Master Plan Site & 22/34, Samuel S. Relation House [HPC Case & 22/34, Samuel Services [HPC Case & 22/34, Samuel Services

¢





## HISTORIC PRESERVATION COMMISSION

Isiah Leggett County Executive David Rotenstein Chairperson

October 23, 2009

Mr. Mike Senatore 6825 Needwood Road Rockville, Maryland 20855

Re: Removal of tree next to house (unidentified in arborist report) tree(s) in the Samuel S. Robertson House Historic Site

Dear Mike Senatore,

I have received your arborist's report dated 9/2/2009 regarding the above-referenced tree(s), which documents the assessment that this tree(s) is dead/dying or a hazard and in severe decline.

Therefore, due to the health and hazard of the subject tree(s), the Historic Preservation Commission authorizes the removal of the tree.

This letter serves as your permission to remove the tree(s) without further review by the HPC. If you have any additional questions, please do not hesitate to contact me at 301-563-3400.

Sincerely,

Kevin Manarolla, Senior Administrative Specialist Historic Preservation Section, M-NCPPC





18001 Bowie Mill Road • Rockville, Maryland 20855 www.arborcare-inc.com (301) 570-6033 • Fax (301) 570-6133

September 2, 2009,

Mike Senatore 6825 Needwood Rd. Rockville, MD. 20855

RE: Tree removal

Mr.Senatore,

While on your property we looked at a large tree for removal. At that time I mentioned to you the hazards this tree posed to your home. I wanted to take an opportunity to point out these in writing so you could be assured it was the correct thing to do. The tree was very large and too close to the house. In the event of a storm, it could do severe damage. Another reason for removal is the trees root system was infringing on your foundation. This will cause major damage if the tree was left. And finally, the tree was so close that it had begun to shade the wood deck and cause decay as well as clog your gutters. The tree was a high risk tree and a good candidate for removal. If you have any questions please feel free to contact me.

Sincerely,

Eric Redmond ISA Certified Arborist

#### STAFF ITEM

**SUBJECT:** Final design review for approved HAWP (HPC Case No. 22/34-09A), for construction of a rear addition and new garage construction at 6825 Needwood Road, Derwood, Individually Designated Master Plan Site **#22/34, Samuel S. Robertson House** 

DATE: December 16, 2009

**BACKGROUND:** On October 28, 2009 the HPC reviewed and approved with one condition the construction of a rear addition and new garage at the subject property. The condition of approval stated:

The applicant will provide staff with details about the porch covering, bay dimensions and plans for ensuring the preservation of the existing brick chimney in place. Final details to be reviewed and approved by the HPC.

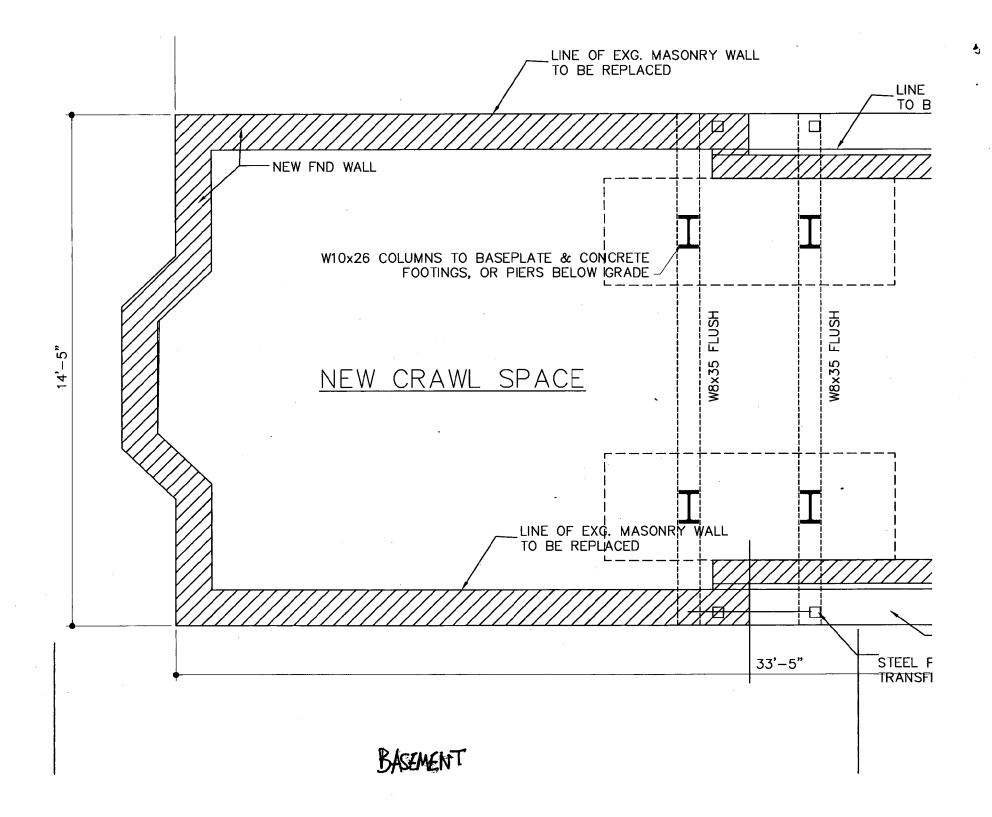
**STAFF ANALYSIS:** The proposed revisions are consistent with the guidance provided by staff and the HPC for the treatment of side porch, bay dimensions and preservation of the brick chimney. (**See attached plans**).

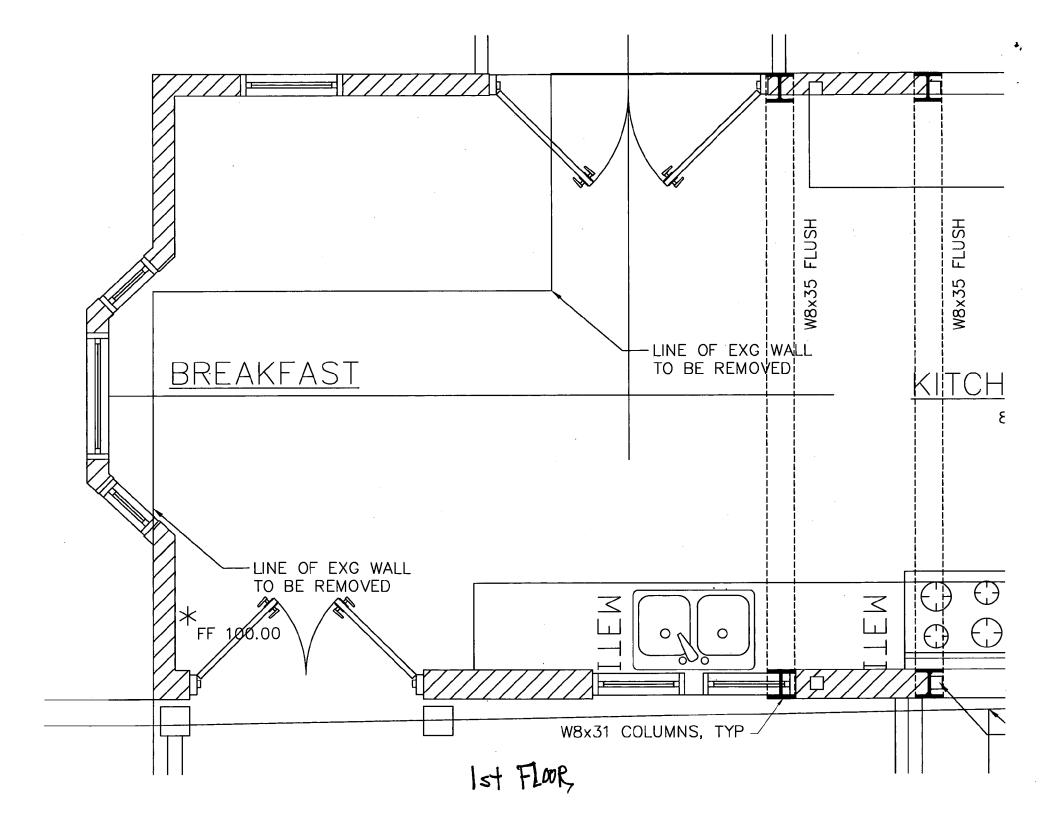
**STAFF RECOMMENDATION:** Staff is recommending that the HPC approve the final design as submitted.

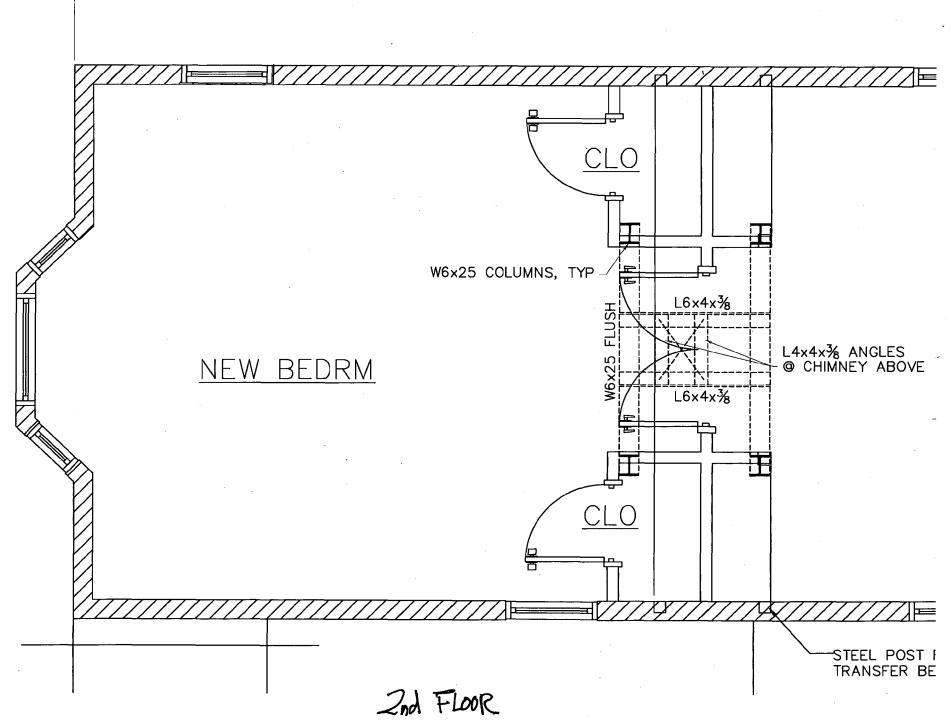
 $k \in \{1, 2\}^{n}$ 



## CHIMNEY PLANS

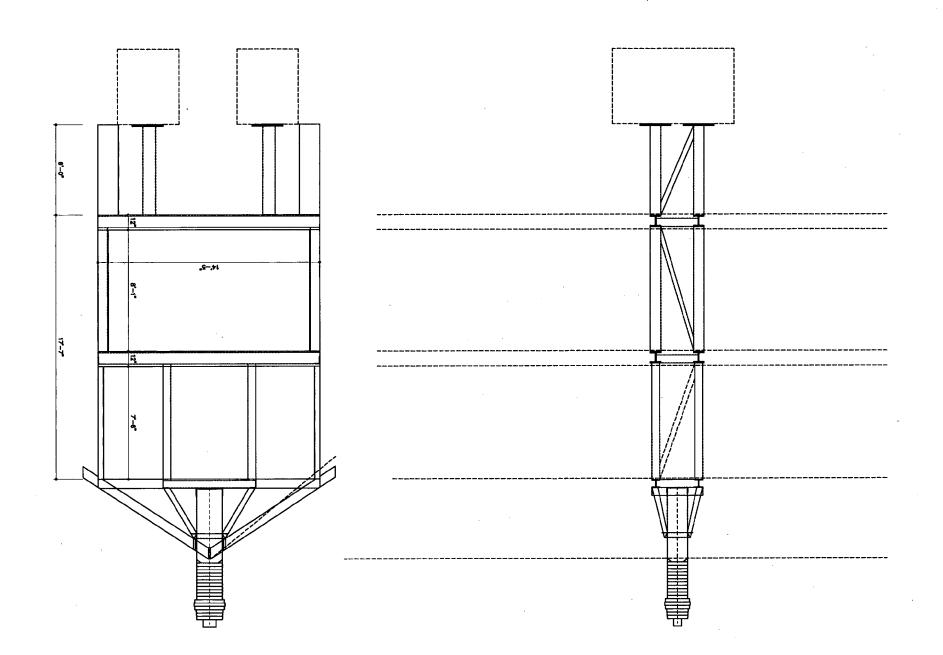




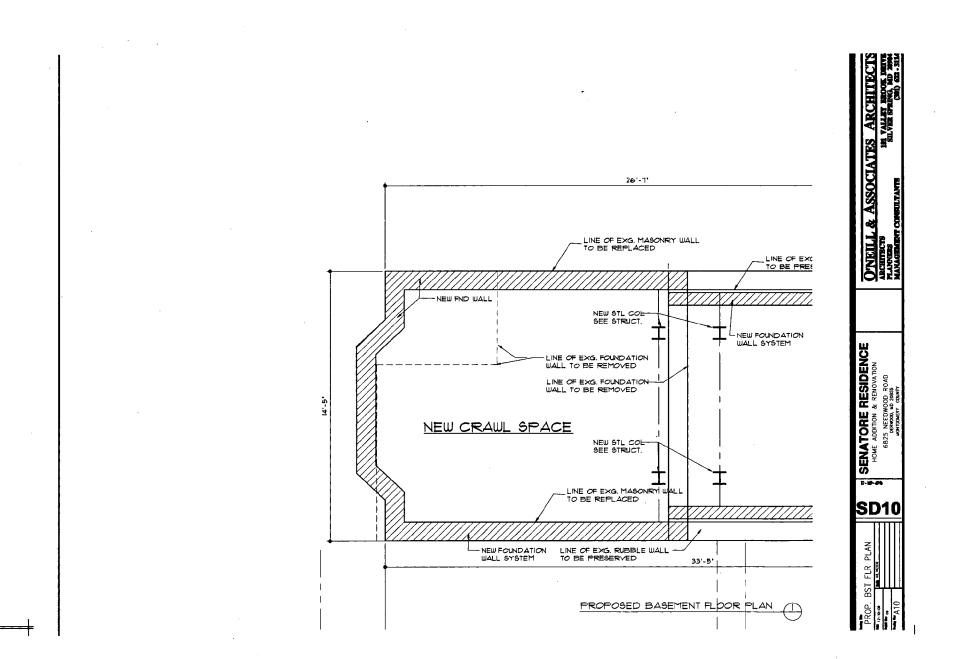


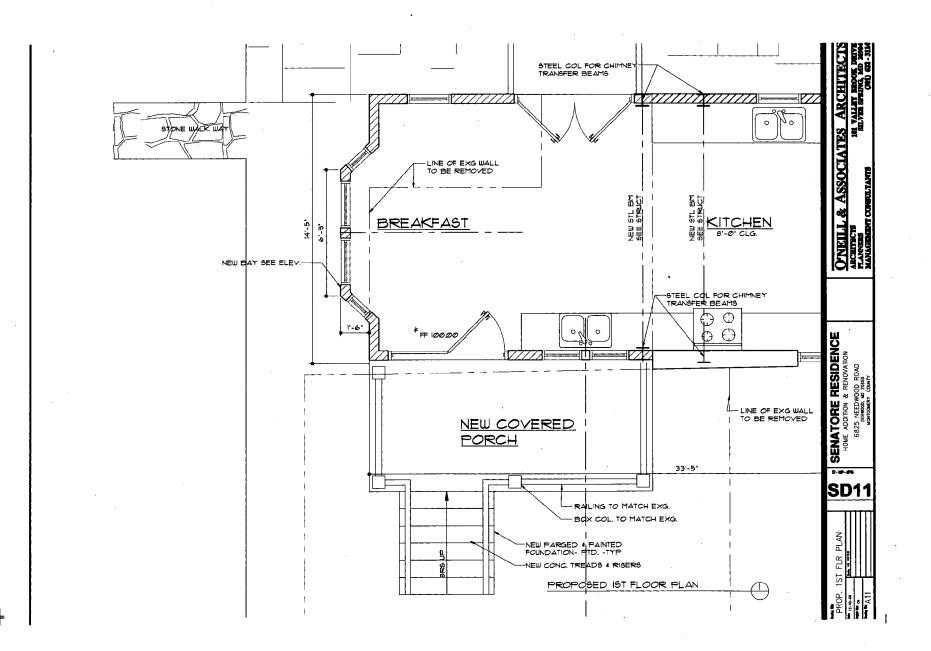
Ċ

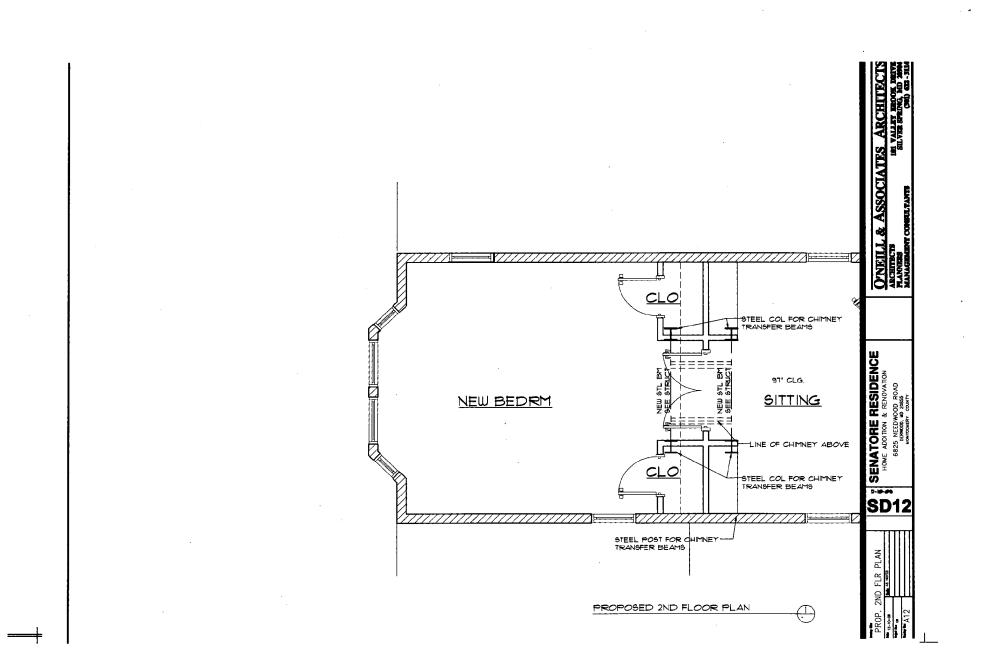
# SUMARY PLANNEHS

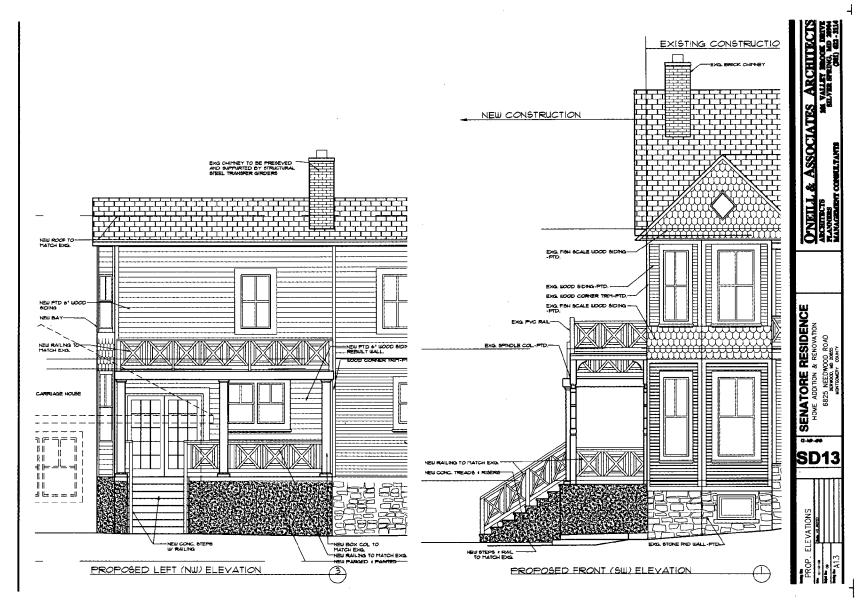


**FLOOR PLANS AND ELEVATIONS** 

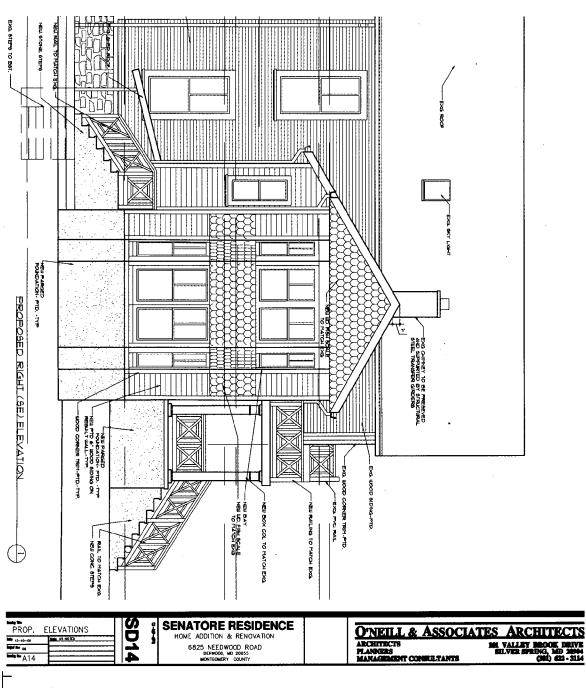




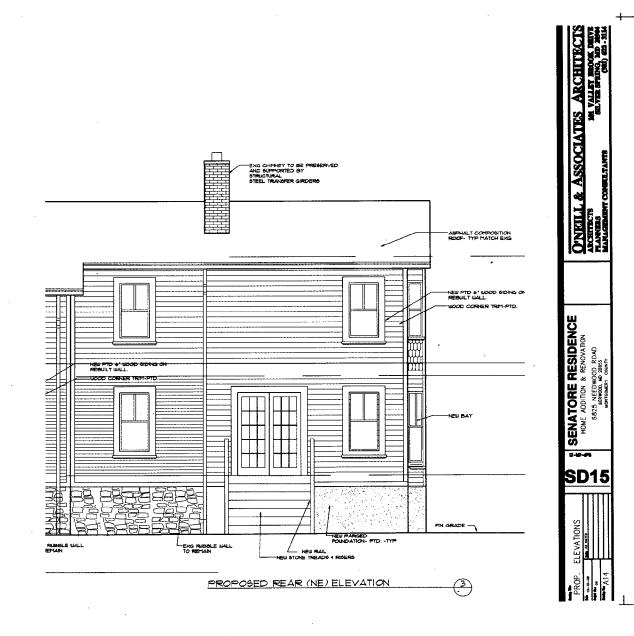




==



+



## Silver, Joshua

From	:
Sent:	
To:	
Subje	ct:

John Buffett [John@StructurePlan.com] Wednesday, December 16, 2009 1:30 PM Mike Senatore; Silver, Joshua Re: Senatore residence

#### Hello Mike & Joshua

Yes, the intent is for the contractor to assemble the frame, secure the portion of the chimney above the second floor ceiling level and then dissassemble the chimney below, fireplace and modern structure portions. The proposed supporting frame members at the base of the perserved chimney portion are L-shaped angles that can be inserted into deepened mortar joints or cuts in the masonry. Once these members are securely in place, the insertion of a metal plate will separate the chimney portions, support the original flue and internal masonry while providing support for interior reinforcing & grout to strengthen the preservation.

John Buffett Structure By Design PA 13017 Wisteria DR #396 Germantown MD 20874 240-252-4117

## John@StructurePlan.com

----- Original Message -----From: <u>Mike Senatore</u> To: <u>John Buffett</u>; <u>Steve O'Neil</u> Sent: Wednesday, December 16, 2009 12:13 PM Subject: Fwd: Senatore residence

John,

Any chance you could address Josh's question below regarding the chimney. I assume the frame will be put in place before the fireplace and rest of the chimney are removed. Thanks.

Mike

Begin forwarded message:

From: "Silver, Joshua" <<u>Joshua.Silver@mncppc-mc.org</u>> Date: December 16, 2009 11:54:14 AM EST To: "Mike Senatore" <<u>mikesenatore@ymail.com</u>> Subject: RE: Senatore residence

Hi Mike,

Thanks for sending these over. Per the condition of approval I need to take these plans back to the HPC for their final review and approval. Fortunately, there is a meeting scheduled tonight, so I will present these materials to the HPC this evening. The review is only a formality as such, YOUR ATTENDANCE IS NOT REQUIRED.

My staff analysis states the revisions are consistent with the guidance provided by staff and the HPC for the treatment of the side porch roof, bay dimensions and preservation of the brick chimney, and recommend that the HPC approve the final design as submitted.

In anticipation of questions from the HPC did you structural engineer provide you with any written documentation about how the chimney would be preserved in place? If so, could you please e-mail me a copy today.

Assuming approval is granted by the HPC tonight, the next step is to have Steve provide me with THREE full size sets of construction level drawings for my review and stamping. After I've reviewed and stamped the plans (usually takes 24 hours) they are returned to you and the building permit process can begin with the Department of Permitting Services.

Thanks for your cooperation throughout this process. Let me know if you have any questions. I will contact you tomorrow with the HPC's decision.

Regards,

Josh

Joshua Silver, Senior Planner Urban Design and Preservation Division, Historic Preservation Section The Maryland-National Capital Park and Planning Commission

(301) 563-3400 (phone)
(301) 563-3412 (fax)
1109 Spring Street, Suite 801
Silver Spring, MD 20910
www.MontgomeryPlanning.org

The Historic Preservation Section will be moving on December 21, 2009. Our new address is:

1400 Spring Street, Suite 500

Silver Spring, Maryland 20910

From: Mike Senatore [mailto:mikesenatore@ymail.com] Sent: Monday, December 14, 2009 4:23 PM To: Silver, Joshua Subject: RE: Senatore residence

Here you go. I'll be sending 3 more.

--- On Mon, 12/14/09, Silver, Joshua < Joshua. Silver@mncppc-mc.org> wrote:

From: Silver, Joshua <<u>Joshua.Silver@mncppc-mc.org</u>> Subject: RE: Senatore residence To: "Mike Senatore" <<u>mikesenatore@ymail.com</u>> Date: Monday, December 14, 2009, 3:29 PM Hi Mike,

Can you try unzipping the attached file with the plans. The file was quarantined during delivery so I cannot open it. I be in touch soon so we can move the process forward.

3

Thanks,

Josh

From: Mike Senatore [mailto:mikesenatore@ymail.com] Sent: Monday, December 14, 2009 3:02 PM To: Silver, Joshua Subject: Senatore residence

Joshua,

Here are Steve's plans.

Mike



## HISTORIC PRESERVATION COMMISSION

Isiah Leggett County Executive David Rotenstein Chairperson

Date: February 24, 2010

## **MEMORANDUM**

TO:	Carla Reid, Director
	Department of Permitting Services
•	

FROM: Josh Silver, Senior Planner (JD) Historic Preservation Section Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #522920, rear addition and new garage construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with one condition** at the October 28, 2009 meeting:

1. The applicant will work with staff on the final design for the rear bay and porch covering and provide a plan for preserving the existing chimney in place.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Michael and Anne Senatore

Address: 6852 Needwood Road, Derwood

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppcmc.org to schedule a follow-up site visit.



	REFERENCES 255 BC OF CLART GEN CLART GEN CLART GEN SERVICES 255 BC OF CLART GEN CLART GEN CLART GEN SERVICES 255 BC OF CLART GEN CLAR	•
	301/563-3400 APPLICATION FOR HISTORIC AREA WORK PERMIT	
	Contact Person: <u>STEPHEN O'NEUL</u> Daytime Phone No.: <u>301-592-8878</u>	
•	Tax Account No.:	
	Contractor: ONEUCALING City Steet Zip Code Contractor: ONEUCALING Phone No.: 301-592-92578 Contractor Registration No.: 72380	
	Agent for Owner: <u>STEPTEN OF VELU</u> Daytime Phone No. 301-592-9378 LOCATION OF BUILDING/PREMISE House Number: <u>(825</u> Street: NEED WOD O ROAD	
	Town/City:     DEEWOOD     Nearest Cross Street:     REDLAND     ROAD       Lot:      Block:      Subdivision:        Liber:     Folio:     Parcet	
• •	PART ONE: TYPE OF PERMIT ACTION AND USE           1A. CHECK ALL APPLICABLE:         CHECK ALL APPLICABLE:	
	Image: Struct of Extend Stater/Renovate       A/C       Slab       Image: Revolution in the state of th	
· · ·	1C. If this is a revision of a previously approved active permit, see Permit #	
	2A. Type of sewage disposal:     01 🗱 WSSC     02 🗆 Septic     03 🗆 Other:       2B. Type of water supply:     01 🕵 WSSC     02 🗆 Weil     03 🗆 Other:	
	PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL         3A. Heightfeetinches         3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:         Image: Indicate whether the fence or retaining wall is to be constructed on one of the following locations:         Image: I	
	STATE OF TEX         I hereby certify that I have the authority to make the foregoing epplication, that the application is correct, and that the construction will comply we then some the separate of this permit.       STATE OF TEX         I hereby certify that I have the authority to make the foregoing epplication, that the application is correct, and that the construction will comply we then some the separate of this permit.       STATE OF TEX         I hereby certify that I have the authority to make the foregoing epplication, that the application is correct, and that the construction will comply we then some the separate of this permit.       My Comm. Exp. Sep. 2         I hereby certify that I have the authority to make the foregoing epplication, that the application for the issuance of this permit.       My Comm. Exp. Sep. 2         I hereby certify that I hereby acknowledge and accept this to be a condition for the issuance of this permit.       N HMOHOD         I hereby certify that I hereby acknowledge and accept this to be a condition for the issuance of this permit.       N HMOHOD         I hereby certify the second colspan="2">I hereby certify the second colspan="2">I hereby certify the second colspan="2">I hereby certify that I hereby acknowledge and accept this to be a condition for the issuance of this permit.         I hereby certify the second colspan="2">I hereby certify the second colspan"	KAS
	Appraved: Signature For Cheirperson, Historic Preservation Commission Data:	
•	Edit 6/21/99 SEE REVERSE SIDE FOR INSTRUCTIONS SCP additional drue	Mi

## THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

#### 1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

TO REPAIR REMODEL, REBUILD	& CONFRENCT
DEPAIR, REMODEL, REBUILD APPITIONS TO THE PROPERTY.	
SEE ATTACHED	
AKCHUTELT	rover
ENGINEEK	LETTER
FOUNDATION	

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

WER DROVE			
		·······	

#### 2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

#### 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

#### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

#### 5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

#### 6. TREE SURVEY

If yet are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

#### 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For <u>ALL</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the strater/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT			
Address:	6825 Needwood Road, Derwood	Meeting Date:	9/9/2009
Resource:	Individually Designated Master Plan Site #22/34, Samuel S. Robertson House	Report Date:	9/2/2009
		<b>Public Notice:</b>	8/26/2009
Applicant:	Michael and Anne Senatore (Stephen O'Neill, Architect)	Tax Credit:	No
<b>Review:</b>	Preliminary Consultation	Staff:	Josh Silver
Case Number	NI/A		

# **Preliminary Consultation**

Case Number: N/A

PROPOSAL: Rear addition and new garage construction

## STAFF RECOMMENDATION

Staff recommends that the applicant make revisions to the plans based on the HPC's recommendations and proceed to a Historic Area Work Permit (HAWP).

## ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Individually Designated Master Plan Site STYLE: Victorian c1889 DATE:

## The following was excerpted from Places From the Past: The Tradition of Gardez Bien in Montgomery County, Maryland:

One of Montgomery County's most prolific 19th century architects, Thomas Groomes, designed the 1889 Robertson House. Groomes popularized Victorian-era revival styles in Gaithersburg-Rockville area. In March 1889, the Montgomery County Sentinel heralded the construction of the Robertson residence, reporting that the house was to have 10 rooms, a stair hall, bathroom, front and rear porches and a cellar. Nine months later, the Sentinel lauded the completion of the "irregular Queen Anne vill." Two-story projecting pavilion with the pediment gables flank the central entrance bay. The south bay (right) is squared while the north bay is polygonal. The walls are textured with narrow clapboards enlivened with fishscale shingles between stories and in gable ends. Samuel S. Robertson grew up nearby at Nedwood and inherited the property on which he built his house from his parents, William George and Mary V.K.S. Robertson. The property has also been known as the Eubanks Farm for its owners in the post-World War Π era.

### **PROPOSAL**

The applicants are proposing to construct a two-story addition at the rear of the house and a one-story, twobay detached garage on the side of the house. The proposed addition will connect to an existing historic addition behind the original main block of the house. The proposed garage will connect to the proposed

rear addition via an open style wooden breezeway. Construction of the proposed addition will require the removal of a non-historic (c1960s) one-story addition from the rear of the house and the partial removal of a wooden deck from the side yard.

The proposed addition will be sheathed with an asphalt shingle roof, clad in wooden siding with a similar profile and reveal to the historic massing, contain 2/2, double-hung true divided light wooden windows and true divided light French door systems.

Material specifications for the garage are consistent with those proposed for the rear addition.

#### **APPLICABLE GUIDELINES**

#### Montgomery County Code; Chapter 24A

The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
  - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
  - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

#### Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### STAFF DISCUSSION

Staff supports the proposed rear addition and new garage construction projects at the subject property. The design of the proposed addition is compatible and in keeping with the design character of the historic massing and addition. The simplicity of the proposed design as a literal extension of the historic addition, make the massing, scale and form of the addition read as subordinate to the historic massing.

The proposed detached garage is compatible with the primary structure and been designed to fit sensitively within the context of the environmental setting. The proposed breezeway maintains transparency into the rear yard when approaching the house from the driveway, thus is a reasonable solution for providing a covered walkway between the garage and main house without compromising the setting of the site.

Staff has discussed material treatments for both the proposed addition and garage with the project architect. A verbal agreement was established that the proposed addition and garage would include the materials listed in the proposal section of the staff report on Circle 1. The proposed material treatments in concept are appropriate for the resource type and compatible with the existing materials on the historic massing and addition. Staff recommends that the applicant provide a detailed list of the proposed materials when submitting for a HAWP.

Staff recommends the applicant prepare a tree survey for the property prior to submitting a HAWP application. If trees are present within the vicinity of building footprint for the proposed addition and garage a tree protection plan must be prepared and implemented prior to commencing any work at the site.

To achieve consistency with guidance for additions and new accessory structures found in *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, a proposed addition should meet the following guidelines:

- 14.2 New accessory structures should be compatible with the primary structure
- 18.1 Place an addition at the rear of a building to minimize its visual impacts
- 18.2 Do not obscure damage, destroy or remove original architectural details and materials of the primary structure
- 18.3 An addition should be compatible in scale with the primary structure
- 18.4 Use building materials that are compatible with those of the primary structure
- 18.5 An addition should be compatible in character with the primary structure
- 18.6 Use windows that are similar in character to those of the main structure
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

## Staff requests that the HPC:

1. Determine if the proposed addition should have a more clearly defined connection with the existing historic addition of the house (i.e., inset, trim board, change in setback, etc.)

2. Determine if the proposed material treatments for the rear addition and new garage are compatible with the style and material treatments of the existing house and addition and meet the general design criteria for an Individually Designated Master Plan Site.

## **STAFF RECOMMENDATION**

Staff recommends that the applicant make revisions to the plans based on the HPC's recommendations and proceed to a Historic Area Work Permit

#### THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

----

.

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SAMUEL ROBERTSON	Ha	se		IEREGULAR QUEEN ANNE
HONE BUNT CIECA IE	385			
HOME BUNT CIECA 19 SITE ON APPROX	3	Acc	es	- SET BACK OFF
POAD				

b. General description of project and its effect on the historic resource (a), the endocemental acting and where applicable, the historic destrict REMOVE & REPORE KITCHEN ADDITION FROM ANROX THE 1960'S AT THE REAR OF HOUSE. AND AND SHE ENLARCE KITCHEN / ADD SECOND STOREY BEDROOM ABOVE WHE KITCHEN & REPLACE KITTING DOUBLE CARPORT (FROM 60'S?)

WITH PROPER GARAGE

#### 7. SITE PLAN

Site and empire rangetail setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and dete;
- b. dimensions of all existing and proposed structures; and
- c. size unteressuch as walkways, deveways, tences, peads, streams, treah dumpsters, mechanical equipment, and indeceping.

#### 3. PLANS AND ELEVATIONS

You must automit 2 copies, of alasts and elevations in a formet no larger than 11"x 17". Plans on # 1/2" x 11" paper pre-archared.

- a. Echanistic construction plans, with marked dimensions, indicating leastion, size and general type of wells, wholew and door openings, and other fixed features of both the mining secondary and the proposed work.
- 8. Elevations (facados), with marked dimensions, clourly indicating proposed work in rotation to existing construction and, when appropriate, context, All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facede affected by the proposed work is required.

#### 4. MATEMALE SPECIFICATIONS

General description of materials and materiactured items proposed for incorporation in the work of the project. This information may be included an year design chewings.

#### 5. PHOTOGRAPHE

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the effected periods. All labels about the placed on the first of photographic.
- b. Clearly label photographic prints of the resource as viewed from the public sight-of-way and of the adjoining properties. All labels should be placed and the funct of photography.

#### 8. TREE SURVEY

If you are preposing construction adjacent to or within the dripfine of any true 6° or larger in diameter fait appreximately 4 feet above the ground), you must file an accurate true survey identifying the size, location, and species of each tree of at least that distanzion.

#### 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For Ally projects, provide an accurate list of adjacent and conferming property covers (not tanants), including neuron, addresses, and sip orders. This list should include the owners of all lots or parcels which edjain the percel in question, as well as the owner(s) of helps) or percent(s) which lie directly access the strong/highway from the percel in question. Non can obtain this information from the Department of Assessments and listation, 51 Mennes Street, Rectivelle, 10/1279-1055).

PLEASE PRINT (IN ULLE OR DLACK MIQ OR TYPE THIS INFORMATION OR THE FOLLOWING PAGE, PLEASE STAY WITHIN THE GUIDER OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6-10-316-1300

A CONTRACTOR	an a	జిల్లారు. ఇంది జిల్లా ప్రశాస్త్రం జిల్లారి కొండి జిల్లా ప్రశాస్త్రంగం	D <b>PS - #8</b>
		RVATION COMMISSION	
ANTARY AND		/563-3400	
	APPLICA	TION FOR	
HISTO	RIC AREA	WORK PERM	AIT
		Contact Parson: MIKE SER	
		Daytime Phase No.: 301 466	and the second se
Tax Account No.:		Daytime Phone He.:	
	HELL & ANNE SENA	TORE Dayline Plane No.: 301 466	0774
Address: 6355 #	HORDINGOD TRAD	DERWOOD NEEDWOOD R	0 20855
Agent for Owner:		Gayame Phone No.:	
LOCATION OF BUILDING / STEWE	6825	MEEDWOOD P.D	
Inter DEP WOOD	Namer Case	REDLAND RD	
Lat Block			<del>*************************************</del>
	Percet:		
BANT ONE: TYPE OF PERMIT AC			
IA. CHECK ALL APPLICABLE:		CK ALL AFTLICABLE	
Construct Kenters		VC I Shite Known Addition I Parch	Stat G Stat
Move     Instal	•	iolar 🖸 Fraçilaca 🔲 Woodibarwilang Shirver	C) Single Family
🗆 Revision 🔀 Repair	C Asvocable 12 F	ence/Wall (complete Section 4) 🛛 Other:	·····
18. Construction cost estimate: 5			
tC. If this is a revision of a previously	approved active parmit, see Parmit #		
PARTING COMPLETE FOR MEN	AND THE REPORT OF A DESCOVE	Contents	
	on Xwssc az 🗆 Septi	c 03 🗋 Otker:	
28. Type of water supply:	on Xwsse az Fi wat	03 🗆 0tåer:	
MARINE COLUMNICS VI	G EEEAAADUNGAWAL		
3A. Heightfeet	inches		
	mining wall is to be constructed on one (	of the following locations:	
🔲 🗋 perty line/property line	"   Entirally on land of owner	On public right of way/seasement	
		If the explication is correct, and that the construction w	ill comply with plane
approved by all approves instead and it	neredy admossibility and accept this to	be a condition for the insuance of this permit.	
14/		6/24	129
Signature of simu	er or outhorized agent		
Arrow and	for the second	Chaisperson, Historic Preservation Commission	
		Date Filed: Date issued:	
Edit 1/21/89		FOR INSTRUCTIONS	

.

-----

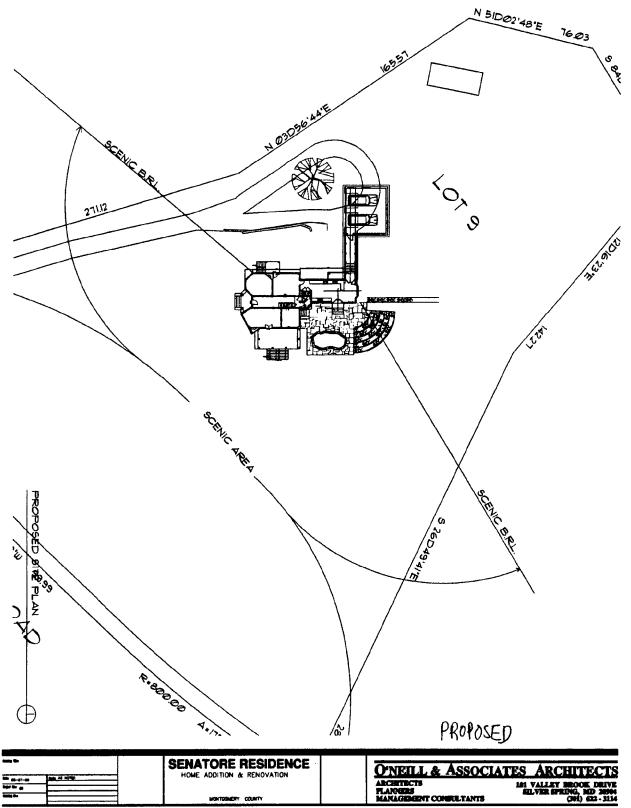
**н**. 1

.

.

٠

(5

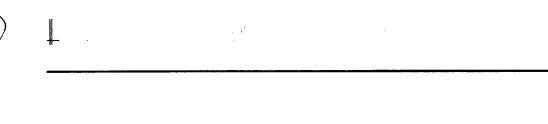


· · · · ·

.

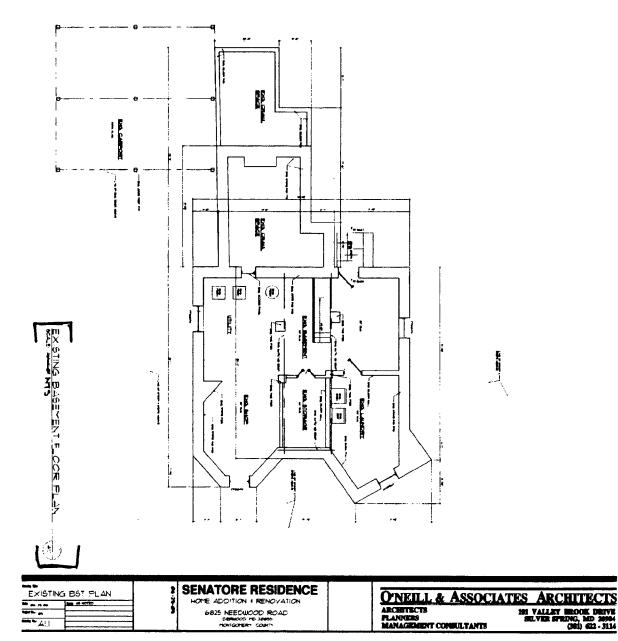
-

(9



9

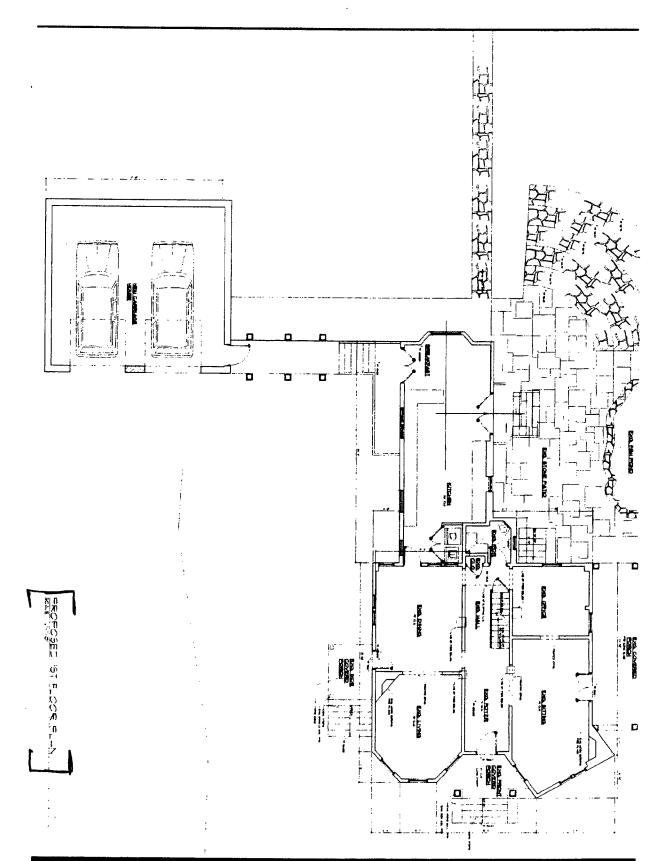
.



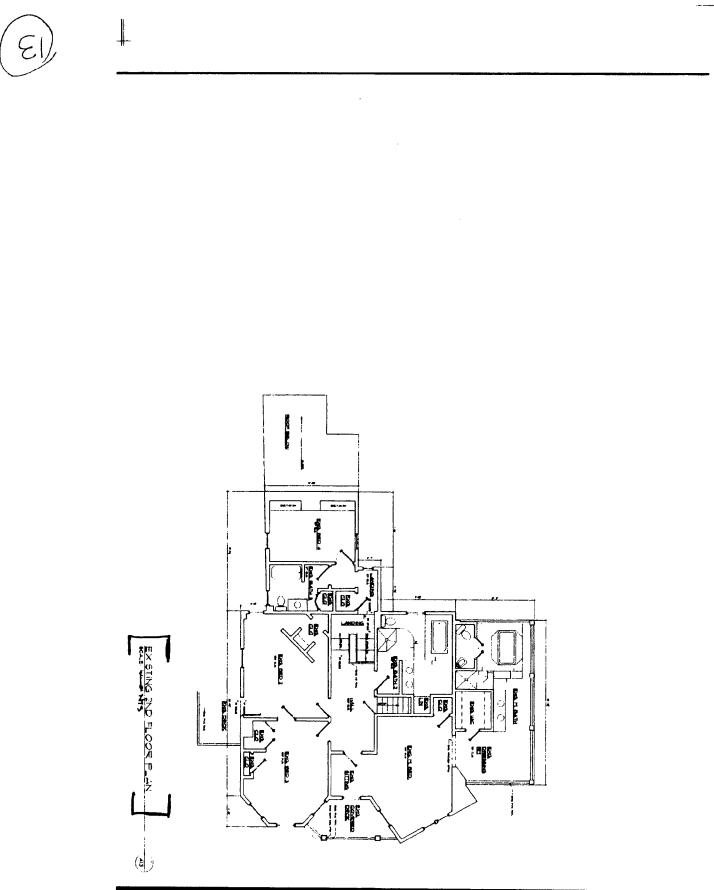
11 ij} þ Į ĴĮ 1 11 ł į Ê Ħ iF 1 F i LANSA AND Dial and the second Los Sire PALI2 North Comp C D D DAING TRO D ſ EXISTING IST -LOOR PL -Day Coverage ij i į q the first 1 Ĵ. ij i Ŀ ••• I Ō ٥ SENATORE RESIDENCE O'NEILL & ASSOC ABCRITECTS MANAGERS MANAGERS MANAGERS ASSOCIATES ARCHITECTS 412 ł 6825 NEEDWOOD ROAD DENILOOD NO 10000 HONTIGHERY COUNTY 101 VALLEY SROOK DRIVE SILVER SPRING, MD 20044 (201) 622 - 3114

**|** 

 $\overline{z}$ 

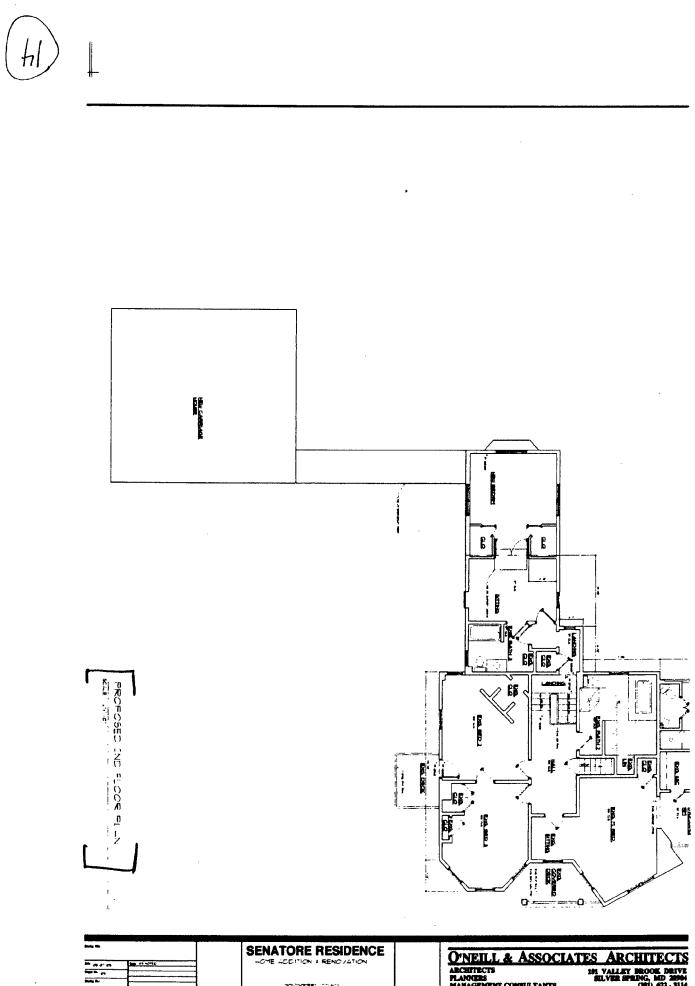


Suriy G.	SENATORE RESIDENCE	
	HOME LODITION & RENO ZATION	O'NEILL & ASSOCIATES ARCHITECTS ARCHITECTS HAINERS HAINERS
	montecimeter source	MANAGEMENT CONFULTANTS (301) 622 - 3114



SENATORE RESIDENCE HOTE ADDITION & RENOVATION 6835 NEEDWOOD ROAD SPRACE TO JOINT TONGTER CAN'	ONEILL & ASSOCIATES ARCHITECTS ARCHITECTS PLANNERS MANAGEMENT CONSULTANTS MANAGEMENT CONSULTANTS

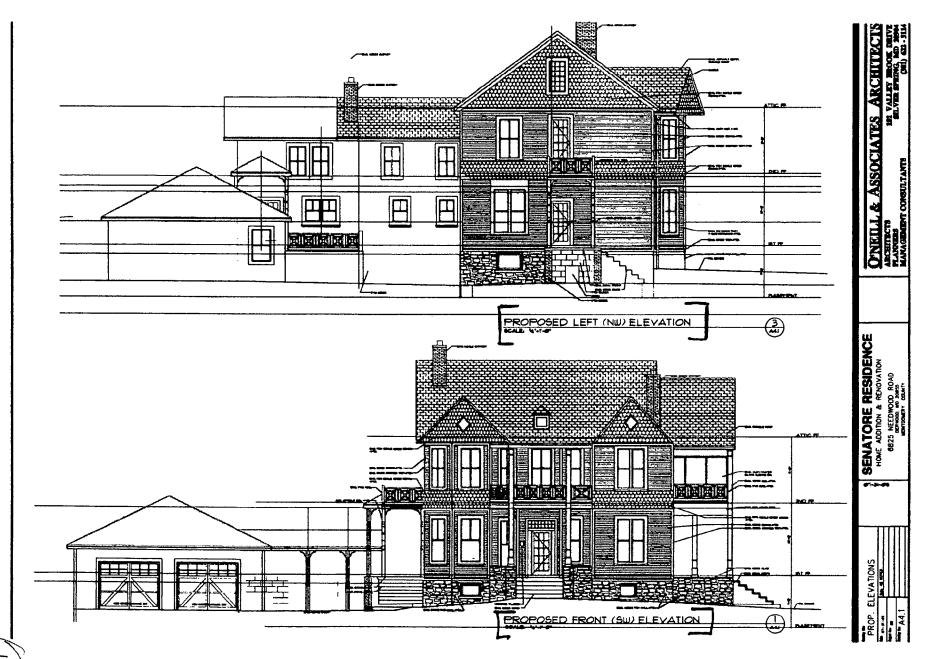
-

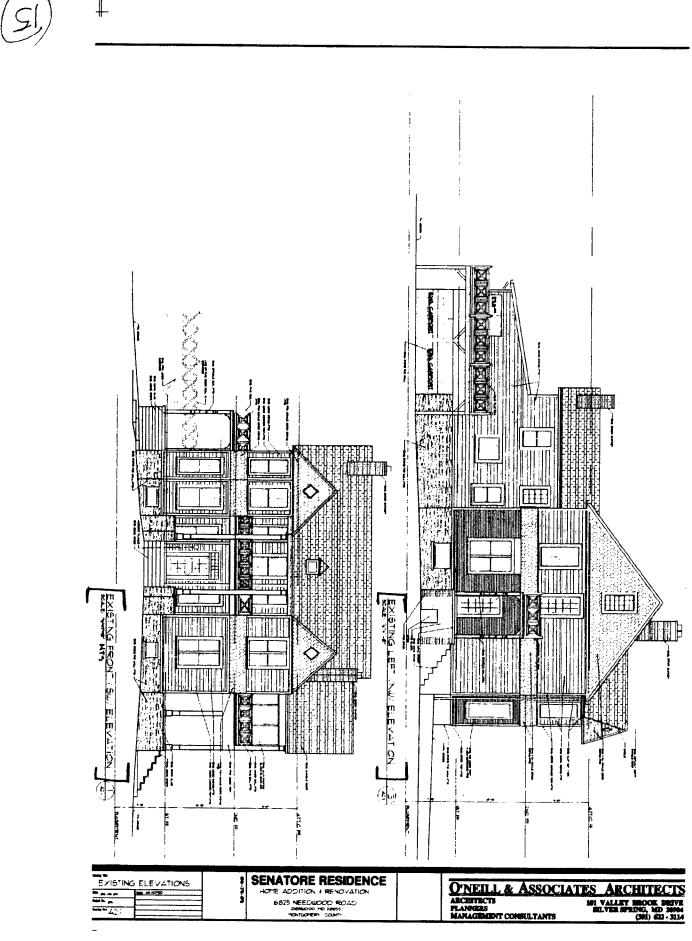


HONSONER COUNT

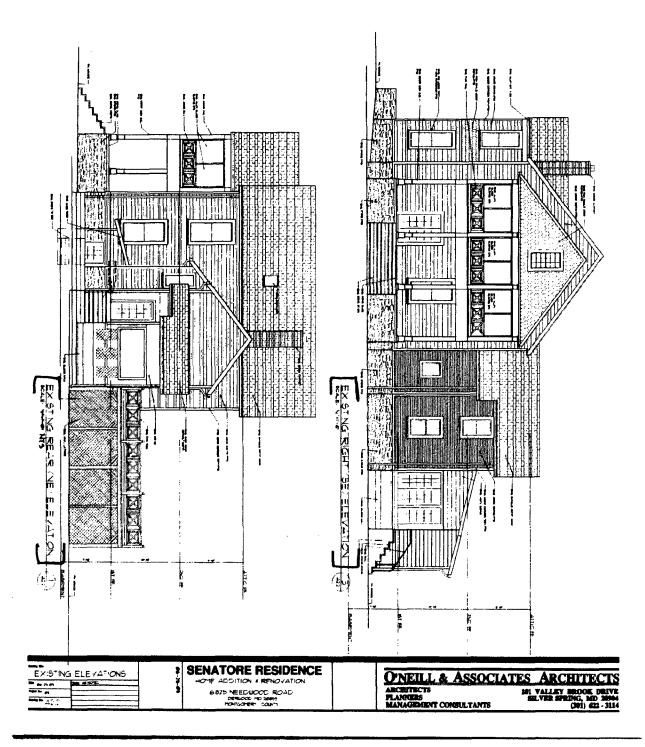
.

O'NEILL & ASSOCIATES ARCHITECTS ARCHITECTS HARNES MANAGEMENT CONSULTANTS BLVER SPEING, MD 2004 SELVER SPEING SELVER SPEING

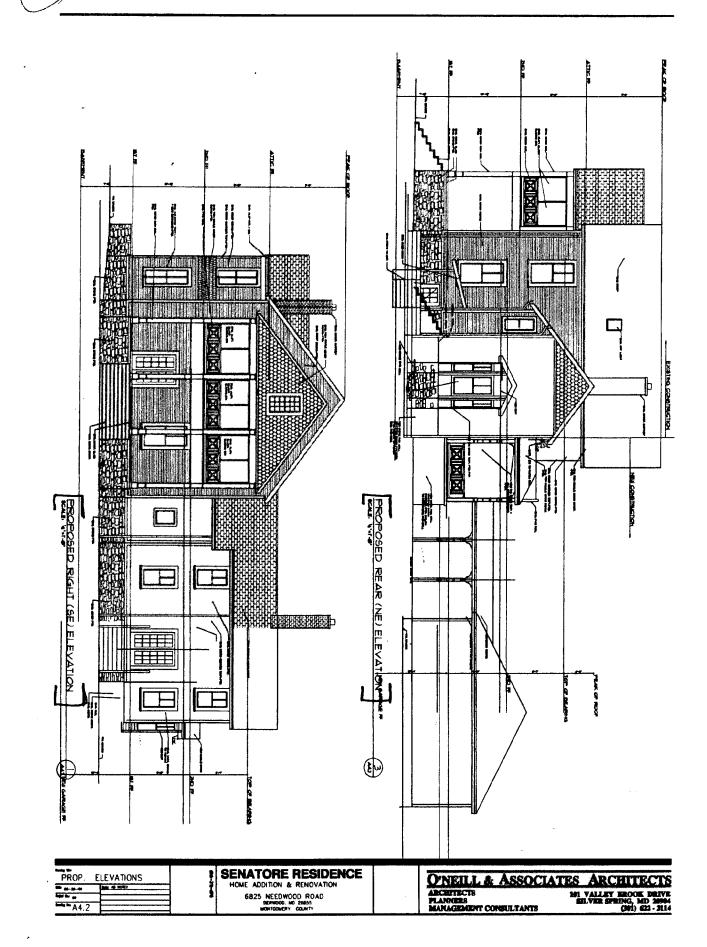




\_\_\_\_\_



 $(\pm 1)$ 



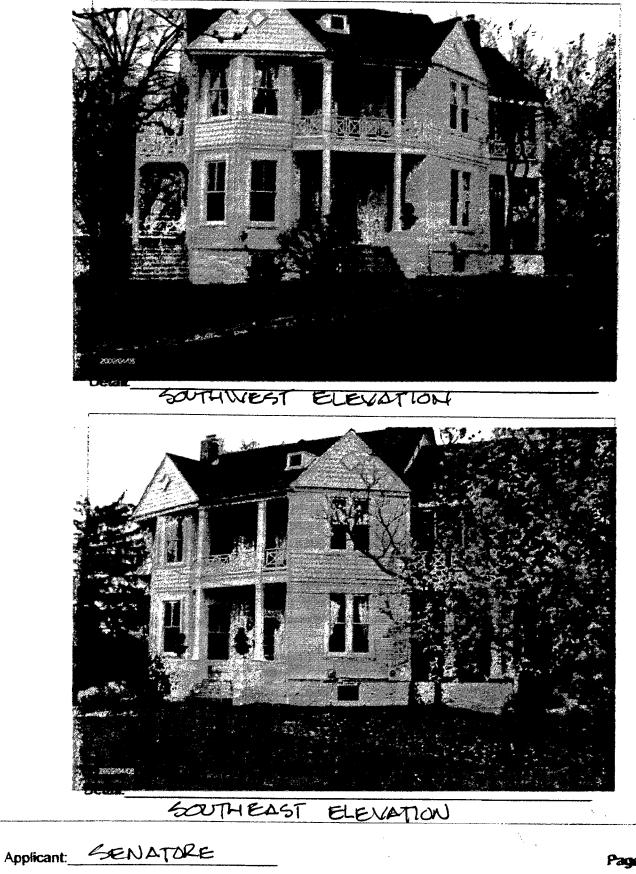
81 🗍

6825 Needwood Road, Derwood Master Plan Site #22/34, Samuel S. Robertson House

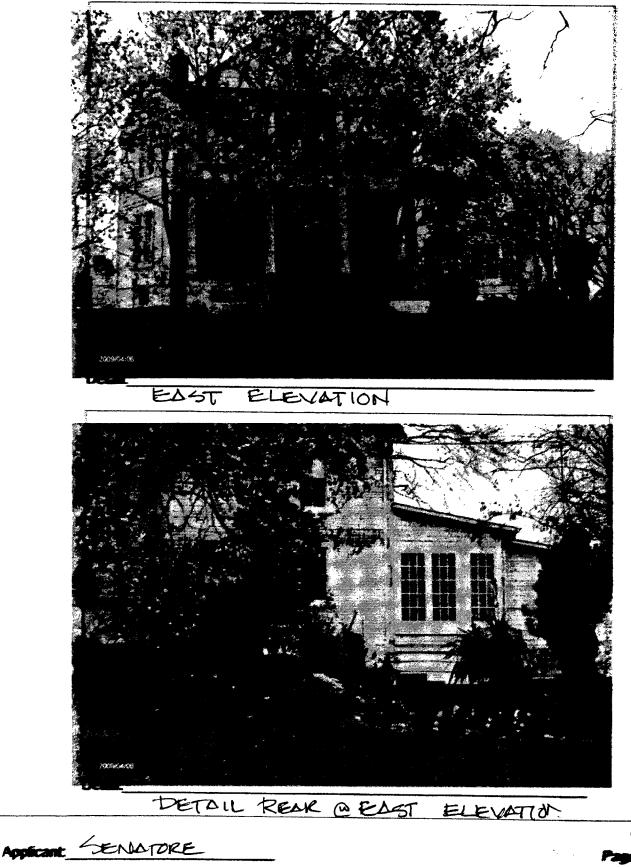


(19)

# Existing Property Condition Photographs (duplicate as needed)



### **Existing Property Condition P**



Existing Property Condition Photographs (duplicate as needed)

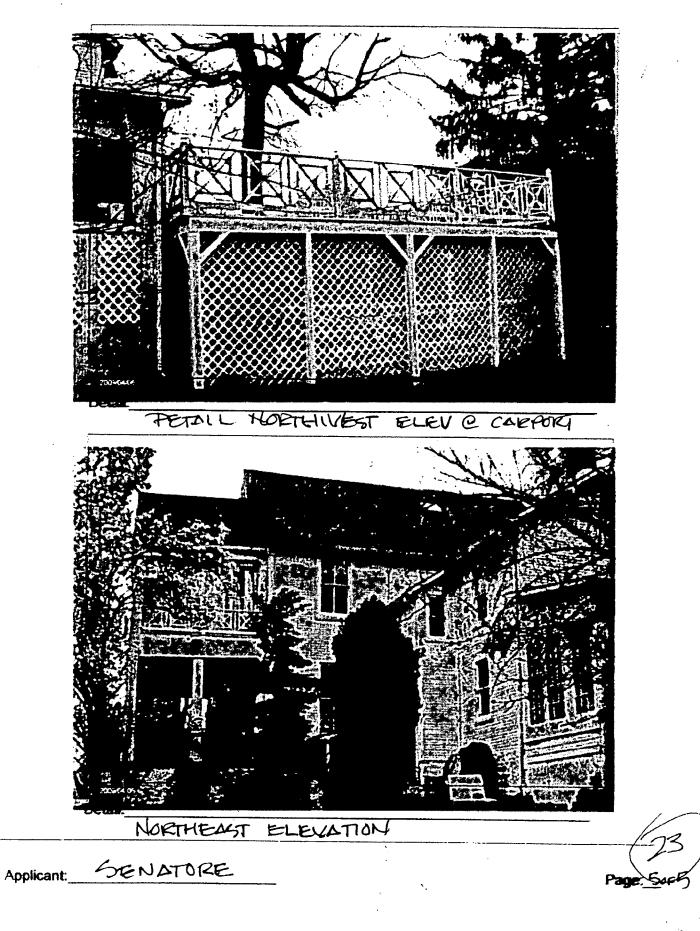




Applicant\_

Page 405

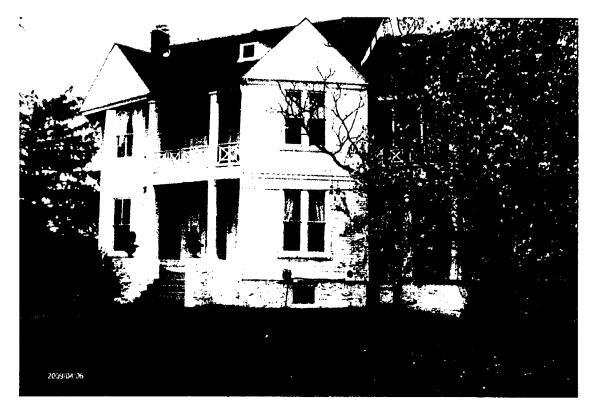
# Existing Property Condition Photographs (duplicate as needed)



6825 Needwood Rd. Derwood Existing Property Condition Photographs



Southwest Elevation



Southeast Elevation



West Elevation





Northwest Elevation



Northwest Elevation



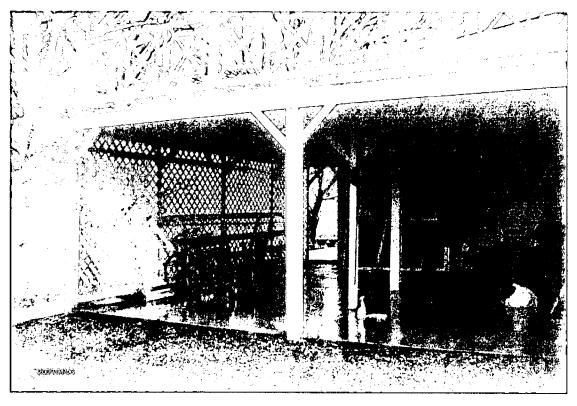
Northwest Elevation



Northeast Elevation



Northeast Carport Elevation



Northwest Carport Elevation



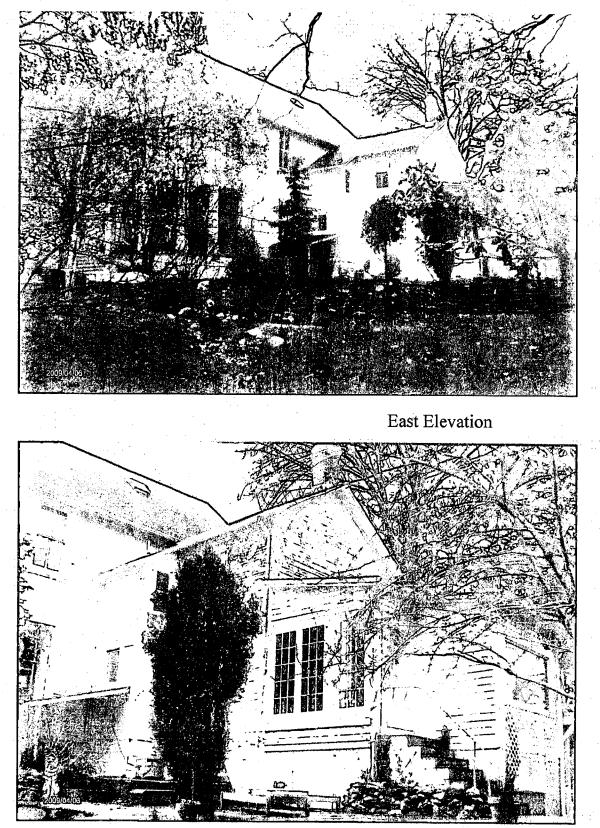
Northwest Foundation Detail



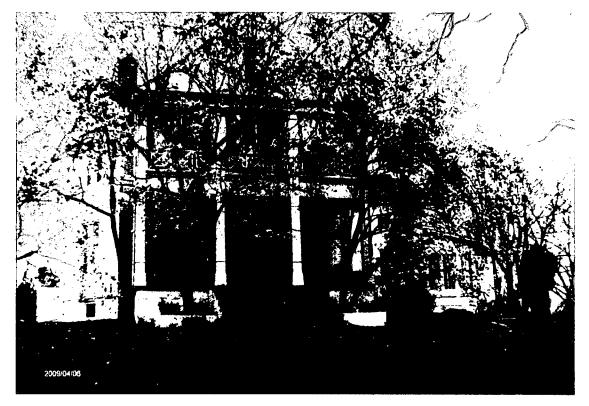
Southeast Elevation Detail



Northeast Elevation



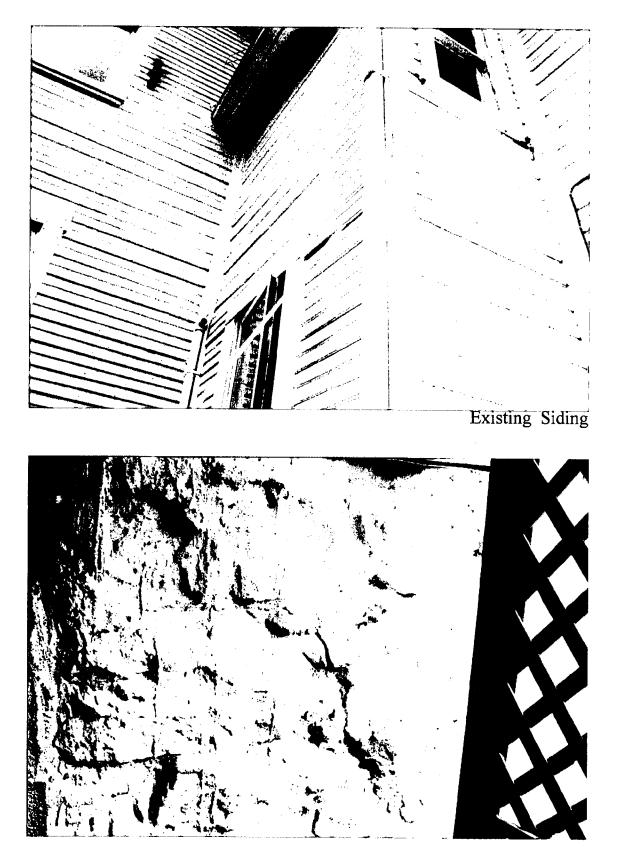
East elevation



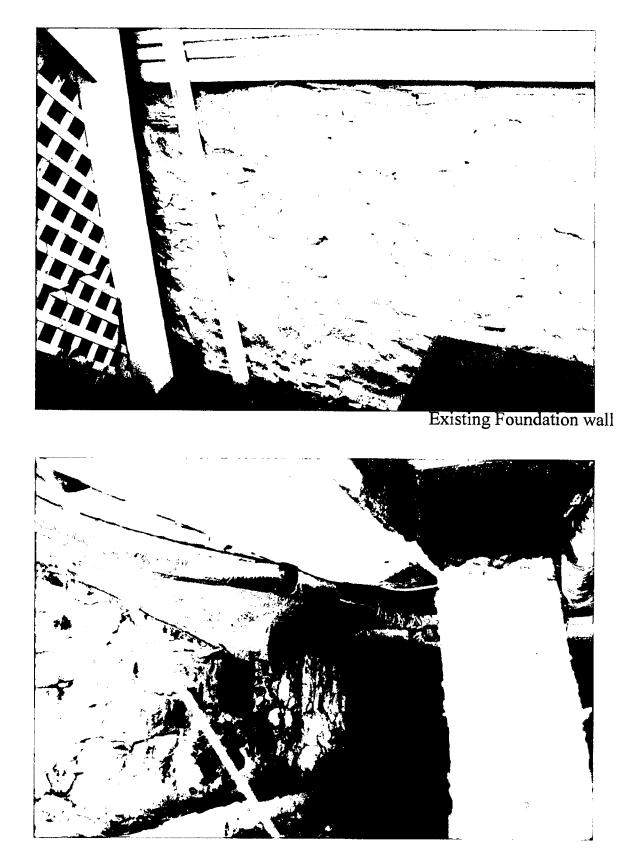
East Elevation



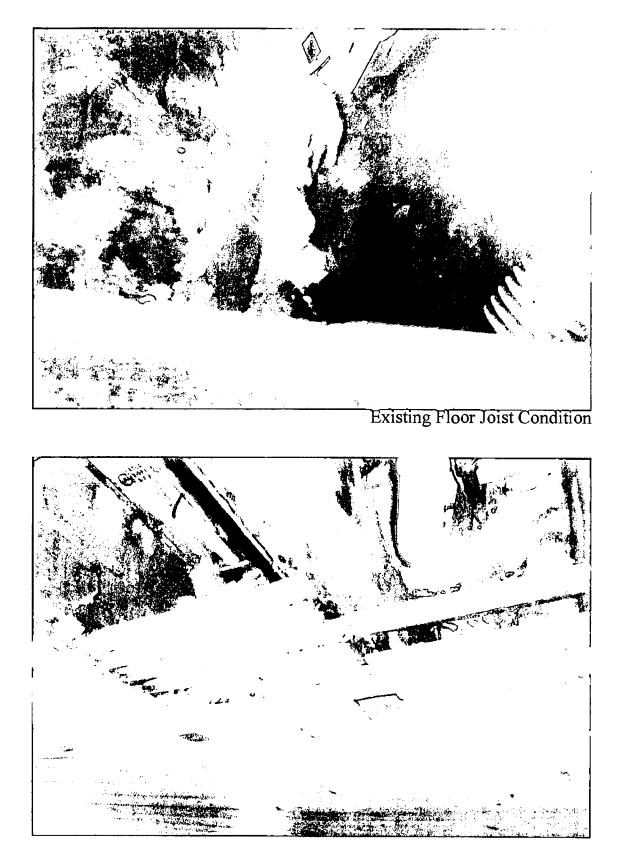
Detail Rear @ East Elevation



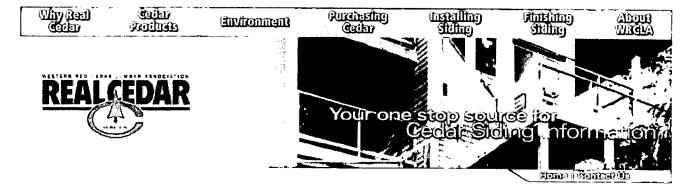
Existing Foundation



Existing Foundation & Floor Joist



**Existing Foundation Condition** 



# Siding Types

#### **Bevel - Specifications**



The following information is required when specifying bevel siding products:

Specification Information Required	Sample Specification
Species: Western Red Cedar	WRCLA Western Red Cedar
<b>Product Pattern and Intended Use:</b> Siding is used as an exterior cladding to provide both weather protection and architectural style. The designer may choose from plain bevel, rabbetted bevel, or wavy edge bevel.	Plain Bevel Siding
<b>Size:</b> Specify the nominal size of the product.	1/2 x 6 in.
<b>Grade:</b> The grade of the product governs its overall quality. Refer to WRCLA specification literature or grading agency rule books for available grades.	Clear V.G. Heart
Grading Agency Paragraph: To ensure that the product meets a written standard, an agency grade paragraph should be referenced.	NLGA para. 201a
Moisture Content: Specify whether the product is to be green (unseasoned) or kiln-dried.	Kiln dried
Surface to be exposed: Specify the application orientation to assist the supplier in shipping the right product for the job.	Surface face
<b>Quantity:</b> Express in surface measure the quantity required. See table for factor to convert square feet to surface measure.	5500 surface measure

REAL

Real Cedar is made by:

india Rigels. Codus Proses

Cedar facts for homeowners, builders and architects



#### Architects

- Earn 7.0 AIA/CES Learning Units
- Download Western Red Cedar
   Specifications

#### Consumers

 Find a Western Red Cedar Certified Retailer near you

#### Retailers

- Online Cedar Training
- \* Cedar School
- \* Onsite Training
- Order Western Red Cedar House Siding brochures here
- Keep up-to-date on Western Red Cedar marketing. Sign up for Real Cedar News

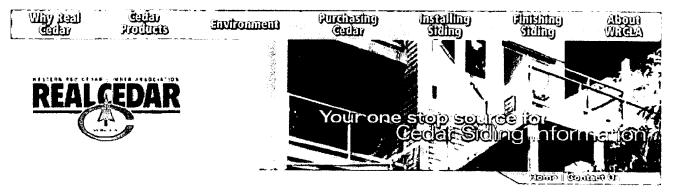
#### iViedia

 Articles for consumers, architects, builders and the trade

Building a wood deck visit our deck plan & design web site.. For wood fence, fencing, gazebo and arbor info visit www.cedar-outdoor.org.

Siding Home | Why Real Cedar | Cedar Products| Environment | Purchasing Cedar Installing House Siding ; Finishing House Siding ; About WRCLA

©WRCLA | Site Map | Disclaimer | Links | www.wrcla.org .reb site design by <u>Graphically Speaking</u> in Vancouver



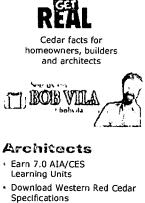
### Trim Boards

Clear Grades



Grade	Description	Grading Rule Paragraph		
Kiln dried clear grades c finish lumber. Typically	f western red cedar tri available as S4S or S1	im boards graded as S2E products.		
Clear Heart				
	The highest grade. Includes only pieces with heartwood on the exposed face. Many pieces completely clear, others have minor imperfections that do not detract from their fine appearance.	NLGA 200a WCLIB 102-b		
A Clear*				
	Permits somewhat more imperfections than Clear Heart but the grade is still restricted to pieces with excellent appearance. *Common specifications are A and Better and A and Better with a percentage of B Grade allowed.	NLGA 200b WCLIB 102-c		
B Clear				
	Permits slightly larger and more numerous characteristics than A grade but occassional pieces may require trimming to yield high grade pieces in shorter lengths. Most often supplied as a percentage with A grade.	NLGA 200c WCLIB 102-d		

Real Cedar is made by:



### Consumers

 Find a Western Red Cedar Certified Retailer near you

#### Retailers

- + Online Cedar Training
- Cedar School
- \* Onsite Training
- Order Western Red Cedar House Siding brochures here
- Keep up-to-date on Western Red Cedar marketing. Sign up for Real Cedar News

#### Wiedia

- Articles for consumers,
- architects, builders and the trade

e v

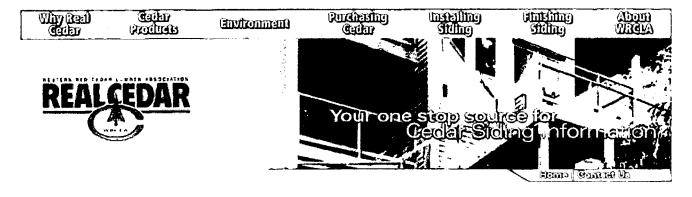
.

C and Better Clear		
D Clear	High quality lumber for use where appearance is important.In addition to interior and exterior trim, lumber of this grade is used for cabinetry, doors, windows and similar applications.	NLGA 202b, c WCLIB 149-b, c WWPA 10.11, 12
	This grade permits larger and more numerous natural characteristics and is used where general utility is more important than appearance. 1 NLGA - National Lumber Grades Authority WCLIB - West Coast Lumber Inspection Bureau WWPA - Western Wood Products Association	NLGA 202d WCLIB 149-b, c WWPA 10.13

Building a wood deck visit our deck plan & design web site.. For wood fence, fencing, gazebo and arbor info visit www.cedar-outdoor.org.

Siding Home | Why Real Cedar | Cedar Products| Environment | Purchasing Cedar Installing House Siding  ${\rm i}$  Finishing House Siding | About WRCLA

& WRCLA | Site Map | Disclaimer | Links | www.wrcla.org Web site design by Gr<u>aphically Speaking in Vancouver</u>



### Trim Boards

ti ti ti



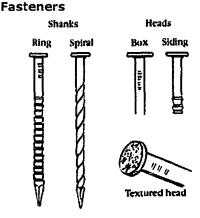


Figure 2. Nall Types

Hot-dipped galvanized, aluminum and stainless steel fasteners are all corrosion-resistant and can be used to fasten Western Red Cedar. Other types of nails are not recommended. They can rust and disintegrate and react adversely with the natural preservative oils present in cedar resulting in unsightly stains and streaks. Copper nails also react with cedar and should not be used. Stainless steel nails are the best choice, especially if trim boards are to be finished with transparent or semi-transparent stain. Use

No. 304 stainless for general applications and No. 316 for seacoast exposures.

For best results use splitless fasteners designed for siding installation. This type of nail has a thin shank and blunt point and is available with a ring or spiral shank. Fastener length should be adequte to provide a minimum penetration of 1-1/2 inches into solid wood.

Building a wood deck visit our deck plan & design web site. For wood fence, fencing, gazebo and arbor info visit www.cedar-outdoor.org.

Siding Home | Why Real Cedar | Cedar Products| Environment | Purchasing Cedar Installing House Siding | Finishing House Siding , About WRCLA

@WRCLA | Site Map | Disclaimer | Links | www.wrcla.org Web site design by Graphically Speaking in Vancouver

Real Cedar is made by.

Beaks Sea 1

Cedar facts for homeowners, builders and architects



#### Architects

· Earn 7.0 AIA/CES Learning Units

 Download Western Red Cedar Specifications

#### Consumers

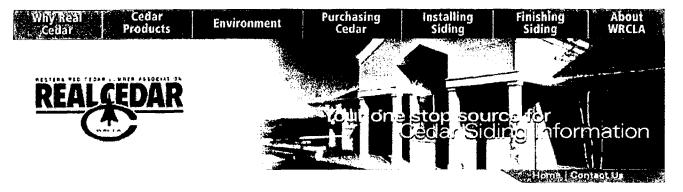
+ Find a Western Red Cedar Certified Retailer near you

#### Rotailers

- Online Cedar Training
- Cedar School
- Onsite Training
- Order Western Red Cedar House Siding brochures here
- Keep up-to-date on Western Red Cedar marketing. Sign up for Real Cedar News

#### Wedia

 Articles for consumers. architects, builders and the trade



# Corners & Field Joints

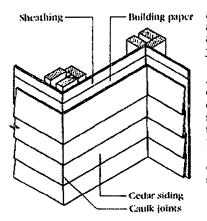


Figure 8. Mitered Corners

Corner boards are a popular alternative to mitered corners. They are often 3/4 in. or 1-1/4 in. material depending on the thickness of the siding. Width is a matter of taste and proper proportion. Corner boards are applied to the sheathing with the siding fitting tightly against the narrow edge of the boards. Joints should be filled with caulking compound when siding is applied. Trim boards can be used to cover butt jointed siding.

Sheathing Sheathing Metal Metal Gener boards Figure 10. Trim Boards

At inside corners, siding is frequently butted against a trim strip. It can also be butted against adjoining walls with a trim strip used to cover the join.

At outside corners, some builders choose mitered corners for a professional looking finish. Mitered corners are most common on horizontally applied siding and they must fit tightly for the full depth of the miter. To maintain a tight fit, the siding should be properly seasoned before installation and protected from the weather at the job site. The ends are often set in caulking compound when siding is applied.

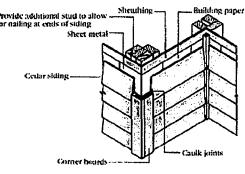


Figure 9. Corner Boards with Sheet Metal

The corner boards and the ends of the siding are nailed to the corner studs which anchors the wood for a maintenance-free joint. Designing roofs with an eaves overhang to protect corners from weathering also helps ensure trouble-free joints.

When butt jointing siding, cut ends at 45 degree angles to form an overlapping joint. This is particularly important for vertical installation.

#### Real Cedar is made by: P = machine each

A spinger og som
 A spinger og som



Cedar facts for homeowners, builders and architects



#### Architects

- Earn 7.0 AIA/CES
- Learning Units

 Download Western Red Cedar Specifications

#### Consumers

 Find a Western Red Cedar Certified Retailer near you

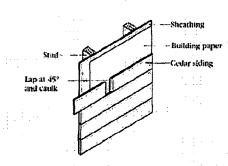
#### Retailors

- Online Cedar Training
- Cedar School
- Onsite Training
- Order Western Red Cedar House Siding brochures here
- Keep up-to-date on Western Red Cedar marketing. Sign up for Real Cedar News

#### Wedia

 Articles for consumers, architects, builders and the trade

### Install siding, installing siding, lap, bevel, tongue and groove, board and batten



Building a wood deck visit our deck plan & design web site. For wood fence, fencing, gazebo and arbor info visit www.cedar-outdoor.org.

Siding Home | Why Real Cedar | Cedar Products| Environment | Purchasing Cedar Installing House Siding | Finishing House Siding | About WRCLA

©WRCLA | Site Map | Disclaime: | Links | www.wrcla.org .Web site design by G<u>raphically Speaking</u> in Vancouver

### Residential Garage Doors From Wayne-Dalton - 7102 Model

SEE ALSO

doa

HOW TO MEASURE Want you acred to

know to measure your Nayne Dalton gampe

GARAGE DOOR DESIGN CENTER

Maw Wayne-Bailion rloors on your nomes

The new Gauge Door Design Crinte provinie: you the

Search Find A Dualer , Novil Us - Contact Us ( Dovr Design Center ) News ( Careers , Heip -Residential Products Commercial Products

Garage Doors Openers Nome Access & Controls Storm Protection Products

GARAGE DOORS 7102 MODEL

Residential Wood Doors >> Residential Doors >> 7103 Model >> 7420 Cabriolet >> 7102 Model



7102 Model Wood Garage Doors "Affordable Carriage House Look.

A custom look with many of the quality features found in our top-of-the-line doors. Framing of Model 7100 doors is kiin-dried hemlock with rounded edges. Panels are smooth mahogany with shiplap interlock between sections. All surfaces are primed for paint.

Be sure to complete your garage door purchase with the convenience, safety, and security of a Wayne-Dalton residential garage door opener.

Only Wayne-Dalton manufactures both the garage door and garage door opener to work together as one complete system.

Available in either contemporary wall-mount (/drive) or traditional ceiling mount (prodrive) designs, Wayne-Dalton offers the quietest and most advanced residential garage door openers

to meet your needs and taste.

7102 Model Wood Garage Doors Features

📕 Product Manuals View Product Manuals

Brochure for Wood Garage Doors (Series 7000)



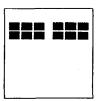
Click here to view PDF,

Glass Windows

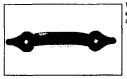
Clear Antique Art Bronze Tint Gray Tint

Windows in Series 7000 doors are standard. They are true divided windows with individual glass separated by one inch muntins. Shatter-resistant Plexiglas TM is also available.

Window Patterns Square Top 12 Lites



Decorative hardware - wood Coach house lift handle

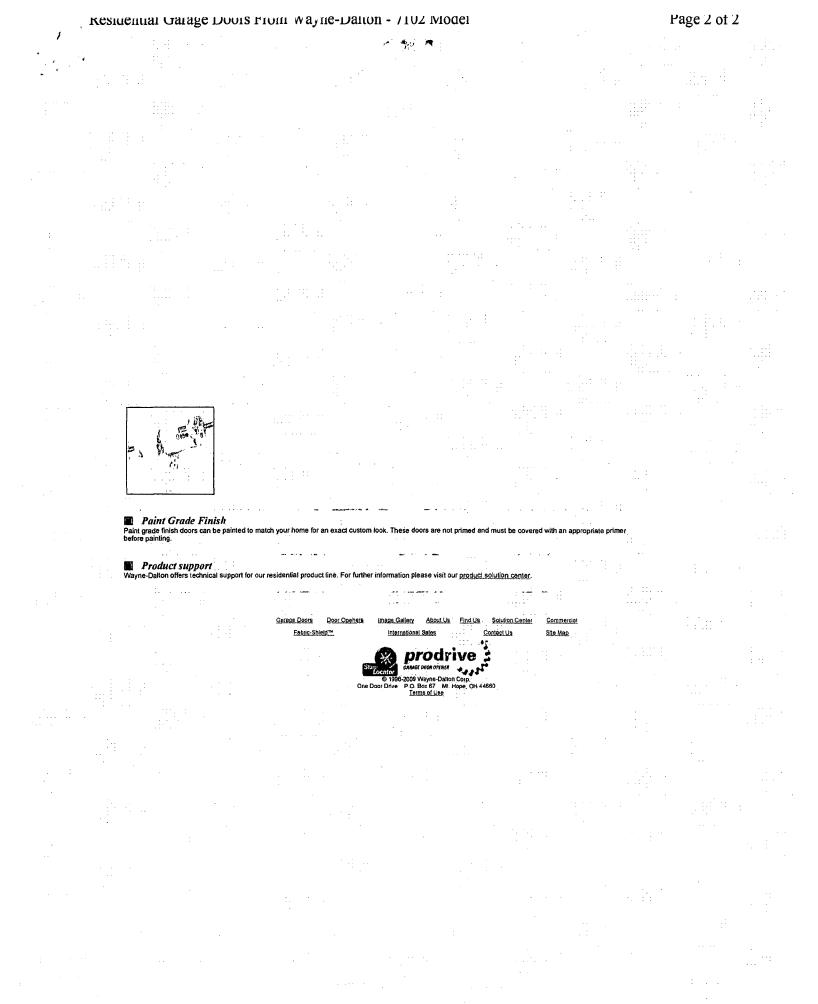


Wayne-Dalton decorative hardware completes the carriage house styling of your Series 7000 Garage Doors. Accessories are available in classic Fluer-de-Lis design or the elegant coach house pattern. Each piece is finely detailed for historical accuracy with a hand-hammered look that faithfully recreates the appearance of traditional swing-style carriage house doors.

Torsion Spring Counterbalance

The Torsion Spring Counterbalance offers the strength necessary to lift heavier doors such as those made of solid wood. Use with idrive ™ for Torsion Springs.

idrive<sup>™</sup> Garage Door Opener By mounting the *i*drive<sup>™</sup> on the wall above your door, we eliminate the belts, chain, screw drive and track that clutter your garage ceiling. The right opener for the right door. It's quieter, faster, and easier to install. Plus it looks a whole lot better and cleaner, <u>Leann</u>



### John Buffett, PE

13017 Wisteria Drive #396Germantown, MD 20874(301) 448-0682John@StructurePlan.com

#### **Employment Backround**

Structure By Design PA - Firm Owner, Licensed Professional Engineer #33445 in the state of Maryland.

<sup>9</sup> Whole structure engineering of residential & light commercial construction projects providing structural plans, details, specifications, calculations & reports of on-site inspections for safety assessment, settlement of construction issues and financing requirements.

Prior to 2006, performed duties of Structural Engineering Supervisor for a large components manufacturer.

<sup>o</sup> Management & engineering of billable residential & light commercial structural designs providing complete structural plans, details, specifications & calculations.

<sup>o</sup> Developed document, library & procedural format(s) for new designs & plan reviews provided to architectural, contractor & owner customers.

<sup>o</sup> Assisted in repairs & problem resolution as required by plant customers as well as manufacturing, design & sales departments.

<sup>o</sup> Assisted in training of in-house and out-source engineering/sales users of software applications and methods of product specification.

Previous engineering experience with local engineering firms:

<sup>o</sup> Prepared structural plans and construction documents for cast-in-place, post-tensioned and precast parking structures while monitoring a Baltimore high-rise façade restoration of decorative concrete and reinforcing materials.

<sup>o</sup> Performed design, plan review, permit set application preparation, as-built assessments, plan revision and monitored repairs for a wide range of commercial & residential projects in the Washington, D.C. area.

Physical Security Construction Manager/Design Engineer organizing and completing contract assignments 1995-1999 <sup>o</sup> Responsible for the on-site oversight, scheduling, inspection & documentation of overseas security-related construction projects to assure adherence to specified quality and physical security specifications.

° Completed projects on time despite adverse workforce skill levels, language differences and the constraints of working within fully operational facilities. Performed design of related projects between on-site assignments.

Trained in the construction management of medium to large homebuilders from 1988 to 1994 working as site superintendent, contracts manager and production manager.

<sup>o</sup> Managed development & construction of 19 semi-custom, \$1-1.4 million, single family home subdivision from initial approvals, through utility & roadway construction to completion of homes while assisting with nearby projects.

° Responsible for preparation of non-standard changes, relevant architectural documents and pricing with customers.

<sup>o</sup> Recruited to head day-to-day operations – permitting, bonds, costs, contracting, execution and accounting of all home site development, construction and customer service functions of single family home subdivisions.

<sup>o</sup> Developed and implemented computerized accounting system, complete product specifications, contracts, bid & performance specifications and safety compliance procedures.

<sup>o</sup> Responsible for the start-up and operations of our most successful home communities.

<sup>o</sup> Progressively improved quality and reduced project duration through training and specification enforcement efforts.

<sup>o</sup> Participated in creating designs and product specifications of new single family models that competed successfully in a difficult market while adhering to strict architectural and planning codes.

<sup>o</sup> Managed concurrent construction of multiple subdivisions building diverse residential units from competitive townhomes to single family homes selling for more than \$650,000.

<sup>o</sup> Won corporate awards for highest production quality ratings & product improvement revisions.

#### Education

#### University of Maryland at College Park

<sup>o</sup> Bachelor of Science Civil Engineering with concentration in Construction Management, graduated May 1994.

#### Professional

<sup>o</sup> NCEES Record, Model Law Engineer.

<sup>o</sup> Member ASCE, NSPE, ICC, ACI, PCI, AISC and AWC.

**Structure**by**Design**PA

13017 Wisteria Drive #396 Germantown, MD 20874 (240) 252-4117 John@StructurePlan.com

Tuesday September 8th, 2009

O'NEILL & ASSOCIATES ARCHITECTS Stephen D. O'Neill, AIA, NCARB 11205 Lockwood Drive, Suite B Silver Spring, MD 20901

Re: Structural Evaluation Senatore Residence in Derwood, MD

#### Dear Mr. O'Neill:

I met with Mr. Senatore last fall to structurally assess the rear Kitchen addition of his home while improvements were being considered. Discussion of a range of improvement goals led me to conduct an initial survey of measurements and condition, citing extensive repair requirements to the structure, ultimately leading to agreement to suspend my preparation of drawings and calculations until the planning phase of the project became more complete.

#### Observations and comments:

The rear wing of the home, Kitchen, Morning Room, Powder Room & Bedroom above appear to have been added as three different projects; a one story addition, an added second story and an extension beyond the fireplace.

The foundation has a different, coarser surface appearance than the main section of the house and groupings of smaller stones are evident. The differing door case heights, window positions close to corners and lack of ceiling height in the addition are typical of successive changes.

The siding starts at different levels than the front of the house and transitions to a different appearance on the second floor of this wing, at the same level as the corner post cuts at the corners of the powder room.

The second floor joists may have been attic floor collar ties, of a one story addition, which would explain their spacing, size and the level of damage incurred as the upper bathroom was added and subsequently remodeled. This remodeling damage extends into the first floor wall structure where framing has been cut without being repaired to accommodate pipes.

When the rear extension was added, the rear wall of the fireplace as well as the rear wall of the first floor were removed to create a two-way fireplace and open up the room effectively removing all potential shear wall bracing to support the structure from side winds. The removal of the rear wall of the firebox leaves only two supporting sidewalls without any corners to help resist sideways toppling. This problem is exacerbated by the lack of effective shearwall at the end of the extension where only a window was installed. The only repairs applicable to this deficiency would be the reintroduction of shearwalls or a one and a half story steel moment frame that would still protrude into the living space.

Moisture trapped in the crawl spaces is deteriorating the floor framing above and the stone foundation wall at the end of the first addition. Standing water collects in the rear crawl space and has begun to cause settlement and/or frost heave damage.

The first floor framing around the fireplace was damaged extensively by fire and the floor was only resheathed without replacing the joists.

Competitive repair design, material and labor costs just to restore the structural integrity of these additions would be expected to be overly expensive start to this project.

Please do not hesitate to contact me should you have any questions, comments or require further assistance during the future progress of this project.

Sincerely,

//John Buffett//

John Buffett, PE



Southwest Elevation



Southeast Elevation



West Elevation





Northwest Elevation



Northwest Elevation



Northwest Elevation



Northeast Elevation



Northeast Carport Elevation



Northwest Carport Elevation



Northwest Foundation Detail



à

Southeast Elevation Detail



Northeast Elevation



د ب

East Elevation



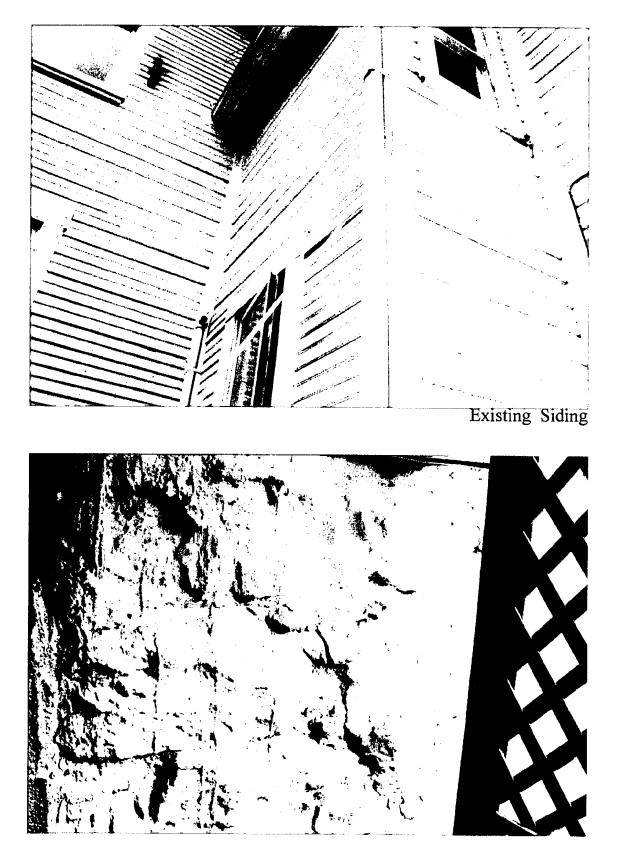
East elevation



East Elevation



Detail Rear @ East Elevation



**Existing Foundation** 

Applicant: Senatore



Existing Foundation wall

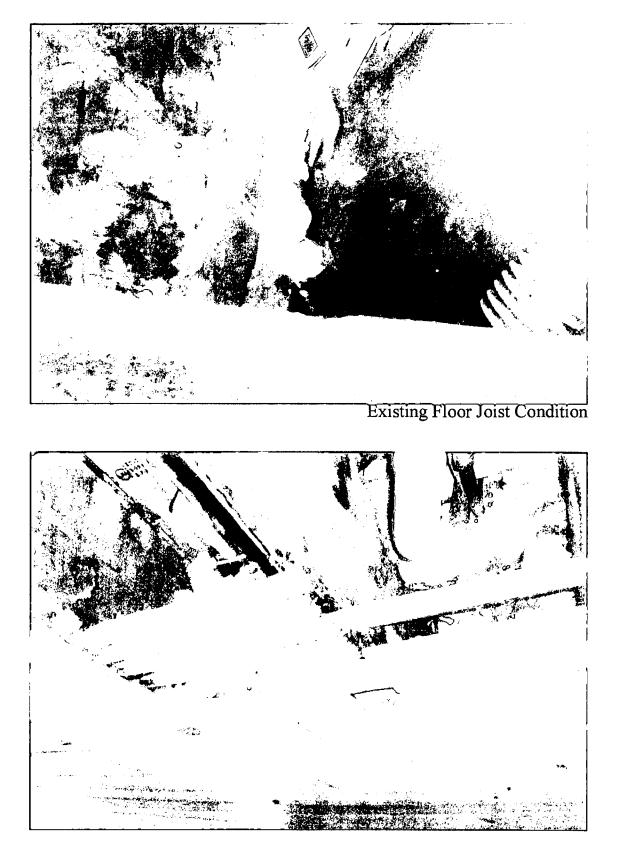


Existing Foundation & Floor Joist

Applicant: Senatore

4 5 8

## 6825 Needwood Rd. Derwood Existing Property Condition Photographs



Existing Foundation Condition

Applicant: Senatore

#### MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	6825 Needwood Road, Derwood	Meeting Date:	10/28/2009
Resource:	Individually Designated Master Plan <i>Site</i> #22/34, Samuel S. Robertson House	<b>Report Date:</b>	10/21/2009
Applicant:	Michael and Anne Senatore	Public Notice:	10/14/2009
pp	(Stephen O'Neill, Architect)	Tax Credit:	Partial
Review:	HAWP	Staff:	Josh Silver

**Case Number**: 22/34-09A

PROPOSAL: Rear addition and new garage construction

#### **STAFF RECOMMENDATION**

Staff recommends that the HPC **approve with one condition** this HAWP application:

1. The applicant will work with HPC staff to refine the proposed pergola design. Final design to be approved by HPC staff.

#### **ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Individually Designated Master Plan SiteSTYLE:VictorianDATE:c1889

## The following was excerpted from Places From the Past: *The Tradition of Gardez Bien in Montgomery County, Maryland*:

One of Montgomery County's most prolific 19<sup>th</sup> century architects, Thomas Groomes, designed the 1889 Robertson House. Groomes popularized Victorian-era revival styles in Gaithersburg-Rockville area. In March 1889, the *Montgomery County Sentinel* heralded the construction of the Robertson residence, reporting that the house was to have 10 rooms, a stair hall, bathroom, front and rear porches and a cellar. Nine months later, the Sentinel lauded the completion of the "irregular Queen Anne vill." Two-story projecting pavilion with the pediment gables flank the central entrance bay. The south bay (right) is squared while the north bay is polygonal. The walls are textured with narrow clapboards enlivened with fishscale shingles between stories and in gable ends. Samuel S. Robertson grew up nearby at Nedwood and inherited the property on which he built his house from his parents, William George and Mary V.K.S. Robertson. The property has also been known as the Eubanks Farm for its owners in the post-World War II era.

#### BACKGROUND

On September 9, 2009 the Historic Preservation Commission (HPC) held a Preliminary Consultation

hearing at which they evaluated a proposal to construct a two-story rear addition and one-story, two-bay detached garage on the side of the house. The proposed design program consisted of connecting the proposed addition to an existing historic addition behind the main block of the house and constructing a covered walkway between the proposed addition and detached garage. The proposed design maintained the existing historic addition foundation and wall planes and increased the building footprint and massing as a literal extension into the rear yard. Construction of the proposed addition would necessitate the removal of a non-historic (c1960s) one-story addition from the rear of the house and the partial removal of a wooden deck from the side yard.

At the Preliminary Consultation hearing the project architect summarized a structural engineer report that identified several structural deficiencies associated with the existing historic addition. This new information was obtained after the Preliminary Consultation proposal was submitted for consideration, and the structural report was not provided for the HPC's review during the Preliminary Consultation. The project architect defined a revised project plan that proposed the total replacement of the foundation, wall planes and floor systems of the historic addition. The HPC's review of the proposal focused primarily on the plans submitted for review at the Preliminary Consultation, although there was some discussion of the revised proposal.

The HPC provided the following comments and feedback in response to the applicant's proposal:

- The proposed massing and location for both the addition and garage was appropriate for the resource type and style
- The connection between the addition and garage should be eliminated or redesigned as a garden feature compatible with the style of the house
- Additional detail about suspending the existing brick chimney should be included with the HAWP application
- Further analysis of the historic addition's structural condition should be examined to determine if modifications are required to stabilize the addition prior to applying for a HAWP
- A parged and painted surface or stucco material treatment should be used on the foundation section of the proposed addition.

#### PROPOSAL

The applicants are proposing to construct a two-story addition at the rear of the house and a one-story, twobay detached garage on the side of the house. A wooden pergola will connect the proposed garage and new addition. The proposed addition will extend from an existing historic addition behind the original main block of the house. The proposal calls for stabilizing the existing stone foundation walls of the historic addition, removing and replacing the second-story of the historic addition with a similar massing and constructing a new two story addition that will extend the length of the existing non-historic, one-story addition. The non-historic, one-story addition and a portion of a wooden deck would be demolished to accommodate the proposed two-story addition.

The proposed addition will be sheathed with an asphalt shingle roof, clad in wooden siding, contain wooden double-hung true divided light windows and French door systems. To distinguish historic siding from new siding, the new siding will have a wider reveal than the historic siding. Material specifications for the garage are consistent with those proposed for the rear addition.

#### **APPLICABLE GUIDELINES**

#### Montgomery County Code; Chapter 24A

The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
  - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
  - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

#### Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### STAFF DISCUSSION

#### Addition and Second-Story Reconstruction

Staff supports the proposed construction of a rear addition and the removal and reconstruction of the second-story section of the historic addition at the subject property. The applicant has demonstrated several structural deficiencies with the existing historic addition's foundation, structural members and wall planes. The attached structural engineer reports outline these deficiencies. (See circles 27-32)

The revised proposal tempers the need for remedying the structural deficiencies of the historic addition by providing for limited new construction without compromising the original foundation and first story section. The proposed design approach stabilizes and preserves the foundation walls in situ and retains the original footprint of the historic addition. The proposed reconstruction of the second-story is compatible and in keeping with design characteristics of the historic massing and addition. The simplicity of the proposed design of the new addition as a literal extension of the historic addition and reconstructed second-story, along with its massing, scale and form help the addition read as subordinate to the main massing of the historic house. Differentiation between the original first-story, reconstructed second-story and new addition is made distinguishable by applying a wooden band board and alternate siding treatment.

#### Garage

The proposed detached garage is compatible with the primary structure and been designed to fit sensitively within the context of the environmental setting. The revised design for the connection piece between the addition and garage responds to the HPC's comment that the connection should read as a garden element consistent with the vernacular characteristics of the house. Staff recommends further simplification to the pergola design to diminish its pronounced visibility when approaching the resource from the driveway.

#### **Materials**

The proposed material treatments for both the addition and garage are appropriate for the resource type and compatible with the existing materials on the historic massing. The design expresses differentiation between the first floor of the historic addition and new construction by using a wooden band board and a different siding treatment. The proposed new construction is also differentiated by the use of a parged foundation treatment. This approach enables a clear distinction to be made between the original building and new construction.

To achieve consistency with guidance for additions and new accessory structures found in *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*, a proposed addition should meet the following guidelines:

- 14.2 New accessory structures should be compatible with the primary structure
- 18.1 Place an addition at the rear of a building to minimize its visual impacts
- 18.3 An addition should be compatible in scale with the primary structure
- 18.4 Use building materials that are compatible with those of the primary structure
- 18.5 An addition should be compatible in character with the primary structure
- 18.6 Use windows that are similar in character to those of the main structure
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

#### **STAFF RECOMMENDATION:**

Staff recommends that the Commission <u>approve</u> the HAWP application <u>with the condition specified on</u> <u>Circle 1</u> as being consistent with Chapter 24A-8(b)(1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource'is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will <u>contact the staff person</u> assigned to this application at 301-563-3400 or <u>joshua.silver@mncppc-mc.org</u> to schedule a follow-up site visit.

	RETURNITO SUBARIMENT CERENT THAT SUBALITS
	Production         Production         DPS - #8           2012         241277         10
• 17 4 0 76 •	HISTORIC PRESERVATION COMMISSION
BARYLAND	301/563-3400
	APPLICATION FOR
LICT	TORIC AREA WORK PERMIT
	Contact Person: STEPHEN O'NELL
	Daytime Phone No.: 301-592-8878
Tax Account No.; Name of Property Owner: M	ICHAEL & ANNE SENATOREDaytime Phone No.: 301-466-0774
Address:	Ski ME -
Street Num	
Contractorr:	<u>U 1 Alto</u> Phone No.: 301-592-9878
Contractor Registration No.:	(380 Rain) Alkin and Salan
Agent for Owner:	EPHEN O'NELL Daytime Phone No. 201-592-8972
LOCATION OF BUILDING/PF	
House Number: 6825	
Town/City: DEPMOE	Nearest Cross Street: REDLAND ROAD
Liber: Folio:	
PART ONE: TYPE OF PERM	
1A. CHECK ALL APPLICABLE:	End X Alter/Renovate A/C Slab X Room Addition Porch Deck Shed
	•
🗆 Revision 🛛 🗙 Repa	
1B. Construction cost estimate:	a: s 300,000
1C. If this is a revision of a prev	viously approved active permit, see Permit #
PART TWO: COMPLETE FO	OR NEW CONSTRUCTION AND EXTEND/ADDITIONS
2A. Type of sewage disposal:	: 01 🜠 WSSC 02 🗆 Septic 03 🗔 Other:
2B. Type of water supply:	01 🛠 WSSC 02 🗆 Weil 03 🗔 Other:
PART THREE: COMPLETE O	ONLY FOR FENCE/RETAINING WALL
	inches
3A. Heightfeet	
	ce or retaining wall is to be constructed on one of the following locations:
	(line Entirely on land of owner 🗇 On public right of way/easement
38. Indicate whether the fence	(line Entirely on land of owner ID on public right of way/easement VANESSA Y. H Notary P STATE OF
38. Indicate whether the fence On party line/property, I I hereby certify that I have the a	(line Entirely on land of owner C On public right of way/easement (ANESSA Y. H
38. Indicate whether the fence On party line/property, I I hereby certify that I have the a	(line Entirely on land of owner On public right of way/easement /ANESSA Y. H Notary P authority to make the foregoing application, that the application is correct, and that the construction will comply the states (4) Comm. Exp. S
38. Indicate whether the fence On party line/property I I hereby certify that I have the a approved by all agencies listed	(line Entirely on land of owner On public right of way/easement /ANESSA Y. H Notary P authority to make the foregoing application, that the application is correct, and that the construction will comply the states (4) Comm. Exp. S
38. Indicate whether the fence On party line/property I I hereby certify that I have the a approved by all agencies listed	(line       Entirely on land of owner       On public right of way/easement       (Interpretent of the second se
38. Indicate whether the fence On party line/property ! I hereby certify that I have the a approved by all agencies listed Signature of Approved: 522	Ine       Entirely on land of owner       On public right of way/easement       VANESSA Y. H. Notary P. STATE OF         authority to make the foregoing application, that the application is correct, and that the construction will complete this takes       VANESSA Y. H. Notary P. STATE OF         authority to make the foregoing application, that the application is correct, and that the construction will complete this takes       VANESSA Y. H. Notary P. STATE OF         authority to make the foregoing application, that the application for the issuance of this permit.       VICONT. Exp. State OF         authorized agent       1015109         authorized agent       Dete         Autorized agent       Far Cheirperson, Historic Preservetion Commission
38. Indicate whether the fence On party line/property ! I hereby certify that I have the a approved by all agencies listed Signeture Approved:	Ine       Entirely on land of owner       On public right of way/easement       VANESSA Y. H. Notary P. STATE OF STATE OF dealers and accept this to be a condition for the issuence of this permit.       VANESSA Y. H. Notary P. STATE OF dealers and accept this to be a condition for the issuence of this permit.       VANESSA Y. H. Notary P. STATE OF dealers and accept this to be a condition for the issuence of this permit.         Image: Comparison of owner or authorized egent       Image: Comparison of the issuence of this permit.       VHVOJO         Image: Comparison of owner or authorized egent       Image: Comparison of the issuence
38.       Indicate whether the fence         □       On party line/property !         I hereby certify that I have the approved by all agencies listed         Signeture         Signeture         Approved:	Ine       Entirely on land of owner       On public right of way/easement       VANESSA Y. H. Notary P. STATE OF         authority to make the foregoing application, that the application is correct, and that the construction will complete this takes       VANESSA Y. H. Notary P. STATE OF         authority to make the foregoing application, that the application is correct, and that the construction will complete this takes       VANESSA Y. H. Notary P. STATE OF         authority to make the foregoing application, that the application for the issuance of this permit.       VICONT. Exp. State OF         authorized agent       1015109         authorized agent       Dete         Autorized agent       Far Cheirperson, Historic Preservetion Commission

----

Peter and Evelyn Kim 6833 Needwood Road, Derwood, MD 20855

1.444 S ----

Gary and Judy Lewis 6837 Needwood Road, Derwood, MD 20855

Eric and Linda Engelmann 6829 Needwood Road, Derwood, MD 20855

Chicu Nguyen 6811 Needwood Road, Derwood, MD 20855

Bob Johnson and LaVanna Vice Johnson 6801 Needwood Road, Derwood, MD 20855 **O'NEILL & ASSOCIATES ARCHITECTS** 

101 Valley Brook Drive Silver Spring. Maryland 20904-2963 301-622-3114

October 7, 2009



Re: Senatore Residence, HAWP 6824 Needwood Road, Derwood, MD Resource: #22/34 Samuel S. Robertson House

Dear Mr. Silver,

تية ج المدتح

Pursuant to our recent meetings and conversations, I am including this narrative to supplement our Historic Area Work Permit application for the above referenced project..

The subject property consists of a Queen Anne style Manor House designed by architect Thomas Groomes for Samuel Robertson in 1889. The home has several later additions and modifications completed over various time frames. Telescoping back NE from the rear, there is the one story Seasonal Rom-Addition 1, attached directly to the Manor House. Above the Seasonal Room-Addition 1 roof structure is built the second floor Addition 2. Attached directly to the now two story Addition, is the single story, modern Breakfast Room-Addition 3. Adjacent to the Breakfast Room, there is a two-car Carport- Addition 4, with roof deck projecting to the northwest side.

The construction of the existing improvements vary. Generally all roofs are clad with asphalt composition tab roofing. All walls above grade are clad with painted wood siding and trim. Windows are single pane True divided lite with some modern replacements. There are turned wood porch columns and square wood balcony columns and pilasters around the Manor House

The Manor house is a two story wood frame structure with frost block and stone basement and foundation walls. The attic is framed with wood joists and collar ties, and has a "walkable" vaulted space.

The Seasonal Room- Addition 1, estimated 1900's, is a one story wood frame structure on a crawl space with a rubble foundation at grade and no frost protection. Above Addition 1, built on top of the original roof joists is built a wood frame Study/Bath- Addition 2, estimated. 1920's.

**э** г

The Breakfast Room- Addition 3, estimated 1960's, is built upon a concrete masonry block crawl space, with wood framed floor walls, and roof. It has no historic significance

The Carport/ Roof Deck- Addition 4, estimated 1970's is composed of painted wood post and beam construction with a wood framed deck. Upon the deck is a membrane roof with composite decking and rails. The foundation system for the Carport is not readily apparent. This structure has no historic significance.

The Proposed Program for new improvements include a Carriage House and Garden Style Pergola attaching the Carriage house to the new construction. Also included is the removal of the uncharacteristic Breakfast Room- Addition 3, the structurally questionable Study/Bath -Addition 2, and the architecturally challenged Carport/Deck- Addition 4. A New Kitchen is proposed in the preserved Addition 1, and a New Breakfast Room and second floor Guest Suite in the newly rebuilt and expanded areas at Addition 2 and Addition 3 in roughly the same envelope as the older construction. The new structure will deviate slightly in height and length and width due to structural, construction and architectural considerations.

The new materials are to be 6" painted wood siding. Trim to match existing, new exposed foundations to be painted sand/stucco finish block, and generally color and material pallette are to be complimentary. Existing materials disturbed or damaged during construction to be replaced in kind as possible. Existing trees and shrubs over 4" caliper to remain. An existing 20" tree was removed recently for safety reasons and there is a report from the arborist attached.

There are existing architectural, structural and practical considerations related to the additions, removal, and new construction of program requirements. Some of these include, inappropriate style, framing and footing conditions along with various structural members compromised by improper notching and frost protection. Attached are reports from the Structural Engineer and Keystone Foundation Systems, whom have been retained as consultants and advisors to the practical and physical necessities to best preserve the resource and protect the future safety of the owners.

The purpose of this project is to provide a practical, safe and architecturally sensitive solution to the needs of the county, the new owner's and their family.

Sincerely,

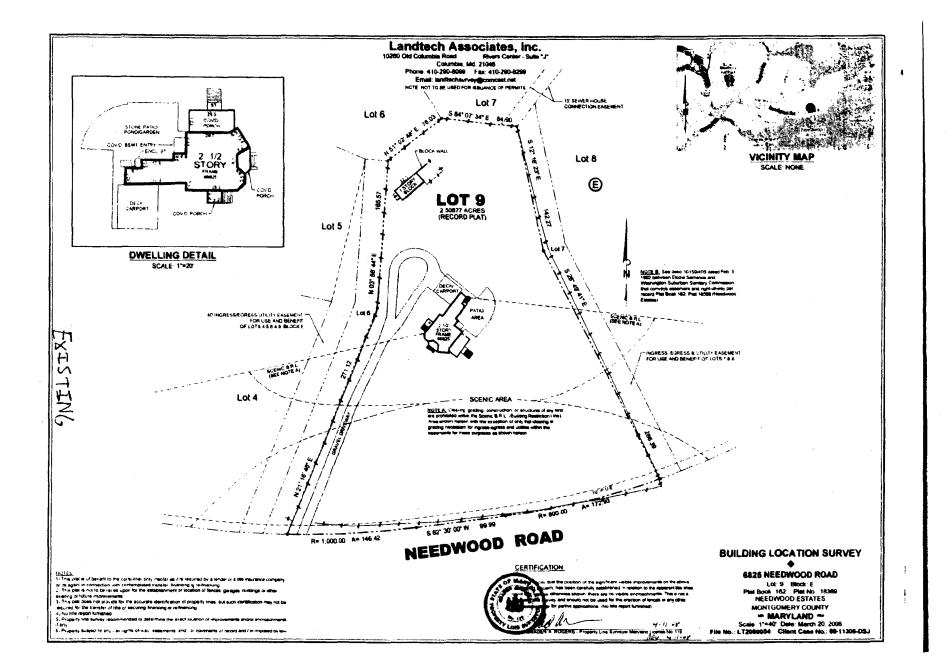
Stephen D. O'Neill, AIA

# PLANS

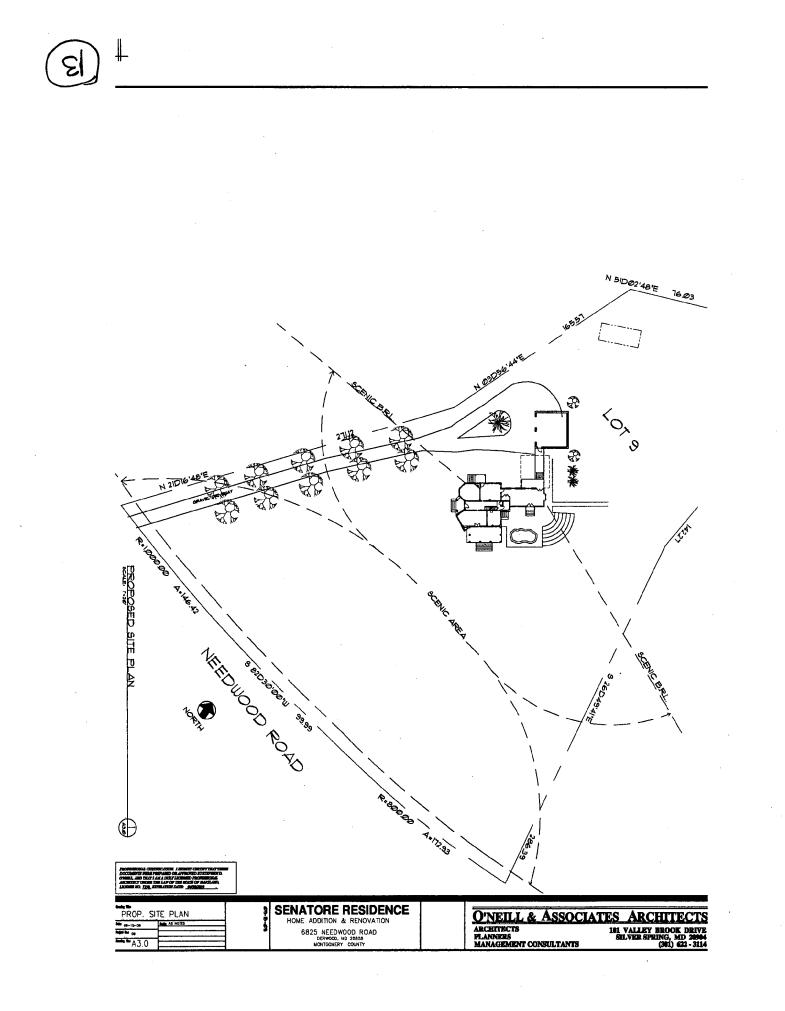
.

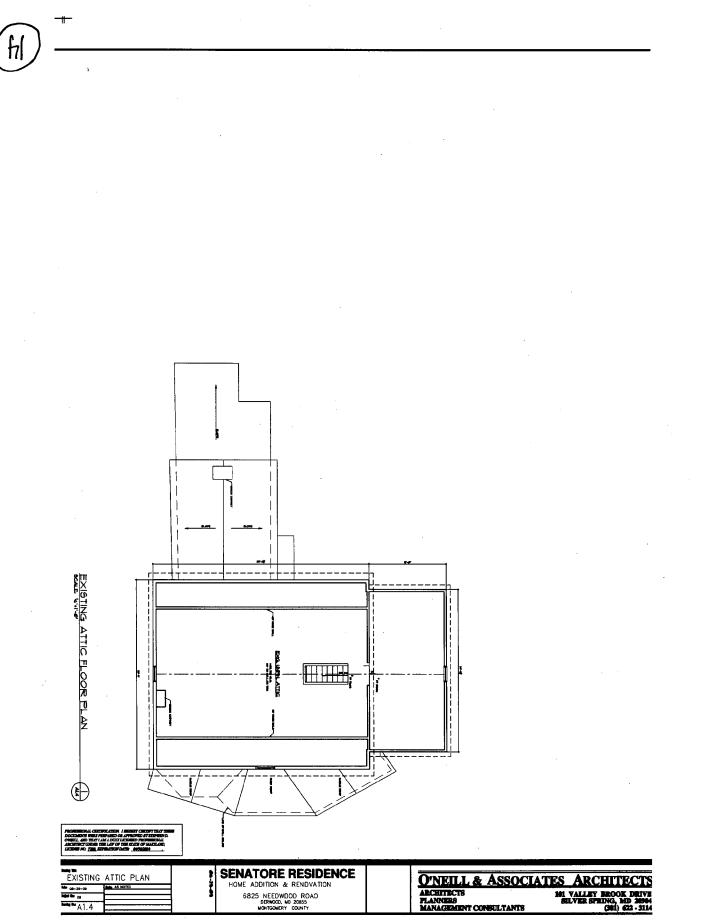
PROJECT DESCRIPTION AREA COMPUTATION ZONING INFORMATION CODE ANALYSIS GENERAL NOTES: ONE THE RECARDS OF בין דעם אינער אינער אין אינער א אינער אינער אינער אינער אינער אינער אין אינער גער אינער נוס אין משעות איז עם אייראוני ער מעמעטענט כאווס אנגע אוואסן אין דעשור מאווער זיים אנשירנט געס אין משעור מאווס. ŝ STAR MELLER ş -SITE PLAN: APPLICABLE BUILDING CODES 2006 INTERNATIONAL RESIDENTIAL CODE MONTGOMERY COUNTY CODE AMMENDMENTS 2006 IECC VICINITY MAP: ARCHITECT: OVELUA LUSOCITES ABLENTELTS -STREAM & OVELUA LIEDS LOANNON DEVE. SUITE 3 ELLER SUI-DS - MARTAND 20001 FAIL SUI-DS --3140 CONSULTANTS: GEOTECH ENGINEERS: PROJECT TITLE: CIVIL ENGINEER: PLUMBING CONSULTANT MECHANICAL/ELECTRICAL STRUCTURAL ENGINEER: SENATORE RESIDENCE 6825 NEEDWOOD ROAD DERWOOD, MD. 20855 HOME ADDITION DRAWING INDEX: RENOVATION PROPOSED SITE PLAN PROPOSED BASINGENT FLOOR PLAN PROPOSED 18T FLOOR PLAN PROPOSED 20D FLOOR PLAN SUSTING BASEAGERT FLOOR FLAN SUSTING 187 FLOOR FLAN SUSTING ATTIC FLOOR FLAN PROPOSED SLEVAIDONS (NE & NE) EXISTING ELEVATIONS (NE & NE) ጽ Ē IIIIE TERRITAL CENTRELITOR, I MORAT CENTRE I TRADUE VIEW PERFARED OR APPROVED IN THE LL, AND THAT I AN A DUST LANDOW PROTECTION VIEW TO, THE CONTRACT OF THE RELET OF MAIL WIND, THE REPORT OF THE RELET OF MAIL COVER SHEET SENATORE RESIDENCE **O'NEILL &** ASSOCIATES ARCHITECTS 10-07-00 10-07-00 10-07-00 HOME ADDITION & RENOVATION AS NO ARCHITECTS FLANNERS MANAGEMENT CONSULTANTS 141 VALLEY BROOK DRIVE SILVER SPRING, MD 24944 (381) 622-3114 6825 NEEDWOOD ROAD DERWOOD, MD 20855 MONTGOMERY COUNTY

-+

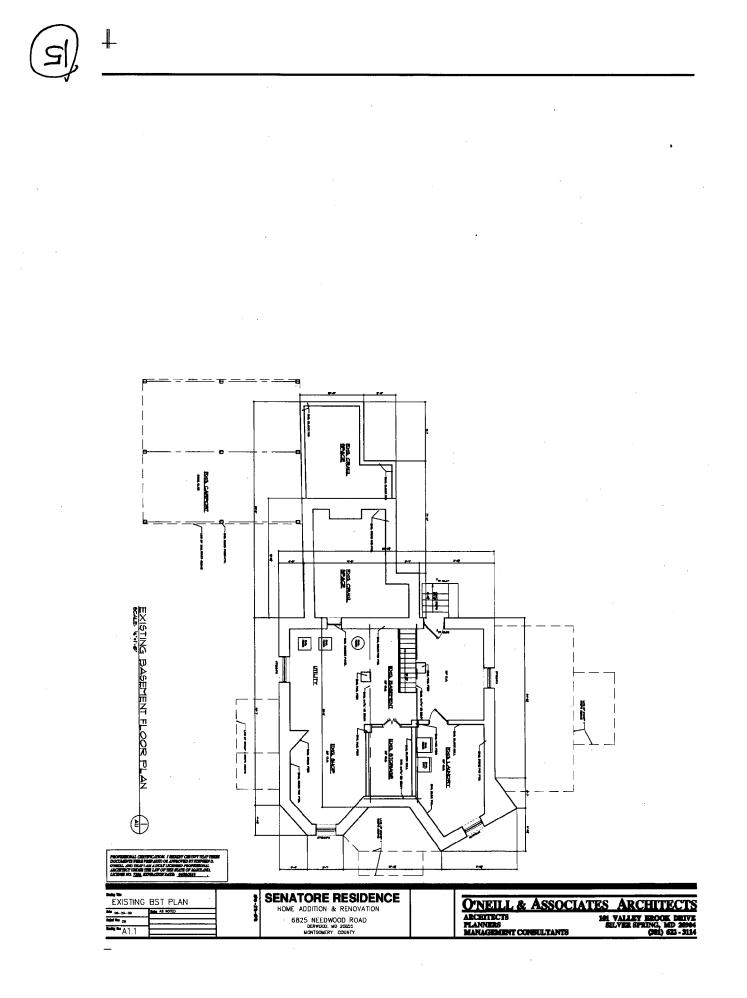


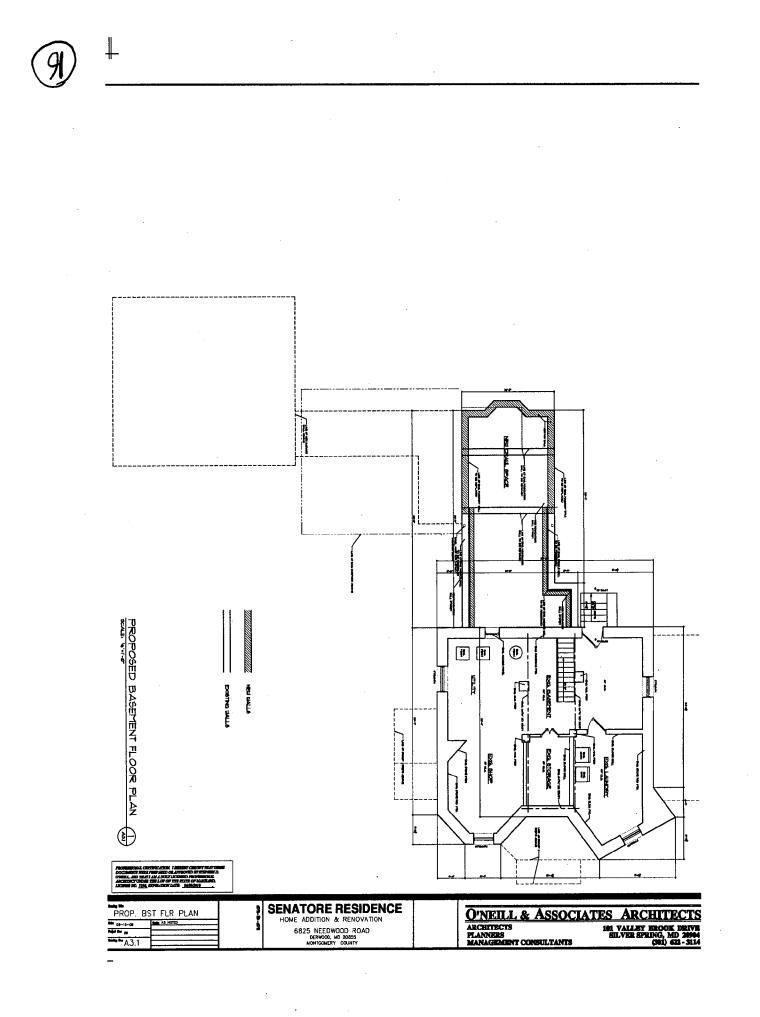
.

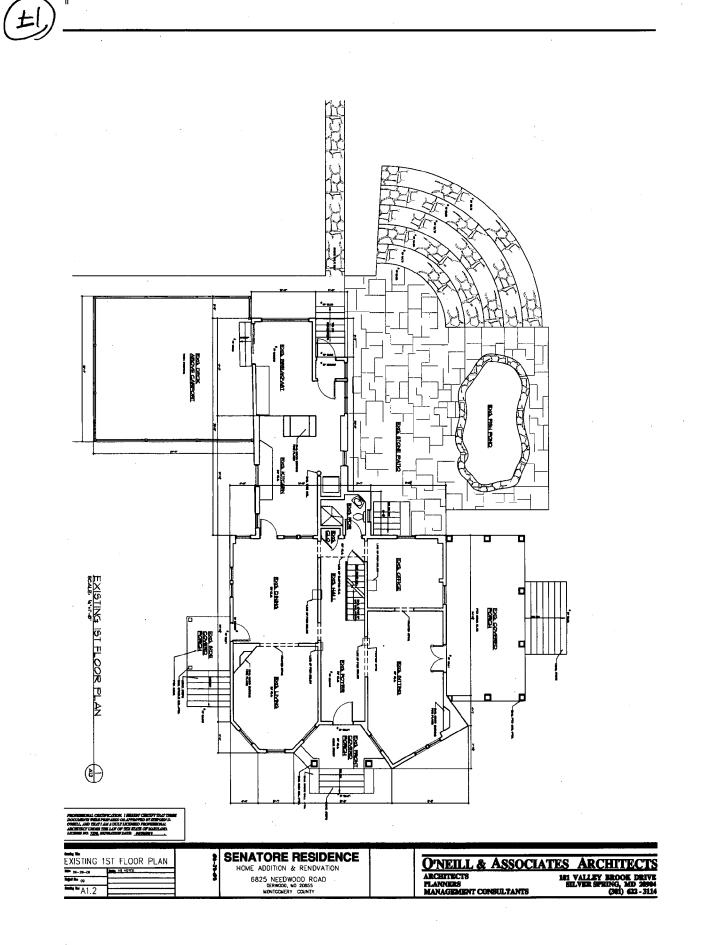




• .

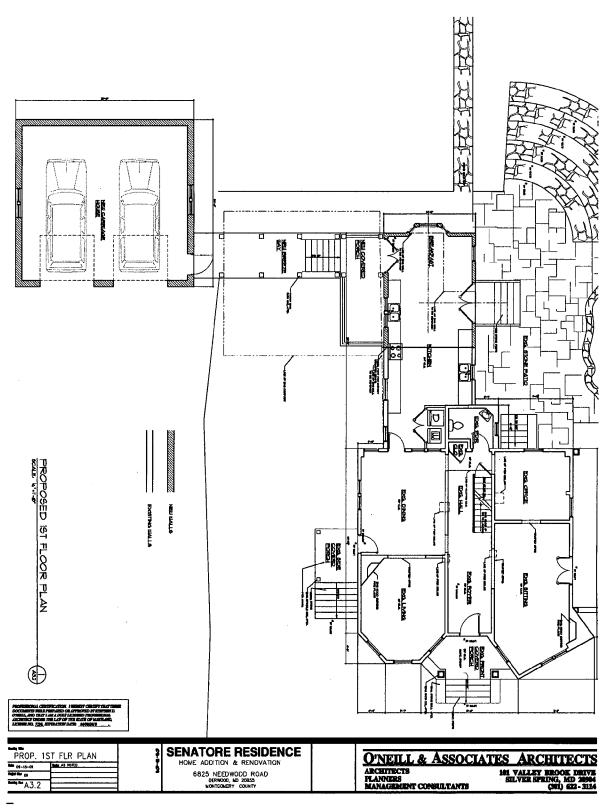


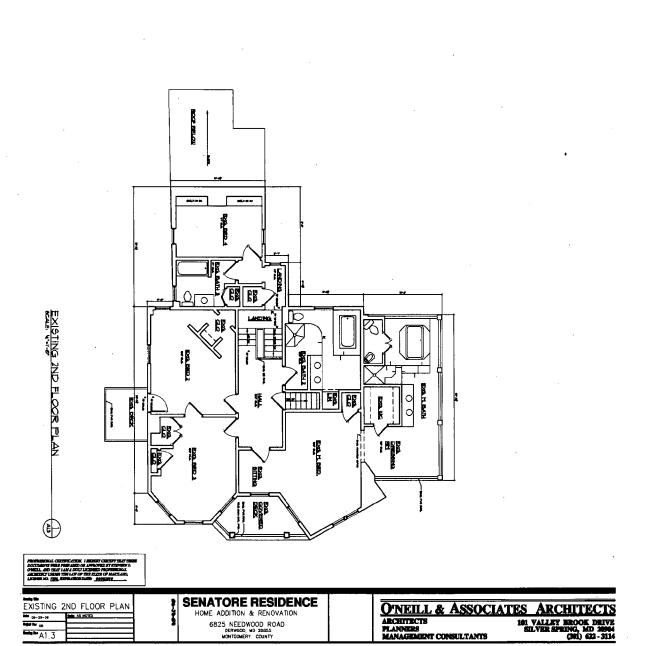


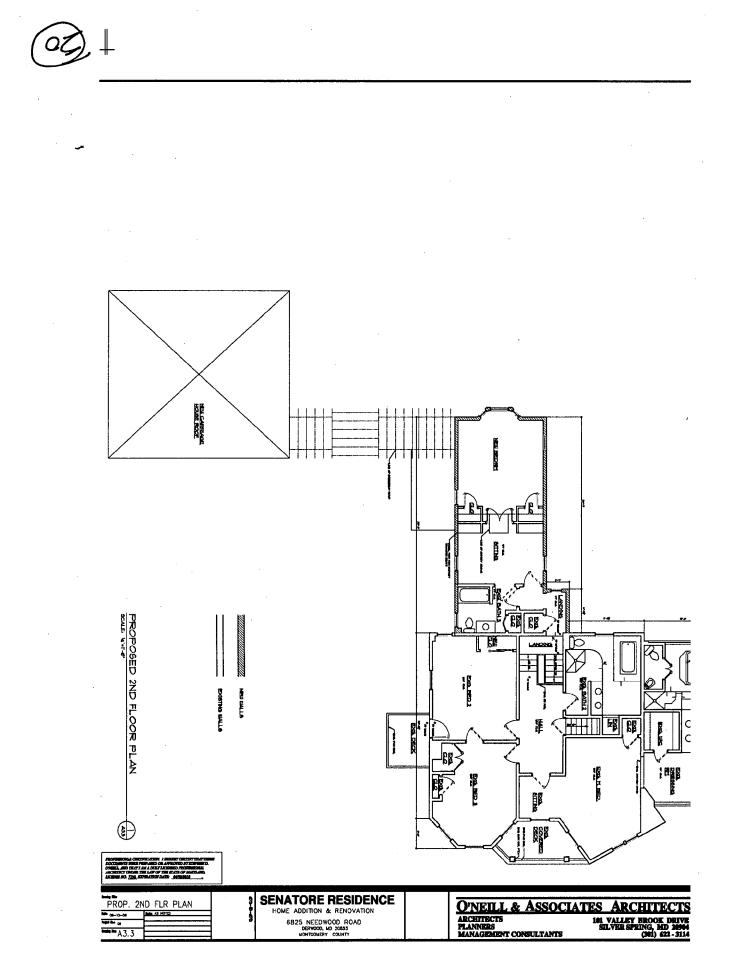


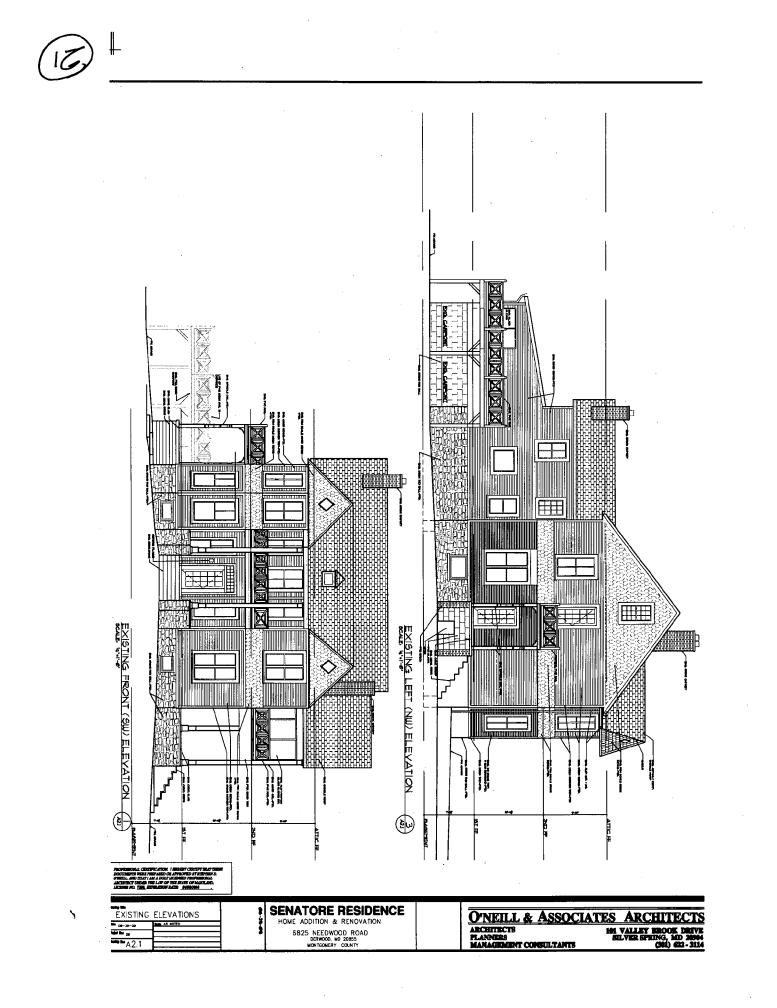
#

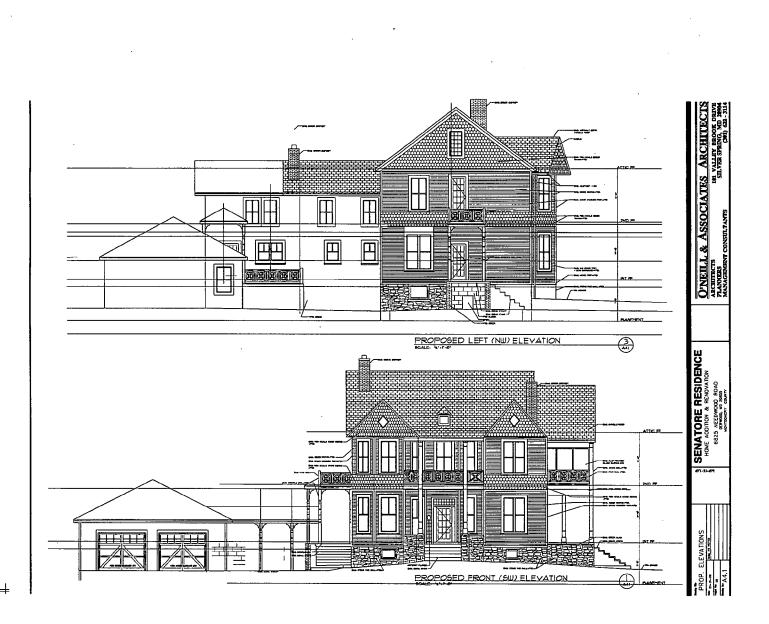
╇ 81





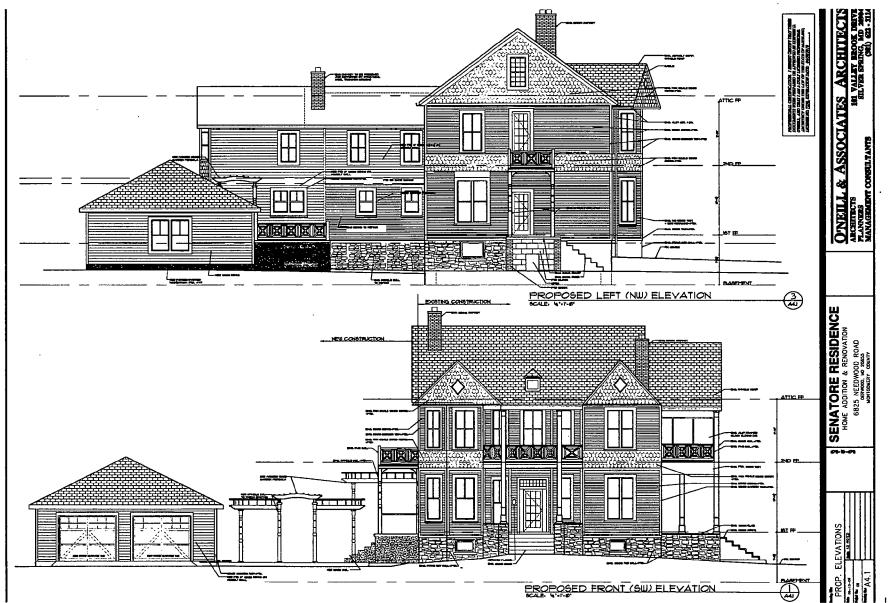


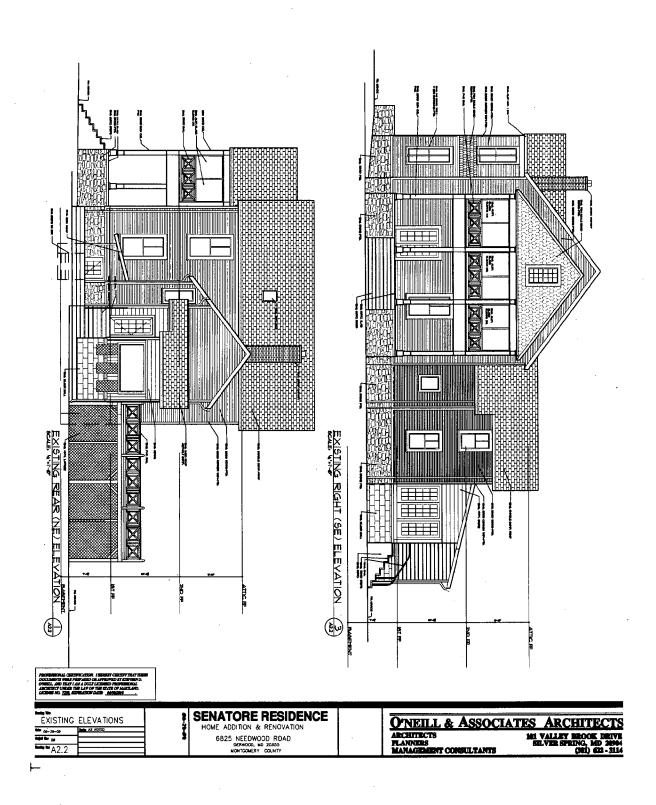




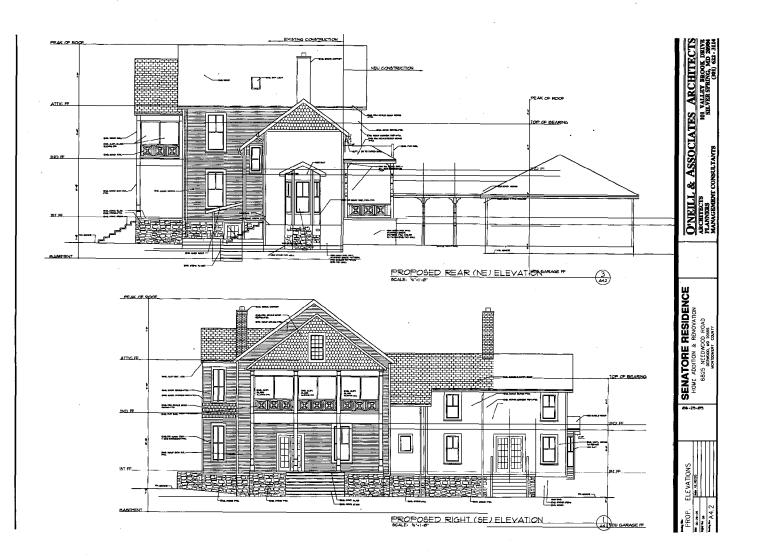
ORIGINAL PLANS

REVISED PLANS

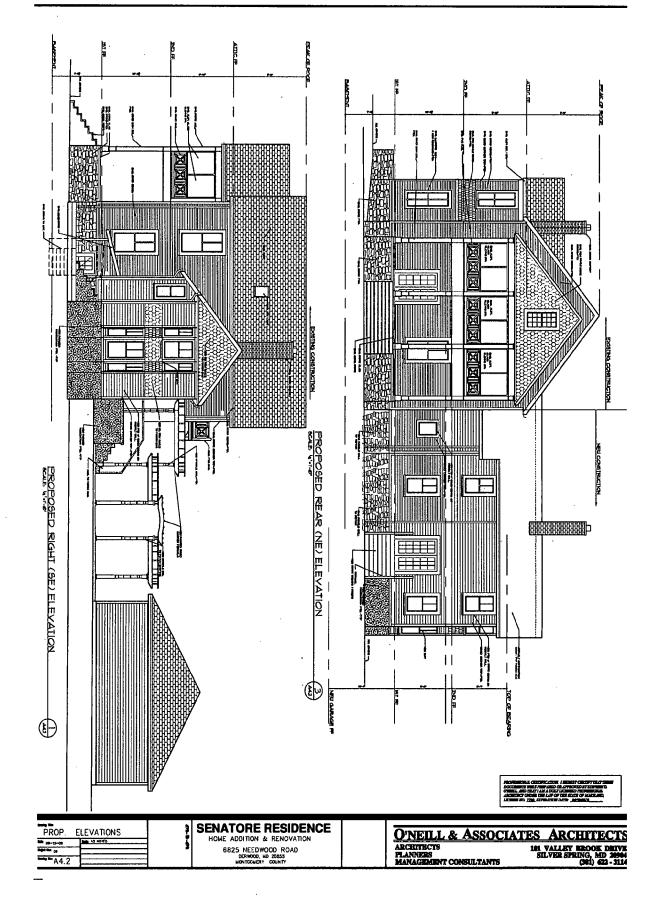




# This Page Intentionally Left Blank



ORIGINAL PLANS



REVISED PLANS

## **STRUCTURAL ENGINEER REPORTS**

÷



Structure by Design PA

13017 Wisteria Drive #396 Germantown, MD 2087 (240) 252-4117 John@StructurePlan.com

Tuesday September 8th, 2009

O'NEILL & ASSOCIATES ARCHITECTS Stephen D. O'Neill, AIA, NCARB 11205 Lockwood Drive, Suite B Silver Spring, MD 20901

Re: Structural Evaluation Senatore Residence in Derwood, MD

#### Dear Mr. O'Neill:

I met with Mr. Senatore last fall to structurally assess the rear Kitchen addition of his home while improvements were being considered. Discussion of a range of improvement goals led me to conduct an initial survey of measurements and condition, citing extensive repair requirements to the structure, ultimately leading to agreement to suspend my preparation of drawings and calculations until the planning phase of the project became more complete.

#### Observations and comments:

The rear wing of the home, Kitchen, Morning Room, Powder Room & Bedroom above appear to have been added as three different projects; a one story addition, an added second story and an extension beyond the fireplace.

The foundation has a different, coarser surface appearance than the main section of the house and groupings of smaller stones are evident. The differing door case heights, window positions close to corners and lack of ceiling height in the addition are typical of successive changes.

The siding starts at different levels than the front of the house and transitions to a different appearance on the second floor of this wing, at the same level as the corner post cuts at the corners of the powder room.

The second floor joists may have been attic floor collar ties, of a one story addition, which would explain their spacing, size and the level of damage incurred as the upper bathroom was added and subsequently remodeled. This remodeling damage extends into the first floor wall structure where framing has been cut without being repaired to accommodate pipes.

When the rear extension was added, the rear wall of the fireplace as well as the rear wall of the first floor were removed to create a two-way fireplace and open up the room effectively removing all potential shear wall bracing to support the structure from side winds. The removal of the rear wall of the firebox leaves only two supporting sidewalls without any corners to help resist sideways toppling. This problem is exacerbated by the lack of effective shearwall at the end of the extension where only a window was installed. The only repairs applicable to this deficiency would be the reintroduction of shearwalls or a one and a half story steel moment frame that would still protrude into the living space.

Moisture trapped in the crawl spaces is deteriorating the floor framing above and the stone foundation wall at the end of the first addition. Standing water collects in the rear crawl space and has begun to cause settlement and/or frost heave damage.

The first floor framing around the fireplace was damaged extensively by fire and the floor was only resheathed without replacing the joists.

Competitive repair design, material and labor costs just to restore the structural integrity of these additions would be expected to be overly expensive start to this project.

Please do not hesitate to contact me should you have any questions, comments or require further assistance during the future progress of this project.

Sincerely,

//John Buffett//

John Buffett, PE



Structure by Design PA 13017 Wisteria Drive #396 Germantown, MD 20874 (240) 252-4117 John@StructurePlan.com

Monday October 5th, 2009

O'NEILL & ASSOCIATES ARCHITECTS Stephen D. O'Neill, AIA, NCARB 11205 Lockwood Drive, Suite B Silver Spring, MD 20901

Re: Update to Structural Evaluation Senatore Residence in Derwood, MD

Dear Mr. O'Neill:

Our recent meetings at the Senatore residence have further convinced me of my previous statements of September 8<sup>th</sup>, 2009.

The rear portion of this home was added in three phases:

A seven foot tall one-story seasonal addition, designed to support roof only, on a rubble stone wall crawlspace foundation that was placed on the ground with no frost protection embedment. I agree with the assessment, by Keystone Foundation Repair, that this foundation is deteriorating and is not structurally sound enough to be repaired in expectation of any applied building loads. Any repair to this foundation must meet the current building code requirements of frost protection and load bearing capacity which would require the dismantling and reassembly of the stone resulting in a shortage of material as unsuitable portions are set aside.

An eight foot tall second story was added onto the seasonal first story roof joists exhibiting exterior trim and siding details that follow the sloped portion of the original roof structure below. The first story roof joists were never sized properly for the original expected roof loads yet were converted to second story floor joists, with greater expected loads, without any corrective action. These now floor joists, and the wall plates below, were further damaged by severe notching and partial removal during the subsequent plumbing installation and remodels for the tiled bathroom above.

The third phase of this wing was added to the rear of the first floor addition without adequate shearwalls – it is almost all window and door openings. It was at this time the rear wall of the first, first floor addition and fireplace were removed without any corrections to support the second floor wall above or help brace either portion of the first floor, along this line. Properly bracing the structure along this line will require the installation of new footings to support new shear frames as there is only the deteriorating rubble stone wall below, void of any footings.

Restoration the first two additions will also include the removal of almost all interior finishes and all siding to inspect all structural components, including sheathing, and insure the proper reassembly of a building envelope that repels water from causing future structural problems, as has happened in the past, and performs to todays energy standards.

The combination of the project goals and the already identified structural deficiencies, will create a construction project inherent with stability hazards for which few contractors are prepared and can show comparable experience, in this market sector. The introduction of construction loads and activities will require careful scheduling and staging of all bracing, materials, demolition tasks and construction installations while ensuring the structure is stabilized and all safety requirements are met to protect construction personnel, inhabitants and the economic life of the project.

After more carefully considering the logistics of this project, I expect the qualified contractors for this project will want to dismantle much of this structure and reinstall the saved portions and materials secured to new structural elements within in order to better control onsite safety as well as costs.

Please do not hesitate to contact me should you have any questions, comments or require further assistance during the future progress of this project.

Sincerely,

//John Buffett//

John Buffett, PE

MHIC# 121287 Maryland Elecanse Number/

## Keystone Foundation Repair, Inc.

1312

229 Petersburg Road • Carlisle, PA 17013 (717) 243-2040 / Toll Free 800-822-8880 / Fax (717) 243-3055 www.keystonefoundationrepair.com

iob completion date

PROPOSAL / CONTRACT	project foreman oprint name	
Sold To: 6285 NEED WOOD Rd. DARWOOD Md. 2085	• • •	
	077 0276	
Contact Person:         Phone: (H) (30]           (W)         301-392-8878         Fax:         C	- <u>922 3319</u> Other:	
Keystone Foundation Repair, Inc. will provide all labor, material and equipridescribed in this proposal/contract. This proposal has _2_sketch(es) proviadditional details of the work to be performed.	vided with it that may conta	
PROVIDE LOAD BEARING SUPPORT for ADDITION		
STRUCTURE AS proposed ABOVE EXISTING STONS		
	IKFR.	
SHOP SKETCHES (ATTACHED)		
Two Proposals are submitted for separate opTI.	I mas-	
EXISTING STONE FOUNDATION HAS FALLED AND		
HAS settled CREATING UNSTABLE SUPPORT for		
Existing STRUCTURE. AND has NO STRUCTURA		
INTEGRITY to be used AS logo bearing WALL		
	i	
PLAN A. SKETCH #1	s	
EXCAUATE AREA of crawl space to provide AC	ccess	
to joists. for TEMPORARY Support of STIZNETURE.	· w/	
TEMPORARY JACKS OR CRUBBING. Remove STONE	WALLS.	
Replace STORE WALLS with concrete footer with	h rebar	
And 12" IVANY Block WAlls with Rebar Vertic	Ally	
And Honzontolly. fill w/ 4000 psi grout. See d.		
TWENTY AIVE THOUSAND TWO HUNDRED	25200	
	·	
BIND B SKETCH #2	·····	
EXCAUATE AILER of crand space to provide Acesss to		
for temporary support. Excavate in sections under stone u		
And Instan Jooter for Stone And New IVANY black wa	911 (INSIDE)	
INSTALL IVANY Block WALL + Report STOND She detAils		•
THIRTY Jour THOUSAND DULLARS	-tex 34000°	
Total:	S	

#### GENERAL CONDITIONS

Payment Terms: 50% paid when the project is starting and the balance paid on completion. Unpaid balance after 30 dayslis subject to 18% interest.
 Notice to Owner - Do not sign this agreement in blank. You are entitled to a copy of the agreement at the time you sign. You, the buyer, may cancel

this transaction at any time prior to midnight of the third business day after the day of transaction.

3. All scheduling is tentative and may change even on the scheduled day. Many projects take longer than expected. Our goal is to finish each project before starting the next. Once started, your project will be treated the same way.

Maryland Customers: All contractors and sub-contractors in the state of Maryland must be licensed by the Maryland Home Improvement Commission, you may ask the Commission about any contractor by calling (410) 230-6309.

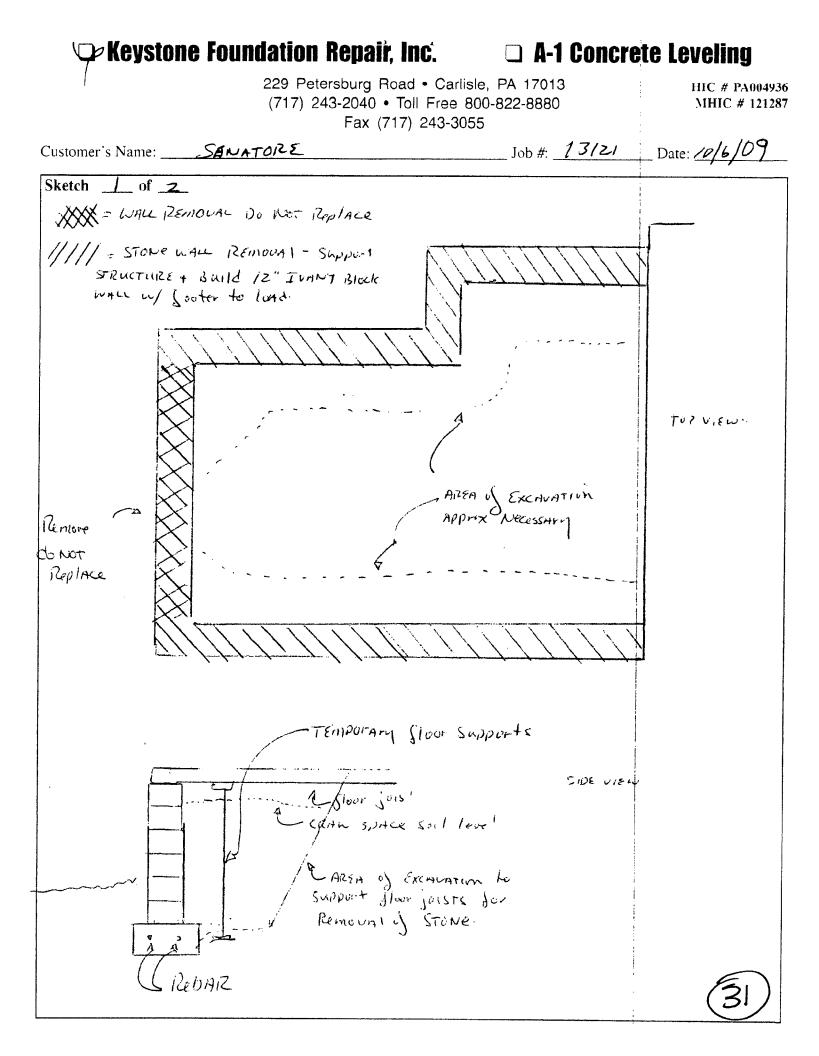
By signing below. I bereby state that I have carefully read all information provided by Keystone Foundation Repair, Inc. pertaining to the proposed work and 1 agree to the terms and conditions as set forth. (Indicate all approved options if applicable)

Sale nature Salesn ăn's (print) Salesman's MHIC# (Maryland only)

Customer or Agent's Signature

Bate

Customer or Agent's (print)

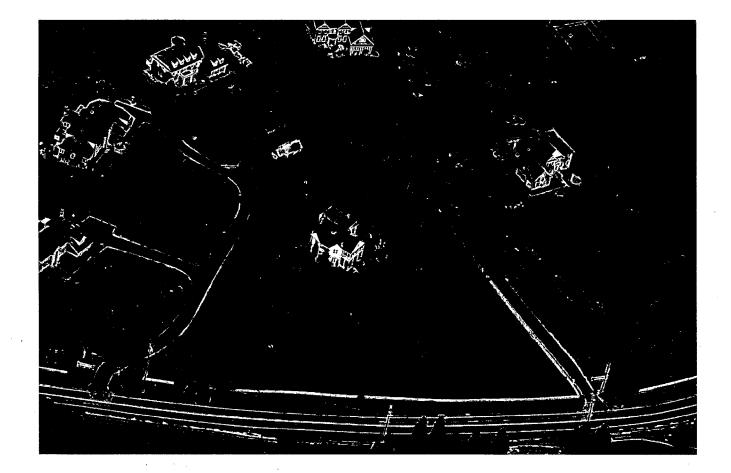


Keystone Foundation Repair, Inc. 🛛 🗆 A-1 Concrete Leveling 229 Petersburg Road • Carlisle, PA 17013 HIC # PA004936 (717) 243-2040 • Toll Free 800-822-8880 MHIC # 121287 Fax (717) 243-3055 Customer's Name: SENATORS Job #: 13/21 Date: 10/6/04 Sketch 2 of 2 PLAN A. EXCAVATE ALONG INTERIOR SIDE of WALLS AND INSTALL 12" FUANT Block WALL W/ # 5 RebAr HORIZONTALLY EACH COURSES AND Vertically each 16", 4000 psigrout XX x WALL REMOVA) No Replace EXCAVATED Aren (APP mx) AS Necessary ////= Nev-12" TUANY Block WALLS SKETCH is only representing to plan Not dimentions - fill ANY GAP between IVANY BLOCK WALL And STONE WALL W/ 4000 psi Concrete grout Rebar vert + Horizontally - ALL cells Silled w/ 4000 psi- concrete quout fOOTER to extend under existing STONE WALL TO LOAD Bearing Sov Λ

## PHOTOS

,





34)



J.

Southwest Elevation



Southeast Elevation





West Elevation





Northwest Elevation





Northwest Elevation



Northwest Elevation





Northeast Elevation



Northeast Carport Elevation





Northwest Carport Elevation



Northwest Foundation Detail

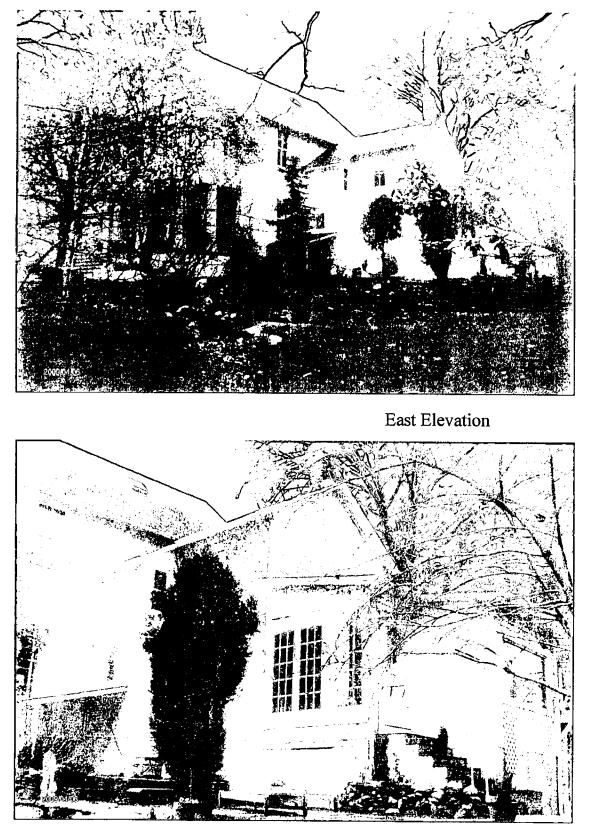


Southeast Elevation Detail



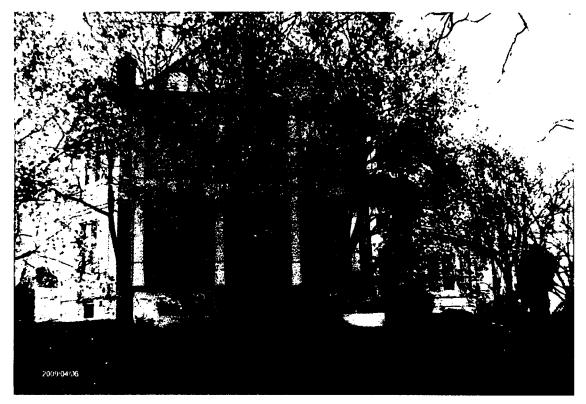
Northeast Elevation





East elevation



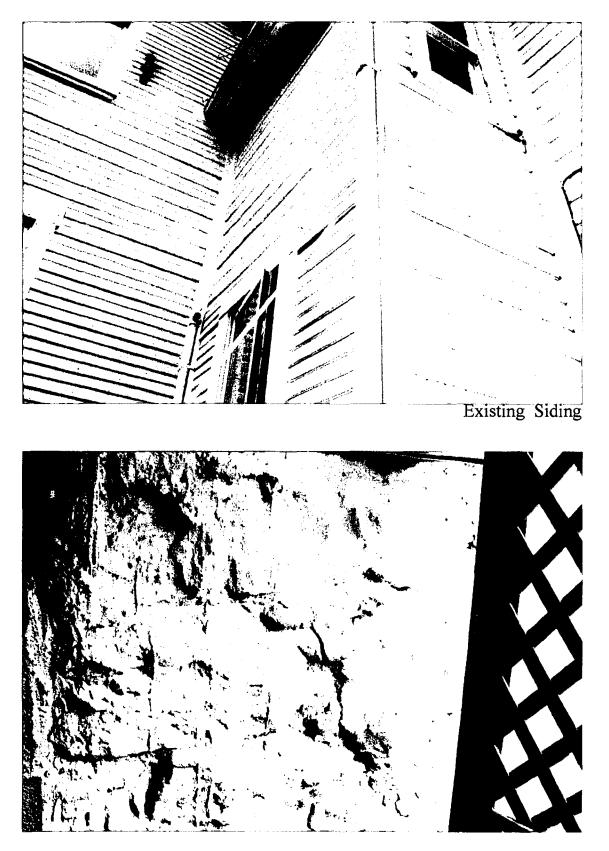


East Elevation



Detail Rear @ East Elevation





Existing Foundation

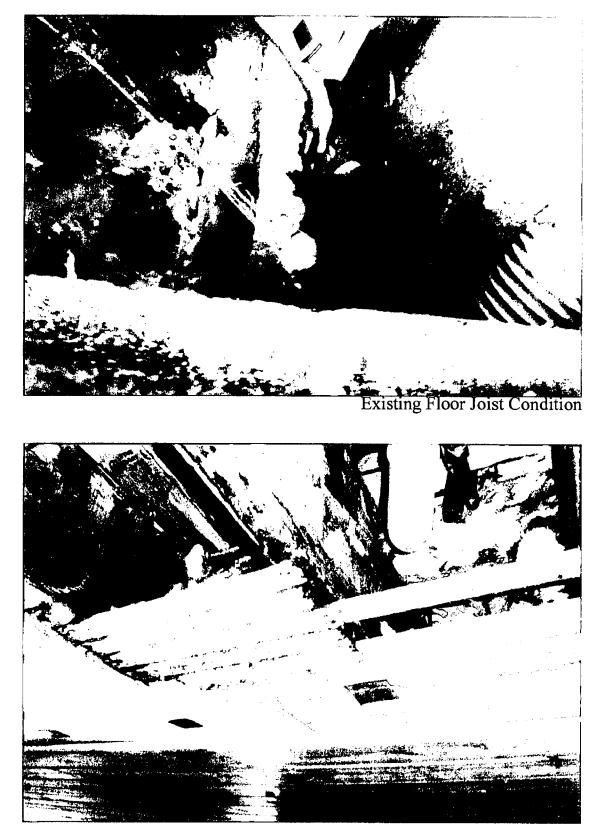


Existing Foundation wall



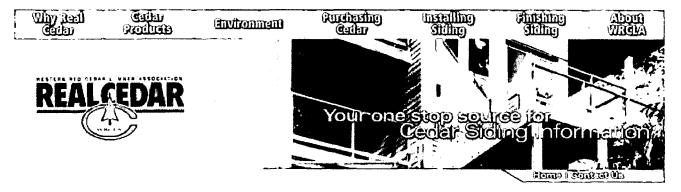
Existing Foundation & Floor Joist





Existing Foundation Condition

# **MATERIAL SPECIFICATIONS**



## Siding Types

#### **Bevel - Specifications**



The following information is required when specifying bevel siding products:

Specification Information Required	Sample Specification
Species: Western Red Cedar	WRCLA Western Red Cedar
Product Pattern and Intended Use: Siding is used as an exterior cladding to provide both weather protection and architectural style. The designer may choose from plain bevel, rabbetted bevel, or wavy edge bevel.	Plain Bevel Siding
Size: Specify the nominal size of the product.	1/2 x 6 in.
<b>Grade:</b> The grade of the product governs its overall quality. Refer to WRCLA specification literature or grading agency rule books for available grades.	Clear V.G. Heart
Grading Agency Paragraph: To ensure that the product meets a written standard, an agency grade paragraph should be referenced.	NLGA para. 201a
Moisture Content: Specify whether the product is to be green (unseasoned) or kiln-dried.	Kiln dried
Surface to be exposed: Specify the application orientation to assist the supplier in shipping the right product for the job.	Surface face
Quantity: Express in surface measure the quantity required. See table for factor to convert square feet to surface measure.	5500 surface measure

Real Cedar is made by:

Contar Promisi



Cedar facts for homeowners, builders and architects



#### Architects

- Earn 7.0 AIA/CES
- Learning Units

 Download Western Red Cedar Specifications

#### Consumers

 Find a Western Red Cedar Certified Retailer near you

#### Retailers

- Online Cedar Training
- Cedar School
- Onsite Training
- Order Western Red Cedar House Siding brochures here
- Keep up-to-date on Western Red Cedar marketing. Sign up for Real Cedar News

#### Niedia

 Articles for consumers, architects, builders and the trade

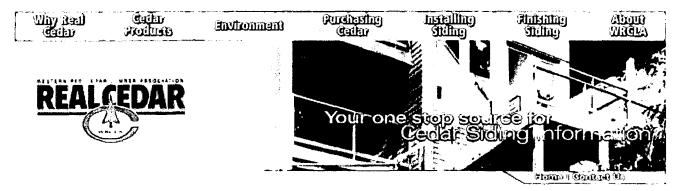
Building a wood deck visit our deck plan & design web site.. For wood fence, fencing, gazebo and arbor info visit www.cedar-outdoor.org.

Siding Home | Why Real Cedar | Cedar Products| Environment | Purchasing Cedar Installing House Siding + Finishing House Siding - About WRCLA

©WRCLA | Site Map | Disclaimer | Links | www.wrcla.org web site design by <u>Graphically Speaking</u> in Vancouver

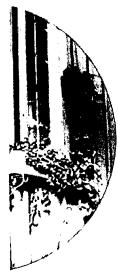


http://www.cedar-siding.org/cedar\_products/siding-types/bevel/specifications.htm



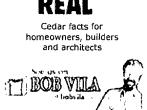
## Trim Boards

Clear Grades



Clear Grades		
Grade	Description	Grading Rule Paragraph
Kiln dried clear grades of western red cedar trim boards graded as finish lumber. Typically available as S4S or S1S2E products.		
Clear Heart		
	The highest grade. Includes only pieces with heartwood on the exposed face. Many pieces completely clear, others have minor imperfections that do not detract from their fine appearance.	NLGA 200a WCLIB 102-b
A Clear*		
	Permits somewhat more imperfections than Clear Heart but the grade is still restricted to pieces with excellent appearance. *Common specifications are A and Better and A and Better with a percentage of B Grade allowed.	NLGA 200b WCLIB 102-c
B Clear		
	Permits slightly larger and more numerous characteristics than A grade but occassional pieces may require trimming to yield high grade pieces in shorter lengths. Most often supplied as a percentage with A grade.	NLGA 200c WCLIB 102-d

Real Cedat is made by:



#### Architects

- Earn 7.0 AIA/CES Learning Units
- Download Western Red Cedar Specifications

#### Consumers

 Find a Western Red Cedar Certified Retailer near you

#### Retailers

- + Online Cedar Training
- Cedar School
- Onsite Training
- Order Western Red Cedar House Siding brochures here
- Keep up-to-date on Western Red Cedar marketing. Sign up for Real Cedar News

#### Wiedia

 Articles for consumers, architects, builders and the trade



.

C and Better Clear		
	High quality lumber for use where appearance is important.In addition to interior and exterior trim, lumber of this grade is used for cabinetry, doors, windows and similar applications.	NLGA 202b, c WCLIB 149-b, c WWPA 10.11, 12
D Clear		
	This grade permits larger and more numerous natural characteristics and is used where general utility is more important than appearance. 1 NLGA - National Lumber Grades Authority WCLIB - West Coast Lumber Inspection Bureau WWPA - Western Wood Products Association	NLGA 202d WCLIB 149-b, c WWPA 10.13

Building a wood deck visit our deck plan & design web site.. For wood fence, fencing, gazebo and arbor info visit www.cedar-outdoor.org.

Siding Home | Why Real Cedar | Cedar Products| Environment | Purchasing Cedar Installing House Siding | Finishing House Siding | About WRCLA

©WRCLA | Site Map | Disclaimer | Links | www.wrcla.org Web site design by Graphically Speaking in Vancouver



- 1 • •

SEE ALSO

300

HOW TO MEASURE What you in real to show to measure your

Wayne Dalton garage

GARAGE DOOR DESIGN CENTER

Viriw Wayne-Diaton doore on your Homet The tarw Gallege Door

Design Crinter provides you the

Faid A DEbler ( About Us ) Contact Us ( Door Design Center : News / Careers ( Help Search)

Residential Products Commercial Products

Garage Doors Openers Home Access & Controls Storm Protection Products

GARAGE DOORS 7102 MODEL

Residential Wood Doors >> Residential Doors >> 7103 Model >> 7420 Cabriolet >> 7102 Model



7102 Model Wood Garage Doors "Affordable Carriage House Look."

A custom look with many of the quality features found in our top-of-the-line doors. Framing of Model 7100 doors is kiln-dried hemlock with rounded edges. Panels are smooth mahogany with shiplap interlock between sections. All surfaces are primed for paint.

Be sure to complete your garage door purchase with the convenience, safety, and security of a Wayne-Dalton residential garage door opener.

Only Wayne-Dalton manufactures both the garage door and garage door opener to work together as one complete system.

Available in either contemporary wall-mount (idrive) or traditional ceiling mount (prodrive) designs, Wayne-Dalton offers the quietest and most advanced residential garage door openers

to meet your needs and taste.

7102 Model Wood Garage Doors Features

**Product Manuals** View Product Manuals.

Brochure for Wood Garage Doors (Series 7000)



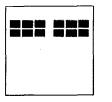
Click here to view PDF.

📕 Glass Windows

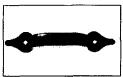
Clear Antique Art Bronze Tint Gray Tint

Windows in Series 7000 doors are standard. They are true divided windows with individual glass separated by one inch muntins. Shatter-resistant Plexiglas is also available.

Window Patterns Square Top 12 Lites



Decorative hardware - wood
 Coach house lift handle



Wayne-Daiton decorative hardware completes the carriage house styling of your Series 7000 Garage Doors. Accessories are available in classic Fluer-de-Lis design or the elegant coach house pattern. Each piece is finely detailed for historical accuracy with a hand-hammered look that faithfully recreates the appearance of traditional swing-style carriage house doors.

Torsion Spring Counterbalance

The Torsion Spring Counterbalance offers the strength necessary to lift heavier doors such as those made of solid wood. Use with idrive TM for Tarsion Springs.

idrive™ Garage Door Opener

By mounting the idrive™ on the wall above your door, we eliminate the beits, chain, screw drive and track that dutter your garage ceiling. The right opener for the right door. It's quieter, faster, and easier to install. Plus it looks a whole lot better and cleaner. Learn



## SEPTEMBER 9, 2009 HPC MEETING TRANSCRIPT



#### MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

+ + + + +

#### PUBLIC MEETING

+ + + + +

#### WEDNESDAY, SEPTEMBER 9, 2009 7:30 P.M.

The Historic Preservation Commission met in the MRO Auditorium, Maryland - National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring, Maryland 20910, David Rotenstein, Chairman, presiding.

COMMISSION MEMBERS PRESENT:

DAVID ROTENSTEIN, Chairman THOMAS C. JESTER, Vice Chair CAROLINE ALDERSON, Member TIMOTHY J. DUFFY, Member SANDRA HEILER, Member LESLIE MILES, Member JORGE RODRIGUEZ, Member

STAFF PRESENT:

ANNE FOTHERGILL JOSHUA SILVER SCOTT WHIPPLE

#### NEAL R. GROSS

COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

#### TABLE OF CONTENTS

Welcome and Introductions ......4 Historic Area Work Permits: Case No. 37/03-09CC at 32 Hickory Avenue, Takoma Park, Approved .....5 Case No. 37/03-09DD at 7515 Carroll Avenue. Takoma Park; Approved .....5 Case No. 37/03-09EE at 20 Philadelphia Avenue, Takoma Park; Approved .....5 Case No. 37/03-09GG at 7422 Baltimore Avenue, Takoma Park; Approved ......5 Case No. 10/48-09A at 12340 Kingsley Road, Case No. 35/13-09Q at 2 Oxford Street, Chevy Chase; Approved .....5 Case No. 37/03-09BB at 7525 Carroll Avenue, Takoma Park; Approved ......5 Case 35/36-09B at 4901 Dorset Avenue, Chevy Chase; Approved .....5 Cases: D. David And Susan Bortnick for fence replacement at 7303 Takoma Avenue, Takoma Park (HPC Case No. 37/03-09FF) (Takoma Park Historic District) .....7 Louise Coffee for rear porch enclosure I. at 2130 Spencerville Road, Spencerville (HPC Case No. 15/75-09A) (Master Plan Site 

#### **NEAL R. GROSS**

COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

#### Preliminary Consultations

B. Sandy Heiler (Miche Booz, Architect) for side addition at 205 Market Street, Brookeville (Brookeville Historic Dist) ...81

2008 Tax Credits (Group 2 of 3) .....128 Minutes of July 8, 2009 .....130

Adjourn

COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

www.nealrgross.com

1	CHAIR ROTENSTEIN: Thank you. Can
2	you take that up with staff to ensure that the
3	applicant is noticing the community
4	appropriately? The information is in the
5	guidelines and the applicant simply needs to
6	conform to all of the requirements for filing
7	for a historic area work permit which includes
8	adequate noticing of affected property.
9	(Audience member speaks off mic.)
10	CHAIR ROTENSTEIN: Speak with Anne
11	Fothergill or Scott Whipple.
12	AUDIENCE MEMBER: Thank you.
13	CHAIR ROTENSTEIN: Next on the
14	agenda
15	(Audience member speaks off mic.)
16	CHAIR ROTENSTEIN: Thank you, but
17	you're not on the record so the reporter is
18	not catching it. Thank you.
19	The next item on the agenda are
20	the preliminary consultations. Do we have a
21	staff report for Case A at 6825 Needwood Road?
22	MR. SILVER: Yes, we do. 6825
	NEAL R. GROSS COURT REPORTERS AND TRANSCRIBERS
	1323 RHODE ISLAND AVE., N.W.         (202) 234-4433       WASHINGTON, D.C. 20005-3701       www.nealrgross.com

Needwood Road is located in Derwood. It's an 1 individually designated Master Plan known as 2 the Samuel S. Robertson House. I also believe 3 it is goes with the Eubanks Farm. 4 The applicants have been working 5 with the staff diligently over the last month 6 and a half or month or so. This started out 7 with a very different side projection, an 8 9 attached two-car garage. And staff is very with the direction that this pleased

10 pleased with the direction that this application is going. The applicants are here, as well as the project architect who will go over some of the more -- some of the details with the Commission.

But basically, the proposal is to 15 16 construct a two-story addition and a two-car detached, a one-story, two-car detached garage 17 that would be connected from the addition by a 18 covered wooden breezeway. It will attach to 19 the historic section of the house that's at 20 the rear that we refer to as a historic or 21 22 appropriate contributing probably more а

#### NEAL R. GROSS

COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

1 addition to the resource.

The actual breezeway itself will 2 connect to that proposed addition section and 3 will require the removal of one circa 1960s, 4 one story addition from the rear of the house 5 and peripheral removal of a wooden deck from 6 7 the side yard. The addition itself will be 8 sheathed with asphalt shingle roof, clad in 9 wood siding with similar profile reveals the 10 historic massing, contain appropriate window 11 treatments to match the historic massing, 12 double-hung true divided light wooden windows 13 and also true divided light French door 14 systems and materials for the garage are 15 with those proposed for the consistent 16 addition, as well as for an individually-17 designated master plan site. 18

19 Staff doesn't really have a whole 20 to say in terms of the addition itself, as 21 well as the garage, but staff supports both 22 projects, the addition and the garage and they

> NEAL R. GROSS COURT REPORTERS AND TRANSCRIBERS

> > 1323 RHODE ISLAND AVE., N.W.

WASHINGTON, D.C. 20005-3701

(202) 234-4433

1 feel it's compatible in keeping with the 2 design character of the historic massing. The 3 addition is also confined to the rear of the The garage has an appearance that is 4 house. 5 result of that detached as а breezeway connection to continue transparency into the 6 7 rear yard of what is an absolutely fantastic 8 environmental setting.

9 Staff has discussed material treatments with the project architect 10 and there was a verbal agreement to those that 11 I've already outlined in the proposal section. 12 Staff has a few questions and certainly the 13 Commission can address this with the applicant 14 tonight about whether or not a tree survey for 15 16 the property is going to be necessary or action isqoing be 17 proper treatment to 18 required. There obviously, as the picture 19 shows, there are a lot of trees on this 20 property and some of which are of great significance, but I will point out that as a 21 22 result of this revised proposal, from when

> NEAL R. GROSS COURT REPORTERS AND TRANSCRIBERS

> > 1323 RHODE ISLAND AVE., N.W.

WASHINGTON, D.C. 20005-3701

(202) 234-4433

1 they met with us, it is going to say there is a fairly significant tree on the left side of 2 the house. 3 So there are two points on Circle 4 staff report that staff 5 4 of your has requested that the HPC provide some guidance 6 7 to the applicant and I will read those. is to determine is the One 8 proposed addition should have a more clearly 9 defined connection with the existing historic 10 addition of the house such as trim boards, 11 insets, other material treatments. 12 And the second one being that just 13 to make sure that the Commission would be 14 comfortable supporting the proposed material 15 the rear addition and new 16 treatments for garage if this moves forward to the historic 17 area work permit. 18 can go through a few slides. 19 Ι The applicant has also 20 The applicant is here. 21 just recently received some additional information that he will be convey. I do not 22 **NEAL R. GROSS** COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W.

WASHINGTON, D.C. 20005-3701

(202) 234-4433

www.nealrgross.com

have a copy of that myself, but concerning 1 2 some potentially I guess structural issues with the contributing addition at the rear of 3 4 the house. 5 CHAIR ROTENSTEIN: Thank you, If you want to run through the images б Josh. 7 real fast to give us an idea of the property. To give you an idea SILVER: 8 MR. of the site context. Across from this is 9 Needwood Golf Course where Needwood Mansion is 10 and there's actually a scenic area. I think 11 survey plan. It's in the 12 it's on your A scenic area of protection in 13 application. front of this house. The proposed 14 the addition and garage are not within that which 15 is obviously a good thing. 16 17 The driveway approach, you know, you can see looking at the left of the house, 18 obviously some vegetation in the way, but that 19 would be where you would start, but at the end 20 21 of that driveway, past where you see the car parked and it's got standing, it would be 22

> COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

www.nealrgross.com

(202) 234-4433

NEAL R. GROSS

where the proposed garage location would be 1 and the addition, of course, would be confined 2 to the rear. 3 Moving to the side, that's what 4 has been called a carport parking area. 5 That would be removed. You can see what is this 6 contributing section of the house to the rear 7 and then that more sort of like shed roof 8 connection there which is that circa 1960 9 section that I believe would be removed as 10 part of this proposal. 11 Just another angle, sort of a left 12 rear elevation. Take note of all the trees 13 and then the right rear, the property is very 14 There's a pond and nicely heavily landscaped. 15 sitting area and things on the rear elevation 16 there which are quite nice. That's my photos. 17 Would you like to me to go back to 18 any one in particular? 19 20 CHAIR ROTENSTEIN: No, you gave us a good walk around. I'm curious though, the 21 more recent houses surrounding this property, 22 **NEAL R. GROSS** COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W.

WASHINGTON, D.C. 20005-3701

(202) 234-4433

www.nealroross.com

1 those are all fairly new, right?

2	MR. SILVER: Yes, they are.
3	They're all fairly new. I don't know the
4	subdivision date, but it is a subdivision of
5	large, single-family homes.
6	CHAIR ROTENSTEIN: Thank you.
7	Would the applicant like to come up?
8	MR. O'NEILL: Good evening.
9	CHAIR ROTENSTEIN: Good evening.
10	If you will state your name for the record and
11	be sure to speak up so that our reporter can
12	capture your comments. And we generally run
13	the clock at seven minutes for applicant
14	presentations.
15	MR. O'NEILL: Very good. My name
16	is Stephen O'Neill. I'm the principal of
17	O'Neill and Associates, AIA Architects in
18	Silver Spring, Maryland. And I'm representing
19	the owners, Anne and Michael Senatore.
20	I have a board presentation and
21	some half-scale copies if I could hand out to
22	
	NEAL R. GROSS
	COURT REPORTERS AND TRANSCRIBERS

1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

www.nealrgross.com

CHAIR ROTENSTEIN: If you hand it 1 2 to staff, staff will distribute it to the 3 Commission. 4 (Pause.) While he's passing 5 MR. O'NEILL: I was retained by that out, I'll continue. 6 7 the owners to provide them with a functional, safe, and architecturally sensitive addition 8 to their historic home. The program involves 9 10 a modernized kitchen, a new guest bedroom and bathroom suite, and an attached two-car garage 11 is where we began with the project. 12 And it's pretty much the project 13 14 as it stands now. The drawings that you have begin with the as-built 15 front of you in conditions showing the site plan, the first --16 the basement, first and second floor plan. 17 And following them are proposals in the same 18 19 order. 20 Scott has done a very good job in presenting the basics of the project. The 21 acceptable to the 22 materials suggested are **NEAL R. GROSS** COURT REPORTERS AND TRANSCRIBERS

1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

www.nealrgross.com

1	owners and I think that they are sympathetic
2	to the project. If you don't mind, I'm going
3	to get up now and go to the easel.
4	(Pause.)
5	CHAIR ROTENSTEIN: Josh, do we
6	have a hand mic? Good.
7	MR. O'NEILL: What you're looking
8	at in front of you now is elevations of the
9	proposed, the proposal that we have for you.
10	And basically, this is the front view below
11	showing the breezeway and attached carriage
12	house. This is the side view, side of the
13	carriage house, side view of what did you
14	refer to that as, the
15	MR. SILVER: Addition,
16	contributing addition.
17	MR. O'NEILL: Contributing
18	addition. The way that we understand this
19	house and the history of the construction of
20	the building is that it appears to have been
21	made up of three phases. The first phase
22	being the manor house itself. The second
	NEAL R. GROSS         COURT REPORTERS AND TRANSCRIBERS         1323 RHODE ISLAND AVE., N.W.         (202) 234-4433       WASHINGTON, D.C. 20005-3701       www.nealrgross.com

11

.

	,
1	phase being the contributing addition. I'll
2	start with what's here. The manor house, side
3	view. The contributing addition. The
4	contemporary addition and an even more
5	contemporary carport, deck, attachment, if you
6	will.
7	And these things have evolved, I
8	think, in historical order, first, second,
9	third, fourth. And part of what's going on
10	here, what we're finding is the structural
11	integrity of the elements as they progressed
12	to the modern world, unfortunately, get
13	progressively worse, with the contemporary
14	addition here being very, very structurally
15	unsound. The report that Josh referenced
16	earlier, I can see from the structural
17	engineer regarding the foundations and the
18	supporting structure of the floors of the
19	contributing addition are in danger of failing
20	and the report will reflect that.
21	And our proposal, up until we
22	received that report was to try and maintain
	NEAL R. GROSS COURT REPORTERS AND TRANSCRIBERS

1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

www.nealrgross.com

what was there and emulate what's being added 1 on to with the new construction. 2 What we're finding currently is that it appears because 3 of the structural configuration of this area, 4 the contributing addition and the contemporary 5 addition, we've been given the recommendation 6 7 to replace the foundation system and the floor system of this middle area here. 8 9 What we'd like to do is replace that in a similar kind of construction using 10 instead of the cobblestone foundation which is 11 currently used on all of the house except for 12 13 the with stone newest parts а veneer foundation and wood siding match the 14 to 15 existing siding and other materials to match the existing as appropriate. 16 Other than that I think we're in 17 18 general agreement with what the proposal that referenced in 19 Scott Josh has the or preliminary report and we're really looking 20 for the Commission's recommendations on how to 21 22 approach this issue particular of the

NEAL R. GROSS

COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

www.nealrgross.com

1 structural issue.

Thank you. CHAIR ROTENSTEIN: Are 2 there any questions for the applicant? 3 COMMISSIONER ALDERSON: Just one. 4 And this may have been in the staff report, 5 I'm sorry if I missed it. Can you tell us the 6 approximate age of the addition, the larger 7 you're mentioning is 8 addition that more 9 problematic than you thought earlier? It's not defined O'NEILL: MR. 10 This is 1886 is what's been anywhere. 11 structural engineer and documented. The 12 myself clearly see that there's a difference 13 in the foundation system here. The rubble 14 foundation is made up of smaller elements. 15 It's not as thick. It's not as well built. 16 There's no basement below it. It's a crawl 17 space which is basically nonexistent because 18 there's a lot of earth in the inside of it 19 causing part of this structural 20 which is failure of the foundation. 21

I would say that this was probably

NEAL R. GROSS COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

22

www.nealrgross.com

	65
1	built 10, 20 years later and of course, this
2	back section, significantly later, maybe in
3	the '50s, '60s, something like that.
4	CHAIR ROTENSTEIN: Other questions
5	for the applicant?
6	COMMISSIONER RODRIGUEZ: I'm
7	curious about the fireplace in the back. It
8	seems like a feature you want to retain. But
9	when I look at the floor plans, they are not
10	there. So can you explain how you are
11	approaching that?
12	MR. O'NEILL: The concept is to
13	maintain the elevations and look of the
14	historic house from the outside. Inside, we
15	would support that structure emulated, if
16	necessary, but our intention is to
17	structurally support the chimney tower as you
18	see it from the street, if you will.
19	Inside the house, due to the
20	configuration of the kitchen, family, the
21	whole new plan layout, the fireplace falls
22	dead center in the middle of all that and what

COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

1	we'd like to do is remove that from the
2	internal workings of the house to make it a
3	more contemporary kitchen. So the fireplace
4	that you see on the elevations of the let
5	me shift back to what's proposed here.
6	This fireplace here, that is a
7	vestige of what was there to maintain the look
8	on the outside. Inside, things will be
9	different.
10	CHAIR ROTENSTEIN: I'm sorry, is
11	that a functional fireplace at this point?
12	MR. O'NEILL: At this point it's
13	not very functional. No, it needs work. It,
14	along with the foundations are crumbling
15	below.
16	CHAIR ROTENSTEIN: And how would
17	you propose stabilizing the chimney that
18	pierces the roof to ensure that it remains
19	stable throughout the life of the house?
20	MR. O'NEILL: We haven't done any
21	structural engineering yet, but my thinking is
22	we put steel beams in and columns, run them
	NEAL R. GROSS         CDURT REPORTERS AND TRANSCRIBERS         1323 RHODE ISLAND AVE., N.W.         (202) 234-4433       WASHINGTON, D.C. 20005-3701       www.nealrgross.com

Ш

1 down to a new foundation system to support. 2 CHAIR ROTENSTEIN: The reason I'm 3 asking is we had another case, I think it was in Takoma Park, where we had an applicant who 4 wanted to do essentially the same thing and 5 there was a fair amount of concern that by 6 7 altering the interior use of the house, even though we don't have jurisdiction over the 8 interior, it would alter the property in such 9 a way that would be irreversible. 10 But at this 11 point --12 COMMISSIONER JESTER: Т remember 13 the case, but I don't remember that we told the applicant to retain the chimney. 14 15 CHAIR ROTENSTEIN: Yes. 16 COMMISSIONER RODRIGUEZ: Well, the back wall and the two side walls, so what is 17 called the extension of the house, addition, 18 19 are so key to the proportions and I am concern 20 of the design intention, but I'm really concerned about how these elements are being 21 22 treated. I am concerned if those should

> NEAL R. GROSS COURT REPORTERS AND TRANSCRIBERS

> > 1323 RHODE ISLAND AVE., N.W.

WASHINGTON, D.C. 20005-3701

(202) 234-4433

www.nealrgross.com

remain there because they are so integral to the character of that part of the house.

3 They're concerned, MR. O'NEILL: the owners are concerned about the safety of 4 their home. And this is an old house and the 5 engineer has actually said that there are some 6 7 issues that they need to address, just in general, right now, to ensure the safety of 8 9 their family and their home.

Our concern is global. We want to 10 maintain the architectural integrity of the 11 12 owners, the architects, the Board, are all on the same page with that, but we also are 13 14keenly aware of the need to ensure the safety of the inhabitants who are trying to restore 15 And the foundation for that 16 this home. fireplace is failing. The report will show 17 The foundations for the wall 18 that. surrounding that is failing. 19

20 What we'd like to do is we build 21 it in kind. The proportions that you 22 mentioned of the new work fit within the

> NEAL R. GROSS COURT REPORTERS AND TRANSCRIBERS

> > 1323 RHODE ISLAND AVE., N.W.

WASHINGTON, D.C. 20005-3701

(202) 234-4433

1

2

1	envelope and the vertical elevations of the
2	existing contributing addition. We're trying
3	to emulate the materials. We would like to
4	show a difference in the foundation system so
5	that we can say that this is new and is not
б	part of historic, even though we're trying to
7	emulate the historic nature of what was there.
8	So that's the intent. It's
9	safety, functional, and architectural
10	integrity.
11	CHAIR ROTENSTEIN: Okay, I think
12	what we need to do because this is a
13	preliminary consultation so I think in order
14	to keep this moving forward as a preliminary
15	consultation, not a full-blown work permit, we
16	should probably just go down the line and deal
17	with comments from the Commissioners and go
18	through the consultation.
19	COMMISSIONER ALDERSON: Can we
20	just get an imagery view, so we can see the
21	elevation of that back addition one more time?
22	MR. O'NEILL: There.
	NEAL R. GROSS         COURT REPORTERS AND TRANSCRIBERS         1323 RHODE ISLAND AVE., N.W.         (202) 234-4433       WASHINGTON, D.C. 20005-3701       www.nealrgross.com

1	
	70
1	COMMISSIONER ALDERSON: Okay,
2	thanks.
3	COMMISSIONER ALDERSON: Can you
4	just leave it there, for a minute, since
5	that's really what we're focusing on.
6	MR. SILVER: We're trying to clean
7	up that side. Obviously, that carport is very
8	unperiod-like.
9	CHAIR ROTENSTEIN: Commissioner
10	Duffy, do you want to start us off?
11	COMMISSIONER DUFFY: I have one
12	question, first. Was the carport built at the
13	same time as the noncontributing addition?
14	MR. O'NEILL: I don't think so.
15	I'm not sure, but I don't think so.
16	CHAIR ROTENSTEIN: Do you have any
17	comments that address the two issues that Josh
18	has included in the staff report or what the
19	applicant has said?
20	COMMISSIONER DUFFY: No, I don't.
21	CHAIR ROTENSTEIN: Okay,
22	Commissioner Miles?
44	NEAL R. GROSS
	COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W.
ļ	(202) 234-4433 WASHINGTON, D.C. 20005-3701 www.nealrgross.com

1	COMMISSIONER MILES: I think that
2	the treatment of the garage is essentially a
3	separate building that is connected by
4	something removable, permeable, light, and see
5	through is appropriate. So I don't have any
6	issues with the garage. I think that the
7	proposed removal of the inappropriate carport
8	and late addition and replacement is an
9	appropriate place, an appropriate massing. I
10	have noted that you're using a different width
11	of lap siding to delineate, it looks like to
12	me, is that correct?
13	MR. O'NEILL: That's correct.
14	COMMISSIONER MILES: And it will
15	also be in actual wood?
16	MR. O'NEILL: And asphalt
17	shingles.
18	COMMISSIONER MILES: And asphalt
19	shingles. To me, this is sufficiently
20	distinct and yet similar enough to be plainly
21	not historic and yet sympathetic and
22	compatible and the siting and the massing of
	NEAL R. GROSS         COURT REPORTERS AND TRANSCRIBERS         1323 RHODE ISLAND AVE., N.W.         (202) 234-4433       WASHINGTON, D.C. 20005-3701       www.nealrgross.com

72 the rear are appropriate. I think this is 1 2 supportable. 3 CHAIR ROTENSTEIN: Thank you. Commissioner Rodriguez? 4 I think COMMISSIONER RODRIGUEZ: 5 you're doing a great job in terms of getting 6 the house to clearly be what is the intent. 7 I'm a 8 little concerned with some of the 9 details, like the fireplace going through the roof and suspended by something, I don't know. 10 11 That's something that I would like to see what it becomes, because if that element is 12 not stabilized, then we are going to have 13 14 issues later. have more concerns more about 15 T 16 the way you are connecting the breezeway to That connection I don't think is 17 the house. I don't know, from what I see I 18 resolved. don't think the transition between the two 19 parts is resolved correctly. 20 21 MR. O'NEILL: Do you have а 22 suggestion? **NEAL R. GROSS** COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

	73
1	COMMISSIONER RODRIGUEZ: It's a
2	complicated issue, but maybe you don't need to
3	use the same type of roof. Maybe you go with
4	a roof that is more flatter and it allows you
5	to do the transition between one and the other
6	more. We don't necessarily use the same type
7	of material.
8	CHAIR ROTENSTEIN: Commissioner
9	Alderson?
10	COMMISSIONER ALDERSON: I would
11	agree that the connection could be revisited
12	so that it appears more as a garden element
13	than with the modern breezeway structure, to
14	make it less like a breezeway.
15	MR. O'NEILL: A pergola or
16	something like that?
17	COMMISSIONER ALDERSON: Yes, I
18	like the idea of interpreting as a garden
19	element, rather than an architectural feature.
20	And then the other part that I'd
21	like to encourage you to explore is the
22	alternative of conserving with structural work
	NEAL R. GROSS COURT REPORTERS AND TRANSCRIBERS
	1323 RHODE ISLAND AVE., N.W. (202) 234-4433 WASHINGTON, D.C. 20005-3701 www.nealrgross.com

1	that what I'm guessing is an 1890s
2	addition. It's really substantial and it's a
3	lot of the old house. Two over two windows,
4	it's got to be 19th century. That's got to be
5	a 19th century foundation and given that we
6	have turned other applicants away and told
7	them to revisit how to save their house with
8	way worse structural problems than you're
9	facing here, I think that alternative needs to
10	be explored, what it would take to rebuild
11	that foundation, rather than leveling the
12	addition and sort of simulating it in new
13	construction.
14	CHAIR ROTENSTEIN: Commissioner
15	Jester?
16	COMMISSIONER JESTER: I guess from
17	my perspective, the general massing for the
18	addition is entirely appropriate. I am not
19	too concerned about any insets. I guess I
20	share the concern about suspending the
21	chimney. I think and also to change the
22	foundation. I think there's a way to keep as
	NEAL R. GROSS         COURT REPORTERS AND TRANSCRIBERS         1323 RHODE ISLAND AVE., N.W.         (202) 234-4433       WASHINGTON, D.C. 20005-3701       www.nealrgross.com

1	much as that as possible, it's obviously
2	preferable. I think if you can make the
3	adequate case that there are structural
4	issues, I'd be open to modifications.
5	On the foundation, I think you
6	noted, I think I heard you say you were
7	proposing a stone veneer?
8	MR. O'NEILL: Yes.
9	COMMISSIONER JESTER: And the
10	drawings make reference to a stamped pattern,
11	but it's concrete wall?
12	MR. O'NEILL: We're in a state of
13	flux. We're trying to we'll come up with
14	some system that's nice for the home, yet
15	distinguishes it from the past.
16	COMMISSIONER JESTER: I think
17	that's my point. Stone veneer or things that
18	look a little more engineered, like new
19	residential projects in the middle of nowhere
20	might be fine, but fine for that location.
21	I think here, it would be better to see
22	natural material or possibly just parged and
	NEAL R. GROSS         COURT REPORTERS AND TRANSCRIBERS         1323 RHODE ISLAND AVE., N.W.         (202) 234-4433       WASHINGTON, D.C. 20005-3701       www.nealrgross.com

painted surface or stucco or something so it's -- it can blend in. It's very monochromatic paint scheme to begin with and it reads that way. So --

5 MR. O'NEILL: So you'd rather see 6 a stucco finish than a stone veneer?

COMMISSIONER JESTER: 7 That's my preference. I actually have concerns about 8 9 the breezeway. I'm not sold on it. Ι personally don't think it's necessary and I 10 11 don't really think it's all that compatible with the resource. I think -- at least as 12 it's detailed now, it looks like a Colonial 13 Revival element. It doesn't feel comfortable 14 15 with this Victorian house. I would ask you to consider, ask the applicant 16 to consider sticking with just a detached garage and 17 diverting some of those resources to other 18 issues that you have like the foundations and 19 20 potentially keeping the chimney. I'm not all supportive of the breezeway at 21 that the 22 moment, but I think it's moving in the right

## NEAL R. GROSS

COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

1

2

3

4

www.nealrgross.com

78 compatibility with the 1 reason or history building and the proposed garage. I think it 2 3 would be out of place to have a connector at that location, even something that appeared as 4 a garden feature, you'd have a garden feature 5 connecting what's clearly a garage. And I 6 7 that would not necessarily be think 8 compatible. also think that Commissioner 9 Ι Jester's comments about the parged foundation 10 in what you propose to do in the rear is 11 Stamped brick stamped 12 appropriate. or concrete, I don't think would be compatible. 13 would 14 An engineer's report 15 definitely help us in making our decision. Ι don't have any issues with the general massing 16 of the materials that you proposed on the 17 18 addition. I think that restoring the rear to 19 appropriate appearance is qood а more а direction for the property. It's a wonderful 20 21 house. 22 think overall, you're getting Τ **NEAL R. GROSS** COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W.

WASHINGTON, D.C. 20005-3701

(202) 234-4433

1	general support for the project. You are
2	missing a couple of Commissioners this evening
3	though, so I can't speak fully. But the only
4	issue I think that you're really dealing with
5	in terms of consensus with the Commission is
6	the breezeway.
7	MR. SILVER: Can I I just want
8	to get one point of clarification. Thank you,
9	Commission, for all of your comments. They're
10	all helpful.
11	It's clear that the breezeway is
12	an issue, but I want to be certain that as I
13	had indicated on Circle 4 in the first item
14	that I was requesting you guys provide
15	direction on that. No one on the Commission
16	who is here this evening has any issue with
17	any way of more clearly defining the
18	connection with the existing constructed
19	addition. As you went down the line, I didn't
20	hear that. I wanted to be certain that I was
21	correct in not hearing that and make sure that
22	the applicant can be assured that there's no
1	

NEAL R. GROSS

COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W. WASHINGTON, D.C. 20005-3701

(202) 234-4433

80 issue. 1 CHAIR ROTENSTEIN: Does anyone 2 3 want to address that? I didn't have an issue as I was 4 5 looking at the plans, but I would defer to the architects on the Commission. 6 You know, COMMISSIONER RODRIGUEZ: 7 8 Ι don't have an issue with the proposed 9 extension. I think that that's all right. I have more issues in the back 10 with the treatment of the bay window. It 11 looks out of scale. I think there's something 12 that might need a little look at closely. 13 The house has plenty of clues in the front on how 14 to treat it, so I think my only concern with 15 16 that would be with that element. Thank you. 17 MR. SILVER: ROTENSTEIN: 18 CHAIR Any other 19 comments? I think you're moving in the right direction and I thank you for all the hard 20 21 work and for providing us with such good 22 drawings. **NEAL R. GROSS** COURT REPORTERS AND TRANSCRIBERS 1323 RHODE ISLAND AVE., N.W.

WASHINGTON, D.C. 20005-3701

(202) 234-4433

	81
1	I look forward to seeing you when
2	you come back for a permit. Thank you.
3	MR. O'NEILL: Thank you.
4	CHAIR ROTENSTEIN: Next item on
5	the agenda is a preliminary consultation at
6	205 Market Street in Brookeville and
7	Commissioner Heiler will be leaving the dais
8	because this is her case. And do we have the
9	staff report?
10	MS. FOTHERGILL: Yes, the
11	applicant submitted it for the August meeting,
12	and those of you who were at that meeting will
13	remember that this is the Madison House which
14	is an outstanding resource in the Brookeville
15	Historic District. It's at 205 Market Street.
16	And at the first preliminary
17	consultation, the Commission and the applicant
18	discussed this proposed left side addition
19	that is based on evidence of an earlier side
20	addition.
21	At the first preliminary
22	consultation, the Commission requested that
	NEAL R. GROSS COURT REPORTERS AND TRANSCRIBERS
	1323 RHODE ISLAND AVE., N.W.           (202) 234-4433         WASHINGTON, D.C. 20005-3701         www.nealrgross.com