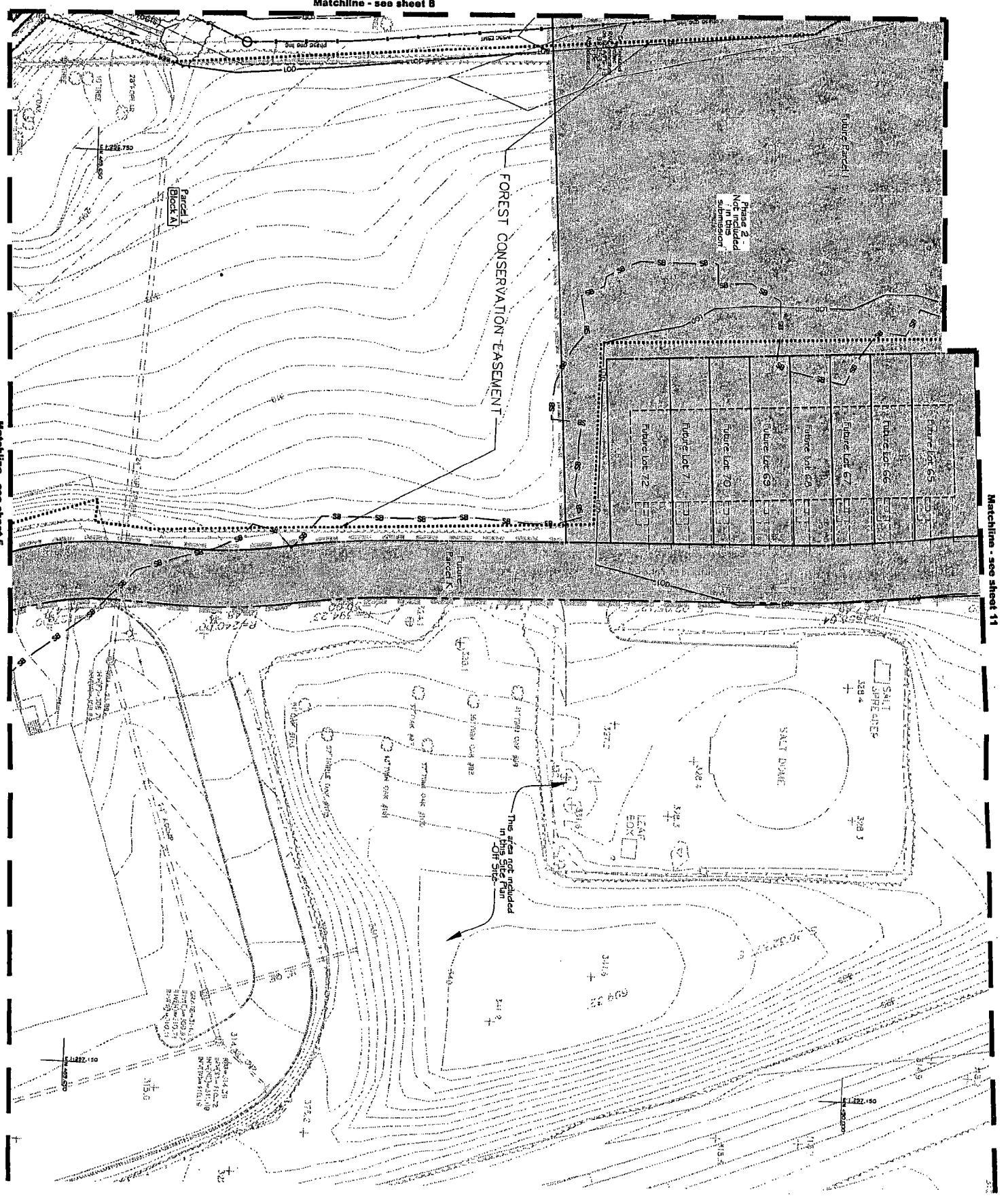


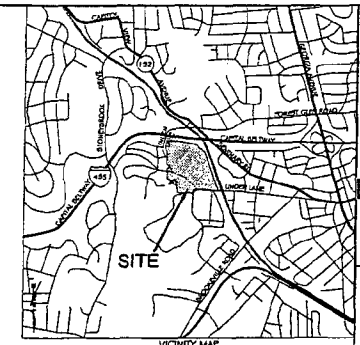
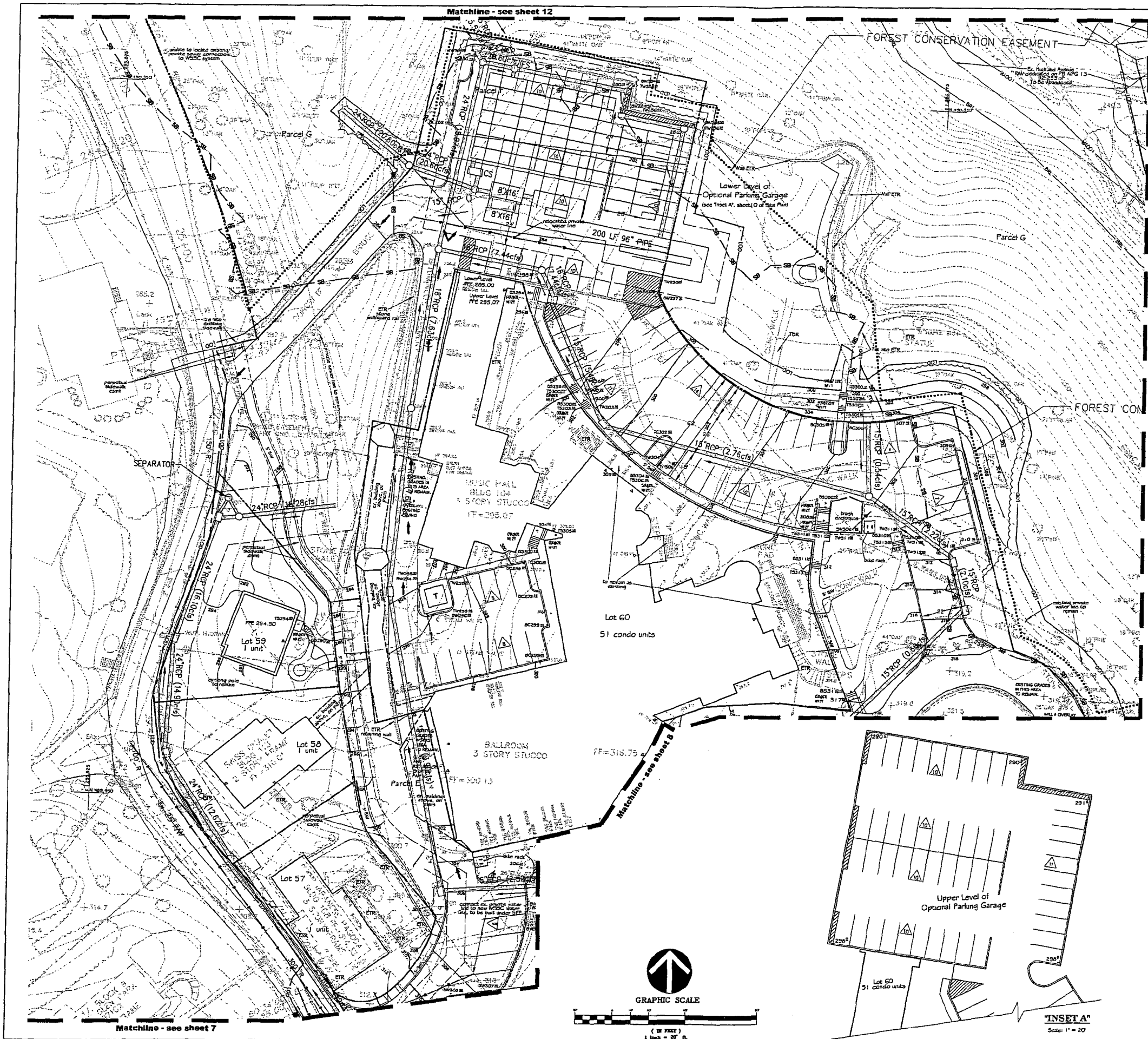
SHEET KEY

DATE: January 2008
DESIGNER: JMK
CHECKER: JMK
SCALE: 1" = 20'
PROJECT NO.: 11-1
SHEET NO.: SF-9

VIA REVISIONS

SITE & UTILITY PLAN
M-NCP#PC # 8-



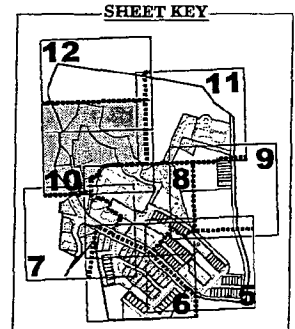


SITE & UTILITY PLAN
NATIONAL PARK SEMINARY
 -Phase I- (8-05024)

- LEGEND**
- FOREST CONSERVATION ESMT
 - INTERPRETATIVE TRAIL ALIGNMENT
 - FLOODPLAIN BR
 - 100 YEAR FLOODPLAIN
 - STREAM VALLEY BUFFER
 - ELECTRICAL CONDUIT
 - EDGE OF PAVEMENT
 - FENCE LINE
 - NATURAL GAS CONDUIT
 - OVERHEAD WIRES
 - PROPERTY LINES
 - PUBLIC UTILITIES EASEMENTS
 - SANITARY SEWER
 - STORM DRAIN
 - WATER LINE
 - STEAM CONDUIT
 - SANITARY CLEANOUT
 - STORM DRAIN MANHOLE
 - ELECTRICAL JUNCTION BOX
 - ELECTRICAL MANHOLE
 - FIRE DEPT CONNECTION
 - FIRE HYDRANT
 - GAS MANHOLE
 - GUY POLE
 - GAS VALVE
 - LIGHT POLE
 - PHONE PEDESTAL
 - PHONE MANHOLE
 - UTILITY POLE
 - SANITARY MANHOLE
 - TRAFFIC CONTROL BOX
 - TRAFFIC SIGNAL POLE
 - TREE
 - CABLE TELEVISION PEDESTAL
 - UNKNOWN UTILITY MANHOLE
 - WATER METER
 - WATER MANHOLE
 - WATER VALVE
 - BOLLARD
 - SIGN POST
 - WOOD POST
 - INLETS
 - CURB INLET
 - ELECTRICAL POLE
 - EXISTING TO REMAIN OR BE REBUILT
 - TO BE REMOVED
 - BUILDING
 - STAIR
 - ASPH
 - CONMT
 - RCP
 - CORRUGATED METAL PIPE
 - BR
 - BUILDING RESTRICTION LINE
 - RW
 - RIGHT-OF-WAY

SITE PLAN APPROVAL STAMP

APPLICANT'S AGREEMENT
 The Undersigned agrees to execute all the features and requirements of this Site Plan in accordance with the Montgomery County agreement between the Montgomery County Planning Board and the Undersigned.
 Forest Glen Ventures, LLC
 A part owner or affiliate of the Applicant Company, Inc. a Youngstown Association, Inc.
 By: _____ Date: _____
 Matthew Borchbaum
 Senior Vice President, UrbanYoungstown, Inc.



PROJECT TEAM

DEVELOPER/APPLICANT:
 Company
 145 EAST BANNER ROAD
 SUITE 200
 MANDISON WISCONSIN 53713
 CONTACT: NATHAN BOCK
 202-238-5500

ARCHITECT:
 1000 WILSON BOULEVARD
 SUITE 2725
 ARLINGTON, VIRGINIA 22209
 CONTACT: MATT BRIDGEMAN
 703-525-5515 x149

ENGINEER:
 LEBACH, CARL & PARTNERS
 3 BETHESDA METRO CENTER
 SUITE 400
 BETHESDA, MARYLAND 20814
 CONTACT: STEVE ROBINS
 301-457-0747

ARCHITECTURAL FIRM:
 ARCHITECTURAL GROUP, INC.
 6603 WESTWOOD CENTER DR
 SUITE 400
 VIENNA, VIRGINIA 22182
 CONTACT: JACK MAULSHON
 703-770-1577

TRAFFIC ENGINEER:
 THE TRAFFIC GROUP
 9900 FRANKLIN SQ DRIVE
 SUITE B
 BALTIMORE, MD 21236
 CONTACT: WES SUZZEROT
 800-583-8411

CIVIL ENGINEER:
 2025 1 CENTURY BULLEWARD
 SUITE 400
 GERMANTOWN, MARYLAND 20874
 CONTACTS: CHUCK RICH +
 DILL LAWRENCE
 301-916-4100

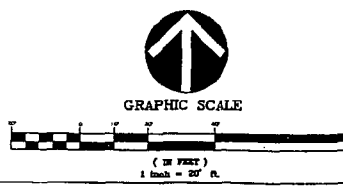
NATIONAL PARK SEMINARY
 -Phase I- (8-05024)
 13TH ELECTION DISTRICT, SILVER SPRING
 MONTGOMERY COUNTY, MARYLAND

SITE & UTILITY PLAN
 M-NCP&PC # 8-

VIA REVISIONS

NO.	DATE	DESCRIPTION

DATE: January, 2005
 DES: DWA
 CADD: PD
 SCALE: 1" = 20'
 PROJECTURE NO.: 1206
 SHEET NO.: 5P-10



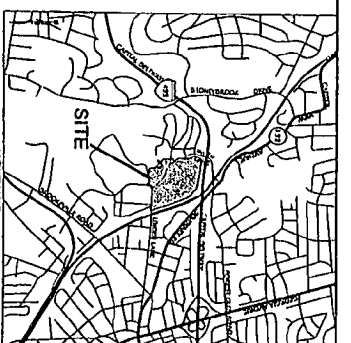
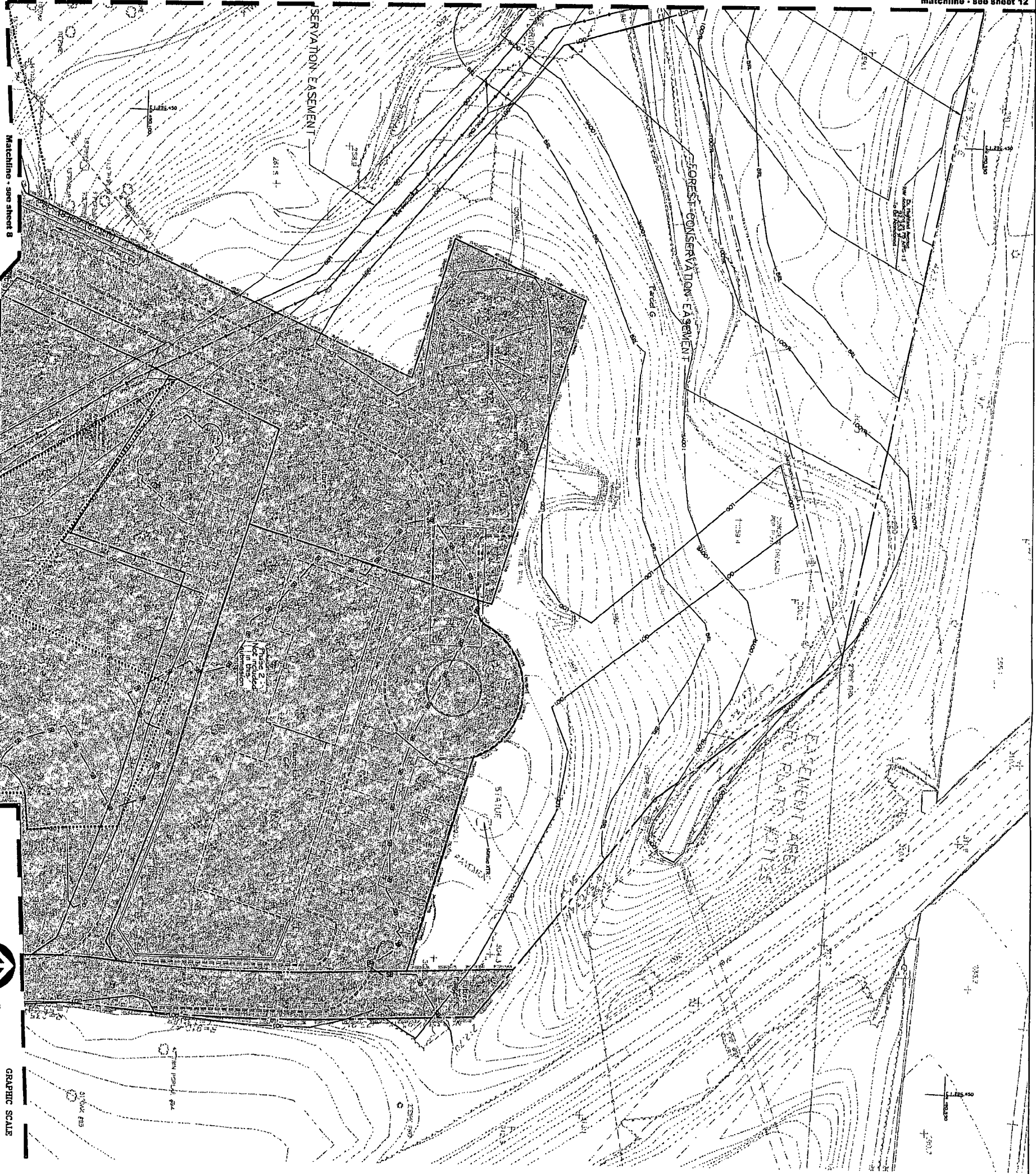
A-11

Matchline - see sheet 12

Matchline - see sheet 10

Matchline - see sheet 8

Matchline - see sheet 9



SITE & UTILITY PLAN
NATIONAL PARK SEMINARY
 -Phase 1- (8-05024)

LEGEND

- FOREST CONSERVATION EASEMENT
- SERVATION EASEMENT
- EASEMENT AREA
- INTERPRETIVE TRAIL ALIGNMENT
- FLOOR PLAN SET
- STORM WATER SUMPS
- ELECTRICAL CONDUIT
- FENCE OF FENCEPOST
- NATURAL GAS CONDUIT
- OVERHEAD WIRE
- PUBLIC UTILITIES EASEMENTS
- SANITARY SEWER
- WATER LINE
- STEAM CONDUIT
- STORM DRAINAGE
- ELECTRICAL JUNCTION BOX
- FIRE MANSUET
- GAS MAINLINE
- GAS VALVE
- LIGHT POLE
- PRIOR FEDERAL
- UNLTY POLE
- SANITARY MANHOLE
- TRAFFIC CONTROL BOX
- TREE TO SPANAL POLE
- CABLE TELEVISION FIBROPLA
- WATER METER
- WATER MANHOLE
- WATER VALVE
- SIGN POST
- WOOD POST
- CEMENT POST
- ELECTRICAL POLE
- SIGNING TO REMAIN OR BE REBUILT
- FENCE
- BUILDING
- DRIVE
- ADJACENT
- CONCRETE PIPE
- COMBINED VERTICAL PIPE
- REPORT OF MAN

SITE PLAN APPROVAL STAMP

APPLICANT'S AGREEMENT

The undersigned agrees to accept all the conditions and responsibilities of this Site Plan as shown on the attached drawings and to comply with all the provisions of the Montgomery County Planning Board and the Subsequent.

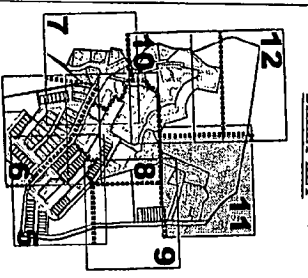
Project: **National Park Seminary, LLC**

Applicant: **National Park Seminary, LLC**

By: _____ Date: _____

VIA REVISIONS

NO.	DATE	DESCRIPTION



PROJECT TEAM

ARCHITECT/ENGINEER
MONITORING
 148 EAST AVENUE, SUITE 200
 GAITHERSBURG, MARYLAND 20878
 CONTACT: JACQUELYNNE WILSON
 PHONE: (301) 251-1111

OWNER
 NATIONAL PARK SEMINARY
 13713 WOODBURN DRIVE
 SUITE 200
 GAITHERSBURG, MARYLAND 20878
 CONTACT: STEVE BROWN
 PHONE: (301) 457-0717

DATE
 20251 CENTURY SQUARE
 SUITE 400
 GAITHERSBURG, MARYLAND 20878
 CONTACT: CHUCK BISH
 PHONE: (301) 543-3411

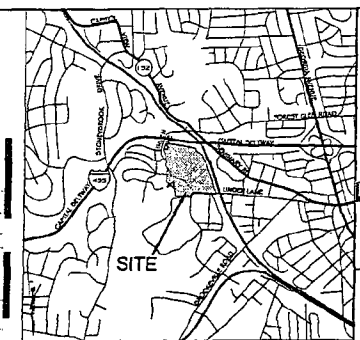
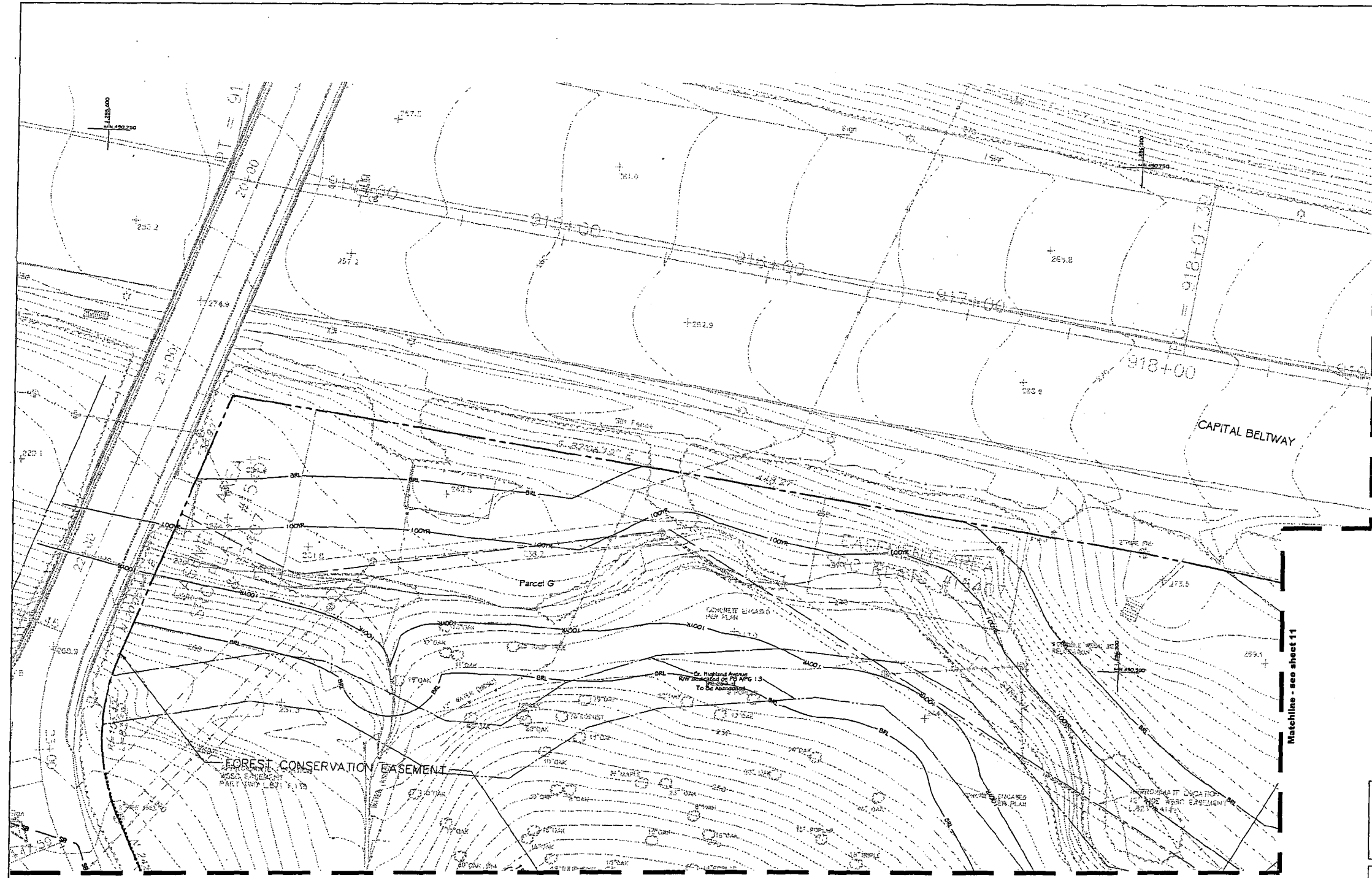
DATE
 20251 CENTURY SQUARE
 SUITE 400
 GAITHERSBURG, MARYLAND 20878
 CONTACT: CHUCK BISH
 PHONE: (301) 543-3411

SCALE
 1" = 20'

PROFESSIONAL NO.
 15009

SHEET NO.
 SP-11





SITE & UTILITY PLAN
NATIONAL PARK SEMINARY
 -Phase I- (8-05024)

PROJECT TEAM

DEVELOPER/APPLICANT:
 Entegris
 145 EAST DODGER ROAD
 SUITE 200
 MASON VILLAGE, MD 20852
 CONTACT: MATT BUREAUM
 703-258-5500

ATTORNEY:
 LITCH, EARLY & BREWER
 3 BETHESDA METRO CENTER
 SUITE 400
 BETHESDA, MARYLAND 20814
 CONTACT: STEVE HODGINS
 301-437-0747

ARCHITECT/PLANNER:
 ARCHITECTURAL GROUP, INC.
 4623 WISCONSIN CENTER DR.
 SUITE 400
 VIENNA, VIRGINIA 22182
 CONTACT: JACK MALANOW
 703-770-3577

TRAFFIC:
 THE TRAFFIC GROUP
 5900 FRANKLIN SQ DRIVE
 SUITE 111
 BALTIMORE, MD 21236
 CONTACT: WES GUCKERT
 800-988-8411

CIVIL ENGINEER:
 2035 1 CENTURY BOULEVARD
 SUITE 400
 GERMANTOWN, MARYLAND
 20874
 CONTACT: CHUCK IRISH &
 BILL LANGFAIR
 301-916-4100

NATIONAL PARK SEMINARY
 -Phase I- (8-05024)
 13TH ELECTION DISTRICT, SILVER SPRING
 MONTGOMERY COUNTY, MARYLAND

SITE & UTILITY PLAN
 M-NCP#PC # 8-

VIKA REVISIONS

DATE	January, 2005
DES.	DVA
CADD	FD
SCALE:	1"=20'
PROJECT/FILE NO.	1206
SHEET NO.	SP-12

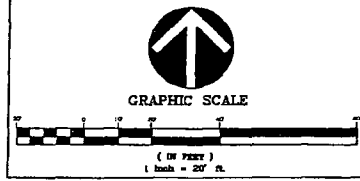
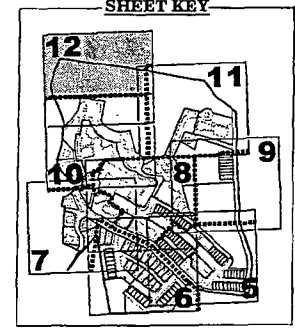
SITE PLAN APPROVAL STAMP

APPLICANT'S AGREEMENT

The Undersigned agrees to execute all the features and requirements of this Site Plan in accordance with the Montgomery County agreement between the Montgomery County Planning Board and the Undersigned.

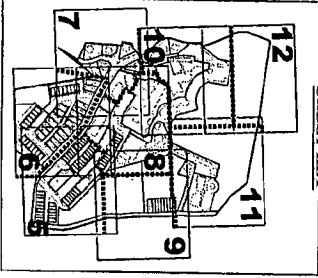
Forest Glen Ventures, LLC
 A joint venture of 50% of The Accorator Company, Inc & Cowi/Thorngate Associates, Inc.

By: _____ Date: _____
 Matthew Bureaum,
 Senior Vice President, Cowi/Thorngate, Inc.



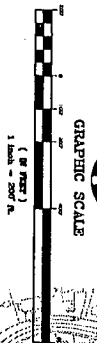
- LEGEND**
- FOREST CONSERVATION ESMT
 - INTERPRETIVE TRAIL ALIGNMENT
 - FLOODPLAIN BRL
 - 100 YEAR FLOODPLAIN
 - STREAM VALLEY BUFFER
 - ELECTRICAL CONDUIT
 - EDGE OF PAVEMENT
 - FENCE LINE
 - NATURAL GAS CONDUIT
 - OVERHEAD WIRES
 - PROPERTY LINES
 - PUBLIC UTILITIES EASEMENTS
 - SANITARY SEWER
 - STORM DRAIN
 - WATER LINE
 - STEAM CONDUIT
 - SANITARY CLEANOUT
 - STORM DRAIN MANHOLE
 - ELECTRICAL JUNCTION BOX
 - ELECTRICAL MANHOLE
 - FIRE DEPT CONNECTION
 - FIRE HYDRANT
 - GAS MANHOLE
 - GUY POLE
 - GAS VALVE
 - LIGHT POLE
 - PHONE PEDESTAL
 - PHONE MANHOLE
 - UTILITY POLE
 - SANITARY MANHOLE
 - TRAFFIC CONTROL BOX
 - TRAFFIC SIGNAL POLE
 - TREE
 - CABLE TELEVISION PEDESTAL
 - UNKNOWN UTILITY MANHOLE
 - WATER METER
 - WATER MANHOLE
 - WATER VALVE
 - BOLLARD
 - SIGN POST
 - WOOD POST
 - INLETS
 - CURBS INLET
 - ELECTRICAL POLE
 - EXISTING TO REMAIN OR BE REBUILT
 - TO BE REMOVED
 - BUILDING
 - STY. - STOR.
 - ASPHALT
 - CONVT. - CASSEMENT
 - RCP - REINFORCED CONCRETE PIPE
 - CMP - CORRUGATED METAL PIPE
 - BRL - BUILDING RESTRICTION LINE
 - RW - RIGHT-OF-WAY

A-13

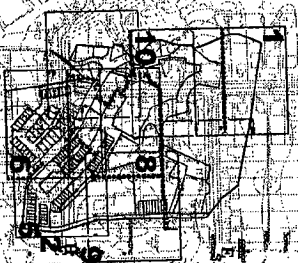
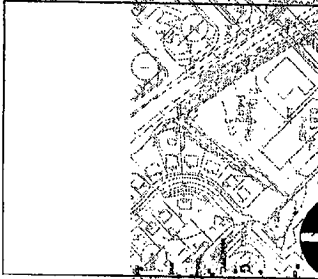
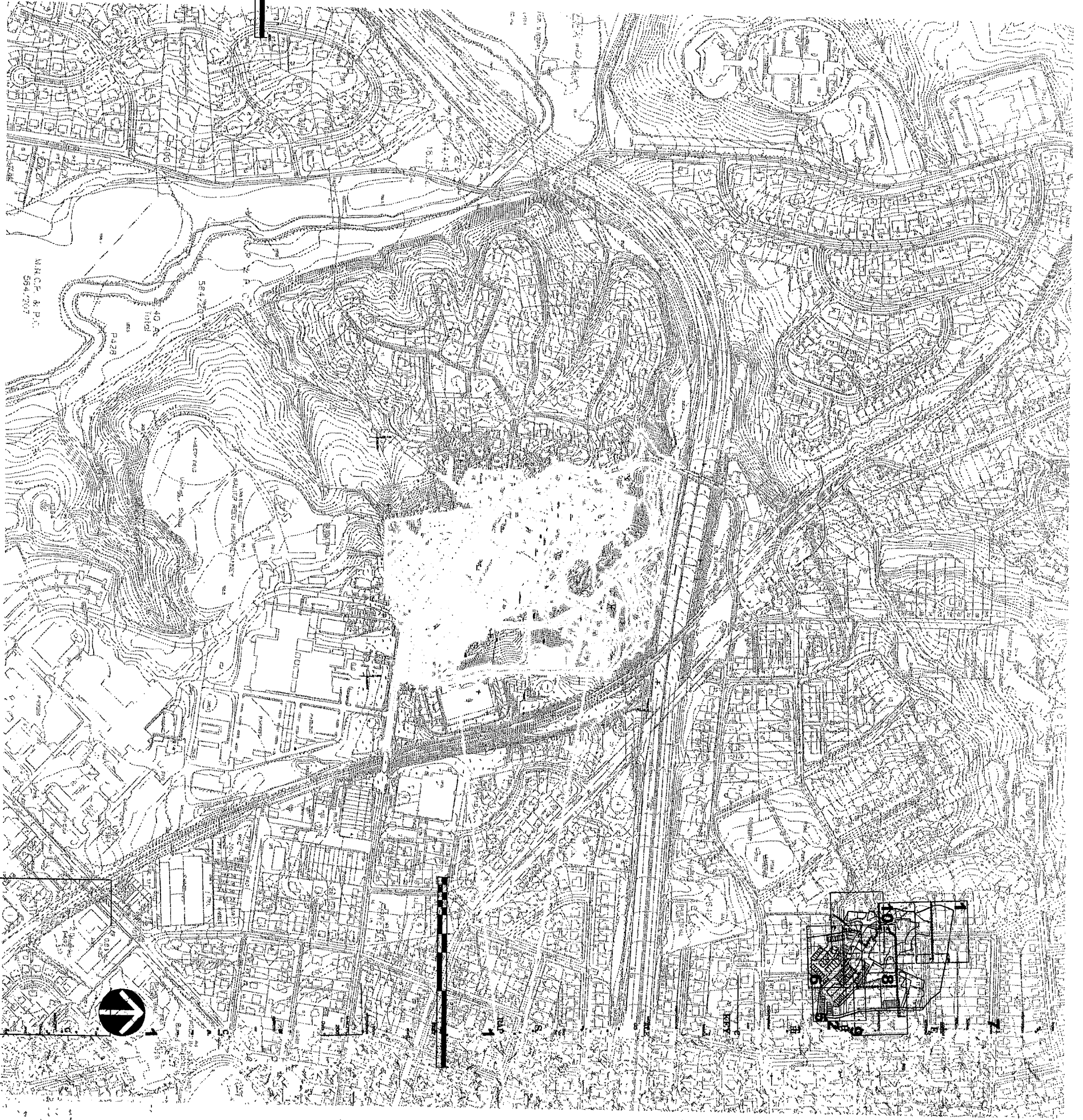


SHEET KEY

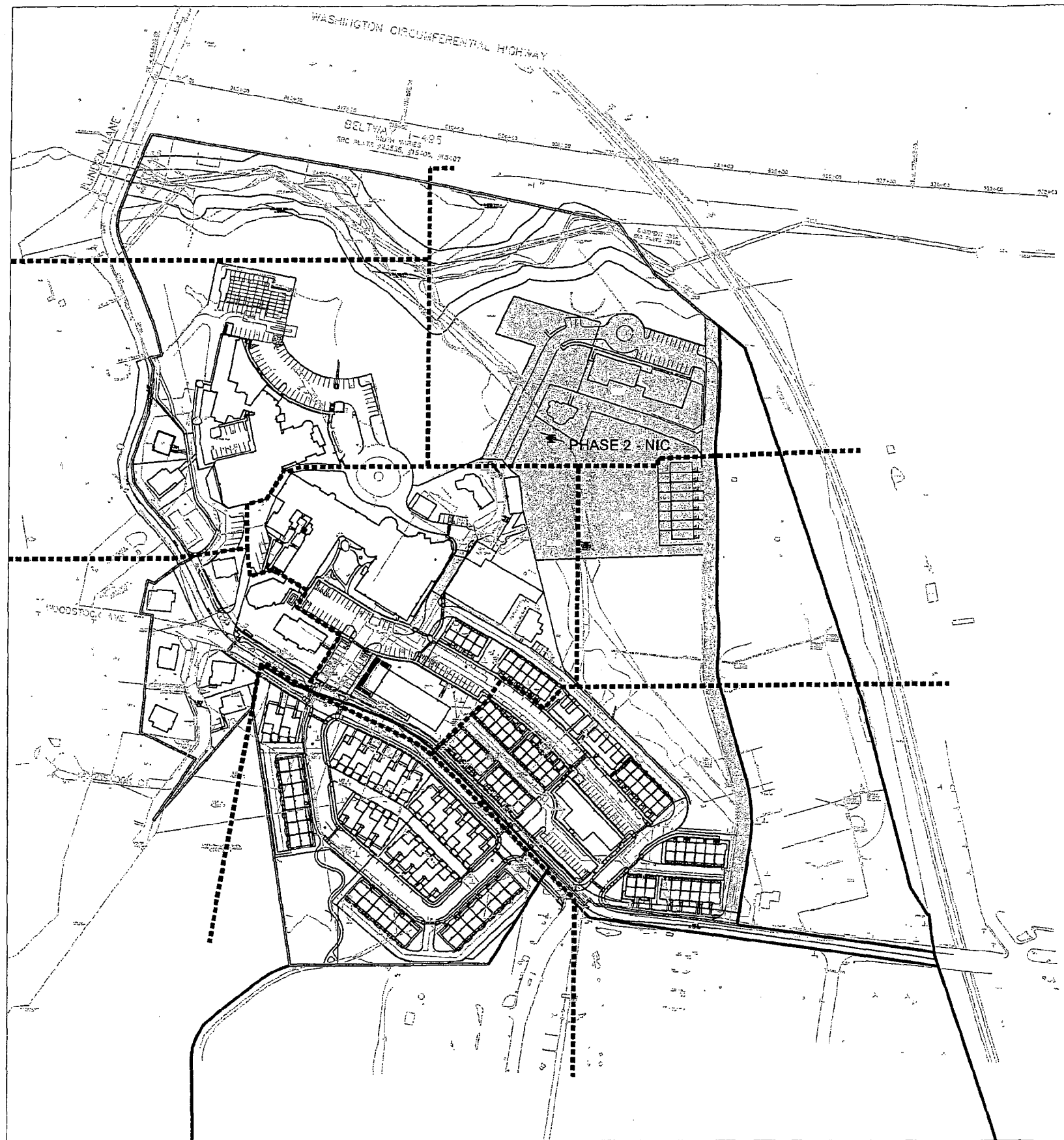
Notes: 1. This map is a reproduction of the original map and is not to be used for any other purpose than that for which it was prepared. 2. The original map is the property of the National Defense Intelligence Agency and is loaned to you for your use only. 3. All rights are reserved by the National Defense Intelligence Agency.



GRAPHIC SCALE
(1 inch = 2000 feet)



GRAPHIC SCALE
(1 inch = 2000 feet)



Landscape Plan Set for NATIONAL PARK SEMINARY -Phase 1- MNCP&PC #8- 13th Election District, Silver Spring Montgomery County, Maryland

Landscape Plan Set

1. L0-0 REFERENCE PLAN
2. L1-0 RECREATION PLAN
3. L1-1 LANDSCAPE PLAN
4. L1-2 LANDSCAPE PLAN
5. L1-3 LANDSCAPE PLAN
6. L1-4 LANDSCAPE PLAN
7. L1-5 LANDSCAPE PLAN
8. L1-6 LANDSCAPE PLAN
9. L1-7 LANDSCAPE PLAN
10. L1-8 LANDSCAPE PLAN
11. L2-1 ENLARGEMENT PLAN
12. L2-2 SITE FEATURES
13. L3-1 SITE FURNITURE
14. L3-2 SITE DETAILS
15. L3-3 RETAINING WALLS
16. L4-1 TYPICAL UNIT PLANTING
17. L4-2 PLANTING DETAILS

PROJECT TEAM

DEVELOPER/SUBMITTER

**ALEXANDER
COMPANY**
145 EAST BADGER ROAD
SUITE 208
MADISON WISCONSIN, 53713
CONTACT: NATALIE BOCK
608-254-6960

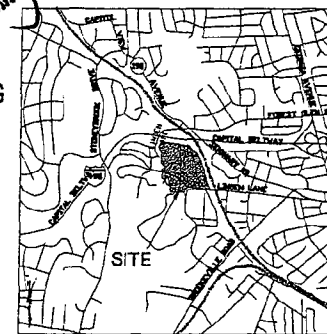
EAKIN / YOUNGENTOB
1800 WALSON BOULEVARD
SUITE 2725
ARLINGTON, VIRGINIA 22202
CONTACT: MATT BRIDGEMAN
703-623-6336 x148

ATTORNEY:
LENA EARLY & BREWER
3 BETHESDA METRO CENTER
SUITE 403
BETHESDA, MARYLAND 20814
CONTACT: STEVE BOUARD
301-457-0747

ARCHITECTURAL PLANNER:
LESSARD
ARCHITECTURAL GROUP, INC.
800 WESTWOOD CENTER DR
SUITE 403
VIENNA, VIRGINIA 22182
CONTACT: JACK McLAURIN
703-770-3577

TRAFFIC:
THE TRAFFIC GROUP
1900 FRANKLIN SQ DRIVE
SUITE H
BALTIMORE, MD 21238
CONTACT: WES GLOCKERT
800-563-6411

CIVIL ENGINEER:
VICA
20251 CENTURY BOULEVARD
SUITE 403
GERMANTOWN, MARYLAND 20874
CONTACTS: CHUCK IRISH &
BILL LANGRISH
301-978-1100



LOCAL VICINITY MAP
NATIONAL PARK SEMINARY

MNCP&PC SITE INSPECTION CHECKLIST

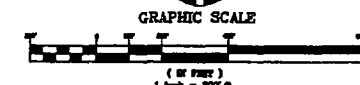
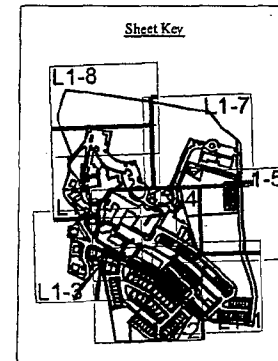
MNCP&PC Approval Signature	Date	Task Performed
_____	_____	Pre-Construction Measures in place before clearing and grading
_____	_____	After Construction Protection prior to planting (reforestation)
_____	_____	After installation of landscaping, lighting, paving (private), and recreation amenities
_____	_____	After Re-forestation - Beginning of Two-year Maintenance Period
_____	_____	After Two-year Maintenance Period - Must meet survivability rate

SITE PLAN APPROVAL STAMP

APPLICANT'S AGREEMENT

The Undersigned agrees to execute all the features and requirements of this Site Plan in accordance with the Montgomery County agreement between the Montgomery County Planning Board and the Undersigned.

For: Glen Ventures, LLC
A joint venture of affiliates of The Alexander Company, Inc & Glen Ventures Associates, Inc.
By: _____ Date: _____
Matthew Ehrenbaum,
Senior Vice President, Glen Ventures, Inc.



PARKER RODRIGUEZ, INC.
101 North Lincoln Road, Suite 300
Plymouth, Michigan 48170
Phone: 313-486-1000
Fax: 313-486-1001

REFERENCE PLAN

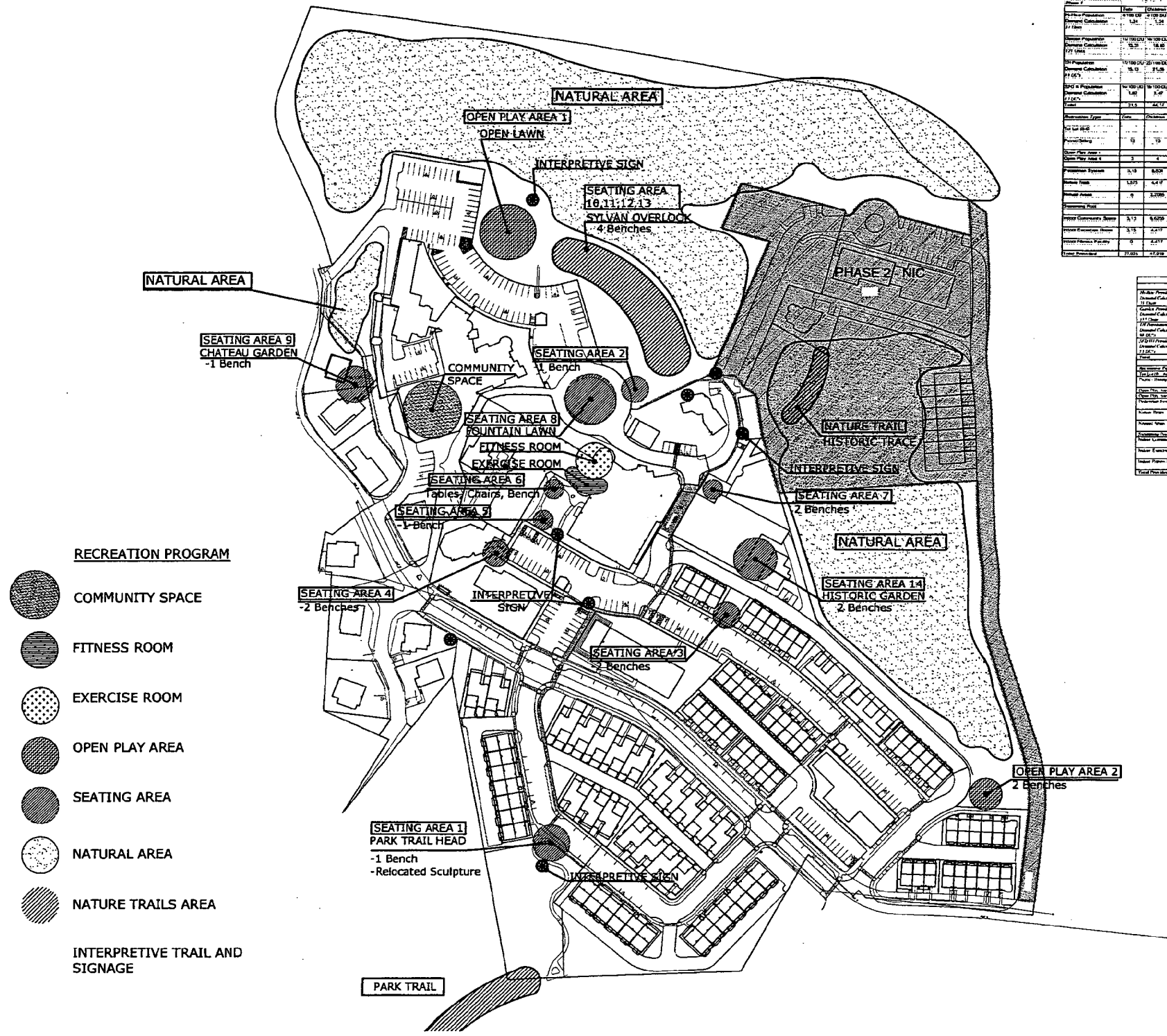
NATIONAL PARK SEMINARY
MONTGOMERY COUNTY
MARYLAND

Revision & Date:

Drawn by:
JC, CS
Designed by:
TR, JL
Checked by:
JL
Date:
01.25.06
Notes:
As Noted

Drawing Number:
L0-0
Sheet 1 of 17

A-15

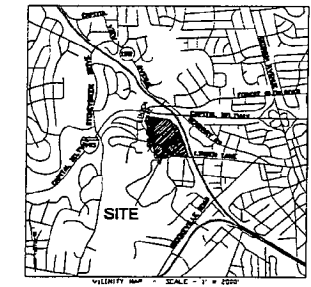


- RECREATION PROGRAM**
- COMMUNITY SPACE
 - FITNESS ROOM
 - EXERCISE ROOM
 - OPEN PLAY AREA
 - SEATING AREA
 - NATURAL AREA
 - NATURE TRAILS AREA
 - INTERPRETIVE TRAIL AND SIGNAGE

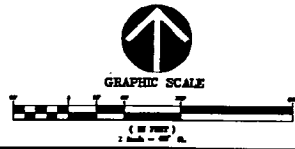
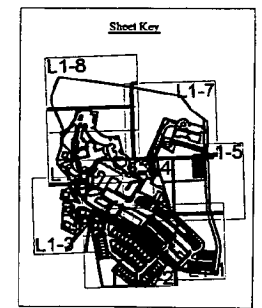
Item	Quantity	Unit	Material	Notes
Asphalt Paving	1,100	SQ	ASPH	1" OVER 4" SAND
Concrete	1,200	SQ	CONC	4" THICK
Grass	15,000	SQ	GRASS	PERMANENT GREEN
Interpretive Sign	10	EA	WOOD	4' X 6' X 1"
Seating Area	10	EA	WOOD	4' X 6' X 1"
Open Play Area	2	EA	WOOD	4' X 6' X 1"
Natural Area	10	EA	WOOD	4' X 6' X 1"
Phase 2 NIC	1	EA	WOOD	4' X 6' X 1"
Nature Trail	1	EA	WOOD	4' X 6' X 1"
Community Space	1	EA	WOOD	4' X 6' X 1"
Fitness Room	1	EA	WOOD	4' X 6' X 1"
Exercise Room	1	EA	WOOD	4' X 6' X 1"
Park Trail	1	EA	WOOD	4' X 6' X 1"
Park Trail Head	1	EA	WOOD	4' X 6' X 1"
Relocated Sculpture	1	EA	WOOD	4' X 6' X 1"

Phase 2 NIC

Item	Quantity	Unit	Material	Notes
Asphalt Paving	1,100	SQ	ASPH	1" OVER 4" SAND
Concrete	1,200	SQ	CONC	4" THICK
Grass	15,000	SQ	GRASS	PERMANENT GREEN
Interpretive Sign	10	EA	WOOD	4' X 6' X 1"
Seating Area	10	EA	WOOD	4' X 6' X 1"
Open Play Area	2	EA	WOOD	4' X 6' X 1"
Natural Area	10	EA	WOOD	4' X 6' X 1"
Phase 2 NIC	1	EA	WOOD	4' X 6' X 1"
Nature Trail	1	EA	WOOD	4' X 6' X 1"
Community Space	1	EA	WOOD	4' X 6' X 1"
Fitness Room	1	EA	WOOD	4' X 6' X 1"
Exercise Room	1	EA	WOOD	4' X 6' X 1"
Park Trail	1	EA	WOOD	4' X 6' X 1"
Park Trail Head	1	EA	WOOD	4' X 6' X 1"
Relocated Sculpture	1	EA	WOOD	4' X 6' X 1"



LOCAL VICINITY MAP
NATIONAL PARK SEMINARY



RECREATION PLAN

NATIONAL PARK SEMINARY

MONTGOMERY COUNTY MARYLAND

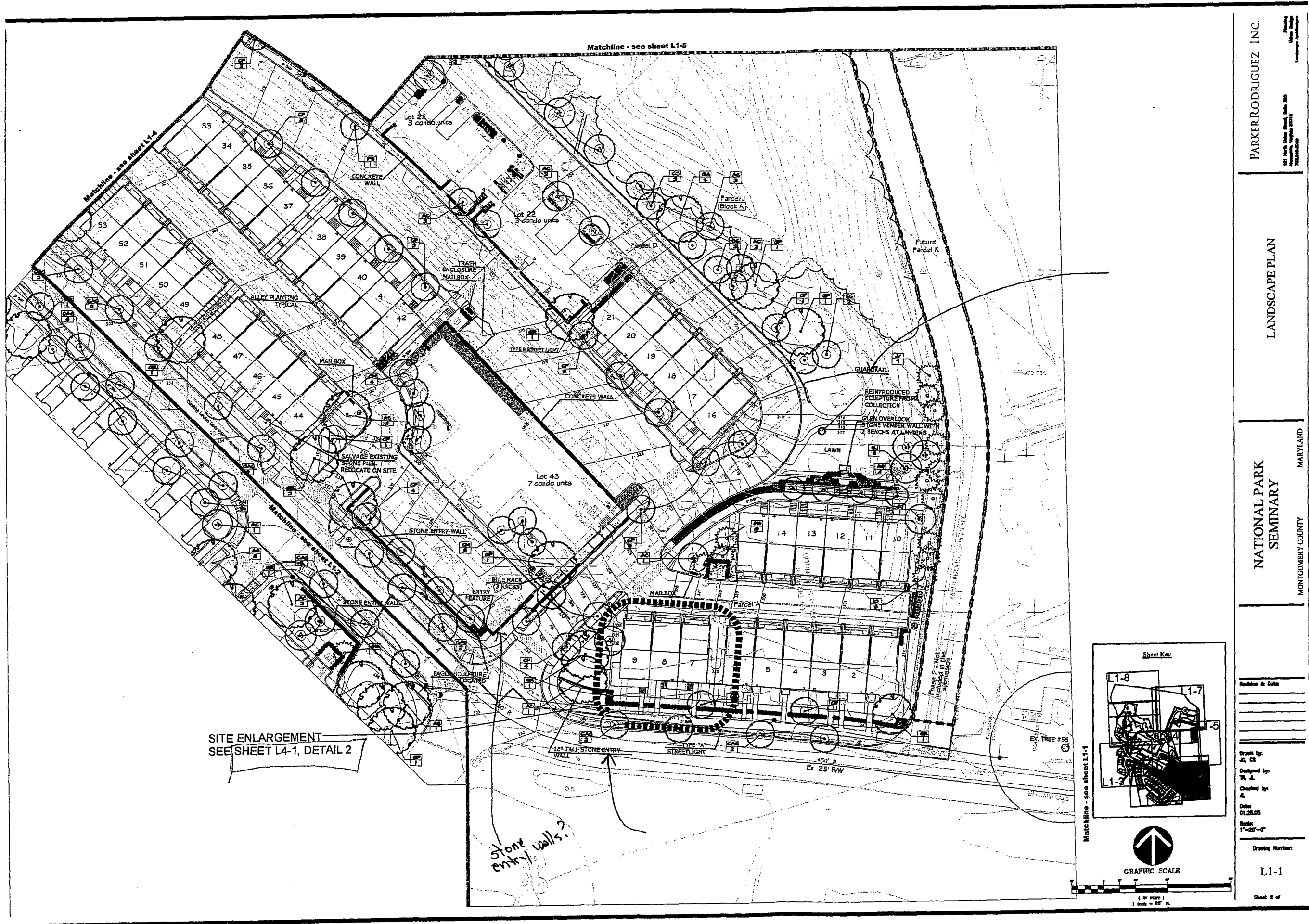
PARKER RODRIGUEZ, INC.

1000 Rockville Pike, Suite 200
Rockville, Maryland 20850
Tel: 301-761-1000
Fax: 301-761-1001

Drawing Number: **L0-1**

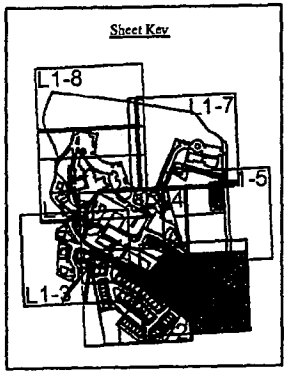
Sheet 2 of 7

A-16



SITE ENLARGEMENT
SEE SHEET L4-1, DETAIL 2

Stone walls &
entry walls



Matchline - see sheet L1-1



GRAPHIC SCALE

(IN FEET)
1 inch = 20' ft.

PARKER RODRIGUEZ, INC.
Landscape Architects
101 North Union Street, Suite 200
Bethesda, Maryland 20814
TEL: 301.271.1010

LANDSCAPE PLAN

NATIONAL PARK SEMINARY

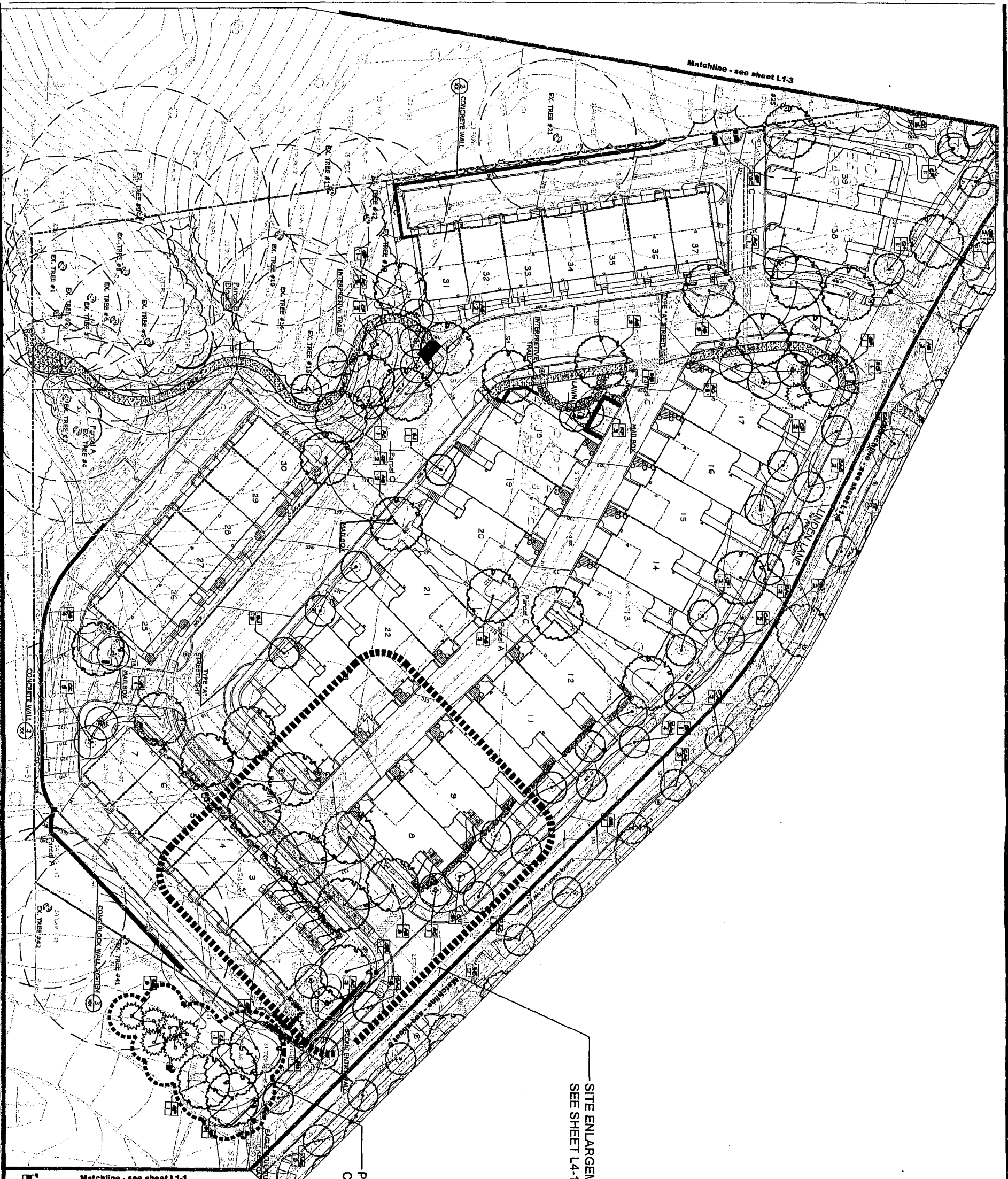
MONTGOMERY COUNTY MARYLAND

Revision #	Date

Drawing Number:
L1-1
Sheet 2 of



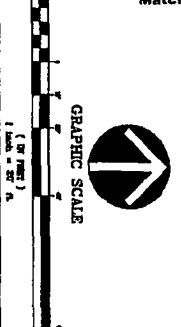
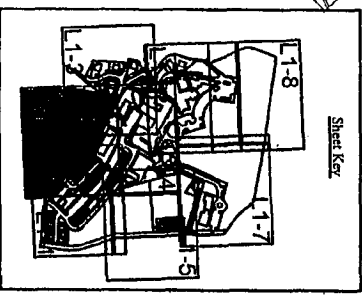
Matchline - see sheet L1-3



SITE ENLARGEMENT
SEE SHEET L4-1, DETAIL 3

PLANTING IN THIS AREA TO BE
COORDINATED W/ US ARMY

Matchline - see sheet L1-1



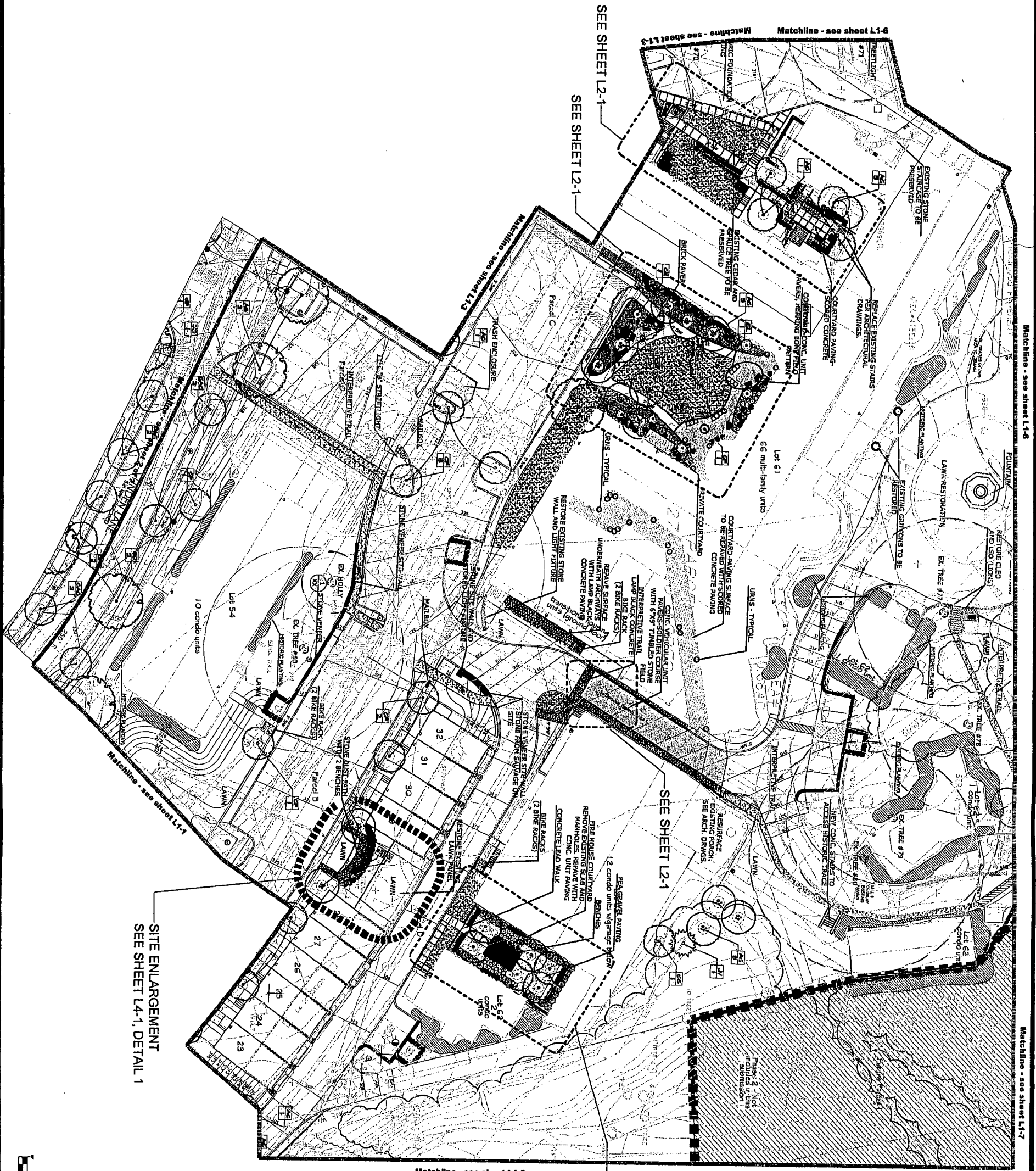
Revised by:	
Drawn by:	
Checked by:	
Date:	01/25/08
Scale:	1"=20'-0"
Drawing Number:	L1-2
Sheet 3 of 3	

NATIONAL PARK SEMINARY
MONTGOMERY COUNTY MARYLAND

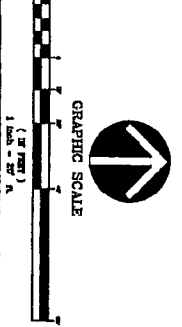
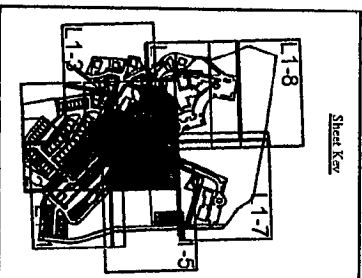
LANDSCAPE PLAN

PARKER RODRIGUEZ, INC.
191 North Union Street, Suite 200
Alexandria, Virginia 22314
703.846.8010
Parker Rodriguez
Urban Design
Landscape Architecture

AK



SITE ENLARGEMENT
SEE SHEET L4-1, DETAIL 1



Revision & Date:	
Drawn by:	
Checked by:	
Date:	01.28.05
Scale:	1"=30'-0"
Sheet Number:	L1-4
Sheet of:	Sheet 8 of

NATIONAL PARK SEMINARY
MONTGOMERY COUNTY MARYLAND

LANDSCAPE PLAN

PARKER RODRIGUEZ, INC.
121 North Union Street, Suite 202
Annapolis, Virginia 22014
703.848.8010
Planning
Urban Design
Landscape Architecture

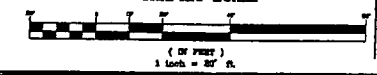
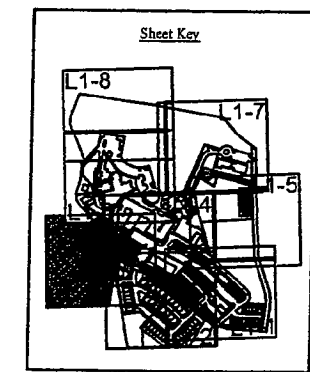
A-20



Matchline - see sheet L1-8

Matchline - see sheet L1-4

Matchline - see sheet L1-2



PARKER RODRIGUEZ, INC.
 101 North Union Street, Suite 200
 Annapolis, Virginia 22014
 Phone: 410-291-1100
 Fax: 410-291-1101
 Website: www.parkerrodriguez.com

LANDSCAPE PLAN

NATIONAL PARK SEMINARY

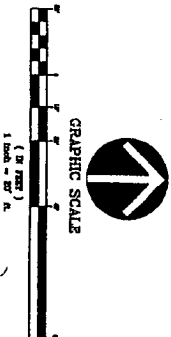
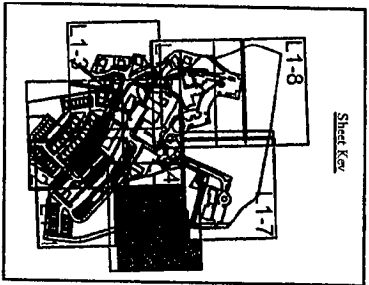
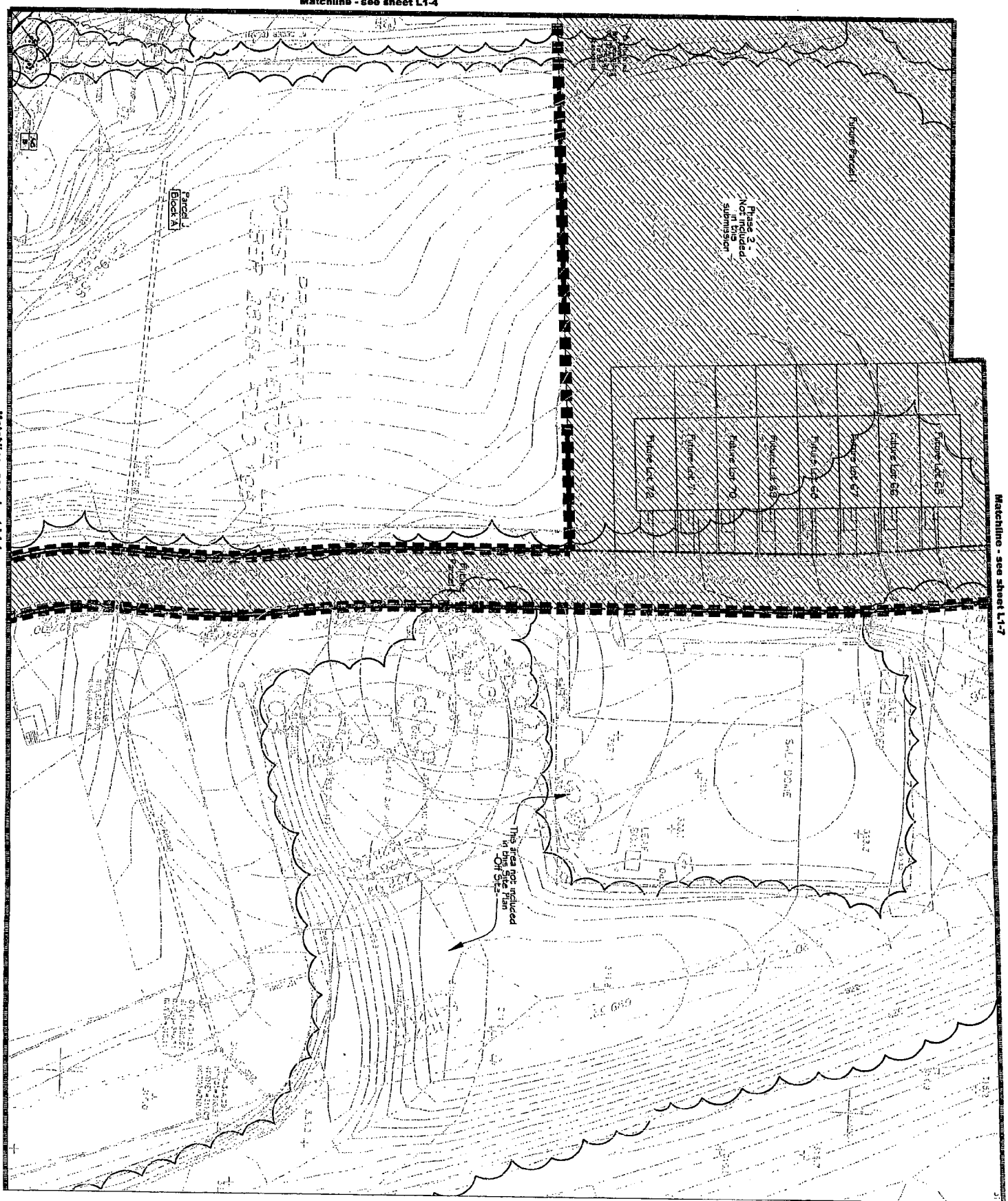
MONTGOMERY COUNTY MARYLAND

Revised & Dates:

Drawn by: J.C. G.
 Designed by: TR. J.
 Checked by: A.
 Date: 07.25.05
 Scale: 1"=20'-0"

Drawing Number: L1-3
 Sheet 4 of 4

A-19



Author:	
Designer:	
Drawn by:	
Checked by:	
Approved by:	
Date:	
Scale:	1" = 100'
Sheet:	L-1-5
Project:	NATIONAL PARK SEMINARY

NATIONAL PARK SEMINARY

MONTGOMERY COUNTY MARYLAND

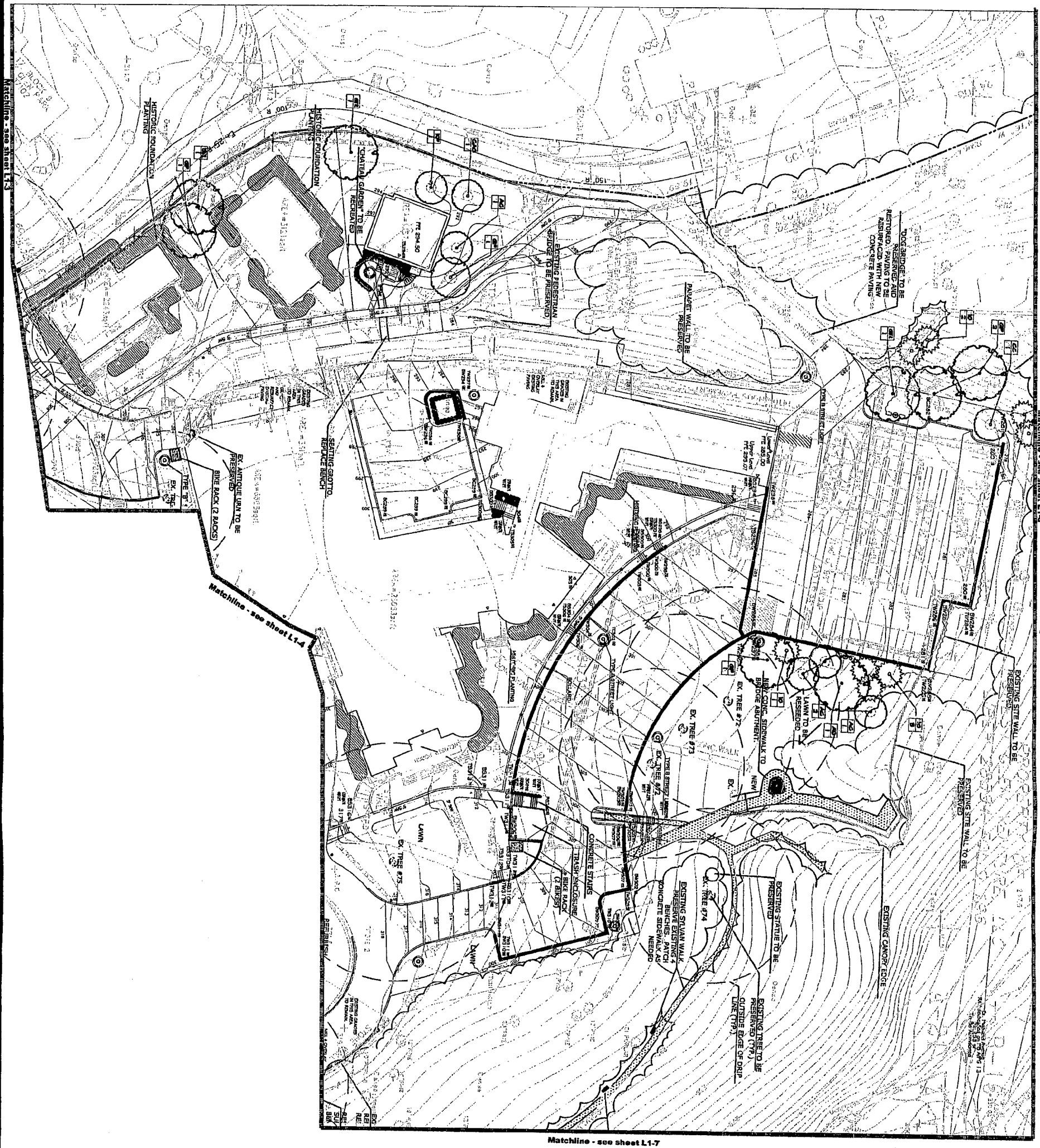
LANDSCAPE PLAN

PARKER RODRIGUEZ, INC.

101 North Union Street, Suite 202
Alexandria, Virginia 22314
703.840.8910

Planning
Urban Design
Landscape Architecture

A-21

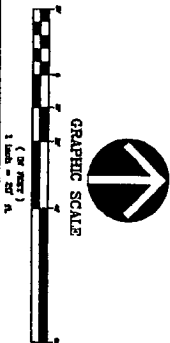
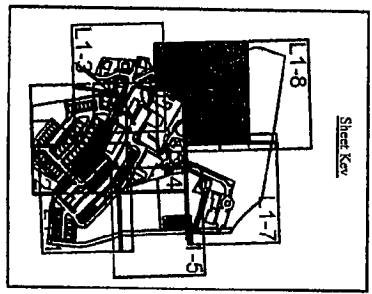


Matchline - see sheet L1-3

Matchline - see sheet L1-4

Matchline - see sheet L1-4

Matchline - see sheet L1-7



Reviewed & Date:	
Drawn by:	AC, CD
Designed by:	TR, K
Checked by:	K
Date:	07.23.05
Scale:	1"=20'-0"
Sheet:	L1-6
Drawing Number:	Montgomery County

NATIONAL PARK SEMINARY
MONTGOMERY COUNTY MARYLAND

LANDSCAPE PLAN

PARKER RODRIGUEZ, INC.
901 North Union Street, Suite 202
Alexandria, Virginia 22314
703.840.2010
Parker Rodriguez
Urban Design
Landscape Architecture

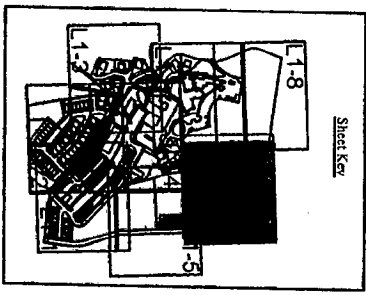


Matchline - see sheet L1-6

Matchline - see sheet L1-8



Matchline - see sheet L1-4



Drawn by:	
Checked by:	
Designed by:	
Date:	01/20/08
Scale:	1"=20'-0"
Project Number:	L1-7
Sheet:	8 of 8

NATIONAL PARK SEMINARY
 MONTGOMERY COUNTY MARYLAND

LANDSCAPE PLAN

PARKER RODRIGUEZ, INC.

301 North Union Street, Suite 200
 Alexandria, Virginia 22314
 703.846.8010

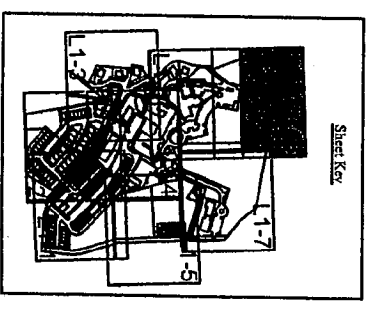
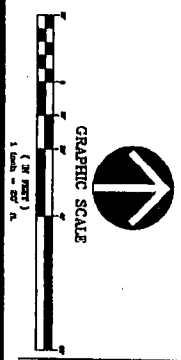
Planning
 Urban Design
 Landscape Architecture

A-23



Matchline - see sheet L1-6

Matchline - see sheet L1-7



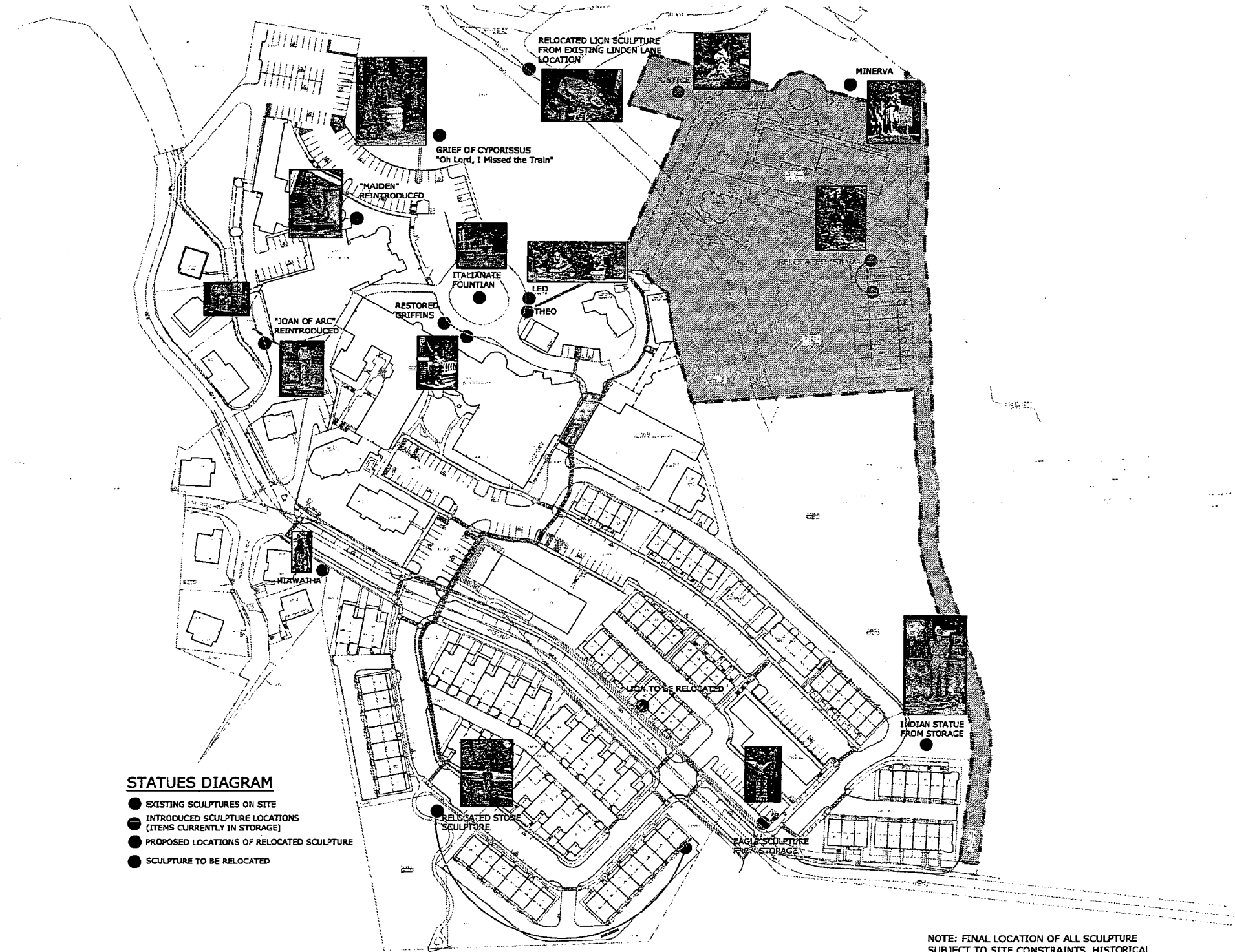
Number & Date:	
Drawn by:	
Checked by:	
Designed by:	
Reviewed by:	
Date:	01.26.05
Project:	NATIONAL PARK SEMINARY
Sheet:	L1-8
Drawings Number:	Sheet 9 of 9

NATIONAL PARK SEMINARY
MONTGOMERY COUNTY MARYLAND

LANDSCAPE PLAN

PARKER RODRIGUEZ, INC.
901 North Glebe Road, Suite 200
Alexandria, Virginia 22304
703.646.8700
Planning
Urban Design
Landscape Architecture

A-24



STATUES DIAGRAM

- EXISTING SCULPTURES ON SITE
- INTRODUCED SCULPTURE LOCATIONS (ITEMS CURRENTLY IN STORAGE)
- PROPOSED LOCATIONS OF RELOCATED SCULPTURE
- SCULPTURE TO BE RELOCATED

NOTE: FINAL LOCATION OF ALL SCULPTURE SUBJECT TO SITE CONSTRAINTS, HISTORICAL DATA AND FINAL ENGINEERING.

PARKER RODRIGUEZ, INC.
 101 North Street, Suite 202
 Rockville, MD 20850
 Phone: 301.761.1111
 Fax: 301.761.1110

SITE FEATURES

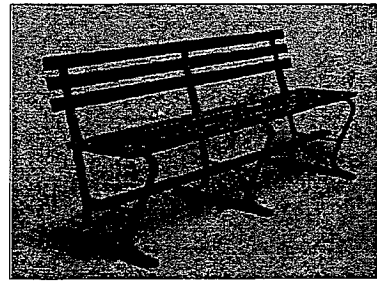
NATIONAL PARK SEMINARY
 MONTGOMERY COUNTY MARYLAND

Revision #	Date

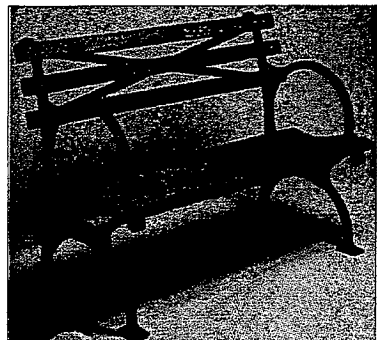
Drawn by:
 JC, CS
 Designed by:
 TR, JL
 Checked by:
 JL
 Date:
 01.25.05
 Scale:
 AS NOTED

Drawing Number:
L2-2
 Sheet of

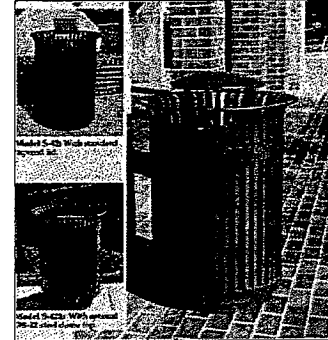
A-25



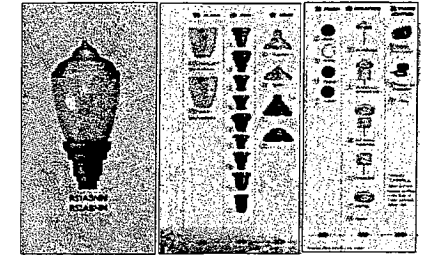
13 PROPOSED BENCH "A"
NOT TO SCALE



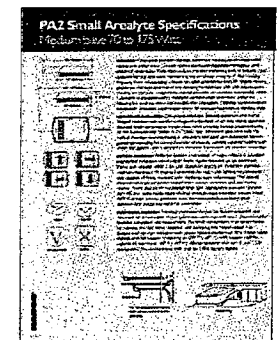
14 PROPOSED BENCH "B"
NOT TO SCALE



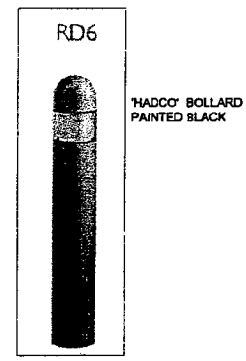
15 PROPOSED TRASH RECEPTACLE
NOT TO SCALE



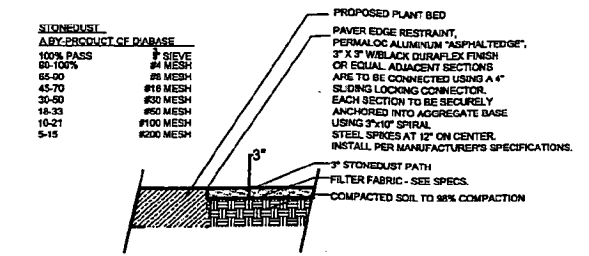
10 STREET LIGHT "A"
NOT TO SCALE



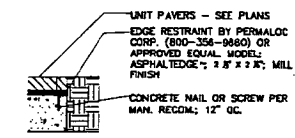
11 STREET LIGHT "B"
NOT TO SCALE



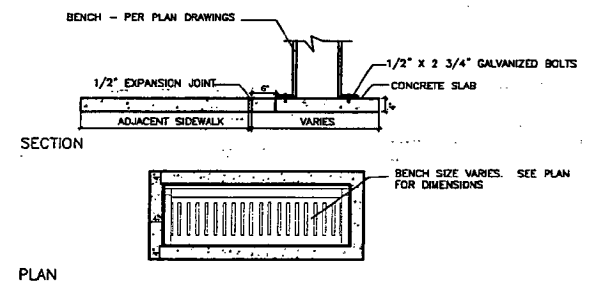
12 PROPOSED BOLLARD
NOT TO SCALE



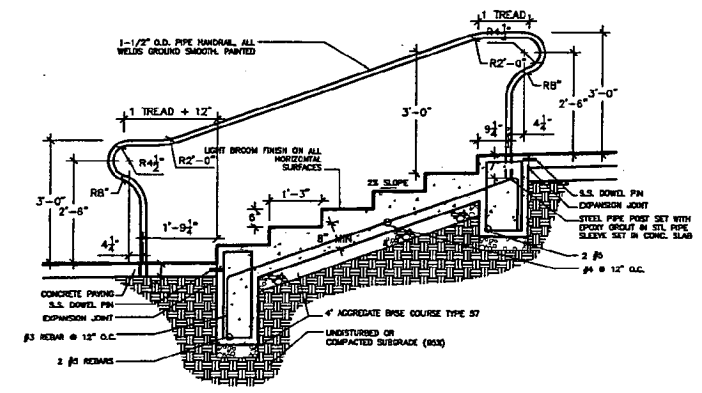
6 STONE DUST PAVING
SCALE: 1"=1'-0"



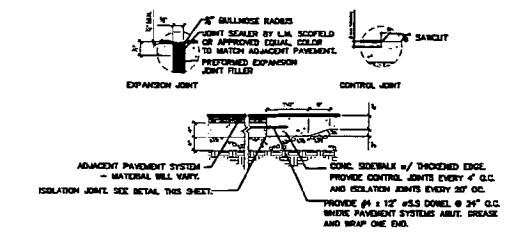
7 TYPICAL EDGE RESTRAINT
SCALE: 1 1/2"=1'-0"



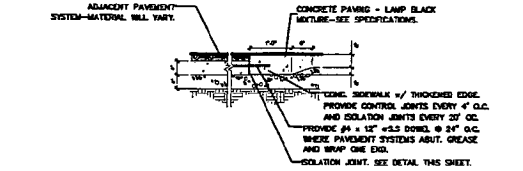
8 BENCH INSTALLATION SECTION AND PLAN
SCALE: 1"=1'-0"



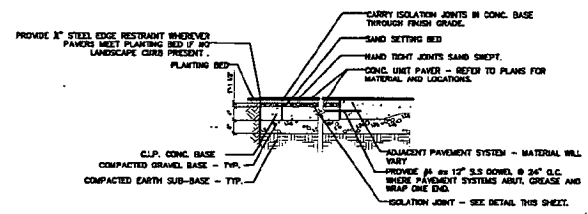
9 PROPOSED HANDRAIL
SCALE: 1/2"=1'-0"



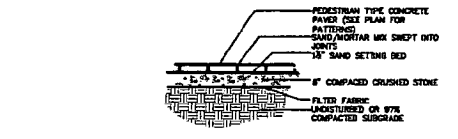
1 CONCRETE SIDEWALK
SCALE: 1"=1'-0"



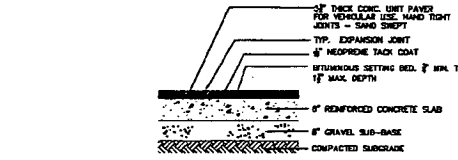
2 CONCRETE SIDEWALK - LAMP BLACK
SCALE: 1"=1'-0"



3 PEDESTRIAN CONCRETE PAVERS W/ CONCRETE SLAB
SCALE: 1"=1'-0"



4 PEDESTRIAN CONCRETE PAVER W/OUT SLAB
SCALE: 1"=1'-0"



5 VEHICULAR CONCRETE PAVER ON CONCRETE SLAB
SCALE: NOT TO SCALE

PARKER RODRIGUEZ, INC.
101 South Lake Street, Suite 200
Washington, DC 20004
Tel: (202) 462-1000
Fax: (202) 462-1001

PAVING DETAILS AND
SITE FURNISHINGS

NATIONAL PARK
SEMINARY
MONTGOMERY COUNTY
MARYLAND

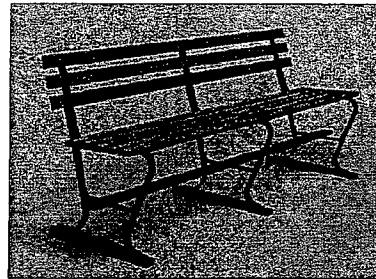
Revision & Date:

Drawn by:
JC CS
Designed by:
TR A
Checked by:
JL
Date:
01.25.05
Scale:
AS SHOWN
Drawing Number:

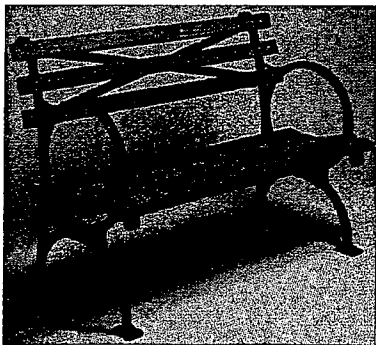
L3-1
Sheet 3 of



1 EXISTING FOREST GLEN BENCH
NOT TO SCALE



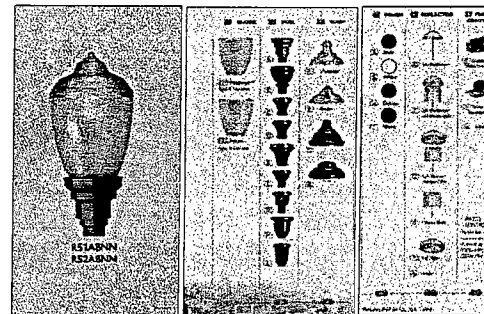
2 PROPOSED BENCH "A"
NOT TO SCALE



3 PROPOSED BENCH "B"
NOT TO SCALE

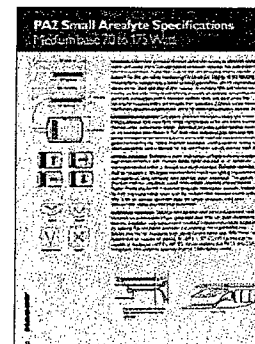


8 PROPOSED TRASH RECEPTACLE
NOT TO SCALE



HADCO TYPE V FIXTURE, R51LBNZAGBD 150 H F 12' MOUNTING HEIGHT

5 PROPOSED STREET LIGHT "B"
NOT TO SCALE



HADCO PROFILER PA253A 3 1005 F B TYPE 3 DISTRIBUTION 14' MOUNTING HEIGHT
HADCO PROFILER PA2A WA 3 1005 F H WALL MOUNT

4 PROPOSED STREET LIGHT "A" - SC
NOT TO SCALE



Graphic Scale Here

PARKER RODRIGUEZ, INC.
100 South Chesapeake Blvd. Suite 200
Annapolis, Maryland 21401
Phone: 410-291-1111
Fax: 410-291-1112
www.parkerrodriguez.com

SITE FURNITURE

NATIONAL PARK SEMINARY

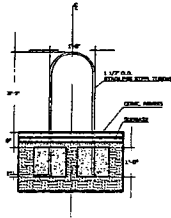
MONTGOMERY COUNTY MARYLAND

Revisions & Dates

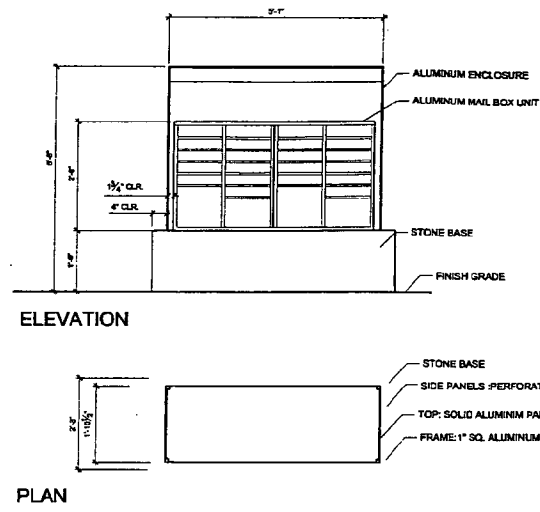
Drawn by:
J.C. CS
Designed by:
W. J.
Checked by:
J.
Date:
01.25.05
Scale:
AS SHOWN

Drawing Number:
L3-2
Sheet 13 of

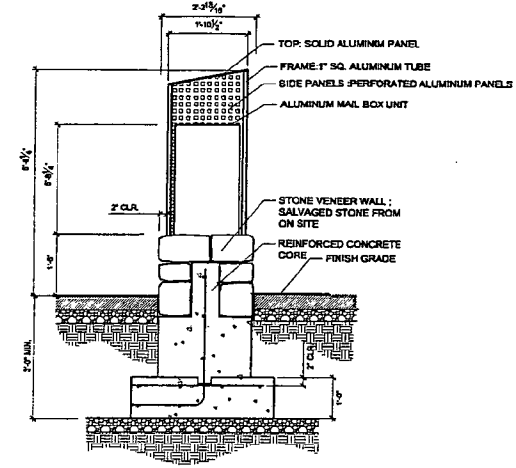
3 BENCH SCALE 1/4"=1'-0"



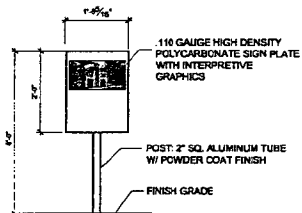
1 MAILBOX ENCLOSURE SCALE 1/4"=1'-0"



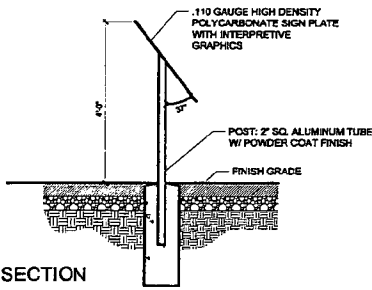
SECTION



4 CONCRETE RETAINING WALL W/ STONE VENEER SALVAGED FROM SITE SCALE 1/4"=1'-0"

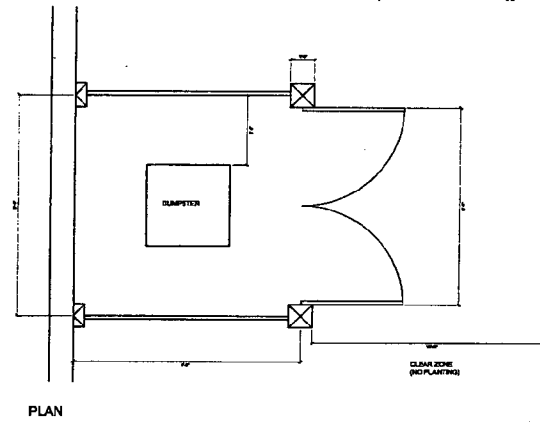


ELEVATION

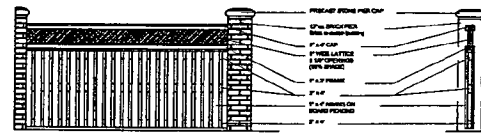


SECTION

2 DUMPSTER ENCLOSURE SCALE 1/2"=1'-0"



PLAN



ELEVATION

PARKERRODRIGUEZ, INC.

111 North Union Street, Suite 203
Washington, DC 20004
Tel: 202-462-1111
Fax: 202-462-1112

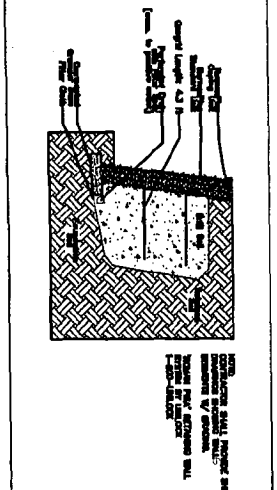
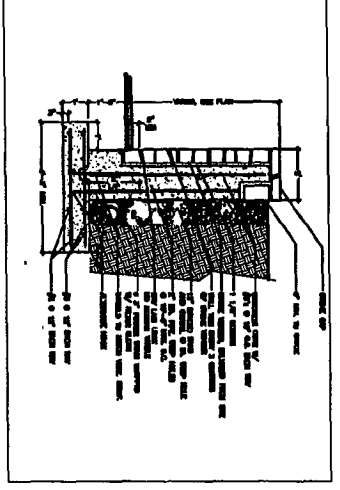
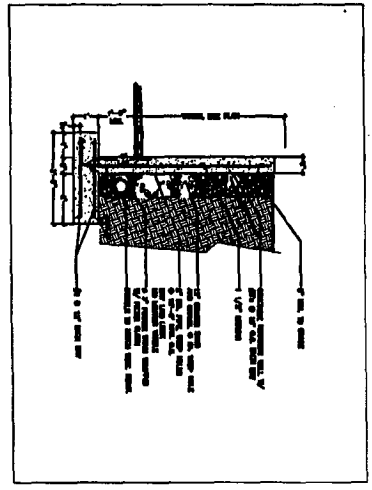
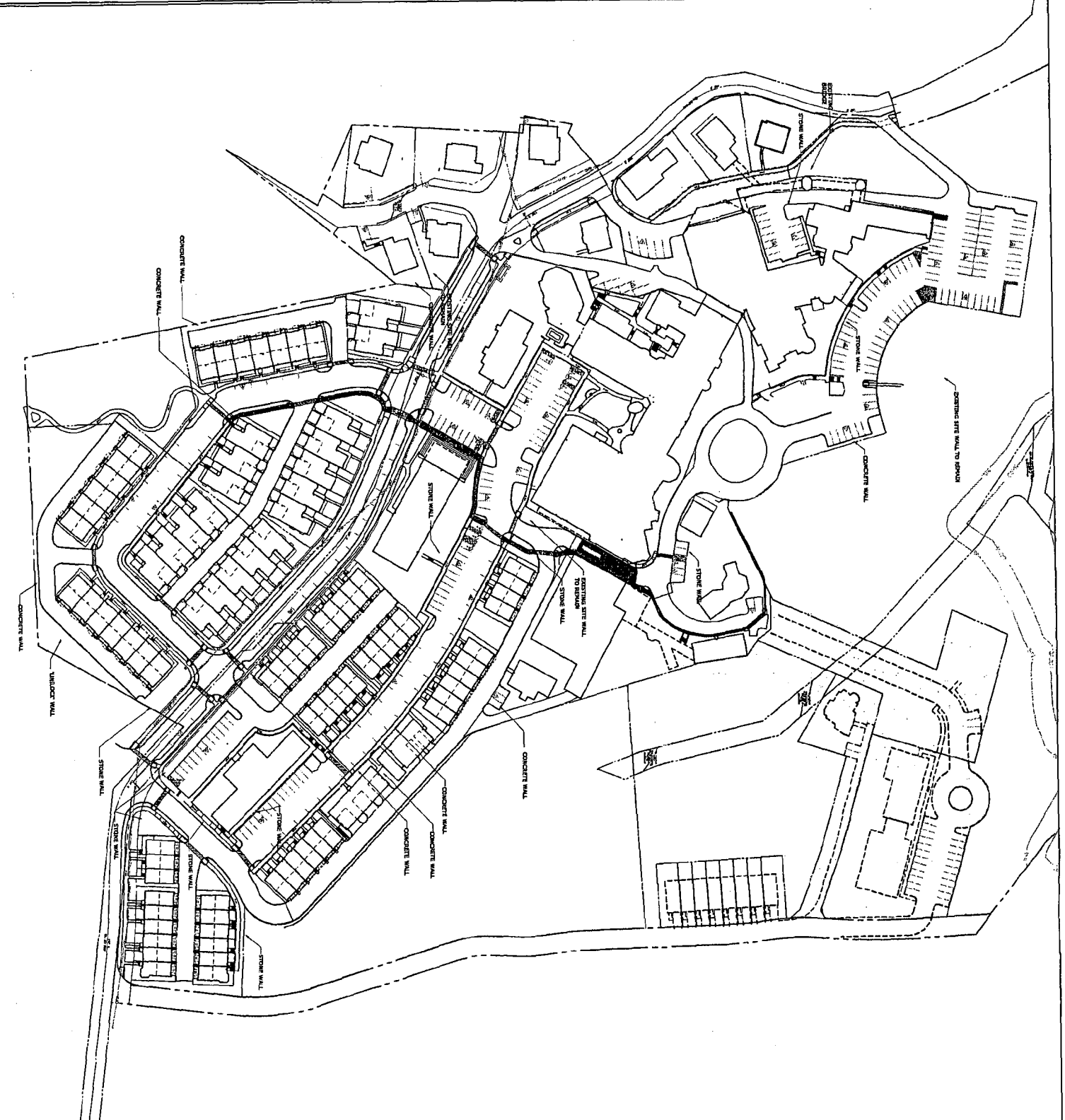
SITE DETAILS

NATIONAL PARK SEMINARY

MONTGOMERY COUNTY MARYLAND

Revision & Date:	
Drawn by:	J.C. CS
Designed by:	TR, J.
Checked by:	J.
Date:	01.25.05
Scale:	AS NOTED
Drawing Number:	L3-2
Sheet of:	

1 RETAINING WALL KEY PLAN
SCALE: 1" = 50'



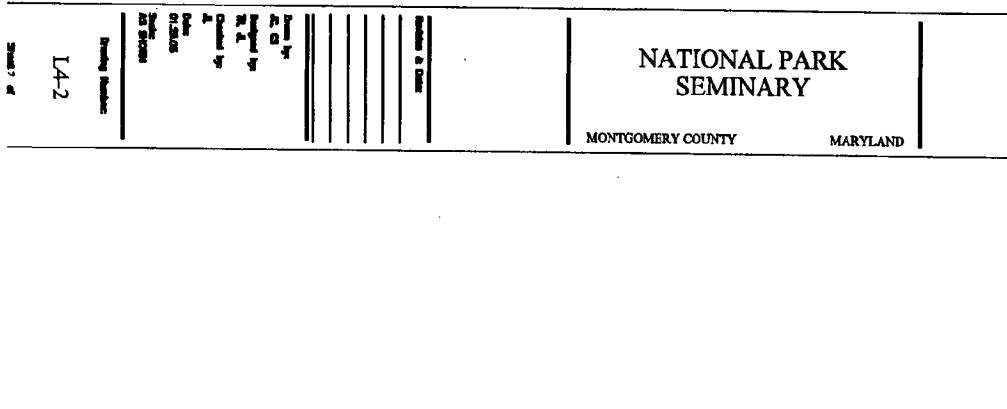
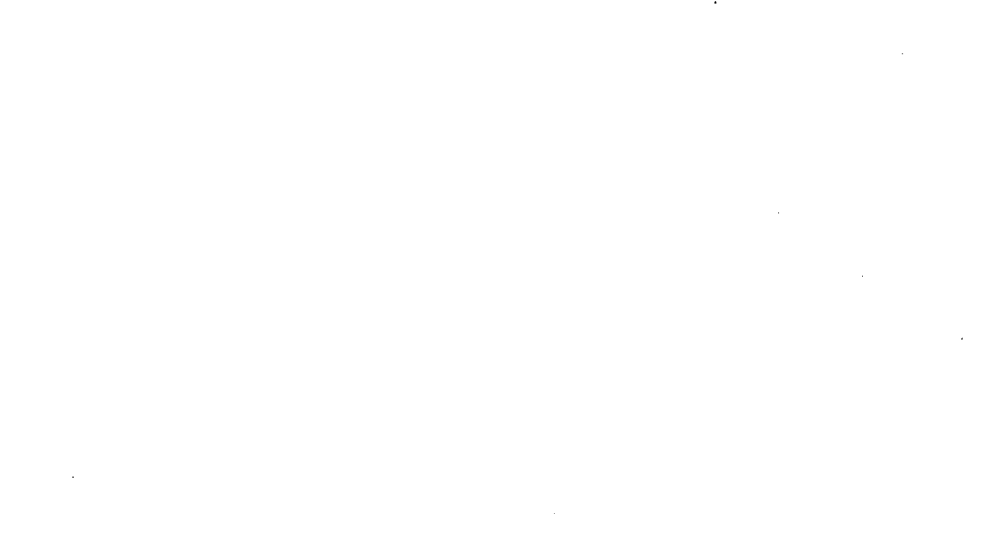
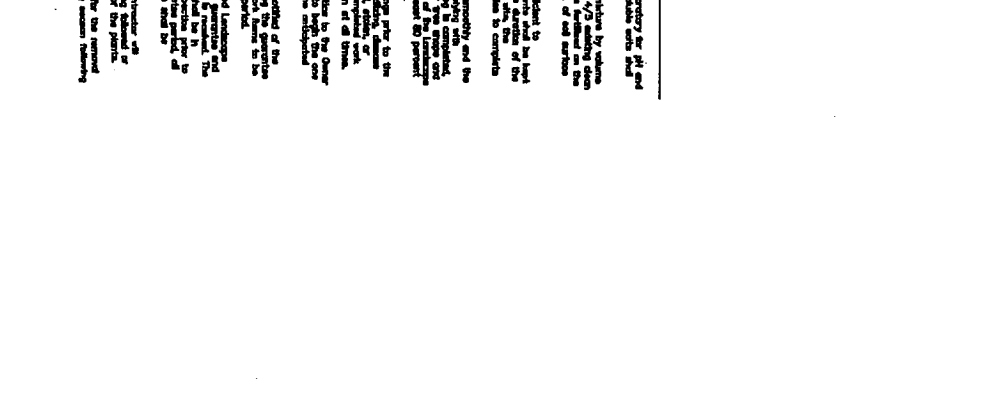
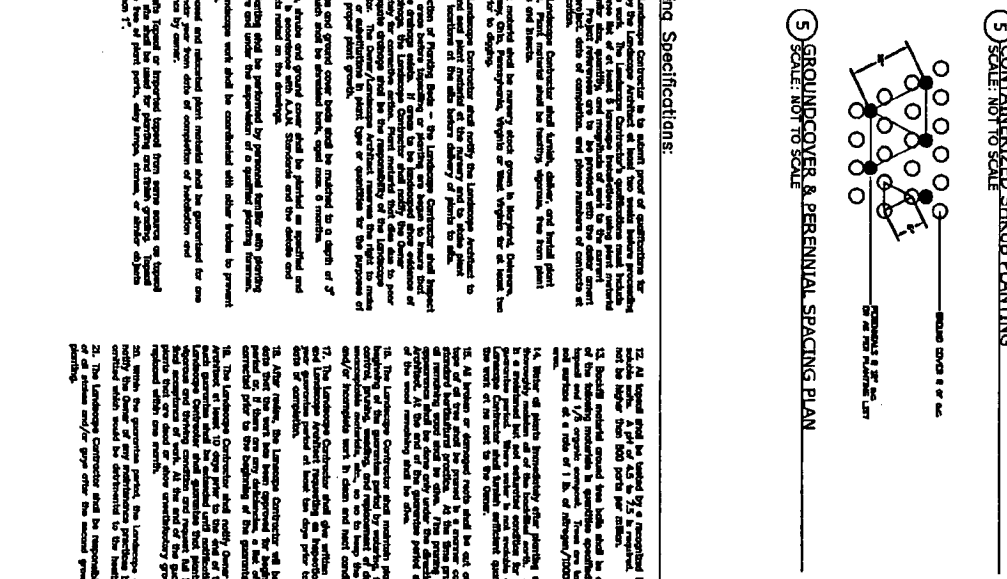
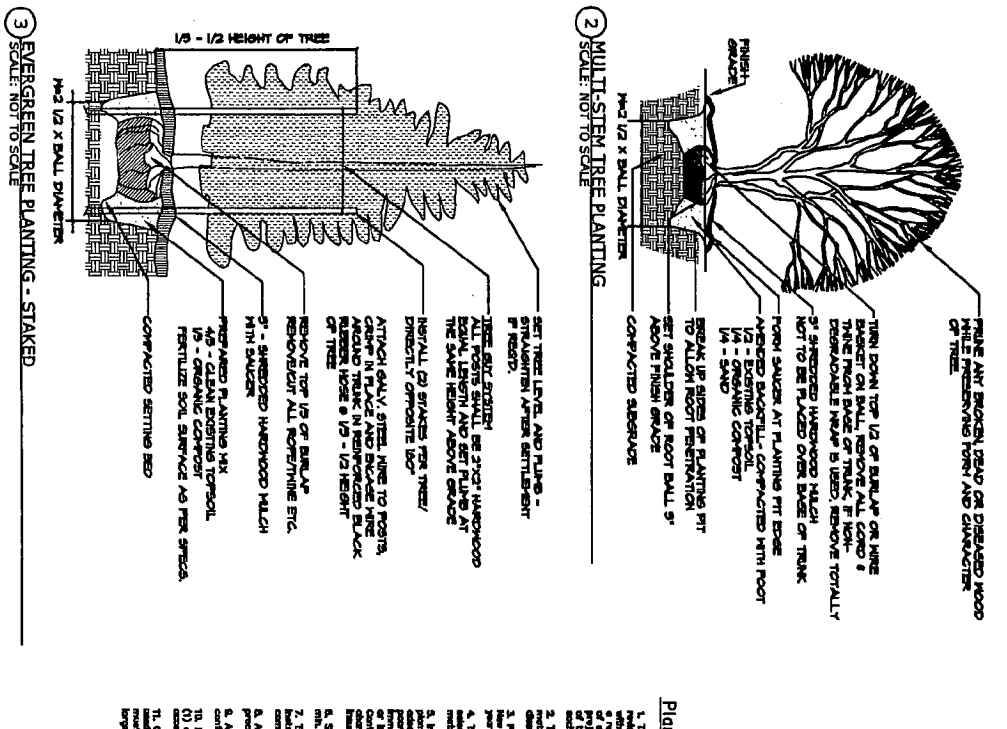
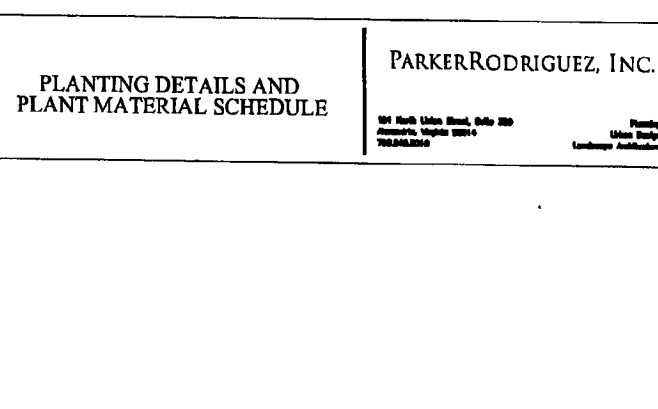
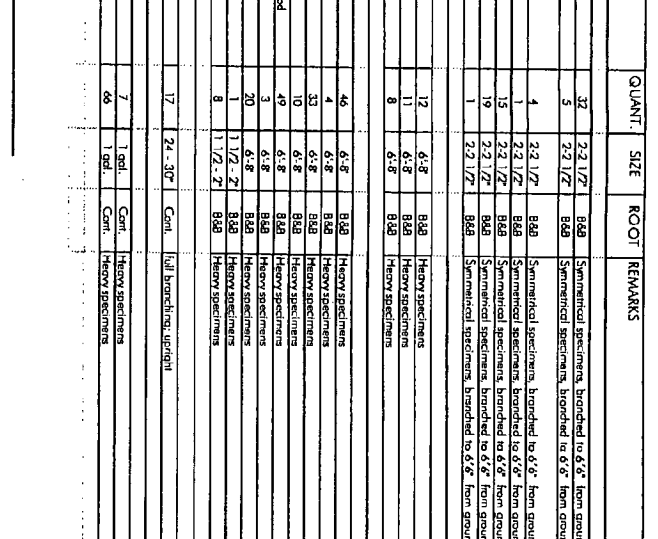
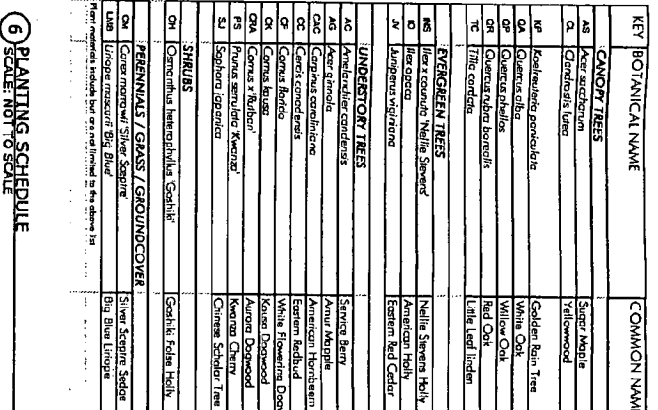
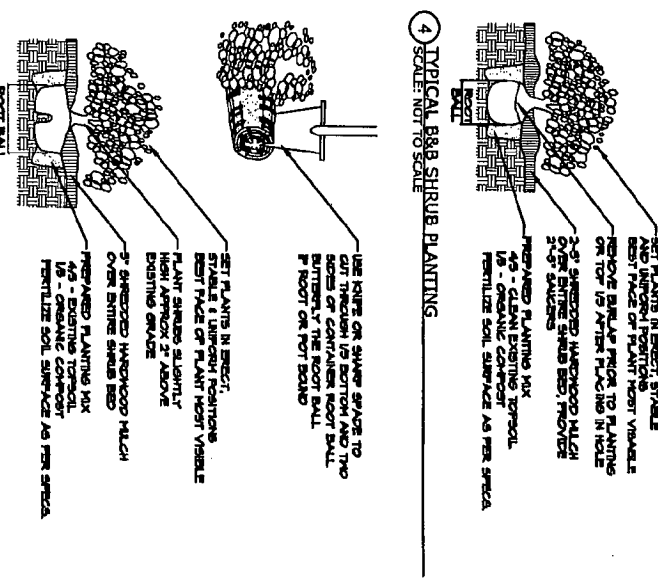
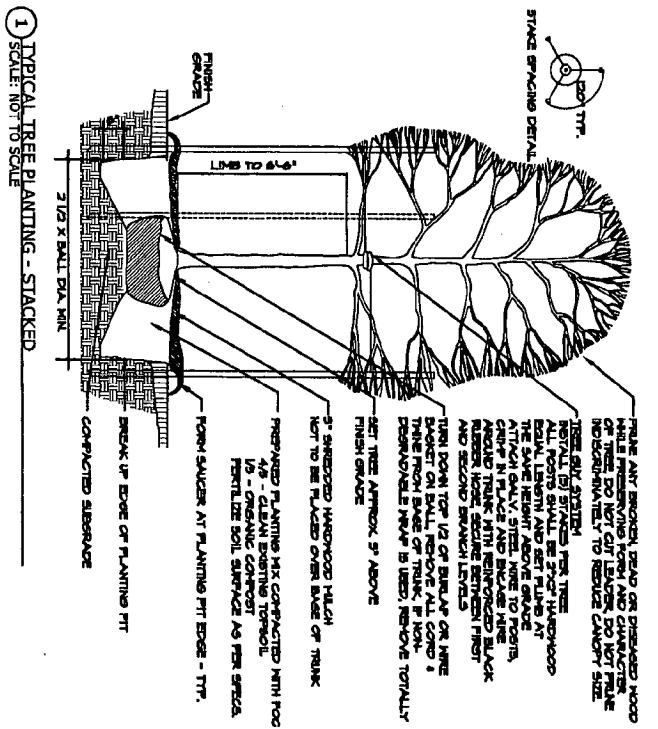
Revision & Date:
 Drawn by: A.C. [unclear]
 Checked by: R.A. [unclear]
 Date: 01/22/03
 1/2" Scale
 Drawing Number: L3-3
 Sheet #

NATIONAL PARK SEMINARY
 MONTGOMERY COUNTY MARYLAND

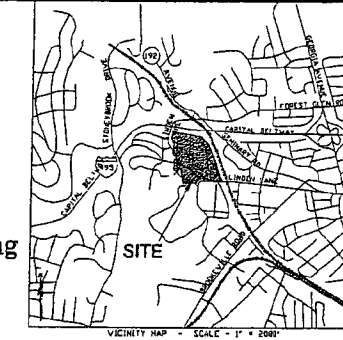
RETAINING WALL KEY PLAN AND DETAILS

PARKER RODRIGUEZ, INC.
 101 North Green Street, Suite 210
 Annapolis, Virginia 22014
 703 545 5010
 Planning
 Urban Design
 Landscape Architecture

(A-29)



Lighting Plan Set
for
NATIONAL PARK SEMINARY
-Phase 1-
MNCP&PC #8-
13th Election District, Silver Spring
Montgomery County, Maryland



PARKER RODRIGUEZ, INC.
101 North Lincoln Street, Suite 200
Bethesda, MD 20814
301-452-1000

Lighting Plan Set
LI-1-1
LI-1-2
LI-1-3
LI-1-4
LI-1-5

PROJECT TEAM

DEVELOPER/APPLICANTS:
ALEXANDER COMPANY
145 EAST BUCKLE ROAD
SUITE 200
MADISON WISCONSIN 53713
CONTACT: NATALIE BOCK
800-258-8300

EAKIN / YOUNGENTOB
400 WILSON BOULEVARD
SUITE 2700
ARLINGTON VIRGINIA 22203
CONTACT: MATT BERGHALM
703-625-6585 x140

ATTORNEY:
LONKA EARL & BISHNER
3 BETHESDA METRO CENTER
SUITE 400
BETHESDA, MARYLAND 20814
CONTACT: STEVE ROSEN
301-452-0167

ARCHITECT/PLANNER:
LEBRAND ARCHITECTURAL GROUP, INC.
8823 WESTWOOD CENTER DR
SUITE 400
VIENNA, VIRGINIA 22182
CONTACT: JACK McLAURIN
703-765-5377

TRAFFIC:
THE TRAFFIC GROUP
9500 FRANKLIN SQ DRIVE
SUITE H
BALTIMORE, MD 21238
CONTACT: WES GLICKERT
410-583-8411

CIVIL ENGINEER:
VIRCA
20231 CENTURY BOULEVARD
SUITE 400
GERMANTOWN, MARYLAND 20874
CONTACTS: CHUCK BISH &
BILL LANDFAR
301-918-4120

M-NCP&PC SITE INSPECTION CHECKLIST

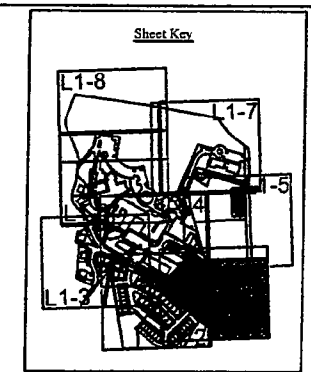
M-NCP&PC Approval Signature	Date	Task Performed
_____	_____	Pre-Construction Measures in place before clearing and grading
_____	_____	After Construction Protection prior to planting (reforestation)
_____	_____	After installation of landscaping, lighting, paving (private), and recreation amenities
_____	_____	After Re-forestation - Beginning of Two-year Maintenance Period
_____	_____	After Two-year Maintenance Period - Meet most sustainability goals

SITE PLAN APPROVAL STAMP

APPLICANT'S AGREEMENT
The undersigned agrees to maintain all the features and requirements of this Site Plan in accordance with the Montgomery County agreement between the Montgomery County Planning Board and the undersigned.

For: Glen Venture, LLC
A joint venture of affiliates of The Alexander Company, Inc. & East/Westwood Associates, Inc.

By: _____ Date: _____
Matthew Stronburn,
Senior Vice President, East/Westwood, Inc.



LIGHTING PLANS

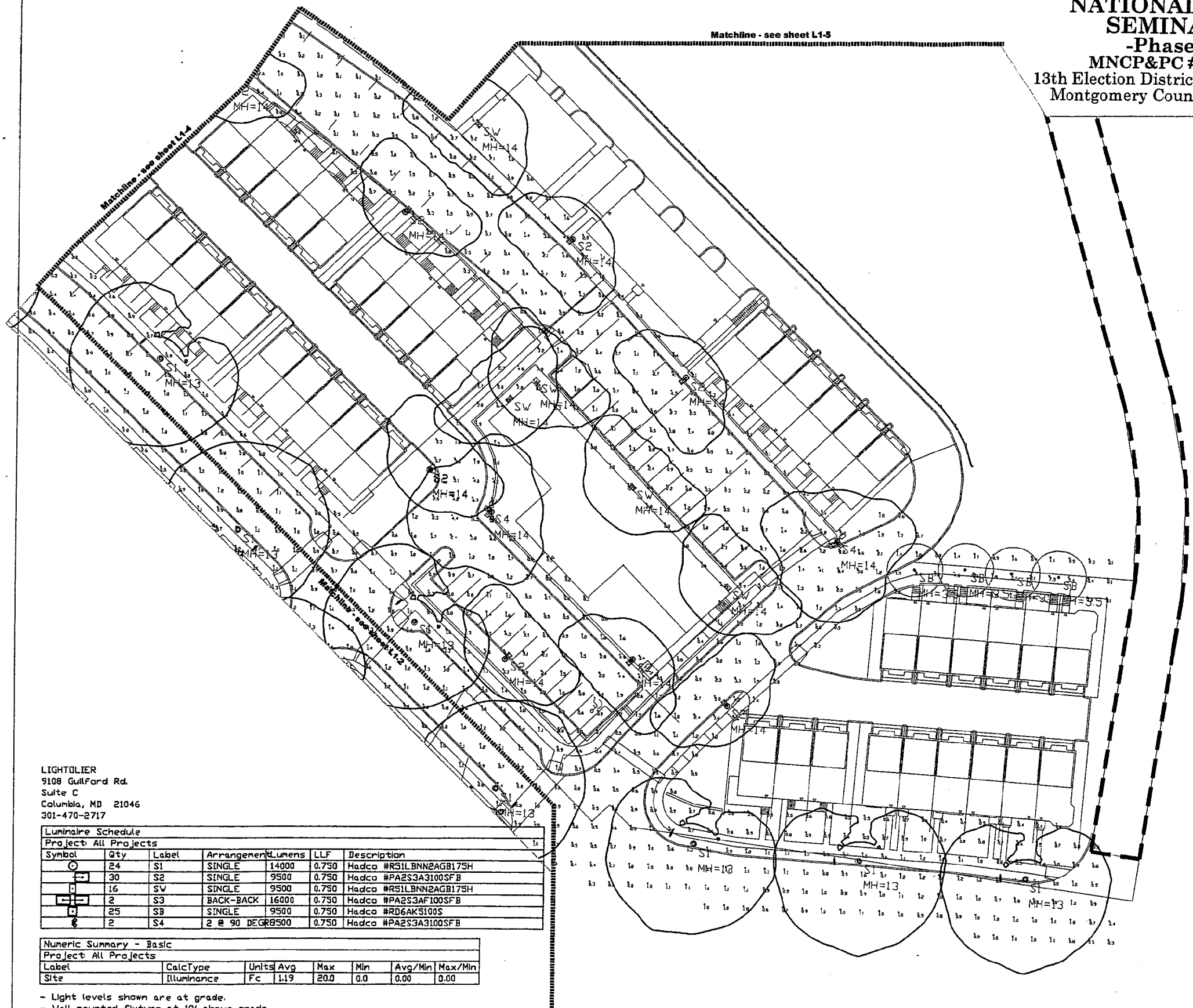
NATIONAL PARK SEMINARY
MONTGOMERY COUNTY
MARYLAND

Revisions & Date

Drawn by: JC, CS
Designed by: TR, JL
Checked by: JL
Date: 01.25.08
Scale: 1"=20'-0"

Drawing Number:
LI-1-1

Sheet 1 of 5



LIGHTOLIER
9108 Guilford Rd.
Suite C
Columbia, MD 21046
301-470-2717

Luminaire Schedule
Project: All Projects

Symbol	Qty	Label	Arrangement	Lunens	LLF	Description
○	24	S1	SINGLE	14000	0.750	Hadco #RS1LBNN2AGB175H
□	30	S2	SINGLE	9500	0.750	Hadco #PA2S3A3100SF B
□	16	SV	SINGLE	9500	0.750	Hadco #RS1LBNN2AGB175H
□	2	S3	BACK-BACK	16000	0.750	Hadco #PA2S3AF100SF B
□	25	S8	SINGLE	9500	0.750	Hadco #RD6AKS100S
□	2	S4	2 @ 90 DEGR	8500	0.750	Hadco #PA2S3A3100SF B

Numeric Summary - Basic
Project: All Projects

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	1.19	20.0	0.0	0.00	0.00

- Light levels shown are at grade.
- Wall mounted fixture at 18' above grade.

Matchline - see sheet LI-1

(A3)

LIGHTOLIER
 9108 Guilford Rd.
 Suite C
 Columbia, MD 21046
 301-470-2717

Luminaire Schedule						
Project: All Projects						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
⊙	24	S1	SINGLE	14000	0.750	Hadco #RS1LBN2AGB175H
⊙	30	S2	SINGLE	9500	0.750	Hadco #PA2S3A3100SFB
⊙	16	SV	SINGLE	9500	0.750	Hadco #RS1LBN2AGB175H
⊙	2	S3	BACK-BACK	16000	0.750	Hadco #PA2S3AF100SFB
⊙	25	SB	SINGLE	9500	0.750	Hadco #RD6AKS100S
⊙	2	S4	2 @ 90 DEGR	9500	0.750	Hadco #PA2S3A3100SFB

Numeric Summary - Basic						
Project: All Projects						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Site	Illuminance	Fc	1.19	20.0	0.0	0.00

- Light levels shown are at grade.
- Wall mounted fixture at 18' above grade.

PARKER RODRIGUEZ, INC.

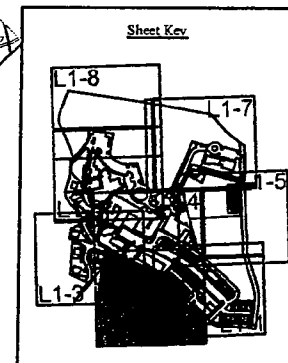
101 North Union Street, Suite 300
 Rockville, MD 20850
 (301) 761-1111
 Fax: (301) 761-1112
 www.parker-rodriguez.com

LIGHTING PLANS

NATIONAL PARK SEMINARY

MONTGOMERY COUNTY MARYLAND

SITE ENLARGEMENT
 SEE SHEET L2-1, DETAIL 3



GRAPHIC SCALE

Matchline - see sheet L1-1

Matchline - see sheet L1-3

Revision	Date

Drawn by:
 J.C. G.
 Designed by:
 T.H. A.
 Checked by:
 A.
 Date:
 01.25.05
 Scale:
 1"=20'-0"

Drawing Number:
 LI-1-2

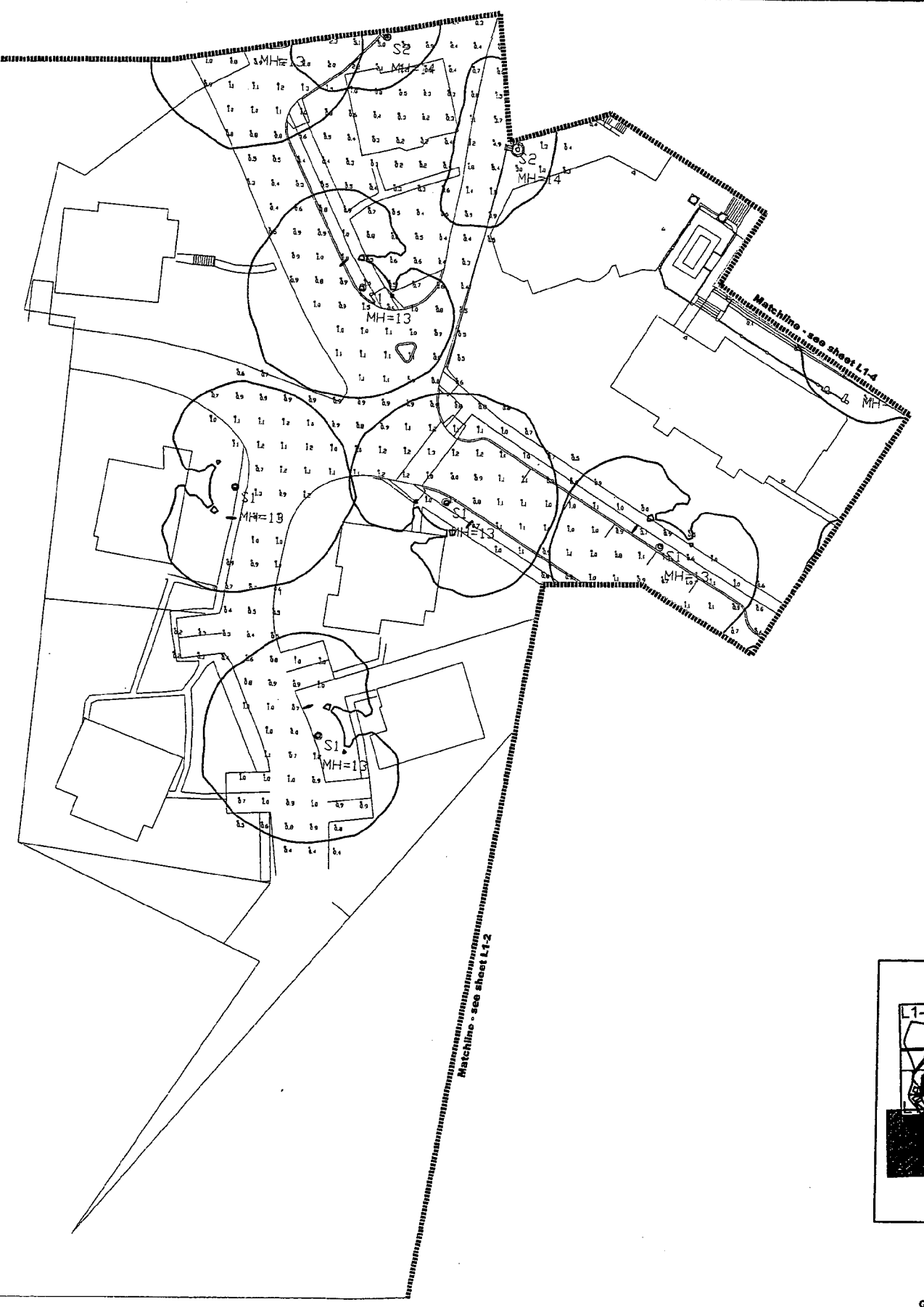
Sheet 2 of 3

A-32

PARKER RODRIGUEZ, INC.
 125 North Lake Street, Suite 202
 Annapolis, Virginia 22014
 Telephone: 703-261-2110

LIGHTING PLANS

NATIONAL PARK SEMINARY
 MONTGOMERY COUNTY
 MARYLAND

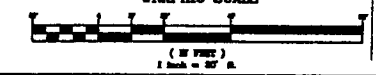
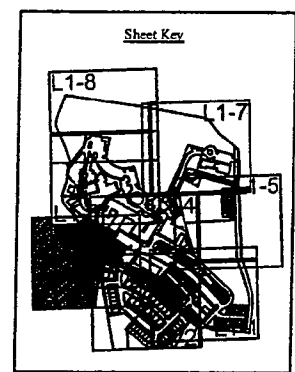


LIGHTOLIER
 9108 Guilford Rd.
 Suite C
 Columbia, MD 21046
 301-470-2717

Luminaire Schedule						
Project: All Projects						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
⊙	24	S1	SINGLE	14000	0.750	Hadco #R51LBNN2AGB175H
⊞	30	S2	SINGLE	9500	0.750	Hadco #PA2S3A3100SF3
⊠	16	SV	SINGLE	9500	0.750	Hadco #R51LBNN2AGB175H
⊞	2	S3	BACK-BACK	16000	0.750	Hadco #PA2S3AF100SF3
⊞	25	S8	SINGLE	9500	0.750	Hadco #RD6AK5100S
⊞	2	S4	2 @ 90 DEGR	9500	0.750	Hadco #PA2S3A3100SF3

Numeric Summary - Basic							
Project: All Projects							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	1.19	20.0	0.0	0.00	0.00

- Light levels shown are at grade.
- Wall mounted fixture at 18' above grade.



Revised & Date

Drawn by:
 JZ, CS

Designed by:
 TR, JL

Checked by:
 JL

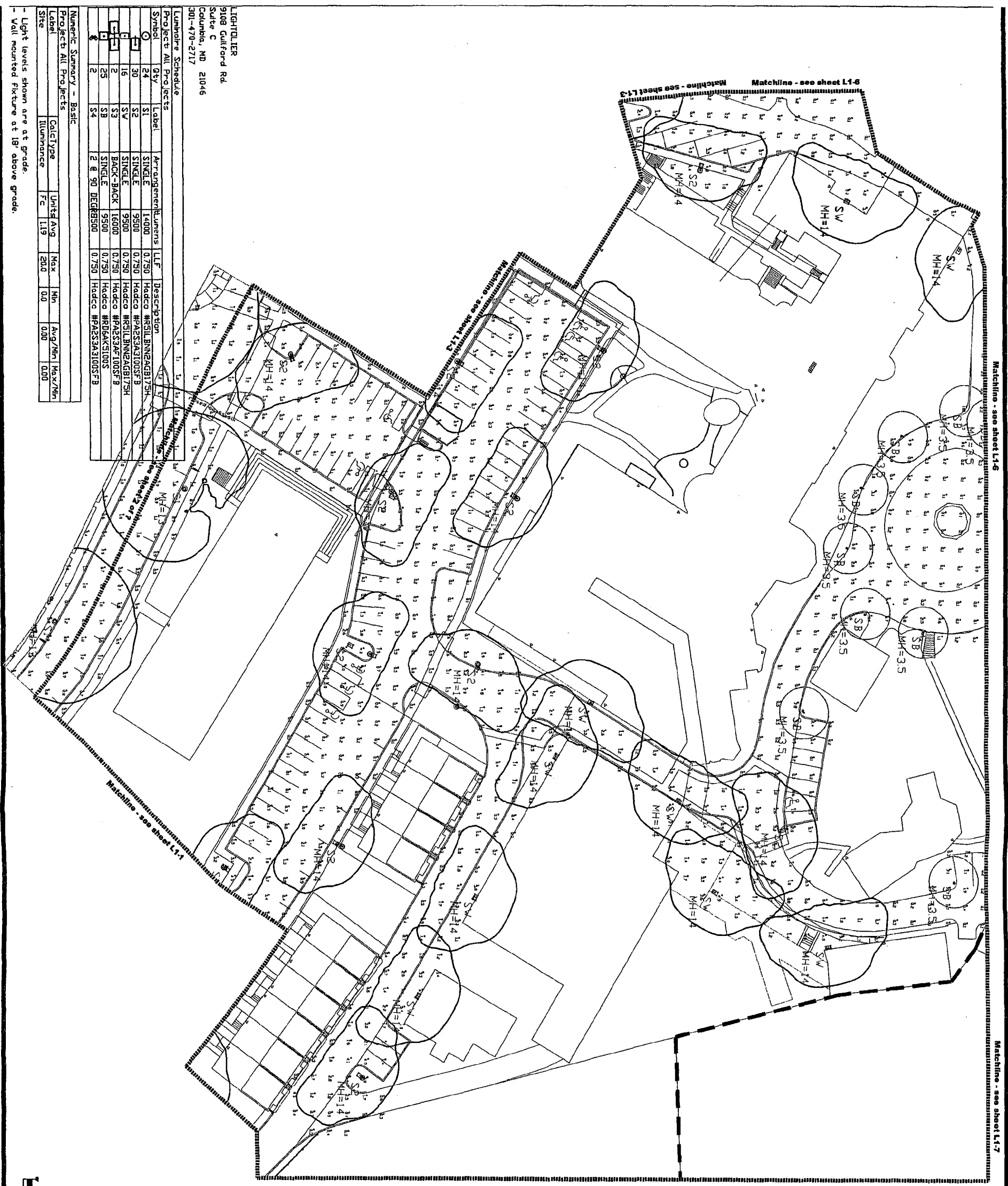
Date:
 01.28.00

Scale:
 1/8" = 1'-0"

Drawing Number:
 LI-1-3

Sheet 3 of 8

(A-33)



Matchline - see sheet L1-6

Matchline - see sheet L1-7

Matchline - see sheet L1-5

LIGHTING PLAN
 9108 Guilford Rd.
 Suite C
 Columbia, MD 21046
 301-470-2717

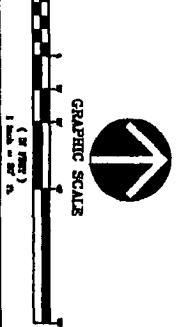
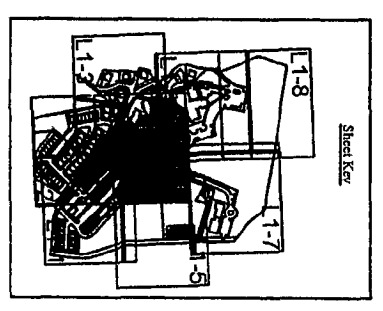
Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
⊙	24	S1	SINGLE	14000	0.750	Hodco #R51L BNNZAGB75H
⊙	30	S2	SINGLE	9500	0.750	Hodco #R4S3A3100SF B
⊙	16	SW	SINGLE	9500	0.750	Hodco #R51L BNNZAGB75H
⊙	2	S3	BACK-BACK	16000	0.750	Hodco #R4S3A3100SF B
⊙	25	SB	SINGLE	9500	0.750	Hodco #R1D4K5100SF B
⊙	2	S4	2 @ 90 DEGR	9500	0.750	Hodco #R4S3A3100SF B

Numeric Summary - Basic

Project	All Projects	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Site		Illuminance	FC	119	200	0.0	0.00	0.00

- Light levels shown are at grade.
 - Wall mounted fixture at 18' above grade.



NATIONAL PARK SEMINARY

MONTGOMERY COUNTY MARYLAND

LIGHTING PLANS

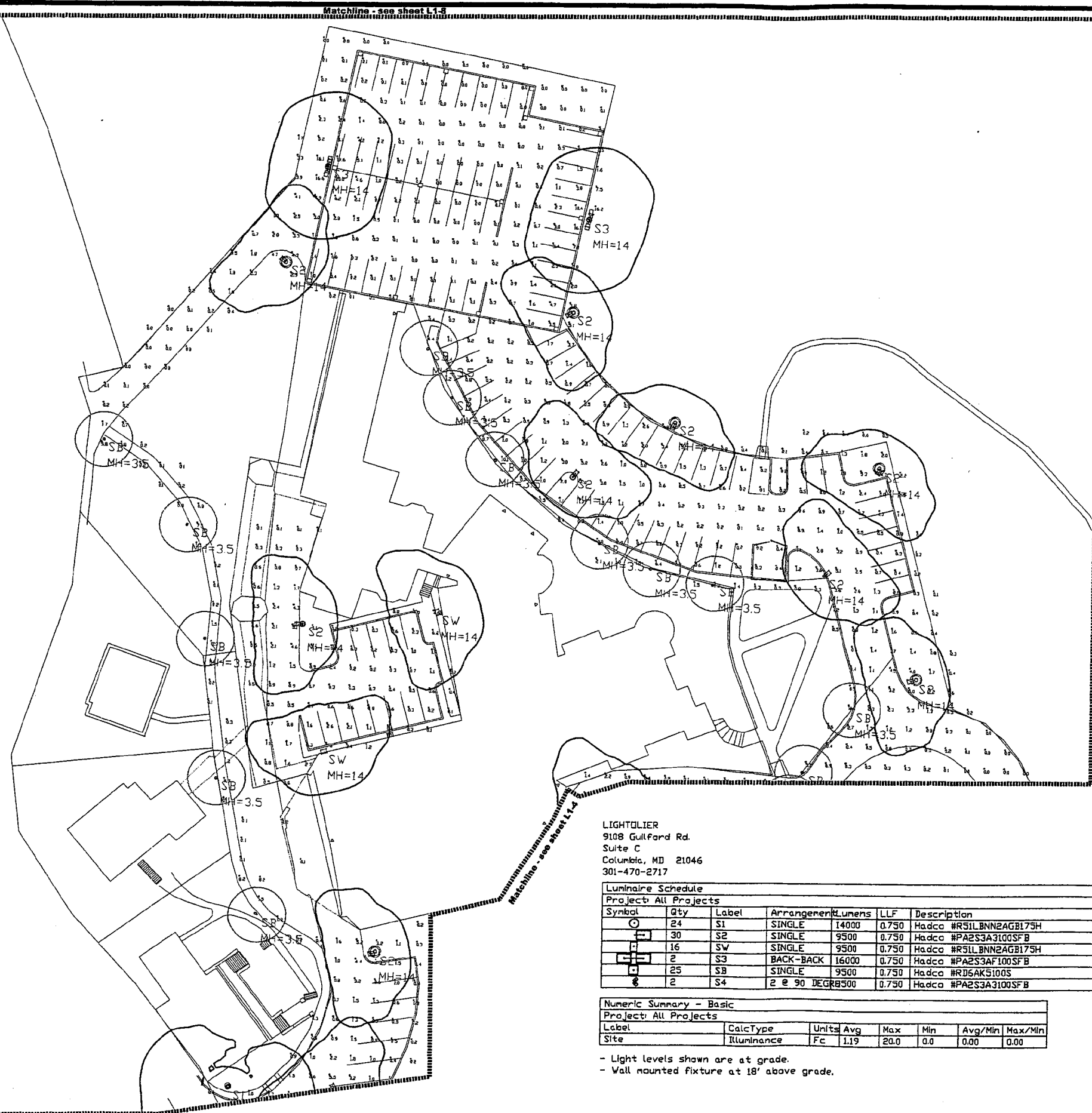
PARKER RODRIGUEZ, INC.

101 North Union Street, Suite 200
 Alexandria, Virginia 22314
 703.648.0710

Planning
 Urban Design
 Landscape Architecture

Sheet 4 of 8
 L1-1-4
 Drawing Number

1-39



Matchline - see sheet L1-7

LIGHTOLIER
 9108 Guilford Rd.
 Suite C
 Columbia, MD 21046
 301-470-2717

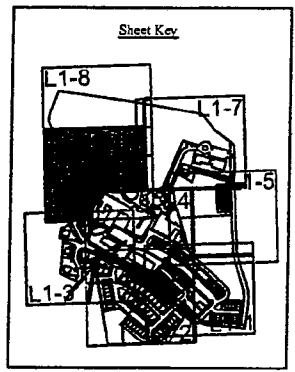
Luminaire Schedule
 Project: All Projects

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
⊙	24	S1	SINGLE	14000	0.750	Hadco #RS1LBNN2AGB175H
⊙	30	S2	SINGLE	9500	0.750	Hadco #PA2S3A3100SFB
⊙	16	SW	SINGLE	9500	0.750	Hadco #RS1LBNN2AGB175H
⊙	2	S3	BACK-BACK	16000	0.750	Hadco #PA2S3AF100SFB
⊙	25	SB	SINGLE	9500	0.750	Hadco #RDSAK5100S
⊙	2	S4	2 @ 90 DEGR	8500	0.750	Hadco #PA2S3A3100SFB

Numeric Summary - Basic
 Project: All Projects

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	1.19	20.0	0.0	0.00	0.00

- Light levels shown are at grade.
- Wall mounted fixture at 18' above grade.



GRAPHIC SCALE



PARKER RODRIGUEZ, INC.
 401 North Union Street, Suite 200
 Rockville, Maryland 20850
 (301) 771-1111

LIGHTING PLANS

NATIONAL PARK SEMINARY

MONTGOMERY COUNTY MARYLAND

Revision & Date

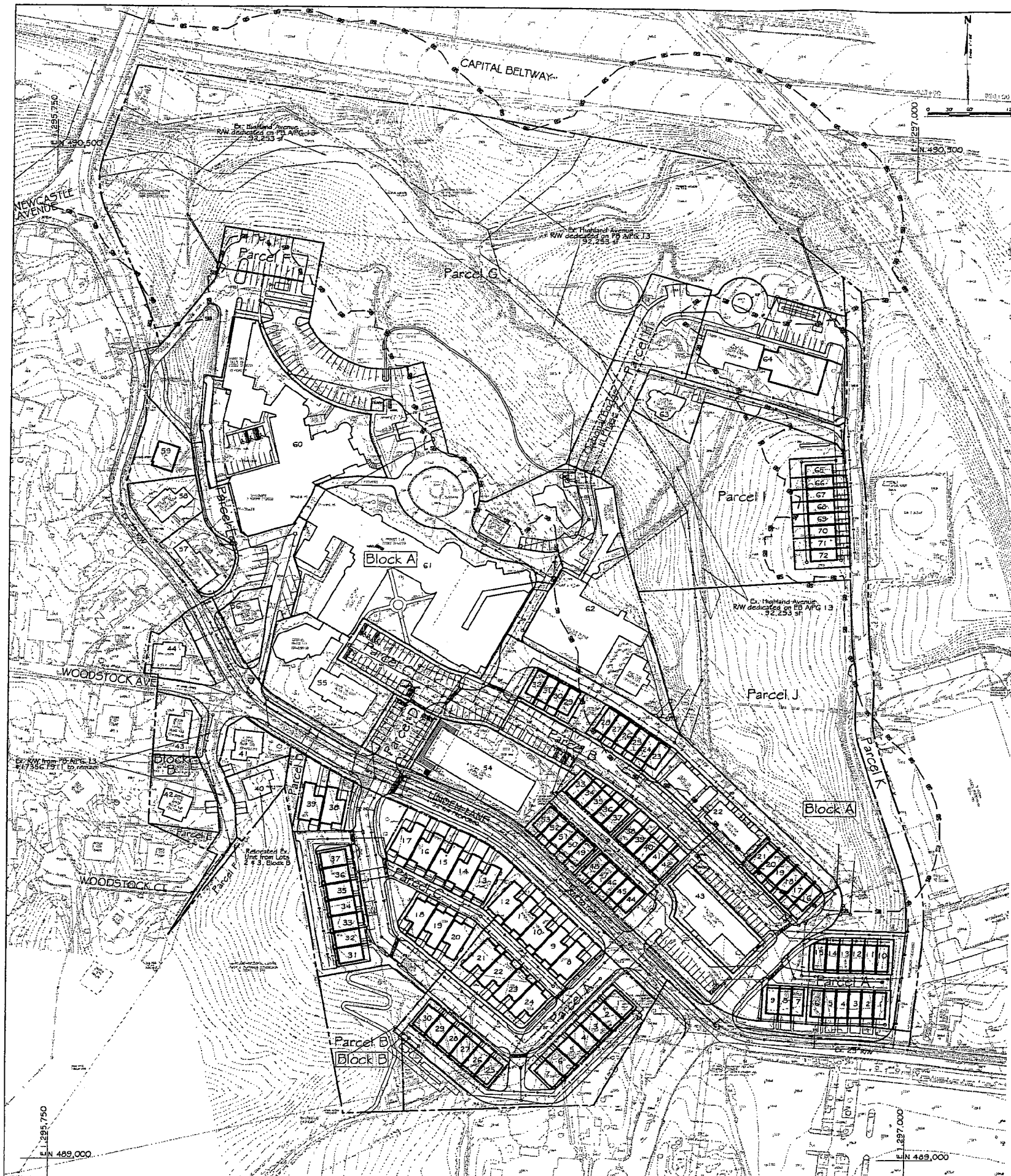
Drawn by:
 J.C. GJ
 Designed by:
 J.C. GJ
 Checked by:
 J.C. GJ

Date:
 01.20.06
 Scale:
 1"=20'-0"

Drawing Number:
 LI-1-5

Sheet 6 of 8

A-35



SITE TABULATION

Table with columns: PERMITTED/REQUIRED, PROVIDED. Rows include: GROSS TRACT AREA - AC (less note 20), LESS PRIOR DEDICATION (TO REMAIN), LESS PROPOSED DEDICATION - AC, NET LOT AREA - SF, MINIMUM GREEN AREA (see notes 9 & 20), % OF GROSS AREA, MAXIMUM DENSITY PER ACRE, Dwelling units, and MINIMUM MAXIMUM PERCENTAGE OF UNITS ALLOWED BY TYPE.

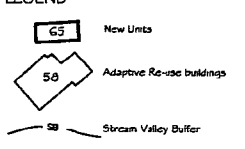
COMPATIBILITY

- A. Where a planned development adjoins land for which the area Master Plan recommends a one-family detached center...
1. No building other than a one-family detached residence can be constructed within 100 feet of each adjoining lot; and
2. No building can be constructed to a height greater than its distance from each adjoining lot; and
3. A waiver of these provisions may be permitted if:
1. The site is within or is close proximity to a Historic District and the Planning Board finds that reduced setbacks will facilitate the preservation, reuse, or redevelopment of a designated Historic District and the immediately adjoining property will not be adversely affected by the waiver.
2. The maximum building height under this waiver does not exceed 50 feet.

PARKING TABULATION (See note #12)

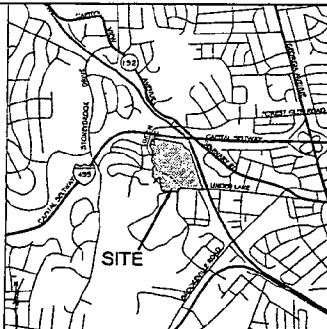
Table with columns: One Family Detached, Townhouse, Multi-Family, Total Parking. Rows include: 111 units x 2.00 spaces per unit, Multiple Family, Minimum Parking, and Total Parking.

LEGEND



SUPPORTING DOCUMENTS:

- Preliminary Forest Conservation Plan
Conceptual Grading Plan
Lot / Parcel & Phasing Plan
Conceptual Recreation Diagram
Concept SWM/Storm Drainage Area Plan
Preliminary Plan & Profile for Linden Lane
Signs Distance Certifications
Approved NRI/PSD
Traffic Report



PRELIMINARY PLAN NATIONAL PARK SEMINARY

GENERAL NOTES:

- 1. THE HORIZONTAL DATUM IS MARYLAND STATE PLANE (NAD83) & IS BASED ON WSSC CONTROL STATIONS 20381 (BM 592.1), 20526 (BM 602C) AND BM 5093.
2. THE SUBJECT PROPERTY LIES WITHIN ZONE C (AREA OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBERS 0175C & 0500C FOR MONTGOMERY COUNTY, MARYLAND, DATED AUGUST 3, 1991.
3. THE SUBJECT PROPERTY IS LOCATED ON TAX ASSESSMENT MAP NUMBERS HPS61 & HPS62.
4. BOUNDARY SURVEY WAS PREPARED BY VIKI, INC. DATED JULY 2004.
5. THIS SITE IS LOCATED IN THE ROCK CREEK WATERSHED AND IS CLASSIFIED AS USE 1P.
6. THE PROJECT IS PROPOSED TO BE SERVED BY PUBLIC WATER AND SEWER SYSTEMS AND IS CURRENTLY IN WATER AND SEWER SERVICE CATEGORIES W-1 & S-1 RESPECTIVELY.
7. THE SUBJECT SITE IS LISTED AS NATIONAL PARK SEMINARY ON THE NATIONAL REGISTER OF HISTORIC PLACES (1972) AND IS ALSO DESIGNATED ON THE MONTGOMERY COUNTY MASTER PLAN FOR HISTORIC PRESERVATION (1979).
8. PUBLIC UTILITY EASEMENTS & RIGHTS OF WAY WILL BE PROVIDED ON SITES WHERE NEEDED TO ALLOW FOR WATER, SEWER, GAS, ELECTRIC, TELEPHONE & CABLE SERVICE TO THE PROPOSED BUILDINGS. EXACT LOCATIONS TO BE DETERMINED AT SITE PLAN.
9. THE PROPERTY, INCLUDING THE OPEN SPACE & GREEN AREA, WILL BE SUBJECT TO SITE PLAN REVIEW. THE APPLICANTS, ON BEHALF OF ITSELF OR ITS SUCCESSORS AND ASSIGNS, WILL PROVIDE FOR PERPETUAL MAINTENANCE OF OPEN SPACE AREAS AND OTHER AREAS USED FOR RECREATIONAL, COMMON OR QUASH-PUBLIC PURPOSES.
10. GENERAL BUILDING LOCATIONS PROVIDED; PRECISE LOCATIONS TO BE DETERMINED AT SITE PLAN.
11. THE APPLICANT IS SEEKING A WAIVER OF THE COMPATIBILITY REQUIREMENT OF SECTION 59-C-7.1.S.
12. FINAL DETERMINATION OF THE REQUIRED AND PROVIDED PARKING SHALL BE DETERMINED DURING THE SITE PLAN REVIEW PROCESS.
13. FINAL UNIT AND BEDROOM COUNT WILL BE DETERMINED DURING THE SITE PLAN REVIEW PROCESS.
14. THE APPLICANT WILL PROVIDE APPROXIMATELY 20% OF THE DWELLING UNITS AS HOUSING AFFORDABLE TO PEOPLE AT NOT MORE THAN 60% OF THE AREA MEDIAN INCOME. THIS WILL RESULT IN A MINIMUM OF 56 AFFORDABLE UNITS. THE AFFORDABLE UNITS WILL BE LOCATED WITHIN THAT PART OF THE HISTORIC MAIN STRUCTURE LOCATED ON LOT 61, BLOCK A.
15. THE COUNTY'S TRANSITIONAL HOUSING FACILITY (CARROLL HOUSE) CURRENTLY LOCATED ON THE SITE WILL BE RELOCATED TO LOT 61 BLOCK A. THE TRANSITIONAL HOUSING FACILITY IS IN ADDITION TO THE PROPOSED DENSITY AND WILL INCLUDE APPROXIMATELY 19 TRANSITIONAL HOUSING UNITS.
16. FINAL AMOUNT OF GREEN SPACE PROVIDED SHALL BE DETERMINED DURING THE SITE PLAN REVIEW PROCESS. GREEN SPACE IS BASED ON THE ENTIRE TRACT AREA AND AS SUCH MOST LOTS WILL NOT MEET THE CRITERIA WITHIN THEIR BOUNDARY. DURING SITE PLAN REVIEW, IT WILL BE DEMONSTRATED THAT THE REQUIRED GREEN SPACE WILL BE MET CUMULATIVELY ON THE ENTIRE DEVELOPMENT.
17. THE DEVELOPMENT IS CONTEMPLATED TO BE COMPLETED IN TWO PHASES. PHASE I INCLUDES ALL OF THE DEVELOPMENT EXCEPT FOR LOTS 63-72 AND PARCELS H, I & K, BLOCK A. THE ENTIRE COMPLETION OF A PHASE IS NOT NECESSARY FOR THE COMMENCEMENT OF THE SUBSEQUENT PHASE AND THE NUMBER OF RESIDENTIAL UNITS IN EACH PHASE, PARCEL OR BUILDING MAY BE SHIFTED BETWEEN PHASES, PARCELS OR BUILDINGS IN ORDER TO MAINTAIN THE FLEXIBILITY NEEDED TO ADDRESS HISTORIC PRESERVATION AND MARKET CONDITIONS.
18. DENSITY ZONING FOR THIS PROPERTY IS R-50, BUT THE PROPERTY IS SUBJECT TO A PENDING APPROVAL OF DEVELOPMENT PLAN (CASE 46-629), WHICH WILL REZONE THE ENTIRE PROPERTY TO PD-15.
19. THE SWM CONCEPT PLAN WAS SUBMITTED TO OPS ON 11-17-04.
20. THE UNIMPROVED PORTION OF HIGHLAND AVENUE WITHIN THIS SUBDIVISION, ORIGINALLY DEDICATED ON SUBDIVISION PLAN PD APG 13, IS HEREBY PROPOSED FOR ABANDONMENT BY THE PLANNING BOARD IN ACCORDANCE WITH CHAPTER 50.15 (B) OF THE SUBDIVISION REGULATIONS AND ARTICLE V CHAPTER 49-67A OF THE MONTGOMERY COUNTY CODE, SUBJECT TO THE EXISTING WSSC RIGHTS OF WAY, CREATED UNDER SEPARATE DOCUMENTS REMAINING IN FULL FORCE AND EFFECT.

PLANNING BOARD APPROVALS

Empty table for Planning Board Approvals with columns for Name, Title, Date, and Signature.

Surveyor's Certificate
We hereby certify that the information shown on this plan is complete and accurate, in accordance with existing surveys, visual observations, and available records. VIKI, Inc.
By: Charles A. Irsh, Jr. Professional LS #10708 Date:

PROJECT TEAM
DEVELOPER/APPLICANTS: VIKI INCORPORATED
145 EAST DODGER ROAD SUITE 200 MADDISON WISCONSIN, 53713 CONTACT: NATALIE COOK 608-438-5500
ARCHITECT: VIKI ARCHITECTS
1000 WILSON BOULEVARD SUITE 2720 ARLINGTON, VIRGINIA 22209 CONTACT: NANCY BERENSON 703-525-5925 x149
ATTORNEY: JAMES EARLY & BERWICK
3 BETHESDA METRO CENTER SUITE 400 BETHESDA, MARYLAND 20814 CONTACT: STEVE HEDRAN 301-657-0747

ARCHITECT OF RECORD: VIKI INCORPORATED
ARCHITECTURAL GROUP, INC.
9601 WESTWOOD CENTER DR SUITE 400 VICTORIA, VIRGINIA 22182 CONTACT: JACX McLAURIN 703-770-3377
TRAFFIC: THE TRAFFIC GROUP
3900 PEAKVIEW SQ DRIVE SUITE H BALTIMORE, MD 21236 CONTACT: WES GUCKERT 400-563-0411
CIVIL ENGINEER: MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS
2025 J CENTURY BOULEVARD SUITE 400 GERMANTOWN, MARYLAND 20874 CONTACTS: CHUCK RISH & BILL LANDFAIR 301-916-1100

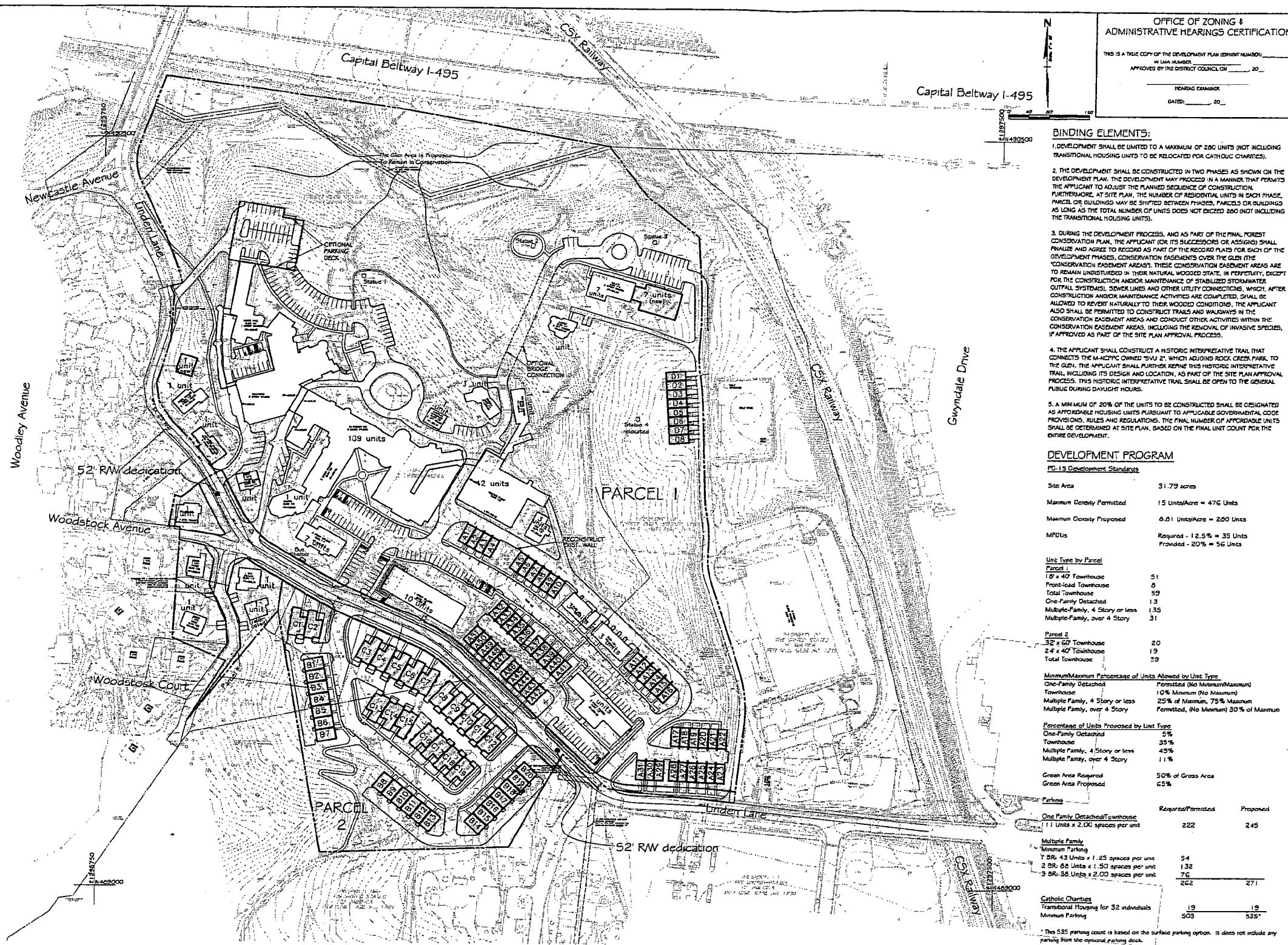
NATIONAL PARK SEMINARY
13TH ELECTION DISTRICT, SILVER SPRING MONTGOMERY COUNTY, MARYLAND

PRELIMINARY PLAN
M-NCP#PC #1-05054

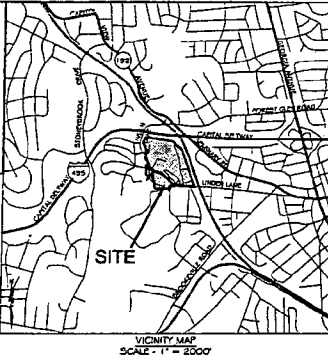
VIKI REVISIONS table with columns for Date, Description, and Initials.

DATE: November 18, 2004
DESIGNED BY: DWN
DRAWN BY: JFD
SCALE: 1"=60'
PROJECT FILE NO.: 1208
SHEET NO.: 1 OF 1





OFFICE OF ZONING & ADMINISTRATIVE HEARINGS CERTIFICATION
 THIS IS A TRUE COPY OF THE DEVELOPMENT PLAN (SUBMIT NUMBER) IN LMA NUMBER APPROVED BY THE DISTRICT COUNCIL ON _____ 20____
 HEARING EXAMINER _____
 DATE: _____ 20____



PROJECT TEAM
 DEVELOPER/APPLICANT:
VIKIA
 145 EAST BACGER ROAD
 SUITE 200
 MADISON, VIRGINIA 22113
 CONTACT: NATALIE BOCK
 603-255-5360
 ARCHITECT:
 1000 WILSON BOULEVARD
 SUITE 400
 ARLINGTON, VIRGINIA 22209
 CONTACT: MATT BRIDGEMAN
 703-525-5552 #149
 ATTORNEY:
 JEROP, EARLY & BREWER
 3 BETHESDA METRO CENTER
 SUITE 400
 BETHESDA, MARYLAND 20814
 CONTACT: STEVE REYNOLDS
 301-457-0747
 ARCHITECTURAL GROUP, INC.
 6001 WESTWOOD CENTER DR.
 SUITE 400
 FREDERICK, VIRGINIA 22102
 CONTACT: JACK McLAURIN
 703-770-3577
 TRAFFIC:
 THE TRAFFIC GROUP
 9900 FRANKLIN SQ DRIVE
 SUITE II
 BALTIMORE, MD 21236
 CONTACT: WES GUCKERT
 600-563-9411
 CIVIL ENGINEER:
 2025 I CENTURY BOULEVARD
 SUITE 400
 GERMANTOWN, MARYLAND
 20874
 CONTACTS: COLUCC IRISH &
 BILL LANDFAIR
 301-916-4100

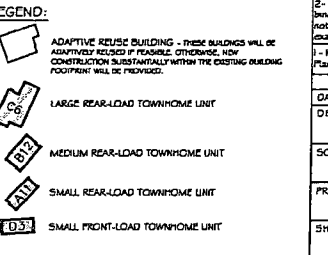
BINDING ELEMENTS:
 1. DEVELOPMENT SHALL BE LIMITED TO A MAXIMUM OF 280 UNITS (NOT INCLUDING TRANSITIONAL HOUSING UNITS TO BE RELOCATED FOR CATHOLIC CHARITIES).
 2. THE DEVELOPMENT SHALL BE CONSTRUCTED IN TWO PHASES AS SHOWN ON THE DEVELOPMENT PLAN. THE DEVELOPMENT MAY PROCEED IN A MANNER THAT PERMITS THE APPLICANT TO ADJUST THE PLANNED SEQUENCE OF CONSTRUCTION. FURTHERMORE, AT SITE PLAN, THE NUMBER OF RESIDENTIAL UNITS IN EACH PHASE, PARCELS OR BUILDINGS MAY BE SHIFTED BETWEEN PHASES, PARCELS OR BUILDINGS AS LONG AS THE TOTAL NUMBER OF UNITS DOES NOT EXCEED 280 (NOT INCLUDING THE TRANSITIONAL HOUSING UNITS).
 3. DURING THE DEVELOPMENT PROCESS, AND AS PART OF THE FINAL FOREST CONSERVATION PLAN, THE APPLICANT (OR ITS SUCCESSORS OR ASSIGNS) SHALL FINALIZE AND AGREE TO RECORD AS PART OF THE RECORD PLATS FOR EACH OF THE DEVELOPMENT PHASES, CONSERVATION EASEMENTS OVER THE GLN (THE "CONSERVATION EASEMENT AREAS"). THESE CONSERVATION EASEMENT AREAS ARE TO REMAIN UNDISTURBED IN THEIR NATURAL WOODED STATE, IN PERPETUITY, EXCEPT FOR THE CONSTRUCTION AND/OR MAINTENANCE OF STABILIZED STORMWATER OUTFALL SYSTEMS, SEWER LINES AND OTHER UTILITY CONNECTIONS, WHICH, AFTER CONSTRUCTION AND/OR MAINTENANCE ACTIVITIES ARE COMPLETED, SHALL BE ALLOWED TO REVERT NATURALLY TO THEIR WOODED CONDITION. THE APPLICANT ALSO SHALL BE PERMITTED TO CONSTRUCT TRAILS AND WALKWAYS WITHIN THE CONSERVATION EASEMENT AREAS AND CONDUCT OTHER ACTIVITIES WITHIN THE CONSERVATION EASEMENT AREAS, INCLUDING THE REMOVAL OF INVASIVE SPECIES, IF APPROVED AS PART OF THE SITE PLAN APPROVAL PROCESS.
 4. THE APPLICANT SHALL CONSTRUCT A HISTORIC INTERPRETATIVE TRAIL THAT CONNECTS THE M-NCPPC OWNED "SU 2", WHICH ADJOINS ROCK CREEK PARK, TO THE GLN. THE APPLICANT SHALL FURTHER REFINE THIS HISTORIC INTERPRETATIVE TRAIL, INCLUDING ITS DESIGN LOCATION, AS PART OF THE SITE PLAN APPROVAL PROCESS. THIS HISTORIC INTERPRETATIVE TRAIL SHALL BE OPEN TO THE GENERAL PUBLIC DURING DAYLIGHT HOURS.
 5. A MINIMUM OF 20% OF THE UNITS TO BE CONSTRUCTED SHALL BE DESIGNATED AS AFFORDABLE HOUSING UNITS PURSUANT TO APPLICABLE GOVERNMENTAL CODE PROVISIONS, RULES AND REGULATIONS. THE FINAL NUMBER OF AFFORDABLE UNITS SHALL BE DETERMINED AT SITE PLAN, BASED ON THE FINAL UNIT COUNT FOR THE ENTIRE DEVELOPMENT.

DEVELOPMENT PROGRAM
FD-15 Development Standards

Site Area	31.79 acres	
Maximum Density Permitted	15 Units/Acre = 476 Units	
Maximum Density Proposed	6.61 Units/Acre = 200 Units	
MFDUs	Required - 12.6% = 35 Units Provided - 20% = 56 Units	
Unit Type by Parcel		
Parcel 1		
12' x 40' Townhouse	51	
Front-load Townhouse	6	
Total Townhouse	57	
One-Family Detached	13	
Multiple-Family, 4 Story or less	135	
Multiple-Family, over 4-Story	31	
Parcel 2		
32' x 60' Townhouse	20	
24' x 40' Townhouse	19	
Total Townhouse	39	
Minimum/Maximum Percentage of Units Allowed by Unit Type		
One-Family Detached	Permitted (No Minimum/Maximum)	
Townhouse	10% Minimum (No Maximum)	
Multiple Family, 4 Story or less	25% of Maximum, 75% Minimum	
Multiple Family, over 4 Story	Permitted, (No Minimum) 30% of Maximum	
Percentage of Units Proposed by Unit Type		
One-Family Detached	5%	
Townhouse	33%	
Multiple Family, 4 Story or less	45%	
Multiple Family, over 4 Story	11%	
Green Area Required	50% of Gross Area	
Green Area Proposed	65%	
Parking	Required/Permitted	Proposed
One Family Detached/Townhouse		
11 Units x 2.00 spaces per unit	222	245
Multiple Family		
Minimum Parking		
1 BR: 43 Units x 1.25 spaces per unit	54	
2 BR: 66 Units x 1.50 spaces per unit	132	
3 BR: 58 Units x 2.00 spaces per unit	76	
	262	271
Catholic Charities		
Transitional Housing for 32 individuals	19	19
Minimum Parking	503	535*

*This 535 parking count is based on the surface parking option. It does not include any parking from the optional parking deck.

PHASING PROGRAM
 PHASE 1
 12 One Family Detached (all but the "Castle")
 9D Townhouse (A1-A5 1, B1-B20, C1-C19)
 155 Multiple Family (all but the "Villas")
 257 Subtotal
 PHASE 2
 1 One Family Detached (the "Castle")
 6 Townhouse (D1-D6)
 14 Multiple Family (the "Villas")
 23 Subtotal
 280 Units Total, across both phases



DEVELOPMENT PLAN
G-828
FOREST GLEN SEMINARY
WALTER REED ANNEX

GENERAL NOTES:

- THE HORIZONTAL DATUM IS MARYLAND STATE PLANE (NAD83) & 85 BASSON OR H&S CONTROL STATIONS 80341 (BM 5921), 20532 (BM 6020) AND BM 5033.
- THE SUBJECT PROPERTY LIES WITHIN ZONE C (AREA OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER: 0175C & 1202C FOR MONTGOMERY COUNTY, MARYLAND, DATED AUGUST 5, 1991.
- THE SUBJECT PROPERTY IS LOCATED ON TAX ASSESSMENT MAP NUMBERS HPSG1 & HPSG2.
- BOUNDARY SURVEY WAS PREPARED BY VIKIA, INC. DATED JULY 2004.
- THIS SITE IS LOCATED IN THE ROCK CREEK WATERSHED AND IS CLASSIFIED AS USE I/F.
- THE PROJECT IS PROPOSED TO BE SERVED BY PUBLIC WATER AND SEWER SYSTEMS AND IS CURRENTLY IN WATER AND SEWER SERVICE CATEGORIES W-1 & S-1 RESPECTIVELY.
- THE SUBJECT SITE IS LISTED AS NATIONAL PARK SEMINARY ON THE NATIONAL REGISTER OF HISTORIC PLACES (1972) AND IS ALSO DESIGNATED ON THE MONTGOMERY COUNTY MASTER PLAN FOR HISTORIC PRESERVATION (1979).
- PUBLIC UTILITY EASEMENTS & RIGHTS OF WAY WILL BE PROVIDED ON SITE WHERE NEEDED TO ALLOW FOR WATER, SEWER, GAS, ELECTRIC, TELEPHONE & CABLE SERVICE TO THE PROPOSED BUILDINGS. EXACT LOCATIONS TO BE DETERMINED AT SITE PLAN.
- THE PROPERTY, INCLUDING THE OPEN SPACE, WILL BE SUBJECT TO SITE PLAN REVIEW. THE APPLICANTS, ON BEHALF OF ITSELF OR ITS SUCCESSORS AND ASSIGNS, WILL PROVIDE FOR PERPETUAL MAINTENANCE OF OPEN SPACE AREAS AND OTHER AREAS USED FOR RECREATIONAL, COMMON OR QUASH-PURPOSES.
- GENERAL BUILDING LOCATIONS PROVIDED; PRECISE LOCATIONS TO BE DETERMINED AT SITE PLAN.
- THE APPLICANT WILL BE SEEKING A WAIVER OF THE REQUIREMENT OF SECTION 59-6-7.15.
- FINAL DETERMINATION OF THE REQUIRED AND PROVIDED PARKING SHALL BE DETERMINED DURING THE SITE PLAN REVIEW PROCESS.
- FINAL UNIT AND BEDROOM COUNT WILL BE DETERMINED DURING THE SITE PLAN REVIEW PROCESS.
- THE CATHOLIC CHARITIES TRANSITIONAL HOUSING UNITS ARE IN ADDITION TO THE PROPOSED DENSITY.
- FINAL AMOUNT OF GREEN SPACE PROVIDED SHALL BE DETERMINED DURING THE SITE PLAN REVIEW PROCESS.
- THE ENTIRE COMPLETION OF A PHASE IS NOT NECESSARY FOR THE COMMENCEMENT OF ANY SUBSEQUENT PHASES. DUE TO THE IMPRACTICALITY OF JUDGING MARKET AND ECONOMIC CONDITIONS FOR THE TYPE OF DEVELOPMENT AT ANY GIVEN TIME, FLEXIBILITY IS NEEDED SO THAT THE DEVELOPMENT MAY PROCEED IN A MANNER THAT ADJUSTS THE PLANNED SEQUENCE OF CONSTRUCTION. THE NUMBER OF RESIDENTIAL UNITS IN EACH PHASE, PARCEL OR BUILDING MAY BE SHIFTED BETWEEN PHASES, PARCELS OR BUILDINGS; HOWEVER, THE NUMBER OF TOTAL UNITS IN THE DEVELOPMENT WILL NOT EXCEED 280 UNITS.
- WMT EASEMENT - THE PROPERTY THAT IS THE SUBJECT OF THIS DEVELOPMENT PLAN IS ENCLUMBERED BY A DEED OF EASEMENT (WMT EASEMENT) DATED OCTOBER 25, 2004 BY AND BETWEEN THE COUNTY EXECUTIVE AND COUNTY COUNCIL OF MONTGOMERY COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS AND THE MARYLAND HISTORICAL TRUST, AN INSTRUMENTALITY OF THE STATE OF MARYLAND, RECORDED AMONG THE LAND RECORDS FOR MONTGOMERY COUNTY AT UBER 289584 AT POU 1 60. THE WMT EASEMENT PROVIDES: (i) PUBLIC ACCESS TO THE DETRIMENT OF THE PROPERTY AND CERTAIN INTERIOR SPACES, (ii) MAINTENANCE OBLIGATIONS, (iii) REQUIREMENTS FOR CHANGES AND ALTERATIONS TO THE PROPERTY AND STRUCTURES THEREIN, (iv) PROTECTION OF ARCHAEOLOGICAL RESOURCES, IF ANY, (v) WMT INSPECTION RIGHTS AND (vi) REMEDIES FOR A BREACH.

FOREST GLEN SEMINARY
 WALTER REED ANNEX
 19TH ELECTION DISTRICT, SILVER SPRING
 MONTGOMERY COUNTY, MARYLAND

DEVELOPMENT PLAN
 G-828
 LAND USE PLAN

VIKIA REVISIONS

DATE	July 2004
DES.	DWN
CA	IPD
SCALE	1"=50'
PROJECT/FILE NO.	1208
SHEET NO.	1 OF 1

A-40

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7180 Linden Lane	Meeting Date:	10/13/04
Applicant:	Alexander Company	Report Date:	10/06/04
Resource:	Master Plan Site #36/01 National Park Seminary Historic District	Public Notice:	09/24/04
Review:	HAWP	Tax Credit:	No
Case Number:	36/01-04A	Staff:	Tania Tully

PROPOSAL: Building stabilization with selective demolition

RECOMMENDATION: **Conditional Approval**

BACKGROUND

The National Park Seminary Historic District as it stands today is a combination of many architectural styles and building types constructed over its more than 100-year history. The property was originally part of a large tract of land owned by Daniel Carroll, Commissioner of the District of Columbia. Carroll's brother John, the first Bishop and first Archbishop of the American Roman Catholic Church, began his ecclesiastical career on a different portion of the property in 1772.

In 1887, the Forest Glen Improvement Company built Ye Forest Inne as a resort hotel. By 1893 the Inne had proven to be a financial disaster and was closed. In early 1894 it was leased to John and Vesta Cassedy who converted the Inne into the main building of the National Park Seminary, a finishing school for girls. The majority of the seminary's buildings were built by the Cassedys between 1894 and 1915. This included buildings such as the stone chapel, the gymnasium, the Aloha Dormitory, the Odeon Theater (no longer extant), an Italianate dormitory, and multiple sorority houses depicting architecture from across the globe.

In 1916, James E. Ament took over the seminary adding the ballroom, installing sculptures, and landscaping the grounds. Roy Tasco Davis replaced Ament in the late 1930s converting the Seminary into a junior college. Davis was only able to remain until 1942 when the U.S. Army took the property for use as part of the Walter Reed Army Hospital. In response to a threat of demolition, the site was listed in the National Register of Historic Places in 1972. The Army actively used the site until 1973 and, over the next 20 years, the patients, services, and offices were moved to other Walter Reed Army Medical Center facilities.

As the Army vacated the site, there were significant concerns about neglect and deterioration of the property. The Army discussed the possibility of disposing of the property for nearly 30 years. Two major feasibility studies were completed for re-use of the site (one in 1972 and one in 1995) and the Army undertook a wide variety of studies and documentation efforts in response to federally and state mandated regulations. However, little maintenance of the buildings took place and one major building – the Odeon Theater – was destroyed by arson in 1993. Finally, in approximately 2000, the Army began the process to declare the National Park Seminary as excess and to dispose of it. The Army has been working with the

(B-27)

General Services Administration (GSA) in the effort.

PROPOSAL:

The applicant proposes the following (see also circles 5 & 6):

- Board up all windows and glass doors to within 8' of grade
(All bldgs except Miller Library #115, and Stables #125)
- Install (1) 144" louver on each side of building/floor/3,000 SF of space.
(Louvers to be installed in window openings)
(All bldgs except Miller Library #115, and Stables #125)
- Replace missing downspouts, adjust & clean debris from existing gutters
- Gymnasium #118 – Replace roof decking above W Stair and NE corner
- Villa #119 – Eastern portion of building to be demolished in the future. Maintain drainage from basement to prevent deterioration of the western portion of the building.
- Practice Hall and Power Building #120 – Sheath and stabilize north wall
- Main Building #101 – See attached plans and keyed photo notes (circles 7-16)

In addition, the applicant has requested that “the Historic Preservation Commission appoint a staff person to supervise the work identified in this plan. The staff person should be allowed to permit minor alterations and to approve time sensitive modifications provided that such modifications are necessary in order to save and secure historic fabric and/or protect workers during the implementation of the plan.”

APPLICABLE GUIDELINES:

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

Secretary of the Interior's Standards for Rehabilitation:

- 1# A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- 2# The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- 5# Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6# Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

STAFF DISCUSSION

This Historic Area Work Permit application is the first of several to come forward for this enormous undertaking. The Commission heard the development team's vision for the property at the June 9th meeting. This vision involves minimal demolition and maximum preservation. Appropriately, the intent of this HAWP is the stabilization and mothballing of the historic buildings. Due to the complex nature of this project, which involves new construction in addition to rehabilitation, and because of the number of buildings, rehabilitation will be phased.

As the Commission is aware, the Maryland Historical Trust will hold a historic preservation easement on the property once it is transferred from the federal government and the financing will include state and federal historic preservation tax credits, thus requiring another level of review. As such, much of the information provided by the applicants is beyond our review authority – however, it does help to have the complete picture in order to assess the requests in the HAWP application.

The only work item that warrants discussion at this point is the structural work occurring on the Main Building in Sector "B" (circles 7 & 10). Two floors of the section known as Senior House have completely collapsed and must be stabilized before more of the building is affected. Due to the nature of the collapse, the configuration of the building, and for worker safety debris removal will occur using a backhoe. This necessitates creating temporary holes in the side of the building to allow for access to the collapsed area of the building. As can be seen in Circle 7, the holes are being kept in proportion to the windows and are only as large as necessary. In addition, the existing windows will be stored and re-used in the next phase of the project.

Having seen the damaged sections of the building – inside and out – staff agrees that drastic measures are necessary in this case. The applicant is working in good faith with our office, MHT and the National Park Service to ensure the preservation of these buildings. Because of this, staff recommends that the application be approved and that staff be given the authority to approve emergency measure should they become necessary. The buildings are deteriorating at an alarming rate – time is of the essence.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (3);

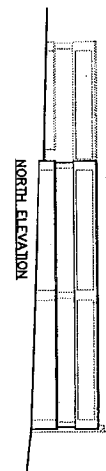
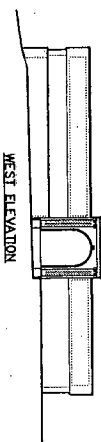
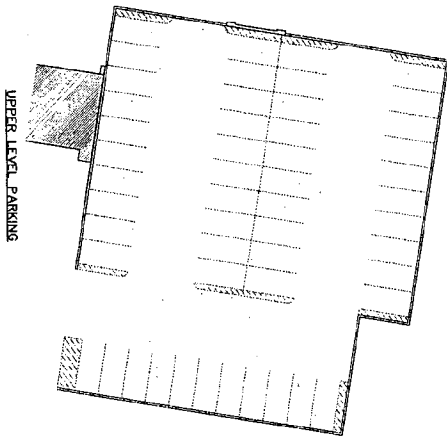
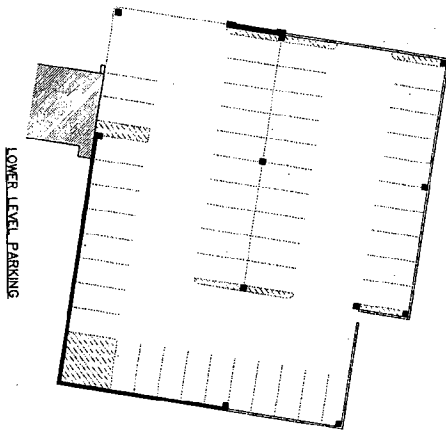
and with the *Secretary of the Interior's Standards for Rehabilitation #s 1, 2, 5, & 6;*

and with the condition that:

The development team will work closely with staff on the work approved in this application. Any minor alterations and time sensitive modifications that are necessary in order to save and secure historic fabric and/or protect workers will be approved by staff prior to implementation.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.

B-29



PROJECT NO. 04-579	DRAWN:	APPR.:	DATE:	SCALE: 1" = 20'
	B.T.G.S.	SCHEMATIC DOCUMENTS		
SHEET NO.				

NATIONAL PARK SEMINARY
 MAIN BUILDING
 PARKING GARAGE
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND

PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
 NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
 145 E. BADGER ROAD, SUITE 200
 MADISON, WISCONSIN 53713
 TELEPHONE 608-258-5591
 FAX 608-258-5599

c) New Construction

Exterior Material Narrative

Forest Glen

Eakin/Youngentob Associates, Inc.
February 11, 2005

Montgomery County, MD

Tudor Style (North of Linden Lane)

- The dominant exterior finish material for the front and side elevations will be a stucco type finish accentuating the historic style being represented. This will be achieved by the use of brick veneer or cementitious stucco panels. The brick veneer will be either painted or parged with a stucco finish, or will be a light natural color brick. Stone veneer will also be used at certain locations.
- Rear elevations will compliment the front and side elevation colors and materials with the use of either brick veneer or the cementitious stucco panels, trimmed to match the front styles.
- Cementitious siding will be used to decorate gables and dormers in shingle or scallop patterns.
- Stone veneer will be used as an accent material around many ground floor doors and windows.
- The trim material for other doors and windows, corner boards and cornices will be painted synthetic simulated wood products ensuring high quality and low maintenance.
- Exterior "half-timbering" detailing will be achieved on facades, bays and corner turrets with synthetic simulated wood trim materials, painted dark accent colors.
- Roof shingles will be either "Grand Manor" architectural grade "shingle" by Certainteed giving a slate roof appearance, or a more traditional architectural grade asphalt roof shingle.
- Railings will be either metal painted black or wood painted to match the trim colors.
- Gutters and downspouts will be aluminum with the appearance of weathered copper.

↑ specifics

Mission Style (North of Linden Lane)

- The dominant exterior finish material for the front and side elevations will be a stucco type finish accentuating the historic style being represented. This will be achieved by the use of brick veneer or a cementitious stucco panels. The brick veneer will be either painted or parged with a stucco finish, or will be a light natural color brick. Colored ceramic tiles will provide accent decorations in several key locations.
- Rear elevations for the end units will match the front and side colors and materials, while the interior units will be cementitious horizontal siding.
- Windows and doors will be detailed with flat trim surrounds or flat trim heads with brick sills, painted to match the facade.

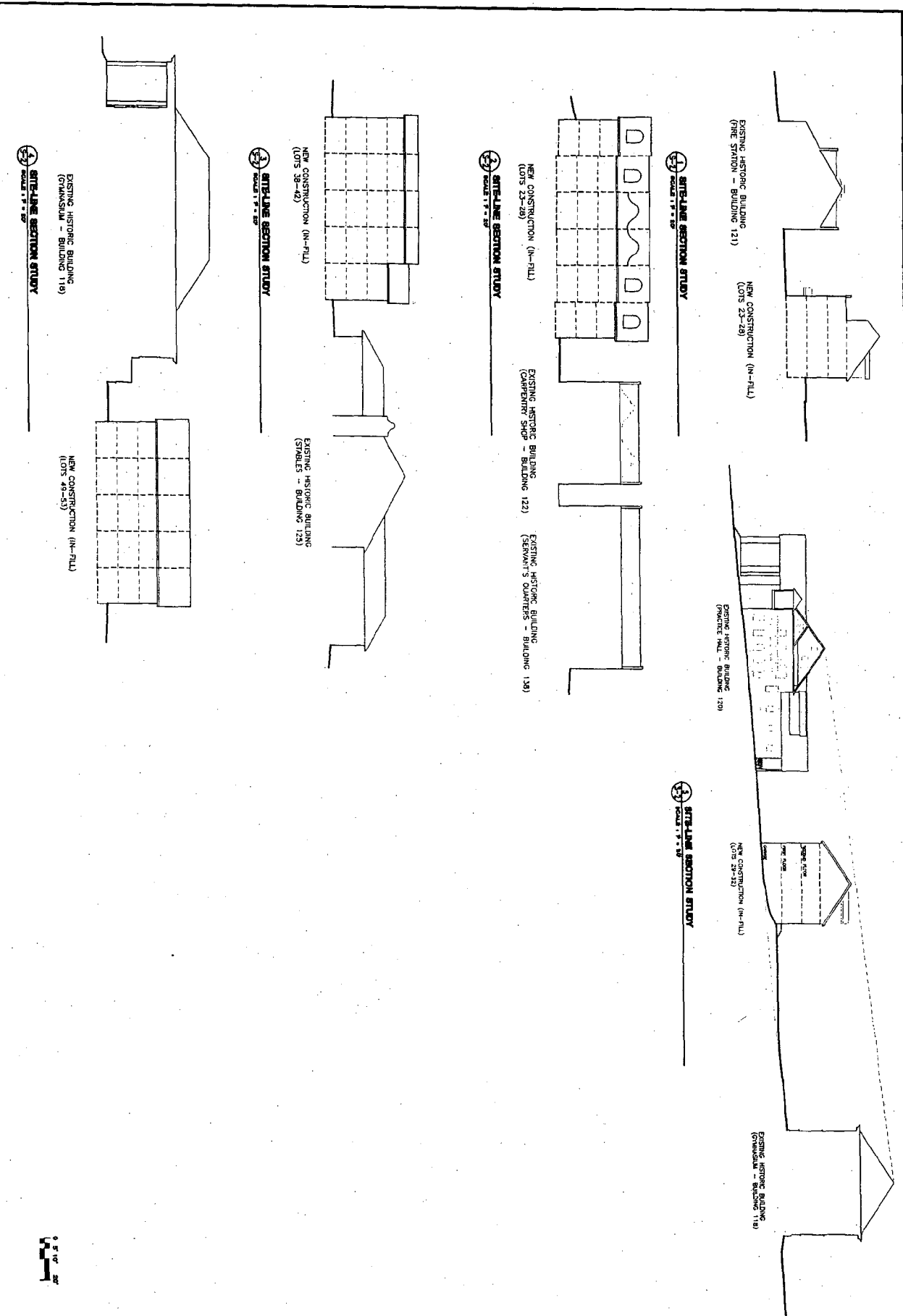
↑ material

- Parapets will be accentuated with trim painted accent colors.
- Roof shingles will be "Grand Manor" architectural grade "shangle" by Certainteed giving a slate roof appearance.
- Railings will be metal, painted black.
- Gutters and downspouts will be aluminum with the appearance of weathered copper.

Folk Traditional (South of Linden Lane)

- The dominant exterior finish material for the front, side and rear elevations will be siding to complement the existing contextual styles present in the surrounding neighborhoods.
- Foundations will be finished with brick or stone veneer which will further accent the siding facades.
- Windows and doors will be detailed with flat trim surrounds and sills; and head features with shapes and profiles consistent with the surround context.
- Roof shingles will be asphalt architectural grade "shangle" by Certainteed giving a slate roof appearance. Bay windows and porches will have either asphalt architectural grade shingles or prefinished metal roofing.
- Gutters and downspouts will be prefinished aluminum.

(E-1)



21 SITE-LINE SECTION STUDY
SCALE: 1" = 20'

22 SITE-LINE SECTION STUDY
SCALE: 1" = 20'

23 SITE-LINE SECTION STUDY
SCALE: 1" = 20'

24 SITE-LINE SECTION STUDY
SCALE: 1" = 20'

SITE-LINE STUDY			
DRAWN: DH	APPR.: DATE: 9-23-04	SCALE: 1" = 20'	
9-8-04	PART I AMENDMENT		
2-10-08	REVISION		

NATIONAL PARK SEMINARY
2801 LINDEN LANE
SILVER SPRING, MARYLAND

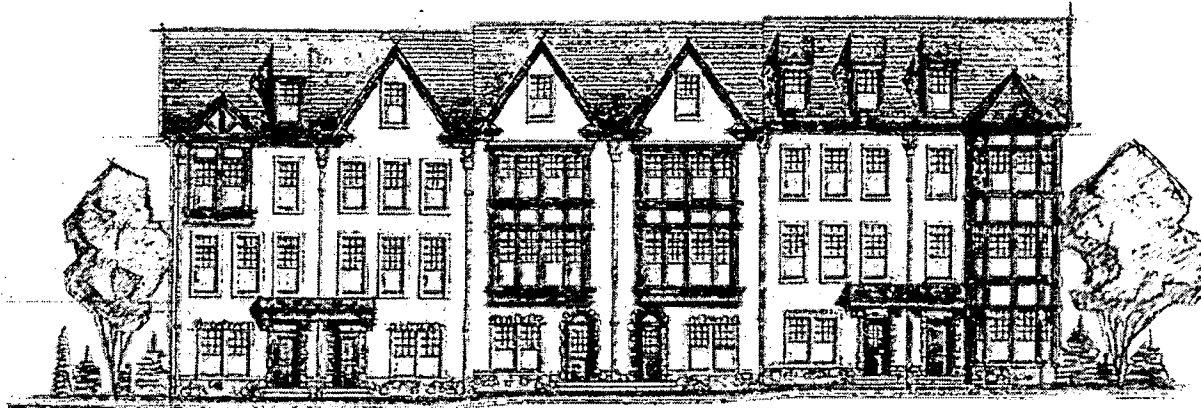
PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE: 608-258-6591
FAX: 608-258-5599

(C-3)

SHEET NO.
S-2





FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
 8521 LEEBURG PIKE, SUITE 700 | VIENNA, VA 22182
 P: 703.769.3344 | F: 703.760.5328 | WWW.LESSARDGROUP.COM

BUILDING ELEVATIONS
 NORTH OF LINDEN LANE

LOTS 1 - 6

FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNGENTOB ASSOCIATES, INC.
 FEBRUARY 10, 2005 EYA.1229.05

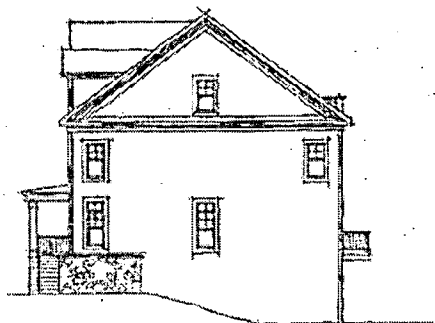


24

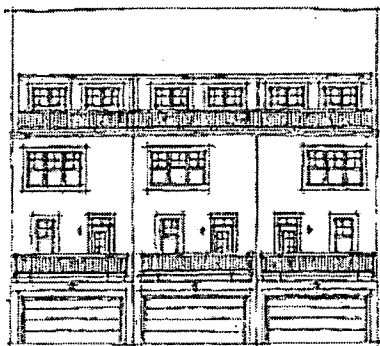


FRONT ELEVATION

DATE: 02/10/03
 TIME: 11:10
 FILE NO: 2003-001
 PROJECT: FOREST GLEN
 ARCHITECT: EAKIN / YOUNG
 SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
 8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182

P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

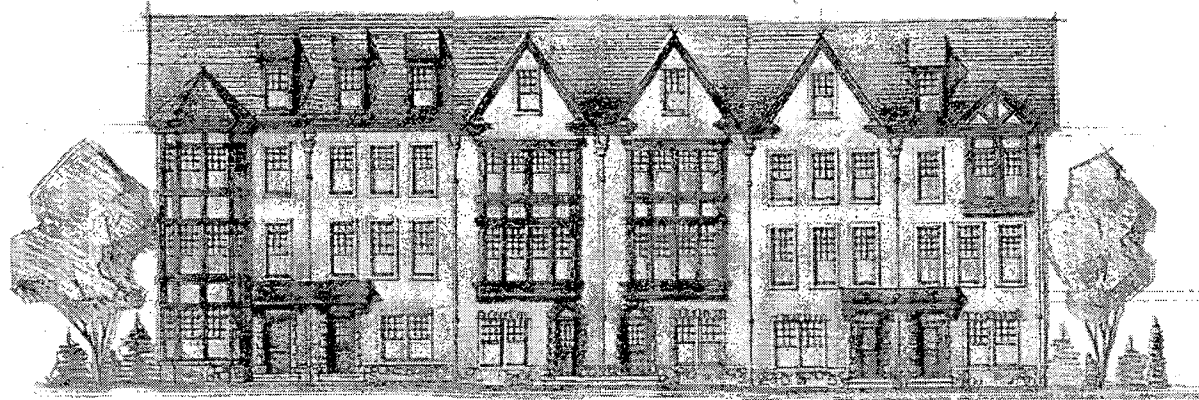
BUILDING ELEVATIONS
 NORTH OF LINDEN LANE

LOTS 7 - 9

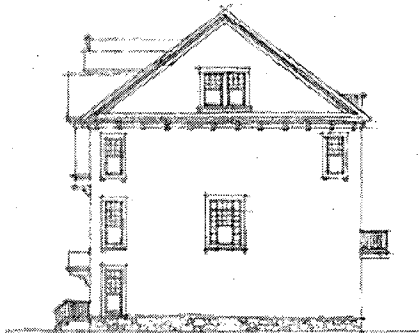
FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNG
 FEBRUARY 10, 2003 EYA.1275.00

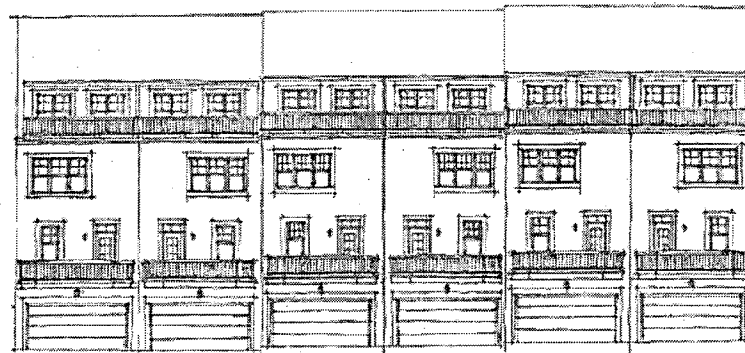




FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
 8571 EYEBURG PIKE, SUITE 700 | VIENNA, VA 22192
 P: 703.760.9344 | F: 703.760.3328 | WWW.LESSARDGROUP.COM

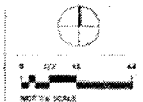
© 2012 LESSARD GROUP INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF LESSARD GROUP INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM LESSARD GROUP INC.

BUILDING ELEVATIONS
 NORTH OF LINDEN LANE

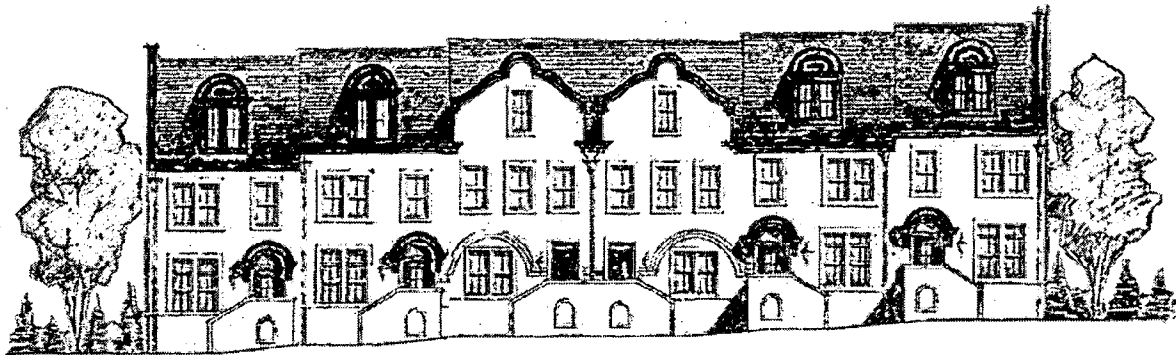
LOTS 10 - 15

FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND

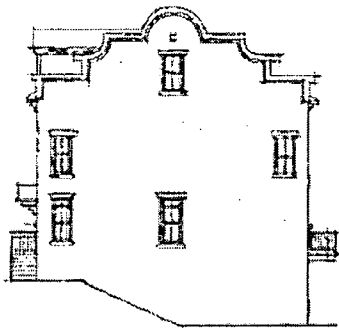
EAKIN / YOUNGENTOS ASSOCIATES, INC.
 FEBRUARY 16, 2012 RYA.1221B.00



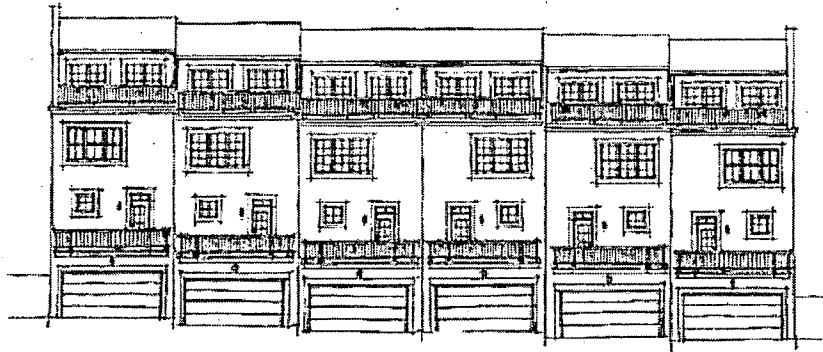
23



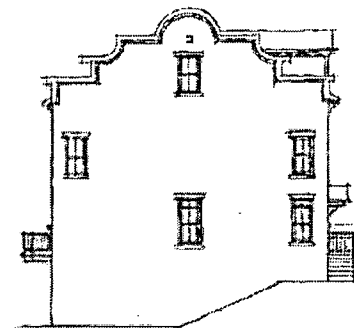
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
6533 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182

P: 703.760.9314 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

BUILDING ELEVATIONS
NORTH OF LINDEN LANE

LOTS 16 - 21

FOREST GLEN
MONTGOMERY COUNTY, MARYLAND

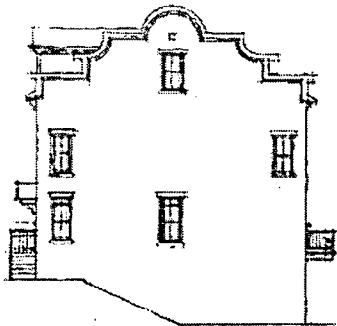
EAKIN / YOUNGENTOB ASSOCIATES, INC.
FEBRUARY 16, 2005 EYA.12/10.00



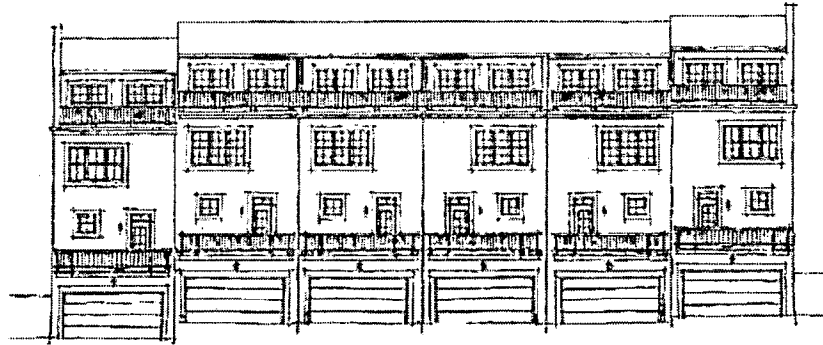
27



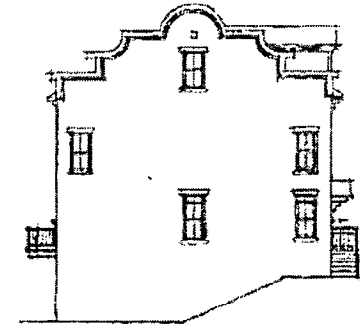
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
 8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182
 P: 703.760.9344 F: 703.760.9328 | WWW.LESSARDGROUP.COM

BUILDING ELEVATIONS
 NORTH OF LINDEN LANE

LOTS 23 - 28

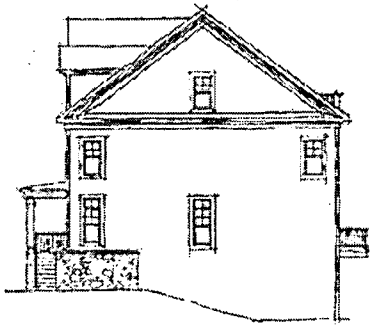
FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNGENTOB ASSOCIATES, INC.
 FEBRUARY 10, 2005 EYA-12729.00

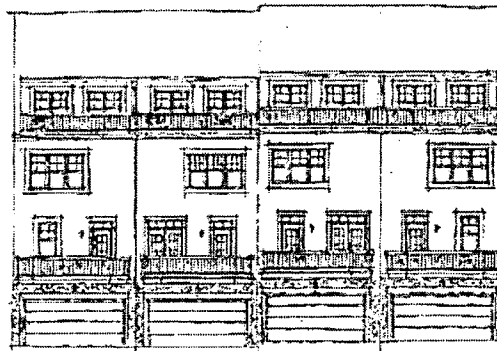




FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



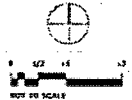
LESSARD GROUP INC.
 8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182
 P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

BUILDING ELEVATIONS
 NORTH OF LINDEN LANE

LOTS 29 - 32

FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND

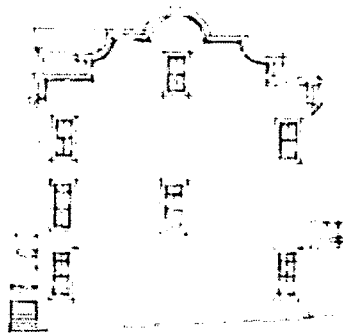
EAXIN / YOUNGENTOB ASSOCIATES, INC.
 FEBRUARY 10, 2005 EYA.12.25.00



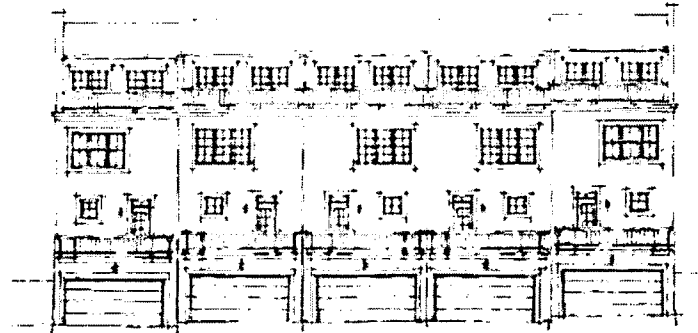
69



FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
 8521 LEESBURG PIKE, SUITE 700 VIENNA, VA 22182
 P: 703.760.8344 F: 703.760.8328 WWW.LESSARDGROUP.COM

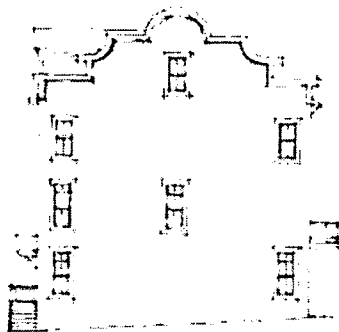
BUILDING ELEVATIONS
 NORTH OF LINDEN LANE
 LOTS 33 - 37

FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND
 EAKIN / YOUNGENTOB ASSOCIATES, INC.
 FEBRUARY 10, 2005 EYA.1228.06

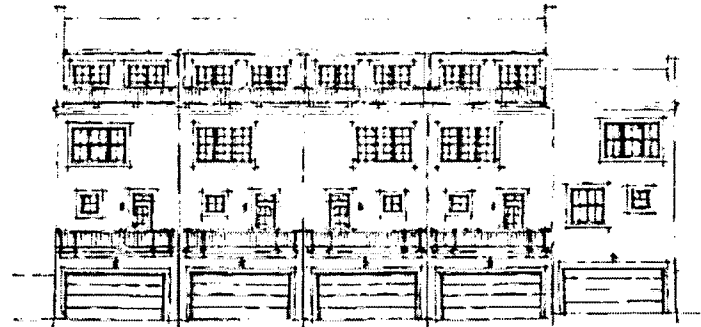




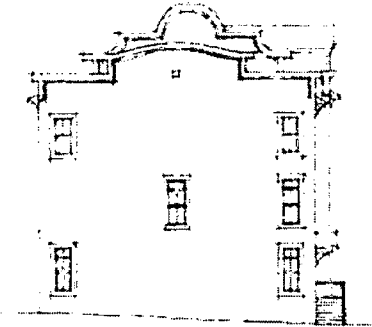
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
8521 LEESBURG PIKE, SUITE 700 - VIENNA, VA 22182

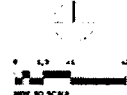
P: 703.780.9344 F: 703.768.9328 WWW.LESSARDGROUP.COM

BUILDING ELEVATIONS
NORTH OF LINDEN LANE

LOTS 38 - 42

FOREST GLEN
MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNGENTOB ASSOCIATES, INC.
FEBRUARY 10, 2005 EYA.1229.00



NOT TO SCALE



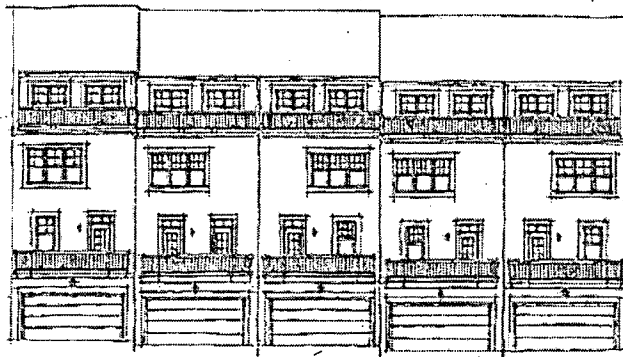


FRONT ELEVATION

APPROVED FOR THE CITY OF FORT MYERS
 PLANNING DEPARTMENT
 1000 COLLEGE BLVD. SUITE 100
 FORT MYERS, FL 33901
 DATE: 02/10/05



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
 8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182
 P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

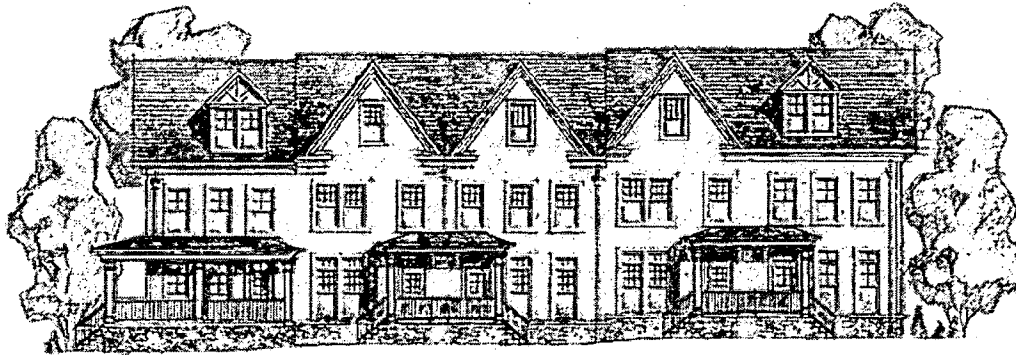
BUILDING ELEVATIONS
 NORTH OF LINDEN LANE

LOTS 44 - 48

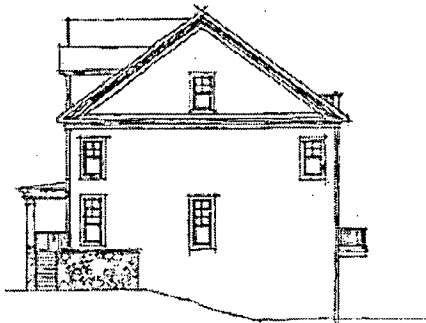
FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNGENTOB ASSOCIATES, INC.
 FEBRUARY 10, 2005 EYA.1218.00





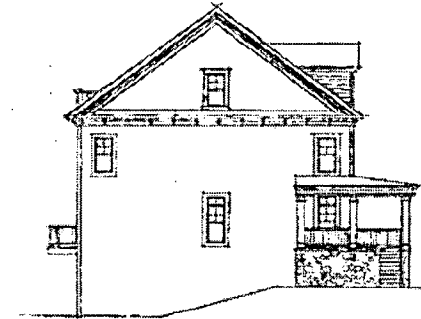
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
 8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182
 P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

BUILDING ELEVATIONS
 NORTH OF LINDEN LANE

LOTS 49 - 53

FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND
 EAKIN / YOUNGENTON ASSOCIATES, INC.
 FEBRUARY 10, 2005 EYA.1238.00



(C-13)

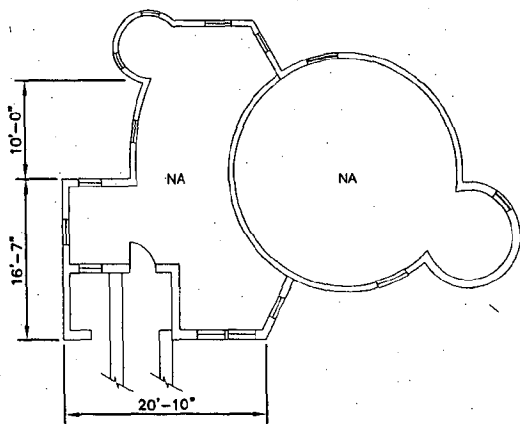
**NATIONAL PARK SEMINARY
HISTORIC DISTRICT**

**BLOCKING PLANS
FOR
CONTRIBUTING BUILDINGS 107-138
(EXCLUDING BLDGS 114 & 116)**

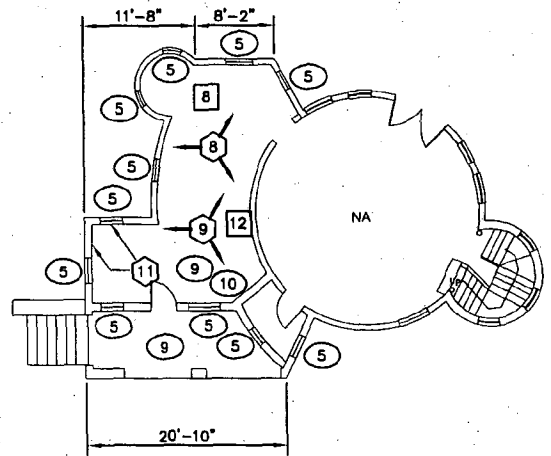
**PREPARED BY
THE ALEXANDER COMPANY, INC
FEBRUARY 11, 2005**

D) Rehab of Remaining Buildings

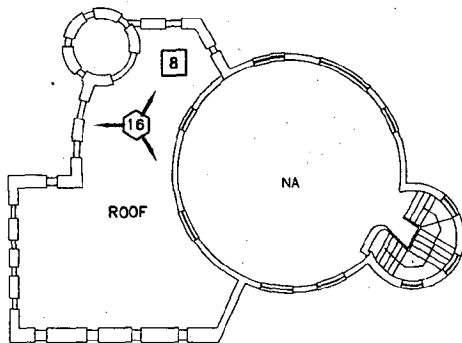
(D-1)



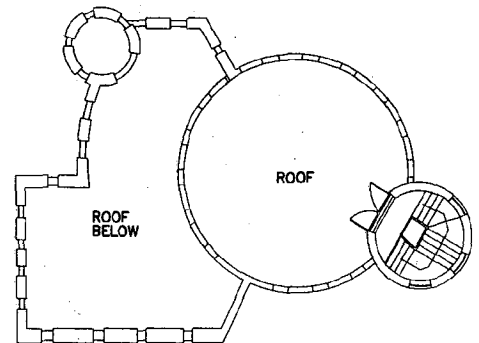
Basement
899 S.F.



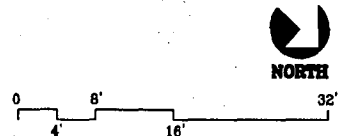
First Floor
855 S.F.



Second Floor
427 S.F.

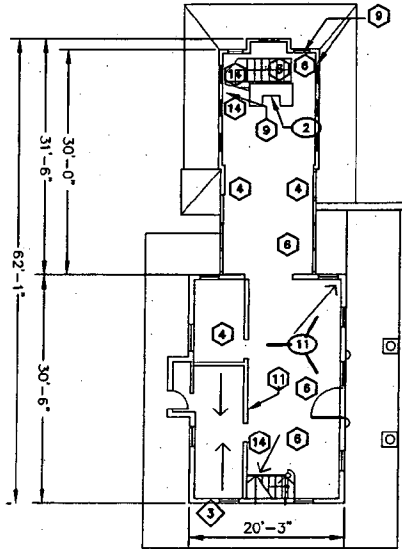


Third Floor

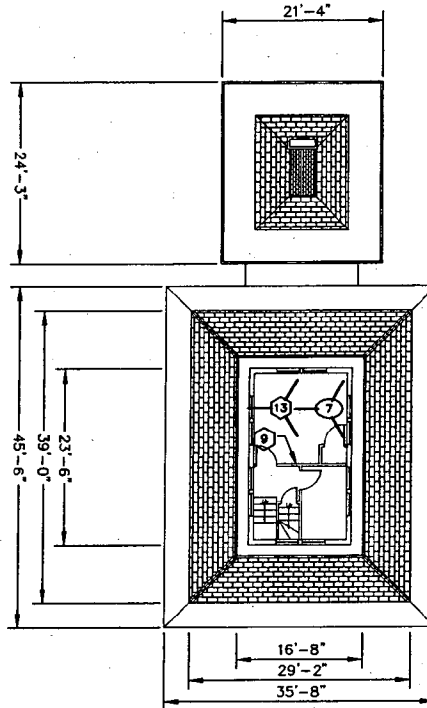


1 UNIT = ±2,181 S.F.

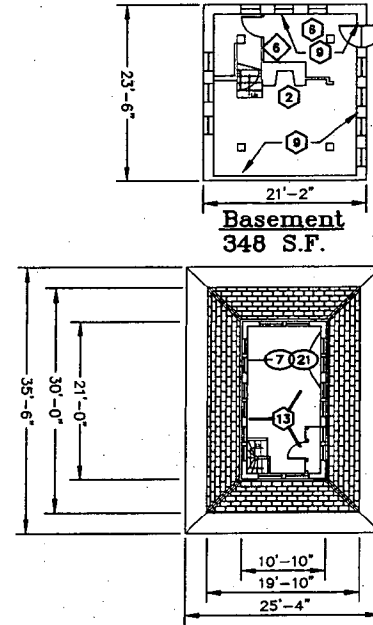
BUILDING #107
CASTLE



First Floor
947 S.F.



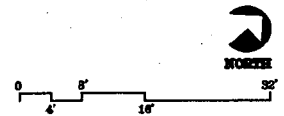
Second Floor
256 S.F.



Third Floor
174 S.F.

Basement
348 S.F.

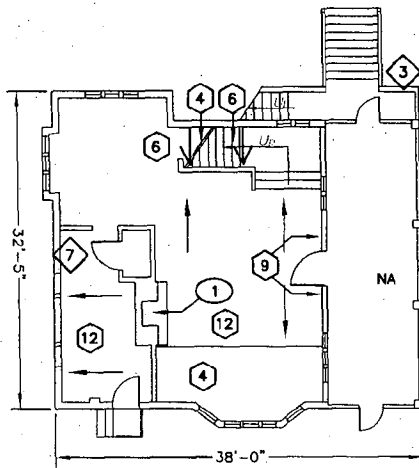
1 UNIT = ±1,725 S.F.



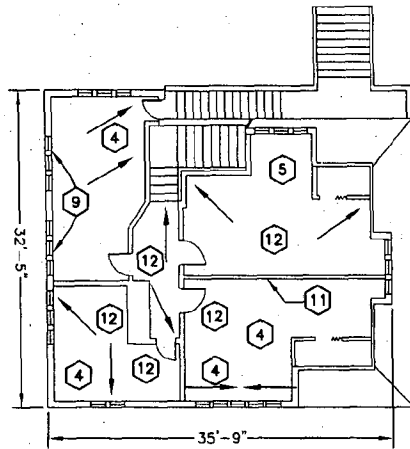
BUILDING #108
JAPANESE PAGODA

108-7

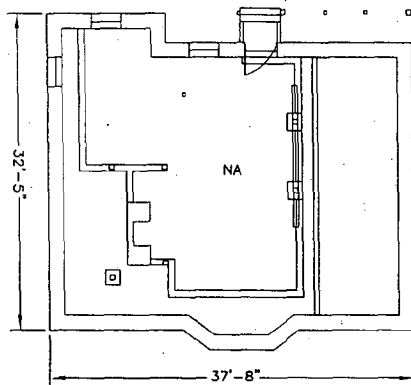
D-3



First Floor
815 S.F.



Second Floor
889 S.F.



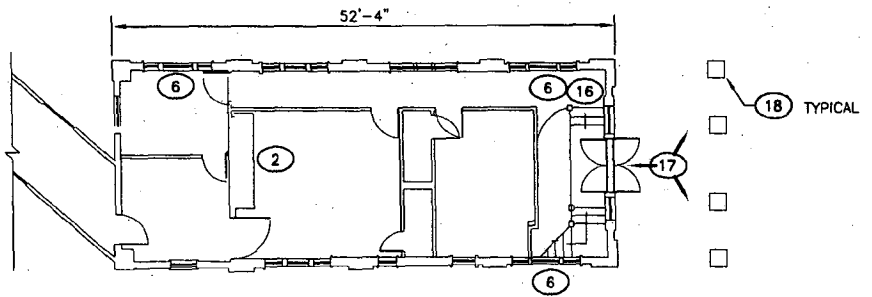
Basement
726 S.F.



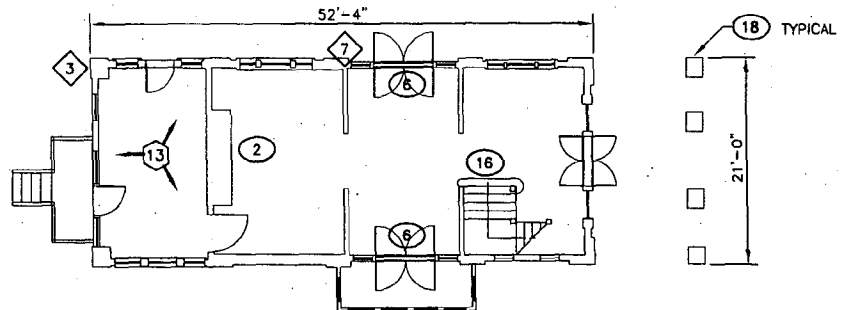
BUILDING #109
JAPANESE BUNGALOW

1 UNIT = ± 2,410

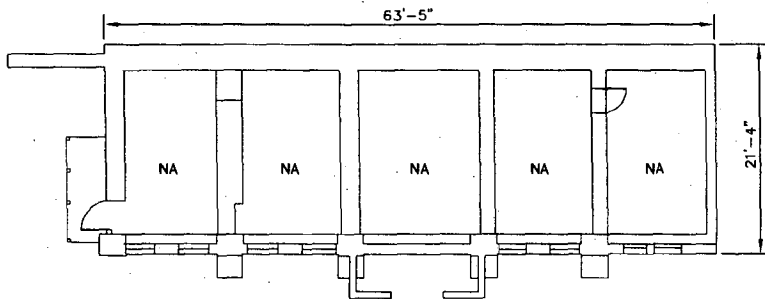
D-4



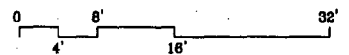
Second Floor
972 S.F.



First Floor
1,043 S.F.

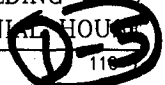


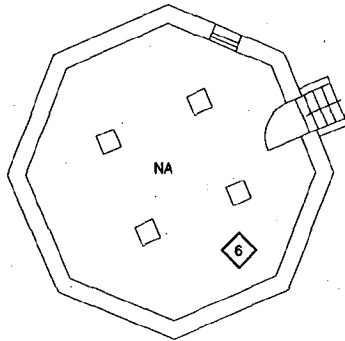
Basement
1,087 S.F.



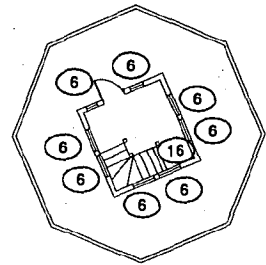
1 UNIT = ±2,015
(±3,082 S.F. W/ BASEMENT)

BUILDING #110
COLONIAL HOUSE

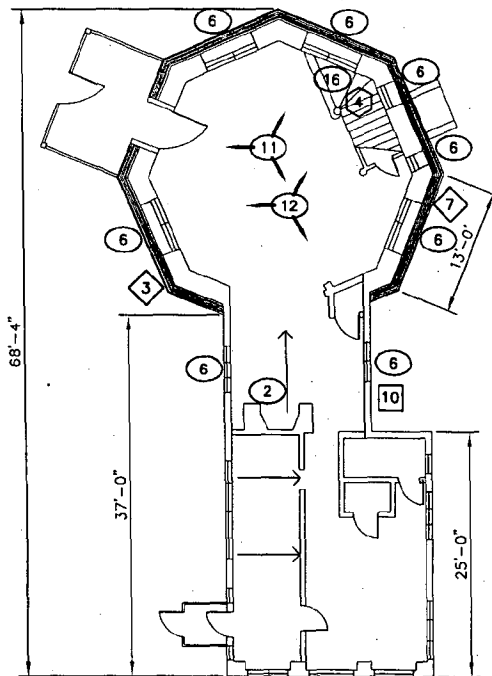




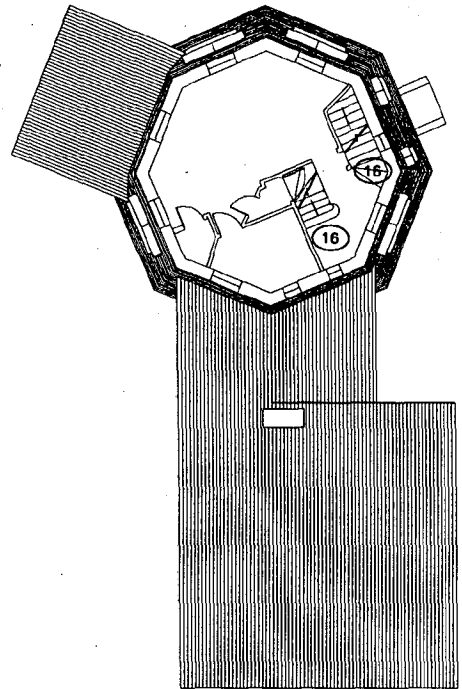
Basement



Third Floor
78 S.F.



First Floor
1,216 S.F.

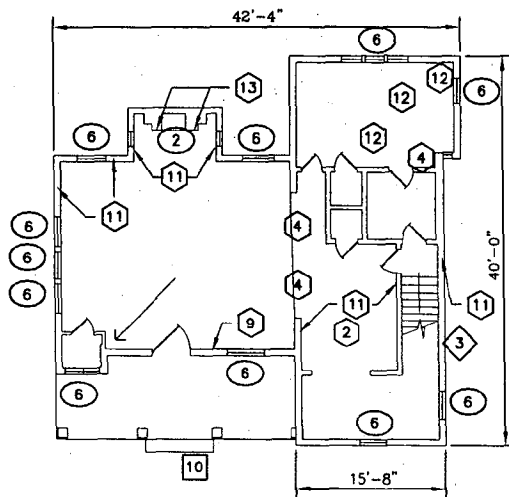


Second Floor
404 S.F.

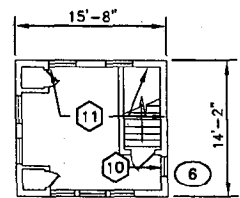


1 UNIT = ±1,696 S.F.

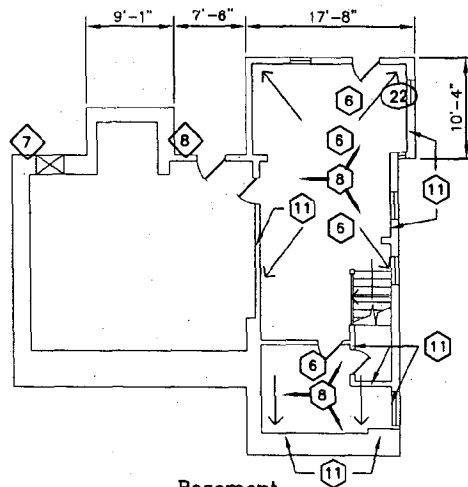
BUILDING #111
DUTCH WINDMILL



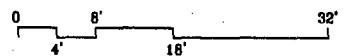
First Floor
1,100 S.F.



Second Floor
184 S.F.



Basement
993 S.F.



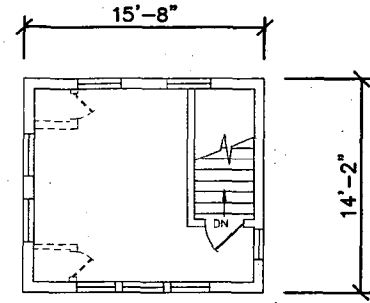
1 UNIT = ±2,277

BUILDING #112
INDIAN MISSION

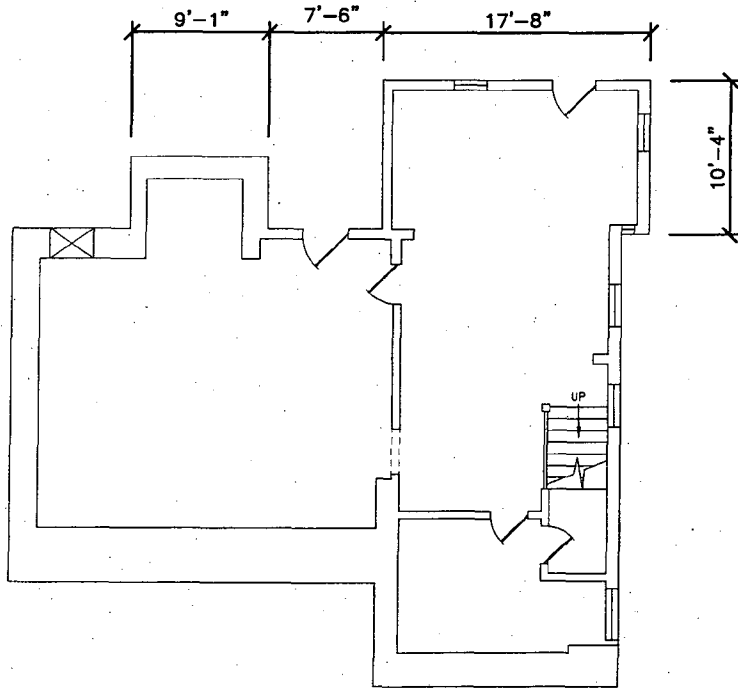


GENERAL DEMOLITION NOTES:

- A. ALL STRUCTURAL OPENINGS ARE TO BE REINFORCED BEFORE ANY STRUCTURAL DEMOLITION TO BEGIN. CONDITIONS ARE ENCOUNTERED, NOTIFY THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING.
- B. PROTECT ALL SURFACES, FURNITURE, WINDOWS, DOORS, ETC., TO REMAIN FROM ANY DAMAGE CAUSED BY DEMOLITION.
- C. DISPOSAL OF ALL REFUSE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND DONE IN A MANNER CONSISTENT WITH ALL APPLICABLE CODES AND ORDINANCES.
- D. REMOVE PARTITIONS REPRESENTED BY DASHED LINES. ALL ITEMS INDICATED WITH SOLID LINES ARE TO REMAIN. ANY WALLS, EQUIPMENT OR FEATURES NOT SHOWN ARE TO BE REMOVED. ANY WALLS THAT CONTAIN HISTORIC FEATURES SHOULD BE REMOVED UNTIL NOTIFIED BY THE ARCHITECT.
- E. REMOVE ALL PLUMBING, ELECTRICAL AND MECHANICAL SYSTEMS INCLUDING BUT NOT LIMITED TO HANGERS, CONDUIT, LIGHT FIXTURES, JOINTION BOXES, MISC. AND SUPPLY PIPES, PLUMBING FIXTURES, DUCTWORK, SPRINKLER AREA HEATERS, INSULATION AND RADATORS, UNLESS OTHERWISE NOTED. RETAIN EXISTING ROOF BRACE AND PIPING.
- F. REMOVE ALL CHEMISTRY, UNLESS NOTED OTHERWISE.
- G. REMOVE ALL NON-ORIGINAL BRICKED CEILING EXCEPT WHERE NOTED ON PLANS.
- H. REMOVE FLOOR FINISHES INCLUDING CARPETING AND VINYL TILE UNLESS OTHERWISE NOTED.
- I. REMOVE ALL ACCUMULATED REFUSE, LEAVING THE SITE "BROOM CLEAN".
- J. RETAIN AND PROTECT ALL WOOD WINDOWS. REPAIR AND OR REPLACE ANY MISSING SASHES TO REPLICATE ETC.
- K. REMOVE ALL EXTERIOR PIPING, CONDUIT, ANCHORS, DOWNPOUTS AND MECHANICAL RISERS UNLESS NOTED OTHERWISE.
- L. REMOVE ALL NON-ORIGINAL GYPSUM BOARD, AND FURRING FROM CEILING UNLESS NOTED OTHERWISE. RETAIN PLASTER CEILING.
- M. RETAIN ALL ORIGINAL WOOD BASE ON EX'S WALLS TO REMAIN. SALVAGE ORIGINAL WOOD BASE ON REMOVED WALLS & STORE IN DISHMENT FOR REUSE.
- N. REMOVE ALL SURFACE APPLIED FINISHES ON EXISTING WALLS TO REMAIN TO MATCH FACE OF ADJOINING WALL (CHANGING CERAMIC TILE).
- O. SCRAPE AND DISPOSE OF ALL LOOSE PAINT FROM WALLS, CEILING AND OTHER PAINTED SURFACES INCLUDING PAINT DEBRIS ON FLOORS.
- P. RETAIN AND PROTECT ALL ORIGINAL WOOD DOORS AND FRAMES.
- Q. REMOVE ALL NON-ORIGINAL INTERIOR WALL FINISHES (IE WALLPAPER, PANELING, ETC.)
- R. RETAIN ALL ORIGINAL DECORATIVE PLASTER MOLDINGS. PROTECT EXISTING DECORATIVE PLASTER DURING DEMOLITION AND CONSTRUCTION.
- S. RETAIN ALL ORIGINAL SILLS AT ALL WINDOWS AND OPENINGS.
- T. REMOVE ALL HVAC UNITS FROM FLOORS, CEILINGS, WINDOWS, AND ROOFS.
- U. COORDINATE ALL NEW OPENINGS IN EXTERIOR OF BUILDING WITH PRIMARY GENERAL CONTRACTOR.
- V. REMOVE ALL TEMPORARY ENCLOSURES FROM EXISTING WINDOW & DOOR OPENINGS. COORDINATE W/ PRIMARY GENERAL CONTRACTOR.
- W. FINISH S.E.M.A. INDICATORS AT ALL FLOOR & WINDOW OPENINGS FOR DURATION OF PROJECT WORK. WINDOW OPENINGS AT FIRST FLOOR SHALL BE CLOSED WITH PLYWOOD TO SECURE.
- X. REMOVE ALL RAISED FLOORS IN EXISTING BATHROOMS AND CLOSETS.
- Y. REMOVE CEILING FEATURES. IF DAMAGE TO PLASTER OCCURS, THEN LEAD CONTRACTOR WILL BE REQUIRED TO PATCH.
- Z. RETAIN AND PROTECT ALL DECORATIVE WOOD COLUMNS, TRIMS, AND MOLDINGS. REPLACE ANY MISSING PIECES TO MATCH EXISTING.
- AA. RETAIN AND PROTECT ALL WOOD, STONE, MASONRY AND PLASTER FINISHES SURROUNDING AND MANTELS. REPLICATE ANY MISSING PIECES TO MATCH EXISTING.

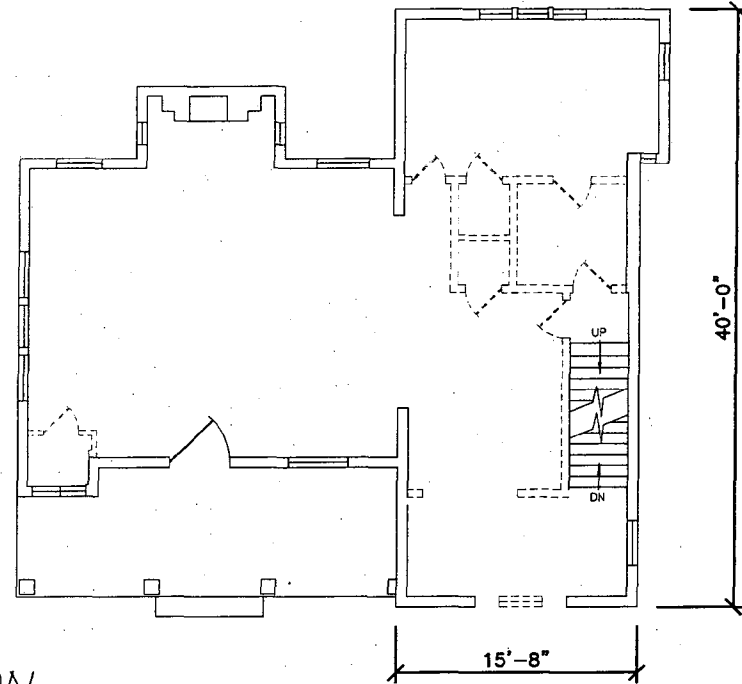


3 SECOND FLOOR DEMOLITION PLAN
A2.1 SCALE: 1/8" = 1'-0"



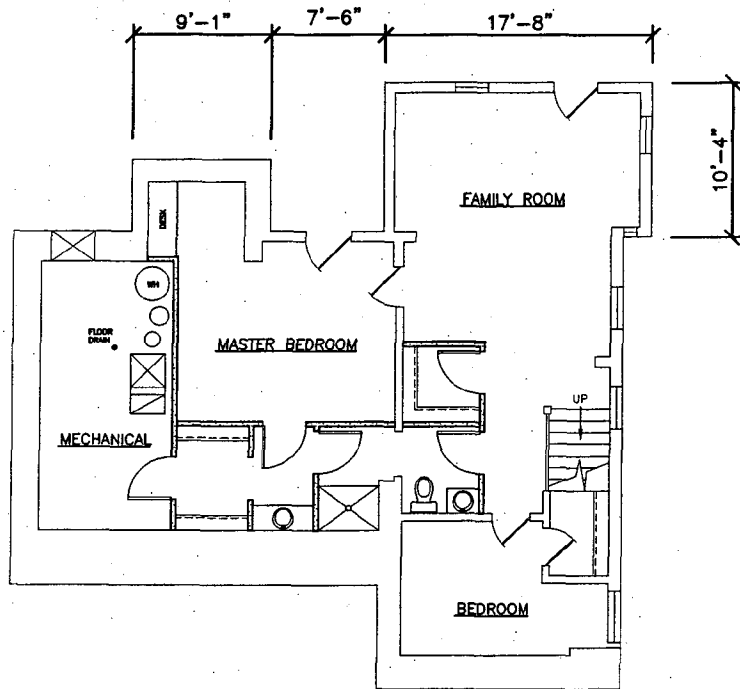
1 BASEMENT DEMOLITION PLAN
A2.1 SCALE: 1/8" = 1'-0"

INDIAN MISSION
BLDG# 112



2 FIRST FLOOR DEMOLITION PLAN
A2.1 SCALE: 1/8" = 1'-0"

D-8



1 BASEMENT PLAN
SCALE: 1/8" = 1'-0"

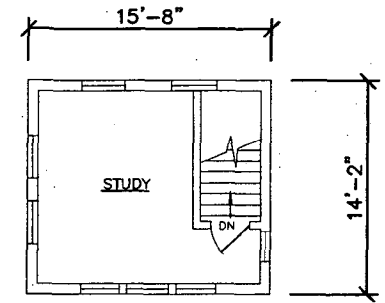
INDIAN MISSION
BLDG# 112

GENERAL NOTES:

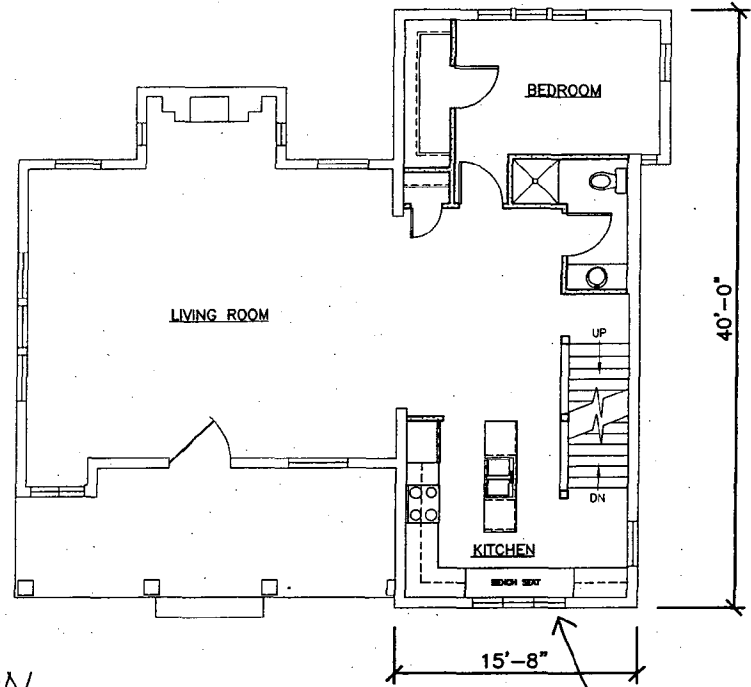
1. REFER TO DEMOLITION PLANS FOR EXISTING CONDITIONS.
2. ALL UNSOUND PLASTER WALLS, CEILING, COLUMNS, ETC. TO BE REPAIRED TO A SOUND STATE WITH NEW FURRING TO ACCEPT NEW DRYWALL AND FINISH. ALL EXISTING SOUND PLASTER SURFACES TO BE PRIME COATED WITH DRYWALL OR SIGM COATED TO ACCEPT NEW PAINT FINISH.
3. PATCH & REPAIR EX'G WALLS, CEILING, FLOORS, & COLUMNS WHERE WALLS WERE REMOVED DURING DEMOLITION TO MATCH ORIGINAL. PATCH & REPAIR EX'G ORIGINAL WOOD BASE WHERE WALLS WERE REMOVED DURING DEMOLITION WITH MATCHING BALANCED TRIM OR NEW BASE TO MATCH EX'G.
4. UNLESS OTHERWISE NOTED ALL EXISTING FLOOR OPENINGS ARE TO BE INFILLED.
5. REPAIR ALL AREAS TO MATCH ORIGINAL WHERE FINISHES HAVE BEEN REMOVED TO INVESTIGATE STRUCTURE.
6. ALL EXISTING WORK IN PLACE THAT IS DISTURBED DUE TO NEW WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AFTER THE NEW WORK IS IN PLACE.
7. REMOVE EX'G WOOD BASE ON WALLS TO REMAIN AS NECESSARY FOR NEW CABINETRY, BATH FIXTURES.

EX'G. STAIRWELL NOTES:

1. PAINT ALL RISERS, STRINGERS & RAILING COMPONENTS.



3 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

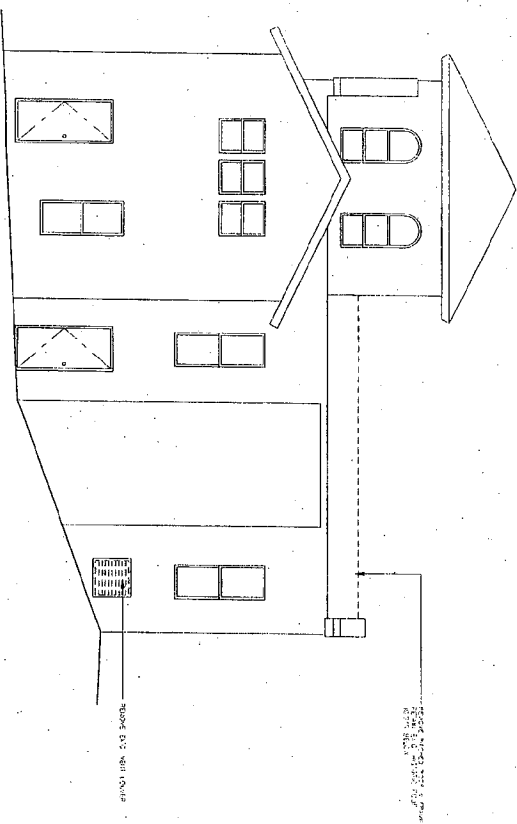


2 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

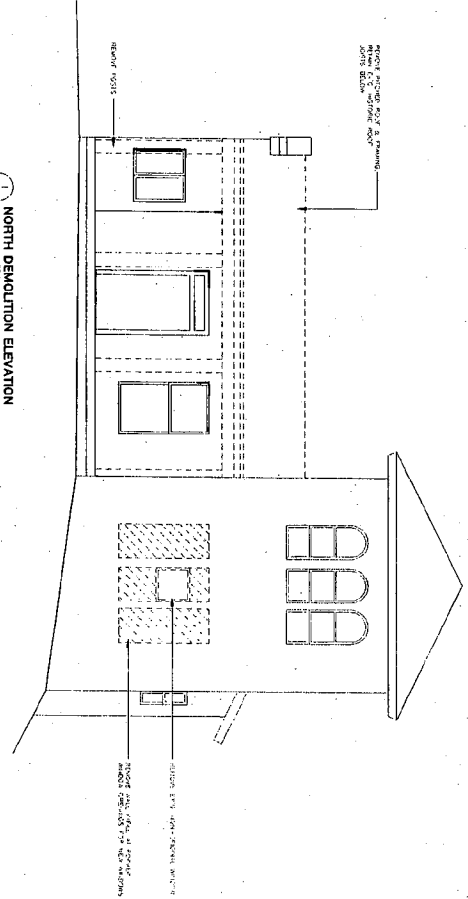
D:9

10/10

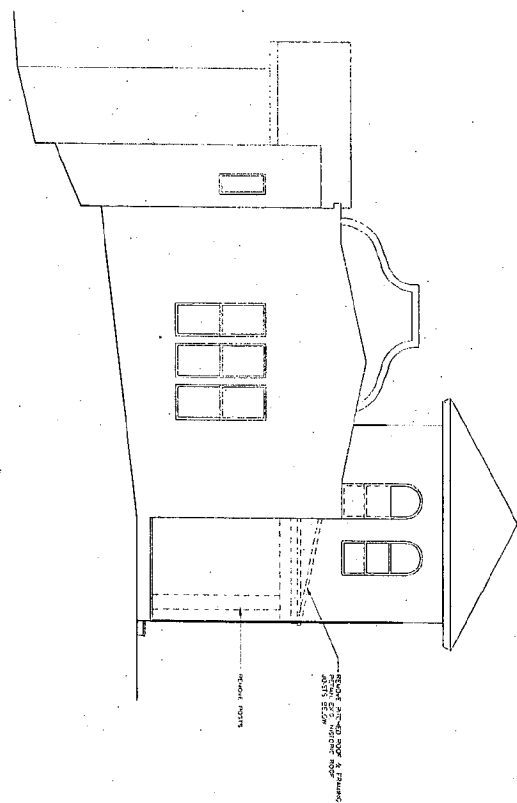
1 SOUTH DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"



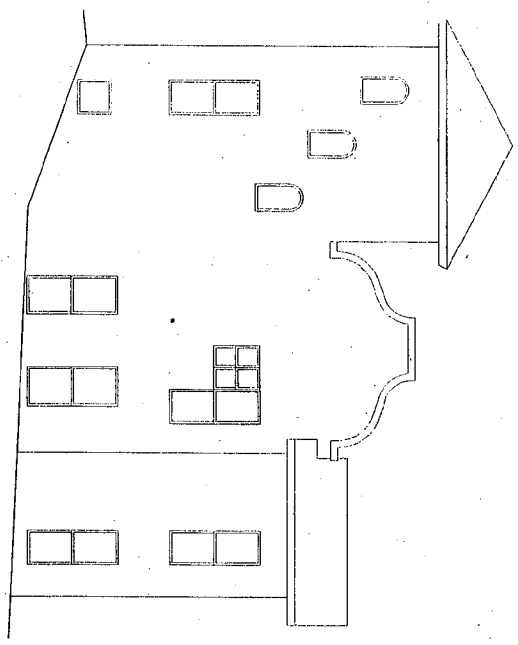
2 NORTH DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"

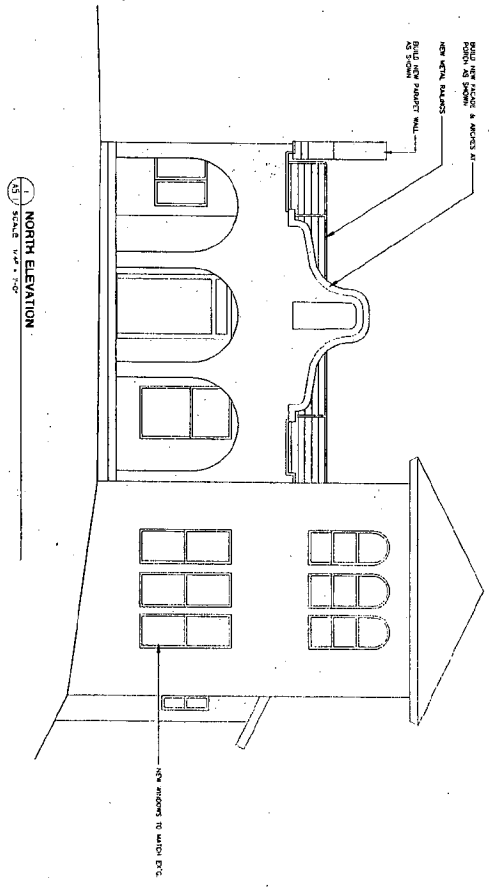


4 WEST DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"

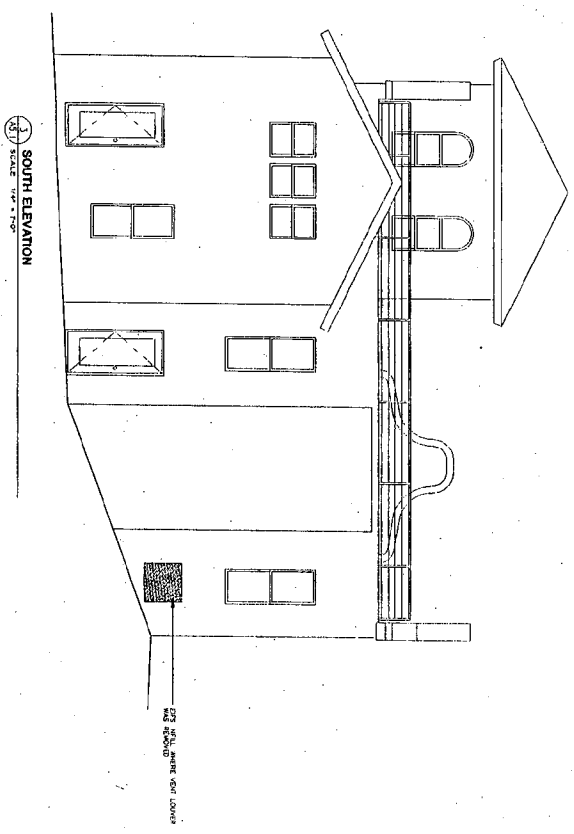


A2.3	PROJECT NO. 03-337	DEMOLITION ELEVATIONS		INDIAN MISSION HOUSE NATIONAL PARK SEMINARY 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture Planning & Construction URBAN RESOURCES 145 E BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53718 TELEPHONE 608-258-6591 FAX 608-258-6699
		DRAWN BY 9-16-04	APP'D. BY PART I AMENDMENT			

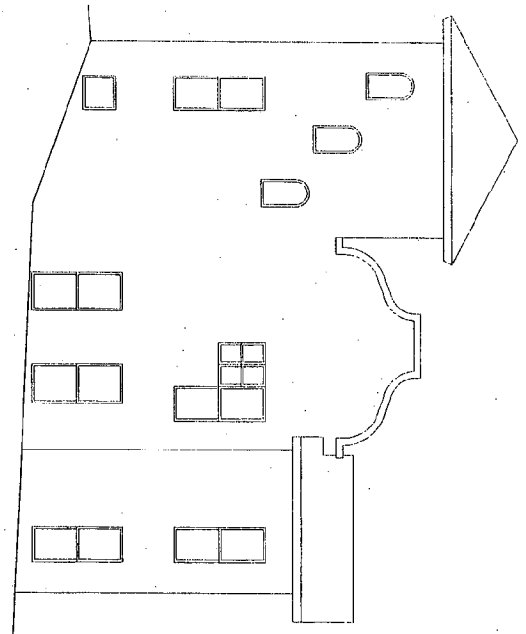
D-11



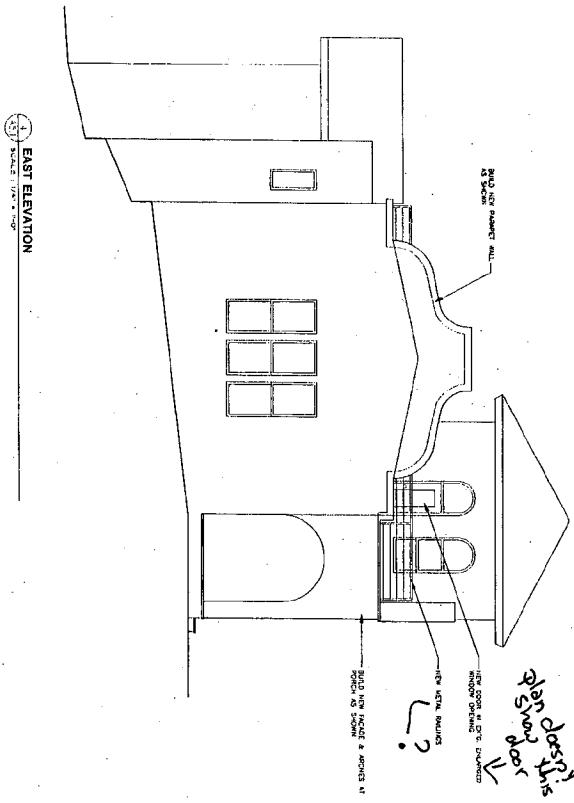
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

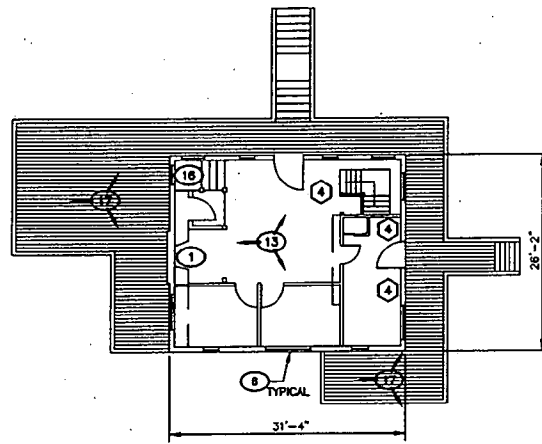


WEST ELEVATION
SCALE: 1/4" = 1'-0"

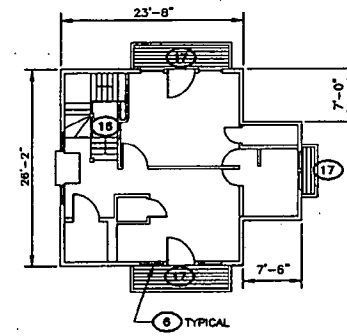


EAST ELEVATION
SCALE: 1/4" = 1'-0"

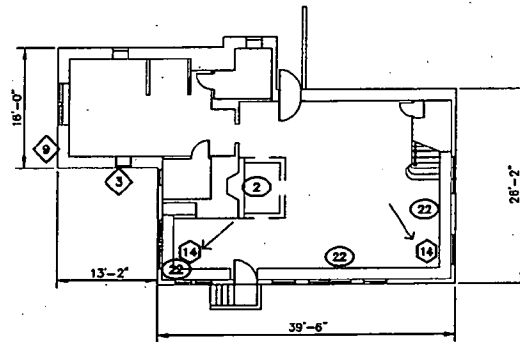
<p>A5.1</p>	<p>SHEET NO.</p>	<p>ELEVATIONS</p>		<p>INDIAN MISSION HOUSE NATIONAL PARK SEMINARY 2801 LINDEN LANE SILVER SPRING, MARYLAND</p>	<p>PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION</p>	<p>Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5561 FAX 608-258-5599</p>
		<p>PROJECT NO. 03-537</p>	<p>DATE: 2-24-04</p>			



First Floor
745 S.F.

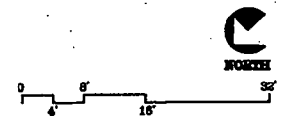


Second Floor
682 S.F.



Ground Floor
1,154 S.F.

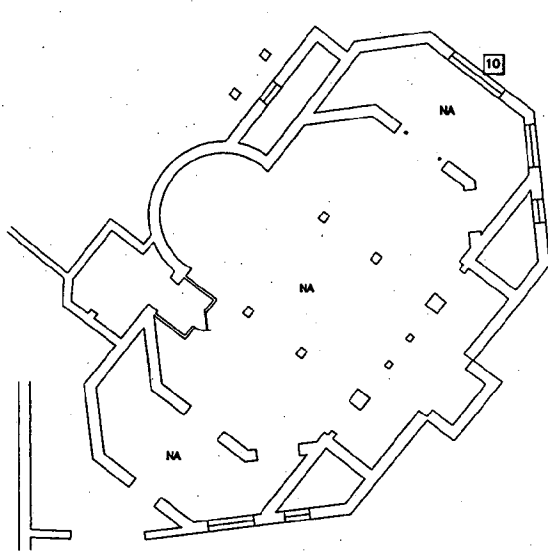
1 UNIT = ±2,561



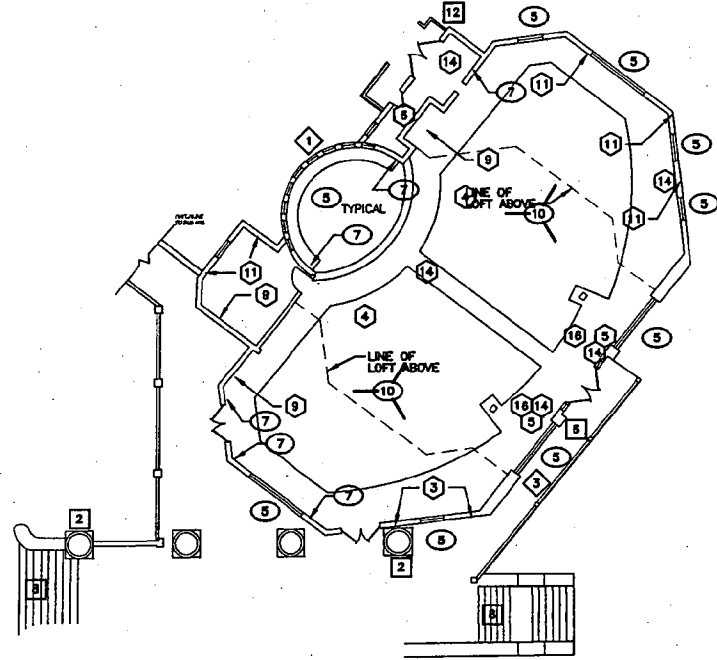
BUILDING #113
SWISS CHALET

113-7

D-12

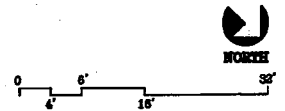


Basement



First Floor
2,742 S.F.
1,071 S.F. (LOFTS)

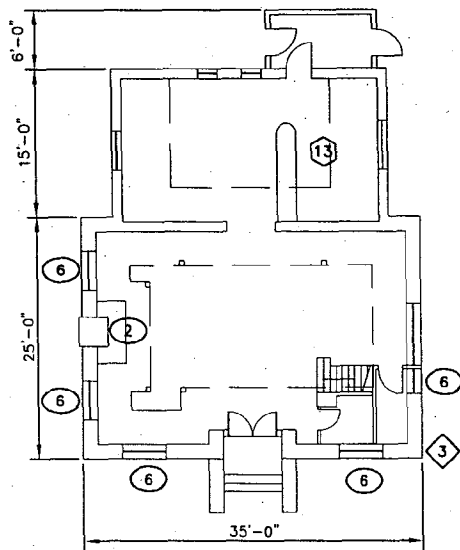
1 UNIT = ±3,813 S.F.



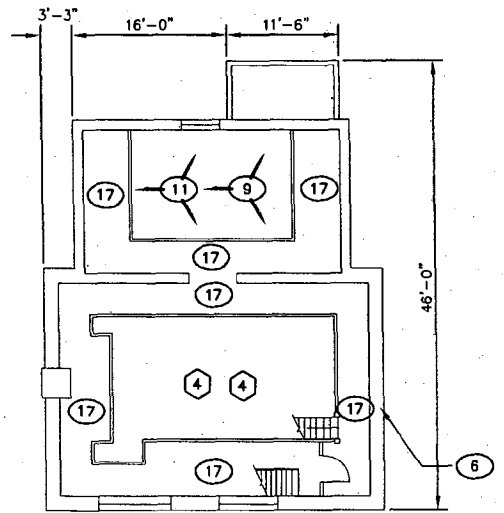
BUILDING #114
CHAPEL

114-7

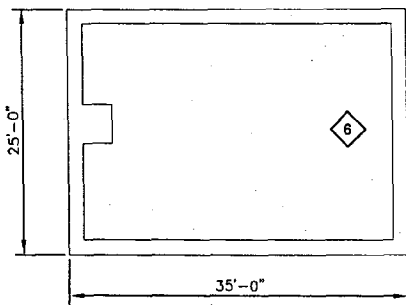
D-13



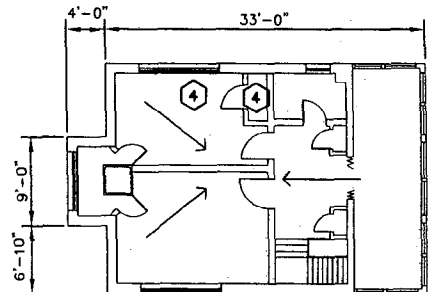
First Floor
1,169 S.F.



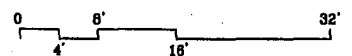
First Floor Balcony Level
593 S.F.



Basement

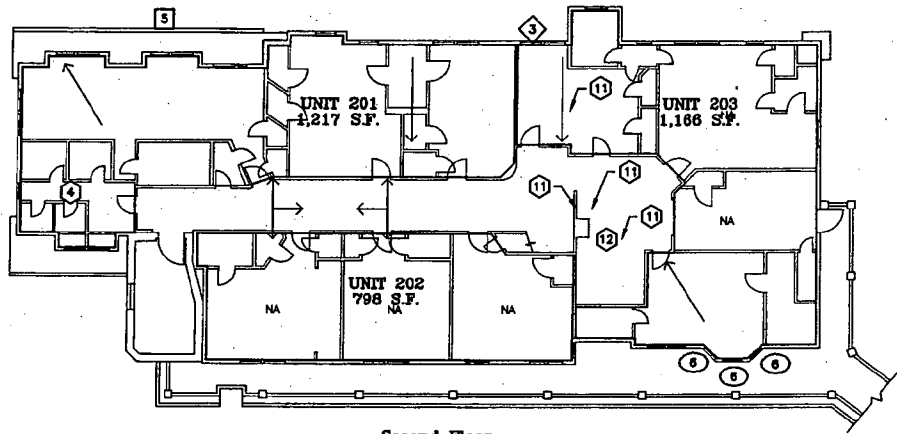


Second Floor
894 S.F.

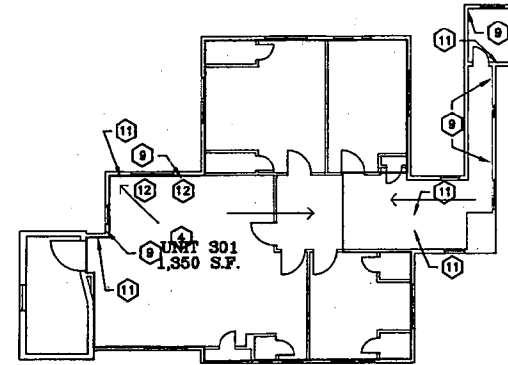


1 UNIT = ±2,456

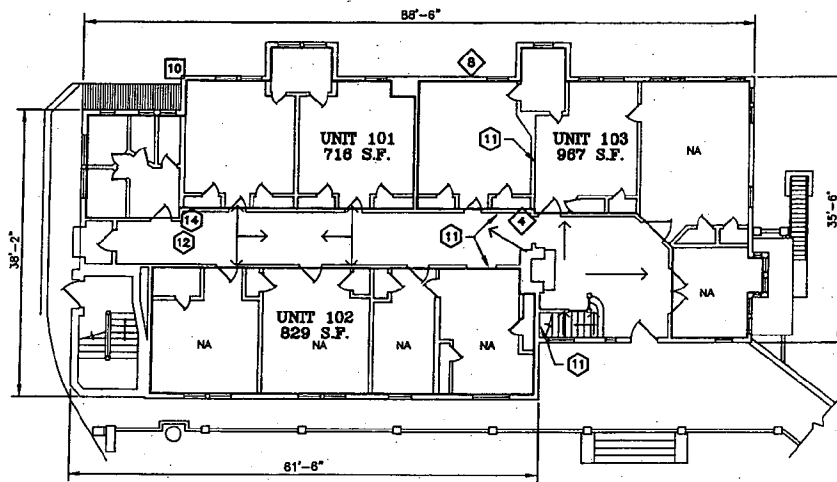
BUILDING #115
MILLER LIBRARY



Second Floor



Third Floor



First Floor

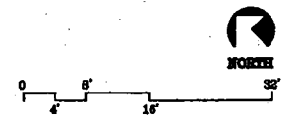
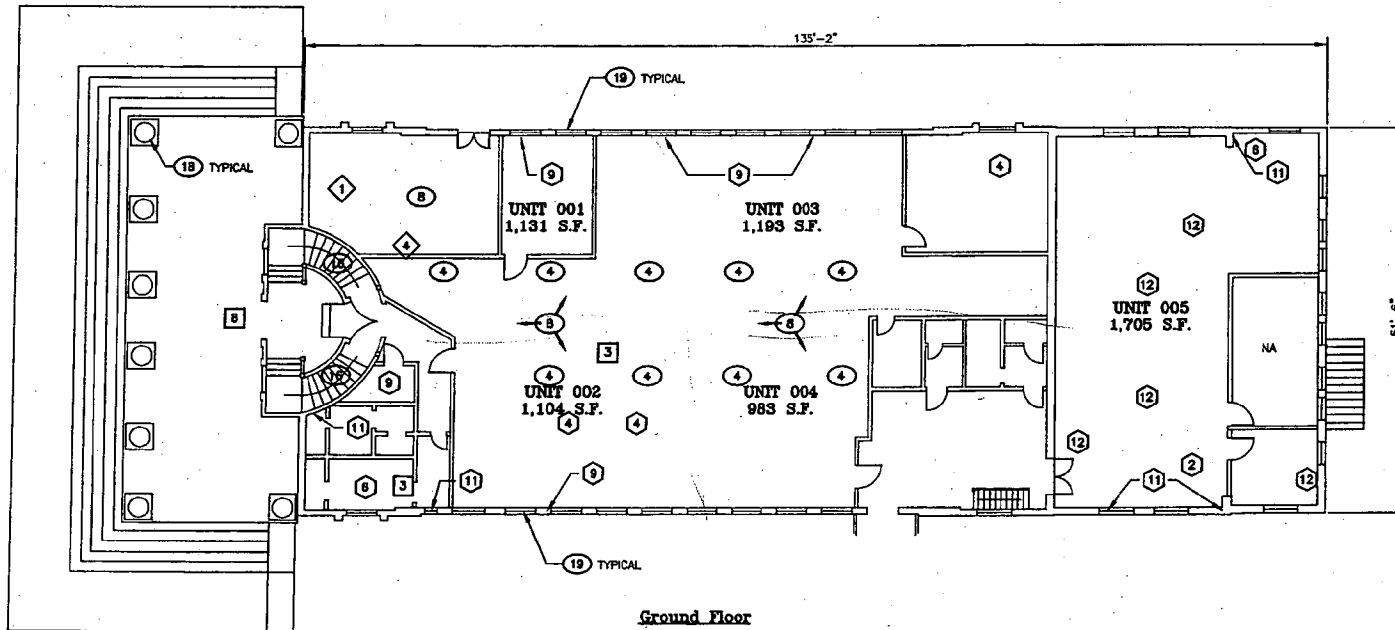
7 UNITS



BUILDING #116
ALOHA HOUSE

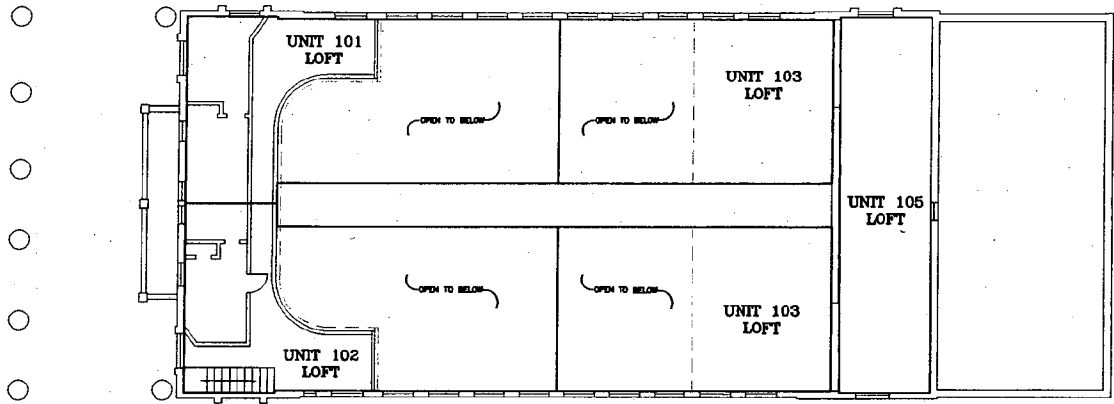
116-7

D-15

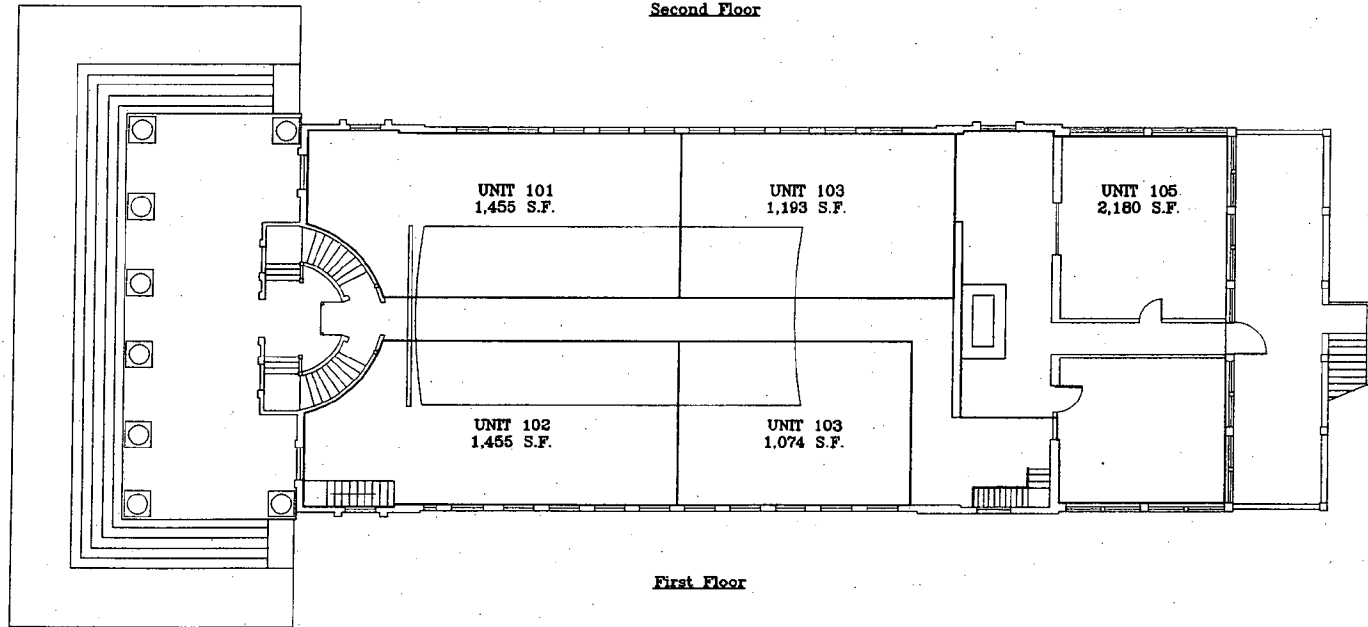


BUILDING #118
GYMNASIUM

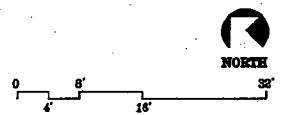
D-18



Second Floor

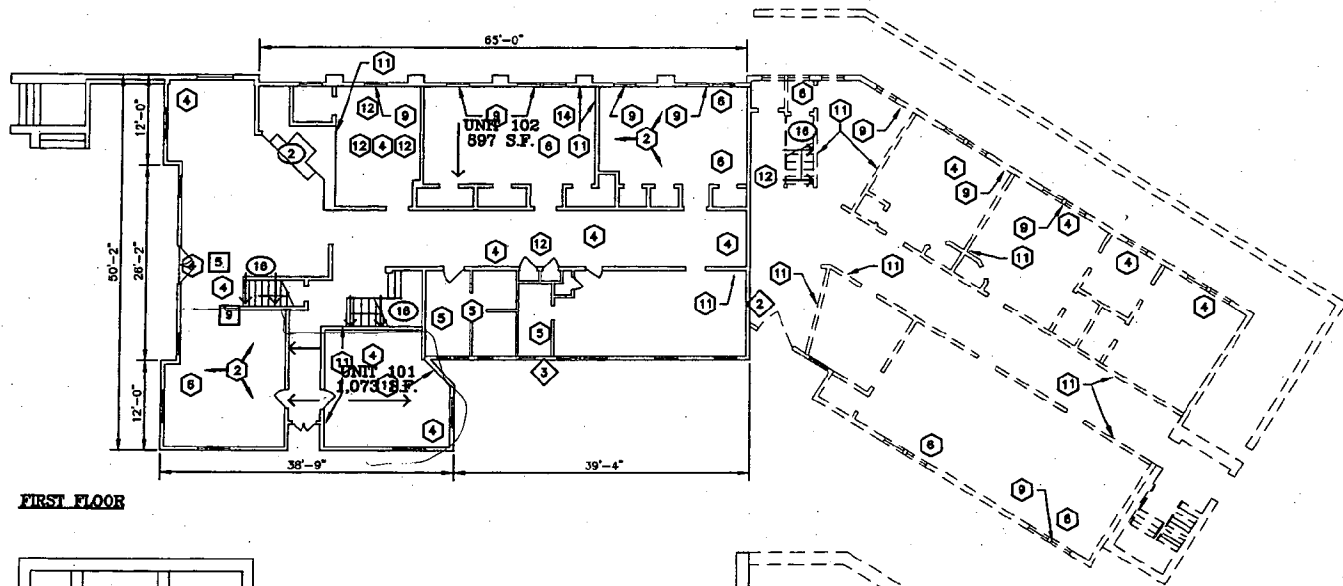


First Floor

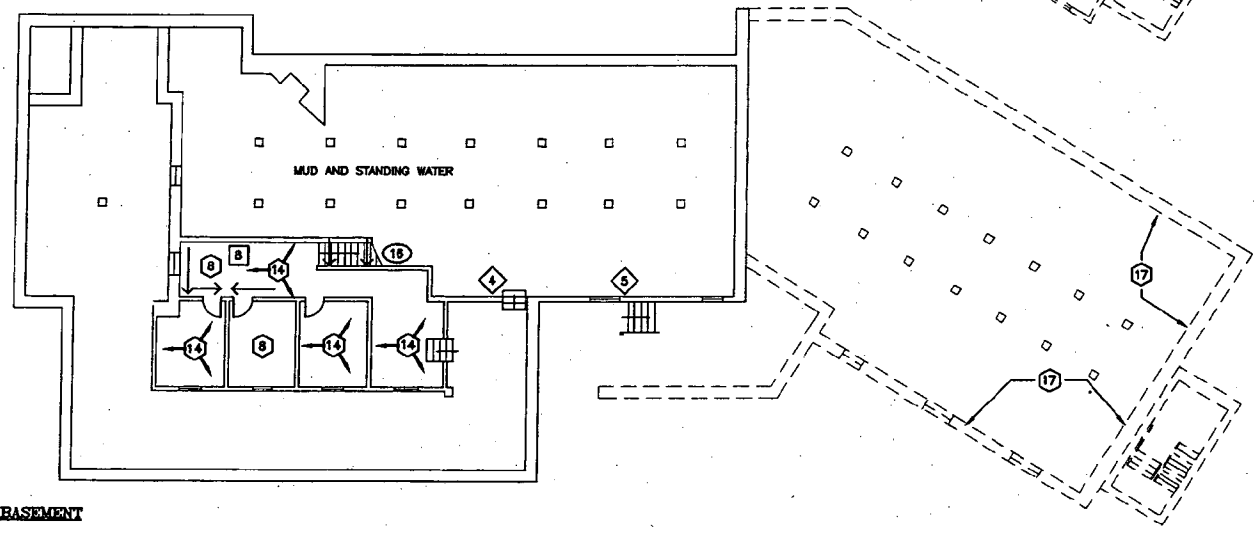


BUILDING #118
GYMNASIUM

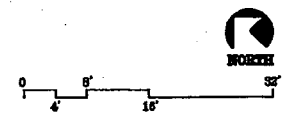
D-17



FIRST FLOOR

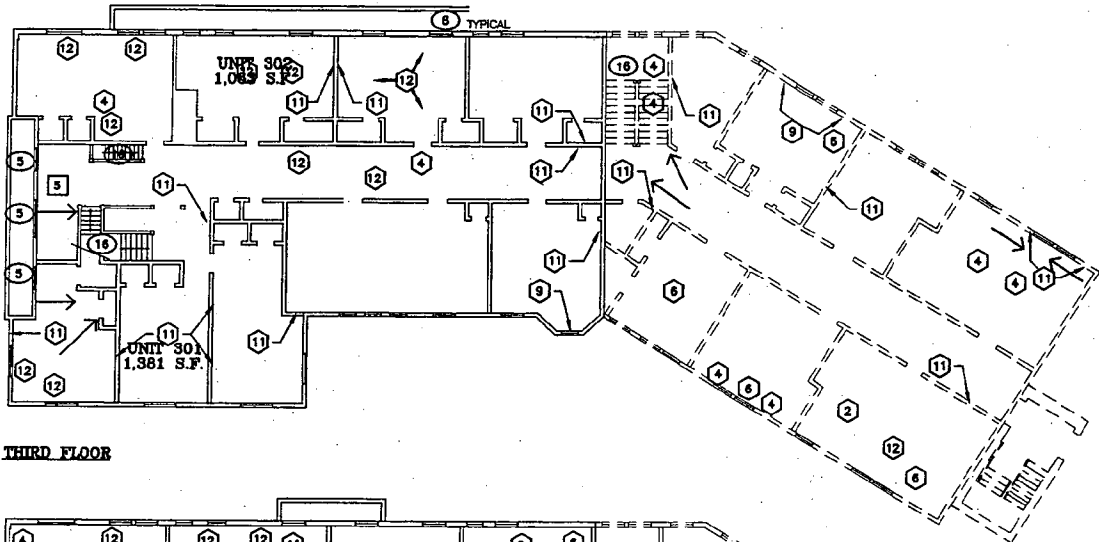


BASEMENT

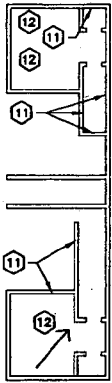


BUILDING #119
 VILLA - BASEMENT AND FIRST FLOOR PLANS

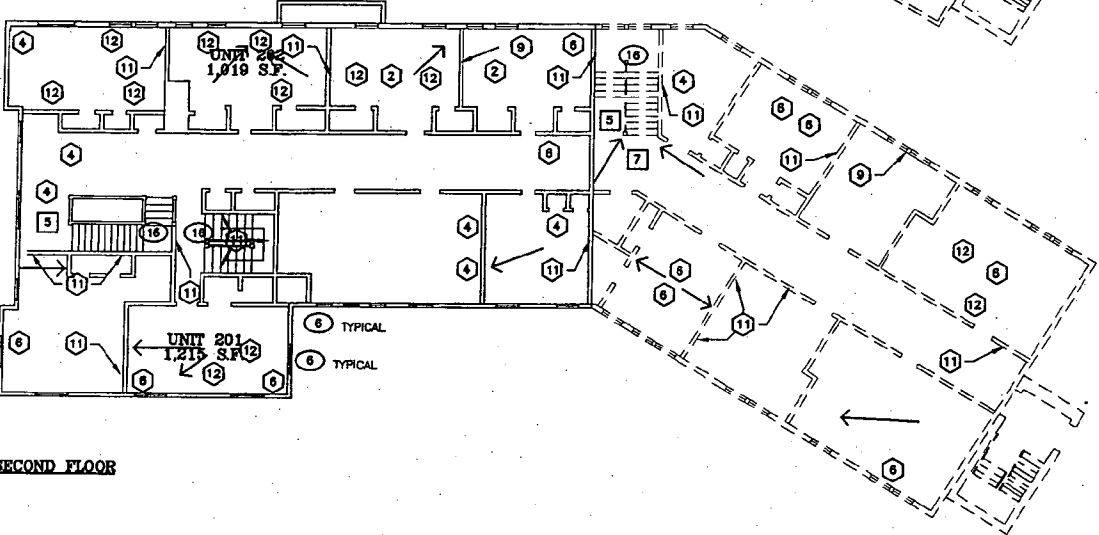
D-18



THIRD FLOOR



FOURTH FLOOR

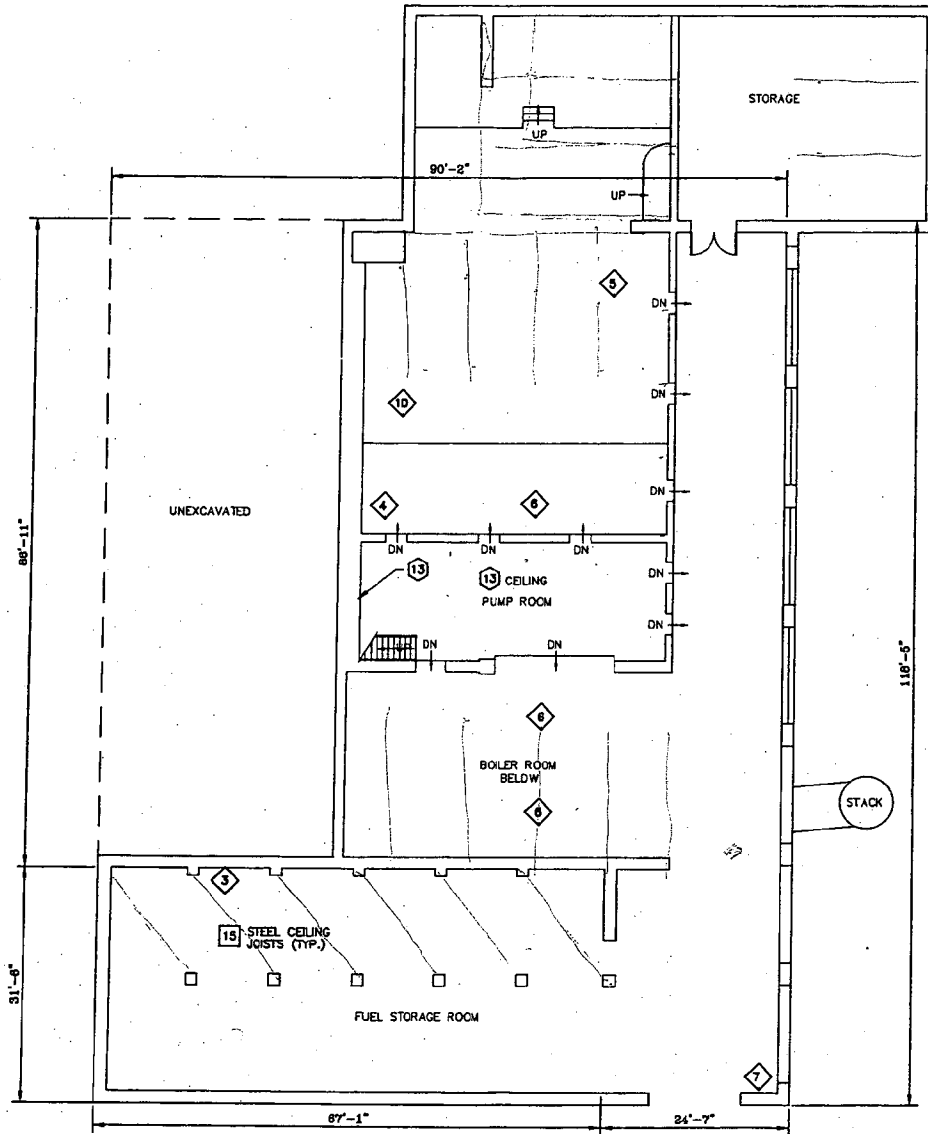


SECOND FLOOR

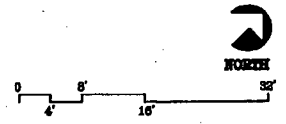


BUILDING #119
VILLA - SECOND, THIRD, AND FOURTH FLOOR PLANS

D-19



SUB BASEMENT

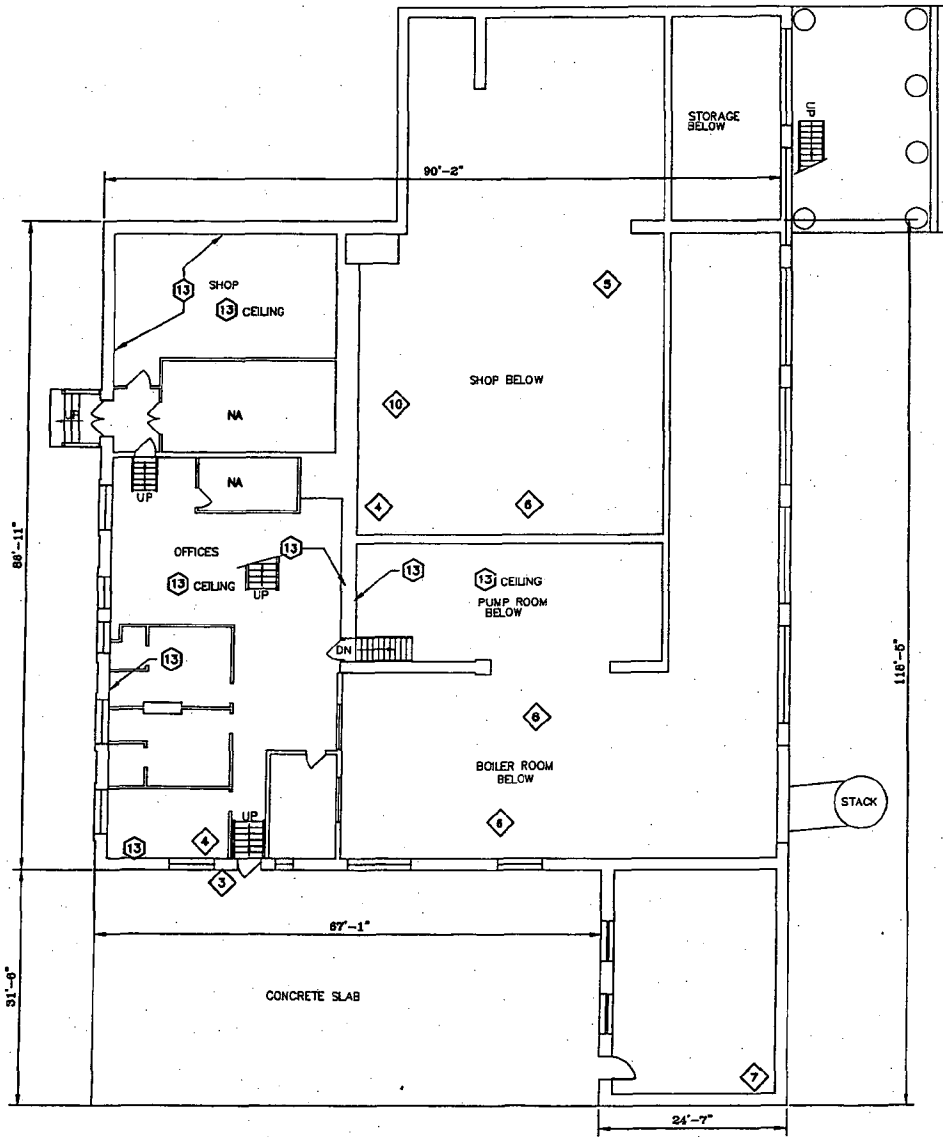


**BUILDING #120
PRACTICE HALL / POWER PLANT**

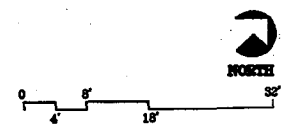
120-9

Forest Glen Annex-WRAMC

D-20



BASEMENT

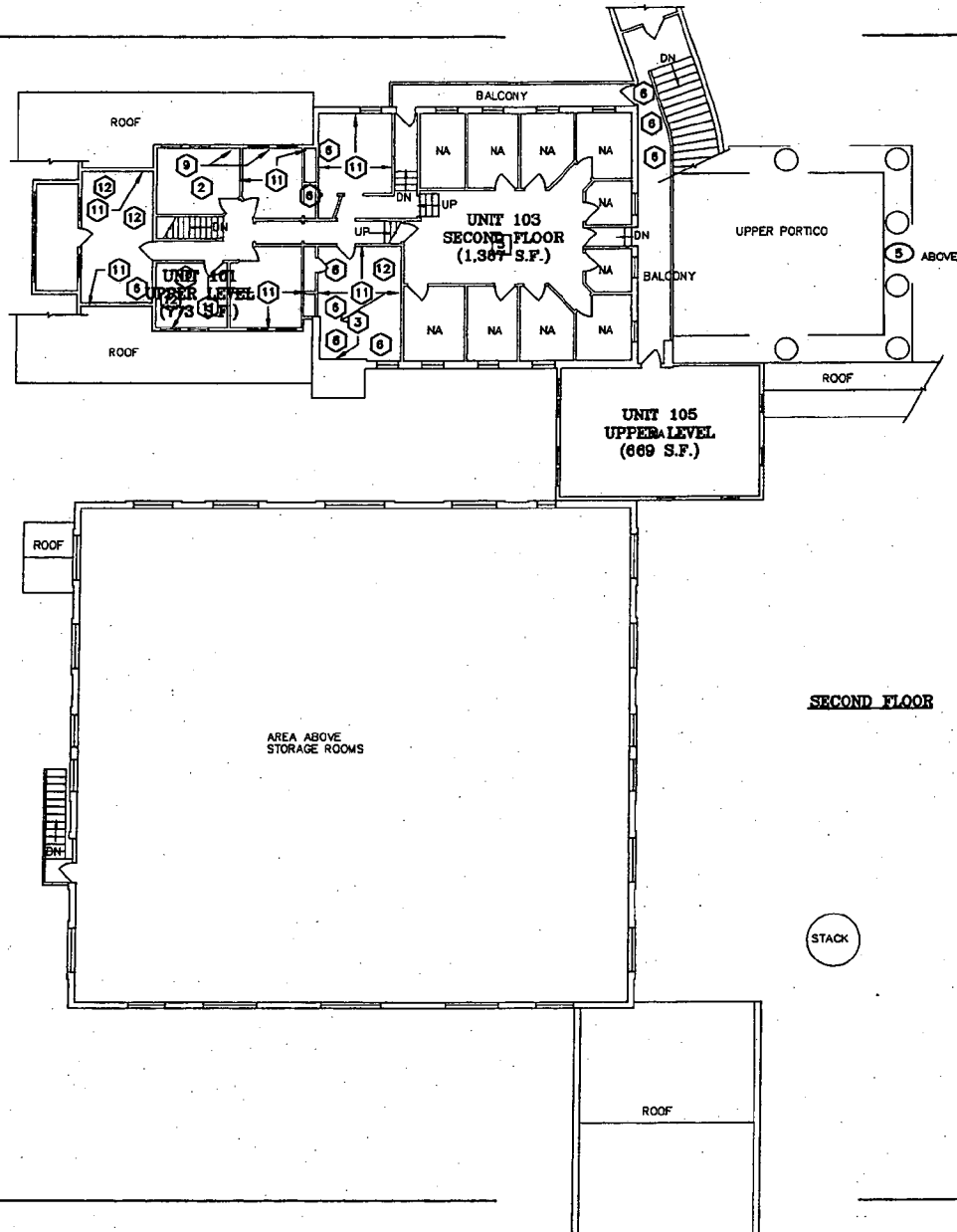


BUILDING #120
PRACTICE HALL / POWER PLANT

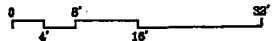
120-11

Forest Glen Annex-WRAMC

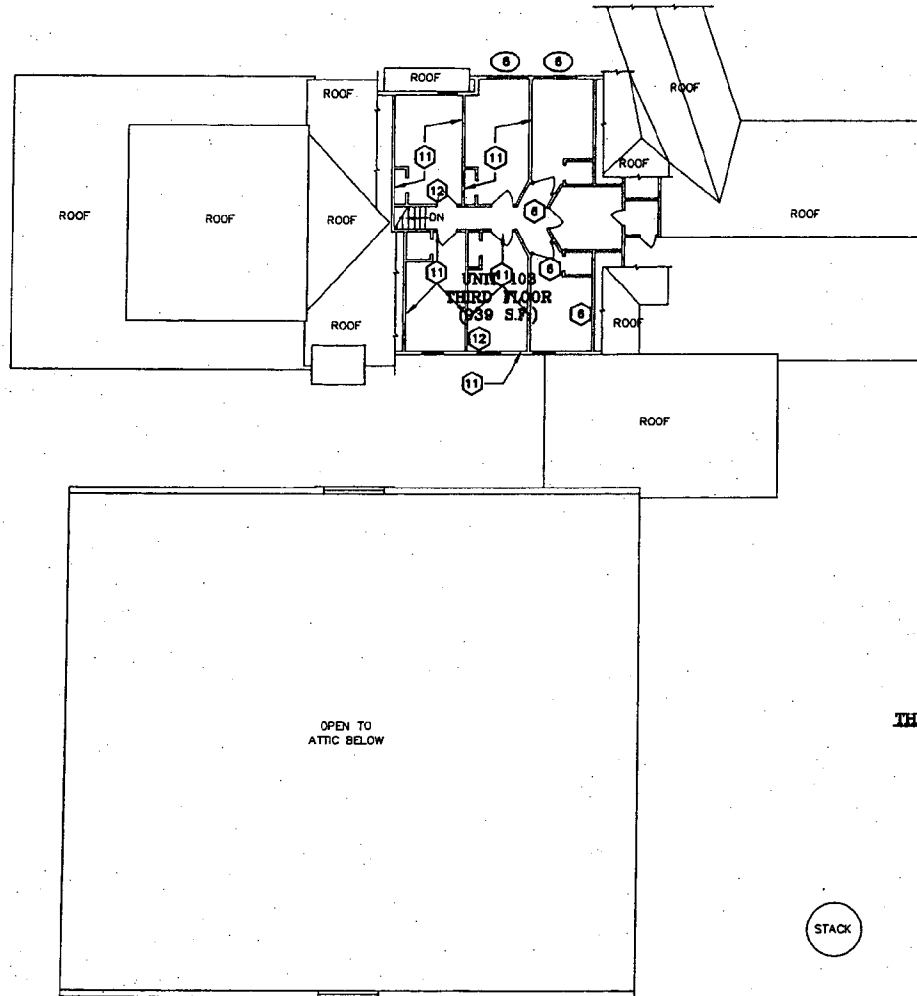
D-21



BUILDING #120
PRACTICE HALL / POWER PLANT

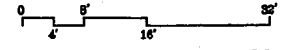


D-22



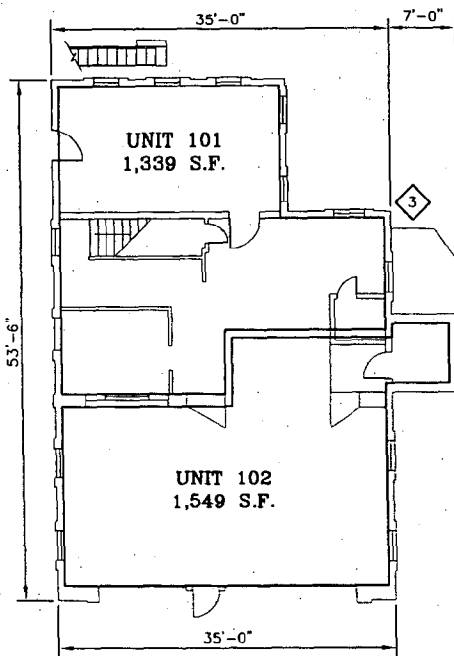
THIRD FLOOR

STACK

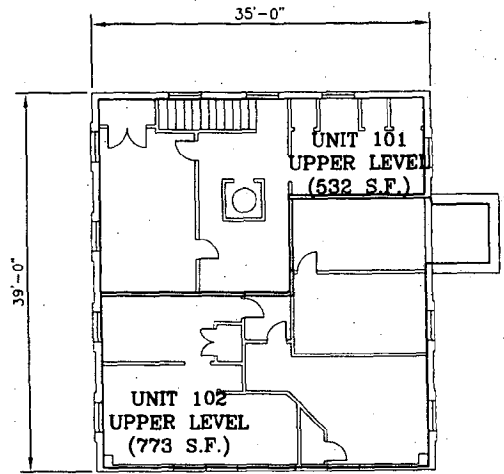


BUILDING #120
PRACTICE HALL / POWER PLANT
120-17

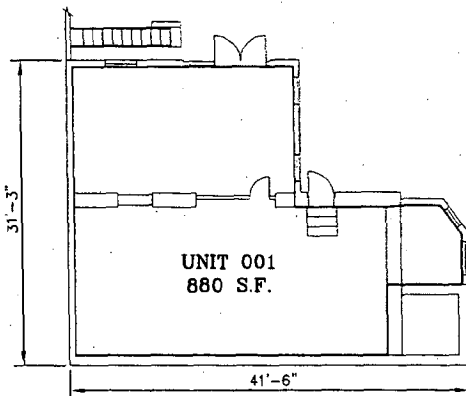
D-23



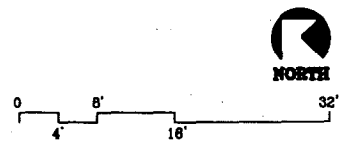
First Floor



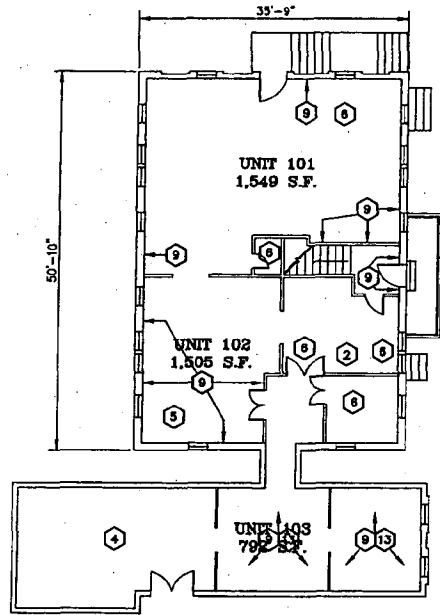
Second Floor



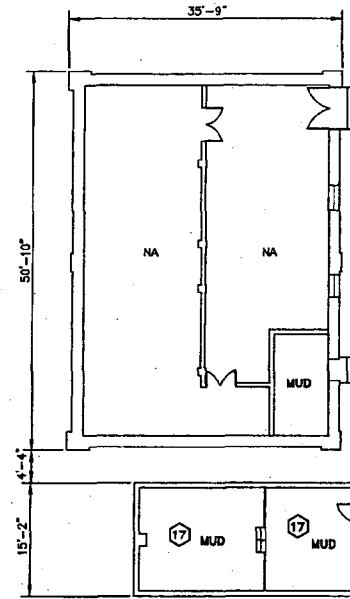
Basement



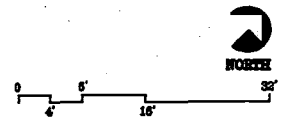
BUILDING #121
CARRIAGE HOUSE (FIRE STATION)



First Floor

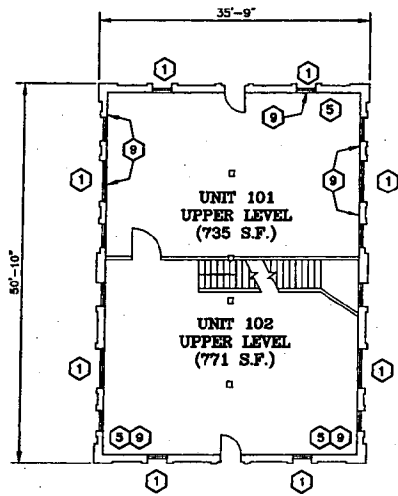


Basement

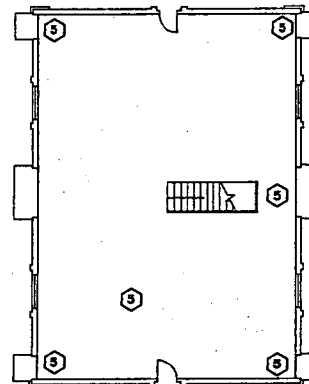


**BUILDING #122
CARPENTRY SHOP**

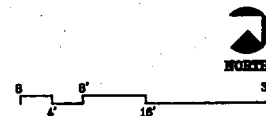
D-25



Second Floor



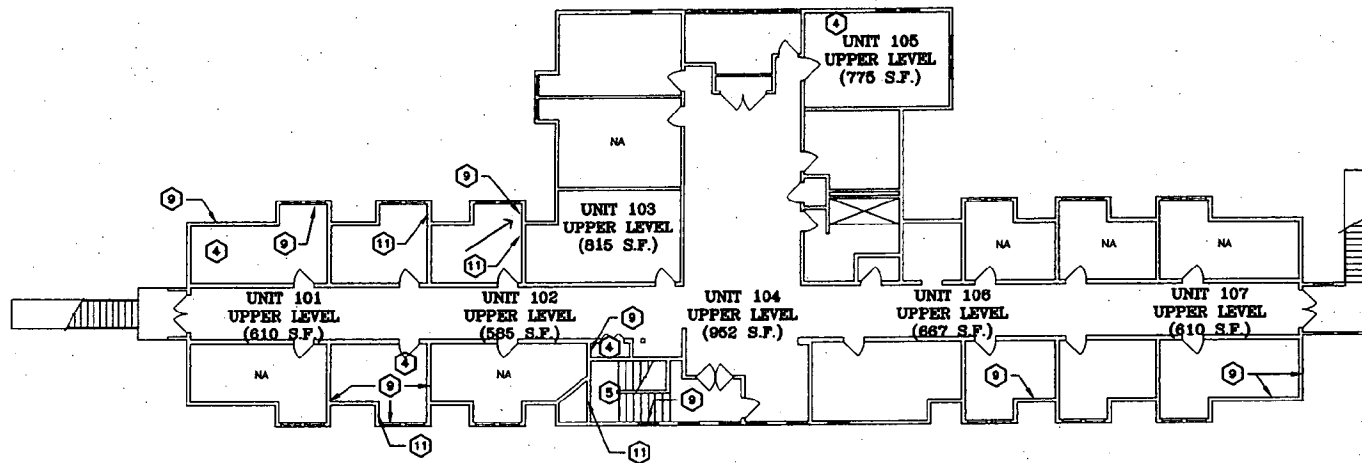
Attic



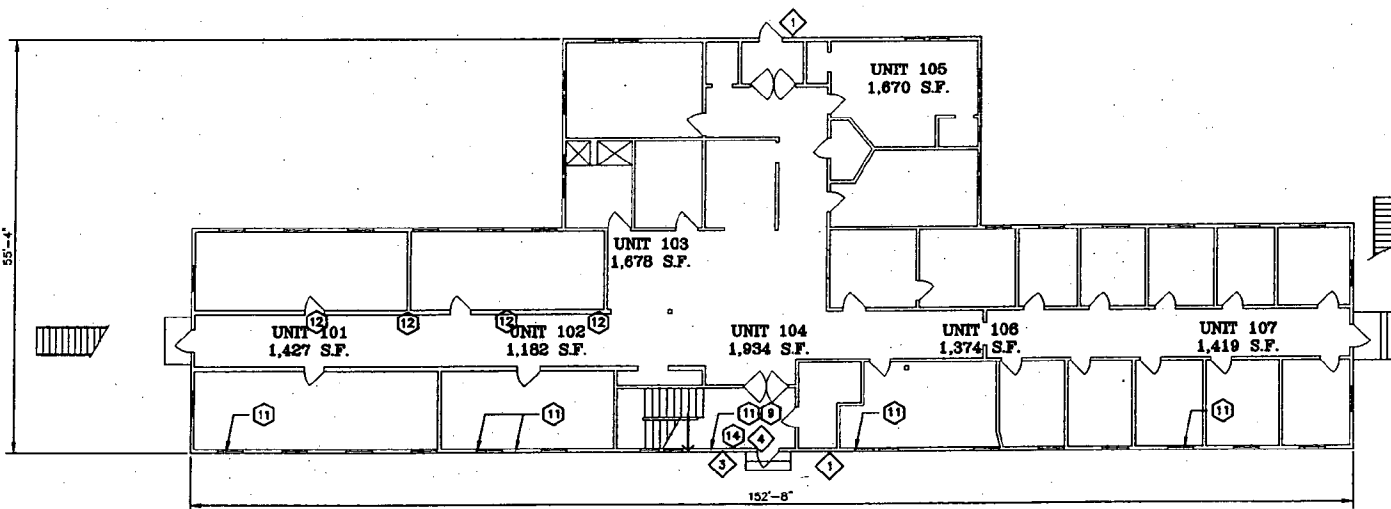
**BUILDING #122
CARPENTRY SHOP**

122-9

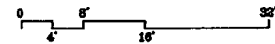
D-26



SECOND FLOOR



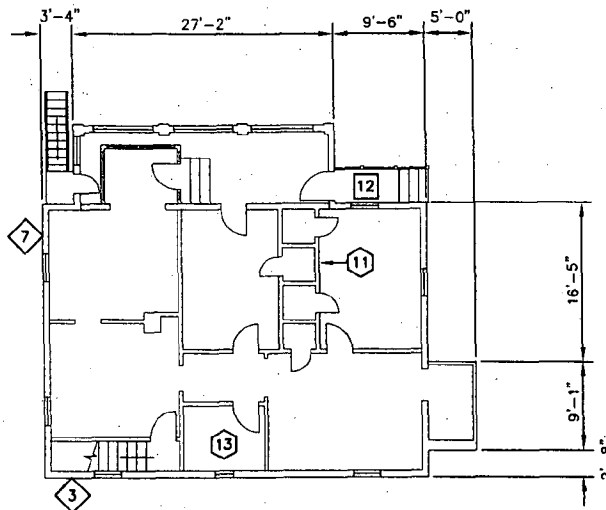
FIRST FLOOR



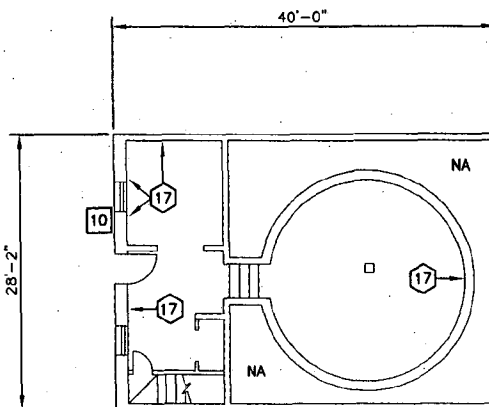
BUILDING #125
STABLES

125-7

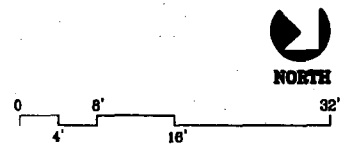
D-27



First Floor
1,127 S.F.

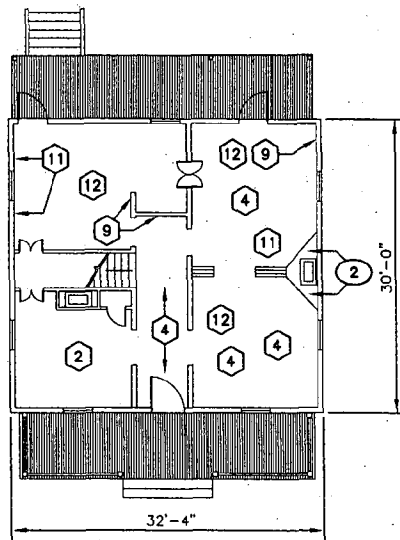


Basement
581 S.F.

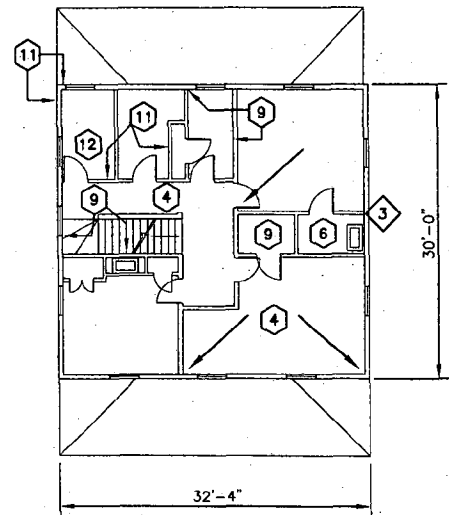


I UNIT = ±1,706

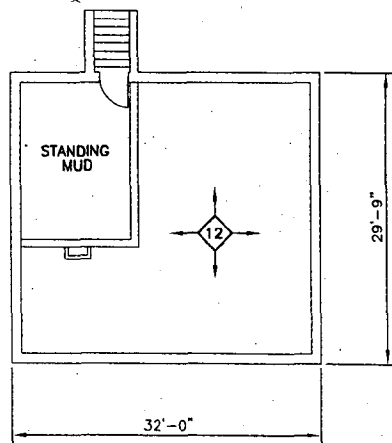
BUILDING #126
POSTMASTER'S HOUSE



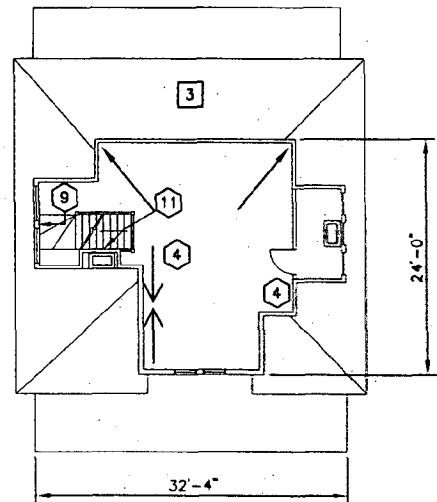
FIRST FLOOR
909 S.F.



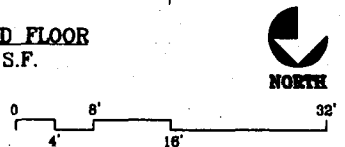
SECOND FLOOR
854 S.F.



BASEMENT

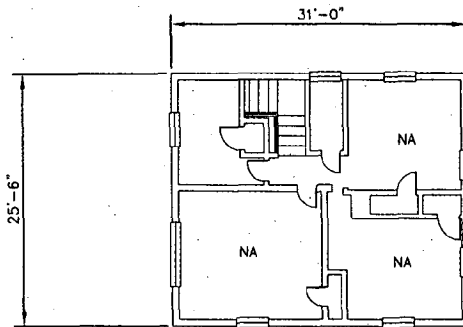


THIRD FLOOR
443 S.F.

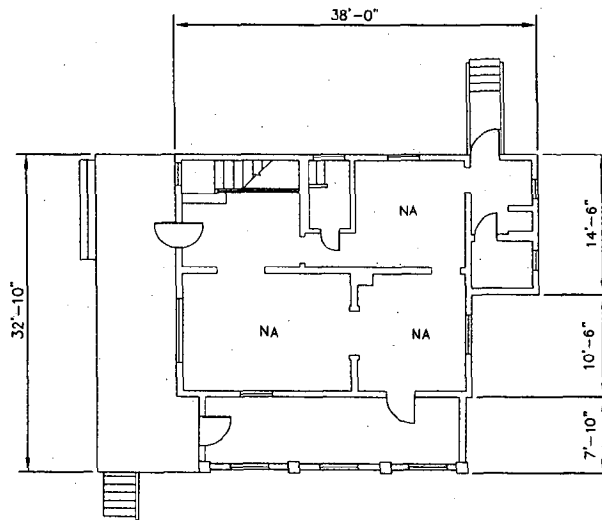


1 UNIT = ±2,206

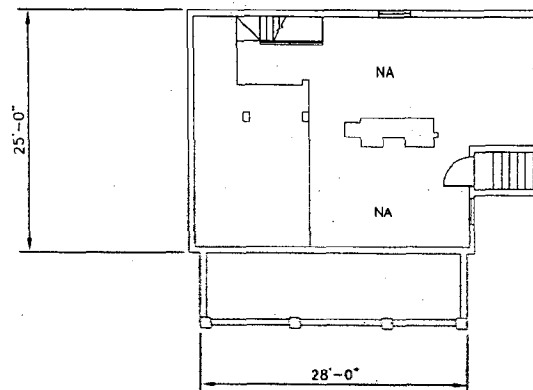
BUILDING #133
THE EDGEWOOD



SECOND FLOOR
717 S.F.

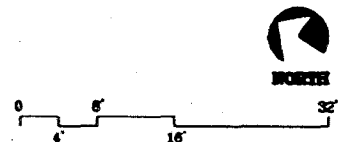


FIRST FLOOR
953 S.F.

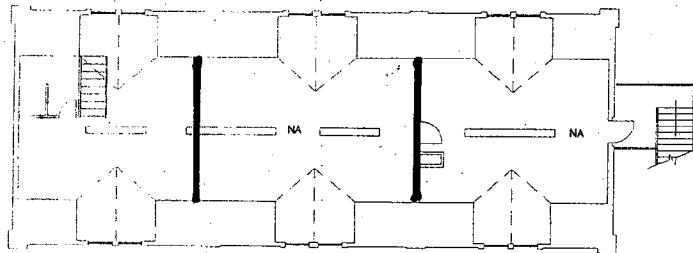


BASEMENT
771 S.F.

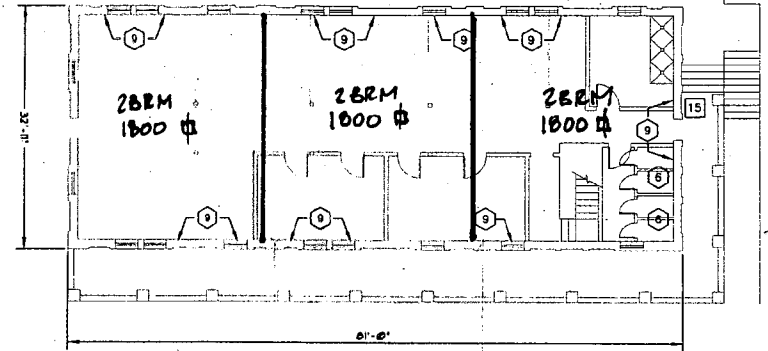
1 UNIT = ±2,441



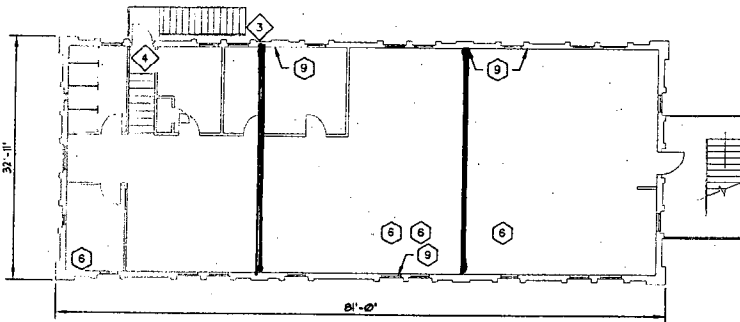
BUILDING #135
CHAUFFER'S COTTAGE



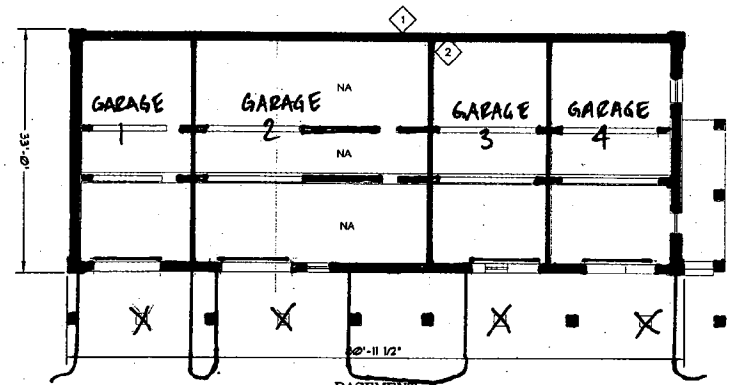
Attic



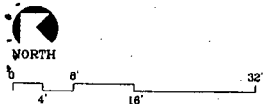
FIRST FLOOR



Second Floor



BASEMENT



BUILDING #138
SERVANT'S QUARTERS

138-8

Facility Condition Assessment



BUILDING #138
SERVANT'S QUARTERS

138-7

Forest Glen Annex-WRAMC

D-31

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	2801 Linden Lane, Silver Spring	Meeting Date:	03/23/05
Applicant:	Forest Glen Ventures, LLC (David G. Vos, Agent)	Report Date:	03/16/05
Resource:	<i>Master Plan</i> Site #36/01 National Park Seminary Historic District	Public Notice:	03/09/05
Review:	HAWP	Tax Credit:	Partial
Case Number:	36/01-05A	Staff:	Tania Tully
PROPOSAL:	Rehabilitation, new construction, and site alterations	RECOMMENDATION:	Conditional Approval

STAFF RECOMMENDATION:

Staff is recommending the following:

1. Support of the site plan as revised with staff providing specific comments for the Planning Board.
 - a. Allow Linden Lane to remain as narrow as possible to retain the historic character of the district.
 - b. Support the fast tracking the reviews of this project for the good of the historic buildings.
 - c. The design of the interpretive signage will be reviewed and approved by HPC staff prior to completion of the project.
 - d. The proposed parking structure will be reviewed through the HAWP process.
 - e. The location and design of the new townhouse construction is conceptually approved. Specific architectural details will be reviewed through the HAWP process.
 - f. The location of the new single-family house is approved. Specific architectural details will be reviewed through the HAWP process.
 - g. Demolition of the Army buildings is conceptually approved, but will require a HAWP.
2. Approval for the rehabilitation of the Main Building.
3. The applicant may proceed to a HAWP for the new construction noted above after receiving approval from the Maryland Historical Trust.
4. The applicant should continue to work with staff on the rehabilitation plans for the remaining buildings.

PROPERTY DESCRIPTION

SIGNIFICANCE: *Master Plan* Historic District
STYLE: Eclectic
DATE: 1887-1942

The subject parcel 880 and part of 394 (just under an acre) encompasses approximately 33 acres and is

roughly bounded by I-495 on the north, a private road that runs parallel to the CSX line on the east, and Linden Lane on the south and west. The neighborhood west of the district consists of single-family residences constructed from the 1920s through the 1980s. The area to the east contains Army warehouses, commercial properties and single-family residences. South of the district is a vacant lot that will be built-out with new construction as part of this project and the Walter Reed Army Medical Center is south and east of that.

HISTORY:

The history of the site as described in the attached prior staff report is referenced herein. (Circles beginning A-41 and B-27)

PROJECT BACKGROUND:

Due to the complex nature of this project, which involves new construction in addition to rehabilitation, and because of the number of buildings, rehabilitation and Historic Area Work Permit (HAWP) applications will be phased. On October 13, 2004, the Commission made recommendations to the Planning Board on the property rezoning and the development plan (Circles beginning A-41). Additionally, the Commission approved the first HAWP for building stabilization with selective demolition (Circles beginning B-27).

Since that time, three important changes have taken place: the development team is in ownership of the property, the Maryland Historical Trust historic preservation easement is in place (Circles 15, 16) , and the zoning change has been approved by the County Council.

PROPOSAL:

1. Rehabilitation of the Main Building (Bldgs 101, 104, 114, 116)
 - Demolition of non-historic brick stairwells
 - Window repair and rehabilitation
 - Window sash and sill replacement as needed
 - Roof top ventilators will be removed
 - Slate roof repair and replacement in-kind
 - Slate roof replacement with fiber-cement or asphalt imitation slate
 - New copper flashing, gutters, and downspouts
 - Clean and repoint exterior masonry
 - Rebuild missing and damaged sections of masonry
 - Repair and preservation of stucco – limited replacement where damaged beyond repair
2. New Condominium Construction
3. New Parking Structure Construction
4. Site improvements including replacement of drive and walkway materials. Most of the existing locations will remain.
5. Site Lighting
6. Landscaping

APPLICABLE GUIDELINES:

The guidelines listed in the attached prior staff report are still applicable and are referenced herein. (Circles beginning B-27)

STAFF DISCUSSION

This is a large and complex project. With this in mind staff has broken down the current proposal into four categories for the Commission's comments and decisions as appropriate. While absorbing the extensive and lengthy application staff would like the Commission to keep these categories in mind so that clear recommendations can be made to the applicants for each one.

A) Site Plan

The site plan currently presented is a refinement of the Development Plan the Commission saw at the October 13, 2004 HPC meeting. The relatively few changes are in response to comments from the Commission, the Maryland Historical Trust, and the National Park Service as well as from other departments within Park & Planning (Environmental, Transportation, etc.). The Commission should specifically note the following modifications to the plan (Circle A-4):

- Surface parking by the Music Hall and the circle has been reconfigured.
- A parking structure is proposed at the end of the Music Hall.
- The Right-of-Way for Linden Lane up to the intersection of Woodstock is 52' rather than 50'. (pavement is 28')
- The Site Plan will be presented to the Planning Board in two phases. The portion of the site by the Italian Villa will be presented with additional detail at a later date.
- A compromise with DPWT has resulted in the Right-of-Way for Linden Lane past the intersection of Woodstock changing to 20' wide on the NPS. At the Pagoda stoop there will be three feet, then curb and gutter, and then 20' of pavement.

Staff is looking for approval of these changes by the Commission. A written description of the site improvements is found on Circle 9. It is important to note that once the Site Plan is approved by the Planning Board, the configuration of elements on the site are locked into place. With this in mind, the Commission should focus on the following areas of the site plan:

- Proposed Parking – Staff is comfortable with the level of parking as proposed. The applicants have worked to pull parking away from the front lawn and tuck it into small chunks throughout the site. Parking locations are also reflective of grade changes and of the location of existing trees. Certainly it would be ideal for there to be no need to have additional parking, but it is a requirement of the residential use that will ultimately preserve the historic buildings.
- Parking Structure – The structure, as seen in Circle A-36 is preliminary in design, but its proposed location and footprint is roughly the same as the surface lot seen previously. Staff accepts the need for the structure and does not object to the location. It would sit at the location of the former Odeon Theater so there is a precedent for a building at this location. On the other hand, staff will need to see more detailed elevation drawings before it could proceed to a HAWP. The current design needs significant revision.
- New Town Homes – The footprints and locations of the proposed townhouses has not changed since October. The new construction within the district is concentrated towards the east end with fewer units in between the Gymnasium and the Maids Quarters/Practice Hall. The scale of the

new construction in comparison with the historic buildings can be seen in the sections provided in Circles C-3. Due to the topography of the site, some of the new buildings will be taller than the Practice Hall and power Plant, but the reduction in the number of units will allow for a better view of the historic buildings from the main entrance off of Linden Lane. In addition, they are smaller in scale than the gymnasium. Most of the infill construction will replace non-contributing concrete block Army-era buildings.

- New Single Family House – A new single-family residence is proposed to the west of the Swiss Chalet due to a slight reduction in land available south of Linden Lane.
- Linden Lane – The Commission has already recommended that Linden Lane be allowed to remain as narrow as possible, and despite the apparent increase in ROW, it is narrower than what the transportation officials would prefer. The applicant has applied for a waiver to allow the 52' ROW. If the road is required to be widened, staff recommends that the Commission support a waiver allowing the widening to be as minimal as possible. Bump-outs and on-street parking are included as measures to reduce traffic speed through the area into the adjacent neighborhoods. The proposed changes to Linden Lane past Woodstock will unify the pavement width at 20' and add curb and gutter. With the bump outs and parking that precede this section, there will be a continuous 20' drive lane through the entire site.

B) Main Building Rehab

The HAWP resulting from this application is for the rehabilitation of the Main Building (101), including Senior House (101b), Senior Annex (101f), the Music Hall (104), the Chapel (114), and Aloha House (116). Most of the work will be either on the interior or repairs and replacement in kind as described in Circles 10-13, however, there are a few exterior changes that necessitate this HAWP (Circles 12 and 14). Staff is recommending approval from the Commission for this massive rehabilitation effort. The project adheres to the Secretary of the Interior's Standards for Rehabilitation favoring retention of historic materials over replacement and sensitive repair of excessively damaged historic material.

In order to aid the review and decision-making process, staff has noted any exterior changes beginning on Circle B-6. Additionally, the applicant has provided annotated photographs on Circle B-2. Items to specifically note include the following:

- A small stucco non-historic addition will be removed from the south side of the east end of the building. (Circle B-8)
- The Army era fire structures will be removed.
- The roofing materials will be repaired and replaced as needed. Some slate will be replaced with imitation slate material as noted on Circles B-2 through B-5.
- Dormers will be rebuilt on the north side of the east end of the building. (Circles B-5 and B-17)
- In-filled arches will be restored to original appearance (Circle B-2).
- The existing wood windows will be retained and repaired where feasible with limited in-kind replacement.
- The existing wood doors will be retained and repaired where feasible with limited in-kind replacement.
- Remaining stained glass windows will be retained and repaired.
- Porches will be retained and repaired.

C) New Construction

At this time, staff is recommending concept approval of the new construction location and design. The applicant will come forward with a new or amended HAWP at a later date. As with the rest of the project,

the applicant has worked very closely with the Maryland Historical Trust on the new construction. Current building locations and massing is based in large part on comments by the MHT Easement Committee and Rehabilitation Tax Credit staff. The façade designs have been similarly influenced. In order to reflect the variety of architecture found within the district, the new construction will consist of three styles: Tudor, Mission, and Colonial Revival. Materials will be modern interpretations of historic materials (Circles C-1 and C-2).

Staff is generally supportive of the design of the new construction and looks forward to further review as more details are provided. The location and massing of the new townhouses is generally sympathetic to the surrounding historic buildings and makes use of the existing topography. While using architectural styles taken from the historic buildings, the designs are not replicative and will be easily distinguishable as new (Beginning on Circle C-4). It is appropriate at this time for the Commission to make general suggestions to the applicants regarding design and materials. Staff notes the following:

- The cornice lines within each block of buildings are irregular.
- Window details are not specified. Staff recommends wood simulated divided light windows with or without aluminum cladding.
- The painted synthetic simulated wood products are not specified. Staff would not support any vinyl or other plastic products.
- The windows on the Colonial Revival buildings are a mix of 4/1 and 9/1. Staff recommends the use of one or the other on each building block.

The additional information that will be needed at the time of HAWP application must include, but is not limited to, the following:

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings and other fixed features of the existing resources and the proposed work.
- Elevations with marked dimensions. All materials and fixtures for the proposed exterior work must be noted on the elevation drawings.
- The site and environmental setting drawn to scale – focusing on the areas of new construction. This will include the dimensions of existing and proposed structures and the location of landscape elements.

D) *Rehabilitation of the Remaining Buildings*

The applicant has provided blocking plans for your initial review (Beginning on Circle D-1). These are very preliminary in nature and will change as the applicants receive further comments on the interior plans from MHT and the resulting exterior components from staff. These drawing are intended to show the proposed use of each of the remaining buildings that will inform the designs.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the conditions stated on Circle 1;

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
340/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAVID VOS
Daytime Phone No.: (608) 268-8112

Tax Account No.: _____
Name of Property Owner: FOREST GLEN VENTURES LLC Daytime Phone No.: (608) 258-5580
Address: 145 EAST BADGER ROAD, SUITE 200 MADISON WI 53713
Street Number City State Zip Code
Contractor: STRUENER BROTHERS ECKLES & FROUSE Phone No.: (443) 573-4080
Contractor Registration No.: _____
Agent for Owner: DAVID G VOS Daytime Phone No.: (608) 268-8112

LOCATION OF BUILDING/PREMISE

House Number: 2801 LINDEN Street: LINDEN LAVE
Town/City: SILVER SPRING Nearest Cross Street: WOODSTOCK COURT
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: REDEVELOPMENT PER PLANS

1B. Construction cost estimate: \$ 45,000,000

1C. If this is a revision of a previously approved active permit, see Permit # 359221

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches (VARIES - SEE PLAN)
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 02/24/05
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edit 6/21/99 SEE REVERSE SIDE FOR INSTRUCTIONS

375455



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached exhibits

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached exhibits

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

1. SITE IMPROVEMENTS

Existing: The National Park Seminary is located on two parcels covering a total of 32 acres and containing a forested glen and two streams. The primary access to the buildings was across three bridges spanning to the north. Access to the front (North) side was terminated when the bridges were demolished through neglect and upon construction of the North Capitol Beltway.

Narrow drives within the site connect to Linden Lane at five different points. Limited parking is available on the South portion of the site. Portions of concrete walkways remain hinting the original connection and orientation to the glen. Stone buttresses and retaining walls remain at the edge of the glen where bridges once crossed.

In addition to the Main Building (Bldgs 101, 104, 114 and 116) there are 19 other historic contributing structures on the site and 4 noncontributing concrete block structures (Bldgs 185-188) and two noncontributing houses (Bldgs 135 & 139) (See the Historic District Plan). Some original specimen trees, statuary, vines and shrubs remain.

Proposed: The site will be subdivided into numerous parcels all deed restricted to ensure historic preservation. The deed restriction will require approval of physical improvements by the Maryland Historic Trust. A neighborhood association, comprised of the owners of all subdivided lots, will be formed to maintain the outlots and community amenities. The forested glen will be the subject of a conservation easement with Montgomery County.

The Main Building (which for this application includes the Senior House (101b), Senior Annex (101f), Music Hall (104), Chapel (114) and Aloha House (116)) will occupy three subdivided parcels. The only portion of the Main Building that is utilized for rental housing is (101a,c,d&e). The remaining portion of the building and the other buildings will be on separately owned parcels and converted into condominiums and single-family homes. Rehabilitation plans for the remaining existing buildings will be submitted HWAP amendments.

New condominiums will be constructed on vacant parcels replacing the noncontributing concrete block structures and in other underutilized areas of the site. The buildings will be of similar scale and style to the existing structures, however, differentiated by modern materials (See the narrative attached to the elevations). The Site Plan, Elevations and Site Sections provide the location and scale of the proposed buildings.

The existing drives and walk locations will be retained as much as possible, however their condition warrants replacement in most areas. A new two level 100 stall parking structure will be constructed to the north of the Music Hall where the Odeon Theater once stood. The structure will be flush with the grade on its south (building) side and be one story above grade on its north (glen) side. The attached parking lot will follow the proximate contours of the existing lawn in order to preserve the existing specimen trees.

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

Parking lot and drive lighting will be modern non-period lighting (See lighting plans).
Landscaping will be provided as identified in the landscape plans.

Drawings: SP1A-SP12, L0-0 – L4-2, L1-1 –5; Building Elevations and Narrative prepared by Lessard Group; Blocking Plan Set for Buildings 107-138, Schematic Documents (Sheets T-1 – A6.7) for the Main Building and Historic District Plan, all prepared by The Alexander Company,

2. BUILDING PLAN

TYPICAL CORRIDORS

Existing: Most floors contain original double loaded corridors with individual or adjoining rooms on each side. Single loaded corridors exist in the Ballroom and in the Music Hall. Noncontributing brick stairwells were added by the Army to eliminate dead end corridors and to reduce exiting distances as required for medical facilities.

Proposed: Many of the brick stairwells that have an adverse effect on the exterior will be demolished and the facade rebuilt to match the original (post Ament era). Many secondary corridors will be shortened to eliminate noncompliant dead end situations. Primary corridors will remain.

Drawings: A2.0-A3.4, A5.1–A5.4

TYPICAL WALLS

Existing: Walls are constructed of wood studs with wood lath and plaster. Plaster conditions vary from fair to unsalvageable depending on the degree of water infiltration and water/steam leaks. Wood trim, base and casing are present in both the hallways and individual rooms. Wainscoting exists in some rooms. Wood trim is in varying condition from good (Ballroom) to unsalvageable (portions a Sectors a,b and d of the Key Plan).

Proposed: Many interior partitions will be selectively demolished to make room for the adaptive reuse or because of their condition. Stub walls and headers will remain in order to provide an indication of their former locations. Wood trim, casing and base will be salvaged and reinstalled on retained and reconstructed walls. Existing plaster walls will be repaired per Specification Section 09950 and new walls drywalled. New base will consist of simple wood sections and vinyl base. New doors will not receive casing.

Drawings: A2.0 - A3.4,

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

TYPICAL CEILINGS

Existing: Wood Ceilings were removed from the main dining area and were replaced with acoustical tiles. The original wood trimmed beams remain and are in varying condition from good to unsalvageable (north portion of Sector e). Wood beams and ceiling in the ballroom remain in good condition. Tin ceilings exist in varying condition in the kitchen area (southeast portion of Sector e). All other ceilings are plaster ceilings of varying condition from fair to unsalvageable)

Proposed: Wood beaded ceilings will be reconstructed in the area of the dining room that is to become the community room. Wood ceilings will be cleaned and refinished in the ballroom. Tin ceilings will be retained in the former kitchen area and refinished. Plaster ceilings will be repaired, when possible per Specification Sections 09950 - 09970, or replaced with drywall. New ceilings will be drywall.

Drawings: A2.0 - A3.3

TYPICAL FLOORS

Existing: Most floors are hardwood floors with the exception of hearths, the former kitchen and the areas where water damage required replacement. Replaced floors were constructed of plywood. The conditions of the floors range from good (ballroom) to unsalvageable (numerous areas). The floors in the Senior house and many of the floors over crawl spaces and steam tunnels have collapsed or are in the process of collapsing. These floors will be completely removed and reframed.

Proposed: Salvageable wood floors will be sanded and refinished in selected areas of the building where the floors are level to an acceptable tolerance (See specification 09550). Corridors will be carpeted to reduce noise. Other flooring will consist of vinyl flooring (all kitchens and baths) and carpet over pad (remaining living rooms, dens and bedrooms) over floor leveling where floors are out of level by more than 1/2" in 10' (See Specification Section 03650).

Drawings: A2.0 - A3.4

TILE

Existing: Some tile remains in original bathrooms and around some fireplaces. Many tile pieces are broken or missing.

Proposed: Salvaged tile will be used to repair fireplace mantels and hearths and to patch floors in areas where bathrooms will remain. (See Specification Section 09300)

Drawings: A2.0- A3.3

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

TYPICAL DOORS

Existing: Most interior doors are in good to fair condition. Exterior doors are in good condition where protected from the elements and in fair to unsalvageable condition elsewhere.

Proposed: Interior doors located in walls that are to be retained will be refinished. Damaged and unoriginal hardware will be replaced with hardware salvaged from doors that were in demolished partitions. Unusable doors facing the corridors will be fixed closed and refinished on the corridor side (new walls will be constructed behind them on the unit side). All retained doors will be repaired and refinished. Replacement doors in existing locations will be milled to match the original. New doors in new partitions will be flush wood doors.

Drawings: A2.0- A3.4 & A7.1- A7.3

TYPICAL WINDOWS

Existing: Most windows are in salvageable condition although many sills, bottom rails and some jambs are damaged beyond repair. One leaded stained glass window remains in the attic of the south side of the main building. Original clerestory windows remain in the kitchen, however original skylights have been removed.

Proposed: Wood windows will be repaired per Specification Section 08615. Unsalvageable sashes and sills will be replaced with identical sections. Windows will be refinished, weather-stripped and re-roped or fixed closed. The stained glass window will be repaired per Preservation Brief 33. Skylights will be replaced with unit skylights and clerestory windows repaired.

Drawings: A5.1 – A5.4

CABINETS

Existing: Some original cabinetry remains although it is generally of simple low quality built-in wood shelving and drawers with little or no detailing. The army installed metal medical and laboratory cabinetry in various locations.

Proposed: Very little shelving or cabinetry will be retained. New cabinets will be plastic laminate with flush doors and wire pulls.

Drawings: A7.1- A7.3

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

HVAC

Existing: Heating is provided via steam heat from the central heating plant. Radiators line the perimeter of the building. Steam piping leaks are commonplace in the building. No air conditioning exists and ventilation was accomplished with roof top power ventilators supplied by large grills in the corridors.

Proposed: All steam piping, condensate lines and radiators will be removed. Roof top and through-wall ventilators and ductwork will be removed where accessible. HVAC will be accomplished via a two-pipe water source system. The boilers will provide heated water in the winter and the chillers will provide chilled water in the summer to the air-handling units in each of the apartments. The air-handlers will be installed horizontally above a dropped soffit in each of the units. Proposed dropped soffit locations will be submitted as an amendment to this Part 2 once the locations are coordinated with the HVAC contractor. (See Specification Section 15500).

Drawings: A5.1

PLUMBING

Existing: Much of the existing plumbing is in poor condition due to freezing conditions. Broken pipes are responsible for much of the water damage that has occurred in the building, especially in the Senior House (Sector b) where floors have collapsed.

Proposed: All plumbing waste, water and vent piping will be removed. Some tubs and pedestal sinks will be retained for reuse on the third floor of the main building where ceiling heights do not permit fiberglass modules. New plumbing including fixtures, equipment and piping will be provided throughout the building.

Drawings: A3.0 – A3.3, A7.2

ELECTRICAL

Existing: Most of the fixtures within the building are unoriginal. Original fixtures are limited to grand spaces such as the ballroom. Electrical service includes cloth-insulated wiring and fuses and must be replaced.

Proposed: Original fixtures will be retained and repaired. New fixtures within the apartments will be limited to can lights and strip fixtures over the vanities. Hallway lighting will be provided with wall sconces and pendant fixtures depending on ceiling height and accessibility. These fixtures will be submitted as an amendment to this Part 2 for approval.

Drawings: A5.1 & A5.4, A7.2

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

ROOF

Existing: The existing roofs are of various constructions. There are slate roofs of many types, sloped metal roofs of two types flat metal roofs, asphalt built-up roofing and shingles. Most of the roofing is leaking and needs to be replaced. Much of the roof decking has rooted out exposing the underside of the slate from the attic spaces, especially near valleys. Gutters and downspouts exist on some roofs and are no longer safely secured.

Proposed: The slate roofs on the front of the building and on turrets and hipped projections (where indicated on the elevations) will be repaired and replaced with salvaged slate material per Preservation Brief 29. Other slate roofs will be replaced with fiber-cement shingles cast from slate patterns or asphalt Slateline shingles per Specification Section 07310 depending on its visibility (slope of the roof height above grade and location) see elevations for locations. Damaged roof deck will be replaced with 3/4" T&G OSB and covered with felt. New copper flashings, gutters and downspouts will be installed to replace the existing.

Drawings: A5.1 – A5.4, A2.5, A3.5

MASONRY

Existing: Most of the masonry is stone although some brick masonry exists mainly on the fireplaces, chimneys and the army-built stairwells. The condition of the masonry walls range from fair to poor condition. Failure of the stone is occurring on the north side of the senior house.

Proposed: The exterior masonry and stone will be cleaned and tuckpointed per the Specifications Section 04500 Masonry Restoration and Cleaning. Missing and badly damaged sections will be rebuilt.

Drawings: A5.1 – A5.4

STUCCO

Existing: The stucco is in fair condition. Caulking is required around decorative wood trim, windows and doors. Damaged stucco exists primarily below leaking balconies

Proposed: Stucco will be preserved and repaired per Preservation Brief 22. Soffits that are damaged beyond repair (under failing balconies) will be replaced with stucco on wire lath or EIFS to match.

Drawings: A5.1 – A5.4



March 4, 2005

Robert L. Ehrlich, Jr.
GOVERNOR

Michael S. Steele
LT. GOVERNOR

Victor L. Hoskins
SECRETARY

Shawn S. Karimian
DEPUTY SECRETARY

Mr. David G. Vos
Alexander Company
145 East Badger Road
Suite 200
Madison, Wisconsin 53713

RE: MHT Easement Committee Review
Forest Glen

Dear Mr. Vos:

Thank you for your letter, received on February 16, 2005, and your appearance before the Easement Committee of the Maryland Historical Trust on February 22, 2005, to explain the progress and request approvals for certain work at Forest Glen.

Based on the recommendation of the Easement Committee, I approve of the work as outlined in your letter. This approval is conditional on the Trust reviewing and approving the final construction documents for these various construction projects. Please submit construction documents for review and approval as they are developed. My comments below follow the same sequence as your letter.

Phasing: As noted in your letter, the first phase of this project will be the construction and rehabilitation south of the Glen and certain utility and stream channel protection work in the Glen during the years from 2005 through 2008. Included at this time are the schematic and rehabilitation plans for the Main Building, Aloha House, Chapel and Music Hall. The work proposed in these areas is acceptable as shown.

Schematic plans for the construction of a new house on Lot 59 and a two level parking structure as well as plans for the remaining historic structures are acceptable, but more detailed plans will need to be submitted for approval.

Selective demolition of the Senior House will now include the removal of the existing roof and the construction of a new roof probably reusing the existing slate on the rebuilt roof. This change from earlier plans is approved.

Phase Two of the project will not occur before 2006 and will include construction of new town homes on lots 65-73; rehabilitation of the Castle; rehabilitation, selective demolition and an addition to the Villa. This work could include reconstruction of the bridge across the Glen. This work is approved conceptually but further details will need to be submitted as the development process moves forward.

DIVISION OF HISTORICAL AND
CULTURAL PROGRAMS

100 Community Place
Crownsville, MD 21032

PHONE 410-514-7600
TOLL FREE 1-800-756-0119
FAX 410-987-4071
TTY/RELAY 711 or 1-800-735-2258
WEB www.mdhousing.org



15

Mr. David G. Vos
Page 2
March 4, 2005

Demolition/Relocation: Six non-contributing structures will be demolished as well as the Poultryman's Cottage. The eastern half of the Italian Villa will also be demolished as part of Phase Two and building 135 will be relocated to Woodstock Court. This work is approved.

Sitework: Much of the existing infrastructure will be demolished including but not limited to steam tunnels, parking lots and roadways. Significant historic elements including many walkways, roadways, gardens, stairs and statuary, etc. will be retained. This is also approved.

This is a very large project and I commend you for your diligence in coordinating and directing the interaction with the Trust. The approvals for the above work are general and conditional where planning is still going on and more specific where plans are formulated, such as the selective demolition of the Senior House. Please be cautious and keep the Trust informed of your actions as they are developing. As you actually begin work in the historic areas, please give us as much notice as possible so that we may be able to do a site visit if necessary.

This project is being coordinated between the Easement office and the Tax-Credit office. Please make sure that they are both kept informed of the plans as they develop. At the moment Collin Ingraham, for Tax-Credits is taking the lead. We look forward to your offer to conduct a site visit later in March.

The above approvals are for one year from the date of this letter. As your plans develop please send them to the Trust for review and approval. For further information please contact Collin Ingraham or Richard Brand at 1-800-756-0119 x7634 or by email at brand@dhcd.state.md.us.

Sincerely,



J. Rodney Little
Director

cc: Collin Ingraham

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7180 Linden Lane	Meeting Date:	10/13/04
Applicant:	Alexander Company	Report Date:	10/06/04
Resource:	Master Plan Site #36/01 National Park Seminary Historic District	Public Notice:	09/24/04
Review:	HAWP	Tax Credit:	No
Case Number:	36/01-04A	Staff:	Tania Tully

PROPOSAL: Building stabilization with selective demolition

RECOMMENDATION: Conditional Approval

BACKGROUND

The National Park Seminary Historic District as it stands today is a combination of many architectural styles and building types constructed over its more than 100-year history. The property was originally part of a large tract of land owned by Daniel Carroll, Commissioner of the District of Columbia. Carroll's brother John, the first Bishop and first Archbishop of the American Roman Catholic Church, began his ecclesiastical career on a different portion of the property in 1772.

In 1887, the Forest Glen Improvement Company built Ye Forest Inne as a resort hotel. By 1893 the Inne had proven to be a financial disaster and was closed. In early 1894 it was leased to John and Vesta Cassidy who converted the Inne into the main building of the National Park Seminary, a finishing school for girls. The majority of the seminary's buildings were built by the Cassedys between 1894 and 1915. This included buildings such as the stone chapel, the gymnasium, the Aloha Dormitory, the Odeon Theater (no longer extant), an Italianate dormitory, and multiple sorority houses depicting architecture from across the globe.

In 1916, James E. Ament took over the seminary adding the ballroom, installing sculptures, and landscaping the grounds. Roy Tasco Davis replaced Ament in the late 1930s converting the Seminary into a junior college. Davis was only able to remain until 1942 when the U.S. Army took the property for use as part of the Walter Reed Army Hospital. In response to a threat of demolition, the site was listed in the National Register of Historic Places in 1972. The Army actively used the site until 1973 and, over the next 20 years, the patients, services, and offices were moved to other Walter Reed Army Medical Center facilities.

As the Army vacated the site, there were significant concerns about neglect and deterioration of the property. The Army discussed the possibility of disposing of the property for nearly 30 years. Two major feasibility studies were completed for re-use of the site (one in 1972 and one in 1995) and the Army undertook a wide variety of studies and documentation efforts in response to federally and state mandated regulations. However, little maintenance of the buildings took place and one major building – the Odeon Theater – was destroyed by arson in 1993. Finally, in approximately 2000, the Army began the process to declare the National Park Seminary as excess and to dispose of it. The Army has been working with the

(B-27)

General Services Administration (GSA) in the effort.

PROPOSAL:

The applicant proposes the following (see also circles 5 & 6):

- Board up all windows and glass doors to within 8' of grade
(All bldgs except Miller Library #115, and Stables #125)
- Install (1) 144" louver on each side of building/floor/3,000 SF of space.
(Louvers to be installed in window openings)
(All bldgs except Miller Library #115, and Stables #125)
- Replace missing downspouts, adjust & clean debris from existing gutters
- Gymnasium #118 – Replace roof decking above W Stair and NE corner
- Villa #119 – Eastern portion of building to be demolished in the future. Maintain drainage from basement to prevent deterioration of the western portion of the building.
- Practice Hall and Power Building #120 – Sheath and stabilize north wall
- Main Building #101 – See attached plans and keyed photo notes (circles 7-16)

In addition, the applicant has requested that “the Historic Preservation Commission appoint a staff person to supervise the work identified in this plan. The staff person should be allowed to permit minor alterations and to approve time sensitive modifications provided that such modifications are necessary in order to save and secure historic fabric and/or protect workers during the implementation of the plan.”

APPLICABLE GUIDELINES:

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

Secretary of the Interior's Standards for Rehabilitation:

- 1# A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- 2# The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- 5# Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6# Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

STAFF DISCUSSION

This Historic Area Work Permit application is the first of several to come forward for this enormous undertaking. The Commission heard the development team's vision for the property at the June 9th meeting. This vision involves minimal demolition and maximum preservation. Appropriately, the intent of this HAWP is the stabilization and mothballing of the historic buildings. Due to the complex nature of this project, which involves new construction in addition to rehabilitation, and because of the number of buildings, rehabilitation will be phased.

As the Commission is aware, the Maryland Historical Trust will hold a historic preservation easement on the property once it is transferred from the federal government and the financing will include state and federal historic preservation tax credits, thus requiring another level of review. As such, much of the information provided by the applicants is beyond our review authority – however, it does help to have the complete picture in order to assess the requests in the HAWP application.

The only work item that warrants discussion at this point is the structural work occurring on the Main Building in Sector "B" (circles 7 & 10). Two floors of the section known as Senior House have completely collapsed and must be stabilized before more of the building is affected. Due to the nature of the collapse, the configuration of the building, and for worker safety debris removal will occur using a backhoe. This necessitates creating temporary holes in the side of the building to allow for access to the collapsed area of the building. As can be seen in Circle 7, the holes are being kept in proportion to the windows and are only as large as necessary. In addition, the existing windows will be stored and re-used in the next phase of the project.

Having seen the damaged sections of the building – inside and out – staff agrees that drastic measures are necessary in this case. The applicant is working in good faith with our office, MHT and the National Park Service to ensure the preservation of these buildings. Because of this, staff recommends that the application be approved and that staff be given the authority to approve emergency measure should they become necessary. The buildings are deteriorating at an alarming rate – time is of the essence.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (3);

and with the *Secretary of the Interior's Standards for Rehabilitation #'s 1, 2, 5, & 6;*

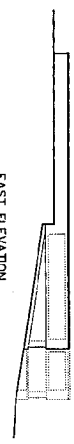
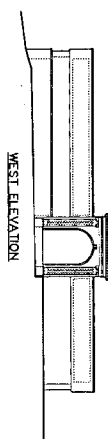
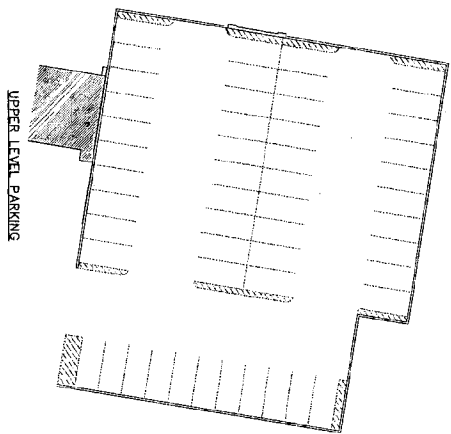
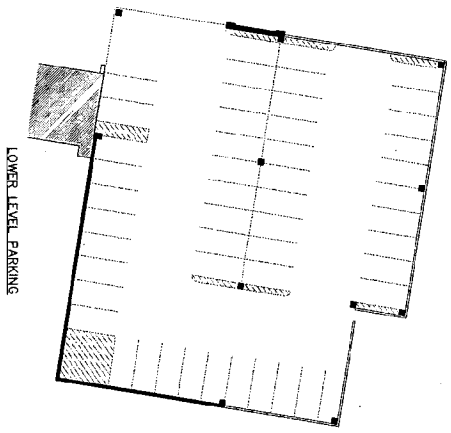
and with the condition that:

The development team will work closely with staff on the work approved in this application. Any minor alterations and time sensitive modifications that are necessary in order to save and secure historic fabric and/or protect workers will be approved by staff prior to implementation.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.

B-29

3-1



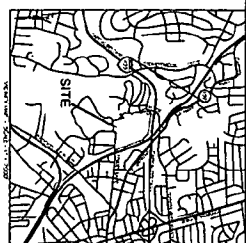
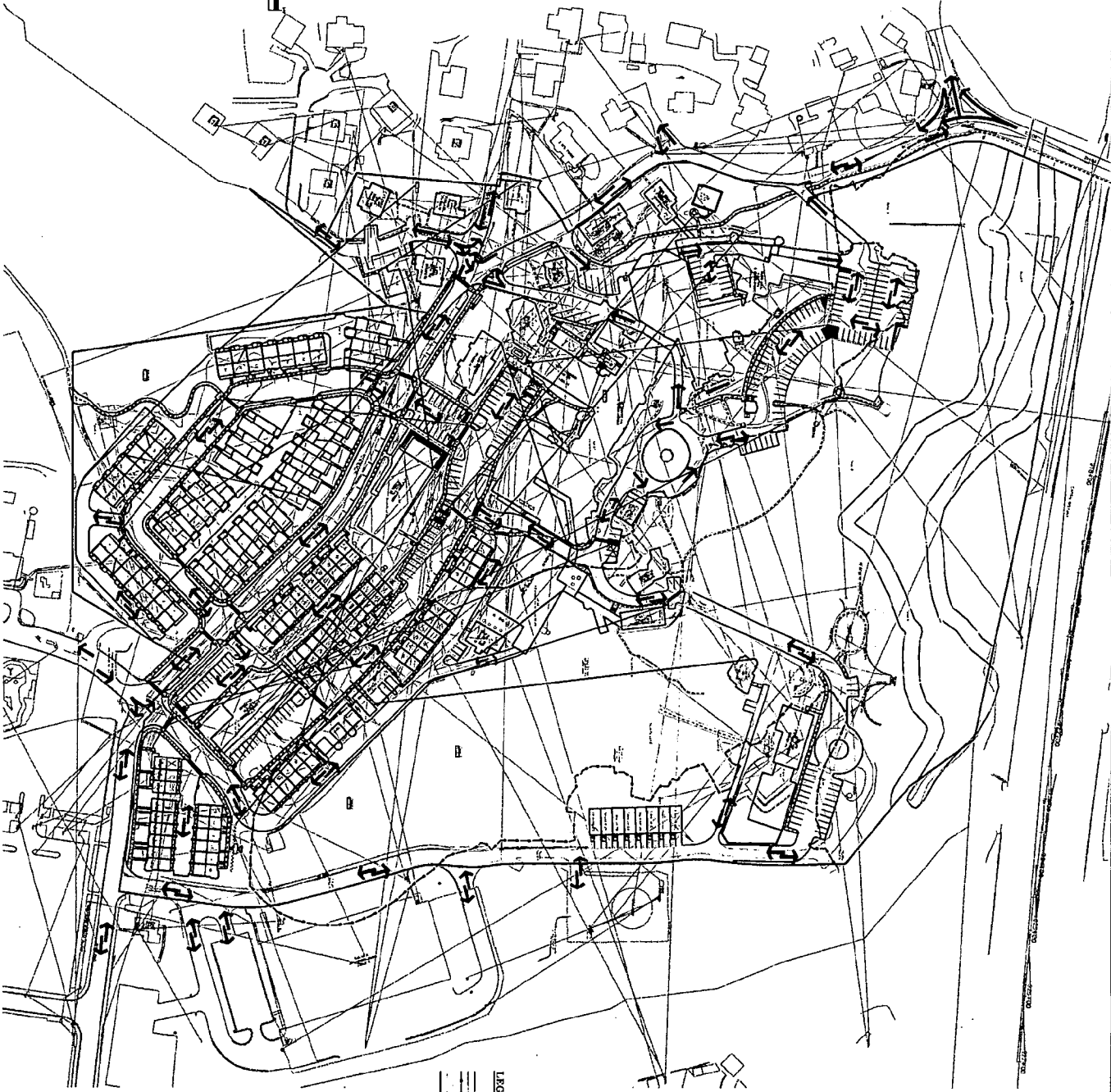
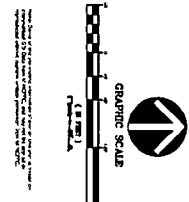
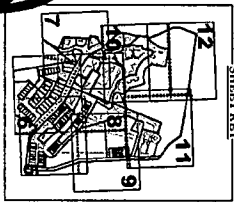
SHEET NO.	DRAWN:	APPR.:	DATE:	SCALE: 1" = 20'
	S-1128			
PROJECT NO.	SCHEMATIC DOCUMENTS			
04-579				

NATIONAL PARK SEMINARY
 MAIN BUILDING
 PARKING GARAGE
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND

PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
 145 E. BADGER ROAD, SUITE 200
 MADISON, WISCONSIN 53713
 TELEPHONE 608-258-5591
 FAX 608-258-5599

A-38



PROPOSED CIRCULATION EXHIBIT
NATIONAL PARK SEMINARY
Phase 1 - (P-05024)

LEGEND

- 1. PROPOSED CIRCULATION
- 2. EXISTING CIRCULATION
- 3. PROPOSED SIDEWALK
- 4. EXISTING SIDEWALK
- 5. PROPOSED BIKEWAY
- 6. EXISTING BIKEWAY
- 7. PROPOSED TRAIL
- 8. EXISTING TRAIL
- 9. PROPOSED DRIVEWAY
- 10. EXISTING DRIVEWAY
- 11. PROPOSED ALLEYWAY
- 12. EXISTING ALLEYWAY
- 13. PROPOSED CONCOURSE
- 14. EXISTING CONCOURSE
- 15. PROPOSED PLAZA
- 16. EXISTING PLAZA
- 17. PROPOSED PAVEMENT
- 18. EXISTING PAVEMENT
- 19. PROPOSED ASPHALT
- 20. EXISTING ASPHALT
- 21. PROPOSED CONCRETE
- 22. EXISTING CONCRETE
- 23. PROPOSED GRAVEL
- 24. EXISTING GRAVEL
- 25. PROPOSED SAND
- 26. EXISTING SAND
- 27. PROPOSED DIRT
- 28. EXISTING DIRT
- 29. PROPOSED ROCK
- 30. EXISTING ROCK
- 31. PROPOSED CURB
- 32. EXISTING CURB
- 33. PROPOSED GUTTER
- 34. EXISTING GUTTER
- 35. PROPOSED MANHOLE
- 36. EXISTING MANHOLE
- 37. PROPOSED SIGN
- 38. EXISTING SIGN
- 39. PROPOSED LIGHT
- 40. EXISTING LIGHT
- 41. PROPOSED FENCE
- 42. EXISTING FENCE
- 43. PROPOSED WALL
- 44. EXISTING WALL
- 45. PROPOSED DOOR
- 46. EXISTING DOOR
- 47. PROPOSED WINDOW
- 48. EXISTING WINDOW
- 49. PROPOSED ROOF
- 50. EXISTING ROOF
- 51. PROPOSED PORCH
- 52. EXISTING PORCH
- 53. PROPOSED PATIO
- 54. EXISTING PATIO
- 55. PROPOSED DECK
- 56. EXISTING DECK
- 57. PROPOSED STAIR
- 58. EXISTING STAIR
- 59. PROPOSED RAMP
- 60. EXISTING RAMP
- 61. PROPOSED ELEVATOR
- 62. EXISTING ELEVATOR
- 63. PROPOSED ESCALATOR
- 64. EXISTING ESCALATOR
- 65. PROPOSED MECHANICAL
- 66. EXISTING MECHANICAL
- 67. PROPOSED ELECTRICAL
- 68. EXISTING ELECTRICAL
- 69. PROPOSED PLUMBING
- 70. EXISTING PLUMBING
- 71. PROPOSED HVAC
- 72. EXISTING HVAC
- 73. PROPOSED INSULATION
- 74. EXISTING INSULATION
- 75. PROPOSED PAINT
- 76. EXISTING PAINT
- 77. PROPOSED FINISH
- 78. EXISTING FINISH
- 79. PROPOSED LANDSCAPE
- 80. EXISTING LANDSCAPE
- 81. PROPOSED TREES
- 82. EXISTING TREES
- 83. PROPOSED SHRUBS
- 84. EXISTING SHRUBS
- 85. PROPOSED FLOWERS
- 86. EXISTING FLOWERS
- 87. PROPOSED GRASS
- 88. EXISTING GRASS
- 89. PROPOSED SOIL
- 90. EXISTING SOIL
- 91. PROPOSED WATER
- 92. EXISTING WATER
- 93. PROPOSED SEWER
- 94. EXISTING SEWER
- 95. PROPOSED GAS
- 96. EXISTING GAS
- 97. PROPOSED TELEPHONE
- 98. EXISTING TELEPHONE
- 99. PROPOSED CABLE
- 100. EXISTING CABLE

PROPOSED CIRCULATION EXHIBIT

NATIONAL PARK SEMINARY
Phase 1 - (P-05024)
13TH ELECTION DISTRICT, SILVER SPRING
MONTGOMERY COUNTY, MARYLAND

PROJECT TEAM

ARCHITECT
A/E/C CONSULTANTS, INC.
1411 W. WISCONSIN AVE.
SUIT 200
COLUMBIA, MD 21046
PHONE: (410) 278-2000
FAX: (410) 278-2001
WWW.AECCONSULTANTS.COM

ENGINEER
MCDERMOTT ENGINEERING
1000 W. WISCONSIN AVE.
SUIT 200
COLUMBIA, MD 21046
PHONE: (410) 278-2000
FAX: (410) 278-2001
WWW.MCDERMOTTENGINEERING.COM

LANDSCAPE ARCHITECT
MCDERMOTT LANDSCAPE ARCHITECTURE
1000 W. WISCONSIN AVE.
SUIT 200
COLUMBIA, MD 21046
PHONE: (410) 278-2000
FAX: (410) 278-2001
WWW.MCDERMOTTLANDSCAPEARCHITECTURE.COM

PLANNING
MCDERMOTT PLANNING
1000 W. WISCONSIN AVE.
SUIT 200
COLUMBIA, MD 21046
PHONE: (410) 278-2000
FAX: (410) 278-2001
WWW.MCDERMOTTPLANNING.COM

PHOTOGRAPHER
MCDERMOTT PHOTOGRAPHY
1000 W. WISCONSIN AVE.
SUIT 200
COLUMBIA, MD 21046
PHONE: (410) 278-2000
FAX: (410) 278-2001
WWW.MCDERMOTTPHOTOGRAPHY.COM

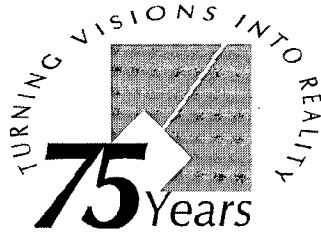
VIDEOGRAPHER
MCDERMOTT VIDEOGRAPHY
1000 W. WISCONSIN AVE.
SUIT 200
COLUMBIA, MD 21046
PHONE: (410) 278-2000
FAX: (410) 278-2001
WWW.MCDERMOTTVIDEOGRAPHY.COM

SCULPTOR
MCDERMOTT SCULPTURE
1000 W. WISCONSIN AVE.
SUIT 200
COLUMBIA, MD 21046
PHONE: (410) 278-2000
FAX: (410) 278-2001
WWW.MCDERMOTTSCULPTURE.COM

PAINTER
MCDERMOTT PAINTING
1000 W. WISCONSIN AVE.
SUIT 200
COLUMBIA, MD 21046
PHONE: (410) 278-2000
FAX: (410) 278-2001
WWW.MCDERMOTTPAINTING.COM

CONTRACTOR
MCDERMOTT CONTRACTING
1000 W. WISCONSIN AVE.
SUIT 200
COLUMBIA, MD 21046
PHONE: (410) 278-2000
FAX: (410) 278-2001
WWW.MCDERMOTTCONTRACTING.COM

DATE: March 22, 2023	SCALE: 1"=40'	PROJECT NO: 189	SHEET NO: Q-2
----------------------	---------------	-----------------	---------------



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

October 6, 2004

MEMORANDUM

TO: Montgomery County Historic Preservation Commission

FROM: Tania Georgiou Tully, Senior Planner
Historic Preservation Section

SUBJECT: Application to Rezone the National Park Seminary Historic District (*Master Plan* Site #36/01)

STAFF RECOMMENDATION

Support the current application (G-828) to rezone the National Park Seminary from R-90 to PD-15.

BACKGROUND

The National Park Seminary was designated to the *Master Plan for Historic Preservation* in 1979. The property, currently owned by the U.S. Army, will be transferred in the near future to Forest Glen Venture, LLC, a development team devoted to the adaptive reuse of the historic buildings.

In approximately 2000, the Army began the process to declare the National Park Seminary as excess and to dispose of it and has been working with the General Services Administration (GSA) in the effort. Initially, it was not clear as to what role the Montgomery County government wished to play in the excessing process. However, in the last two years, the county – through the Executive’s Office of Planning Implementation – has taken an active role in working to find a development team to undertake the rehabilitation and redevelopment of this historic site.

In May 2003, the county issued a Request for Expressions of Interest for the project and a number of qualified development teams responded. A committee of county staff (including Gwen Wright, MNCPPC Historic Preservation Supervisor), Maryland Historical Trust (MHT) staff, and community representatives interviewed several of the development teams and made recommendations to County Executive Doug Duncan about which team seemed most qualified to take on the National Park Seminary project. In December 2003, Mr. Duncan announced that the Alexander Company, in partnership with Eakin/Youngentob, was the selected development team.

This rezoning request is the first of many steps that will enable rehabilitation and reuse of the National Park Seminary.

PROPOSED REZONING

The applicants have requested rezoning the National Park Seminary from R-90 to PD-15, a planned development zone. The purpose of this request is to allow for the higher density needed to help finance the project and allow

for the rehabilitation of the historic properties. The amount of property to be rezoned is approximately 32 acres, the majority of which is within the boundaries of the historic district.

STAFF DISCUSSION

The success of the rehabilitation and re-use of the historic buildings at the National Park Seminary is dependent on many factors including finances. The financing on this project is extremely complex, requiring new construction and the use of State and Federal Historic Preservation tax incentives. This rezoning will allow for the density and number of housing units needed to finance the rehabilitation. All new construction within the historic district proposed as a result of this change would, of course, be subject to HPC review and require an Historic Area Work Permit. It will also need to be reviewed by MHT, which will hold an easement on the property.

Staff supports the rezoning request and recommends that the Commission do the same.

— (A-4)

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7180 Linden Lane	Meeting Date:	10/13/04
Applicant:	Forest Glen Ventures, LLC	Report Date:	10/06/04
Resource:	Master Plan Site #36/01 National Park Seminary Historic District	Public Notice:	09/24/04
Review:	PRELIMINARY SITE PLAN	Tax Credit:	No
Case Number:	N/A	Staff:	Tania Tully

PROPOSAL: Redevelop property for medium density residential use, including new construction.

STAFF RECOMMENDATION

Staff recommends that the HPC support this development proposal with the following comments for the Planning Board:

- Allow Linden Lane to remain as narrow as possible to retain the historic character of the district.
- Support the fast tracking the reviews of this project for the good of the historic buildings.

BACKGROUND

The National Park Seminary Historic District as it stands today is a combination of many architectural styles and building types constructed over its more than 100-year history. The property was originally part of a large tract of land owned by Daniel Carroll, Commissioner of the District of Columbia. Carroll's brother John, the first Bishop and first Archbishop of the American Roman Catholic Church, began his ecclesiastical career on a different portion of the property in 1772.

In 1887, the Forest Glen Improvement Company built Ye Forest Inn as a resort hotel. By 1893 the Inn had proven to be a financial disaster and was closed. In early 1894 it was leased to John and Vesta Cassedy who converted the Inn into the main building of the National Park Seminary, a finishing school for girls. The majority of the seminary's buildings were built by the Cassedys between 1894 and 1915. This included buildings such as the stone chapel, the gymnasium, the Aloha Dormitory, the Odeon Theater (no longer extant), an Italianate dormitory, and multiple sorority houses depicting architecture from across the globe.

In 1916, James E. Ament took over the seminary adding the ballroom, installing sculptures, and landscaping the grounds. Roy Tasco Davis replaced Ament in the late 1930s converting the Seminary into a junior college. Davis was only able to remain until 1942 when the U.S. Army took the property for use as part of the Walter Reed Army Hospital. In response to a threat of demolition, the site was listed in the National Register of Historic Places in 1972. The Army actively used the site until 1973 and, over the next 20 years, the patients, services, and offices were moved to other Walter Reed Army Medical Center facilities.

A-43

As the Army vacated the site, there were significant concerns about neglect and deterioration of the property. The Army discussed the possibility of disposing of the property for nearly 30 years. Two major feasibility studies were completed for re-use of the site (one in 1972 and one in 1995) and the Army undertook a wide variety of studies and documentation efforts in response to federally and state mandated regulations. However, little maintenance of the buildings took place and one major building – the Odeon Theater – was destroyed by arson in 1993. Finally, in approximately 2000, the Army began the process to declare the National Park Seminary as excess and to dispose of it. The Army has been working with the General Services Administration (GSA) in the effort.

SITE DESCRIPTION

SIGNIFICANCE: *Master Plan Site #36/01*
STYLE: *Varies – Tudor, Colonial, Greek Revival, Italianate, etc...*
DATE: *1887-1927*

The subject parcel 880 and part of 394 (just under an acre) encompasses approximately 33 acres and is roughly bounded by I-495 on the north, a private road that runs parallel to the CSX line on the east, and Linden Lane on the south and west. The neighborhood west of the district consists of single-family residences constructed from the 1920s through the 1980s. The area to the east contains Army warehouses, commercial properties and single-family residences. South of the district is a vacant lot that will be built-out with new construction as part of this project and the Walter Reed Army Medical Center is south and east of that.

PROPOSAL:

The applicant is proposing to redevelop the National Park Seminary as a residential neighborhood consisting of no more than 280 dwelling units with many of them located within the existing historic buildings. The Development Plan (Circle 5) is broken into 2 parcels; Parcel 2 is not within the historic district (Circle 12). The breakdown of residential units on Parcel 1 is as follows:

- 18’x40’ Townhouse..... 51
- Front-load Townhouse..... 8
- Single-family Detached..... 13
- Multiple-family, 4 stories or less..... 135
- Multiple-family, over 4 stories..... 31
- Total units within Historic District ... 238

These numbers may be revised and changed as the site plan review process proceeds, but the total number of residential units on both parcels will not exceed 280.

STAFF DISCUSSION

Because of the size and complexity of this project the applicant is working with M-NCPPC staff to expedite and streamline the permitting and approval processes. The plan as submitted today is not the first iteration and is not the last, however, it has changed from what the Commission saw at the June 9, 2004 briefing (Circle 11). The changes are in response to comments from the Commission, the Maryland Historical Trust, and the National Park Service as well as from other departments within Park & Planning



(Environmental, Transportation, etc.). The major changes to and challenges with the site with are the new construction and the required parking. In an ideal world the development team would be able to finance the rehabilitation and adaptive reuse of the historic buildings without the need for new construction on the historic site – this is not the case.

In order to reduce the size of the parking lot in the former front lawn of the main building, spaces have been tucked into corners throughout the site. The new construction within the district is concentrated towards the east end with fewer units in between the Gymnasium and the Maids Quarters/Practice Hall. Eight units are now proposed along the private drive leading to the Villa rather than one or two and the east end of the Villa is still proposed for demolition at a later date. A new single-family residence is proposed to the west of the Swiss Chalet due to a slight reduction in land available south of Linden Lane.

At this time (assuming that stabilization measures for the historic properties are put in place) only the west end of the Villa, a collapsed portion of Main (see HAWP 36/01-04A), some of the Army constructed stair towers, and four non-contributing buildings are proposed for demolition. The applicant is moving forward on applications for State and Federal Historic Preservation Tax Credits and is well aware of the Preservation Easement that will be in place once they obtain ownership of the property.

The scale of the new construction in comparison with the historic buildings can be seen in the sections provided in circles 7-10. Due to the topography of the site, some of the new buildings will be taller than the Practice Hall and power Plant, but the reduction in the number of units will allow for a better view of the historic buildings from the main entrance off of Linden Lane. In addition, they are smaller in scale than the gymnasium. Most of the infill construction will replace non-contributing the concrete block Army-era buildings.

One of the issues of concern to staff and neighboring residents is the proposed road widening currently being required by the Department of Public Works and Transportation. Linden Lane is a narrow road and historically was the back door to the Seminary and several of the historic buildings are already set very close to the existing road. Staff believes that widening the road has the potential to decrease the historic character of the district and its connection with surrounding neighborhoods. If the road is required to be widened, staff recommends that the Commission support a waiver allowing the widening to be as minimal as possible.

Staff is supportive of this plan and will continue to work with the applicant as the plan is tweaked in response to concerns by other departments. At this time, though, the applicant is seeking the Commissions approval of the current proposal. If there were substantive changes the plan would be brought back before the Commission, but the applicant needs a positive recommendation from the Commission in order to proceed with design of the new construction.

31-48

Tully, Tania

From: vosd [dgv@alexandercompany.com]
Sent: Monday, August 02, 2004 10:41 AM
To: Tully, Tania
Subject: FW: Forest Glen Seminary

-----Original Message-----

From: vosd [mailto:dgv@alexandercompany.com]
Sent: Monday, August 02, 2004 9:15 AM
To: Tania Georgiou Tully (E-mail)
Subject: Forest Glen Seminary

Tania: We will be meeting with Collin and a structural engineer at 1:00 tomorrow (Tuesday) to determine the extent of selective demolition on the Senior house. We plan to perform this selective demolition as soon as we take possession in mid September. A section of two floor levels has collapsed and a portion of the exterior wall is buckling and has moved out about 6" in the past two weeks. My fear is that if this section of the building caves in, it may compromise some salvageable sections. We would like to remove this damaged section surgically - but we are in a race against time.

You are welcome to join us on this site visit. Please let me know if we need on get this on the agenda for the Historic Preservation Commission in order to get our demolition permit. I have attached some photos that I took last month for your review.



Floor condition Floor condition
(6-24-04) 011....(6-24-04) 013....

David G. Vos, AIA
Development Project Manager
The Alexander Company, Inc
145 E. Badger Road
Suite 200
Madison, WI 53713
(608) 268-8112 (direct dial)
(608) 258-5580 (office)
(608) 258-5599 (fax)

LAP



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Julia O'Malley
Chairperson

Date: January 25, 2007

MEMORANDUM

TO: Forest Glen Venture, LLC
2801 Linden Lane, Silver Spring

FROM: Tania Tully, Senior Planner
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #442114

National Park Seminary

TGT

Your Historic Area Work Permit (HAWP) application for minor exterior modifications to the Practice Hall, Power Plant, and Firehouse was **Approved with Conditions** by the Historic Preservation Commission at its January 24, 2007 meeting.

The conditions of approval were:

1. *The applicant will obtain written approval from the Maryland Historical Trust before submitting drawings to Staff for stamping.*
2. *Major changes will be brought back to the HPC for approval.*

Before applying for a building permit from the Montgomery County Department of Permitting Services (DPS), you must schedule a meeting with your assigned staff person to bring your three (3) final permit sets of drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another local government office before work can begin.

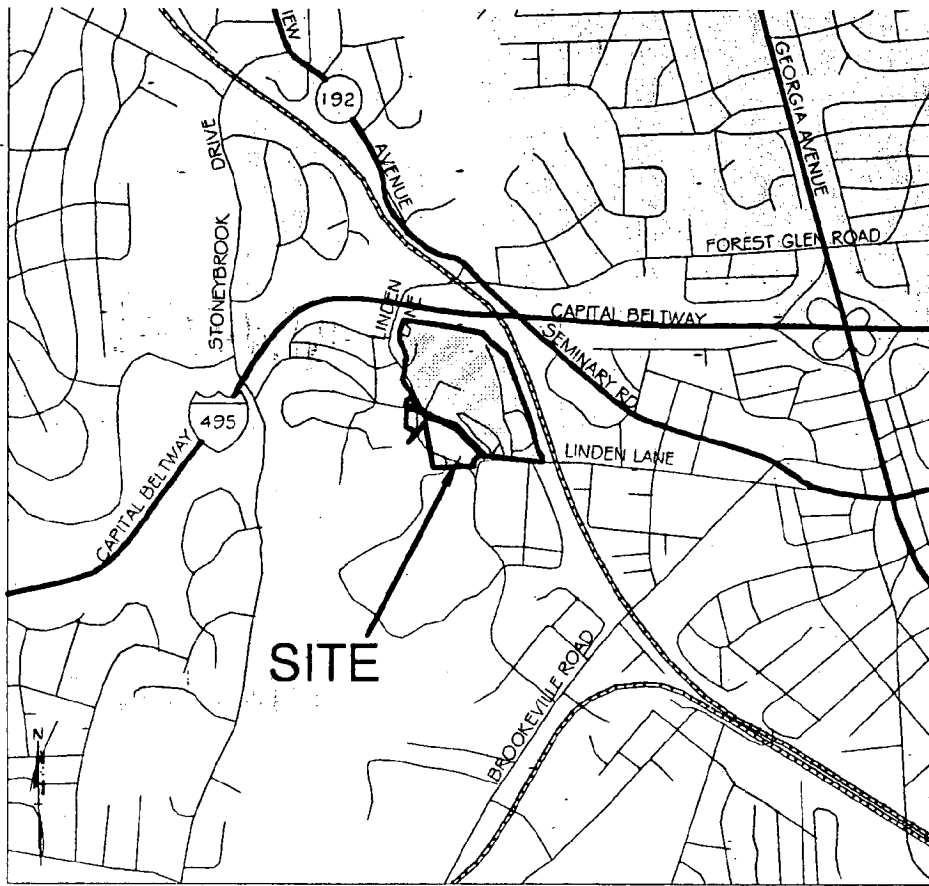
When you file for your building permit at DPS, you must take with you stamped drawings, the official approval letter, and the signed HAWP Application. These forms will be issued when the drawings are stamped by your assigned staff person and are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in **any way** from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!



ARMY
DEMO
OKS



VICINITY MAP - SCALE - 1" = 2000'

EXISTING CONDITIONS PLAN

NATIONAL PARK SEMINARY -Phase 1 - (8-05024)

GENERAL NOTES:

1. Existing paving in areas to remain will be milled & overlaid.
2. Linden Lane to be realigned and improved.

LEGEND

	NATIONAL PARK SEMINARY HISTORIC DISTRICT
	FOREST CONSERVATION ESMT
	INTERPRETATIVE TRAIL ALIGNMENT
	LOD
	BRL
	100YR
	STREAM VALLEY BUFFER
	ELECTRICAL CONDUIT
	EDGE OF PAVEMENT
	FENCE LINE
	NATURAL GAS CONDUIT
	OVERHEAD WIRES
	PROPERTY LINES
	PUBLIC UTILITIES EASEMENTS
	SANITARY SEWER
	STORM DRAIN
	WATER LINE

DEVELOPERS/APPLICANTS:

Alexander Company

145 EAST BADGER ROAD
SUITE 200
MADISON WISCONSIN, 53713
CONTACT: NATALIE BOCK
608-258-5580

Eakin/Youngentob

1000 WILSON BOULEVARD
SUITE 2720
ARLINGTON, VIRGINIA 22209
CONTACT: MATT BIRENBAUM
703-525-5565 x149

ATTORNEY:

LERCH, EARLY & BREWER
3 BETHESDA METRO CENTER
SUITE 460
BETHESDA, MARYLAND 20814
CONTACT: STEVE ROBINS
301-657-0747

ARCHITECT/PLANNER:

LESSARD
ARCHITECTURAL GROUP, INC.
8603 WESTWOOD CENTER DR
SUITE 400
VIENNA, VIRGINIA 22182
CONTACT: JACK McLAURIN
703-770-3577

TRAFFIC:

THE TRAFFIC GROUP
9900 FRANKLIN SQ DRIVE
SUITE H
BALTIMORE, MD 21236
CONTACT: WES GUCKERT
800-583-8411

CIVIL ENGINEER:

2025 1 CENTURY BOULEVARD
SUITE 400
GERMANTOWN, MARYLAND
20874
CONTACTS: CHUCK IRISH &
BILL LANDFAIR
301-916-4100

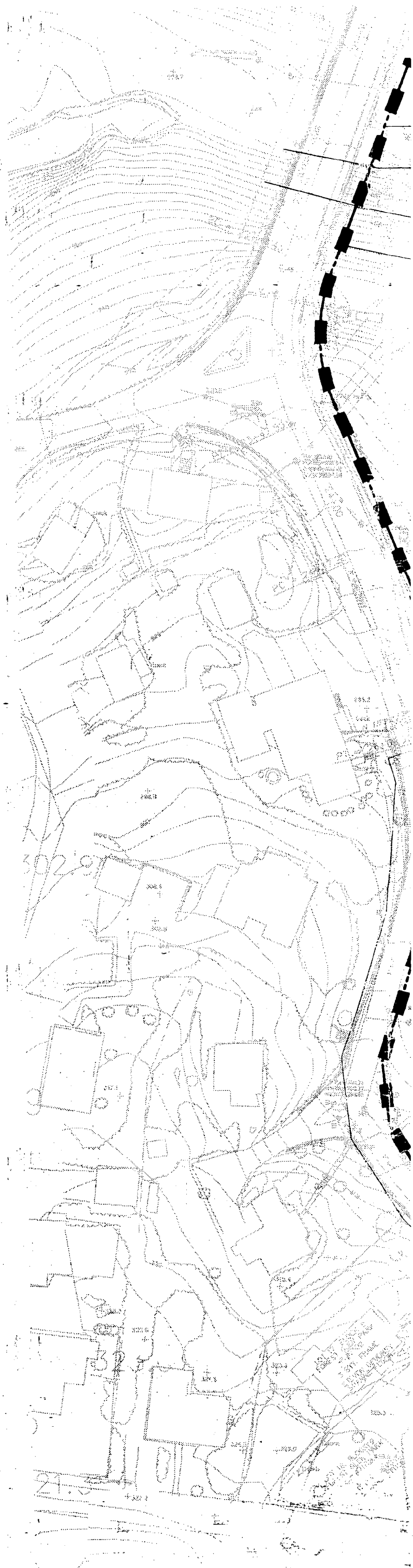
NATIONAL PARK SEMINARY

-Phase 1 - (8-05024)

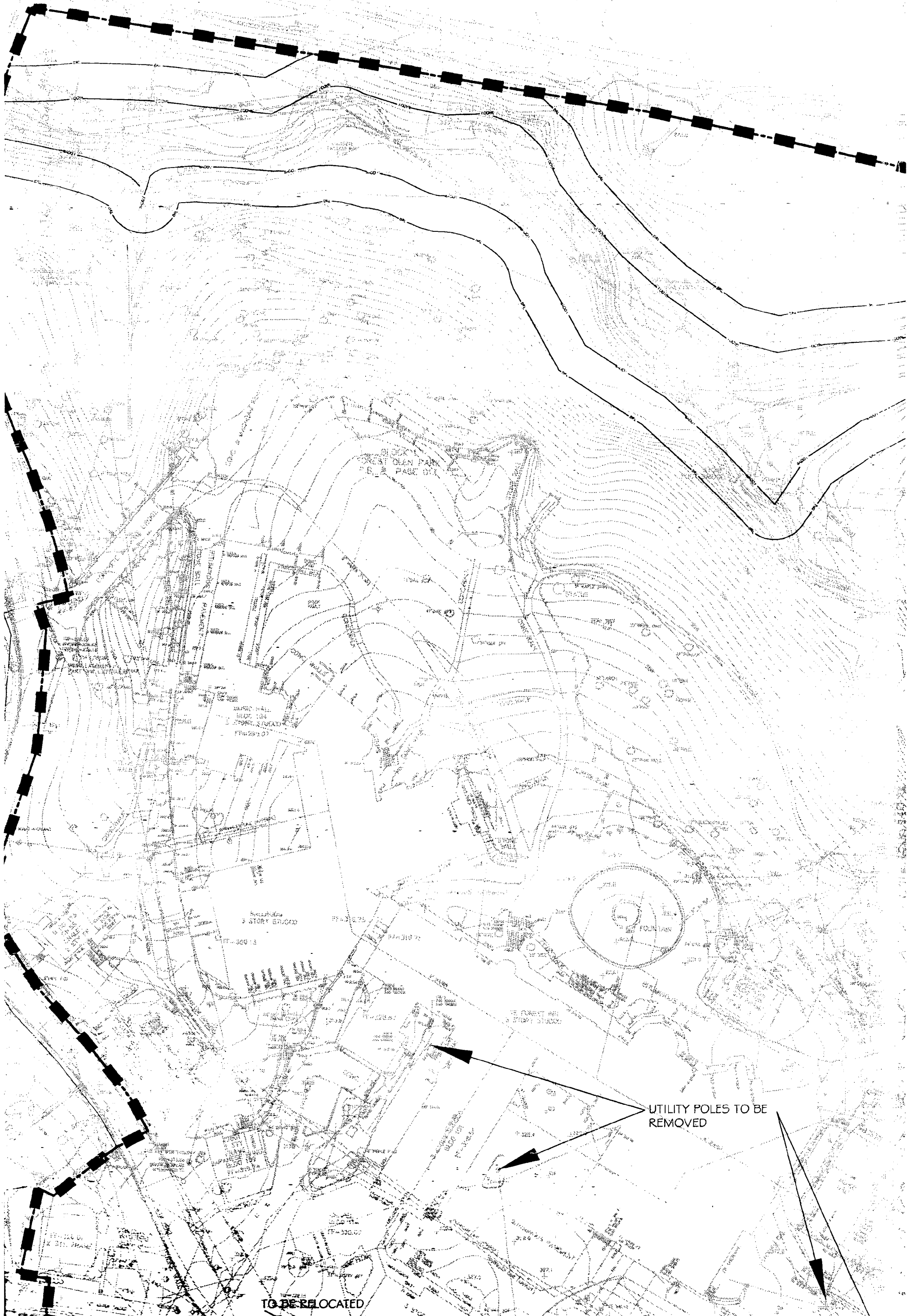
13TH ELECTION DISTRICT, SILVER SPRING
MONTGOMERY COUNTY, MARYLAND

2 - Not
ed in this
ission

1



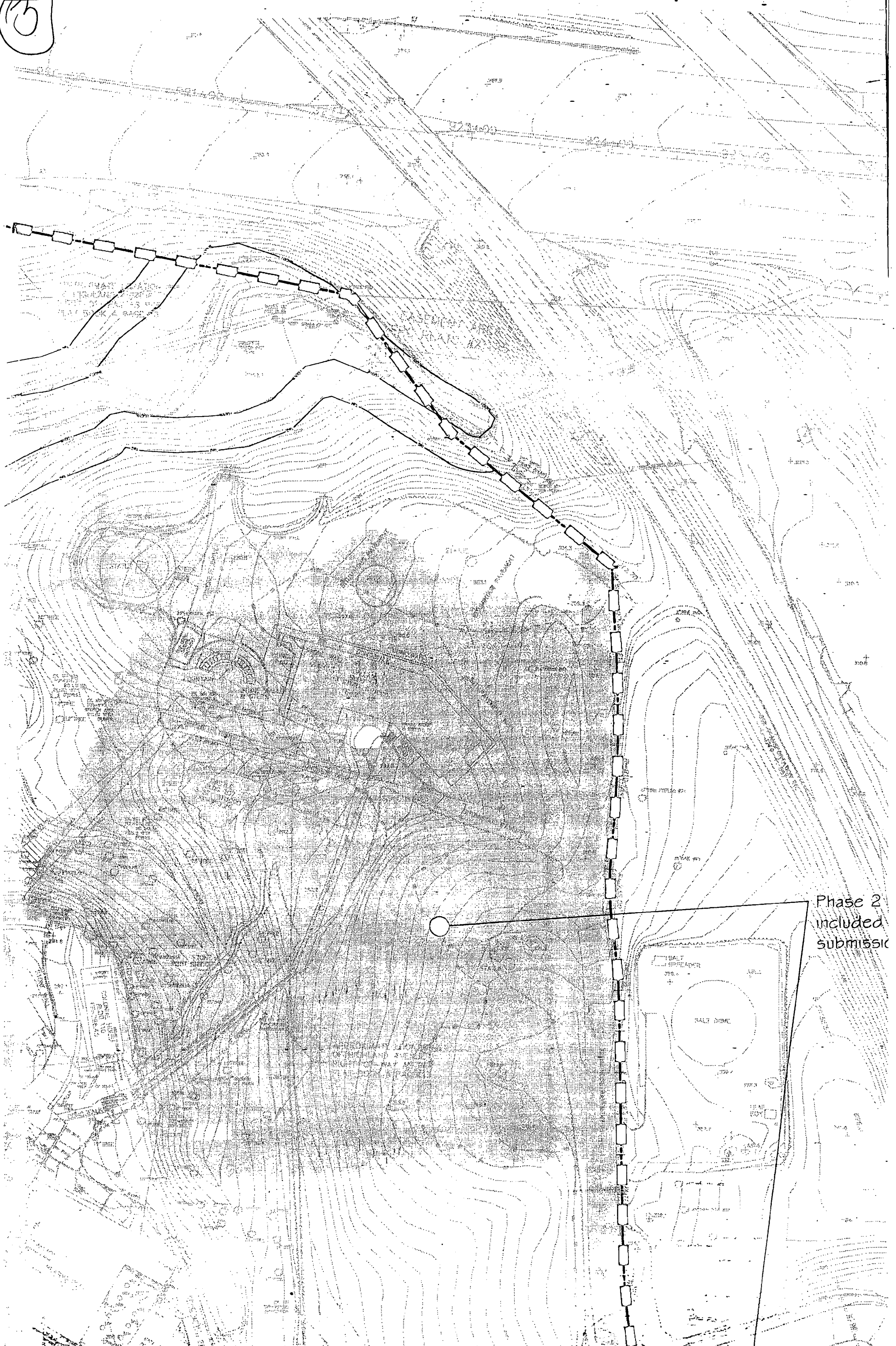
2



UTILITY POLES TO BE REMOVED

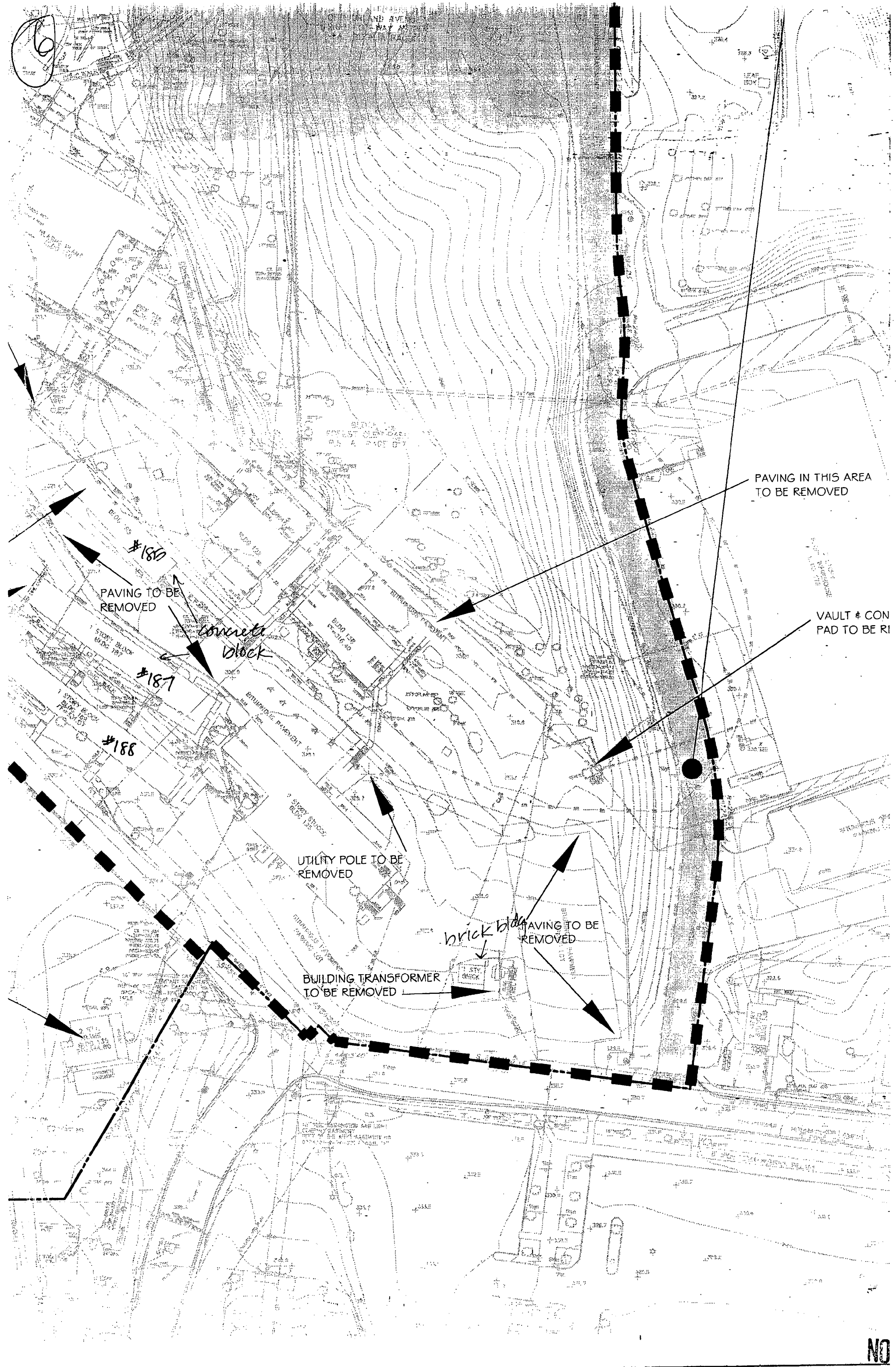
TO BE RELOCATED

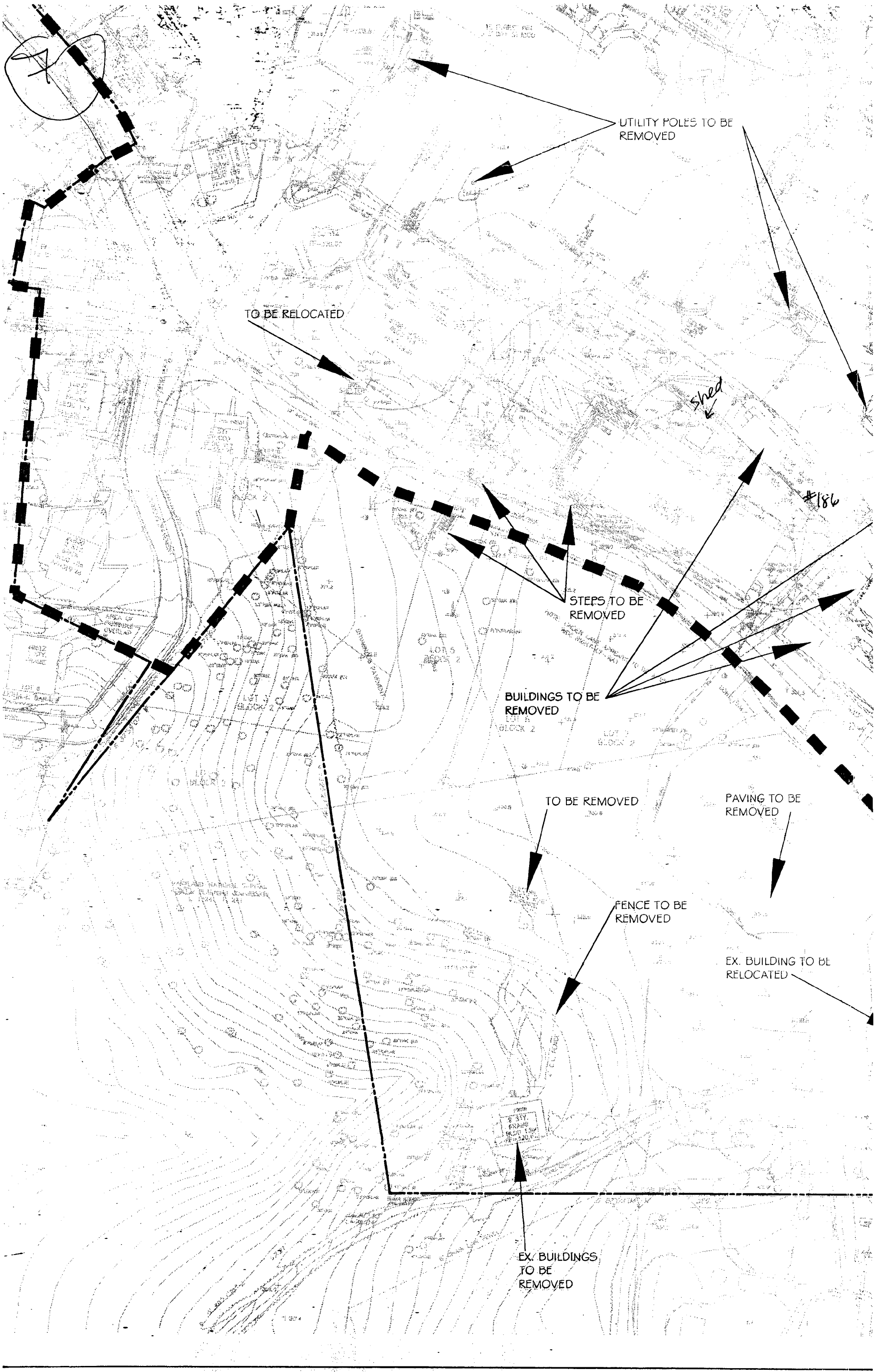
3



Phase 2
included
submissio

6





UTILITY POLES TO BE REMOVED

TO BE RELOCATED

shed

#186

STEPS TO BE REMOVED

BUILDINGS TO BE REMOVED

TO BE REMOVED

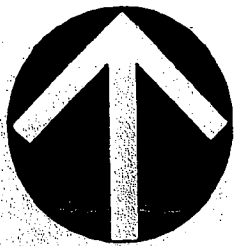
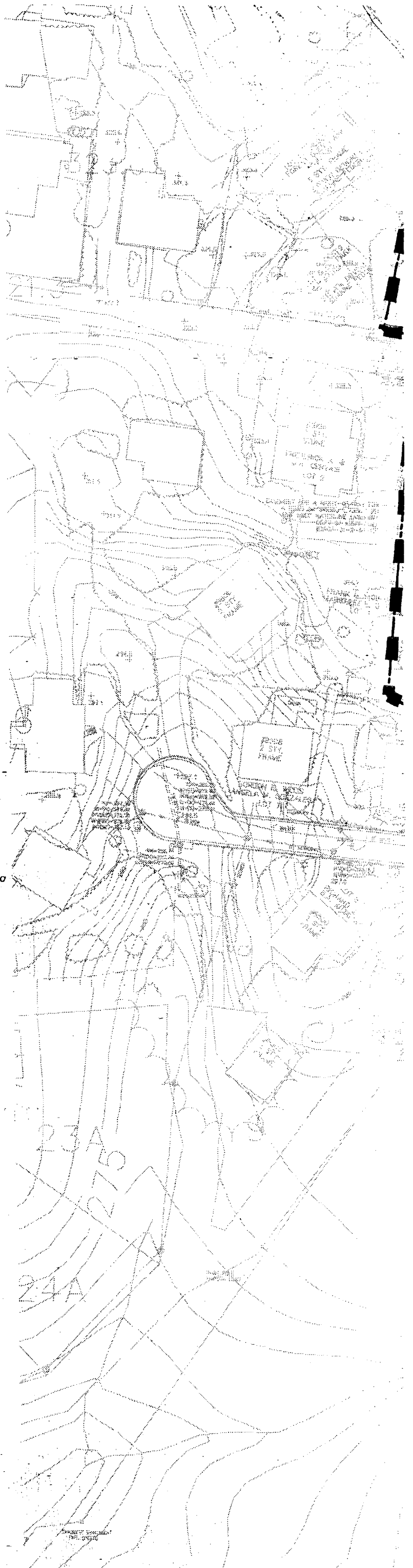
PAVING TO BE REMOVED

FENCE TO BE REMOVED

EX. BUILDING TO BE RELOCATED

EX. BUILDINGS TO BE REMOVED

78



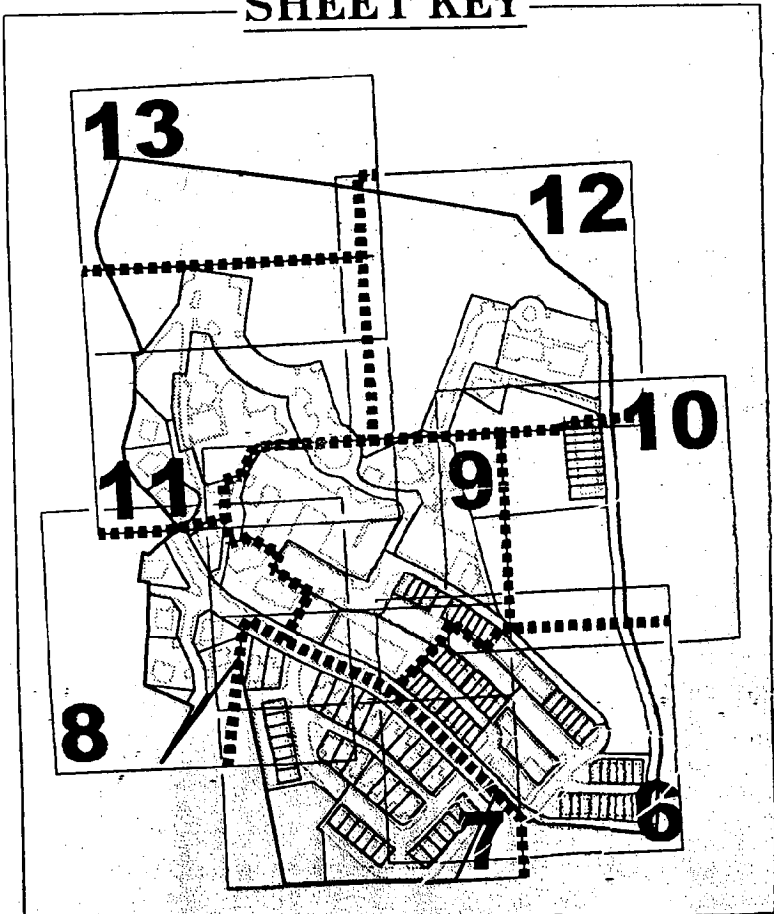
GRAPHIC SCALE



(IN FEET)
1 inch = 60' ft.

Note: Some of the planimetric information shown on this plan is based on copyrighted GIS Data from M-NCPPC, and may not be copied or reproduced without express written permission from M-NCPPC.

SHEET KEY



Tully, Tania

From: Tully, Tania
Sent: Monday, August 02, 2004 11:00 AM
To: 'vosd'
Cc: Wright, Gwen
Subject: RE: Forest Glen Seminary

Dave -

Thanks for the update and invite. The photos are quite illustrative and provide some justification on their own. Unfortunately I cannot make the meeting tomorrow, but would like to take a look at the exterior impacts once the structural engineer has given his opinion. I am hoping that you will be back in town the week of the 23rd.

Thanks

-Tania

Tania Georgiou Tully
Historic Preservation Planner
Montgomery County Department of Park and Planning
Historic Preservation Section
1109 Spring Street, Suite 801
Silver Spring, MD 20910
301-563-3400
301-563-3412 (fax)
www.mc-mncppc.org

-----Original Message-----

From: vosd [mailto:dgv@alexandercompany.com]
Sent: Monday, August 02, 2004 10:41 AM
To: Tully, Tania
Subject: FW: Forest Glen Seminary

-----Original Message-----

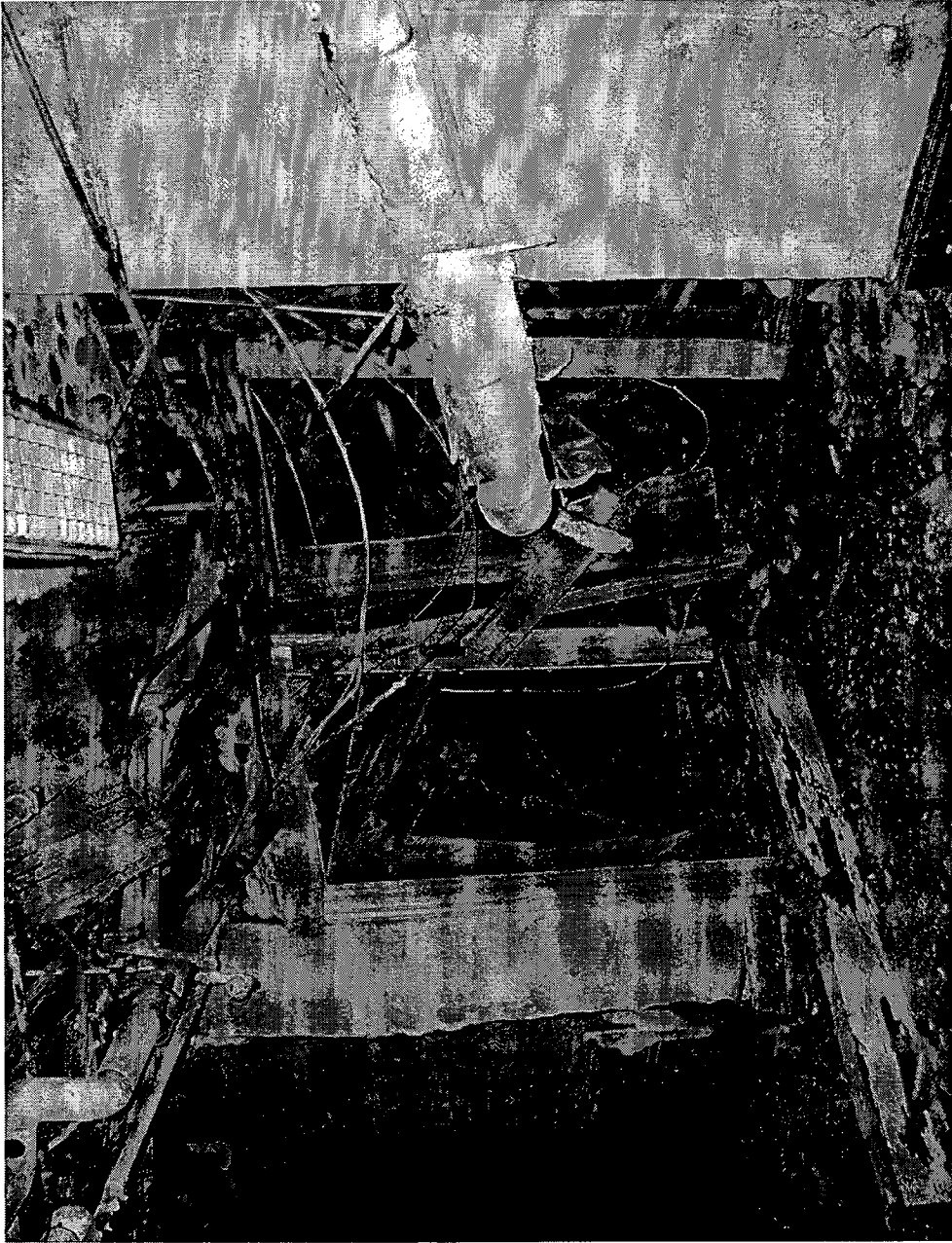
From: vosd [mailto:dgv@alexandercompany.com]
Sent: Monday, August 02, 2004 9:15 AM
To: Tania Georgiou Tully (E-mail)
Subject: Forest Glen Seminary

Tania: We will be meeting with Collin and a structural engineer at 1:00 tomorrow (Tuesday) to determine the extent of selective demolition on the Senior house. We plan to perform this selective demolition as soon as we take possession in mid September. A section of two floor levels has collapsed and a portion of the exterior wall is buckling and has moved out about 6" in the past two weeks. My fear is that if this section of the building caves in, it may compromise some salvageable sections. We would like to remove this damaged section surgically - but we are in a race against time.

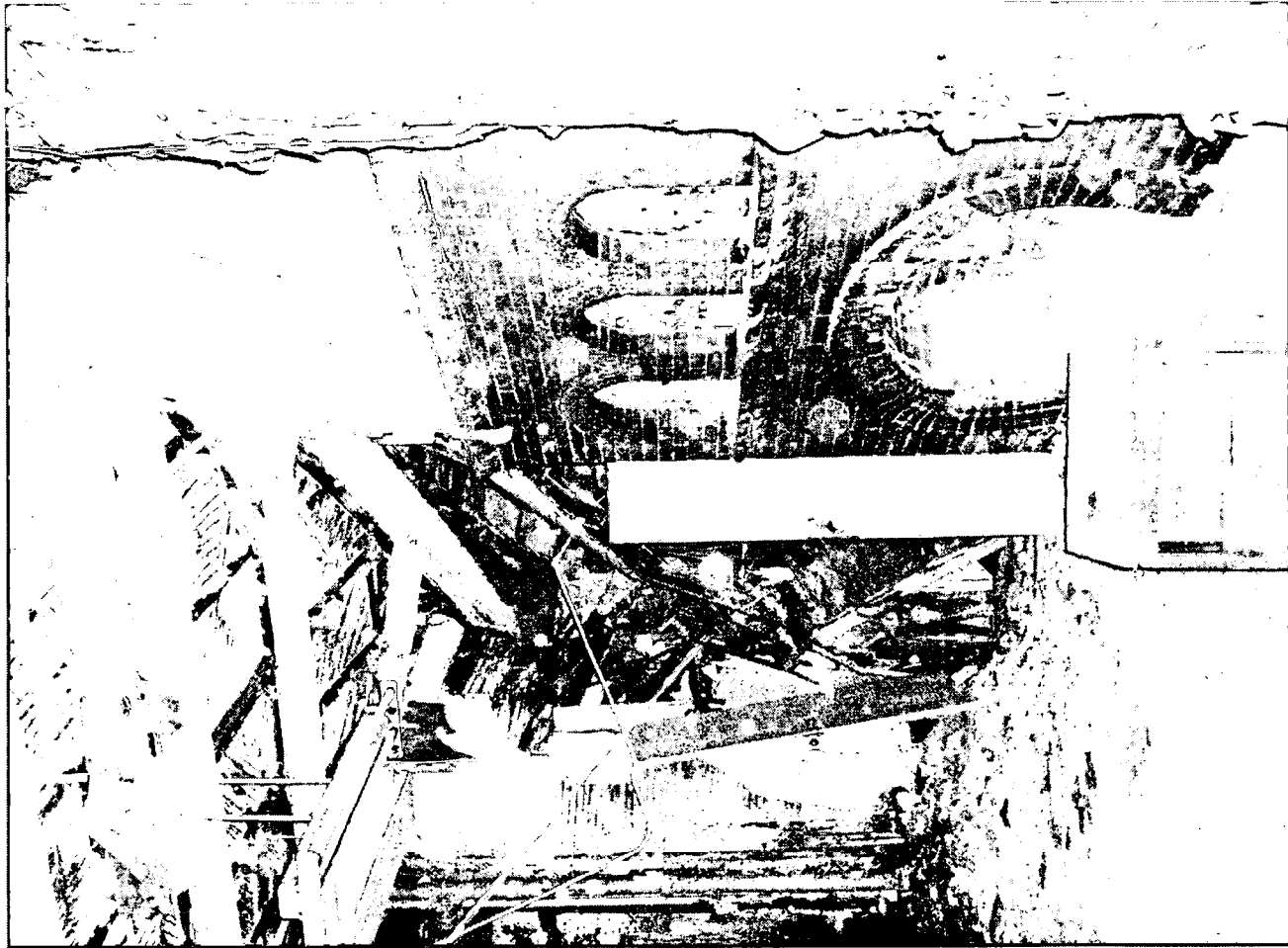
You are welcome to join us on this site visit. Please let me know if we need on get this on the agenda for the Historic Preservation Commission in order to get our demolition permit. I have attached some photos that I took last month for your review.

<< File: Floor condition (6-24-04) 011.jpg >> << File: Floor condition (6-24-04) 013.jpg >>

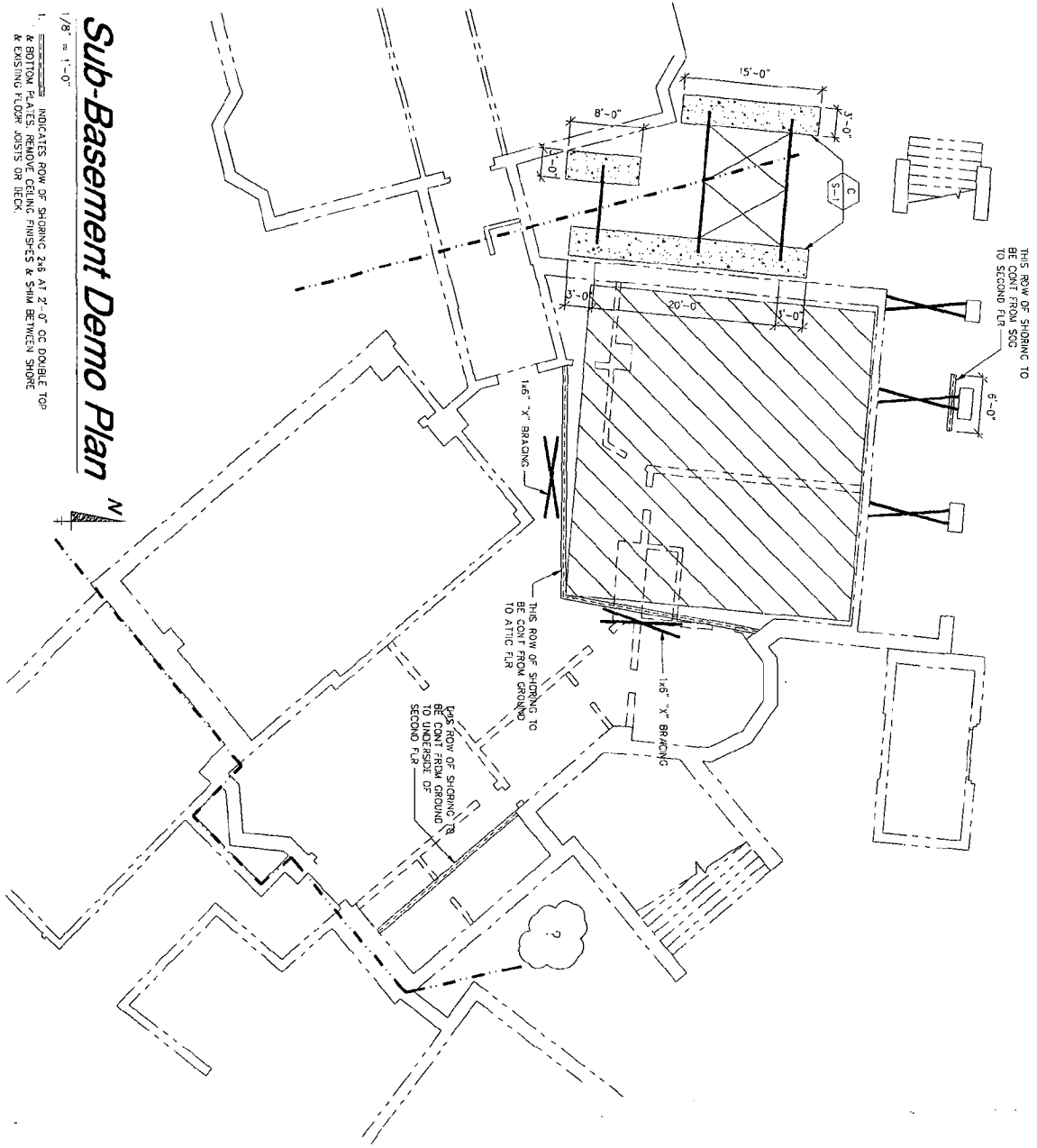
David G. Vos, AIA
Development Project Manager
The Alexander Company, Inc
145 E. Badger Road
Suite 200
Madison, WI 53713





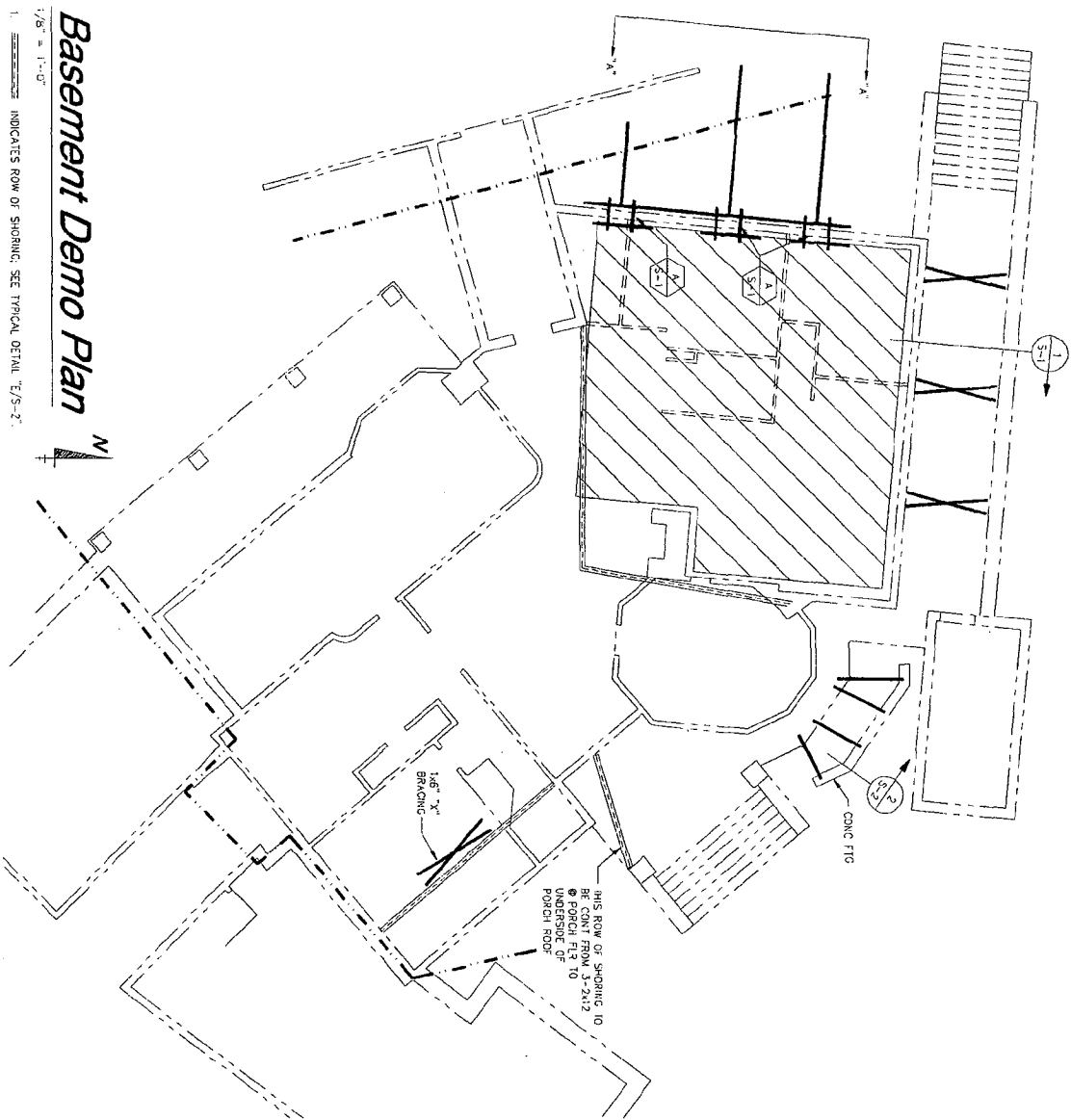






Sub-Basement Demo Plan


1/8" = 1'-0"
 1. INDICATES ROW OF SHORING 2x6 AT 2'-0" OC DOUBLE TOP & BOTTOM. SEE TYPICAL DETAIL E/S-2.
 2. INDICATES ROW OF SHORING 2x6 AT 2'-0" OC DOUBLE TOP & BOTTOM. SEE TYPICAL DETAIL E/S-2.

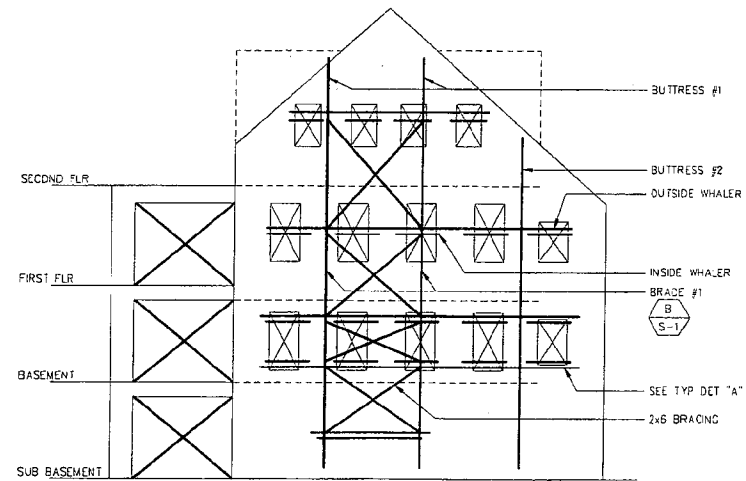


Basement Demo Plan

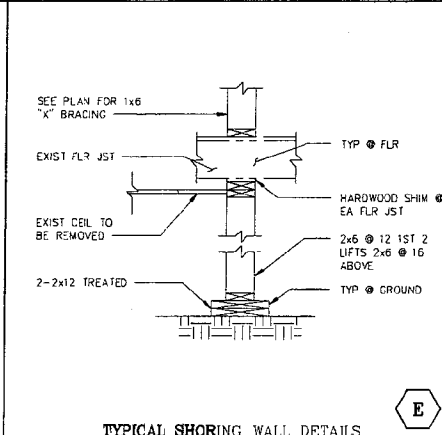
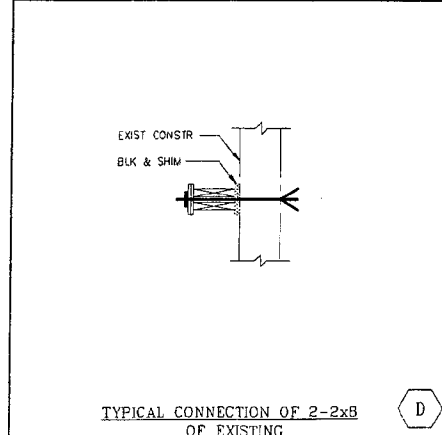
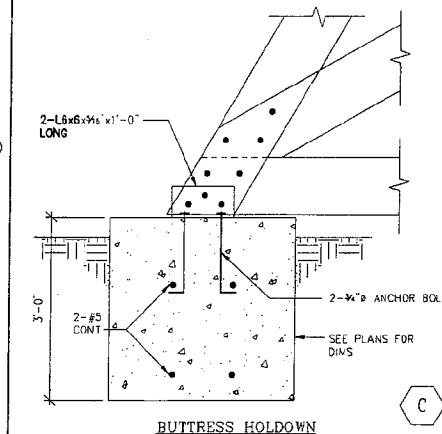
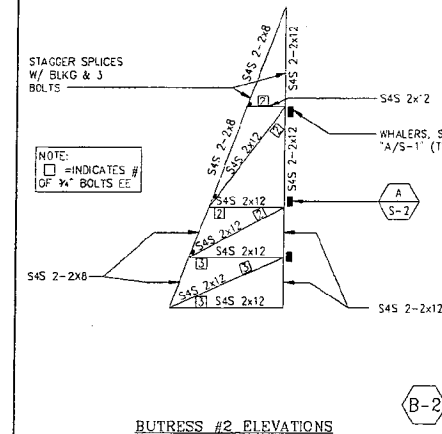
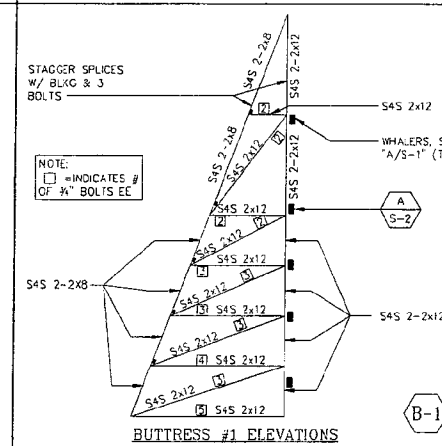
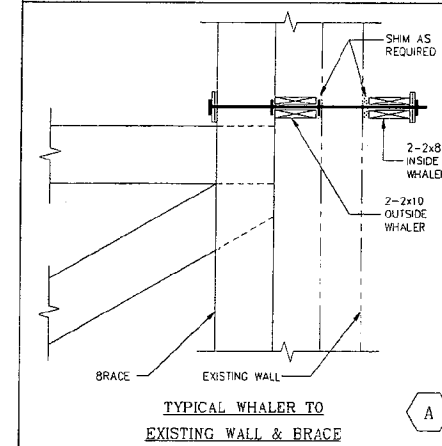
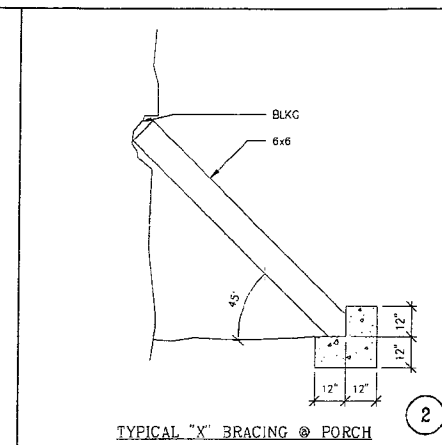
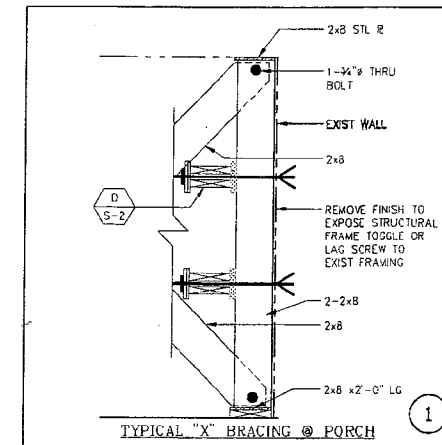
1/8" = 1'-0"
 1. INDICATES ROW OF SHORING. SEE TYPICAL DETAIL E/S-2.

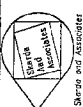


S-1	SUB-BASEMENT DEMOLITION FLOOR PLAN				NATIONAL PARK SEMINARY 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599	 Sharda and Associates Structural Consultants, Inc. 2438 N. Charles Street Baltimore, Maryland 21218 (410)-366-9381 (410)-366-9383 Fax Email: info@SHARDACONSULTANTS.COM
	DRAWN: SPW	APPR.: JFS	DATE: 2-3-05	SCALE: 1/8" = 1'-0"				
PROJECT NO. 03-537	5-28-04 PART II							
SHEET NO.								



Elevation A-A
3/4" = 1'-0"




URBAN RESOURCES
 Architecture, Planning & Construction
 145 E. BADGER ROAD, SUITE 200
 MADISON, WISCONSIN 53713
 TELEPHONE 608-258-5591
 FAX 608-258-5599

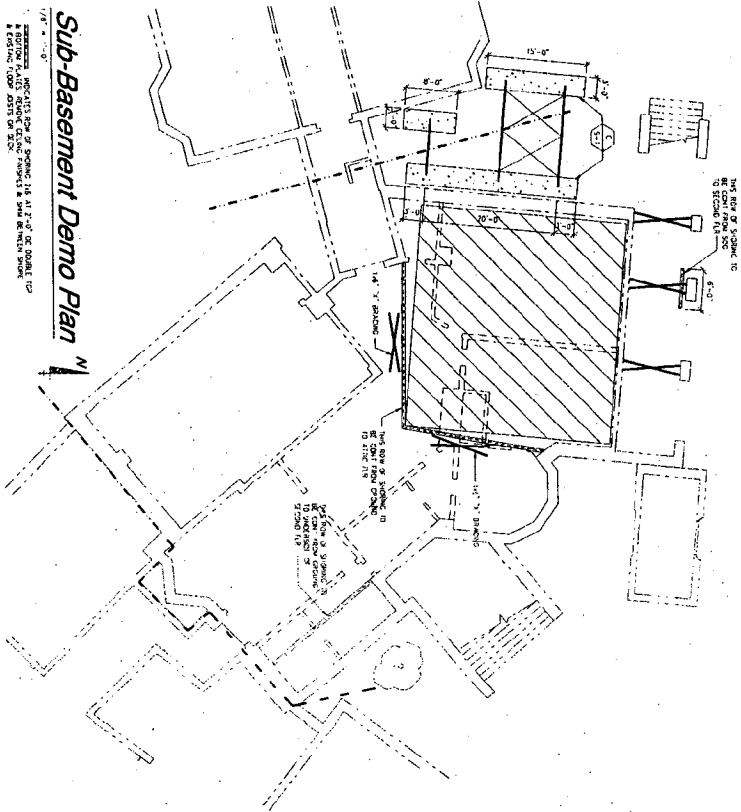
PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
 NOT FOR CONSTRUCTION

NATIONAL PARK SEMINARY
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND

SUB-BASEMENT DEMOLITION FLOOR PLAN
 DRAWN: SPW APPR.: JFS DATE: 2-3-05 SCALE: 1/8" = 1'-0"
 5-28-04 PART II

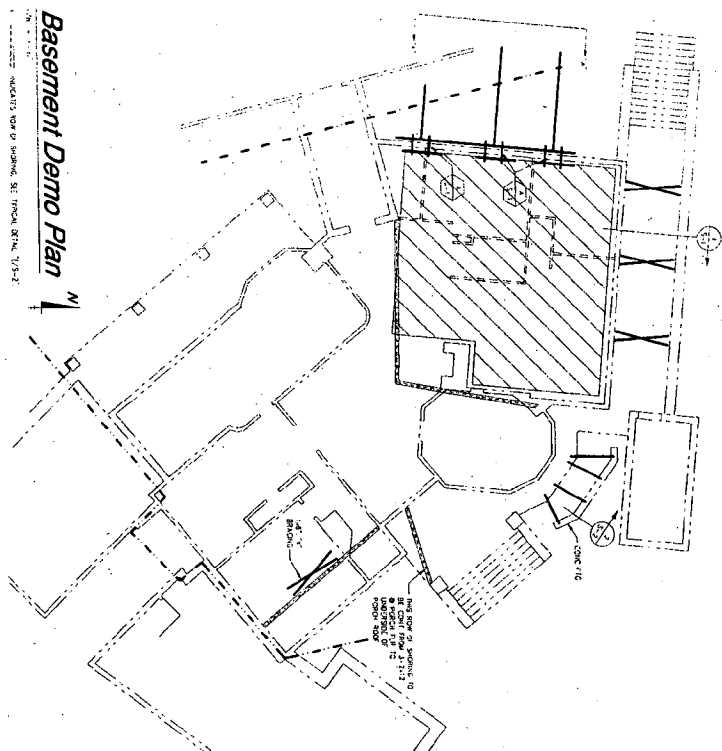
PROJECT NO.
03-537

SHEET NO.
S-2



Sub-Basement Demo Plan

1/8" = 1'-0"
 DIMENSIONS INDICATE'S VIEW OF SUB-BASEMENT AS SHOWN IN 1/8" = 1'-0" OF DOUBLE TOP
 A SECTION FROM 2/21/81
 A SECTION FROM 2/21/81



Basement Demo Plan

1/8" = 1'-0"
 DIMENSIONS INDICATE'S VIEW OF SUB-BASEMENT AS SHOWN IN 1/8" = 1'-0" OF DOUBLE TOP
 A SECTION FROM 2/21/81



S-1	SHEET NO.	SUB-BASEMENT DEMOLITION FLOOR PLAN		NATIONAL PARK SEMINARY 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5531	
		DRAWN: SPK	APPR.: JFS				

**Montgomery County
Historic Preservation Commission
March 23, 2004**

**Testimony on the Forest Glen Venture LLC
Historic Area Work Permit for
the National Park Seminary**

**Fred Gervasi, President
Save Our Seminary at Forest Glen, Inc.**

Save Our Seminary at Forest Glen (SOS) is a Maryland non-profit organization founded in 1988 in response to the continuing deterioration of the National Park Seminary. Our mission is to preserve the seminary, communicate its history, and guide its future. Since its founding, SOS and its 250 members have worked to fulfill this mission and we are justifiably proud of several achievements that helped us reach the point we are at today.

- By means of our tours, books, videos, interviews with the local press, presentations to local civic associations, and by restoring the exterior of the most visible of the seminary's structures (the Pagoda on Linden Lane), SOS created public awareness of the seminary and support for saving it.
- Through our lobbying and our law suit for demolition by neglect, SOS gave Walter Reed Army Medical Center's the incentive to decide that the seminary was excess to their needs and could be made available for another use.
- By promoting the criteria for redevelopment – Maximum Preservation, Public Access, Minimum Negative Impact, and Financial Feasibility – we shaped the public and the political leadership's vision and expectation for the seminary.
- By working with the county, the National Trust for Historic Preservation, and potential developers both local and distant, we saw to it that the county's process for selecting a redevelopment team enough strong developer interest to provide a meaningful choice.

We will, of course, continue to our work of saving the seminary which in the future will mean:

- Saving the archival record of the seminary,
- Saving the historic memory of the seminary for neighbors, tourists, and scholars and
- Preserving meaningful access to the National Park Seminary Historic District.

SOS will have a permanent presence at the seminary, with space to protect and display our extensive collection of photographs, books, correspondence, artifacts and memorabilia.

As I testified here last October, Forest Glen Venture's site plan meets the SOS criteria and has our strong support. We ask the Historic Preservation Commission to grant the Historic Area Work Permit so that the difficult work of rehabilitating the still threatened historic structures can begin. There are several issues that were not part of the October presentation that I want to comment on:

- The developer is studying the feasibility of building a parking deck within the historic district. They are doing this, in part, because SOS reacted so strongly against the encroachment of surface parking lots on the historic Lawn. The Lawn is the open area between a row of connected buildings that includes Presidents House, Senior House, and Senior Annex and the steep slope of the Glen. It was the traditional entrance to the seminary campus for the students and their families who arrived by train at Forest Glen station and crossed a bridge over what is now the Capital Beltway. It is important to preserve as much as possible of the original landscape setting of the seminary buildings. A parking deck, carefully designed and planted to minimize its visual impact holds the most promise for saving a significant portion of the Lawn.
- The developer is planning an interpretive trail that will connect a paved trail on county parkland south of Linden Lane (which itself connects to Rock Creek Park and its extensive trail network) to the secluded pathways in the Glen on the north side of the historic district. The trail will pass through one of the architecturally richest areas of the seminary. It will be attractively paved, with seating areas, markers, and displays that identify and describe important features of the site. The trail will be open to the public, conveying very clearly the developer's commitment to meaningful public access. SOS has worked closely with Forest Glen Venture for several months and will be deeply involved in drafting the text for the markers and displays. When the trail is completed, SOS will use it as part of our monthly tours of the site.
- Decisions about the width of Linden Lane were not final at the time of your October meeting. SOS opposed widening the road as incompatible with the residential and campus-like sense of place in Forest Glen Venture's site plan. The decision has now been made to widen Linden to three traffic lanes. While this is not the best solution, it can be accepted if one of the lanes is a dedicated parking lane, with bulb-outs to permanently discourage cut through traffic and encourage pedestrian movement throughout the community. The developer has proposed the parking lane with bulb-outs. The county's Department of Public Works and Transportation continues to resist it. The community has supported the preservation of the seminary despite the increases in traffic that it will surely bring. It is reasonable to ask the county to be creative and flexible in mitigating the impact of traffic.

Jakob INOX LINE
STAINLESS STEEL

Affordable Swiss Quality

If you can imagine it, Jakob can help you create it!

HOME CATALOG BASIC PRODUCTS GREEN SOLUTIONS WEBNET SOLUTIONS GALLERY FAQ ABOUT CONTACT

GREEN SOLUTIONS

Jakob has thousands of products... more than we can show here! Click here to get a catalog sent to your business or home. Or, call toll free: 866.525.6226.

Green facades for a pleasant atmosphere...

Facade greening, up to now usually left to chance, has gained a new dimension: Jakob. Attractive training systems for micro gardens can be built with a few easy-to-assemble components made of high-grade stainless steel. Stainless steel trellis systems are appealing, ecologically sensible and useful.

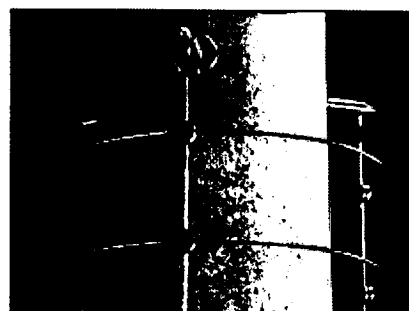
The latest insights on climbing plants combined with tastefully designed and technically sophisticated training systems open a treasure chest of greening variations and styles. The future is indeed green; it will be shaped by the creative collaboration of innovation-driven architects with greening specialists.



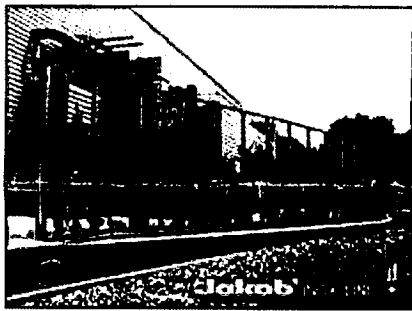
SPACER AND WIRE ROPE [zoom in](#)



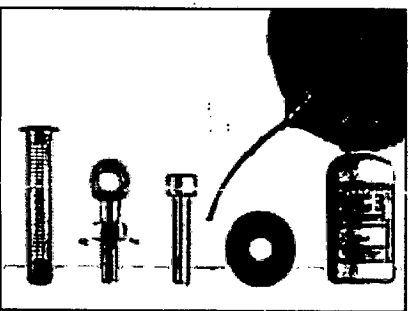
TRELLIS SYSTEMS [zoom in](#)



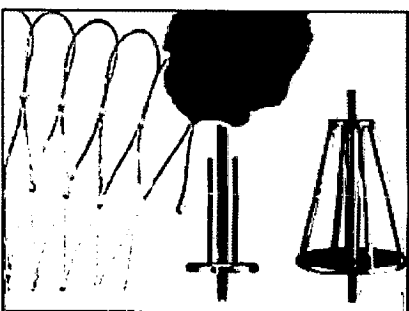
COLUMN GREENING [zoom in](#)



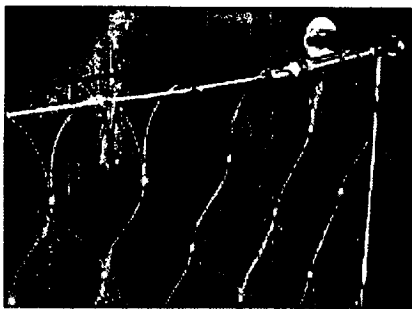
GREENING BARRIER [zoom in](#)



ASSEMBLY AIDS [zoom in](#)



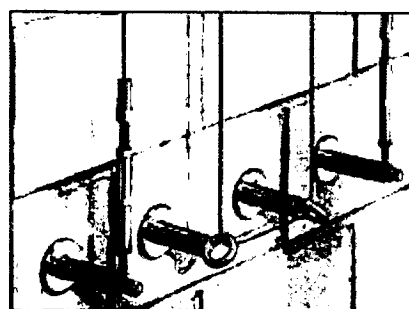
WEBNET/SPACERS [zoom in](#)



WEBNET [zoom in](#)



CLIMBING PLANT STRUCTURE [zoom in](#)

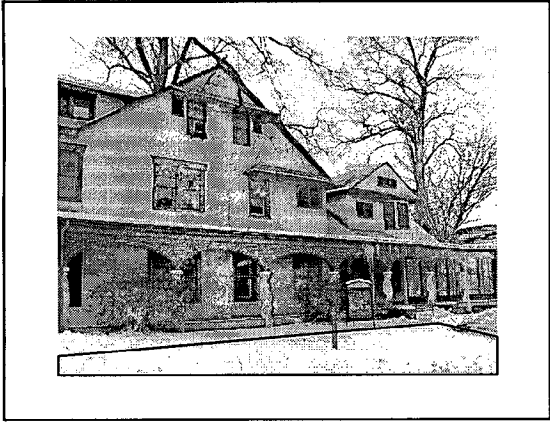


BRICK MOUNTING [zoom in](#)

CALL TOLL FREE: 866.525.6226

Jakob, Inc. | 400 Gulfstream Blvd., Suite 1, Delray Beach, FL 33444 | Toll Free: 866.525.6226
 E-mail: info@JakobStainlessSteel.com

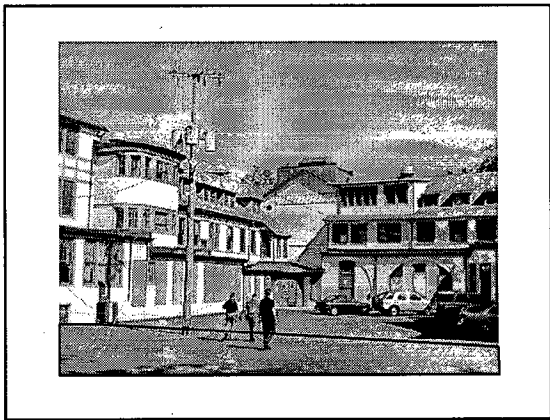
© Copyright 2003 Jakob, Inc. All rights reserved.



Kim - keep Lindal and
Carline -

Kim -

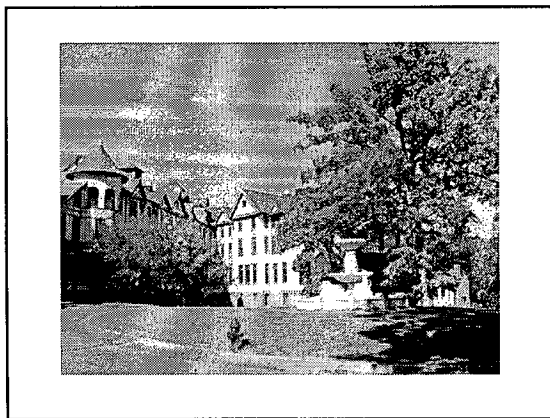
~~unambiguous~~



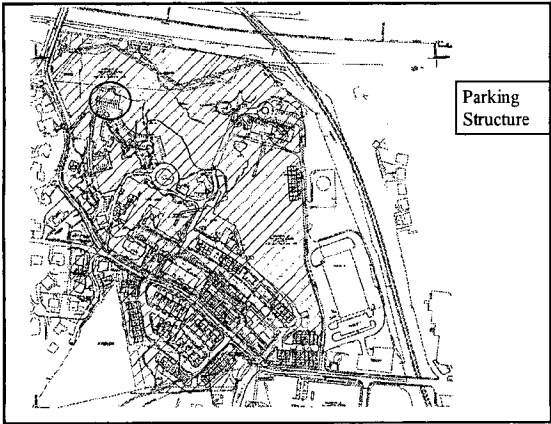
Carline - motion

ncc - Mai 25' 20' driving
rural char of road lane
no formal sidewalk
in historic area
repair from adding

Row - not

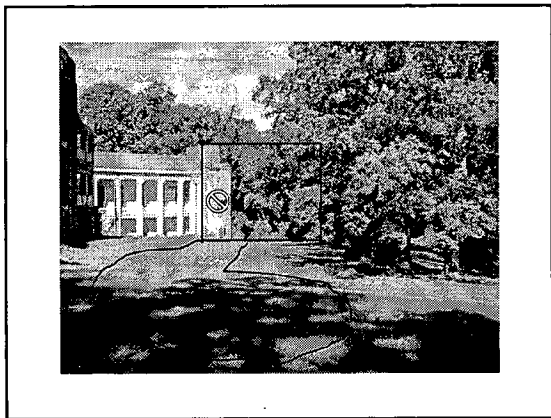
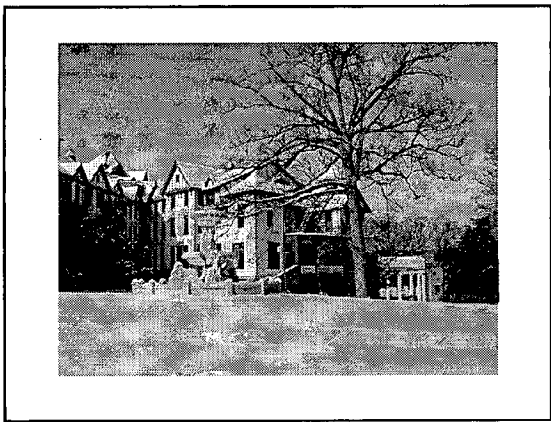


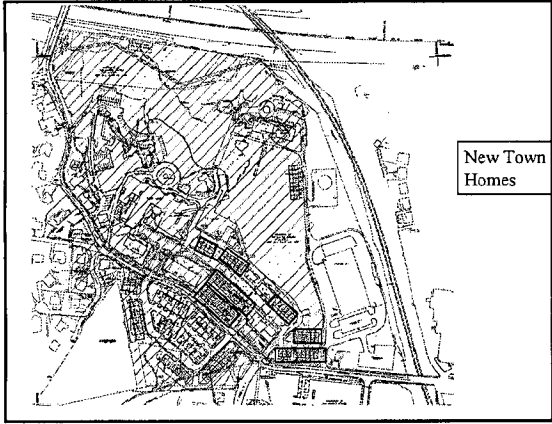
✓ Kim - approve Rehab plan
6/28



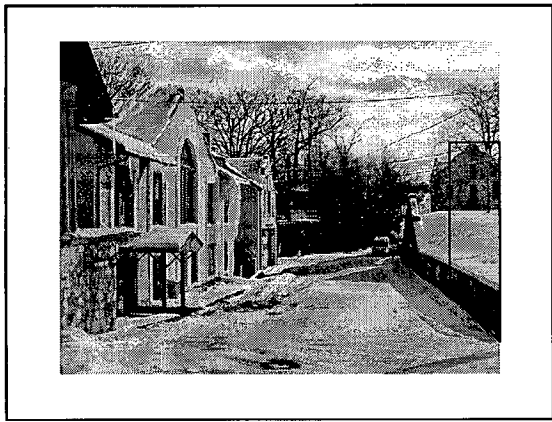
shape roofline & facade
architectural, not industrial

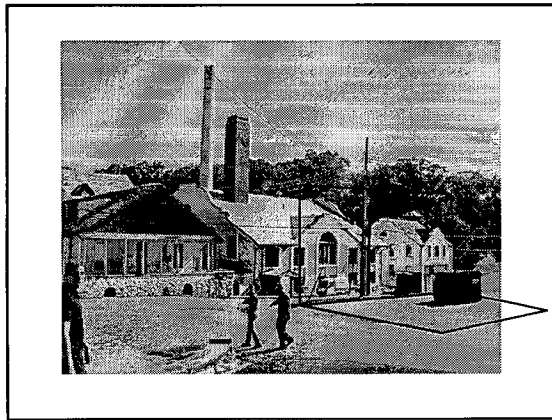
& low structure -

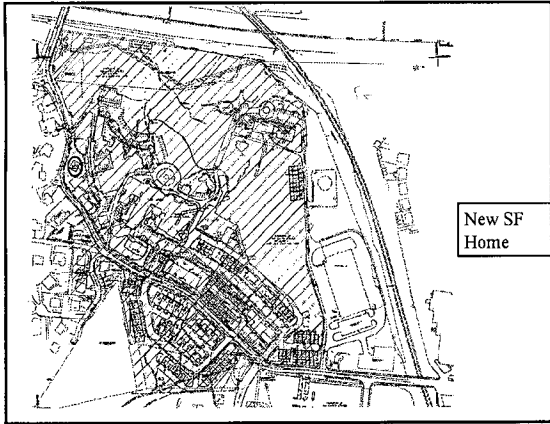




51





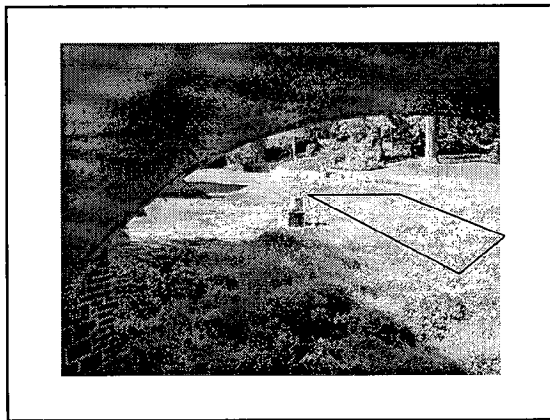


Kim

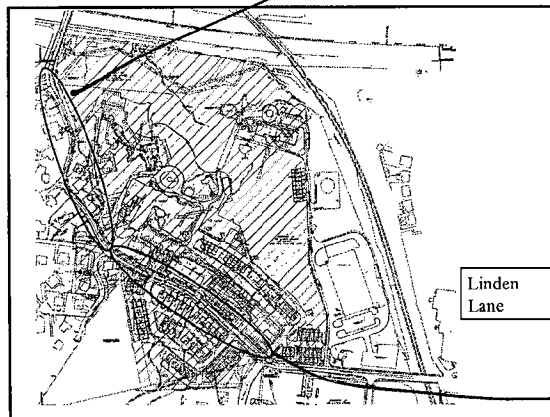
Use natural paving material?

Interceptical - lamp black concrete

Caroline - earth color for trail
- grey for public walks

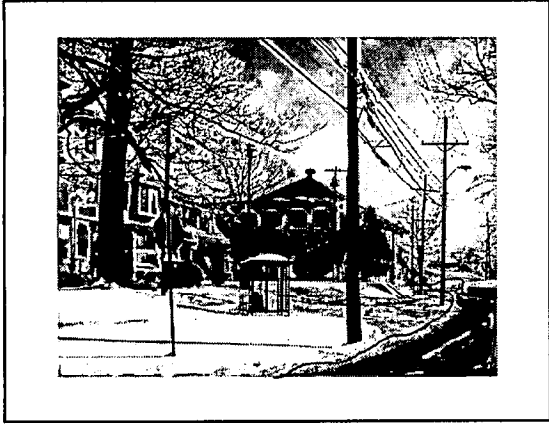


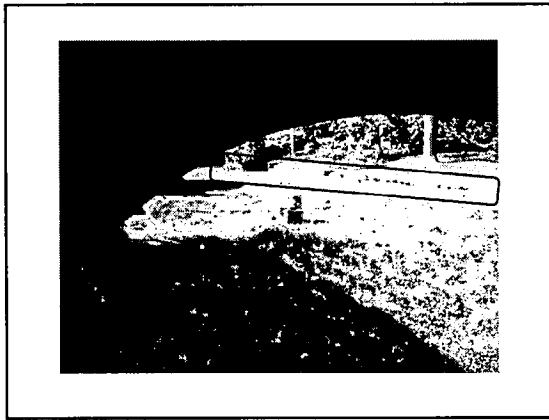
Keep as close to existing as poss.
Curb & gutter on E side.
not enough room

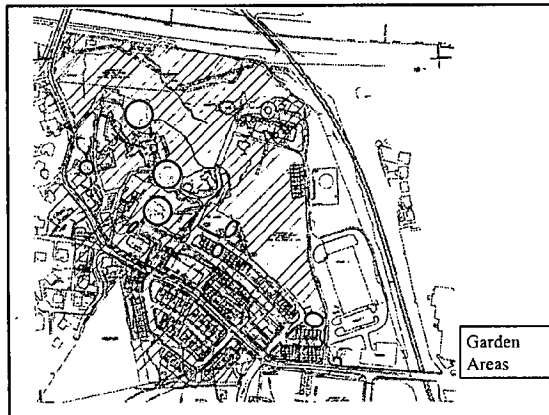


20' pavement - ROW 20'
from curbs line

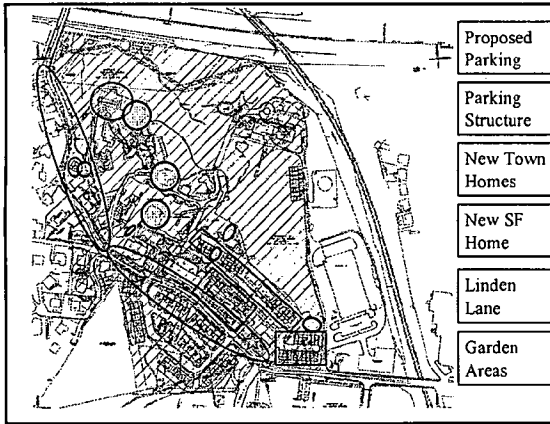
drive lane grass sidewalk
2 5 5 8 20 8 5 5 2 — grass
↓
~~sidewalk~~
parking







drive widths -
areas where narrow
lanes may be needed



Staff Suggested Comments for the Planning Board

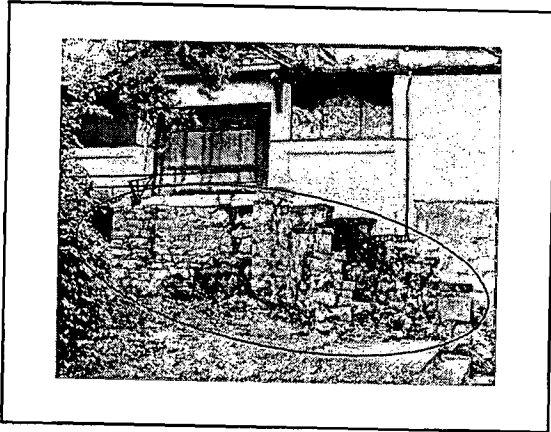
- Keep Linden Lane as narrow as possible.
- Support fast tracking the reviews.
- Staff level review of interpretive signage.
- The general location of the parking structure is approved with staff level review of its final location.
- The architectural design of the proposed parking structure will be reviewed through the HAWP process.
- The location and design of the new townhouse construction is conceptually approved. Specific architectural details will be reviewed through the HAWP process.
- The location of the new single-family house is approved. Specific architectural details will be reviewed through the HAWP process.

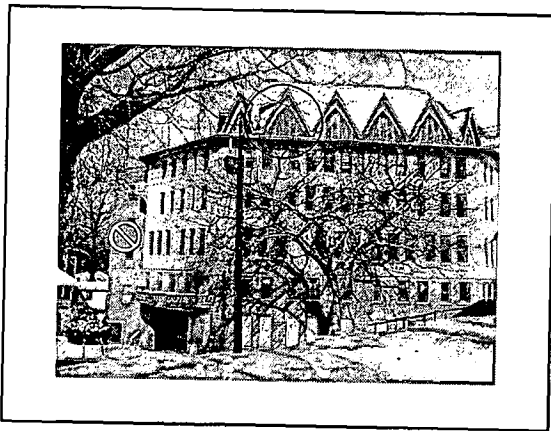
Main Building Rehab

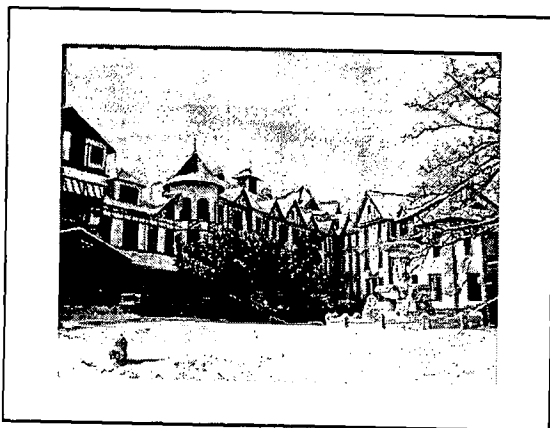


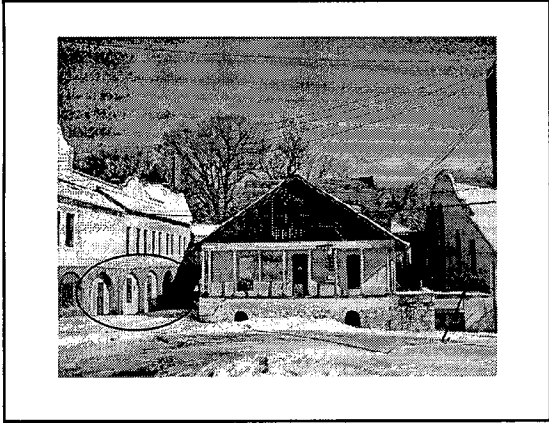










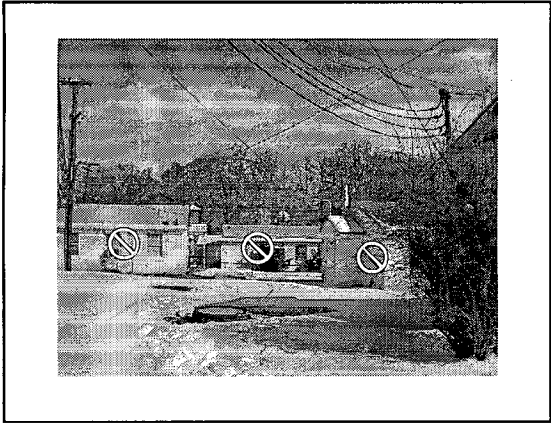


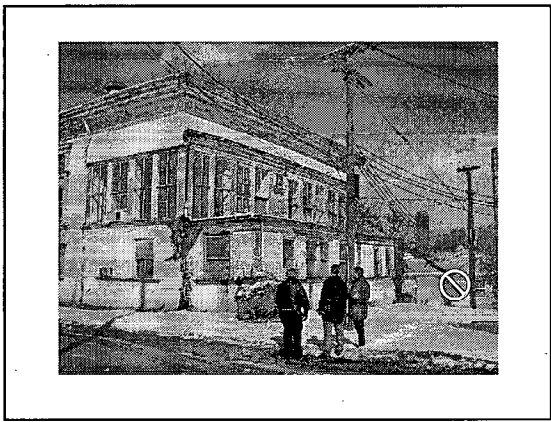
Staff Recommendation

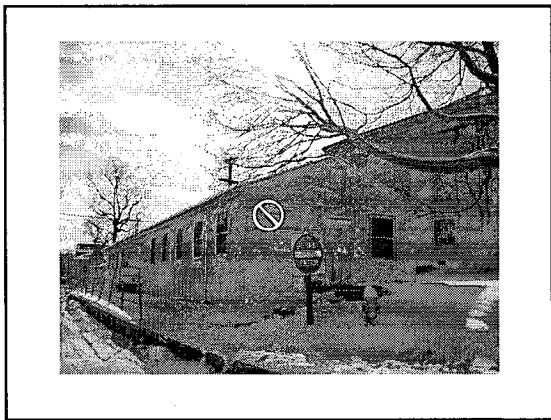
• Approve rehabilitation of the Main Building.

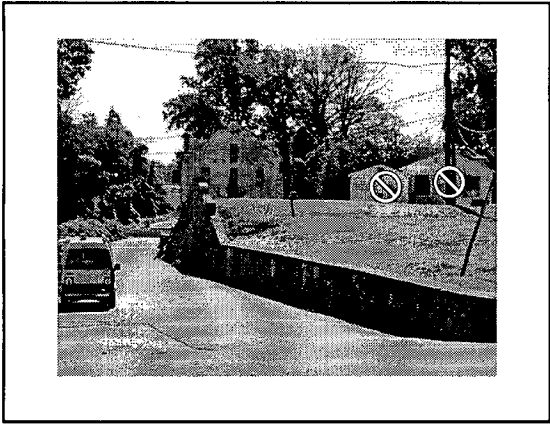
• Allow for staff level approval of details and minor modifications.

***Demolition
of Non-
Contributing Buildings***





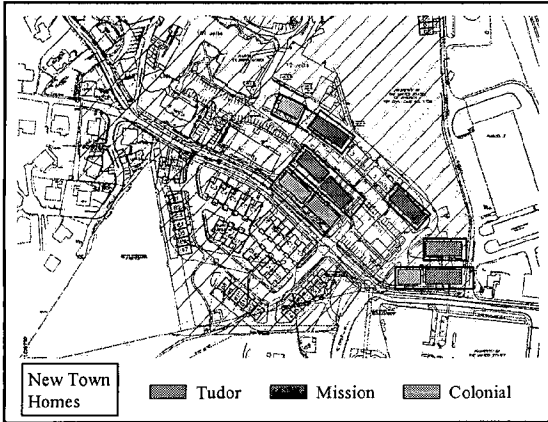


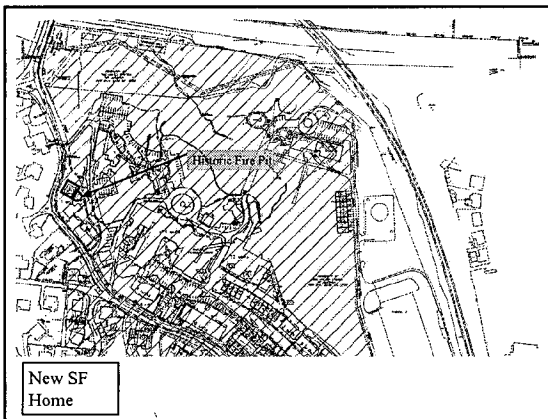


Staff Recommendation

Approve demolition of the Army buildings.

New Construction





Staff Recommendation

The applicant may proceed to a HAWP for the new construction after receiving approval from the Maryland Historical Trust.

***Rehabilitation
of the
Remaining Buildings***

Staff Recommendation

The applicant should continue to work with staff on the rehabilitation plans for the remaining buildings.

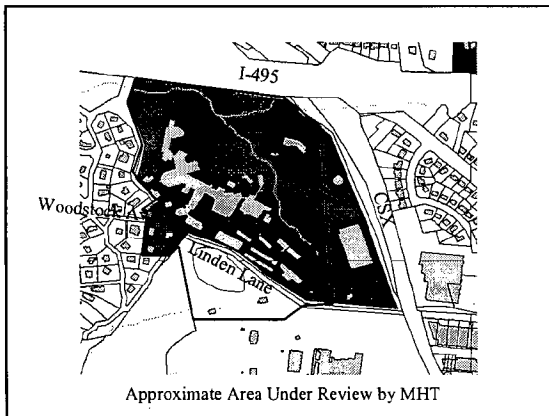
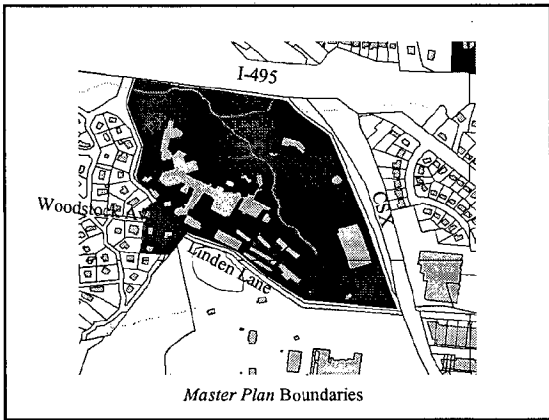
National Park Seminary

Master Plan Site #36/01
Linden Lane, Silver Spring

SOS -

parking deck - OK
saves the town
reasonable solutions

Trail - good - will work
w/ F&V, LLC



Linden Lane -

~~no~~ compromises already
but the proposals
don't fit

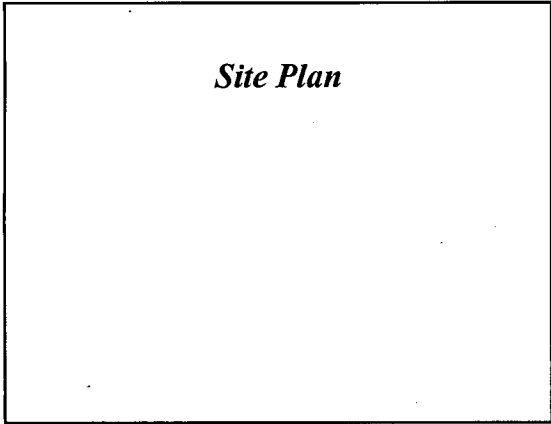
pedestrian oriented neighbor-
hood - Don't want sidewalks

Bumpouts are the issue

drive lanes \rightarrow it keeps it
a driveway

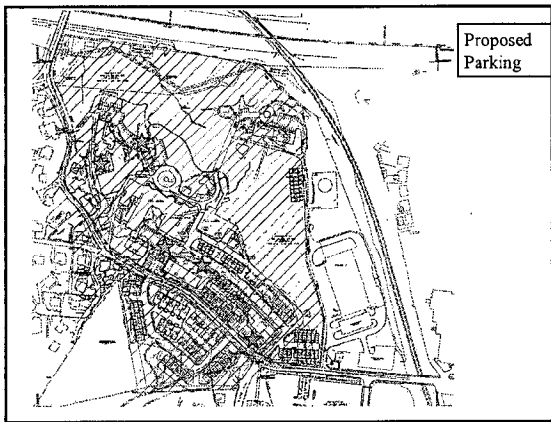
20' 8' 5' 5' 2' - cross strip
grass sidewalk

without that it will look like a
drive lane

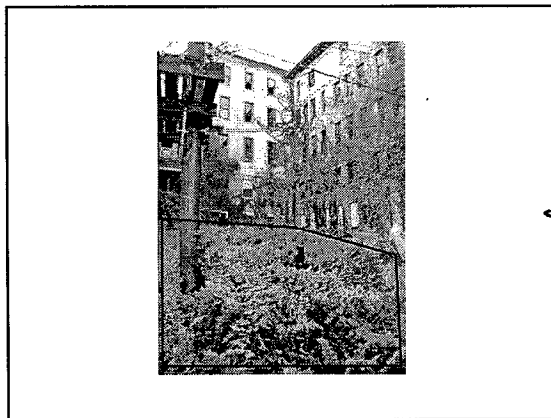


Wayne G -
supports staff

Linden Lane - rustic road -
let DPWT know the
road is historic also
###

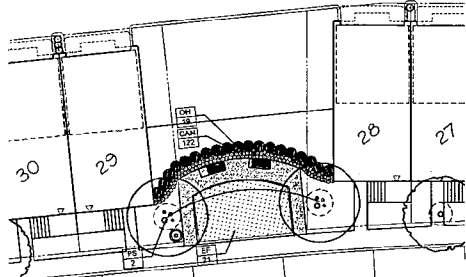


Matt Birnbaum
Linden Lane - sympathetic
to design & cost
DPWT - county executive
is only one who
↳ letting Planning Board take the lead
"Linden Lane Improvement Plan"

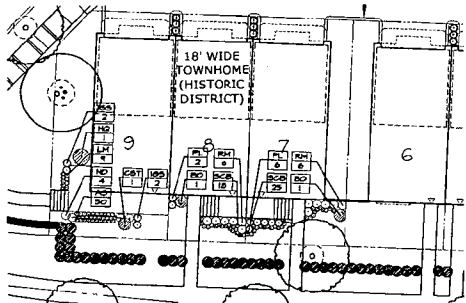


feels close to a solution
& a unique solution
★ Street Names - after people
please support

Street Parks → not needed
by code



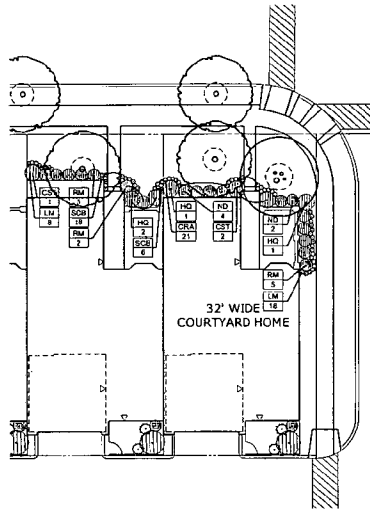
Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i> 'Wintergreen'	American Flowering Cherry	8-10'	B&B	Newly installed, symmetrical
EF	21	<i>Euonymus alatus</i> 'Carnegiea Gold'	Coronado Gold Euonymus	24-30'	corn	Full branching to ground
CA	12	<i>Campanula medium</i> 'White Grandiflora'	White Bell Flower	24-30'	corn	Full branching to ground
CA	12	<i>Campanula medium</i> 'White Grandiflora'	White Bell Flower	1.5m	corn	12' o.c.



Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	20-24'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	20-24'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.

Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	24-30'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.

Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	24-30'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.

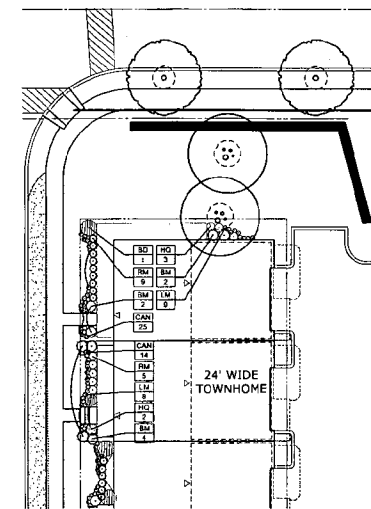


Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	20-24'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	20-24'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.

Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	20-24'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	20-24'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.

Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	20-24'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	20-24'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.

Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	20-24'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	20-24'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.



Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	24-30'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.

Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	24-30'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.

Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	24-30'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.

Key	Unit	Botanical Name	Common Name	Size	Condition	Comments
PS	2	<i>Prunus americana</i>	American Flowering Cherry	24-30'	corn	Form maintained, symmetrical
EF	21	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	corn	Form maintained, symmetrical
EG	4	<i>Euonymus alatus</i>	American Spindle Tree	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	24-30'	B&B	Full branching to ground
CA	12	<i>Campanula medium</i>	White Bell Flower	1.5m	corn	12' o.c.

PARKER RODRIGUEZ, INC.
Landscape Architecture
1000 North 10th Street
Montgomery, AL 36102
Phone: 205.261.1111
Fax: 205.261.1112
www.parkerrodriguez.com

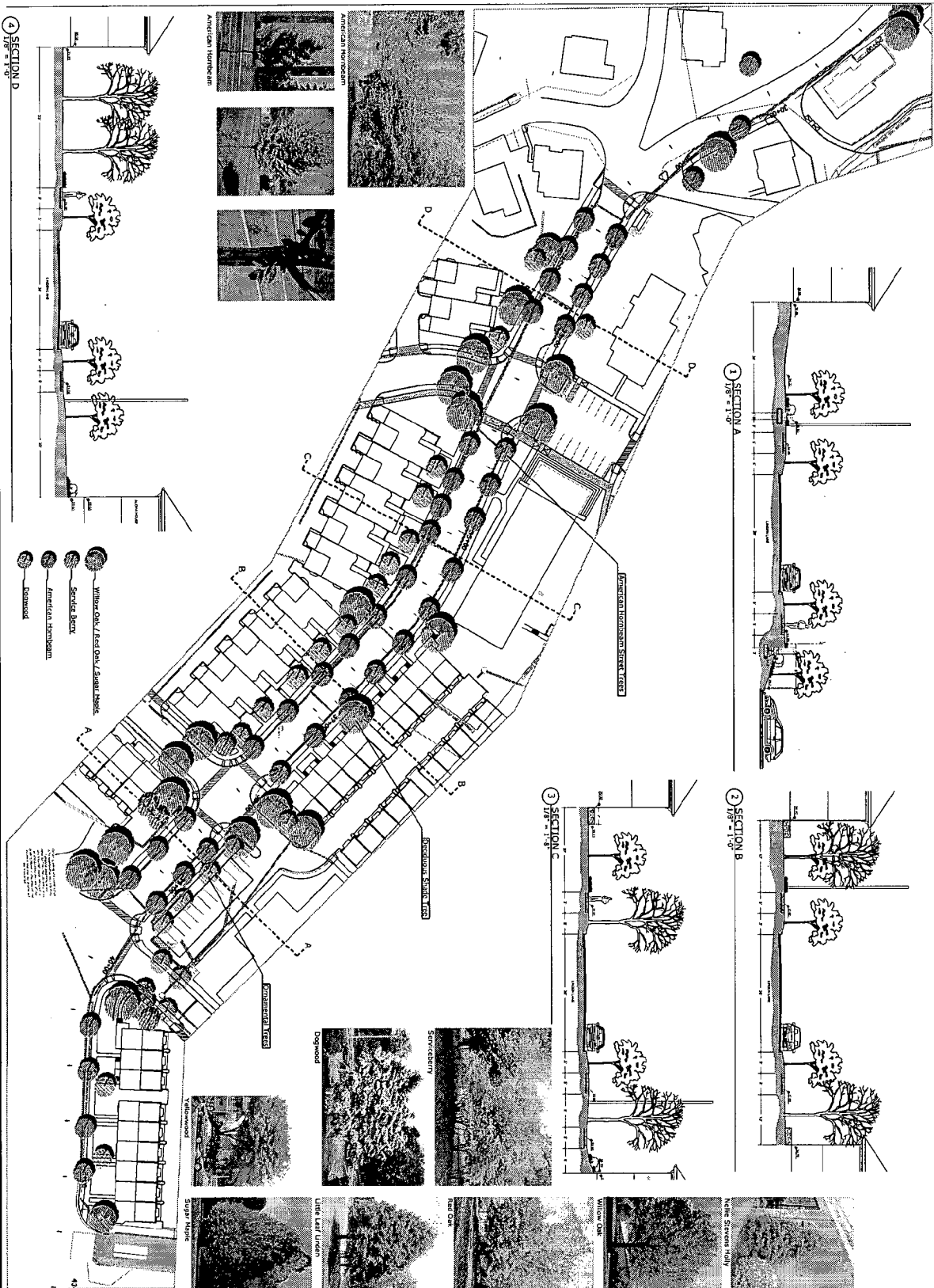
TYPICAL UNIT PLANTING PLAN

NATIONAL PARK SEMINARY

Revised & added:
Revised and rechecked:
or, as necessary
A.R.G.

Drawn by:
J.C. CS
Checked by:
T.R. A.
Checked by:
J.
Date:
01/20/11
Scale:
1" = 10'-0"

Project Number:
L4-1



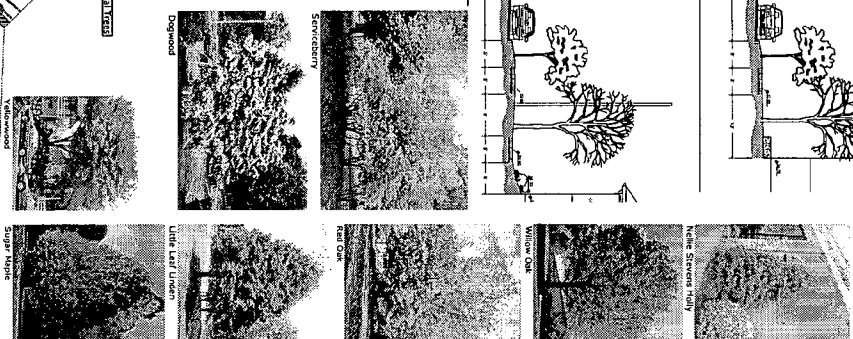
SECTION D
1/8" = 1'-0"

SECTION A
1/8" = 1'-0"

SECTION B
1/8" = 1'-0"

SECTION C
1/8" = 1'-0"

Legend:
 ○ White Oak / Red Oak / Sugar Maple
 ○ Service Berry
 ○ American Hornbeam
 ○ Dogwood

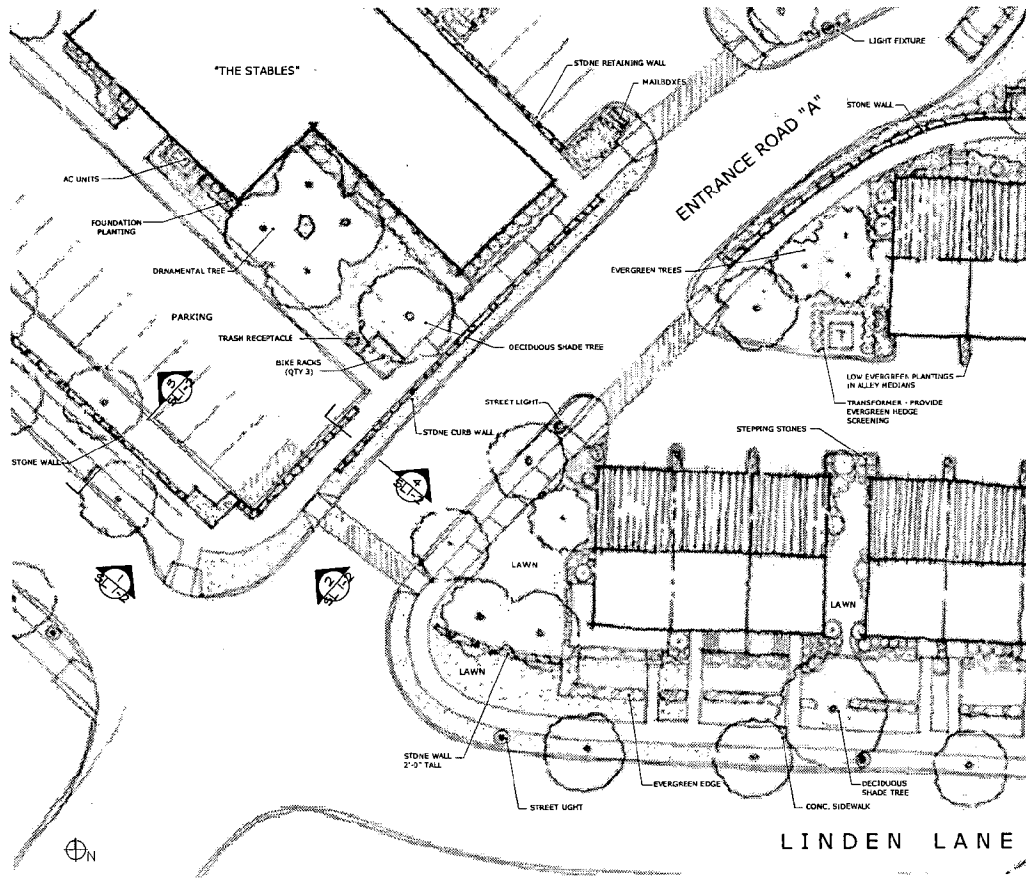


DATE: 1/1/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

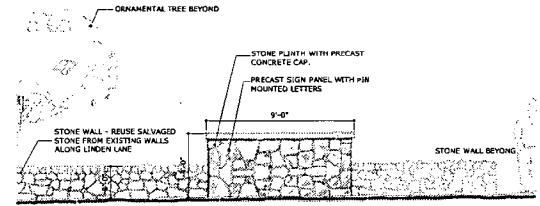
NATIONAL PARK SEMINARY
 MONTGOMERY COUNTY MARYLAND

STREETSCAPE EXHIBIT

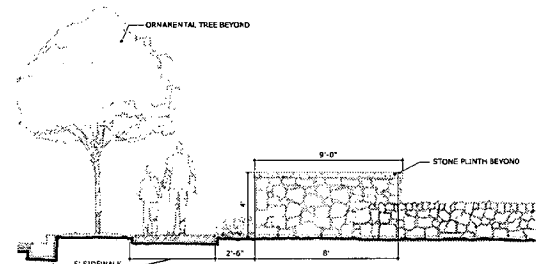
PARKERRODRIGUEZ, INC.
 100 North State Street, Suite 200
 Alexandria, Virginia 22314
 703.266.0779



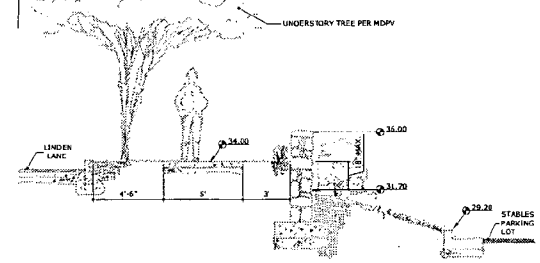
⑤ STONE PILLAR ALONG LINDEN LANE
1/2"=1'-0"



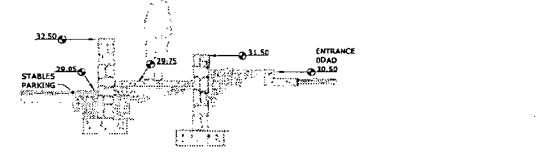
① STONE ENTRY PLINTH AND PILLAR - NORTH ELEVATION
3/8"=1'-0"



② STONE ENTRY PLINTH AND PILLAR - WEST ELEVATION
3/8"=1'-0"



③ SECTION THROUGH LINDEN LANE AT THE STABLES
3/8"=1'-0"



④ SECTION NEAR THE STABLES
3/8"=1'-0"

PARKER RODRIGUEZ, INC.
 10000 W. WASHINGTON AVE. #100
 WASHINGTON, DC 20037
 (703) 461-1100
 FAX (703) 461-1101
 www.parkerrodriguez.com

ENTRANCE SKETCHES

NATIONAL PARK SEMINARY
 MONTGOMERY COUNTY, MARYLAND

Revision & Date:
 Prepared and constructed per owner comments
 3.1.18.18

Drawn by:
 P. C.
 Designed by:
 TR. S.
 Checked by:
 J.
 Date:
 01-25-05
 Scale:
 NOT TO SCALE

Drawing Number:
 SI. 1-2

Sheet 2 of 2

Tully, Tania

From: vosd [dgv@alexandercompany.com]
Sent: Thursday, March 17, 2005 4:12 PM
To: Tully, Tania
Cc: Natalie Bock (E-mail)
Subject: FW: Forest Glen Draft DPW&T letter & Intersection sketch

Tanya: Forget what I said this morning about the 20' ROW being accepted by DPS/DPWT - the wind is coming from the East today.

-----Original Message-----

From: Navid, Sarah [mailto:Sarah.Navid@montgomerycountymd.gov]
Sent: Thursday, March 17, 2005 2:21 PM
To: Chuck Irish; maureen.decker@mncppc-mc.org
Cc: Matt Birenbaum; Brian Jackson; nlb@alexandercompany.com; vosd; Robins, Steven A.; Mark Morelock; Bill Landfair; Stephanie Cutlip; Contreras, Christina; Adams, David; Kronenberg, Robert; Cheung, Joseph; Riese, Jeffrey
Subject: RE: Forest Glen Draft DPW&T letter & Intersection sketch

Chuck and Maureen:

Based on our field meeting, I was expecting draft meeting minutes rather than a draft letter! In any event, the preliminary plan letter must come from DPWT not me (DPS). I will provide site plan comments which will supplement DPWT's basic requirements (e.g. specific geometric design issues such as "The Intersection", choker designs, handicapped ramps, etc. or items they may miss in their preliminary review. I do have to retract my OK with the 20' right-of-way dedication for the new Lot 59. When we (DPWT/DPS) jointly looked at the enlarged plan of your proposal the next day (yesterday), it was felt that 35' of dedication should still be required thru Lot 59 since this is new construction regardless of the historic firepit. Also, an easement for future dedication of 35' from centerline would be needed for Lots 57 and 58.

The "Intersection" looks pretty good now. A few comments would be the choker on the northeast corner need to be slightly longer (see our intersection choker guideline) and the curb to curb width should be 22' (choker will be 6' wide). It's OK if the choker width does not totally shadow the parked cars when we are dealing with a relatively narrow road to begin width. In fact the road width at each of the chokers along Linden Lane should be 22' and they need to follow our guideline. Also the sidewalk on the southeast corner needs to be in ROW or a PIE where it is located in private property.

I believe another comment we had at site plan at DRC was to pull the crosswalks on the side streets intersecting Linden Lane closer to the intersection. Several are shown appropriately and several are too far back.

I will need to see the overall revised plans for the site to provide DPS site plan comments.

Thanks,

Sarah Navid

-----Original Message-----

From: Chuck Irish [mailto:Irish@vika.com]
Sent: Wednesday, March 16, 2005 6:46 PM
To: Navid, Sarah; maureen.decker@mncppc-mc.org
Cc: Matt Birenbaum; Brian Jackson; nlb@alexandercompany.com; vosd; Robins, Steven A.; Mark Morelock; Bill Landfair; Stephanie Cutlip
Subject: Forest Glen Draft DPW&T letter & Intersection sketch

Sarah & Maureen:

3/18/2005

Thanks to you and everyone for taking the time to meet with us at the site last week. We certainly got lucky with the weather. As requested, attached is our draft of the DPW&T letter and intersection sketch that we prepared based on the discussion at the site visit. I believe that I included everything we discussed in field, and added the standard conditions that I believe apply. Hopefully I didn't miss anything. We did change the proposed R/W along lots 58 & 59 to be 20 ft from CL as Mark Morelock discussed with Maureen yesterday, to accommodate the historic setting; and I believe you are both in agreement with that. Please let me know if you have any questions, or if there is anything else we can do to help.

---Chuck

Charles A. Irish, Jr
VIKA, Inc.
20251 Century Boulevard
Suite 400
Germantown, Maryland 20874
301-916-4100 x 199



March 19, 2005

Ms Tania Georgiou Tully
Historic Preservation Planner
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, MD 20910

RE: NATIONAL PARK SEMINARY – HISTORIC WORK AREA PERMIT

Dear Ms Tully:

Forest Glen Venture LLC, Owner of the Walter Reed Army Medical Center, Forest Glen Annex (the "Property"), currently identified as the National Park Seminary, which is subject to a Deed of Easement (the "Easement") granted to The Maryland Historical Trust (the "Grantee") dated the 25th day of October, 2004, requests approval from the Historic Preservation Commission to perform certain demolition and construction activities on the Property as described herein.

Phasing: The Development Plan provides that construction or rehabilitation of all structures and site improvements south of the glen and certain utility and stream valley channel protection within the glen will occur in the first phase of the project which is anticipated to occur during the years 2005 through 2008.

Plans sets dated 01/04/05 prepared by Urban Resources are included for the rehabilitation and adaptive reuse of the Main Building (101). These plans include also the Aloha House (116), Chapel (114) and Music Hall (104).

Building Elevations and an Exterior Material Narrative prepared by Lessard Group Inc. and Site-line Studies prepared by Alexander Urban resources are included for proposed Town Homes.

Rehabilitation and adaptive reuse plans for the remaining contributing historic buildings and the plans for the newly constructed House on proposed Lot 59 and two level parking structure along the west end of the site will be submitted for a Historic Work Area Permit at a later date. Schematic plans for these contributing buildings, prepared by The Alexander Company are included for conceptual review.

Phase Two of the project, which includes the construction of new town homes on proposed Lots 65-72, rehabilitation of the Castle (107) and rehabilitation,

selective demolition and addition to the Italian Villa (119), all located north of the glen, will occur no sooner than 2006. Conceptual review of this work and the possible future construction of the bridge across the glen are requested at this time.

Building Demolition: Four noncontributing structures will be demolished. These include the four nondescript concrete block structures constructed by the Army, identified as buildings 185 through 188 on the Historic District Plan (attached). The Eastern half of the Italian Villa (119) will also be demolished, however this demolition will not occur until Phase Two of the project as described above. Concrete Block and Brick additions/stairwells and exterior noncontributing stairs will also be removed from the buildings as code allows.

Sitework: Sitework improvements will include demolition of steam tunnels, existing parking lots and roadways, regrading, construction of private roadways parking lots, alleys, sidewalks, interpretive trail, retaining walls, site features, landscaping, lighting, utility and storm improvements and reconstruction of Linden Lane. Historic elements of the site including many pathways, roadways, lawn areas, gardens, retaining walls, stairs and statuary will be retained.

The Property will be subdivided and the Easement recorded against each parcel. These site improvements are described in the attached Site Package which includes the Site Plan Set prepared by VIKA and Parker Rodriguez dated January 2005 as well as the Preliminary Plan dated November 2004, Development Plan revised on 1-11-05, Forest Conservation Plan, Concept Storm Drain Plan and Concept Sediment Control Plans, all prepared by VIKA and dated January 2005.

Amendment: The following revisions are requested to the previously submitted Historic Work Area Permit (HWAP) Plans. The selective demolition plans for the Senior House anticipated that the structure's roof could be adequately supported while removal of the collapsed floors and debris would occur through openings in the west wall. The structural engineer and contractor, however have determined that worker safety cannot be guaranteed during the stabilization and shoring of the roof. Additionally the roof sheathing and many of the joist ends have deteriorated to the point where substantial replacement will be necessary.

The revised plan (Sheets S-1 and S-2) prepared by Skarda and Associates provides for the removal of the roof during demolition activities. The west wall would remain in tact and shoring would be provided as originally planned. Slate would be salvaged and reused during the roofs reconstruction. Additionally the removal of the East half of the Italian Villa would not occur until Phase Two of the project as indicated above.

I understand that the Historic Preservation Commission will review these plans for consideration of a Historic Work Area Permit one March 23, 2005. We look forward to the opportunity to report on the project's status and to address any questions or concerns the Commission may have about our redevelopment plans.

Sincerely,

Forest Glen Venture, LLC

By: Forest Glen Main, LLC

By: The Alexander Company, Inc.

A handwritten signature in black ink, appearing to read 'D. G. Vos', with a stylized flourish at the end.

David G. Vos, AIA

Development Project Manager

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached exhibits

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached exhibits

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

1. SITE IMPROVEMENTS

Existing: The National Park Seminary is located on two parcels covering a total of 32 acres and containing a forested glen and two streams. The primary access to the buildings was across three bridges spanning to the north. Access to the front (North) side was terminated when the bridges were demolished through neglect and upon construction of the North Capitol Beltway.

Narrow drives within the site connect to Linden Lane at five different points. Limited parking is available on the South portion of the site. Portions of concrete walkways remain hinting the original connection and orientation to the glen. Stone buttresses and retaining walls remain at the edge of the glen where bridges once crossed.

In addition to the Main Building (Bldgs 101, 104, 114 and 116) there are 19 other historic contributing structures on the site and 4 noncontributing concrete block structures (Bldgs 185-188) and two noncontributing houses (Bldgs 135 & 139) (See the Historic District Plan). Some original specimen trees, statuary, vines and shrubs remain.

Proposed: The site will be subdivided into numerous parcels all deed restricted to ensure historic preservation. The deed restriction will require approval of physical improvements by the Maryland Historic Trust. A neighborhood association, comprised of the owners of all subdivided lots, will be formed to maintain the outlots and community amenities. The forested glen will be the subject of a conservation easement with Montgomery County.

The Main Building (which for this application includes the Senior House (101b), Senior Annex (101f), Music Hall (104), Chapel (114) and Aloha House (116)) will occupy three subdivided parcels. The only portion of the Main Building that is utilized for rental housing is (101a,c,d&e). The remaining portion of the building and the other buildings will be on separately owned parcels and converted into condominiums and single-family homes. Rehabilitation plans for the remaining existing buildings will be submitted HWAP amendments.

New condominiums will be constructed on vacant parcels replacing the noncontributing concrete block structures and in other underutilized areas of the site. The buildings will be of similar scale and style to the existing structures, however, differentiated by modern materials (See the narrative attached to the elevations). The Site Plan, Elevations and Site Sections provide the location and scale of the proposed buildings.

The existing drives and walk locations will be retained as much as possible, however their condition warrants replacement in most areas. A new two level 100 stall parking structure will be constructed to the north of the Music Hall where the Odeon Theater once stood. The structure will be flush with the grade on its south (building) side and be one story above grade on its north (glen) side. The attached parking lot will follow the proximate contours of the existing lawn in order to preserve the existing specimen trees.

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

Parking lot and drive lighting will be modern non-period lighting (See lighting plans).
Landscaping will be provided as identified in the landscape plans.

Drawings: SP1A-SP12, L0-0 – L4-2, L1-1 –5; Building Elevations and Narrative prepared by Lessard Group; Blocking Plan Set for Buildings 107-138, Schematic Documents (Sheets T-1 – A6.7) for the Main Building and Historic District Plan, all prepared by The Alexander Company,

2. BUILDING PLAN

TYPICAL CORRIDORS

Existing: Most floors contain original double loaded corridors with individual or adjoining rooms on each side. Single loaded corridors exist in the Ballroom and in the Music Hall. Noncontributing brick stairwells were added by the Army to eliminate dead end corridors and to reduce exiting distances as required for medical facilities.

Proposed: Many of the brick stairwells that have an adverse effect on the exterior will be demolished and the facade rebuilt to match the original (post Arment era). Many secondary corridors will be shortened to eliminate noncompliant dead end situations. Primary corridors will remain.

Drawings: A2.0-A3.4, A5.1–A5.4

TYPICAL WALLS

Existing: Walls are constructed of wood studs with wood lath and plaster. Plaster conditions vary from fair to unsalvageable depending on the degree of water infiltration and water/steam leaks. Wood trim, base and casing are present in both the hallways and individual rooms. Wainscoting exists in some rooms. Wood trim is in varying condition from good (Ballroom) to unsalvageable (portions a Sectors a,b and d of the Key Plan).

Proposed: Many interior partitions will be selectively demolished to make room for the adaptive reuse or because of their condition. Stub walls and headers will remain in order to provide an indication of their former locations. Wood trim, casing and base will be salvaged and reinstalled on retained and reconstructed walls. Existing plaster walls will be repaired per Specification Section 09950 and new walls drywalled. New base will consist of simple wood sections and vinyl base. New doors will not receive casing.

Drawings: A2.0 - A3.4,

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

TYPICAL CEILINGS

Existing: Wood Ceilings were removed from the main dining area and were replaced with acoustical tiles. The original wood trimmed beams remain and are in varying condition from good to unsalvageable (north portion of Sector e). Wood beams and ceiling in the ballroom remain in good condition. Tin ceilings exist in varying condition in the kitchen area (southeast portion of Sector e). All other ceilings are plaster ceilings of varying condition from fair to unsalvageable)

Proposed: Wood beaded ceilings will be reconstructed in the area of the dining room that is to become the community room. Wood ceilings will be cleaned and refinished in the ballroom. Tin ceilings will be retained in the former kitchen area and refinished. Plaster ceilings will be repaired, when possible per Specification Sections 09950 - 09970, or replaced with drywall. New ceilings will be drywall.

Drawings: A2.0 - A3.3

TYPICAL FLOORS

Existing: Most floors are hardwood floors with the exception of hearths, the former kitchen and the areas where water damage required replacement. Replaced floors were constructed of plywood. The conditions of the floors range from good (ballroom) to unsalvageable (numerous areas). The floors in the Senior house and many of the floors over crawl spaces and steam tunnels have collapsed or are in the process of collapsing. These floors will be completely removed and reframed.

Proposed: Salvageable wood floors will be sanded and refinished in selected areas of the building where the floors are level to an acceptable tolerance (See specification 09550). Corridors will be carpeted to reduce noise. Other flooring will consist of vinyl flooring (all kitchens and baths) and carpet over pad (remaining living rooms, dens and bedrooms) over floor leveling where floors are out of level by more than ½" in 10' (See Specification Section 03650).

Drawings: A2.0 - A3.4

TILE

Existing: Some tile remains in original bathrooms and around some fireplaces. Many tile pieces are broken or missing.

Proposed: Salvaged tile will be used to repair fireplace mantels and hearths and to patch floors in areas where bathrooms will remain. (See Specification Section 09300)

Drawings: A2.0- A3.3

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

TYPICAL DOORS

Existing: Most Interior doors are in good to fair condition. Exterior doors are in good condition where protected from the elements and in fair to unsalvageable condition elsewhere.

Proposed: Interior doors located in walls that are to be retained will be refinished. Damaged and unoriginal hardware will be replaced with hardware salvaged from doors that were in demolished partitions. Unusable doors facing the corridors will be fixed closed and refinished on the corridor side (new walls will be constructed behind them on the unit side). All retained doors will be repaired and refinished. Replacement doors in existing locations will be milled to match the original. New doors in new partitions will be flush wood doors.

Drawings: A2.0- A3.4 & A7.1- A7.3

TYPICAL WINDOWS

Existing: Most windows are in salvageable condition although many sills, bottom rails and some jambs are damaged beyond repair. One leaded stained glass window remains in the attic of the south side of the main building. Original clerestory windows remain in the kitchen, however original skylights have been removed.

Proposed: Wood windows will be repaired per Specification Section 08615. Unsalvageable sashes and sills will be replaced with identical sections. Windows will be refinished, weather-stripped and re-roped or fixed closed. The stained glass window will be repaired per Preservation Brief 33. Skylights will be replaced with unit skylights and clerestory windows repaired.

Drawings: A5.1 – A5.4

CABINETRY

Existing: Some original cabinetry remains although it is generally of simple low quality built-in wood shelving and drawers with little or no detailing. The army installed metal medical and laboratory cabinetry in various locations.

Proposed: Very little shelving or cabinetry will be retained. New cabinets will be plastic laminate with flush doors and wire pulls.

Drawings: A7.1- A7.3

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

HVAC

Existing: Heating is provided via steam heat from the central heating plant. Radiators line the perimeter of the building. Steam piping leaks are commonplace in the building. No air conditioning exists and ventilation was accomplished with roof top power ventilators supplied by large grills in the corridors.

Proposed: All steam piping, condensate lines and radiators will be removed. Roof top and through-wall ventilators and ductwork will be removed where accessible. HVAC will be accomplished via a two-pipe water source system. The boilers will provide heated water in the winter and the chillers will provide chilled water in the summer to the air-handling units in each of the apartments. The air-handlers will be installed horizontally above a dropped soffit in each of the units. Proposed dropped soffit locations will be submitted as an amendment to this Part 2 once the locations are coordinated with the HVAC contractor. (See Specification Section 15500).

Drawings: A5.1

PLUMBING

Existing: Much of the existing plumbing is in poor condition due to freezing conditions. Broken pipes are responsible for much of the water damage that has occurred in the building, especially in the Senior House (Sector b) where floors have collapsed.

Proposed: All plumbing waste, water and vent piping will be removed. Some tubs and pedestal sinks will be retained for reuse on the third floor of the main building where ceiling heights do not permit fiberglass modules. New plumbing including fixtures, equipment and piping will be provided throughout the building.

Drawings: A3.0 – A3.3, A7.2

ELECTRICAL

Existing: Most of the fixtures within the building are unoriginal. Original fixtures are limited to grand spaces such as the ballroom. Electrical service includes cloth-insulated wiring and fuses and must be replaced.

Proposed: Original fixtures will be retained and repaired. New fixtures within the apartments will be limited to can lights and strip fixtures over the vanities. Hallway lighting will be provided with wall sconces and pendant fixtures depending on ceiling height and accessibility. These fixtures will be submitted as an amendment to this Part 2 for approval.

Drawings: A5.1 & A5.4, A7.2

Montgomery County Historic Preservation Commission
Application for Historic Work Area Permit (HWAP)
Property Name: National Park Seminary Historic District
Property Address: 2801 Linden Lane, Silver Spring (Forest Glen), MD

ROOF

Existing: The existing roofs are of various constructions. There are slate roofs of many types, sloped metal roofs of two types flat metal roofs, asphalt built-up roofing and shingles. Most of the roofing is leaking and needs to be replaced. Much of the roof decking has rooted out exposing the underside of the slate from the attic spaces, especially near valleys. Gutters and downspouts exist on some roofs and are no longer safely secured.

Proposed: The slate roofs on the front of the building and on turrets and hipped projections (where indicated on the elevations) will be repaired and replaced with salvaged slate material per Preservation Brief 29. Other slate roofs will be replaced with fiber-cement shingles cast from slate patterns or asphalt Slateline shingles per Specification Section 07310 depending on its visibility (slope of the roof height above grade and location) see elevations for locations. Damaged roof deck will be replaced with ¾" T&G OSB and covered with felt. New copper flashings, gutters and downspouts will be installed to replace the existing.

Drawings: A5.1 – A5.4, A2.5, A3.5

MASONRY

Existing: Most of the masonry is stone although some brick masonry exists mainly on the fireplaces, chimneys and the army-built stairwells. The condition of the masonry walls range from fair to poor condition. Failure of the stone is occurring on the north side of the senior house.

Proposed: The exterior masonry and stone will be cleaned and tuckpointed per the Specifications Section 04500 Masonry Restoration and Cleaning. Missing and badly damaged sections will be rebuilt.

Drawings: A5.1 – A5.4

STUCCO

Existing: The stucco is in fair condition. Caulking is required around decorative wood trim, windows and doors. Damaged stucco exists primarily below leaking balconies

Proposed: Stucco will be preserved and repaired per Preservation Brief 22. Soffits that are damaged beyond repair (under failing balconies) will be replaced with stucco on wire lath or EIFS to match.

Drawings: A5.1 – A5.4

Tully, Tania

From: vosd [dgv@alexandercompany.com]
Sent: Saturday, March 19, 2005 12:05 PM
To: Tully, Tania
Subject: HWAP - Demolition request



HWAP Letter.pdf

Tanya:

Sorry, This letter should have been included with the application. It addresses the fact that we are proposing to demolish certain buildings as well as asks for conceptual review of the garage, ancillary buildings and Phase 2.

Would you have time on Wed afternoon to allow me to review your power point presentation or could burn it on a disk for me to pick up?

Thanks for all of your help - it's much appreciated!!

David G. Vos, AIA
Development Project Manager
The Alexander Company, Inc
145 E. Badger Road
Suite 200
Madison, WI 53713
(608) 268-8112 (direct dial)
(608) 258-5580 (office)
(608) 258-5599 (fax)

Tully, Tania

From: vosd [dgv@alexandercompany.com]
Sent: Saturday, March 19, 2005 11:25 AM
To: Tully, Tania
Subject: NPS Street Names

Tanya:

I forgot to run this by you yesterday. MNCPPC has a policy that streets are not to be named after people. We would like to name Beach Drive after John Cassedy (the founder and first president of the school) and the private drive south of Linden after James Ament (the second president of the school who is responsible for designing and constructing the ballroom). Can we get HPC support to name the streets after these two men?

David G. Vos, AIA
Development Project Manager
The Alexander Company, Inc
145 E. Badger Road
Suite 200
Madison, WI 53713
(608) 268-8112 (direct dial)
(608) 258-5580 (office)
(608) 258-5599 (fax)

Exterior Material Narrative

Forest Glen

Eakin/Youngentob Associates, Inc.
February 11, 2005

Montgomery County, MD

Tudor Style (North of Linden Lane)

- The dominant exterior finish material for the front and side elevations will be a ~~stucco type finish~~ accentuating the historic style being represented. This will be achieved by the use of brick veneer or cementitious stucco panels. The brick veneer will be either painted or parged with a stucco finish, or will be a light natural color brick. Stone veneer will also be used at certain locations.
- Rear elevations will compliment the front and side elevation colors and materials with the use of either brick veneer or the cementitious stucco panels, trimmed to match the front styles.
- Cementitious siding will be used to decorate gables and dormers in shingle or scallop patterns.
- Stone veneer will be used as an accent material around many ground floor doors and windows.
- The trim material for other doors and windows, corner boards and cornices will be painted synthetic simulated wood products ensuring high quality and low maintenance.
- Exterior "half-timbering" detailing will be achieved on facades, bays and corner turrets with synthetic simulated wood trim materials, painted dark accent colors.
- Roof shingles will be either "Grand Manor" architectural grade "shingle" by Certainteed giving a slate roof appearance, or a more traditional architectural grade asphalt roof shingle.
- Railings will be either metal painted black or wood painted to match the trim colors.
- Gutters and downspouts will be aluminum with the appearance of weathered copper.

↑ specifics

Mission Style (North of Linden Lane)

- The dominant exterior finish material for the front and side elevations will be a stucco type finish accentuating the historic style being represented. This will be achieved by the use of brick veneer or a cementitious stucco panels. The brick veneer will be either painted or parged with a stucco finish, or will be a light natural color brick. Colored ceramic tiles will provide accent decorations in several key locations.
- Rear elevations for the end units will match the front and side colors and materials, while the interior units will be cementitious horizontal siding.
- Windows and doors will be detailed with flat trim surrounds or flat trim heads with brick sills, painted to match the facade.

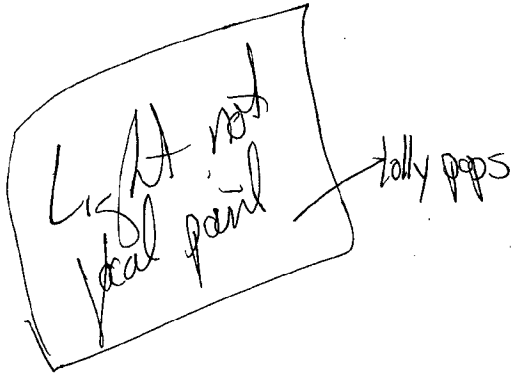
↑ material

- Parapets will be accentuated with trim painted accent colors.
- Roof shingles will be "Grand Manor" architectural grade "shingle" by Certainteed giving a slate roof appearance.
- Railings will be metal, painted black.
- Gutters and downspouts will be aluminum with the appearance of weathered copper.

Folk Traditional (South of Linden Lane)

- The dominant exterior finish material for the front, side and rear elevations will be siding to complement the existing contextual styles present in the surrounding neighborhoods.
- Foundations will be finished with brick or stone veneer which will further accent the siding facades.
- Windows and doors will be detailed with flat trim surrounds and sills; and head features with shapes and profiles consistent with the surround context.
- Roof shingles will be asphalt architectural grade "shingle" by Certainteed giving a slate roof appearance. Bay windows and porches will have either asphalt architectural grade shingles or prefinished metal roofing.
- Gutters and downspouts will be prefinished aluminum.

11x17 Size to Commission



Prelim Plans — breaks into lots

Site Plan — what is happening on site

placement of items — trees
— block
— parking

locks it in

→ include in HOA/P

① Configuration of Elements on Site
+ minor changes

Fees on — Parking; New SF House
New Town Homes

Speak now


Questions for Gwen -

NPS - with the site plan, how much detail should I be getting into - how involved should I be - i.e. interpretive signage design/text *deserve yes*

Show her the garage - add it to this HAWP conditionally?



Discuss the road ROW

How will I approve the new construction - conditional on staff's approval of the CDs?

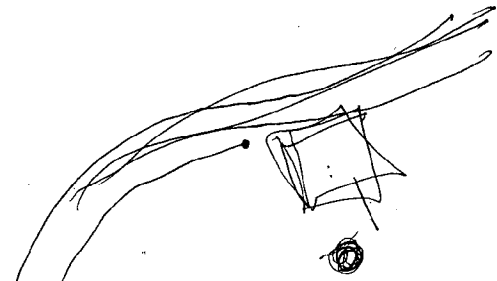
Kensington - boundary determination of St. Paul 



T.P. Non-contrib skylight question - *Gwen ok*

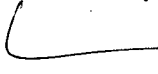
MAHDC training - staff go? - *not required*

 Look ~~at~~ in the *fundament*
older st.
area where Mill works is 

Abert *brgs*



Get letters from Escent Committee 


 we want MHT approval
1st

+ Closely aligned & coord
w/ MHT

+ Too Much Info for HAWP



Robert L. Ehrlich, Jr.
GOVERNOR

Michael S. Steele
LT. GOVERNOR

Victor L. Hoskins
SECRETARY

Shawn S. Karimian
DEPUTY SECRETARY

FACSIMILE

OFFICE OF PRESERVATION SERVICES

From: Collin Ingraham

Date: 3/17/05

To: Tavia Tully

Phone: _____

Fax: 301-563-3412

RE: Forest Glen

Number of Pages: 3

<input type="checkbox"/>	As requested
<input type="checkbox"/>	Please comment and return
<input type="checkbox"/>	Please approve and return
<input type="checkbox"/>	Please take charge

<input type="checkbox"/>	For your information
<input type="checkbox"/>	Please note and file
<input type="checkbox"/>	Please note and return
<input type="checkbox"/>	We will discuss this

Remarks:

DIVISION OF HISTORICAL AND CULTURAL PROGRAMS
100 Community Place
Crownsville, MD 21032
PHONE 410-514-7600
TOLL FREE 1-800-756-0119
FAX 410-987-4071
TTY/RELAY 711 or 1-800-735-2258
WEB www.mdhousing.org



Nancy Sturgin
yoga

(2) Main + of - HAWP

(3) Concept Approval of location
General of Design

We should not approve a HAWP before
MHT

Succinct about what I want them
to look at.

Approve all changes to the site
Please note:
parking

★ Prioritize Bullets — most important 1st

* → DPWT - 20' ROW on NPS Side
3' existing w/ wall - 20' wide
① intersection
Pavement when curb gutter

frail material - scored concrete, colored
pauke under heavy plant

Interior Lighting

APF → MHT wants not "ye olde"

2/23/05

Re DC - NPS

April 7 PB schedule

Waiting on resolutions from Council

Intersection - tweaked only

island shield

20' 2-way } Transp.

16' 1-way } private study

More info on Pkg Garage

not a lot of ambient light

* Lighting - MHT wants box units

Landscaping - around SF

52' ROW agreed upon

still waiting on ~~issue~~

memo from DTWT

Storage for trail 5/5/2

check current language for public access

Washington Alder

W. J. + Steve F

New Construction

Window specs?

Materials - a few questions

Changes from Development Plan we saw
based on Hearing Examiner

- parking by music hall
 - 52' ROW Linden Lane
 - optional parking deck
- MHT Easement is in place
Development team owns the property

Still seeking height waiver
rezoning is before the County Council

L.S. plan

input on ^{signs} development

→ Interpretive Signs / Trail

stone entry

streetscape looks a bit too regular

we do not have the detail sheets

explanation would be helpful

→ speak w/
Margaret

good - mix of sizes + types of trees

① stone entry plank - too large? - subtle is better

+ more info on pkg. garage

+ before & after circulation

+ new slab L2-1

what is lamp black
concrete paving

HADCO.com

Blocking Plans

Bldgs 107-138 (not 114 & 116)

perhaps these are the existing conditions

- # 107 Castle - no key or existing condition
- # 108 Japanese Pagoda - "
- # 109 Japanese Bungalow "
- # 110 Colonial House "
- # 111 Hotel Windmill "
- # 112 Indian Mission (has demo plan) no key (has new plan) * get photo & look historic - have ? about railing

- # 113 Swiss Chalet
- # 114 Chapel
- # 115 Miller Library
- # 116 Aloha House
- # 118 Gymnasium
- # 119 Villa
- # 120 Practice Hall / Power Plant
- # 121 Carriage House (Fire Station)
- # 122 Carpentry Shop
- # 125 Stables
- # 126 Postmaster House
- # 133 The Edgewood
- # 135 Chauffers Cottage
- # 138 Servants Quarters

NPS 2-23-05

Hearing Examiner's report due out soon

DPS → Intersection Improvement not much change

* ROW - 52' still in flux
↳ Given make a call?

Linden Lane by the bridge

Steve Fedelone needs to commit on Encroachment in
Stream Buffers

Dave Kirkendall - Summit

March 7 Weekend Mtg

Street need names

→ Pedestrian & Vehicular ~~Foot~~ Plans
existing & proposed

→ streetscape detail sheets

→ setback chart & establish setbacks
from lot lines

Chart for Historic - minimums

April 7 - Board Date

plans by 3/18

staff reports 3/25 - note

MEMO

to Robert

— due 1 week prior to Board Date

Waves blog spanning property lines
— the bridge

Cathy Conlon - Subdivise Waves

Schedule demo prior to record plat

↳ Robert needs Steve F's OK
tree protecting



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAVID VOS
Daytime Phone No.: (608) 268-8112

Tax Account No.: _____
Name of Property Owner: FOREST GLEN VENTURES LLC Daytime Phone No.: (608) 258-5580
Address: 145 EAST BADGER ROAD, SUITE 200 MADISON WI 53713
Street Number City State Zip Code
Contractor: STRUBNER BROTHERS ECOLGS TROUSE Phone No.: (443) 573-4080
Contractor Registration No.: _____
Agent for Owner: DAVID G VOS Daytime Phone No.: (608) 268-8112

LOCATION OF BUILDING/PREMISE

House Number: 1801 LINDEN Street: LINDEN LAWE
Town/City: SILVER SPRING Nearest Cross Street: WOODSTOCK COURT
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: REDEVELOPMENT

1B. Construction cost estimate: \$ 45,000,000 PER PLANS
1C. If this is a revision of a previously approved active permit, see Permit # 359221

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches (VARIES - SEE PLAN)
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

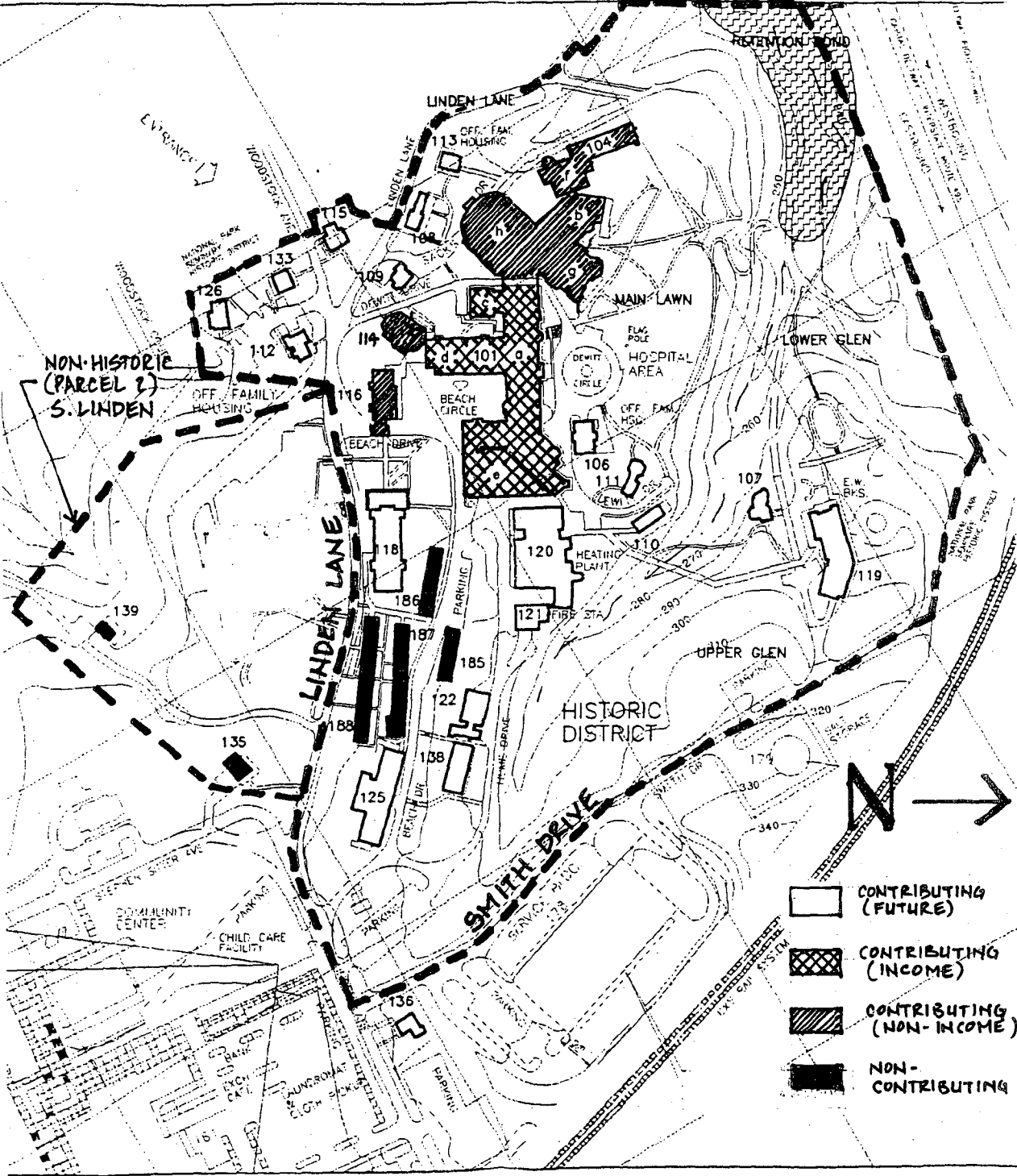
02/24/05
Date

375455

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

HISTORIC DISTRICT
(PARCEL 1)
N. LINDEN

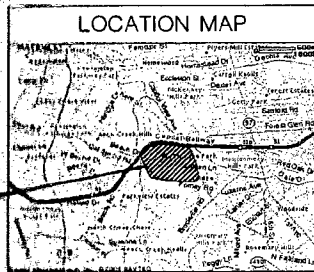


SCENARIO 1 - Hist

HISTORIC DISTRICT PLAN

NATIONAL PARK SEMINARY

MAIN BUILDING (101)
SILVER SPRING, MARYLAND



DRAWING INDEX	
T1	TITLE SHEET
C1	SITE PLAN
A2.0a	SUB-BASEMENT DEMOLITION PLAN
A2.0b	BASEMENT FLOOR PLAN
A2.1	FIRST FLOOR DEMOLITION PLAN
A2.2	SECOND FLOOR DEMOLITION PLAN
A2.3	THIRD FLOOR DEMOLITION PLAN
A2.4	ATTIC DEMOLITION PLAN
A2.5	ROOF DEMOLITION PLAN
A3.0a	SUB-BASEMENT FLOOR PLAN
A3.0b	BASEMENT FLOOR PLAN
A3.1	FIRST FLOOR PLAN
A3.2	SECOND FLOOR PLAN
A3.3	THIRD FLOOR PLAN
A3.4	ATTIC PLAN
A3.5	ROOF PLAN
A5.1	BUILDING ELEVATIONS (PHOTO ELEVATIONS)
A5.2	BUILDING ELEVATIONS (PHOTO ELEVATIONS)
A5.3	BUILDING ELEVATIONS (PHOTO ELEVATIONS)
A5.4	BUILDING ELEVATIONS (PHOTO ELEVATIONS)

DRAWING INDEX	
A6.1	BUILDING SECTIONS
A6.2	BUILDING SECTIONS
A6.3	BUILDING SECTIONS
A6.4	STAIR SECTIONS
A6.5	STAIR SECTIONS
A6.6	STAIR SECTIONS
A6.7	STAIR SECTIONS

THE ALEXANDER COMPANY

145 E. BADGER ROAD
SUITE 200
MADISON, WI. 53713
(608) 258-5580

APPROVALS	NAME	DATE
DESIGN	_____	_____
CONSTR.	_____	_____
DEV.	_____	_____
ECT.	_____	_____
OWNER	_____	_____

Architect, Planning & Construction
URBAN RESOURCES
146 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-6691
FAX 608-258-6691

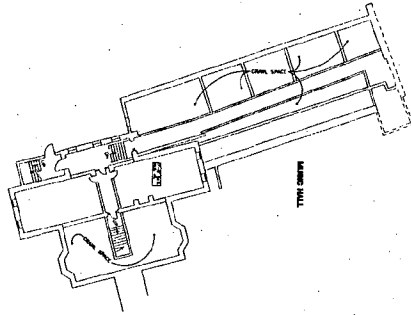
PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

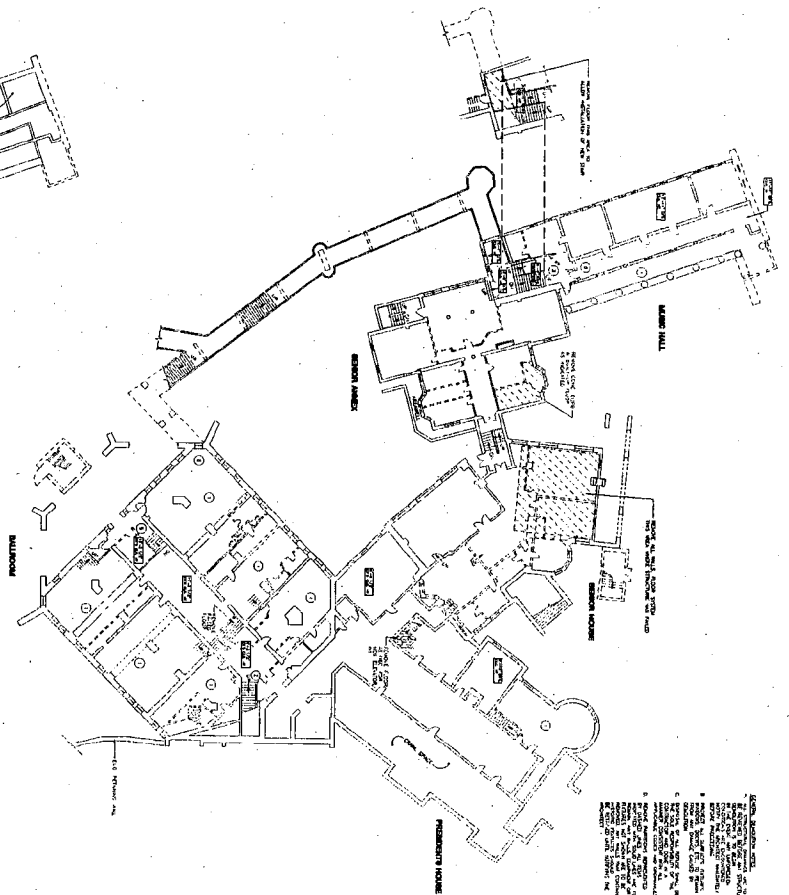
TITLE SHEET	SCALE: AS SHOWN
DATE: _____	DATE: _____
BY: _____	BY: _____
CHECKED BY: _____	CHECKED BY: _____

PROJECT NO.
44-83
SHEET NO.
T-1

SUB-BASEMENT DEMOLITION FLOOR PLAN
SCALE: 3/64" = 1'-0"



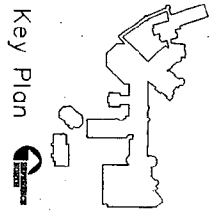
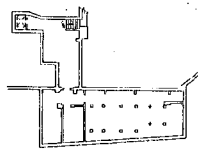
SUB-BASEMENT DEMOLITION FLOOR PLAN
SCALE: 3/64" = 1'-0"



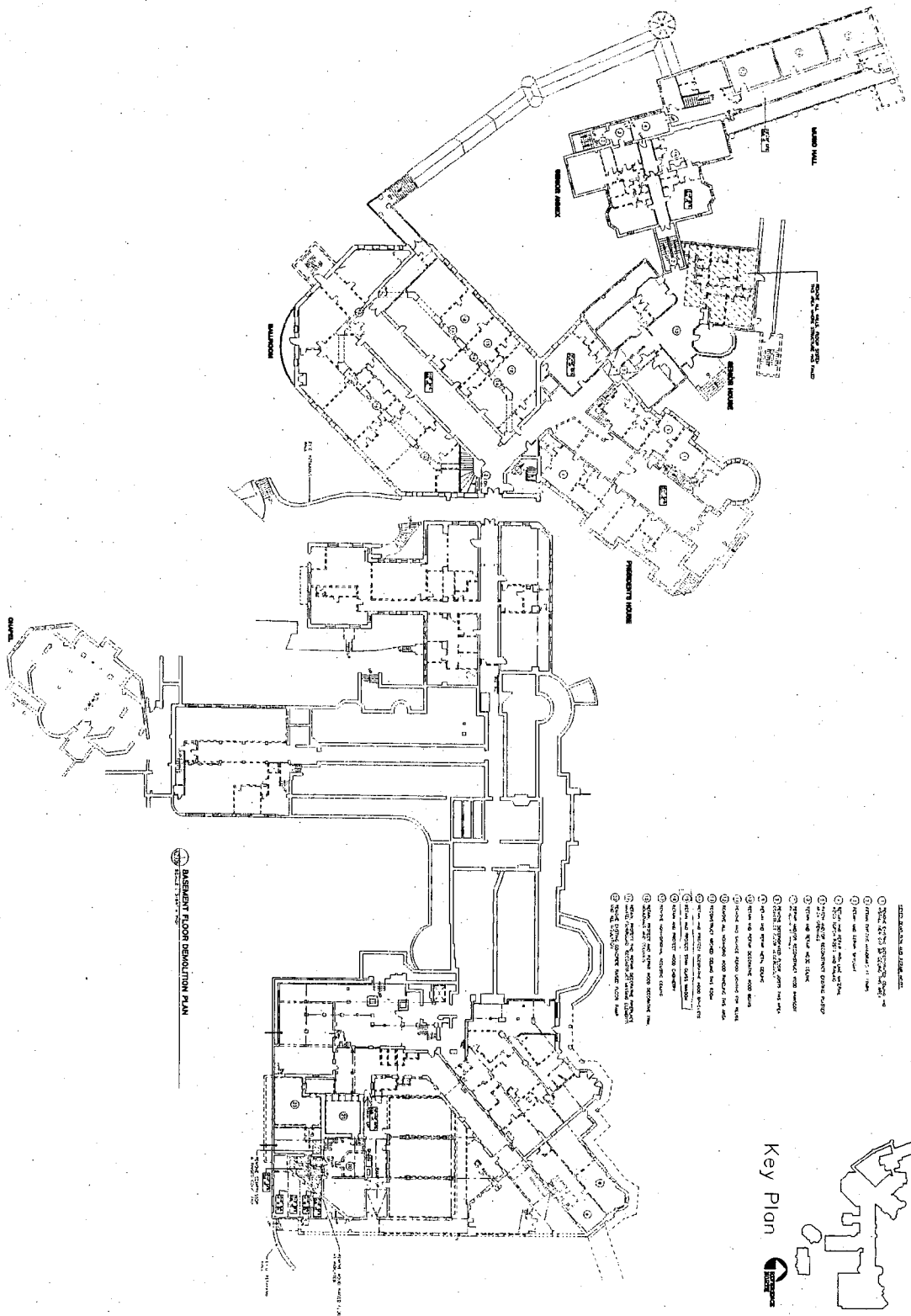
1. DEMOLITION OF EXISTING STRUCTURE PER 101
2. DEMOLITION OF EXISTING STRUCTURE PER 101
3. DEMOLITION OF EXISTING STRUCTURE PER 101
4. DEMOLITION OF EXISTING STRUCTURE PER 101
5. DEMOLITION OF EXISTING STRUCTURE PER 101
6. DEMOLITION OF EXISTING STRUCTURE PER 101
7. DEMOLITION OF EXISTING STRUCTURE PER 101
8. DEMOLITION OF EXISTING STRUCTURE PER 101
9. DEMOLITION OF EXISTING STRUCTURE PER 101
10. DEMOLITION OF EXISTING STRUCTURE PER 101

1. DEMOLITION OF EXISTING STRUCTURE PER 101
2. DEMOLITION OF EXISTING STRUCTURE PER 101
3. DEMOLITION OF EXISTING STRUCTURE PER 101
4. DEMOLITION OF EXISTING STRUCTURE PER 101
5. DEMOLITION OF EXISTING STRUCTURE PER 101
6. DEMOLITION OF EXISTING STRUCTURE PER 101
7. DEMOLITION OF EXISTING STRUCTURE PER 101
8. DEMOLITION OF EXISTING STRUCTURE PER 101
9. DEMOLITION OF EXISTING STRUCTURE PER 101
10. DEMOLITION OF EXISTING STRUCTURE PER 101

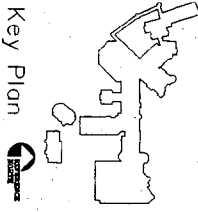
1. DEMOLITION OF EXISTING STRUCTURE PER 101
2. DEMOLITION OF EXISTING STRUCTURE PER 101
3. DEMOLITION OF EXISTING STRUCTURE PER 101
4. DEMOLITION OF EXISTING STRUCTURE PER 101
5. DEMOLITION OF EXISTING STRUCTURE PER 101
6. DEMOLITION OF EXISTING STRUCTURE PER 101
7. DEMOLITION OF EXISTING STRUCTURE PER 101
8. DEMOLITION OF EXISTING STRUCTURE PER 101
9. DEMOLITION OF EXISTING STRUCTURE PER 101
10. DEMOLITION OF EXISTING STRUCTURE PER 101



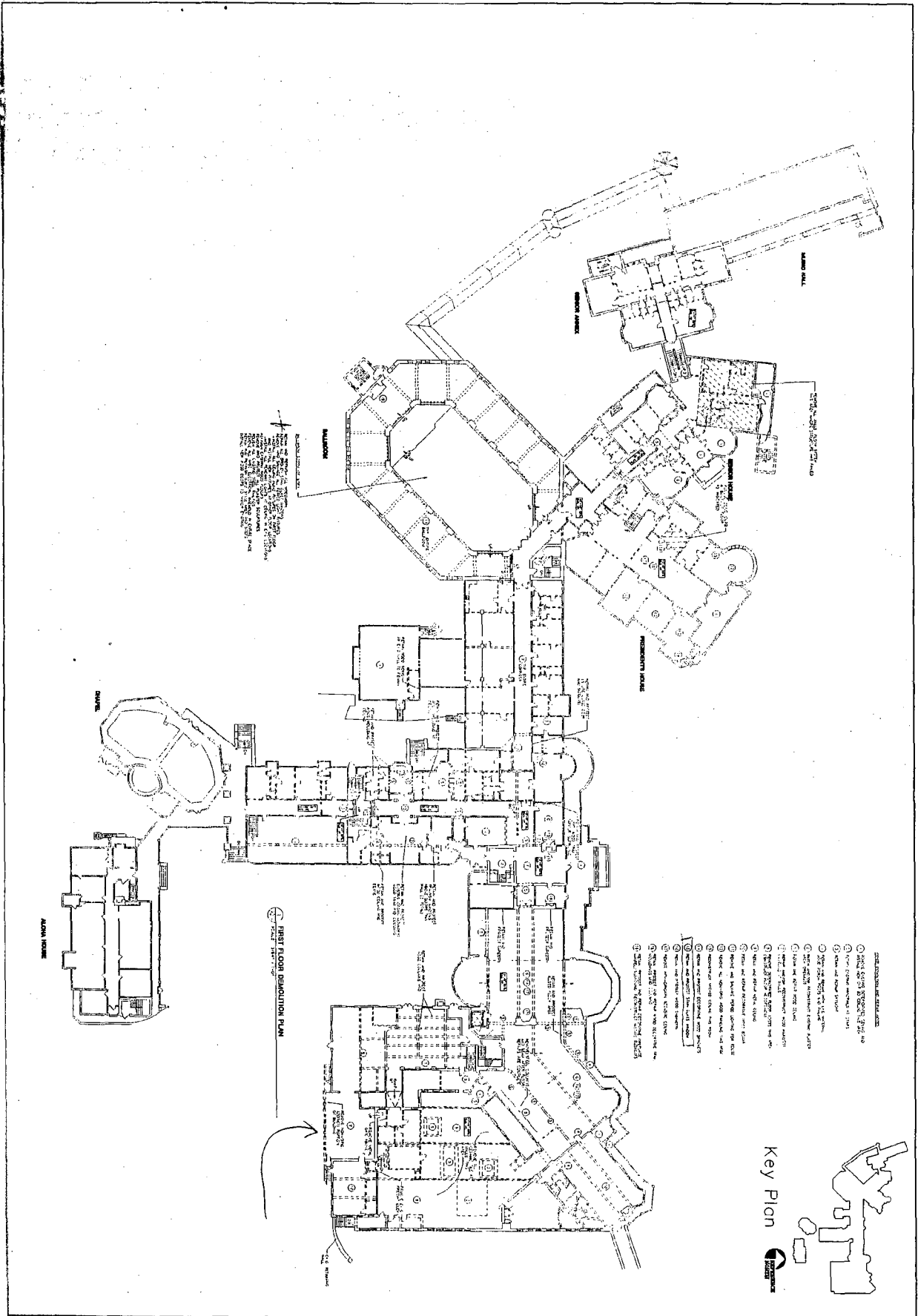
A2.08	SUB-BASEMENT DEMOLITION FLOOR PLAN	NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction
	PROJECT NO. 03-537			URBAN RESOURCES
	SHEET NO.			145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5589
	DRAWN: DZ 5-28-04 19-26-04 11-24-04			APPR.: DH PART I PART I SCHEMATIC DESIGN



- LEGEND**
- 1. REMOVE EXISTING CONCRETE FLOOR
 - 2. REMOVE EXISTING PARTITION WALLS
 - 3. REMOVE EXISTING PARTITION WALLS
 - 4. REMOVE EXISTING PARTITION WALLS
 - 5. REMOVE EXISTING PARTITION WALLS
 - 6. REMOVE EXISTING PARTITION WALLS
 - 7. REMOVE EXISTING PARTITION WALLS
 - 8. REMOVE EXISTING PARTITION WALLS
 - 9. REMOVE EXISTING PARTITION WALLS
 - 10. REMOVE EXISTING PARTITION WALLS
 - 11. REMOVE EXISTING PARTITION WALLS
 - 12. REMOVE EXISTING PARTITION WALLS
 - 13. REMOVE EXISTING PARTITION WALLS
 - 14. REMOVE EXISTING PARTITION WALLS
 - 15. REMOVE EXISTING PARTITION WALLS
 - 16. REMOVE EXISTING PARTITION WALLS
 - 17. REMOVE EXISTING PARTITION WALLS
 - 18. REMOVE EXISTING PARTITION WALLS
 - 19. REMOVE EXISTING PARTITION WALLS
 - 20. REMOVE EXISTING PARTITION WALLS
 - 21. REMOVE EXISTING PARTITION WALLS
 - 22. REMOVE EXISTING PARTITION WALLS
 - 23. REMOVE EXISTING PARTITION WALLS
 - 24. REMOVE EXISTING PARTITION WALLS
 - 25. REMOVE EXISTING PARTITION WALLS
 - 26. REMOVE EXISTING PARTITION WALLS
 - 27. REMOVE EXISTING PARTITION WALLS
 - 28. REMOVE EXISTING PARTITION WALLS
 - 29. REMOVE EXISTING PARTITION WALLS
 - 30. REMOVE EXISTING PARTITION WALLS
 - 31. REMOVE EXISTING PARTITION WALLS
 - 32. REMOVE EXISTING PARTITION WALLS
 - 33. REMOVE EXISTING PARTITION WALLS
 - 34. REMOVE EXISTING PARTITION WALLS
 - 35. REMOVE EXISTING PARTITION WALLS
 - 36. REMOVE EXISTING PARTITION WALLS
 - 37. REMOVE EXISTING PARTITION WALLS
 - 38. REMOVE EXISTING PARTITION WALLS
 - 39. REMOVE EXISTING PARTITION WALLS
 - 40. REMOVE EXISTING PARTITION WALLS
 - 41. REMOVE EXISTING PARTITION WALLS
 - 42. REMOVE EXISTING PARTITION WALLS
 - 43. REMOVE EXISTING PARTITION WALLS
 - 44. REMOVE EXISTING PARTITION WALLS
 - 45. REMOVE EXISTING PARTITION WALLS
 - 46. REMOVE EXISTING PARTITION WALLS
 - 47. REMOVE EXISTING PARTITION WALLS
 - 48. REMOVE EXISTING PARTITION WALLS
 - 49. REMOVE EXISTING PARTITION WALLS
 - 50. REMOVE EXISTING PARTITION WALLS



A2.0b	SHEET NO. 03.517	PROJECT NO. 03.517	BASEMENT DEMOLITION FLOOR PLAN DRAWN: DJ APPR.: DH DATE: 2-24-04 SCALE: 3/64" = 1'-0" 5-28-04 PART 1 6-10-04 PART 1 REVISION #1 7-24-04 SCHEMATIC DESIGN	NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	Architecture Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599	



A2.1

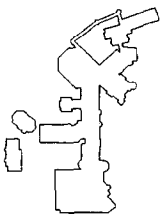
FIRST DEMOLITION FLOOR PLAN			
DRAWN: DJ	APPR.: DM	DATE: 2-24-04	SCALE: 3/64" = 1'-0"
5-28-04 (PART 1)			
9-20-04 (PART 1 AMENDMENT #1)			
3-24-04 (SCHEMATIC DESIGN)			

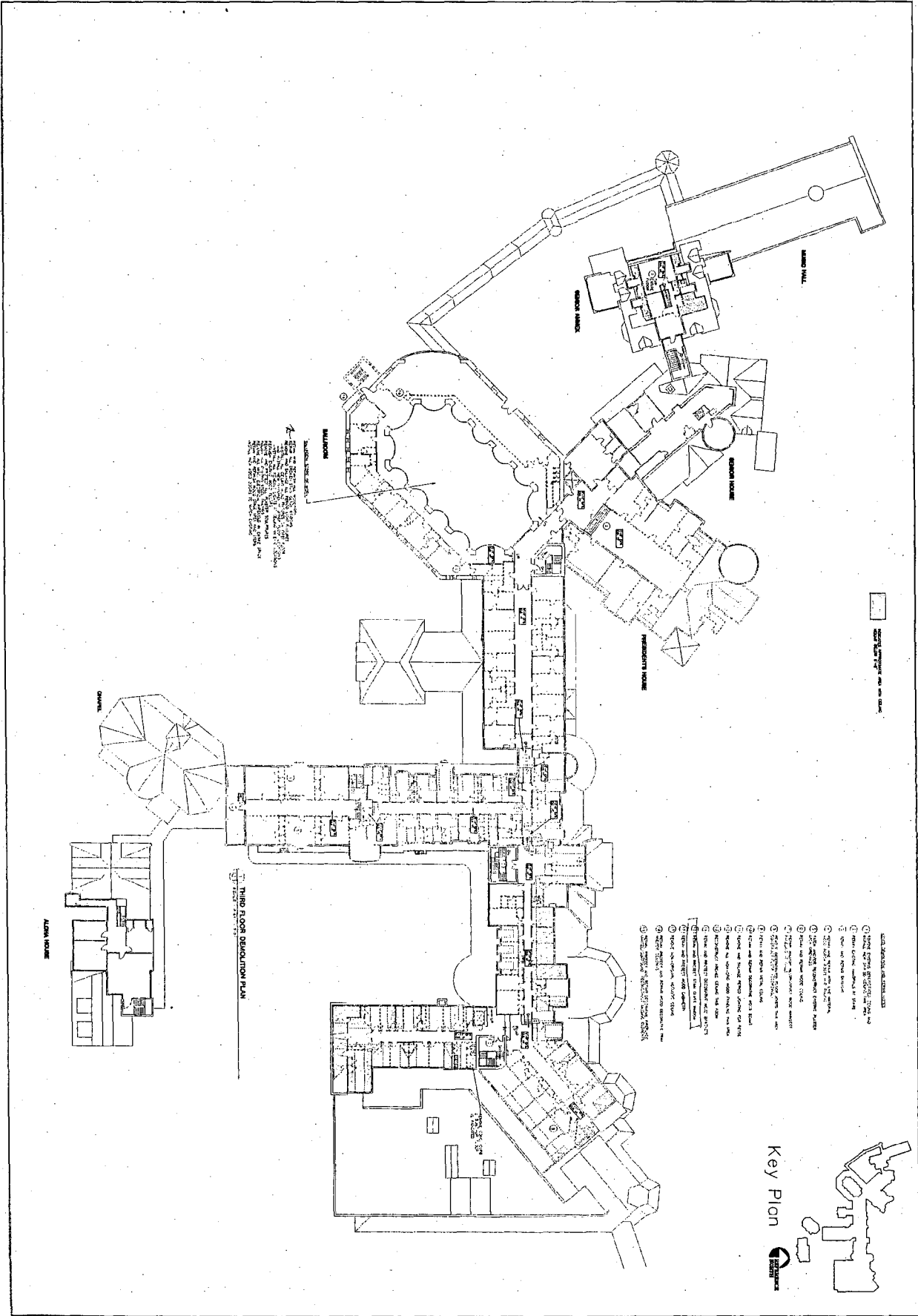
**NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND**

**PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION**

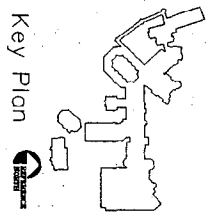
Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-6591
FAX 608-258-5569

Key Plan

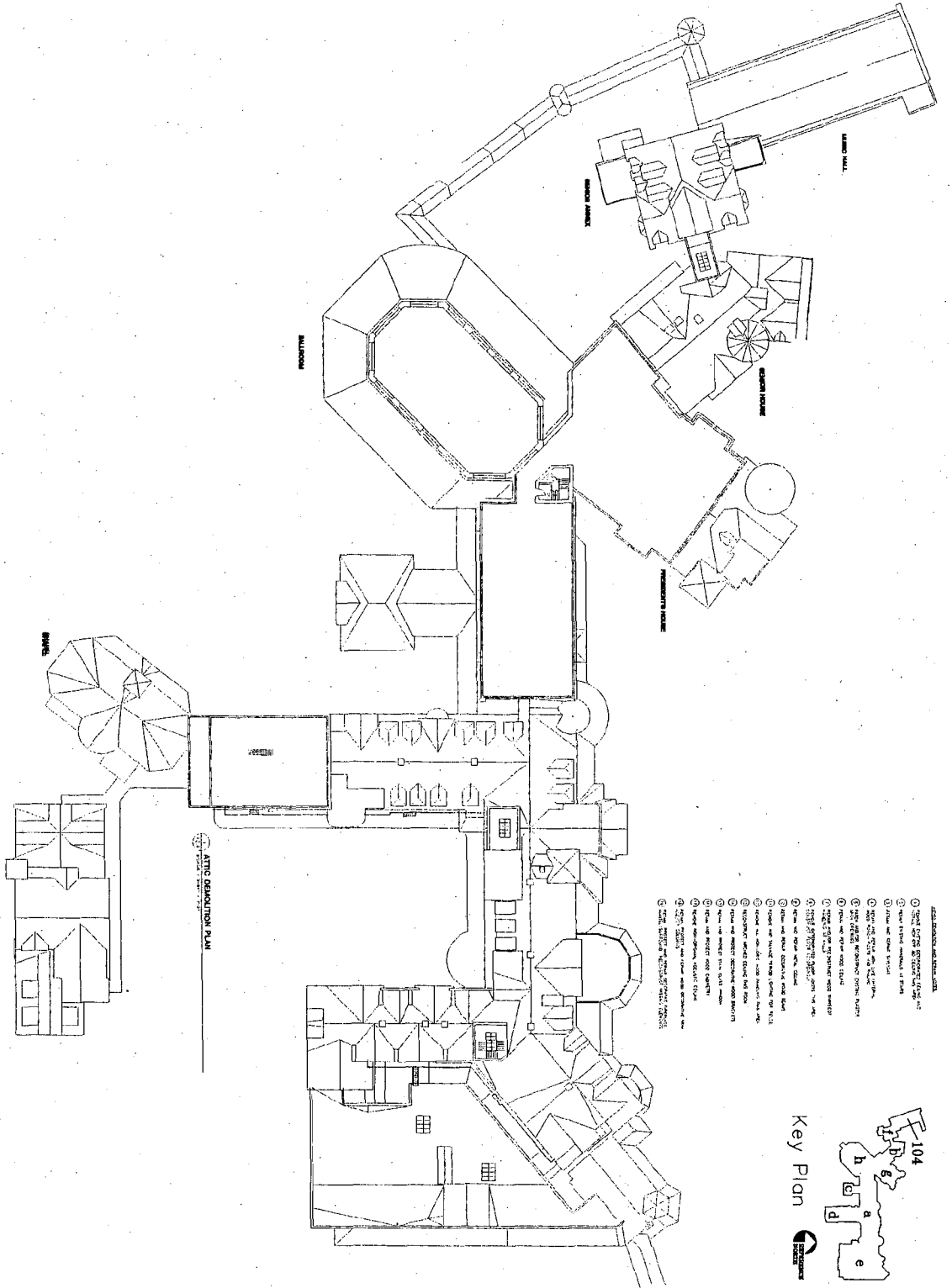




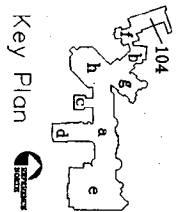
- WALLS AND STRUCTURAL ELEMENTS**
- 1. Existing walls to remain
 - 2. Existing walls to be removed
 - 3. New walls to be constructed
 - 4. Existing walls to be repaired
 - 5. Existing walls to be replaced
 - 6. Existing walls to be replaced with new
 - 7. Existing walls to be replaced with new and repaired
 - 8. Existing walls to be replaced with new and repaired and replaced
 - 9. Existing walls to be replaced with new and repaired and replaced and replaced
 - 10. Existing walls to be replaced with new and repaired and replaced and replaced and replaced
 - 11. Existing walls to be replaced with new and repaired and replaced and replaced and replaced and replaced
 - 12. Existing walls to be replaced with new and repaired and replaced and replaced and replaced and replaced and replaced
 - 13. Existing walls to be replaced with new and repaired and replaced and replaced and replaced and replaced and replaced and replaced
 - 14. Existing walls to be replaced with new and repaired and replaced and replaced and replaced and replaced and replaced and replaced and replaced
 - 15. Existing walls to be replaced with new and repaired and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced
 - 16. Existing walls to be replaced with new and repaired and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced
 - 17. Existing walls to be replaced with new and repaired and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced
 - 18. Existing walls to be replaced with new and repaired and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced
 - 19. Existing walls to be replaced with new and repaired and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced
 - 20. Existing walls to be replaced with new and repaired and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced and replaced



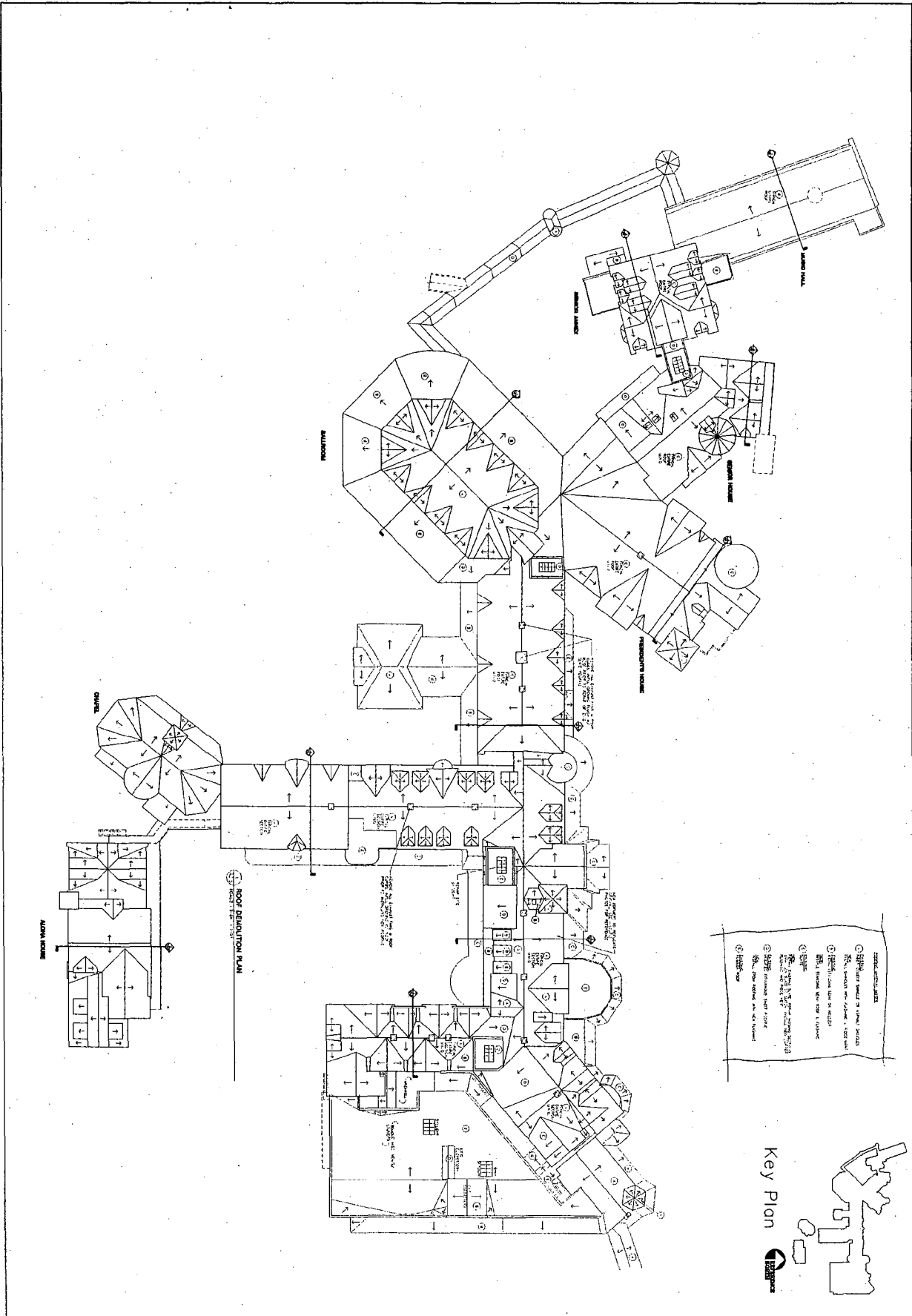
A23	SHEET NO. 03-337	THIRD FLOOR DEMOLITION PLAN				NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599
		DRAWN: DJ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"			
		1-28-04	PART 4					
		2-19-04	PART I AMENEMENT #1					
		1-22-04	SCHEMATIC DESIGN					



- ITEMS TO BE DEMOLISHED AND RELOCATED:
- 1. ROOF SECTION OF SOUTH WING
 - 2. INTERIOR WALLS OF SOUTH WING
 - 3. ROOF SECTION OF EAST WING
 - 4. INTERIOR WALLS OF EAST WING
 - 5. ROOF SECTION OF WEST WING
 - 6. INTERIOR WALLS OF WEST WING
 - 7. ROOF SECTION OF NORTH WING
 - 8. INTERIOR WALLS OF NORTH WING
 - 9. ROOF SECTION OF MAIN BUILDING
 - 10. INTERIOR WALLS OF MAIN BUILDING
 - 11. ROOF SECTION OF WEST WING
 - 12. INTERIOR WALLS OF WEST WING
 - 13. ROOF SECTION OF EAST WING
 - 14. INTERIOR WALLS OF EAST WING
 - 15. ROOF SECTION OF NORTH WING



A2.4	SHEET NO. 01.517	ATTIC DEMOLITION PLAN				NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53718 TELEPHONE 608-258-5591 FAX 608-258-5599
		DRAWN: DZ	APPR.: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"			

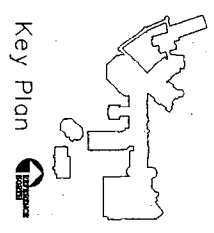


A2.5	SHEET NO. 03.537	PROJECT NO. 03.537	ROOF DEMOLITION PLAN		
			DRAWN: DZ	APPR.: DN	DATE: 2-24-04
			SCALE: 3/8" = 1'-0"		

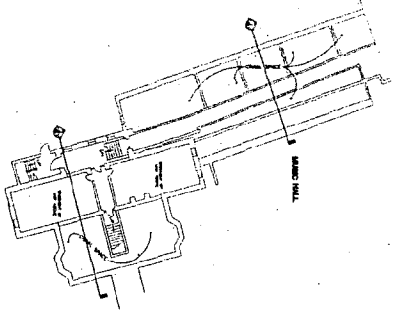
NATIONAL PARK SEMINARY
 MAIN BUILDING
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND

PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
NOT FOR CONSTRUCTION

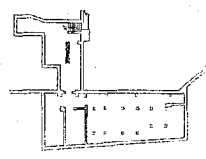
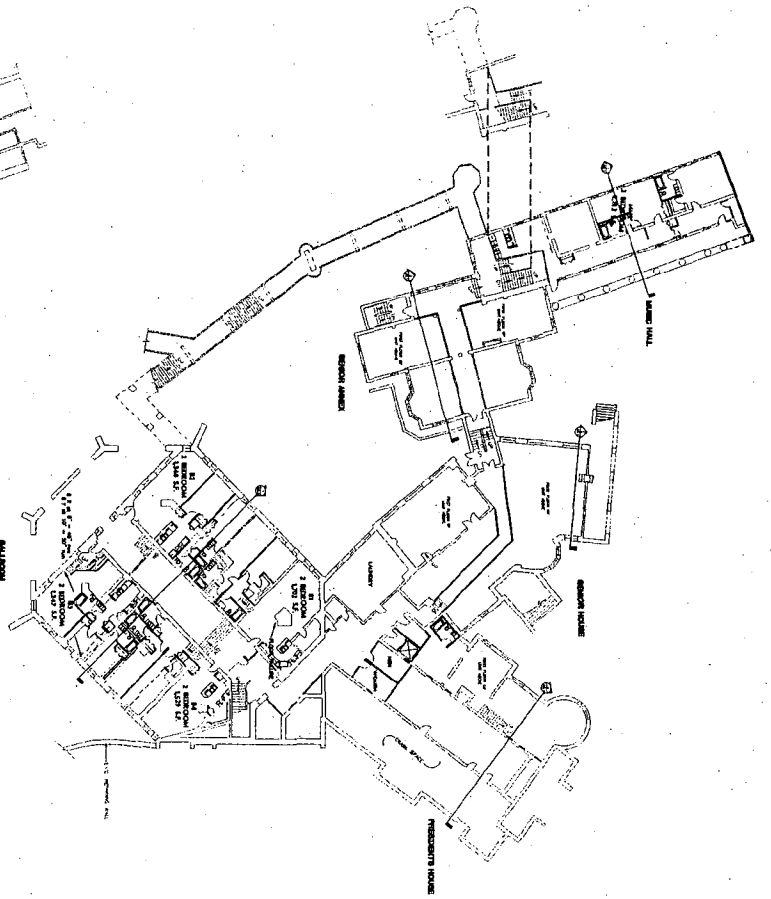
Architecture, Planning & Construction
URBAN RESOURCES
 145 E. BADGER ROAD, SUITE 200
 WAUKESHA, WISCONSIN 53186
 TELEPHONE 608-258-5591
 FAX 608-258-5599



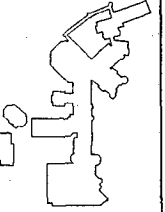

 NORTH
 SUB-BASEMENT FLOOR PLAN
 SCALE: 3/64" = 1'-0"




 NORTH
 SUB-BASEMENT FLOOR PLAN
 SCALE: 3/64" = 1'-0"



Key Plan



A3.08

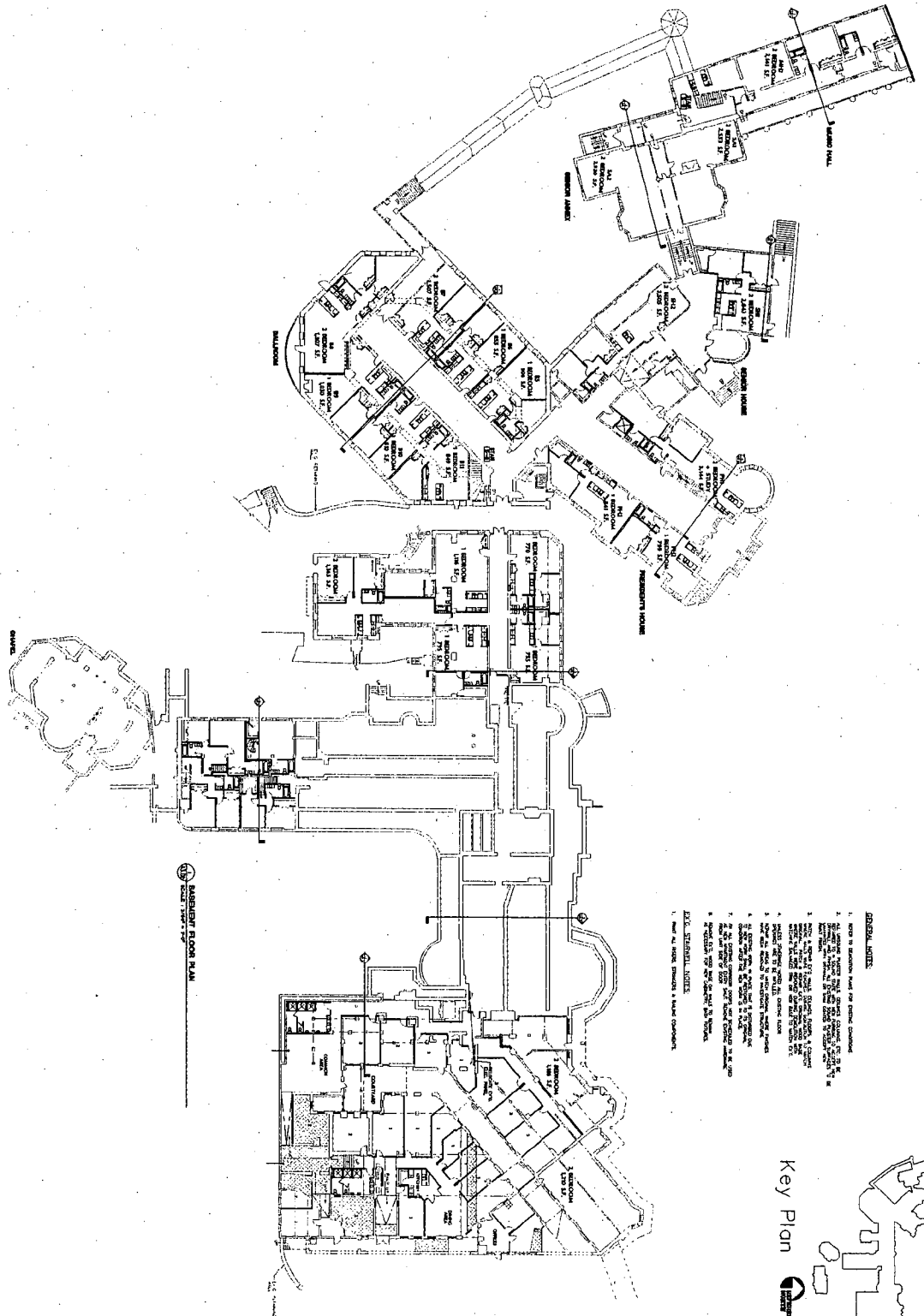
SHEET NO.
 PROJECT NO.
 03.537

SUB-BASEMENT FLOOR PLAN			
DRAWN: DZ	APPR: DH	DATE: 2-24-04	SCALE: 3/64" = 1'-0"
EX-001	1	PART 1	
EX-001	1	AMENDMENT #1	
EX-001	1	SCHEMATIC DESIGN	

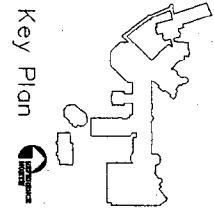
NATIONAL PARK SEMINARY
 MAIN BUILDING
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND

PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
NOT FOR CONSTRUCTION

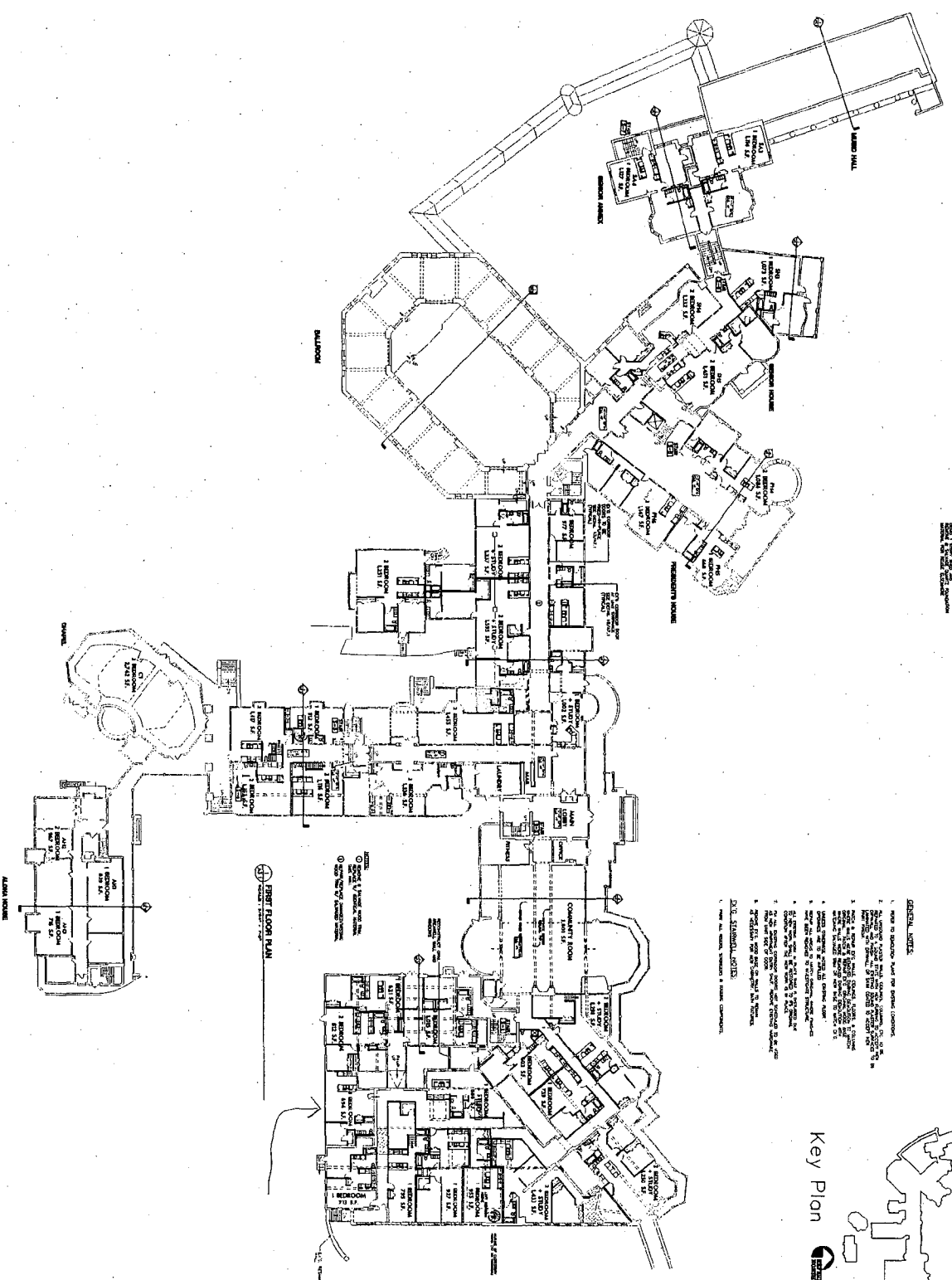
Architecture, Planning & Construction
URBAN RESOURCES
 145 E. BADGER ROAD, SUITE 200
 MADISON, WISCONSIN 53713
 TELEPHONE 608-258-5591
 FAX 608-258-5595



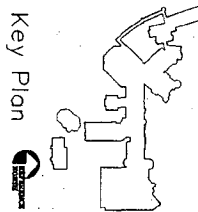
- GENERAL NOTES:**
1. REFER TO SEPARATE SHEETS FOR OTHER CONDITIONS.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND THE NATIONAL MECHANICAL CODE.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLUMBING AND HEATING CODES.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING ORGANIZATION (NBO) CODES.
 7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF ARCHITECTS (NAA) CODES.
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF ENGINEERS (NAE) CODES.
 9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF CONTRACTORS (NAC) CODES.
 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ASSOCIATION OF MANAGERS (NAM) CODES.



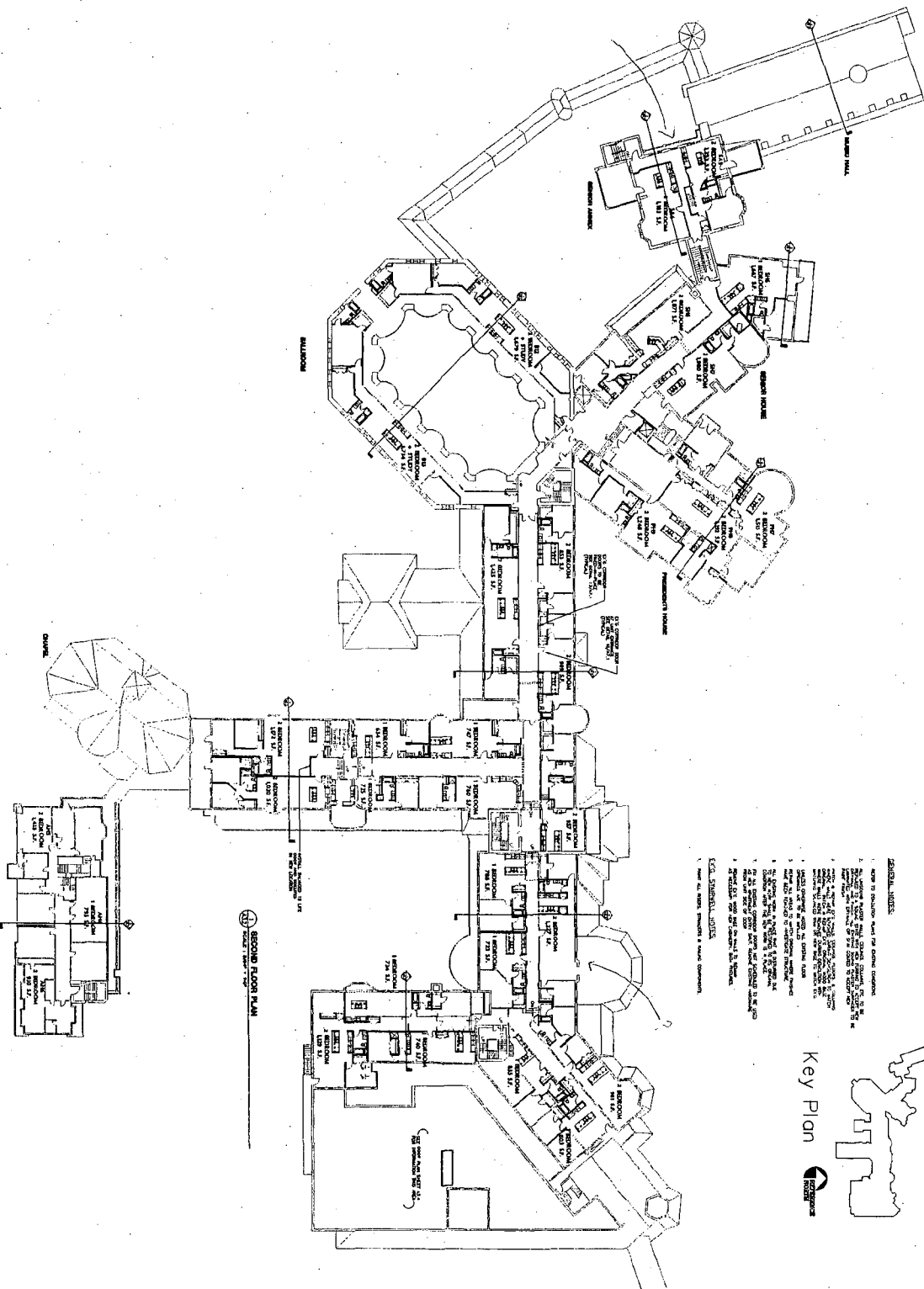
A3.0b	BASEMENT FLOOR PLAN		NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-256-5591 FAX 608-258-5599
	DRAWN: DZ 15-05-04	APPR.: GH 19-05-04		
PROJECT NO. 03-337	PART I 19-24-04	PART I AMENDMENT #1 19-24-04	SCHEMATIC DESIGN	
SHEET NO.				



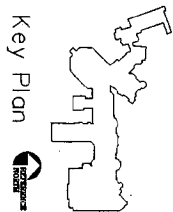
- GENERAL NOTES**
1. REFER TO DRAWING "KEY PLAN" FOR GENERAL LOCATION.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
 4. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
 5. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
 6. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
 7. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
 8. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
 9. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
 10. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
- D.P. STEINBERG, ARCHT.
 2010 W. WISCONSIN AVENUE, SUITE 200
 MADISON, WISCONSIN 53713



A3.1	FIRST FLOOR PLAN			NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE: 608-258-5591 FAX: 608-258-5599
	DRAWN: DZ	APPR.: DH	DATE: 2-24-04			
	5-28-04	PART 1	SCALE: 3/64" = 1'-0"			
	9-16-04	PART 1 AMENDMENT #1				
8-14-04	SCHEMATIC DESIGN					



- GENERAL NOTES:**
1. REFER TO EXISTING PLANS FOR GENERAL CONDITIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE REGULATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODE AND ALL APPLICABLE REGULATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARD IDENTIFICATION GUIDE AND ALL APPLICABLE REGULATIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL SAFETY COUNCIL (NSC) SAFETY STANDARDS AND ALL APPLICABLE REGULATIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS (NSPE) STANDARDS AND ALL APPLICABLE REGULATIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL SOCIETY OF ARCHITECTS (NSA) STANDARDS AND ALL APPLICABLE REGULATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL SOCIETY OF INTERIOR DESIGNERS (NSID) STANDARDS AND ALL APPLICABLE REGULATIONS.
- DATE: 2-24-04
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



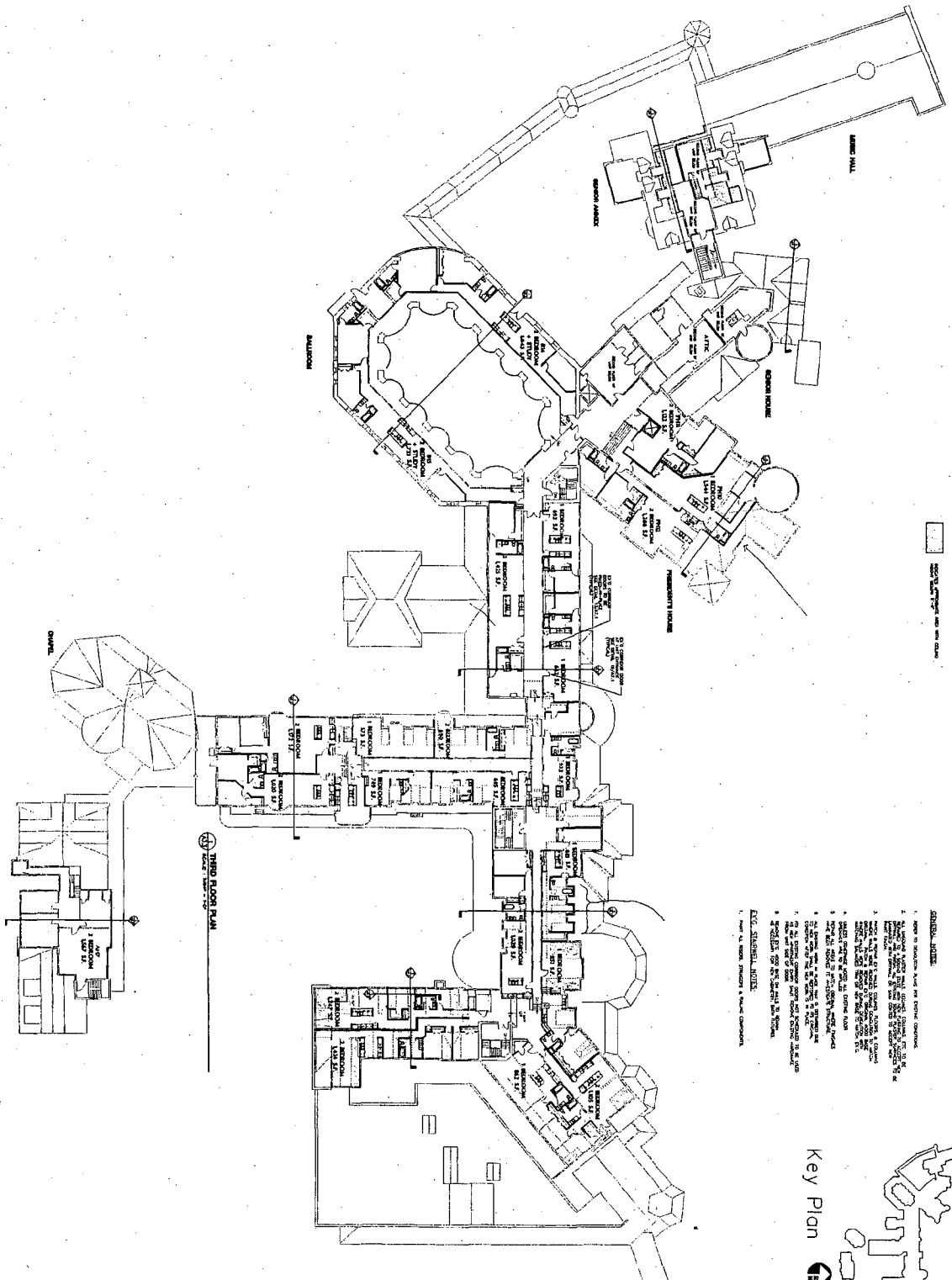
A32

PROJECT NO. 03.537	SECOND FLOOR PLAN		
SHEET NO.	DRAWN BY	APPR. BY	DATE: 2-24-04
	SCHOOL: PART I		SCALE: 3/64" = 1'-0"
	9-6-04 PART I AMENDMENT #1		
	3-24-04 SCHEMATIC DESIGN		

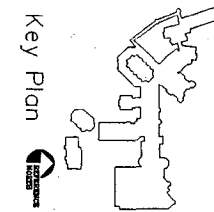
NATIONAL PARK SEMINARY
 MAIN BUILDING
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND

PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
NOT FOR CONSTRUCTION

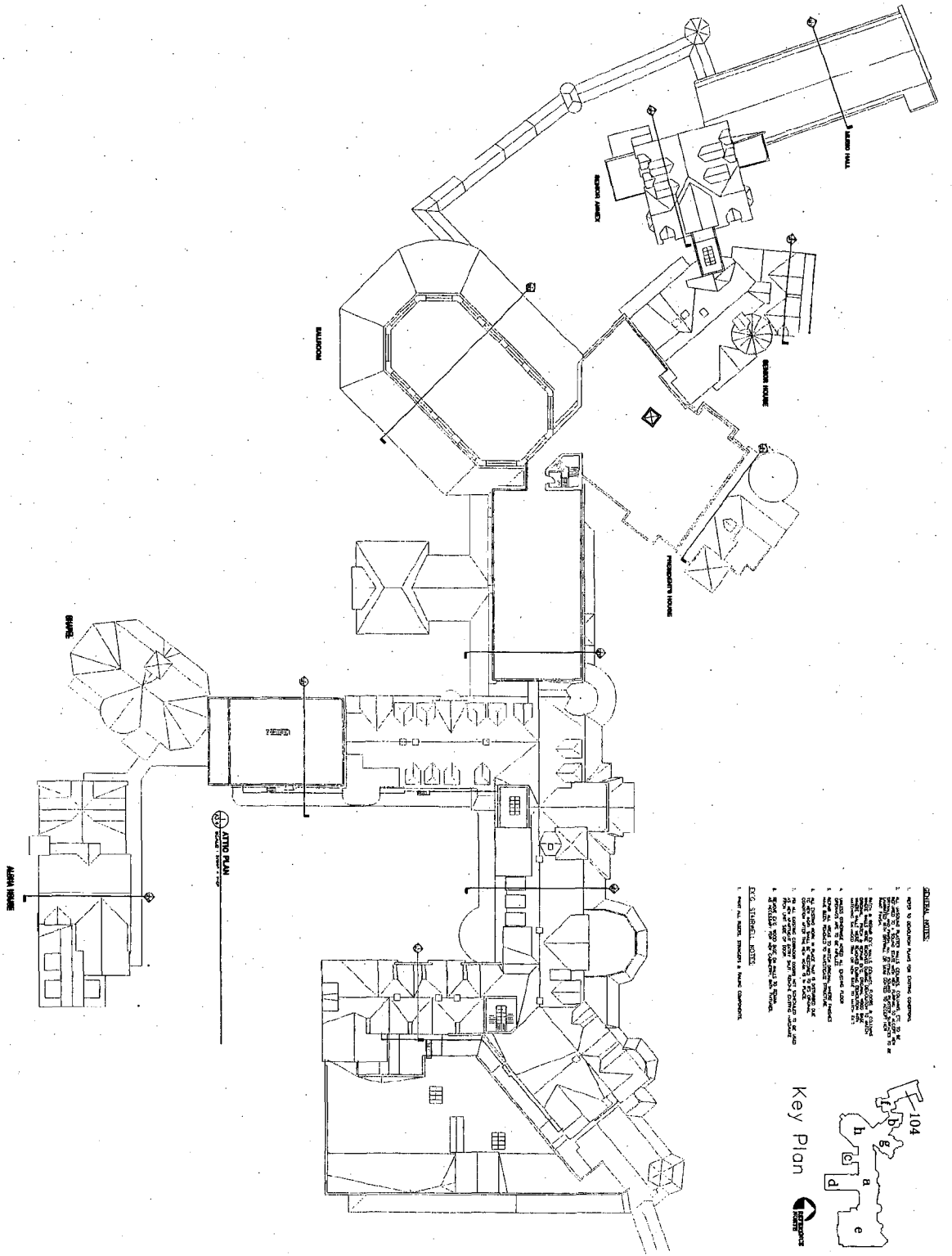
Architecture, Planning & Construction
URBAN RESOURCES
 145 E. BADGER ROAD, SUITE 200
 MADISON, WISCONSIN 53719
 TELEPHONE 608-258-5591
 FAX 608-258-5599



- LEGEND**
- 1. ROOMS TO BE REMOVED
 - 2. ROOMS TO BE ADDED
 - 3. ROOMS TO BE RECONFIGURED
 - 4. ROOMS TO BE RENOVATED
 - 5. ROOMS TO BE REFINISHED
 - 6. ROOMS TO BE REPAIRED
 - 7. ROOMS TO BE RELOCATED
 - 8. ROOMS TO BE REDESIGNED
 - 9. ROOMS TO BE RESTRUCTURED
 - 10. ROOMS TO BE RECONSTRUCTED
 - 11. ROOMS TO BE REDEMOLISHED
 - 12. ROOMS TO BE REBUILT
 - 13. ROOMS TO BE REFINISHED
 - 14. ROOMS TO BE REPAIRED
 - 15. ROOMS TO BE REDESIGNED
 - 16. ROOMS TO BE RESTRUCTURED
 - 17. ROOMS TO BE RECONSTRUCTED
 - 18. ROOMS TO BE REDEMOLISHED
 - 19. ROOMS TO BE REBUILT
 - 20. ROOMS TO BE REFINISHED
 - 21. ROOMS TO BE REPAIRED
 - 22. ROOMS TO BE REDESIGNED
 - 23. ROOMS TO BE RESTRUCTURED
 - 24. ROOMS TO BE RECONSTRUCTED
 - 25. ROOMS TO BE REDEMOLISHED
 - 26. ROOMS TO BE REBUILT
 - 27. ROOMS TO BE REFINISHED
 - 28. ROOMS TO BE REPAIRED
 - 29. ROOMS TO BE REDESIGNED
 - 30. ROOMS TO BE RESTRUCTURED
 - 31. ROOMS TO BE RECONSTRUCTED
 - 32. ROOMS TO BE REDEMOLISHED
 - 33. ROOMS TO BE REBUILT
 - 34. ROOMS TO BE REFINISHED
 - 35. ROOMS TO BE REPAIRED
 - 36. ROOMS TO BE REDESIGNED
 - 37. ROOMS TO BE RESTRUCTURED
 - 38. ROOMS TO BE RECONSTRUCTED
 - 39. ROOMS TO BE REDEMOLISHED
 - 40. ROOMS TO BE REBUILT
 - 41. ROOMS TO BE REFINISHED
 - 42. ROOMS TO BE REPAIRED
 - 43. ROOMS TO BE REDESIGNED
 - 44. ROOMS TO BE RESTRUCTURED
 - 45. ROOMS TO BE RECONSTRUCTED
 - 46. ROOMS TO BE REDEMOLISHED
 - 47. ROOMS TO BE REBUILT
 - 48. ROOMS TO BE REFINISHED
 - 49. ROOMS TO BE REPAIRED
 - 50. ROOMS TO BE REDESIGNED
 - 51. ROOMS TO BE RESTRUCTURED
 - 52. ROOMS TO BE RECONSTRUCTED
 - 53. ROOMS TO BE REDEMOLISHED
 - 54. ROOMS TO BE REBUILT
 - 55. ROOMS TO BE REFINISHED
 - 56. ROOMS TO BE REPAIRED
 - 57. ROOMS TO BE REDESIGNED
 - 58. ROOMS TO BE RESTRUCTURED
 - 59. ROOMS TO BE RECONSTRUCTED
 - 60. ROOMS TO BE REDEMOLISHED
 - 61. ROOMS TO BE REBUILT
 - 62. ROOMS TO BE REFINISHED
 - 63. ROOMS TO BE REPAIRED
 - 64. ROOMS TO BE REDESIGNED
 - 65. ROOMS TO BE RESTRUCTURED
 - 66. ROOMS TO BE RECONSTRUCTED
 - 67. ROOMS TO BE REDEMOLISHED
 - 68. ROOMS TO BE REBUILT
 - 69. ROOMS TO BE REFINISHED
 - 70. ROOMS TO BE REPAIRED
 - 71. ROOMS TO BE REDESIGNED
 - 72. ROOMS TO BE RESTRUCTURED
 - 73. ROOMS TO BE RECONSTRUCTED
 - 74. ROOMS TO BE REDEMOLISHED
 - 75. ROOMS TO BE REBUILT
 - 76. ROOMS TO BE REFINISHED
 - 77. ROOMS TO BE REPAIRED
 - 78. ROOMS TO BE REDESIGNED
 - 79. ROOMS TO BE RESTRUCTURED
 - 80. ROOMS TO BE RECONSTRUCTED
 - 81. ROOMS TO BE REDEMOLISHED
 - 82. ROOMS TO BE REBUILT
 - 83. ROOMS TO BE REFINISHED
 - 84. ROOMS TO BE REPAIRED
 - 85. ROOMS TO BE REDESIGNED
 - 86. ROOMS TO BE RESTRUCTURED
 - 87. ROOMS TO BE RECONSTRUCTED
 - 88. ROOMS TO BE REDEMOLISHED
 - 89. ROOMS TO BE REBUILT
 - 90. ROOMS TO BE REFINISHED
 - 91. ROOMS TO BE REPAIRED
 - 92. ROOMS TO BE REDESIGNED
 - 93. ROOMS TO BE RESTRUCTURED
 - 94. ROOMS TO BE RECONSTRUCTED
 - 95. ROOMS TO BE REDEMOLISHED
 - 96. ROOMS TO BE REBUILT
 - 97. ROOMS TO BE REFINISHED
 - 98. ROOMS TO BE REPAIRED
 - 99. ROOMS TO BE REDESIGNED
 - 100. ROOMS TO BE RESTRUCTURED
 - 101. ROOMS TO BE RECONSTRUCTED
 - 102. ROOMS TO BE REDEMOLISHED
 - 103. ROOMS TO BE REBUILT
 - 104. ROOMS TO BE REFINISHED
 - 105. ROOMS TO BE REPAIRED
 - 106. ROOMS TO BE REDESIGNED
 - 107. ROOMS TO BE RESTRUCTURED
 - 108. ROOMS TO BE RECONSTRUCTED
 - 109. ROOMS TO BE REDEMOLISHED
 - 110. ROOMS TO BE REBUILT
 - 111. ROOMS TO BE REFINISHED
 - 112. ROOMS TO BE REPAIRED
 - 113. ROOMS TO BE REDESIGNED
 - 114. ROOMS TO BE RESTRUCTURED
 - 115. ROOMS TO BE RECONSTRUCTED
 - 116. ROOMS TO BE REDEMOLISHED
 - 117. ROOMS TO BE REBUILT
 - 118. ROOMS TO BE REFINISHED
 - 119. ROOMS TO BE REPAIRED
 - 120. ROOMS TO BE REDESIGNED
 - 121. ROOMS TO BE RESTRUCTURED
 - 122. ROOMS TO BE RECONSTRUCTED
 - 123. ROOMS TO BE REDEMOLISHED
 - 124. ROOMS TO BE REBUILT
 - 125. ROOMS TO BE REFINISHED
 - 126. ROOMS TO BE REPAIRED
 - 127. ROOMS TO BE REDESIGNED
 - 128. ROOMS TO BE RESTRUCTURED
 - 129. ROOMS TO BE RECONSTRUCTED
 - 130. ROOMS TO BE REDEMOLISHED
 - 131. ROOMS TO BE REBUILT
 - 132. ROOMS TO BE REFINISHED
 - 133. ROOMS TO BE REPAIRED
 - 134. ROOMS TO BE REDESIGNED
 - 135. ROOMS TO BE RESTRUCTURED
 - 136. ROOMS TO BE RECONSTRUCTED
 - 137. ROOMS TO BE REDEMOLISHED
 - 138. ROOMS TO BE REBUILT
 - 139. ROOMS TO BE REFINISHED
 - 140. ROOMS TO BE REPAIRED
 - 141. ROOMS TO BE REDESIGNED
 - 142. ROOMS TO BE RESTRUCTURED
 - 143. ROOMS TO BE RECONSTRUCTED
 - 144. ROOMS TO BE REDEMOLISHED
 - 145. ROOMS TO BE REBUILT
 - 146. ROOMS TO BE REFINISHED
 - 147. ROOMS TO BE REPAIRED
 - 148. ROOMS TO BE REDESIGNED
 - 149. ROOMS TO BE RESTRUCTURED
 - 150. ROOMS TO BE RECONSTRUCTED
 - 151. ROOMS TO BE REDEMOLISHED
 - 152. ROOMS TO BE REBUILT
 - 153. ROOMS TO BE REFINISHED
 - 154. ROOMS TO BE REPAIRED
 - 155. ROOMS TO BE REDESIGNED
 - 156. ROOMS TO BE RESTRUCTURED
 - 157. ROOMS TO BE RECONSTRUCTED
 - 158. ROOMS TO BE REDEMOLISHED
 - 159. ROOMS TO BE REBUILT
 - 160. ROOMS TO BE REFINISHED
 - 161. ROOMS TO BE REPAIRED
 - 162. ROOMS TO BE REDESIGNED
 - 163. ROOMS TO BE RESTRUCTURED
 - 164. ROOMS TO BE RECONSTRUCTED
 - 165. ROOMS TO BE REDEMOLISHED
 - 166. ROOMS TO BE REBUILT
 - 167. ROOMS TO BE REFINISHED
 - 168. ROOMS TO BE REPAIRED
 - 169. ROOMS TO BE REDESIGNED
 - 170. ROOMS TO BE RESTRUCTURED
 - 171. ROOMS TO BE RECONSTRUCTED
 - 172. ROOMS TO BE REDEMOLISHED
 - 173. ROOMS TO BE REBUILT
 - 174. ROOMS TO BE REFINISHED
 - 175. ROOMS TO BE REPAIRED
 - 176. ROOMS TO BE REDESIGNED
 - 177. ROOMS TO BE RESTRUCTURED
 - 178. ROOMS TO BE RECONSTRUCTED
 - 179. ROOMS TO BE REDEMOLISHED
 - 180. ROOMS TO BE REBUILT
 - 181. ROOMS TO BE REFINISHED
 - 182. ROOMS TO BE REPAIRED
 - 183. ROOMS TO BE REDESIGNED
 - 184. ROOMS TO BE RESTRUCTURED
 - 185. ROOMS TO BE RECONSTRUCTED
 - 186. ROOMS TO BE REDEMOLISHED
 - 187. ROOMS TO BE REBUILT
 - 188. ROOMS TO BE REFINISHED
 - 189. ROOMS TO BE REPAIRED
 - 190. ROOMS TO BE REDESIGNED
 - 191. ROOMS TO BE RESTRUCTURED
 - 192. ROOMS TO BE RECONSTRUCTED
 - 193. ROOMS TO BE REDEMOLISHED
 - 194. ROOMS TO BE REBUILT
 - 195. ROOMS TO BE REFINISHED
 - 196. ROOMS TO BE REPAIRED
 - 197. ROOMS TO BE REDESIGNED
 - 198. ROOMS TO BE RESTRUCTURED
 - 199. ROOMS TO BE RECONSTRUCTED
 - 200. ROOMS TO BE REDEMOLISHED
 - 201. ROOMS TO BE REBUILT
 - 202. ROOMS TO BE REFINISHED
 - 203. ROOMS TO BE REPAIRED
 - 204. ROOMS TO BE REDESIGNED
 - 205. ROOMS TO BE RESTRUCTURED
 - 206. ROOMS TO BE RECONSTRUCTED
 - 207. ROOMS TO BE REDEMOLISHED
 - 208. ROOMS TO BE REBUILT
 - 209. ROOMS TO BE REFINISHED
 - 210. ROOMS TO BE REPAIRED
 - 211. ROOMS TO BE REDESIGNED
 - 212. ROOMS TO BE RESTRUCTURED
 - 213. ROOMS TO BE RECONSTRUCTED
 - 214. ROOMS TO BE REDEMOLISHED
 - 215. ROOMS TO BE REBUILT
 - 216. ROOMS TO BE REFINISHED
 - 217. ROOMS TO BE REPAIRED
 - 218. ROOMS TO BE REDESIGNED
 - 219. ROOMS TO BE RESTRUCTURED
 - 220. ROOMS TO BE RECONSTRUCTED
 - 221. ROOMS TO BE REDEMOLISHED
 - 222. ROOMS TO BE REBUILT
 - 223. ROOMS TO BE REFINISHED
 - 224. ROOMS TO BE REPAIRED
 - 225. ROOMS TO BE REDESIGNED
 - 226. ROOMS TO BE RESTRUCTURED
 - 227. ROOMS TO BE RECONSTRUCTED
 - 228. ROOMS TO BE REDEMOLISHED
 - 229. ROOMS TO BE REBUILT
 - 230. ROOMS TO BE REFINISHED
 - 231. ROOMS TO BE REPAIRED
 - 232. ROOMS TO BE REDESIGNED
 - 233. ROOMS TO BE RESTRUCTURED
 - 234. ROOMS TO BE RECONSTRUCTED
 - 235. ROOMS TO BE REDEMOLISHED
 - 236. ROOMS TO BE REBUILT
 - 237. ROOMS TO BE REFINISHED
 - 238. ROOMS TO BE REPAIRED
 - 239. ROOMS TO BE REDESIGNED
 - 240. ROOMS TO BE RESTRUCTURED
 - 241. ROOMS TO BE RECONSTRUCTED
 - 242. ROOMS TO BE REDEMOLISHED
 - 243. ROOMS TO BE REBUILT
 - 244. ROOMS TO BE REFINISHED
 - 245. ROOMS TO BE REPAIRED
 - 246. ROOMS TO BE REDESIGNED
 - 247. ROOMS TO BE RESTRUCTURED
 - 248. ROOMS TO BE RECONSTRUCTED
 - 249. ROOMS TO BE REDEMOLISHED
 - 250. ROOMS TO BE REBUILT
 - 251. ROOMS TO BE REFINISHED
 - 252. ROOMS TO BE REPAIRED
 - 253. ROOMS TO BE REDESIGNED
 - 254. ROOMS TO BE RESTRUCTURED
 - 255. ROOMS TO BE RECONSTRUCTED
 - 256. ROOMS TO BE REDEMOLISHED
 - 257. ROOMS TO BE REBUILT
 - 258. ROOMS TO BE REFINISHED
 - 259. ROOMS TO BE REPAIRED
 - 260. ROOMS TO BE REDESIGNED
 - 261. ROOMS TO BE RESTRUCTURED
 - 262. ROOMS TO BE RECONSTRUCTED
 - 263. ROOMS TO BE REDEMOLISHED
 - 264. ROOMS TO BE REBUILT
 - 265. ROOMS TO BE REFINISHED
 - 266. ROOMS TO BE REPAIRED
 - 267. ROOMS TO BE REDESIGNED
 - 268. ROOMS TO BE RESTRUCTURED
 - 269. ROOMS TO BE RECONSTRUCTED
 - 270. ROOMS TO BE REDEMOLISHED
 - 271. ROOMS TO BE REBUILT
 - 272. ROOMS TO BE REFINISHED
 - 273. ROOMS TO BE REPAIRED
 - 274. ROOMS TO BE REDESIGNED
 - 275. ROOMS TO BE RESTRUCTURED
 - 276. ROOMS TO BE RECONSTRUCTED
 - 277. ROOMS TO BE REDEMOLISHED
 - 278. ROOMS TO BE REBUILT
 - 279. ROOMS TO BE REFINISHED
 - 280. ROOMS TO BE REPAIRED
 - 281. ROOMS TO BE REDESIGNED
 - 282. ROOMS TO BE RESTRUCTURED
 - 283. ROOMS TO BE RECONSTRUCTED
 - 284. ROOMS TO BE REDEMOLISHED
 - 285. ROOMS TO BE REBUILT
 - 286. ROOMS TO BE REFINISHED
 - 287. ROOMS TO BE REPAIRED
 - 288. ROOMS TO BE REDESIGNED
 - 289. ROOMS TO BE RESTRUCTURED
 - 290. ROOMS TO BE RECONSTRUCTED
 - 291. ROOMS TO BE REDEMOLISHED
 - 292. ROOMS TO BE REBUILT
 - 293. ROOMS TO BE REFINISHED
 - 294. ROOMS TO BE REPAIRED
 - 295. ROOMS TO BE REDESIGNED
 - 296. ROOMS TO BE RESTRUCTURED
 - 297. ROOMS TO BE RECONSTRUCTED
 - 298. ROOMS TO BE REDEMOLISHED
 - 299. ROOMS TO BE REBUILT
 - 300. ROOMS TO BE REFINISHED



A3.3	PROJECT NO. 03337	SHEET NO. 1	THIRD FLOOR PLAN	NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5595
	DRAWN: DJ APPR.: DH DATE: 2-24-04 SCALE: 3/64" = 1'-0"					
	5-28-04	PART 1				
5-28-04	PART 1 AMENDMENT #1					
5-28-04	SCHEMATIC DESIGN					



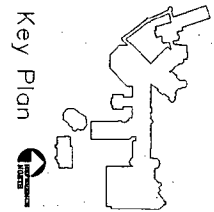
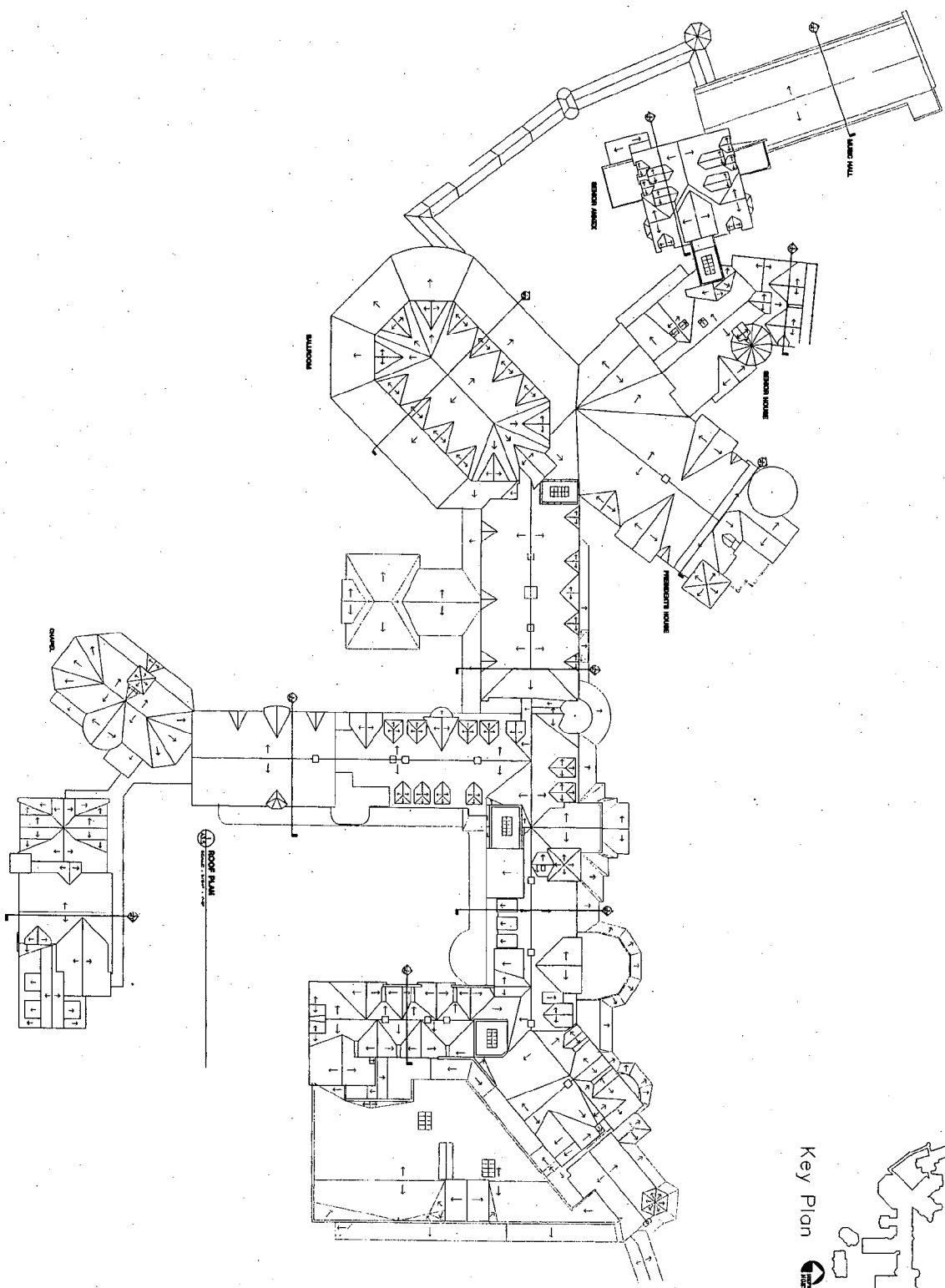
A3.4

ATTIC PLAN			
DRAWN: D2	APPR: DH	DATE: 2-24-04	SCALE: 3/8" = 1'-0"
5-26-04	PART 1		
5-6-04	PART 1 AMENDMENT #1		
12-24-04	SCHEMATIC DESIGN		

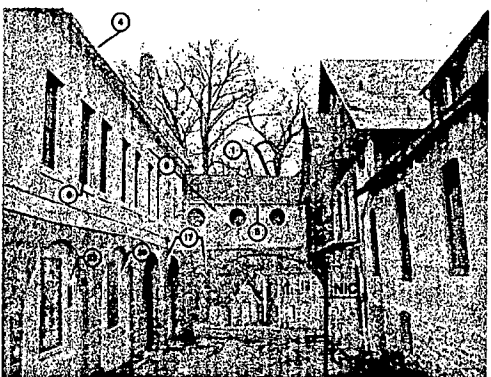
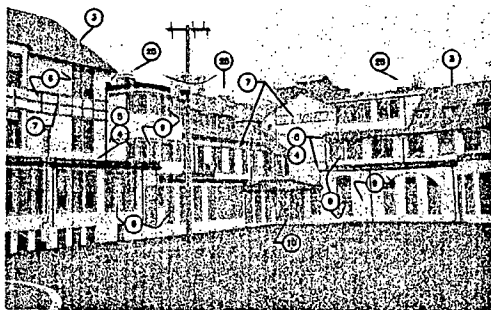
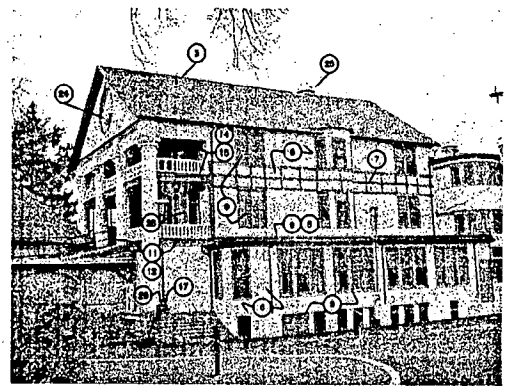
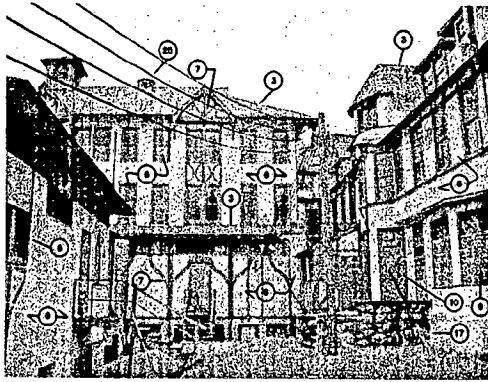
**NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND**

**PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION**

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE: 608-258-5591
FAX: 608-258-5599



A3.5	ROOF PLAN	NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599
	DRAWN: DJZ APPR.: DH DATE: 2-24-04 SCALE: 3/64" = 1'-0" 0-26-04 PART 1: AMENDMENT #1			
	PROJECT NO. 03-537 SHEET NO.			



TYPICAL REPAIR NOTES

1. Repair historic slate roof per Preservation Brief 23.
2. Remove existing slate roof and damaged deck. Re-deck with 3/4" fir over 3/4" T&G OSB. Replace flashing and drip edges with new copper sections. Flashings with Rosemount, slate shingles to match existing. Store shingles for reuse elsewhere. (Typical U.N.Q.)
3. Remove existing damaged roofing and deck and shingles. Re-deck with 3/4" fir over 3/4" OSB. Replace flashing and drip edges with new copper sections. Flashings with section with CAP. Substitute fiberglass shingles.
4. Repair and refinish existing metal roof. (Typical U.N.Q.)
5. Replace damaged sections of gutters and downspouts with new copper sections to match existing. (Typical U.N.Q.)
6. Preserve and repair historic stucco per Preservation Brief 22.
7. Repair and refinish wood trim per Specification Section 08115 (Snd), (Typical).
8. Replace damaged cedar shingles. Powerwash and bleach existing shingles siding to remain and refinish.
9. Repair wood windows per Specification Section 08115 (Typical). Remove plywood covering where applicable.
10. Repair and refinish wood doors per Specification Section 08115 (Snd), (Typical).
11. Repair and refinish wood balustrade (Typical).
12. Replace missing balustrade sections to match existing (Typical).
13. Repair and refinish damaged leaded-glass windows.
14. Repair and refinish damaged soffits (Typical).
15. Replace damaged battery framing and decking. Install T&G decking over new EPDM on 1" OSB.
16. Remove masonry abutment and foundation to 4' below grade. Rebuild facade to its original state.
17. Repair stone masonry wall per Specification Section 04330.
18. Repair stone steps per Specification Section 04330.
19. Remove fire escape.
20. Reconstruct Dormers to match Original.
21. Install new K-16 door to match original.
22. Replace severely damaged column. Salvage undamaged sections, repair others.
23. Repair and refinish existing columns. Reconstruct base out of GFRG to match one remaining original column base. SFG paint and refinish.
24. Repair stained glass window per Preservation Brief 33.
25. Remove power vent/fan.
26. Install new light fixtures to match original.
27. Repair clay block support wall.
28. Remove temporary bracing after repair.
29. Remove plaster from ceiling. Install new wood window/doors to match original.

A51

PROJECT NO.
04-579
SHEET NO.

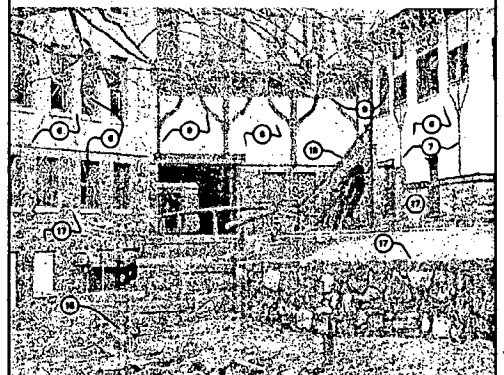
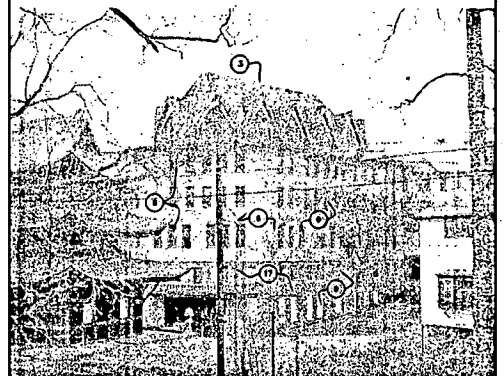
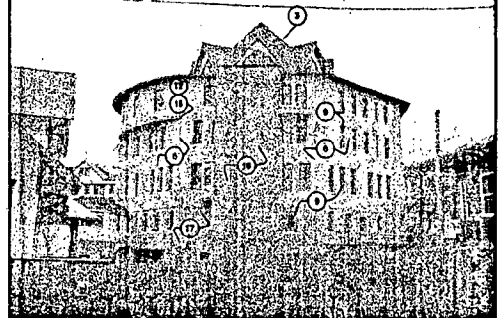
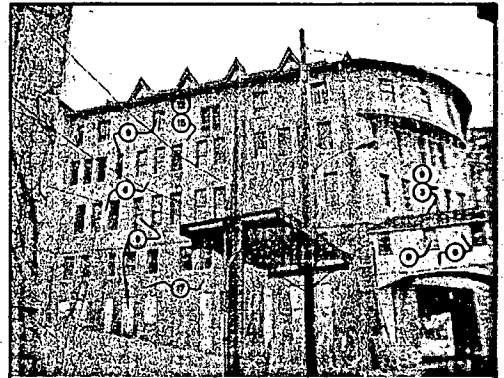
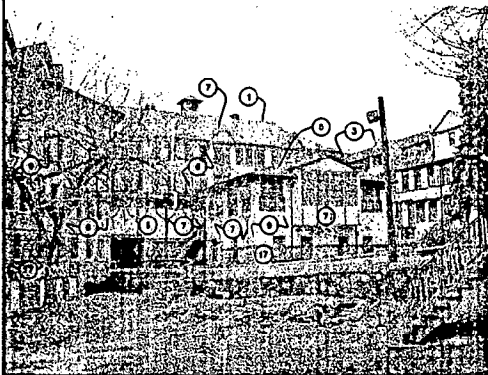
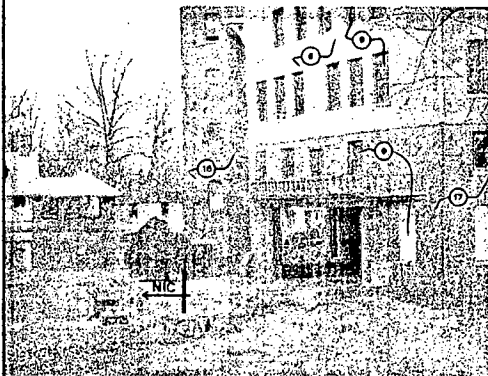
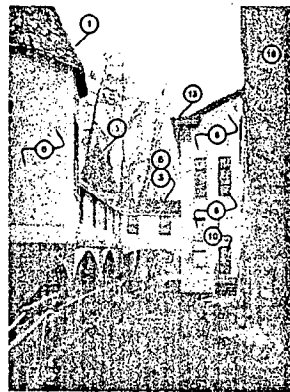
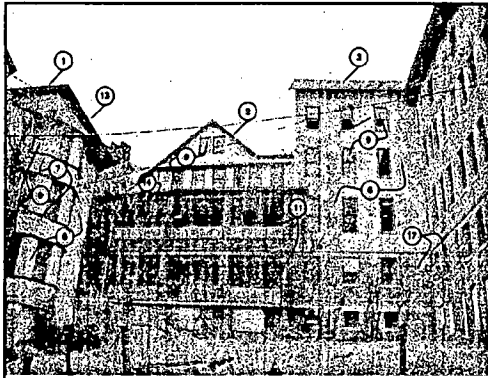
BUILDING PHOTO ELEVATIONS

DRAWN: AK	APPR.: DOV	DATE: 2-1-05	SCALE: NONE
13-16	SCHEMATIC DOCUMENTS		

**NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND**

**PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION**

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE: 608-258-5591
FAX: 608-258-5599



TYPICAL REPAIR NOTES

1. Repair historic slate roof per Preservation Brief 20.
2. Remove existing slate roof and damaged deck. Replace with 3/4" flat over 3/4" T&G, OSB. Replace flashing and eave edges with new copper sections. Flashings with fiberment, slate style, shingles to match existing. Store slates for reuse elsewhere. (Typical U.M.O.)
3. Remove existing damaged roofing and deck and shingles. Replace with 3/4" flat over 3/4" OSB. Replace flashing and drip edge with new copper sections. Flashings entire section with GAF Siltaste fiberglass shingles.
4. Repair and refinish existing metal roof. (Typical U.M.O.)
5. Replace damaged sections of gutters and downspouts with new copper sections to match existing. (Typical U.M.O.)
6. Preserve and repair historic stucco per Preservation Brief 22.
7. Repair and refinish wood trim per Specification section 0815 (S&S), (Typical).
8. Replace damaged cedar shingles. Powerwash and bleach existing shingles siding to remain and refinish.
9. Repair wood windows per Specification Section 09015 (Typical). Remove plywood covering where applicable.
10. Repair and refinish wood doors per Specification Section 09015 (S&S), (Typical).
11. Repair and refinish wood balustrade (Typical).
12. Replace missing balustrade sections to match existing (Typical).
13. Repair and refinish damaged facade/porch.
14. Repair and refinish damaged earth (Typical).
15. Replace damaged battery framing and decking. Install 1/4" decking over new EPDM on 1" OSB.
16. Remove masonry sidewalk and foundation to 4' below grade. Rebuild facade to its original state.
17. Repair above masonry wall per Specification Section 04500.
18. Repair above stairs per Specification Section 04500.
19. Remove fire escape.
20. Reconstructed Dormer to match Original.
21. Install new 1/2" tile door to match original.
22. Replace severely damaged column. Salvage undamaged sections, repair others.
23. Repair and refinish existing columns. Reconstruct base out of G20C to match one remaining original column base. Strip paint and refinish.
24. Repair stained glass window per Preservation Brief 23.
25. Remove power ventillator.
26. Install new light fixture to match original.
27. Replace clay block support rest.
28. Remove temporary shoring after repair.
29. Remove plaster from opening. Install new wood window/doors to match original.

A52

SHEET NO.

PROJECT NO.

04-579

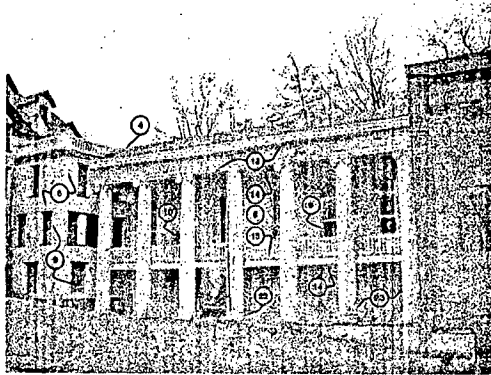
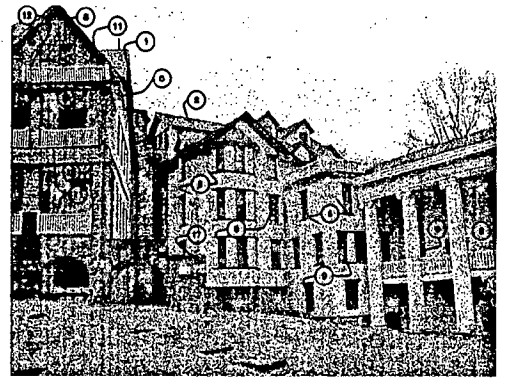
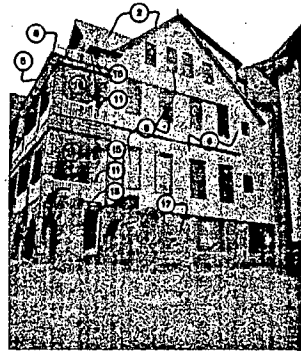
BUILDING PHOTO ELEVATIONS

DATE	APPROVED	DATE	SCALE
1-2005	RECHARTZ DOCUMENTS	2-1-05	WORK

**NATIONAL PARK SEMINARY
MAIN BUILDING
2901 LINDEN LANE
SILVER SPRING, MARYLAND**

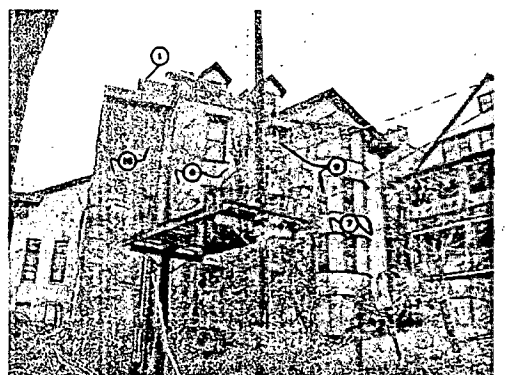
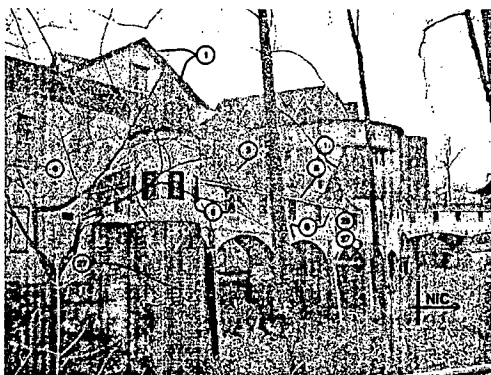
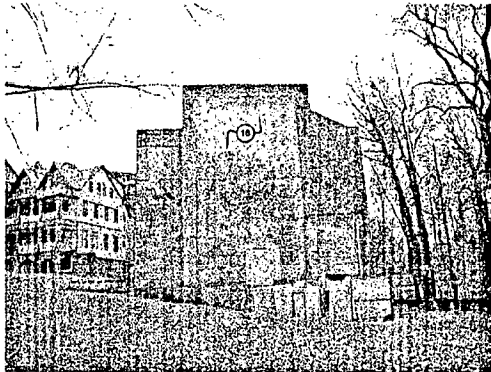
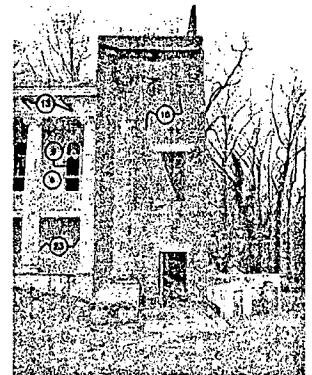
PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

Architect, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX 608-258-5599

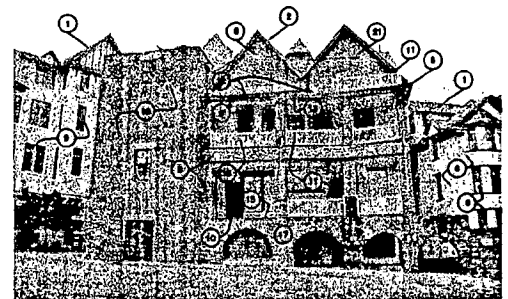
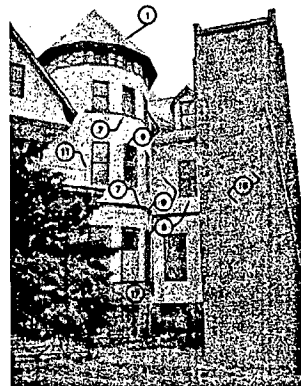
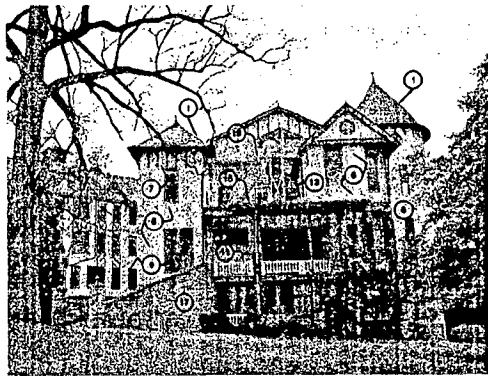
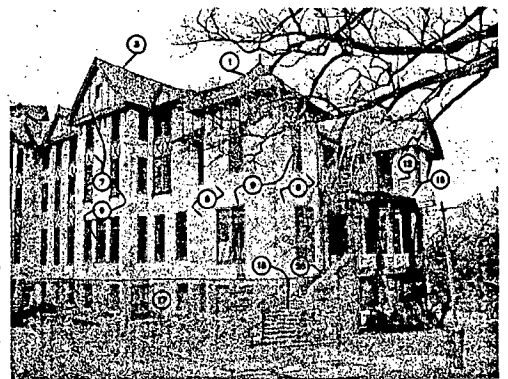
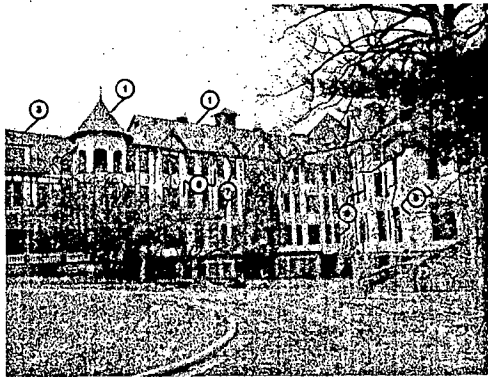
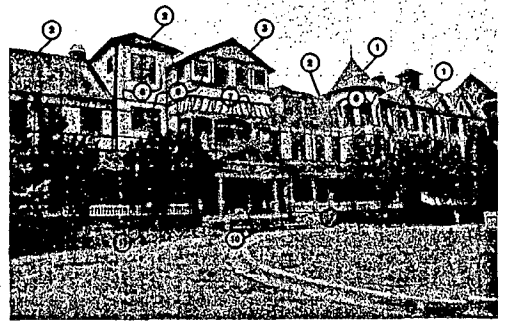
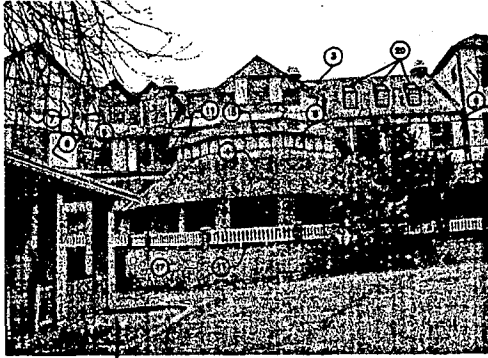


TYPICAL REQUIREMENTS

1. Repair historic slate roof per Preservation Brief 22.
2. Remove existing slate roof and damaged deck. Redeck with 3/4" flat over 3/4" F&G OSB. Replace flashing and drip edges with new copper sections. Flashings with basement, attic style, shingles to match existing. Store slats for reuse elsewhere. (Typical U.N.Q.)
3. Remove existing damaged roofing and deck and shingles. Redeck with 3/4" flat over 3/4" OSB. Replace flashing and drip edges with new copper sections. Flashings attic section with GAF Starline Fiberglass shingles.
4. Repair and refinish existing metal roof. (Typical U.N.Q.)
5. Replace damaged sections of gutters and downspouts with new copper sections to match existing. (Typical U.N.Q.)
6. Preserve and repair historic stucco per Preservation Brief 22.
7. Repair and refinish wood trim per Specification Section 08015 (5th), (Typical).
8. Replace damaged outer shingles. Powerwash and bleach existing shingles siding to remain and refinish.
9. Repair wood windows per Specification Section 08015 (Typical). Remove plywood covering where appropriate.
10. Repair and refinish wood doors per Specification Section 08015 (5th), (Typical).
11. Repair and refinish wood balustrade (Typical).
12. Replace missing balustrade sections to match existing (Typical).
13. Repair and refinish damaged handrails.
14. Repair and refinish damaged soffits (Typical).
15. Replace damaged balcony railing and decking. Install T&G decking over new EPDM on 1" OSB.
16. Remove masonry stairwell and foundation to if below grade. Rebuild facade to its original state.
17. Repair stone masonry wall per Specification Section 04300.
18. Repair stone stairs per Specification Section 04300.
19. Remove fire escape.
20. Reconstruct Dormer to match Original.
21. Install new 1/2" fire door to match original.
22. Replace severely damaged columns. Salvage undamaged sections, repair others.
23. Repair and refinish existing columns. Reconstruct base out of GRC to match one remaining original column base. Drip paint and refinish.
24. Repair stained glass window per Preservation Brief 23.
25. Remove power ventillator.
26. Install new light fixture to match original.
27. Repair dry brick support wall.
28. Remove temporary shoring after repair.
29. Remove plaster from opening. Install new wood window/door to match original.



A5.3	SHEET NO. 6-579	PROJECT NO. 04-579	BUILDING PHOTO-ELEVATIONS		NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599
			DRAWN BY	APPROVED BY			
			SCHEMATIC DOCUMENTS				



TYPICAL REPAIR NOTES

1. Repair historic slate roof per Preservation Brief 20.
2. Remove existing slate roof and damaged deck. Replace with 3/4" fir over 2x4" T&G OSB. Replace flashing and drip edges with new copper sections. Flashing with fasteners, slate nails, shingles to match existing. Store slate for reuse elsewhere. (Typical U.A.Q.)
3. Remove existing damaged roofing and deck and soffits. Replace with 3/4" fir over 2x4" OSB. Replace flashing and drip edges with new copper sections. Flashing with fasteners with GAF Sealant. Re-flash shingles. (Typical U.A.Q.)
4. Repair and refinish existing metal roof. (Typical U.A.Q.)
5. Replace damaged sections of gutters and downspouts with new copper sections to match existing. (Typical U.A.Q.)
6. Preserve and repair historic stucco per Preservation Brief 22.
7. Repair and refinish wood trim per Specification Section 0815 (Srs), (Typical).
8. Replace damaged cedar shingles. Powerwash and bleach existing shingles siding to remain and refinish.
9. Repair wood windows per Specification Section 0815 (Typical). Restore plywood covering where applicable.
10. Repair and refinish wood doors per Specification Section 0815 (Srs), (Typical).
11. Repair and refinish wood balustrade (Typical).
12. Replace missing balustrade sections to match existing (Typical).
13. Repair and refinish damaged backscornice (Typical) and refinish damaged soffits (Typical).
14. Replace damaged balcony flashing and decking. Install 1/2" GFCI deck on new EPDM on 1" OSB.
15. Remove masonry abutment and foundation to 4' below grade. Rebuild facade to its original state.
16. Repair stone masonry wall per Specification Section 0430.
17. Repair stone steps per Specification Section 0430.
18. Remove the escape.
19. Reconstruct Downspout to match Original.
20. Install new 1/2" tile doors to match original.
21. Replace severely damaged columns. Salvage undamaged sections, repair others.
22. Repair and refinish existing columns. Reconstruct base out of GFCI to match one remaining original column base. Strip paint and refinish.
23. Repair stained glass window per Preservation Brief 33.
24. Remove power vent/fan.
25. Install new light fixtures to match original.
26. Repair city block support wall.
27. Remove temporary shoring after repair.
28. Remove chiller from opening. Install new wood windows/doors to match original.

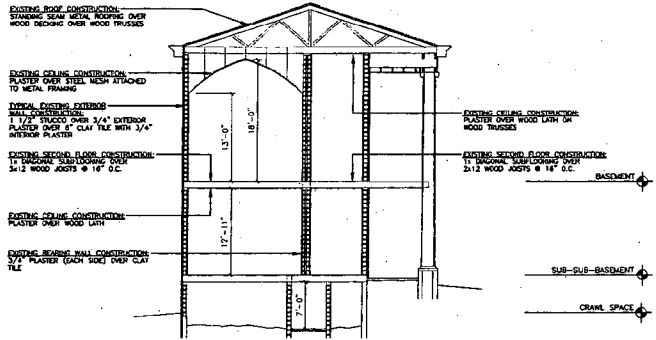
AS4

BUILDING PHOTO ELEVATIONS			
PROJECT NO.	DATE	SCALE	WORK
04-579	1-1-05		

**NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND**

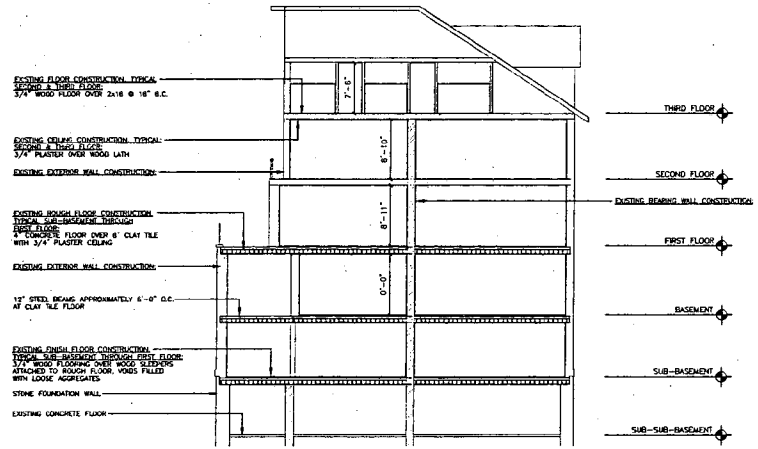
**PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION**

Architecture Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE: 608-258-5591
FAX: 608-258-5599



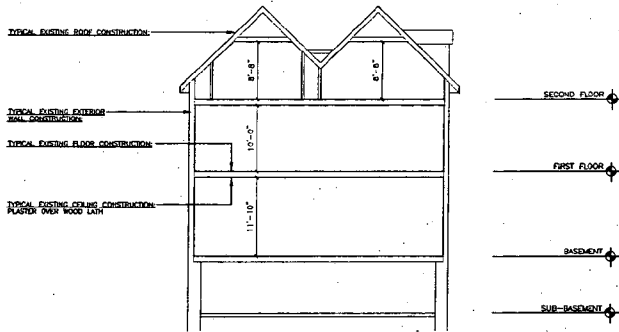
1 BUILDING SECTION (MUSIC HALL)

SCALE: 1/8" = 1'-0"



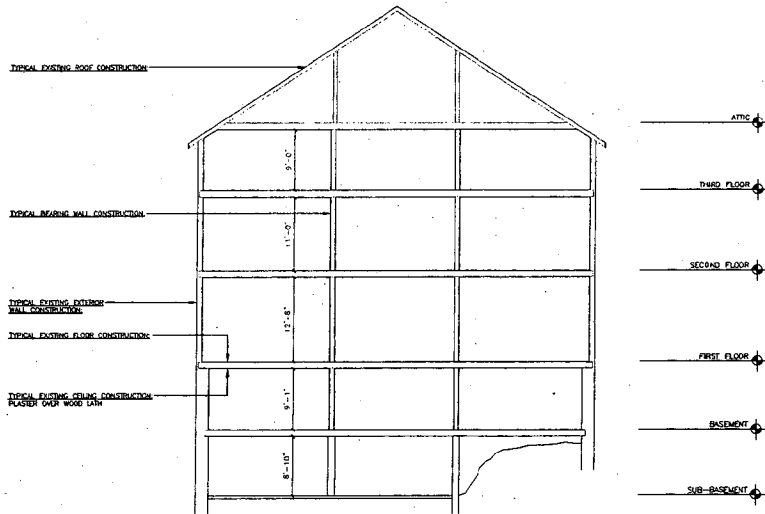
2 BUILDING SECTION (SENIOR ANNEX)

SCALE: 1/8" = 1'-0"



3 BUILDING SECTION (SENIOR HOUSE)

SCALE: 1/8" = 1'-0"



4 BUILDING SECTION (PRESIDENT'S HOUSE)

SCALE: 1/8" = 1'-0"

ARCHITECT: Planning & Construction
URBAN RESOURCES
HE E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53713
TELEPHONE 608-258-5591
FAX: 608-258-3889

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

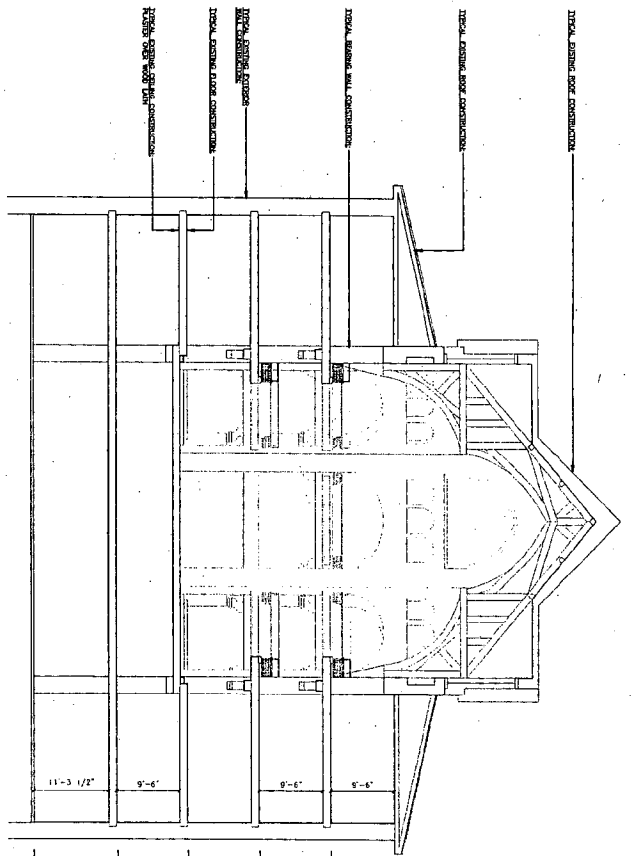
NATIONAL PARK SEMINARY
MAIN BUILDING
2601 LARSEN LANE
SILVER SPRING, MARYLAND

BUILDING SECTIONS	
DRAWING NO.	APR. 78
DATE	11-22-91
SCALE	1/8" = 1'-0"
PART	SECTION
PART	SECTION
PART	SECTION
PART	SECTION

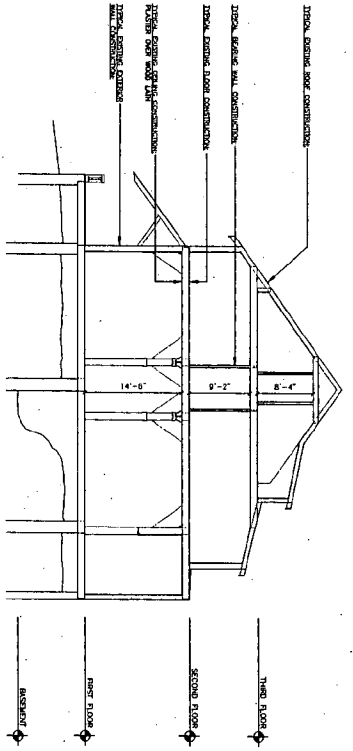
PROJECT NO.
03-537

SHEET NO.

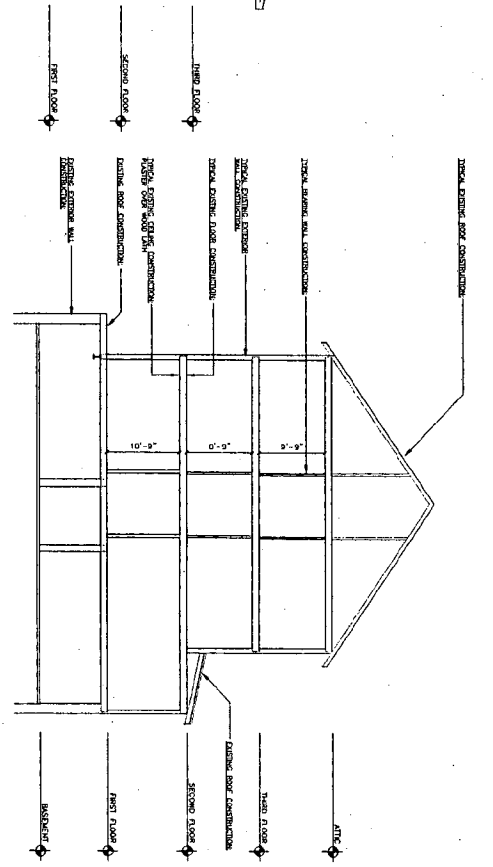
A6.1



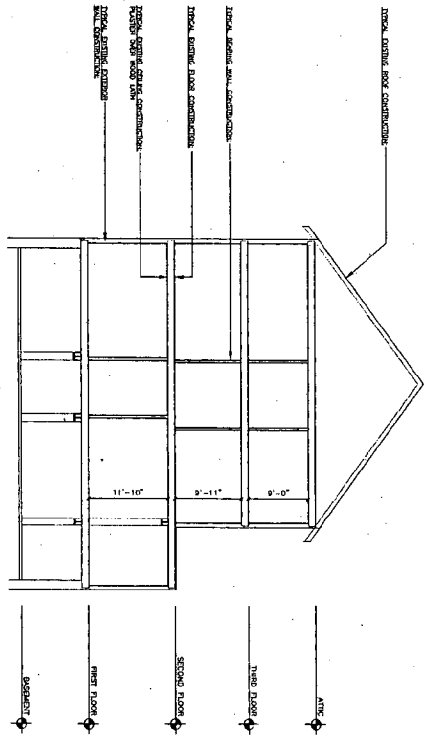
1 BUILDING SECTION (BALL ROOM)
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION (MAIN)
SCALE: 1/8" = 1'-0"

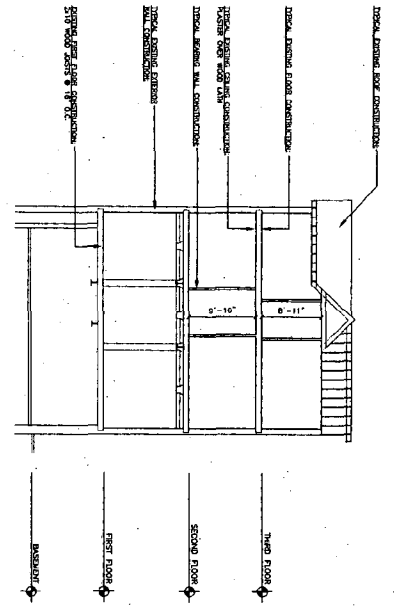


3 BUILDING SECTION (MAIN)
SCALE: 1/8" = 1'-0"

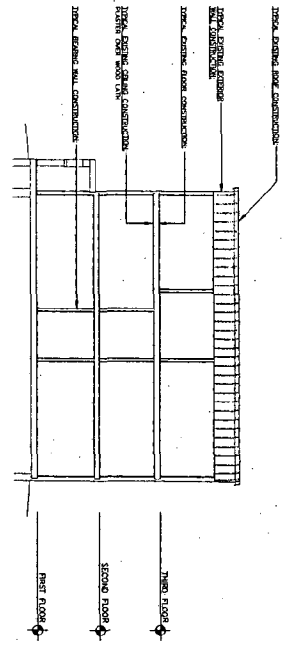


4 BUILDING SECTION (MAIN)
SCALE: 1/8" = 1'-0"

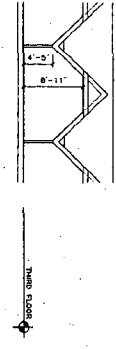
A62	SHEET NO.	BUILDING SECTIONS		NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599		
		DRAWN: DZ	APPR: JFB				DATE: 11-22-04	SCALE: 1/8" = 1'-0"
		12-20-04	1 FLOOR					
		12-24-04	PHASE II AMENAGEMENT #1					
			SCHEMATIC DESIGN					
	PROJECT NO.	03-537						



1
A6.3
BUILDING SECTION (MAIN)
SCALE: 1/8" = 1'-0"

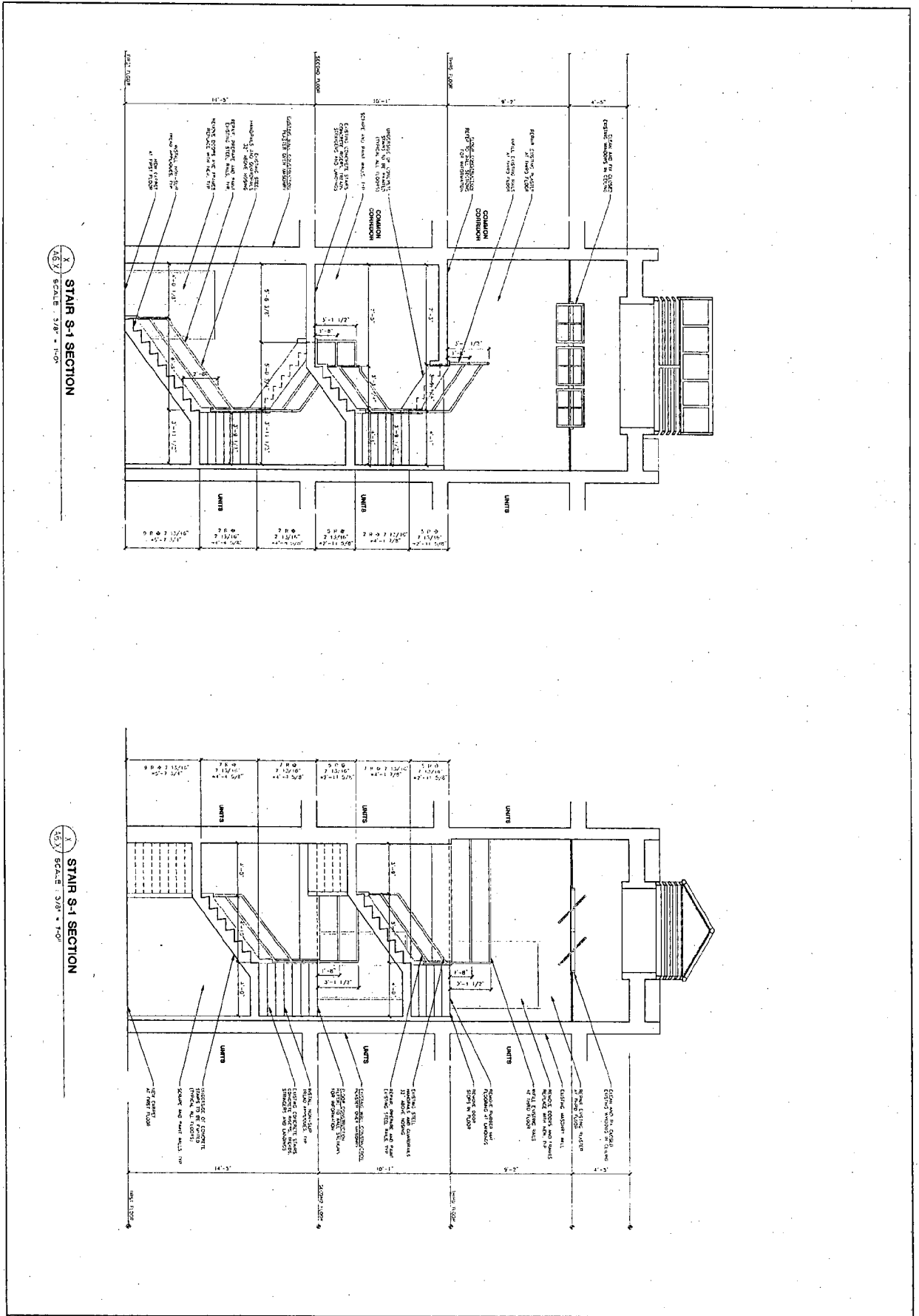


1
A6.3
BUILDING SECTION (ALOHA HOUSE)
SCALE: 1/8" = 1'-0"



1
A6.3
BUILDING SECTION (MAIN)
SCALE: 1/8" = 1'-0"

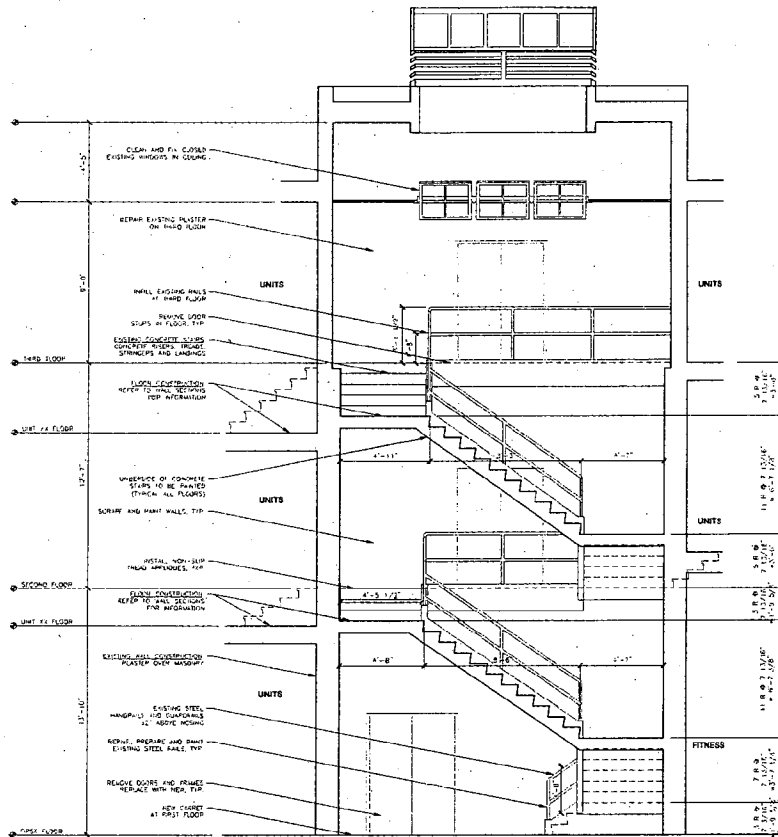
A6.3	BUILDING SECTIONS	NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5595
	DRAWN: DZ APPR: JFB DATE: 11-22-04 SCALE: 1/8" = 1'-0" 12-03-04 PART 1 06-04 PART 1 AMENDMENT #1 11-24-04 SCHEMATIC DESIGN			
	PROJECT NO. 03-537			
	SHEET NO.			



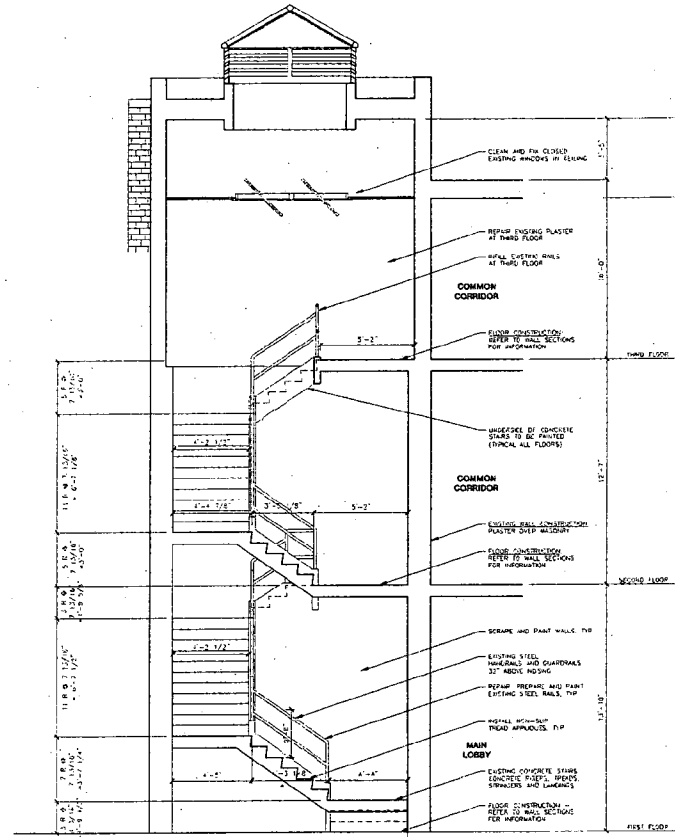
STAIR S-1 SECTION
SCALE: 3/8" = 1'-0"

STAIR S-1 SECTION
SCALE: 3/8" = 1'-0"

<h1 style="margin: 0;">A6.4</h1>	SHEET NO. 03-537	PROJECT NO. 03-537	STAIR SECTIONS - STAIR (S-1) DRAWN: ASK APPR.: DATE: 11/9/04 SCALE: 3/8" = 1'-0" 5-28-04 PART 1 5-18-04 PART 1 AMENDMENT #1 12-04-04 SCHEMATIC DESIGN	NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 145 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599
----------------------------------	----------------------------	------------------------------	--	--	--	--



STAIR S-2 SECTION
SCALE: 3/8" = 1'-0"



STAIR S-2 SECTION
SCALE: 3/8" = 1'-0"

Architect: Planning & Construction
URBAN RESOURCES
 405 E. BROADWAY ROAD, SUITE 200
 MADISON, WISCONSIN 53713
 TELEPHONE: 608-258-5591
 FAX: 608-258-5599

PRELIMINARY
 FOR INFORMATION
 PURPOSE ONLY
NOT FOR CONSTRUCTION

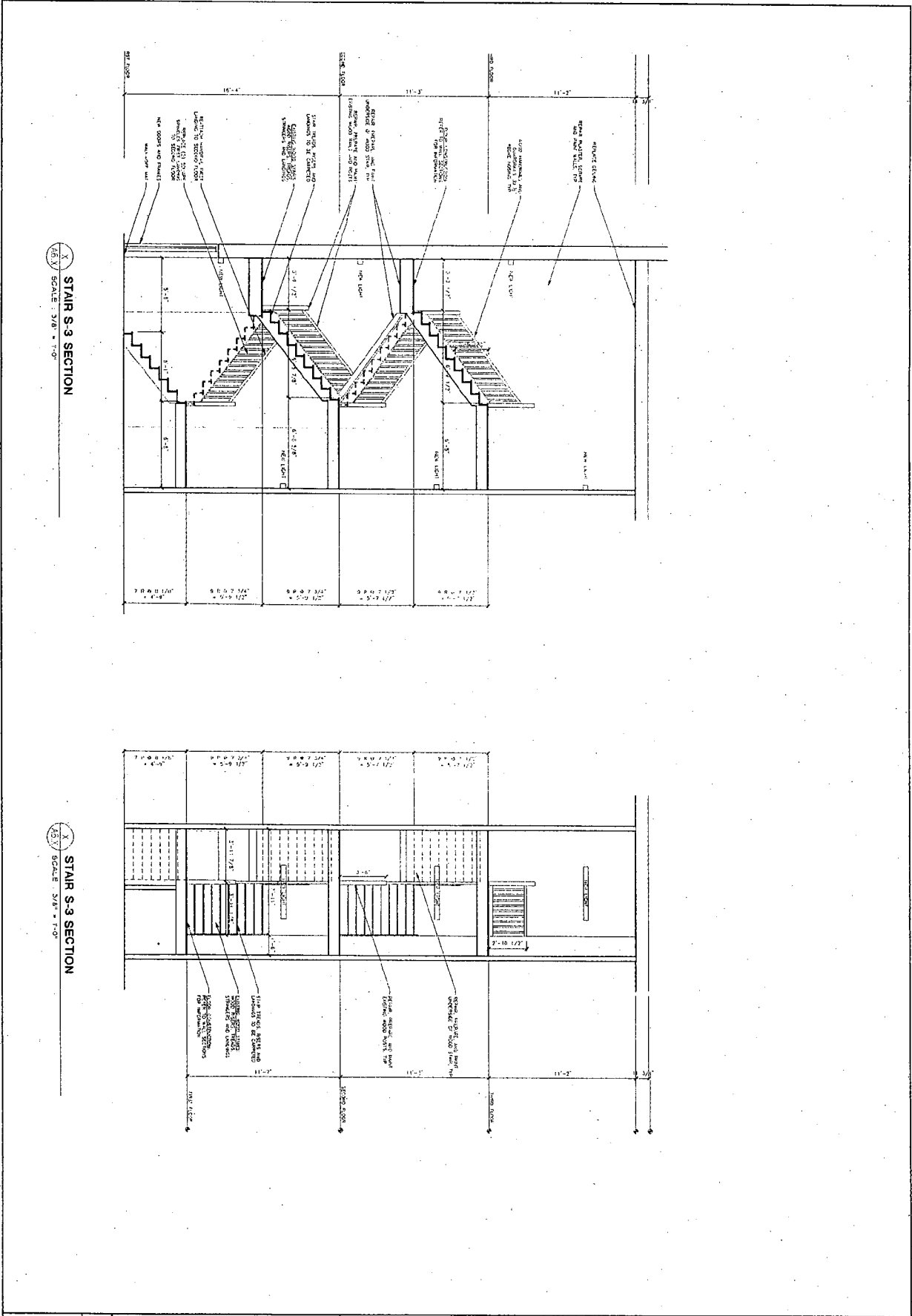
NATIONAL PARK SEMINARY
 MAIN BUILDING
 2801 LINDEN LANE
 SILVER SPRING, MARYLAND

STAIR SECTIONS - STAIR (S-2)	DATE: 11/27/04	SCALE: 3/8" = 1'-0"
DRAWN BY: SK	APP'D:	
DESIGN: PARK	PROJECT: 03-537	
REVISION:	DATE:	
BY:	DESCRIPTION:	

PROJECT NO.
03-537

SHEET NO.

A6.5

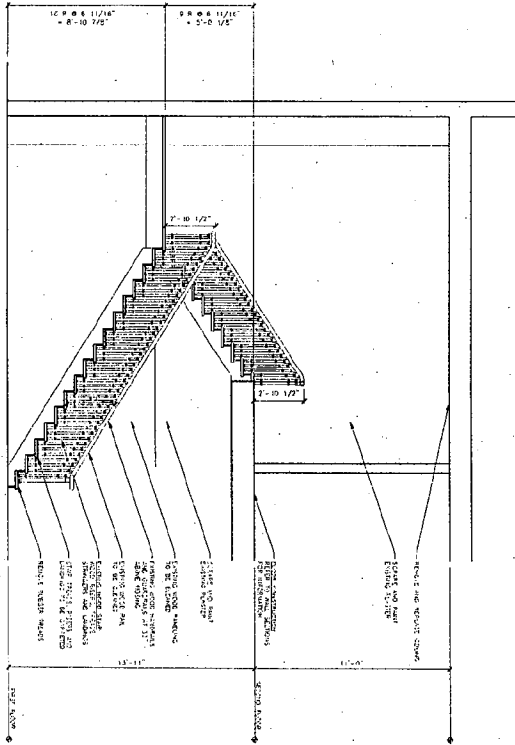


STAIR S-3 SECTION
SCALE: 3/8" = 1'-0"

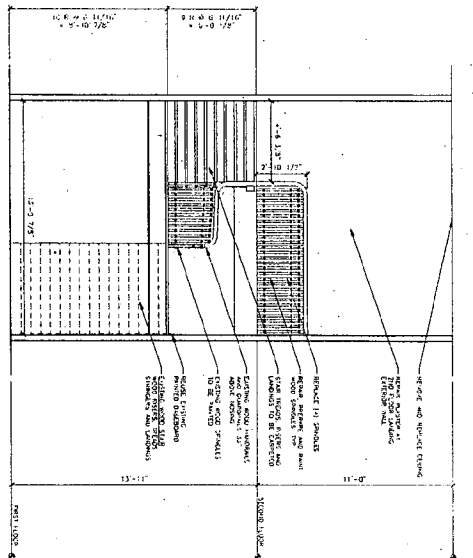
STAIR S-3 SECTION
SCALE: 3/8" = 1'-0"

A6.6	SHEET NO. 03.537	STAIR SECTIONS - STAIR (S-3)		NATIONAL PARK SEMINARY MAIN BUILDING 2801 LINDEN LANE SILVER SPRING, MARYLAND	PRELIMINARY FOR INFORMATION PURPOSE ONLY NOT FOR CONSTRUCTION	Architecture, Planning & Construction URBAN RESOURCES 45 E. BADGER ROAD, SUITE 200 MADISON, WISCONSIN 53713 TELEPHONE 608-258-5591 FAX 608-258-5599		
		DRAWN: LSK	APP'D: [Signature]				DATE: 11/9/04	SCALE: 3/8" = 1'-0"
		11-24-04	1				1	1

STAIR S-5 SECTION
SCALE: 3/8" = 1'-0"



STAIR S-5 SECTION
SCALE: 3/8" = 1'-0"



A6.7

SHEET NO.

PROJECT NO.

03-537

STAIR SECTIONS - STAR (S-5)			
DRAWN: ask	APPR.:	DATE: 11/9/04	SCALE: 3/8" = 1'-0"
15-28-04	PART 1		
15-28-04	PART 1		
15-28-04	SCHEMATIC DESIGN		

NATIONAL PARK SEMINARY
MAIN BUILDING
2801 LINDEN LANE
SILVER SPRING, MARYLAND

PRELIMINARY
FOR INFORMATION
PURPOSE ONLY
NOT FOR CONSTRUCTION

Architecture, Planning & Construction
URBAN RESOURCES
145 E. BADGER ROAD, SUITE 200
MADISON, WISCONSIN 53715
TELEPHONE 608-258-5591
FAX 608-258-5599



SITE TABULATION

LAND USE	PROPOSED	
	ACROSS TRACT AREA - AC (Less Area 201)	% OF GROSS ACREAGE
HOUSING (TRANSITIONAL HOUSING)	1.146	45%
RECREATION (PARKS)	0.250	10%
TOTAL	1.396	55%
LAND USE	PROPOSED	
HOUSING (TRANSITIONAL HOUSING)	1.146	45%
RECREATION (PARKS)	0.250	10%
TOTAL	1.396	55%

COMPATIBILITY

- The subject property is located in the same zoning district as the surrounding area.
- The subject property is located in the same zoning district as the surrounding area.
- The subject property is located in the same zoning district as the surrounding area.

PARKING TABULATION

Category	Number of Units	Minimum Parking	Maximum Parking
Transitional Housing	111	222	222
Daycare	1	1	1
Office	1	1	1
Other	1	1	1
Total	114	225	225

LEGEND

- Green Line: New Line
- Blue Line: Adopted Use and Building
- Black Line: Street Valley Tuber

SUPPORTING DOCUMENTS:

- Final Preliminary Plan
- Final Preliminary Plan
- Final Preliminary Plan
- Final Preliminary Plan

PLANNING BOARD APPROVALS

1. The applicant is seeking a waiver of the compatibility requirement of Section 9-C-7.5.

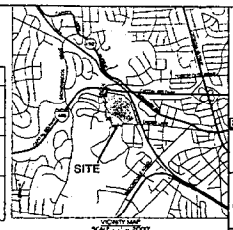
2. Final determination of the required and proposed parking shall be determined during the site plan review process.

3. Final lot and setback court will be determined during the site plan review process.

4. The applicant will provide approximately 20% of the required parking for people with disabilities. This will be provided in the form of accessible parking spaces, which will be located in the proposed development.

5. The applicant will provide approximately 20% of the required parking for people with disabilities. This will be provided in the form of accessible parking spaces, which will be located in the proposed development.

6. The applicant will provide approximately 20% of the required parking for people with disabilities. This will be provided in the form of accessible parking spaces, which will be located in the proposed development.



PRELIMINARY PLAN NATIONAL PARK SEMINARY

GENERAL NOTES:

- The horizontal datum is Universal State Plane 83.
- The subject property is located within the zone of influence of the National Park Seminary.
- The subject property is located within the zone of influence of the National Park Seminary.

PROJECT TEAM

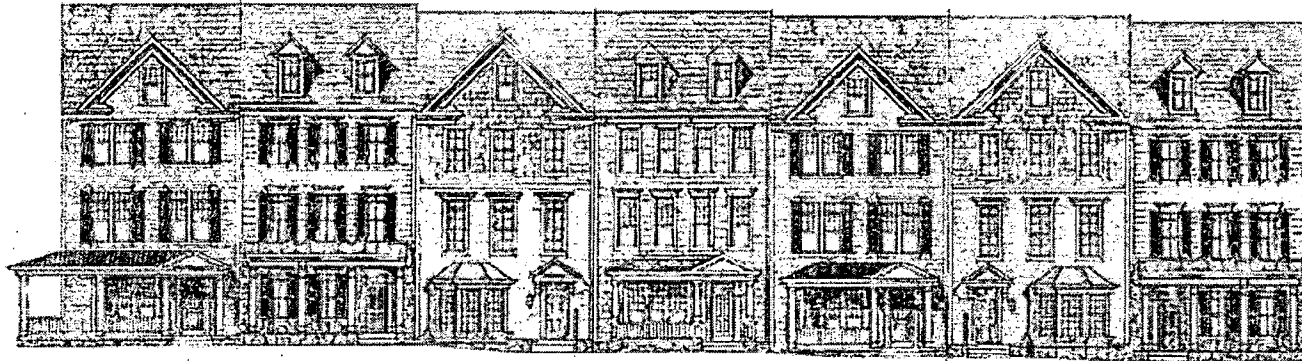
ARCHITECT:
 NATIONAL PARK SEMINARY
 145 GAITHERSBURG ROAD
 GAITHERSBURG, MD 20878

ENGINEER:
 WOODS BAGOT ENGINEERS
 1000 HOLLAND ROAD
 WASHINGTON, DC 20037

DATE: 10/15/2008

PROJECT NO.: 1008-001

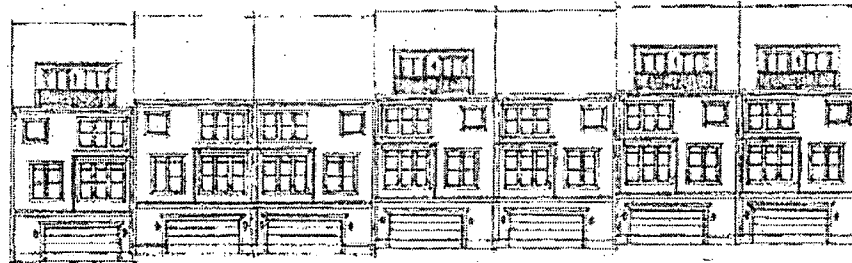
SHEET NO.: 1 OF 1



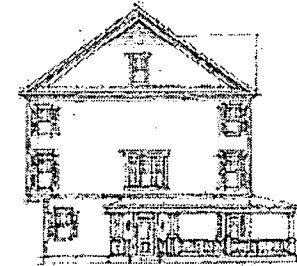
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

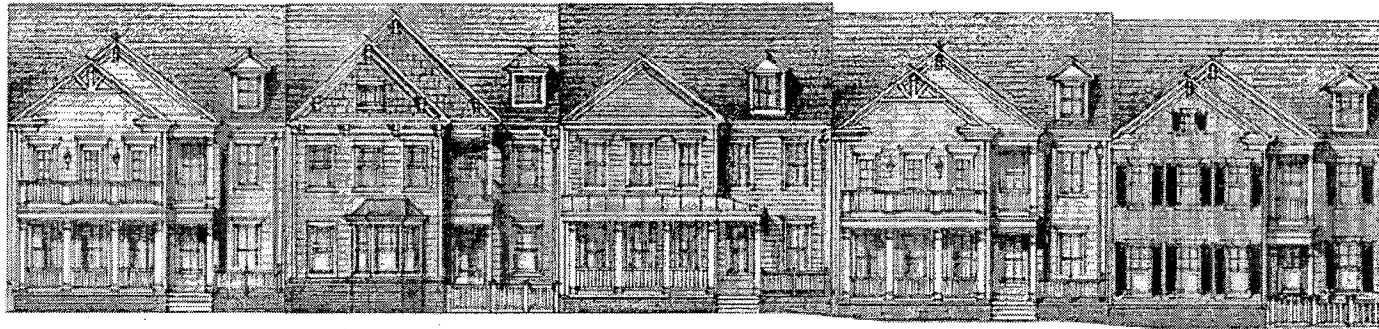


LESSARD GROUP INC.
 8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182
 P: 703.760.9344 F: 703.760.9328 | WWW.LESSARDGROUP.COM

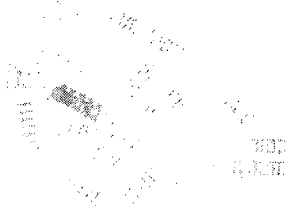
BUILDING ELEVATIONS
 SOUTH OF LINDEN LANE
 LOTS 1 - 7

FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND
 EAKIN / YOUNGENTOS ASSOCIATES, INC.
 FEBRUARY 10, 2005 EYL1378-00

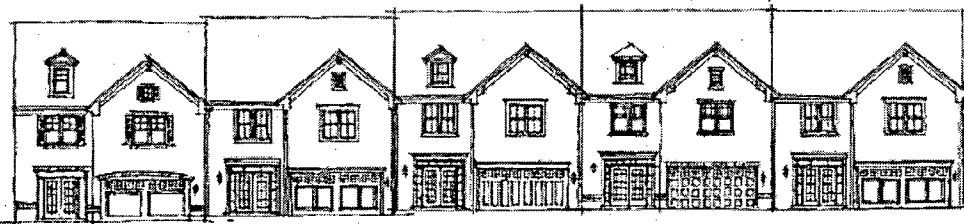




FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
8528 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182

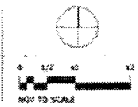
P: 703.760.5344 | F: 703.760.3328 | WWW.LESSARDGROUP.COM

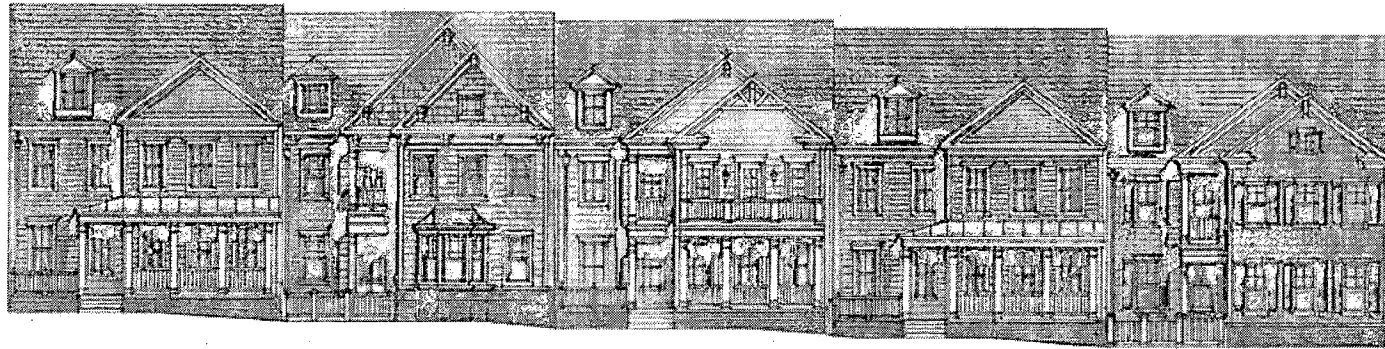
BUILDING ELEVATIONS
SOUTH OF LINDEN LANE

LOTS ~~13-17~~
13-17

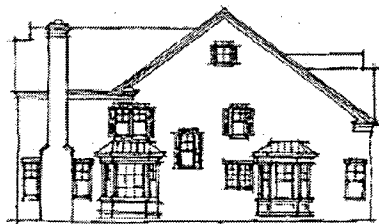
FOREST GLEN
MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNGTOB ASSOCIATES, INC.
FEBRUARY 10, 2005 EYA.1229.00





FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
8521 LEESBURG PIKE, SUITE 706 | VIENNA, VA 22182

P: 703.750.9344 | F: 703.744.9328 | WWW.LESSARDGROUP.COM

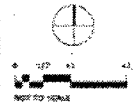
© 2005 THE LESSARD GROUP. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF LESSARD GROUP INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF LESSARD GROUP INC.

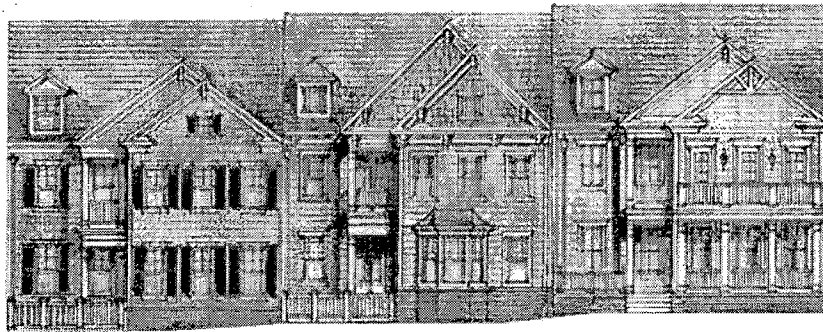
BUILDING ELEVATIONS
SOUTH OF LINDEN LANE

LOTS 10
RT2

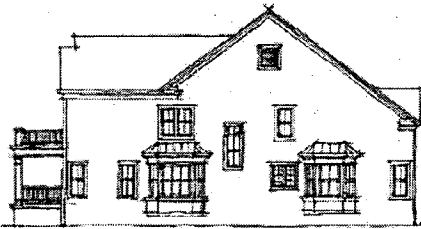
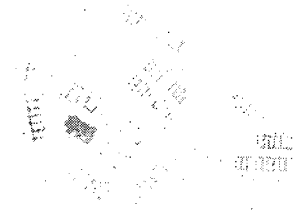
FOREST GLEN
MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNGENTOB ASSOCIATES, INC.
FEBRUARY 10, 2005 EYA.1322B.00





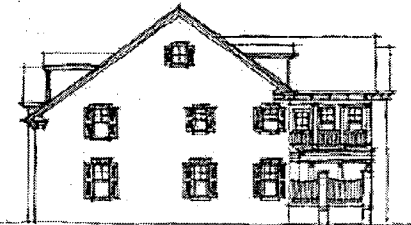
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182

P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

© 2005 LESSARD GROUP INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF LESSARD GROUP INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF LESSARD GROUP INC. IS STRICTLY PROHIBITED.

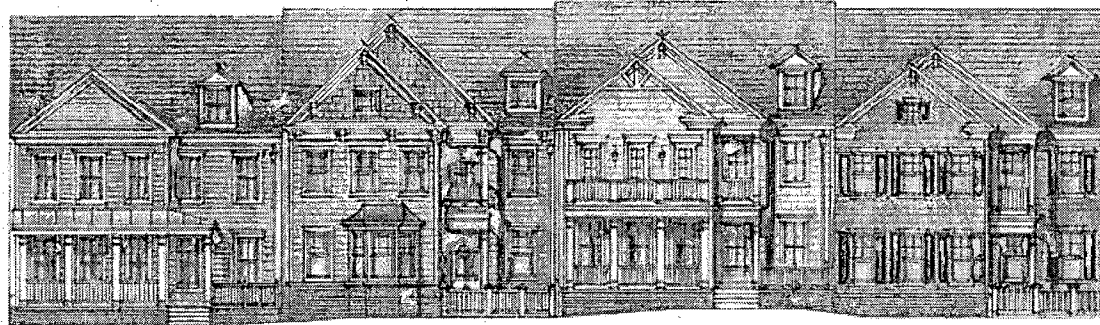
BUILDING ELEVATIONS
SOUTH OF LINDEN LANE

LOTS 18 - 20

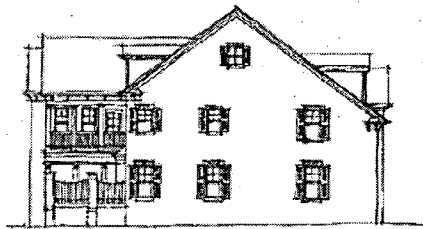
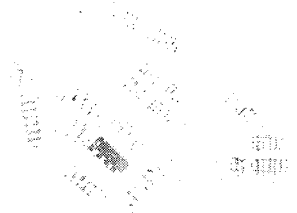
FOREST GLEN
MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNGENTOB ASSOCIATES, INC.
FEBRUARY 10, 2005 EYA-1218.00





FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
 8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182
 P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

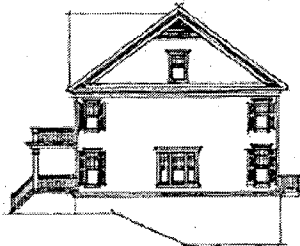
BUILDING ELEVATIONS
 SOUTH OF LINDEN LANE
LOTS 21 - 24

FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND
EAKIN / YOUNGENTOB ASSOCIATES, INC.
 FEBRUARY 10, 2015 EYA.1226.00





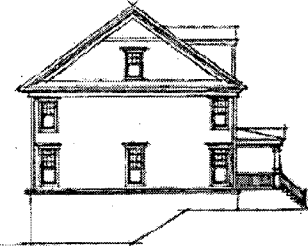
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182

P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

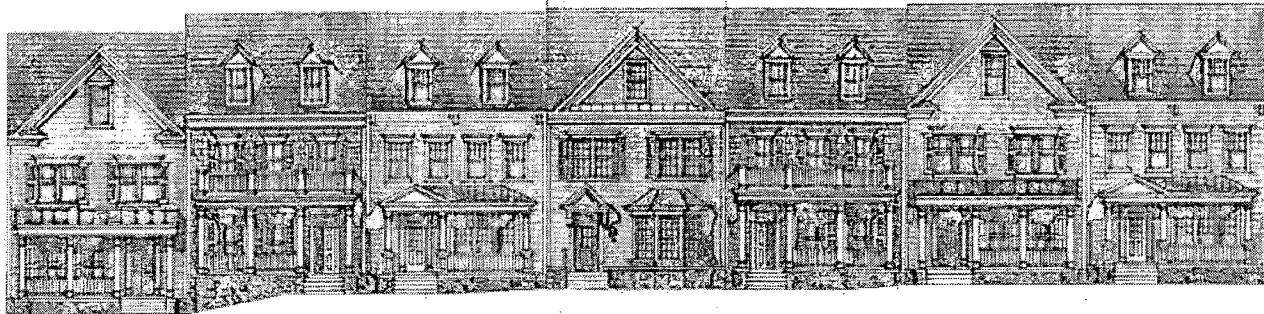
BUILDING ELEVATIONS
SOUTH OF LINDEN LANE

LOTS 25 - 30

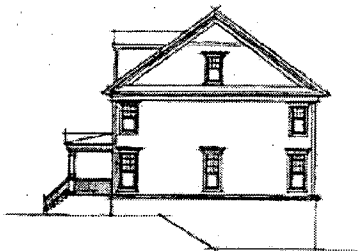
FOREST GLEN
MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNGTOB ASSOCIATES, INC.
FEBRUARY 10, 2005 EYA-1228-00

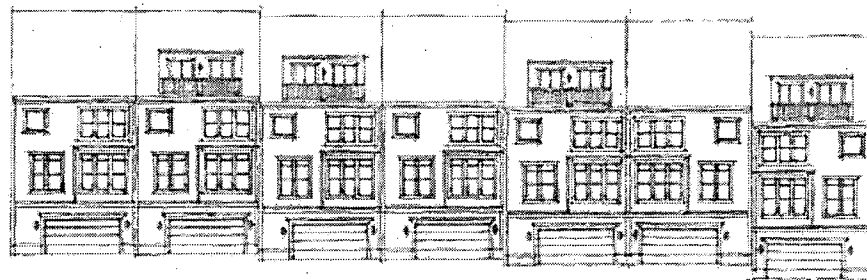




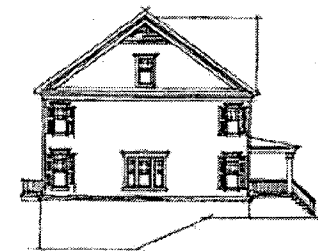
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
8521 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182

P: 703.760.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

BUILDING ELEVATIONS
SOUTH OF LINDEN LANE

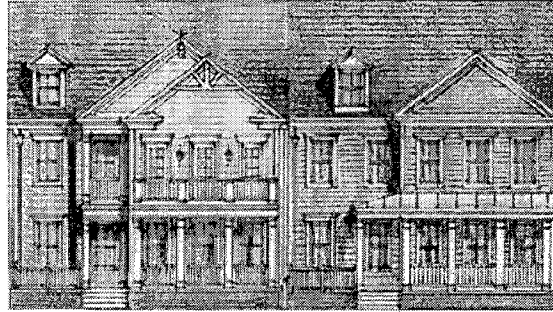
LOTS 31 - 37

FOREST GLEN
MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNGENTOB ASSOCIATES, INC.
FEBRUARY 15, 2015 EYA.1328.00

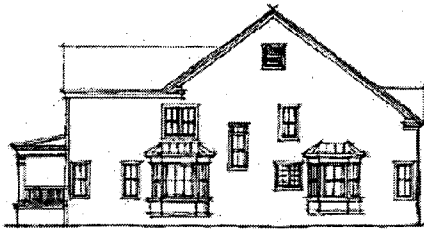


NOT TO SCALE



FRONT ELEVATION

APPROVED FOR CONSTRUCTION
 FEBRUARY 10, 2005
 EY/1223.00



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



LESSARD GROUP INC.
 8571 LEESBURG PIKE, SUITE 700 | VIENNA, VA 22182

P: 703.766.9344 | F: 703.760.9328 | WWW.LESSARDGROUP.COM

© 2005 LESSARD GROUP INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF LESSARD GROUP INC. AND IS TO BE USED ONLY FOR THE PROJECT AND LOT IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF LESSARD GROUP INC. IS STRICTLY PROHIBITED.

BUILDING ELEVATIONS
 SOUTH OF LINDEN LANE

LOTS 38 - 39

FOREST GLEN
 MONTGOMERY COUNTY, MARYLAND

EAKIN / YOUNGENTOB ASSOCIATES, INC.

FEBRUARY 10, 2005 EYA.1223.00

