

23/15-02A 4609 Damascus Road
Griffith-Hatton House (Tusculum)



HPC

DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

HISTORIC AREA WORK
PERMIT

IssueDate: 9/16/2002

Permit No: 285663
Expires:
X Ref:
Rev. No:

Approved With Conditions

THIS IS TO CERTIFY THAT:

JOSHUA M. FREEMAN
4601 DAMASCUS RD
GAITHERSBURG MD 20872

HAS PERMISSION TO: ADD

PERMIT CONDITIONS:

PREMISE ADDRESS 4601 DAMASCUS RD
GAITHERSBURG MD 20882-2117

LOT	N/A	BLOCK	N/A	PARCEL	ZONE
LIBER		ELECTION DISTRICT	09	PLATE	GRID
FOLIO		SUBDIVISION	LAYTONSVILLE		
PERMIT FEE:	\$0.00	TAX ACCOUNT NO.:			
				HISTORIC MASTER:	Y
				HISTORIC ATLAS:	N

HISTORIC APPROVAL ONLY
BUILDING PERMIT REQUIRED

Director, Department of Permitting Services



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

February 20, 2003

Miche Booz, AIA
208 Market Street
Brookeville, MD 20833

Re: Project at 4601 Damascus Road—Tusculum Farm #23/15

Mr. Booz:


This letter is in regard to your proposed revision to your approved HAWP (DPS#285663) for a side addition. Your request to add a 6'8" x 23'9" one-story shed roof extension to the already approved addition is approved. Enclosed please find your drawings marked with the Commission's approval. Any additional exterior alterations and revisions to this site must be reviewed by the HPC prior to the project's commencement.

This letter will serve as your official approval for this revision. If you have any additional questions, please do not hesitate to contact me at 301-563-3400. Thank you for your cooperation and assistance in this matter.

Sincerely,

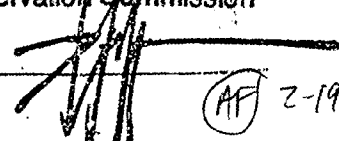
Anne Fothergill
Historic Preservation Planner

Cc: Reggie Jetter, Department of Permitting Services

A black and white architectural sketch of two houses. The house on the left is a two-story structure with a gabled roof, a chimney on the left side, and a covered porch on the front left. The house on the right is a similar two-story structure with a gabled roof, a chimney on the right side, and a covered porch on the front. The drawing is done in a sketchy, hand-drawn style with visible lines and shading. The text 'REVISION TO ADDITION' is written in the lower-left area of the sketch.

REVISION
TO ADDITION

APPROVED
Montgomery County
Historic Preservation Commission

A handwritten signature in black ink, appearing to be 'AF', written over a horizontal line.

AF

2-19-03

MICHE BOOZ
ARCHITECT

208 Market St
Brykewille
Maryland 20813
(301)774-8911
fax: 774-1908

Project:

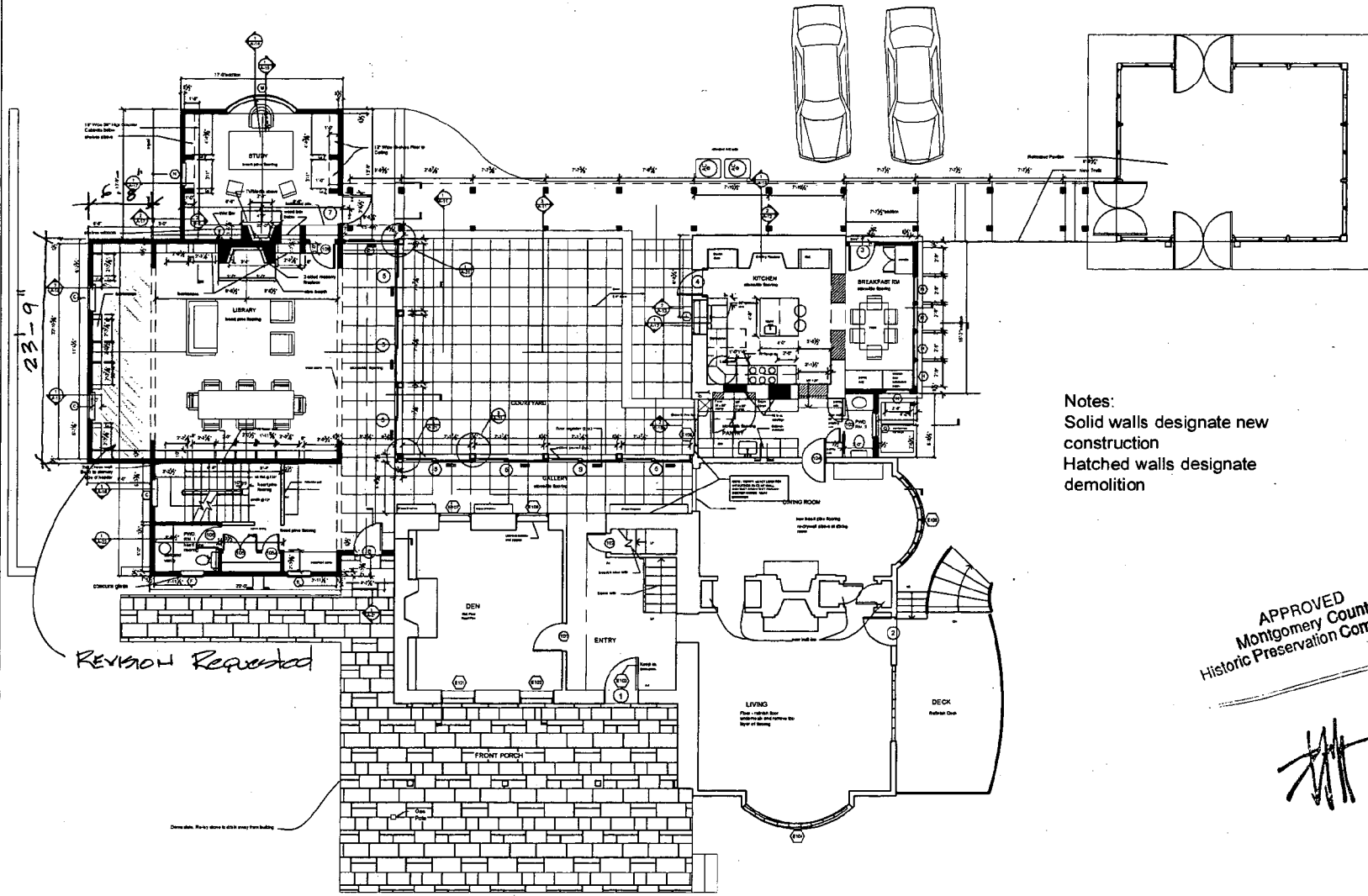
TUSCULUM
FARM
4801 Damascus Rd.
Leytonsville, MD 20882

Drawings:

FIRST FLOOR
PLAN 3/32" = 1' 0"

Dates:

February 6, 2003



Notes:
Solid walls designate new
construction
Hatched walls designate
demolition

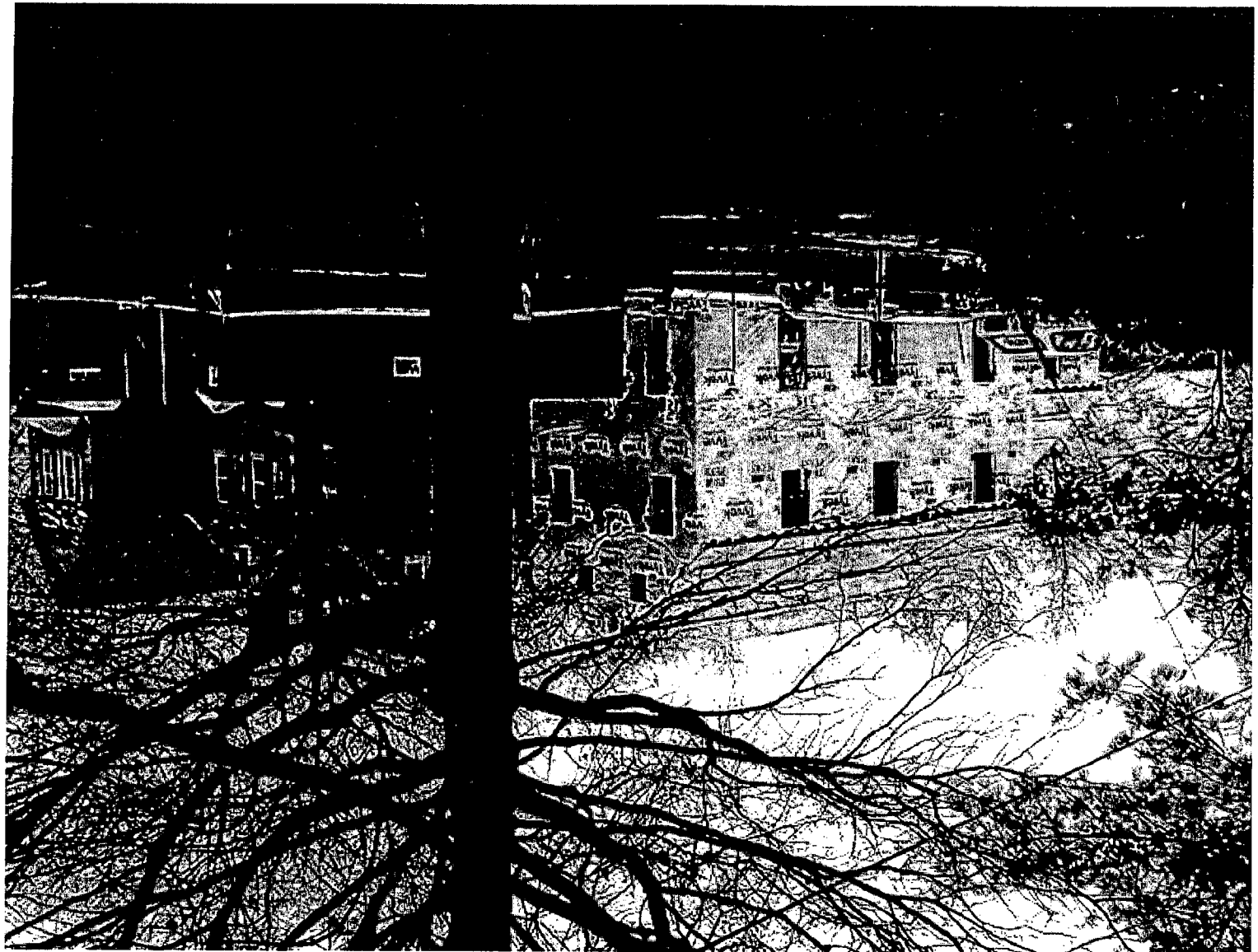
APPROVED
Montgomery County
Historic Preservation Commission

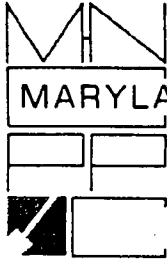
ME 2-19-03

REVISION REQUIRED

23'-9"

Check with survey to establish front building





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: Sept. 11, 2002

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

#285663

FROM: DDZ Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

23/15-02A

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Joshua Freeman

Address: 4609 Damascus Road

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

Re: Master Plan site # 23/15, Tusculum



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
246/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Miché Booz

Daytime Phone No.: 301.774.6911

Tax Account No.: 00002841

Name of Property Owner: Joshua Freeman

Daytime Phone No.: 301

Address: 4601 DAMASCUS Rd.
Street Number City

LAYTONSVILLE MD 20882
Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Miché Booz Daytime Phone No.: 301.774.6911

LOCATION OF BUILDING/PREMISE

House Number: 4601 Street: DAMASCUS Rd.

Town/City: LAYTONSVILLE Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: N/A

Liber: 3223 Folio: 460 Parcel: MAP # HW/31 tax parcel P.444

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
- Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 1,000,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

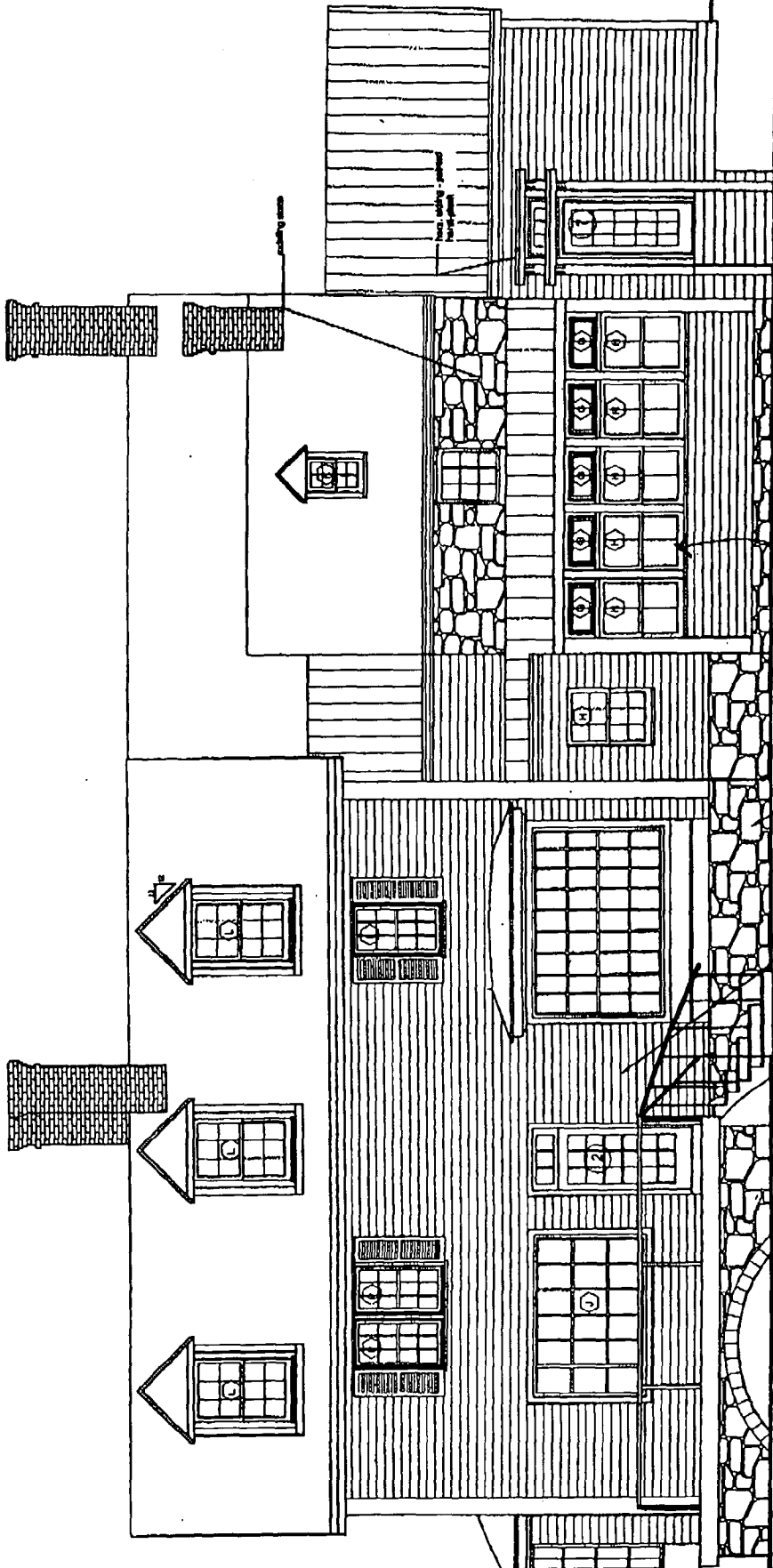
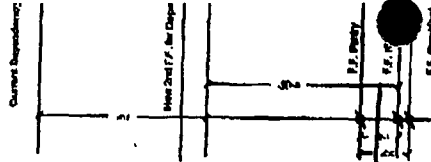
[Signature]
Signature of owner or authorized agent

8.19.02
Date

Approved: X _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 9/12/02

Application/Permit No.: 285663 Date Filed: 8/20/02 Date Issued: _____



REVISED WINDOWS
ELEVATION

E-mail: michebooz@aol.com
http://members.aol.com/michebooz

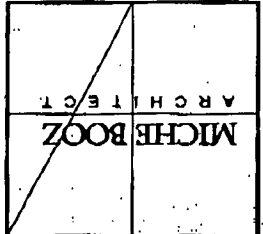
Tel: (301) 774 6911
Fax: (301) 774 1908

208 Market Street
Brookeville, Maryland 20833

Project: Tusculum
Page 1 of 2
Re: Kimberly Remsons

Date: 9.11.02
To: Robin Zek
Phone:
Fax:
From: Miche Booz

FAX TRANSMITTAL



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	4609 Damascus Road	Date:	09/11/02
Applicant:	Joshua Freeman (Miche Booz, Agent)	Report Date:	09/4/02
Resource:	Griffith/Hutton House/Tusculum	Public Notice:	08/25/02
Review:	HAWP	Tax Credit:	Partial
Site Number:	23/15-02A	Staff:	Robin D. Ziek
PROPOSAL:	Remove modern addition; construct new addition		
RECOMMEND:	Approve with Conditions		

CONDITIONS

1. The new windows will be true-divided light (TDL), or simulated TDL, with muntins glued on both sides of the glass "sandwich".

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan* site, designated with Olney Amendment (2002)
STYLE: Vernacular
DATE: 19th century, with 20th century additions

The applicant came to the HPC on 3/1/3/02 for a Preliminary Consultation. At that time, the HPC comments were highly favorable, and the applicant has continued to develop the proposal to the HAWP level (see Circle 39-49). The property consists of a large farm in the Agricultural Reserve near Sunshine and Unity. The designation mentions both the vernacular stone house, with three 19th century sections, as well as the 3 large barns to the west of the house. There is a large modern addition behind the 19th century house which is inconsistent stylistically with the historic structure.

PROPOSAL

The applicant proposes to remove the large 20th century addition that sits directly behind the 19th century house (see Circle 28). A new addition, with massing more compatible with the 19th century portions of the house, will be built on the west edge of the house area. A north-facing courtyard will be formed by the different portions of the house, and this will be edged with a trellis separating this new house courtyard from the farmland to the north.

Other alterations include the relocation of an existing 20th century screened/glazed sunroom to the north of its current location. It will be connected to the house with the new trellis (see Circle 3 /). In order to connect the two 19th century portions of the house along the east side, a small 2nd story addition will be added to an existing hyphen. New dormers will be added to increase the living space at the attic level of the SE section. A small porch to provide a breakfast area will be added on the east elevation of the small kitchen wing. There will be windows facing east, but the doorway will open to the north to connect with the trellis-covered walkway along the north side of the house. The applicant has drawn 6/6 light windows, but may present a different fenestration pattern with fewer muntins to provide more light.

The large 20th century windows which were installed in the SE portion of the house will remain. The project also includes moving the existing driveway slightly to the north, as well as modifying the existing parking to provide discrete parking areas rather than one large parking area.

STAFF DISCUSSION

Staff highly recommends this project for its compatibility with the historic resource. The applicant has worked to achieve an overall harmony among the many parts of the existing building. The organizing element of the large courtyard provides for a distinct reading of each part of the building. The trellis along the north edge provides a direct link between the individual parts, and serves as a boundary between the residential area and the fields.

STAFF RECOMMENDATION

Staff recommends with **Conditions**, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that **the applicant shall present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 set for HPC files)** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Michelle Booz

Daytime Phone No.: 301.774.6911

Tax Account No.: 00002841

Name of Property Owner: Joshua Freeman Daytime Phone No.: 301

Address: 4601 Damascus Rd. Laytonsville MD 20882
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Michelle Booz Daytime Phone No.: 301.774.6911

LOCATION OF BUILDING/PREMISE

House Number: 4601 Street: Damascus Rd.

Town/City: Laytonsville Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: N/A

Liber: 3223 Folio: 460 Parcel: MAP # HW 31 tax parcel p. 444

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|--|--|--|---|---|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

CHECK ALL APPLICABLE:

1B. Construction cost estimate: \$ 1,000,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

8.19.02
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 285663 Date Filed: 8/20/02 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION**



1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1482-0200

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

1482-0200

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

4

William C. Consult:

William C. Consult:

Walter A. Royer
301 Damascus Road
Gaithersburg, MD 20882

Walter Butts, et al
3015 Damascus Road
Gaithersburg, MD 20882

Tusculum Farm
4601 Damascus Road
Laytonsville, MD 20882

Russell & C. Priebe
4800 Damascus Road
Gaithersburg, MD 20882

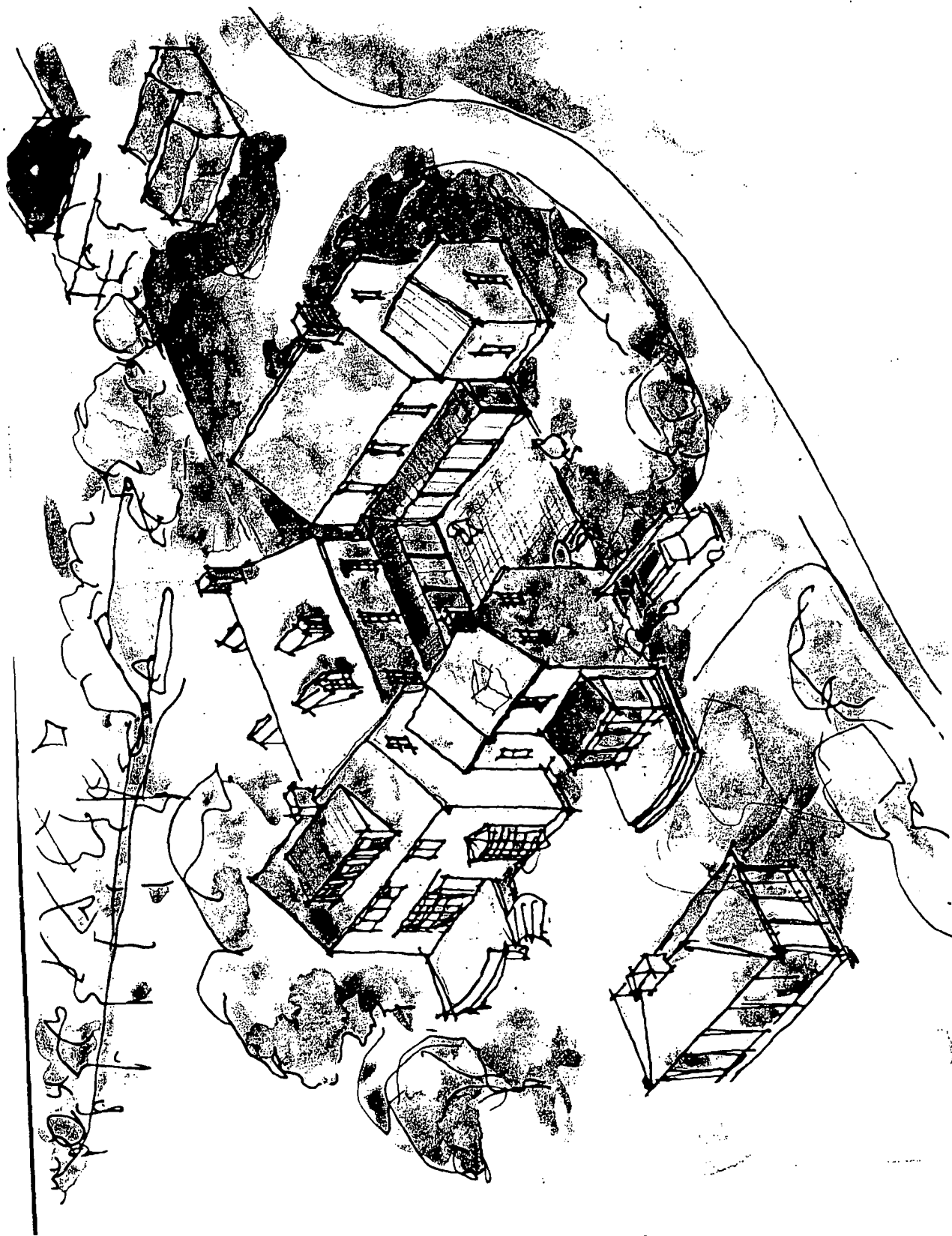
Catherine Spurrer
4920 Damascus Road
Gaithersburg, MD 20882

Miche Booz
208 Market Street
Brookeville, MD 20833

William & M.D. Mayo
4500 Damascus Road
Gaithersburg, MD 20882

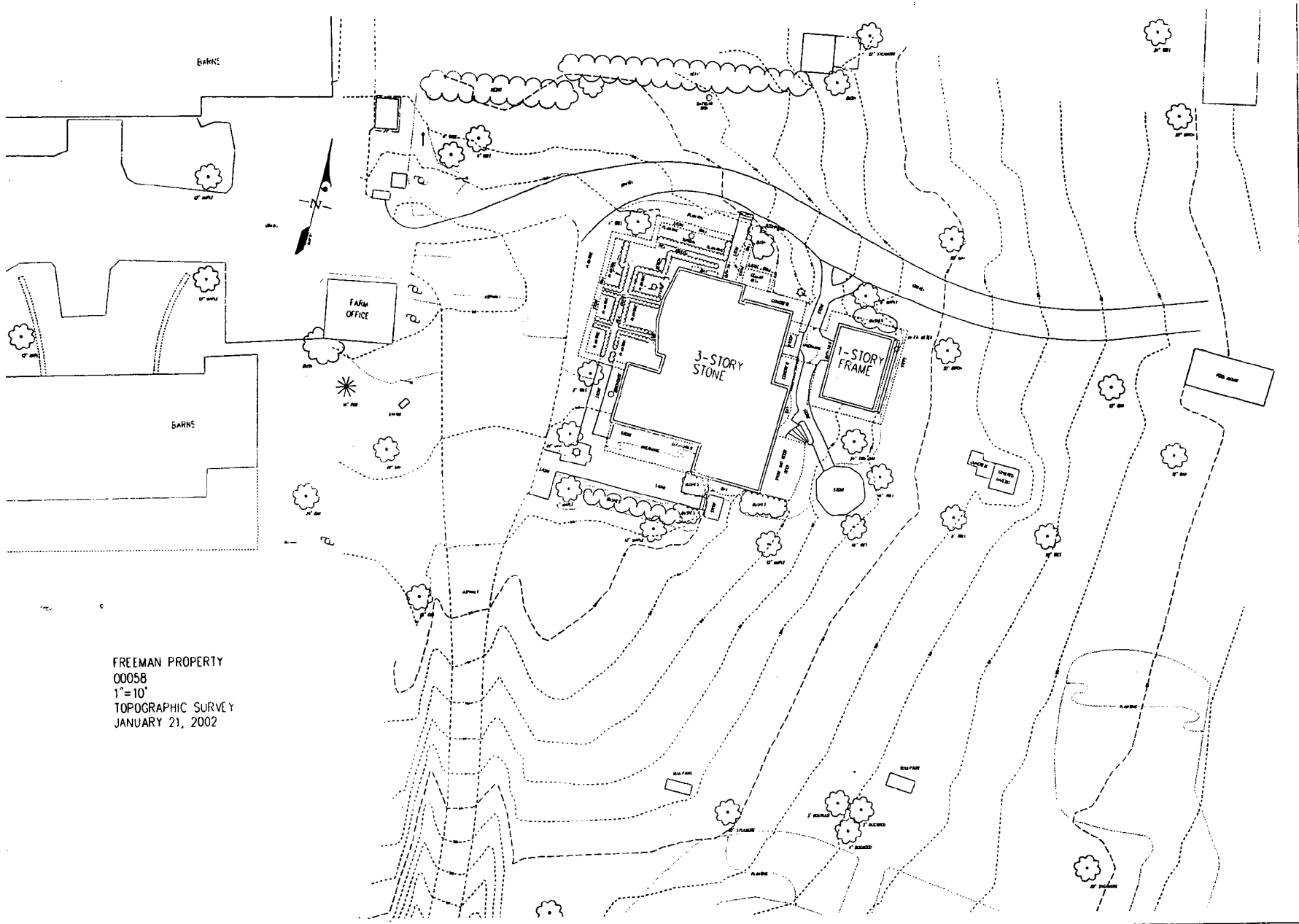
2/28/02 ✓

5



BIRD'S EYE VIEW © PRELIMINARY CONSULTATION

6



FREEMAN PROPERTY
00058
1"=10'
TOPOGRAPHIC SURVEY
JANUARY 21, 2002

EXISTING PLAN

7

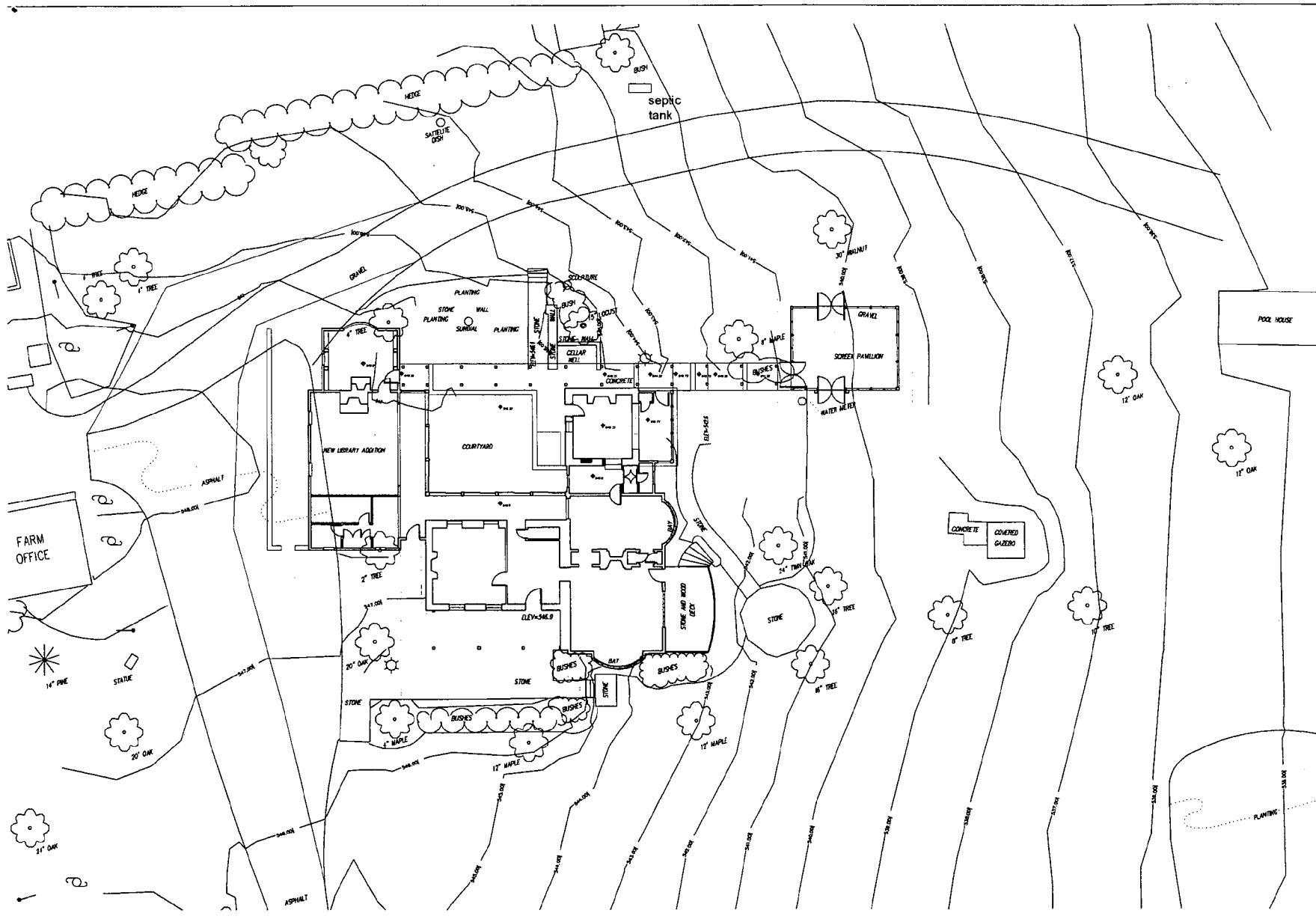
MICHE BOOZ
ARCHITECT

208 Market St
Brookville
Maryland 20833
(301) 774-6911
fax: 774-1908

Project:
**TUSCULUM
FARM**
4601 Damascus Rd.
Laytonsville, MD 20882

Drawings:
Site Plan
Scale: 1" = 20'-0"

Dates:
August, 29 2002



9

MICHE BOOZ

ARCHITECT

208 Normal St
Eggleston
Arlington 22203
(703) 774-6811
fax: 774-1948

Project:

**TUSCULUM
FARM**

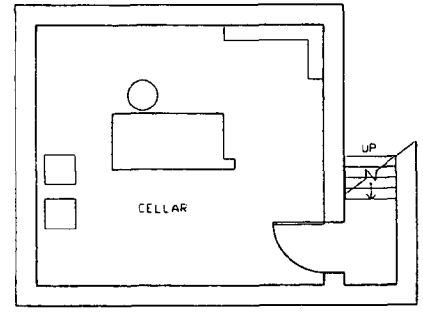
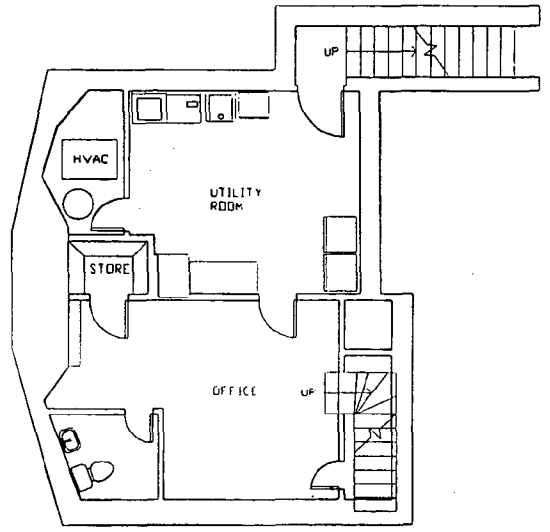
4601 Demasque Rd
Laytonville, MD 20882

Drawings:

**BASEMENT
PLAN**

Dates:

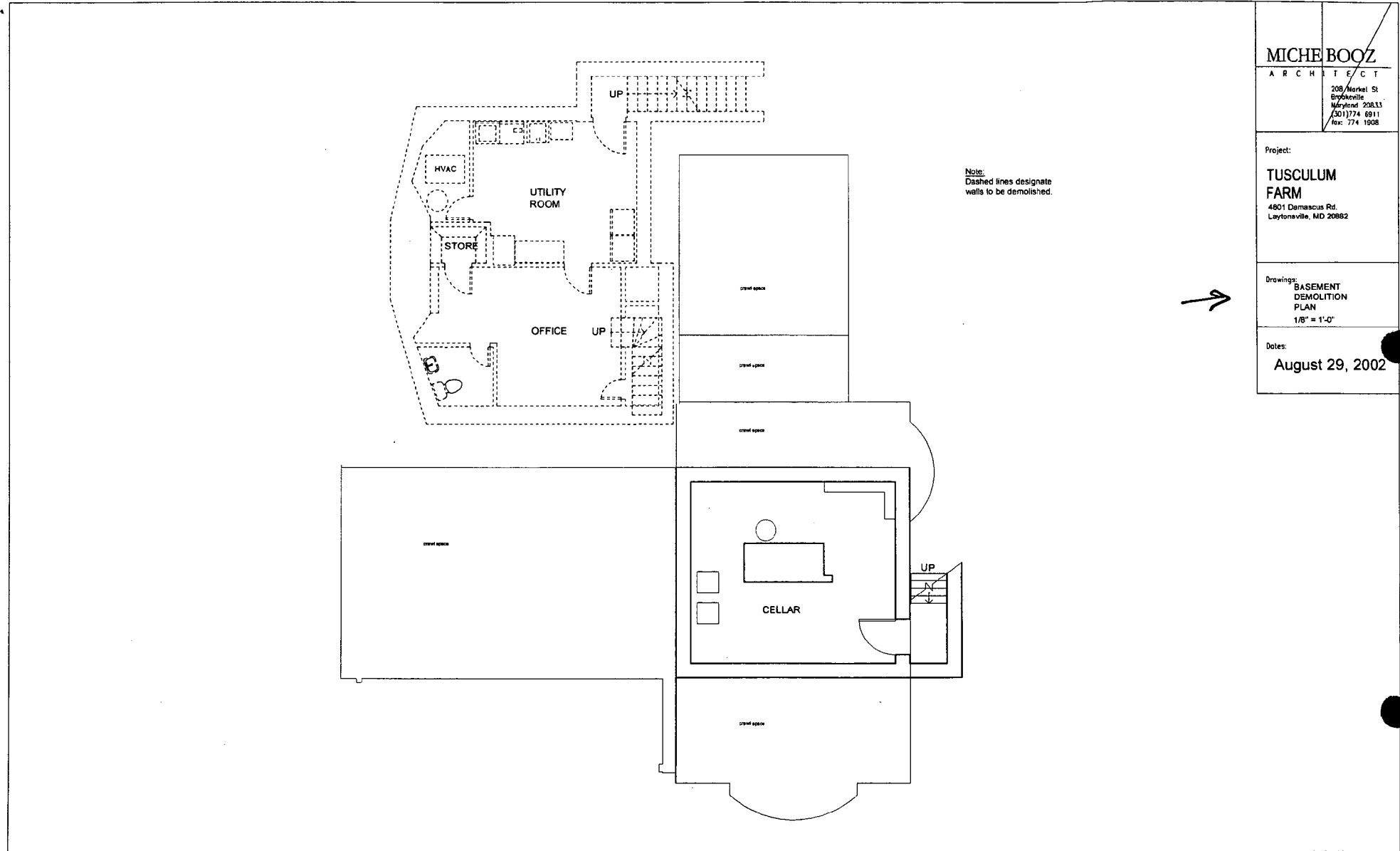
February 21, 2002



BASEMENT PLAN
scale: 1/8" = 1' 0"

6

EXISTING



MICHE BOOZ

A R C H I T E C T

208 Market St
Brykewille
Maryland 20813
(301)774 6911
Fax: 774 1908

Project:

**TUSCULUM
FARM**

4801 Damascus Rd.
Laytonsville, MD 20882

Drawings:

**BASEMENT
DEMOLITION
PLAN**

1/8" = 1'-0"

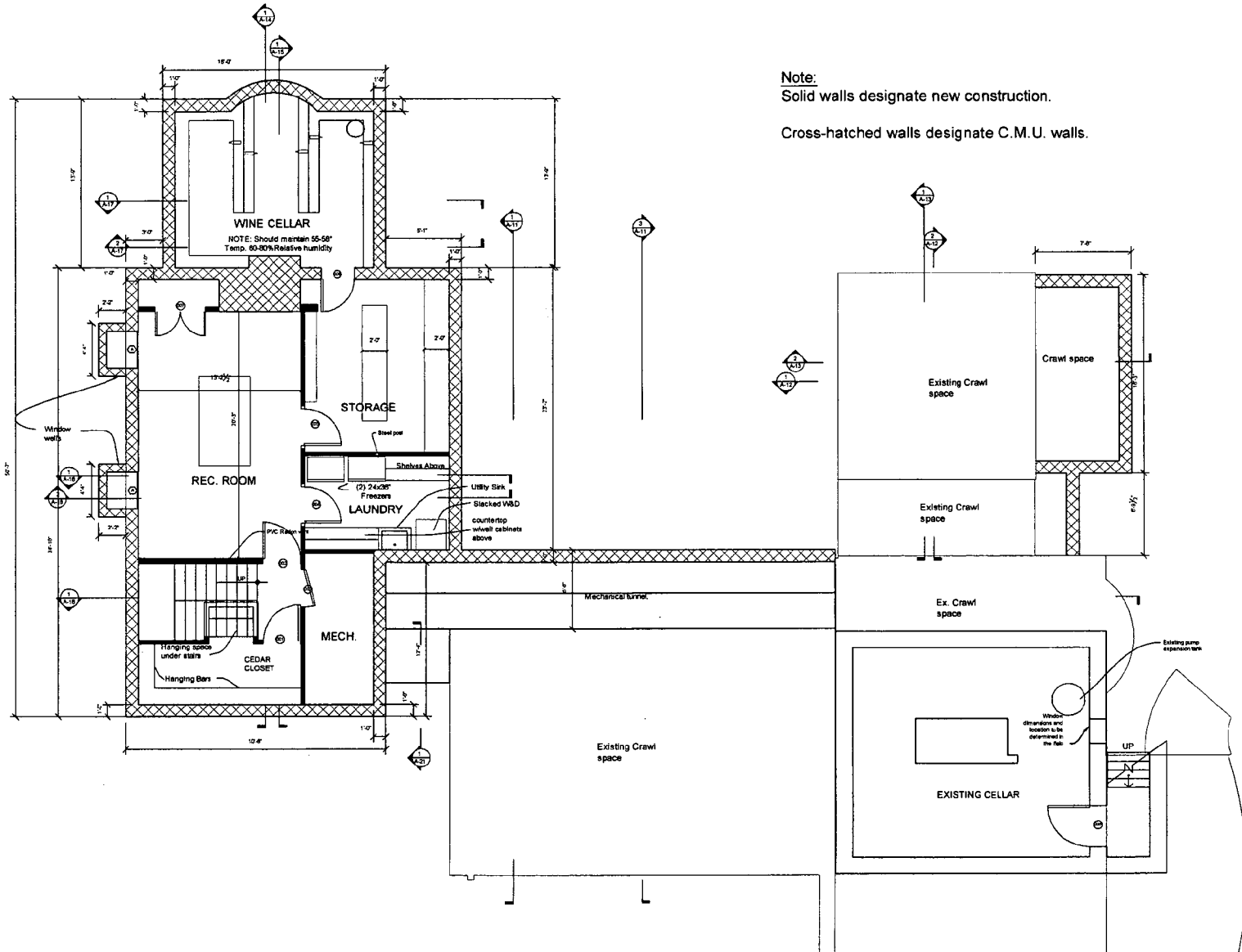
Dates:

August 29, 2002



01

Note:
 Solid walls designate new construction.
 Cross-hatched walls designate C.M.U. walls.



11

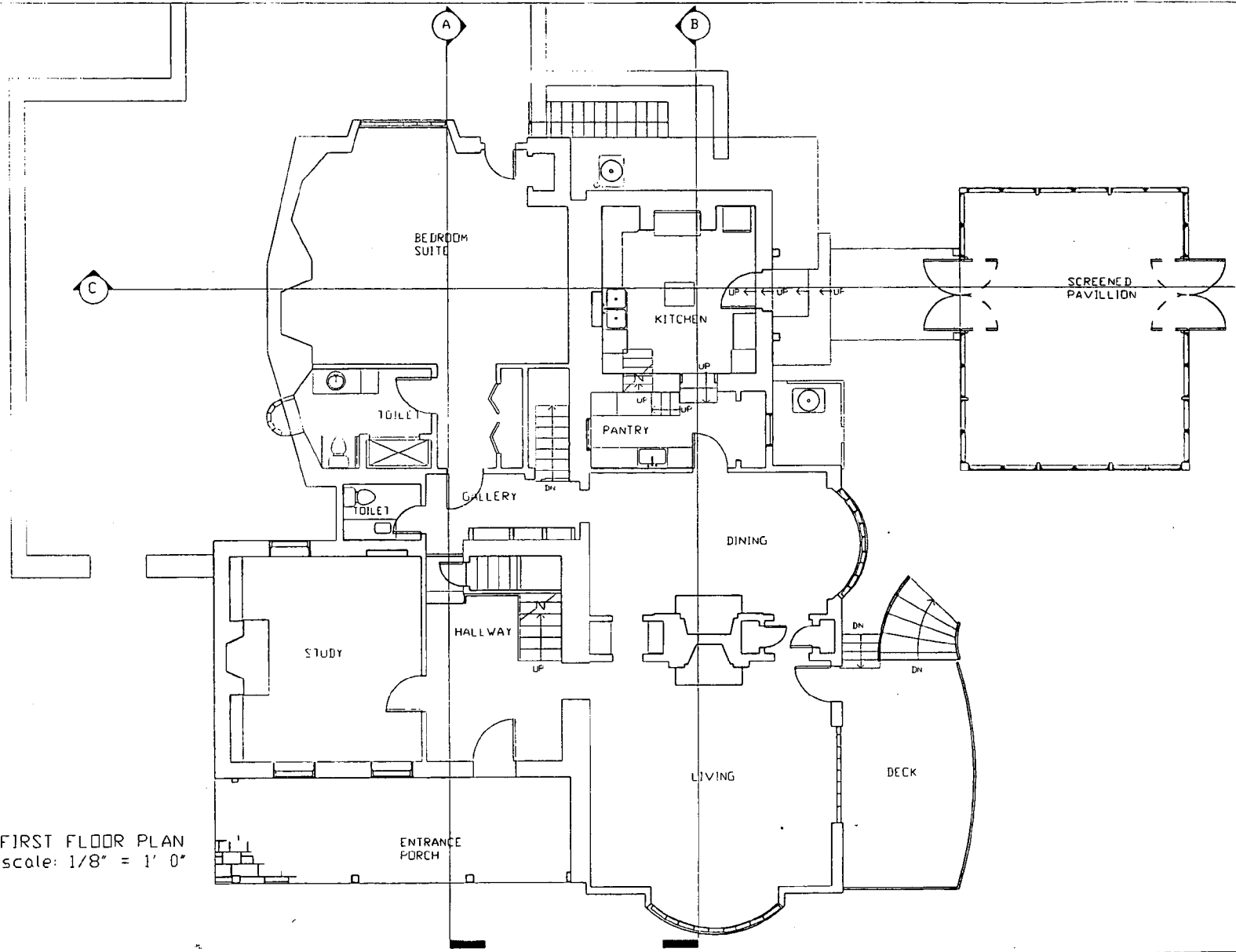
PROPOSED

MICHE BOOZ
 ARCHITECT
 208 Market St
 Bryansville
 Maryland 20633
 (301)774 8911
 fax: 774 1908

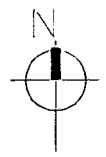
Project:
TUSCULUM FARM
 4601 De-nascus Rd.
 Laytonville, MD 20682

Drawing:
FIRST FLOOR PLAN

Dates:
 February 21, 2002



FIRST FLOOR PLAN
 scale: 1/8" = 1' 0"



12

EXISTING 1st FI

MICHE BOOZ

ARCHITECT

208/Market St
Brykewille
Maryland 20833
(301)774 6911
fax: 774 1906

Project:

TUSCULUM
FARM

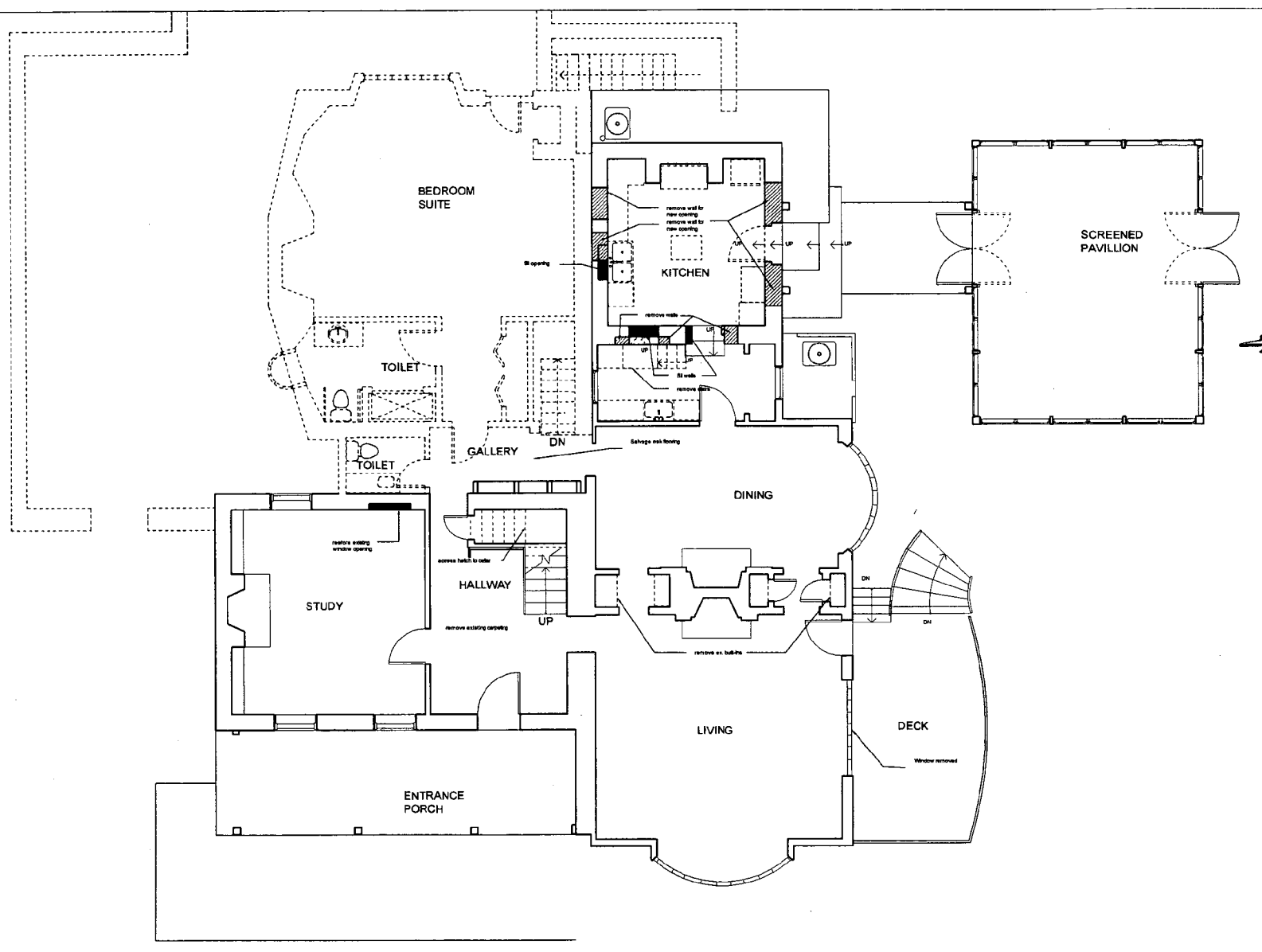
4801 Damascus Rd.
Laytonsville, MD 20882

Drawings: FIRST FLOOR

DEMOLITION
PLAN
1/8" = 1'-0"

Dates:

August 29, 2002



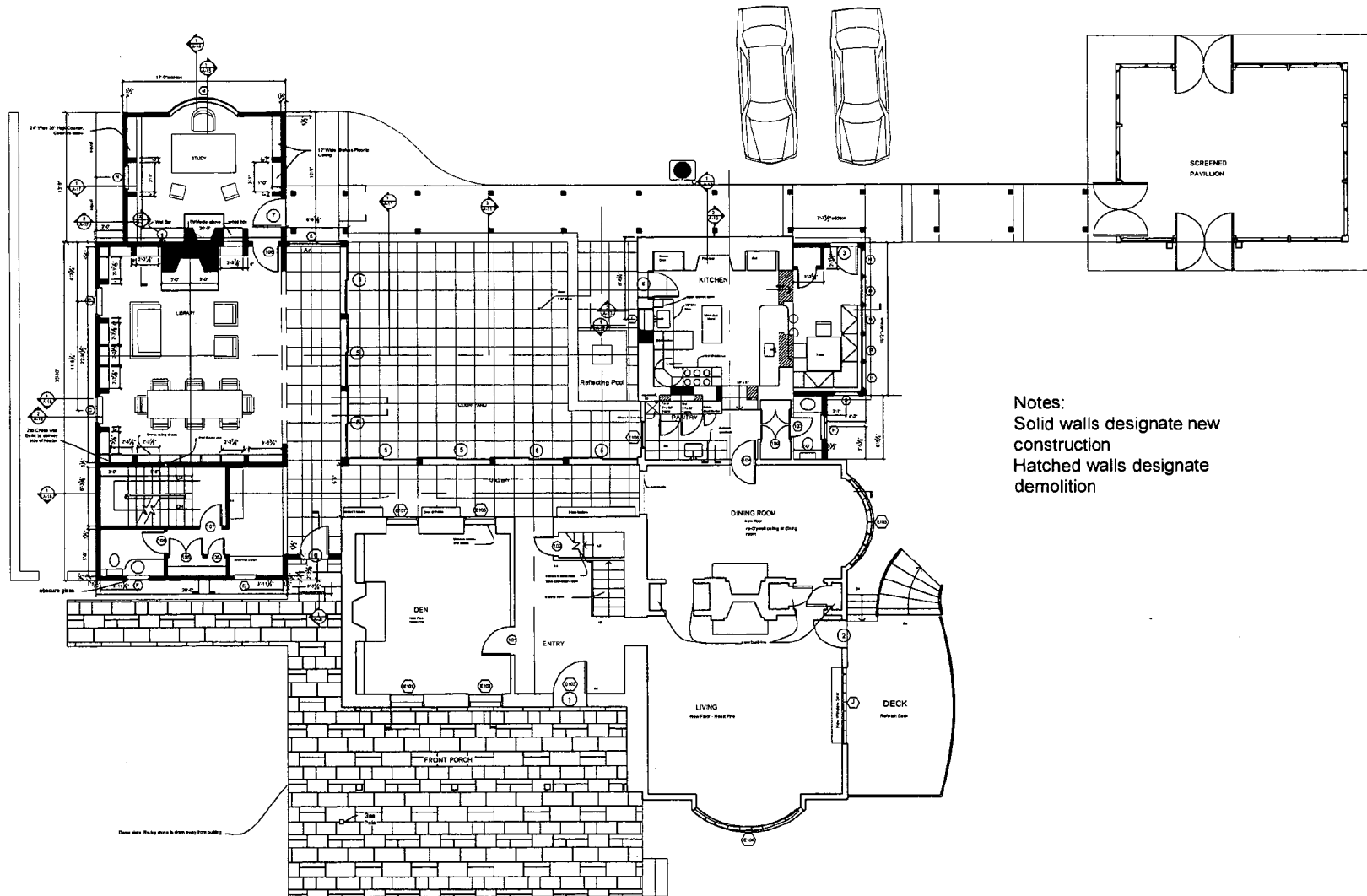
MICHE BOOZ
ARCHITECT

208 Market St
Brykelyville
Maryland 20833
301.774.6911
fax: 774.1898

Project:
**TUSCULUM
FARM**
4601 Damascus Rd.
Laytonsville, MD 20882

Drawings:
**FIRST FLOOR
PLAN 3/32" = 1' 0"**

Dates:
August 29, 2002



Notes:
Solid walls designate new
construction
Hatched walls designate
demolition

71

PROPOSED

MICHE BOOZ

ARCHITECT

208 Market St
Brydenville
Midland 20833
(301)774-6911
Fax: 774-1908

Project:

TUSCULUM
FARM

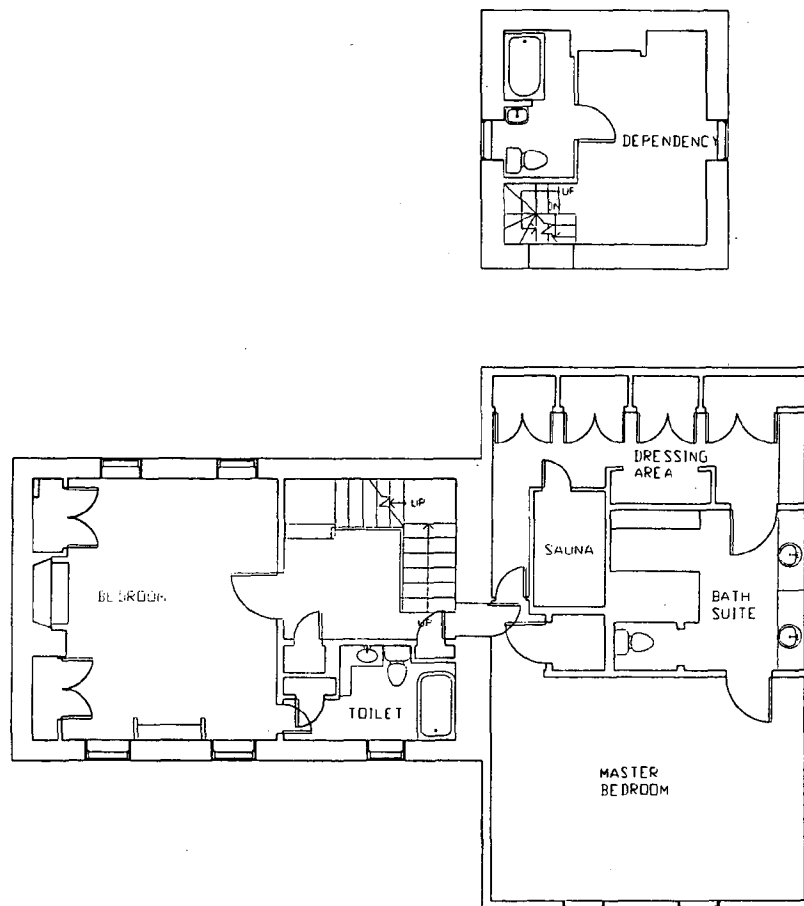
4601 DEHEMUS RD.
Laytonville, MD 20882

Drawings:

SECOND FLOOR
PLAN

Date:

February 21, 2002



SECOND FLOOR PLAN
scale: 1/8" = 1' 0"

15

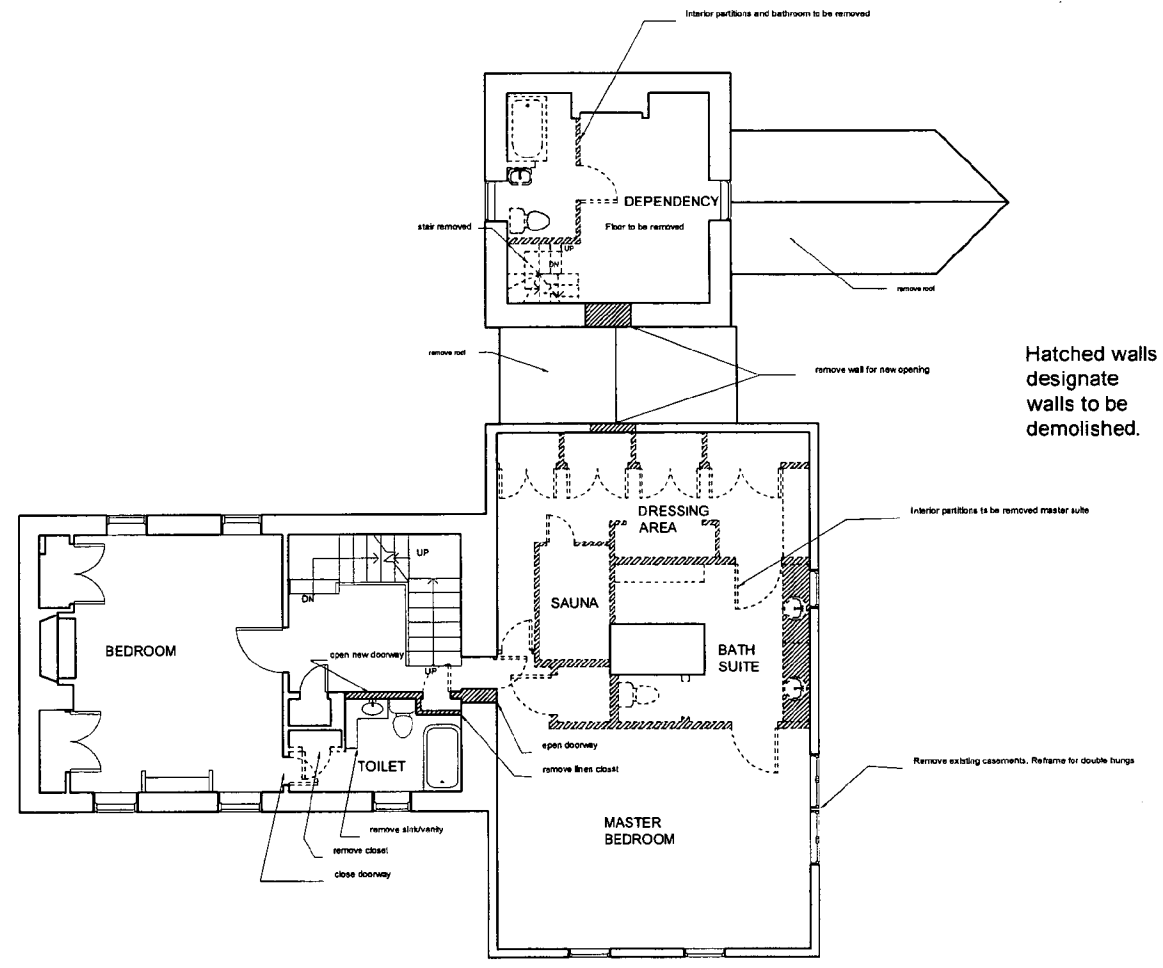
EXISTING 2nd Fl

MICHE BOOZ
 ARCHITECT
 208 Market St
 Brykewille
 Maryland 20833
 (301) 774-6511
 fax: 774-1908

Project:
TUSCULUM FARM
 4831 Demasocus Rd.
 Laytonsville, MD 20882

Drawings: **SECOND FLOOR DEMOLITION PLAN**
 1/8" = 1'-0"

Dates:
August 29, 2002



Hatched walls designate walls to be demolished.

16

MICHE BOOZ
ARCHITECT

209 Market St.
Brykville
Maryland 20813
(301) 774 8911
fax: 774 1908

Project:

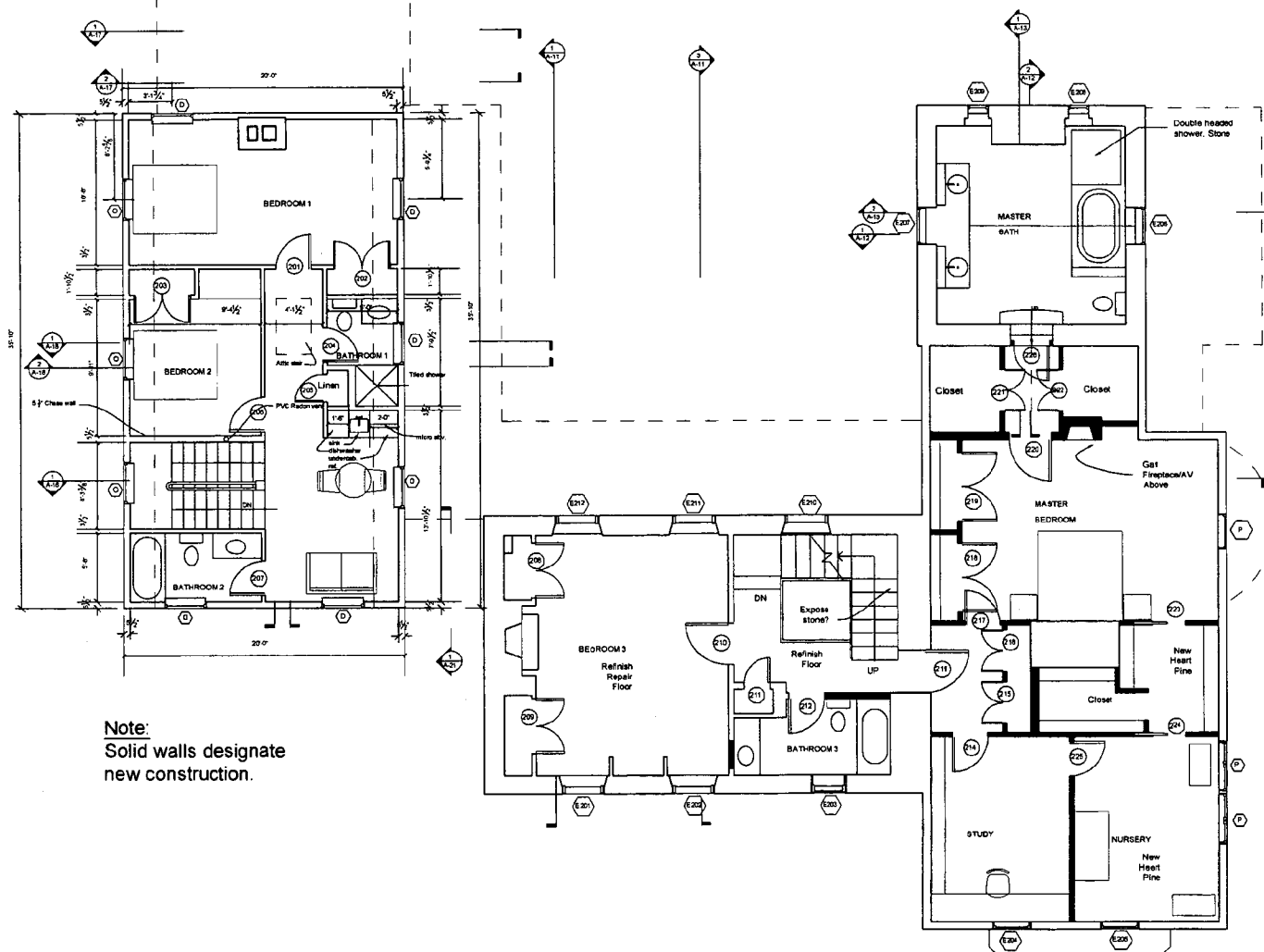
TUSCULUM
FARM

4601 Demascus Rd.
Laytonsville, MD 20882

Drawings:
SECOND FLOOR
PLAN 1/8"=1'-0"

Dates:

August 29, 2002



Note:
Solid walls designate
new construction.

PROPOSED

17

MICHE BOOZ

ARCHITECT

208 Vermont St
Baltimore
Maryland 21233
301774 6911
fax: 774 1906

Project:

TUSCULUM
FARM

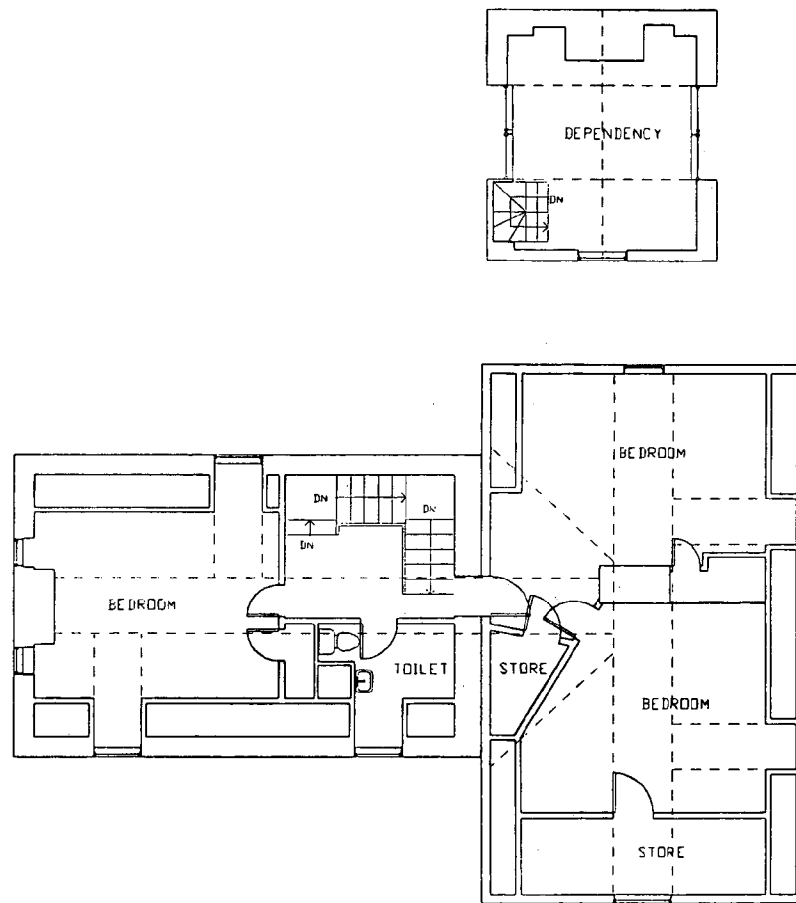
4601 Damascus Rd.
Laytonville, MD 20882

Drawings:

THIRD FLOOR
PLAN

Dates:

February 21, 2002



THIRD FLOOR PLAN
scale: 1/8" = 1' 0"

EXISTING Attic

18

MICHE BOOZ

ARCHITECT

208 Market St
Bryceville
Maryland 20833
301774 6911
fax: 774 1908

Project:

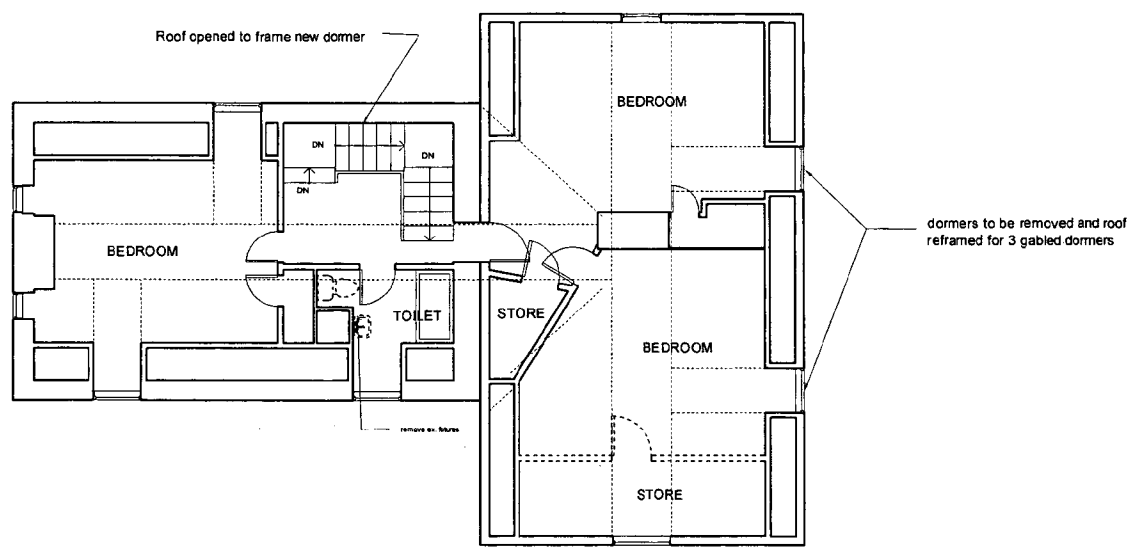
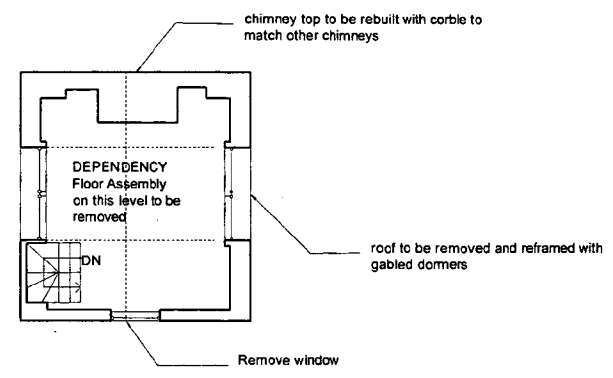
TUSCULUM
FARM

4801 Damascus Rd.
Laytonville, MD 20882

THIRD FLOOR
DEMOLITION
PLAN
1/8" = 1'-0"

Dates:

August 29, 2002



19

MICHE BOOZ

ARCHITECT

208 Market St.
Baltimore, MD 21201
(410) 774-6911
Fax: 774-1908

Project:

**TUSCULUM
FARM**

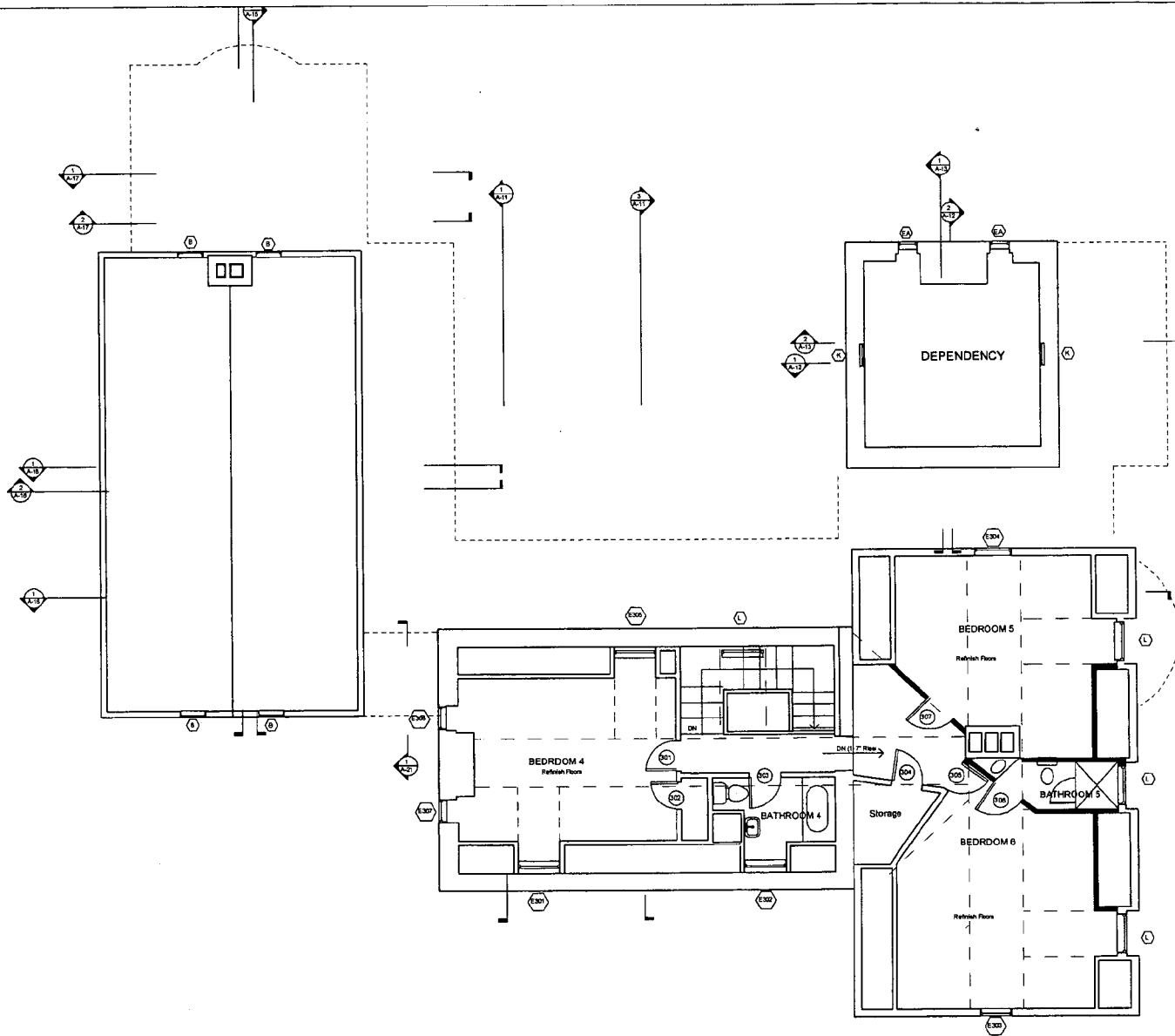
4801 Damascus Rd.
Laytonsville, MD 20882

Drawings:

**THIRD FLOOR
PLAN 1/8" = 1'-0"**

Dates:

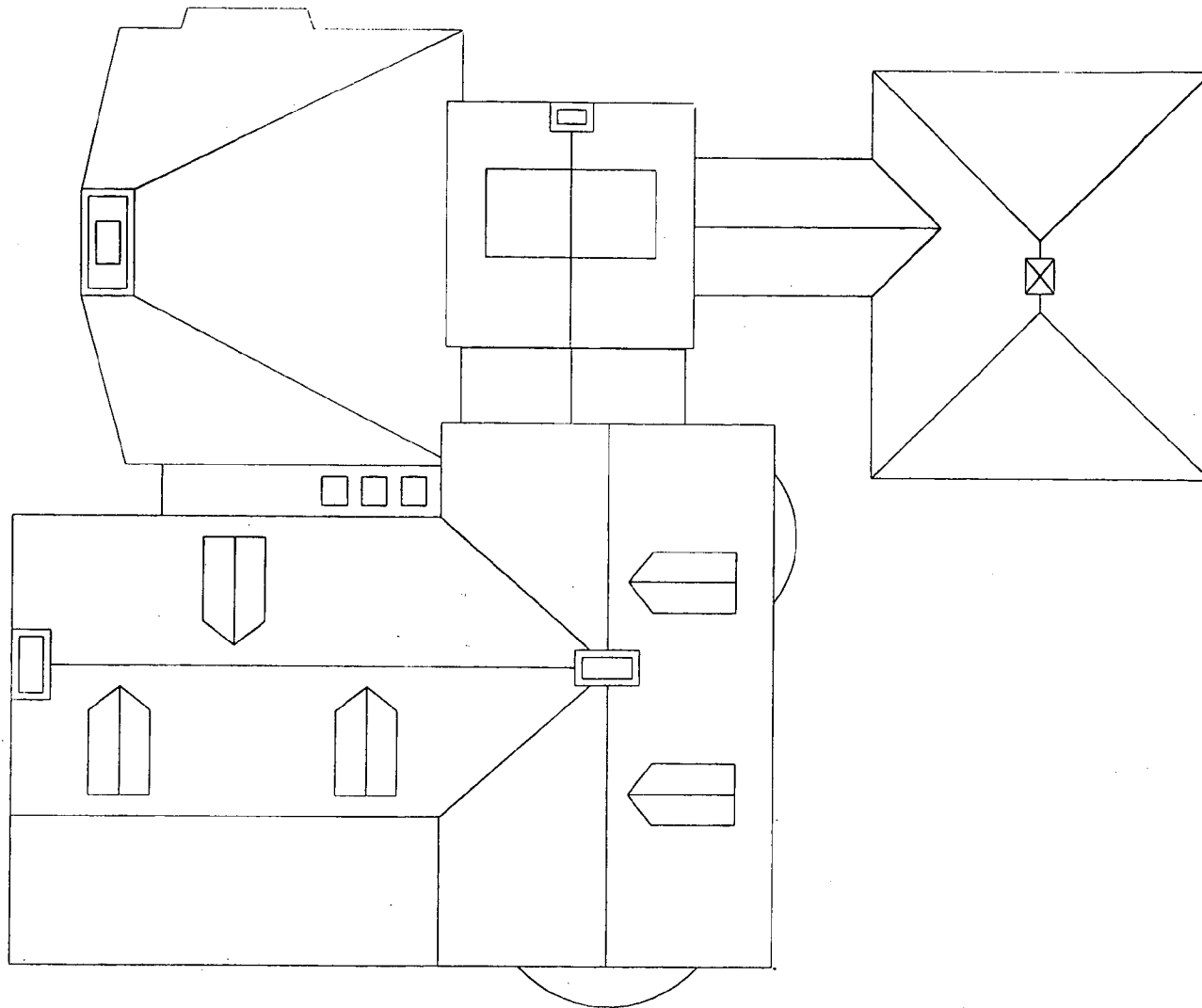
August 29, 2002



Notes:
1. Solid walls show new construction.
2. Hatched walls show demolition.

29

PROPOSED



ROOF PLAN
 scale: 1/8" = 1' 0"

MICHE BOOZ

ARCHITECT

708 Annet St
 Bryansville
 Maryland 20633
 (301) 774-6911
 fax: 774-1806

Project:

**TUSCULUM
 FARM**

4601 Demascoe Rd.
 Laytonsville, MD 20882

Drawings:

ROOF
 PLAN

Dates:

February 21, 2002

12

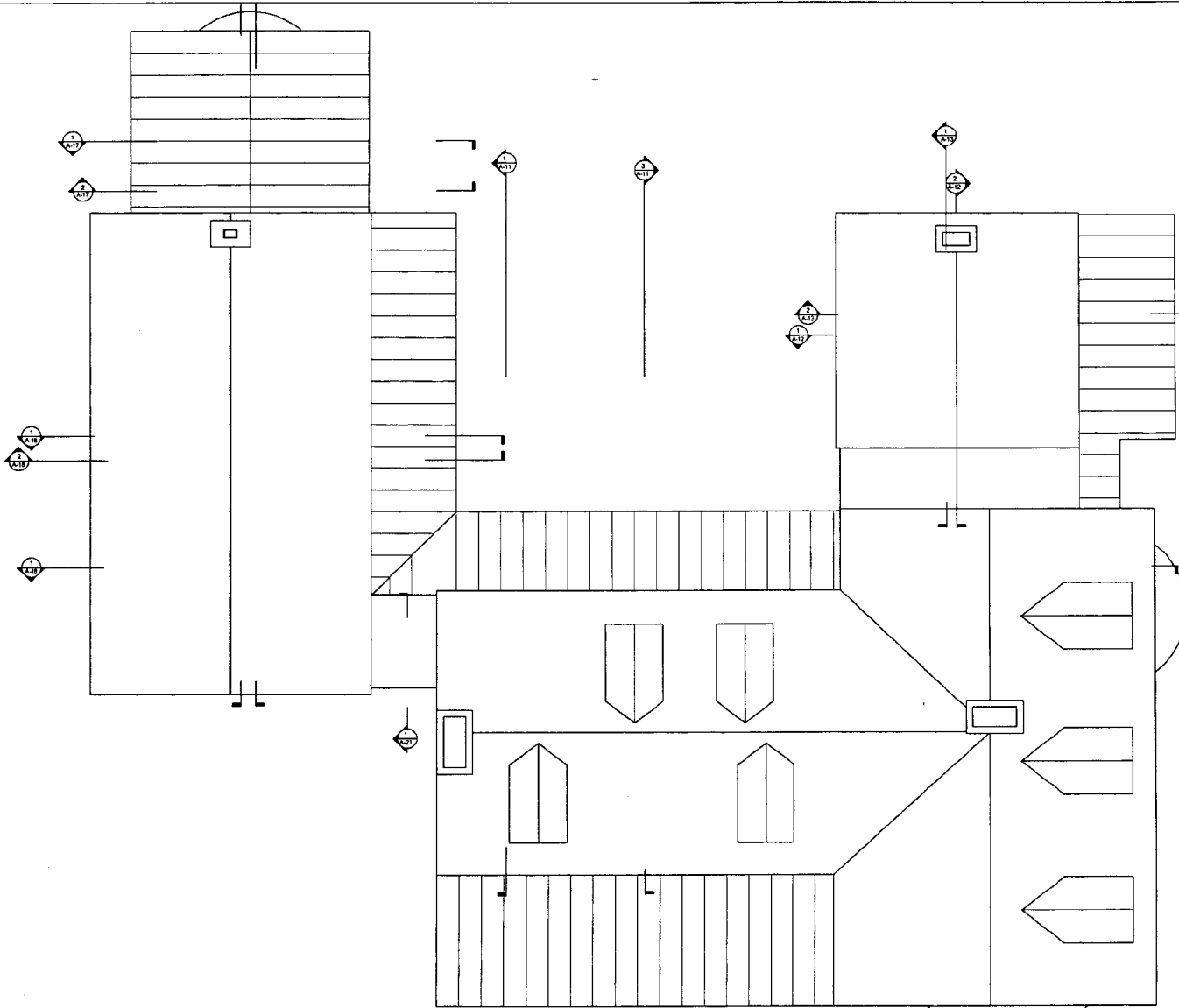
EXISTING ROOF PLAN

MICHE BOOZ
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Brykewille
Maryland 20813
(301) 774-6911
fax: 774-1908

Project:
**TUSCULUM
FARM**
4801 Damascus Rd.
Laytonville, MD 20882

Drawings:
ROOF
PLAN
1/8" = 1'-0"

Dates:
August 29, 2002



26

PROPOSED



FRONT ELEVATION
(SOUTH)



SOUTH ELEVATION

MICHE BOOZ

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Brydenville
Maryland 20833
(301) 774-6911
fax: 774-1908

Project:

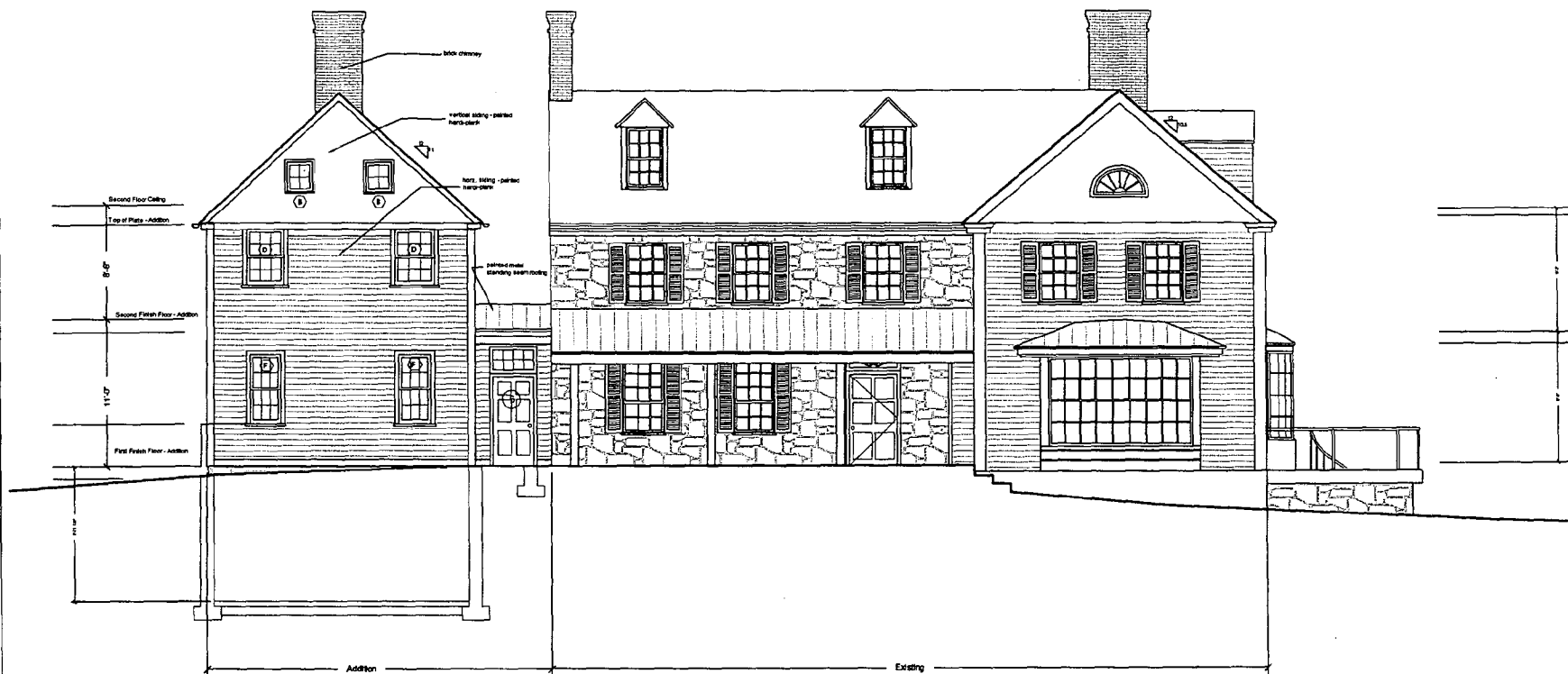
FREEMAN
HOUSE

Drawings:

SOUTH
ELEVATION

Dates:

August 29, 2002



Scale $\frac{1}{8}$ " = 1'-0"

25



WEST ELEVATION

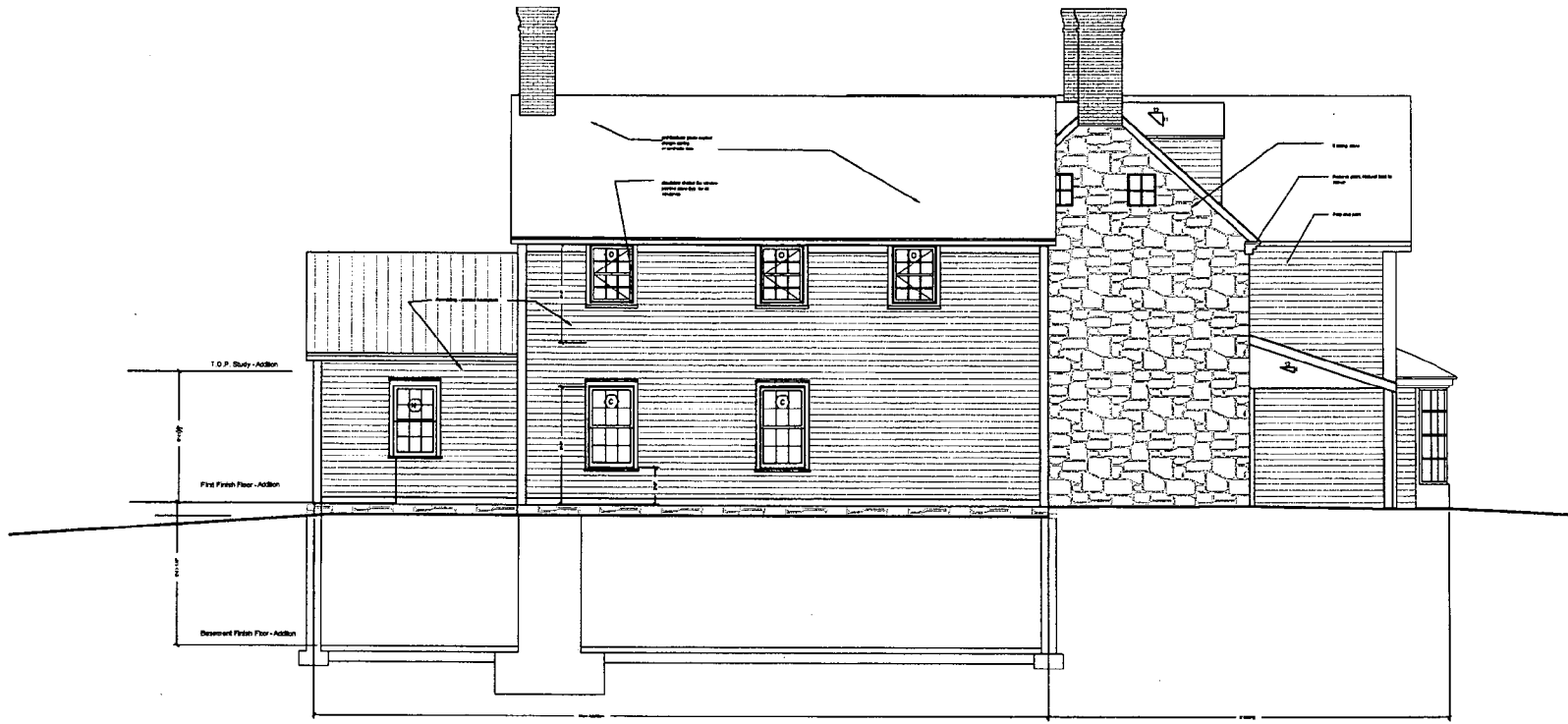
MICHE BOOZ
ARCHITECT

208 Market St
Brykowskie
Maryland 20833
Tel: 774 8911
Fax: 774 1968

Project:
**TUSCULUM
FARMS**
4501 Damascus Rd
Laytonsville, MD 20882

Drawings:
**WEST
ELEVATION**

Dates:
August 29, 2002



Scale $\frac{1}{8}'' = 1'-0''$

27



NORTH ELEVATION

MICHE BOOZ

ARCHITECT

206 Market St
Brynauvic
Maryland 20833
(301) 774-8511
fax: 774-1908

Project:

FREEMAN
HOUSE

Drawings:
NORTH
ELEVATION

Date:
August 29, 2002



Scale: $\frac{1}{8}'' = 1'-0''$

MICHE BOOZ
 ARCHITECT
 208 Market St
 Bryckville
 Brykord 20533
 (301)774-6211
 fax: 774-1908

Project:
TUSCULUM FARM
 4601 Damascus Rd.
 Laytonsville, MD 20882

Drawings:
Trellis/Pavilion

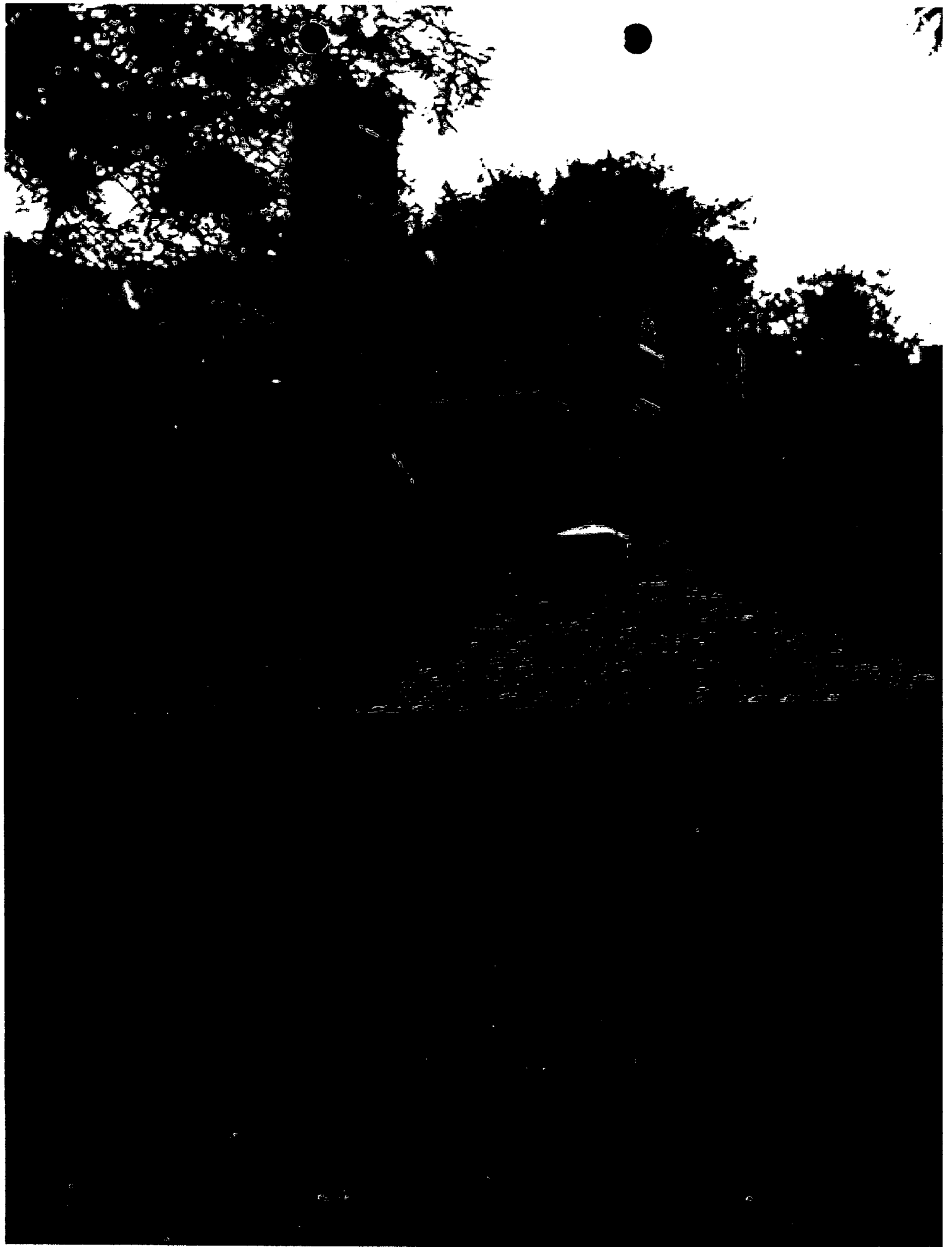
Dates:
August 29, 2002



Scale $\frac{1}{8}'' = 1'-0''$

NORTH ELEVATION (PARTIAL)

31



EAST ELEVATION



NORTH - EAST CORNER

MICHE BOOZ

ARCHITECT

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Bryansville
Maryland 20833
301774 6911
fax: 774 1908

Project:

TUSCULUM
FARMS

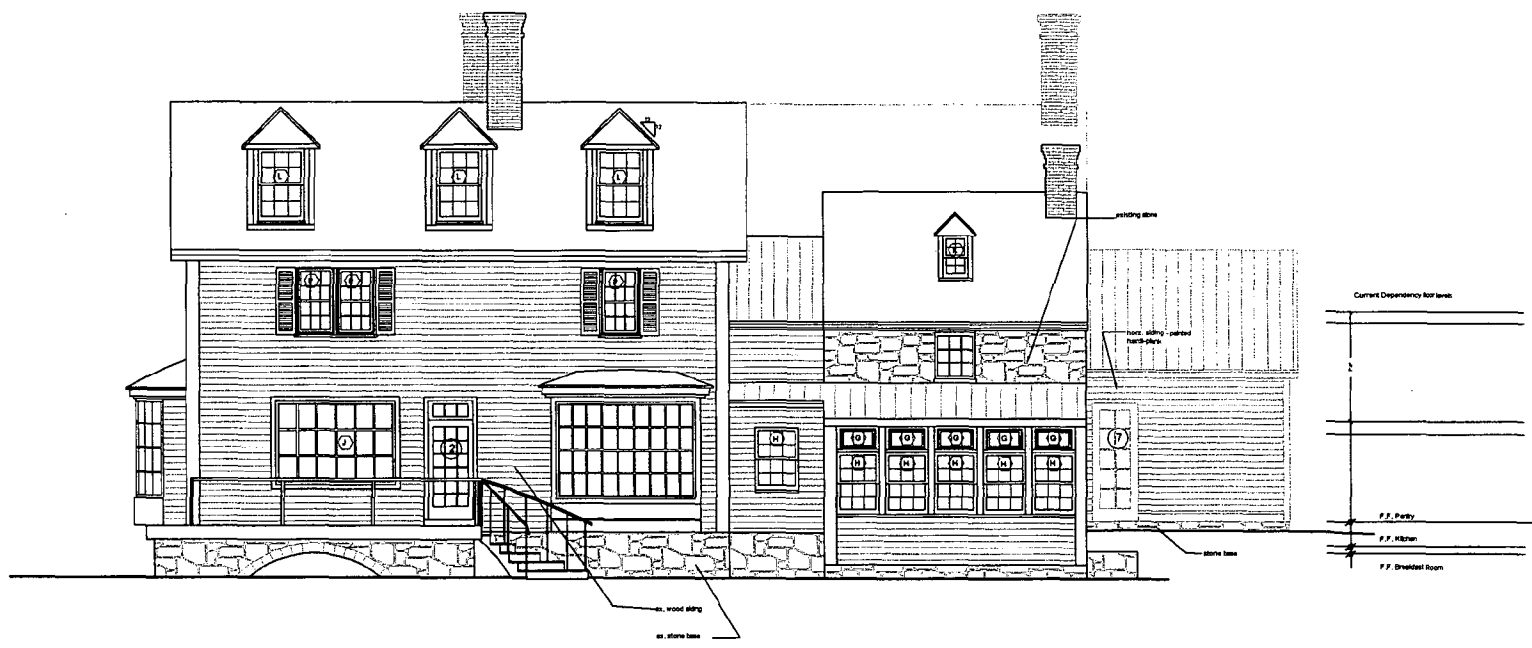
4621 Dismascus Rd
Laytonsville, MD 20882

Drawings:

EAST
ELEVATION

Dates:

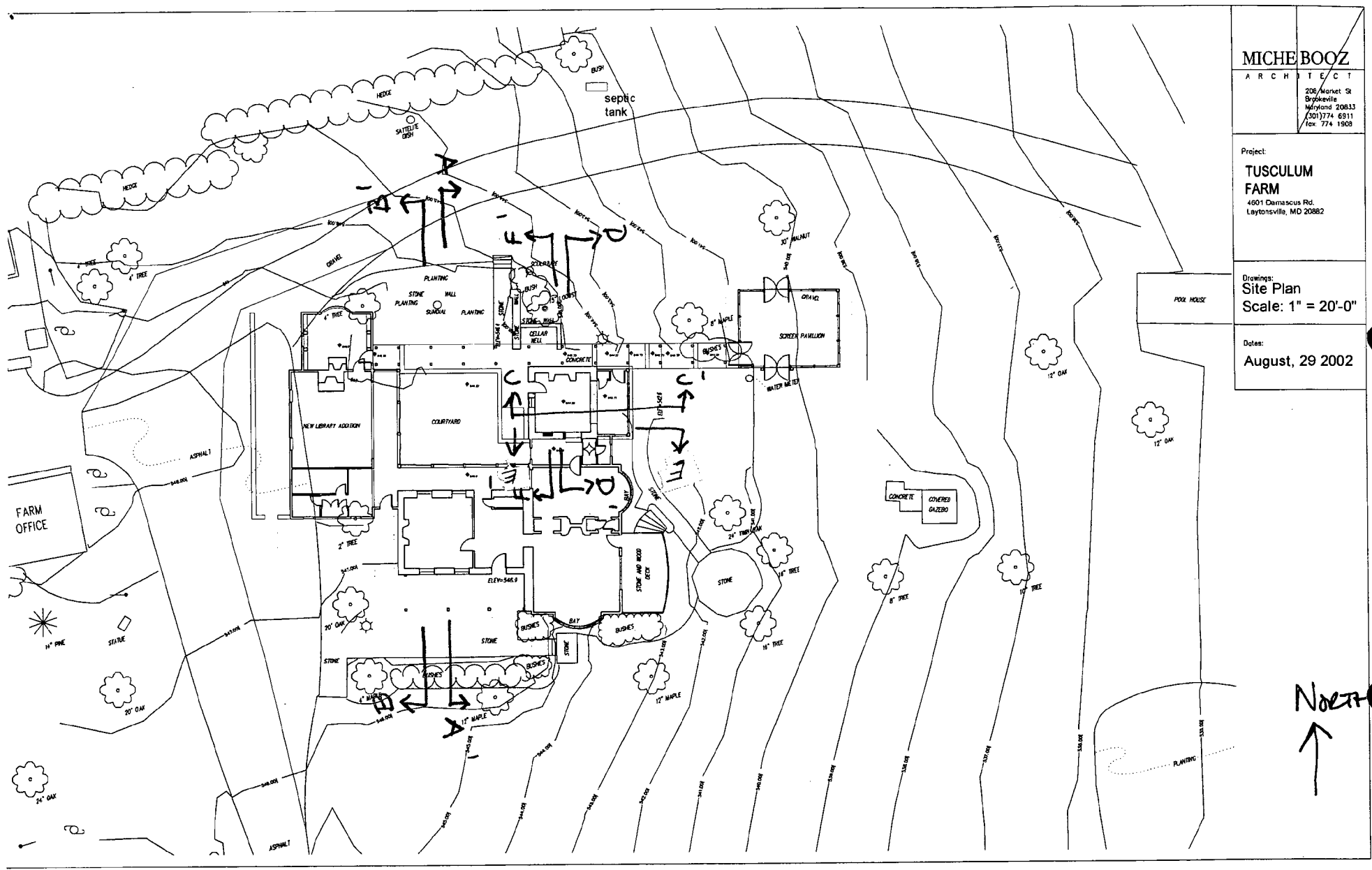
August 29, 2002



Scale: $\frac{1}{8}'' = 1'-0''$

33

EAST



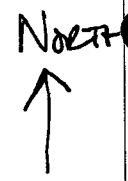
MICHE BOOZ
ARCHITECT

206 Annet St
Brookville
Maryland 20813
(301) 774-6911
fax 774-1908

Project:
TUSCULUM FARM
4601 Damascus Rd.
Laytonsville, MD 20882

Drawings:
Site Plan
Scale: 1" = 20'-0"

Dates:
August, 29 2002



39

SECTION KEY

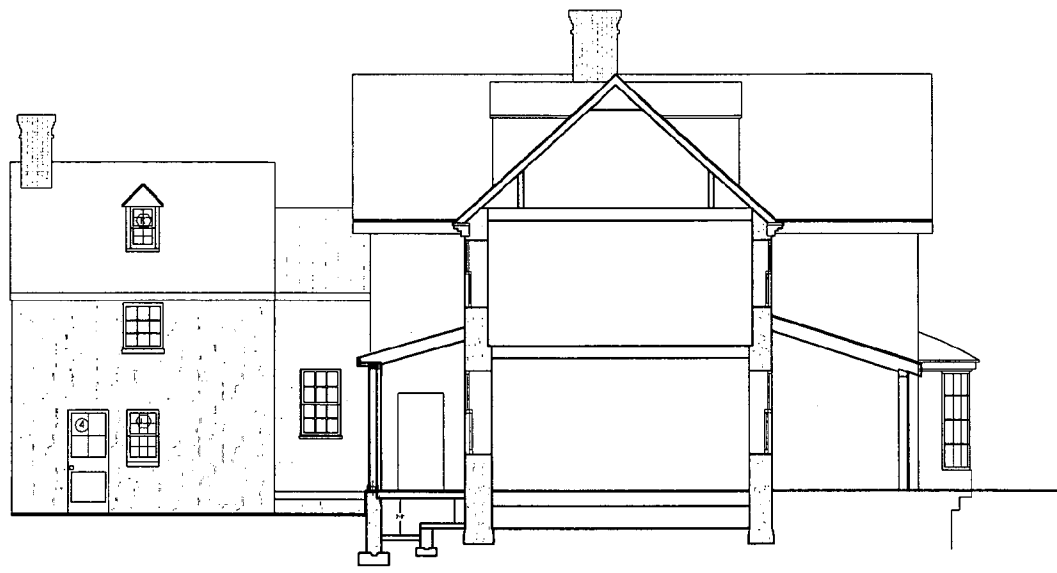
MICHE BOOZ
ARCHITECT

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Brookline
MA 02148
(617) 774-6911
fax: 774-1908

Project:
**FREEMAN
HOUSE**

Drawings:
**SECTION/
ELEVATION**

Dates:
August 29, 2002



Scale $\frac{1}{8}'' = 1'-0''$

A-A'

31

MICHE BOOZ
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Brykewille
Maryland 20833
301.774.6911
fax: 774.1908

Project:
**FREEMAN
HOUSE**

Drawings:
**SECTION/
ELEVATION**

Dates:
August 29, 2002

1740 3rd floor level
1830 3rd floor level



Scale $\frac{1}{8}'' = 1'-0''$

B-B'

36

MICHE BOOZ
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Brykewille
Maryland 20833
(301) 774 6911
fax: 774 1908

Project:
**FREEMAN
HOUSE**

Drawings:
**DEPENDENCY
SECTIONS**

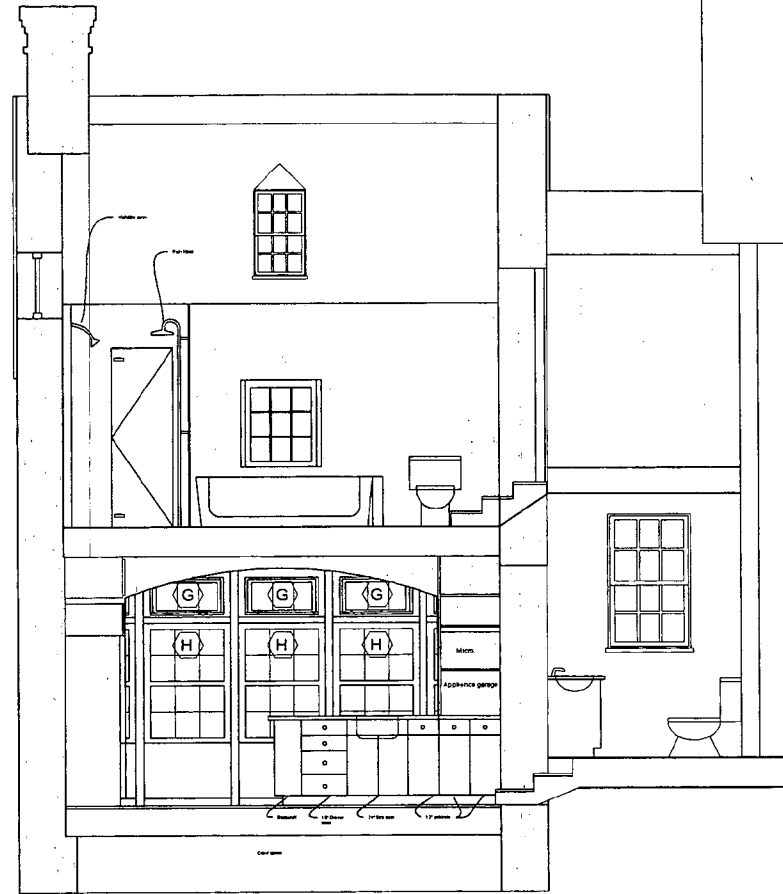
Dates:
August 29, 2002



SECTION FACING NORTH

1/4" = 1' 0"

C-G'



SECTION FACING EAST

1/4" = 1' 0"

D-D'

MICHE BOOZ
ARCHITECT

208 Market St
Drydenville
Maryland 20833
301 774 6811
fax: 774 1908

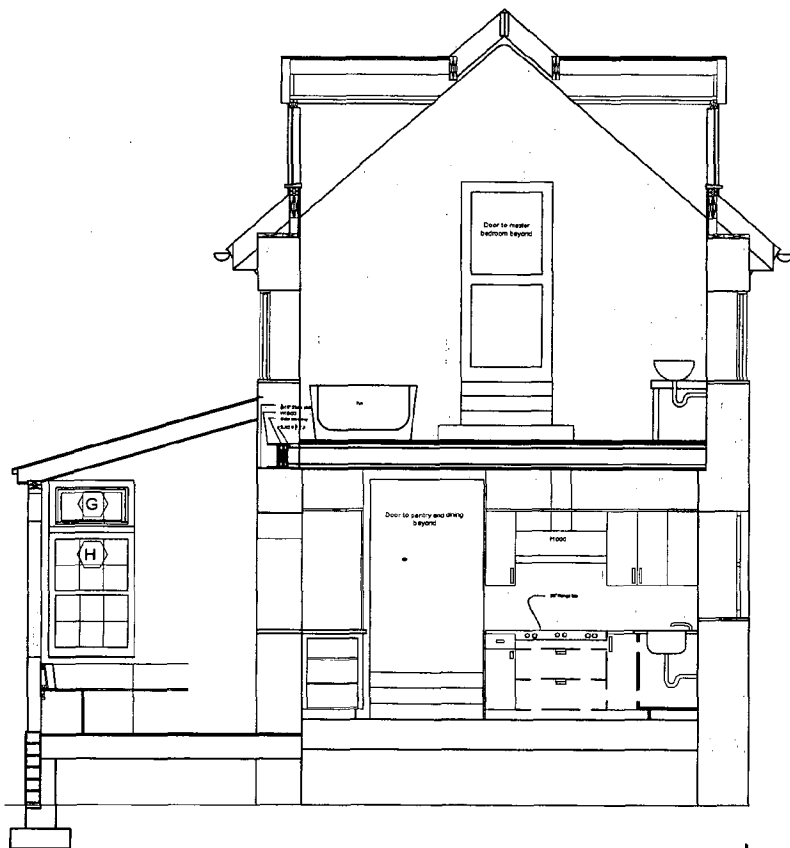
Project:

FREEMAN
HOUSE

Drawings:
DEPENDENCY
SECTIONS

Dates:

August 29, 2002



SECTION FACING SOUTH

1/4" = 1' 0"

E-E'



SECTION FACING WEST

1/4" = 1' 0"

F-F'

38

jd

1 MR. CHRETIEN: All right, thank you.

2 MR. SPURLOCK: Thank you. Okay, the next case on
3 our agenda is Case -- Preliminary Consultation Case A.

*
↓
4 MS. ZIEK: We have to make this quick because we
5 almost lost them; they were going to go get a cup of coffee,
6 so let's -- here, and the project is at Tusculum, which is
7 also known as the Griffith-Hutton House.

8 This is a Locational Atlas property and it is
9 being recommended for designation on the Master Plan in the
10 Olney Amendment, which is currently at the County Council.
11 So, the owner, who is Josh Freeman, and the architect, Miche
12 Booz --

13 (Discussion off the record.)

14 MS. ZIEK: Anyway, the -- this property is just a
15 truly wonderful property; part of a large working farm and
16 the proposed environmental setting is 25 acres around the
17 house. The property sits well back from the road, which you
18 can see on Circle 4, and Circle 4 also shows you the -- sort
19 of the patch where the 25 acres would be to include the
20 house and the barns and enough land to really give you that
21 farm sense.

22 This is a view -- distant view from the road. I
23 -- this is only preliminary. At the time when we did the
24 HAWP I have better slides, but I wasn't able to load them,
25 but I think for the preliminary, I had for the computer -- I

1 scanned in some photographs which will give you the sense of
2 the property.

3 This is the front of the house. It's -- it's dead
4 on center on the road as you're driving up. It's just
5 perfect, and then the driveway sort of slides along on the
6 left side of the house, and this is stone -- it's one of the
7 original parts of the house. There's -- the house is three
8 sections that are of historic merit, and then there have
9 been -- they've been sort of pieced together as a, of
10 course, single residence.

11 And there's a piece that is to the right of this
12 that you can't quite see in this photograph in the frame
13 section, which you can see in this photograph, so -- of
14 course, there have been some alterations, but -- and
15 certainly the massing is all the historic.

16 And this is we moved around to the back of the
17 property -- well, to the side; I'm sorry. This would be to
18 the east side where you can see the summer porch. It's a
19 screened-in -- a separate building, which is a screened-in
20 porch room, which the family uses and they want to keep, but
21 in this proposal they want to move it a little further from
22 the house. And this one slide is masking one of the third
23 original portion -- or, historic portion of the building
24 which is a small stone kitchen section.

25 And you really can't even see it here because this

40

1 is a 1980's -- 70's --

2 UNIDENTIFIED MALE: Probably 70's.

3 MS. ZIEK: -- 70's addition which was built --

4 nestling right next to all three sections of the historic --
5 the historic sections. And the applicant is proposing to
6 remove this because it really does obscure sort of the bones
7 and the structure of this whole house as a site.

8 And what they're proposing to do I think is really
9 lovely. In keeping with the sense that this house is
10 actually a collection of three -- at this point three
11 distinct massing elements, they're going to add a fourth
12 element which will be essentially here in the -- where the
13 side garden and driveway is, and it will be joined to the
14 house in a very similar manner to the way each of these
15 three elements are joined now, with hyphens and small, short
16 hallways.

17 And through the collection of these four elements
18 now, the fifth element will sort of be created, which is a
19 north facing courtyard. And in the north facing courtyard
20 you'll be able to sort of look around and see all of these
21 elements. It is a really -- I think it's a really lovely
22 design. I think it will basically sort of free up the
23 dispersed structures. Right now I think they're kind of
24 held captive by that 1970's addition, because it obscures
25 everything.

1 There's no changes proposed at the front. There's
2 some small changes proposed on the stone kitchen section,
3 including adding a second story. I think -- well, the
4 applicant is giving you a colored Xerox -- you know, a
5 colored drawing tonight and I think if you look on the
6 second sheet, it's really the easiest way to see the changes
7 that are proposed. And, as I said, there's nothing really
8 proposed on the main first block or the wood frame second
9 block. The third block; it already is two stories. I
10 should -- is that -- it is two stories just at the hyphen --
11 I'm sorry, I need to correct what I said.

12 If you look on the three dimensional drawing,
13 which was page two of the handout just tonight, you'll see
14 the small stone section with a little red porch roof added
15 and that's one of the changes that they just added this
16 little porch and a little patio landing as you come out, and
17 they're moving the gazebo portion -- I'm sorry, the
18 screened-in porch room further from the house.

19 The only -- I guess the biggest change is that the
20 hyphen between the frame porch and then the smaller stone
21 kitchen; they want to make that two stories. It's currently
22 a single story. But they want to make that a two story so
23 that you'll be able to get into the second story of the
24 kitchen wing from the framed portion of the house. It just
25 makes it really all connected.

1 And I think that -- I support them. I think that
2 the -- the hyphen will still read as a hyphen. It will be
3 higher, but it still is lower than the two other historic
4 portions of the building and I think that that's a minor
5 change and really works.

6 And then the other big change for addition is the
7 gallery along the west and south side of the courtyard. And
8 so it will be sort of -- and I think the gallery is very
9 interesting because on the -- you know, there's so many
10 sections, but on the -- the gallery on the south side of the
11 courtyard in on the north side of that first stone block
12 that you see when you drive up to the house. And the
13 gallery is going to be used as a link, as well as, you know,
14 a nice space in its own right, but the rear wall of that
15 original stone portion will simply be exposed. It's not
16 going to be changed and the architect's view of the gallery
17 is to make it as transparent as possible. So, while it will
18 be an enclosed space and will be heated and cooled and, you
19 know, will be an interior space, I think that the goal is
20 that the -- certainly, that back wall of the original
21 portion is to remain intact, original window openings will
22 remain, door openings will remain. There is very few
23 changes in terms of that.

24 So, I think this is going in a great direction. I
25 recommend they could proceed to a HAWP. Obviously, you need

1 more things pinned down and they would like to hear from
2 you. I'll be happy to answer any questions if you have any.

3 UNIDENTIFIED MALE: So would we.

4 MS. ZIEK: I think the model would also help,
5 because, you know, it's just funny -- I don't know how you
6 refer to these different portions as the stone house or the
7 wood house --

8 MR. FREEMAN: Well, we've been calling the little
9 stone hut the dependency, which I think it was once.

10 MR. SPURLOCK: Could you both state your names for
11 the record.

12 MR. BOOZ: I'm sorry, my name is Miche Booz, and
13 I'm the architect.

14 MR. FREEMAN: And I'm Josh Freeman, and I'm not
15 the architect. I'm the owner.

16 MR. SPURLOCK: I just want -- one clarification.
17 On the sheet 12, this piece -- is this piece being torn down
18 as well; the piece in the front?

19 MR. BOOZ: I'm sorry, that's so light I can't see
20 it. This is the screened-in --

21 MR. SPURLOCK: Is that the screened-in porch?

22 MR. BOOZ: -- porch. You're looking at the top of
23 the screened porch --

24 MR. SPURLOCK: Is that being relocated then?

25 MR. BOOZ: It's being pulled away and this

1 connecting roof is being removed.

2 MR. SPURLOCK: Being removed. So, you're just
3 going to put that on a --

4 MR. BOOZ: And that's this on the model, if that's
5 helpful.

6 MR. SPURLOCK: That's fine -- anyone have any
7 questions? Do you want to make a -- has staff presented
8 your proposal fairly, concisely, and do you have anything
9 you wish to add or --

10 MR. BOOZ: The only thing I would add I think is
11 that in developing the design of the -- what we're calling
12 the gallery, which is really our circulation link around the
13 courtyard, that our intention is to make it appear as if
14 it's a porch -- a porch without glass in it and to make this
15 as transparent as we can. And I think the only way we can
16 do that is to: 1) take the current spacing of the columns on
17 the front porch of the building and roughly replicate those
18 on the back; and then any glass that we have, to pull it
19 back behind those columns, so they actually read and have
20 their shadow lines and so forth and try to find a sliding
21 glass system that we -- that doesn't look like patio
22 enclosures, or something like that; that we end up with
23 something that's -- that's really transparent and elegantly
24 detailed. And we'd like to show you that later on once
25 we've found it, but that's what we're proposing to do.

jd

1 MS. WRIGHT: We may be able to give you an example
2 of -- there was a house which had a screen porch that was
3 enclosed with glass. It's in -- on Needwood Road and I'll
4 get the address for you.

5 MR. BOOZ: Okay.

6 MS. WRIGHT: But they -- actually it was custom
7 made sliding glass panels set behind columns and I think it
8 was fairly successful, but maybe we can get that information
9 for you.

10 MS. LESSER: I had a question. In the revised
11 designed that creates the two-story hyphen, as opposed to
12 what you're showing in these drawings --

13 MR. BOOZ: It's really a story and a half.

14 MS. LESSER: That was going to be my question; is
15 the roof still going to dip down in between the two primary
16 sections --

17 MR. BOOZ: Yes.

18 MS. LESSER: -- or, is it going to be contiguous
19 with the original buildings?

20 MR. BOOZ: It's this piece --

21 MS. LESSER: Right.

22 MR. BOOZ: Currently it's down about there, okay,
23 but in order to get through from the bedroom into this level
24 here, you have to raise this to get a code hallway --

25 MS. LESSER: Okay.

1 MR. BOOZ: -- so we're trying to keep that below
2 this.

3 MS. LESSER: That was my question, okay. Well, I
4 think that looks great. Yeah, absolutely. Are you going to
5 be using the existing screen porch or constructing a new
6 one?

7 MR. BOOZ: We're going to use the existing one and
8 just move it. I think we're going to move it about 14 feet.
9 It's --

10 MR. FREEMAN: It's on pilings now. It's sitting
11 on pilings now.

12 MR. BOOZ: Yeah. It's a well-used room and -- but
13 we'd like to disconnect it. And then this piece is going to
14 require removing the roof that's connecting them, and we're
15 -- this is actually conditioned space and it's going to be
16 an eating area for the kitchen. The current kitchen sits in
17 the stone dependency.

18 MS. LESSER: Will you have consistent roofing
19 materials?

20 MR. BOOZ: We'll have inconsistent roofing
21 materials in that we have two. I think we're being
22 consistent in that currently in some of the addition -- some
23 of the alterations to the frame building, there are existing
24 standing seam roofs over these bow windows, and those are
25 the real standing seam roofs and we're proposing not to put

jd

1 standing seam everywhere, but on the lower roofs. And then
2 we are going to wait and see how the -- I supposed how the
3 budget goes and decides whether we have to do some sort of
4 nice asphalt or whether we go to cedar.

5 MR. SPURLOCK: For the main roofs, you're saying?

6 MR. BOOZ: For the main roof, yeah.

7 MS. LESSER: And the courtyard would be paved with
8 stone?

9 MR. BOOZ: Paved. It's north facing and I don't
10 think much will grow there actually, so -- and there's some
11 sculpture that we'll do there.

12 MR. HARBIT: Well, I would commend you. I think
13 it's a very elegant and thoughtful design and I hope the
14 architect would be willing to provide some pro bono space to
15 other applicants.

16 MS. LESSER: I would second Commissioner Harbit's
17 remarks. I think this is a beautiful, beautiful design and
18 improvement to a beautiful piece of property, and I look
19 forward to having you before us again.

20 MR. BOOZ: Thank you.

21 MS. WILLIAMS: I like the collection of resources.
22 This almost becomes a little village, which would be typical
23 for an 18th or early 19th century farm complex. So, I think
24 it's very appropriate. The -- one comment I have is in
25 regard to the sculpture gallery and the glazing; that that's

1 the one aspect that disturbs me a little in just that you
2 are obscuring one elevation of the original wall -- or, the
3 original -- one elevation of one of the original components.
4 And I would love to see that glazing disappear entirely in
5 warm weather, and one suggestion I have is that you look
6 into actually creating a system where the glazing drops down
7 into the ground and it's been -- I've seen it done
8 elsewhere. Rather than sliding, it actually drops down, and
9 I can give you a precedent for that.

10 MR. FREEMAN: That sounds really expensive.

11 MS. WILLIAMS: But, in general, I think it's
12 great.

13 MR. BOOZ: Thank you very much.

14 MS. WILLIAMS: It's a beautiful property.

15 MR. SPURLOCK: Anyone else have any?

16 MS. O'MALLEY: I don't. I think you've done a
17 wonderful job and I don't have any problems with your
18 design.

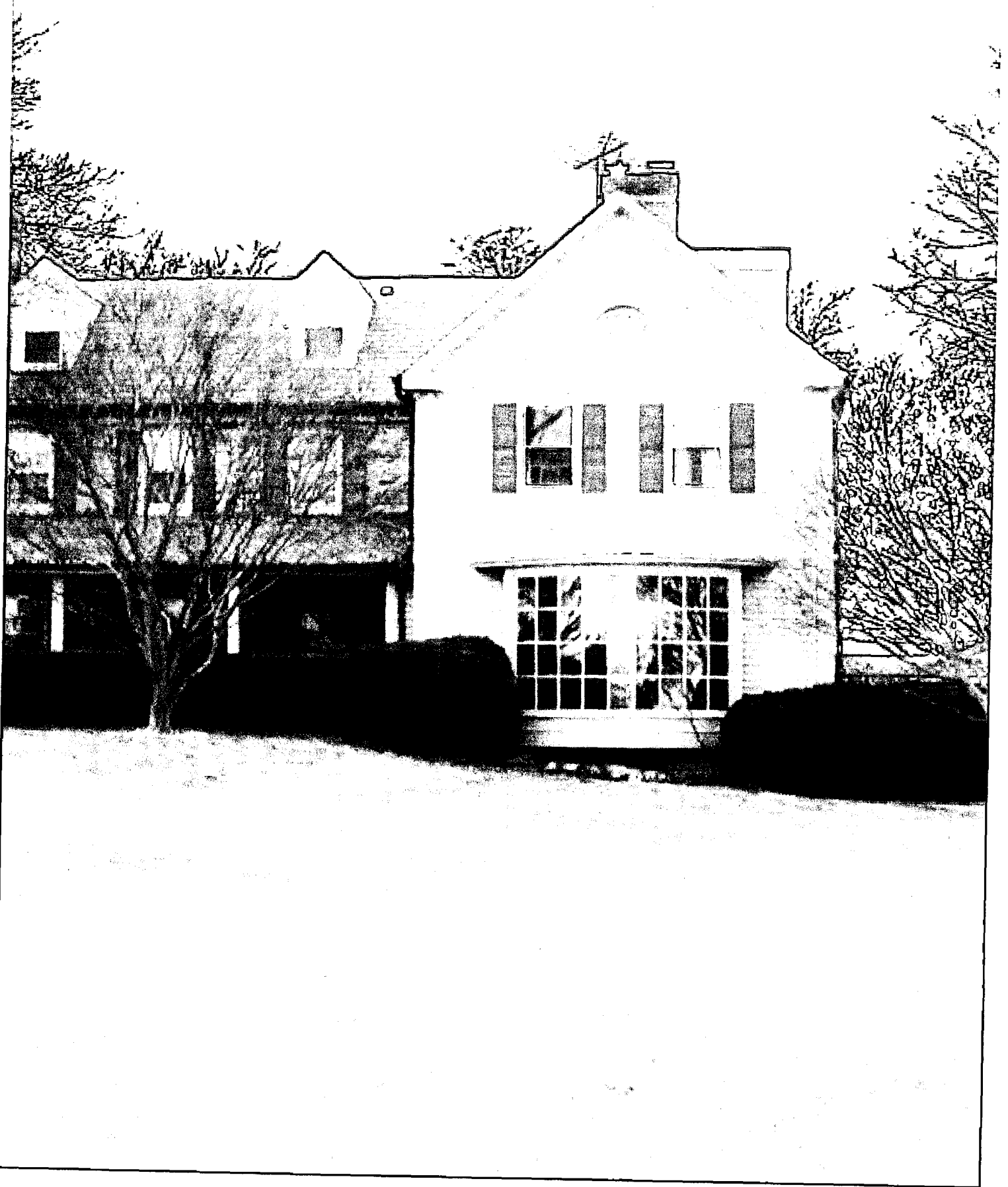
19 MR. SPURLOCK: I think you have a pretty good
20 consensus and it looks like you might have a project.

21 MR. FREEMAN: Thank you. We look forward to
22 coming back.

23 MR. SPURLOCK: So, we'll see you soon then.

24 MR. BOOZ: Thank you.

25 MR. SPURLOCK: Thank you. Take care.













HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 4609 Damascus Road Meeting Date: 3/13/02
 Applicant: Josh Freeman (Miche Booz, Agent) Report Date: 3/06/02
 Resource: Griffith/Hutton House/Tusculum Public Notice: 2/27/02
 (*Locational Atlas* #23/15)
 Review: Preliminary Consultation Tax Credit: N/A
 Resource Number: #23/15 Staff: Robin D. Ziek

PROPOSAL: Demolish existing new addition; construct new addition; construct courtyard and surrounding gallery

RECOMMEND: Proceed to HAWP

This resource has been recommended for designation as a *Master Plan* site as part of the Olney Amendment. The Olney Amendment is currently at the County Council, and a hearing should be scheduled sometime this spring. As a *Locational Atlas* resource, the proposed work would be considered "substantial alteration", and the remedy would be to evaluate the resource for designation. As that process is well underway, the applicant and the HPC are working together as if this were already on the *Master Plan*.

SITE DESCRIPTION

The Griffith-Hutton House (Tusculum) is part of a large working farm. The proposed environmental setting is 25 acres around the house (see Circle 4, 5). Several buildings are included in this environmental setting, but this project proposal will affect only the house.

The house consists of three 19th century sections, along with two 20th century sections, all connected with hyphens and a covered walkway (see Circle 7, 12). Two of the early sections are stone, while the third 19th century section is frame. Both of the 20th century additions are one-story. The frame addition to the east is a large sunroom, connected to the house with a breezeway. The stone 20th century addition sits behind the original stone portion of the house, and is connected to the house with a narrow section. The driveway skirts the west side of the house, with a wide paved area between the house gardens and an small office (see Circle 7).

PROPOSAL

The applicant proposes to demolish the stone 20th century addition which sits just behind the original house, opening up the rear elevations of the three historic sections to the outside. In

addition, the applicant proposes to move the glazed sunroom on the east side of the house further off to the east, and leave it as a free-standing structure. A small porch and terrace would be replace the breezeway.

By removing the 20th century stone addition, the opportunity for a north-facing courtyard is created. The three historic sections and a new frame addition on the west edge would enclose this courtyard (see Circle), running from library to kitchen on the north side of the house. The new frame section would be connected to the stone house with an entry hall and a gallery on the west side of the courtyard. There is also a gallery along the south side of the courtyard, with a small water garden and patio area on the east side of the courtyard, just outside of the kitchen.

Other minor alterations are proposed on the house, including raising the roof on the hyphen between the frame portion of the house at the SE corner, and the small stone portion of the house at the NE corner (see Circle 23). These two sections of the house have been connected only at the first floor level, and this will provide a 2nd story connection as well. Finally, additional dormers are proposed in all three sections of the existing buildings (see Circle 13), to provide additional living space in the attics (see Circle 7). Staff has discussed the desirability of using simple gable dormers rather than shed dormers, to stay within the vocabulary of the existing structures. The applicant will be discussing this possibility further.

STAFF DISCUSSION

The overall approach of this proposal is highly compatible with the historic site and staff commends the applicant. The removal of the incompatible 20th century addition, and the rationalization of the diverse structures on the site adds coherence to the property. Each structure can be clearly identified on its own, while functioning comfortably for the homeowner. The proposed use of a gallery along the rear elevations of the original stone house and the new frame section will link these sections together while making the back elevations visible once again through the use of the transparent gallery.

The new frame section of the house will replace the house gardens. The paving area of the driveway will be reconfigured to provide more specific parking and drop-off areas, with the apparent reduction of paving.

STAFF RECOMMENDATION

Staff recommends that the applicant proceed with the project development, and return to the HPC for a HAWP in the future.

3

Tusculum Farm

February 21, 2002

MICHE BOOZ	
A R C H	I T E C T
208 Market St Brookville Maryland 20833 (301) 774 6911 fax: 774 1908	

TUSCULUM/FREEMAN BARNs AT SUNDOWN FARM #23/15



23/15 Griffith-Hutton House (Tusculum) and Freeman Barns at Sundown Farm

ENVIRONMENTAL SETTING: 25-acre environmental setting, part of parcel #444 on tax map HW. This environmental setting includes both resources 23/15 and 23/15-1.



Scale: 1" = 800'

Legend

- Buildings
- Bridges
- Parking Lots
- Toll drives
- Hydrology - Line
- Cultural
- field court
- pool
- Parkways Polygon
- parkways
- ROW
- Hydrology - Poly
- Environmental strip
- Parcels

Olney Area Resources

Griffith House and Freeman Barns (Tusculum)

4609 Damascus Road
#23/15

ENVIRONMENTAL SETTING: 25 acres, part of parcel #444 on tax map HW. The house and three historic barns described above are contributing resources. The goal of historic designation is not to impair the owner's ability to use the property as a residence and farm. Changes to the modern addition of the house shall have lenient review. Normal farming operations do not require HPC review.

Prelim. Consult:

Fusculum

Walter A. Royer
5001 Damascus Road
Gaithersburg, MD 20882

Rufus Butts, et al
4015 Damascus Road
Gaithersburg, MD 20882

Tusculum Farm
4601 Damascus Road
Laytonsville, MD 20882

Russell & C. Priebe
4800 Damascus Road
Gaithersburg, MD 20882

Catherine Spurrer
4920 Damascus Road
Gaithersburg, MD 20882

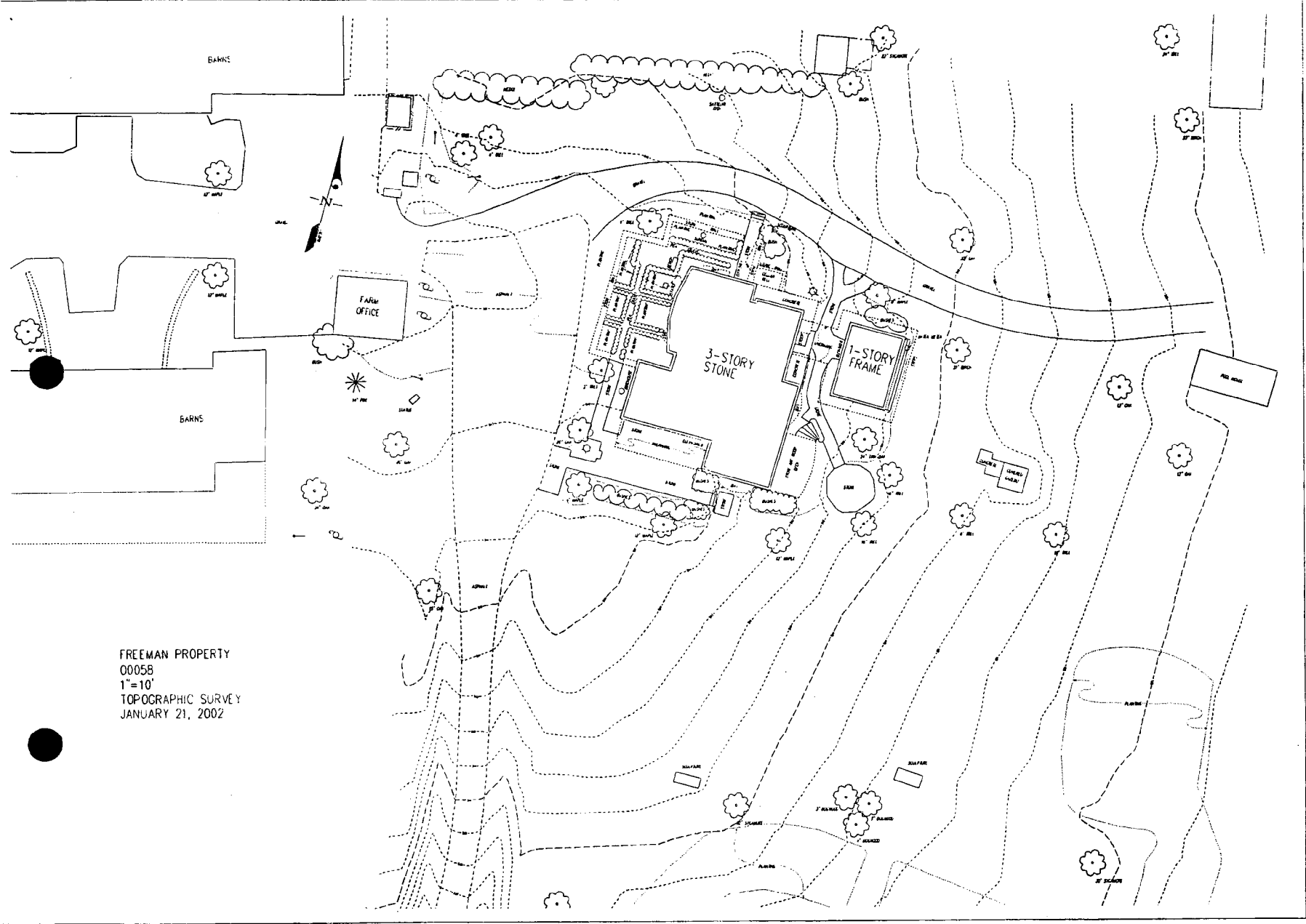
Miche Booz
208 Market Street
Brookeville, MD 20833

William & M.D. Mayo
4500 Damascus Road
Gaithersburg, MD 20882

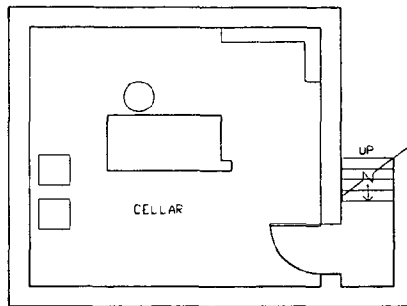
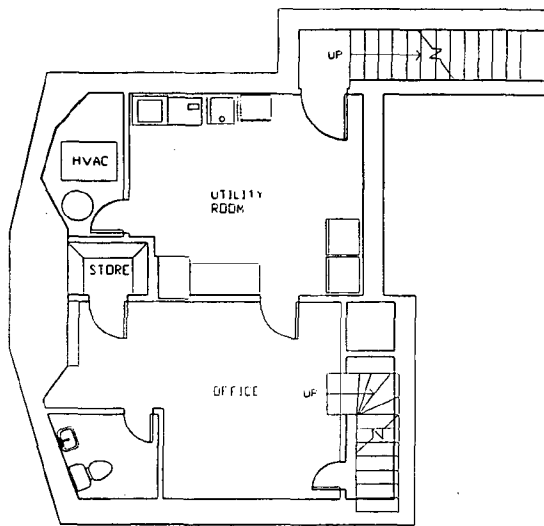
2/28/02 ✓

7

EXISTING



FREEMAN PROPERTY
00058
1"=10'
TOPOGRAPHIC SURVEY
JANUARY 21, 2002



BASEMENT PLAN
 scale: 1/8" = 1' 0"

MICHEBOOZ

ARCHITECT

208 Annapolis St
 Bryansville 20833
 (301) 774-6911
 fax: 774-1908

Project:

**TUSCULUM
 FARM**

4801 Demersue Rd.
 Laytonsville, MD 20882

Drawings:

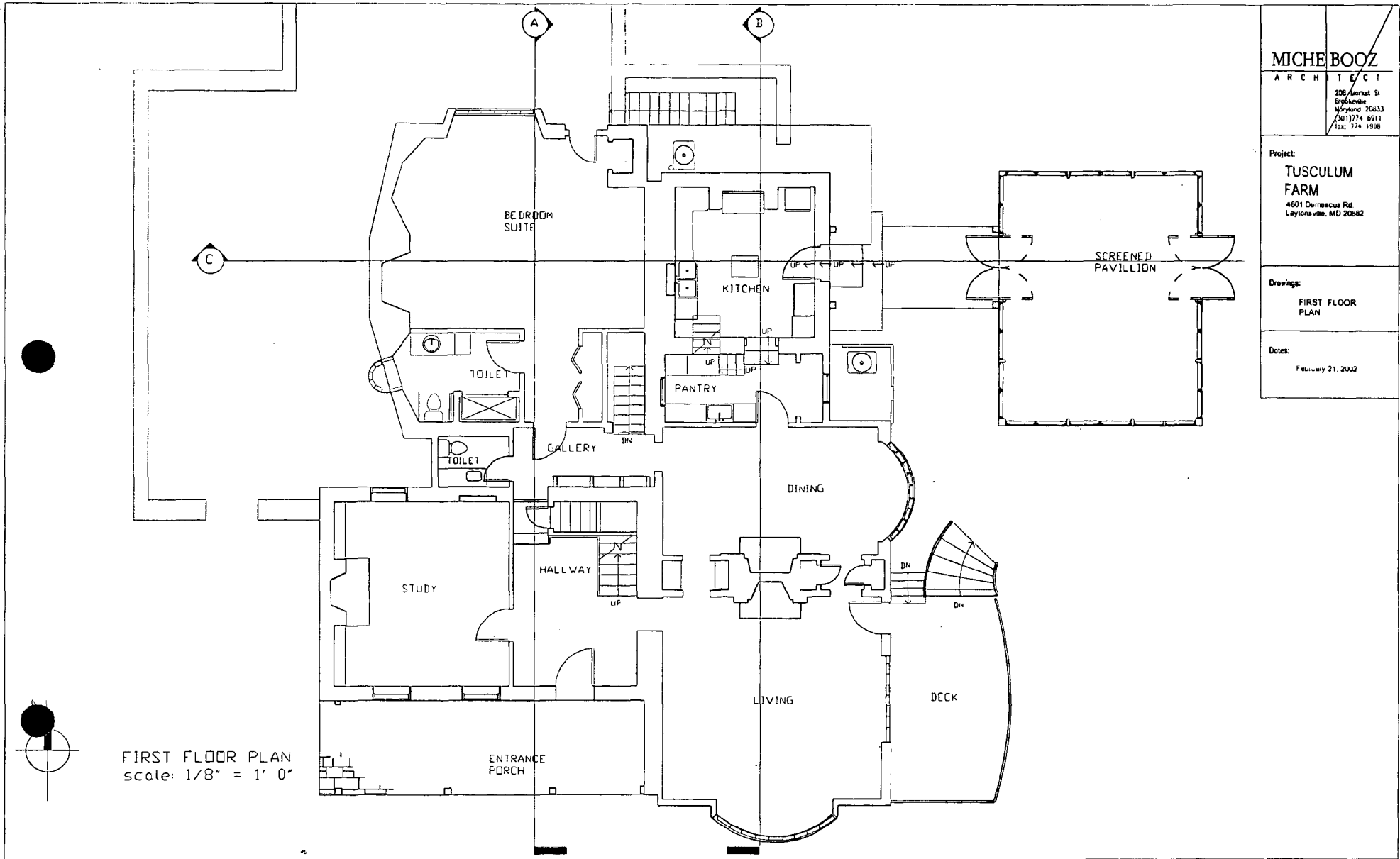
BASEMENT
 PLAN

Dates:

February 21, 2002

cc

Sheet 111



FIRST FLOOR PLAN
 scale: 1/8" = 1' 0"

MICHE BOOZ ARCHITECT 200 Walnut St Bryansville Maryland 20633 (301) 774-6911 fax: 774-1908	
Project: TUSCULUM FARM 4801 Damascus Rd Laytonsville, MD 20882	
Drawings: FIRST FLOOR PLAN	
Dates: February 21, 2002	

EXISTING 1st Fl

MICHE BOOZ

ARCHITECT

200 Market St
Bryansville
Maryland 20833
Tel: 774 6911
Fax: 774 1906

Project:

TUSCULUM
FARM

4601 Emmasue Rd.
Leydenville, MD 20882

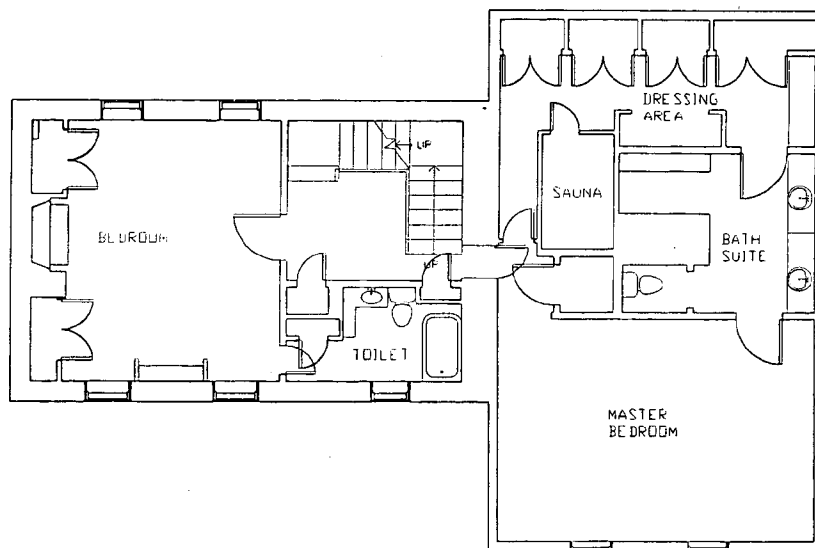
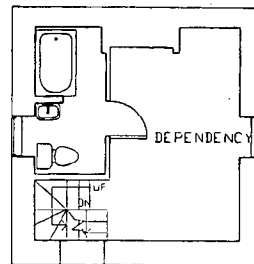
Drawings:

SECOND FLOOR
PLAN

Date:

February 21, 2002

13
C.M. 214



SECOND FLOOR PLAN
scale: 1/8" = 1' 0"

MICHE BOOZ

ARCHITECT

209 Walnut St
Bryansville
Maryland 20833
(301) 774 6911
Fax: 774 1908

Project:

TUSCULUM
FARM

4601 Damascus Rd.
Laymanville, MD 20882

Drawings:

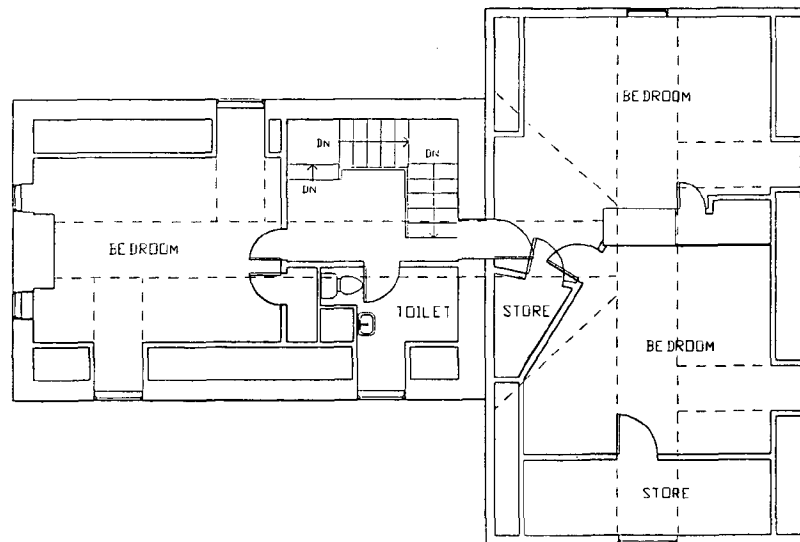
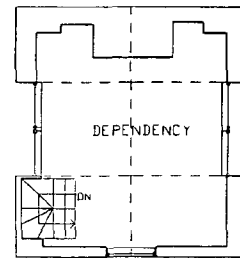
THIRD FLOOR
PLAN

Date:

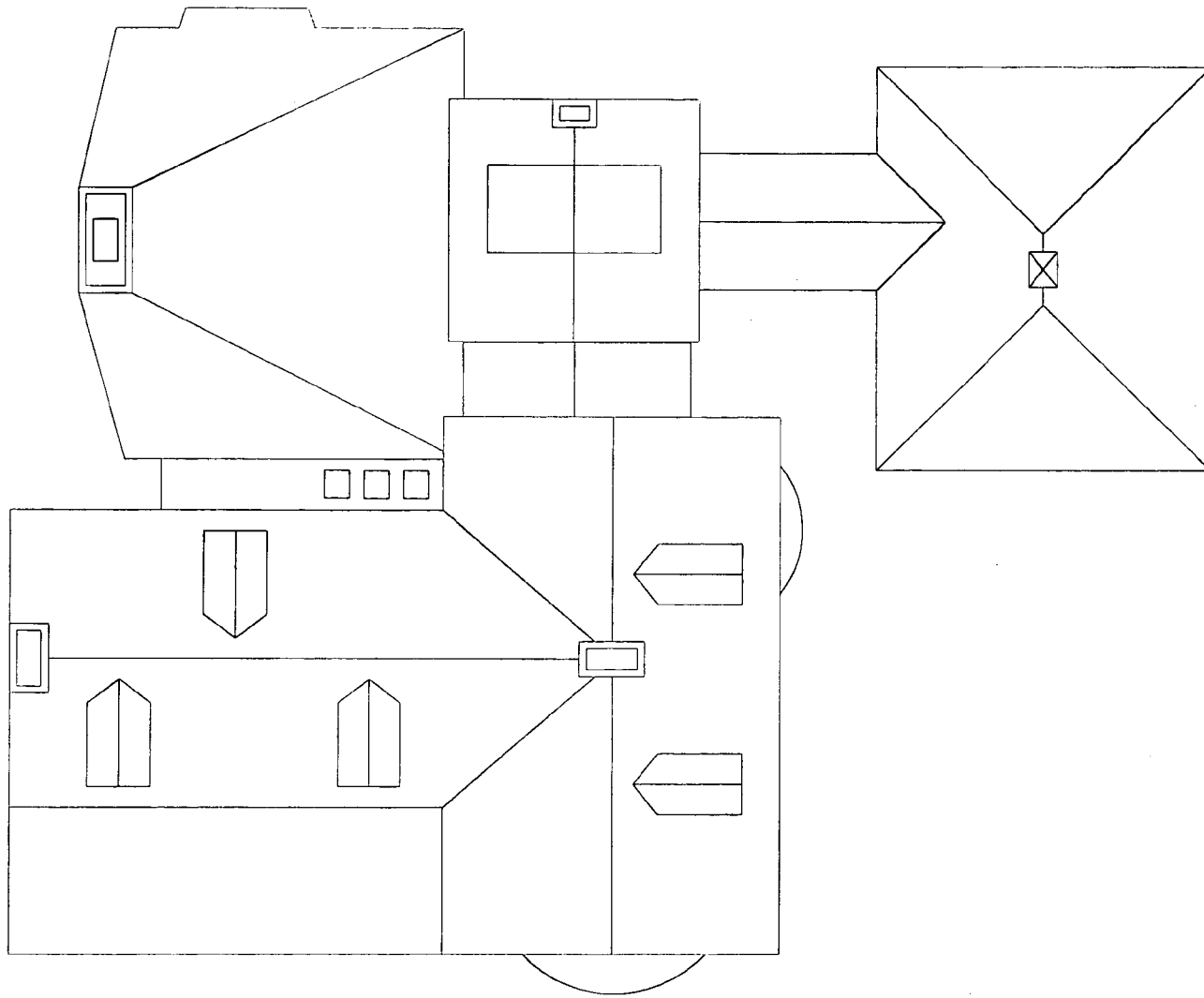
February 21, 2002

11

EXISTING 3rd Fl



THIRD FLOOR PLAN
scale: 1/8" = 1' 0"



ROOF PLAN
scale: 1/8" = 1' 0"

MICHE BOOZ

ARCHITECT

208 Annet St
Bryansville
Maryland 20833
(301)774-6611
fax: 774-1908

Project:

**TUSCULUM
FARM**

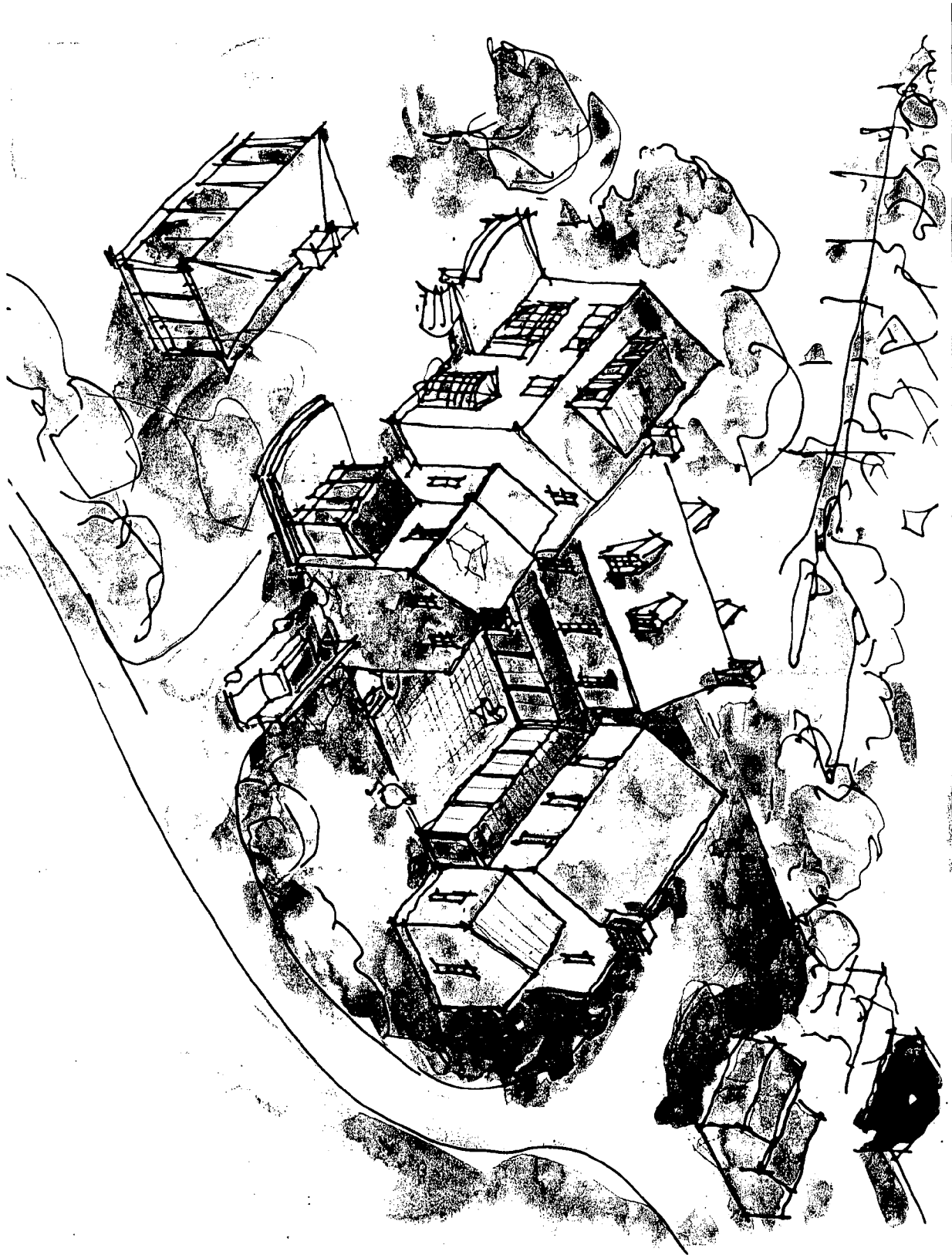
4801 Demascus Rd.
Laytonsville, MD 20882

Drawings:

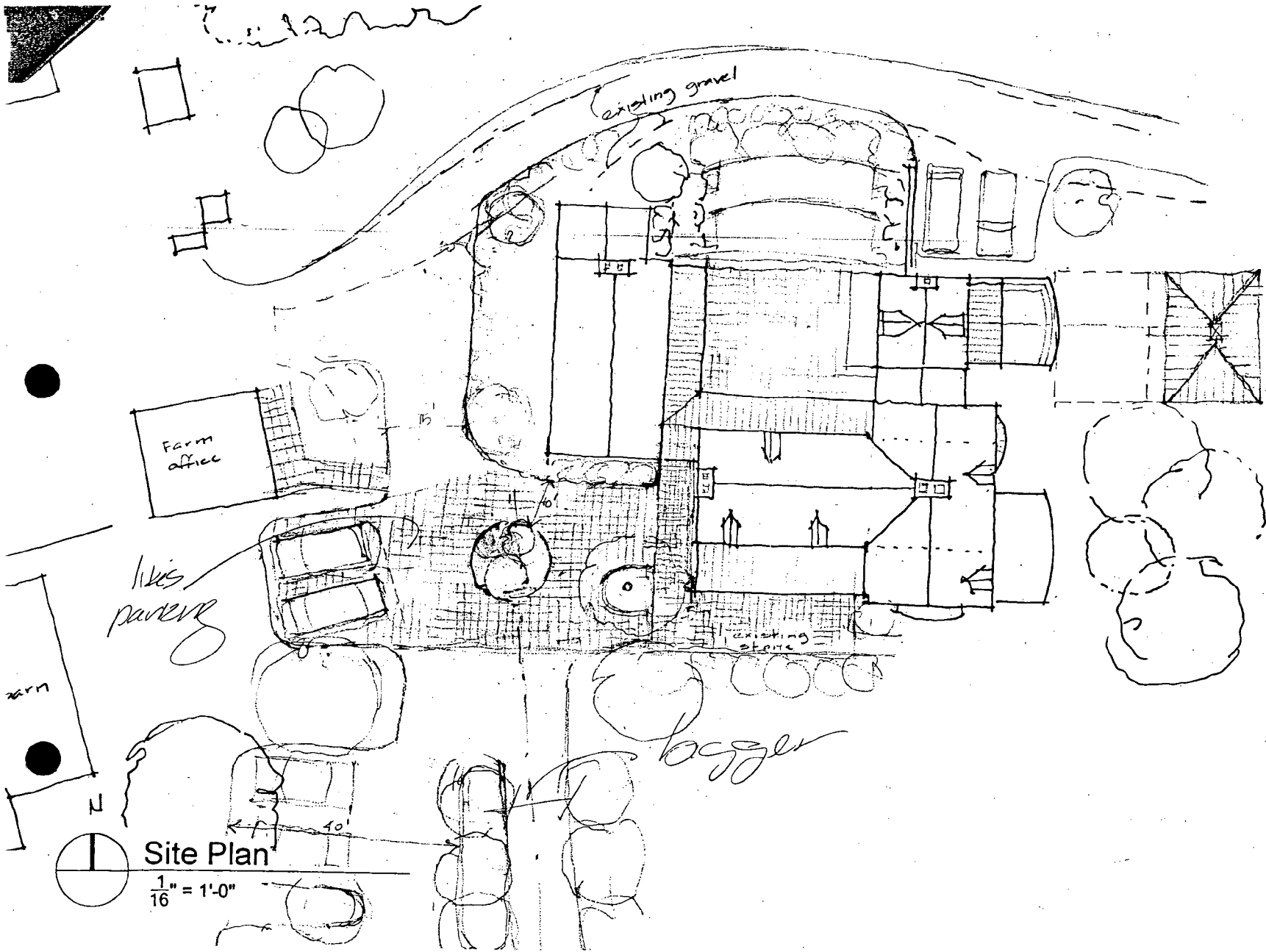
ROOF
PLAN

Dates:

February 21, 2002



PROPOSAL - BIRD'S EYE VIEW



(14)

MICHE BOOZ
ARCHITECT

206 Market St
Brooksville
Maryland 20833
(301)774 6811
fax 774 1908

Project:

TUSCULUM FARM

4801 Damascus Rd
Laytonsville, MD 20882

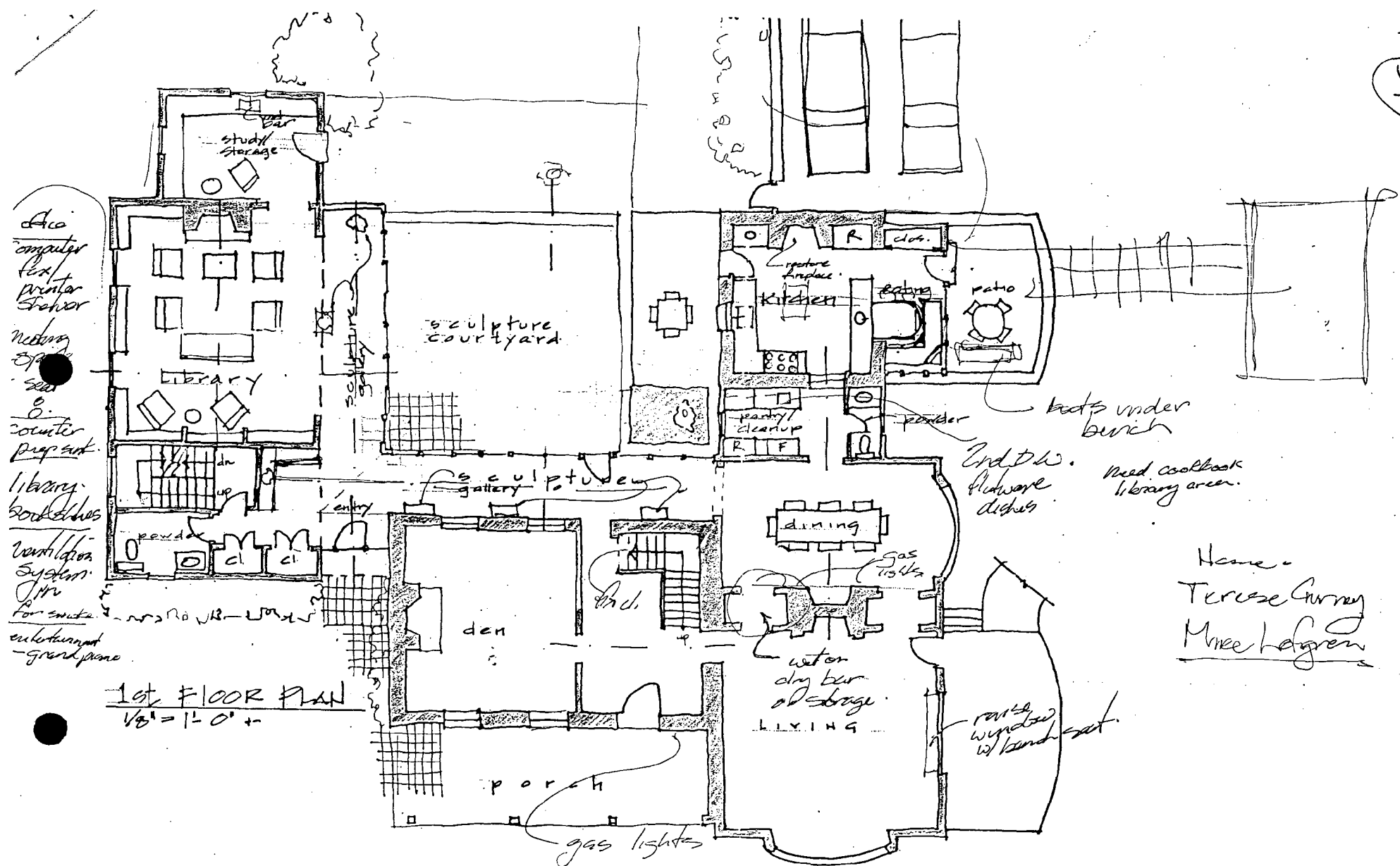
Dates:

February 2, 2002

PROPOSED SITE PLAN

Site Plan

$\frac{1}{16}'' = 1'-0''$



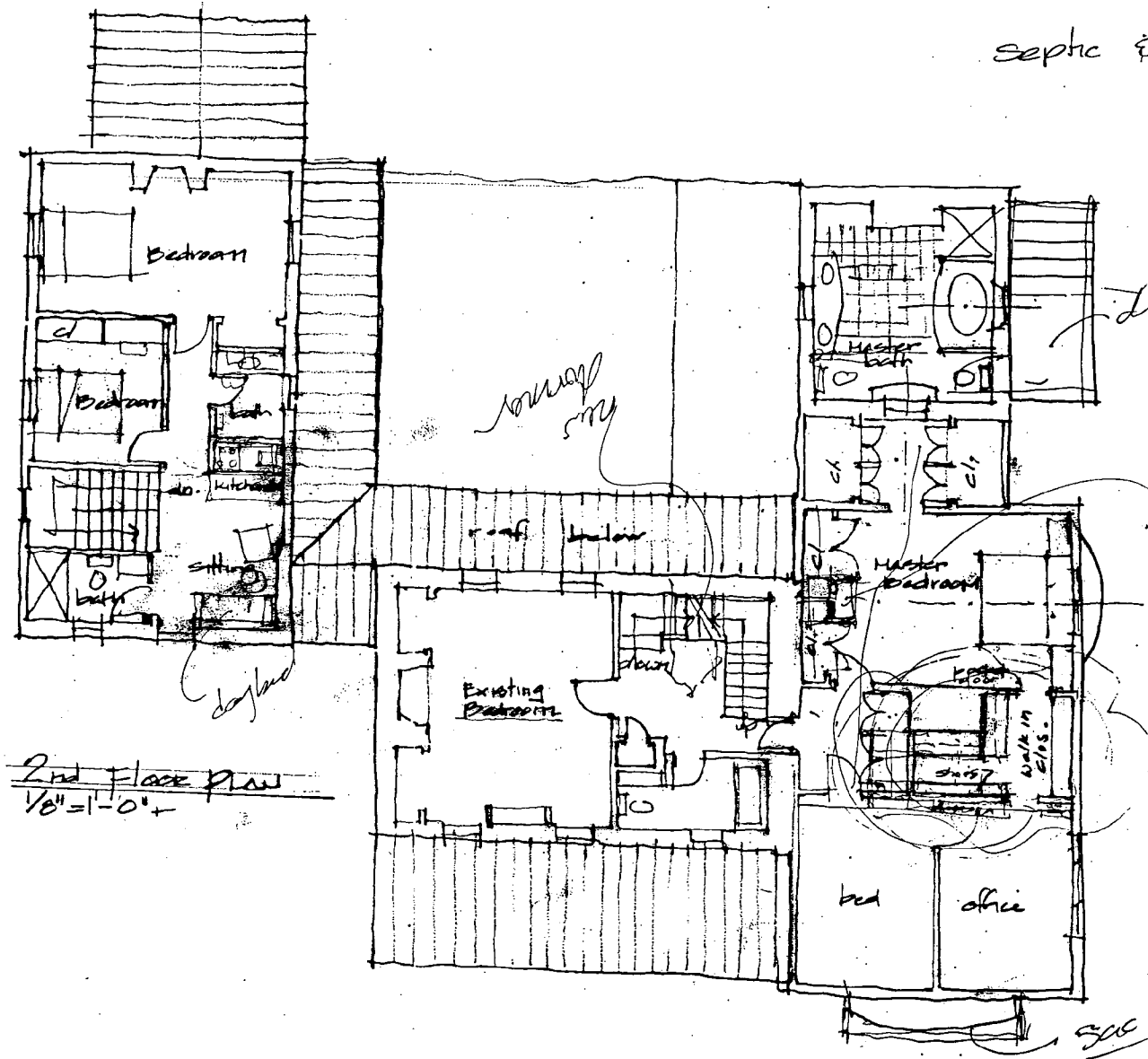
A/C
 computer
 fax
 printer
 fax
 nesting
 space
 counter
 prep area
 library
 bookshelves
 ventilation
 system
 for smoke
 entertainment
 - grand piano

1st FLOOR PLAN
 1/8" = 1'-0"

Home -
 Terese Curran
 Miree Helgren

PROPOSED 1st F

septic & well

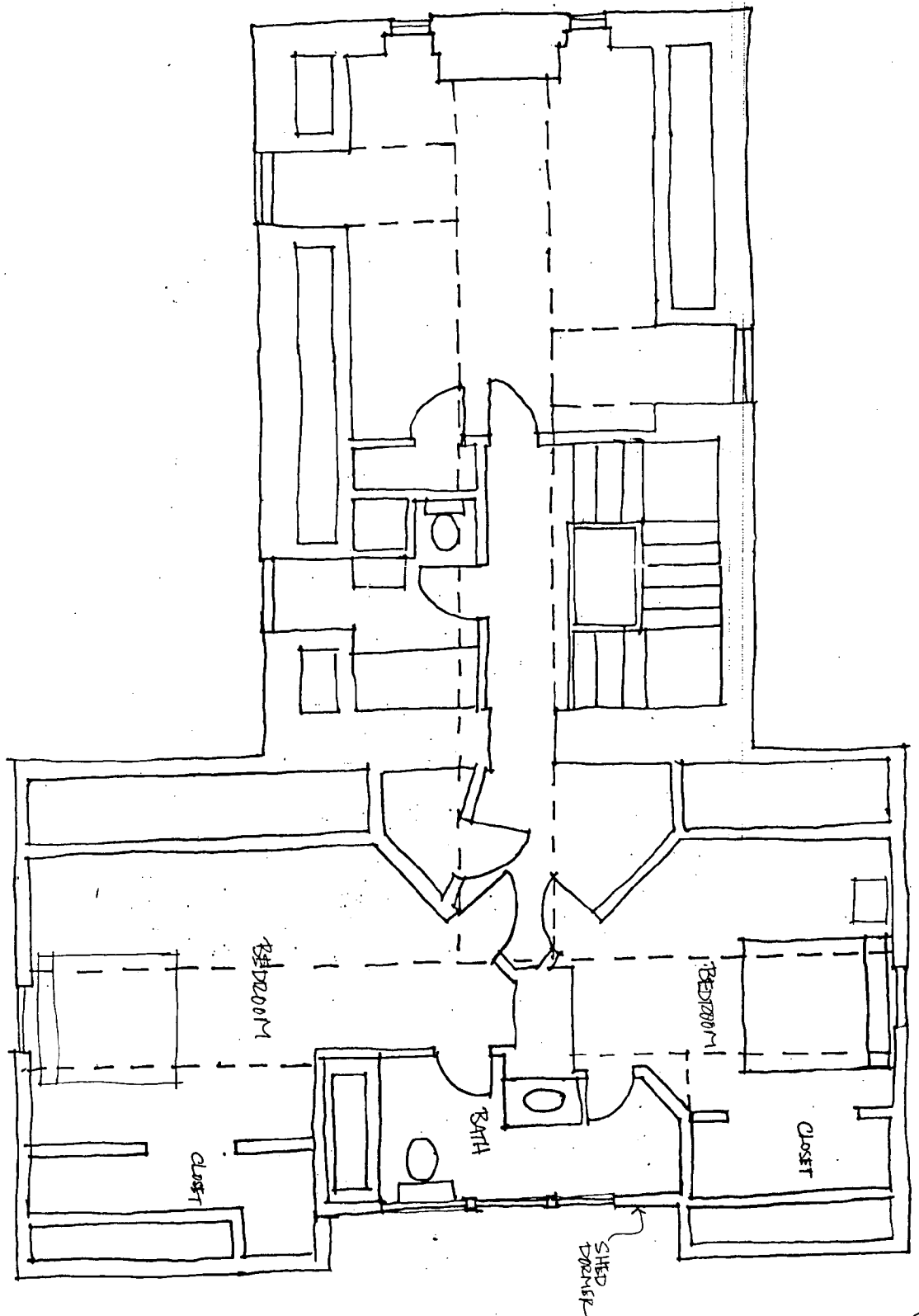


2nd Floor Plan
1/8" = 1'-0"

place TV

PROPOSED 2nd Fl

see land



PROPOSED 3rd FL.



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



N-WEST ELEVATION



NORTH / WEST VIEW



NORTH ELEVATION



E / NORTH ELEVATION



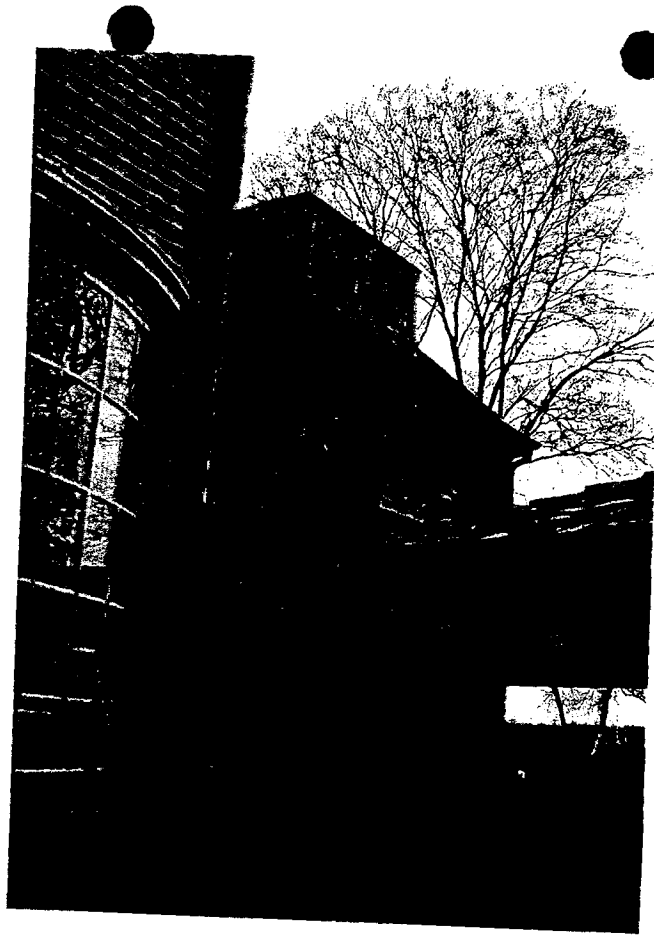
NE CORNER



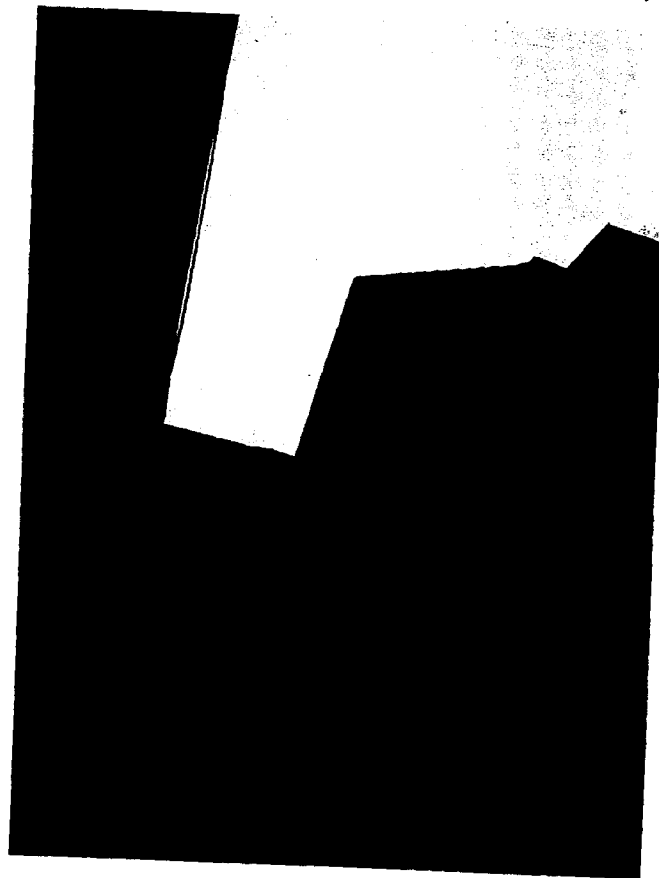
EAST SIDE



EAST ELEVATION

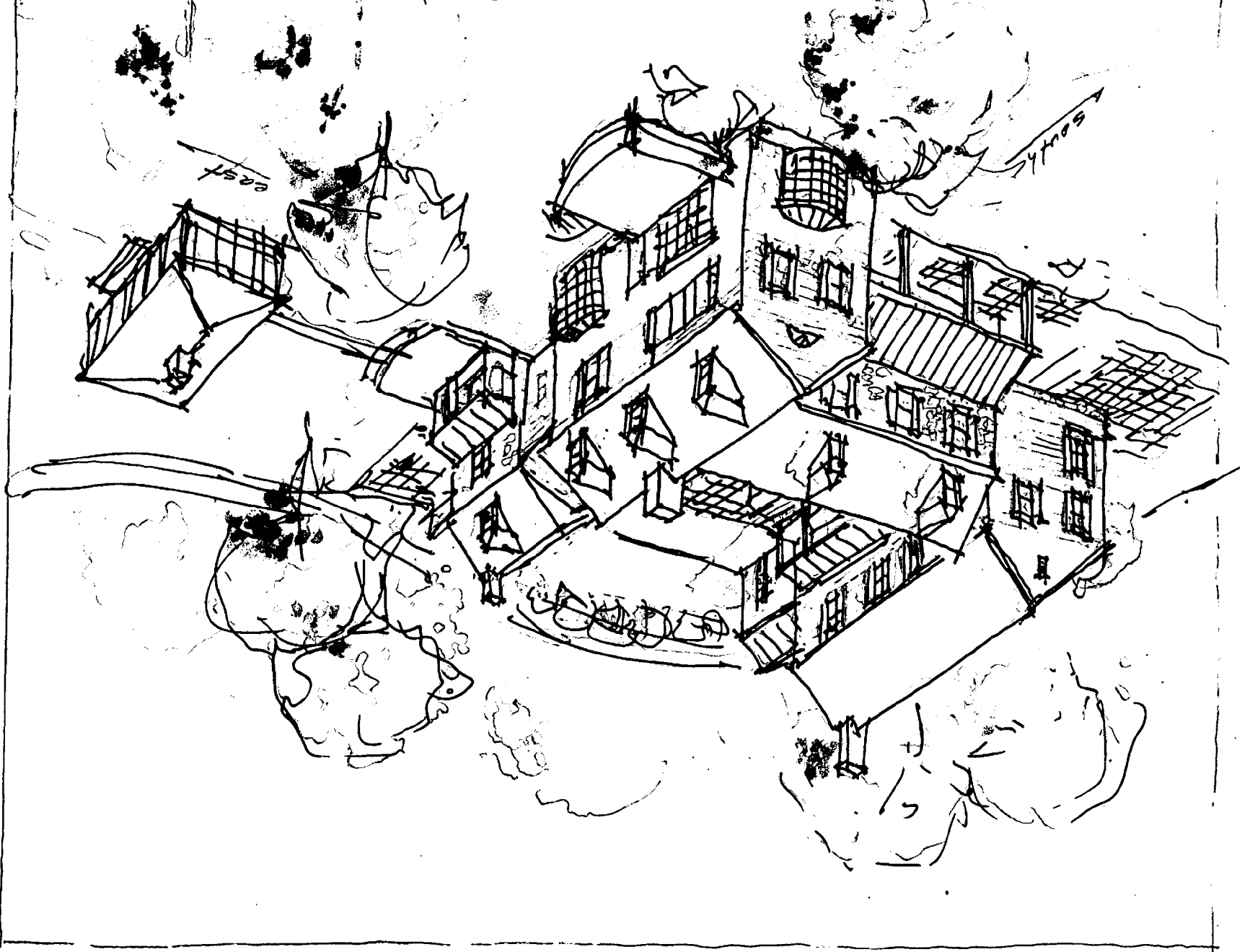


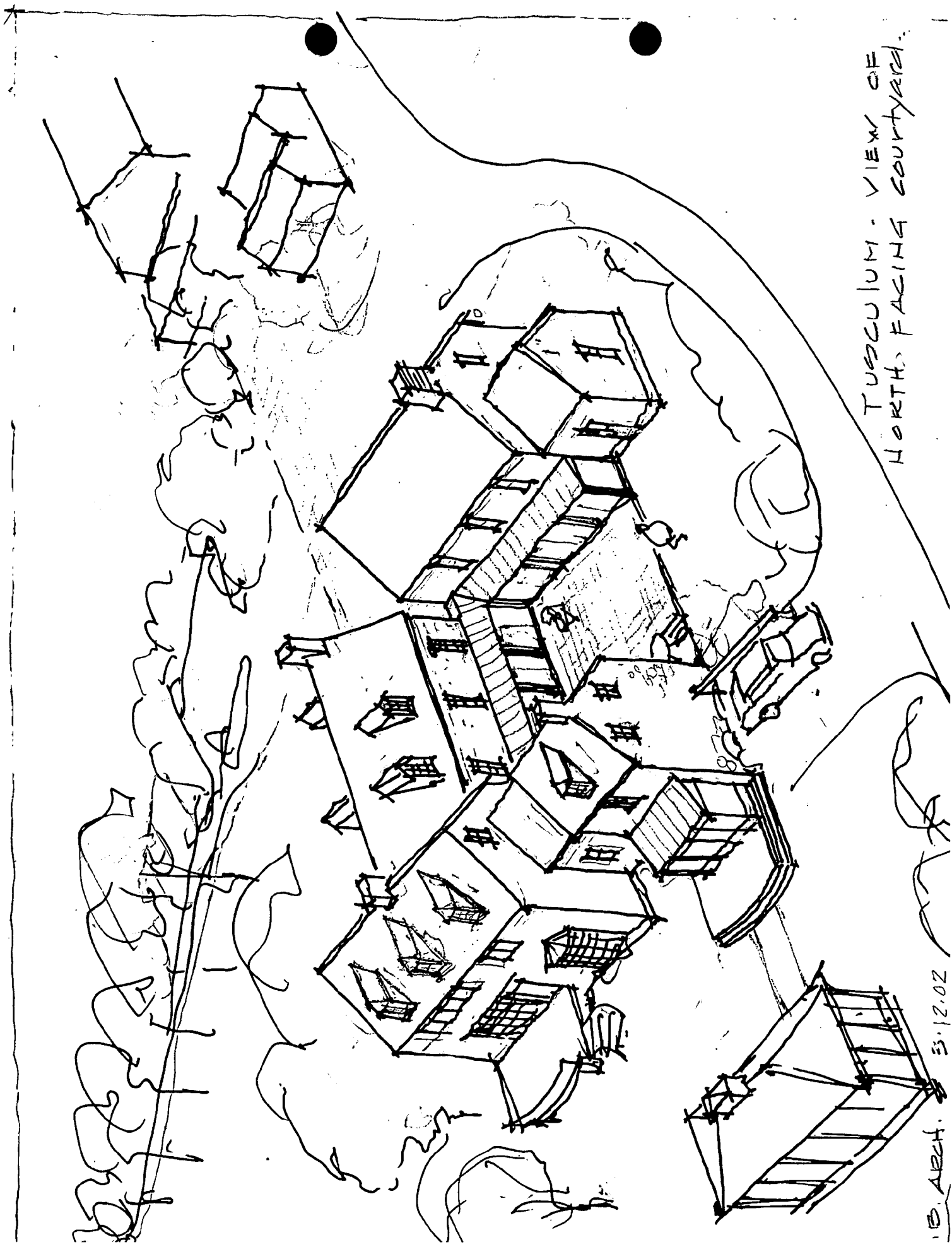
East elevation - breezeway



Hyphen on east Elevation

TUSCULUM VIEW OF FRONT & EAST SIDE

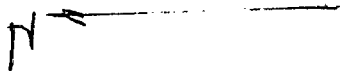




MUSEUM - VIEW OF
NORTH-FACING COURTYARD.

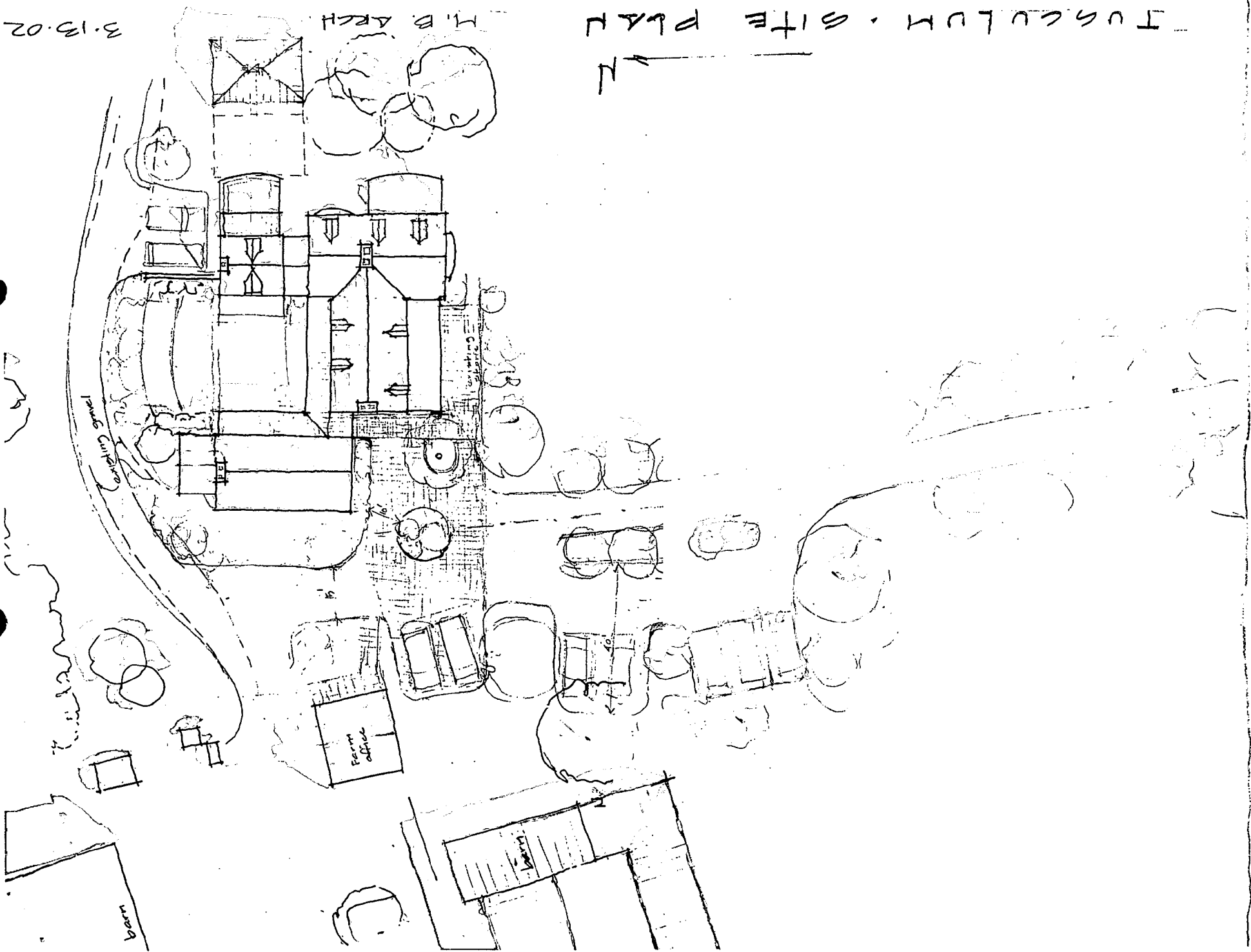
18. APR. 3. 12. 02

TUSCULUM - SITE PLAN



H. B. ARCH

3-13-02



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 4609 Damascus Road Meeting Date: 3/13/02
 Applicant: Josh Freeman (Miche Booz, Agent) Report Date: 3/06/02
 Resource: Griffith/Hutton House/Tusculum Public Notice: 2/27/02
 (*Locational Atlas* #23/15)
 Review: Preliminary Consultation Tax Credit: N/A
 Resource Number: #23/15 Staff: Robin D. Ziek

PROPOSAL: Demolish existing new addition; construct new addition; construct courtyard and surrounding gallery

RECOMMEND: Proceed to HAWP

This resource has been recommended for designation as a *Master Plan* site as part of the Olney Amendment. The Olney Amendment is currently at the County Council, and a hearing should be scheduled sometime this spring. As a *Locational Atlas* resource, the proposed work would be considered "substantial alteration", and the remedy would be to evaluate the resource for designation. As that process is well underway, the applicant and the HPC are working together as if this were already on the *Master Plan*.

SITE DESCRIPTION

The Griffith-Hutton House (Tusculum) is part of a large working farm. The proposed environmental setting is 25 acres around the house (see Circle 4, 5). Several buildings are included in this environmental setting, but this project proposal will affect only the house.

The house consists of three 19th century sections, along with two 20th century sections, all connected with hyphens and a covered walkway (see Circle 7, 12). Two of the early sections are stone, while the third 19th century section is frame. Both of the 20th century additions are one-story. The frame addition to the east is a large sunroom, connected to the house with a breezeway. The stone 20th century addition sits behind the original stone portion of the house, and is connected to the house with a narrow section. The driveway skirts the west side of the house, with a wide paved area between the house gardens and an small office (see Circle 7).

PROPOSAL

The applicant proposes to demolish the stone 20th century addition which sits just behind the original house, opening up the rear elevations of the three historic sections to the outside. In

addition, the applicant proposes to move the glazed sunroom on the east side of the house further off to the east, and leave it as a free-standing structure. A small porch and terrace would be replace the breezeway.

By removing the 20th century stone addition, the opportunity for a north-facing courtyard is created. The three historic sections and a new frame addition on the west edge would enclose this courtyard (see Circle), running from library to kitchen on the north side of the house. The new frame section would be connected to the stone house with an entry hall and a gallery on the west side of the courtyard. There is also a gallery along the south side of the courtyard, with a small water garden and patio area on the east side of the courtyard, just outside of the kitchen.

Other minor alterations are proposed on the house, including raising the roof on the hyphen between the frame portion of the house at the SE corner, and the small stone portion of the house at the NE corner (see Circle 23). These two sections of the house have been connected only at the first floor level, and this will provide a 2nd story connection as well. Finally, additional dormers are proposed in all three sections of the existing buildings (see Circle 13), to provide additional living space in the attics (see Circle 17). Staff has discussed the desirability of using simple gable dormers rather than shed dormers, to stay within the vocabulary of the existing structures. The applicant will be discussing this possibility further.

STAFF DISCUSSION

The overall approach of this proposal is highly compatible with the historic site and staff commends the applicant. The removal of the incompatible 20th century addition, and the rationalization of the diverse structures on the site adds coherence to the property. Each structure can be clearly identified on its own, while functioning comfortably for the homeowner. The proposed use of a gallery along the rear elevations of the original stone house and the new frame section will link these sections together while making the back elevations visible once again through the use of the transparent gallery.

The new frame section of the house will replace the house gardens. The paving area of the driveway will be reconfigured to provide more specific parking and drop-off areas, with the apparent reduction of paving.

STAFF RECOMMENDATION

Staff recommends that the applicant proceed with the project development, and return to the HPC for a HAWP in the future.

3

Tusculum Farm

February 21, 2002

MICHE BOOZ	
A R C H I T E C T	
206 Market St Brookville Maryland 20833 (301)774 6911 fax: 774 1908	

TUSCULUM/FREEMAN BARNs AT SUNDOWN FARM #23/15



23/15 Griffith-Hutton House (Tusculum) and Freeman Barns at Sundown Farm

ENVIRONMENTAL SETTING: 25-acre environmental setting, part of parcel #444 on tax map HW. This environmental setting includes both resources 23/15 and 23/15-1.



Scale: 1" = 800'

Legend

- Buildings
- Bridges
- Parking Lots
- lots/drives
- Hydrology - Line
- Cultural
- field court
- pool
- Pavement Polygon
- pavement
- ROW
- Hydrology - Poly
- Environmental slip
- Parades

Olney Area Resources

Griffith House and Freeman Barns (Tusculum)

4609 Damascus Road

#23/15

ENVIRONMENTAL SETTING: 25 acres, part of parcel #444 on tax map HW. The house and three historic barns described above are contributing resources. The goal of historic designation is not to impair the owner's ability to use the property as a residence and farm. Changes to the modern addition of the house shall have lenient review. Normal farming operations do not require HPC review.

Prelim. Consult:

Tusculum

Walter A. Royer
5001 Damascus Road
Gaithersburg, MD 20882

Rufus Butts, et al
4015 Damascus Road
Gaithersburg, MD 20882

Tusculum Farm
4601 Damascus Road
Laytonsville, MD 20882

Russell & C. Priebe
4800 Damascus Road
Gaithersburg, MD 20882

Catherine Spurrer
4920 Damascus Road
Gaithersburg, MD 20882

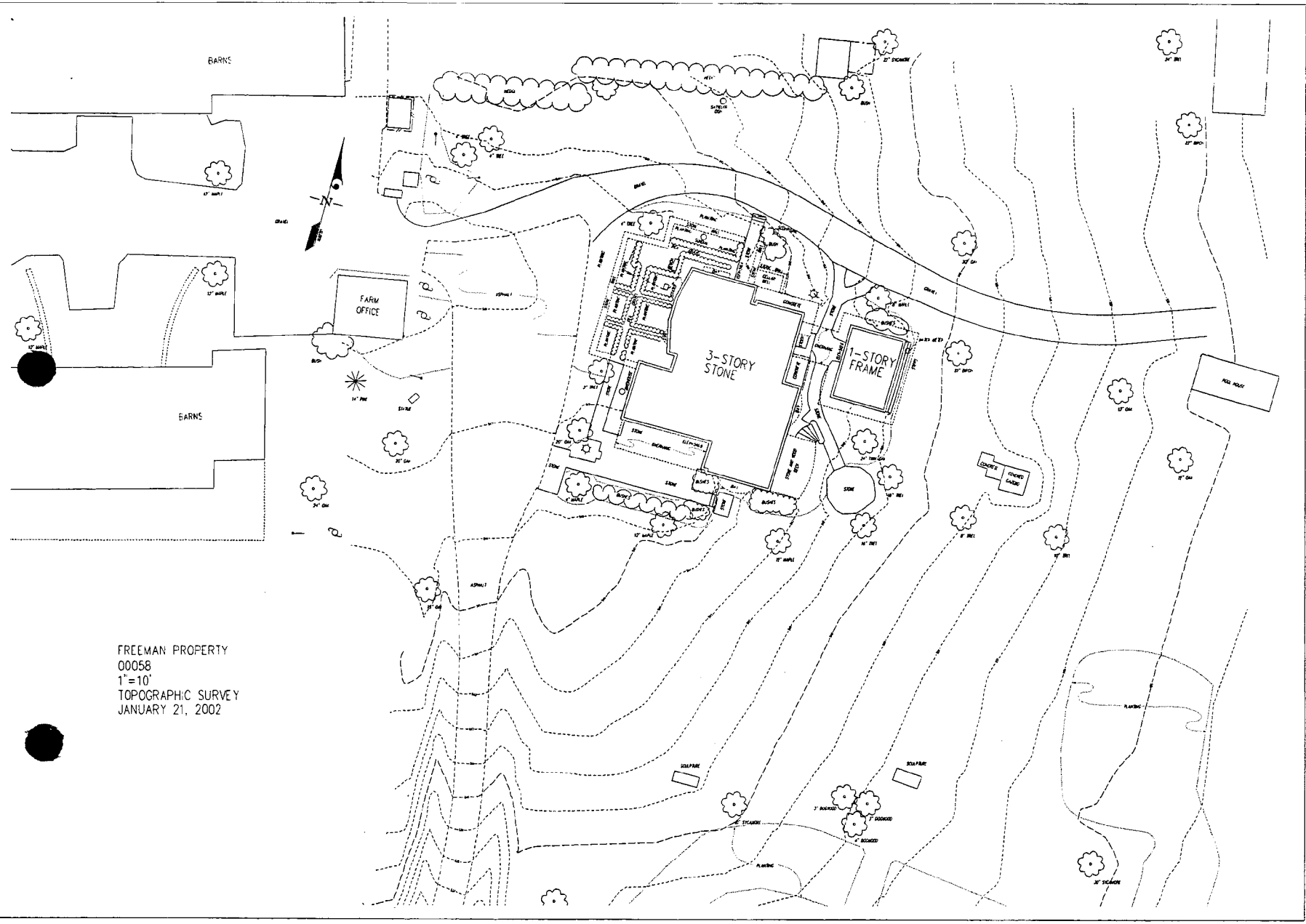
Miche Booz
208 Market Street
Brookeville, MD 20833

William & M.D. Mayo
4500 Damascus Road
Gaithersburg, MD 20882

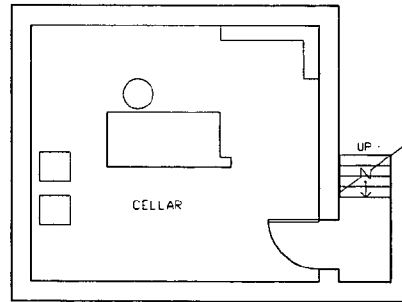
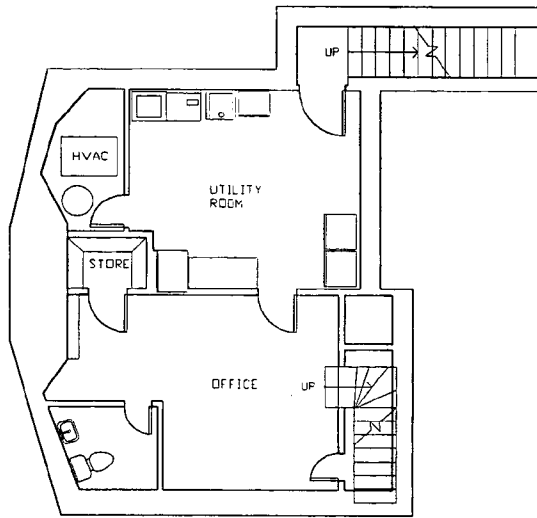
2/28/02 ✓

7

EXISTING



FREEMAN PROPERTY
00058
1"=10'
TOPOGRAPHIC SURVEY
JANUARY 21, 2002



BASEMENT PLAN
 scale: 1/8" = 1' 0"

MICHE BOOZ
 ARCHITECT
 106 Market St
 Beltsville
 Maryland 20833
 (301) 774-8911
 fax: 774-1908

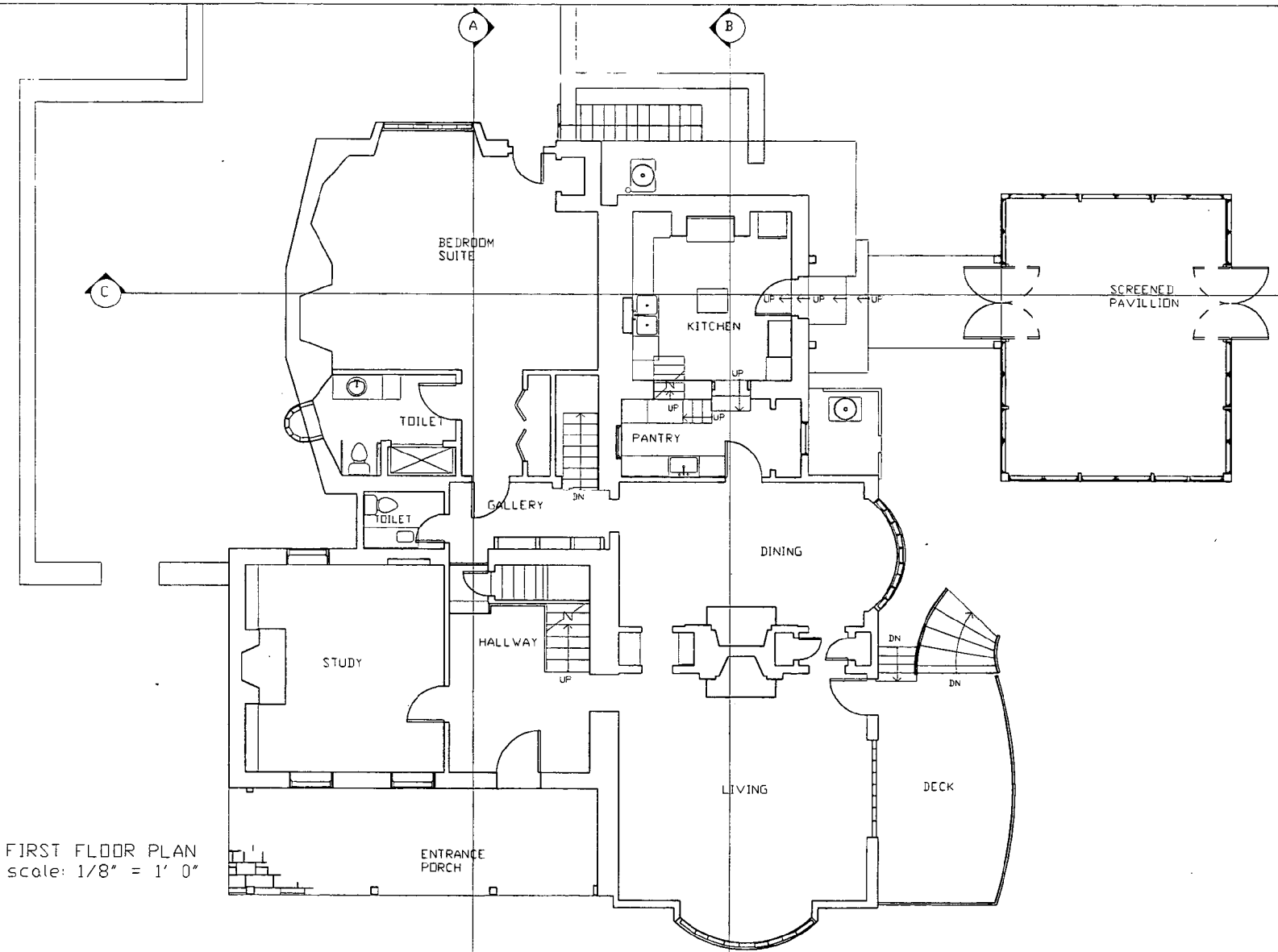
Project:
TUSCULUM FARM
 4801 Damascus Rd.
 Leysonsville, MD 20882

Drawings:
BASEMENT PLAN

Date:
 February 21, 2002

(8)

EXISTING



MICHE BOOZ ARCHITECT 208 Market St Bryansville Maryland 20833 (301)774 6911 Fax: 774 1908	
Project: TUSCULUM FARM 4801 Demarcus Rd Laytonsville, MD 20882	
Drawings: FIRST FLOOR PLAN	
Dates: February 21, 2002	

(9)
 EXISTING 1st Fl

FIRST FLOOR PLAN
 scale: 1/8" = 1' 0"

MICHE BOOZ
ARCHITECT
205 Market St
Brykewille
Maryland 20833
(301) 774-6911
fax: 774-1906

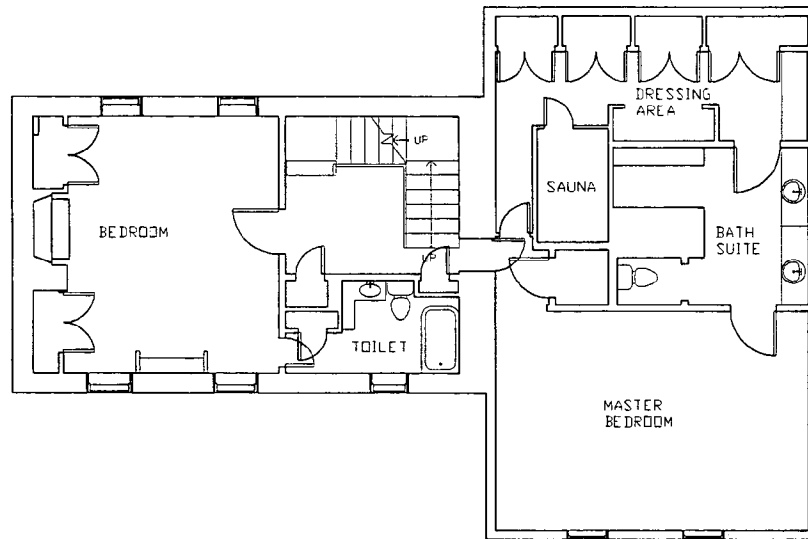
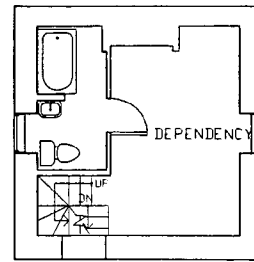
Project:
**TUSCULUM
FARM**
4801 Damascus Rd.
Leytonville, MD 20882

Drawings:
**SECOND FLOOR
PLAN**

Dates:
February 21, 2002

(10)

EXISTING 2nd FL



SECOND FLOOR PLAN
scale: 1/8" = 1' 0"

MICHE BOOZ
ARCHITECT
208 Market St
Brykewille
Maryland 20833
(301) 774-6911
Fax: 774-1506

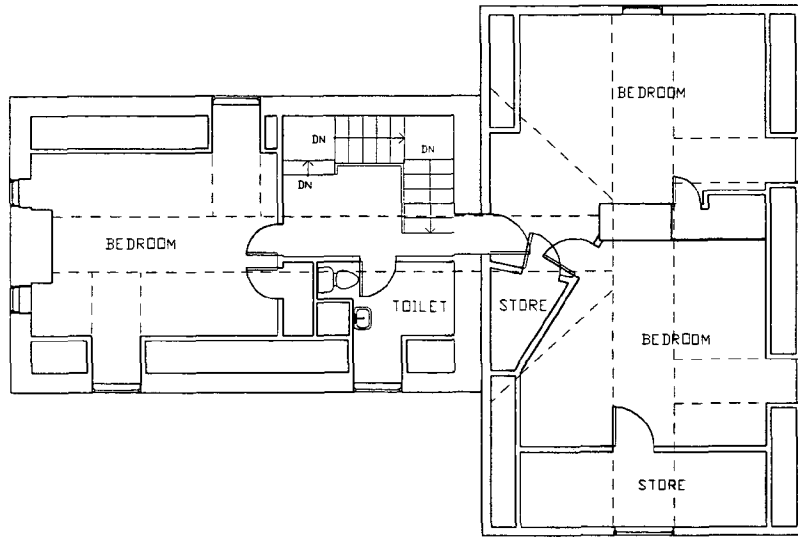
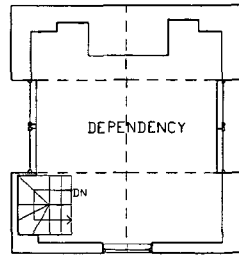
Project:
**TUSCULUM
FARM**
4801 Demascus Rd.
Layonsville, MD 20882

Drawings:
THIRD FLOOR
PLAN

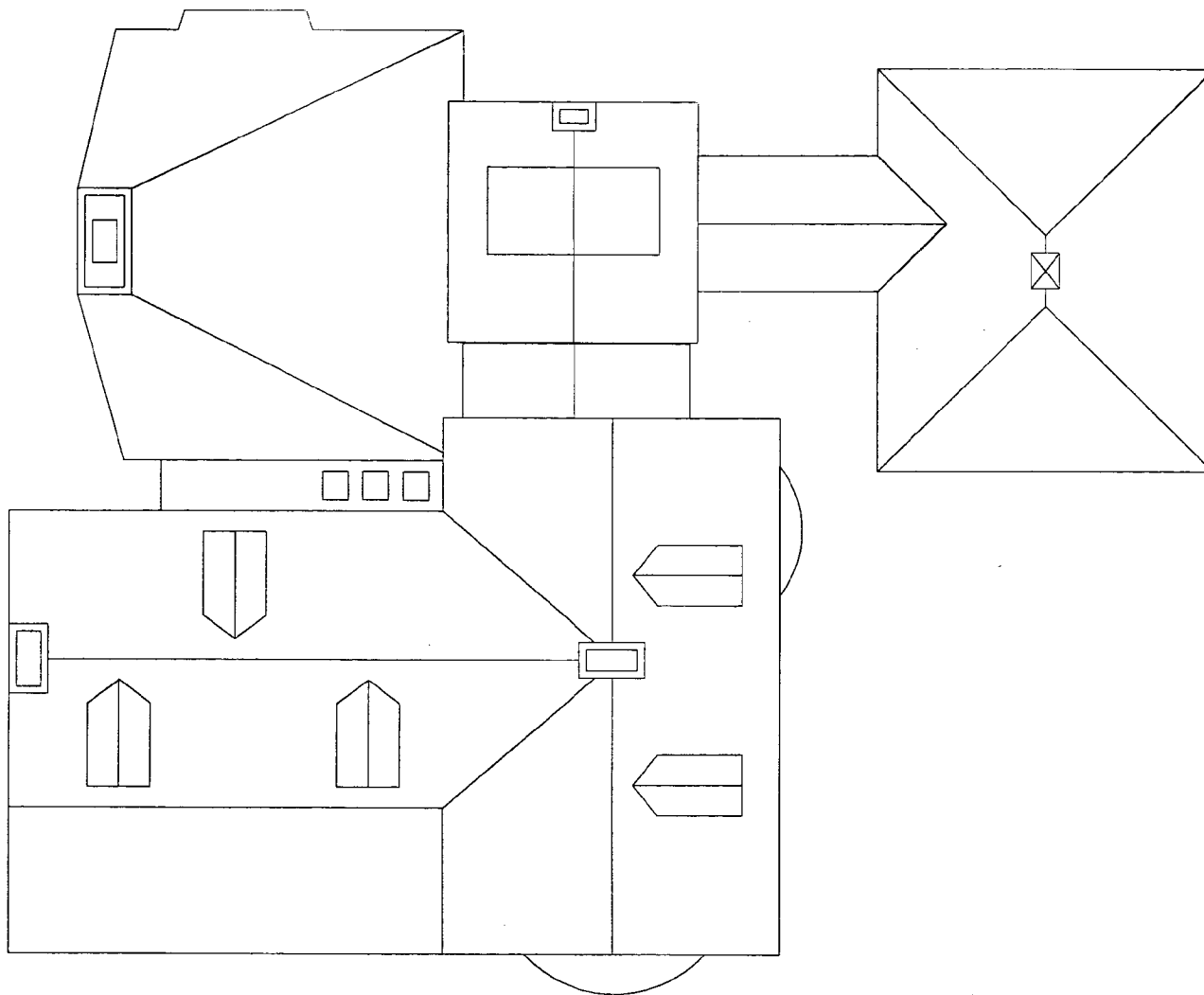
Dates:
February 21, 2002

(11)

EXISTING 3rd FL



THIRD FLOOR PLAN
scale: 1/8" = 1' 0"



ROOF PLAN
 scale: 1/8" = 1' 0"

MICHE BOOZ

ARCHITECT

205 Market St
 Brykewille
 Maryland 20633
 (301) 774-8211
 fax: 774-1908

Project:

TUSCULUM
 FARM

4801 Demascus Rd.
 Laytonville, MD 20882

Drawings:

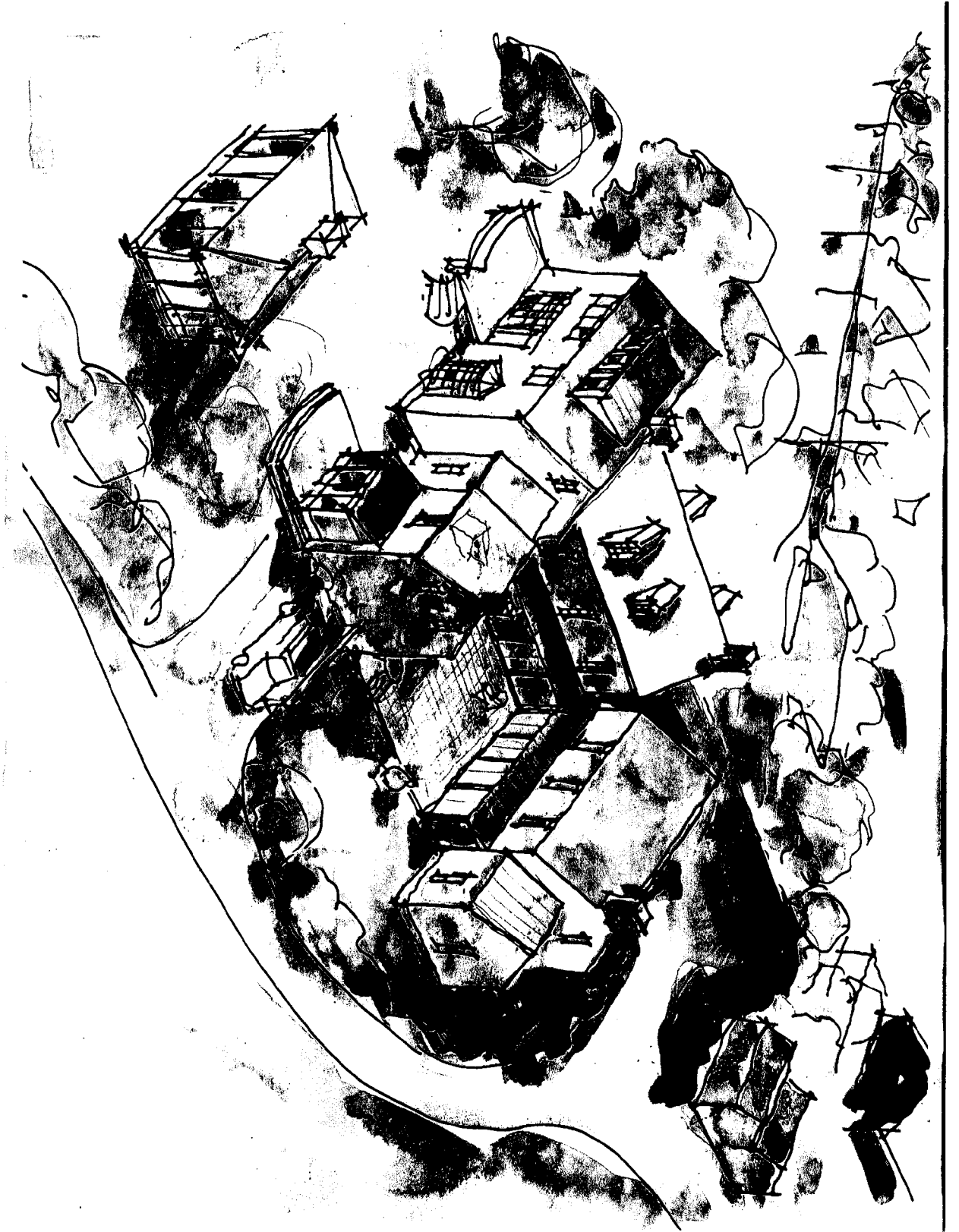
ROOF
 PLAN

Dates:

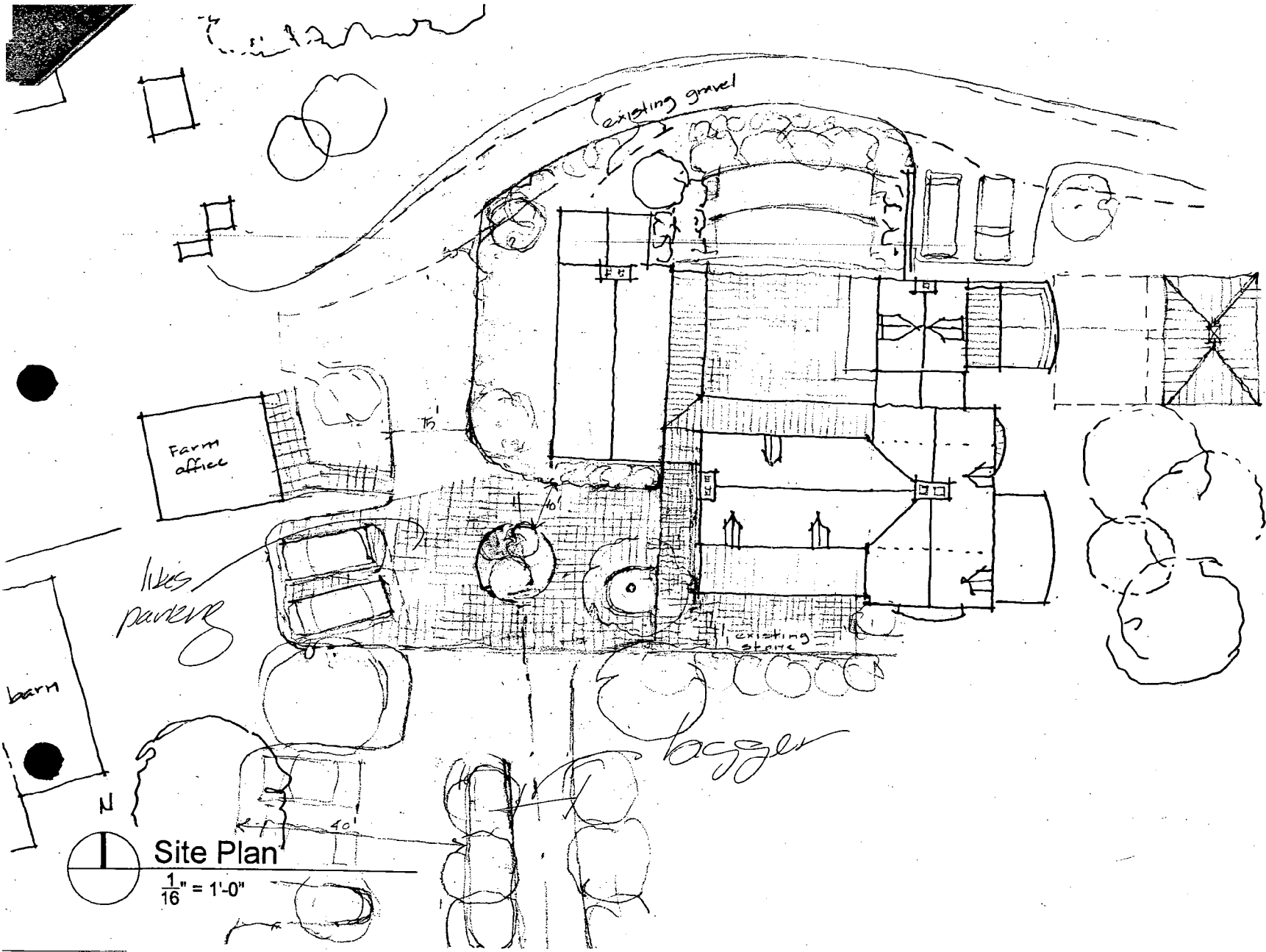
February 21, 2002

EXISTING ROOF PLAN

(12)



PROPOSAL - BIRD'S EYE VIEW



(14)

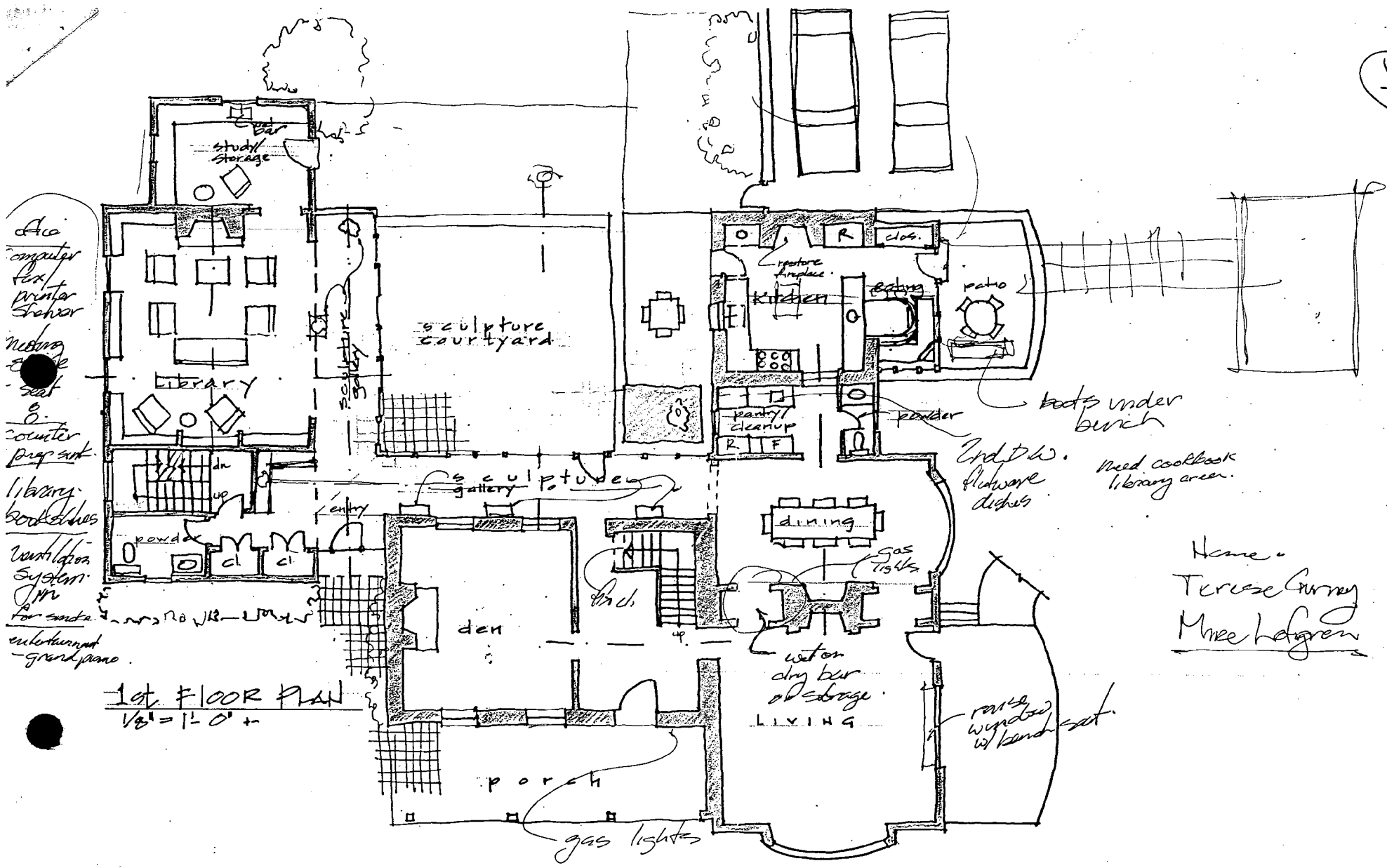
MICHE BOOZ
ARCHITECT

208 Arched St
Bryansville
Maryland 20833
(301) 774 8911
fax 774 1908

Project:
TUSCULUM FARM
4801 Damascus Rd
Laytonsville, MD 20882

Date:
February 2, 2002

PROPOSED SITE PLAN



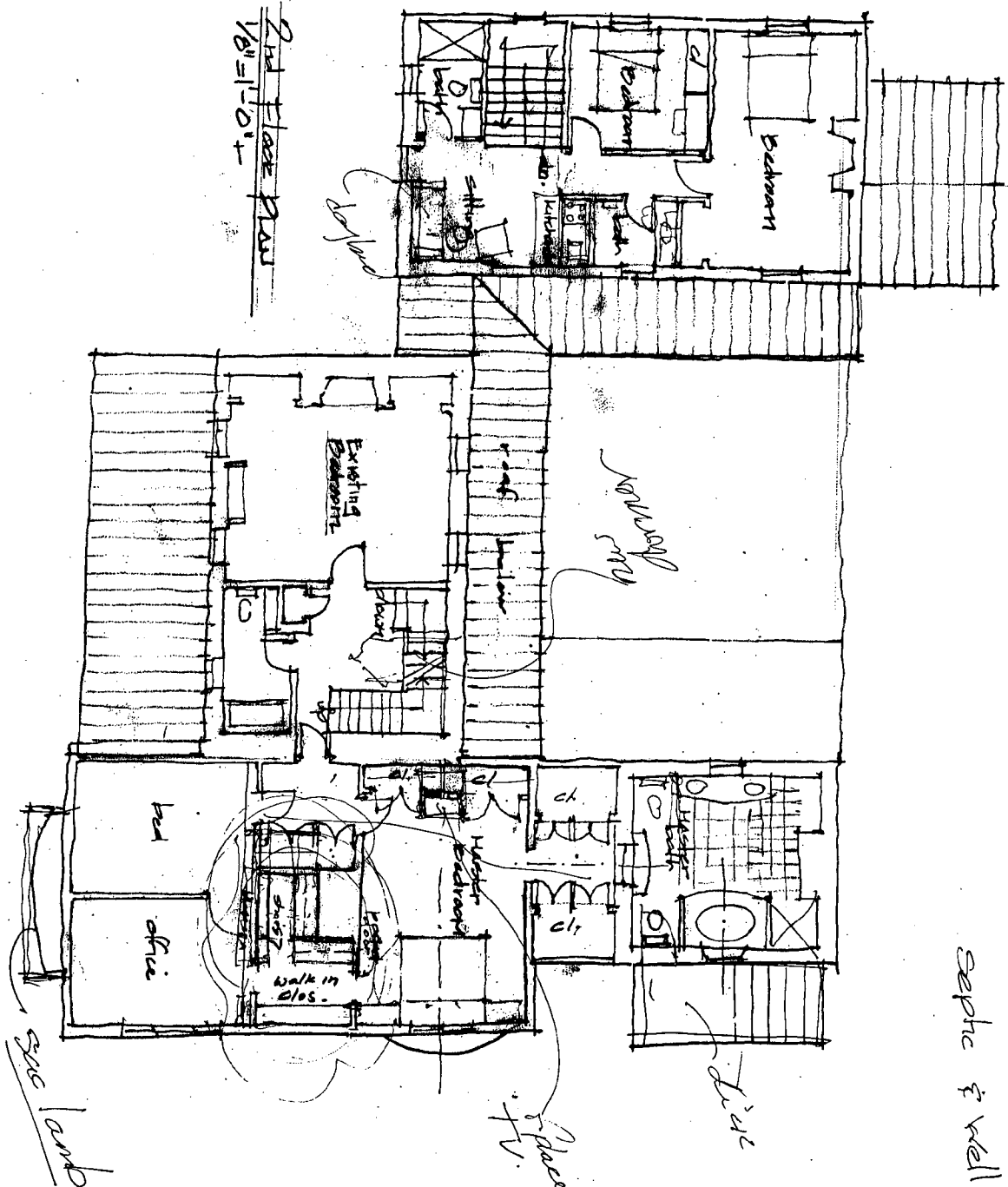
A/C
computer
fax
printer
shower
nubbing
seat
counter
prop sink
library
bookshelves
ventilation
system
for sound
entertainment
- grand piano

1st FLOOR PLAN
1/8" = 1'-0"

beds under
bench
need cookbook
library area.
End table
sideboard
dishes

Home -
Terese Gurney
Mree Hagren

PROPOSED (2nd)

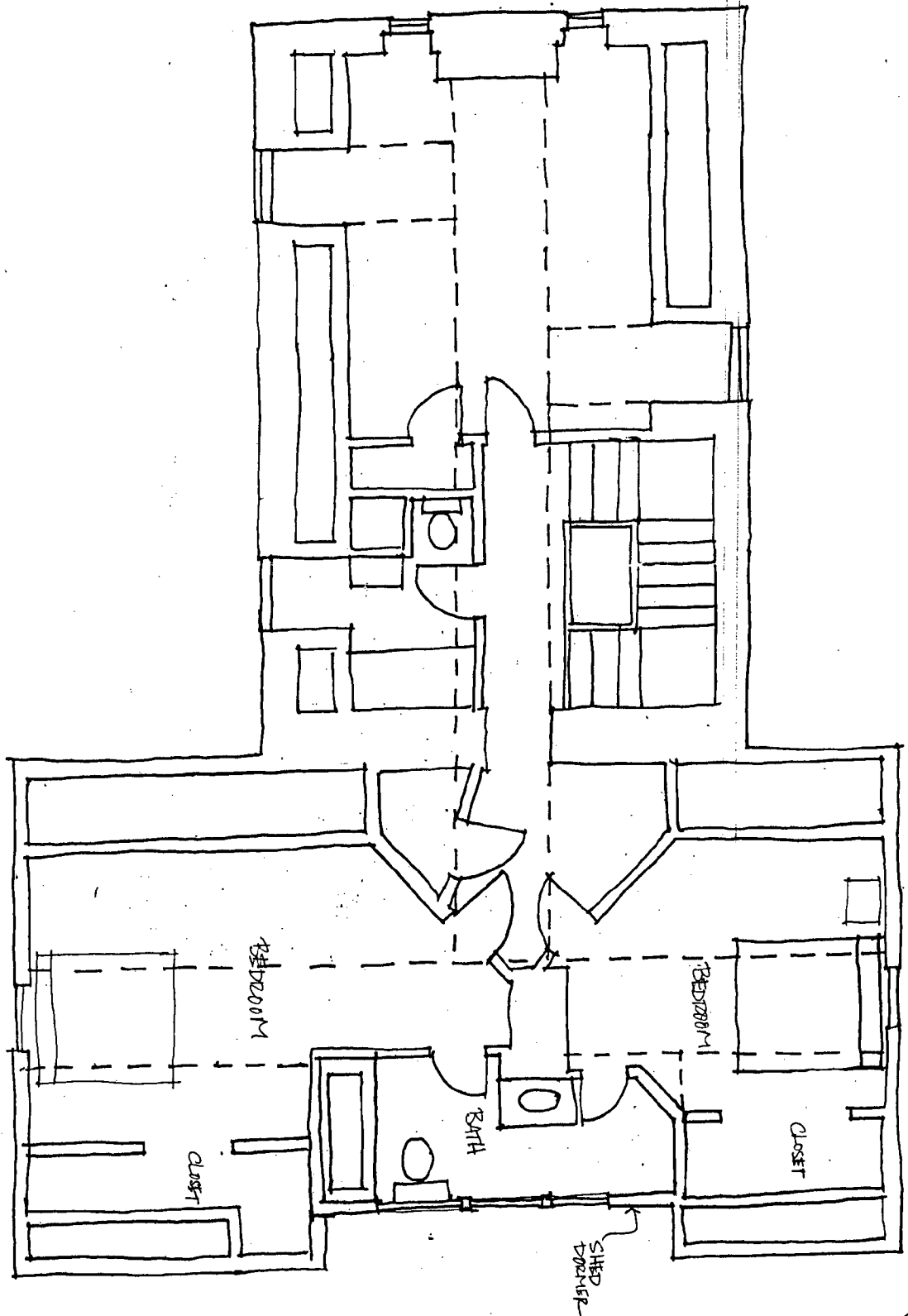


2nd Floor Plan
1/8" = 1'-0"

PROPOSED 2nd FL

Septic & well

16



PROPOSED 3rd FL.

17



EAST ELEVATION



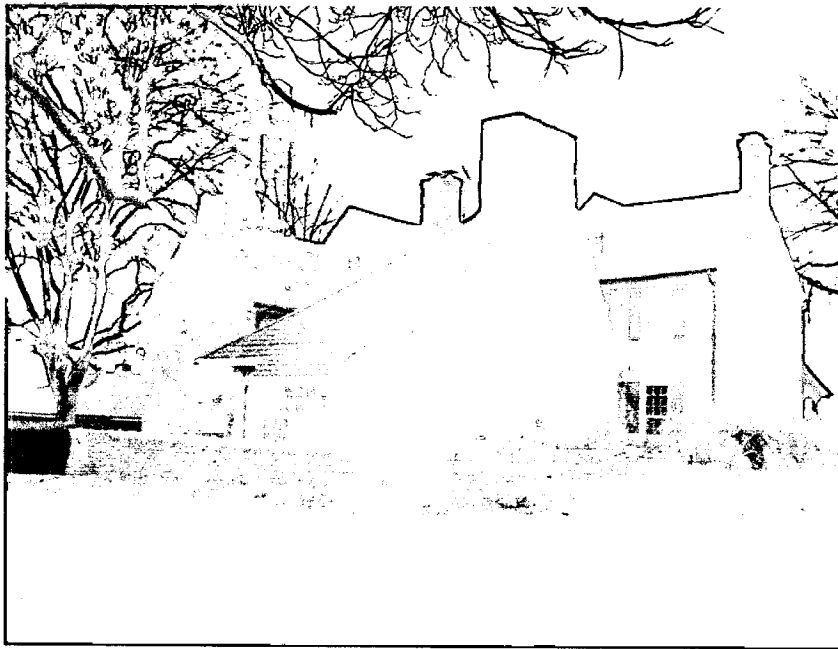
SOUTH ELEVATION



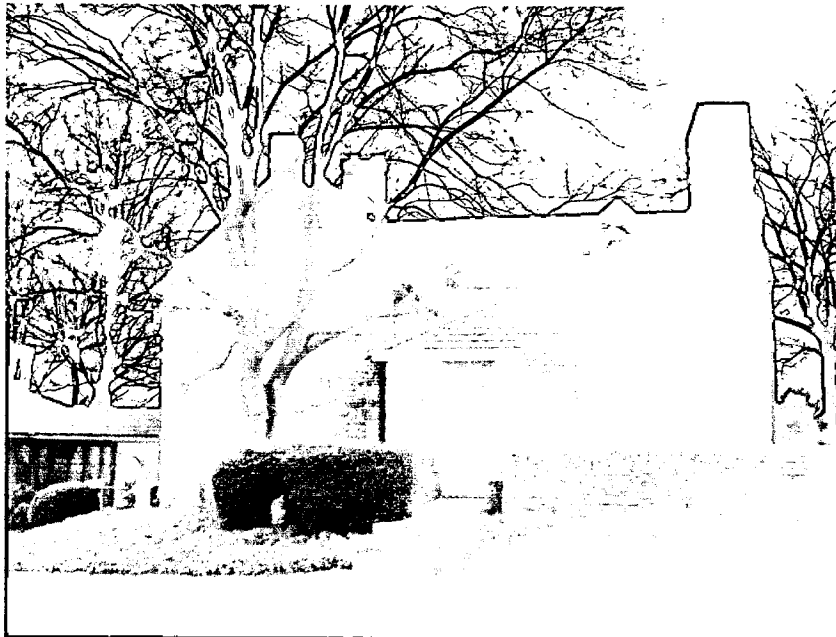
WEST ELEVATION



N-WEST ELEVATION



NORTH / WEST VIEW



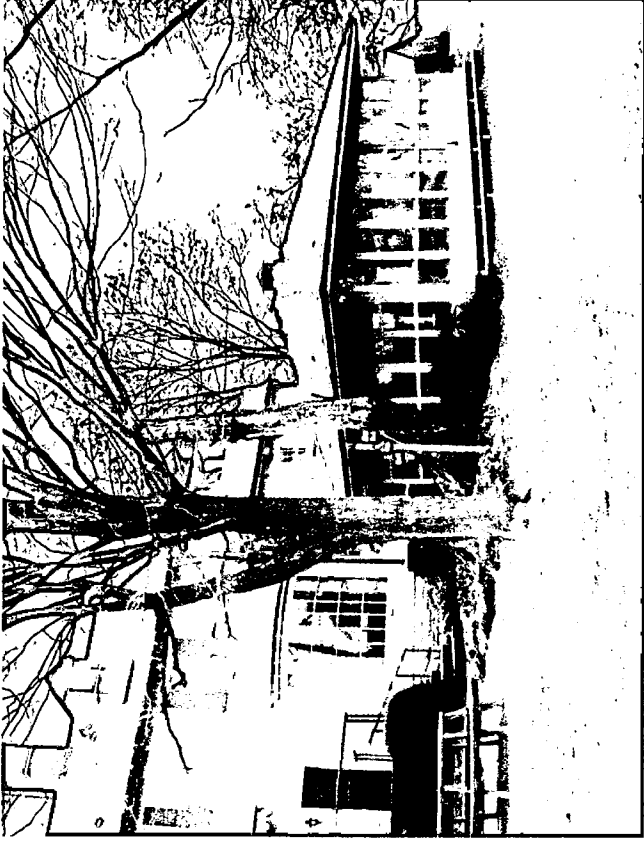
NORTH ELEVATION



E / NORTH ELEVATION



NE CORNER



EAST SIDE



EAST ELEVATION



East elevation - breezeway



Hyphen on east Elevation

Adi & Carl

4609 Damascus Rd

Walter A. Royer

5001 Damascus Rd

Guthersburg, 20882

~~B~~ Russell + C. Priebe

4800 Damascus Rd

William + M. D. Mayo

4500 Damascus Rd

Rufus Butts, et. al

4015 Damascus Rd

Catherine Spurrer

4920 Damascus Rd

MICHE BOOZ
ARCHITECT

209 Market St
Brooksville
Maryland 20833
(301) 774 6911
fax: 774 1908

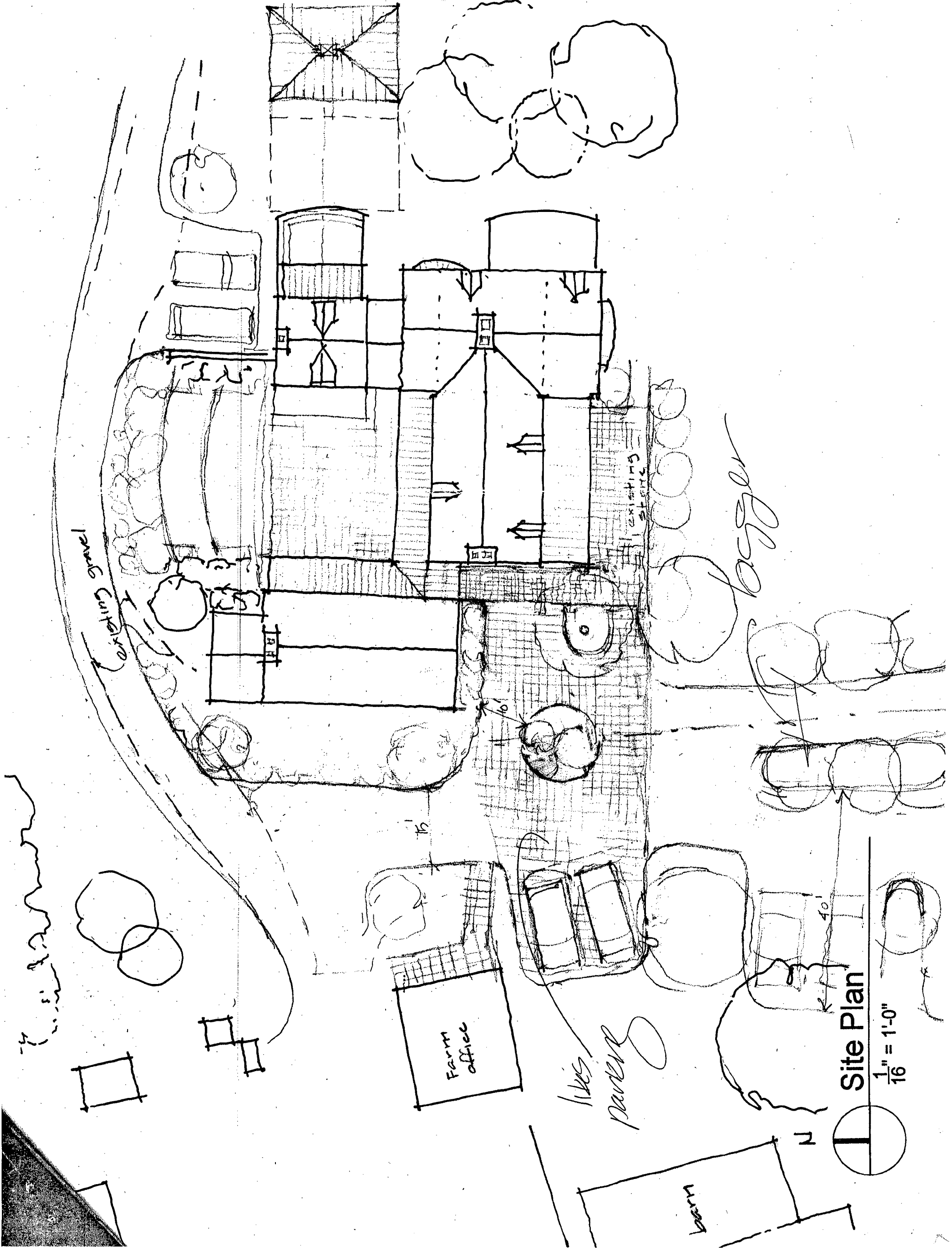
Project:

TUSCULUM
FARM

4601 Damascus Rd
Laytonsville, MD 20882

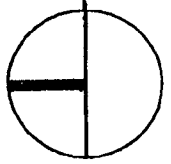
Dates:

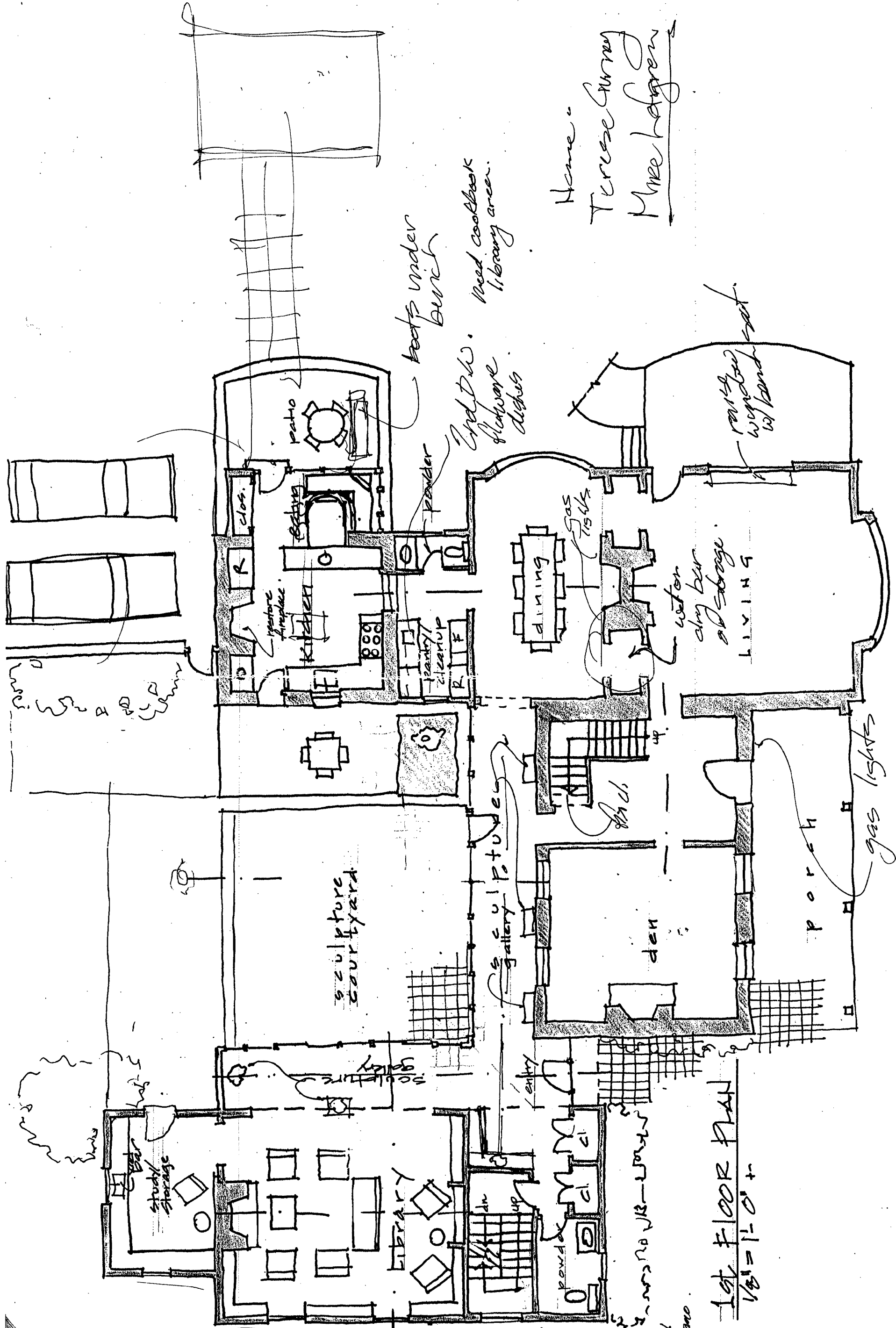
February 2, 2002



Site Plan

1/16" = 1'-0"



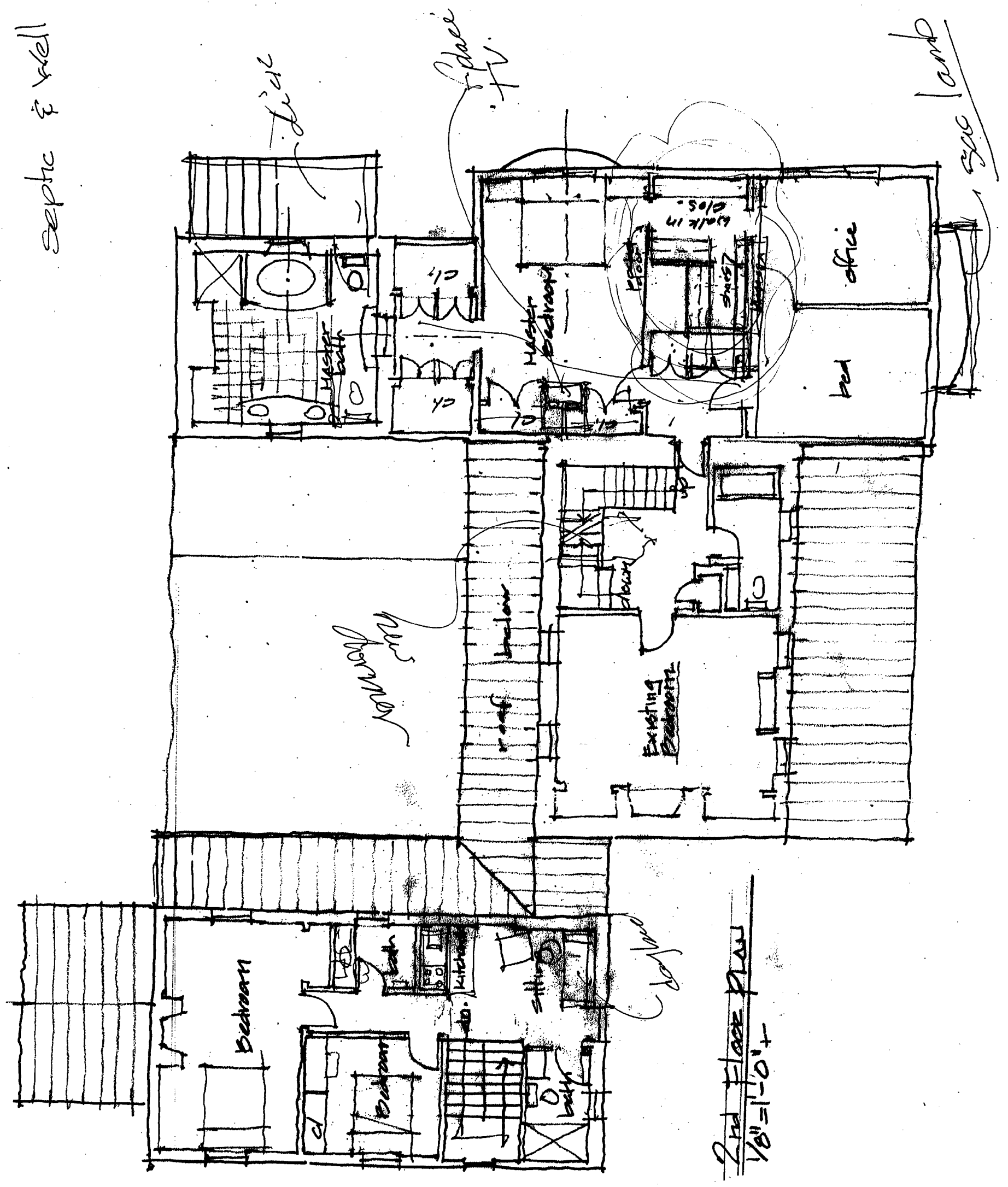


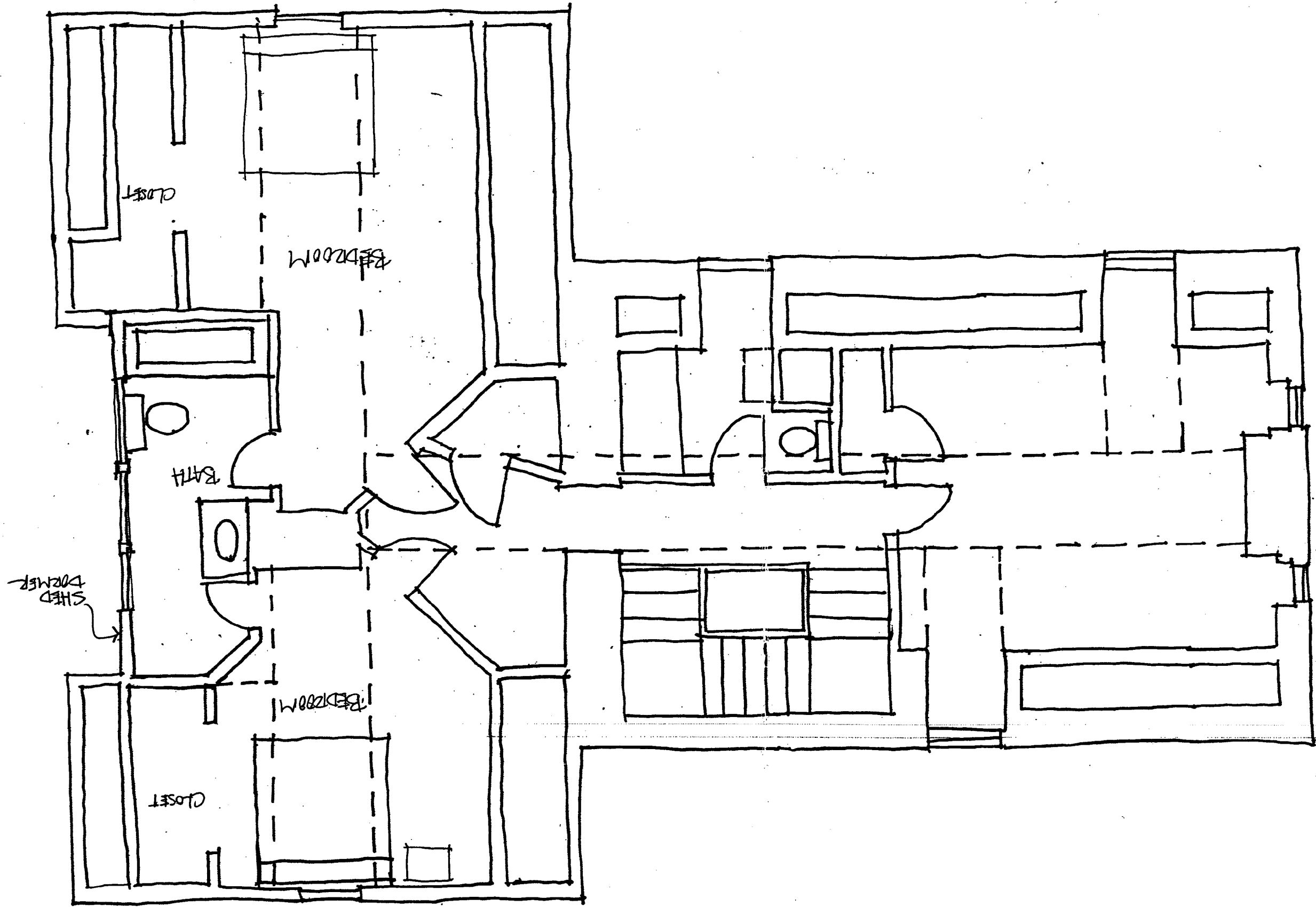
Home:
 Terese Gurney
 Mirek Gurney

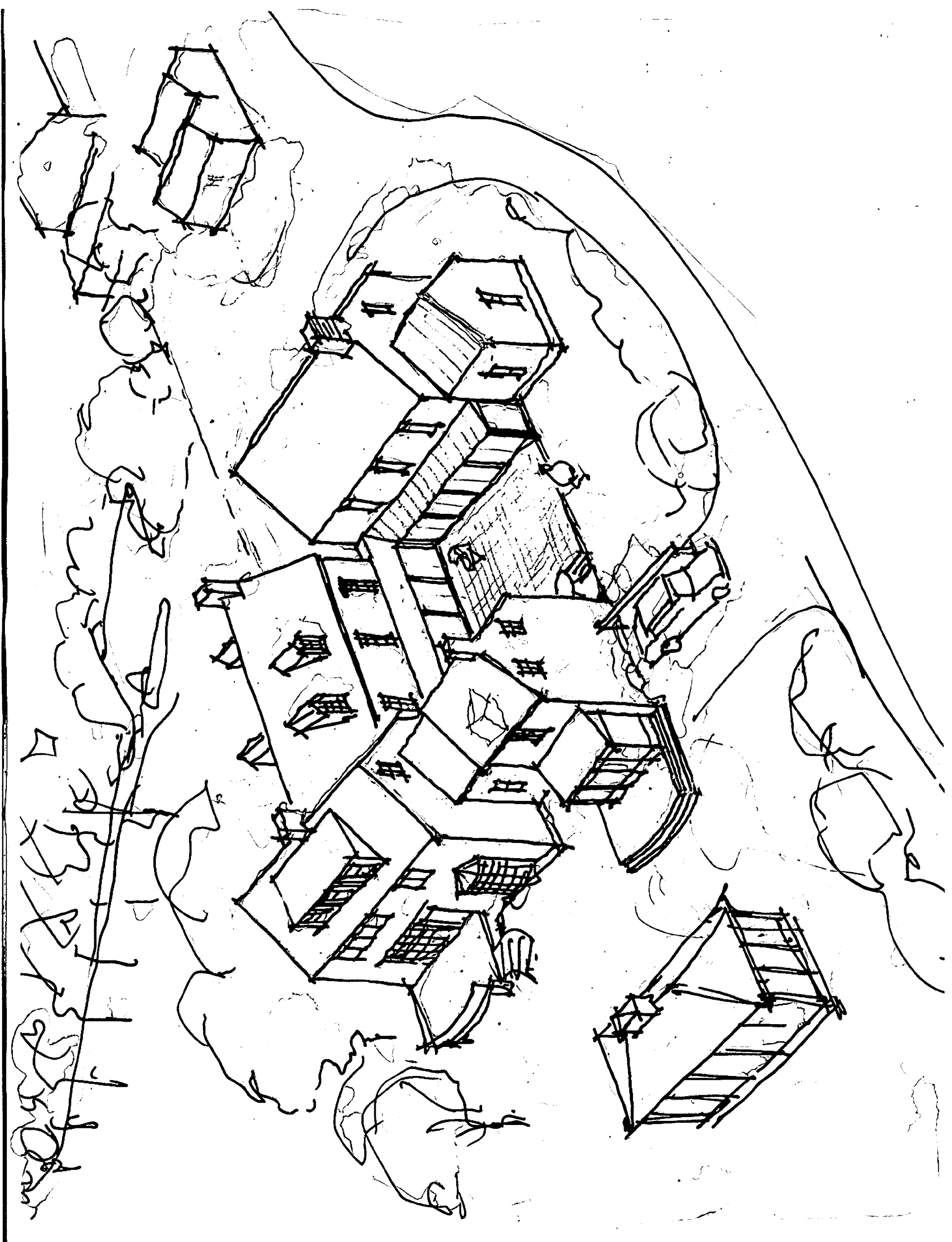
- Office
- computer
- fax
- printer
- Shelver
- Media
- Space
- seat
- counter
- prop sink
- library
- bookshelves
- ventilator
- system
- for smoke
- entrainment
- grand piano

Lot Floor Plan
 1/8" = 1'-0" +

Septic & well



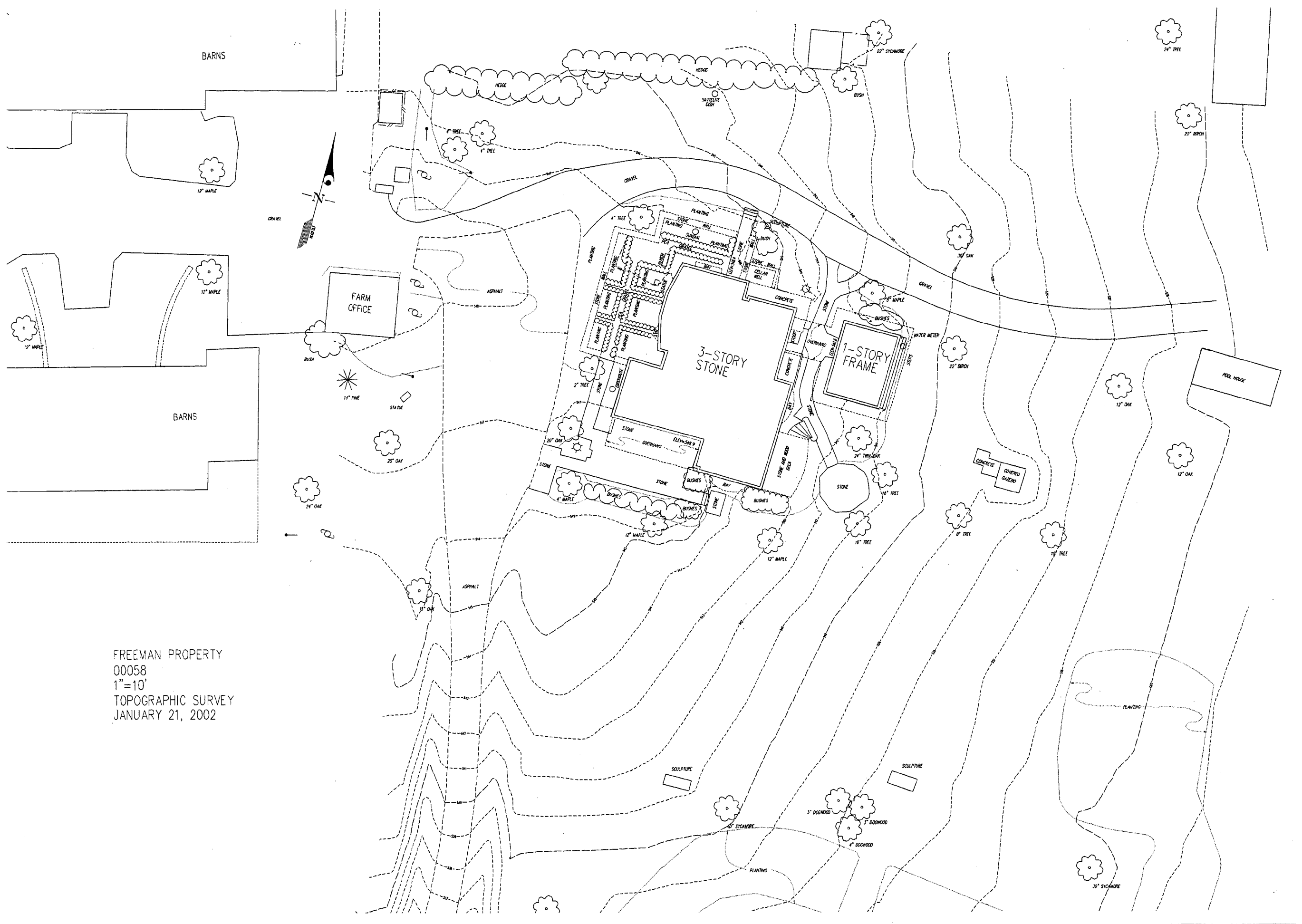




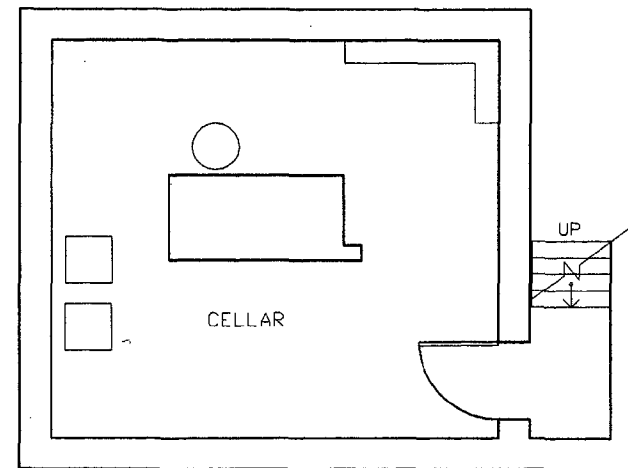
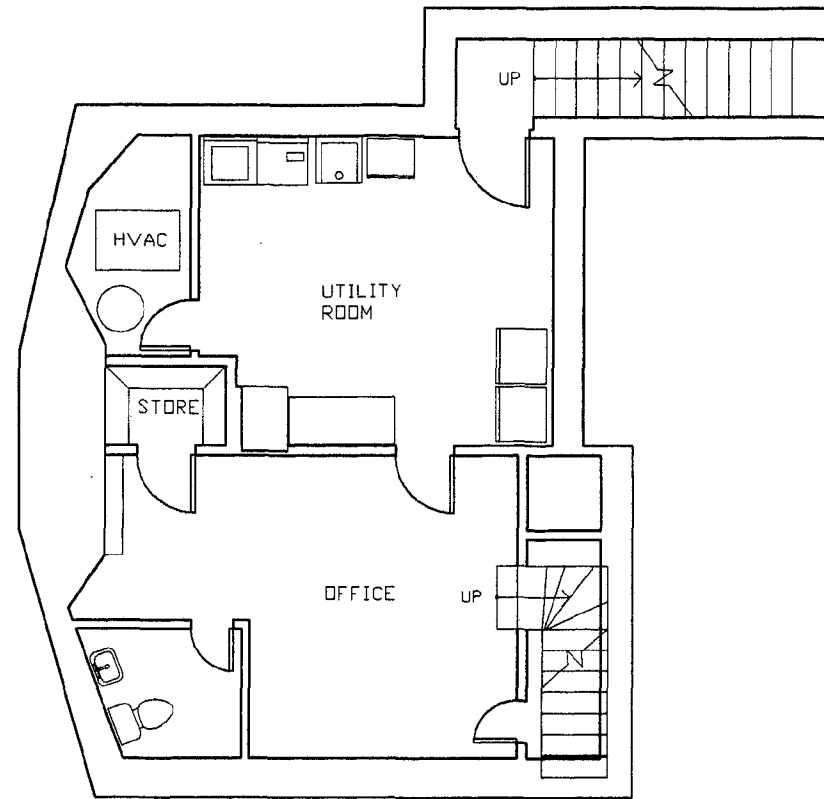
Tusculum Farm

February 21, 2002

MICHE BOOZ	
ARCHITECT	
208 Market St Brookeville Maryland 20833 (301)774 6911 fax: 774 1908	



FREEMAN PROPERTY
 00058
 1"=10'
 TOPOGRAPHIC SURVEY
 JANUARY 21, 2002



BASEMENT PLAN
 scale: 1/8" = 1' 0"

MICHE BOOZ
 A R C H I T E C T

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 Brookville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

Project:

**TUSCULUM
 FARM**
 4801 Damascus Rd.
 Laytonsville, MD 20882

Drawings:

**BASEMENT
 PLAN**

Dates:

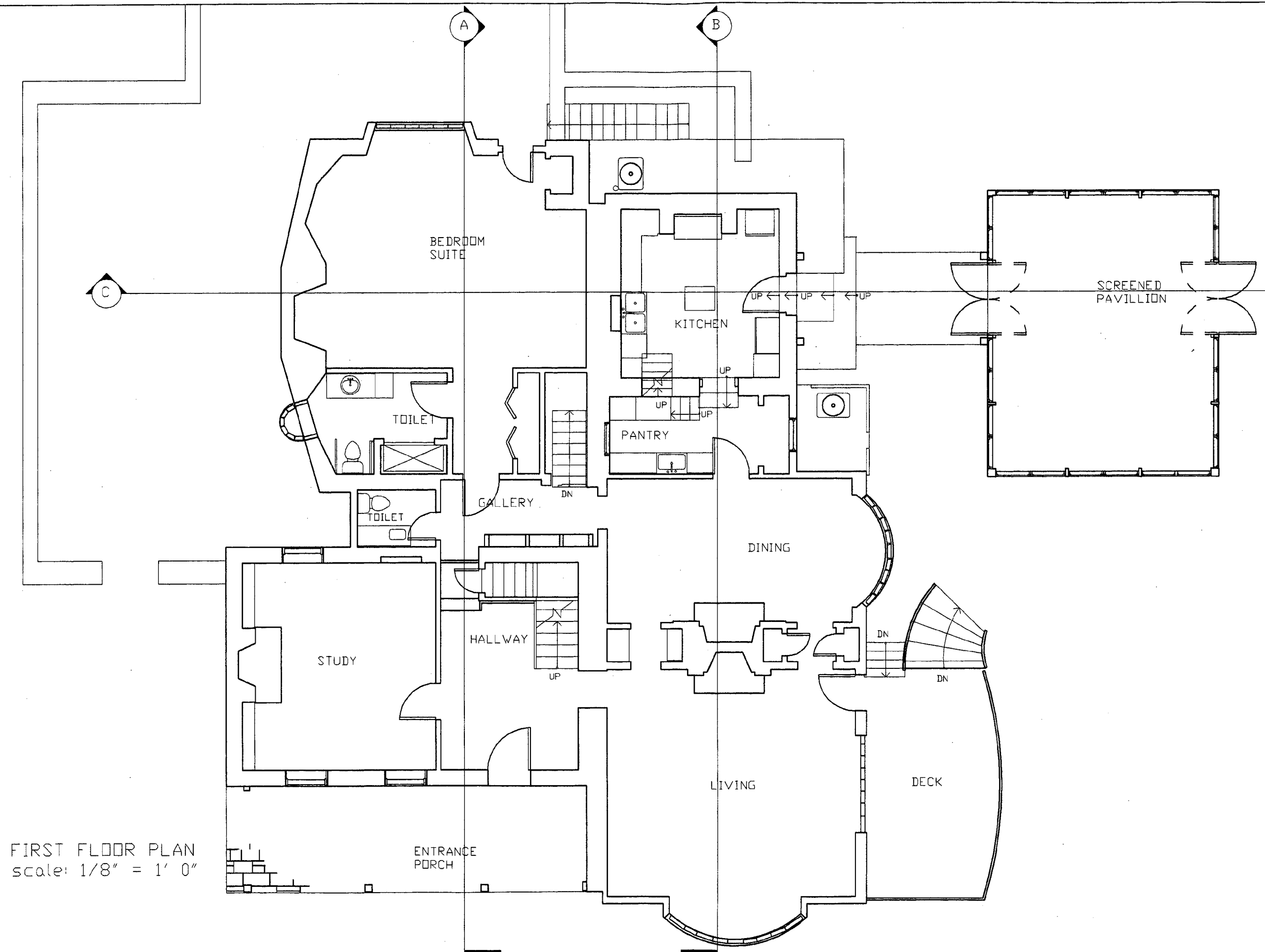
February 21, 2002

MICHE BOOZ
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 Brykerville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

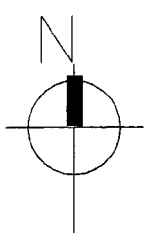
Project:
TUSCULUM FARM
 4801 Damascus Rd.
 Laytonsville, MD 20882

Drawings:
FIRST FLOOR PLAN

Dates:
 February 21, 2002



FIRST FLOOR PLAN
 scale: 1/8" = 1' 0"



MICHE BOOZ

ARCHITECT

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Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**TUSCULUM
FARM**

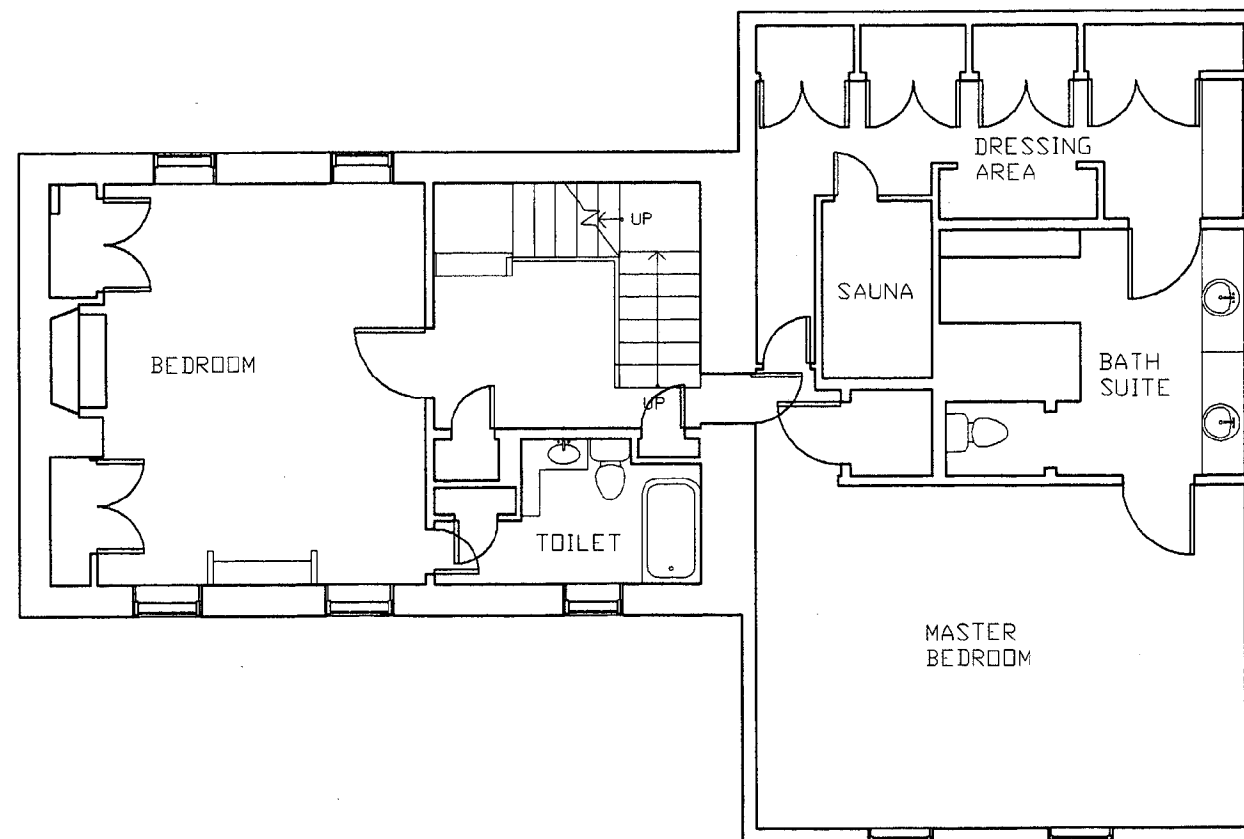
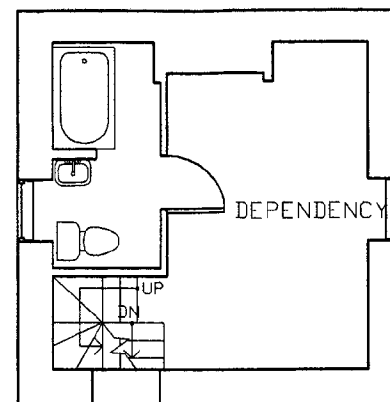
4801 Damascus Rd.
Laytonville, MD 20882

Drawings:

**SECOND FLOOR
PLAN**

Dates:

February 21, 2002



SECOND FLOOR PLAN
scale: 1/8" = 1' 0"

MICHE BOOZ

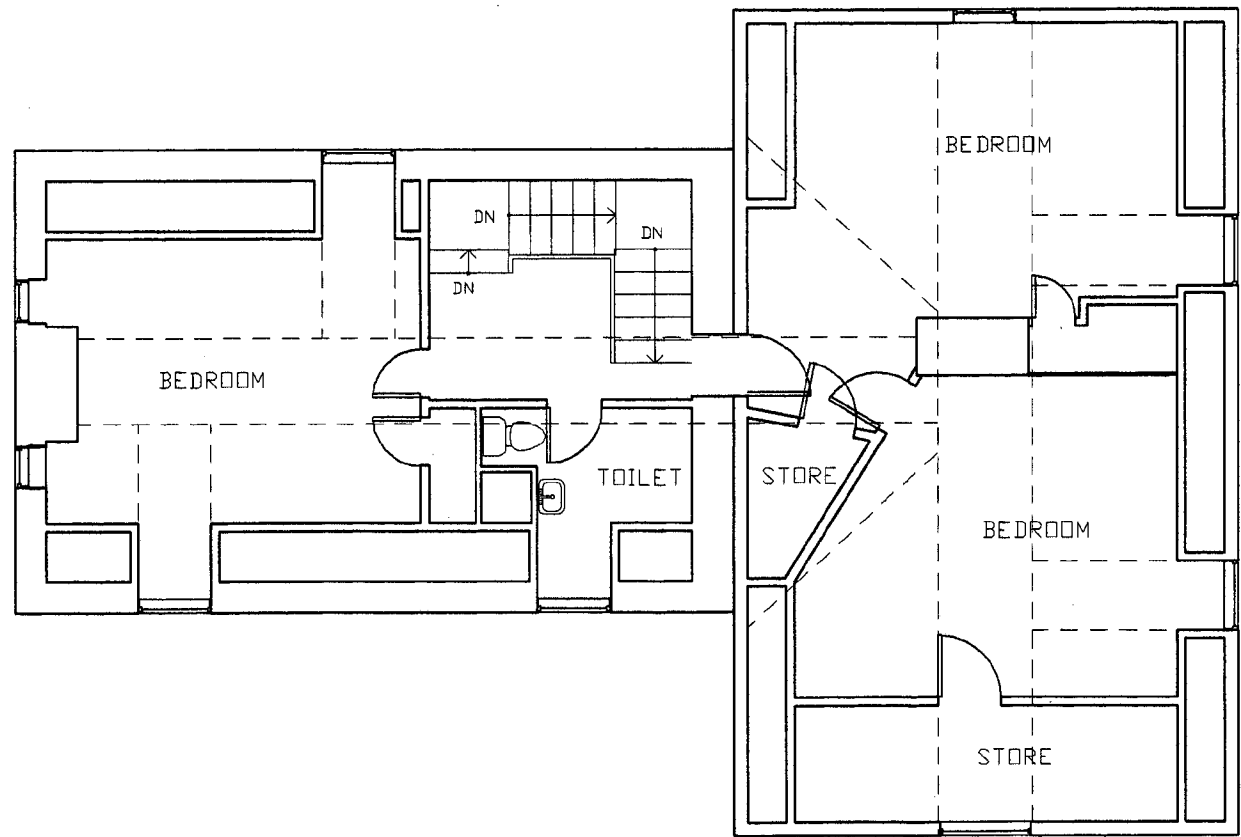
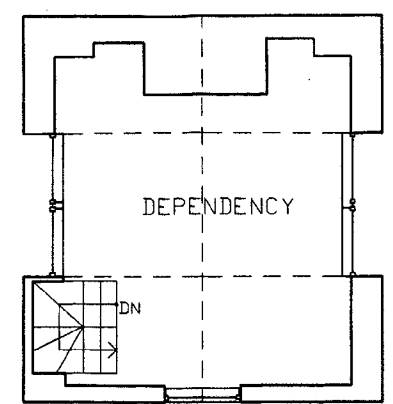
ARCHITECT

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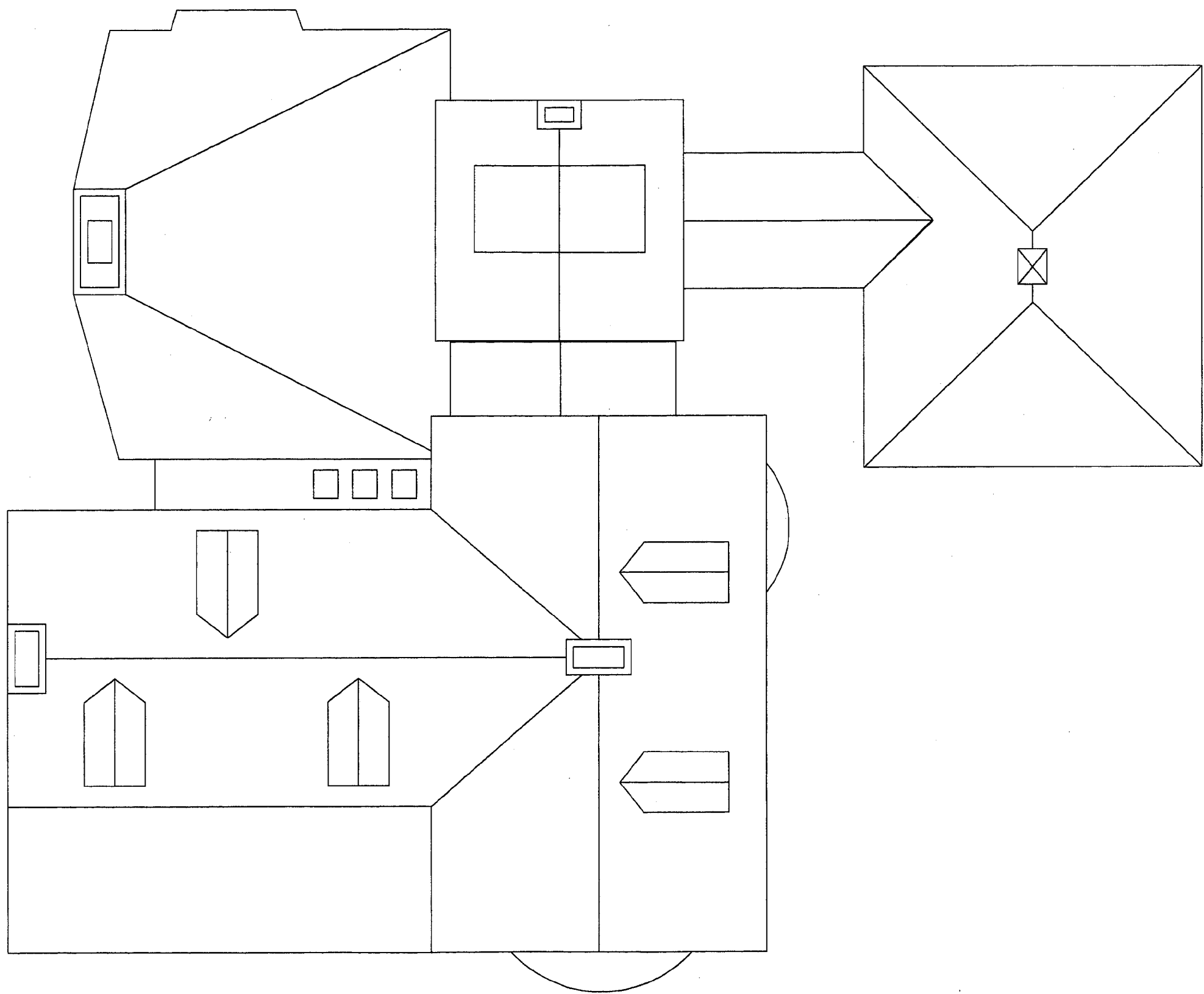
Project:
**TUSCULUM
FARM**
4601 Damascus Rd.
Laytonsville, MD 20882

Drawings:
**THIRD FLOOR
PLAN**

Dates:
February 21, 2002



THIRD FLOOR PLAN
scale: 1/8" = 1' 0"



ROOF PLAN
 scale: 1/8" = 1' 0"

MICHE BOOZ

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Project:

**TUSCULUM
 FARM**

4601 Damascus Rd.
 Laytonsville, MD 20882

Drawings:

**ROOF
 PLAN**

Dates:

February 21, 2002

MICHE BOOZ

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fax: 774 1908

Project:

TUSCULUM FARM

4601 Damascus Rd.
Laytonville, MD 20882

Drawings:

Site Plan

Scale: 1" = 20'-0"

Dates:

August, 29 2002

