

#22/07-01B 18400 Muncaster Road, W  
Derwood - barn reconstruction, paving  
& new construction

**The Edgecombe  
Group, Inc.**

*Architecture/Urban Design  
Landscape Architecture  
Planning / Preservation*

**Leland E. Edgecombe**  
*President*

AIA, AICP, ASLA



3415 Hamilton Street  
Suite #6  
Hyattsville, MD. 20782

Tele: 301-864-0042  
Fax: 301-864-8833  
leland@edgecombegroup.com

PROJECT CONTACTS:

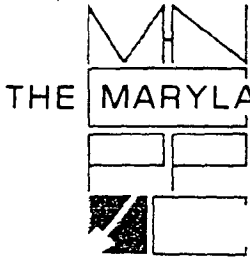
DLUDWIG@MNCPPC.STATE.MD.US

DOUG LUDWIG 301-948-5053

JEFF RAINES 301-721-0312

MIKE ROTH 301-353-6940

KEITH BUTLER 301-495-2549



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 7/2/01

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit HPC# 22/07-01B DPS# 250058

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: ① Material specifications for handicapped parking spaces + walkway to be reviewed and approved at staff level. ② The walkway from barn to parking area to be located at an angle to eliminate the additional surface area to the west of the parking spaces. This design is to be approved by staff.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: MNCPPC (Leland Edgercombe, Architect)

Address: 9500 Brunnet Avenue Silver Spring, MD

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.

20901



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: KELAND EDGEcombe
Daytime Phone No.: 301-864-0042

Tax Account No.:
Name of Property Owner: MNGPPC Daytime Phone No.: 301-495-2549
Address: 18400 MUNCASTER ROAD DERWOOD, MD.
9300 Brunett Ave Silver Spring, MD 20901
Contractor: N/A Phone No.:
Contractor Registration No.:
Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 18400 MUNCASTER Street: MUNCASTER ROAD
Town/City: DERWOOD Nearest Cross Street: MUNCASTER MILL ROAD
Lot: Block: Subdivision:
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other:
1B. Construction cost estimate: \$ 550,000.00
1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Keland Edgecombe Date: June 5, 2001

Approved: X/W/CONDITIONS For the person, Historic Preservation Commission
Disapproved: Signature: Date: 7/2/01
Application/Permit No.: 250058 Date Filed: 6/16/01 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

INSTALLATION OF FOUR HANDICAPPED PARKING SPACES AND A 10' WIDE WALKWAY FROM PARKING SPACES TO BARN ENTRANCE. STABILIZATION OF BANK-BARN.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

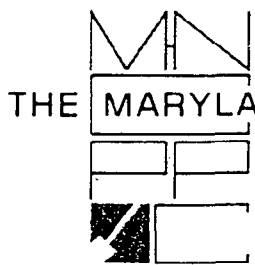
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

file



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 7/2/01

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits  
HPC# 22/07-01B DPS# 250058

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Prior to your permit submission, you must present Historic Preservation staff with 3 permit sets of drawings for review and stamping. In addition, please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

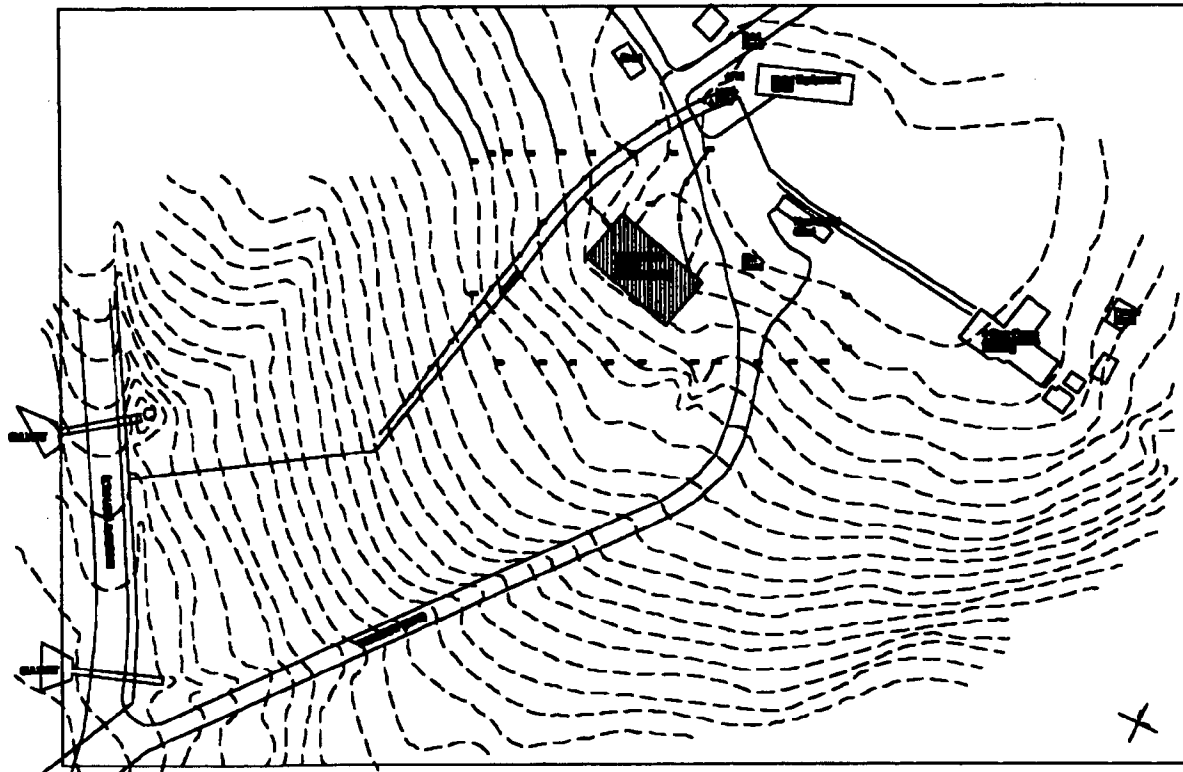
When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

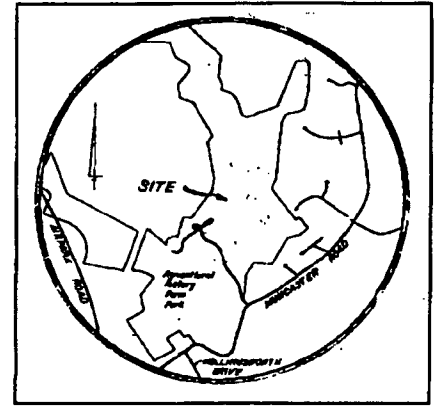
Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ **permits.emontgomery.org** of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
 7/2/01



EXISTING SITE PLAN



SITE VICINITY MAP



design	
DATE	7/2/01
DESIGNED BY	SP-1
DATE	7/2/01
DESIGNED BY	SP-1
DATE	7/2/01
DESIGNED BY	SP-1
DATE	7/2/01
DESIGNED BY	SP-1

**THE EDGECOMBE GROUP, Inc.**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 URBAN DESIGN  
 PLANNING



The Maryland-National Capital  
 Park and Planning Commission  
 Montgomery County  
 Department of Park and Planning  
 6800 Branch Road  
 Silver Spring, Maryland 20910  
 301-455-8848

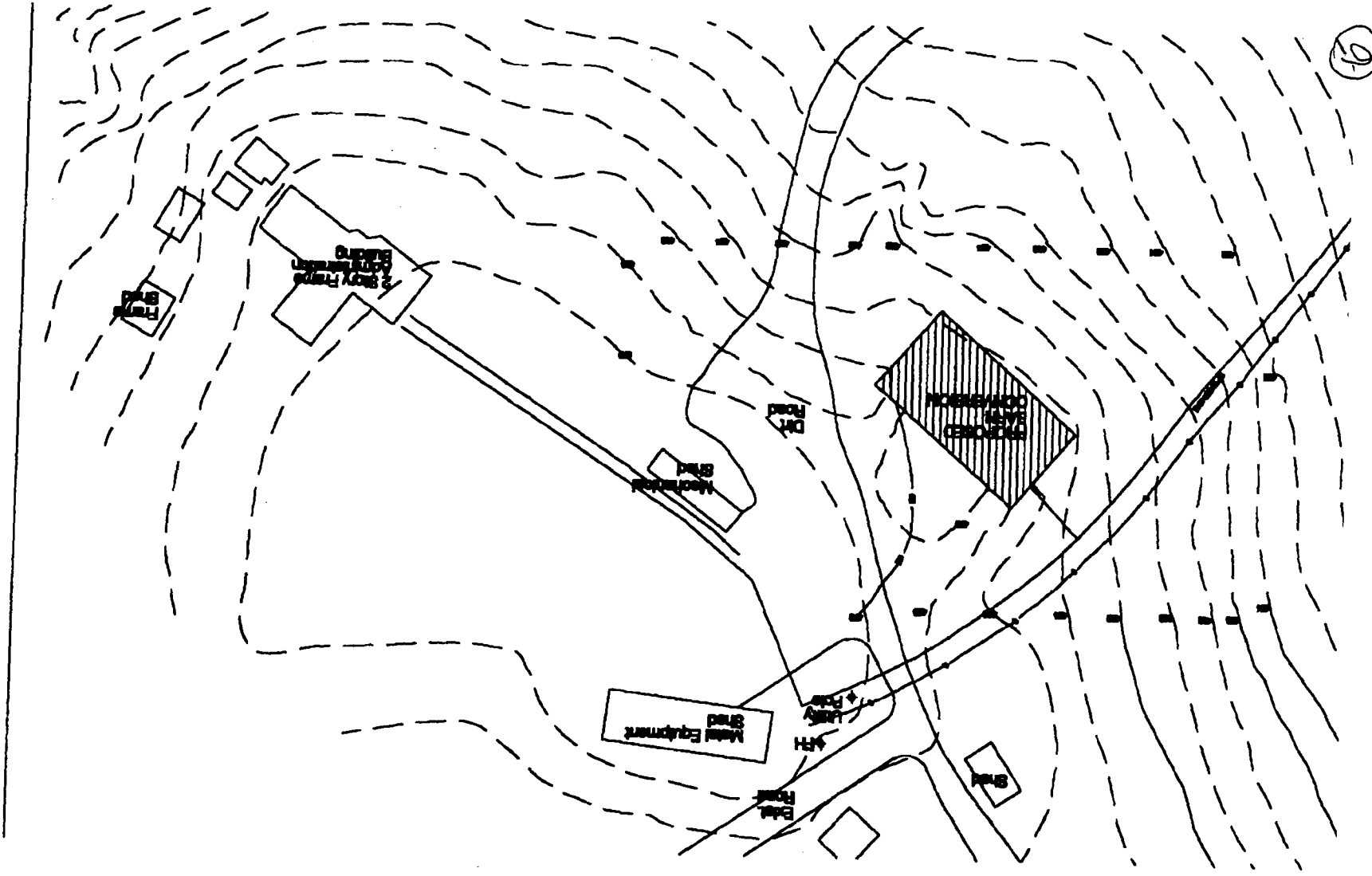
revision			
NO.	DATE	BY	REVISION

PROJECT NO.: 01P-00010  
**Agricultural History Farm  
 Park Barn Conversion**  
**EXISTING SITE PLAN**  
 sheet SP-1

5

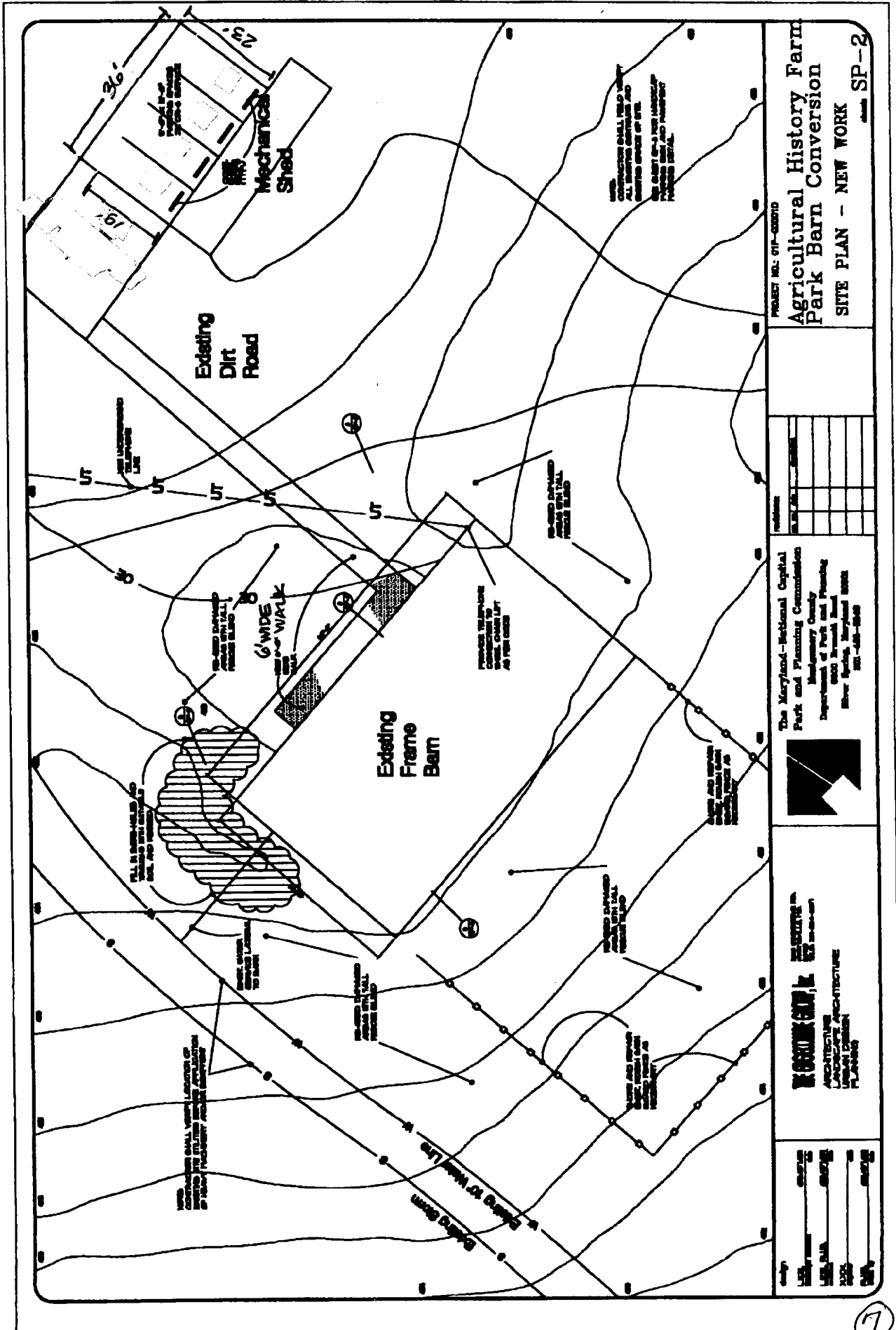


SITE



APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Handwritten Signature]*  
 10/21/01 (10)



PROJECT NO: 01-08010  
**Agricultural History Farm  
 Park Barn Conversion**  
 SITE PLAN - NEW WORK sheet SP-2

NO.	DATE	DESCRIPTION

The Maryland-National Capital  
 Park and Planning Commission  
 Montgomery County  
 Department of Park and Planning  
 8000 Research Road  
 Silver Spring, Maryland 20910  
 TEL: 410-386-8000



**THE EDGECOMBE GROUP, INC.**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

DATE	
BY	
CHECKED BY	
SCALE	

APPROVED  
 Montgomery County  
 Historic Preservation Commission

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	18400 Muncaster Road	<b>Meeting Date:</b>	06/27/01
<b>Resource:</b>	<u>Master Plan Site #22/07</u>	<b>Report Date:</b>	06/20/01
<b>Review:</b>	HAWP	<b>Public Notice:</b>	06/13/01
<b>Case Number:</b>	22/07-01B	<b>Tax Credit:</b>	None
<b>Applicant:</b>	M-NCPPC (Leland Edgecombe, Architect)	<b>Staff:</b>	Michele Naru

**PROPOSAL:** Barn reconstruction, walkway and handicapped parking installation

**RECOMMEND:** Approve w/ conditions

1. Material specifications for the handicapped parking spaces and the walkway are to be reviewed and approved at staff level.
2. The walkway from the barn to the parking area to be located at an angle to eliminate the additional surface area to the west of the parking spaces. This design is to be approved by staff.

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**PROJECT DESCRIPTION**

SIGNIFICANCE: Bussard Farm, Master Plan Site #22/07  
 STYLE: Bank Barn  
 DATE: 1898

The frame bank barn is part of a collection of outbuildings associated with the Master Plan site, Bussard Farm. The Bussard Farm is a 70-acre property, built prior to 1900, and is directly associated with the Bussard family and provides an important link to Montgomery County's history and heritage. In addition to the bank barn, the site contains a two-story frame farmhouse dating from 1908, a log smokehouse and a granary. Additionally, the Commission recently approved the installation of a sawmill and the relocation of the Jeremiah Norwood Farm's corn crib to this site.

The three level, four-bay, frame, German bank barn is covered with a side gable roof sheathed in wood shingles. The barn was built on a fieldstone foundation and the walls are clad in German siding. The German details of the barn are the open, posted forebay, the wagon doors located on the side gable, the raised barn detail with an earthen ramp built to the wagon doors, the German cladding, the basement doors being on the gable end, the louvered ventilators and the symmetrical gable profile.

## PROPOSAL:

The proposed project involves the stabilization of the bank barn and the installation of four, handicapped parking spaces and 6' wide walkway to the site. The stabilization of the barn will entail the removal of rotten wood structural members and the replacement in-kind with new timbers using the same joining techniques, the replacement in-kind of the wood, German siding and the replacement in-kind of the wood, roof shingles. Additionally, the applicants are proposing the installation of four, handicapped parking spaces to be located behind the existing mechanical shed and the installation of a walkway from the proposed parking spaces to the bank barn.

## STAFF DISCUSSION

The bank barn is in deteriorating condition and staff commends the applicants desire to stabilize and ultimately rehabilitate this historic hay barn. The applicant's long-term scope of work for this project is to use the barn as an interpretive museum, which will display farm equipment and tools that were used on an early 19<sup>th</sup> century farmstead.

Staff will note that the applicant's proposal for the stabilization of the barn through the replacement in-kind of deteriorating materials does not require HPC review. Staff would appreciate the opportunity to be kept informed and consulted throughout this project.

The items to be reviewed by the HPC in this application are the construction of the four, handicapped parking spaces behind the mechanical shed and a 6' wide, walkway leading from the parking area to the rear, north elevation of the barn. Staff would suggest that the proposed walkway be more at an angle from the barn to the parking spaces to eliminate the additional surface to the west of the spaces, which was designed in order for the walkway to be perpendicular to the barn and the parking lot. Staff is requesting that the Commission approve the location of the parking spaces and a modified design of the walkway and leaving the material specification to be reviewed and approved at staff level. Staff and the architect are in the process of researching various sympathetic materials to be used at this site that are ADA compliant.

## STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve with condition** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the conditions:

1. Material specifications for the handicapped parking spaces and the walkway are to be reviewed and approved at staff level.
2. The walkway from the barn to the parking area to be located at an angle to eliminate the additional surface area to the west of the parking spaces. This design is to be approved by staff.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 or online at [www.permits.emontgomery.org](http://www.permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: FELAND EDGECOMBE

Daytime Phone No.: 301-864-0042

Tax Account No.: \_\_\_\_\_

Name of Property Owner: MNCPPC Daytime Phone No.: 301-495-2549

Address: 18400 MUNCASTER ROAD DERWOOD, MD.

9300 <sup>Street Number</sup> BRUNETT AVE <sup>City</sup> SILVER SPRING, <sup>State</sup> MD 20901 <sup>Zip Code</sup>

Contractor: N/A Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

## LOCATION OF BUILDING/PREMISE

House Number: 18400 ~~MUNCASTER~~ Street: MUNCASTER ROAD

Town/City: DERWOOD Nearest Cross Street: MUNCASTER MILL ROAD

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- Construct     Extend     Alter/Renovate  
 Move     Install     Wreck/Raze  
 Revision     Repair     Revocable

### CHECK ALL APPLICABLE:

- A/C     Slab     Room Addition     Porch     Deck     Shed  
 Solar     Fireplace     Woodburning Stove     Single Family  
 Fence/Wall (complete Section 4)     Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 550,000.00

1C. If this is a revision of a previously approved active permit, see Permit # N/A

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal:    01  WSSC    02  Septic    03  Other: \_\_\_\_\_

2B. Type of water supply:    01  WSSC    02  Well    03  Other: \_\_\_\_\_

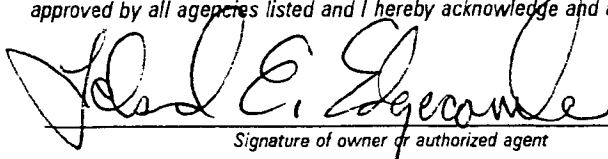
## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line     Entirely on land of owner     On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

  
Signature of owner or authorized agent

JUNE 5, 2001  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

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PHOTO #1 - EAST ELEVATION

REFLECTS DETERIORATED WOOD LAP BOARD SIDING AND PEELING PAINT. EAVES ARE IN VARIOUS STAGES OF DISREPAIR AND VENTILATING WINDOW OPENINGS WILL REQUIRE REPAIR AND/OR REPLACEMENT.

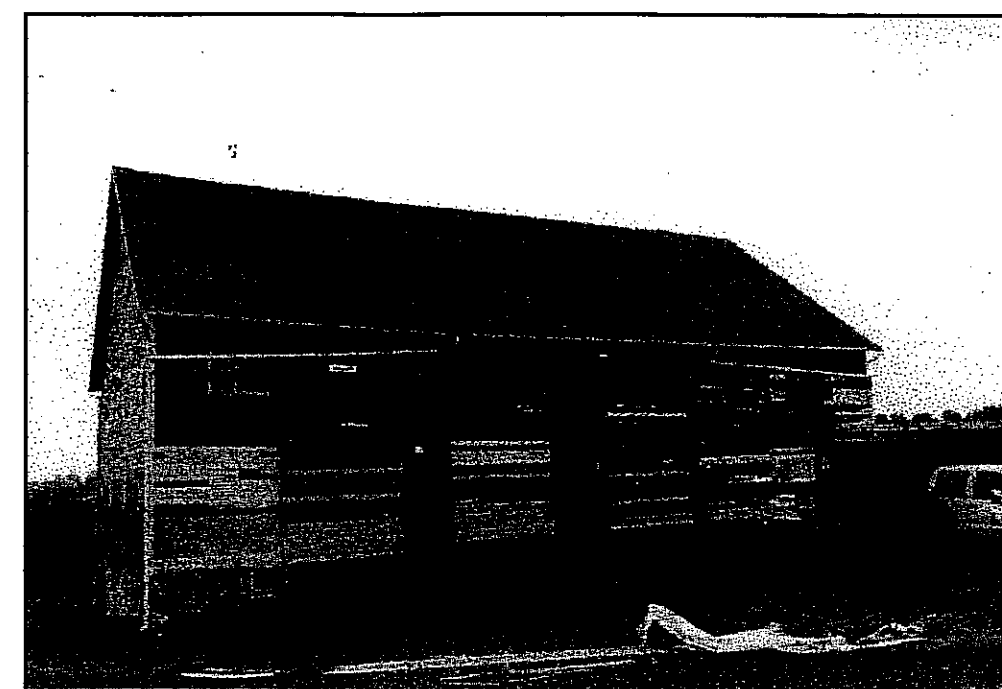


PHOTO #2 - NORTH ELEVATION

CEDAR SHAKE ROOFING SHINGLES ARE IN FAIR TO GOOD CONDITION THROUGHOUT. WATER INFILTRATION HAS BEEN CAUSED BY SOME DETERIORATED ROOF SHINGLES AS WELL AS WOOD SIDING. BARN DOORS AND STORM WATER DRAINAGE SYSTEM ARE IN GOOD CONDITION.



PHOTO #3 - SOUTH ELEVATION

RIGHT SIDE OF SOUTH ELEVATION EXHIBITS NOTICEABLE "BOW" IN THE WALL. OVERALL, THE BUILDING WAS MEASURED TO BE APPROX. TWO INCHES (2") OUT OF PLUMB. THE BARN DOORS ARE IN RELATIVELY GOOD CONDITION.



PHOTO #4 - EAST ELEVATION

EXTERIOR PAINT IS PEELING AND MAY REQUIRE TOTAL REMOVAL PRIOR TO APPLICATION OF A PRIMER AND FINISH COAT. THE STONE RUBBLE WALL HAD BEEN COATED WITH A WHITE PLASTER WASH WHICH HAD BEEN PARTIALLY REMOVED OR WEATHERED AWAY. WHILE THE STONE APPEAR TO BE SOUNDLY IN-PLACE, THE MORTAR IS IN DISREPAIR IN VARIOUS LOCATIONS.

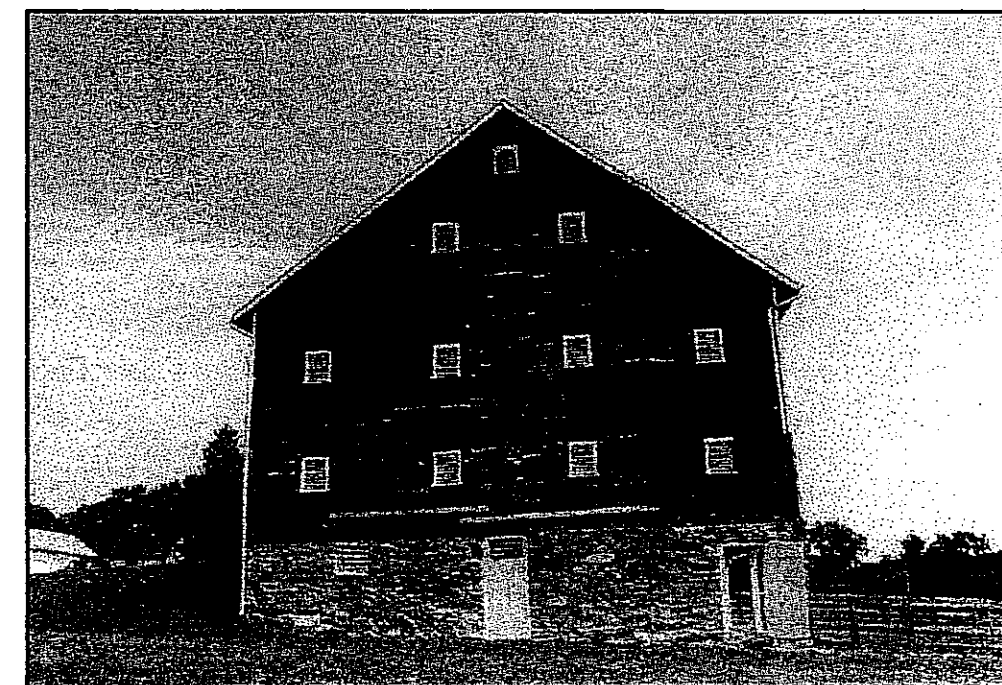


PHOTO #5 - EAST ELEVATION

ADDITIONAL SIDING REMOVED ALONG EAST ELEVATION TO EXHIBIT DETERIORATING CONDITIONS OF PERIMETER WALL STRUCTURE.



PHOTO #6 - EAST ELEVATION

SOUTH EAST CORNER OF FACADE EXHIBITS DETERIORATED HORIZONTAL AND VERTICAL STRUCTURAL WOOD SUPPORTS.

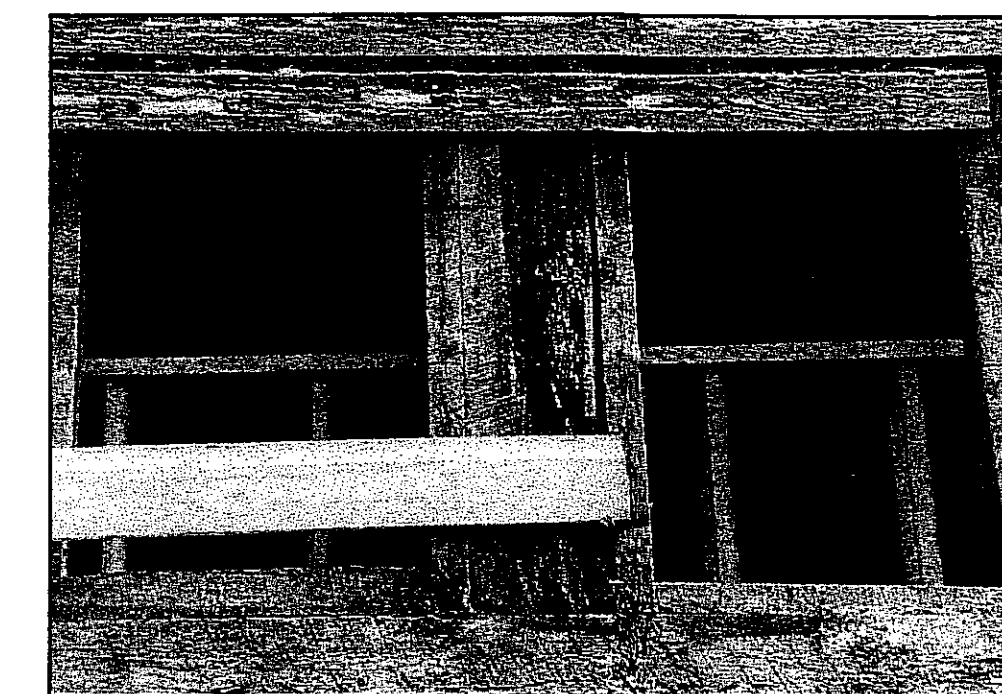


PHOTO 7 - EAST ELEVATION

DETAIL OF ROTTED WOOD SILL AND VERTICAL SUPPORT MEMBERS ALONG SOUTH EAST CORNER OF BARN.



PHOTO #8 - EAST ELEVATION

DETAIL OF ROTTED WOOD SILL AND VERTICAL SUPPORT MEMBERS ALONG WEST FACADE.

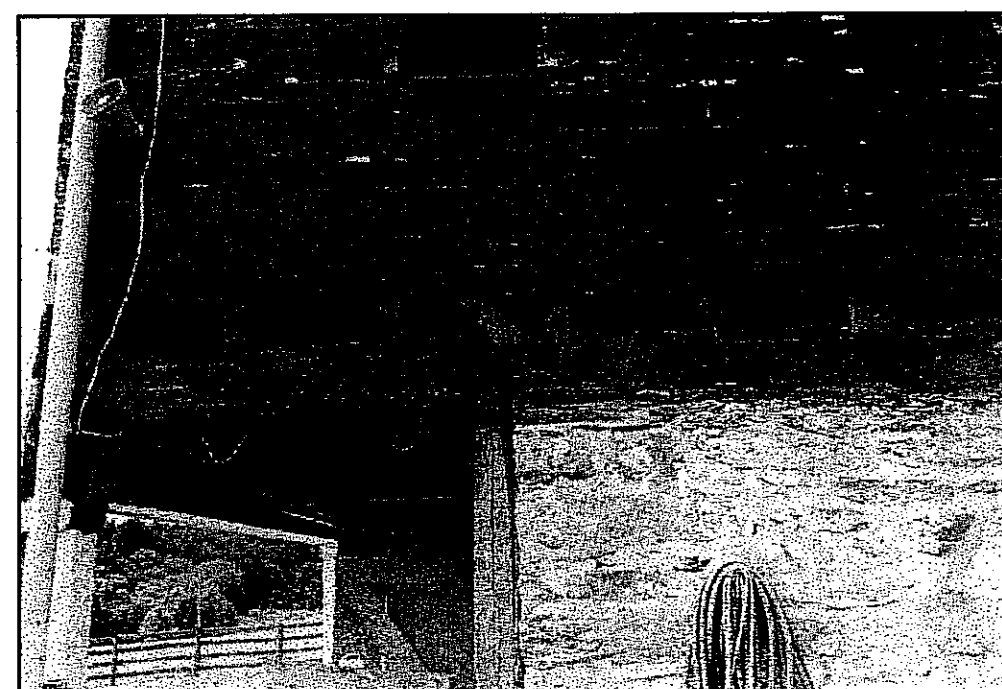


PHOTO #9 - WEST ELEVATION

SILL HAS DETERIORATED ALONG WITH THE LOWER EXTENT OF THE VERTICAL SUPPORTS ALONG PERIMETER WALL.

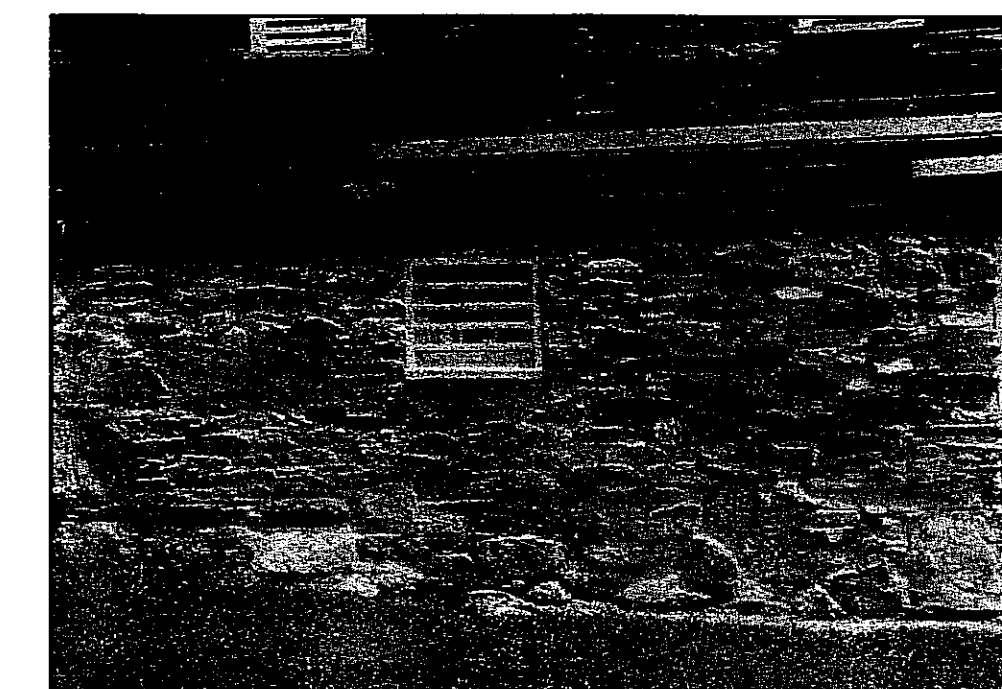


PHOTO #10 - EAST ELEVATION

STONE RUBBLE FOUNDATION WALL IS IN RELATIVELY GOOD CONDITION. WALL SHOULD BE POWER WASHED TO REMOVE OLD LOOSE MORTAR AND OLD PAINT, AND "POINTED-UP" WITH MORTAR SIMILAR IN COLOR AND TEXTURE.



PHOTO #11 - NORTH ELEVATION

EXISTING DETERIORATED WOOD LAP SIDING HAS BEEN REPLACED WITH TWO TYPES: A NATURAL GRAIN WOOD AS WELL AS A PRE-FINISHED SIDING WITH A FLAT PRIMER. THE "TRUST" COLORED SIDING SHOULD HAVE ITS PAINT REMOVED AND RE-FINISHED.



PHOTO #12 - WEST ELEVATION

EXISTING SILL HAS DETERIORATED POSSIBLY BEYOND THE POINT OF USEFULNESS. SOME VERTICAL SUPPORTS HAVE LOST THEIR POINTS OF CONNECTION TO THE EXISTING SILL.

design  
 XXX  
 landscape architect date  
 LEE  
 architect 09/12/00 date  
 XXX  
 engineer date  
 RJB  
 drawn by 09/12/00 date

**THE EDGEcombe GROUP, Inc.**

ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 URBAN DESIGN  
 PLANNING

1903 WOODREEVE RD.  
 HYATTSVILLE, MD.  
 20782  
 TELE: 301-864-6231



The Maryland-National Capital  
 Park and Planning Commission  
 Montgomery County  
 Department of Park and Planning  
 9500 Brunett Road  
 Silver Spring, Maryland 20901  
 301-495-2549

revisions:		
rev. no.	date	description

project  
 Agricultural History Farm  
 Park Barn Conversion

Existing Conditions  
 Photographs



PHOTO #1 - EAST ELEVATION

REFLECTS DETERIORATED WOOD LAP BOARD SIDING AND PEELING PAINT. EAVES ARE IN VARIOUS STAGES OF DISREPAIR AND VENTILATING WINDOW OPENINGS WILL REQUIRE REPAIR AND/OR REPLACEMENT.

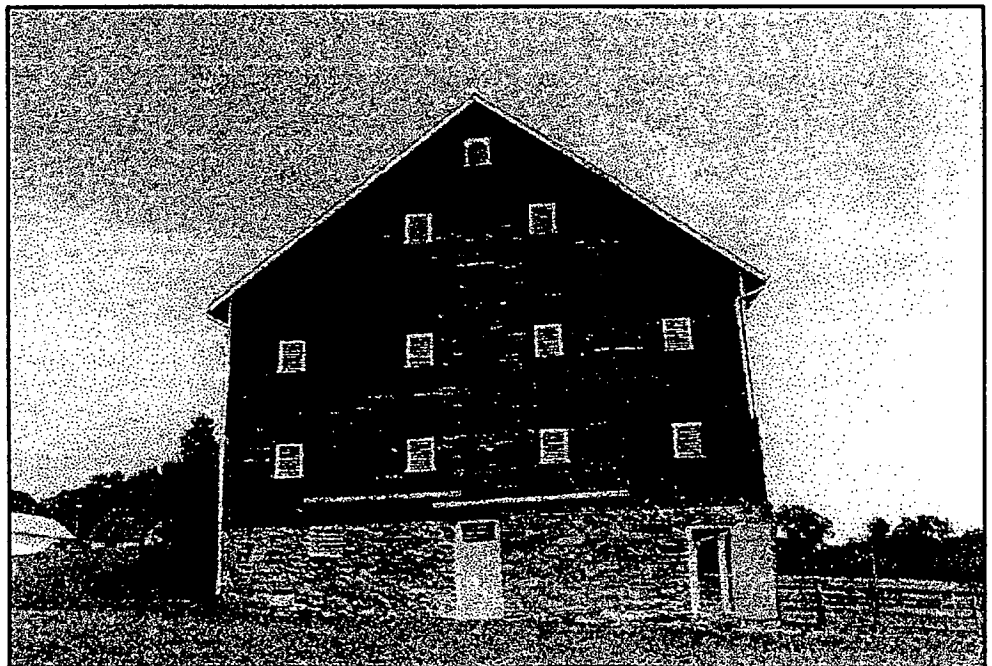


PHOTO #5 - EAST ELEVATION

ADDITIONAL SIDING REMOVED ALONG EAST ELEVATION TO EXHIBIT DETERIORATING CONDITIONS OF PERIMETER WALL STRUCTURE



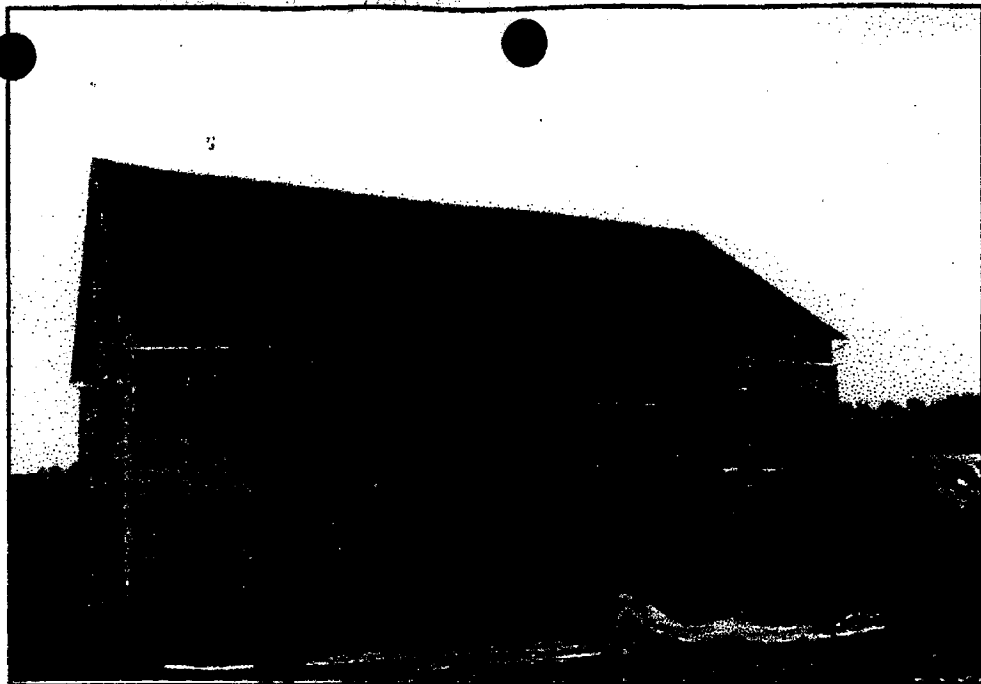


PHOTO #2 - NORTH ELEVATION

CEDAR SHAKE ROOFING SHINGLES ARE IN FAIR TO GOOD CONDITION THROUGHOUT. WATER INFILTRATION HAS BEEN CAUSED BY SOME DETERIORATED ROOF SHINGLES AS WELL AS WOOD SIDING. BARN DOORS AND STORM WATER DRAINAGE SYSTEM ARE IN GOOD CONDITION.

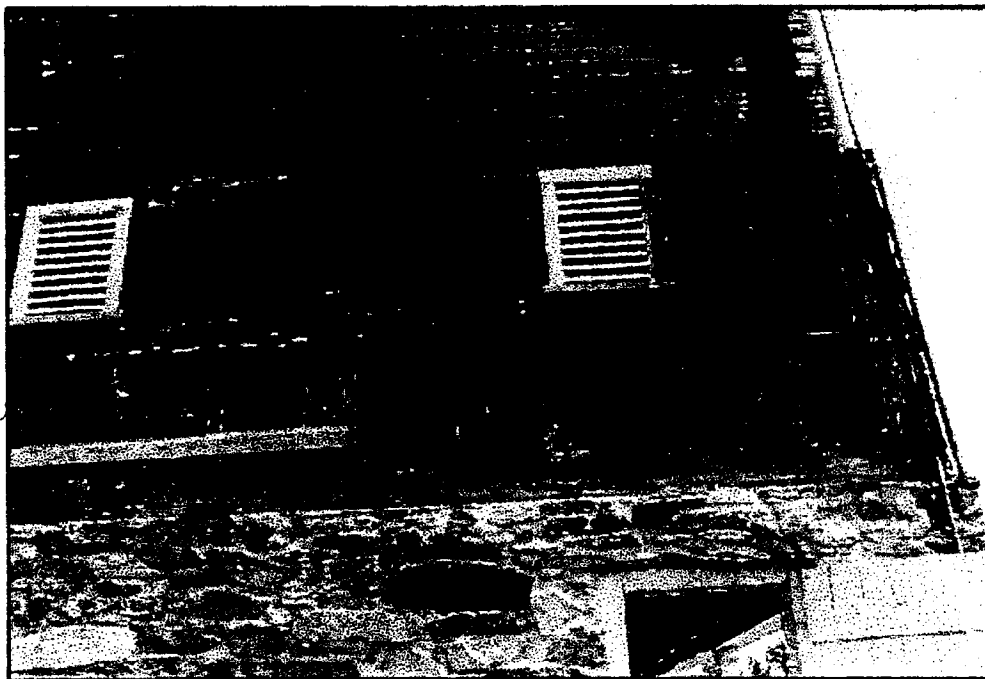


PHOTO #6 - EAST ELEVATION

SOUTH EAST CORNER OF FACADE EXHIBITS DETERIORATED HORIZONTAL AND VERTICAL STRUCTURAL WOOD SUPPORTS.

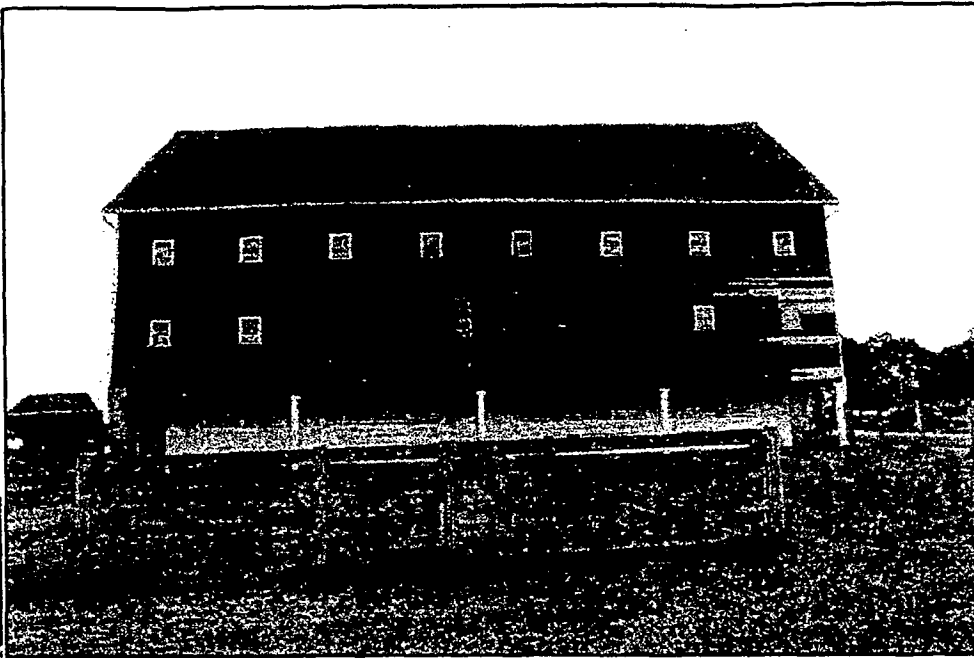


PHOTO #3 - SOUTH ELEVATION

RIGHT SIDE OF SOUTH ELEVATION EXHIBITS NOTICEABLE "BOW" IN THE WALL. OVERALL, THE BUILDING WAS MEASURED TO BE APPROX. TWO INCHES (2") OUT OF PLUMB. THE BARN DOORS ARE IN RELATIVELY GOOD CONDITION.

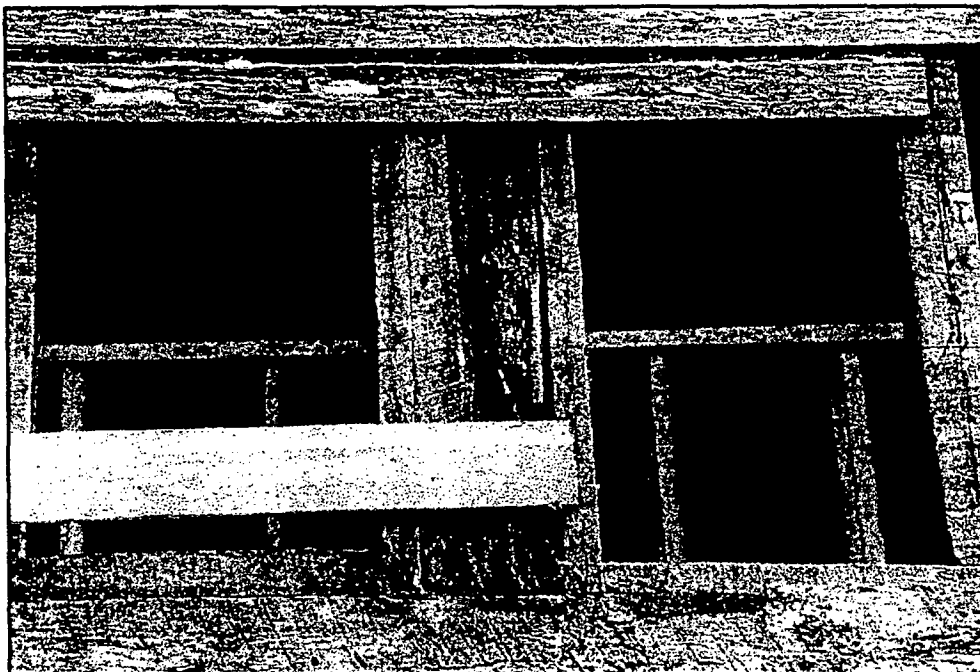


PHOTO 7 - EAST ELEVATION

DETAIL OF ROTTED WOOD SILL AND VERTICAL SUPPORT MEMBERS ALONG SOUTH EAST CORNER OF BARN.

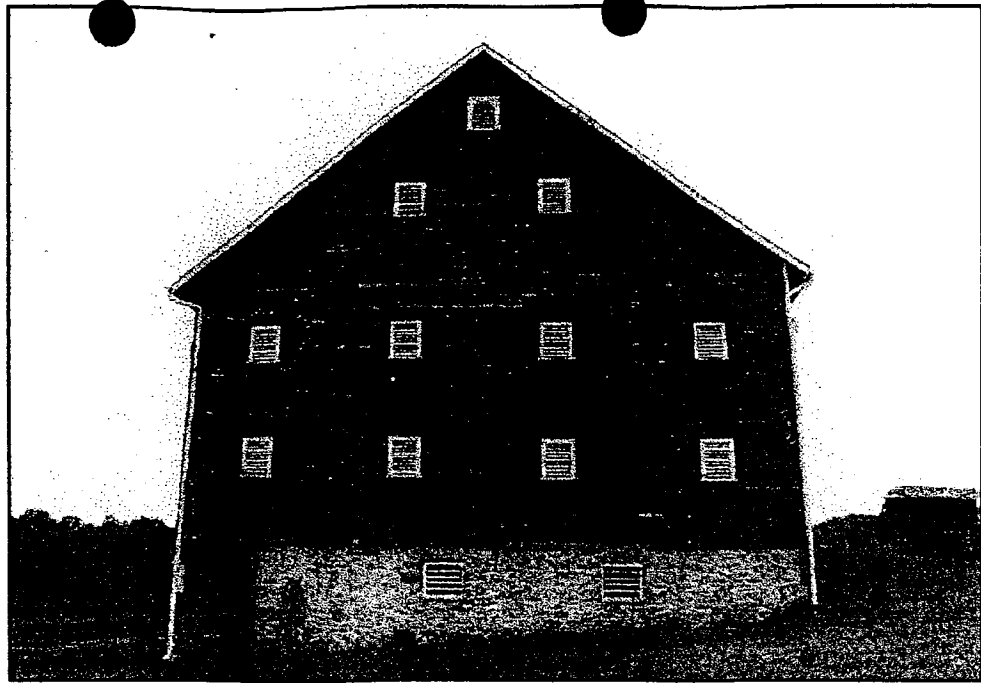


PHOTO #4 - EAST ELEVATION

EXTERIOR PAINT IS PEELING AND MAY REQUIRE TOTAL REMOVAL PRIOR TO APPLICATION OF A PRIMER AND FINISH COAT. THE STONE RUBBLE WALL HAD BEEN COATED WITH A WHITE PLASTER WASH WHICH HAD BEEN PARTIALLY REMOVED OR WEATHERED AWAY. WHILE THE STONE APPEAR TO BE SOUNDLY IN-PLACE, THE MORTAR IS IN DISREPAIR IN VARIOUS LOCATIONS.

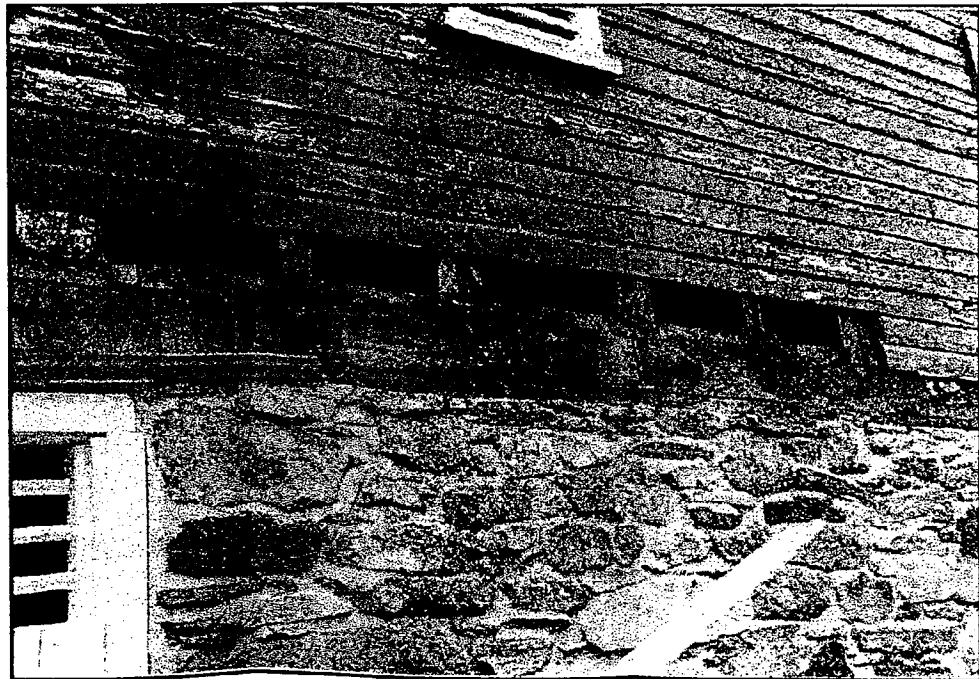


PHOTO #8 - EAST ELEVATION

DETAIL OF ROTTED WOOD SILL AND VERTICAL SUPPORT MEMBERS ALONG WEST FACADE.

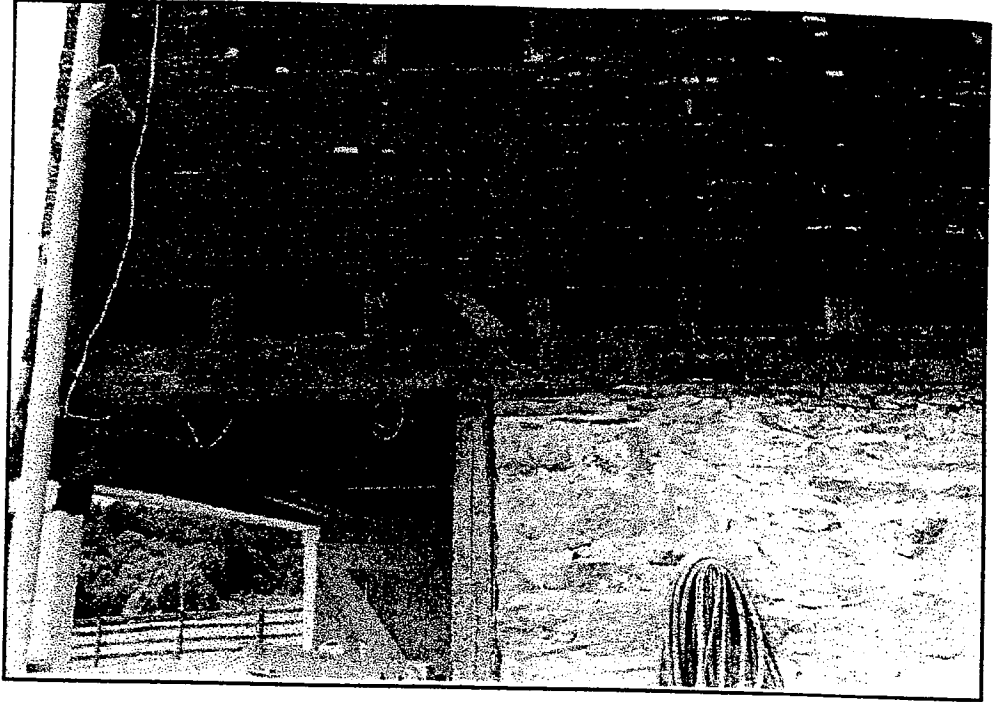


PHOTO #9 - WEST ELEVATION

SILL HAS DETERIORATED ALONG WITH THE LOWER EXTENT OF  
THE VERTICAL SUPPORTS ALONG PERIMETER WALL.



PHOTO #10 - EAST ELEVATION

STONE RUBBLE FOUNDATION WALL IS IN RELATIVELY GOOD  
CONDITION. WALL SHOULD BE POWER WASHED TO REMOVE  
OLD LOOSE MORTAR AND OLD PAINT, AND "POINTED-UP"  
WITH MORTAR SIMILAR IN COLOR AND TEXTURE.

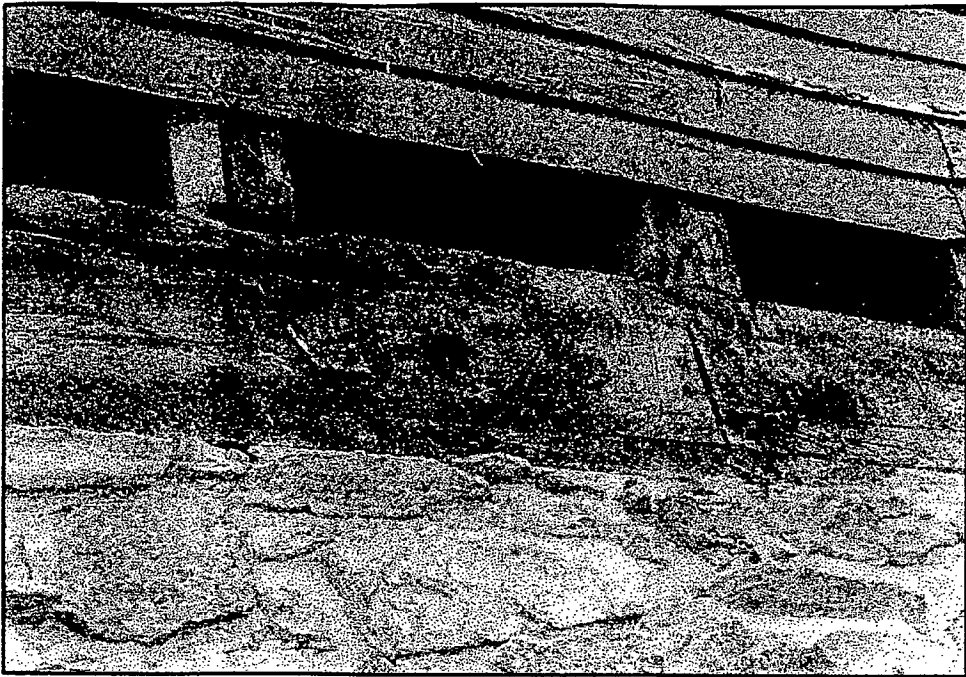


PHOTO #12 - WEST ELEVATION

EXISTING SILL HAS DETERIORATED POSSIBLY BEYOND THE POINT OF USEFULNESS. SOME VERTICAL SUPPORTS HAVE LOST THEIR POINTS OF CONNECTION TO THE EXISTING SILL.

# FAX TRANSMISSION

**THE EDGECOMBE GROUP, INC.**

1903 Woodreeve Road  
Hyattsville, Maryland 20782  
301-864-6237  
Fax: 301-864-8833

**To:** Mrs. Michelle Naru                      **Date:** June 21<sup>st</sup>, 2001  
**Fax #:** 301-563-3412                      **Pages:** 7, including this cover sheet.  
**From:** Leland E. Edgecombe, AIA  
**Subject:** Revised design drawings for HPC review

Mrs. Naru,

Please find the attached 8-1/2" x 11" revised design drawings as per your request.

Thankyou,

Lee Edgecombe

**THE EDGECOMBE GROUP, INC.**

Architecture / Landscape Architecture / Planning / Urban Design

3475 Hamilton Street, Suite 6, Hyattsville, MD. 20782

(tele): 301-864-0042

(fax): 301-864-8833

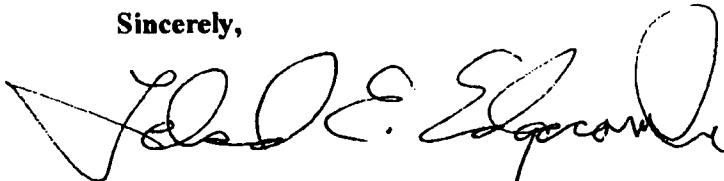
(E-mail): [leland@edgecombegroup.com](mailto:leland@edgecombegroup.com)[www.edgecombegroup.com](http://www.edgecombegroup.com)**June 21<sup>st</sup>, 2001**

**Mrs. Michelle Naru, Preservation Planner  
c/o MNCPPC  
Office of Historic Preservation  
8787 Georgia Avenue  
Silver Spring, Maryland 20901**

**RE: Revised Site Plan and Elevations****Dear Mrs. Naru:**

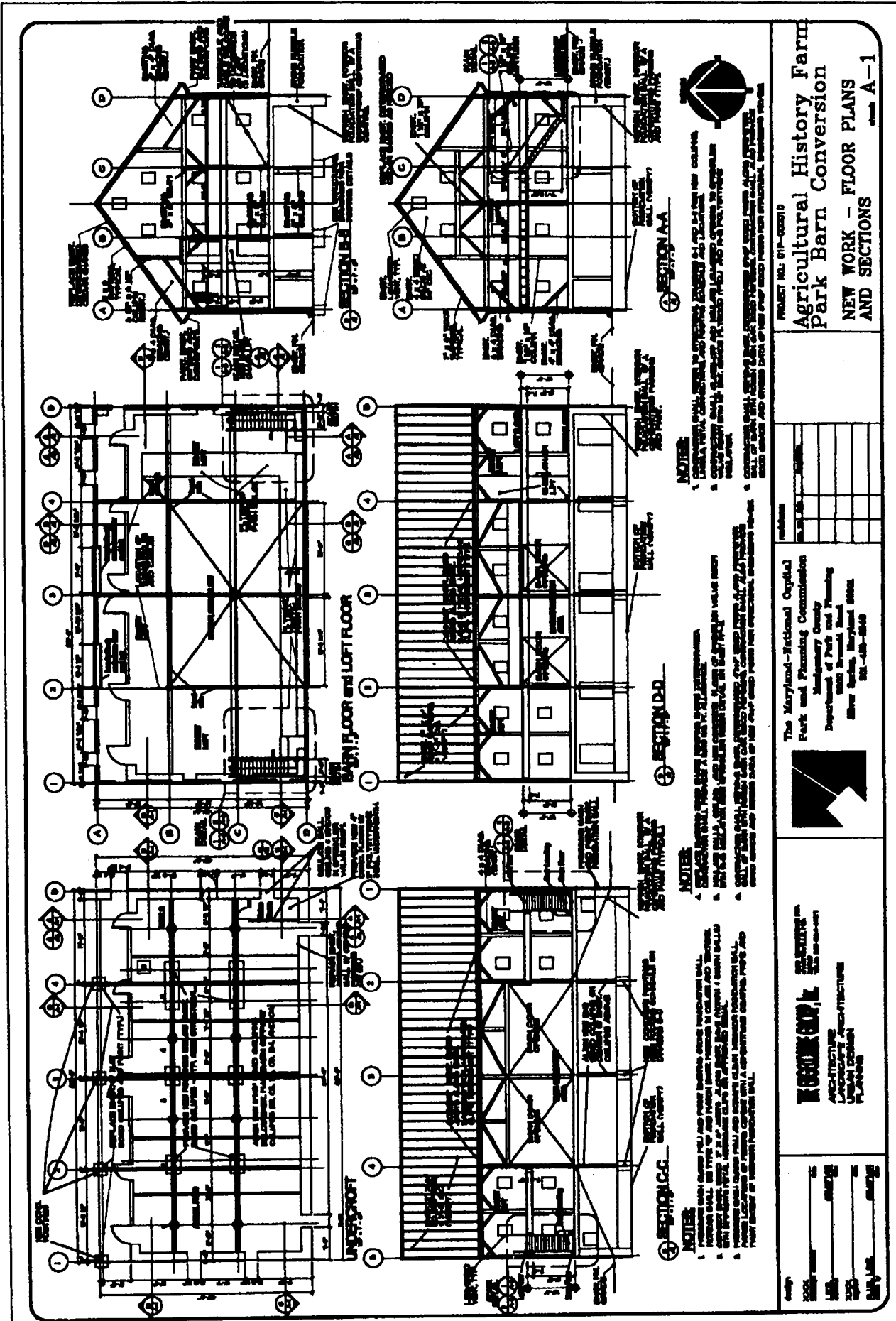
**Please find the attached documentation representative of our revised design based upon our Monday, June 18<sup>th</sup> meeting in your office. You will find the adjustments to include the following:**

- 1. Elimination of adjacent parking to barn and relocation of parking to rear of mechanical utility shed.**
- 2. Elimination of asphalt walkway to the barn undercroft.**
- 3. Elimination of High Intensity Discharge (HID) lighting at all four (4) elevations of barn.**
- 4. Elimination of additional doorways for means of fire egress as required by Montgomery County DPS.**

**Sincerely,**

**Leland E. Edgecombe, AIA, AICP, ASLA  
President**





**NOTES:**

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND NEW CONCRETE WALLS, FOUNDATIONS, AND ROOFING SYSTEMS AND REPORT TO ARCHITECT WITHIN 10 BUSINESS DAYS OF COMMENCEMENT OF WORK. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING AND NEW CONCRETE WALLS, FOUNDATIONS, AND ROOFING SYSTEMS AND REPORT TO ARCHITECT WITHIN 10 BUSINESS DAYS OF COMMENCEMENT OF WORK.
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**Agricultural History Farm  
Park Barn Conversion  
NEW WORK - FLOOR PLANS  
AND SECTIONS**

PROJECT NO. 911-00010

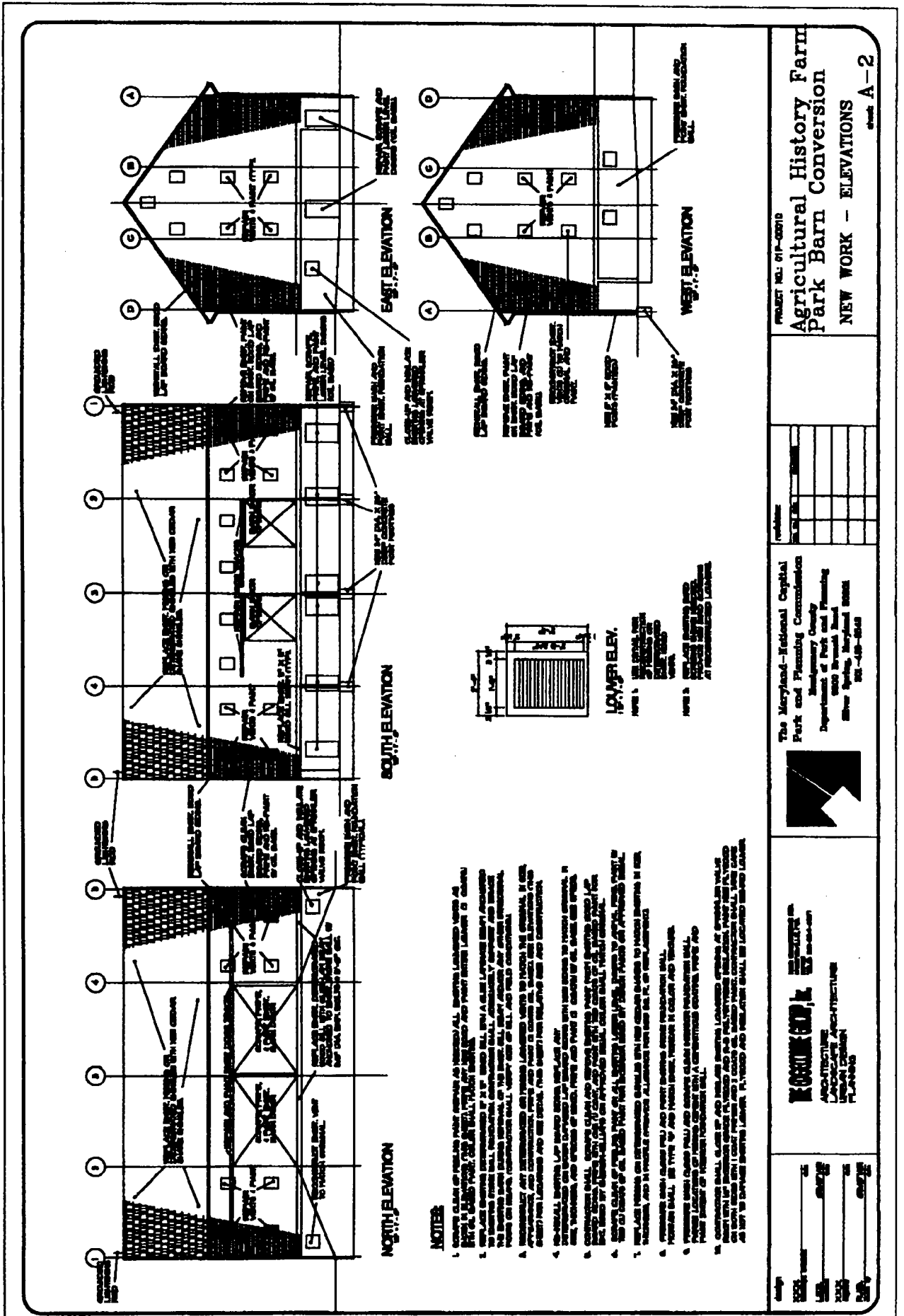
DATE	DESCRIPTION

The Maryland-National Capital  
Park and Planning Commission  
Montgomery County  
Department of Park and Planning  
1000 North Rock Hill  
Silver Spring, Maryland 20910  
301-438-6000



**EDGEcombe GROUP, Inc.**  
ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
PLANNING

DATE	BY



PROJECT NO. 01P-0010  
**Agricultural History Farm**  
**Park Barn Conversion**  
 NEW WORK - ELEVATIONS  
 sheet A-2

DATE	DESCRIPTION

The Maryland-National Capital  
 Park and Planning Commission  
 Montgomery County  
 Department of Park and Planning  
 6000 Branch Road  
 Silver Spring, Maryland 20910  
 301-497-8048



**THE EDGECOMBE GROUP, INC.**  
 ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PLANNING

DATE	DESCRIPTION

- NOTES:**
1. VERIFY CLASS OF FINISHES WITH OWNER. ALL FINISHES LOCATED UNDER A GABLE OR PORCH SHALL BE FINISHED WITH INTERIOR GRADE OF Gypsum Board. FINISHES LOCATED UNDER A GABLE OR PORCH SHALL BE FINISHED WITH INTERIOR GRADE OF Gypsum Board. FINISHES LOCATED UNDER A GABLE OR PORCH SHALL BE FINISHED WITH INTERIOR GRADE OF Gypsum Board.
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