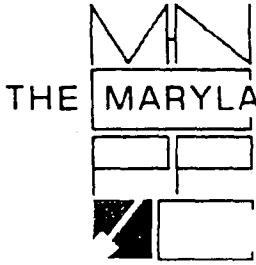


37/03-03B 7617 Takoma Avenue
(Takoma Park Historic District)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: Jan. 22, 2003

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator AF
Historic Preservation

SUBJECT: Historic Area Work Permit
DPS # 295338 HPC HAWP # 37/03-03B

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

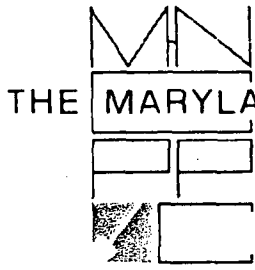
and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Richard + Sherri Wei

Address: 7617 Takoma Avenue, Takoma Park, MD 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: Jan. 22, 2003

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

DPS # 295338 MPC # 37/03-03B

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ permits.emontgomery.org of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

C:\hawpapr.wpd



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: RICHARD WEIL
 Daytime Phone No.: (202) 319-5503
 Home # 301-587-8839
 Tax Account No.: 01006847
 Name of Property Owner: RICHARD & SARA WEIL Daytime Phone No.: (202) 319-5503
 Address: 7617 TAKOMA AVENUE TAKOMA PARK, MD. 20912
Street Number City State Zip Code
 Contractor: (PROPOSED) W.B. DORMAN CONSTR. INC. Phone No.: (301) 587-7947
 Contractor Registration No.: MHIC # 18982

Agent for Owner: _____ Daytime Phone No.: _____
 Address: _____

LOCATION OF BUILDING/PREMISE

House Number: 7617 Street: TAKOMA AVENUE
 Town/City: TAKOMA PARK MD. Nearest Cross Street: NEW YORK AVENUE
 Lot: 21 Block: 7A Subdivision: TAKOMA PARK LOAN & TRUSS CO'S SUBDIVISION
 Liber: 6330 Folio: 111 Parcel: _____
13TH ELECTION DISTRICT, MONTGOMERY COUNTY

PLAT BOOK 2
PLAT 103

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Stab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Retire | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>ATTIC REMODEL INCL. 4 DORMERS</u> | | | |

1B. Construction cost estimate: \$ 40,000.00
ADD TWO COLUMNS & WIDEN FRONT ENTR.

1C. If this is a revision of a previously approved active permit, see Permit # NOTE ORIGINAL BLDG. PERMIT [REDACTED] FOR REAR OF HOUSE
ADDITION # 8908160248-1989
8808020207-1988

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
 Signature of owner or authorized agent

DECEMBER 26, 2002
 Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: Jan. 23, 2003
 Application/Permit No.: 295338 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SINGLE FAMILY BRICK COLONIAL (1932) APPROX. 28' x 28'
W/ BASEMENT (GARAGE & DRIVEWAY) 2 STORIES W/ ATTIC (STAIRS)
AND ADDITION (PAINTED WOOD SIDING) APPROX. 16' x 27' @
BACK OF HOUSE, BUILT 1989.
HOME RESIDES ON CORNER OF TAKOMA & NEW YORK AVES
W/ MATURE OAK ON NORTH SIDE. WHITE PICKET FENCE
(MADE BY TOURS TRUST AS WAS THE ADDITION IN '89).
WE HAVE LANDSCAPED BOTH FRONT & BACK YARDS.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ADDING THREE DORMERS ON FRONT @ ATTIC LEVEL, STAIRS (2 NO FR.
ENLARGING TWO SEMICIRCULAR WINDOWS @ BOTH ENDS
OF BRICK HOUSE, ADDING ONE DORMER ON NORTH
(NEW YORK AVE) SIDE OF HOUSE @ ATTIC LEVEL &
TWO VELUX (OR EQUAL) SKYLIGHTS @ SOUTH SIDE OF ROOF
TO ATTIC),

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
b. dimensions of all existing and proposed structures; and
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

APPROVED
Montgomery County
Historic Preservation Commission
AF 1-22-03

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripzone of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

RICHARD & SHEPPI WEIL,
7617 TAKOMA AVENUE,
TAKOMA PARK, MD. 20912

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

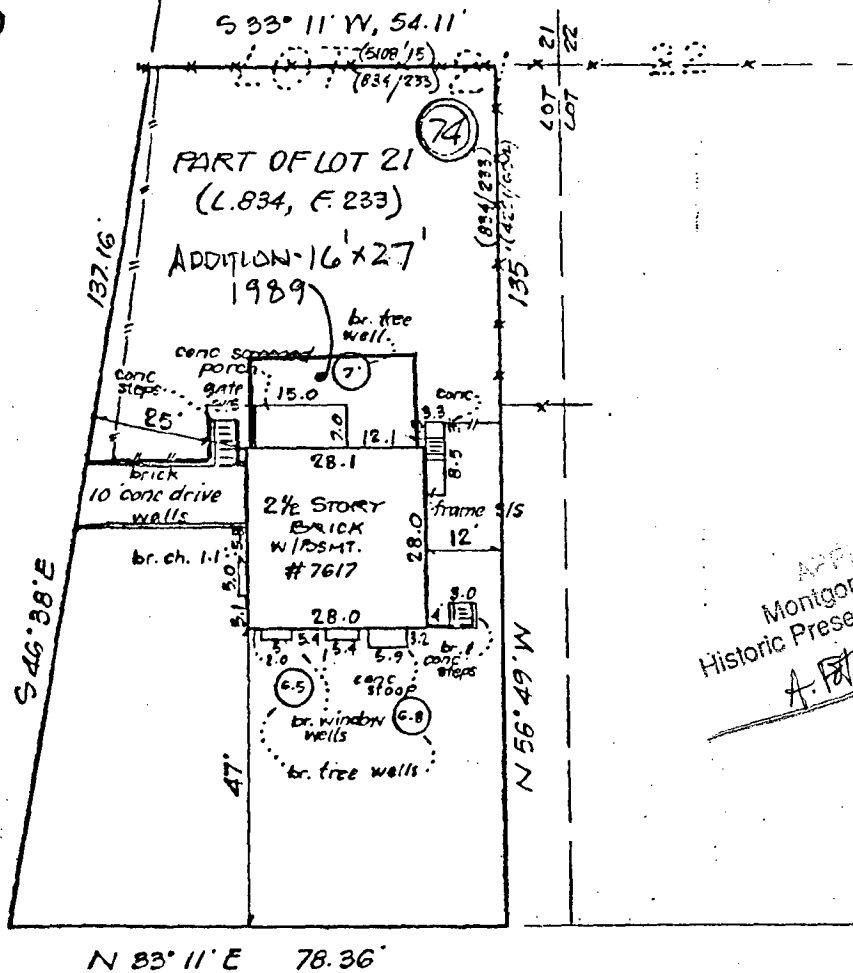
SUSAN ALEXANDER & ANDY POTTERFIELD,
7613 TAKOMA AVENUE,
TAKOMA PARK, MD. 20912

TERRZ & MITCHA TROPINI,
516 NEW YORK AVENUE,
TAKOMA PARK, MD. 20912

MONTGOMERY COLLEGE,
7600 TAKOMA AVENUE,
TAKOMA PARK, MD. 20912
ATTN: PROVOST, DR. PORTER

DAVID & MERELYN WEISMANIK
7701 TAKOMA AVENUE
TAKOMA PARK, MD. 20912

NEW YORK AVENUE



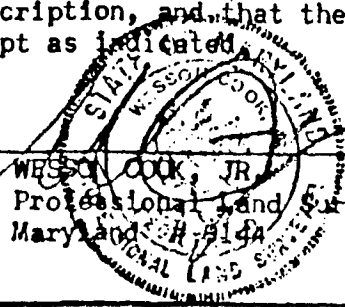
APPROVED
 Montgomery County
 Historic Preservation Commission
 A. Fitzner 1-22-03

TAKOMA (70) AVENUE

I hereby certify that I have carefully located the improvements as shown hereon in accordance with recorded property description, and that there are no encroachments except as indicated.

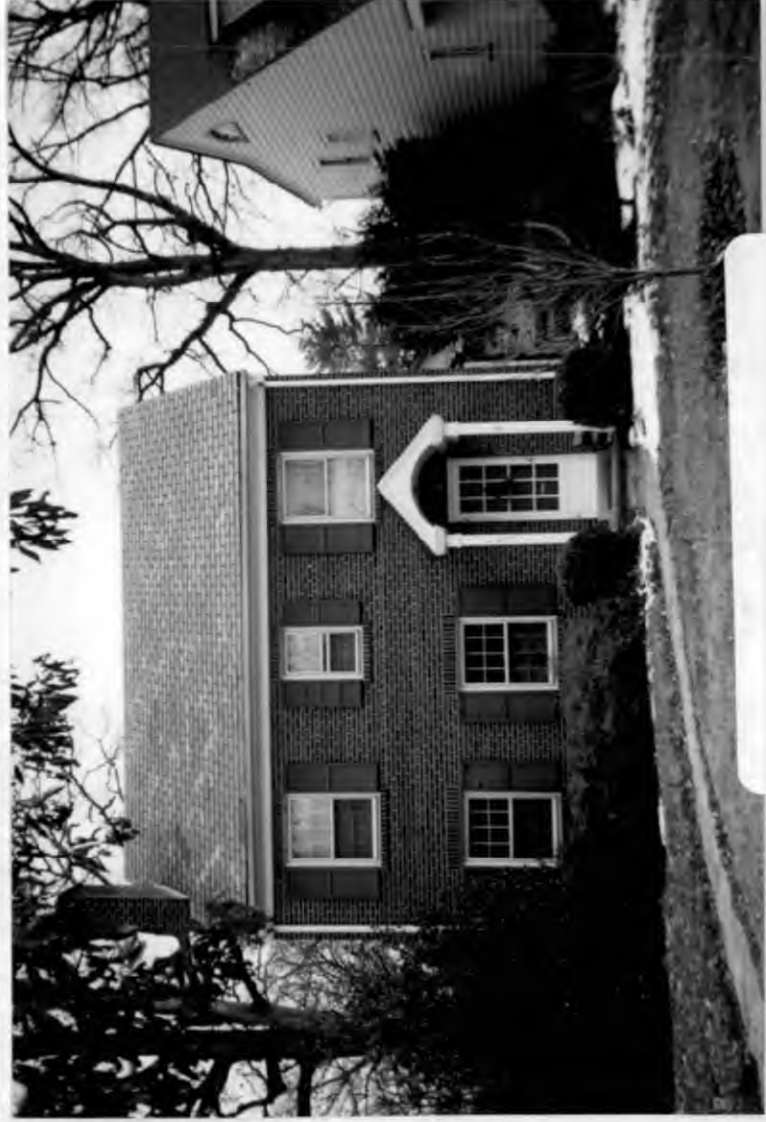
7/17/86
 Date

WESSON COOK, JR.
 Registered Professional Land Surveyor
 Maryland



HOUSE LOCATION SURVEY
 7617 TAKOMA AVENUE
 Part of Lot 21 Block 74 Section -
 TAKOMA PARK LOAN & TRUST CO.'S SUBDIVISION
 OF
TAKOMA PARK
 13th Election District
 Montgomery County, Maryland
 Plat Book 2 Plat 103 860715

7617 TACOMA AVE. TACOMA PARK, MD.



WEST ELEVATION



NORTH ELEVATION

7017 TAICOMA AVENUE, TAICOMA PARK, MD



EAST ELEVATION

7017 TAKOMA AVENUE, TAKOMA PARK, MD



DOG ELEVATION



FRONT ENTRANCE

76317 TALIKOPMA ALVE.

ATTIC RENOVATION

DECEMBER 26, 2002

WEL RESIDENCE

ARCHITECTURAL

SECOND FLOOR PLAN	§ STRUCTURAL	A-1
ATTIC FLOOR PLAN	§ STRUCTURAL	A-2
WEST ELEVATION		A-3
NORTH ELEVATION		A-4
EAST ELEVATION		A-5
SOUTH ELEVATION		A-6

PLUMBING

FIRST FLOOR PLAN	P-1
SECOND FLOOR PLAN	P-2
ATTIC FLOOR PLAN - SEE M-1	

MECHANICAL

ATTIC FLOOR PLAN	M-1
------------------	-----

ELECTRICAL

ATTIC FLOOR PLAN	E-1
------------------	-----

DOOR SCHEDULE

1. MECH. RM.	3'-0" x 6'-0" x 1 3/4"	SOLID CORE HT / 1'-0" x 2'-0" LOWER.
2. DINING RM.	(2) 2'-0" x 6'-8" x 1 3/4"	USE EXIST. FOR POCKET DOORS.
3. FAMILY RM.	12'-0" x 6'-8" x 1 3/8"	PELLA (XOOX) INSUL. GLASS UNIT
4. MASTER BEDRM	2'-6" x 6'-8" x 1 3/8"	USE EXIST. BEDRM, DOOR & TRIM.
5. MASTER CLOSET (2)	1'-3" x 6'-8" x 1 3/8"	NEW HOLLOW CORE DOOR.
6. MASTER BATH	2'-6" x 6'-8" x 1 3/8"	NEW HOLLOW CORE DOOR.

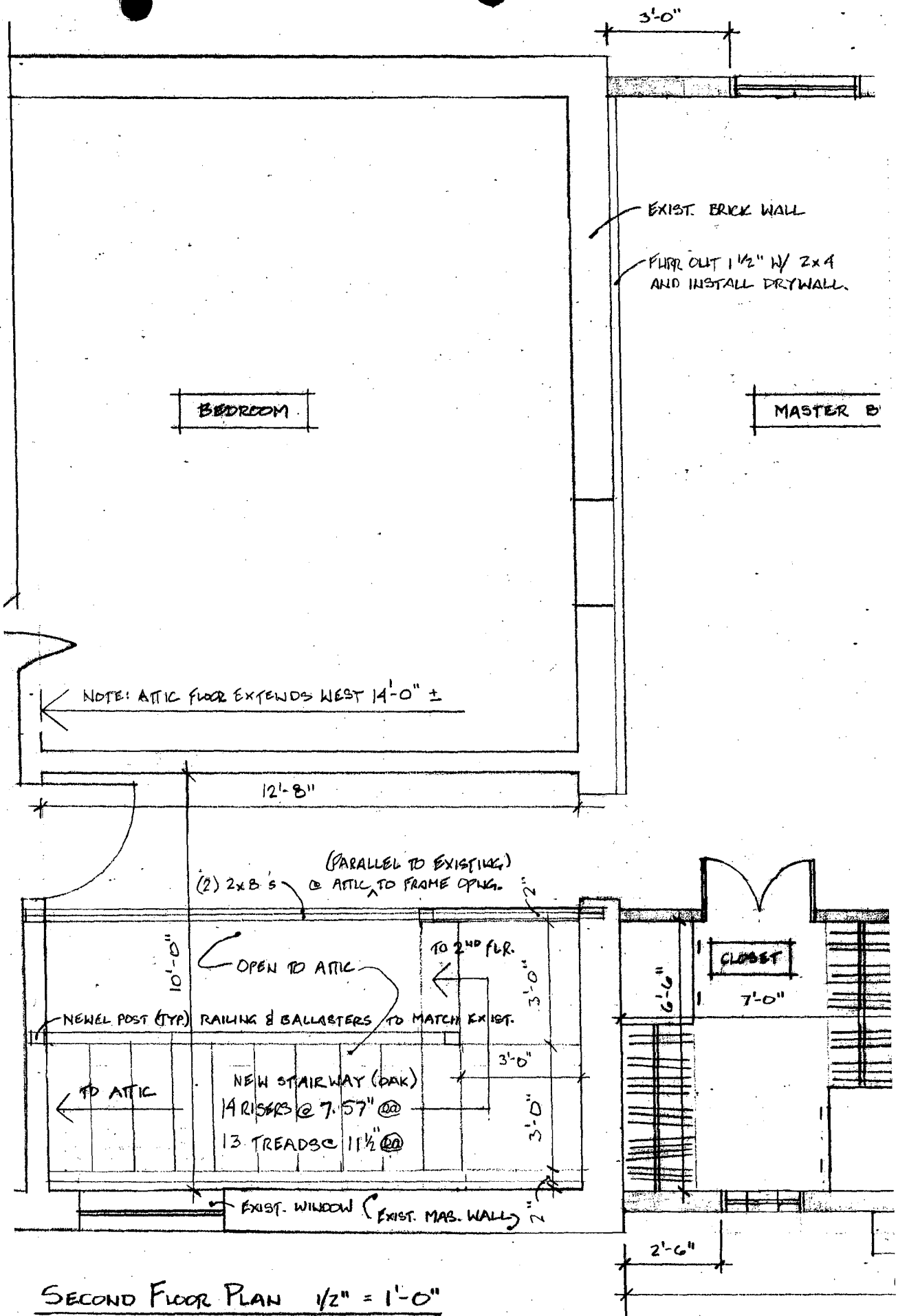
NOTE: HARDWARE TO BE SCHLAGE OR EQUAL. VOID

WINDOW SCHEDULE

1. FAMILY RM.	BAY / 45° DEL HUNG	9'-0" W x 5'-0" H x 2'-10" D
2. "	(4) CIRCLEHEAD	1'-4 5/8" H x 2'-9 1/4" W (OVER XOOX DR)
3. "	(2) DEL HUNG @	2'-6" W x 4'-9" H
4. "	DBL HUNG	2'-6" W x 4'-9" H
5. MASTER BEDRM.	DBL HUNG	2'-10" W x 4'-9" H
6. "	DBL HUNG	2'-10" W x 4'-9" H
7. "	VOID DEL HUNG (OOXO)	10'-6" W x 4'-9" H
8. "	DEL HUNG	3'-0" W x 4'-9" H
9. "	OCTAGON	2'-0" W x 2'-0" H

1. ATTIC LEVEL	DBL HUNG (XOX)	3'-0" W x 3'-6" H	4 FORMERS
2. "	CIRCLEHEAD	3'-0" W x 3'-0" H	2 @ BRICK PEAKS
3. "	SKYLIGHT	1'-2" W x 2'-0" H	2 FIXED

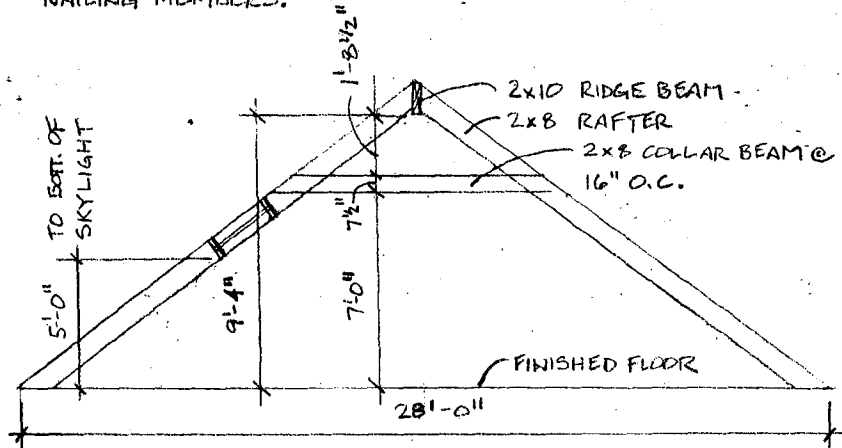
ALL SKYLIGHTS TO BE VENEY DR EQUAL, DARK BROWN OR BLACK FINISH.
 ALL WINDOWS TO BE INSULATED GLASS, MANUFACTURED BY PELLA OR EQUAL. EXTERIOR TRIM TO BE WHITE CLAD, INTERIOR TRIM TO BE UNFINISHED WOOD. ALL WINDOW SILLS 2'-4" OR MORE AFF.



SECOND FLOOR PLAN 1/2" = 1'-0"
 (PARTIAL)

NOTES:

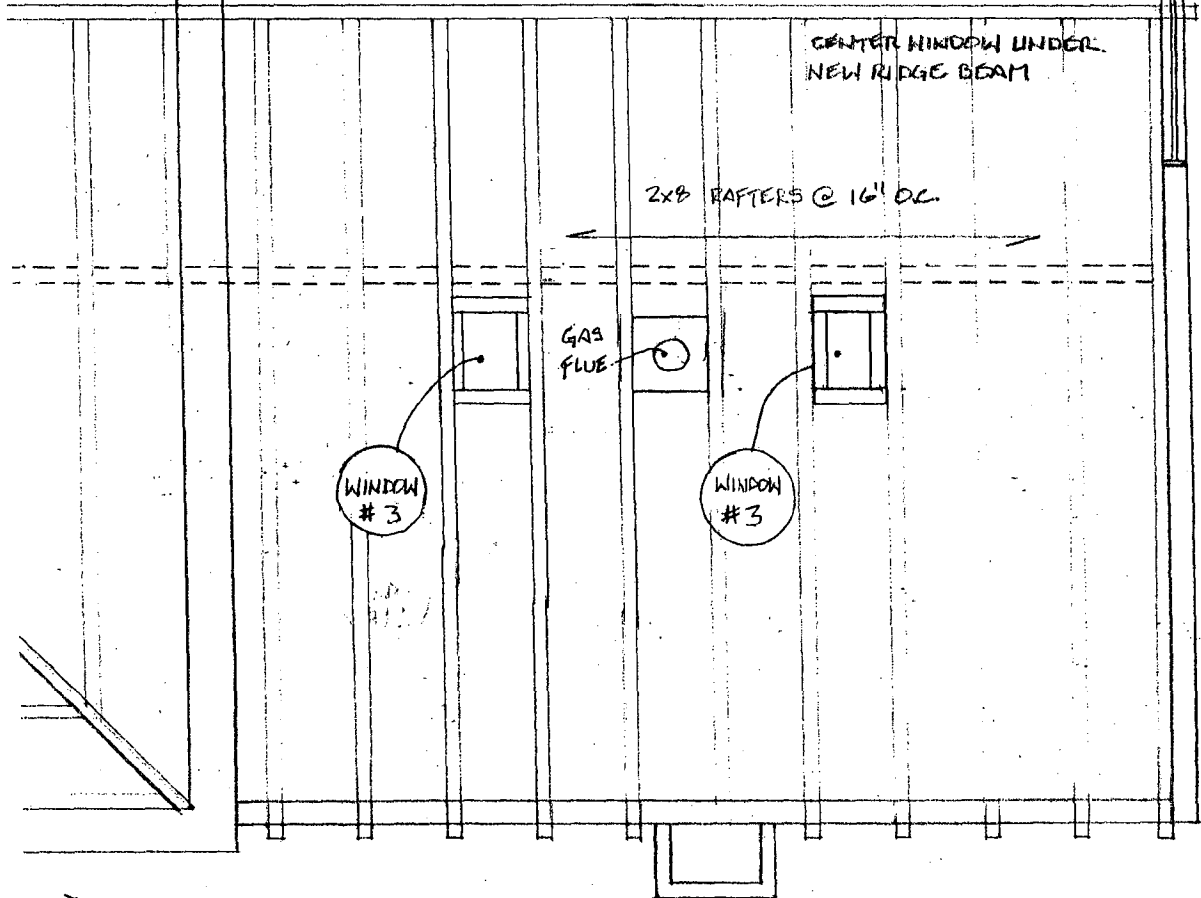
1. NEW FRAMING TO MATCH EXISTING ROOF FRAMING STYLE.
2. NEW ROOF RIDGE BEAM ELEVATION TO MATCH EXISTING.
3. USE TECO OR EQUAL FRAMING HANGERS IN ADDITION TO DIRECTLY NAILING MEMBERS.



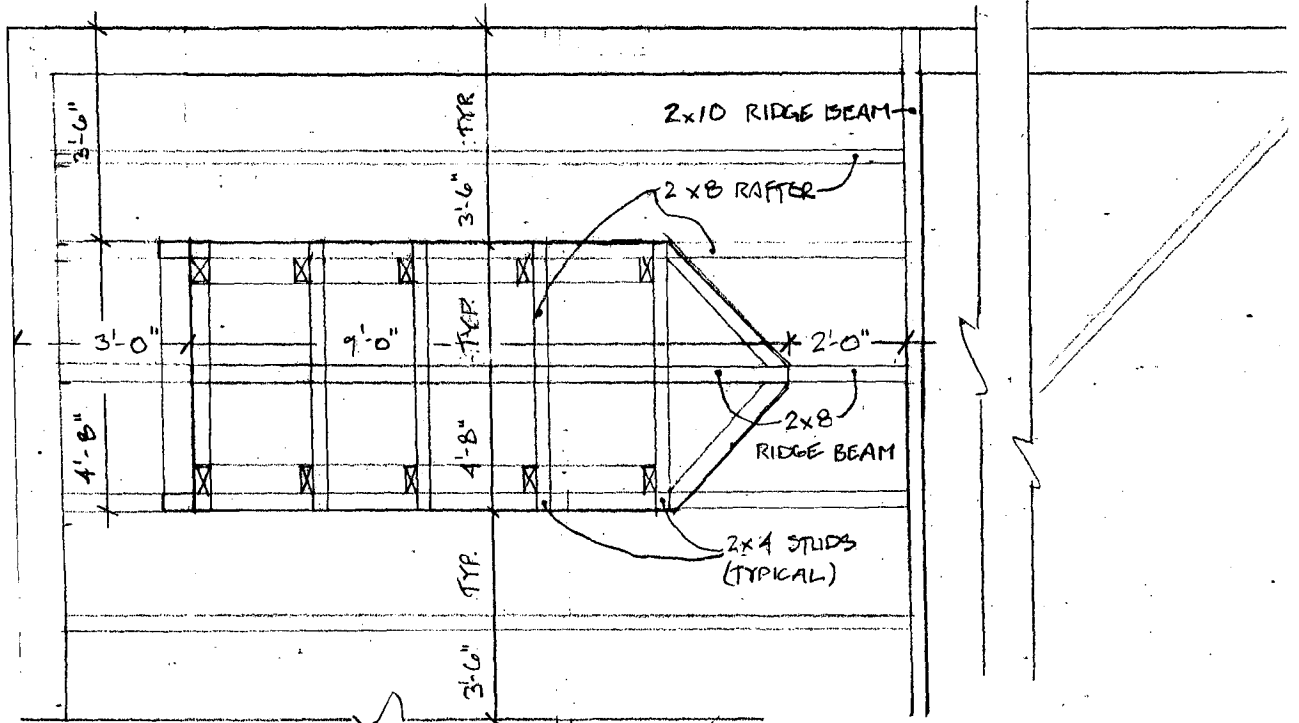
OR IMAGE
NCF THE
USE.

SECTION OF ATTIC FRAMING (TYP.)

SCALE: 1/4" = 1'-0"

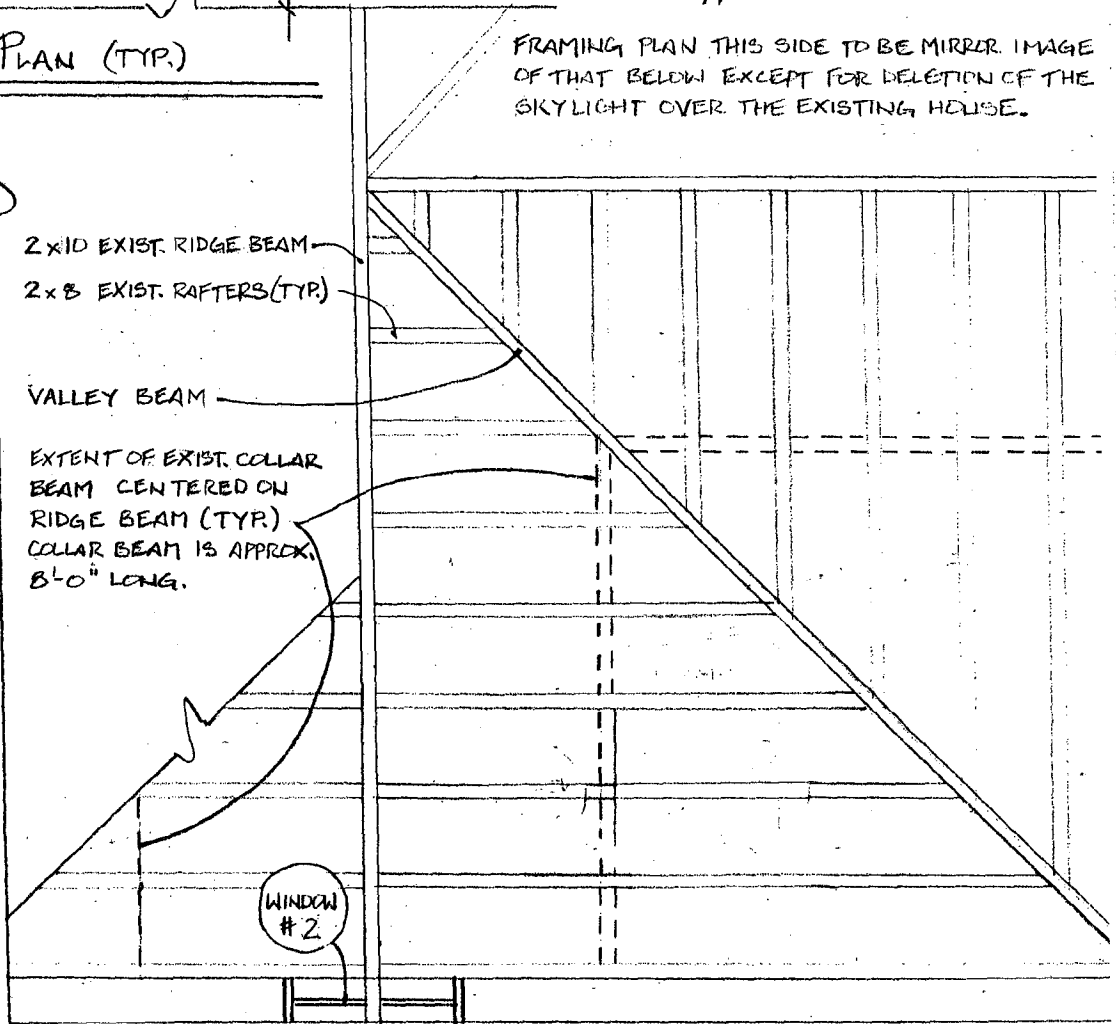


A-2
1 OF 2



DORMER PLAN (TYP.)

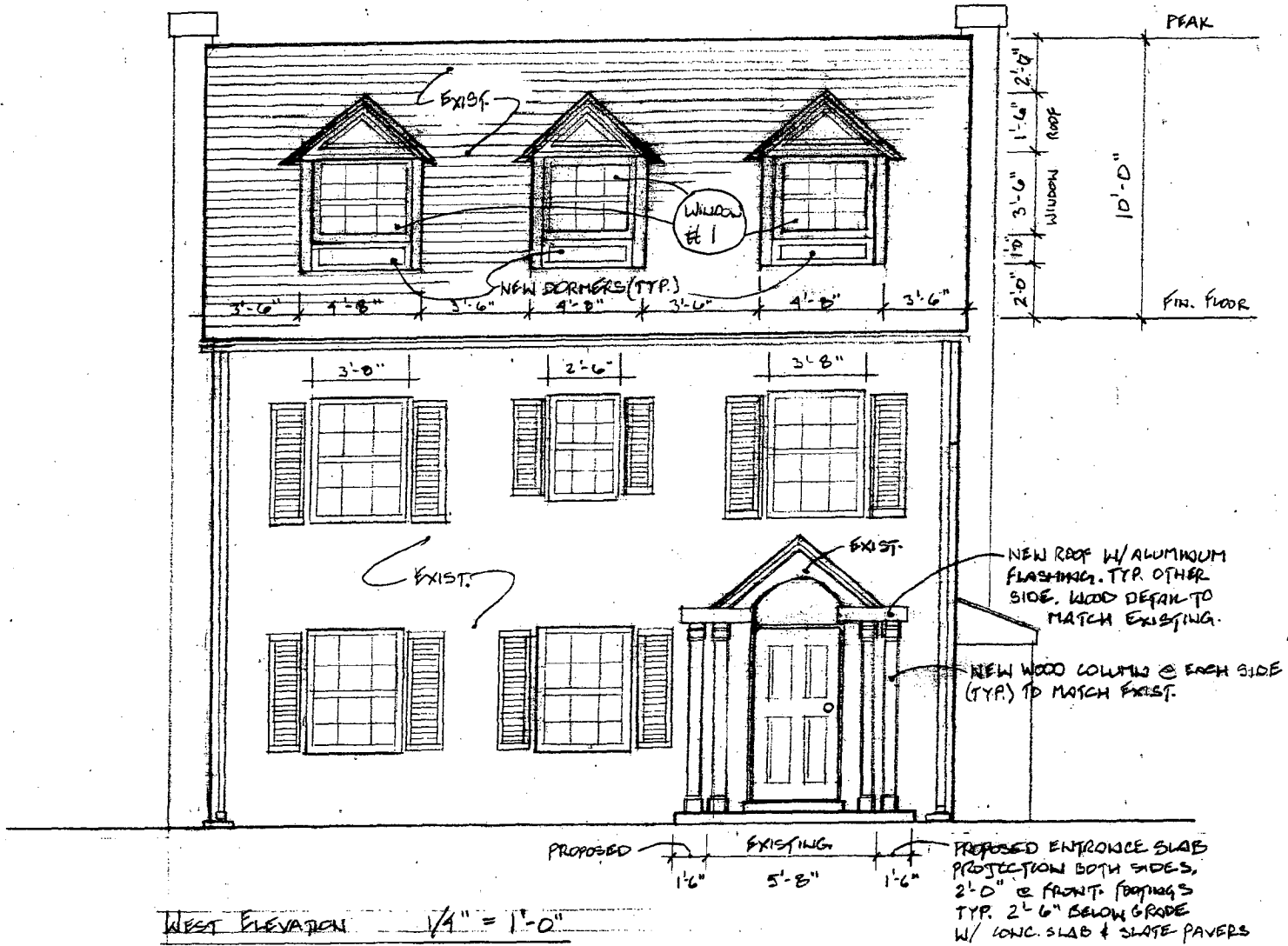
FRAMING PLAN THIS SIDE TO BE MIRROR IMAGE OF THAT BELOW EXCEPT FOR DELETION OF THE SKYLIGHT OVER THE EXISTING HOUSE.



A-2
20-2

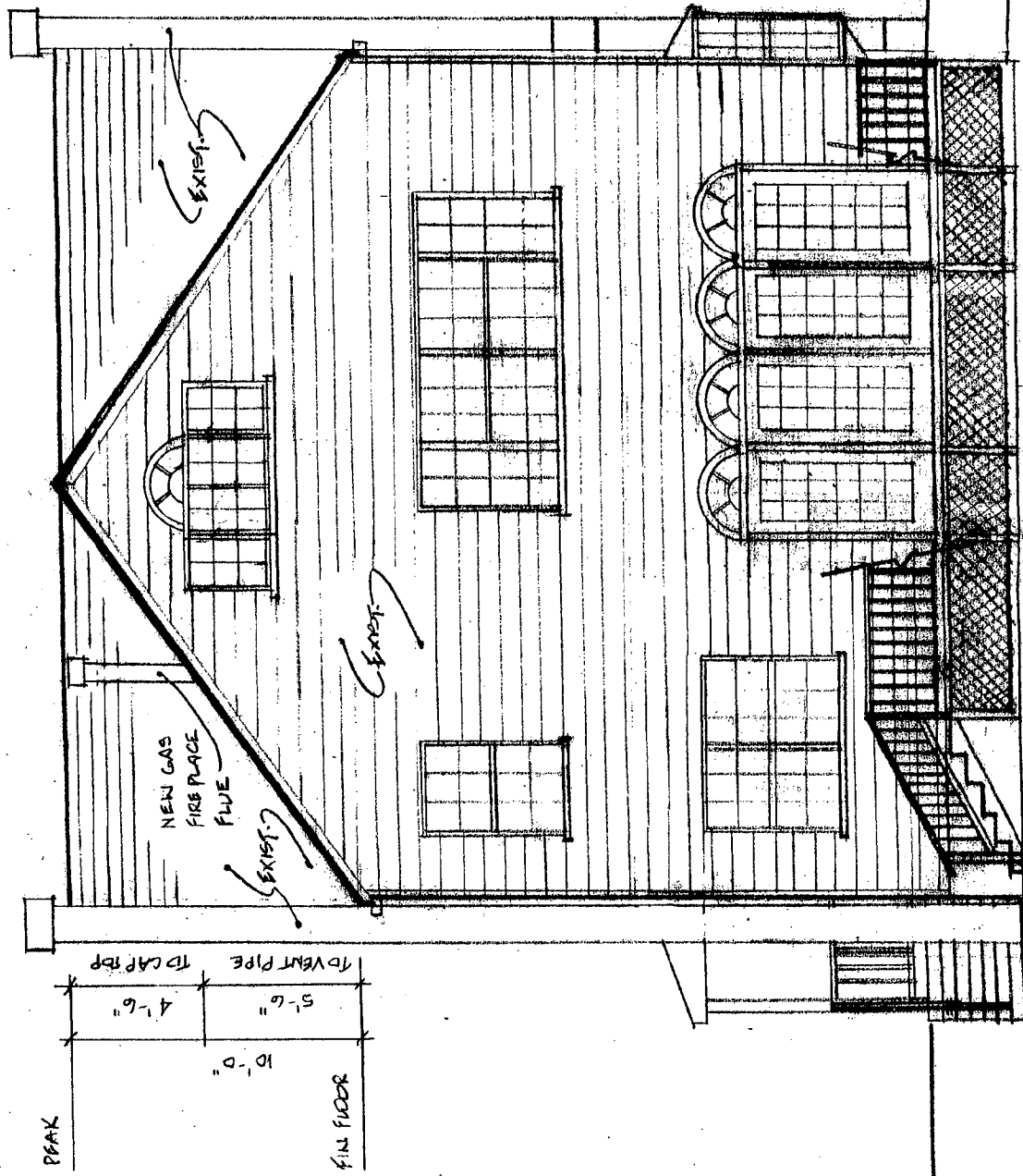
ATTIC FRAMING PLAN - PARTIAL

1/2" = 1'-0"





A-4



PEAK

10'-0"	5'-6"	4'-6"	TO VENT PIPE TO CAP TOP
--------	-------	-------	-------------------------

FIN FLOOR

NEW GAS
FIRE PLACE
FLUE

EXIST.

EXIST.

EXIST.

EAST ELEVATION 1/4" = 1'-0"

A-5

NOTE: NEW GAS FLUE BEYOND

ADD WINDOW
BELOW EXIST.
INSTALL NEW
BRICK SILL

WINDOW
#2

3'-0"

3'-0"

SKYLIGHT

WINDOW
#3

WINDOW
#3

SKYLIGHT

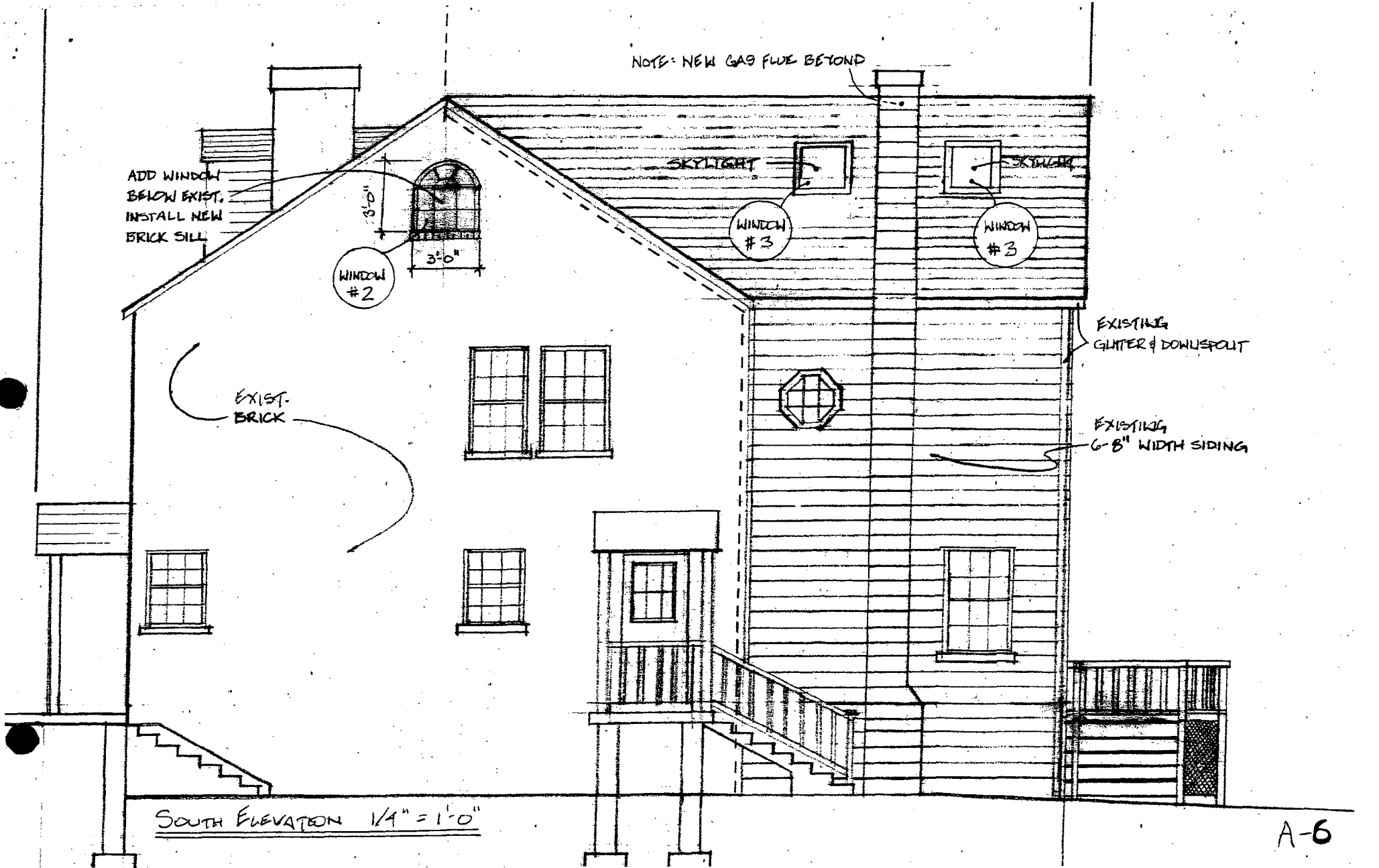
EXIST.
BRICK

EXISTING
GLITTER & DOWNSPOUT

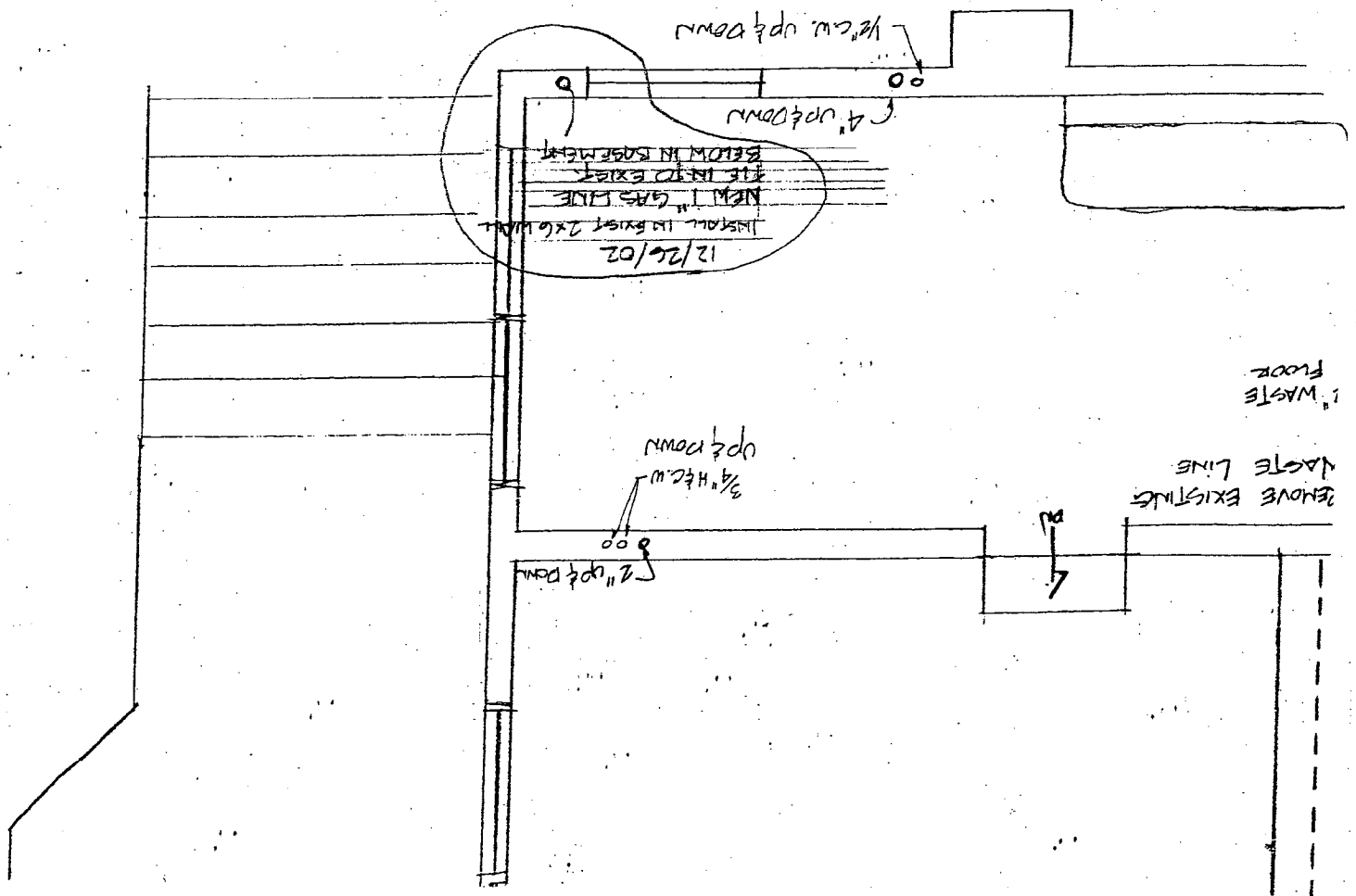
EXISTING
6"-8" WIDTH SIDING

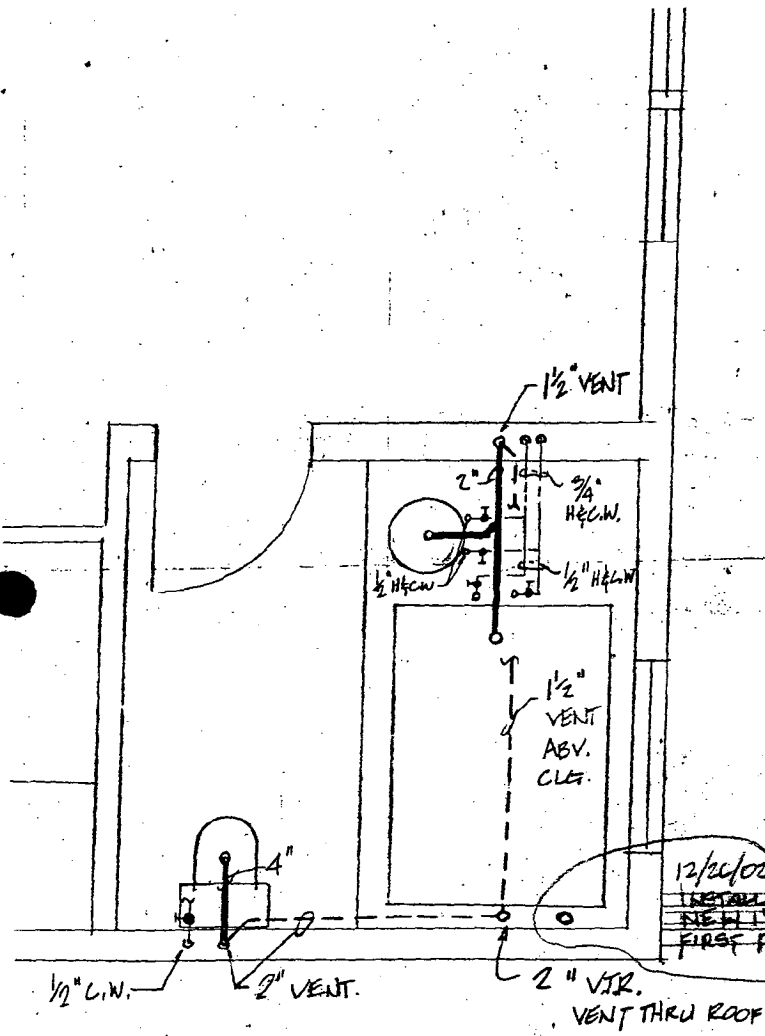
SOUTH ELEVATION 1/4" = 1'-0"

A-6



FIRST FLOOR - PLUMBING P-1
 SCALE 1/2" = 1'-0"





NOTES:

1. ALL BELOW GRADE PIPING SHALL BE CAST IRON HUB PIPING.
2. ALL ABOVE GRADE PIPING SHALL BE P.V.C. PIPING.
3. ALL HOT AND COLD WATER PIPING SHALL BE TYPE M HARD TEMPER COPPER PIPING WITH COPPER SOLDER TYPE FITTINGS.
4. ALL SOLDERING SHALL BE MADE WITH 95/5 TIN ANTIMONY SOLDER.
5. PROVIDE BRASS OR BRONZE GATE VALVES WITH NON RISING STEM ON ALL BRANCH PIPING. LOCATE ALL VALVES BELOW THE FIXTURE IN AN ACCESSIBLE LOCATION. PROVIDE ACCESS DOORS AS REQUIRED TO MAINTAIN ACCESSABILITY.

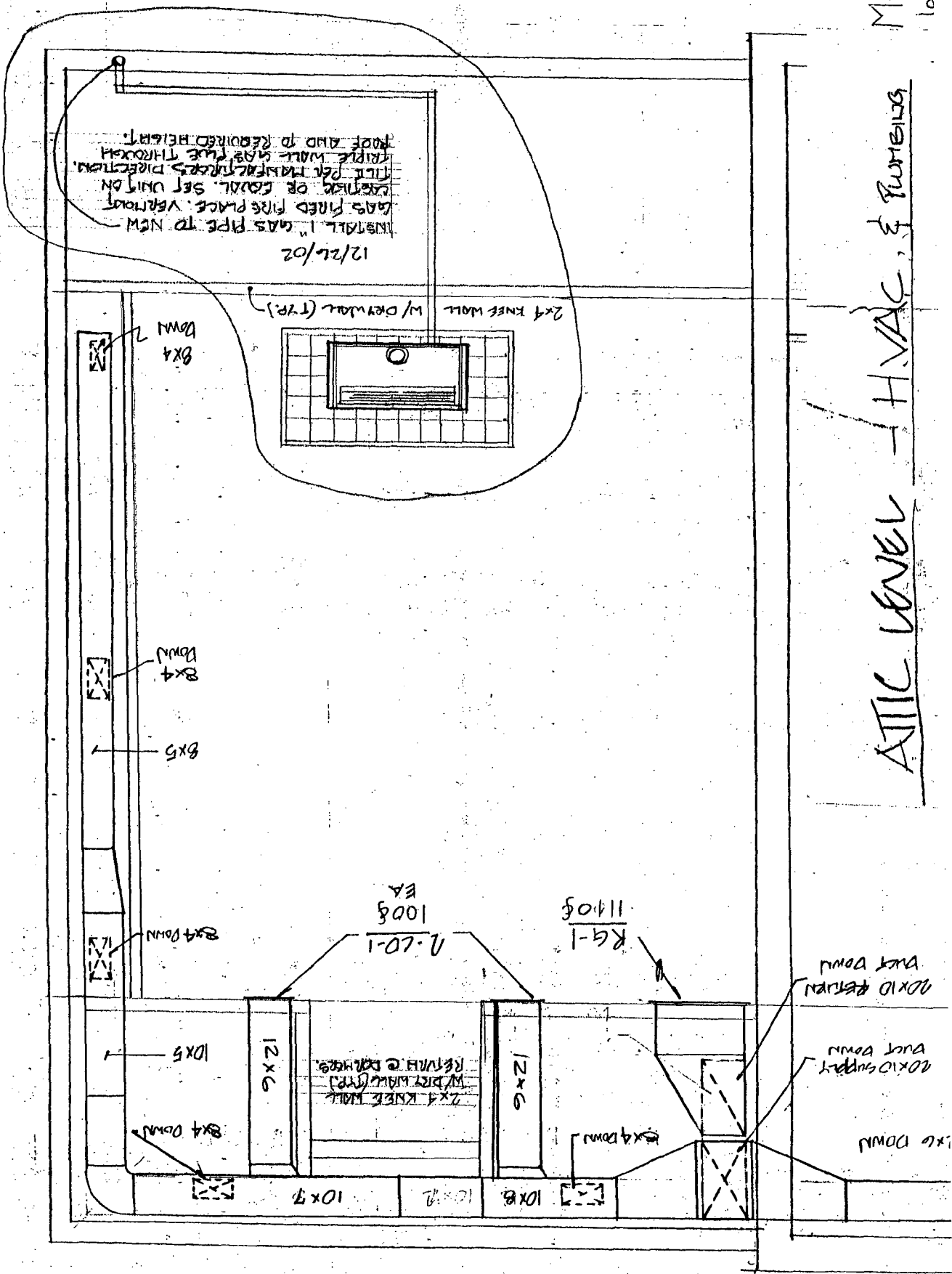
WASTE PIPING SHALL HAVE A MIN. SLOPE OF 1/8" PER FOOT.

12/26/02
 REPAIR IN EXIST 2x6 WALL
 RE-PIPE GAS LINE TIE IN TO
 FIRST FLOOR LINE.

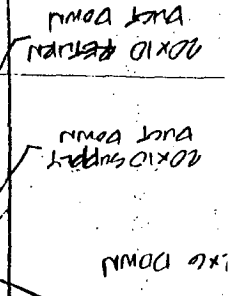
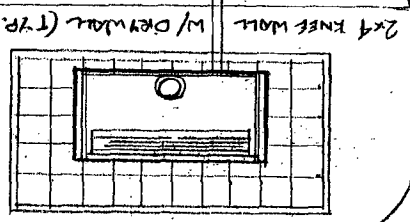
SECOND FLOOR - PLUMBING

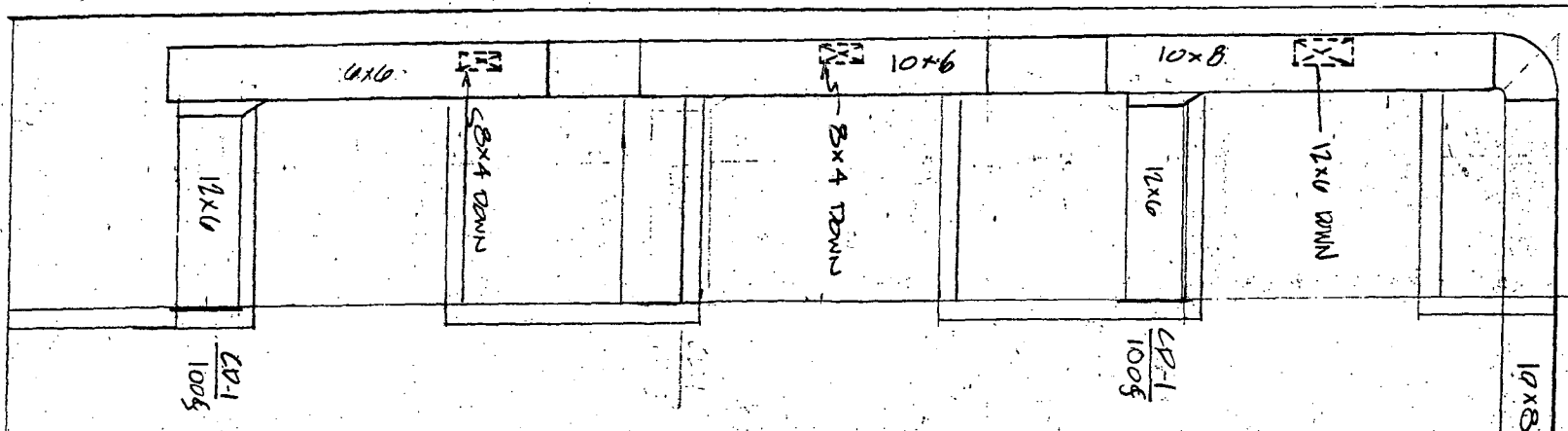
SCALE 1/2" = 1'-0"

ATTIC LEVEL - HVAC & PUMPLING



12/26/02
 INSTALL 1" GAS PIPE TO NEW
 GAS FIRE PLACE. VENT OUT
 THROUGH ROOF. SET UNIT ON
 CEILING OR EAVES. SET UNIT ON
 THE PERMANENTLY DIRECTED
 TRIPLE WALL GAS PIPE THROUGH
 ROOF AND TO REQUIRED HEIGHT.





NOTES:

1. ALL SHEET METAL DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH S.M.A.C.N.A. LOW PRESSURE DUCT CONSTRUCTION STANDARDS.
2. ALL DUCTWORK SHALL BE CONSTRUCTED FROM GALVANIZED STEEL.
3. PROVIDE FLEXIBLE DUCT CONNECTORS AT SUPPLY AND RETURN DUCT CONNECTIONS TO THE AIR HANDLING UNIT.
4. PROVIDE DAMPERS AT ALL JUNCTIONS ON SUPPLY AND RETURN DUCTWORK.
5. INSULATE ALL DUCTWORK RUN IN CONCEALED OR NON-CONDITIONED SPACES. PROVIDE 1-1/2" THICK FIBERGLASS INSULATION WITH FOIL VAPOR BARRIER.
6. ALL DUCTWORK JOINTS SHALL BE SEALED AIRTIGHT.
7. ALL DUCTWORK SHALL BE RUN TIGHT TO THE UNDERSIDE OF FLOOR JOISTS UNLESS OTHERWISE NOTED.
8. REMOVE ALL EXISTING RADIATORS AND EXPOSED PIPING.
9. REMOVE EXISTING GAS FIRED BOILER, BOILER PUMP AND FLUE CAP GAS LINE FEEDING BOILER AND MAINTAIN EXISTING FLUE SERVING WATER HEATER. BOILER AND PUMP SHALL REMAIN PROPERTY OF THE OWNER.

M-1

12x6 DOWN
10x8
12x6

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7617 Takoma Ave., Takoma Park	Meeting Date:	01/22/03
Applicant:	Richard and Sherri Weil	Report Date:	01/15/03
Resource:	Non-Contributing Resource Takoma Park Historic District	Public Notice:	01/08/03
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-03B	Staff:	Anne Fothergill
PROPOSAL:	Dormer addition	RECOMMEND:	Approve

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource in the Takoma Park Historic District
STYLE: Brick Colonial
DATE: 1937

This single family home was built in 1937 and is a 2-story brick Colonial located at the corner of Takoma and New York Avenues in the Takoma Park Historic District. The applicants built a 430 square foot rear addition to this house in 1989.

PROPOSAL

The applicant proposes to add three dormers on the front of the original part of the house built in 1937. They also plan to install one dormer on the left side of the 1989 addition to the house. All dormers will be at the attic level. They plan to enlarge two semi-circular windows on both sides of the house and to install two velux skylights on the right side of the 1989 addition. They will add a wood column to each side of the front door that will match the existing columns as well as widen the concrete entrance slab with slate pavers.

STAFF DISCUSSION

A non-contributing resource in the Takoma Park Historic District is subject to the most lenient level of design review. The HPC considers alterations to non-contributing resources in terms of their impact on the overall streetscape and environmental setting of the historic district. The *Takoma Park* Guidelines state “most alterations and additions to non-contributing resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing...which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.” The alterations to this building do not negatively impact the streetscape, landscape or historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation* #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

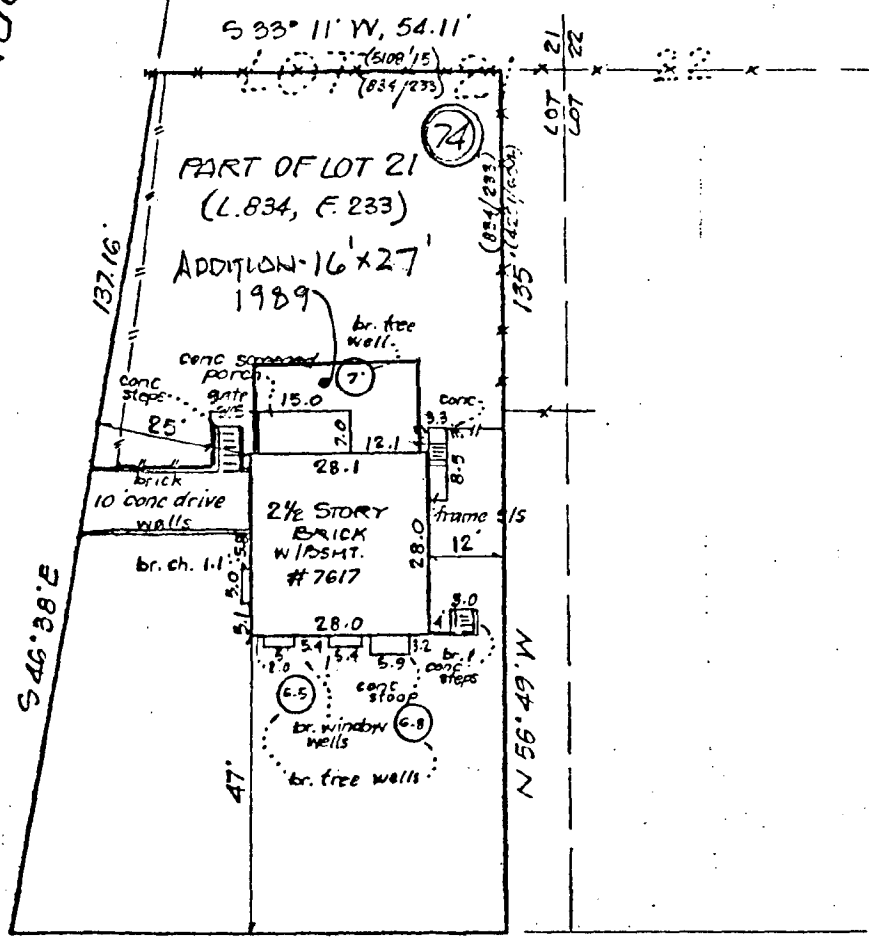


TAKOMA AVENUE

NEW YORK AVENUE

7617
TAKAMA

NEW YORK AVENUE



TAKOMA (70) AVENUE

I hereby certify that I have carefully located the improvements as shown hereon in accordance with recorded property description, and that there are no encroachments except as indicated.

7/17/86
Date

WESSON COOK, JR.
Registered Professional Land Surveyor
Maryland No. 9144

HOUSE LOCATION SURVEY
7617 TAKOMA AVENUE
Part of Lot 21 Block 74 Section -
TAKOMA PARK LOAN TRUST Co.'s SUBDIVISION
OF
TAKOMA PARK
13th Election District
Montgomery County, Maryland
Plat Book 2 Plat 103 660715

(7)

7617 TALKOMMA AVE.

ATTIC RENOVATION DECEMBER 26, 2002 WELL RESIDENCE

ARCHITECTURAL

SECOND FLOOR PLAN & STRUCTURAL	A-1
ATTIC FLOOR PLAN & STRUCTURAL	A-2
WEST ELEVATION	A-3
NORTH ELEVATION	A-4
EAST ELEVATION	A-5
SOUTH ELEVATION	A-6

PLUMBING

FIRST FLOOR PLAN	P-1
SECOND FLOOR PLAN	P-2
ATTIC FLOOR PLAN - SEE M-1	

MECHANICAL

ATTIC FLOOR PLAN	M-1
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ELECTRICAL

ATTIC FLOOR PLAN	E-1
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DOOR SCHEDULE

1. MECH. RM.	3'-0" x 6'-0" x 1 3/4"	SOLID CORE W/ 1'-0" x 2'-0" LOVER.
2. DINING RM.	(2) 2'-0" x 6'-8" x 1 3/4"	USE EXIST. FOR POCKET DOORS.
3. FAMILY RM.	12'-0" x 6'-8" x 1 3/8"	PELLA (XOOX) INSUL. GLASS UNIT
4. MASTER BEDRM	2'-6" x 6'-8" x 1 3/8"	USE EXIST. BEDRM. DOOR & TRIM.
5. MASTER CLOSET (2)	1'-3" x 6'-8" x 1 3/8"	NEW HOLLOW CORE DOOR.
6. MASTER BATH	2'-6" x 6'-8" x 1 3/8"	NEW HOLLOW CORE DOOR.

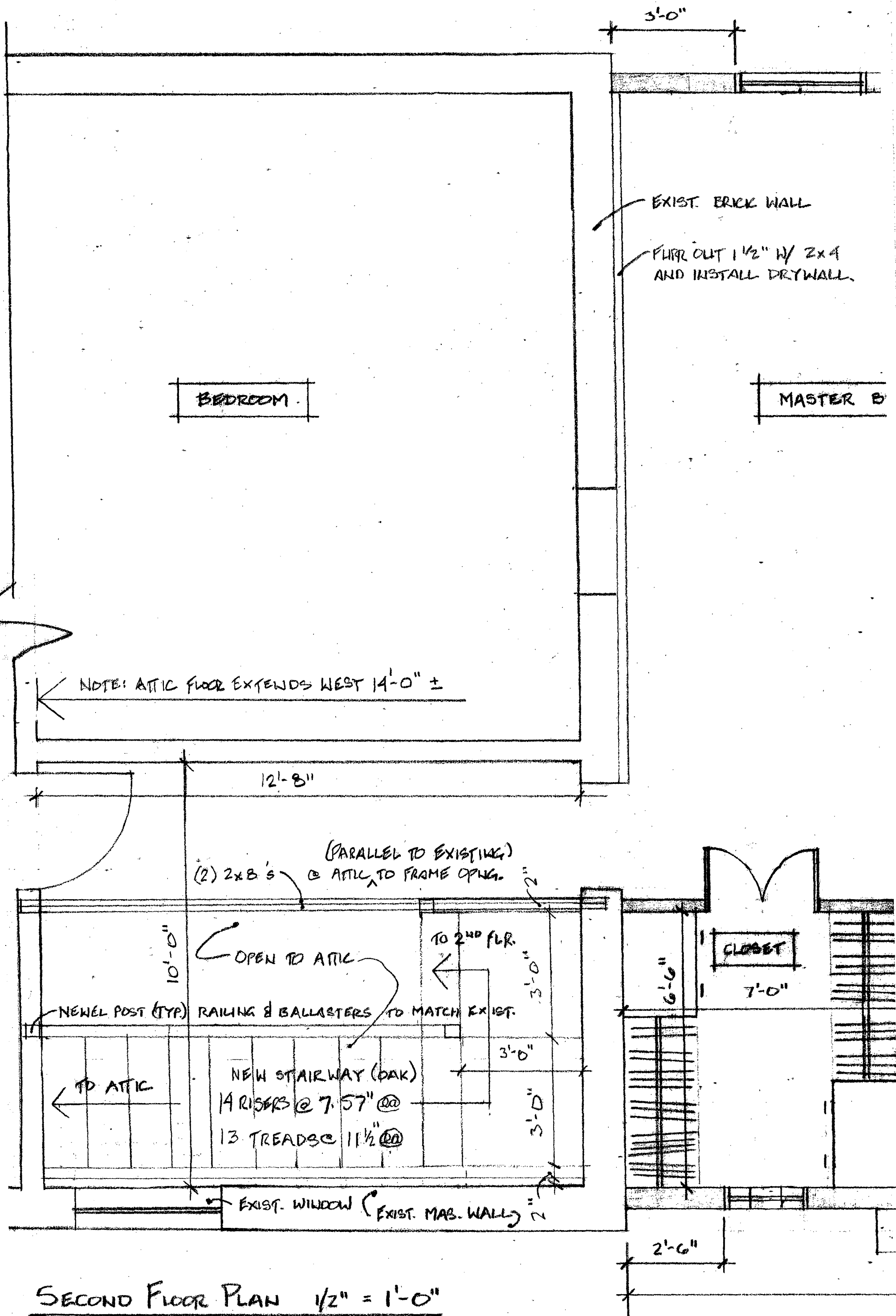
NOTE: HARDWARE TO BE SCHLAGE OR EQUAL.

WINDOW SCHEDULE

1. FAMILY RM.	BAY/45° DBL HUNG	9'-0" W x 5'-0" H x 2'-10" D
2. "	(4) CIRCLEHEAD	1'-4 5/8" H x 2'-9 1/4" W (OVER XOOX DR.)
3. "	(2) DBL. HUNG @	2'-6" W x 4'-9" H
4. "	DBL. HUNG	2'-6" W x 4'-9" H
5. MASTER BEDRM.	DBL. HUNG	2'-10" W x 4'-9" H
6. "	DBL. HUNG	2'-10" W x 4'-9" H
7. "	VOID DBL. HUNG (OXXO)	10'-6" W x 4'-9" H
8. "	VOID DBL. HUNG	3'-0" W x 4'-9" H
9. "	VOID OCTAGON	2'-0" W x 2'-0" H

1. ATTIC LEVEL	DBL HUNG (XOX)	3'-0" W x 3'-6" H	4 FORMERS
2. "	CIRCLEHEAD	3'-0" W x 3'-0" H	2 @ BRICK PEAKS
3. "	SKYLIGHT	1'-2" W x 2'-0" H	2 FIXED

ALL SKYLIGHTS TO BE VEENIX OR EQUAL, DARK BROWN OR BLACK FINISH.
 ALL WINDOWS TO BE INSULATED GLASS, MANUFACTURED BY PELLA OR EQUAL. EXTERIOR TRIM TO BE WHITE CLAD, INTERIOR TRIM TO BE UNFINISHED WOOD. ALL WINDOW SILLS 2'-4" OR MORE AFF.

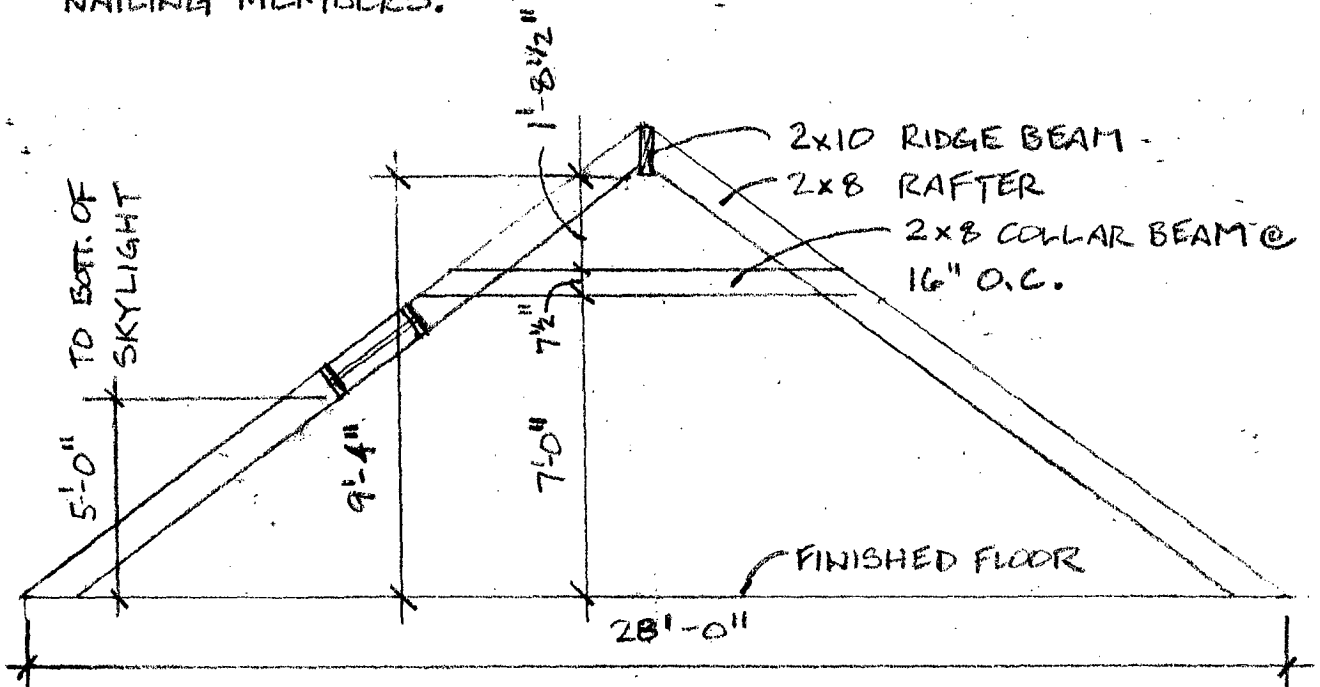


SECOND FLOOR PLAN 1/2" = 1'-0"

(PARTIAL)

NOTES:

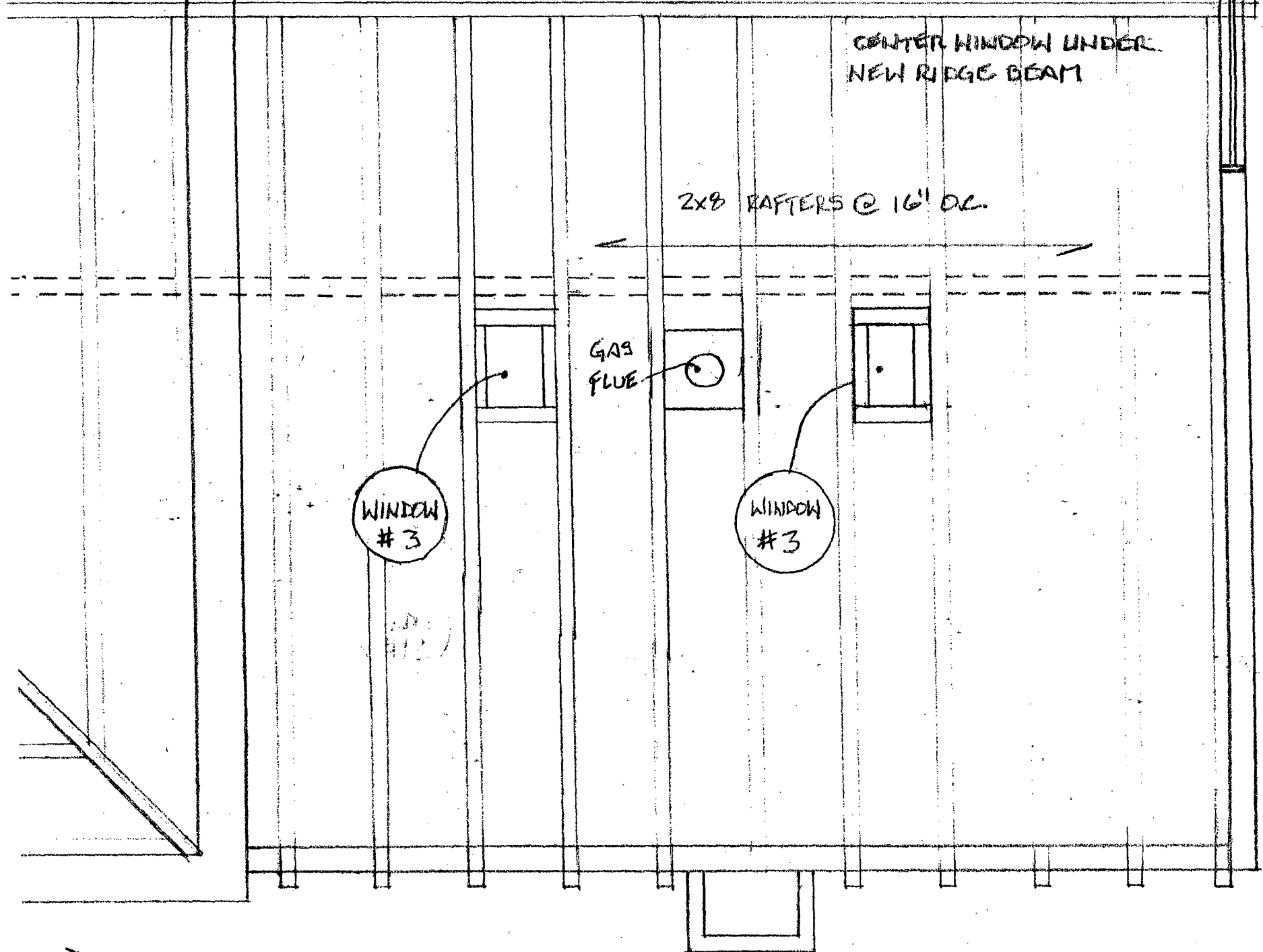
1. NEW FRAMING TO MATCH EXISTING ROOF FRAMING STYLE.
2. NEW ROOF RIDGE BEAM ELEVATION TO MATCH EXISTING.
3. USE TECO OR EQUAL FRAMING HANGERS IN ADDITION TO DIRECTLY NAILING MEMBERS.

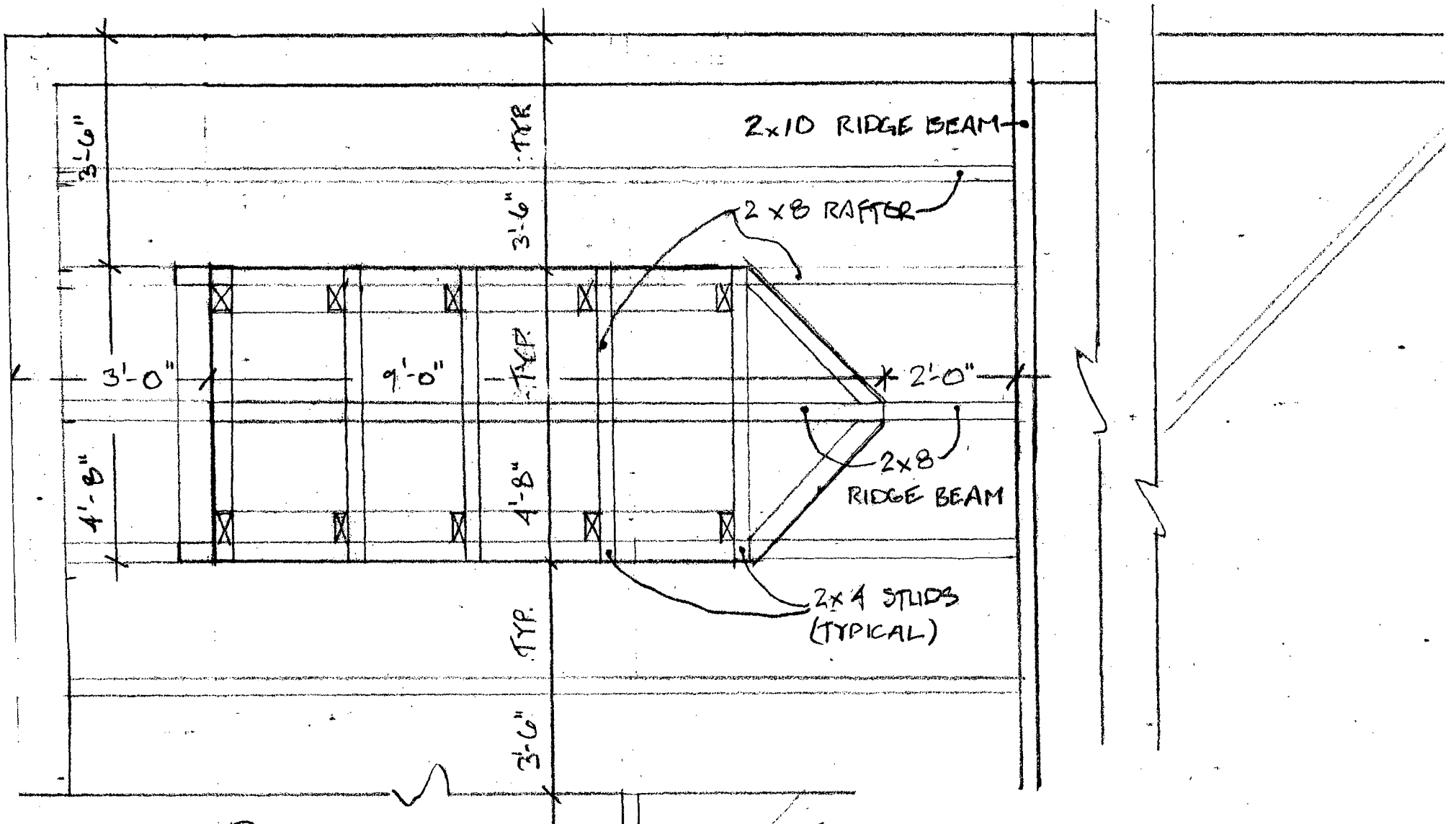


SECTION OF ATTIC FRAMING (TYP.)

SCALE: 1/4" = 1'-0"

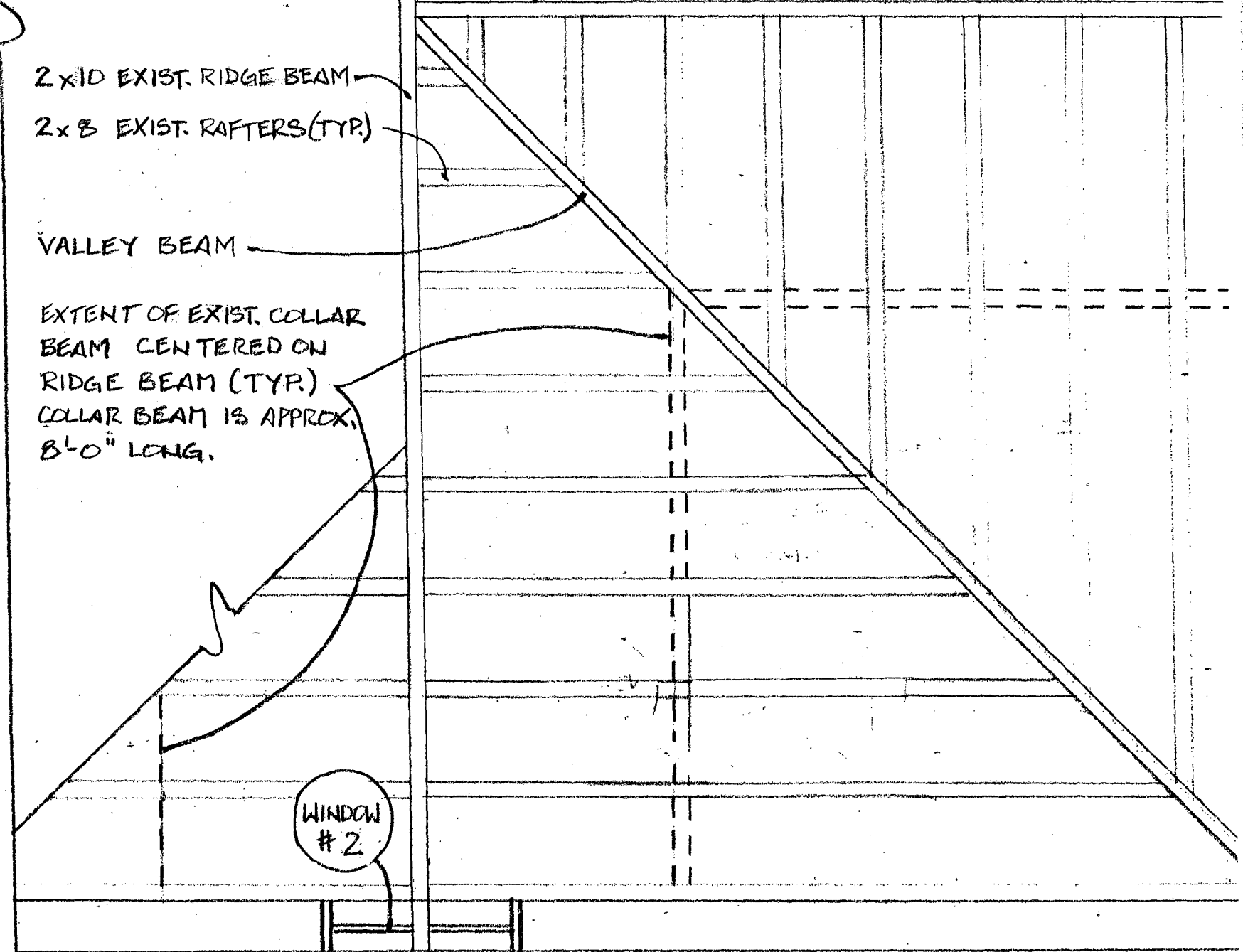
OR IMAGE
N OF THE
ISE.





DORMER PLAN (TYP.)

FRAMING PLAN THIS SIDE TO BE MIRROR IMAGE OF THAT BELOW EXCEPT FOR DELETION OF THE SKYLIGHT OVER THE EXISTING HOUSE.



2x10 EXIST. RIDGE BEAM

2x8 EXIST. RAFTERS (TYP.)

VALLEY BEAM

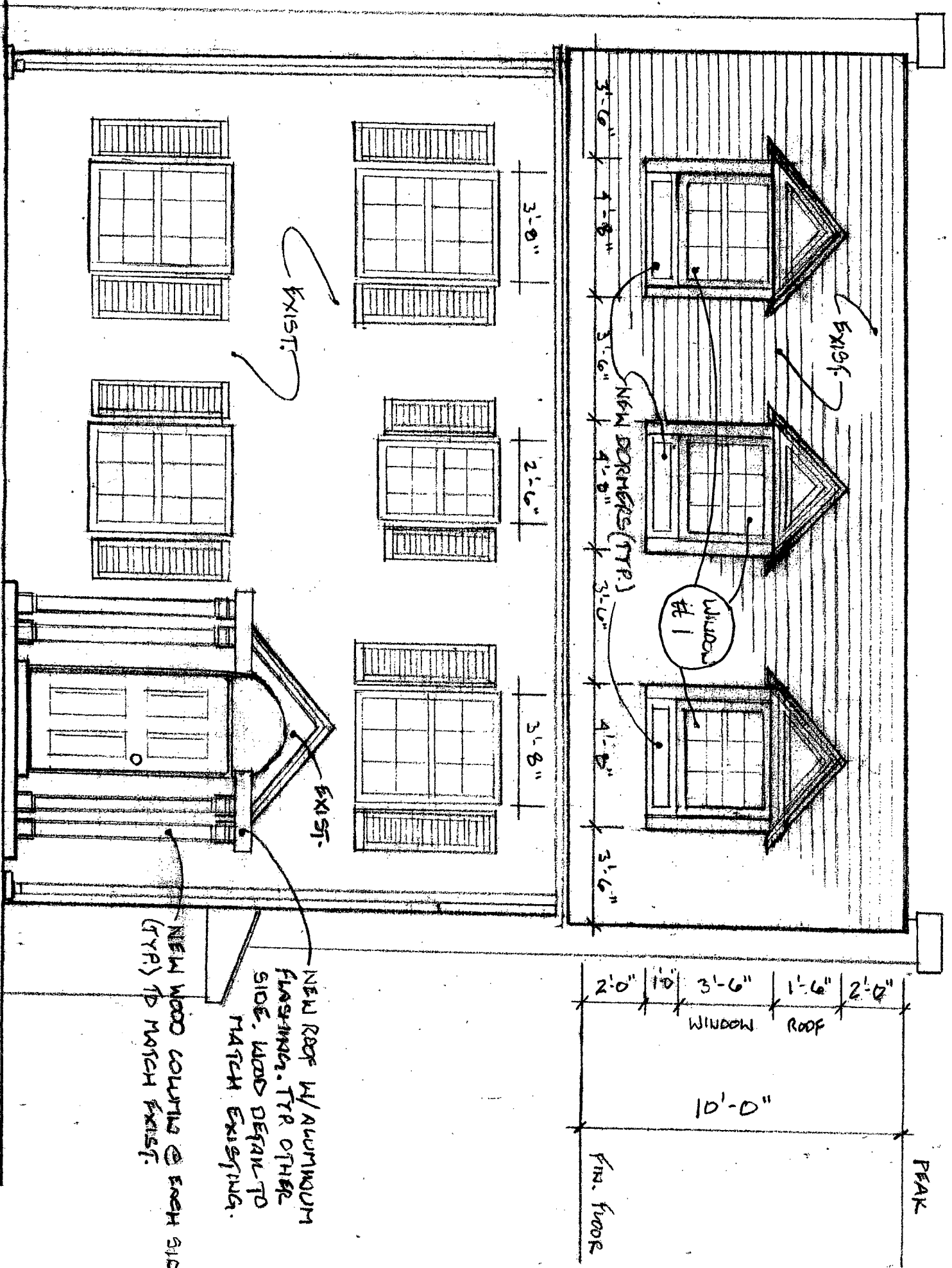
EXTENT OF EXIST. COLLAR BEAM CENTERED ON RIDGE BEAM (TYP.) COLLAR BEAM IS APPROX. 8'-0" LONG.

WINDOW #2

A-2
20-2

ATTIC FRAMING PLAN - PARTIAL

1/2" = 1'-0"

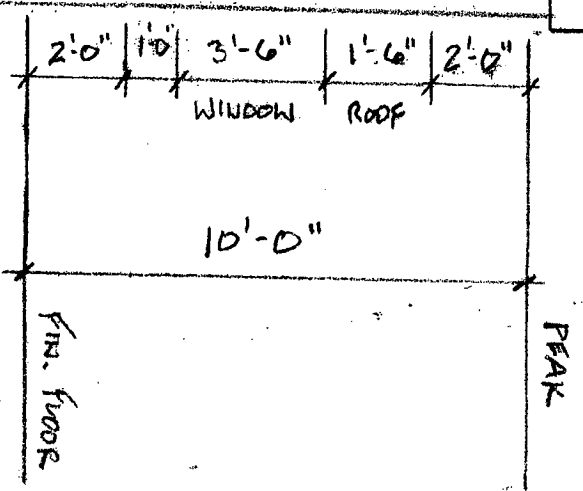


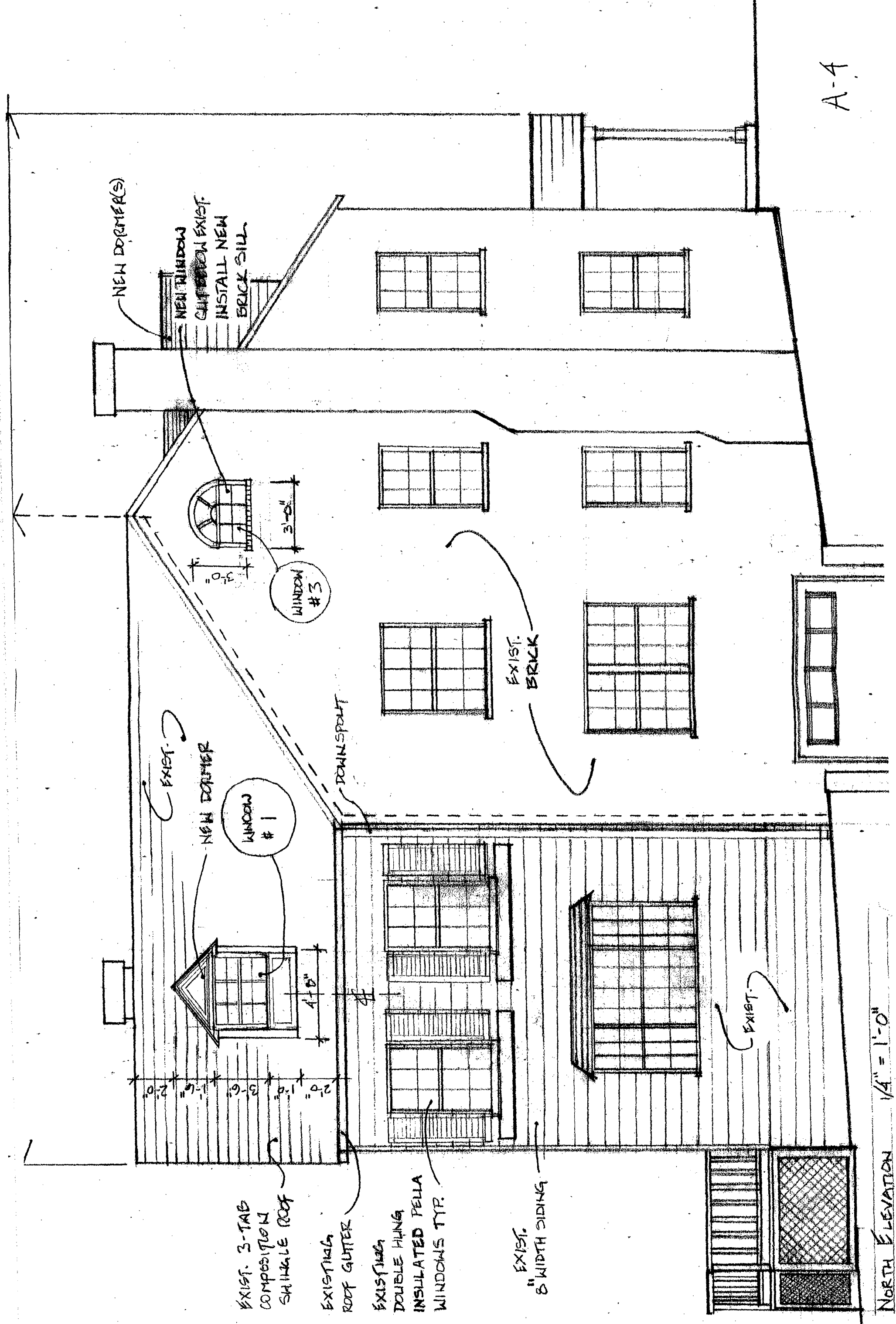
WEST ELEVATION 1/4" = 1'-0"

PROPOSED 1'-6"
EXISTING 5'-8"
EXISTING 1'-6"

PROPOSED ENTRANCE SLAB
PROJECT FROM BOTH SIDES,
2'-0" @ FRONT, BAYNAPS
TRP. 2'-6" BELOW GRADE
W/ CONC. SLAB & STATE PAVERS

NEW ROOF W/ ALUMINUM
FLASHING. TRP. OTHER
SIDE. WOOD DECK - TO
MATCH EXISTING.
NEW WOOD COLUMN @ EACH SIDE
(TRP) TO MATCH EXIST.





NEW DORMER(S)
 NEW WINDOW
 CUT ABOVE EXIST.
 BRICK SILL
 INSTALL NEW
 BRICK SILL

WINDOW #3
 3'-0"
 3'-0"

EXIST.
 NEW DORMER
 WINDOW #1
 4'-0"

2'-0" 1'-0" 3'-6" 1'-6" 2'-0"

EXIST. 3-TAB
 COMPOSITION
 SHINGLE ROOF

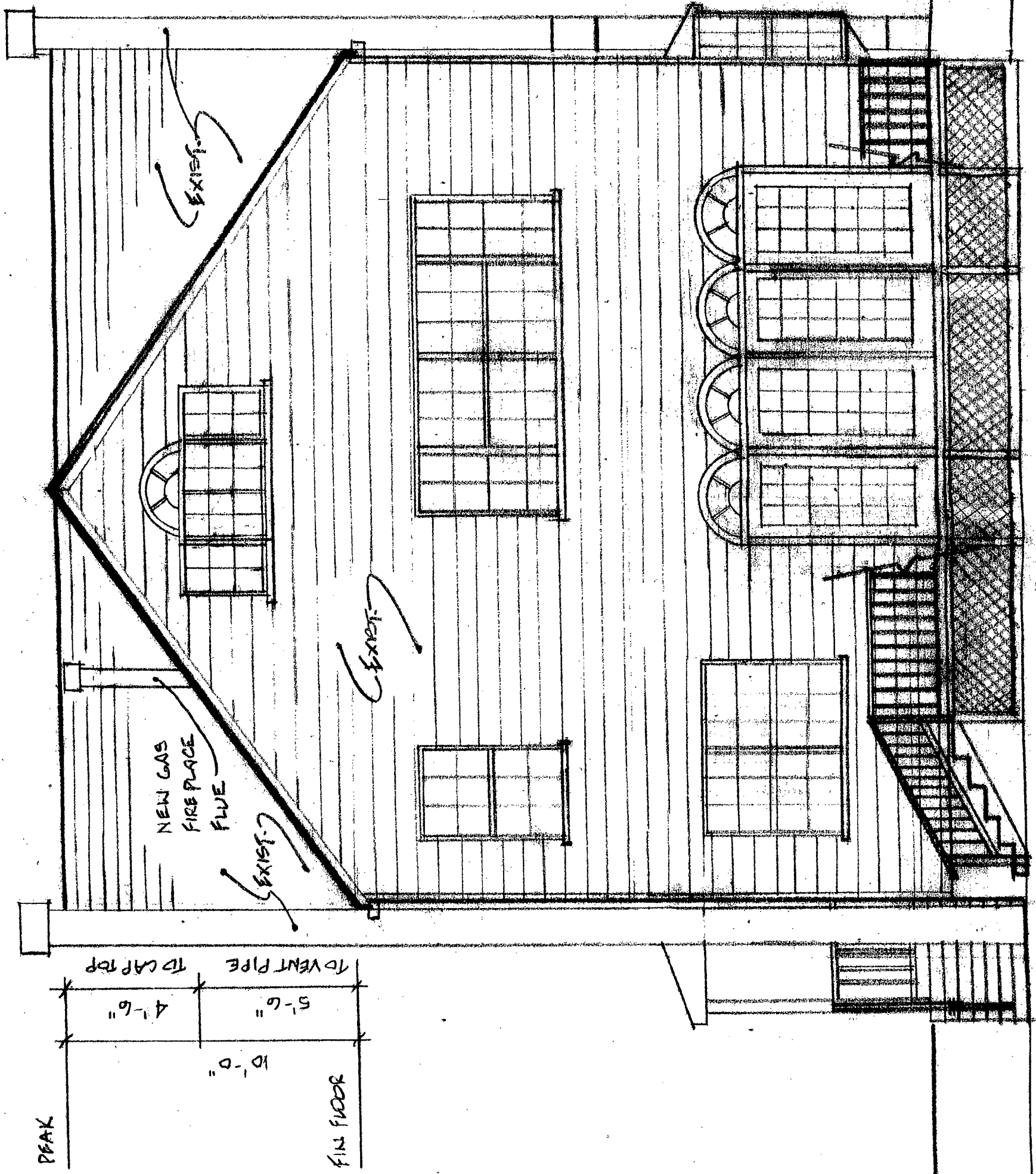
EXISTING
 ROOF GUTTER

EXISTING
 DOUBLE HUNG
 INSULATED PELLA
 WINDOWS TYP.

EXIST.
 8" WIDTH SIDING

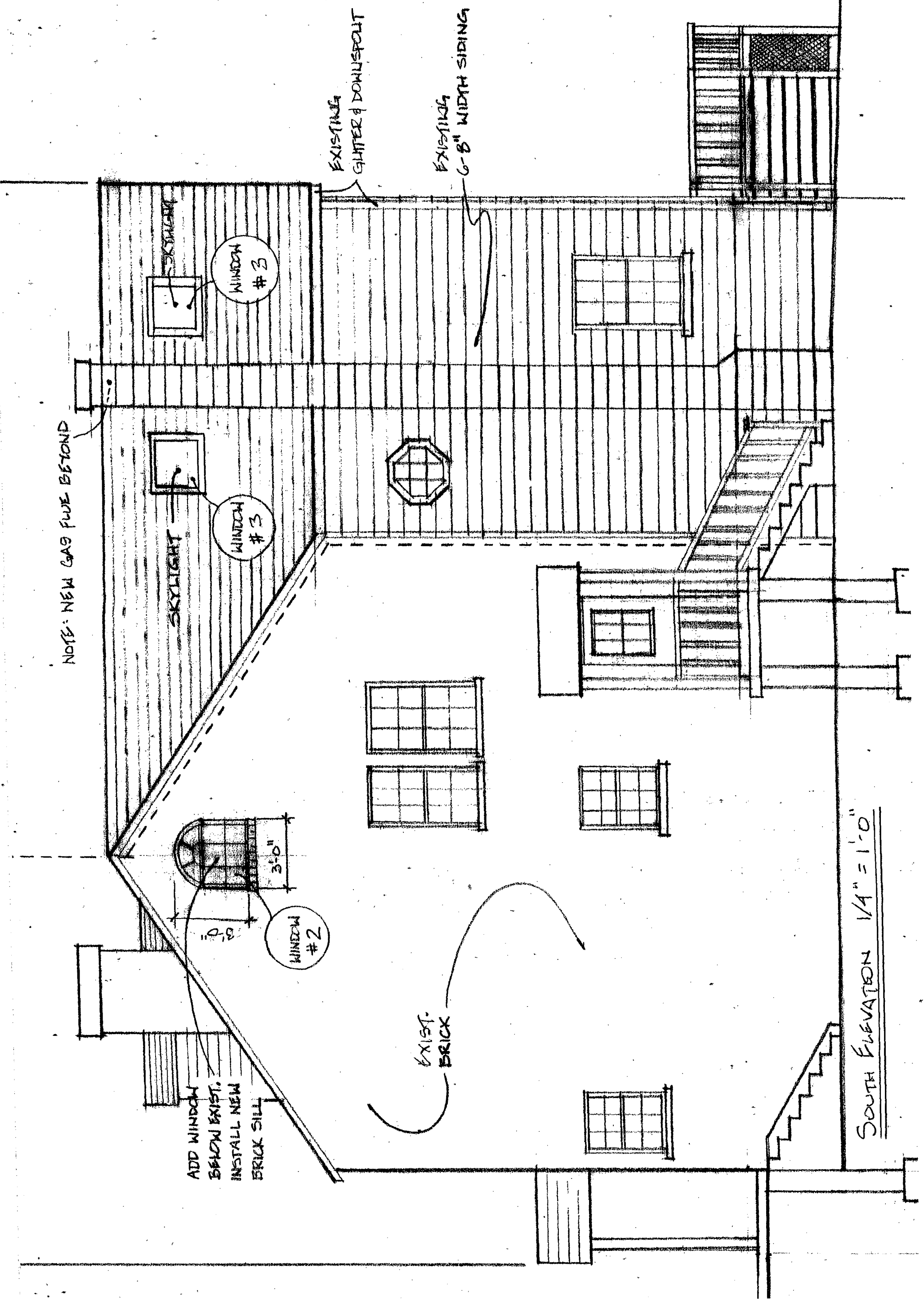
EXIST.

NORTH ELEVATION 1/4" = 1'-0"



EAST ELEVATION 1/4" = 1'-0"

NOTE: NEW GAS FUELED BEYOND



SKYLIGHT

SKYLIGHT

WINDOW #3

WINDOW #3

WINDOW #2

ADD WINDOW BELOW EXIST. INSTALL NEW BRICK SILL

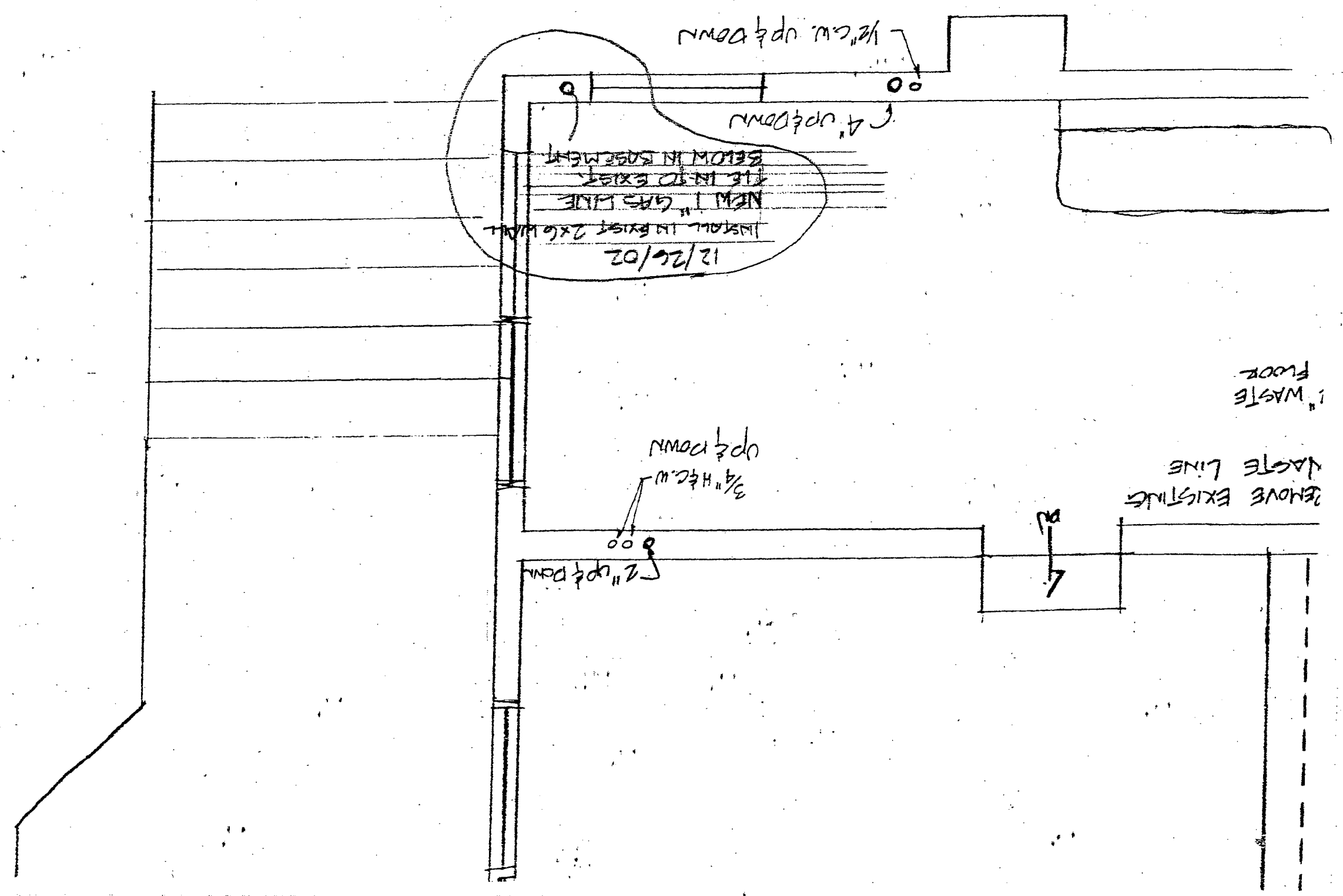
EXISTING GUTTER & DOWNSPOUT

EXISTING 6-8" WIDTH SIDING

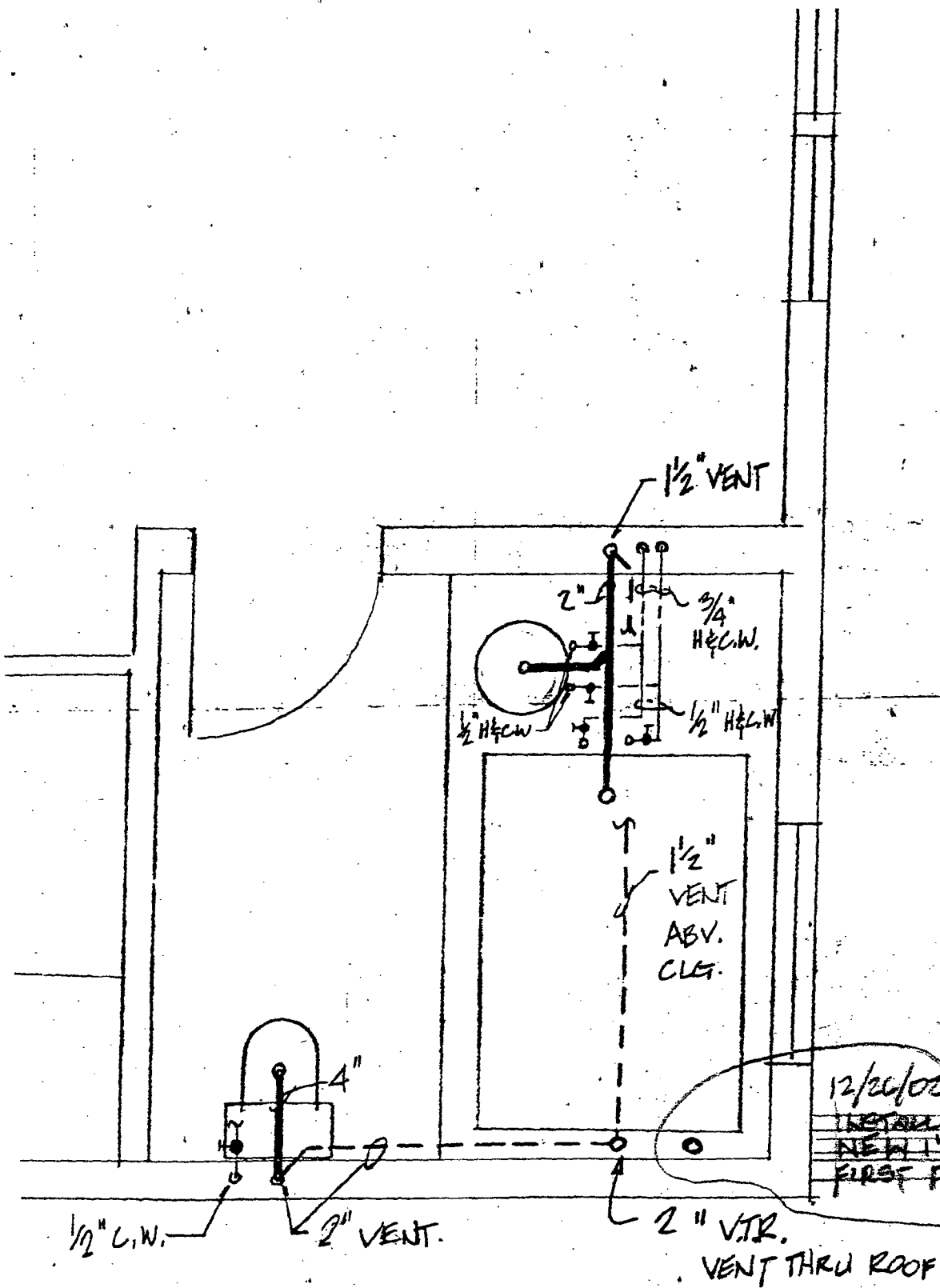
EXIST. BRICK

SOUTH ELEVATION 1/4" = 1'-0"

FIRST FLOOR - PLUMBING P1
SCALE 1/2" = 1'-0"



1" WASTE FLOOR
REMOVE EXISTING WASTE LINE

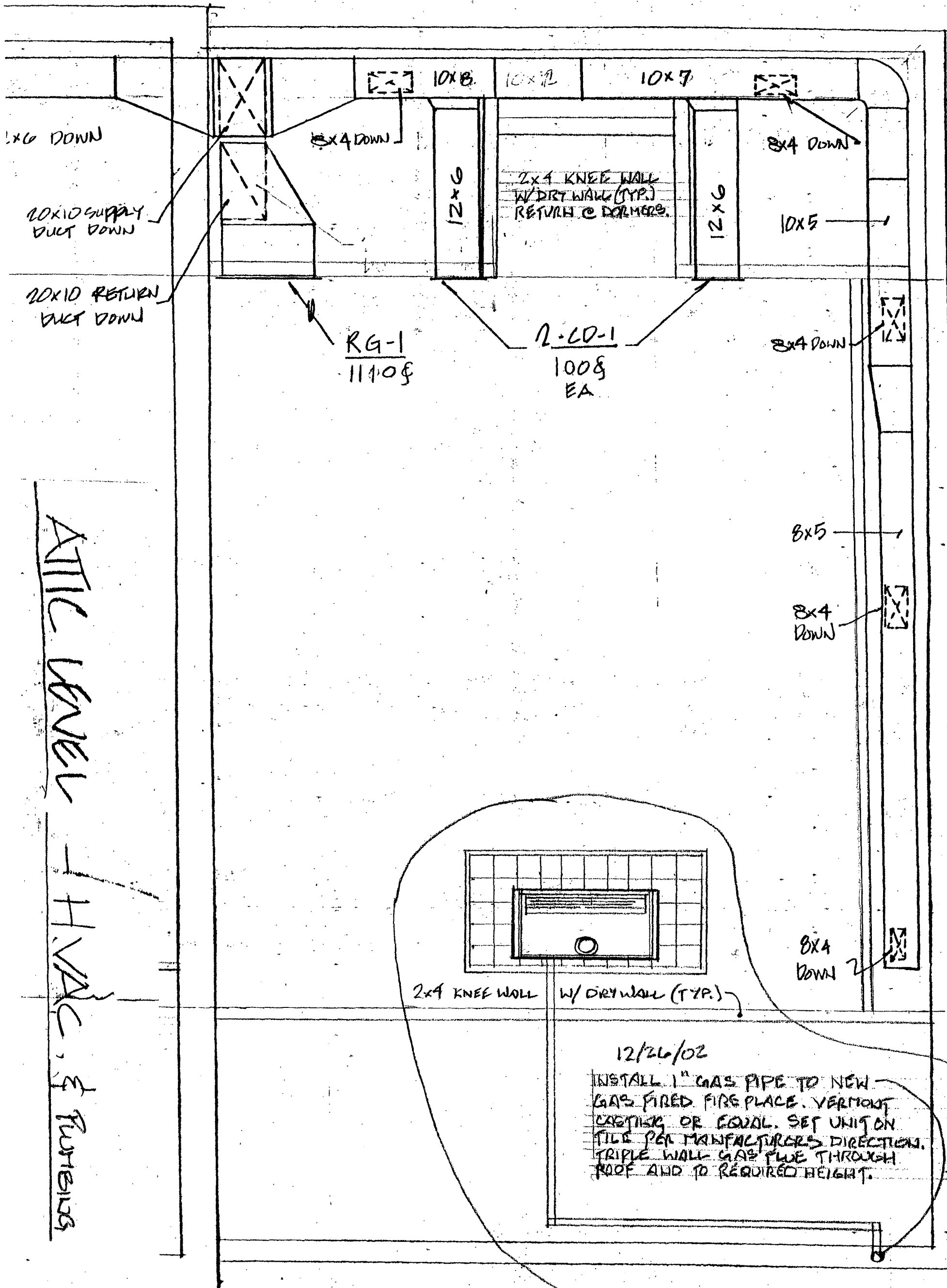


NOTES:

1. ALL BELOW GRADE PIPING SHALL BE CAST IRON HUB PIPING.
2. ALL ABOVE GRADE PIPING SHALL BE P.V.C. PIPING.
3. ALL HOT AND COLD WATER PIPING SHALL BE TYPE M HARD TEMPER COPPER PIPING WITH COPPER SOLDER TYPE FITTINGS.
4. ALL SOLDERING SHALL BE MADE WITH 95/5 TIN ANTIMONY SOLDER.
5. PROVIDE BRASS OR BRONZE GATE VALVES WITH NON RISING STEM ON ALL BRANCH PIPING. LOCATE ALL VALVES BELOW THE FIXTURE IN AN ACCESSIBLE LOCATION. PROVIDE ACCESS DOORS AS REQUIRED TO MAINTAIN ACCESSABILITY.

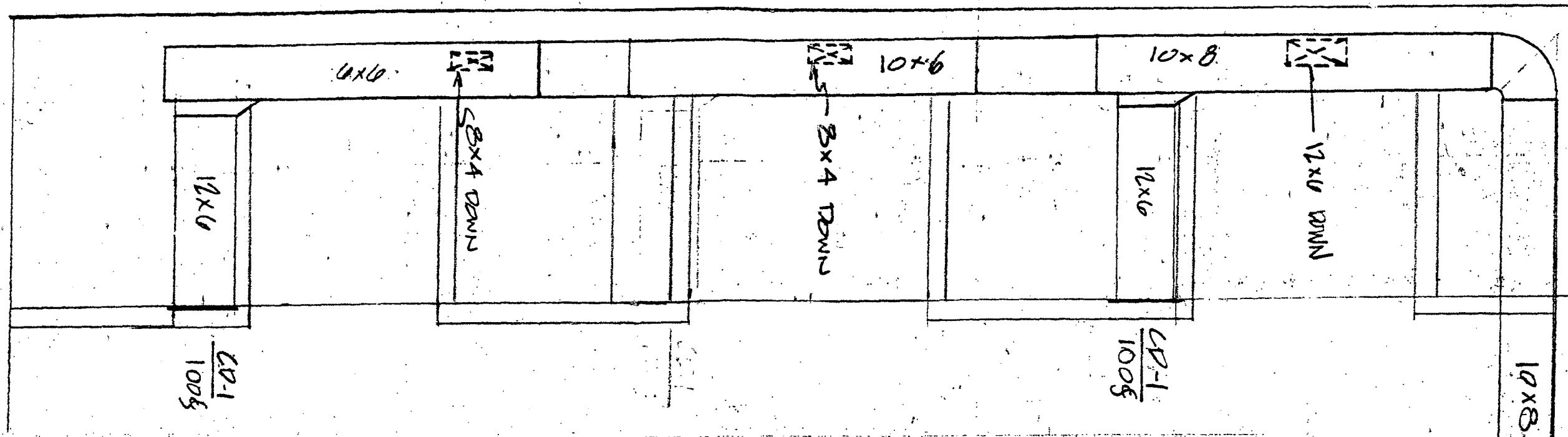
SECOND FLOOR - PLUMBING

SCALE 1/2" = 1'-0"



ATTIC LEVEL HVAC & FURNACE

M-1
 10-2



NOTES:

1. ALL SHEET METAL DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH S.M.A.C.N.A. LOW PRESSURE DUCT CONSTRUCTION STANDARDS.
2. ALL DUCTWORK SHALL BE CONSTRUCTED FROM GALVANIZED STEEL.
3. PROVIDE FLEXIBLE DUCT CONNECTORS AT SUPPLY AND RETURN DUCT CONNECTIONS TO THE AIR HANDLING UNIT.
4. PROVIDE DAMPERS AT ALL JUNCTIONS ON SUPPLY AND RETURN DUCTWORK.
5. INSULATE ALL DUCTWORK RUN IN CONCEALED OR NON-CONDITIONED SPACES. PROVIDE 1-1/2" THICK FIBERGLASS INSULATION WITH FOIL VAPOR BARRIER.
6. ALL DUCTWORK JOINTS SHALL BE SEALED AIRTIGHT.
7. ALL DUCTWORK SHALL BE RUN TIGHT TO THE UNDERSIDE OF FLOOR JOISTS UNLESS OTHERWISE NOTED.
8. REMOVE ALL EXISTING RADIATORS AND EXPOSED PIPING.
9. REMOVE EXISTING GAS FIRED BOILER, BOILER PUMP AND FLUE CAP GAS LINE FEEDING BOILER AND MAINTAIN EXISTING FLUE SERVING WATER HEATER. BOILER AND PUMP SHALL REMAIN PROPERTY OF THE OWNER.

M-1

12x6 DOWN

10x8

10x12

1008
12x6

1005
12x6

ATTIC RENOVATION

DECEMBER 26, 2002 MAIL RESIDENCE

7(5)7

TAIKOMA

AVIE.

ARCHITECTURAL

SECOND FLOOR PLAN & STRUCTURAL	A-1
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WEST ELEVATION	A-3
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ATTIC FLOOR PLAN - SEE M-1	

MECHANICAL

ATTIC FLOOR PLAN	M-1
------------------	-----

ELECTRICAL

ATTIC FLOOR PLAN	E-1
------------------	-----

DOOR SCHEDULE

1. MECH. RM.	3'-0" x 6'-0" x 1 3/4"	SOLID CORE W/ 1'-0" x 2'-0" LOWER.
2. DINING RM.	(2) 2'-0" x 6'-8" x 1 3/4"	USE EXIST. FOR POCKET DOORS.
3. FAMILY RM.	12'-0" x 6'-8" x 1 3/8"	PELLA (XOOX) INSUL. GLASS UNIT.
4. MASTER BEDRM	2'-6" x 6'-8" x 1 3/8"	USE EXIST. BEDRM. DOOR & TRIM.
5. MASTER CLOSET (2)	1'-5" x 6'-8" x 1 3/8"	NEW HOLLOW CORE DOOR.
6. MASTER BATH	2'-6" x 6'-8" x 1 3/8"	NEW HOLLOW CORE DOOR.

NOTE: HARDWARE TO BE SCHLAGE OR EQUAL.

VOID

WINDOW SCHEDULE

1. FAMILY RM.	BAY/45° DBL HUNG	9'-0" W x 5'-0" H x 2'-10" D
2. "	(4) CIRCLEHEAD	1'-4 5/8" H x 2'-9 1/4" W (OVER XOOX DR)
3. "	(2) DBL HUNG @	2'-6" W x 4'-9" H
4. "	DBL HUNG	2'-6" W x 4'-9" H
5. MASTER BEDRM.	DBL HUNG	2'-10" W x 4'-9" H
6. "	DBL HUNG	2'-10" W x 4'-9" H
7. "	VOID DBL HUNG (OXXO)	10'-6" W x 4'-9" H
8. "	DBL HUNG	3'-0" W x 4'-9" H
9. "	OCTAGON	2'-0" W x 2'-0" H

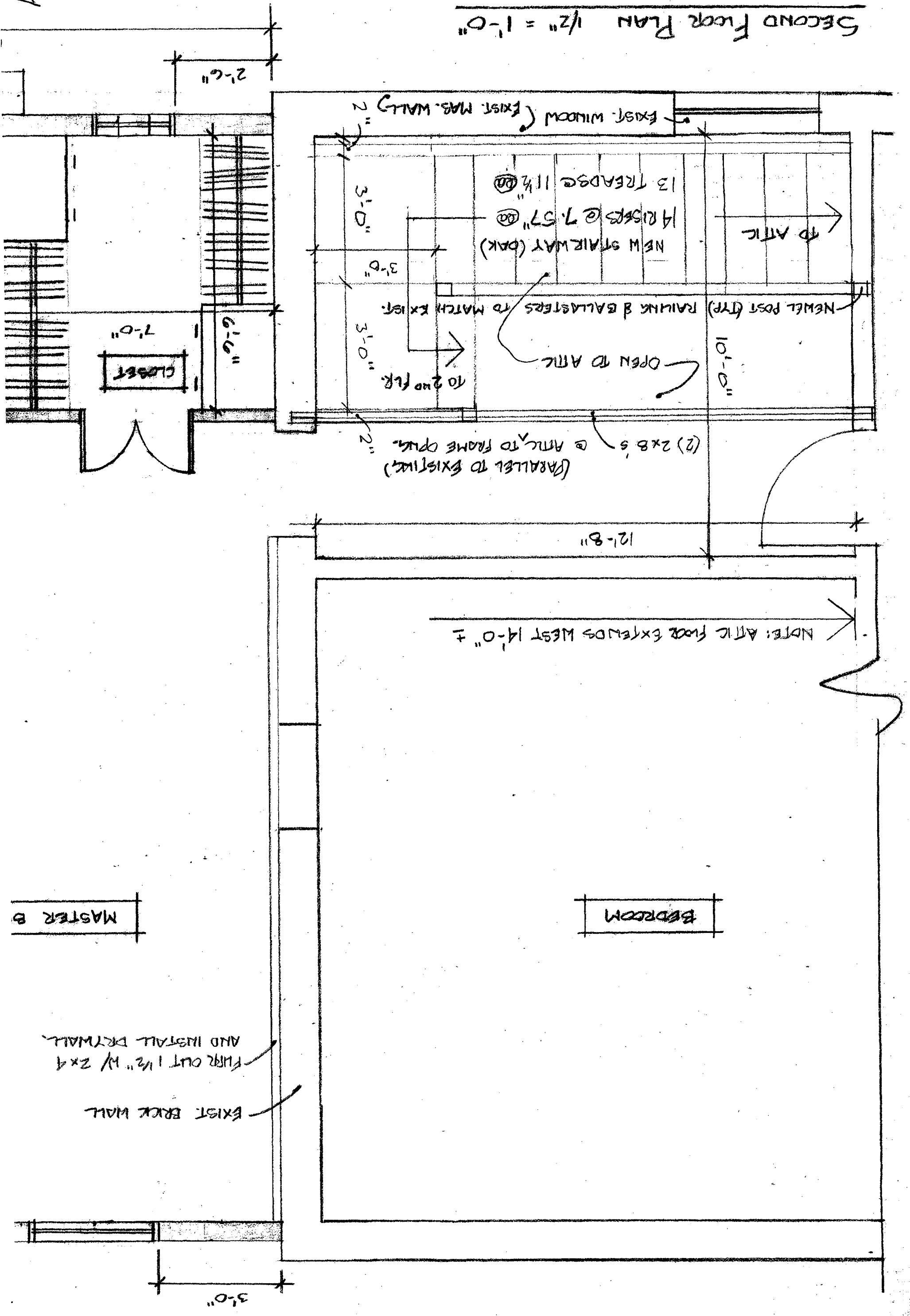
1. ATTIC LEVEL	DBL HUNG (XOX)	3'-0" W x 3'-6" H	4 FORMERS
2. "	CIRCLEHEAD	3'-0" W x 3'-0" H	2 @ BRICK PEAKS
3. "	SKYLIGHT	1'-2" W x 2'-0" H	2 FIXED

ALL SKYLIGHTS TO BE VELUX OR EQUAL, DARK BROWN OR BLACK FINISH.
 ALL WINDOWS TO BE INSULATED GLASS, MANUFACTURED BY PELLA OR EQUAL. EXTERIOR TRIM TO BE WHITE CLAD, INTERIOR TRIM TO BE UNFINISHED WOOD. ALL WINDOW SILLS 2'-4" OR MORE AFF.

(PARTIAL)

SECOND Floor Plan 1/2" = 1'-0"

A-1



NOTE: ATTIC FLOOR EXTENDS WEST 14'-0" ±

BEDROOM

MASTER B

EXIST BRICK WALL
FUR OUT 1 1/2" W/ 2x4
AND INSTALL DR. WALL.

EXIST BRICK WALL

(PARALLEL TO EXISTING)
(2) 2x8's @ ATTIC TO FRAME OPEN.

NEWEL POST (TYP) RAILING & BALUSTERS TO MATCH EXIST.
OPEN TO ATTIC
TO 2ND FLR.

NEW STAIRWAY (OAK)
14 RISERS @ 7.57"
13 TREADS @ 11 1/2"

EXIST. WINDOW (EXIST. MAS. WALL)

CLOSET

2'-6"

7'-0"

6'-0"

3'-0"

3'-0"

3'-0"

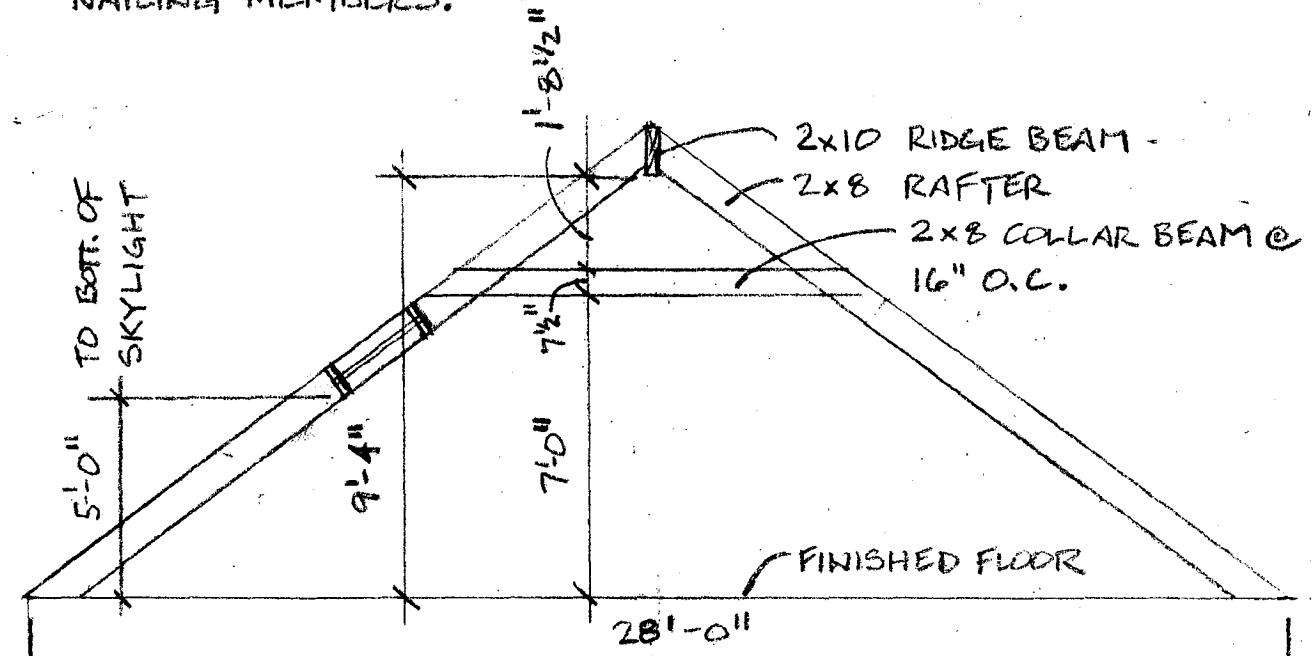
10'-0"

12'-8"

3'-0"

NOTES:

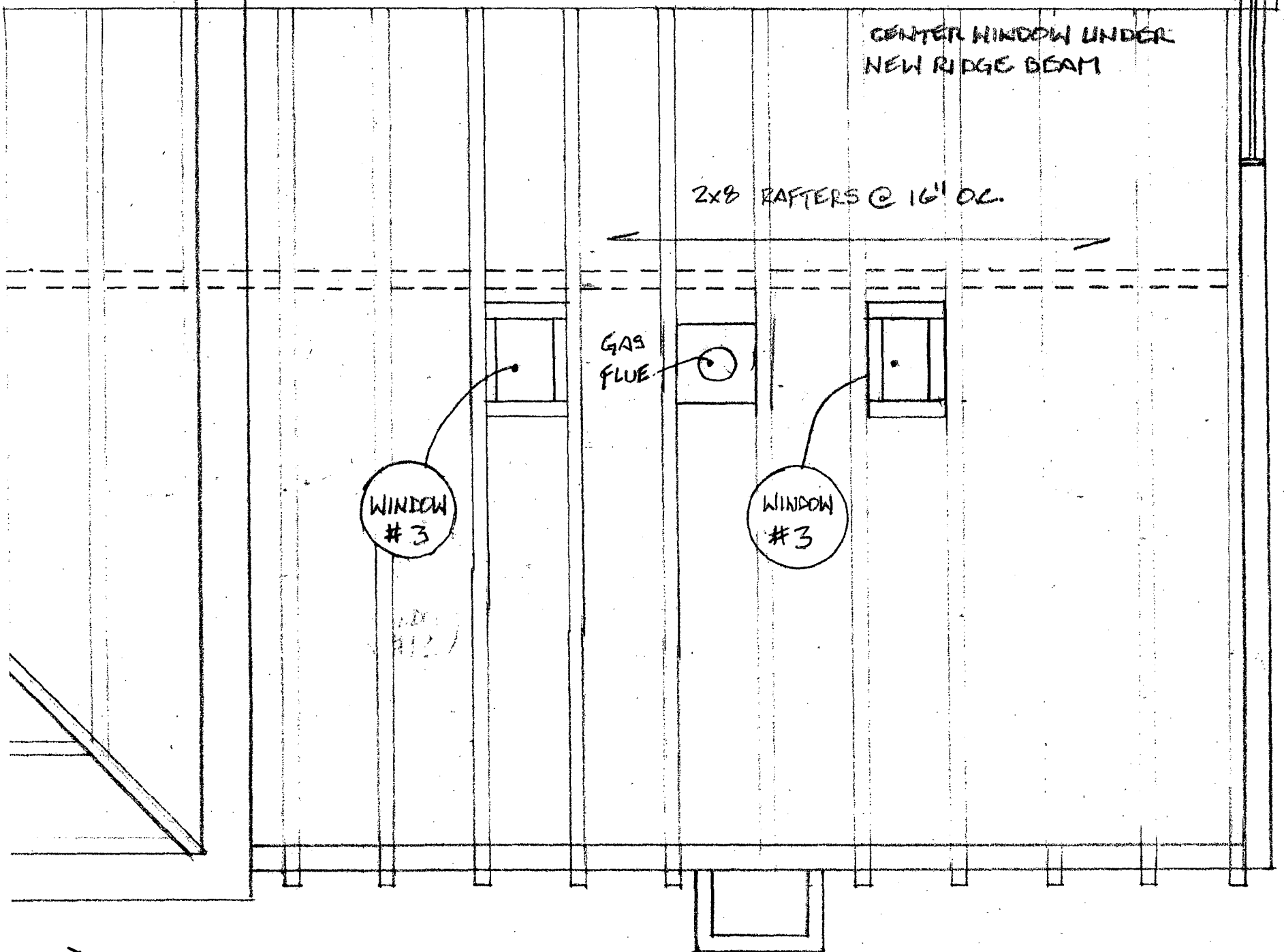
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2. NEW ROOF RIDGE BEAM ELEVATION TO MATCH EXISTING.
3. USE TECO OR EQUAL FRAMING HANGERS IN ADDITION TO DIRECTLY NAILING MEMBERS.

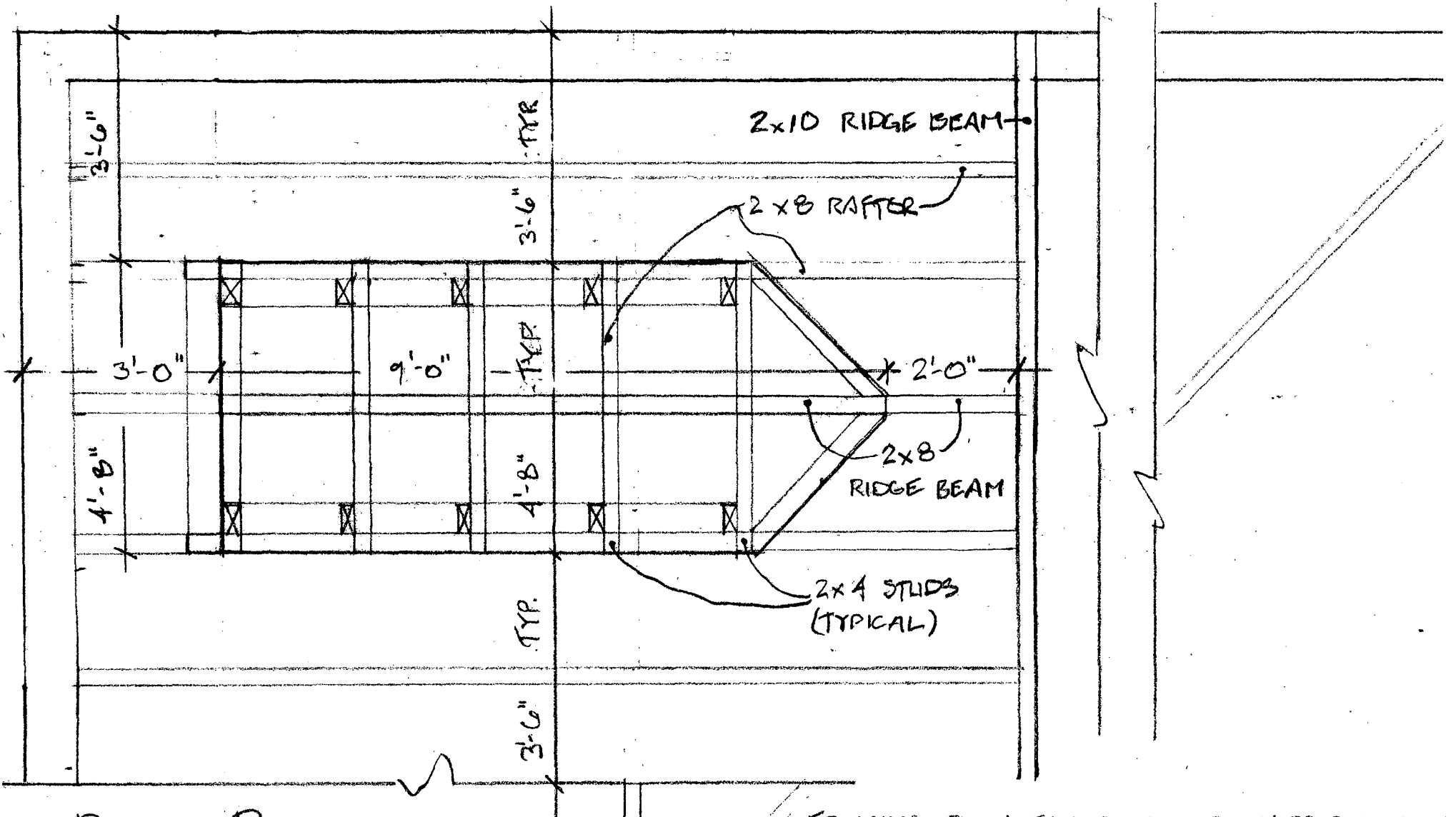


SECTION OF ATTIC FRAMING (TYP.)

SCALE: 1/4" = 1'-0"

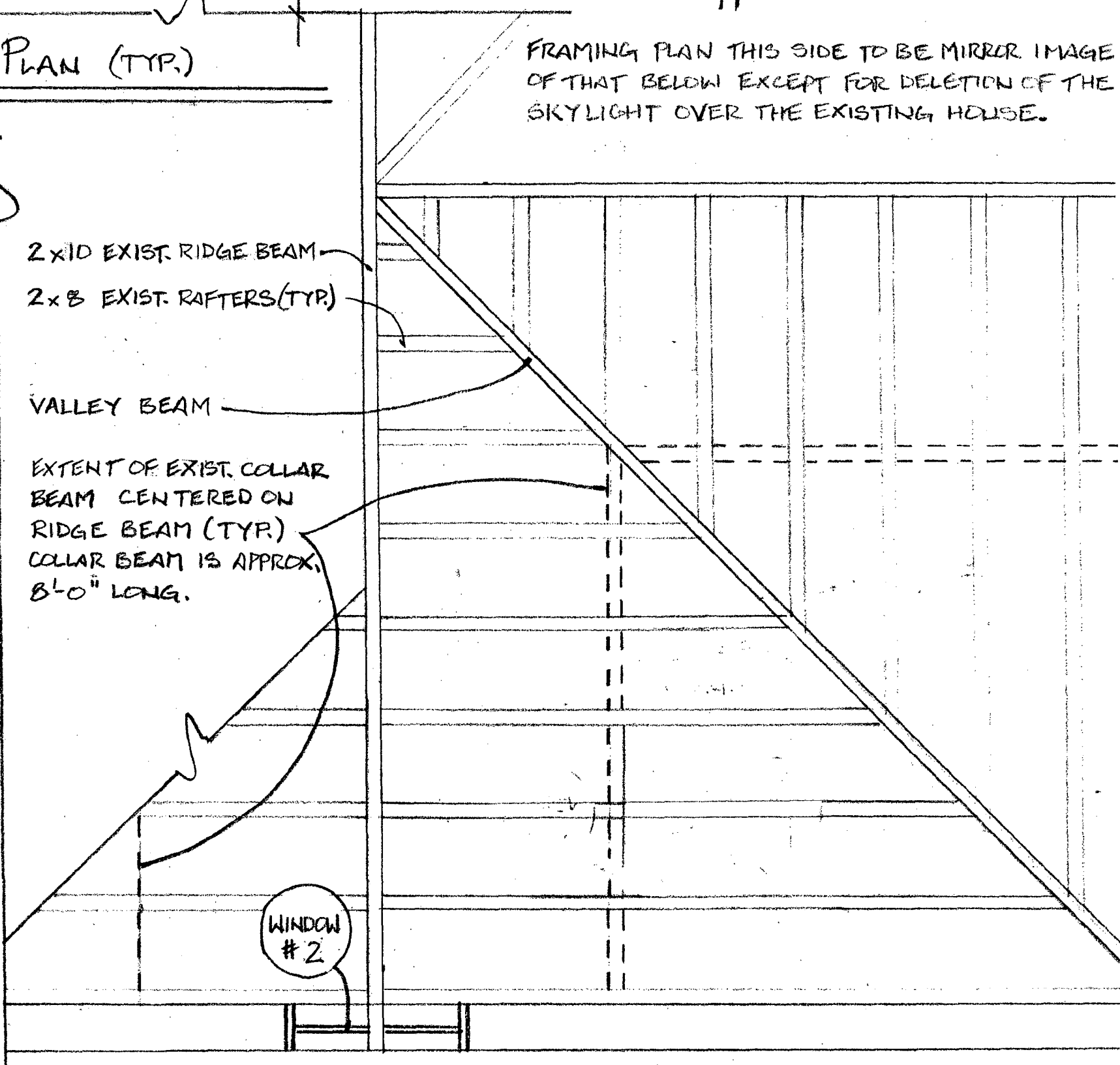
FOR IMAGE
ON OF THE
USE.





DORMER PLAN (TYP.)

FRAMING PLAN THIS SIDE TO BE MIRROR IMAGE OF THAT BELOW EXCEPT FOR DELETION OF THE SKYLIGHT OVER THE EXISTING HOUSE.



2x10 EXIST. RIDGE BEAM
2x8 EXIST. RAFTERS (TYP.)

VALLEY BEAM

EXTENT OF EXIST. COLLAR BEAM CENTERED ON RIDGE BEAM (TYP.) COLLAR BEAM IS APPROX. 8'-0" LONG.

WINDOW #2

A-2
2012

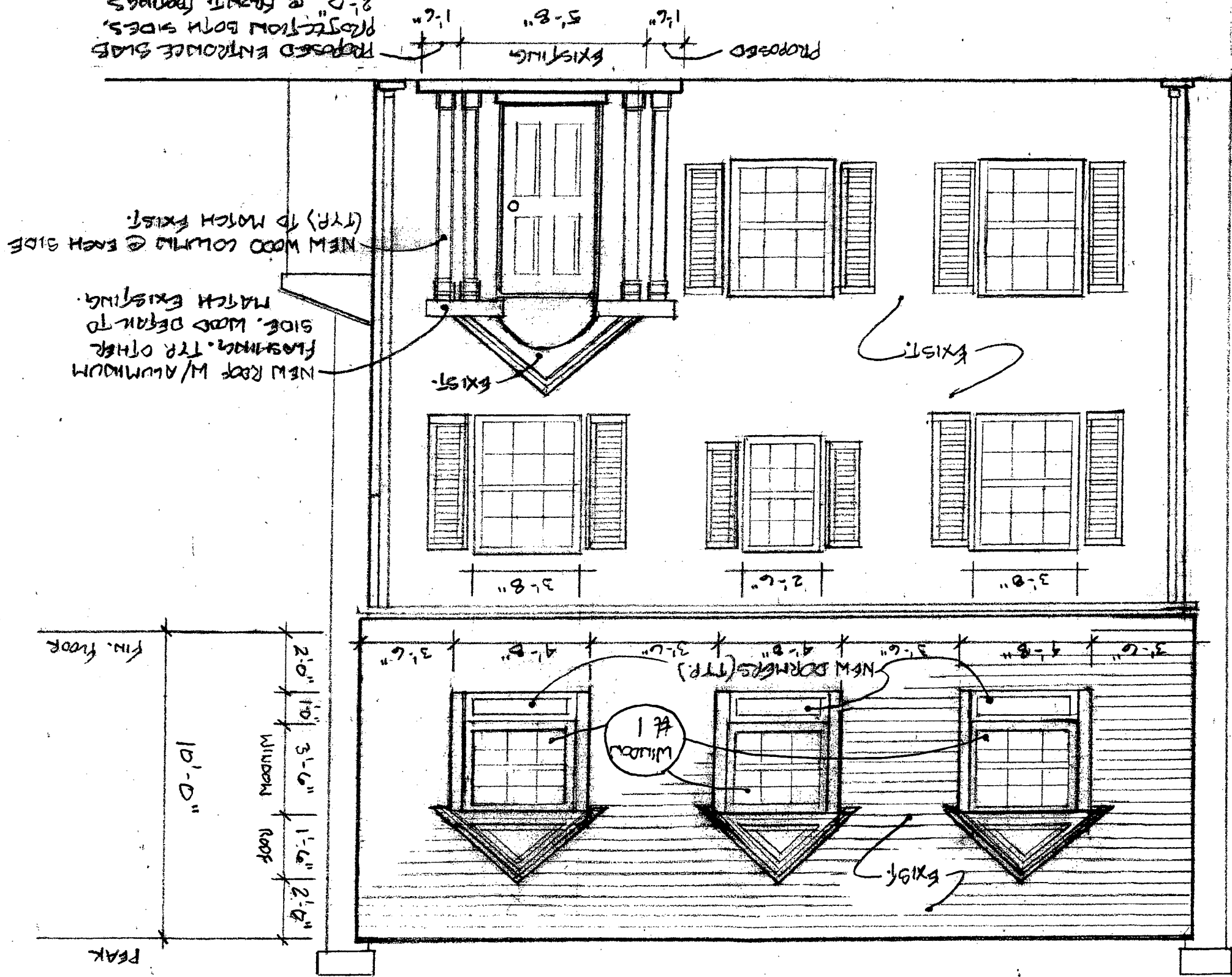
ATTIC FRAMING PLAN - PARTIAL

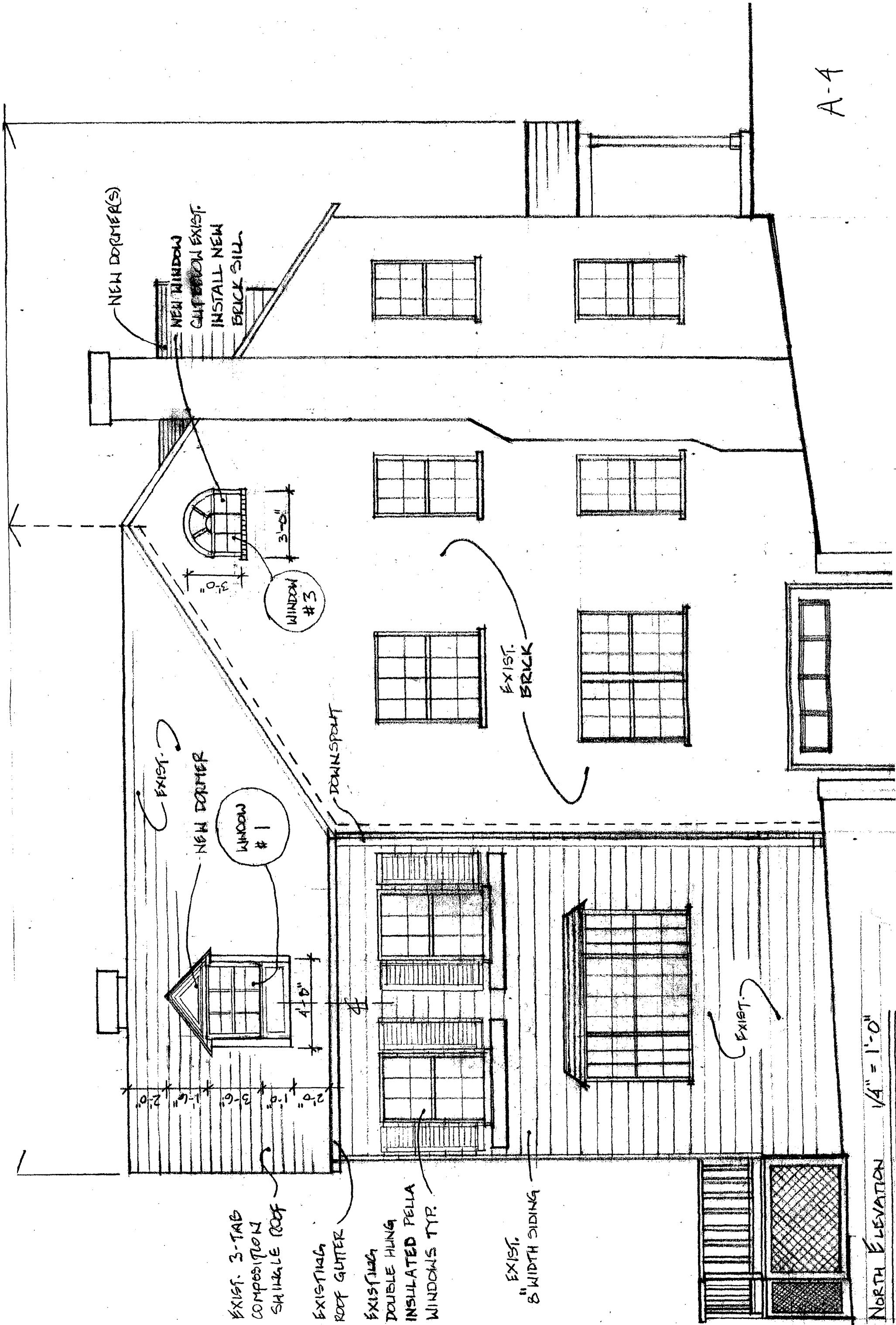
1/2" = 1'-0"

A-3

PROPOSED ENTRANCE SLAB
PROTECTION FROM BOTH SIDES,
2'-0" @ FRONT, FORMING
TYP. 2'-6" BELOW GRADE
W/ CONC. SLAB & STONE PAVERS

WEST ELEVATION
1/4" = 1'-0"





NEW DORMER(S)
 NEW WINDOW
 CUT BELOW EXIST.
 INSTALL NEW
 BRICK SILL.

WINDOW #3

WINDOW #1

EXIST.
 BRICK

EXIST.

2'-0" x 1'-0" x 2'-0"
 3'-6" x 1'-6" x 2'-0"

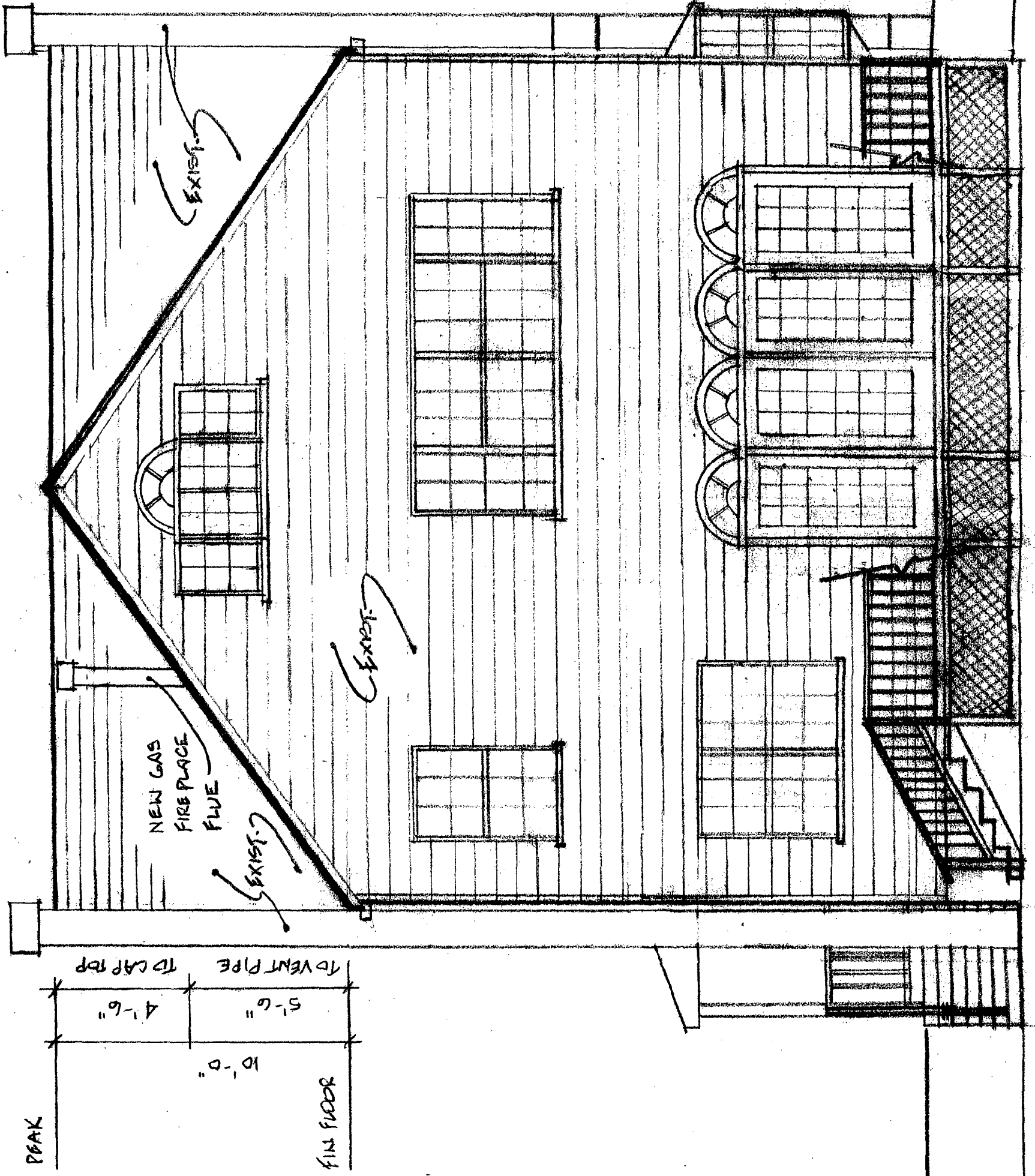
EXIST. 3-TAB
 COMPOSITION
 SHINGLE ROOF

EXISTING
 ROOF GUTTER

EXISTING
 DOUBLE HUNG
 INSULATED PELLA
 WINDOWS TYP.

EXIST.
 8" WIDTH SIDING

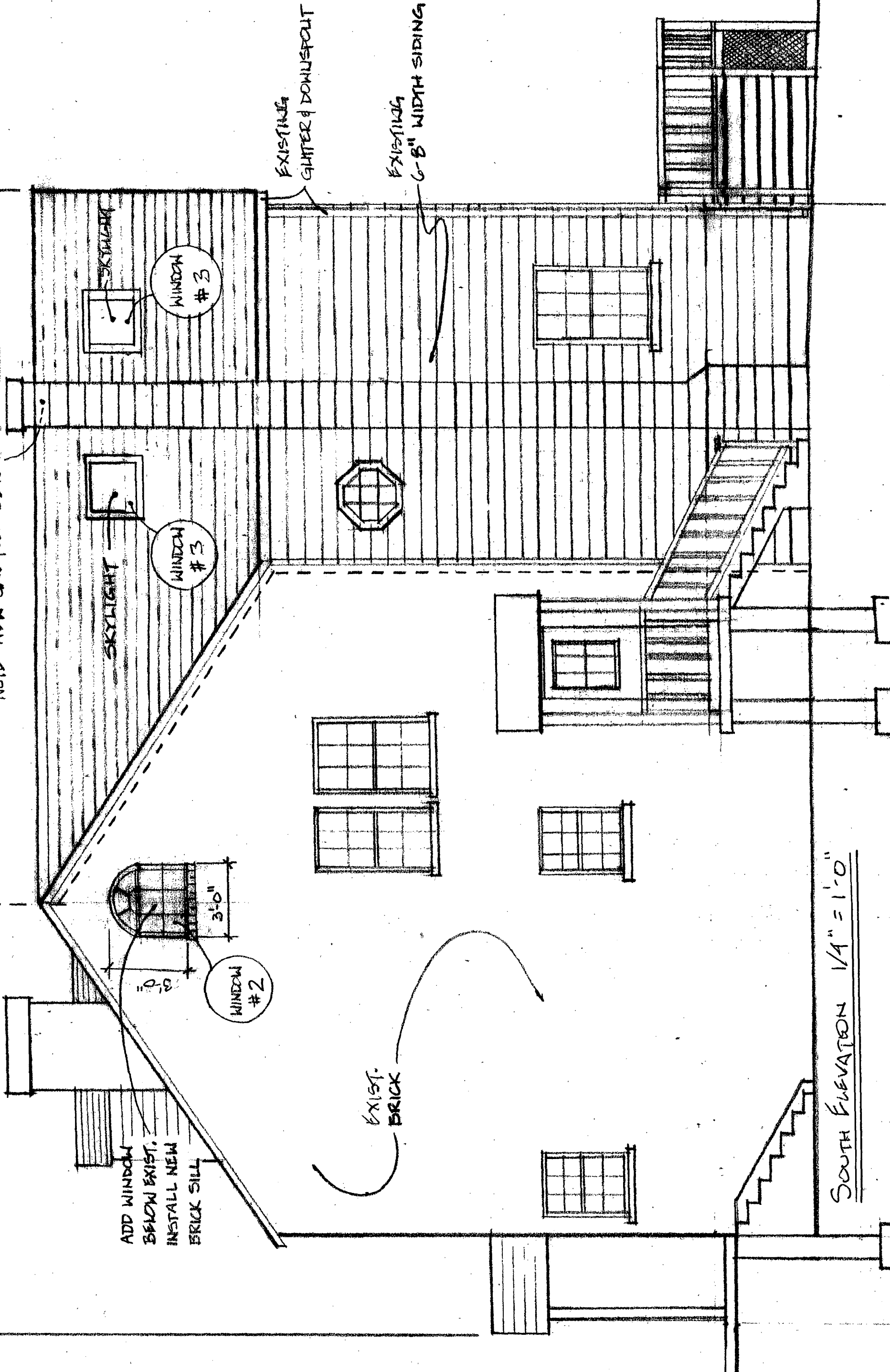
NORTH ELEVATION 1/4" = 1'-0"



A-5

EAST ELEVATION 1/4" = 1'-0"

NOTE: NEW GAS FLUE BEYOND



ADD WINDOW
BELOW EXIST.
INSTALL NEW
BRICK SILL

WINDOW #2
3'-0"

WINDOW #3

WINDOW #3

SKYLIGHT

EXISTING
GUTTER & DOWNSPOUT

EXIST.
BRICK

EXISTING
6'-8" WIDTH SIDING

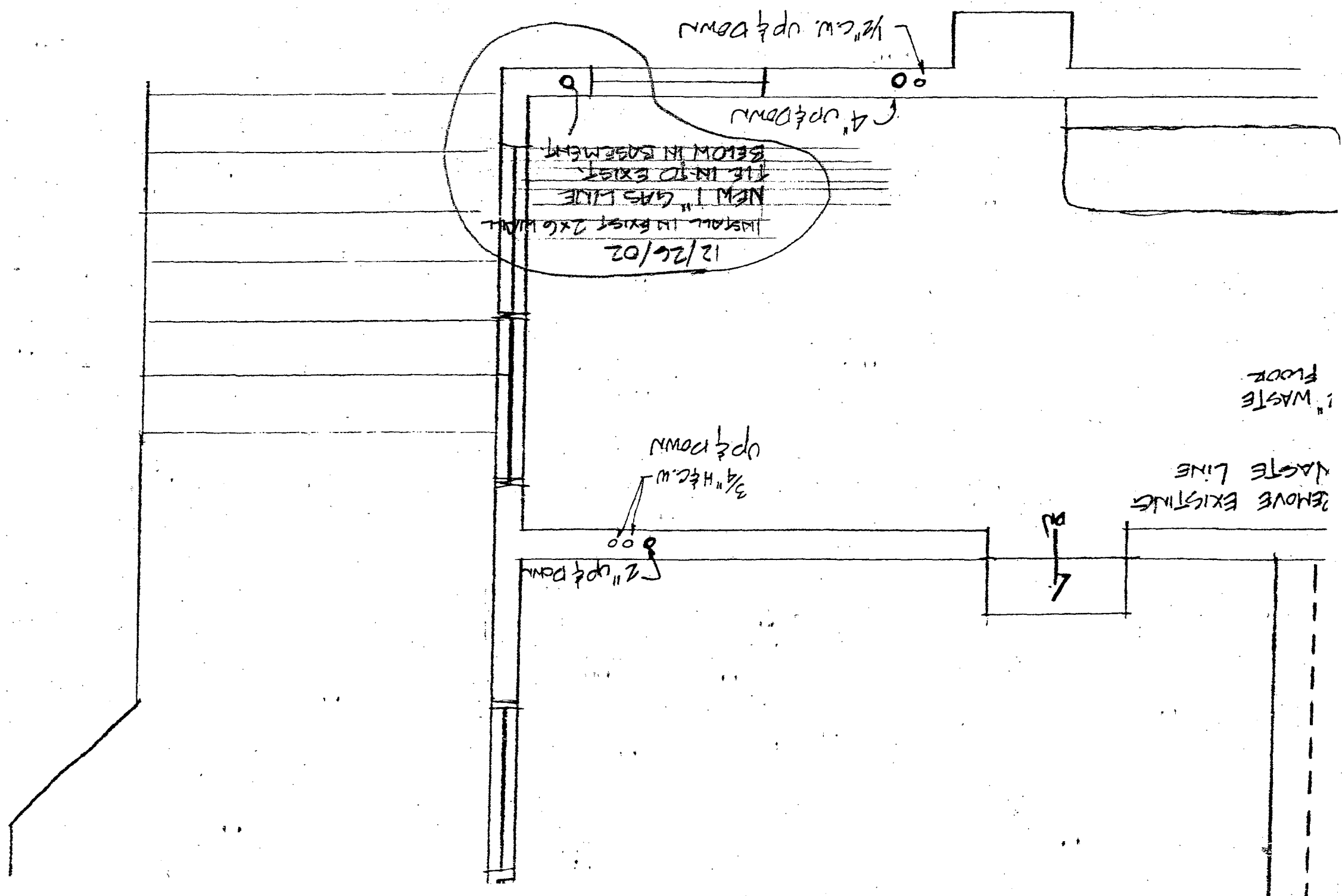
SOUTH ELEVATION 1/4" = 1'-0"

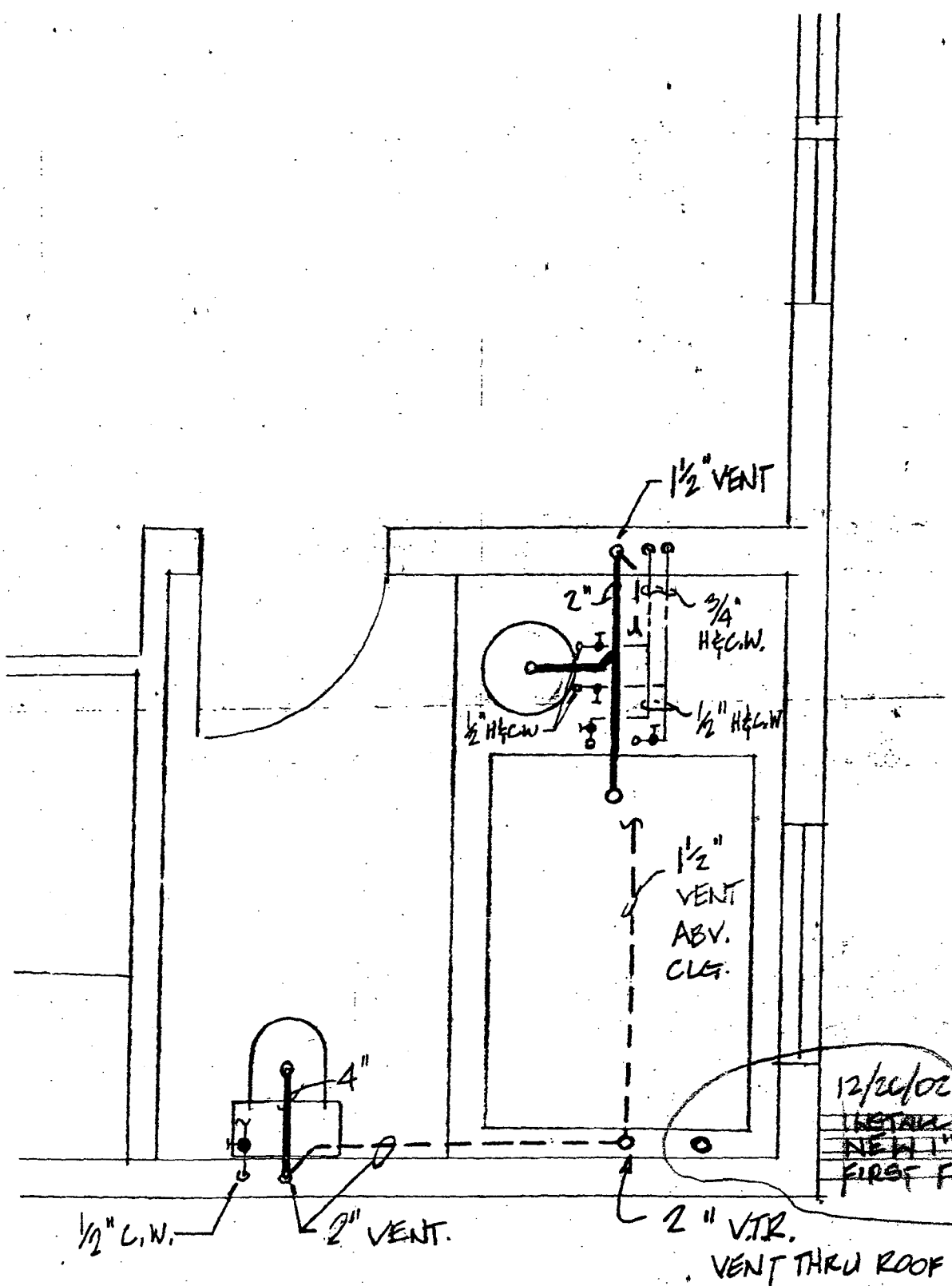
A-6

P1

FIRST FLOOR - PLUMBING

SCALE 1/2" = 1'-0"



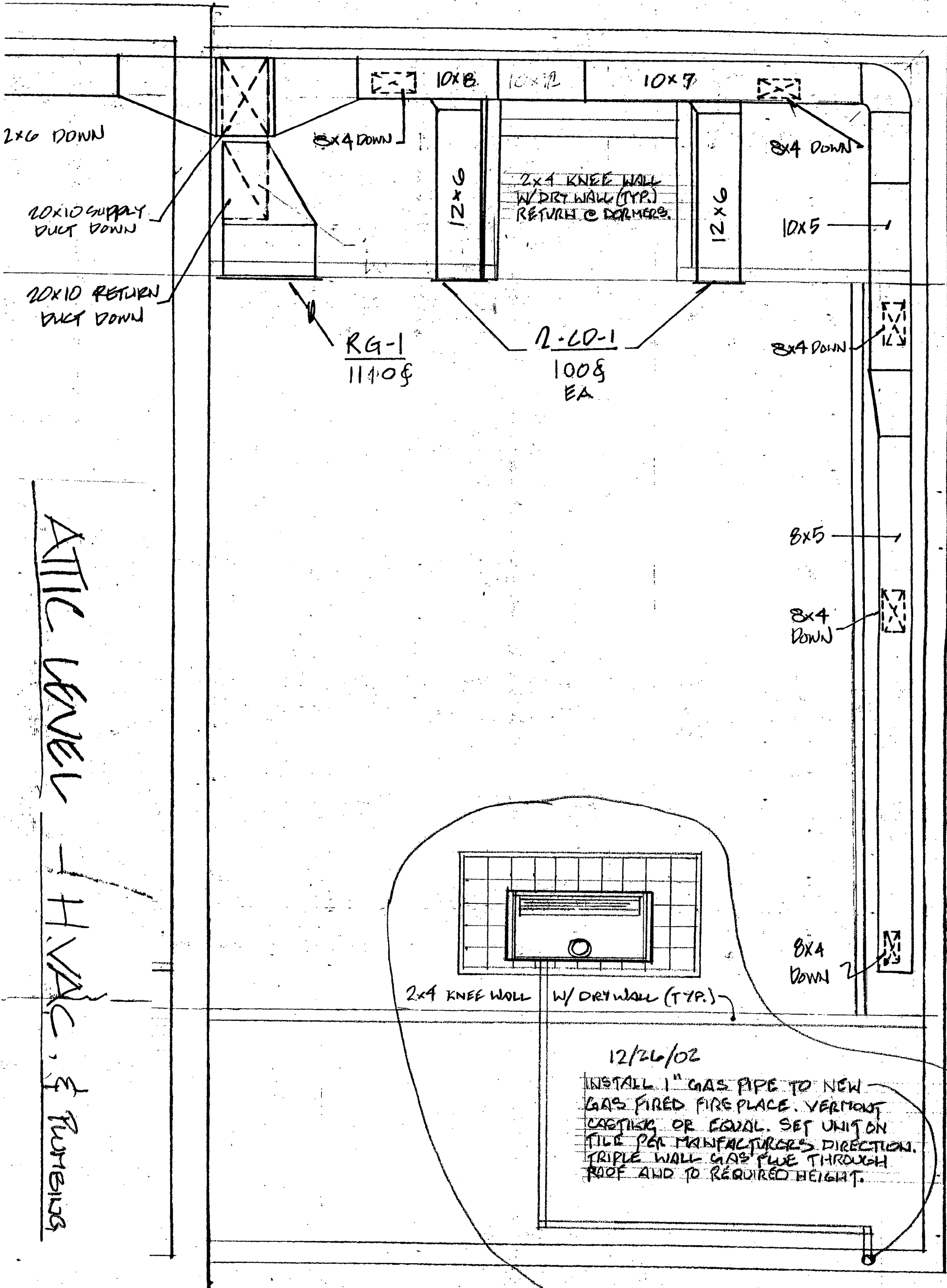


NOTES:

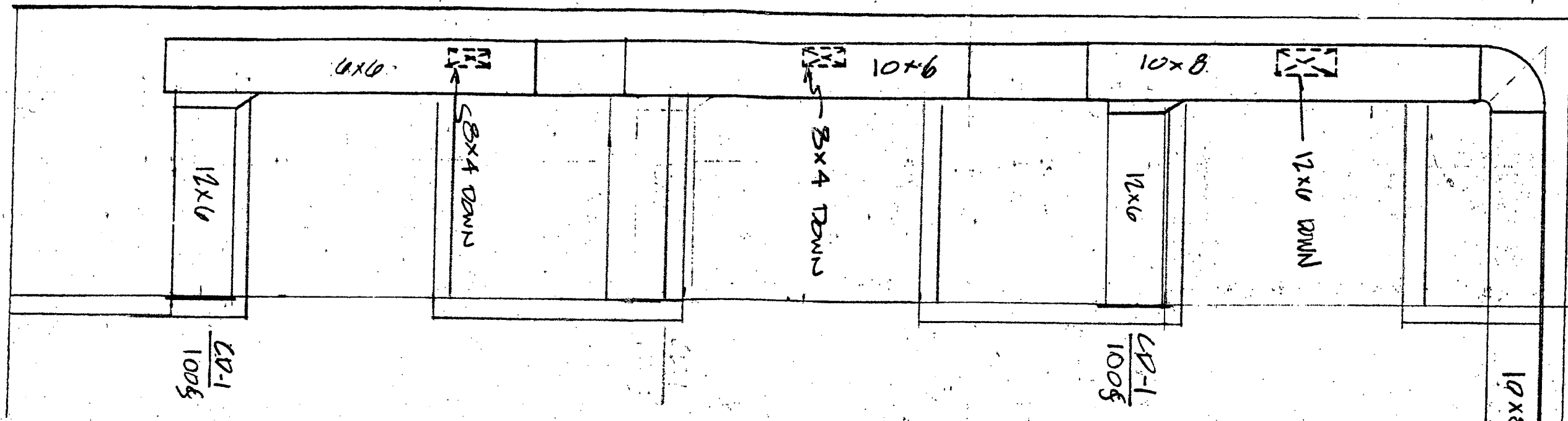
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2. ALL ABOVE GRADE PIPING SHALL BE P.V.C. PIPING.
3. ALL HOT AND COLD WATER PIPING SHALL BE TYPE M HARD TEMPER COPPER PIPING WITH COPPER SOLDER TYPE FITTINGS.
4. ALL SOLDERING SHALL BE MADE WITH 95/5 TIN ANTIMONY SOLDER.
5. PROVIDE BRASS OR BRONZE GATE VALVES WITH NON RISING STEM ON ALL BRANCH PIPING. LOCATE ALL VALVES BELOW THE FIXTURE IN AN ACCESSIBLE LOCATION. PROVIDE ACCESS DOORS AS REQUIRED TO MAINTAIN ACCESSABILITY.

12/20/02 (6) WASTE PIPING SHALL HAVE A MIN. SLOPE OF 1/8" PER FOOT.
 METAL IN EXIST 2X6 WALL
 NEW 1" GAS LINE. TIE IN TO
 FIRST FLOOR LINE.

SECOND FLOOR - PLUMBING
 SCALE 1/2" = 1'-0"



ATTIC LEVEL HVAC & FIREPLACES



NOTES:

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6. ALL DUCTWORK JOINTS SHALL BE SEALED AIRTIGHT.
7. ALL DUCTWORK SHALL BE RUN TIGHT TO THE UNDERSIDE OF FLOOR JOISTS UNLESS OTHERWISE NOTED.
8. REMOVE ALL EXISTING RADIATORS AND EXPOSED PIPING.
9. REMOVE EXISTING GAS FIRED BOILER, BOILER PUMP AND FLUE,CAP GAS LINE FEEDING BOILER AND MAINTAIN EXISTING FLUE SERVING WATER HEATER. BOILER AND PUMP SHALL REMAIN PROPERTY OF THE OWNER.

M-1
20F2

12x6 DOWN

12x12