

14-33 STEPHEN KING
(CHARLES COLEMAN)

DEPT
1-27-09

**Maryland Historical Trust
State Historic Sites Inventory Form**

Survey No. 14-33

Magi No.

DOE, yes no

1. Name (indicate preferred name)

historic (Charles Coleman) FRANKLIN KING FARM

and/or common

2. Location

street & number ⁹⁰¹⁰ Watkins Road & Rt. 124 not for publication

city, town Woodfield vicinity of congressional district

state Maryland county Montgomery

3. Classification

Category	Ownership	Status	Present Use	
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture	<input type="checkbox"/> museum
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial	<input type="checkbox"/> park
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational	<input checked="" type="checkbox"/> private residence
<input type="checkbox"/> site	Public Acquisition	Accessible	<input type="checkbox"/> entertainment	<input type="checkbox"/> religious
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input type="checkbox"/> yes: restricted	<input type="checkbox"/> government	<input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial	<input type="checkbox"/> transportation
	<input type="checkbox"/> not applicable	<input checked="" type="checkbox"/> no	<input type="checkbox"/> military	<input type="checkbox"/> other:

4. Owner of Property (give names and mailing addresses of all owners)

name Emanuel S. Karadimos et al See attached for update

street & number 10915 Amerst Ave. telephone no.:

city, town Silver Spring state and zip code Maryland

5. Location of Legal Description

courthouse, registry of deeds, etc. Montgomery County Courthouse liber 3836

street & number folio 42

city, town Rockville state Maryland

6. Representation in Existing Historical Surveys

title M-NCPPC Historic Sites Inventory

date 1976 federal state county local

depository for survey records M-NCPPC Park Historian's Office

city, town Rockville state Maryland

FRANKLIN KING 14/33

Maryland Department of Assessments and Taxation MONTGOMERY COUNTY Real Property Data Search	Go Back View Map New Search
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STR

Account Identifier: District - 12 Account Number - 02873874

Owner Information

Owner Name:	DUNCAN, DONNA B ET AL	Use:	AGRICULTURAL
		Principal Residence:	YES
Mailing Address:	PO BOX 5332 LAYTONSVILLE MD 20882	Deed Reference:	1) / 9423/ 157 2)

Location & Structure Information

Premises Address	Zoning	Legal Description
9010 WATKINS RD GAITHERSBURG 20882	RD T	WOODFIELD ACRES

Map	Grid	Parcel	Subdivision	Section	Block	Lot	Group	Plat No:
FW61			1			1	80	Plat Ref:

Special Tax Areas	Town Ad Valorem Tax Class
	42

Primary Structure Built	Enclosed Area	Property Land Area	County Use
0000	2,740 SF	11.67 AC	818

Stories	Basement	Type	Exterior
2	NO	STANDARD UNIT	FRAME

Value Information

	Base Value	Value As Of 01/01/2001	Phase-in Assessments		As Of 07/01/2001	As Of 07/01/2002	PREFERENTIAL LAND VALUE INCLUDED IN LAND VALUE
Land:	62,660	62,660					
Improvements:	132,200	140,120					
Total:	194,860	202,780					
Preferential Land:	2,660	2,660	197,500		200,140	2,660	

Transfer Information

Seller:	Date: 08/01/1990	Price: \$250,000
Type: IMPROVED ARMS-LENGTH	Deed1:	Deed2:

Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Exemption Information

7 DESCRIPTION

CONDITION		CHECK ONE	CHECK ONE
<input type="checkbox"/> EXCELLENT	<input type="checkbox"/> DETERIORATED	<input checked="" type="checkbox"/> UNALTERED	<input checked="" type="checkbox"/> ORIGINAL SITE
<input checked="" type="checkbox"/> GOOD	<input type="checkbox"/> RUINS	<input type="checkbox"/> ALTERED	<input type="checkbox"/> MOVED DATE _____
<input type="checkbox"/> FAIR	<input type="checkbox"/> UNEXPOSED		

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

This is a large, two-story frame farmhouse that sits on a knoll amidst open fields north of Seneca Creek. It has a steep A-roof that overhangs at the eaves. The main (east) facade has three bays with a central door. To the rear NW extends a smaller two-story wing. An "apron" type of open porch surrounds the east and north sides of the house. It is supported by turned, bracketed posts. There are several farm buildings behind the house.



CONTINUE ON SEPARATE SHEET IF NECESSARY

8. Significance

Survey No. 6141 10187A 3

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)

Specific dates	Builder/Architect
check: Applicable Criteria: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D and/or Applicable Exception: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G	
Level of Significance: <input type="checkbox"/> national <input type="checkbox"/> state <input type="checkbox"/> local	

Prepare both a summary paragraph of significance and a general statement of history and support.

The Charles Coleman farmhouse is a turn of the century, rural vernacular dwelling. The house differs somewhat in the usual architectural styling of the house in this area. It is a bit larger and does not possess the often seen center gable facade. It has a large overhanging porch, supported by Victorian turned posts and brackets, which runs the length of the facade and the south elevation. Otherwise, the house is rather plain in design. Its Victorian influence with a more simple style marks the ending of Victorian architectural influence in favor of a less decorative, more "rational" style. To the rear is a two story wing. It has been suggested that this dwelling may have incorporated into it an earlier structure which may or may not have been the home of Charles Coleman.¹

The house was probably built about 1904 by Franklin King.² Franklin purchased the land on which his house was constructed, 104 acres of "Watkins Range" for \$3640 in October of 1903 from Singleton L. King.³ The King family, first settling here in 1871, owned a number of farms in this area. Franklin later sold the farm in 1911. It was the property of Daniel and Anna Ifert for many years, from 1912 until 1937. After this time the house passed through a succession of owners until 1966 when it was sold to investors, Steve Manos and Richard M. Fennell.⁴ Although the property is presently being farmed, the house appears to be vacant.

¹Park Historian, Micheal Dwyer.

²Date is based on the tax assesment records and the date that Franklin received the property (and price paid).

³Deed TD 27/161, Montgomery County Land Records.

⁴Deed 3527/36, " "

granddaughter says 1918 built incorporating log bldg
Donna Duncan, owner
1865 map - ISAAC MATHEWS
1879 - C...

9. Major Bibliographical References

Survey No.:

Montgomery County Land Records
Montgomery county Commissioner's Tax Assesment Books
Park Historian

10. Geographical Data

Acreage of nominated property (77.88 acres) 11.67 acres 1-2002

Quadrangle name _____

Quadrangle scale _____

UTM References do NOT complete UTM references

A

Zone	Easting					Northing													

B

Zone	Easting					Northing													

C

Zone	Easting					Northing													

D

Zone	Easting					Northing													

E

Zone	Easting					Northing													

F

Zone	Easting					Northing													

G

Zone	Easting					Northing													

H

Zone	Easting					Northing													

Verbal boundary description and justification

TO BE COMPLETED BY THE SURVEYOR

List all states and counties for properties overlapping state or county boundaries

state code county code

state code county code

11. Form Prepared By

name/title Catherine Crawford

organization Mont. Co. Hist. Pres. Comm.

date 1/84

street & number

telephone

city or town Rockville

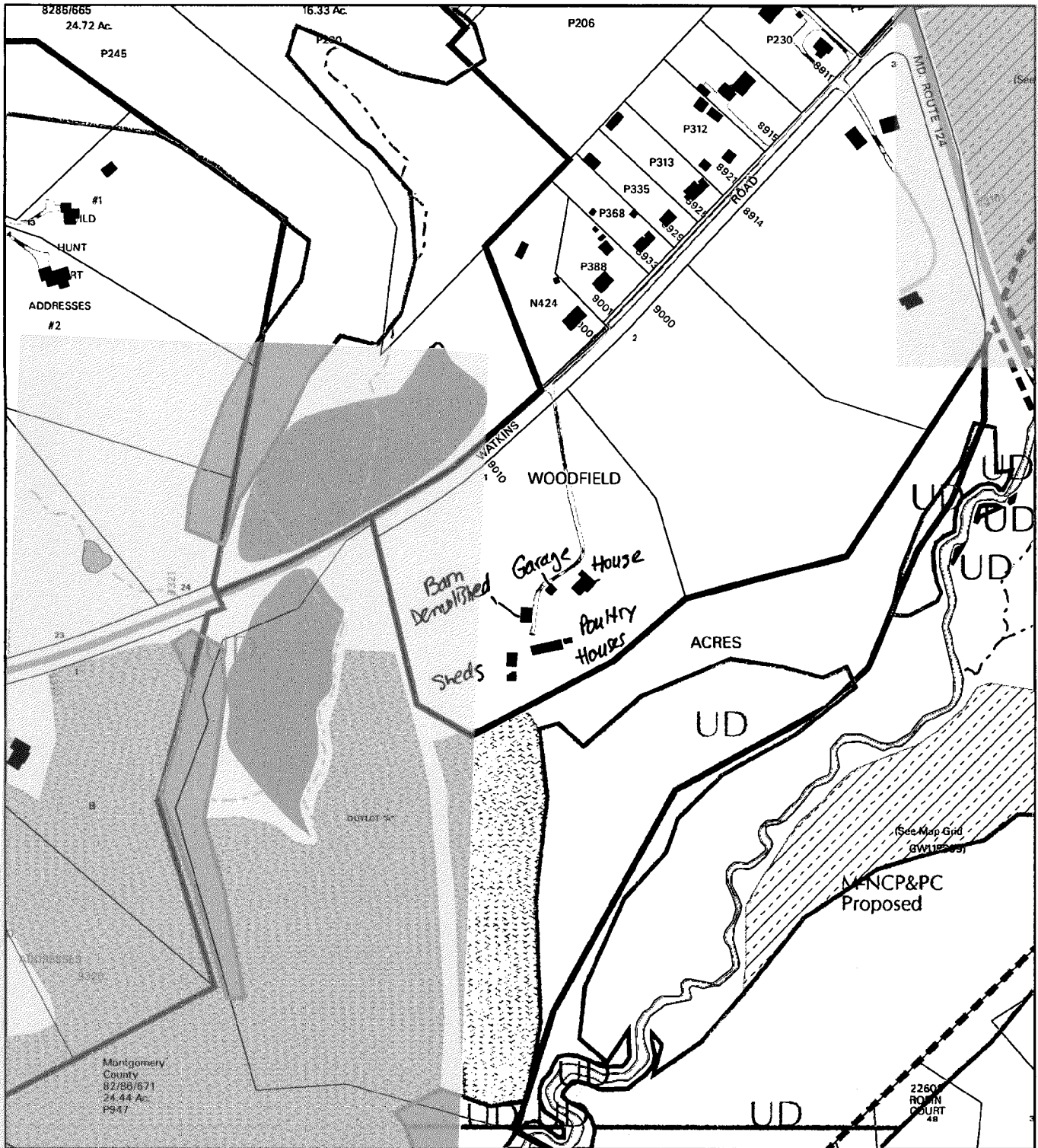
state Maryland

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust
Shaw House
21 State Circle
Annapolis, Maryland 21401
(301) 269-2438

FRANKLIN KING FARM (14/33)



Map compiled on May 18, 2004 at 1:55 PM | Site located on base sheet no. - 232NW09

NOTICE

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Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods.

This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended. - Copyright 1998

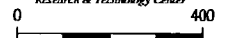
Key Map

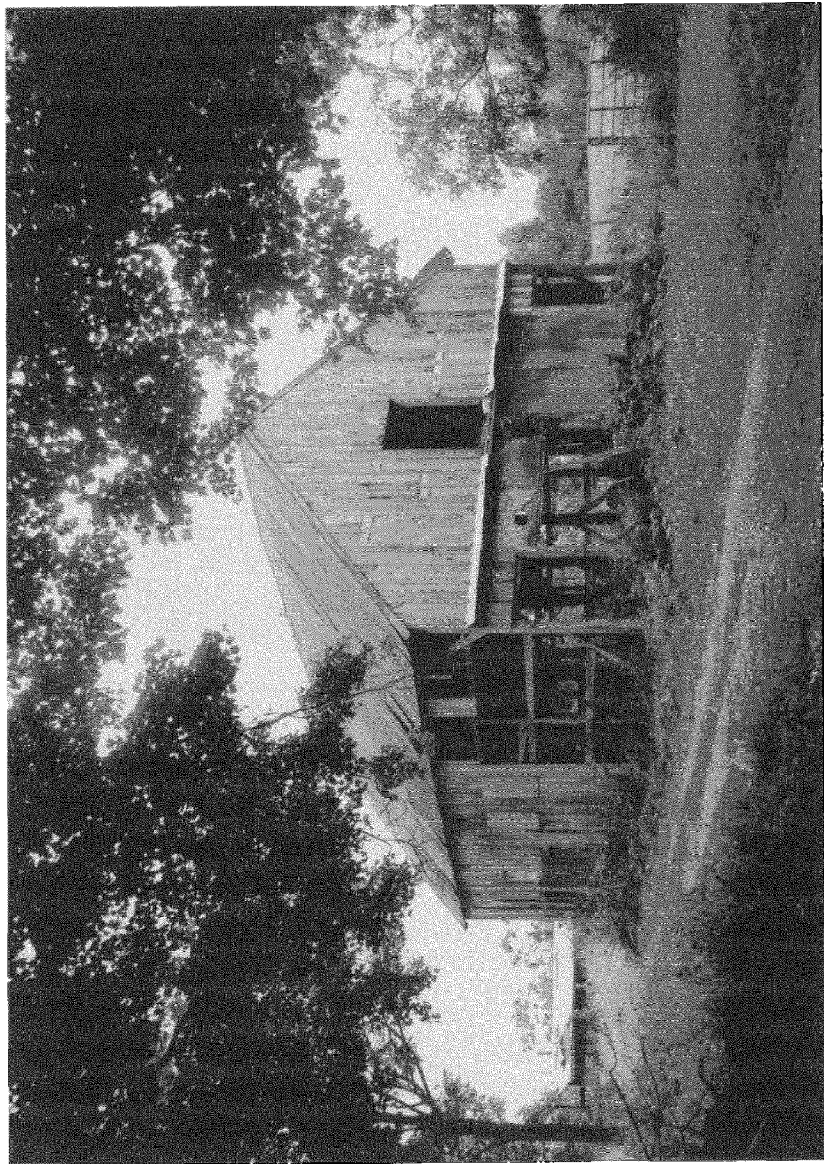
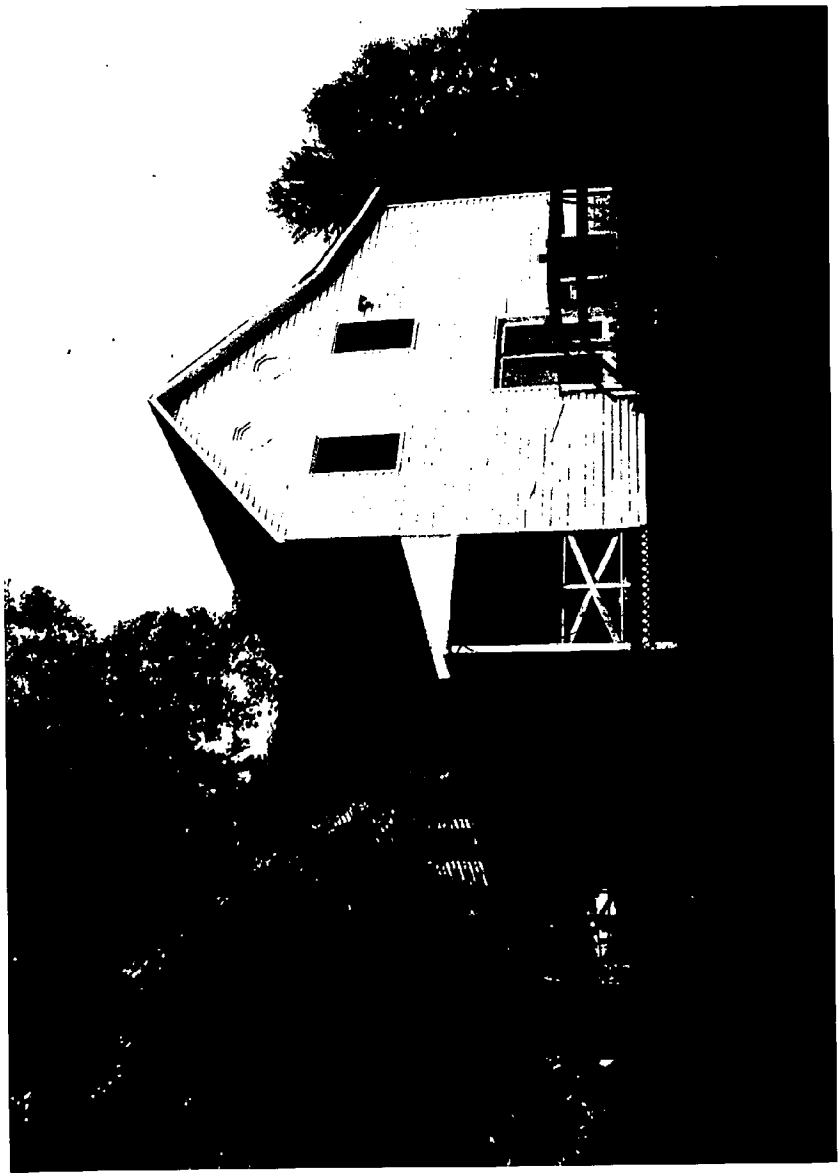


N



Research & Technology Center





STYLE NO. 57.4P



P.O. BOX 407638 - ORLANDO, FL 32869 - (407) 886-3100

Print File
ARCHIVAL PRESERVES



STYLE NO. 57-4P



P.O. BOX 607638 - ORLANDO, FL 32860 - (407) 896-3100

Print File
ARCHIVAL PRESERVER





14-33
CHARLES COLEMAN
9010 WATKINS ROAD

006 5022440001 1144 9 140

NORTH FACADE

7.25-2002
CLARE CAVICCHI

WESTERN INTERNATIONAL
KODAK SAFETY FILM

© 1991 KODAK SAFETY FILM

Kelly, Clare

Subject: 14/33 Charles Coleman/Franklin King Farm
Entry Type: Phone call
Start: Wed 11/9/2005 10:08 AM
End: Wed 11/9/2005 10:08 AM
Duration: 0 hours
Contacts: John Arness

John Arness of Liebner and Potkin, atty for purchaser
ph 202-244-0600 fax 202-244-8930

gathering info. House being sold through foreclosure. Now in ratification stage before the Circuit Court. The potential purchaser being told it's restricted by HP status.

told him it's already been reviewed by Plng Bd and not rec'd for designation. see 24A-10c
expected to go to County Council by spring 2006

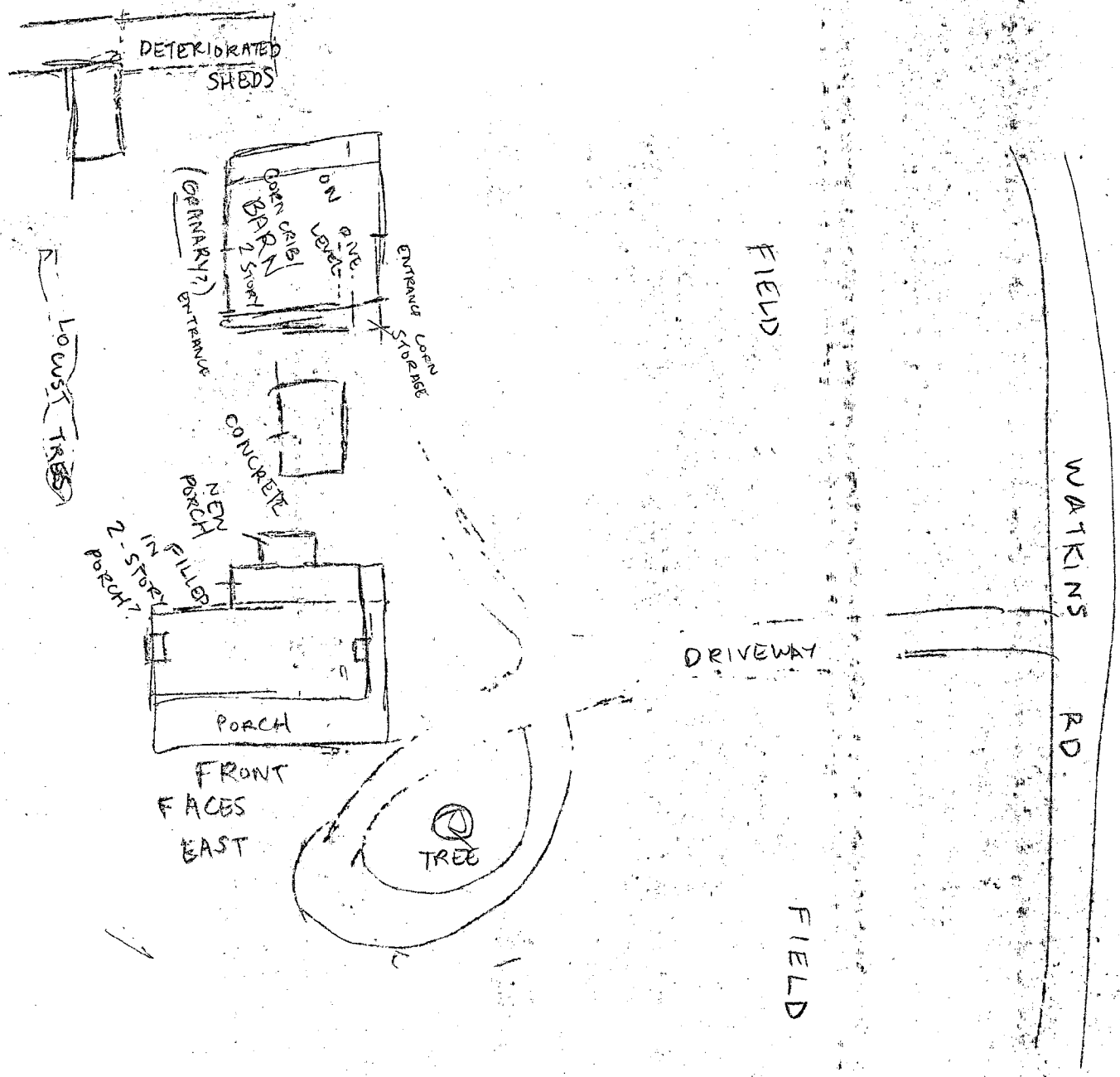
7-25-62

14-33

COLEMAN

9010 WATKINS RD.

N →



FIELD

DRIVEWAY

WATKINS RD.

FIELD

DETERIORATED SHEDS

(GEMMANY?) ENTRANCE

OPEN AREA
2 STORY

ENTRANCE
STORAGE

CONCRETE

NEW
PORCH

IN FILLED
2-STOREY
PORCH?

PORCH

FRONT
FACES
EAST

TREE

Field Visit - Oct 25, 1990
M. A. Rolland & Chae Caviochi

14/21 Purdum Hs. -

not 6/6 -

Aluminum claps and replacement windows
on well kept L shaped farmhouse.
with glass enclosed back porch, shed roofed rear
addition, and open gable roofed front entry porch.
Front door has transom, but no side lights, flanked
by picture windows.

Shed approx. 150 ft from house is early garage
with hinged doors - bad repair.

14/33 Charles Coleman - 9010 Watkins Rd.

Donna Duncan, owner. Wasn't aware it's on local historical Atlas
Renovation work underway - no address on form, so DEP
couldn't flag.

L Shaped Plan - front door faces NE

All new 4/1 double hung windows

Renovated porch wraps around 2 sides of house

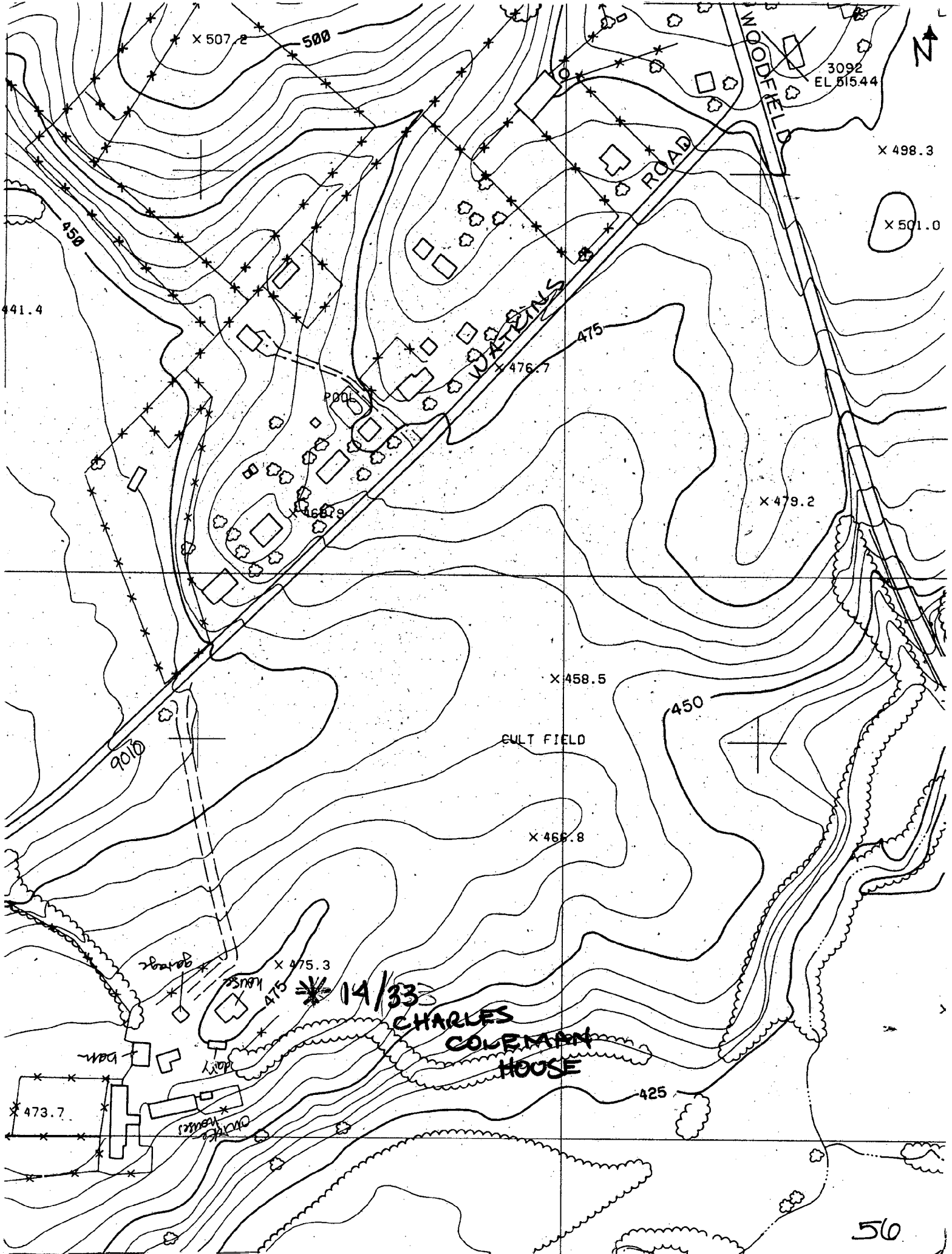
Vinyl siding just being installed

All doors changed to double glass doors

Barn and out building in bad condition, very long shed
has roof framing only.

Porch used to have turned posts and brackets.

suck off center stove chimney in main part, enclosed turning corner
stairs



Franklin King Farm
14/33 (Charles Coleman)

7-25-2002

Very tidy

New windows + door

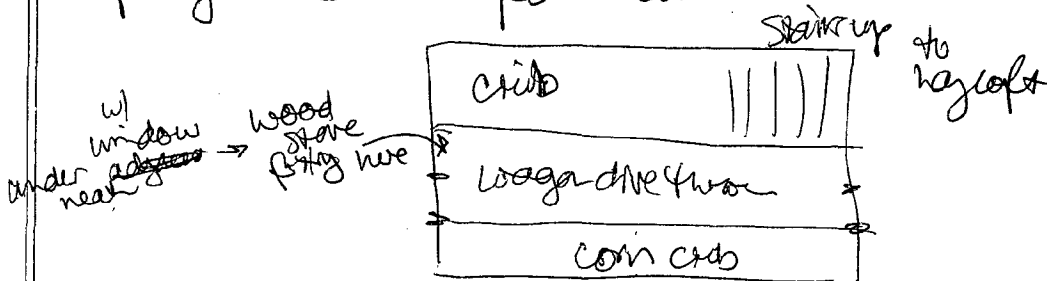
New porch deck, ceiling parts

wood pliers

Concrete steps

Core block of furnace fine
fiberglass single roof

ridged stone foundation



concrete deck behind house - former garage

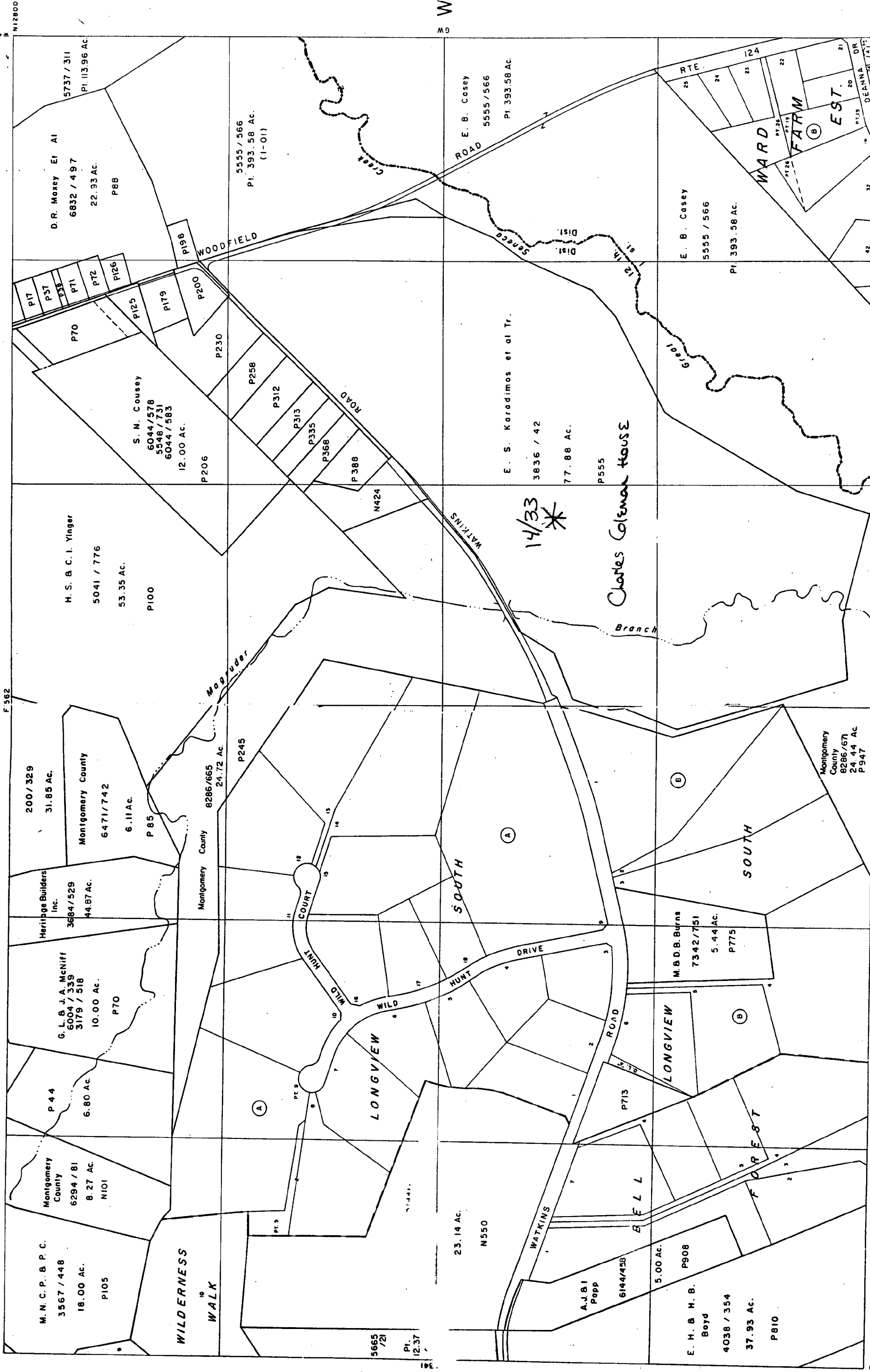
Dam w/ granary? can crib below w/ wagon drive through

loafing sheds

partially constructed
using some older construction
possibly dairy barn, older equip sheds
etc.

View to far S of woodfield

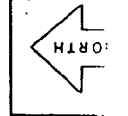
MAY OUT
OF DATE



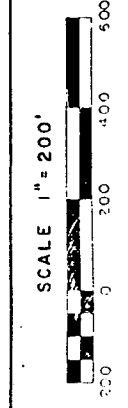
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LEGEND
 - - - - - ELECTION DISTRICT BOUNDARY
 - - - - - CORPORATE BOUNDARY
 P-768 PARCEL NO. IS USED FOR OWNERSHIP IDENTIFICATION AND MUST BE

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DIST.	CURRENT TO
1	7-1-88
12	7-1-88



LOCATIONAL ATLAS HISTORICAL SURVEY OF 400 RESOURCES
 SURVEY FORM
 ROBINSON & ASSOCIATES, SUMMER 1989

PRINCIPAL BUILDING

OUTBUILDINGS:

YES NO

HISTORIC NAME: Charles Coleman Farm

COMMON NAME: _____

ADDRESS: 9010 Watkins Road & Rte. 124

SITE NUMBER: 14/33 ATLAS MAP: 8 ATLAS COORDINATES: B-5 TAX MAP: FW561

	EXCELLENT	VERY GOOD	FAIR	POOR	N/A	UNKNOWN
INTEGRITY*				X		
ARCHITECTURAL SIGNIFICANCE			X			
ASSOCIATIVE HISTORY			X			

Resource is: demolished could not locate
 threatened, explain: House abandoned and not secured.

ASSIGNED CATEGORY: I II III **IV** V VI
 (See reverse side for explanation.)

NOTES: This house is abandoned and not secured properly. The porch has almost completely fallen off the house. Several windows are without glass and unboarded. Also on the property are several small, cinder-block outbuildings, some wooden sheds, and one barn in ruinous condition.

*Integrity is defined as the maintenance of original features and/or lack of substantial alteration to the resource.

Category Explanation:

- I. Outstanding resource architecturally and/or historically. Most resources in Category I either maintain the highest level of integrity or are invaluable as ruinous evidence of former significant structures. Should be evaluated immediately for Master Plan designation.**
- II. Very good resource architecturally and/or historically. Most resources in Category II maintain their basic integrity. Should be evaluated promptly for Master Plan designation.**
- III. Good resource architecturally and/or historically. Some resources in Category III have a diminished level of integrity. Should be evaluated for Master Plan designation, but with lower priority.**
- IV. Marginal resource. Falls into one or more of the following categories: 1) severely deteriorated, 2) heavily altered, 3) architectural character not strong, 4) historical significance not apparent, 5) only typical of a large number of comparable resources. Lowest priority for evaluation for Master Plan designation.**
- V. Resource which is either demolished or which could not be located based on information given on survey form. Remove demolished structures from Locational Atlas and, if after further study the resources not located to date cannot be located, remove from Locational Atlas.**
- VI. Resource was inaccessible at time of survey.**



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

February 14, 2002

Dear Property Owner,

Historic preservation planning staff is beginning the evaluation of historic resources in the Goshen-Damascus area. The historic evaluation of these properties is taking place at this time because of the upcoming update of the Damascus Area Master Plan that is scheduled to begin in the next year.

Records indicate that you are the owner of the Charles Coleman Farm, at 9010 Watkins Road (Resource # 14/32). Your property was identified on the 1976 *Locational Atlas and Index of Historic Sites* as being of potential historic significance, or was noted by planning staff as being of potential historic merit. Staff will be visiting each of the 60 sites under consideration, to document the property with photographs. If you would like us to make an appointment with you for this site visit, please call our office at 301-563-3400.

Evaluation of historic resources is a careful process, as the enclosed chart reveals. The Historic Preservation Commission, Planning Board, and County Council review each property, evaluating every proposed designation to see whether it meets Historic Preservation Ordinance criteria for historic or architectural significance that would warrant its protection. Each reviewing body holds public hearings, with the County Council having the final say on all designations. Not all nominated properties are designated. Over 425 resources have been found to be ineligible for designation and have been removed from the *Locational Atlas*. The entire evaluation process typically takes about one year.


Historic designation helps to manage change, so that new construction or landscaping is accomplished in sympathy to the historic character of a property. The enclosed brochure explains in more detail the effects of designation, including tax credits that are available for restoration work.

Site visits and photographic documentation are the first step in researching historic properties. Staff will also be consulting land records, tax assessments, family histories, and other documents. Staff will summarize findings in a Maryland Historical Trust inventory form for each property. If you know of resources that would be useful in conducting this research, please contact me at 301-563-3400. Feel free to contact me concerning the designation process in general or about your own property. I can be reached by phone Tuesday through Thursday, or by e-mail at clare.cavicchi@mncppc-mc.org.

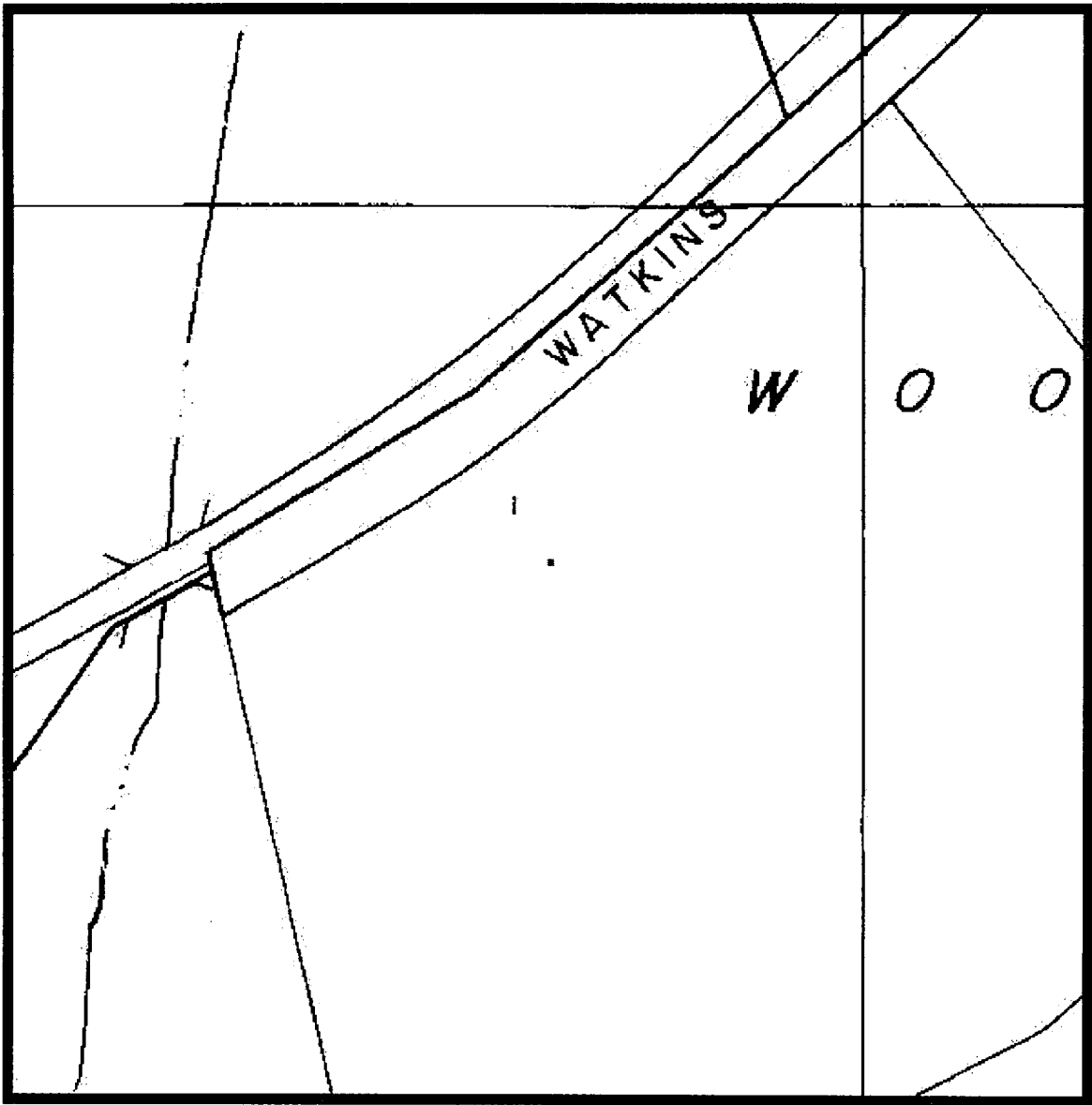
Sincerely,

Clare Lise Cavicchi, Historic Preservation Planner

MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING, 8787 GEORGIA AVENUE, SILVER SPRING, MARYLAND 20910
www.mncppc.org

	Maryland Department of Assessments and Taxation MONTGOMERY COUNTY Real Property Data Search	Go Back View Map New Search
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District - 12 Account Number - 02873874



Property maps provided courtesy of the Maryland Department of Planning ©2000.
For more information on electronic mapping applications, visit the Maryland Department of Planning
web site at www.mdp.state.md.us

Montgomery County Census 1900

- 258 King, Franklin Monroe
 14/33 Mary Avondale
 William O.
 Jan 1876 marr 2 yrs. own mortgaged farm
 Feb 1878 1 ch 1 living [Watkins]
 Apr 1899
- 259 King, James Rufus
 14/32 Della W.
 Young, Anna R.
 Burdett, James W.
 May 1871 marr 4 yrs. owns mortgaged farm
 Mar 1879 0 ch
 Jul 1893 cousin
 Sept 1860 cousin, farm laborer
- 260 Burdette, James Franklin
 Iona M. Snyder
 Robert C.
 Infant
 Oct 1870 marr 3 yrs. owns mortgaged farm
 Feb 1878 2 ch 2 living
 Mar 1898
 Mar 1900 (daughter)
- 261 Burns, Eliza A.
 Rufus T.
 Walter W.
 Mar 1836 wd. 10 ch 7 living father: Va. owns, free, house unemployed
 Nov 1863 farm laborer
 Apr 1877 farm laborer
- 262 Miles, John W.
 Ellen J.
 Nov 1829 marr 47 yrs. unemployed, owns mortgaged farm
 June 1834 10 ch 9 living
- 263 Bright, Franklin B.
 Della M.
 Rosalie E.
 Jan 1860 marr 2 yrs. b. DC parents: Pa. owns mortgaged farm
 May 1879 2 ch 1 living
 Mar 1899 b. Md
- 264 Thompson, Millard F.
 Julia A.
 Dorsey L.
 Homer
 Dora B.
 Archie R.
 Nov 1886 marr 21 yrs., owns mortgaged farm
 Mar 1862 5 ch 5 living
 Nov 1880 farm laborer
 Jan 1885 attends school
 Nov 1887
 Aug 1889
- 265 Sanders, John
 Sarah
 Jan 1840 marr 13 yrs. b. Pa parents: Pa farm laborer
 Sept 1848 2 ch 2 living
- 266 Woodfield, John R.
 Nettie
 Laura R.
 Rosa L.
 John A.
 Thompson, Arthur
 Aug 1850 marr 22 yrs. owns, free, farm
 Jun 1860 5 ch 4 living
 May 1884 attends school
 Mar 1886 attends school
 June 1891 attends school
 May 1882 farm laborer
- 267 Unglesbee, William
 Mina
 Nora B.
 Maude I.
 Robert W.
 Aug 1868 marr 12 yrs. owns, free, farm
 Jan 1871 3 ch 3 living
 Feb 1890 attends school
 Dec 1891
 Mar 1895
- 268 Hilton, John B.
 Sarah E. Brown
 William W.
 Honer D.
 Thomas G.
 Grover
 Dorothea
 Brown, Richard
 Jan 1839 marr 28 yrs. owns, free farm
 Aug 1854 7 ch 5 living
 Nov 1876 farm laborer
 Mar 1878 (daughter)
 Apr 1880 farm laborer
 Jan 1895
 Jul 1895
 Jan 1865 brother-in-law

← 14133
 ←

14.33

King Apr 29, 1917

W. Grave (Wesley Grave)
~~WASH. GRAVE~~

Frank M

Arundale M.

Ch: Wm Oliver 18

May Frances 16

Julian P 13

Marjorie R 8

Noah F 4

Jeremiah L 1

All christened

(LAYTONSVILLE CIRCUIT)

(MINISTER 1917-1921)

Methodist

Rev. Chas F Boss Jr
Laytonsville

Church Record Book ~~1905~~ c1917
in LAYTONSVILLE HISTORICAL CENTER, Laytonsville Elem School

orig
Not
1935

Allnut John attending church, member

Bessie C " "

Charlotte Lee, christened, born Aug 21, 1912

Paul C " June 13, 1914

Benson, Wesley Grove - at present working at Topkams

1601 1st NW, Wash DC

children: Kathryn

11/21

Bouman, Aden McKendree

Damascus

4-26-1917

Jamima E

ch: Mary Elizabeth 14y

McKendree 5y

Methodist subscribers

Bouman, Resin Washington MT Taber

M^{ry} Virginia

attends MT Taber, member Geopie N.E.

ch: ~~M^{ry} Maurine~~ Maurine 6y 1911

11/4?

Burdick, Nathan J.

Damascus

visit Aug 17, 1917

Duval, Wesley Grove

Z. Thompson

Marion L

children: Vivian Poole - Washington (born?)

Mrs. Nettie Purdum - "

Mrs. John Stammers "

Z. Allen 8

George Perry 18

Mary Alma 16

Achsah Louise 14

Minnie 12

Hattie Estelle 10

Wesley Grove

Damascus
Laytonsville
Mt Taber

W E (Laytonsville Circuit)