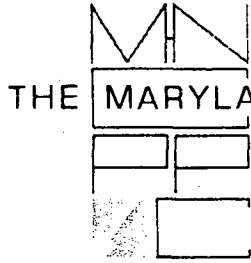


37/03-NN 7207 Spruce Ave
(Takoma Park Historic District)

~~11~~
15



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 10/13/03

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

DPS# 318732 HPC# 10/03-NN

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: ED & LETICIA READ

Address: 7207 SPRUCE AVE TAKOMA PARK

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DANA HADEN
Daytime Phone No.: 301.270.5811

Tax Account No.: _____
Name of Property Owner: ED + LETICIA READ Daytime Phone No.: 301.344.3874
Address: 7207 SPRUCE AVE. TAKOMA PARK MD 20912
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

Address: _____

LOCATION OF BUILDING/PREMISE

House Number: 7207 Street: SPRUCE

Town/City: TAKOMA PARK Nearest Cross Street: TULIP

Lot: P8 Block: 7 Subdivision: _____

Liber: 9717 Folio: 638 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct REBUILD	<input type="checkbox"/> Extend	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> AC	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input checked="" type="checkbox"/> Other: <u>GARAGE</u>			

1B. Construction cost estimate: \$ \$25,000

1C. If this is a revision of a previously approved active permit, see Permit # 279247

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: NONE

2D. Type of water supply: 01 WSSC 02 Well 03 Other: NONE

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Dana Haden
Signature of owner or authorized agent

9.15.03
Date

Approved: X For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: Juan C. Delgado Date: 10/13/03
Application/Permit No.: 318732 Date Filed: 9/16/03 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This project was previously reviewed and approved as a repair & alteration project of an existing garage. The roof slope and bearing height were to be altered. Further investigation of the property revealed that there is not a foundation under the existing garage. We would like to build a new foundation and reconstruct the garage w/ the previous roof modification already approved.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Except for the approved modification of the roof line, we would like to rebuild it as it is.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

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- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

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GARAGE RECONSTRUCTION

7207 SPRUCE AVENUE

TAKOMA PARK, MD

ZONING INFORMATION

A PORTION OF LOT 8
 BLOCK 1
 FLAT BOOK 1
 PLAT 46
 CITY OF TAKOMA PARK
 MONTGOMERY CO. MD.

GENERAL NOTES

ALL MATERIAL AND WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH MONTGOMERY COUNTY.
 THE CONTRACTOR SHALL OBTAIN PERMITS FOR CONSTRUCTION AND INSPECTIONS OF WORK.
 THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF CONDITIONS WHICH MAY AFFECT THE CONSTRUCTION AS SHOWN.

THE CONTRACTOR SHALL PROVIDE WORKMAN EXPERIENCED IN THEIR TRADE AND ALL WORK SHALL CONFORM TO THE ACCEPTED STANDARDS OF THE INDUSTRY. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LEGALLY REGISTERED IN MARYLAND.

THE CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN THE SITE OF DUST AND DEBRIS DAILY AFTER WORK IS COMPLETED. ALL EFFORTS SHALL BE MADE TO KEEP DUST FROM OCCUPIED ROOMS OF THE HOUSE. THE HOUSE SHALL BE LEFT IN A BROTLERSS CONDITION AFTER FINAL COMPLETION OF THE WORK.

DO NOT SCALE THE DRAWINGS. DIMENSIONAL DISCREPANCIES AND QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT.

DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE EXISTING STRUCTURE.

ALL EXISTING AREAS AFFECTED BY THE NEW WORK SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.

THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE.

THE GENERAL CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK AND HAVE A RESPONSIBLE FOREMAN CONTINUALLY ON THE SITE TO ACT FOR HIM. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COOPERATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK.

THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ANY OTHER INSURANCES AS REQUIRED BY LAW.

THE AMOUNTS OF EXTRAS AND CREDITS FOR CHANGED WORK SHALL BE AGREED UPON BY THE OWNER AND THE CONTRACTOR IN WRITING PRIOR TO PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

ALL FRAMING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING LIVE LOAD DESIGN STRENGTHS:
 2ND FLOOR 40 PSF
 1ST FLOOR 40 PSF

WOOD STUDS (2x4 @ 16" O.C.) - NO. 3 STANDARD STUD GRADE LUMBER OR EQUIVALENT.

ALL JOISTS SHALL HAVE MINIMUM BEARING OF 1/2" ON WOOD OR STEEL AND NOT LESS THAN 3" ON MASONRY.

WALL FRAMING, UNLESS NOTED OTHERWISE 2x4 STUDS @ 16" O.C. WITH DOUBLE STUDS AT OPENINGS, 3 FULL MEMBERS @ CORNERS, DOUBLE PLATES FOR BEARING PARTITIONS.

ALL WOOD IN CONTACT WITH EXTERIOR WALLS BELOW GRADE OR CONCRETE SLABS ON GRADE (GILLS, PLATES, SLEEPERS) SHALL BE PRESURE TREATED. ALL EXTERIOR WOOD SHALL BE PRESURE TREATED OR APPROVED FOR EXTERIOR USE.

FOOTINGS, BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO Frost ACTION AT LEAST 12" BELOW FINISHED GRADE. FOOTINGS SHALL EXTEND BELOW ELEVATIONS SHOWN WHERE NECESSARY TO REACH THE SOIL BEARING VALUE OF 1,000 PSF.

ALL ASSEMBLIES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

USE APPROVED METAL (KANT-842) OR EQUIVALENT CONNECTORS FOR ALL STRUCTURAL LUMBER CONNECTIONS.

ALL OPENINGS THROUGH ROOF OR WALLS SHALL BE THOROUGHLY SEALED AND FLASHED.

INTERIOR TRIM AND DOOR FRAMES: INSTALL TRIM TO MATCH EXTG. AROUND DOORS AND WINDOWS (INTERIOR WOOD SHALL BE SECURED WITH FINE FINISH NAILS AND GILDED WHERE REQUIRED TO ASSURE PERMANENT TIGHT JOINTS. SET WOOD BASE AFTER FINISH FLOOR IS IN PLACE.

GUTTERS AND DOWNSPOUTS: ALUMINUM SYSTEM; SIZE SHAPE AND COLOR TO MATCH EXISTING.

INSTALL FLASH BLOCKS AT EACH DOWNSPOUT.

CAULKING AND SEALANTS: APPLY 1/4" AIR ACRYLIC LATEX CAULK WITH 90 CONE OVER POLYETHYLENE FOAM BACKING. TRIMMER JOINT DEPTH 1/2"

ELECTRICAL AND RECEPTACLE OUTLETS: CONTRACTOR SHALL FURNISH AND INSTALL DUPLEX OUTLETS AS SHOWN ON DRAWINGS. PROVIDE ADDITIONAL CAPACITY CIRCUITS FOR FUTURE OUTLETS TO BE INSTALLED BY OWNER. PROVIDE DEDICATED CIRCUITS SIZED AS REQUIRED BY EQUIPMENT MANUFACTURER.

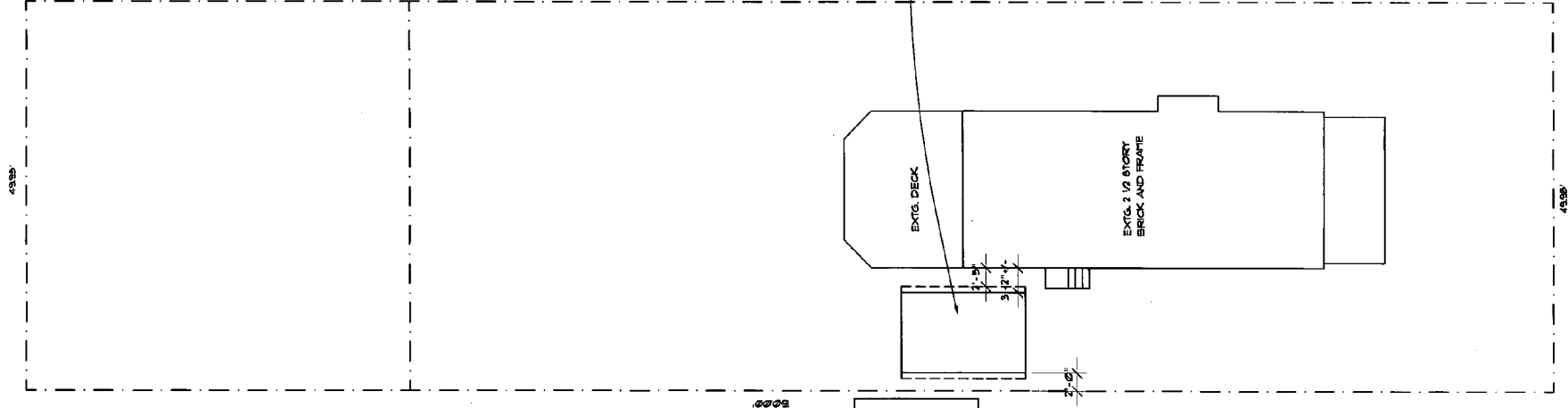
CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHT FIXTURES, WIRING AND SWITCHES AS INDICATED.

INSTALL R-13 BATT INSULATION IN THE CEILING OF 2ND FLOOR IN NEW ROOF TRUSS. INSTALL R-13 BATT INSULATION IN THE FLOOR OF THE NEW 3' OVERHANGS AT FRONT. INSTALL R-13 BATT INSULATION IN THE NEW EXTERIOR 2x4 WALLS.

***MECHANICAL WORK AND DRAWINGS TO BE SUPPLIED BY MECHANICAL CONTRACTOR.

LIST OF DRAWINGS

SHEET	TITLE
CO	ZONING INFORMATION, GENERAL NOTES, LIST OF DRAWINGS, & SITE PLAN
A-1	BASEMENT AND FIRST FLOOR DEMOLITION, ARCHITECTURAL AND STRUCTURAL PLANS
A-2	SECOND FLOOR DEMOLITION, ARCHITECTURAL AND STRUCTURAL PLANS AND ROOF PLAN
A-3	ELEVATIONS
A-4	BUILDING SECTIONS
A-5	SECTIONS AND DETAILS
A-6	DETAILS AND FINISHES REFER
E-1	BASEMENT AND FIRST FLOOR ELECTRICAL PLANS
E-2	SECOND FLOOR ELECTRICAL PLANS AND ELECTRICAL NOTES



1 SITE PLAN
 CO SCALE: 1" = 10'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Sharon E. Callahan

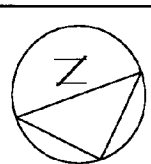
10/17/03

GARAGE RECONSTRUCTION
 7207 SPRUCE AVENUE
 TAKOMA PARK, MD

STUDIO D
 885 Milgo creek parkway
 Takoma park, md 20912
 301-710-5911



DANA ROGERS HADEN, AIA architect
 ISSUE:
 HISTORIC REV. 8/16/03



SHEET:
 ZONING INFORMATION
 GENERAL NOTES
 LIST OF DRAWINGS
 CO

GARAGE RECONSTRUCTION AND ALTERATION

7207 SPRUCE AVE

TAKOMA PARK, MD

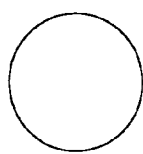
GARAGE RECONSTRUCTION FOR
 7207 SPRUCE AVE
 TAKOMA PARK, MD

STUDIO D
 666 Milgo Creek Parkway
 Takoma Park, Md
 301-270-5811



DANA ROGERS HADEN, AIA architect

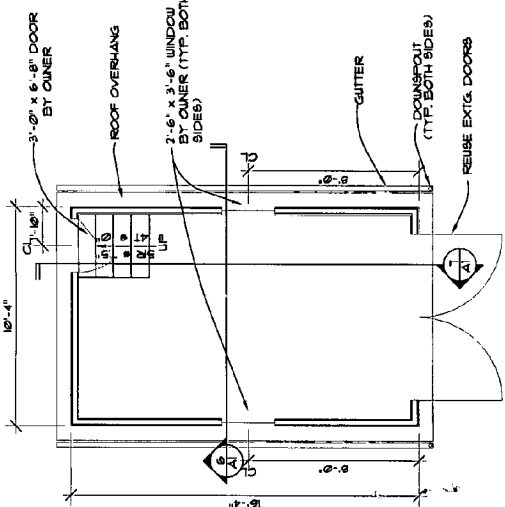
ISSUE:
 HISTORIC SET: 9/16/03



DRAWN BY: DRH
 SHEET:

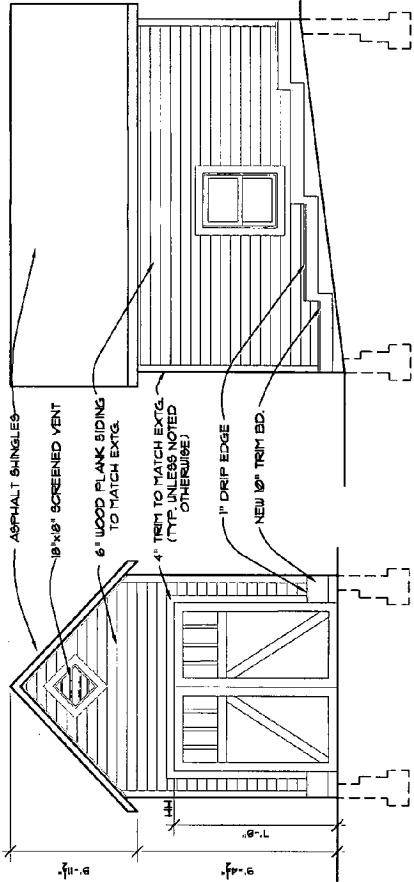
SITE PLAN, FLOOR PLAN
AND ELEVATIONS

A-1

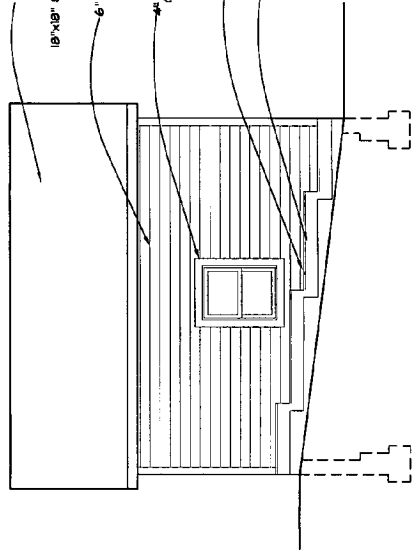


1 PLAN
A-1 SCALE: 1/4" = 1'-0"

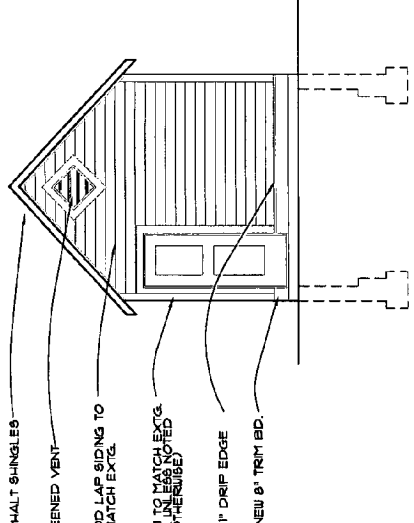
FOOT PRINT OF NEW BUILDING TO MATCH EXISTG.



2 FRONT ELEVATION
A-1 SCALE: 1/4" = 1'-0"

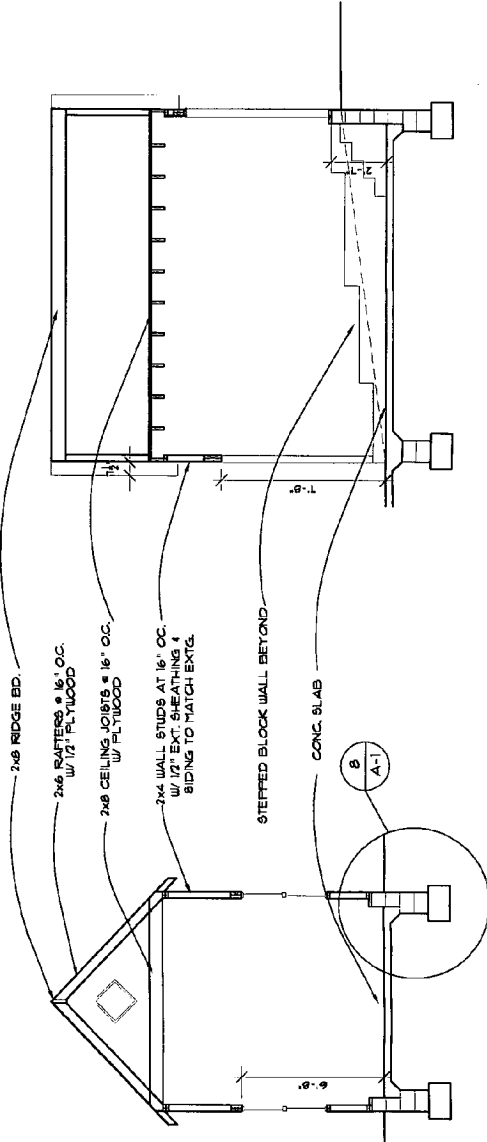


3 RIGHT SIDE ELEVATION
A-1 SCALE: 1/4" = 1'-0"

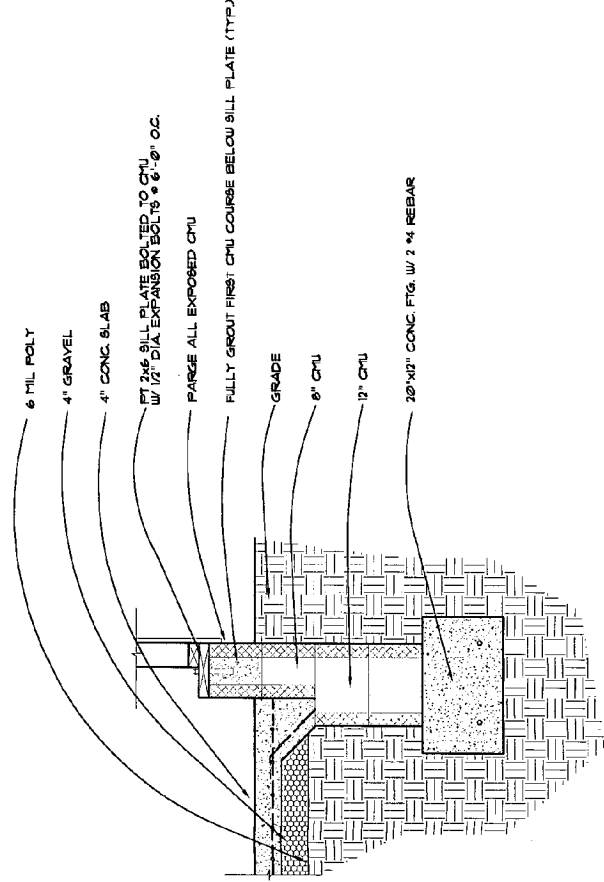


4 LEFT SIDE ELEVATION
A-1 SCALE: 1/4" = 1'-0"

5 REAR ELEVATION
A-1 SCALE: 1/4" = 1'-0"



6 SECTION
A-1 SCALE: 1/4" = 1'-0"



7 SECTION
A-1 SCALE: 1/4" = 1'-0"

8 SECTION
A-1 SCALE: 1/4" = 1'-0"

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7207 Spruce Avenue, Takoma Park **Meeting Date:** 10/08/03
Resource: Contributing Resource **Report Date:** 10/01/03
 Takoma Park Historic District
Review: HAWP **Public Notice:** 09/24/03
Case Number: 37/03-03NN **Tax Credit:** None
Applicant: Leticia and Ed Reed **Staff:** Michele Naru
 (Dana Haden, Agent)
PROPOSAL: Garage Demolition and Reconstruction **RECOMMEND:** Approve

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District.
STYLE: Colonial Revival
DATE: c1915-1925

This 2-1/2-story, three-bay frame dwelling is clad in horizontal siding detailed with a full width front porch and a diamond window in the gable. A one-car frame garage located at the rear of the subject property.

BACKGROUND

The applicant received approval from the Commission at its March 26, 2003 meeting for major alterations to the abovementioned garage. These alterations include raising the roof 2' in height, increasing the height of the existing sidewalls by 1'5", and adding a diamond shaped window in the gable to mimic the detail on the house (circles 7-8).

After further examination of the subject garage by the applicant's commissioned architect, it was determined that the garage in fact did not have a foundation. As a result, the March 26, 2003 approved proposal cannot be implemented.

PROPOSAL:

The applicant is proposing to demolish the existing garage, construct a new foundation in the existing location and reconstruct the garage per the design approved by the Commission on March 26, 2003.

STAFF DISCUSSION:

The *Takoma Park Guidelines* state:

“Contributing resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing.”

“The HPC considers alterations to Contributing resources in terms of their impact on the overall character of the district and the streetscape. Alterations should be compatible in their size, scale and architectural character, rather than for their particular architectural features.”

The proposal project should be reviewed as a demolition of a substantially altered building and the construction of a new outbuilding on the subject lot. The integrity of this outbuilding was compromised when the abovementioned approval for substantial alterations to this building was issued. The building’s original massing, proportion and design are important to defining its integrity. When these are compromised, the building becomes a streetscape element and less of an individually significant building to the historic district. As such, staff feels that the demolition of this building will not negatively impact the overall character of the district or the streetscape. The proposed new construction is consistent with the existing building patterns (the adjacent house has an existing one-car garage), and is compatible in terms of scale, massing and materials to the surrounding streetscape.

It should also be noted that HPC staff person, Corri Jimenez, has been in contact with a Takoma Park resident who desires to have the garage relocated to their property. Staff supports this relocation as it will preserve the existing building in its original form. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
555 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240777-4370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DANA HADEL
Daytime Phone No.: 301-270-5811

Tax Account No.: _____
Name of Property Owner: ED & Leticia READ Daytime Phone No.: 301-344-3974
Address: 7207 SPRUCE AVE. TAKOMA PARK MD 20912
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____
Address: _____

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Lot: P8 Block: 7 Subdivision: _____
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1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate Move Install Wreck/Retire Revision Repair Revocable

CHECK ALL APPLICABLE: AC Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: GARAGE

1B. Construction cost estimate: \$ \$25,000

1C. If this is a revision of a previously approved active permit, see Permit # 299247

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3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
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Dana Hadel 9.15.03
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 318732 Date Filed: 9/16/03 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

3

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>Ed & Leticia Read 7207 Spruce Ave. Takoma Park, MD. 20912</p>	<p>Owner's Agent's mailing address</p> <p>Dana Huder 805 Shigo Creek Parkway Takoma Park, MD 20912</p>
<p>Adjacent and confronting Property Owners mailing addresses</p>	
<p><u>across the street.</u> Lot. 38</p> <p>Thomas Gorman 7208 Spruce Ave. Takoma Park, MD. 20912</p>	<p><u>across the street</u> Lot P1</p> <p>Colin Norman 7204 Spruce Ave. Takoma Park, MD 20912</p>
<p><u>across the street.</u> Lot 37</p> <p>Shirley Darius 7210 Spruce Ave. Takoma Park, MD 20912</p>	<p><u>Reside</u> Lot 5</p> <p>Douglas Dembling 504 Tulip Ave Takoma Park, MD 20912</p>
<p><u>Reside</u> Lot. 9</p> <p>Bruce Sidwell 7209 Spruce Ave. Takoma Park, MD 20912</p>	<p><u>Rear</u> Lot 4</p> <p>Larry Rovitz 506 Tulip Ave Takoma Park, MD 20912</p>
<p><u>Reside</u> Lot. P6</p> <p>Daniel Williams 7205 Spruce Ave. Takoma Park, MD 20912</p>	

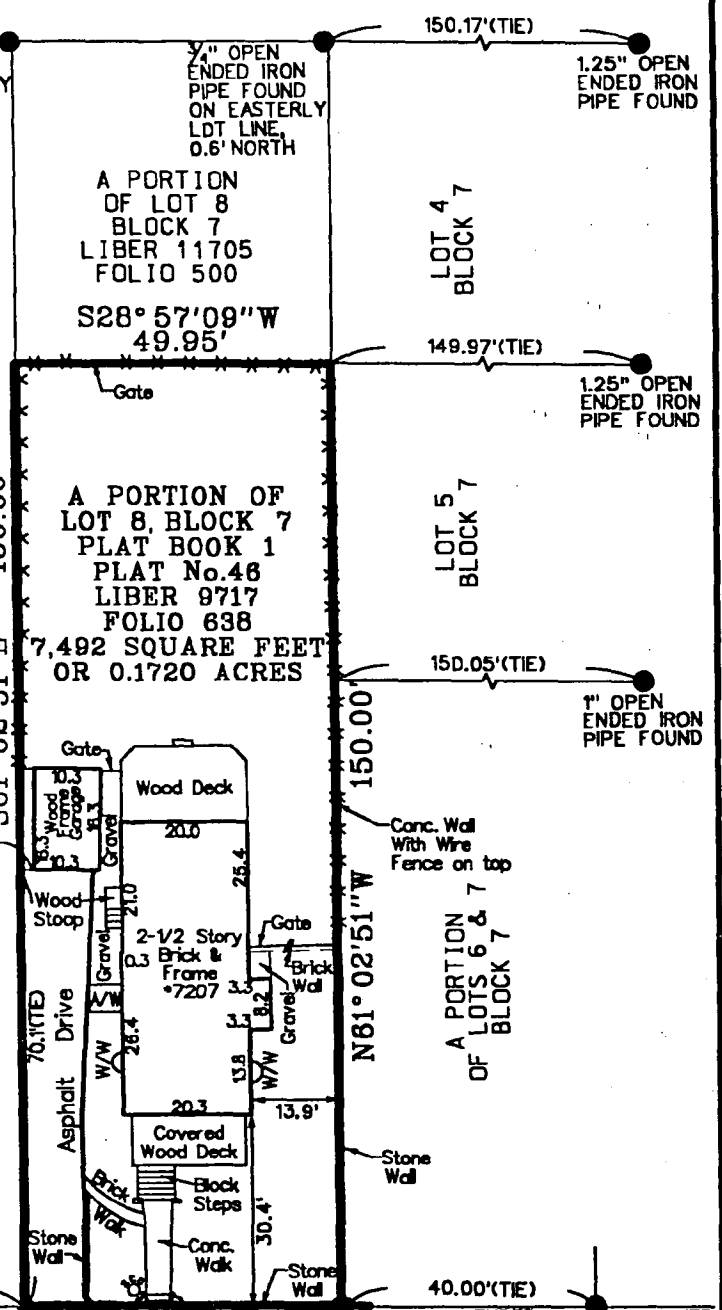
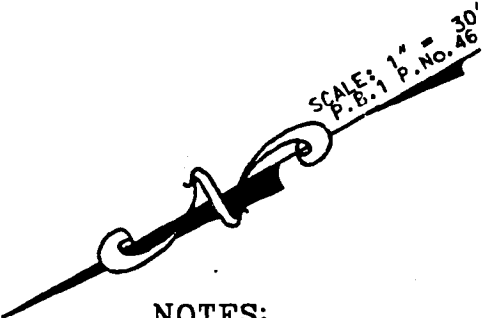
g'addresses' noticing table

BOUNDARY AND LOCATION SURVEY
A PORTION OF
LOT 8, BLOCK 7
LIPSCOMB AND
EARNEST TRUSTEES'
ADDITION TO
TAKOMA PARK
PLAT BOOK 1 PLAT No. 46
LIBER 9717 AT FOLIO 638
 13th ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND
 November, 2002 Scale: 1" = 30'

3/4" OPEN ENDED IRON PIPE FOUND ON EASTERLY LOT LINE, 0.4' NORTH

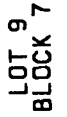
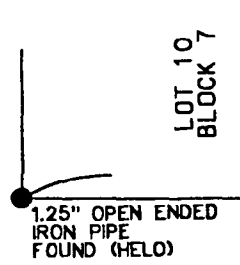
1/4" OPEN ENDED IRON PIPE FOUND ON EASTERLY LDT LINE, 0.6' NORTH

1.25" OPEN ENDED IRON PIPE FOUND



NOTES:

- 1.) BEARING BASIS FOR THIS SURVEY IS PLAT DATUM PER PLAT No. 46.
- 2.) BOUNDARY SURVEY PERFORMED WITHOUT BENEFIT OF A TITLE REPORT FOR SUBJECT PROPERTY. PROPERTY SHOWN HEREON IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS OF WAY AND COVENANTS OF RECORD. A TITLE, EASEMENT AND/OR RECORD SEARCH WAS NOT CONDUCTED BY ALL IN ONE SURVEYS, INC.
- 3.) NO EASEMENTS ARE SHOWN HEREON.



LEGEND

- N - NORTH
- S - SOUTH
- E - EAST
- W - WEST
- ☉ - SEWER CLEANOUT
- A/W - AREAWAY
- W/W - WINDOW WELL
- CONC. - CONCRETE



SPRUCE AVENUE
 (FORMERLY POPLAR AVENUE)
 50' RIGHT OF WAY

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THIS MAP, AND THE FIELD SURVEY ON WHICH IT IS BASED, ARE CORRECT AND WERE PREPARED IN ACCORDANCE WITH STATE SURVEYING STANDARDS IN EFFECT AT THE TIME OF THIS SURVEY.

Derek I. Fuller 11-20-02
 FOR ALL IN ONE SURVEYS, INC.
 DEREK I. FULLER
 PROFESSIONAL LAND SURVEYOR
 MARYLAND REGISTRATION No. 21051
 DATE OF SURVEY: NOVEMBER 18, 2002

ALL IN ONE SURVEYS, INC.

"PROVIDING ALL OF YOUR LAND SURVEYING SERVICES"
 11734 COLLEGE VIEW DRIVE
 SILVER SPRING, MARYLAND 20902
 PHONE: 301-946-4104
 FAX: 301-946-1164

GARAGE RECONSTRUCTION

7207 SPRUCE AVENUE

TAKOMA PARK, MD

ZONING INFORMATION

- A PORTION OF LOT 8
- PLAT BOOK: 1
- PLAT: 46
- OWNER: TAKOMA PARK HOMEOWNERS CO. NO.

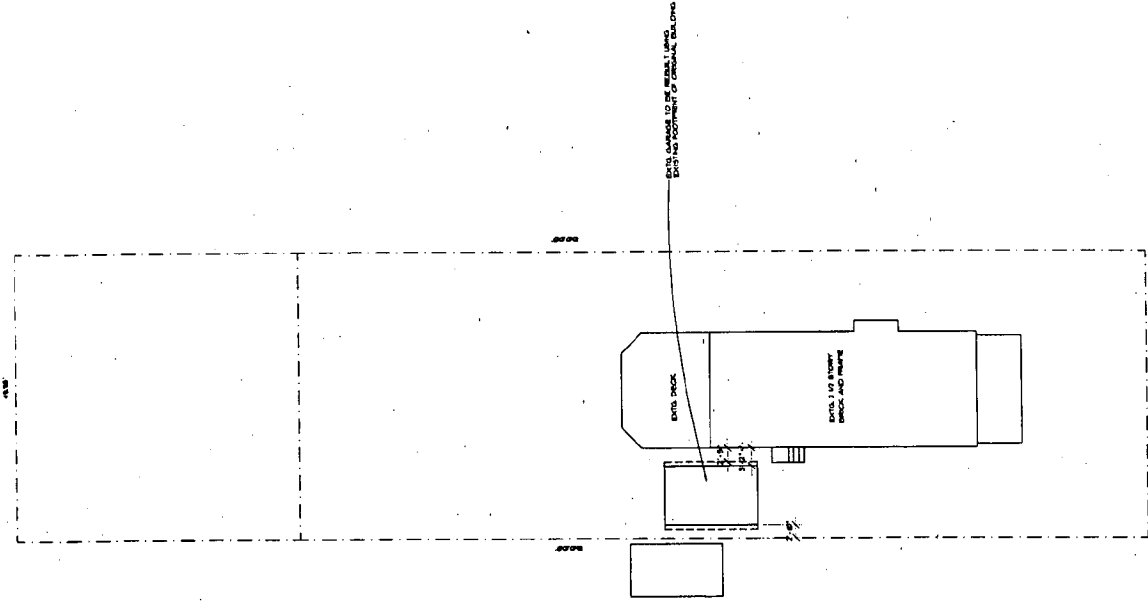
GENERAL NOTES

- ALL MATERIAL AND WORK SHALL BE ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- THE CONTRACTOR SHALL OBTAIN PERMITS FOR CONSTRUCTION AND INSPECTIONS OF WORK.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DEPENDENCIES AND NOTIFY THE ARCHITECT OF ANY DEPENDENCIES WHICH MAY AFFECT THE CONSTRUCTION OF THIS WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES IN HIS TRADE AND ALL WORK SHALL BE ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS. THE CONTRACTOR SHALL BE LEGALLY RESPONSIBLE IN HIS TRADE.
- THE CONTRACTOR AND HIS CONTRACTORS SHALL CLEAN THE SITE OF DIRT AND DEBRIS DAILY AFTER WORK IS COMPLETED. ALL DEBRIS SHALL BE MOVED TO A REPUTABLE DISPOSAL FACILITY. THE HOUSE SHALL BE LEFT IN A SPLENDID CONDITION UPON FINAL COMPLETION OF THE WORK.
- DO NOT SCALE THE DRAWINGS. DIMENSIONAL DISCREPANCIES AND QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT.
- DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE EXISTING STRUCTURE.
- ALL EXISTING AREAS AFFECTED BY THE NEW WORK SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PROTECT ALL UTILITIES, UNDERGROUND AND ABOVEGROUND, FROM THE FULL DEPTH OF THE WORK. UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18" OF CONCRETE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND ALL CONTRACTORS SHALL COOPERATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. THE CONTRACTOR SHALL NOTIFY ALL OTHER TRADES IN WRITING OF HIS LOCATION AND DEPTH OF HIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHALL CAREFULLY VERIFY ALL DIMENSIONS AND ANY OTHER DIMENSIONS AS REQUIRED BY LAW.
- THE AMOUNTS OF EXTERIOR AND EXTERIOR CHANGES WORK SHALL BE AGREED UPON BY THE OWNER AND THE CONTRACTOR IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED.
- ALL FINISH MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING LIVE LOAD REQUIREMENTS:
 - ROOF: 20 PSF
 - FLOORS: 40 PSF
- WOOD RIBS 2"x4" @ 16" O.C. NO. 3 GRADED SILD GRADE LUMBER OR EQUIVALENT.
- ALL EXTERIOR WALLS SHALL HAVE MINIMUM BEARING OF 1/2" ON WOOD OR STEEL AND NOT LESS THAN 7" ON CONCRETE.
- WALL FINISHING: 1/2" Gypsum Board over 2x4 studs @ 16" O.C. WITH DOUBLE STUDS AT OPENINGS. 3/4" FIBERGLASS INSULATION OVER DOUBLE STUDS FOR SOUND PARTITIONS.

LIST OF DRAWINGS

SHEET	TITLE
CO	ZONING INFORMATION, GENERAL NOTES, LIST OF DRAWINGS, & SITE PLAN
A-1	FOUNDATION AND FIRST FLOOR DETAIL, ARCHITECTURAL, ELECTRICAL, PLUMBING AND ROOF PLAN
A-2	SECTION
A-3	BUILDING SECTIONS
A-4	SECTION AND DETAILS
A-5	DETAILS AND FINISHING SCHEDULE
A-6	FOUNDATION AND FIRST FLOOR ELECTRICAL, PLUMBING AND ROOF PLAN
A-7	SECOND FLOOR ELECTRICAL, PLUMBING AND ELECTRICAL NOTES

1 SITE PLAN
CO SCALE: 1" = 10'-0"



STUDIO D
 2207 SPRUCE AVENUE
 TAKOMA PARK, MD
 301-770-0811

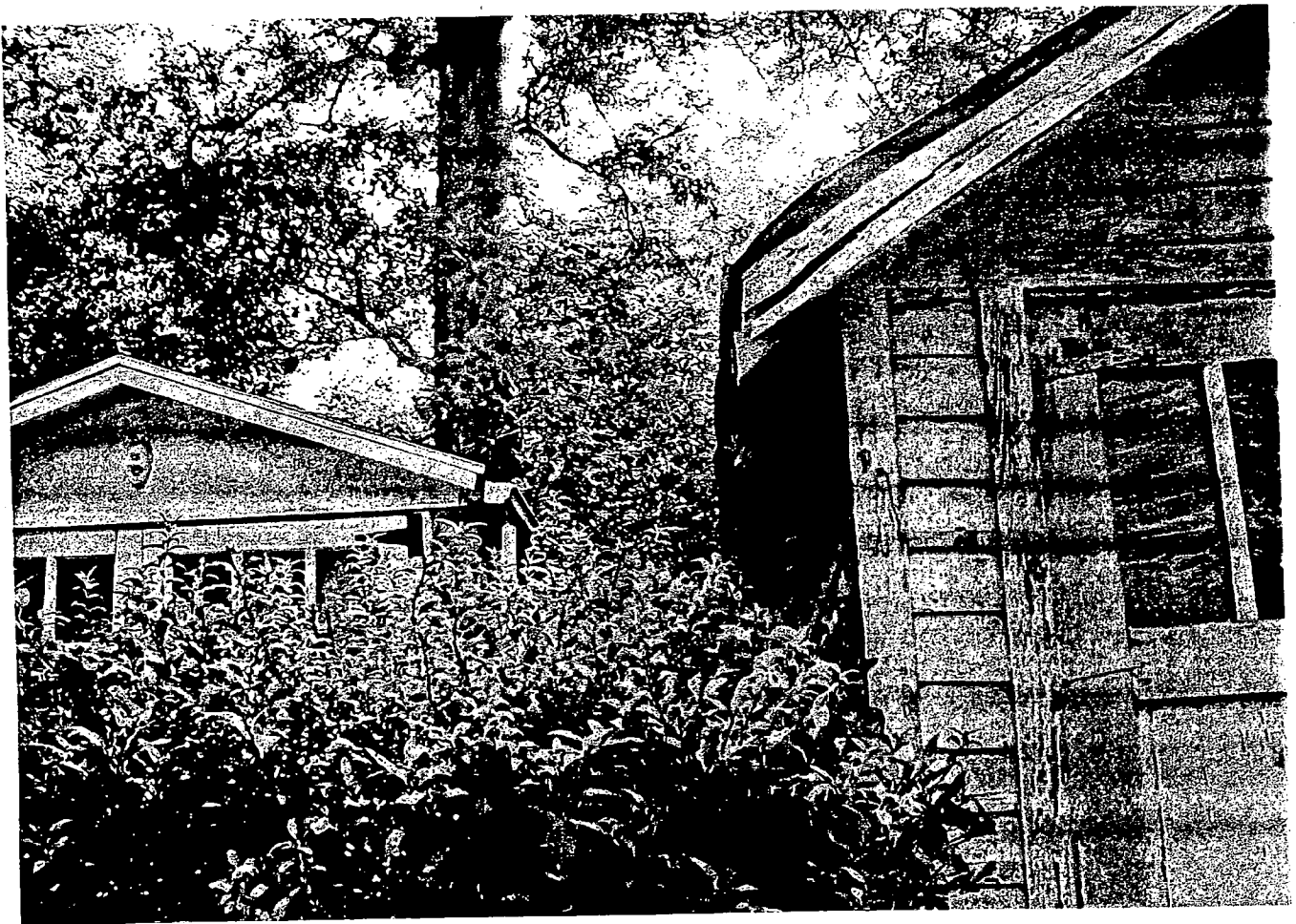
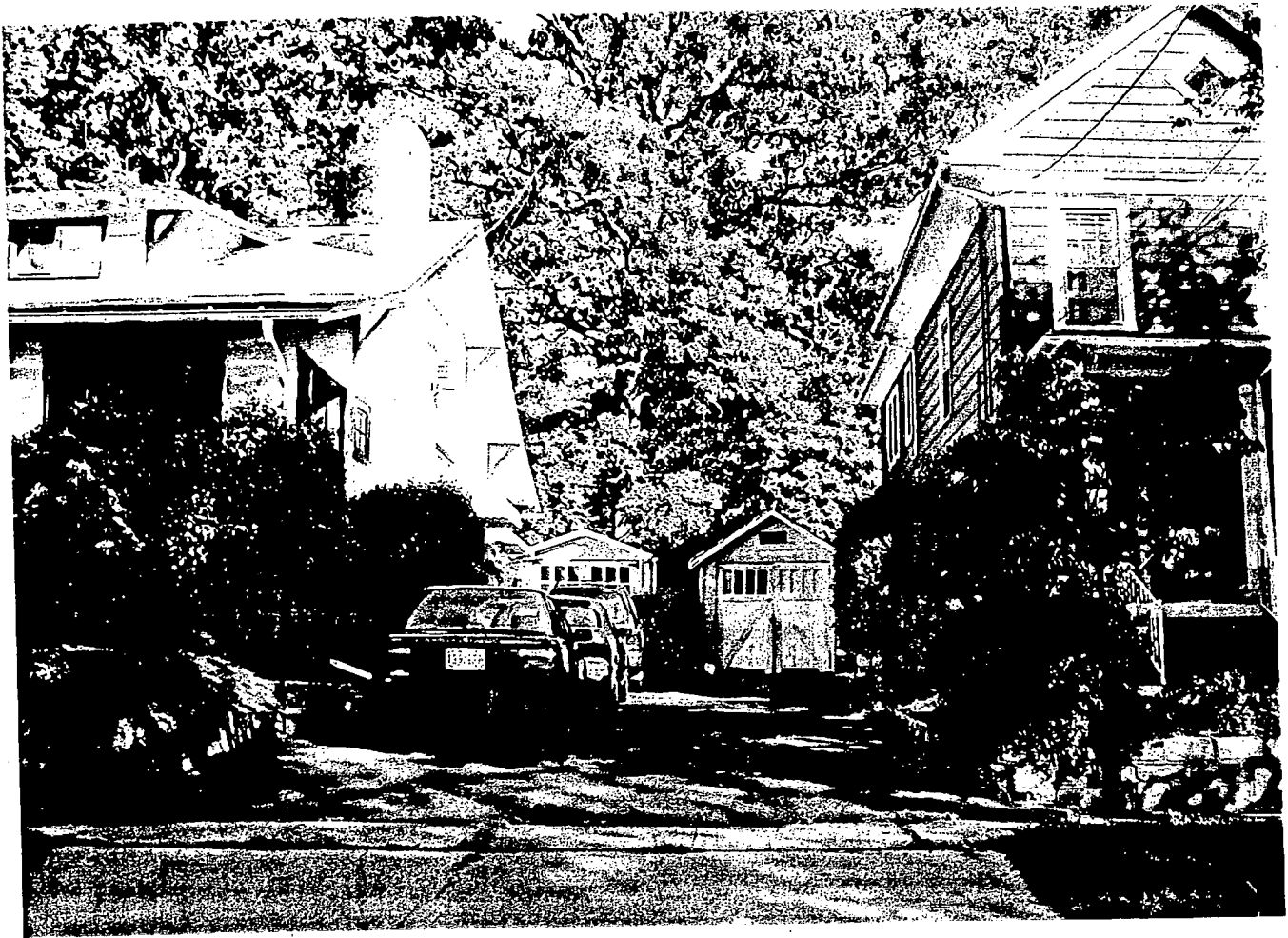
DANA ROGERS HADEN, AIA ARCHITECT

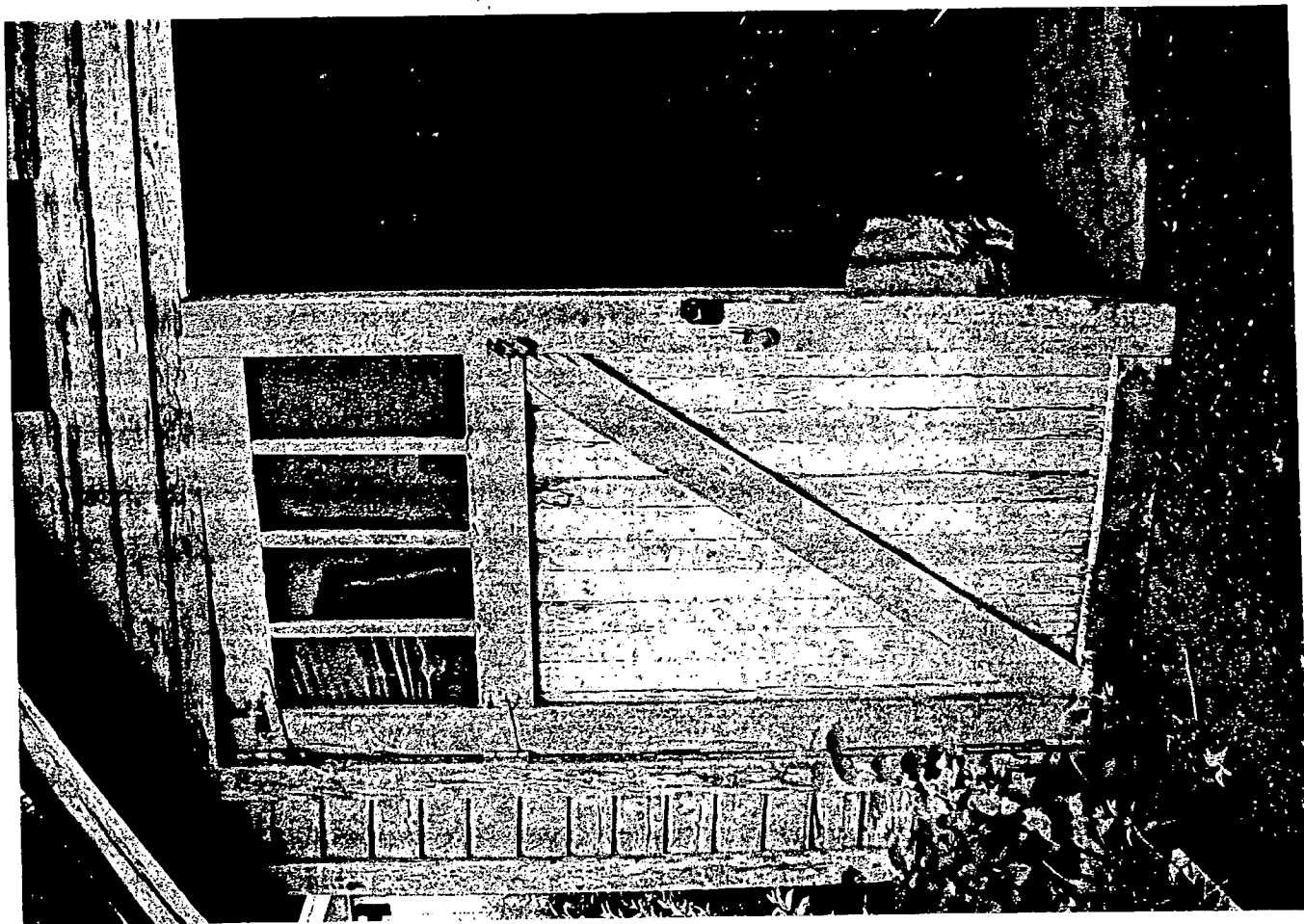
ISSUE:
 HISTORIC REV. 3/16/03

SHEET:
 FOUNDATION
 GENERAL NOTES
 LIST OF DRAWINGS

CO







HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Ed & Leticia Read
7207 Spruce Ave.
Takoma Park, MD.
20912

Owner's Agent's mailing address

Dana Hoden
805 Sligo Creek Parkway
Takoma Park, MD 20912

Adjacent and confronting Property Owners mailing addresses

across the street. Lot. 38

Thomas Gorman
7208 Spruce Ave.
Takoma Park, MD.
20912

across the street Lot P1

Colin Norman
7204 Spruce Ave.
Takoma Park, MD 20912

across the street. Lot 37

Shirley Davis
7210 Spruce Ave.
Takoma Park, MD
20912

Beside Lot 5

Douglas Dembling
504 Tulip Ave
Takoma Park, MD
20912

Beside Lot. 9

Bruce Sidwell
7209 Spruce Ave.
Takoma Park, MD
20912

Reas Lot 4

Larry Rovitz
506 Tulip Ave
Takoma Park, MD 20912

Beside Lot. P6

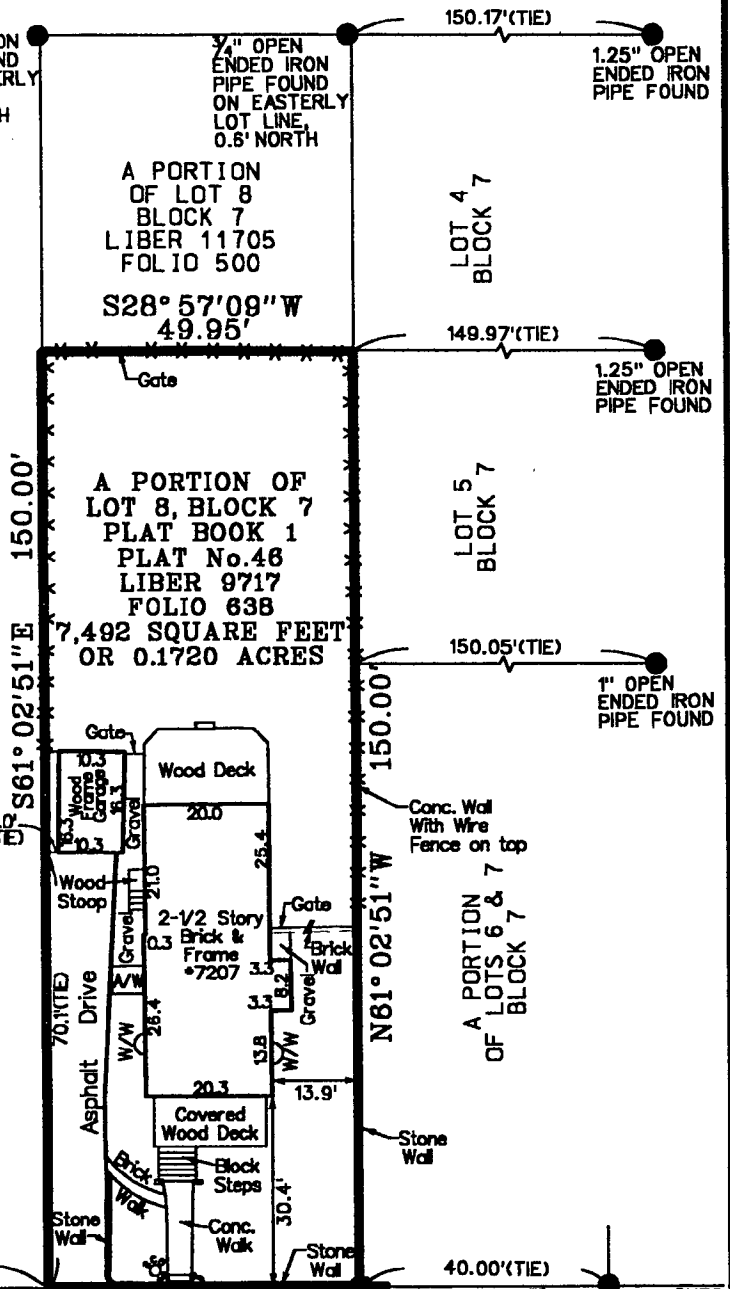
Daniel Williams
7205 Spruce Ave.
Takoma Park, MD
20912

**BOUNDARY AND LOCATION SURVEY
A PORTION OF
LOT 8, BLOCK 7
LIPSCOMB AND
EARNEST TRUSTEES'
ADDITION TO
TAKOMA PARK
PLAT BOOK 1 PLAT No. 46
LIBER 9717 AT FOLIO 638
13th ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND
November, 2002 Scale: 1" = 30'**

3/4" OPEN ENDED IRON PIPE FOUND ON EASTERLY LOT LINE, 0.4' NORTH

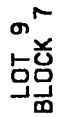
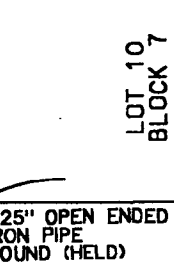
3/4" OPEN ENDED IRON PIPE FOUND ON EASTERLY LOT LINE, 0.6' NORTH

1.25" OPEN ENDED IRON PIPE FOUND



NOTES:

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- 3.) NO EASEMENTS ARE SHOWN HEREON.



LEGEND

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- S - SOUTH
- E - EAST
- W - WEST
- ⊗ - SEWER CLEANOUT
- A/W - AREAWAY
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**SPRUCE AVENUE
(FORMERLY POPLAR AVENUE)
50' RIGHT OF WAY**

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THIS MAP, AND THE FIELD SURVEY ON WHICH IT IS BASED, ARE CORRECT AND WERE PREPARED IN ACCORDANCE WITH STATE SURVEYING STANDARDS IN EFFECT AT THE TIME OF THIS SURVEY.

Derek I. Fuller 11-20-02

FOR ALL IN ONE SURVEYS, INC.
DEREK I. FULLER
PROFESSIONAL LAND SURVEYOR
MARYLAND REGISTRATION No. 21051
DATE OF SURVEY: NOVEMBER 18, 2002

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11734 COLLEGE VIEW DRIVE
SILVER SPRING, MARYLAND 20902
PHONE: 301-946-4104
FAX: 301-946-1164







GARAGE RECONSTRUCTION

7207 SPRUCE AVENUE

TAKOMA PARK, MD

ZONING INFORMATION

A PORTION OF LOT 8
 BLOCK:
 PLAT BOOK: 1
 PLAT: 46
 CITY OF TAKOMA PARK
 MONTGOMERY CO. MD.

GENERAL NOTES

ALL MATERIAL AND WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH MONTGOMERY COUNTY.
 THE CONTRACTOR SHALL OBTAIN PERMITS FOR CONSTRUCTION AND INSPECTIONS OF WORK.
 THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF CONDITIONS WHICH MAY AFFECT THE CONSTRUCTION AS SHOWN.

THE CONTRACTOR SHALL PROVIDE WORKMAN EXPERIENCED IN THEIR TRADE AND ALL WORK SHALL CONFORM TO THE ACCEPTED STANDARDS OF THE INDUSTRY. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LEGALLY REGISTERED IN MARYLAND.

THE CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN THE SITE OF DUST AND DEBRIS DAILY AFTER WORK IS COMPLETED. ALL EFFORTS SHALL BE MADE TO KEEP DIRT FROM OCCUPYING ROOFS OF THE HOUSE. THE HOUSE SHALL BE LEFT IN A SPOTLESS CONDITION AFTER FINAL COMPLETION OF THE WORK.

DO NOT SCALE THE DRAWINGS. DIMENSIONAL DISCREPANCIES AND QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT.

DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE EXISTING STRUCTURE.

ALL EXISTING AREAS AFFECTED BY THE NEW WORK SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.

THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE.

THE GENERAL CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK AND HAVE A RESPONSIBLE FOREMAN CONTINUALLY ON THE SITE TO ACT FOR HIM. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COOPERATE WITH ALL TRADERS SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK.

THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ANY OTHER INSURANCES AS REQUIRED BY LAW.

THE AMOUNTS OF EXTRAS AND CREDITS FOR CHANGED WORK SHALL BE AGREED UPON BY THE OWNER AND THE CONTRACTOR IN WRITING PRIOR TO PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

ALL FRAMING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING LIVE LOAD DESIGN STRENGTHS:

ROOF: 30 PSF
 FLOORS: 40 PSF

WOOD STUDS 2x4 @ 16" O.C.; NO. 3 STANDARD STUD GRADE LUMBER OR EQUIVALENT.

ALL JOISTS SHALL HAVE MINIMUM BEARINGS OF 1/2" ON WOOD OR STEEL AND NOT LESS THAN 3" ON MASONRY.

WALL FRAMING: UNLESS NOTED OTHERWISE 2x4 STUDS @ 16" O.C. WITH DOUBLE STUDS AT OPENINGS, 3 FULL MEMBERS @ CORNERS, DOUBLE PLATES FOR BEARING PARTITIONS.

ALL WOOD IN CONTACT WITH EXTERIOR WALLS BELOW GRADE OR CONCRETE SLABS ON GRADE (CALL FOR THIS INFORMATION) SHALL BE PRESERVE TREATED. ALL EXTERIOR WOOD SHALL BE PRESERVE TREATED OR APPROVED FOR EXTERIOR USE.

FOOTINGS: BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-6" BELOW FINISHED GRADE. FOOTINGS SHALL EXTEND BELOW ELEVATIONS SHOWN WHERE NECESSARY TO REACH THE SOIL BEARING VALUE OF 2,000 PSF.

ALL ASSEMBLIES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

USE APPROVED METAL (KANT-943) OR EQUIVALENT CONNECTORS FOR ALL STRUCTURAL LUMBER CONNECTIONS.

ALL OPENINGS THROUGH ROOF OR WALLS SHALL BE THOROUGHLY SEALED AND FLASHED.

INTERIOR TRIM AND DOOR FRAMES: INSTALL TRIM TO MATCH EXTG. AROUND DOORS AND WINDOWS (INTERIOR) WOOD SHALL BE SECURED WITH FINE FINISH NAILS AND GLUED WHERE REQUIRED TO ASSURE PERMANENT TIGHT JOINTS. SET WOOD BASE AFTER FINISH FLOOR IS IN PLACE.

GUTTERS AND DOWNSPOUTS: ALUMINUM SYSTEMS. SIZE, SHAPE AND COLOR TO MATCH EXISTING.

INSTALL SPLASH BLOCKS AT EACH DOWNSPOUT.

CAULKING AND SEALANTS: APPLY DAP ACRYLIC LATEX CAULK WITH SILICONE OVER POLYETHYLENE FOAM BACKING. FLASHING JOINT DEPTH 1/2"

ELECTRICAL AND RECEPTACLE OUTLETS: CONTRACTOR SHALL FINISH AND INSTALL DUPLEX OUTLETS AS SHOWN ON DRAWINGS. PROVIDE ADDITIONAL CAPACITY CIRCUITS FOR FUTURE OUTLETS TO BE INSTALLED BY OWNER. PROVIDE DEDICATED CIRCUITS SIZED AS REQUIRED BY EQUIPMENT MANUFACTURER.

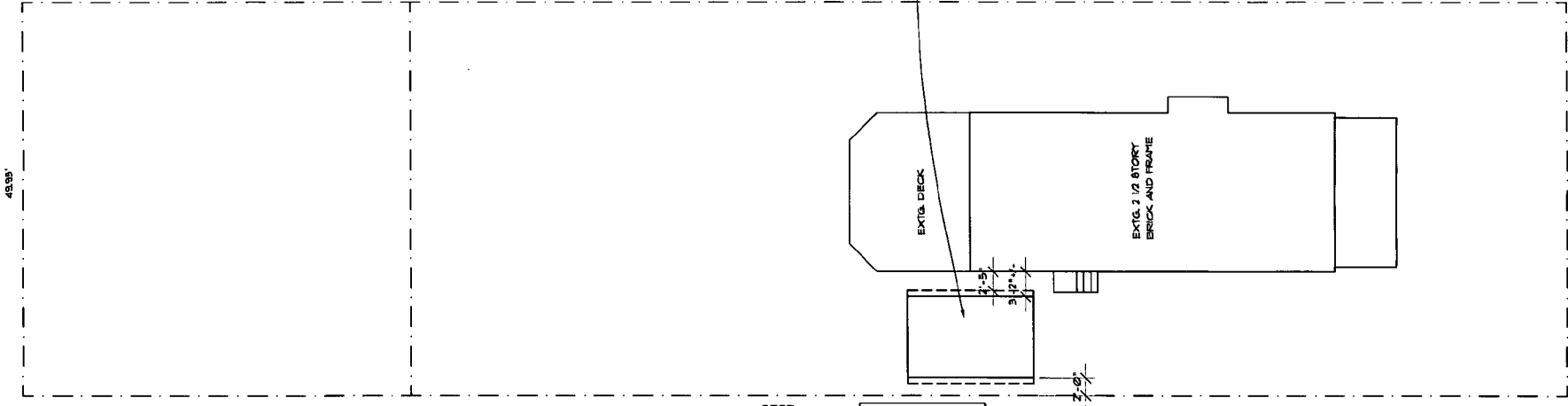
CONTRACTOR SHALL FINISH AND INSTALL ALL LIGHT FIXTURES, UPSING, AND SWITCHES AS INDICATED.

INSTALL R-30 BATT INSULATION IN THE CEILING OF 2ND FLOOR IN NEW ROOF TRUSS. INSTALL R-13 BATT INSULATION IN THE NEW EXTERIOR 2x4 WALLS.

MECHANICAL WORK AND DRAWINGS TO BE SUPPLIED BY MECHANICAL CONTRACTOR.

LIST OF DRAWINGS

SHEET	TITLE
CO	ZONING INFORMATION, GENERAL NOTES, LIST OF DRAWINGS, 4 SITE PLAN
A-1	BASEMENT AND FIRST FLOOR DEMOLITION, ARCHITECTURAL AND STRUCTURAL PLANS
A-2	SECOND FLOOR DEMOLITION, ARCHITECTURAL AND STRUCTURAL PLANS AND ROOF PLAN
A-3	ELEVATIONS
A-4	BUILDING SECTIONS
A-5	SECTIONS AND DETAILS
A-6	DETAILS AND PUMPING RISER
E-1	BASEMENT AND FIRST FLOOR ELECTRICAL PLANS
E-2	SECOND FLOOR ELECTRICAL PLANS AND ELECTRICAL NOTES



1 SITE PLAN
 CO SCALE: 1" = 10'-0"

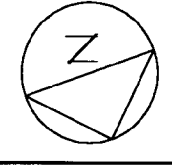
GARAGE RECONSTRUCTION
 7207 SPRUCE AVENUE
 TAKOMA PARK, MD

STUDIO D
 888 eligo creek parkway
 takoma park, md 20912
 301-710-5611



DANA ROGERS HADEN, AIA architect

ISSUE:
 HISTORIC REV. 9/16/03



SHEET:
 ZONING INFORMATION
 LIST OF DRAWINGS

CO

GARAGE RECONSTRUCTION AND ALTERATION 7207 SPRUCE AVE

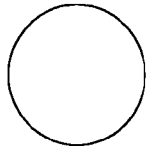
TAKOMA PARK, MD

STUDIO D
809 Aligo Creek Parkway
Takoma Park, MD
301-270-5011

DANA RODGERS HADEN, AIA architect



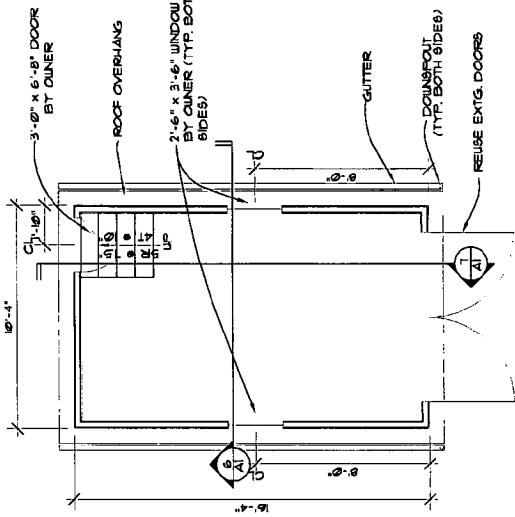
ISSUE:
HISTORIC DET. 9/16/03



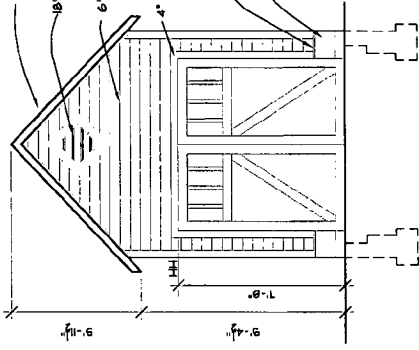
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SHEET:

DRY-FLOOR PLAN
AND ELEVATIONS

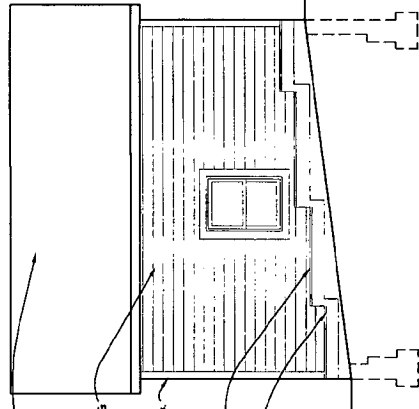
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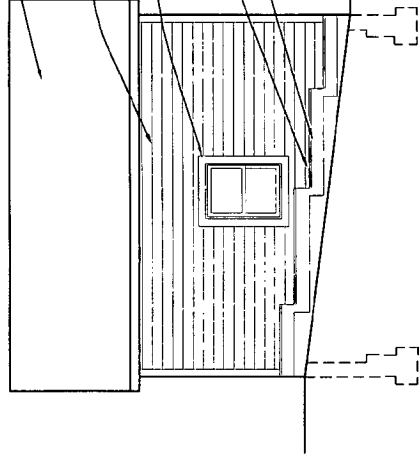
1 PLAN
A-1 / SCALE: 1/4" = 1'-0"



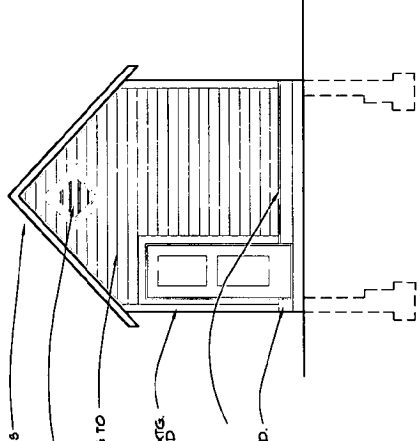
2 FRONT ELEVATION
A-1 / SCALE: 1/4" = 1'-0"



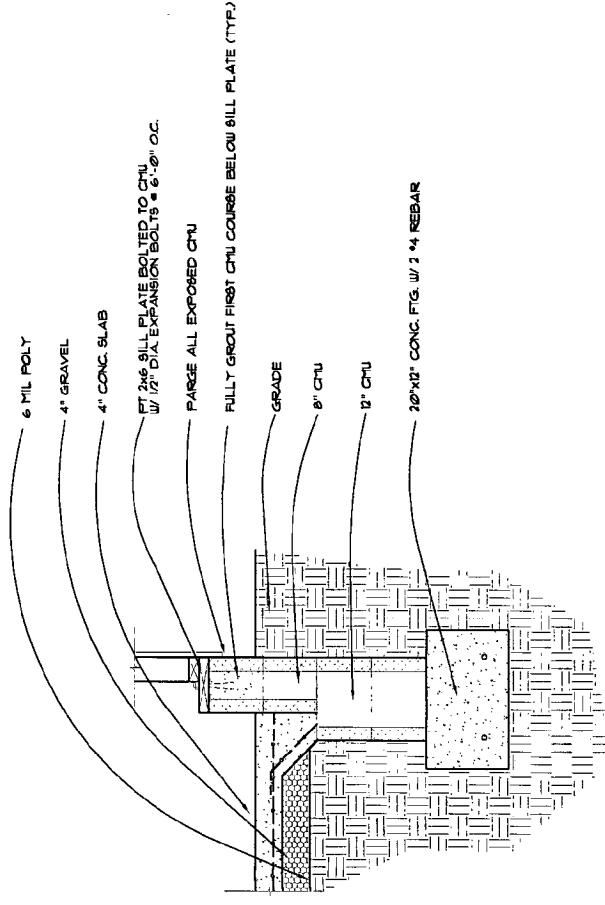
3 RIGHT SIDE ELEVATION
A-1 / SCALE: 1/4" = 1'-0"



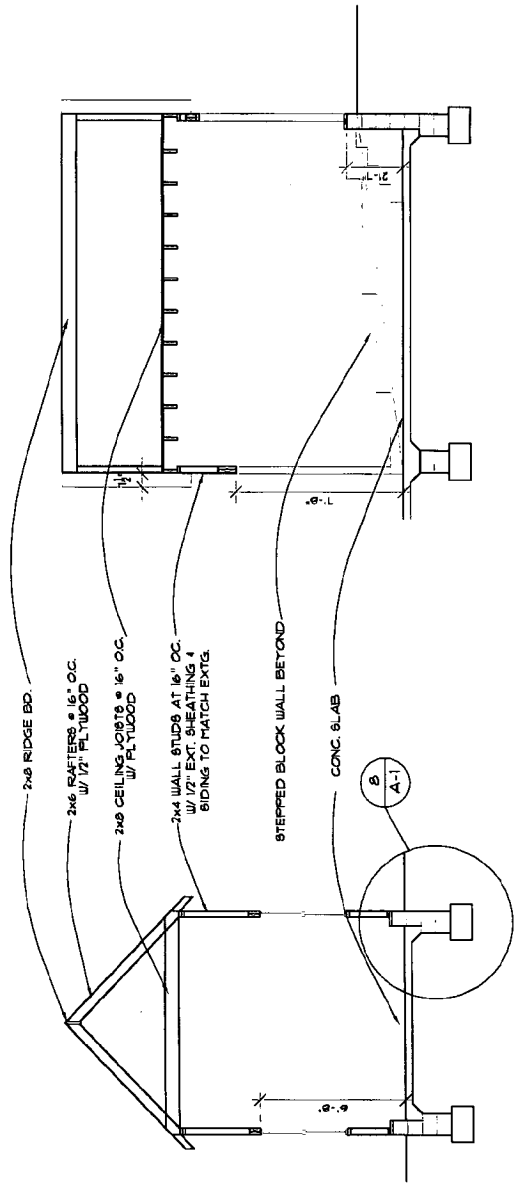
4 LEFT SIDE ELEVATION
A-1 / SCALE: 1/4" = 1'-0"



5 REAR ELEVATION
A-1 / SCALE: 1/4" = 1'-0"



8 SECTION
A-1 / SCALE: 1/4" = 1'-0"



1 SECTION
A-1 / SCALE: 1/4" = 1'-0"

6 SECTION
A-1 / SCALE: 1/4" = 1'-0"

GARAGE RECONSTRUCTION

7207 SPRUCE AVENUE

TAKOMA PARK, MD

ZONING INFORMATION

A PORTION OF LOT 8
 BLOCK: 1
 FLAT BOOK: 1
 FLAT: 46
 CITY OF TAKOMA PARK
 MONTGOMERY CO. MD.

GENERAL NOTES

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- THE CONTRACTOR SHALL OBTAIN PERMITS FOR CONSTRUCTION AND INSPECTIONS OF WORK.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF CONDITIONS WHICH MAY AFFECT THE CONSTRUCTION AS SHOWN.
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- THE CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN THE SITE OF DIRT AND DEBRIS DAILY AFTER WORK IS COMPLETED. ALL EFFORTS SHALL BE MADE TO KEEP DIRT FROM OCCUPIED ROOMS OF THE HOUSE. THE HOUSE SHALL BE LEFT IN A BROTLISS CONDITION AFTER FINAL COMPLETION OF THE WORK.
- DO NOT SCALE THE DRAWINGS. DIMENSIONAL DISCREPANCIES AND QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT.
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- THE GENERAL CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK AND HAVE A RESPONSIBLE FOREMAN CONTINUALLY ON THE SITE TO ACT FOR HIM. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COOPERATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK.
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ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

ALL FRAMING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING LIVE LOAD DESIGN STRENGTHS:
 ROOF: 30PSF
 FLOORS: 40PSF

WOOD STUDS (2x4 @ 16" O.C.) - NO. 3 STANDARD STUD GRADE LUMBER OR EQUIVALENT.

ALL JOISTS SHALL HAVE MINIMUM BEARINGS OF 1 1/2" ON WOOD OR STEEL AND NOT LESS THAN 3" ON MASONRY.

WALL FRAMING: UNLESS NOTED OTHERWISE 2x4 STUDS @ 16" O.C. WITH DOUBLE STUDS AT OPENINGS. 3 FULL MEMBERS @ CORNERS. DOUBLE PLATES FOR BEARING PARTITIONS.

ALL WOOD IN CONTACT WITH EXTERIOR WALLS BELOW GRADE OR CONCRETE BLASIS ON GRADE (SILLS, PLATES, SLEEPERS) SHALL BE PRESURE TREATED. ALL EXTERIOR WOOD SHALL BE PRESURE TREATED OR APPROVED FOR EXTERIOR USE.

FOOTINGS: BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO Frost ACTION AT LEAST 7'-0" BELOW FINISHED GRADE. FOOTINGS SHALL EXTEND BELOW ELEVATIONS SHOWN WHERE NECESSARY TO REACH THE SOIL BEARING VALUE OF 2,000 PSF.

ALL ASSEMBLIES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

USE APPROVED METAL (KANT-846) OR EQUIVALENT CONNECTORS FOR ALL STRUCTURAL LUMBER CONNECTIONS.

ALL OPENINGS THROUGH ROOF OR WALLS SHALL BE THOROUGHLY SEALED AND FLASHED.

INTERIOR TRIM AND DOOR FRAMES: INSTALL TRIM TO MATCH EXTG. AROUND DOORS AND WINDOWS (INTERIOR WOOD SHALL BE PRESURE TREATED). TRIM SHALL BE SEALED TO ASSURE PERMANENT TIGHT JOINTS. SET WOOD BASE AFTER FINISH FLOOR IS IN PLACE.

GUTTERS AND DOWNSPOUTS: ALUMINUM SYSTEM. SIZE, SHAPE AND COLOR TO MATCH EXISTING. INSTALL FLASH BLOCKS AT EACH DOWNSPOUT.

CAULKING AND SEALANTS: APPLY DAP ACRTLC LATEX CAULK WITH SILICONE OVER POLYETHYLENE FOAM BACKING. MAXIMUM JOINT DEPTH 1/2".

ELECTRICAL AND RECEPTACLE OUTLETS: CONTRACTOR SHALL FURNISH AND INSTALL DUPLEX OUTLETS AS SHOWN ON DRAWINGS. PROVIDE ADDITIONAL CAPACITY ON CIRCUITS FOR FUTURE OUTLETS TO BE INSTALLED BY OWNER. PROVIDE DEDICATED CIRCUITS SIZED AS REQUIRED BY EQUIPMENT MANUFACTURER.

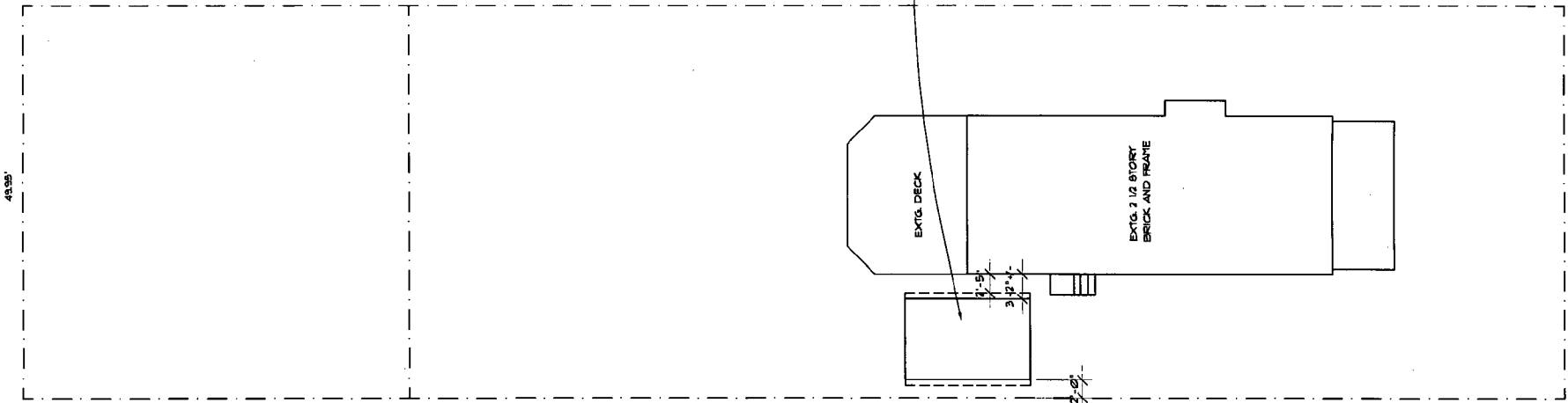
CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHT FIXTURES, WIRING, AND SWITCHES AS INDICATED.

INSTALL R-30 BATT INSULATION IN THE CEILING OF THIS FLOOR IN NEW ROOF TRUSS. INSTALL R-19 BATT INSULATION IN THE FLOOR OF THE NEW 3 COVERINGS AT FRONT. INSTALL R-13 BATT INSULATION IN THE NEW EXTERIOR 2x4 WALLS.

**MECHANICAL WORK AND DRAWINGS TO BE SUPPLIED BY MECHANICAL CONTRACTOR.

LIST OF DRAWINGS

SHEET	TITLE
CO	ZONING INFORMATION, GENERAL NOTES, LIST OF DRAWINGS, # SITE PLAN
A-1	BASEMENT AND FIRST FLOOR DEMOLITION, ARCHITECTURAL AND STRUCTURAL PLANS
A-2	SECOND FLOOR DEMOLITION, ARCHITECTURAL AND STRUCTURAL PLANS AND ROOF PLAN
A-3	ELEVATIONS
A-4	BUILDING SECTIONS
A-5	SECTIONS AND DETAILS
A-6	DETAILS AND PUMPING RISER
E-1	BASEMENT AND FIRST FLOOR ELECTRICAL PLANS
E-2	SECOND FLOOR ELECTRICAL PLANS AND ELECTRICAL NOTES



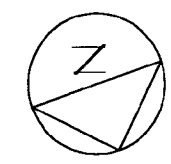
1 SITE PLAN
 CO SCALE: 1" = 10'-0"

GARAGE RECONSTRUCTION
 7207 SPRUCE AVENUE
 TAKOMA PARK, MD

STUDIO D
 800 Aliga creek Parkway
 Takoma Park, Md 20912
 301-710-5611



DANA ROGERS HADEN, AIA ARCHITECT
 ISSUE:
 HISTORIC REV. 9/16/03



SHEET:
 ZONING INFORMATION
 GENERAL NOTES
 LIST OF DRAWINGS
 CO

GARAGE RECONSTRUCTION AND ALTERATION 7207 SPRUCE AVE

TAKOMA PARK, MD

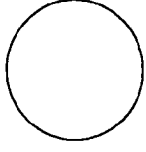
GARAGE RECONSTRUCTION FOR
7207 SPRUCE AVE
TAKOMA PARK, MD

STUDIO D
822 Mill Creek Parkway
Takoma Park, MD
301-270-5811



DANA RODGERS HADEN, AIA architect

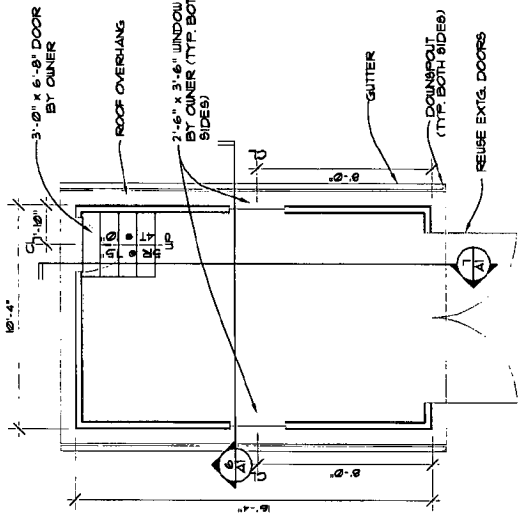
ISSUE:
HISTORIC SET. 9/16/23



DRAWN BY: DRH
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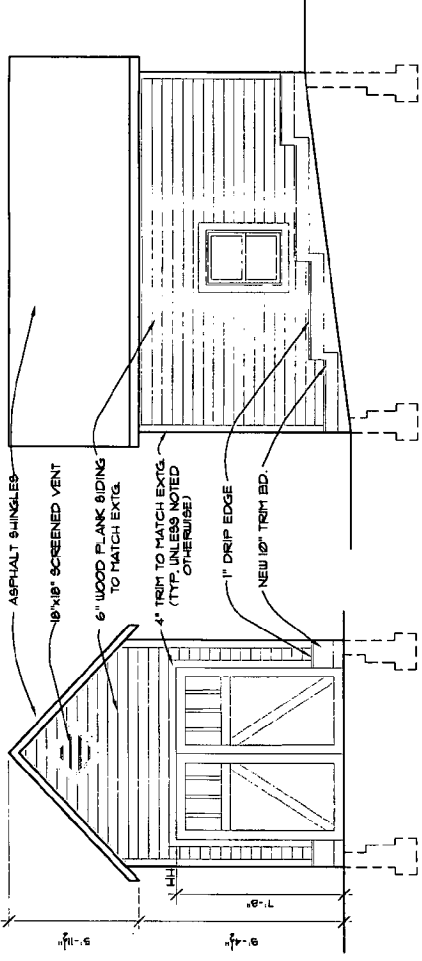
SITE PLAN, FLOOR PLAN
AND ELEVATIONS

A-1

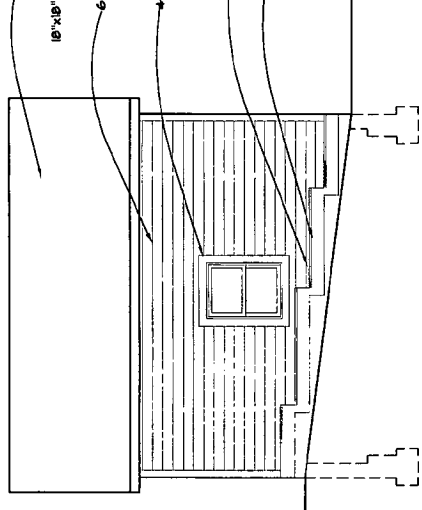


1 PLAN
A-1 SCALE: 1/4" = 1'-0"

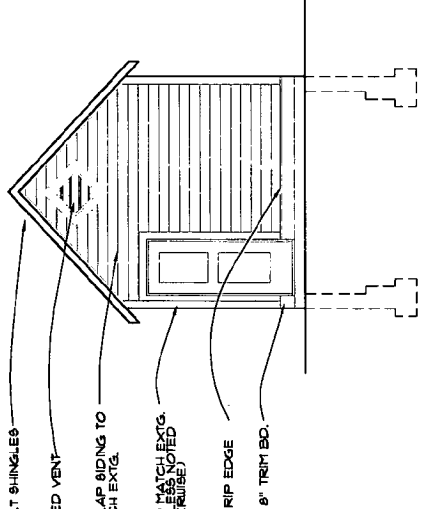
FOOT FRONT OF NEW BUILDING TO MATCH EXTG.



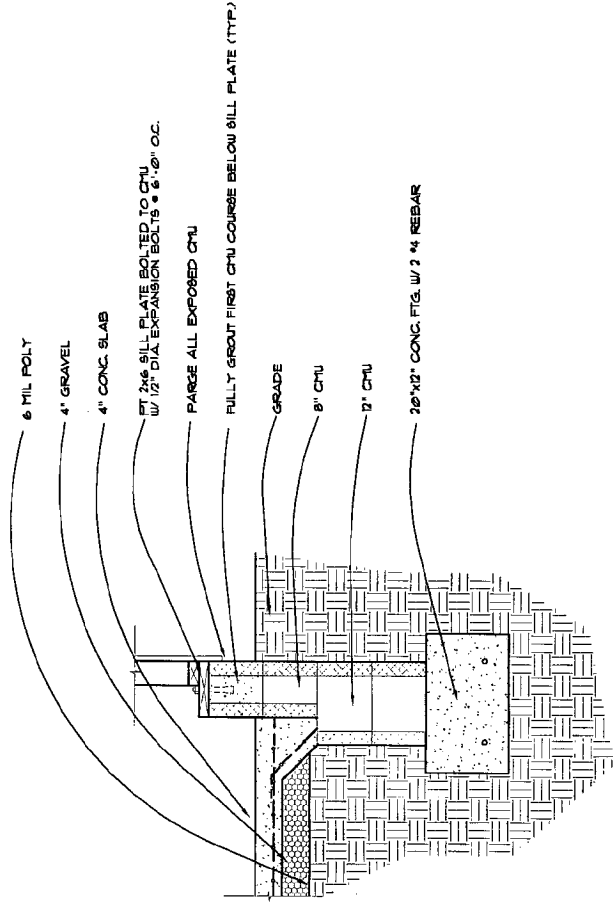
3 RIGHT SIDE ELEVATION
A-1 SCALE: 1/4" = 1'-0"



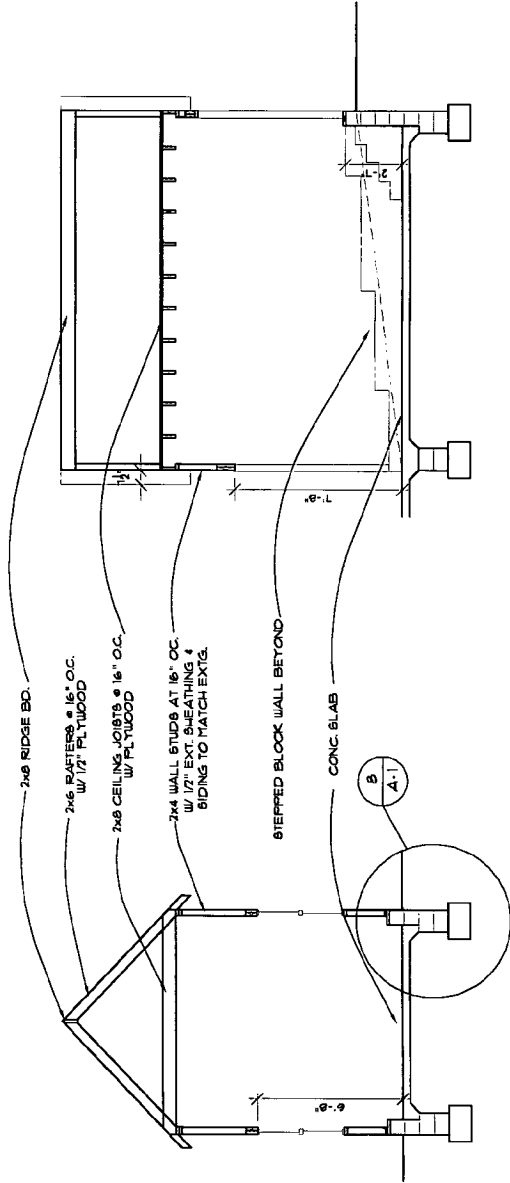
4 LEFT SIDE ELEVATION
A-1 SCALE: 1/4" = 1'-0"



5 REAR ELEVATION
A-1 SCALE: 1/4" = 1'-0"



8 SECTION
A-1 SCALE: 1/4" = 1'-0"



7 SECTION
A-1 SCALE: 1/4" = 1'-0"

6 SECTION
A-1 SCALE: 1/4" = 1'-0"