

23/15-05A 4601 Damascus Road

MP Site 23/15 **Tusculum Farm**

23/15-05A 4601 Damascus Rd

Tusculum, 23/15 *revision*



HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 12/22/2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section

SUBJECT: Historic Area Work Permit #382039, Alterations and addition to hay barn
REVISION

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the 12/21/2005 meeting.

1. Wood windows will be installed in the hay barn; clad wood windows are allowed in the addition to the barn.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Josh Freeman

Address: 4601 Damascus Rd, Gaithersburg

This HAWP approval is subject to the general condition that the applicant shall present the 3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



TUSCULUM

hay barn
garage
office

2005

GARAGE - APM'T. TUSCULUM FARM

4601 DAMASCUS ROAD,
LAYTONSVILLE, MD 20882

ABBREVIATIONS

ABOVE APPROXIMATE AT	ABV APPROX. @	MASONRY OPENING	M.O.
AVERAGES	AVG	MEDICINE CABINET	M.C.
BASEMENT	BSMT.	METAL	MET.
BEAM	BM	MINIMUM	MIN.
BETWEEN	BET.	MISCELLANEOUS	MISC.
BLOCKING	BLKG	NUMBER	NO.
BOARD	BD	ON CENTER	O.C.
BOTTOM OF	B.O.	OPENING	OPNG
BRICK	BR.	PAINTED	PTD
BUILDING	BLDG	PLYWOOD	PLYWD
CEILING	CLG	PLASTER	PLAS.
CERAMIC TILE	C.T.	PLATE	PL.
CLEAN OUT	C.O.	PRESSURE TREATED	P.T.
COLUMN	COL.	ROUGH OPENING	R.O.
CONCRETE	CONC.	RISER	R.
CONC. MASONRY UNIT	CMU	ROOM	RM
CONTINUOUS	CONT.	SECTION	SEC.
DETAIL	DET.	SHEET	SHT
DIAMETER	∅	STEEL	STL
DIMENSION	DIM.	STONE	ST.
DOOR	DR	THRESHOLD	THRES.
DOWNSPOUT	D.S.	THICKNESS	THK
EACH	EA.	TO BE SPECIFIED	T.B.S.
ELEVATION	EL.	TO MATCH EXISTING	T.M.E.
ENTRANCE	ENT.	TOP OF	T.O.
EXISTING	EXG	TREAD	T.
FEET	FT	TYPICAL	TYP.
FLOOR	FL.	UNDERSIDE	U/S
FOUNDATION	FNDN	UNLESS NOTED OTHERWISE	U.N.O.
GLASS	GL.	VINYL TILE	V.C.T.
GRADE	GR.	WITH	W/
HARDWOOD	HDWD	WOOD	WD
HEIGHT	HT		
INCH	IN.		
INSULATION	INSUL.		
INTERIOR	INT.		
LIGHT	LT		

SYMBOLS

SMOKE DETECTOR (S)

BLDG. AREA

ADDITION:

1ST FLOOR: 2000 SF
(MOSTLY GARAGE SPACE)
2ND FLOOR: 1000 SF

TOTAL: 3000 SF
(1/3 IS CONDITIONED SPACE)

LOADS

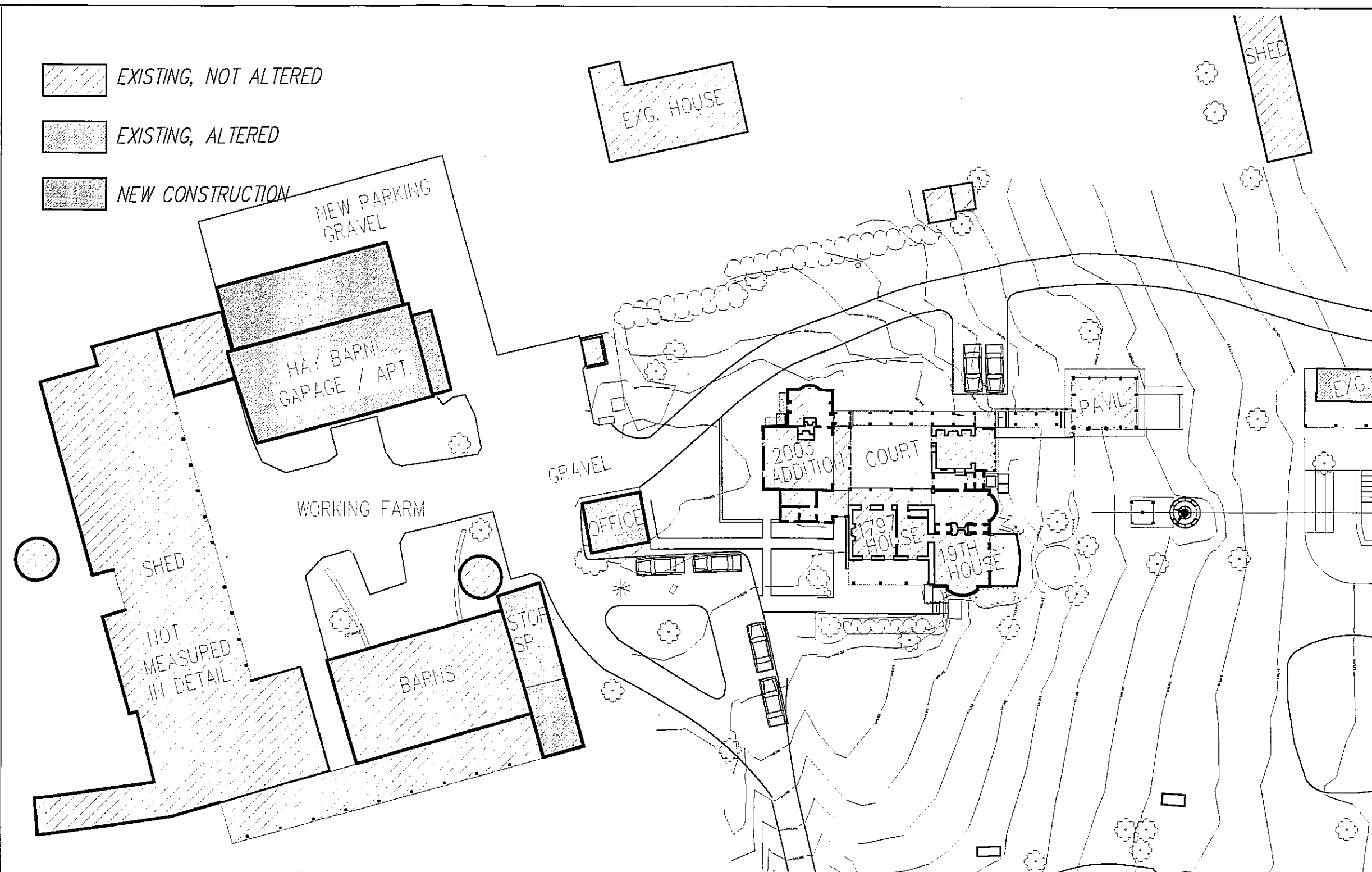
ROOF SNOW LOAD:
30 PSF
FLOOR LOAD: 40 PSF,
30 PSF SLEEPING
DECK:
MIN. 40 PSF
ROOMS OTHER
THAN SLEEPING: 40 PSF
STAIRS: MIN. 40 PSF
FLOOR/CEILING LIVE LOAD
DEFLECTION: L/360

DESIGN CRITERIA

CONCRETE: STRUCT.
CONC. SHALL
BE DESIGNED IN
ACCORDANCE W/

THE "BUILDING CODE REQ.'S FOR REINF. CONC. (ACI 318-99). THE CONC. USED SHALL HAVE MIN. ULTIMATE COMPRESSIVE STRENGTH OF 3500 PSI FOR 3000 PSI @ 28 DAYS FOR ALL OTHERS. STEEL: THE REINF. OF ASTM A615 GRADE 60 SHALL BE USED IN ALL THE CONC. STRUCTURES. STRUCTURAL STEEL: SHALL BE DESIGNED IN ACCORD. W/ "SPEC. FOR STRUC. STEEL BLDGS. (AISC ALLOW. STRESS DES. 9TH EDITION) STEEL SHAPES, PLATES, BARS, CHANNELS, & ANGLES OF GRADE ASTM 36 SHALL BE USED LUMBER: ALL FRAMING SHALL BE SPRUCE, PINE, HEMFIR NO.1/ NO.2 OR BETTER U.N.O.

SOIL BEARING: 2000 PSF
TERMITE INFESTATION: MODERATE TO HEAVY
DECAY PROBABILITY: SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY: B
FROST LINE DEPTH: 30 IN.
WINTER DESIGN TEMP: 13°F
FLOOD HAZARDS: NO
CONCRETE WEATHERING: SEVERE



DOOR SCHEDULE

Symbol	Type	Manuf./Style	muntin pattern	Material	Unit size	Comments
(A)	9' Garage door	custom	n/a	Wood	9'-0" x 9'-0"	insulated
(B)	7' Garage door	Designer Doors, Carozza model # BSVN-000, BSVN-241, or BSVN-242	n/a	Wood	9'-0" x 7'-0"	insulated
(C)	8' Garage door	custom	n/a	Wood	9'-0" x 8'-0"	insulated
(2)	Inswing door	To be specified by contractor	6 lights over panel	Clad Wood	3'-0" x 6'-8"	
(3)	Inswing door	To be specified by contractor	6 lights over panel	Clad	2'-10" x 6'-8"	
(4)	Inswing Fr. doors	To be specified by contractor	5/5 grille	Clad	5'-0" x 7'-2"	
(5)	Inswing door, interior	To be specified by contractor	n/a	Wood	3'-0" x 6'-8"	
(6)	Inswing door, interior	To be specified by contractor	n/a	Wood	2'-8" x 6'-8"	
(7)	bi-part door, interior	To be specified by contractor	n/a	Wood	3'-0" x 6'-8"	
(8)	attic hatch, interior	To be specified by contractor	n/a	Wood	2'-6" x 3'-8"	
(9)	bi-part door, interior	To be specified by contractor	n/a	Wood	2'-6" x 6'-8"	

WINDOW SCHEDULE

Symbol	Type	Manuf./Style	muntin pattern	Material	Unit size	Comments
(A)	Casement	W'shield 11-2840	6 over 6, SDL	Clad, White	2'-8" x 3'-8 7/8"	1 egress unit simulated to look like O/H tempered
(B)	Casement	W'shield 11-2850	6 over 6, SDL	Clad, White Wood on ex-barn	2'-8" x 4'-6 7/8"	1 egress unit simulated to look like O/H tempered
(C)	Awning	W'shield 11-2436	6 over 6, SDL	Clad, White	2'-4" x 3'-4 3/4"	w/ expansion crank simulated to look like O/H
(D)	Casement	W'shield 11-2440	6 over 6, SDL	Vinyl, White	2'-4" x 3'-8 7/8"	shower window to be vinyl simulated to look like O/H
(E)	Double Hung	W'shield 11-2616	6 over 6, SDL	Clad, White Wood	2'-7 5/16" x 3'-5 1/8"	

ELECTRICAL SCHEDULE

Symbol	Type	Symbol	Type
Ⓛ	duplex outlet	Ⓛ	recessed downlight
ⓁⓁ	duplex outlet w/ ground fault interrupt	ⓁⓁ	adjustable recessed downlight
ⓁⓁⓁ	duplex outlet waterproof w/ ground fault interrupt	ⓁⓁⓁ	shower light
ⓁⓁⓁⓁ	special purpose outlet or connection	ⓁⓁⓁⓁ	wall washer
ⓁⓁⓁⓁⓁ	exhaust fan	ⓁⓁⓁⓁⓁ	exterior wall mounted light
ⓁⓁⓁⓁⓁⓁ	media/td jack	ⓁⓁⓁⓁⓁⓁ	exterior wall mounted light
ⓁⓁⓁⓁⓁⓁⓁ	single pole switch	ⓁⓁⓁⓁⓁⓁⓁ	hard-wired smoke detector
ⓁⓁⓁⓁⓁⓁⓁⓁ	switch w/ preset dimmer	ⓁⓁⓁⓁⓁⓁⓁⓁ	int./ ext. wall mounted light
ⓁⓁⓁⓁⓁⓁⓁⓁⓁ	3 way switch	ⓁⓁⓁⓁⓁⓁⓁⓁⓁ	interior wall mounted light
ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	3 way switch w/ dimmer	ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	interior ceiling mounted light
ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	4 way switch	ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	monopoint ceiling mounted light
ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	fluorescent light	ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	int. ckg mid light, utility
ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	chime	ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	ceiling mounted pendant light
ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	door bell	ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	exterior ceiling mounted light
ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	fan - 36" dia.	ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	int. ckg mount, pull-cord light
ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	fan - 48" dia.	ⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁⓁ	int. ckg mount outlet

MICHE BOOZ

ARCHITECT

CS1

208/Market St
Bryokeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

FREEMAN
HAY BARN
GARAGE/APT.

4601 Damascus Road
Gaithersburg, MD 20882
Montgomery County

Drawings:

COVER SHEET
1 inch = 40 feet

Dates:

SCHEMATICS OCT 05
H.A.W.P. SET 3 NOV 05
PERMIT SET 22 DEC 05
TODAY'S DATE 22 DEC 05

INDEX OF DRAWINGS

AB1	AS-BUILT DRAWINGS
A1	FOUNDATION PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	ELEVATIONS
A5	ELEV. & SECTIONS
A6	ELEV. & SECTIONS
S1	2ND FLR. FRAMING
S2	ATTIC FLR. FRAMING
DT1	WALL SECT. DETAILS

Permits:

H.A.W.P. Permit:
382039

Building Permit:

Electrical Permit:

Consultants:

General Contractor:
Lofgren Construction
21014 Zion Road
Laytonsville, MD 20882

Structural Engineer:
T.B.D.

Mechanical Consultant:
T.B.D.

Electrical Contractor:
T.B.D.

Code:

IRC 2003

APPROVED
Montgomery County
Historic Preservation Commission
Julia DiMatta
12-26-05

PERMIT SET- 22 DECEMBER 2005

MICHE BOOZ

ARCHITECT

AB1

208/Market St
Brookeville
Maryland 20833
(301)774 6911
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Project:

FREEMAN
HAY BARN
GARAGE/APT.

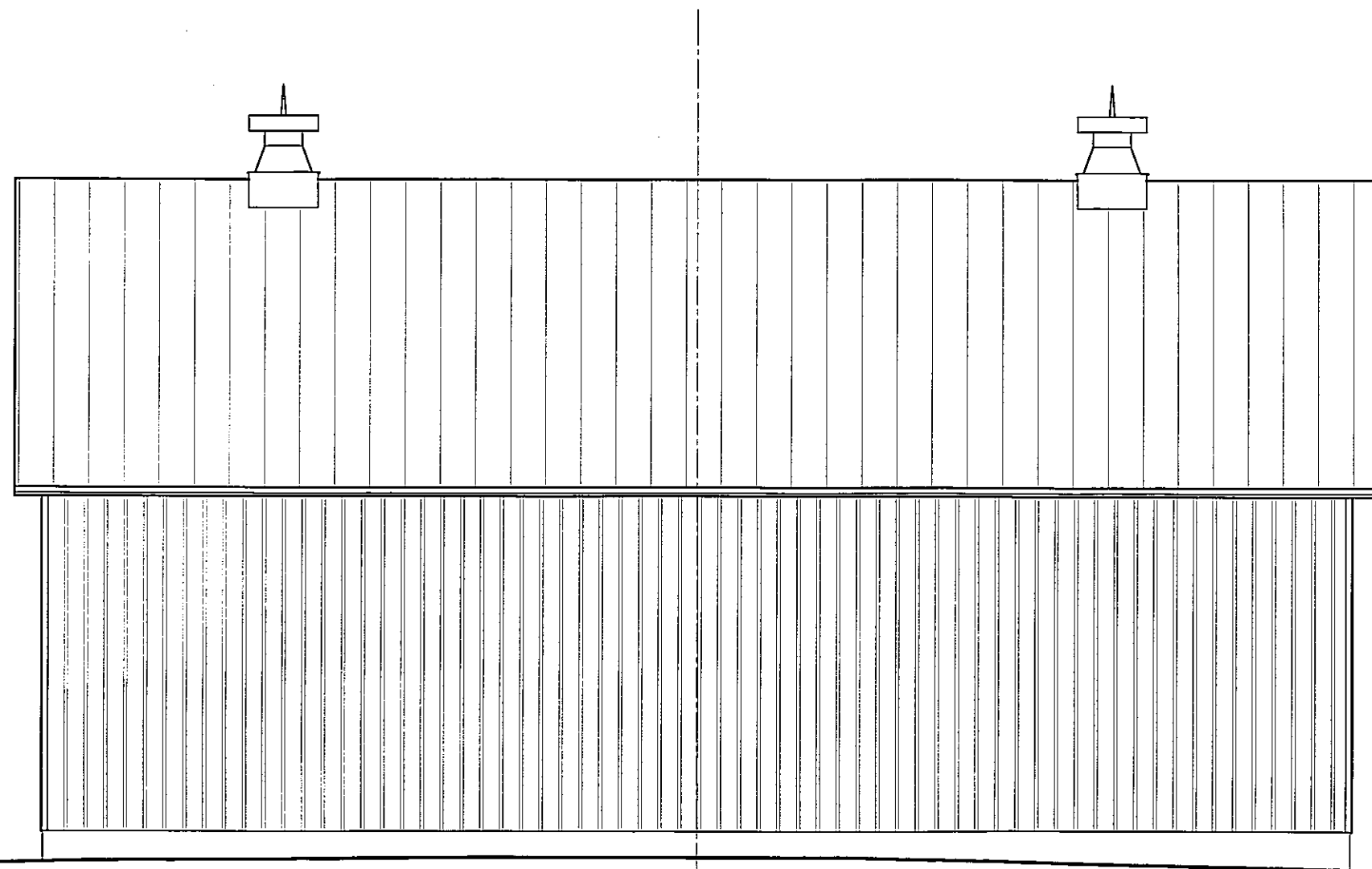
4601 Damascus Road
Gaithersburg, MD 20882
Montgomery County

Drawings:

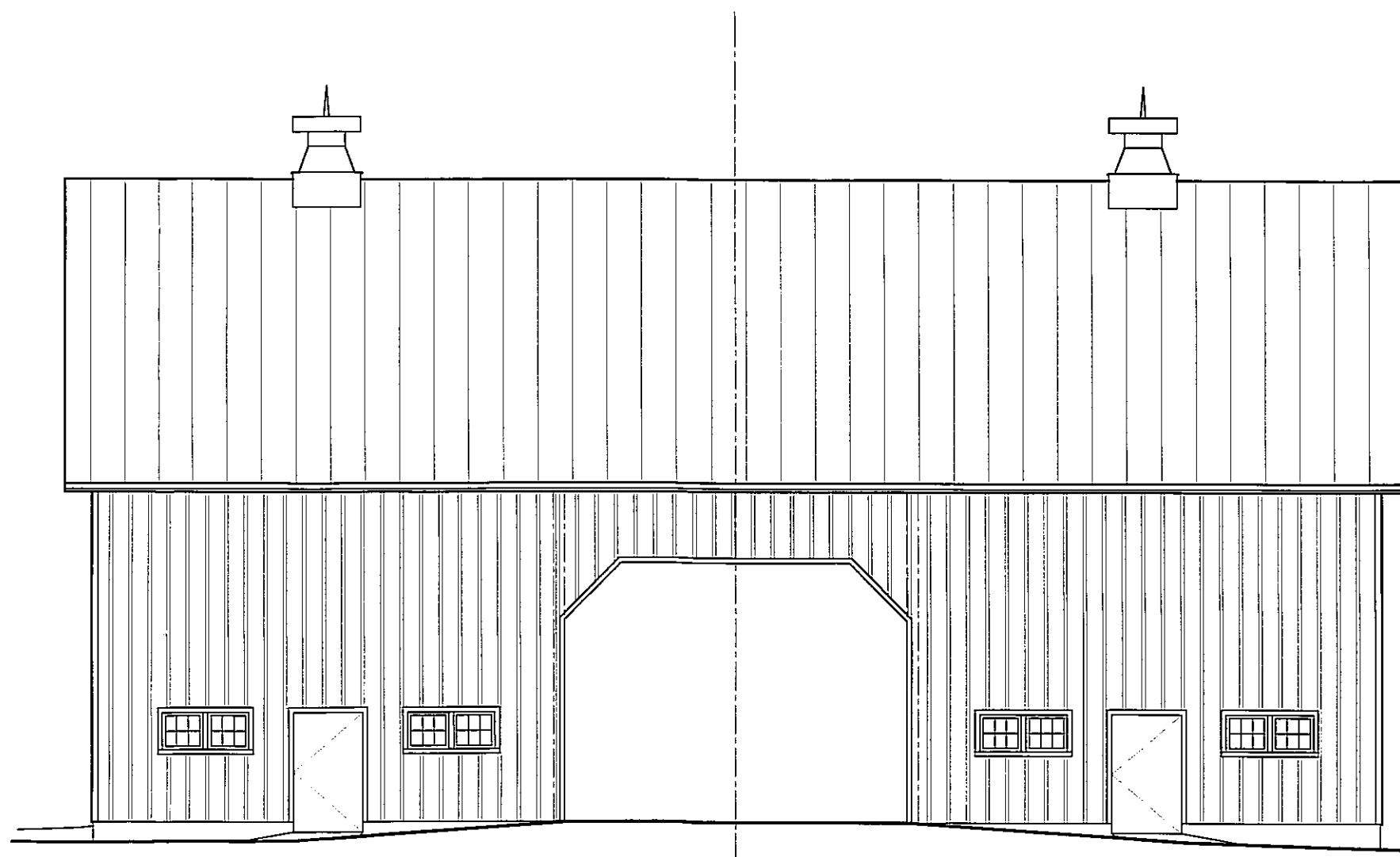
AS-BUILT DRAWINGS

Dates:

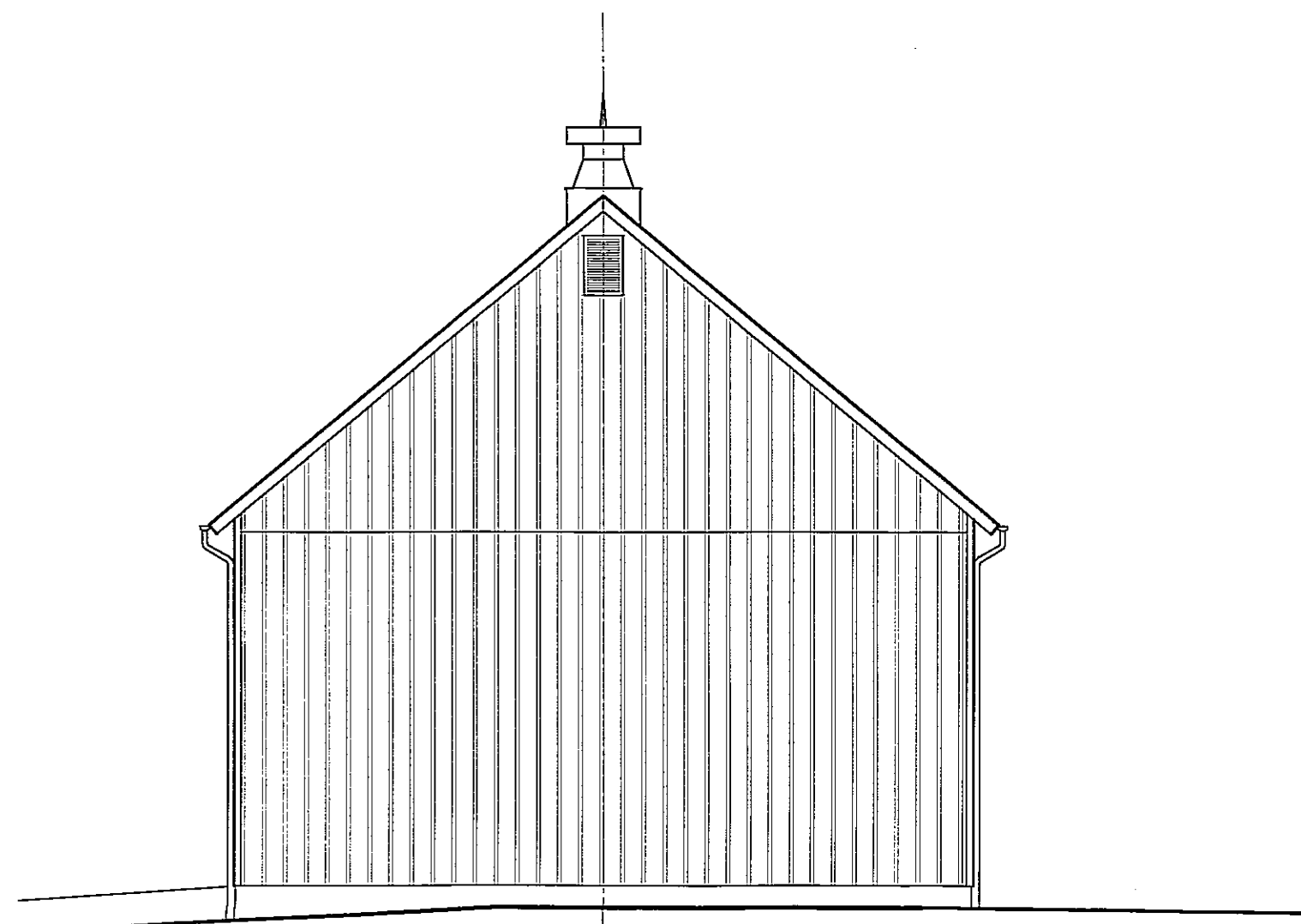
SCHEMATICS OCT 05
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TODAY'S DATE 22 DEC 05



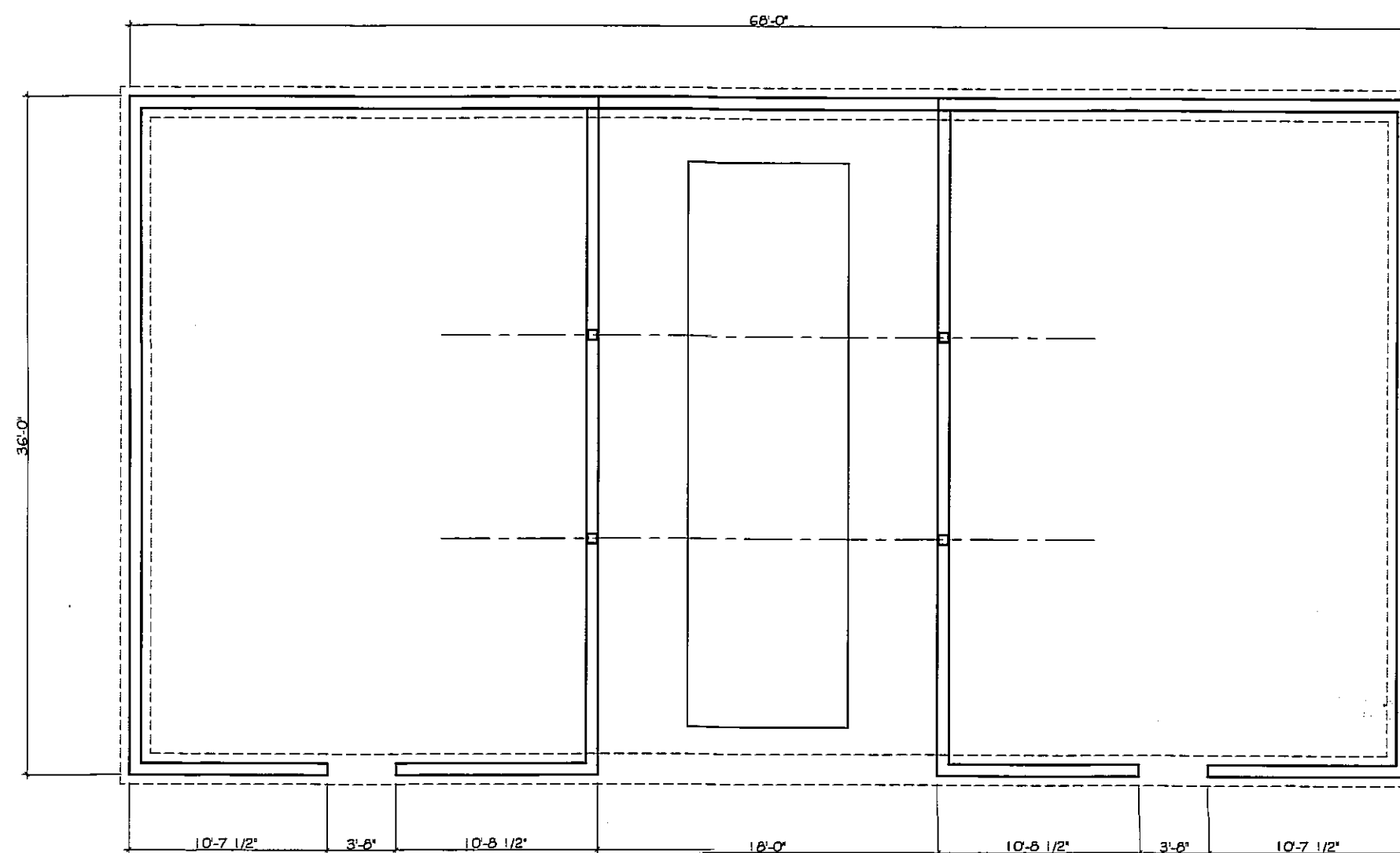
1 AS-BUILT NORTH ELEVATION
ABI SCALE: 1/4" = 1'-0"



2 AS-BUILT SOUTH ELEVATION
ABI SCALE: 1/4" = 1'-0"



3 AS-BUILT WEST ELEVATION
ABI SCALE: 1/4" = 1'-0"



4 AS-BUILT FLOOR PLAN
ABI SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
William D. Malley

PERMIT SET- 22 DECEMBER 2005

MICHE BOOZ

ARCHITECT

A1

208/Market St
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Project:

FREEMAN
HAY BARN
GARAGE/APT.

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Gaithersburg, MD 20882
Montgomery County

Drawings:

FOUNDATION PLAN

Dates:

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TODAY'S DATE 22 DEC 05

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Historic Preservation Commission

Julia O'Malley

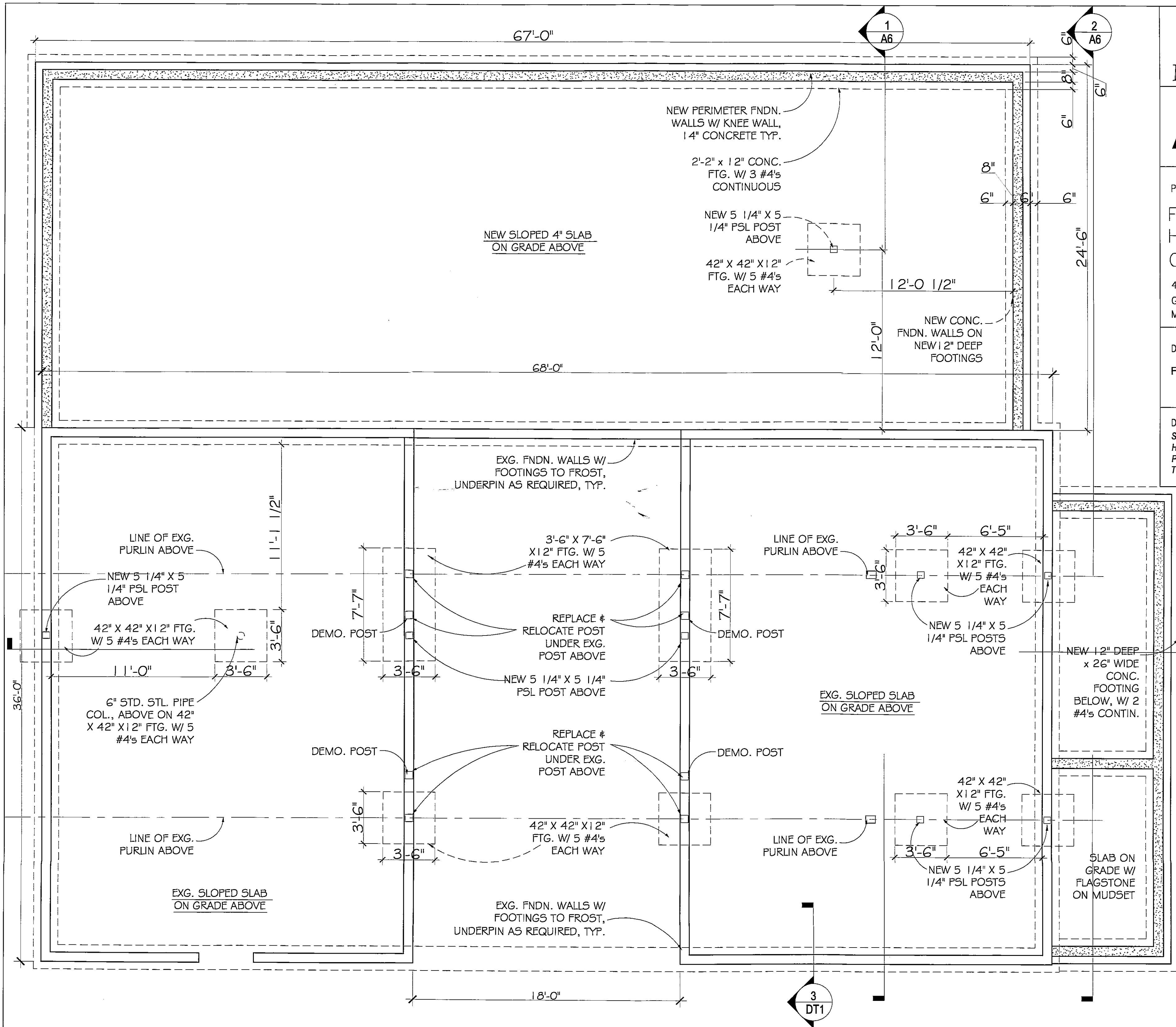
1
A5

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

1
A1

PERMIT SET- 22 DECEMBER 2005



67'-0"

68'-0"

18'-0"

1
A6

2
A6

NEW PERIMETER FNDN.
WALLS W/ KNEE WALL,
1 1/4" CONCRETE TYP.

2'-2" x 12" CONC.
FTG. W/ 3 #4's
CONTINUOUS

NEW 5 1/4" X 5
1/4" PSL POST
ABOVE

42" X 42" X 12"
FTG. W/ 5 #4's
EACH WAY

NEW SLOPED 4" SLAB
ON GRADE ABOVE

NEW CONC.
FNDN. WALLS ON
NEW 1 1/2" DEEP
FOOTINGS

12'-0 1/2"

12'-0"

EXG. FNDN. WALLS W/
FOOTINGS TO FROST,
UNDERPIN AS REQUIRED, TYP.

3'-6" X 7'-6"
X 12" FTG. W/ 5
#4's EACH WAY

LINE OF EXG.
PURLIN ABOVE

3'-6"

42" X 42"
X 12" FTG.
W/ 5 #4's
EACH WAY

NEW 5 1/4" X 5
1/4" PSL POSTS
ABOVE

LINE OF EXG.
PURLIN ABOVE

NEW 5 1/4" X 5
1/4" PSL POST
ABOVE

42" X 42" X 12"
FTG. W/ 5
#4's EACH WAY

11'-0"

6" STD. STL. PIPE
COL., ABOVE ON 42"
X 42" X 12" FTG. W/ 5
#4's EACH WAY

DEMO. POST

REPLACE &
RELOCATE POST
UNDER EXG.
POST ABOVE

DEMO. POST

NEW 5 1/4" X 5 1/4"
PSL POST ABOVE

DEMO. POST

REPLACE &
RELOCATE POST
UNDER EXG.
POST ABOVE

DEMO. POST

42" X 42" X 12"
FTG. W/ 5 #4's
EACH WAY

LINE OF EXG.
PURLIN ABOVE

EXG. SLOPED SLAB
ON GRADE ABOVE

NEW 1 1/2" DEEP
x 26" WIDE
CONC.
FOOTING
BELOW, W/ 2
#4's CONTIN.

LINE OF EXG.
PURLIN ABOVE

EXG. SLOPED SLAB
ON GRADE ABOVE

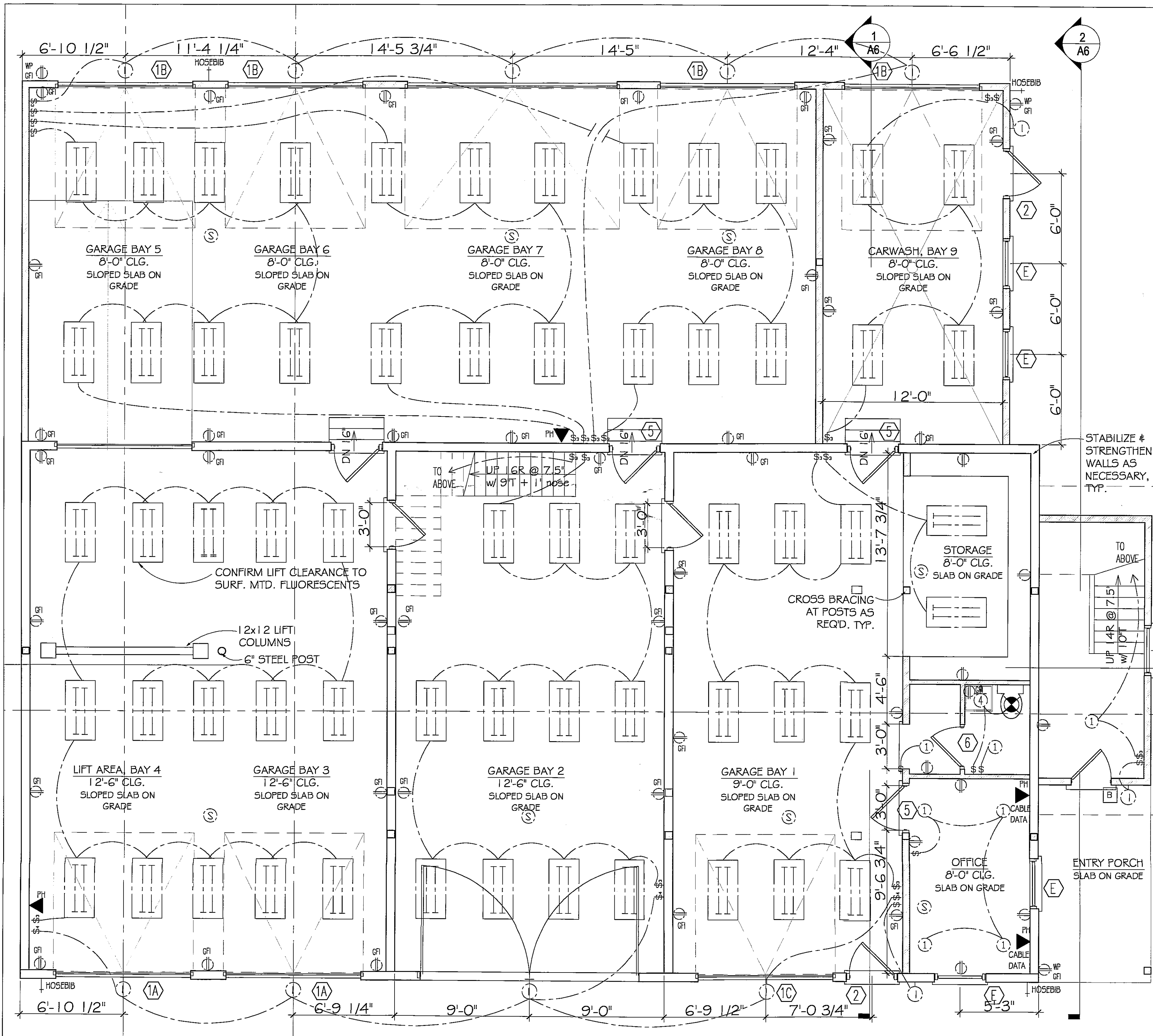
EXG. FNDN. WALLS W/
FOOTINGS TO FROST,
UNDERPIN AS REQUIRED, TYP.

42" X 42"
X 12" FTG.
W/ 5 #4's
EACH WAY

NEW 5 1/4" X 5
1/4" PSL POSTS
ABOVE

SLAB ON
GRADE W/
FLAGSTONE
ON MUDSET

3
DT1



MICHE BOOZ
 ARCHITECT
A2
 208/Market St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

Project:
FREEMAN HAY BARN GARAGE/APT.
 4601 Damascus Road
 Gaithersburg, MD 20882
 Montgomery County

Drawings:
FIRST FLOOR PLAN

Dates:
 SCHEMATICS OCT 05
 H.A.W.P. SET 3 NOV 05
 PERMIT SET 22 DEC 05
 TODAY'S DATE 22 DEC 05

APPROVED
 Montgomery County
 Historic Preservation Commission
Judith D. Malley

1 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
A2

PERMIT SET- 22 DECEMBER 2005

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ARCHITECT

A3

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Project:

FREEMAN
HAY BARN
GARAGE/APT.

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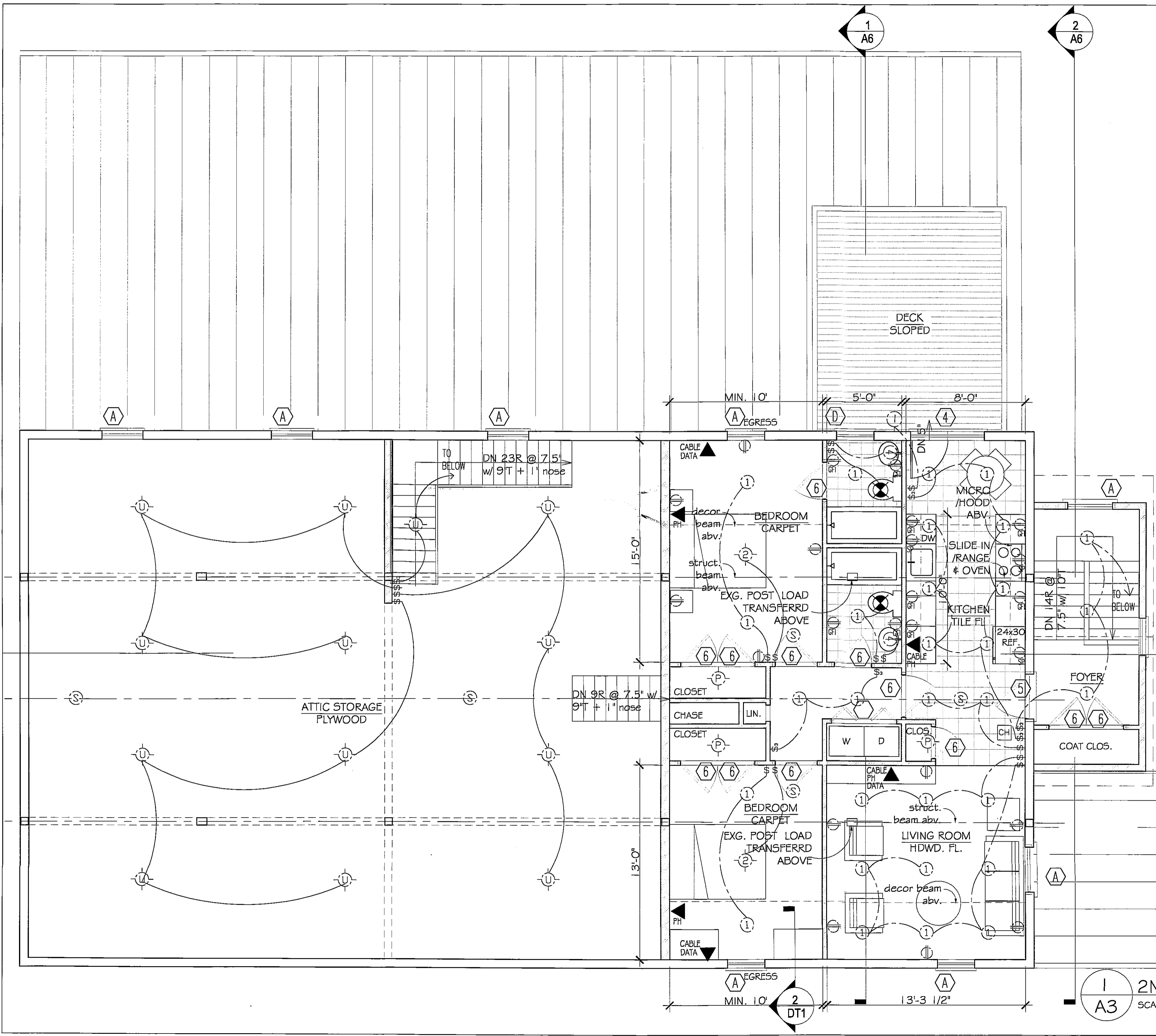
Drawings:

SECOND FLOOR PLAN

Dates:

SCHEMATICS OCT 05
H.A.W.P. SET 3 NOV 05
PERMIT SET 22 DEC 05
TODAY'S DATE 22 DEC 05

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Montgomery County
Historic Preservation Commission
Julia O'Malley



1
A3 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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NOTE: ALL "FF-GARAGE" NOTES REFER TO FINISH FLOOR ELEVATION AT SOUTH WALL

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ARCHITECT

A4

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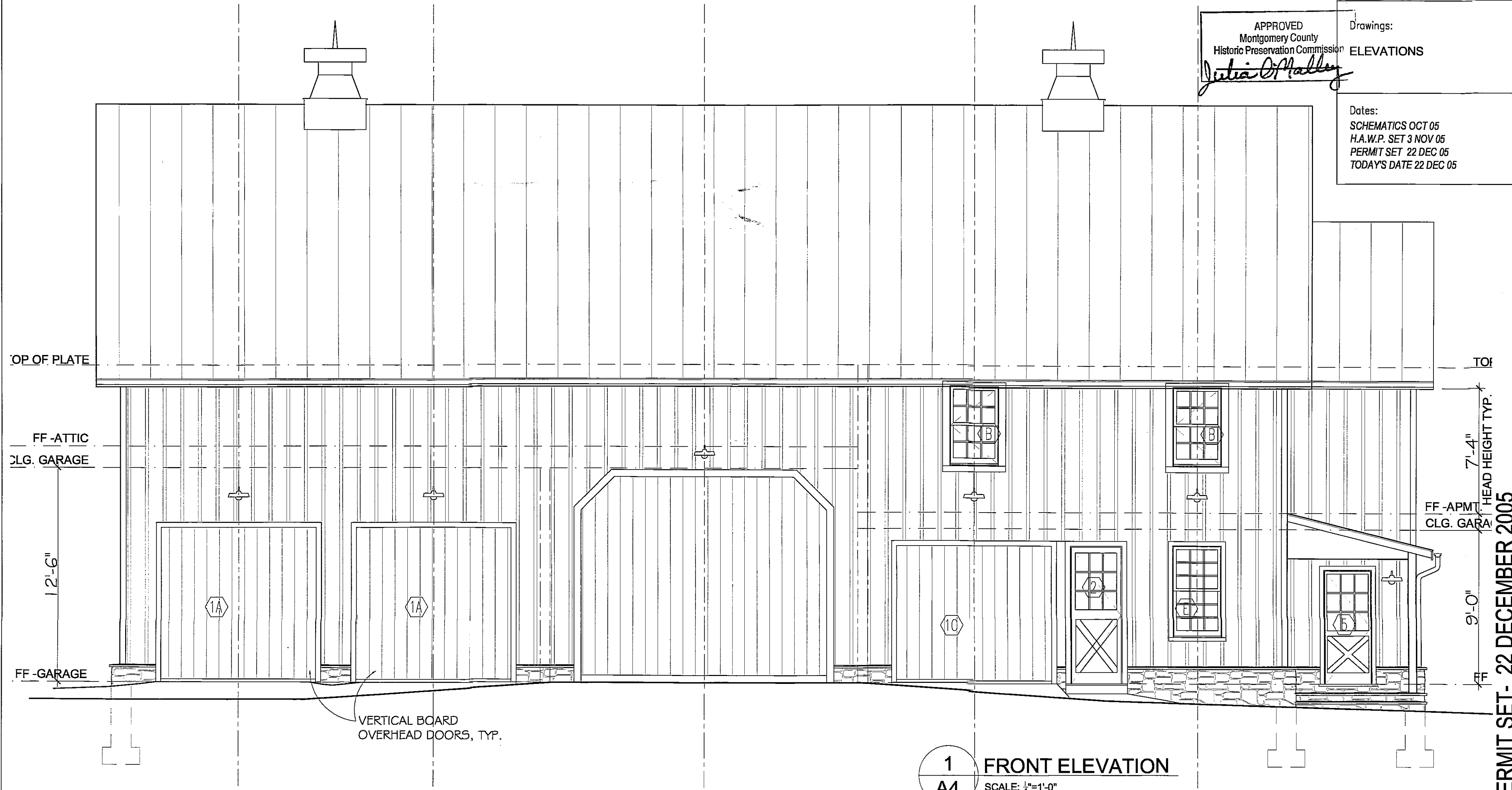
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4601 Damascus Road
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Montgomery County

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Montgomery County
Historic Preservation Commission
Julia O'Malley

Drawings:
ELEVATIONS

Dates:
SCHEMATICS OCT 05
H.A.W.P. SET 3 NOV 05
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1 FRONT ELEVATION
A4 SCALE: 1/4"=1'-0"

PERMIT SET- 22 DECEMBER 2005

NOTE: ALL "FF-GARAGE" NOTES REFER TO FINISH FLOOR ELEVATION AT SOUTH WALL

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ARCHITECT

A5

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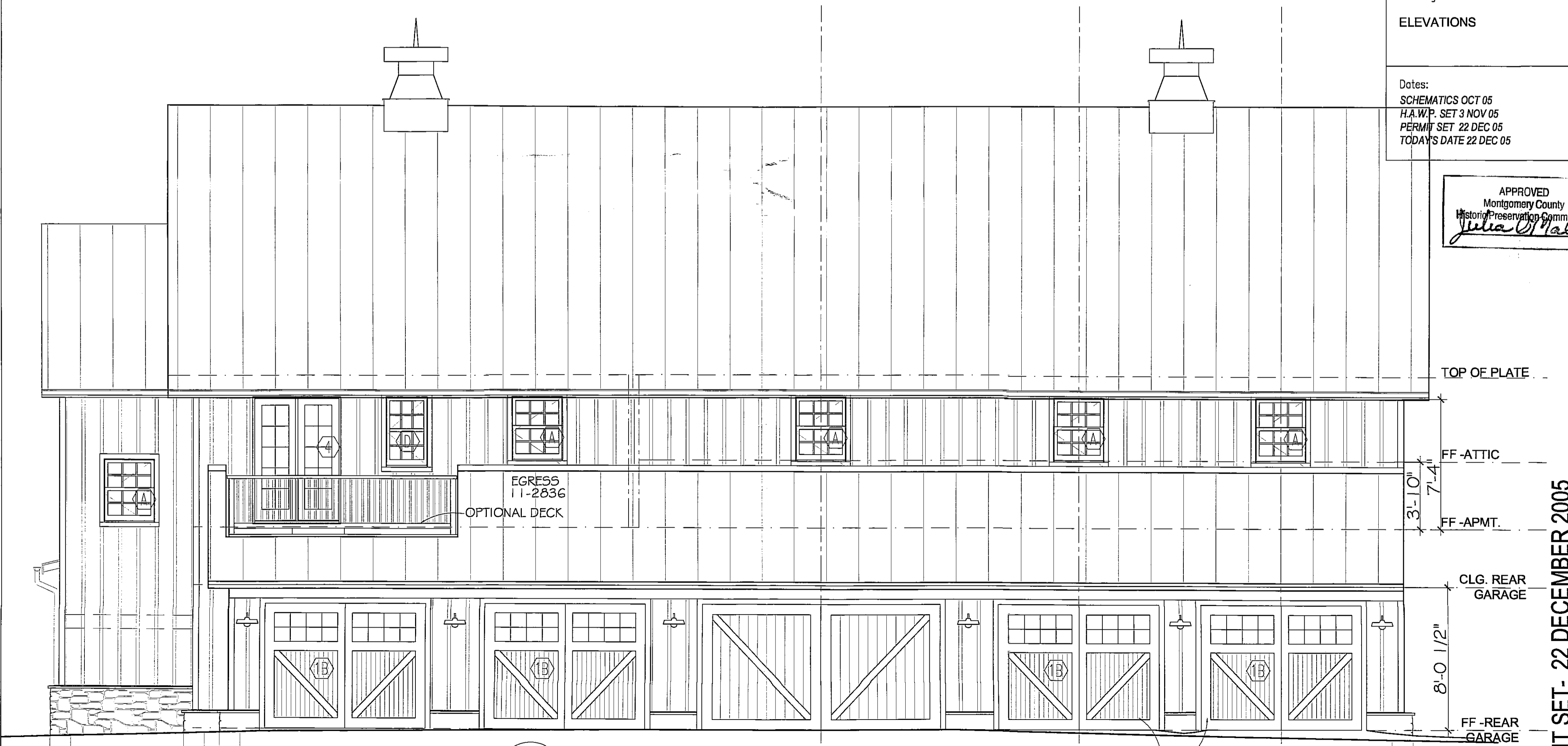
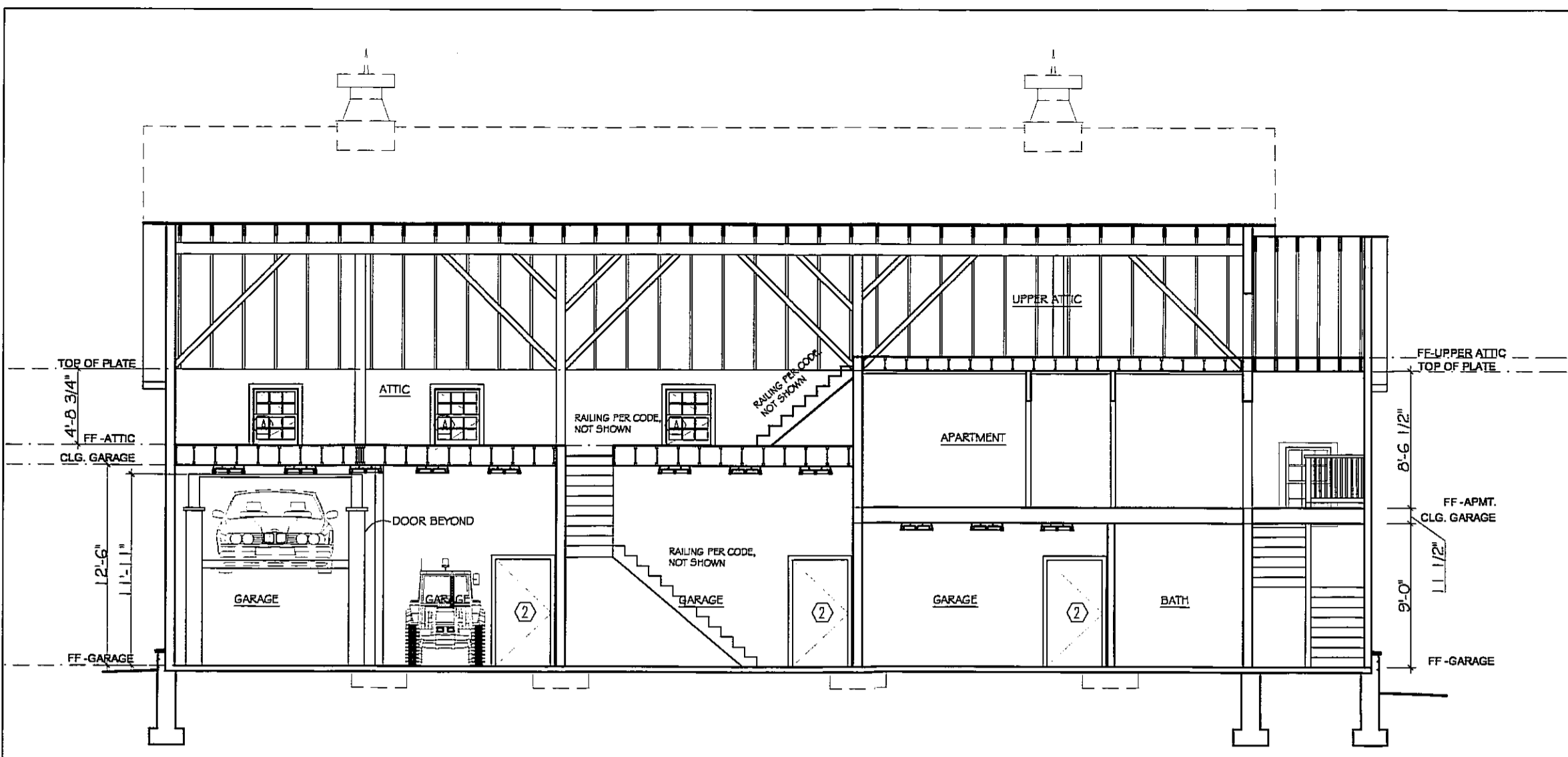
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Drawings:
ELEVATIONS

Dates:
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Historic Preservation Commission
Julia D. Malley



PERMIT SET - 22 DECEMBER 2005

NOTE: ALL "FF-GARAGE" NOTES REFER TO FINISH FLOOR ELEVATION AT SOUTH WALL

MICHE BOOZ

ARCHITECT

A6

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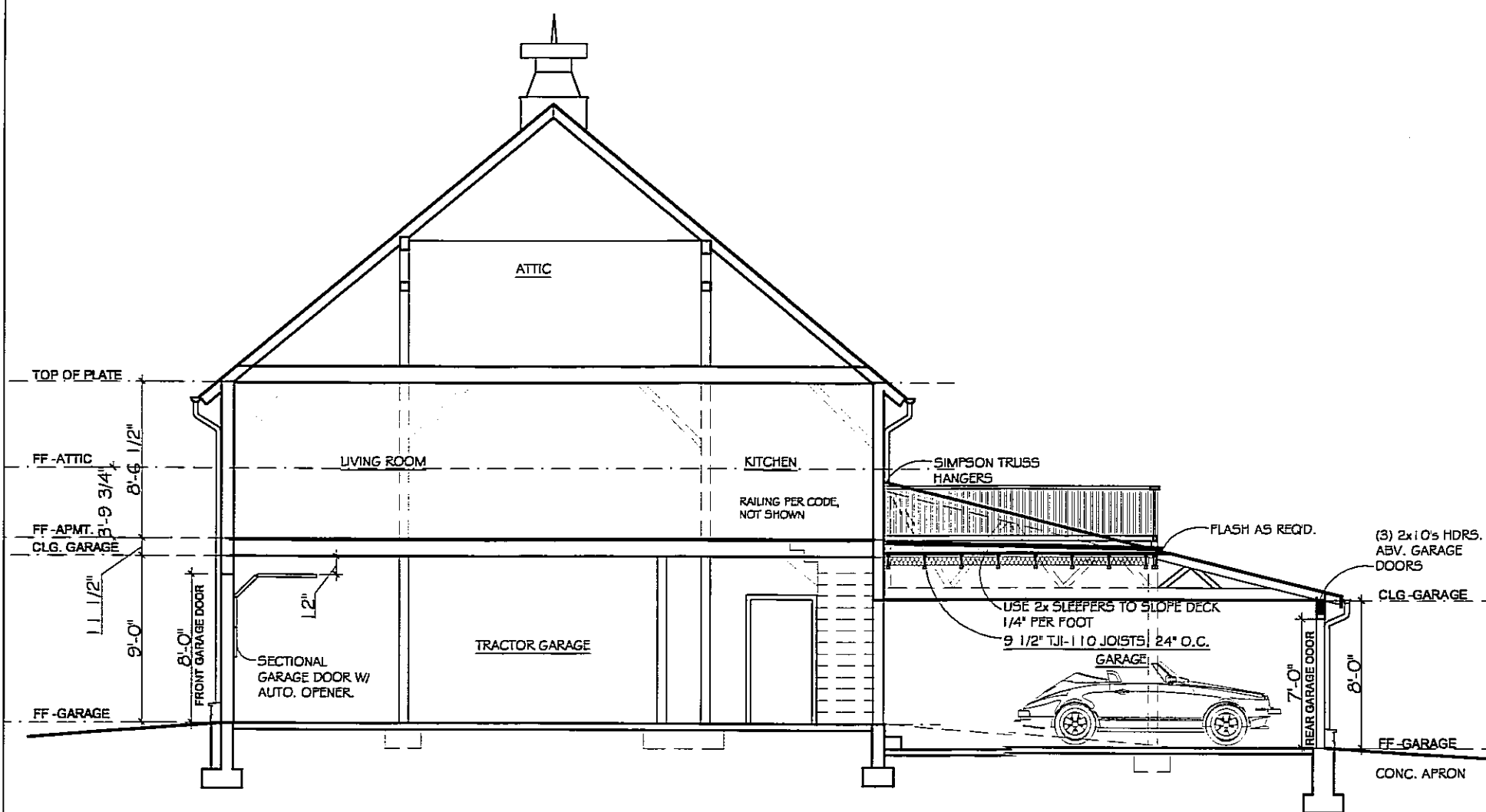
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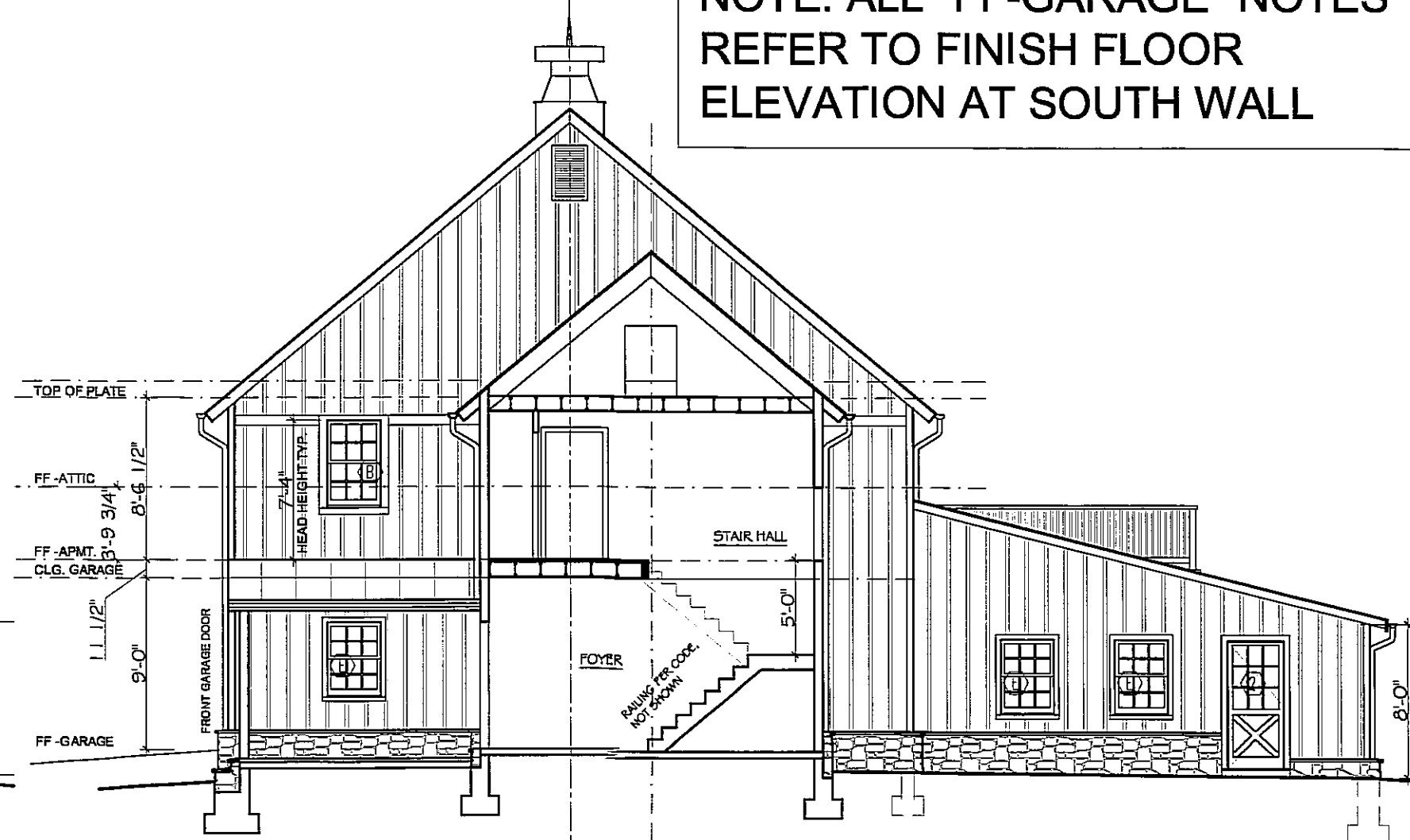
Drawings:
ELEVATIONS

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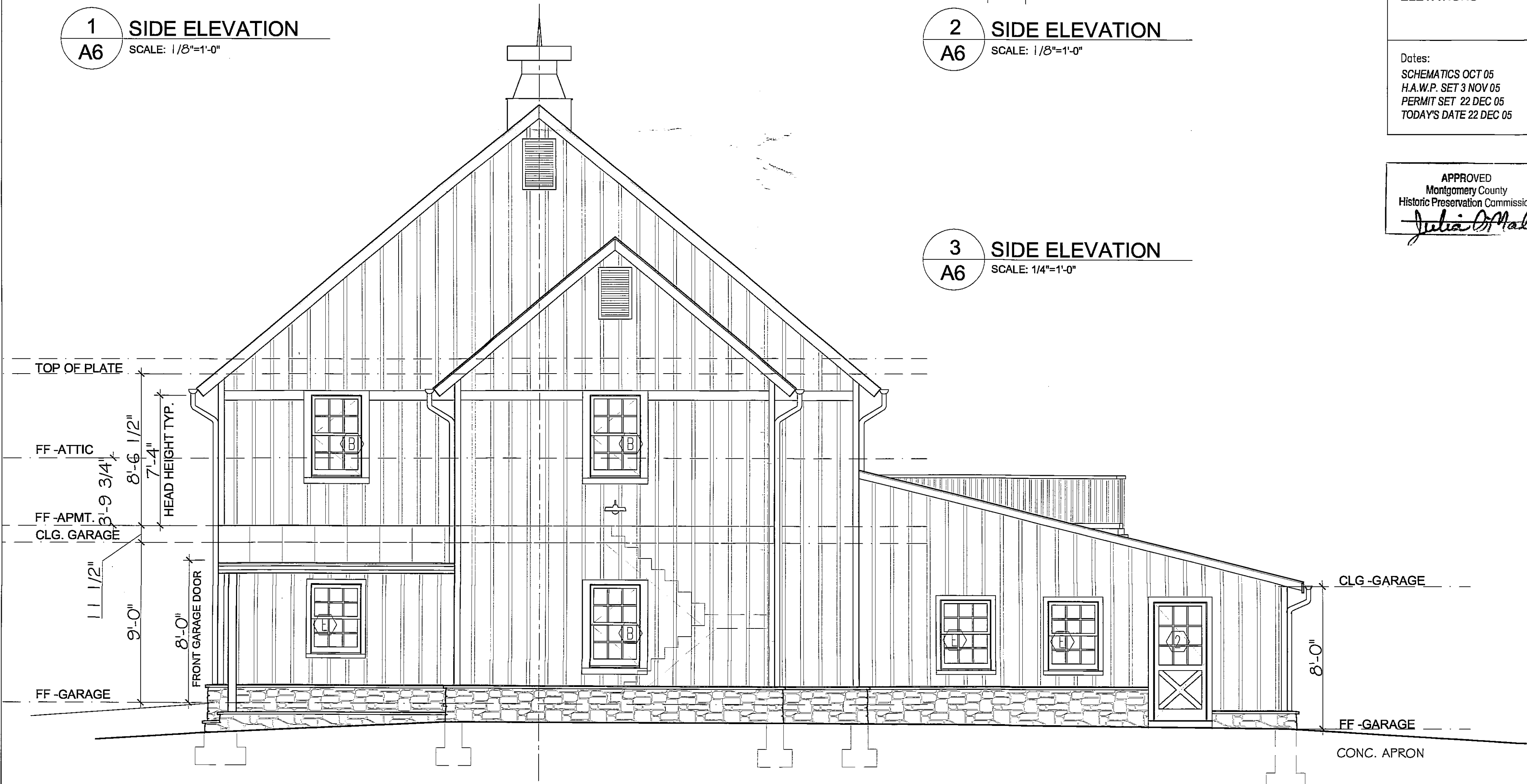
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Montgomery County
Historic Preservation Commission
Julia D. Malley



1 SIDE ELEVATION
A6 SCALE: 1/8"=1'-0"

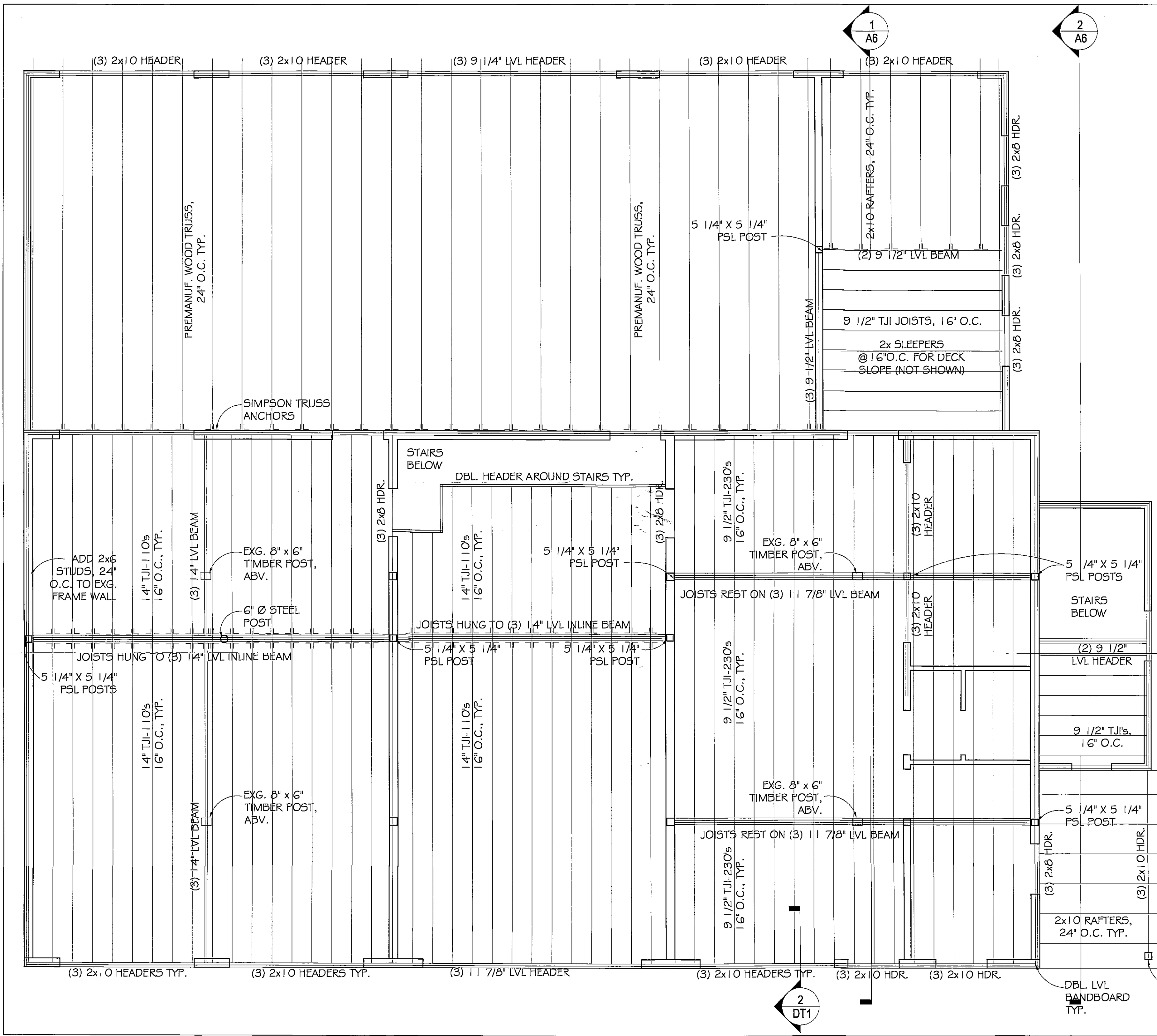


2 SIDE ELEVATION
A6 SCALE: 1/8"=1'-0"



3 SIDE ELEVATION
A6 SCALE: 1/4"=1'-0"

PERMIT SET- 22 DECEMBER 2005



MICHE BOOZ
 ARCHITECT
S1
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Project:
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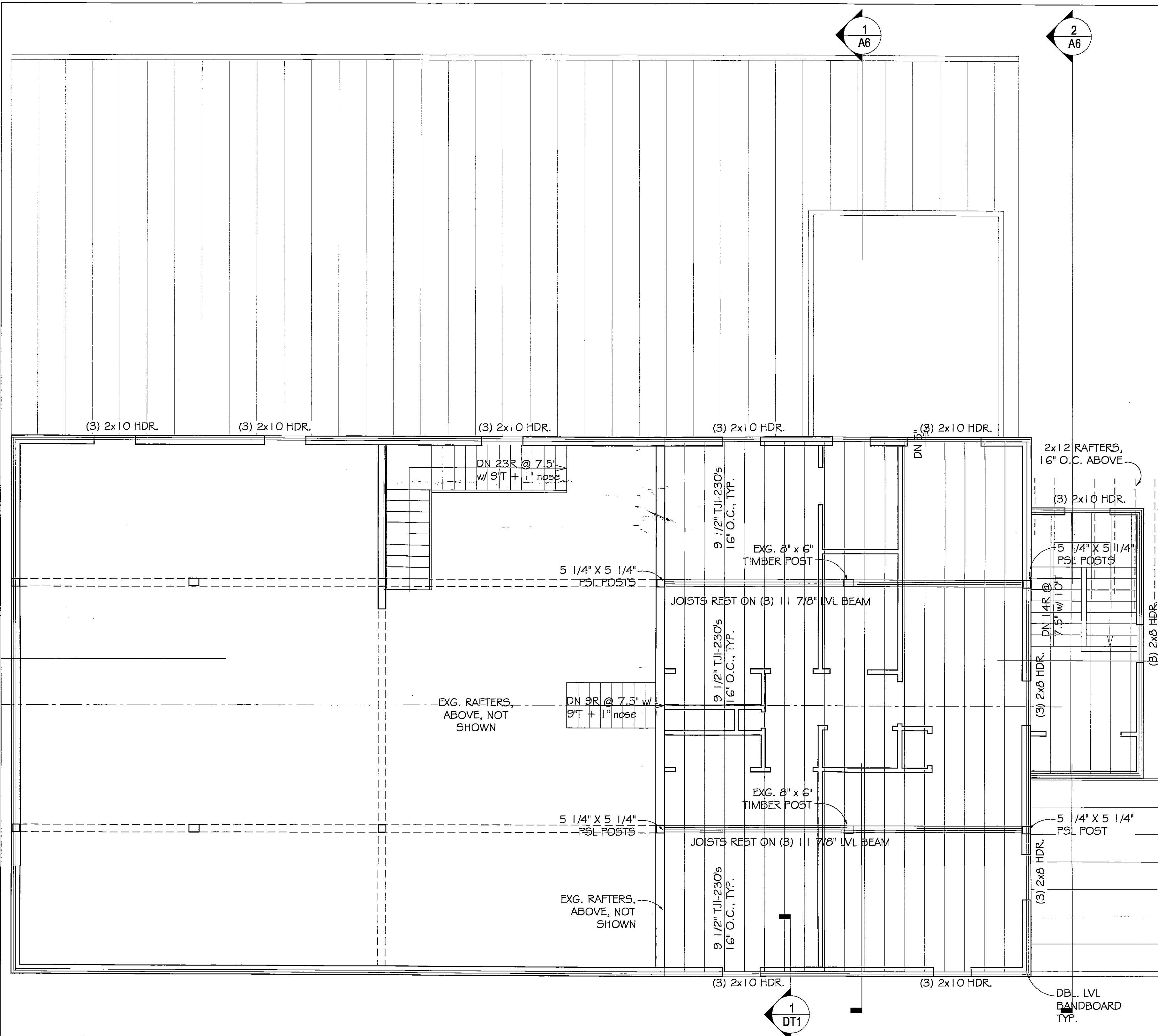
Drawings:
SECOND FLOOR FRAMING PLAN

Dates:
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 TODAY'S DATE 22 DEC 05

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley

1 2ND. FL. FRAMING PLAN
 SCALE: 1/4"=1'-0"
S1
1 (1ST FL. PLAN SHOWN BELOW)
 6x6 P.T. POST, PAINTED

PERMIT SET- 22 DECEMBER 2005



MICHE BOOZ

ARCHITECT

S2

208 Market St
Brookeville
Maryland 20833
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Project:
FREEMAN
HAY BARN
GARAGE/APT.
4601 Damascus Road
Gaithersburg, MD 20882
Montgomery County

Drawings:
ATTIC FLOOR FRAMING
PLAN

Dates:
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PERMIT SET 22 DEC 05
TODAY'S DATE 22 DEC 05

APPROVE
Montgomery County
Historic Preservation Commission
Julia D. Malley

1 ATTIC FL. FRAMING PLAN
SCALE: 1/4"=1'-0"

(2ND FL. PLAN SHOWN BELOW)
PERMIT SET- 22 DECEMBER 2005

1
A6

2
A6

1
A5

1
DT1

MICHE BOOZ

ARCHITECT

DT1

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

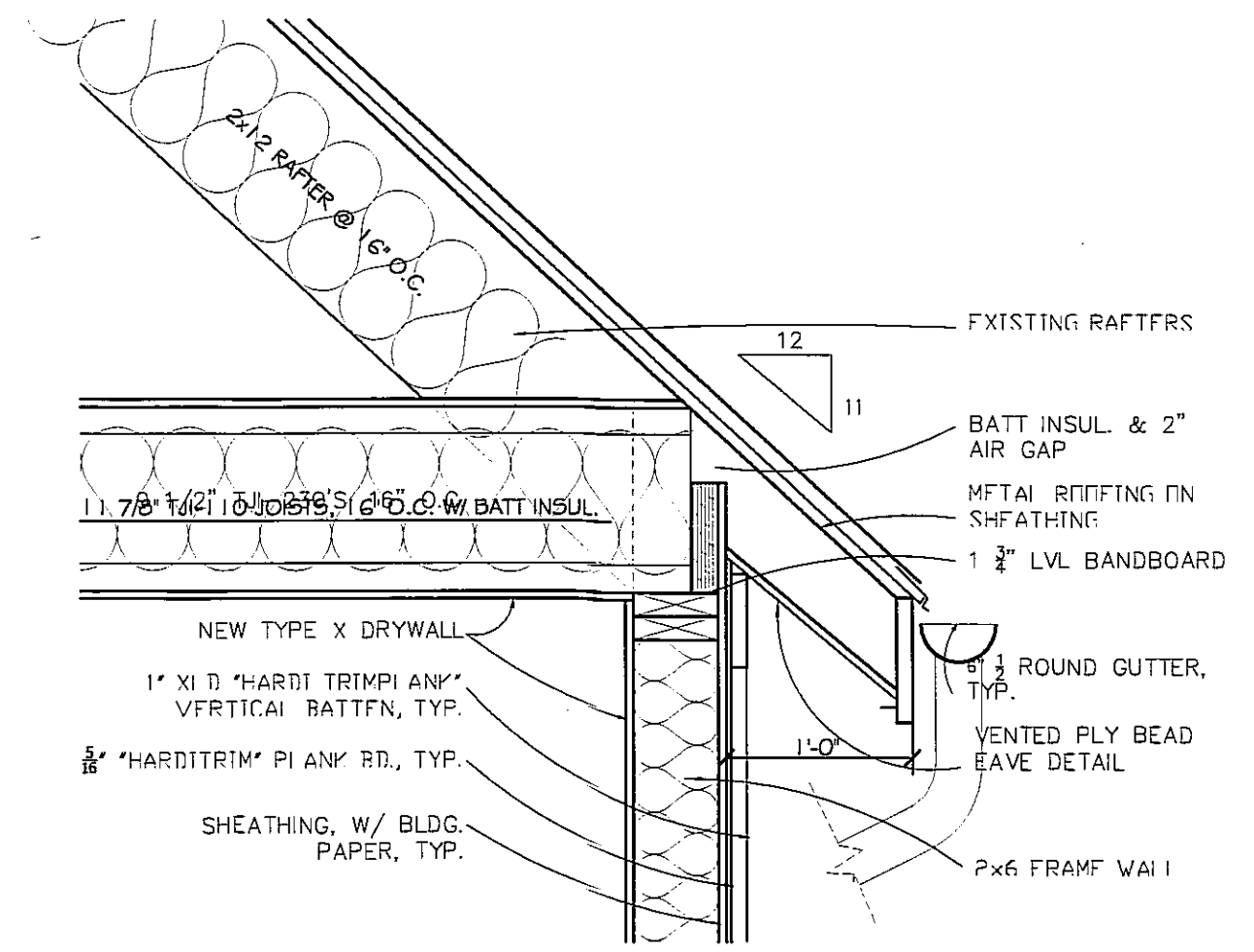
Project:
**FREEMAN
HAY BARN
GARAGE/APT.**
4601 Damascus Road
Gaithersburg, MD 20882
Montgomery County

Drawings:
WALL SECTION DETAILS

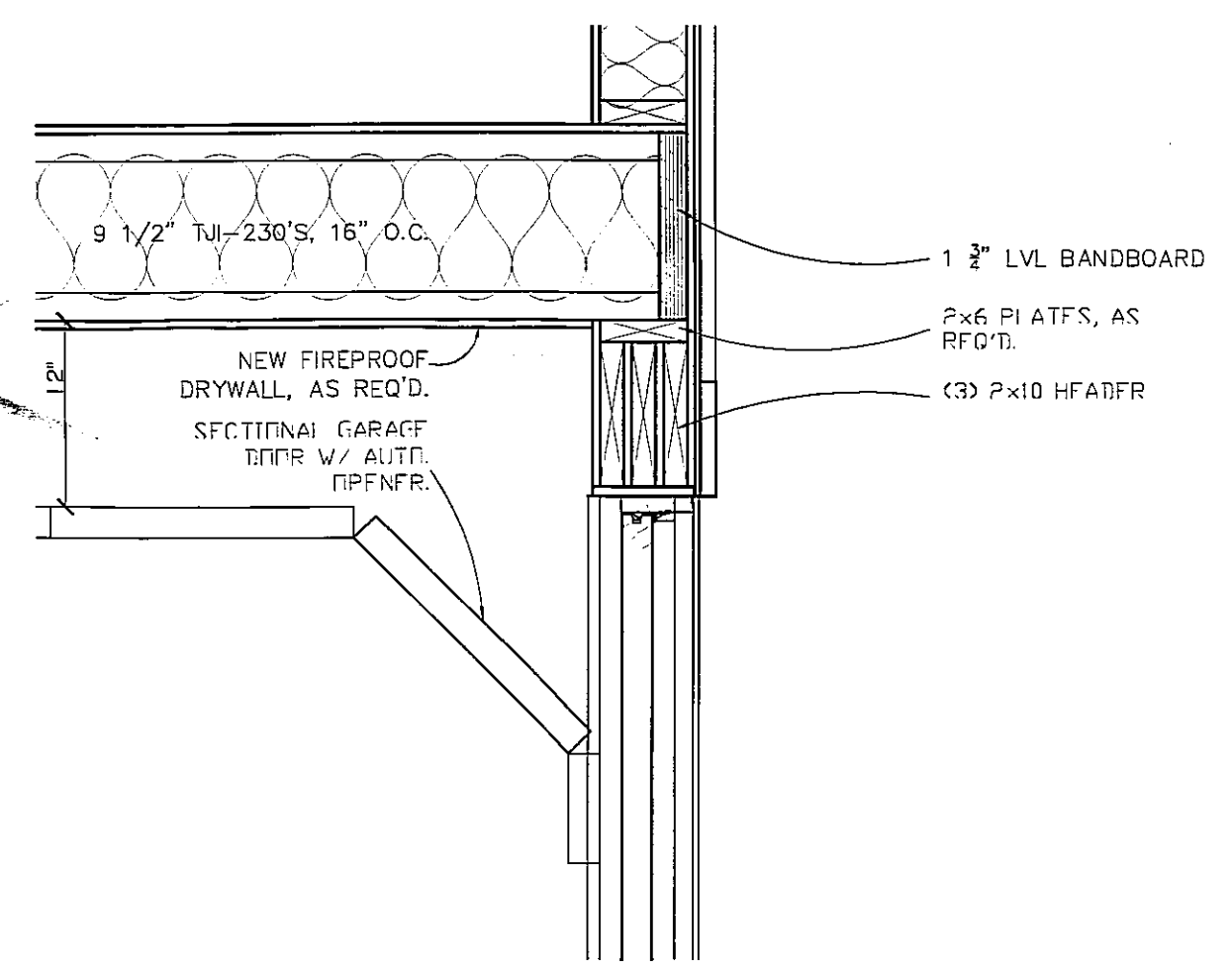
Dates:
SCHEMATICS OCT 05
H.A.W.P. SET 3 NOV 05
PERMIT SET 22 DEC 05
TODAY'S DATE 22 DEC 05

APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Malley

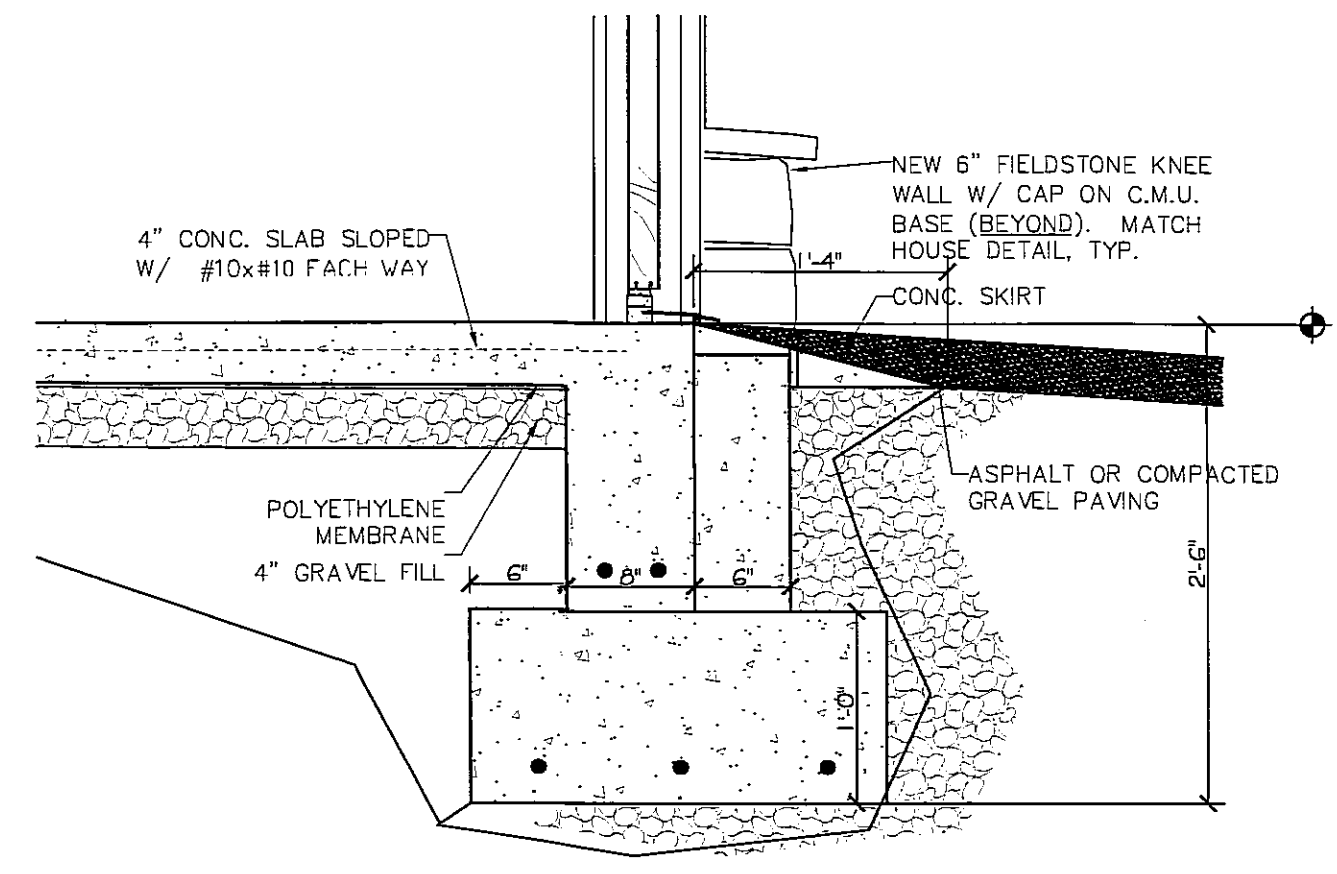
1 GARAGE SOFFIT DET.
DT1 SCALE: 1"=1'-0"



2 GARAGE HEADER DET.
DT1 SCALE: 1"=1'-0"



3 GARAGE FNDN. DET.
DT1 SCALE: 1"=1'-0"



PERMIT SET- 22 DECEMBER 2005

HPC

copy

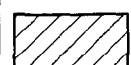
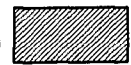
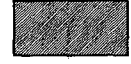
HPC CONCEPTUAL
SUBMITTAL
DIGITAL FILES

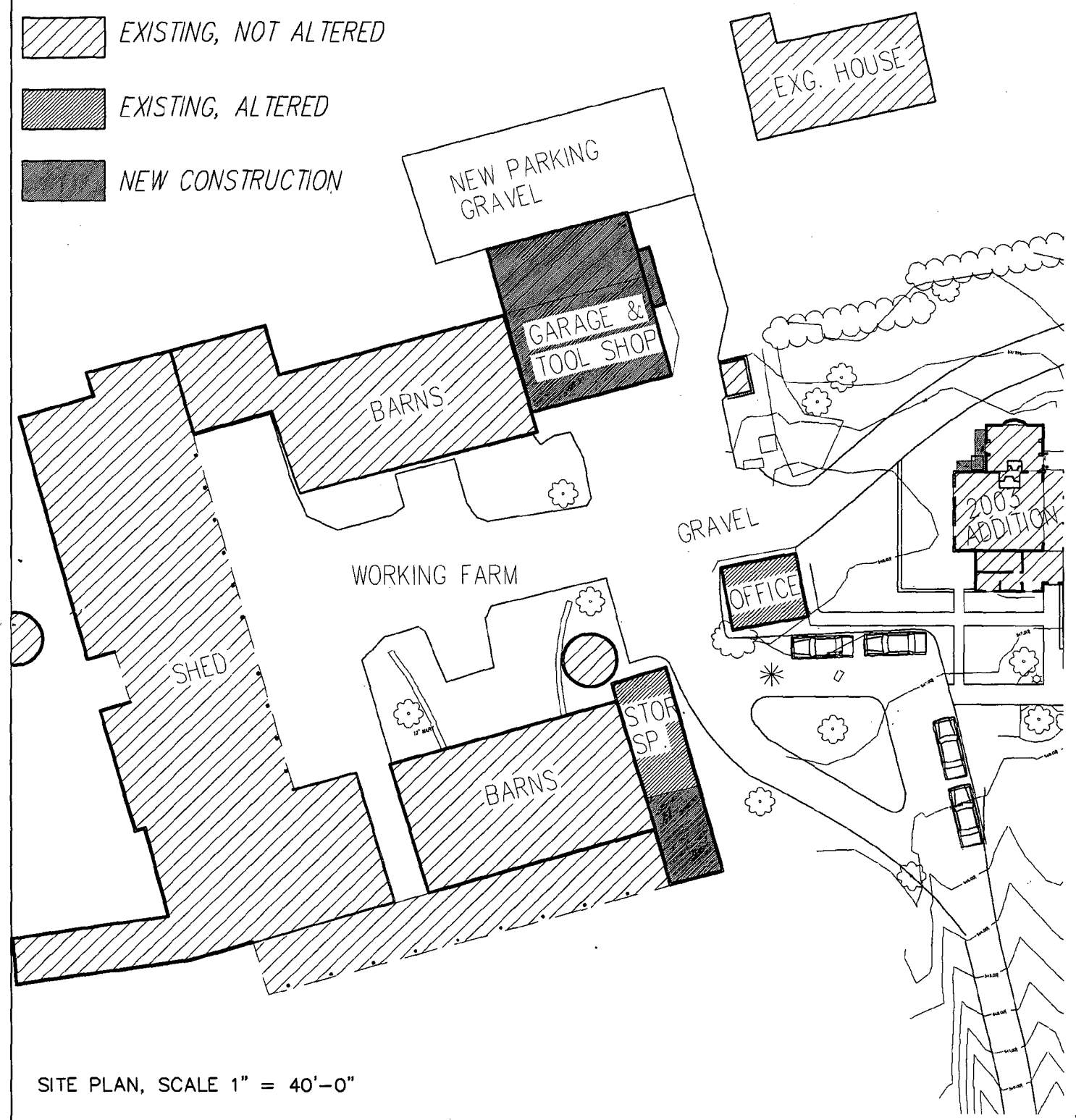
MICHE BOOZ ARCHITECT
TUSCULUM FARM PROPOSALS



4. 20. 05

R
RECORDABLE

-  EXISTING, NOT ALTERED
-  EXISTING, ALTERED
-  NEW CONSTRUCTION



SITE PLAN, SCALE 1" = 40'-0"

DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF
WIND LOAD:
90 MPH
CONCRETE WEATHERING:
SEVERE
TERMITE INFESTATION:
MODERATE TO HEAVY
DECAY PROBABILITY:
SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY:
B
FROST LINE DEPTH:
30 IN.
WINTER DESIGN TEMP:
13°F
FLOOD HAZARDS:
NO

SPECIES/GRADE OF FRAMING LUMBER: SPRUCE PINE OR FIR NO.1 OR NO.2

LOADS

ROOMS OTHER THAN SLEEPING:
MIN. 40 PSF
STAIRS:
MIN. 40 PSF
FLOOR/ CEILING DEFLECTION:
L/360

SQUARE FOOTAGE

ADDITION:
1ST FLOOR: 2000 SF
(MOSTLY GARAGE SPACE)
2ND FLOOR: 1000 SF

TOTAL: 3000 SF
(1/3 IS CONDITIONED SPACE)

ABBREVIATIONS

ABOVE APPROXIMATE AT AVERAGES BEAM BETWEEN BLOCKING BOARD BOTTOM OF BRICK BUILDING CEILING CLEAN OUT COLUMN CONCRETE CONC. MASONRY UNIT CONTINUOUS DETAIL DIAMETER DIMENSION DOOR DOWNSPOUT EACH ELEVATION ENTRANCE EXISTING FEET FLOOR FOUNDATION GLASS GRADE HARDWOOD HEIGHT INCH INSULATION INTERIOR LIGHT MASONRY OPENING MEDICINE CABINET METAL MINIMUM MISCELLANEOUS NUMBER ON CENTER OPENING PAINTED PLYWOOD PLASTER PLATE ROUGH OPENING RISER ROOM SECTION SHEET STEEL STONE THRESHOLD THICKNESS TO MATCH EXISTING TOP OF TREAD TYPICAL UNDERSIDE WITH WOOD	ABV APPROX. @ AVG BM BET. BLKG BD B.O. BR. BLDG CLG C.O. COL. CONC. CMU CONT. DET. Ø DIM. DR D.S. EA. EL. ENT. EXG FT FL. FNDN GL. GR. HDWD HT IN. INSUL. INT. LT M.O. M.C. MET. MIN. MISC. NO. O.C. OPNG PTD PLYWD PLAS. PL. R.O. R. RM SEC. SHT STL ST. THRES. THK T.M.E. T.O. T. TYP. U/S W/ WD
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INDEX OF DRAWINGS

CS.	COVERSHEET
A1	PLANS
A1a	GROUND FL. DETAIL 1
A1b	GROUND FL. DETAIL 2
A1c	SECOND FL. DETAIL
E1	ELECTRICAL SYMBOLS
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A3	REAR ELEVATION
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A6	SECTIONS
S1	FOUNDATION & FRAMING
S2	FLOOR & ROOF FRAMING
DT1	SECTION DETAILS
DT2	SECTION DETAILS
DT3	SECTION DETAILS
SC1	WINDOW/DOOR SCHEDULE

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley
9-1-05

MICHE BOOZ
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Project:
GARAGE AT TUSCULUM FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:
COVERSHEET

Dates:
AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 26 AUG 05

ALL NOTES REVISED SINCE
6 JULY SET ARE UNDERLINED.

Consultants:
General Contractor:
LOFGREN CONSTRUCTION
Mechanical Contractor:
T.B.D.
Electrical Contractor:
T.B.D.

NEW GARAGE AT TUSCULUM FARM

4601 DAMASCUS ROAD, LAYTONSVILLE, MARYLAND 20882

Code:
IRC 2003

PERMIT SET - 26 AUGUST 05

MICHE BOOZ

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A1

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Project:

GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

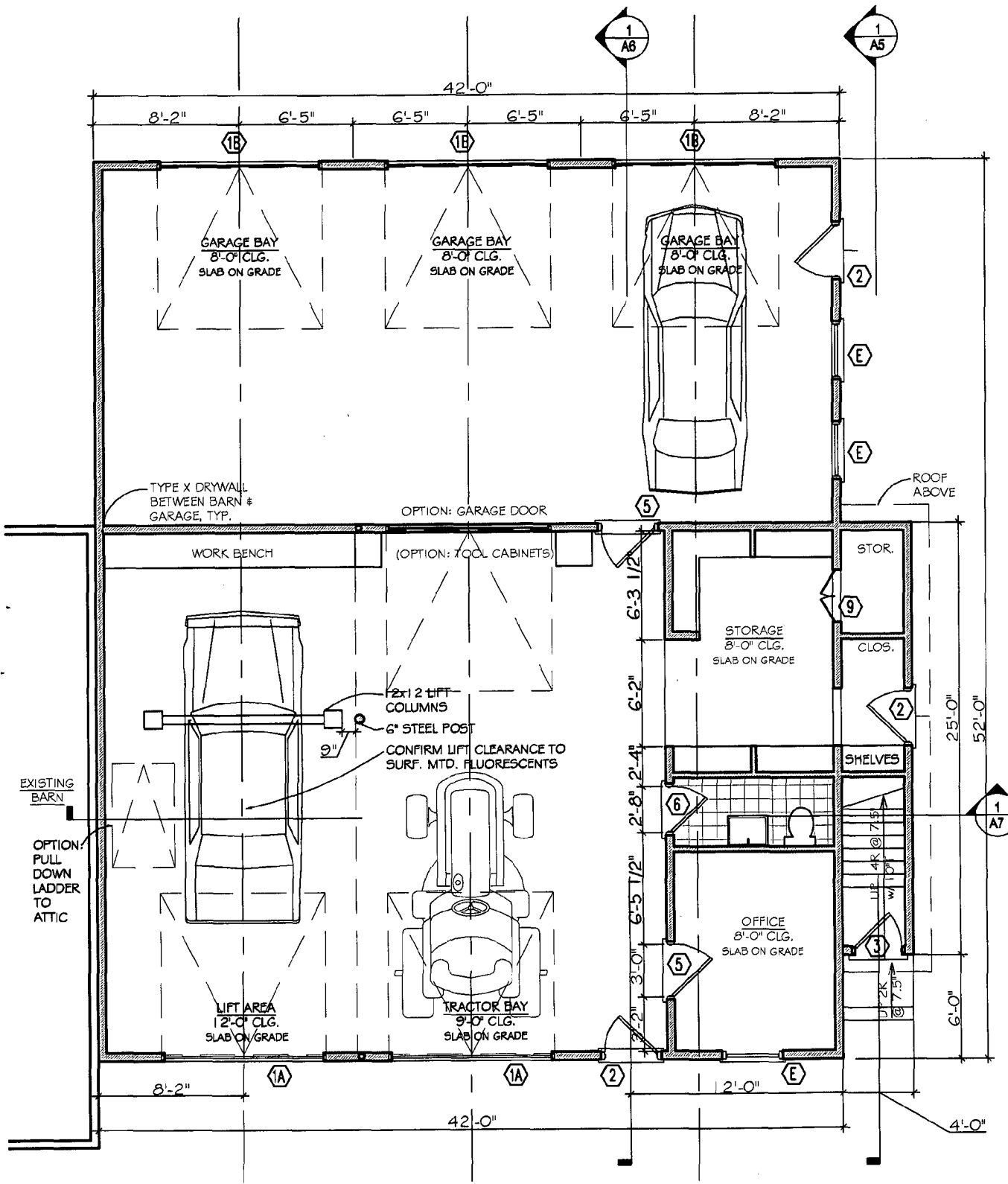
PLANS

1/8" = 1'-0"

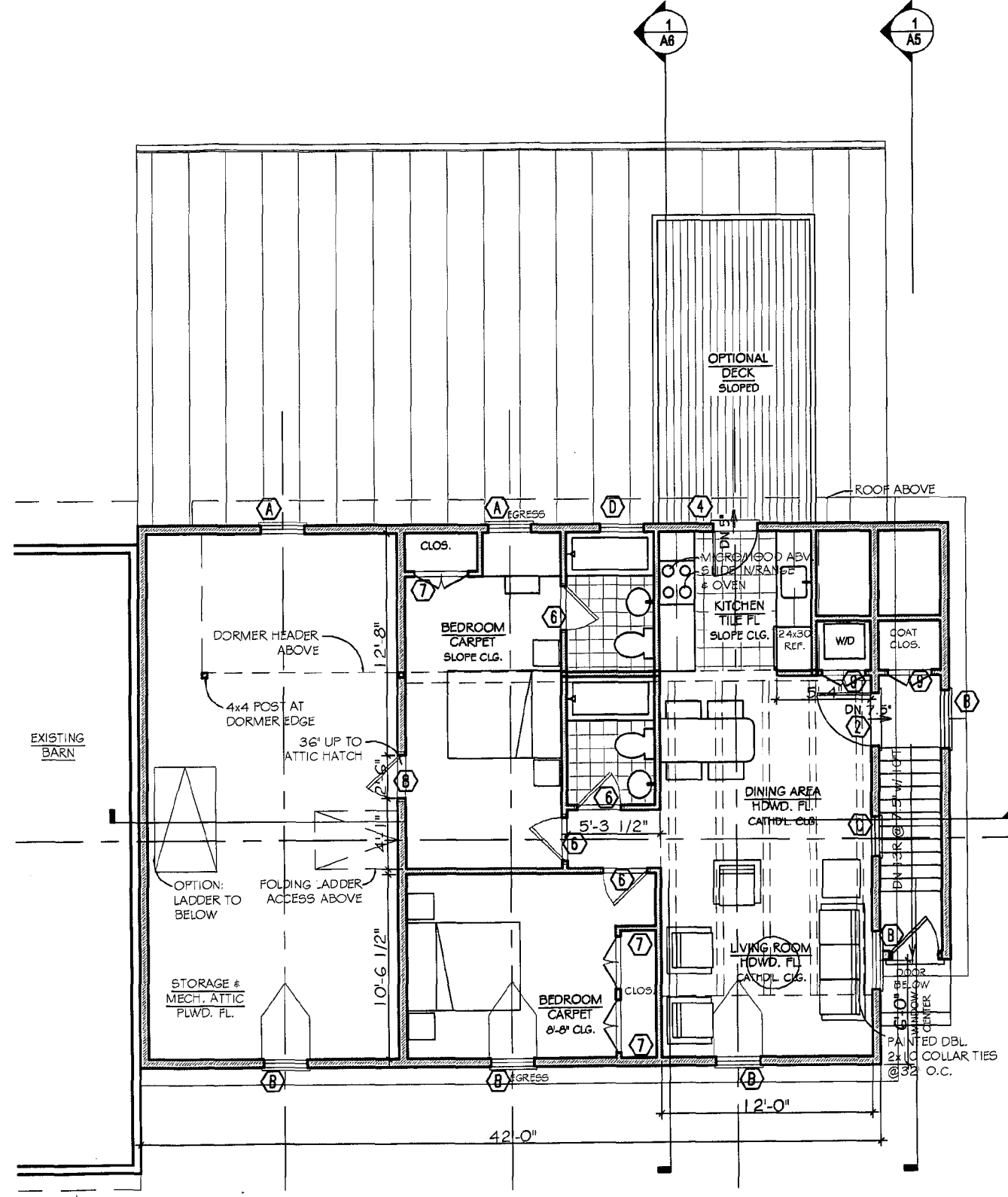
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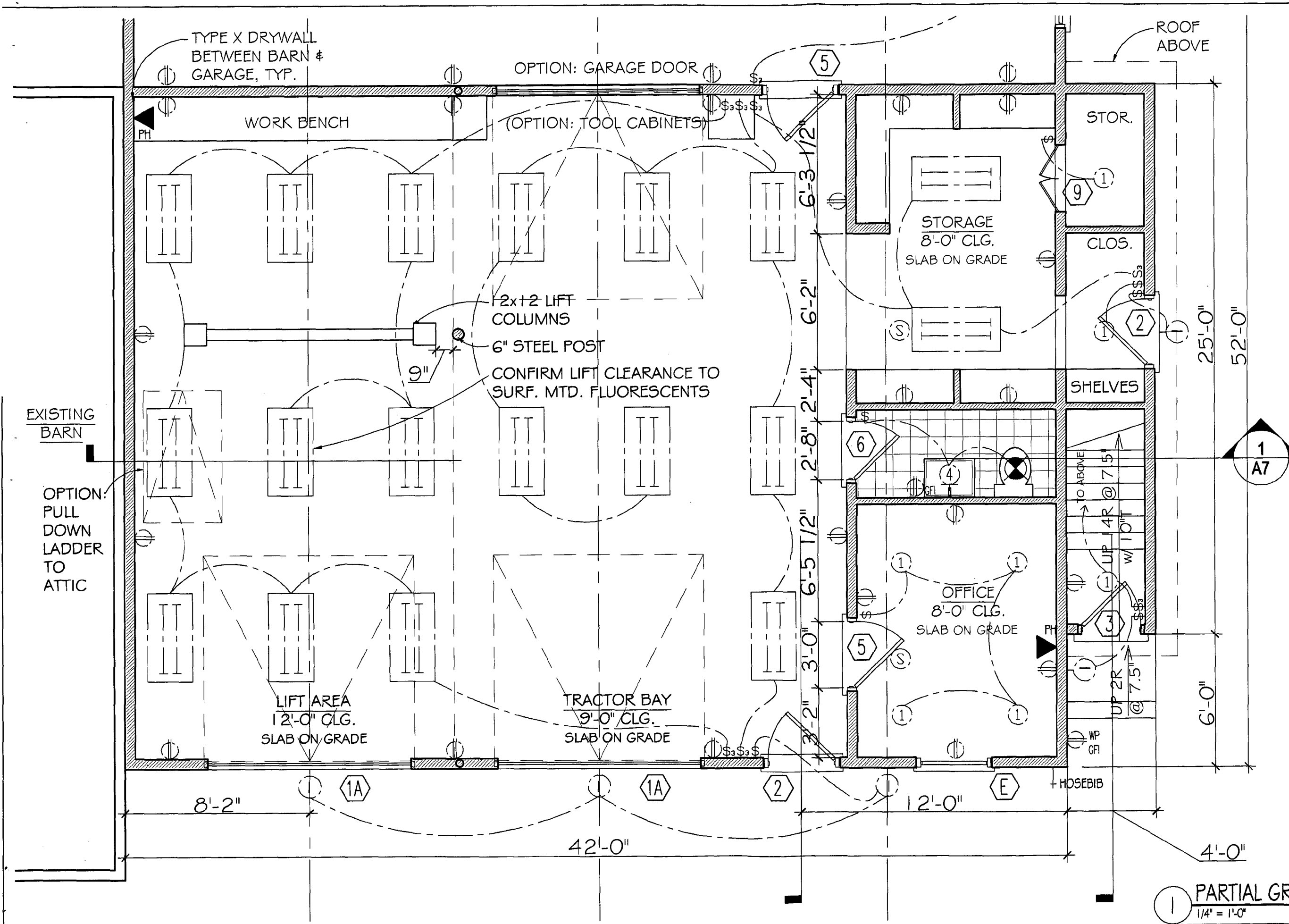


1 GARAGE GROUND FLOOR
1/8" = 1'-0"



2 GARAGE APARTMENT PLAN
1/8" = 1'-0"

PERMIT SET - 26 AUGUST 05



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GARAGE AT TUSCULUM FARMS

4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 PARTIAL GROUND FLOOR PLAN
 1/4" = 1'-0"

Dates:
 AS BUILTS FEB 05
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 TODAY'S DATE 26 AUG 05

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 6 JULY SET ARE UNDERLINED.

1 PARTIAL GROUND FLOOR
 1/4" = 1'-0"

PERMIT SET - 26 AUGUST 05

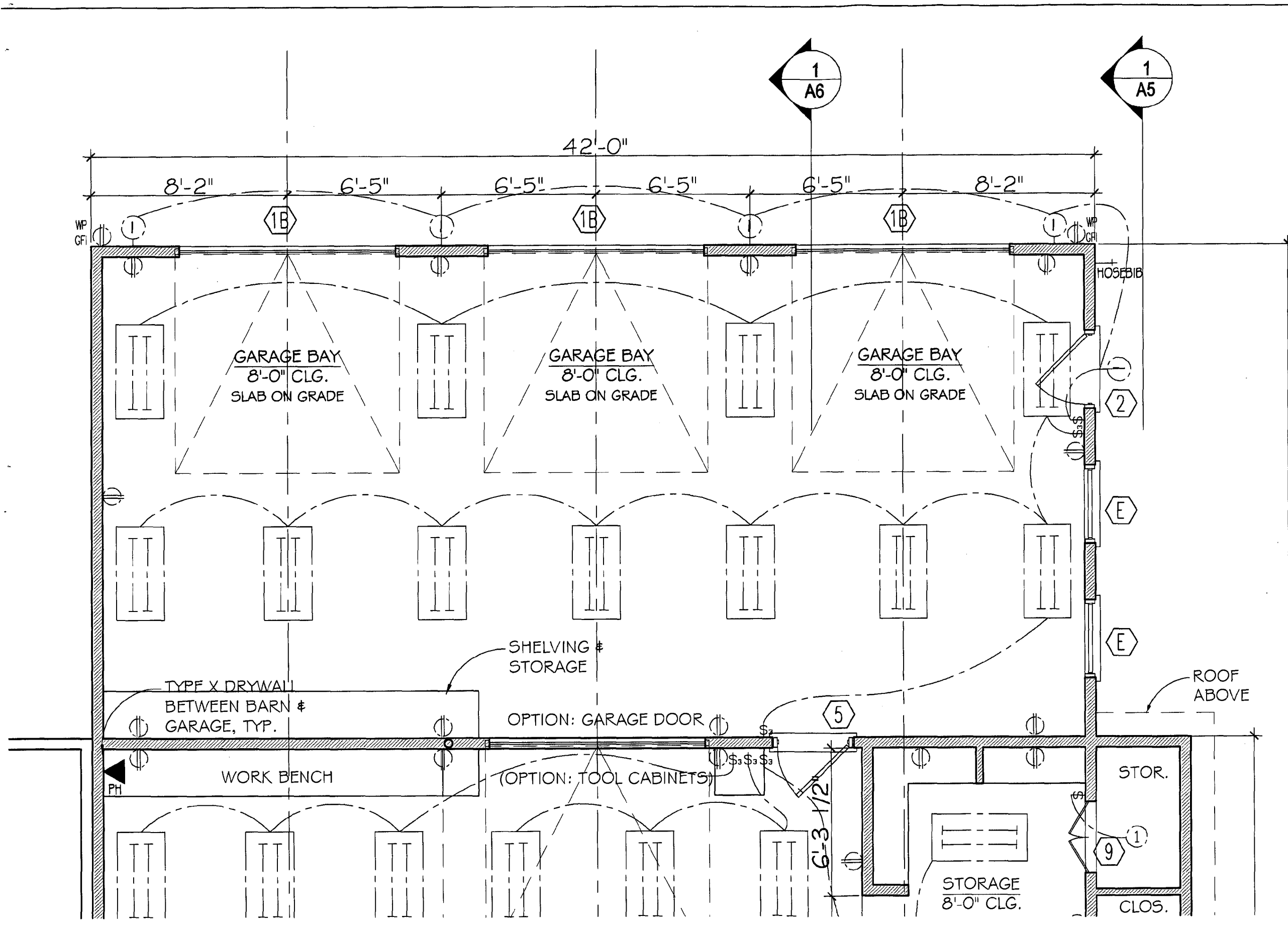
MICHE BOOZ
 ARCHITECT
A1b
 208 Market St
 Brooklynville
 Maryland 20833
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 fax: 774 1908

Project:
GARAGE AT TUSCULUM FARMS
 4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 PARTIAL GROUND FLOOR PLAN
 1/4" = 1'-0"

Dates:
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 SCHEMATICS MAR 05
 TODAY'S DATE 26 AUG 05

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1 PARTIAL GROUND FLOOR
 1/4" = 1'-0"

PERMIT SET - 26 AUGUST 05

MICHE BOOZ

ARCHITECT

A1c

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Project:

GARAGE AT
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FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

SECOND FLOOR PLAN

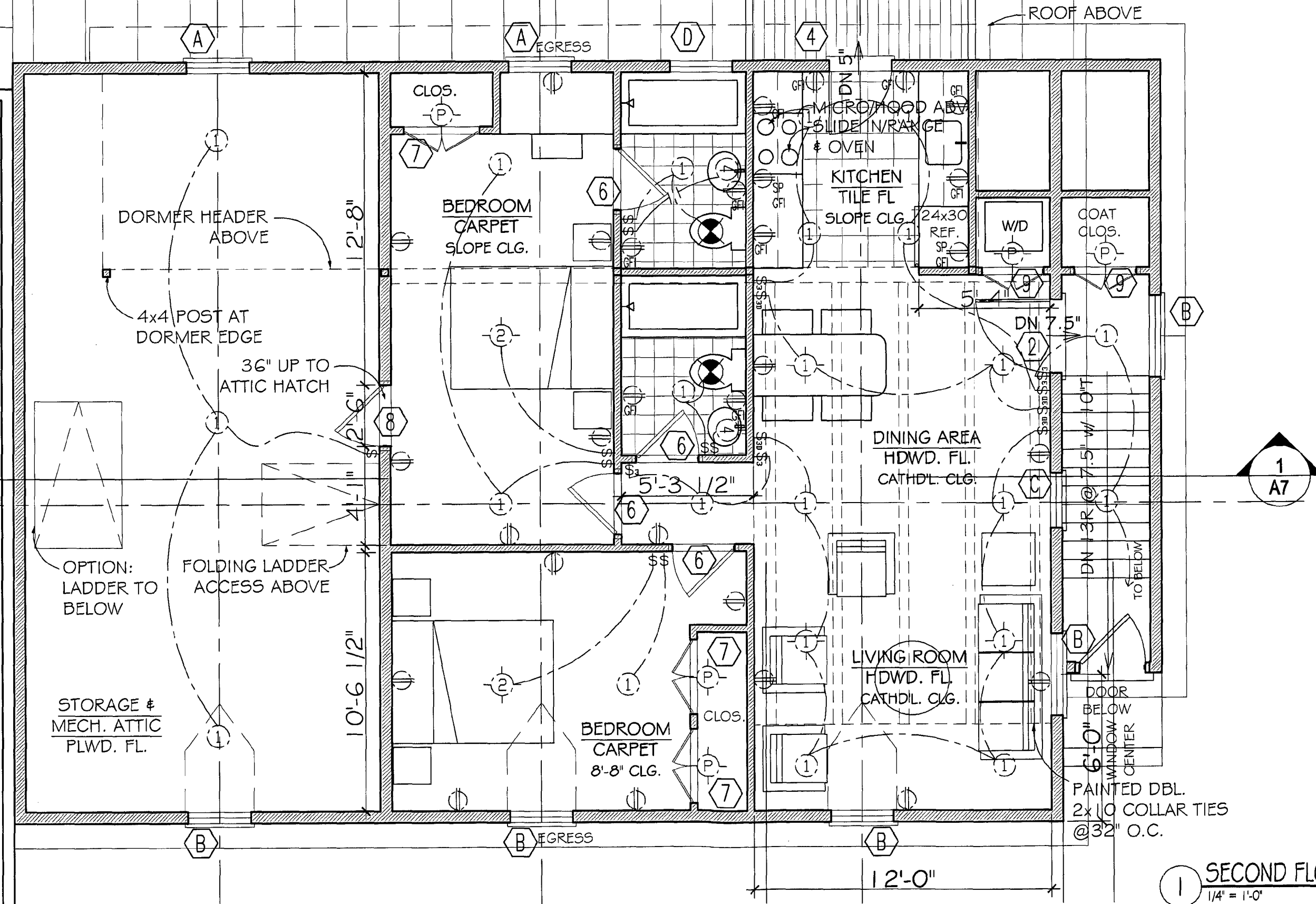
1/4" = 1'-0"

Dates:

AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 26 AUG 05

ALL NOTES REVISED SINCE
6 JULY SET ARE UNDERLINED.

EXISTING
W/ARN



1 SECOND FLOOR PLAN
1/4" = 1'-0"

PERMIT SET - 26 AUGUST 05

ELECTRICAL SCHEDULE

Symbol	Type
	duplex outlet
	duplex outlet w/ ground fault interupt
	duplex outlet waterproof w/ ground fault interupt
	special purpose outlet or connection
	exhaust fan
	media/tel. jack
	single pole switch
	switch w/ preset dimmer
	3 way switch
	3 way switch w/ dimmer
	4 way switch
	flourescent light
	chime
	door bell
	fan - 36" dia.
	fan - 48" dia.

Symbol	Type
	recessed downlight
	adjustable recessed downlight
	shower light
	wall washer
	exterior wall mounted light
	exterior wall mounted light
	hard-wired smoke detector
	int./ ext. wall mounted light
	interior wall mounted light
	interior ceiling mounted light
	monopoint ceiling mounted light
	int. clg mtd light, utility
	ceiling mounted pendant light
	exterior ceiling mounted light
	int. clg mount. pull-cord light
	int. clg mount. outlet

1
NOT TO SCALE
ELECTRICAL SYMBOLS

PERMIT SET - 26 AUGUST 05

<small>ALL NOTES REVISED SINCE 6-JULY SET ARE UNDERLINED.</small>	<small>Dates: AS BUILTS FEB 05 SCHEMATICS MAR 05 TODAY'S DATE 26 AUG 05</small>	<small>Drawings: ELECTRICAL SYMBOLS CHART</small>	<small>4601 Dormiscus Road Laytonsville, MD 20882 Montgomery County</small>	<small>Project: GARAGE AT TUSCULUM FARMS</small>	<small>208 Anker St Bethesda, MD Montgomery 20833 (301) 774 5911 Fax: 774 1808</small>	E1	MICHE BOOZ A R C H I T E C T
---	---	---	---	--	--	-----------	--

MICHE BOOZ

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Project:

GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

ELEVATIONS

1/4" = 1'-0"

Dates:

AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 26 AUG 05

ALL NOTES REVISED SINCE
5 JULY SET ARE UNDERLINED>



GALV. ALUM.
CRIMP ROOF TYP

SASH TO ALIGN
W/ FASCIA TYP.

TOP OF PLATE

FF - ATTIC

FF - APMT.
CLG. GARAGE

FRONT GARAGE

FF - GARAGE

DESIGNER DOORS MODEL #
BSVN-000, BSVN-241, OR BSVN-242

DRAIN UNDER GRADE TO
DAYLIGHT

1 GARAGE FRONT ELEVATION
1/4" = 1'-0"

PERMIT SET - 26 AUGUST 05

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Project:

GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

ELEVATIONS

1/4" = 1'-0"

Dates:

AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 26 AUG 05

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6 JULY SET ARE UNDERLINED.



1 GARAGE REAR ELEVATION
1/4" = 1'-0"

PERMIT SET - 26 AUGUST 05

MICHE BOOZ

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Project:

GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

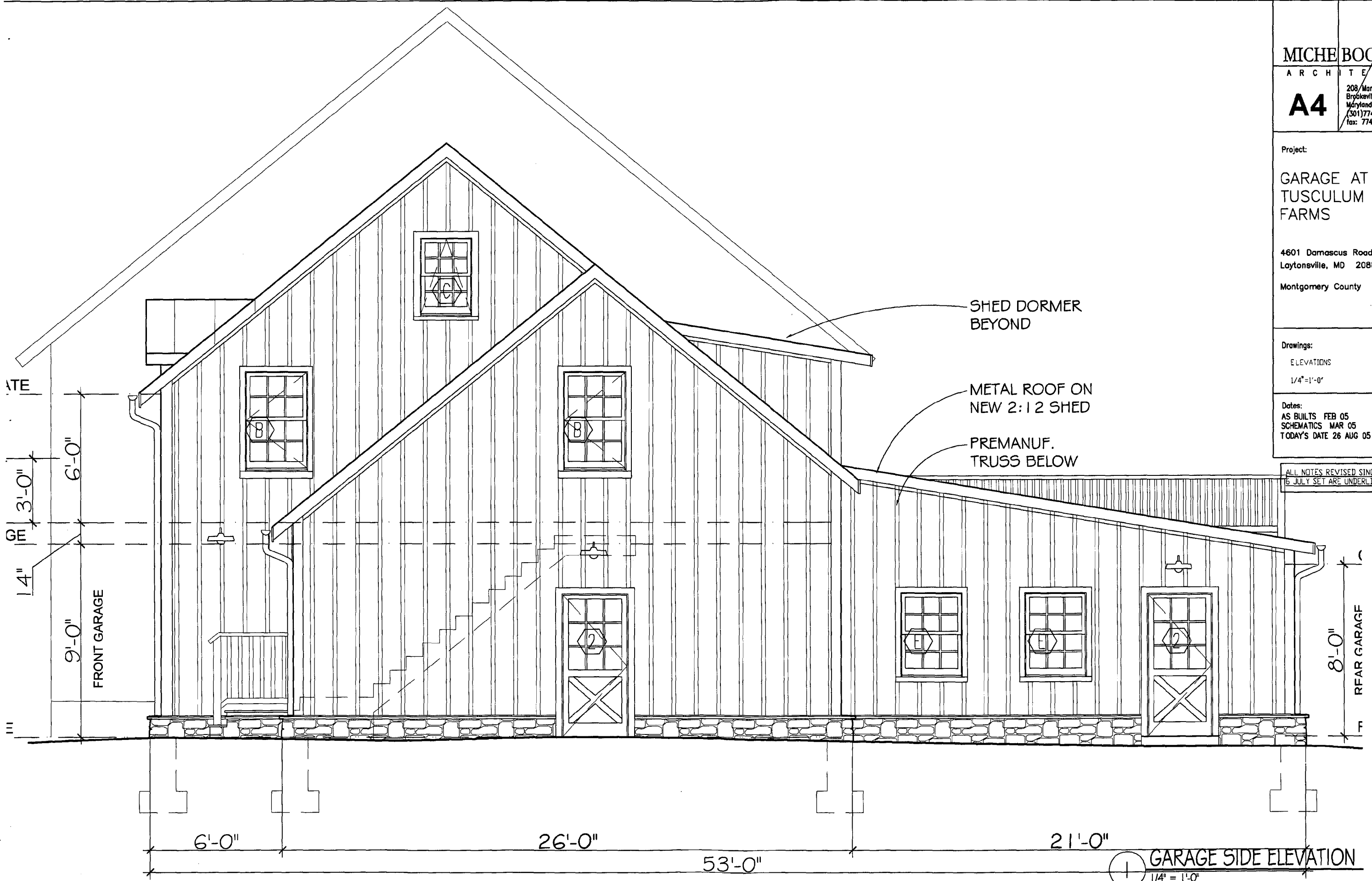
ELEVATIONS

1/4" = 1'-0"

Dates:

AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 26 AUG 05

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PERMIT SET - 26 AUGUST 05

MICHE BOOZ

ARCHITECT

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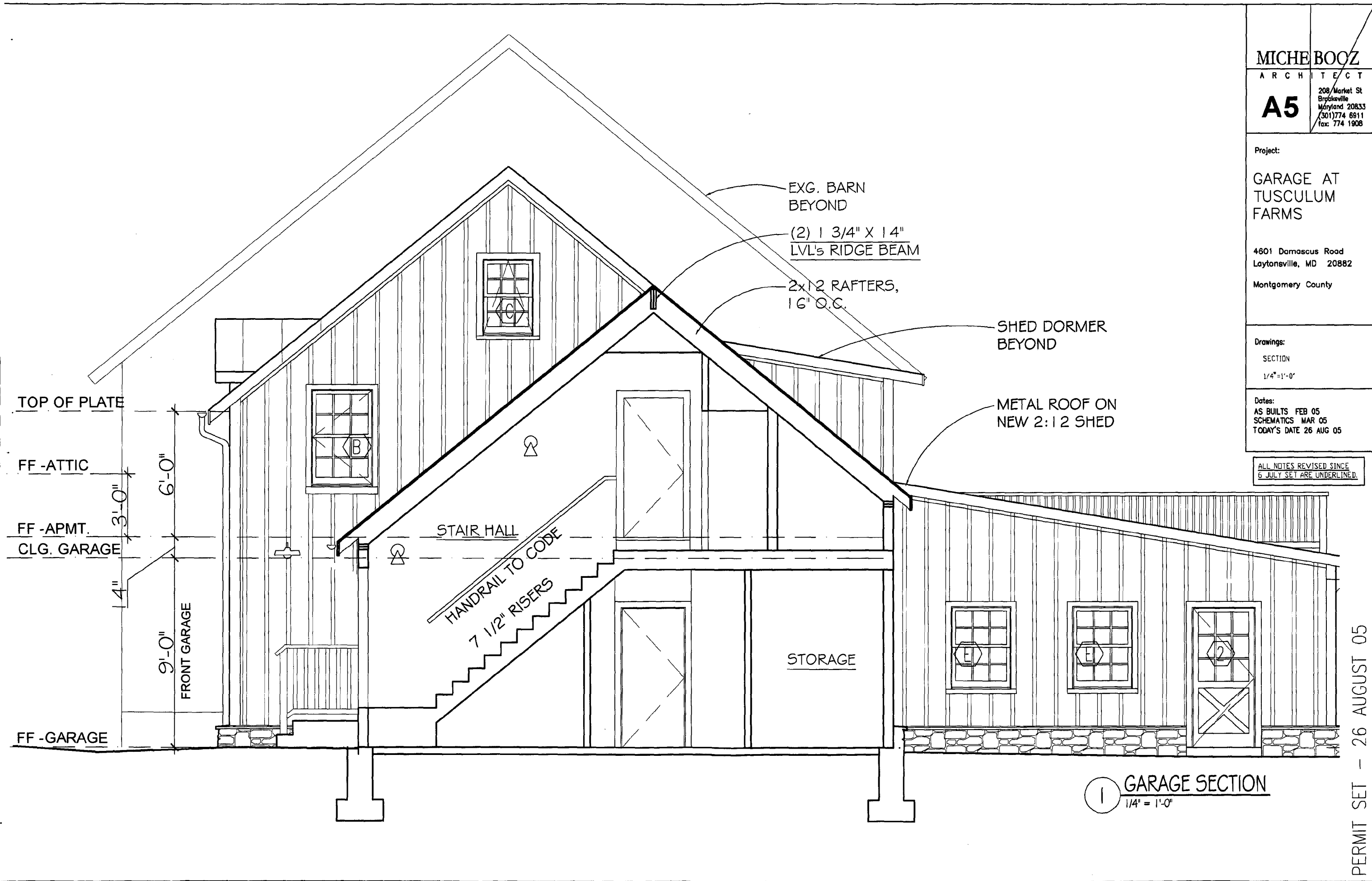
Project:
GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:
SECTION
1/4" = 1'-0"

Dates:
AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 26 AUG 05

ALL NOTES REVISED SINCE
6 JULY SET ARE UNDERLINED.



1 GARAGE SECTION
1/4" = 1'-0"

PERMIT SET - 26 AUGUST 05

MICHE BOOZ

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Project:

**GARAGE AT
TUSCULUM
FARMS**

4601 Damascus Road
Laytonville, MD 20882

Montgomery County

Drawings:

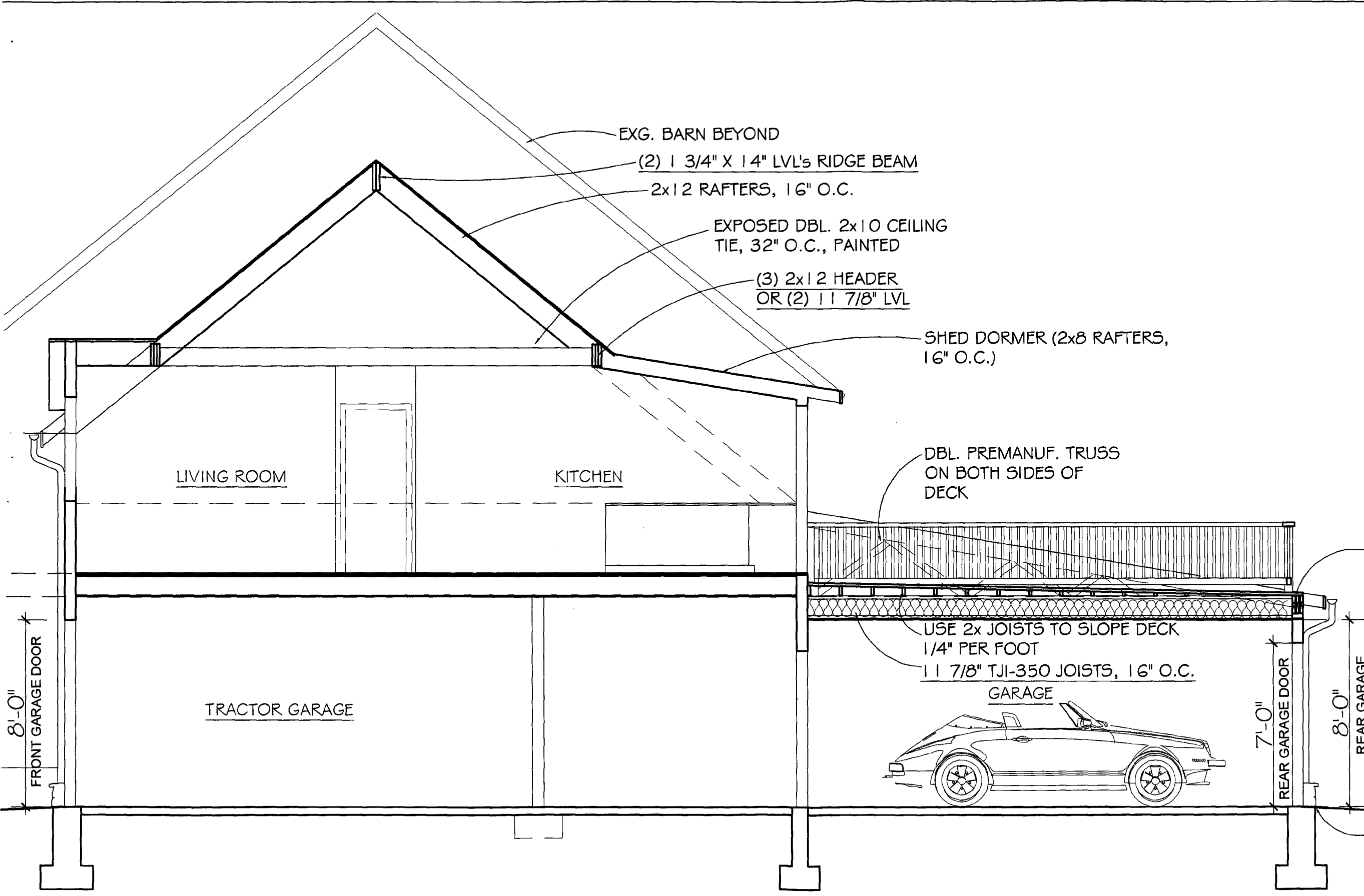
SECTION

1/4" = 1'-0"

Dates:

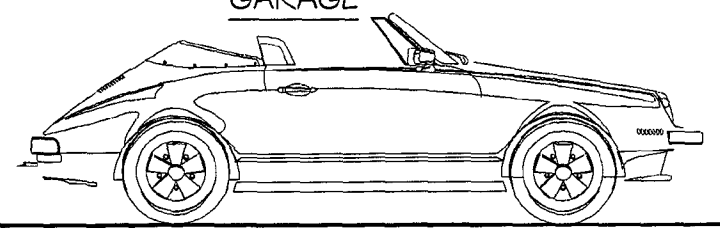
AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 26 AUG 05

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(3) 2x10's HDRS
ABV. GARAGE
DOORS
CLG. GARAGE

USE 2x JOISTS TO SLOPE DECK
1/4" PER FOOT
1 1/8" TJI-350 JOISTS, 16" O.C.
GARAGE



8'-0"
FRONT GARAGE DOOR

TRACTOR GARAGE

LIVING ROOM

KITCHEN

7'-0"
REAR GARAGE DOOR

8'-0"
REAR GARAGE

FF - GARAGE

CONC. APRON

1 GARAGE SECTION
1/4" = 1'-0"

PERMIT SET - 26 AUGUST 05

MICHE BOOZ

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Project:

GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

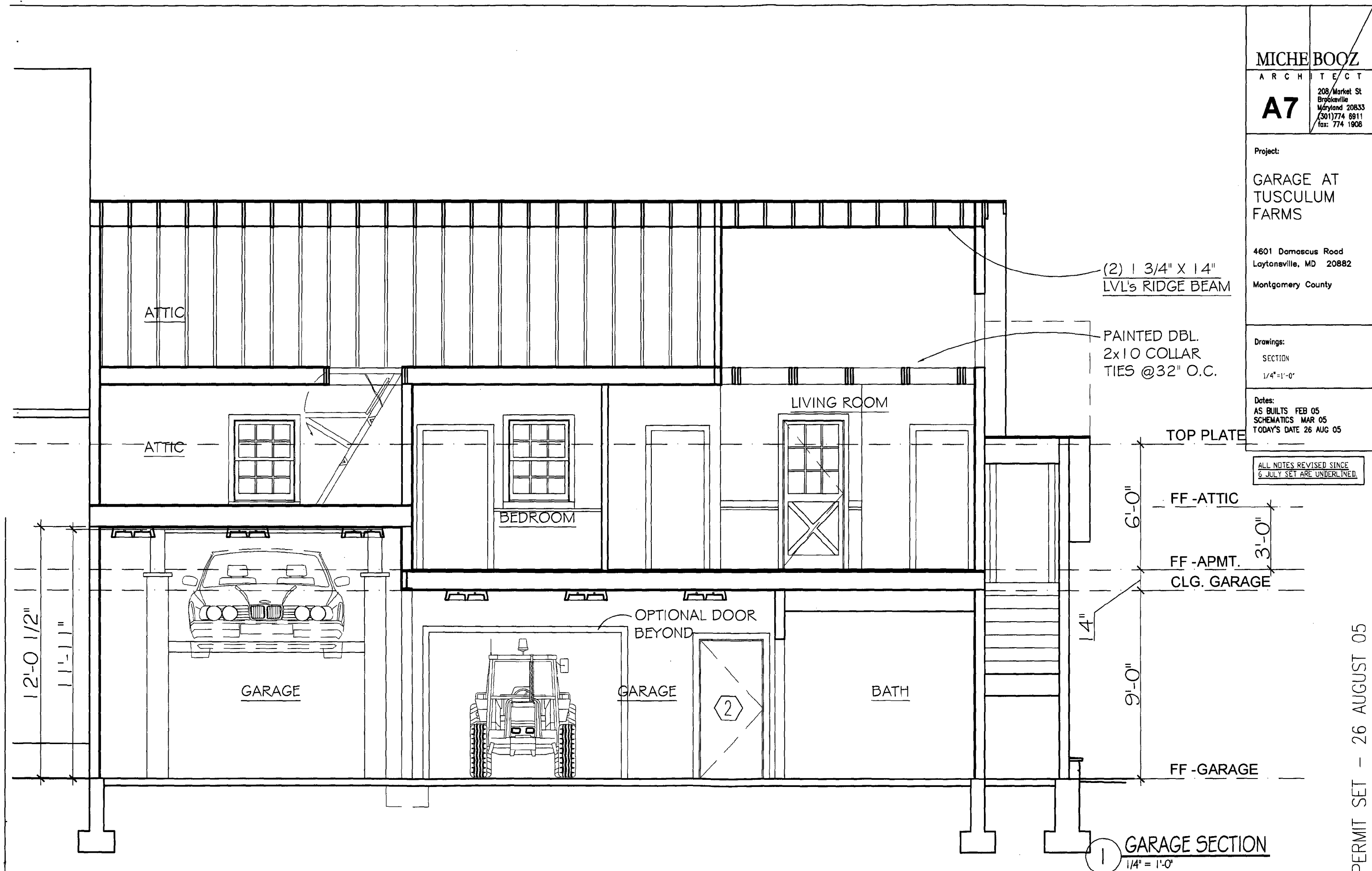
SECTION

1/4" = 1'-0"

Dates:

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TODAY'S DATE 26 AUG 05

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(2) 1 3/4" X 14"
LVL's RIDGE BEAM

PAINTED DBL.
2x10 COLLAR
TIES @32" O.C.

ATTIC

ATTIC

LIVING ROOM

BEDROOM

GARAGE

GARAGE

BATH

OPTIONAL DOOR
BEYOND

TOP PLATE

FF-ATTIC

FF-APMT.
CLG. GARAGE

FF-GARAGE

6'-0"

3'-0"

9'-0"

14"

12'-0 1/2"

11'-1 1/2"

1 GARAGE SECTION
1/4" = 1'-0"

PERMIT SET - 26 AUGUST 05

MICHE BOOZ

ARCHITECT

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Maryland 20833
(301)774 6911
fax: 774 1908

Project:
GARAGE AT TUSCULUM FARMS

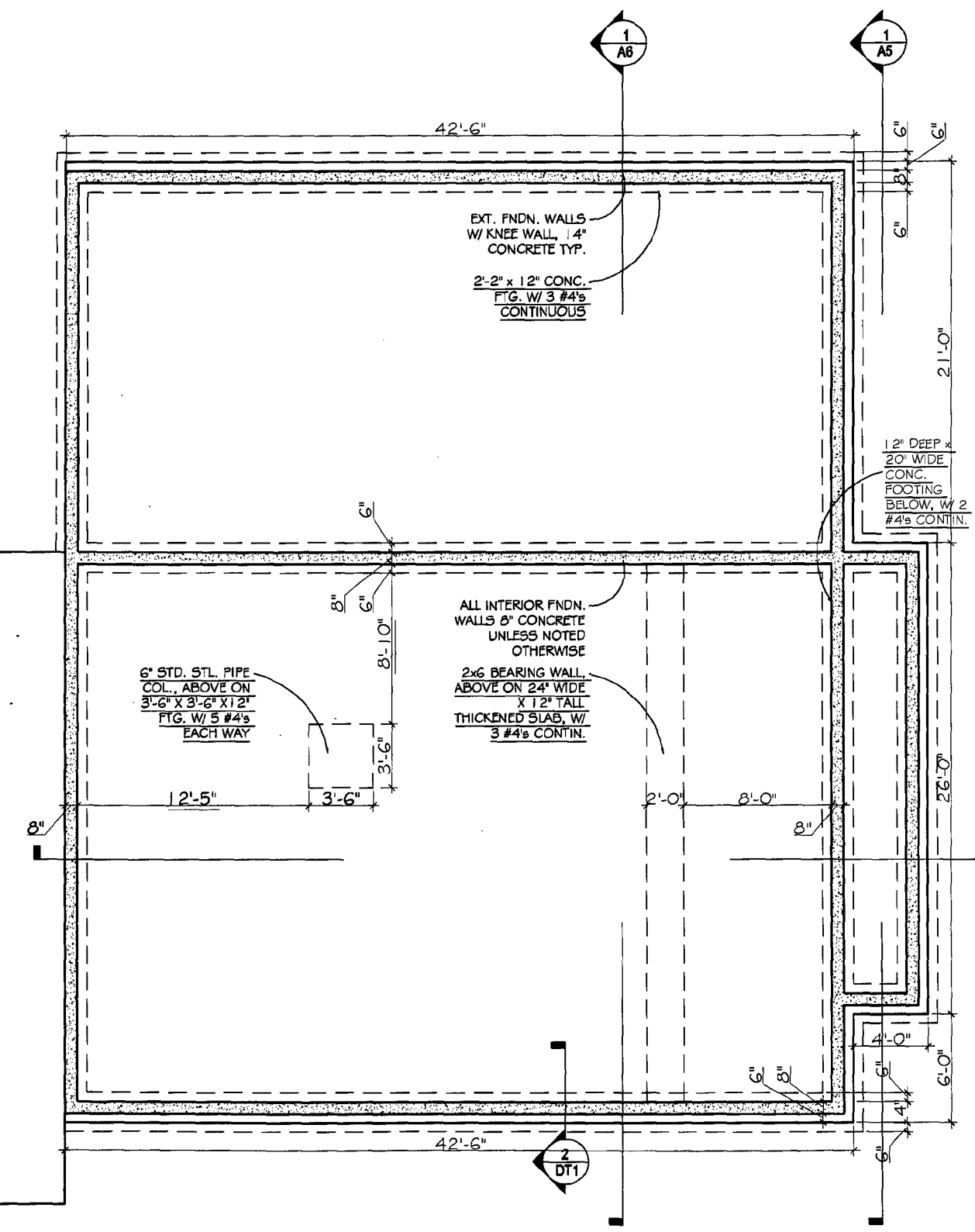
4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

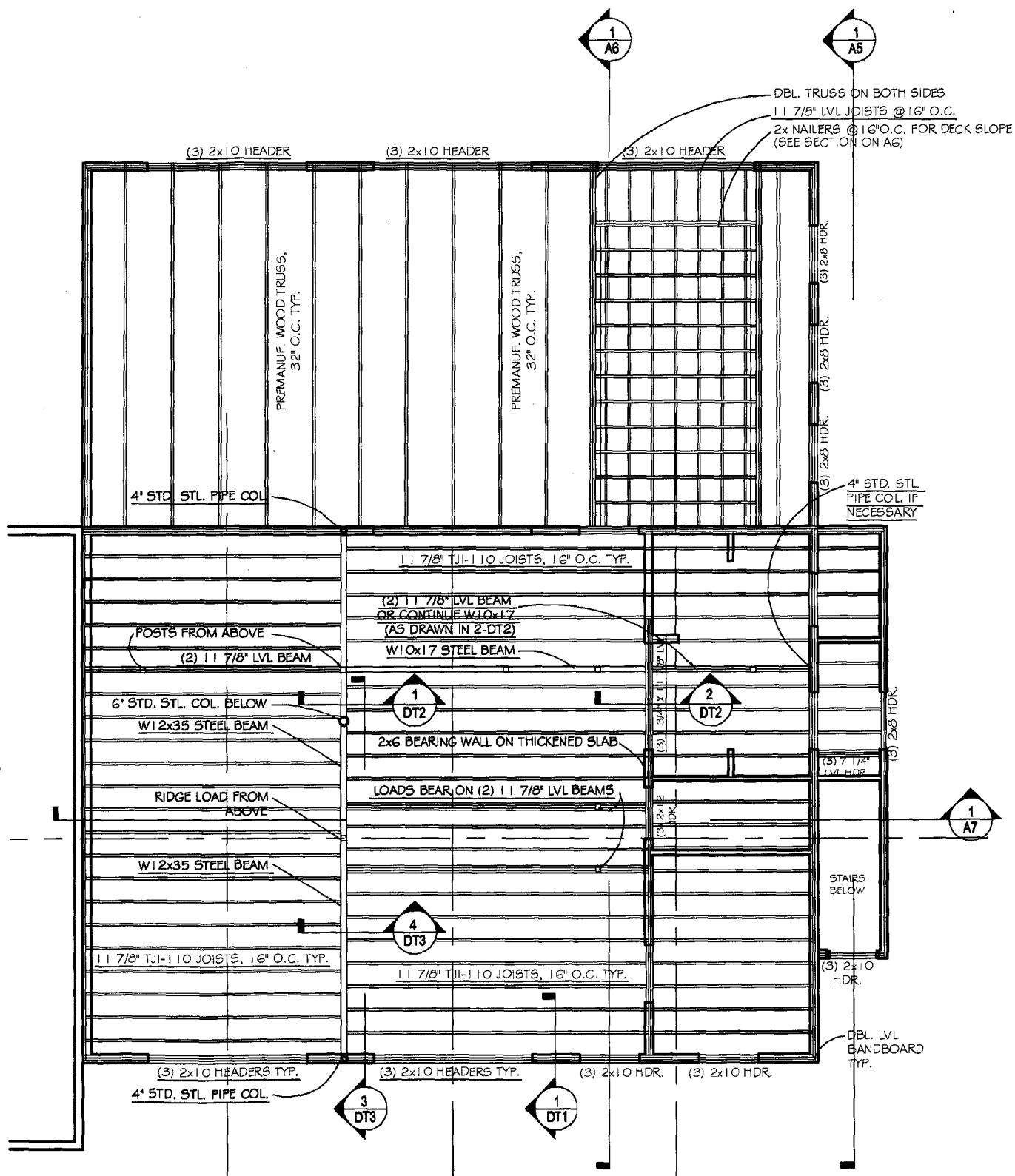
Drawings:
FOUNDATION & FRAMING PLANS
1/8" = 1'-0"

Dates:
AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 26 AUG 05

ALL NOTES REVISED SINCE
9 JULY SET ARE UNDERLINED.



1 GARAGE FOUNDATION PLAN
1/8" = 1'-0"



2 GARAGE 2ND FL. FRAMING
1/8" = 1'-0"

PERMIT SET - 26 AUGUST 05

MICHE BOOZ

ARCHITECT

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Brooksville
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(301)774 8911
fax: 774 1908

Project:

GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

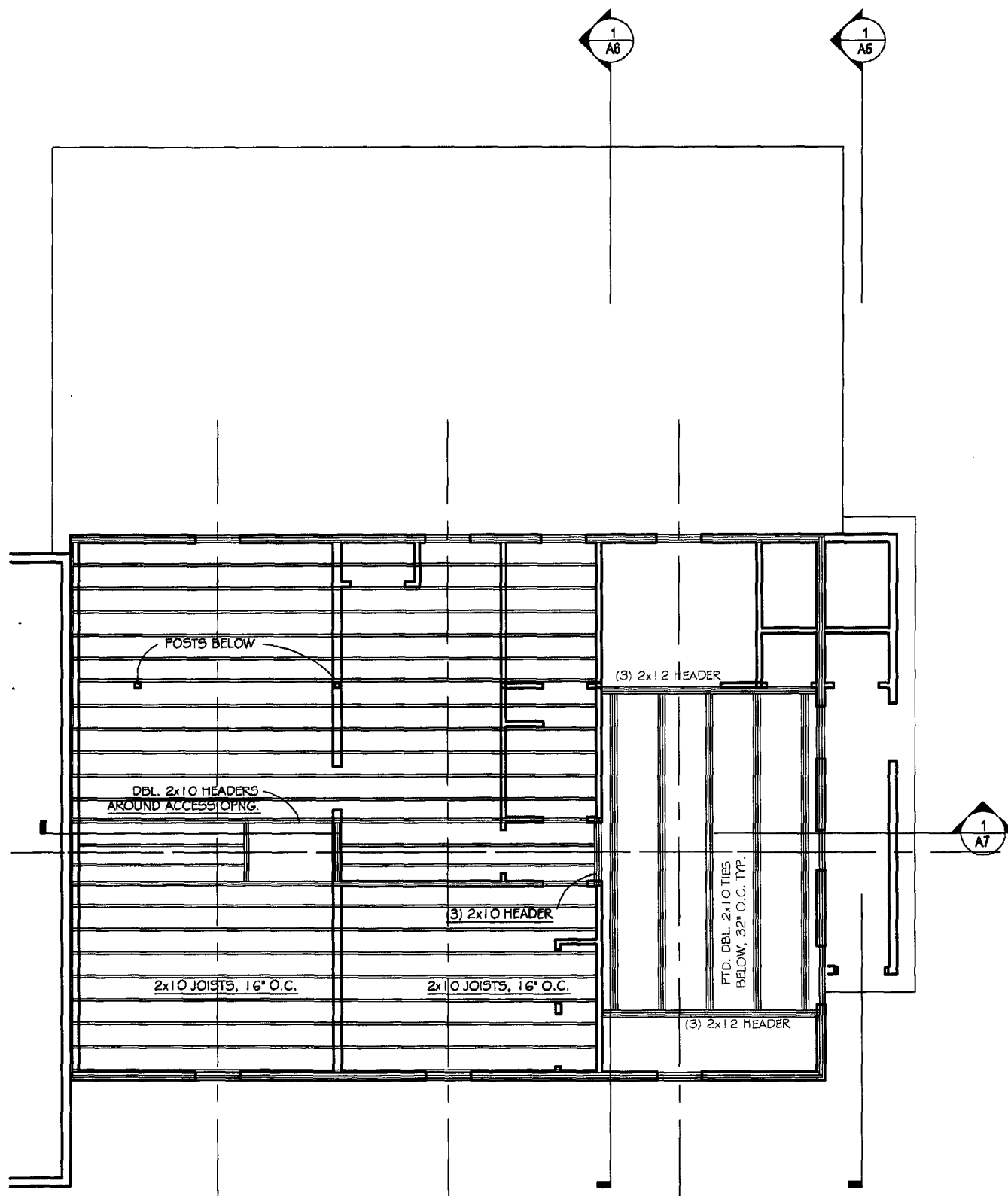
FRAMING PLANS

1/8" = 1'-0"

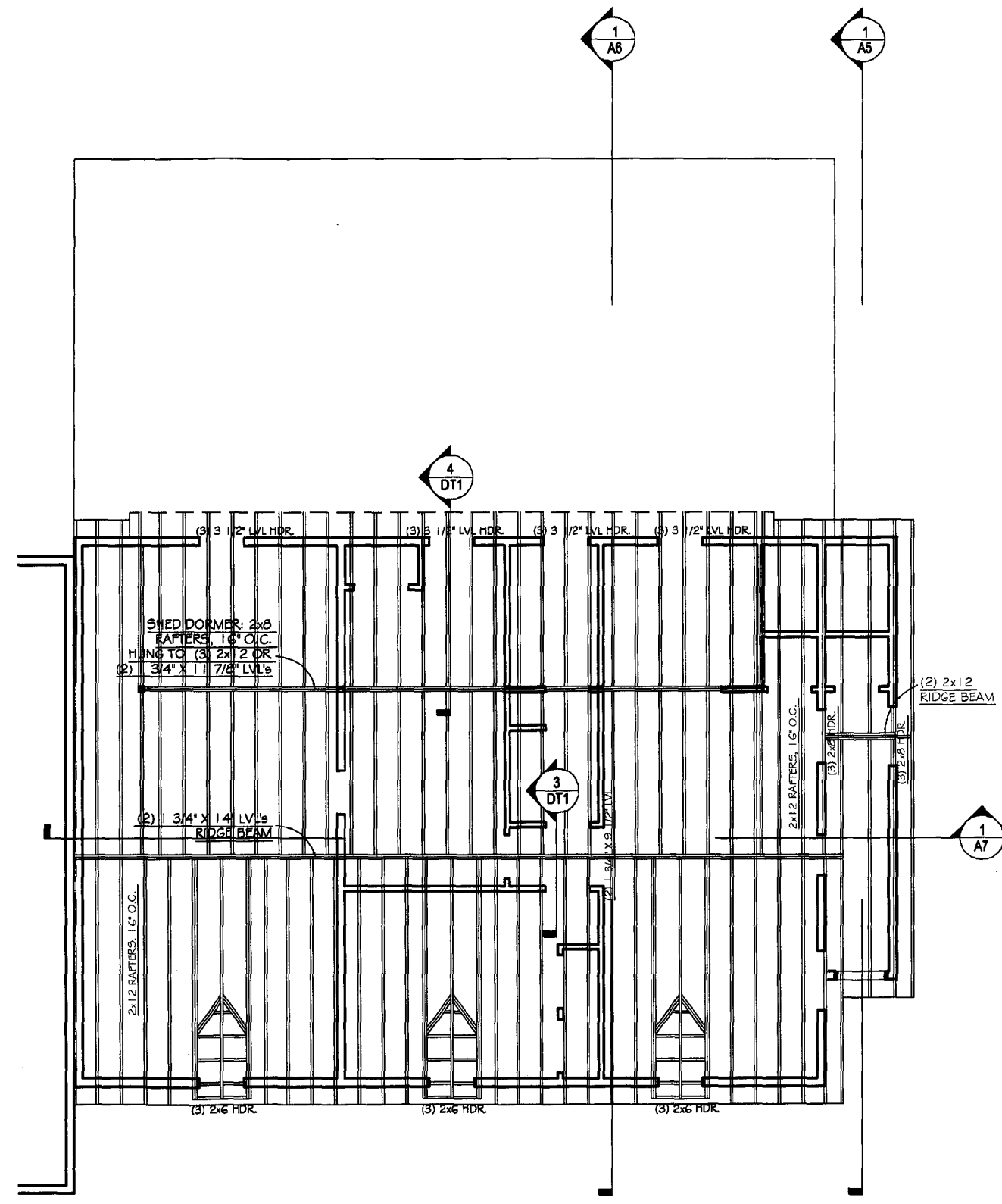
Dates:

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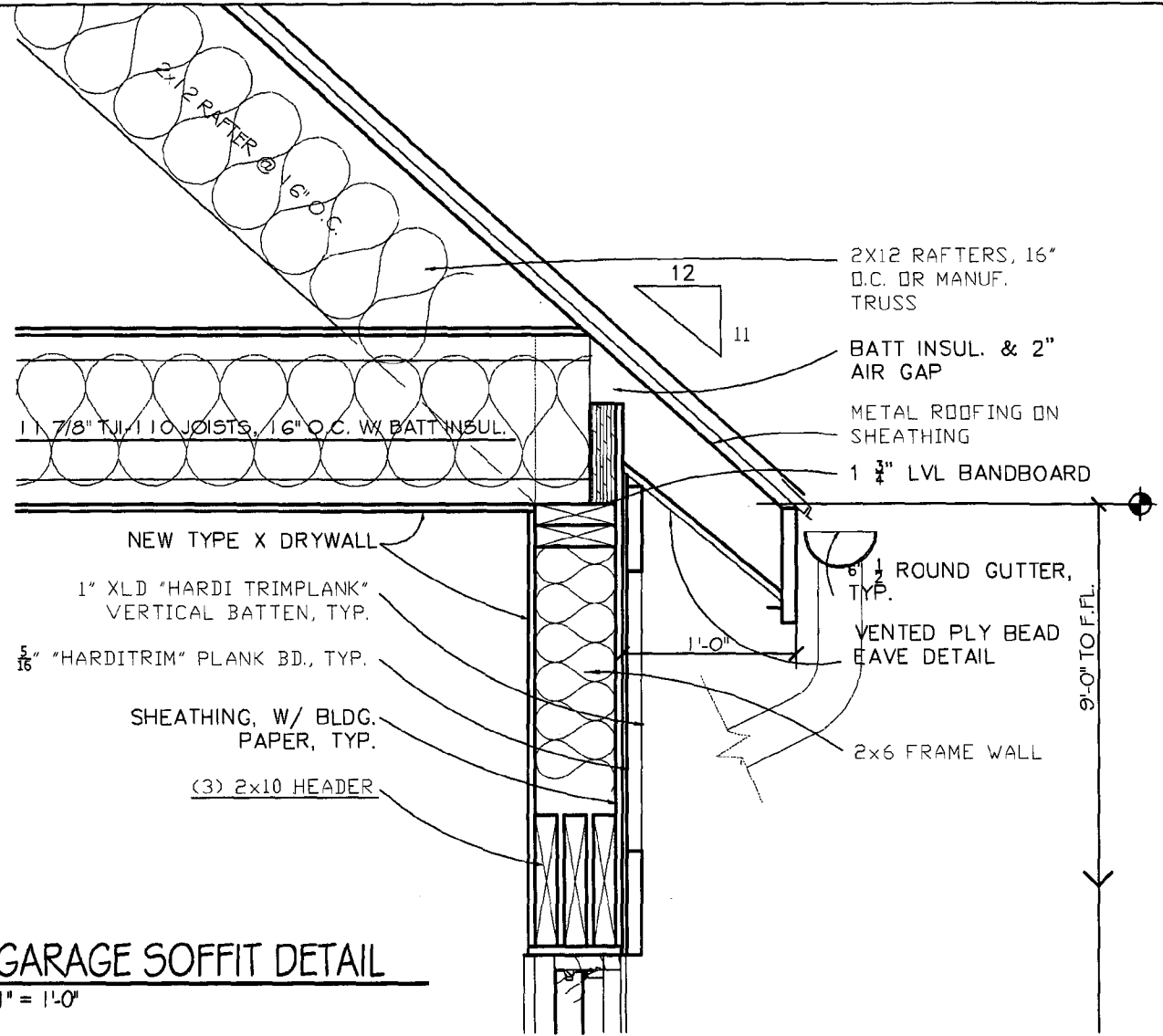


1 GARAGE ATTIC FL. FRAMING
1/8" = 1'-0"

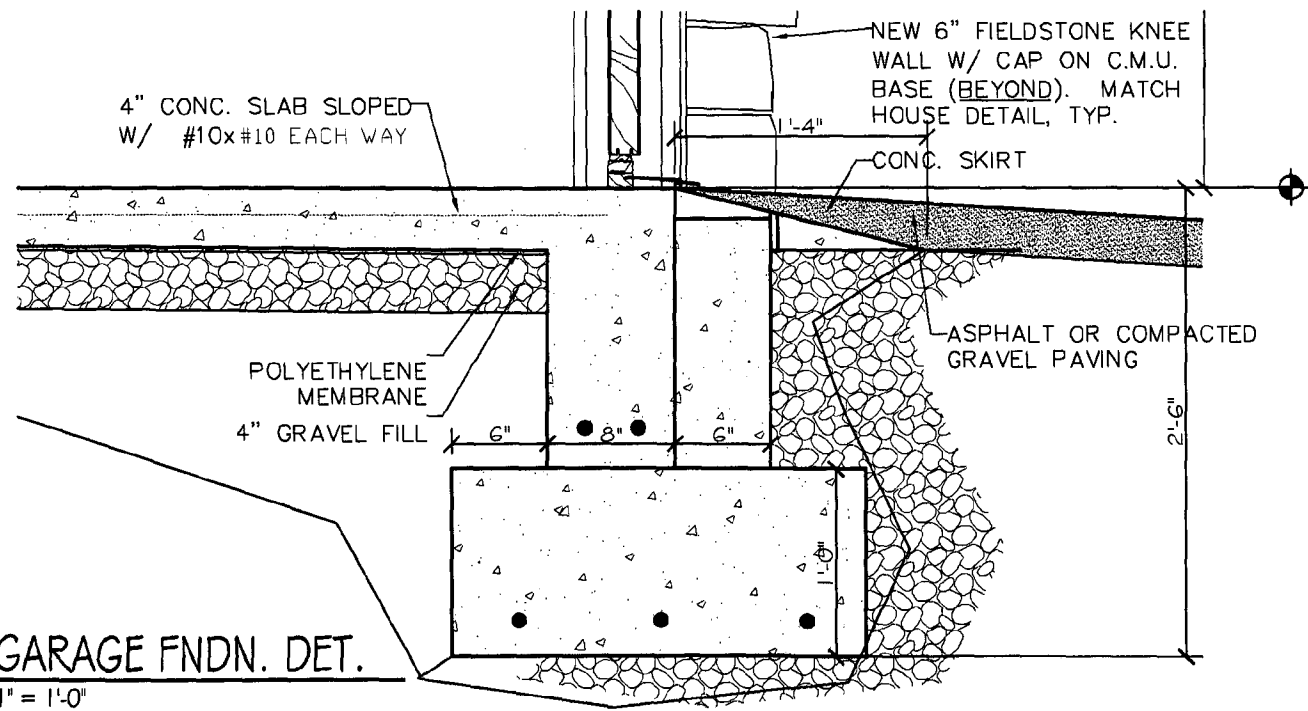


2 GARAGE ROOF FRAMING
1/8" = 1'-0"

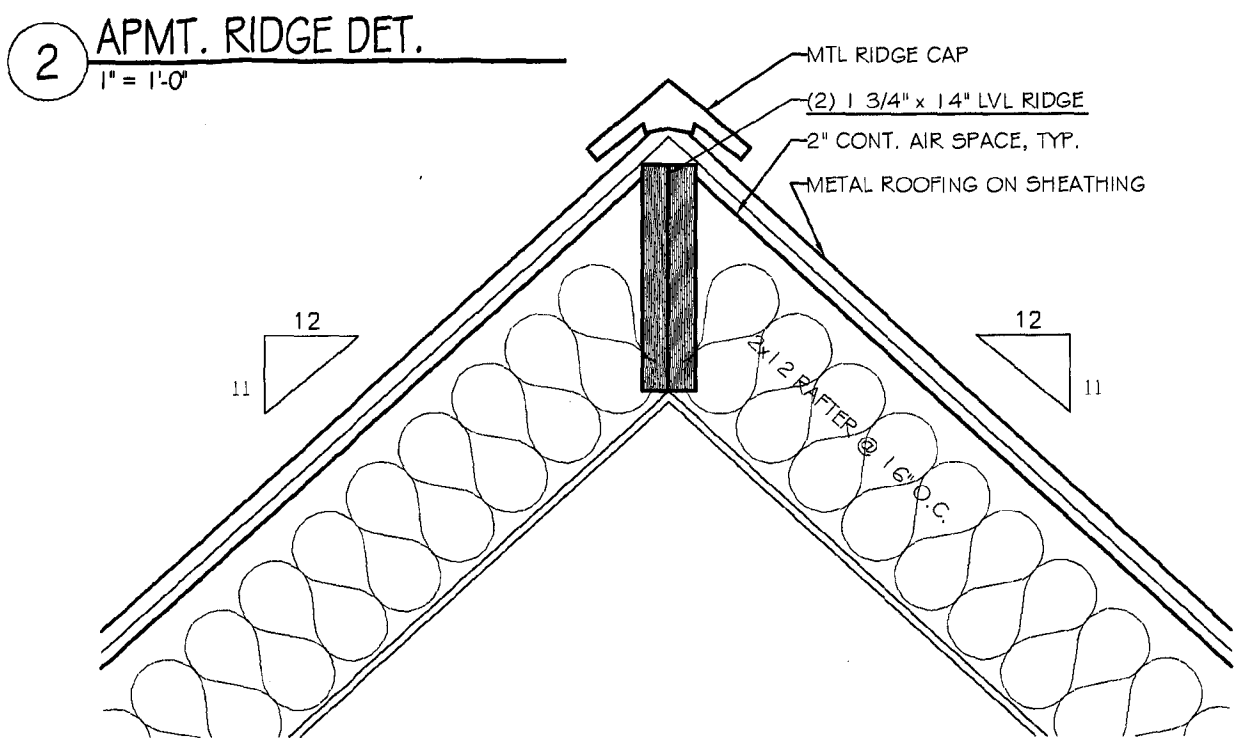
PERMIT SET - 26 AUGUST 05



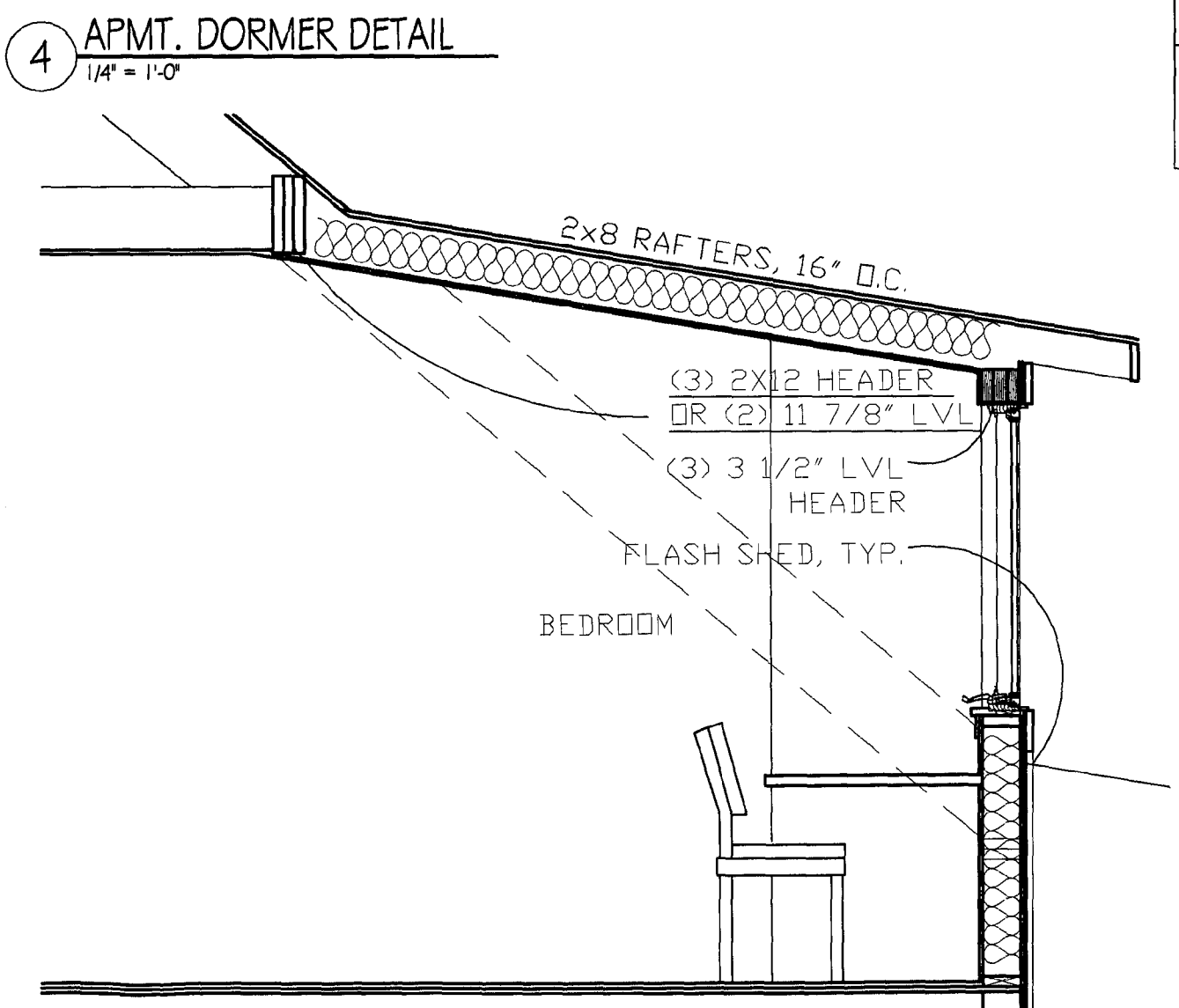
1 GARAGE SOFFIT DETAIL
1" = 1'-0"



3 GARAGE FNDN. DET.
1" = 1'-0"



2 APMT. RIDGE DET.
1" = 1'-0"



4 APMT. DORMER DETAIL
1/4" = 1'-0"

MICHE BOOZ
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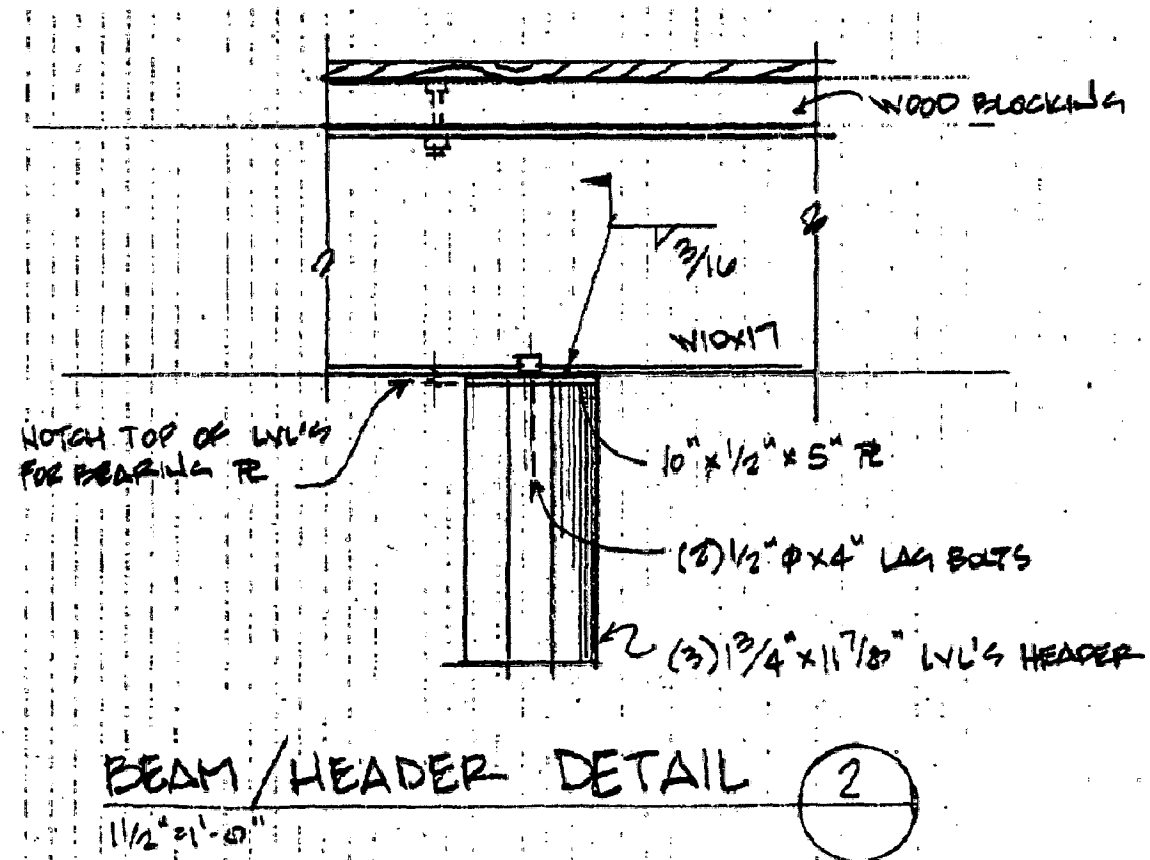
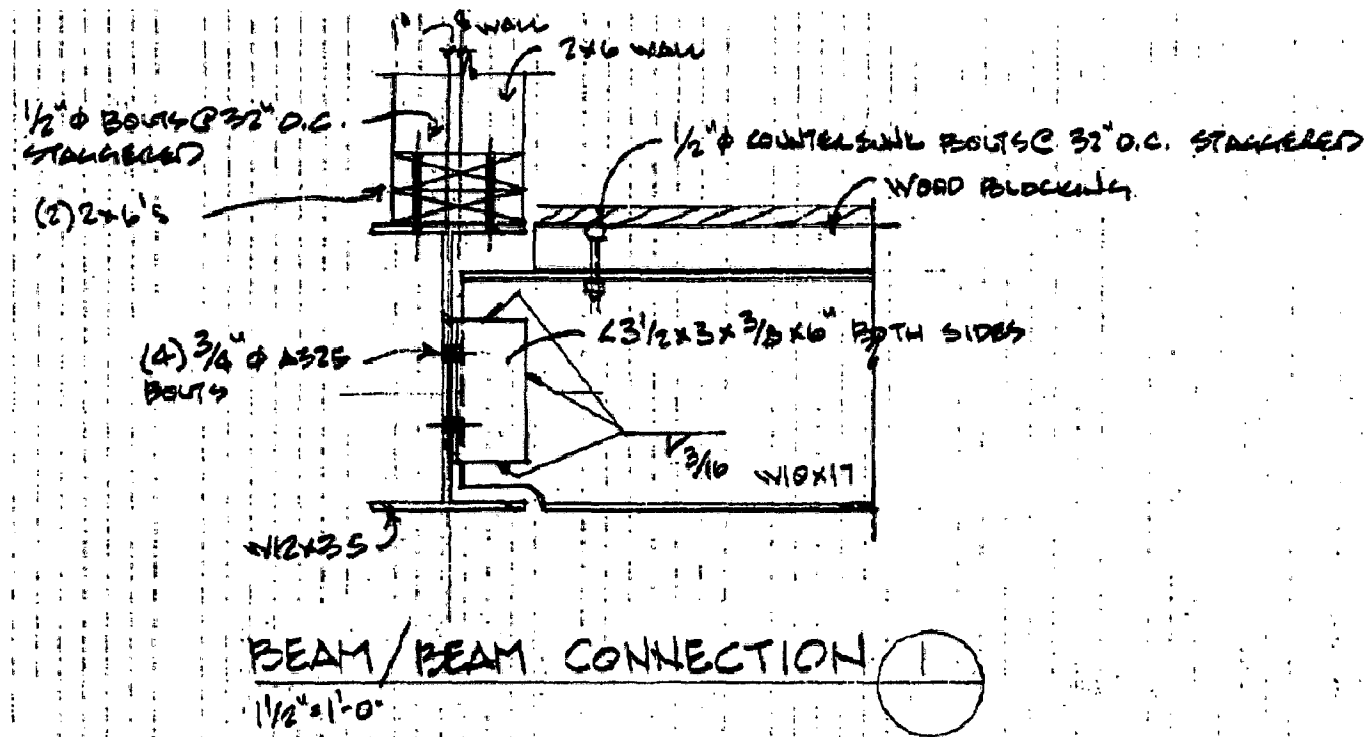
Project:
GARAGE AT TUSCULUM FARMS
4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:
WALL SECTION DETAILS
SCALE AS NOTED

Dates:
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PERMIT SET - 26 AUGUST 05



MICHE BOOZ

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DT2
 208 Market St
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Project:

GARAGE AT
 TUSCULUM
 FARMS

4601 Damascus Road
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Drawings:

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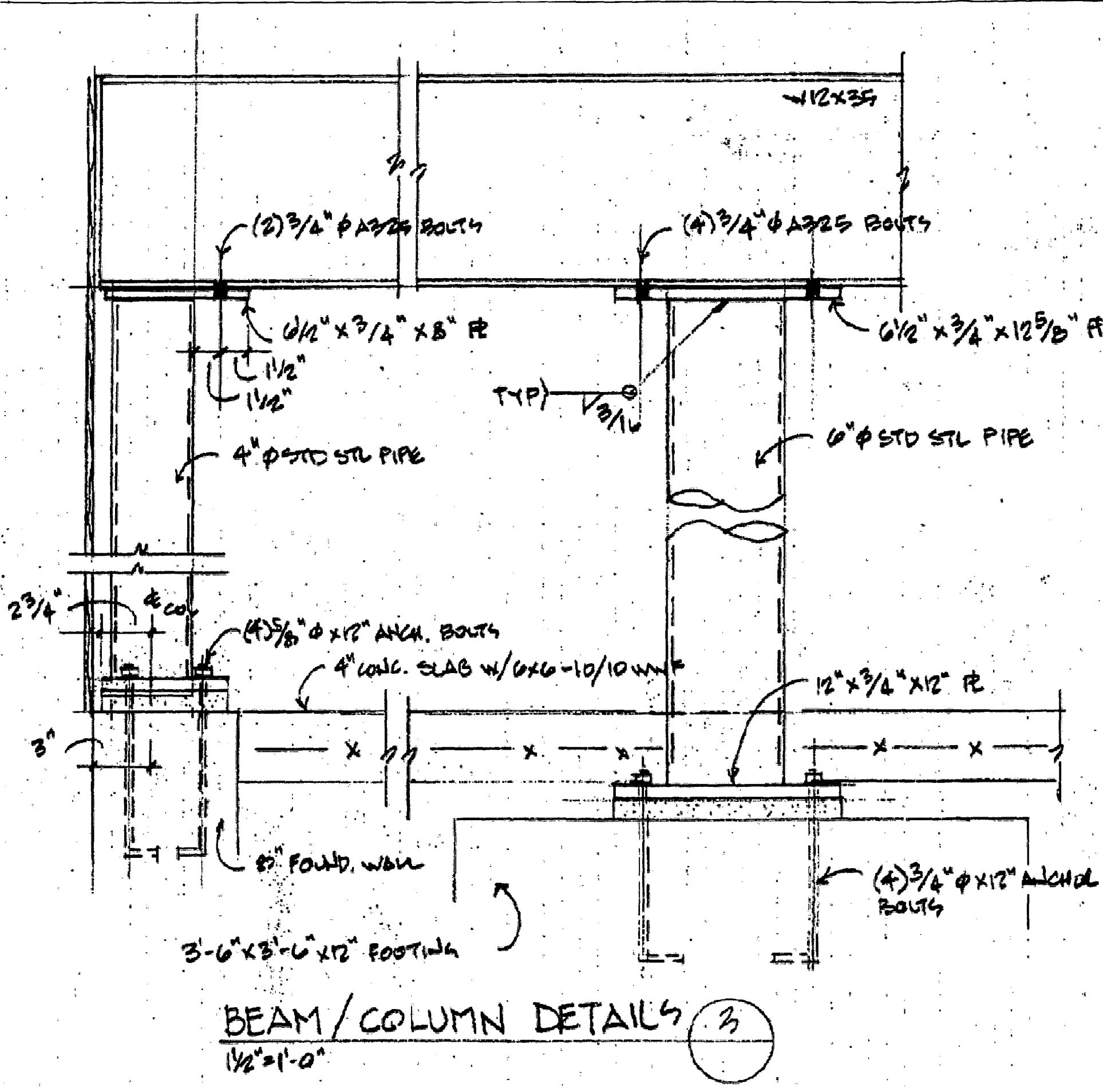
SCALE AS NOTED

Dates:

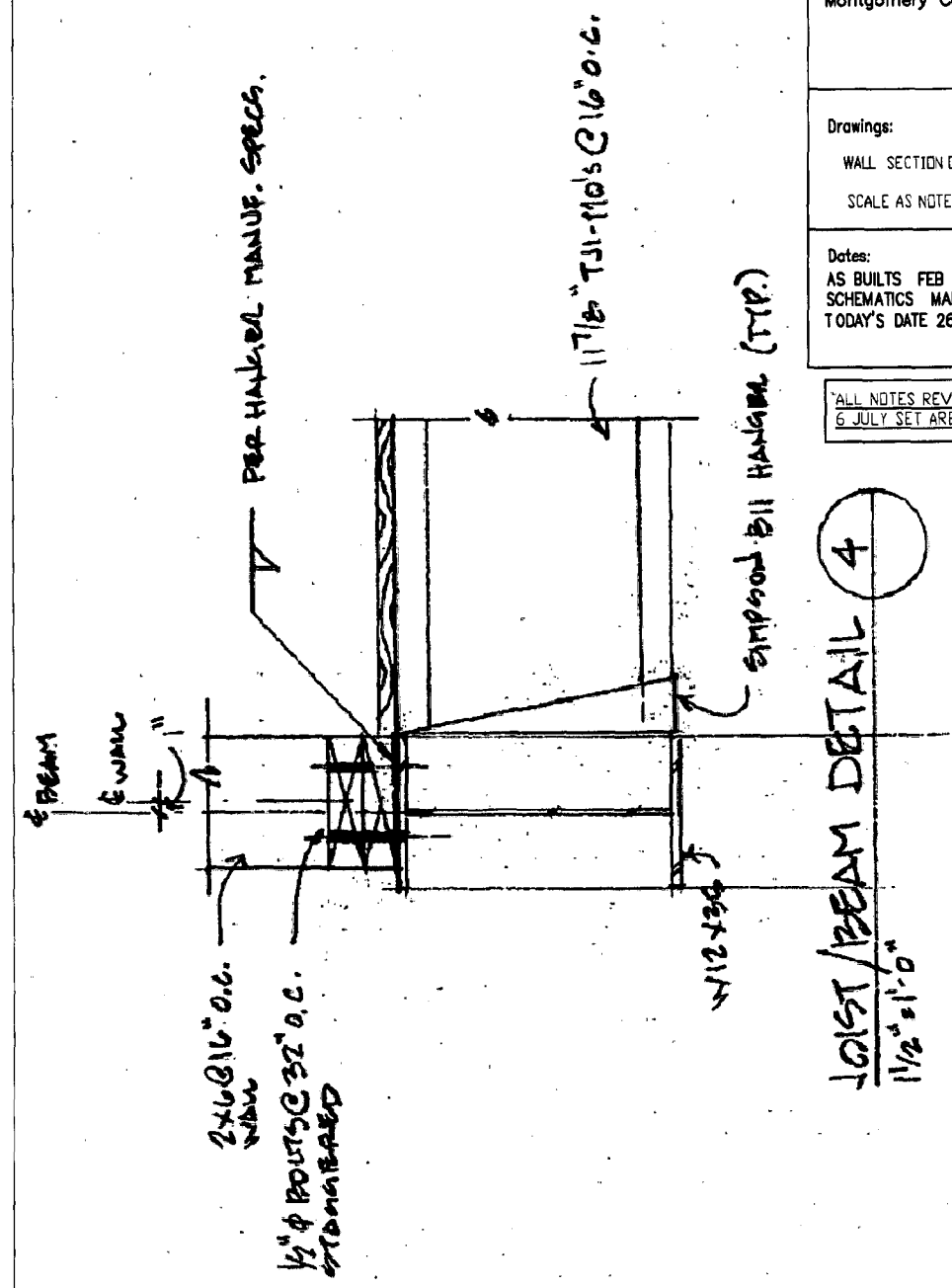
AS BUILT FEB 05
 SCHEMATICS MAR 05
 TODAY'S DATE 26 AUG 05

ALL NOTES REVISED SINCE
 6 JULY SET ARE UNDERLINED.

PERMIT SET - 26 AUGUST 05



BEAM/COLUMN DETAILS 3
 1/2" = 1'-0"



BEAM/BEAM DETAIL 4
 1 1/2" = 1'-0"

MICHE BOOZ
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 SCHEMATICS MAR 05
 TODAY'S DATE 26 AUG 05

ALL NOTES REVISED SINCE
 6 JULY SET ARE UNDERLINED

PERMIT SET - 26 AUGUST 05

DOOR SCHEDULE

Symbol	Type	Manuf./Style	muntin pattern	Material	Unit size	Comments
Ⓐ	8' Garage door	Designer Doors, Carozza model # BSVN-000,BSVN-241, or BSVN-242	n/a	Wood	9'-0" x 8'-0"	insulated
Ⓑ	7' Garage door	Designer Doors, Carozza model # BSVN-000,BSVN-241, or BSVN-242	n/a	Wood	9'-0" x 7'-0"	insulated
②	Inswing door	To be specified by contractor	6 lights over panel	Clad	3'-0" x 6'-8"	
③	Inswing door	To be specified by contractor	6 lights over panel	Clad	2'-10" x 6'-8"	
④	Inswing door	To be specified by contractor	6 lights over panel	Clad	3'-0" x 7'-2"	
⑤	Inswing door, interior	To be specified by contractor	n/a	Wood	3'-0" x 6'-8"	
⑥	Inswing door, interior	To be specified by contractor	n/a	Wood	2'-8" x 6'-8"	
⑦	bi-part door, interior	To be specified by contractor	n/a	Wood	3'-0" x 6'-8"	
⑧	attic hatch, interior	To be specified by contractor	n/a	Wood	2'-6" x 3'-8"	
⑨	bi-part door, interior	To be specified by contractor	n/a	Wood	2'-6" x 6'-8"	

WINDOW SCHEDULE

Symbol	Type	Manuf./Style	muntin pattern	Material	Unit size	Comments
Ⓐ	Casement	W'shield 11-2840	6 over 6, SDL	Clad, White	2'-8" x 3'-8 7/8"	1 egress unit tempered simulated to look like D/H
Ⓑ	Casement	W'shield 11-2850	6 over 6, SDL	Clad, White	2'-8" x 4'-6 7/8"	1 egress unit tempered simulated to look like D/H
Ⓒ	Awning	W'shield 11-2436	6 over 6, SDL	Clad, White	2'-4" x 3'-4 3/4"	w/ extension crank simulated to look like D/H
Ⓓ	Casement	W'shield 11-2440	6 over 6, SDL	Vinyl, White	2'-4" x 3'-8 7/8"	shower window to be vinyl simulated to look like D/H
Ⓔ	Double Hung	W'shield 11-2616	6 over 6, SDL	Clad, White	2'-7 5/16" x 3'-5 1/8"	

MICHE BOOZ

ARCHITECT

SC1

208/Market St
Brykoveville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

WINDOW & DOOR SCHEDULES

Dates:

AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 26 AUG 05

ALL NOTES REVISED SINCE
6 JULY SET ARE UNDERLINED.

① WINDOW & DOOR SCHEDULES
NOT TO SCALE

PERMIT SET - 26 AUGUST 05

HPC copy

DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF
WIND LOAD:
90 MPH
CONCRETE WEATHERING:
SEVERE
TERMITE INFESTATION:
MODERATE TO HEAVY
DECAY PROBABILITY:
SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY:
B
FROST LINE DEPTH:
30 IN.
WINTER DESIGN TEMP:
13°F
FLOOD HAZARDS:
NO

SPECIES/GRADE OF FRAMING
LUMBER: SPRUCE PINE OR FIR
NO.1 OR NO.2

LOADS

ROOMS OTHER THAN SLEEPING:
MIN. 40 PSF
STAIRS:
MIN. 40 PSF
FLOOR/ CEILING DEFLECTION:
L/360

SQUARE FOOTAGE

ADDITION:
ATTIC: 400 SF

TOTAL: 400 SF

RENOVATION:
TOTAL: 400 SF

ABBREVIATIONS

ABOVE	ABV
APPROXIMATE	APPROX.
AT	⊙
AVERAGES	AVG
BEAM	BM
BETWEEN	BET.
BLOCKING	BLKG
BOARD	BD
BOTTOM OF	B.O.
BRICK	BR.
BUILDING	BLDG
CEILING	CLG
CLEAN OUT	C.O.
COLUMN	COL.
CONCRETE	CONC.
CONC. MASONRY UNIT	CMU
CONTINUOUS	CONT.
DETAIL	DET.
DIAMETER	∅
DIMENSION	DIM.
DOOR	DR
DOWNSPOUT	D.S.
EACH	EA.
ELEVATION	EL.
ENTRANCE	ENT.
EXISTING	EXG
FEET	FT
FLOOR	FL.
FOUNDATION	FNDN
GLASS	GL.
GRADE	GR.
HARDWOOD	HDWD
HEIGHT	HT
INCH	IN.
INSULATION	INSUL.
INTERIOR	INT.
LIGHT	LT
MASONRY OPENING	M.O.
MEDICINE CABINET	M.C.
METAL	MET.
MINIMUM	MIN.
MISCELLANEOUS	MISC.
NUMBER	NO.
ON CENTER	O.C.
OPENING	OPNG
PAINTED	PTD
PLYWOOD	PLYWD
PLASTER	PLAS.
PLATE	PL.
ROUGH OPENING	R.O.
RISER	R.
ROOM	RM
SECTION	SEC.
SHEET	SHT
STEEL	STL
STONE	ST.
THRESHOLD	THRES.
THICKNESS	THK
TO MATCH EXISTING	T.M.E.
TOP OF	T.O.
TREAD	T.
TYPICAL	TYP.
UNDERSIDE	U/S
WITH	W/
WOOD	WD

INDEX OF DRAWINGS

CS.	COVERSHEET
AB1	AS-BUILT PLAN
AB2	AS-BUILT ELEVATIONS
A1	RENOV. PLANS & FRAMING PLANS
A2	NEW ELEVATIONS
A3	NEW SECTIONS
DT1	WALLS DETAILS 1 & 2

MICHE BOOZ

ARCHITECT

CS

208 Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

OFFICE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

COVERSHEET

Dates:

AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 28 JULY 05

Consultants:

General Contractor:

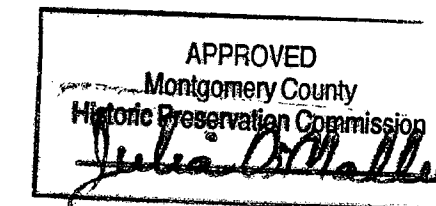
LOFGREN CONSTRUCTION

Mechanical Contractor:

T.B.D.

Electrical Contractor:

T.B.D.



FARM OFFICE AT TUSCULUM FARM

4601 DAMASCUS ROAD, LAYTONSVILLE, MARYLAND 20882

Code:

IRC 2003

PERMIT SET - 28 JULY 05

MICHE BOOZ

ARCHITECT

AB1

208/Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

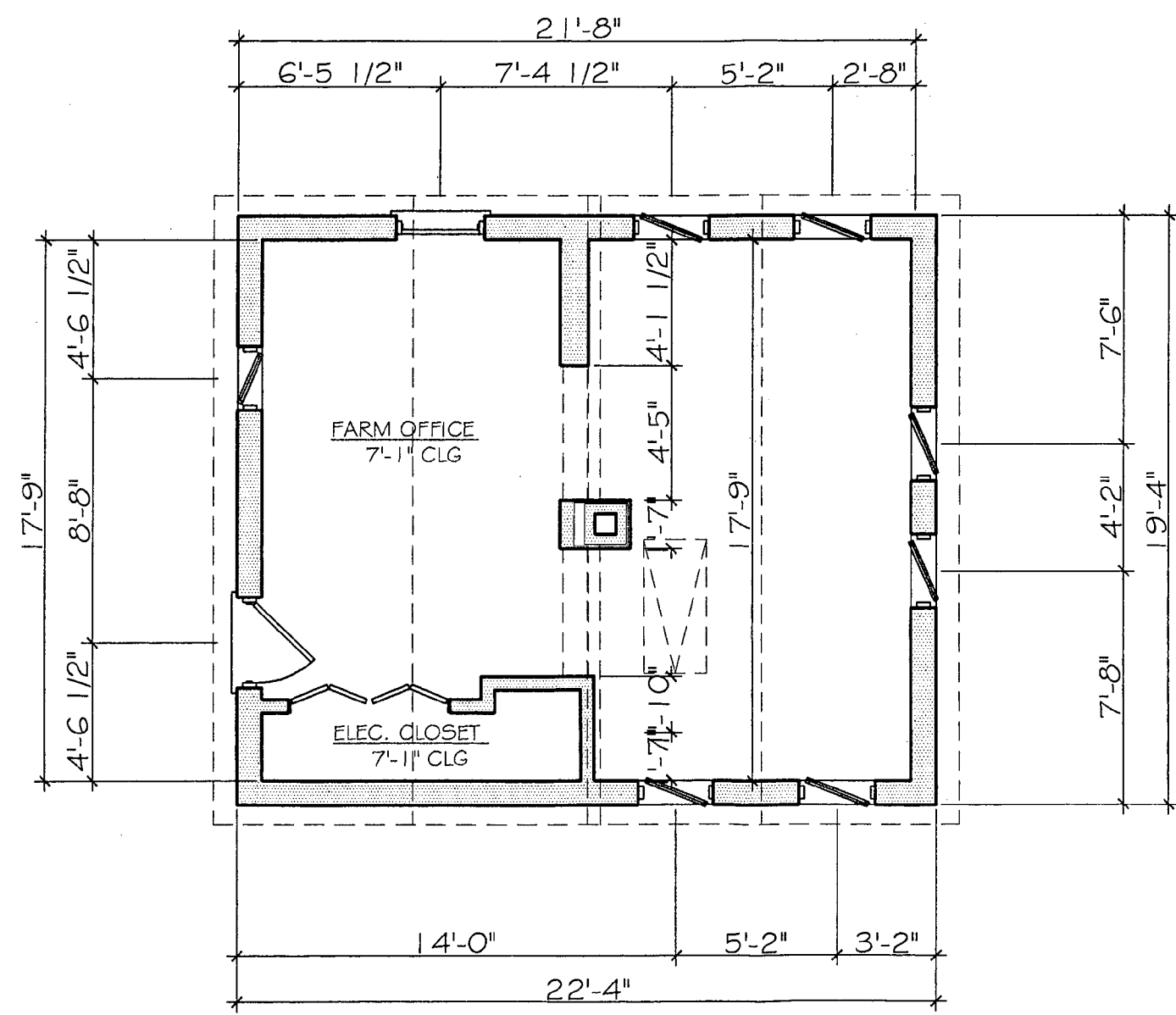
Project:
**OFFICE AT
TUSCULUM
FARMS**

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:
AS-BUILT PLANS
1/4"=1'-0"

Dates:
AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 28 JULY 05



1 EXG. OFFICE FLOOR PLAN
1/4" = 1'-0"

PERMIT SET - 28 JULY 05

MICHE BOOZ

ARCHITECT

AB2

208/Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

OFFICE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

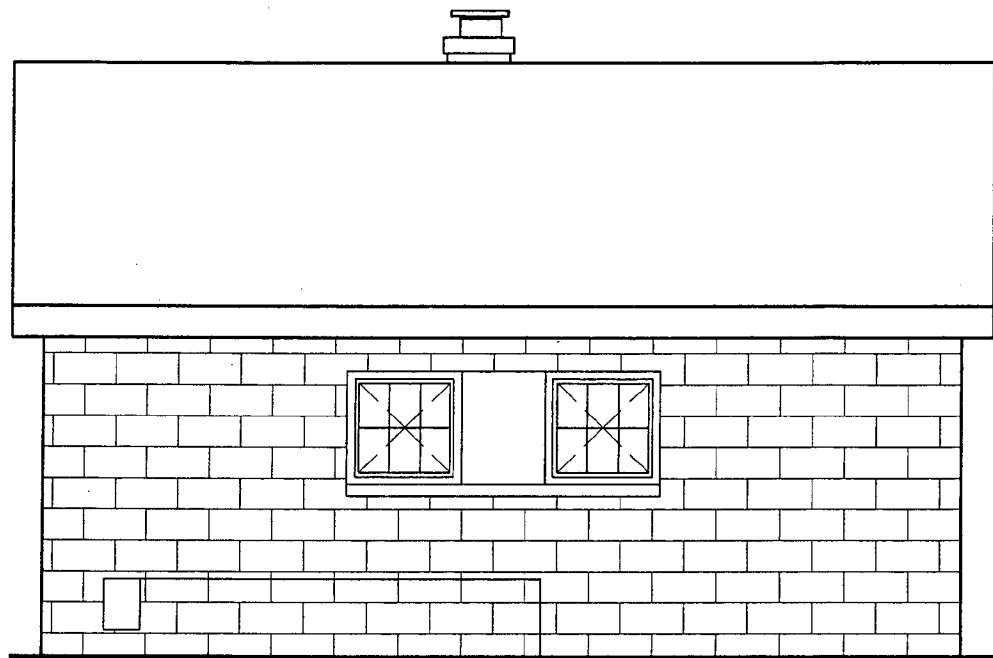
Drawings:

AS-BUILT ELEVATIONS

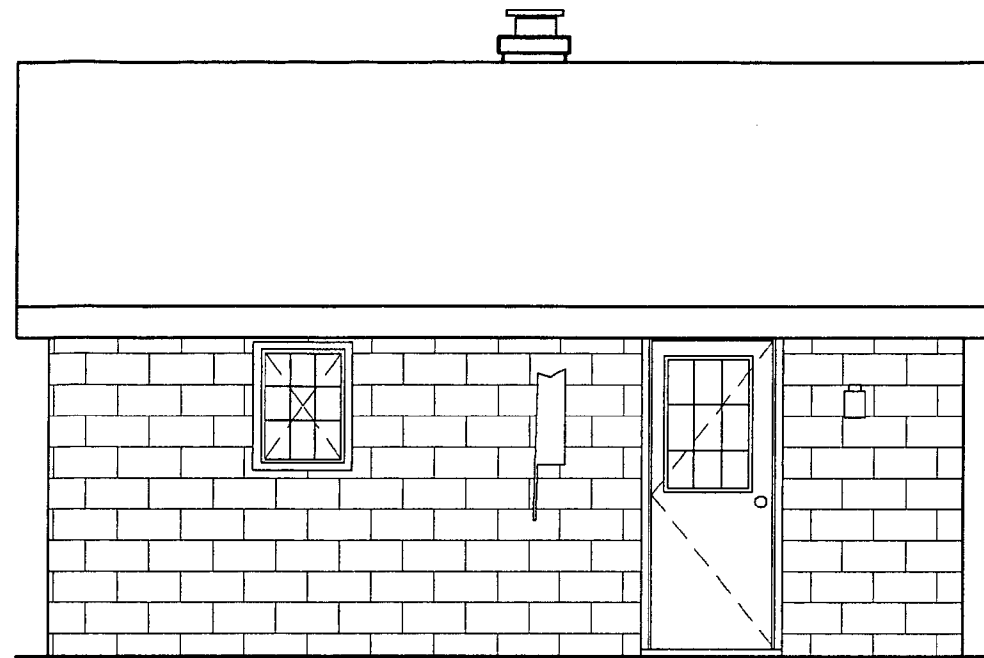
1/4"=1'-0"

Dates:

AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 28 JULY 05



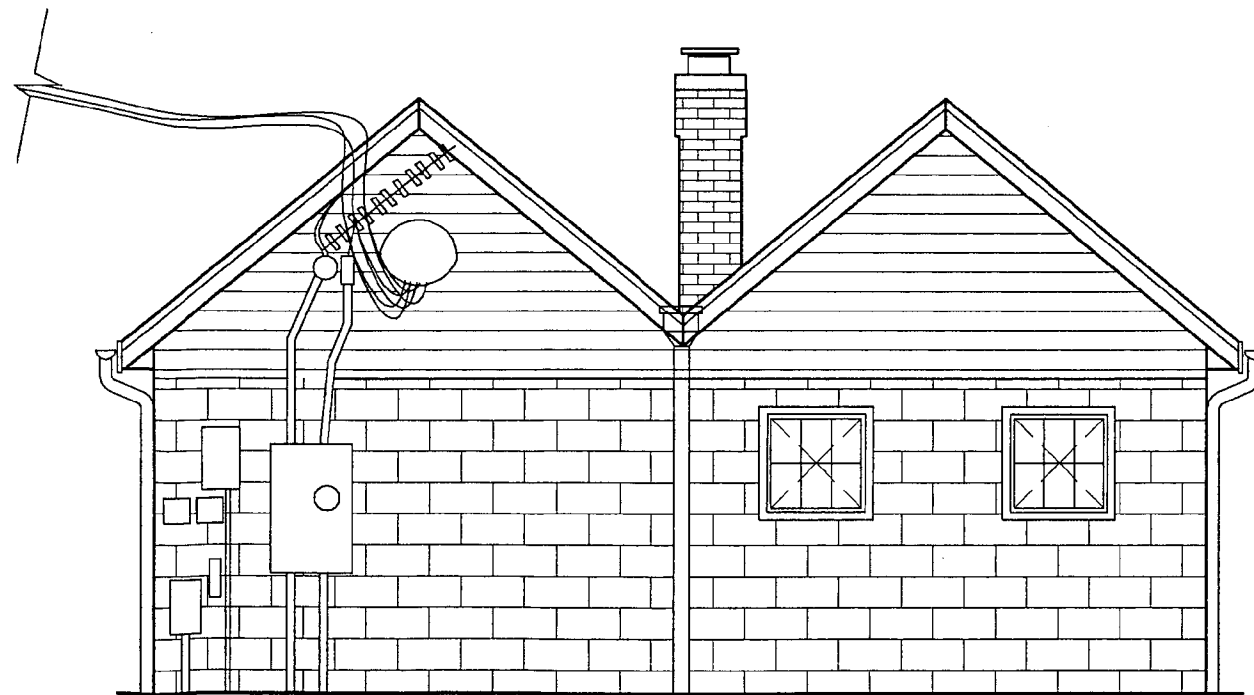
1 EXG. OFFICE ELEVATION-WEST
1/4" = 1'-0"



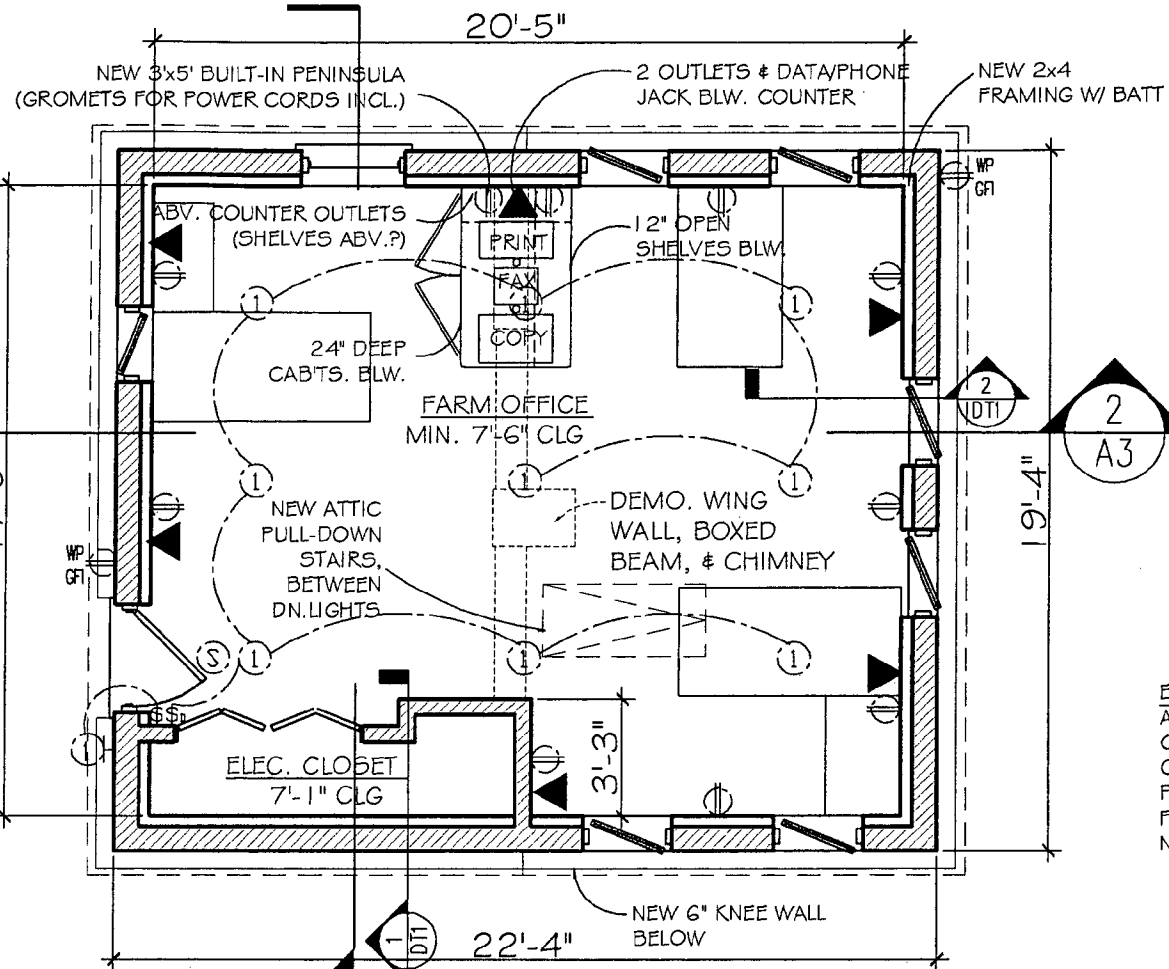
2 EXG. OFFICE ELEVATION-EAST
1/4" = 1'-0"



3 EXG. OFFICE ELEVATION-SOUTH
1/4" = 1'-0"



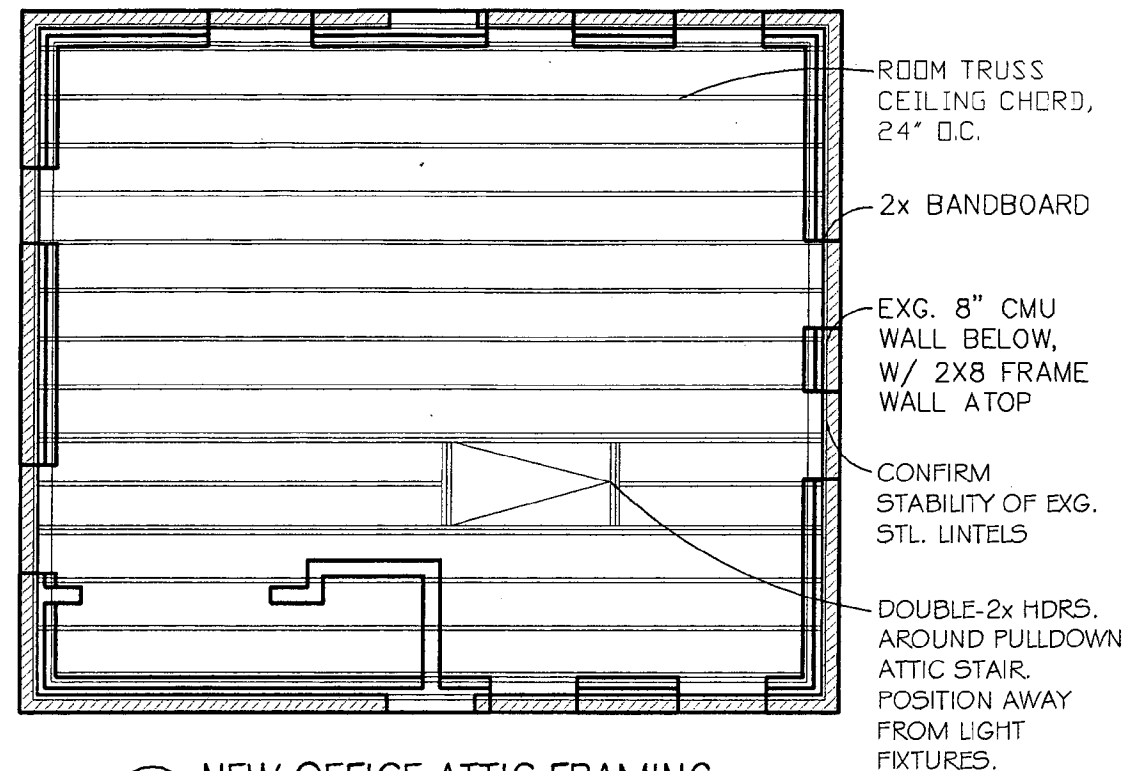
4 EXG. OFFICE ELEVATION-NORTH
1/4" = 1'-0"



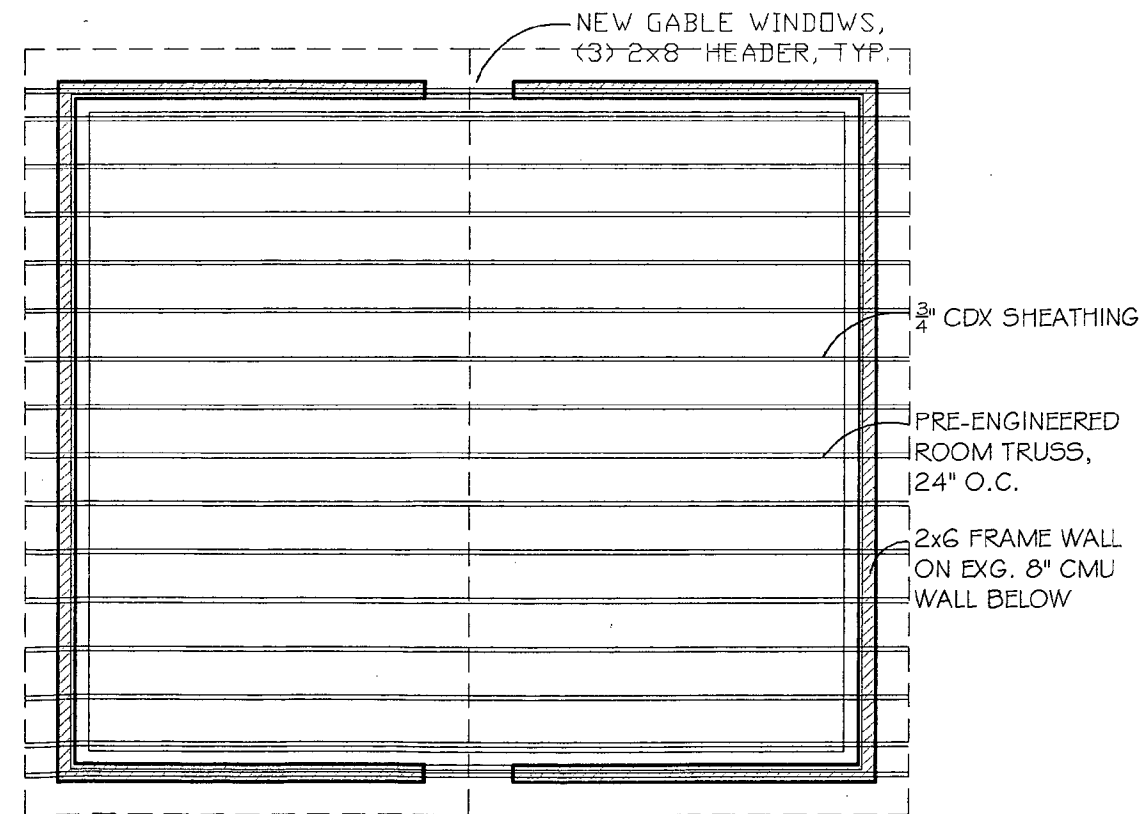
ELECTRICAL NOTES:
 ATTIC TO INCL. PULL
 CHORD LIGHTING &
 OUTLETS FOR HEAT
 PUMP.
 FLOOR OUTLETS AS
 NEEDED.

1 NEW OFFICE FLOOR PLAN
 1/4" = 1'-0"

Symbol	Type
Ⓚ	recessed downlight
Ⓛ	exterior wall mounted light
Ⓛ	duplex outlet
◀	data/media/tel. jack
WP GFI Ⓛ	duplex outlet waterproof w/ ground fault interrupt
s	single pole switch
Ⓛ	switch w/preset dimmer
Ⓢ	smoke detector



2 NEW OFFICE ATTIC FRAMING
 1/4" = 1'-0"



3 NEW OFFICE ROOF FRAMING
 1/4" = 1'-0"

MICHE BOOZ

ARCHITECT

A1

208 Market St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

Project:

OFFICE AT
 TUSCULUM
 FARMS

4601 Damascus Road
 Laytonsville, MD 20882

Montgomery County

Drawings:

PLANS

1/4"=1'-0"

Dates:

AS BUILTS FEB 05
 SCHEMATICS MAR 05
 TODAY'S DATE 28 JULY 05

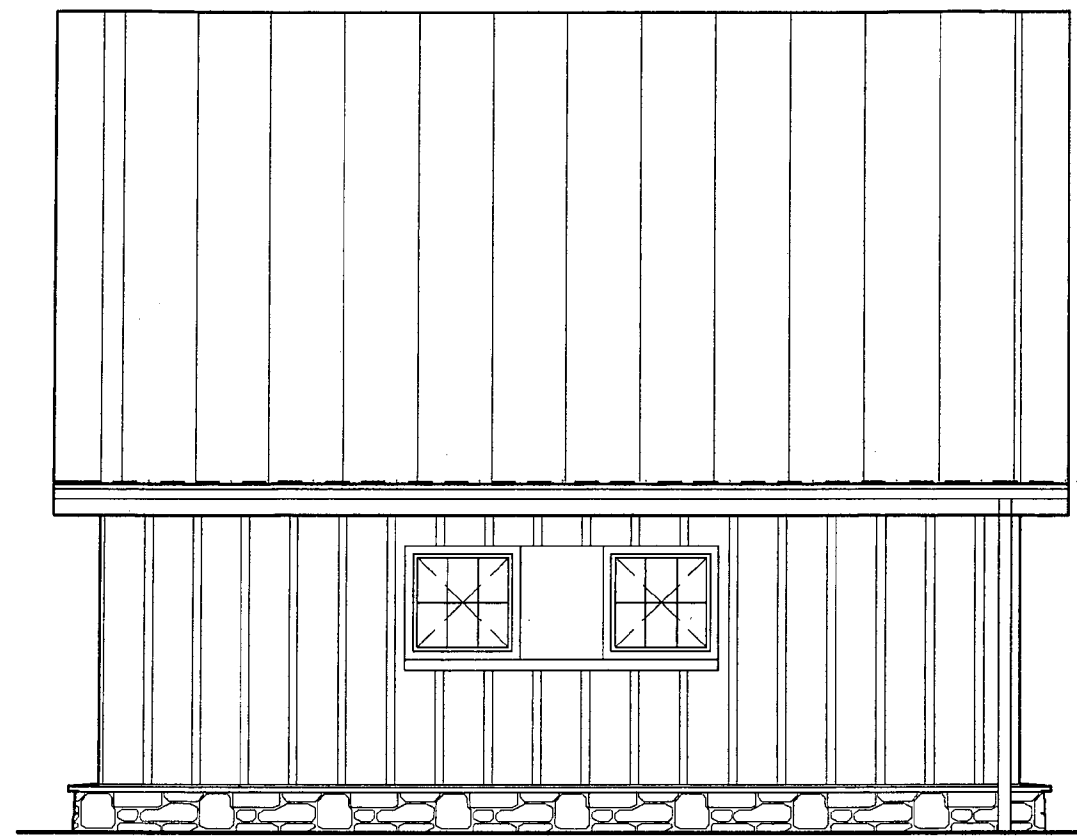
PERMIT SET - 28 JULY 05

MICHE BOOZ
 ARCHITECT
A2
 208 Market St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

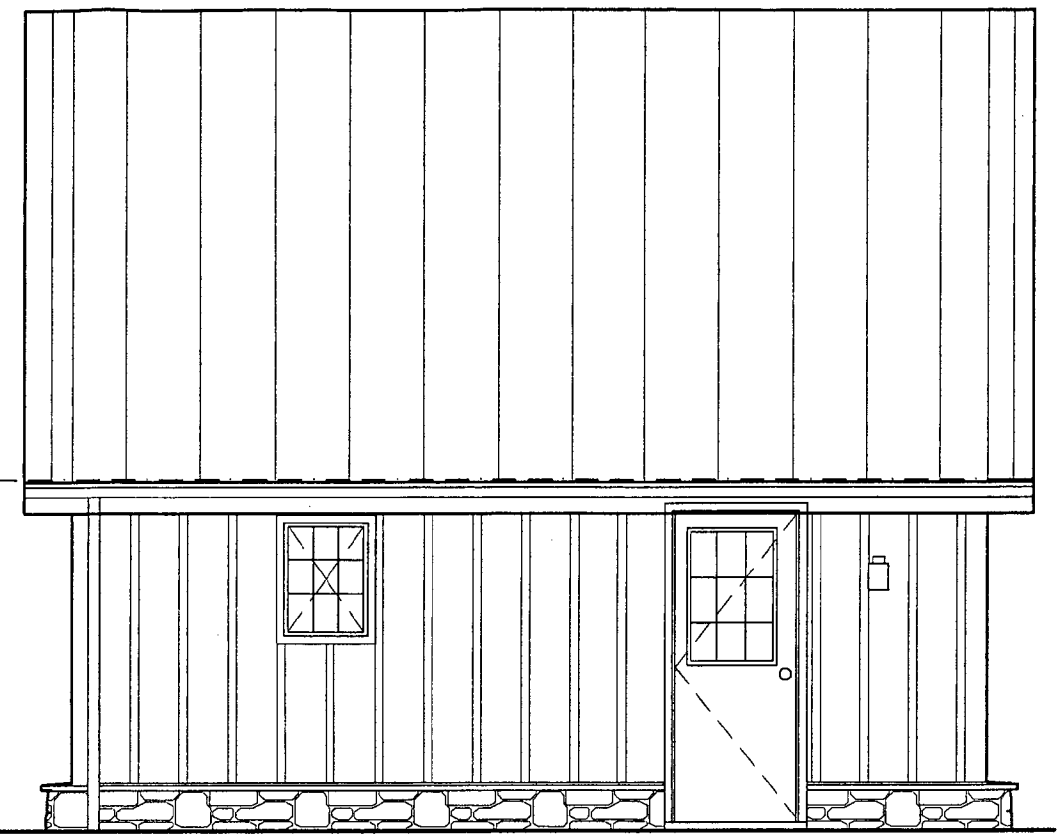
Project:
OFFICE AT TUSCULUM FARMS
 4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 ELEVATIONS
 1/4"=1'-0"

Dates:
 AS BUILTS FEB 05
 SCHEMATICS MAR 05
 TODAY'S DATE 28 JULY 05



1 NEW OFFICE ELEVATION-WEST
 1/4" = 1'-0"



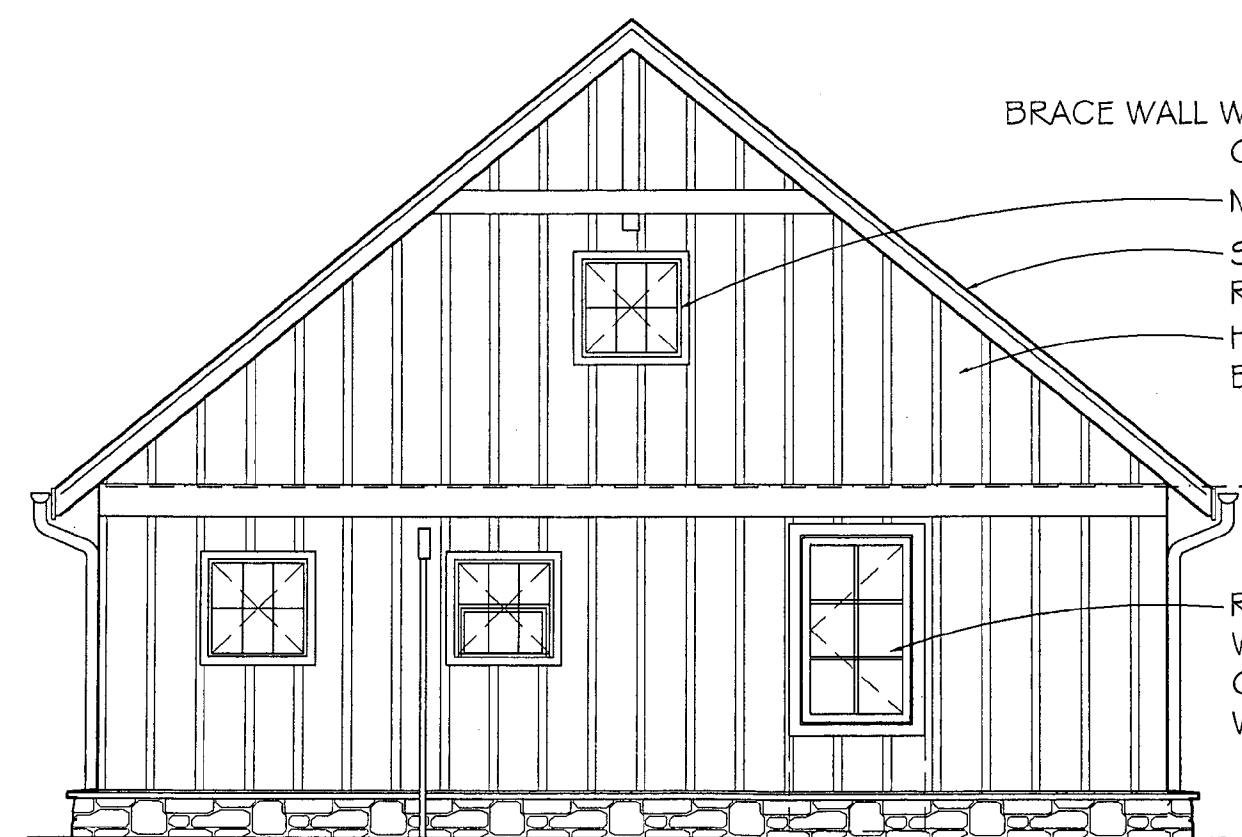
2 NEW OFFICE ELEVATION-EAST
 1/4" = 1'-0"

7'-6"
 FF-OFFICE

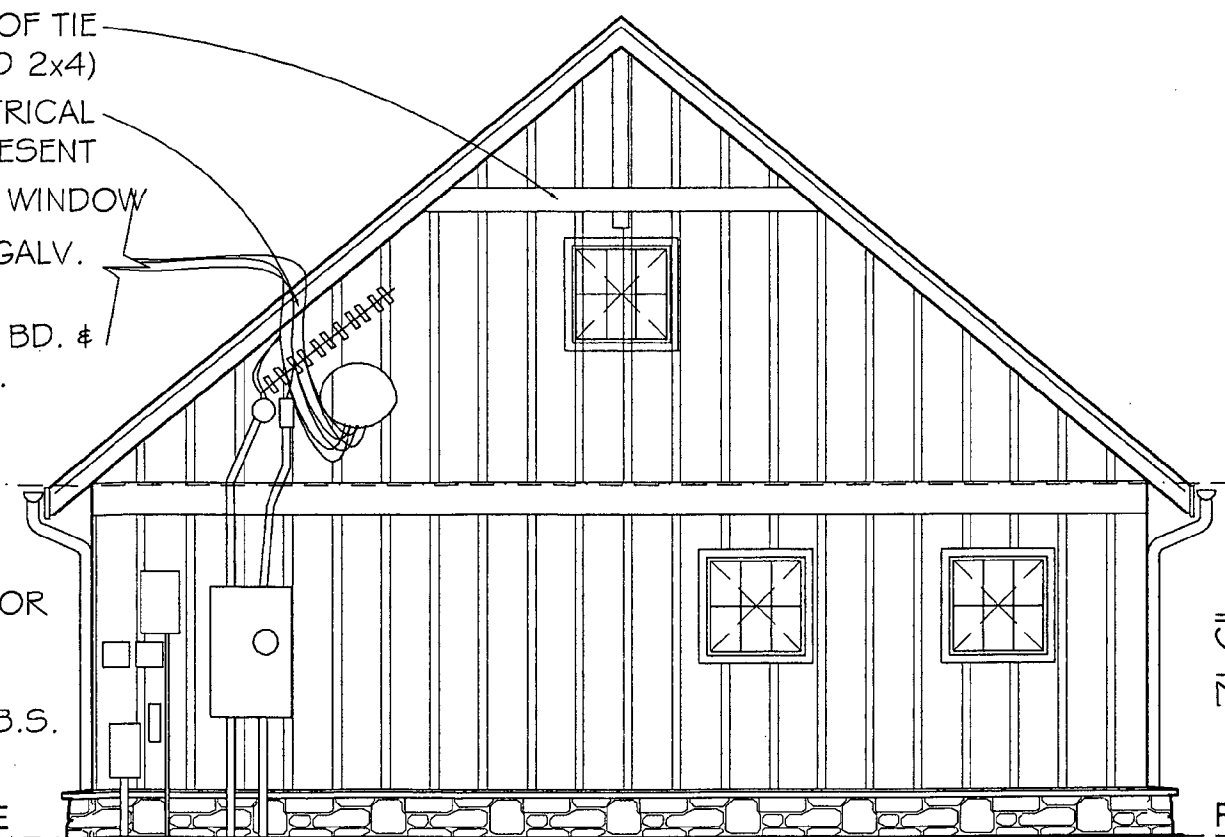
FF-OFFICE

7'-6"

FF-OFFICE



3 NEW OFFICE ELEVATION-SOUTH
 1/4" = 1'-0"



4 NEW OFFICE ELEVATION-NORTH
 1/4" = 1'-0"

DECOR. ROOF TIE
 (2x6 AND 2x4)
 BRACE WALL WHERE ELECTRICAL
 CONDUIT PRESENT
 MATCH EXG. WINDOW
 STD. SEAM GALV.
 ROOF, TYP.
 HARDIPLANK BD. &
 BATTEN, TYP.

REPLACE DOOR
 W/ 30"x48"
 CASEMENT
 WINDOW, T.B.S.

PERMIT SET - 28 JULY 05

MICHE BOOZ

ARCHITECT

A3

208/Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

OFFICE AT
TUSCULUM
FARMS

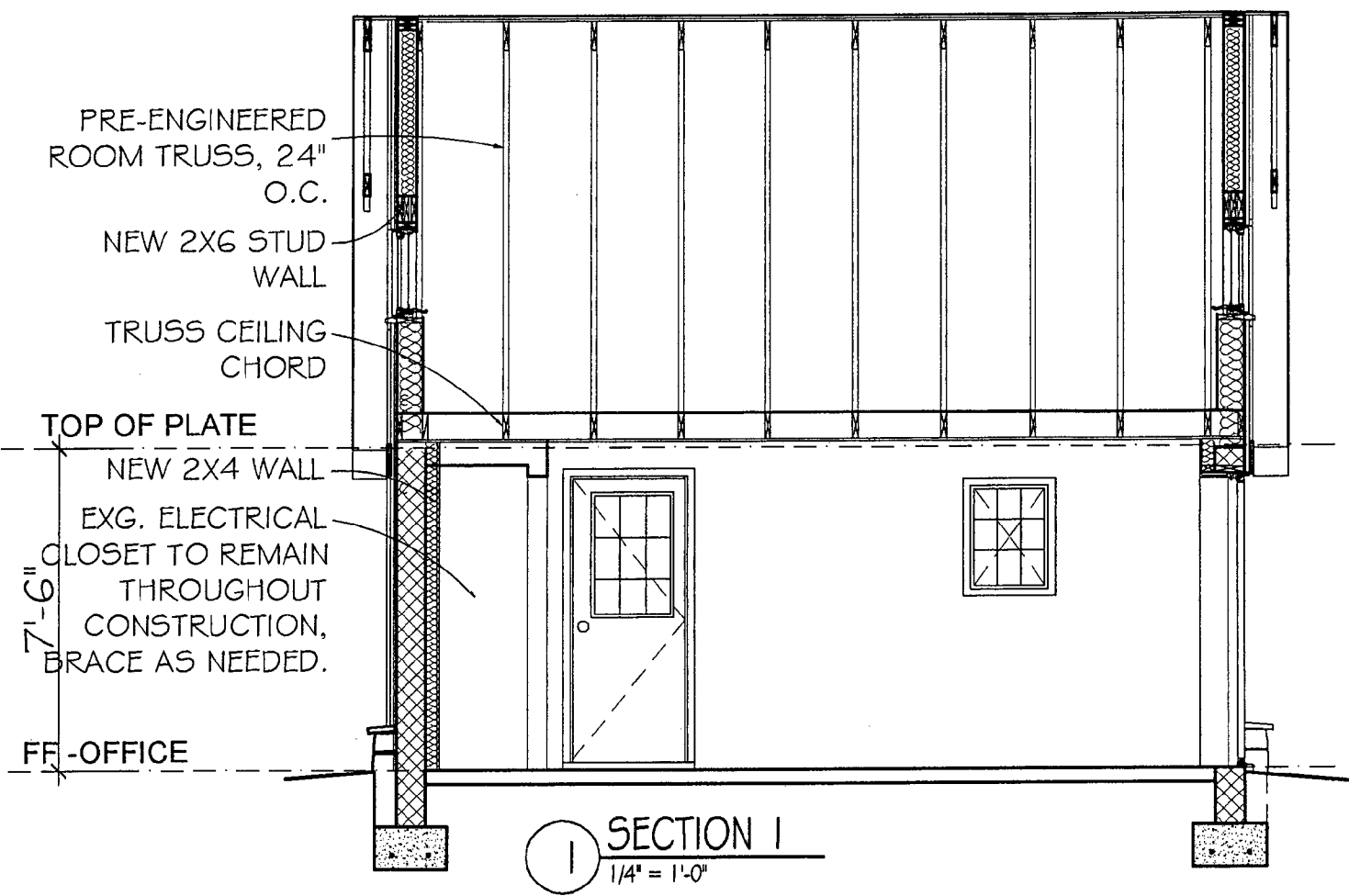
4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:

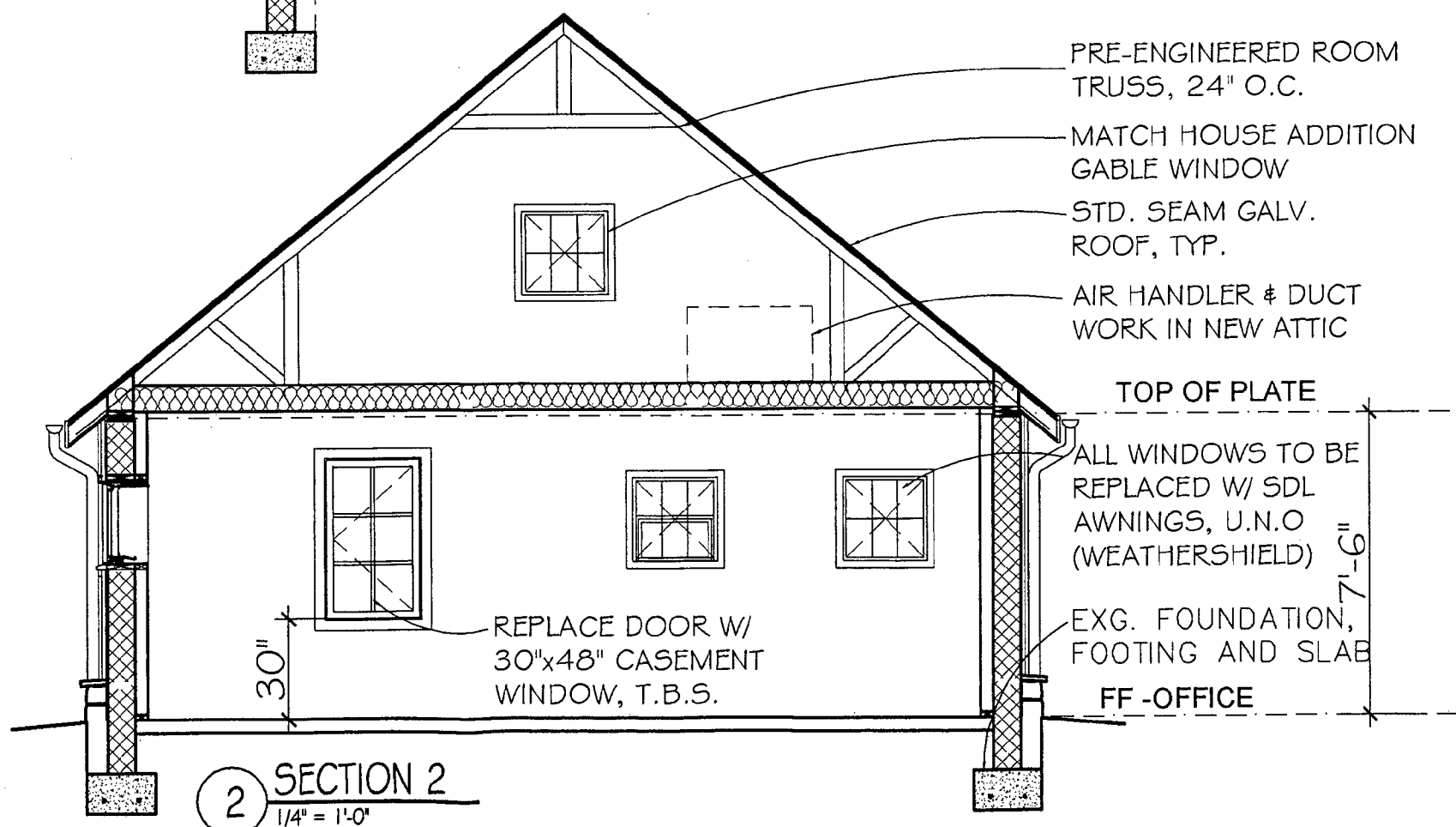
SECTIONS
1/4" = 1'-0"

Dates:

AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 28 JULY 05



SECTION 1
1/4" = 1'-0"



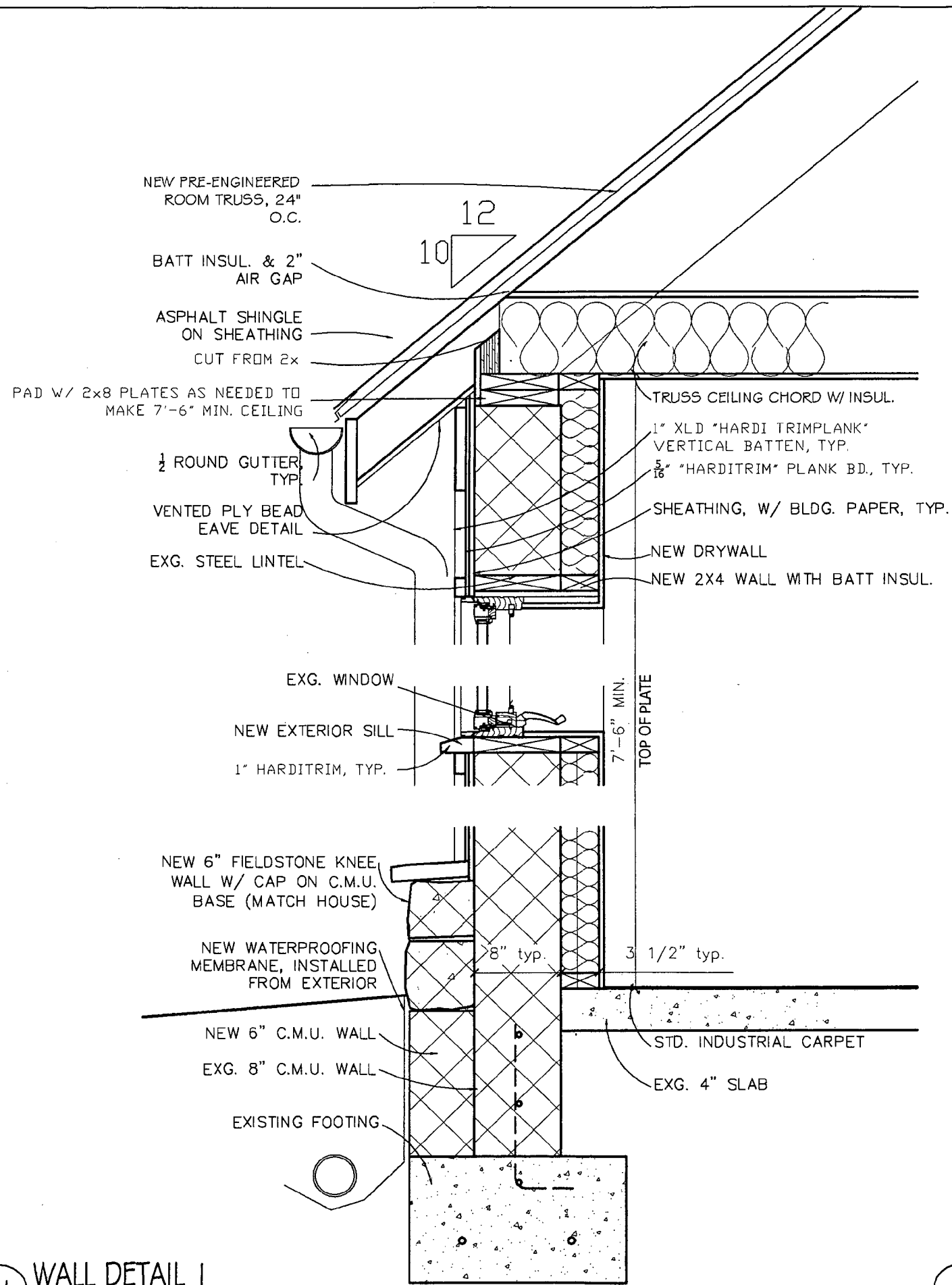
SECTION 2
1/4" = 1'-0"

PERMIT SET - 28 JULY 05

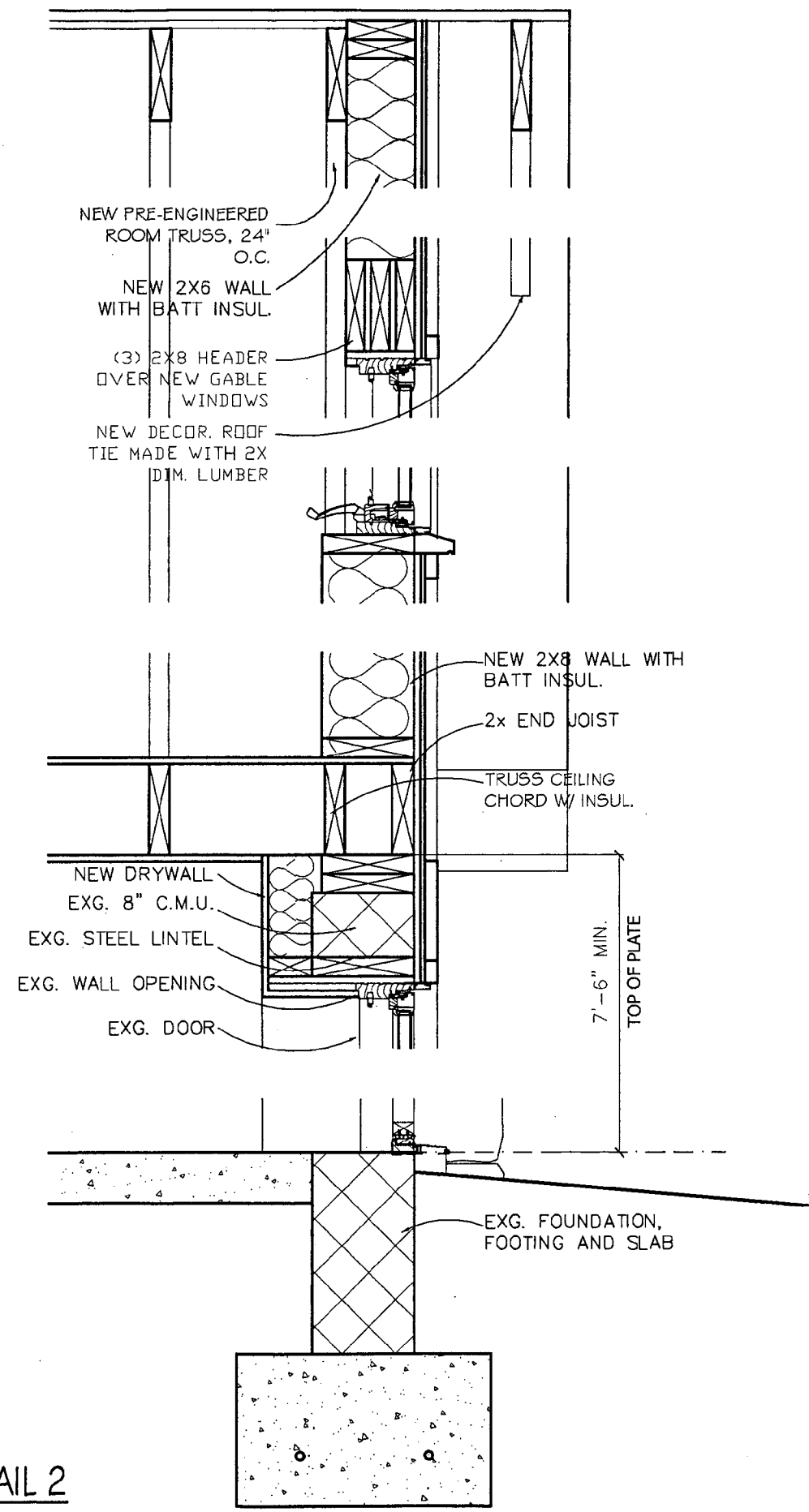
MICHE BOOZ
 ARCHITECT
 208/Market St
 Brykerville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

Project:
OFFICE AT TUSCULUM FARMS
 4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 WALL DETAILS
 1"=1'-0"
 Dates:
 AS BUILTS FEB 05
 SCHEMATICS MAR 05
 TODAY'S DATE 28 JULY 05



1 WALL DETAIL 1
 1" = 1'-0"






2 WALL DETAIL 2
 1" = 1'-0"

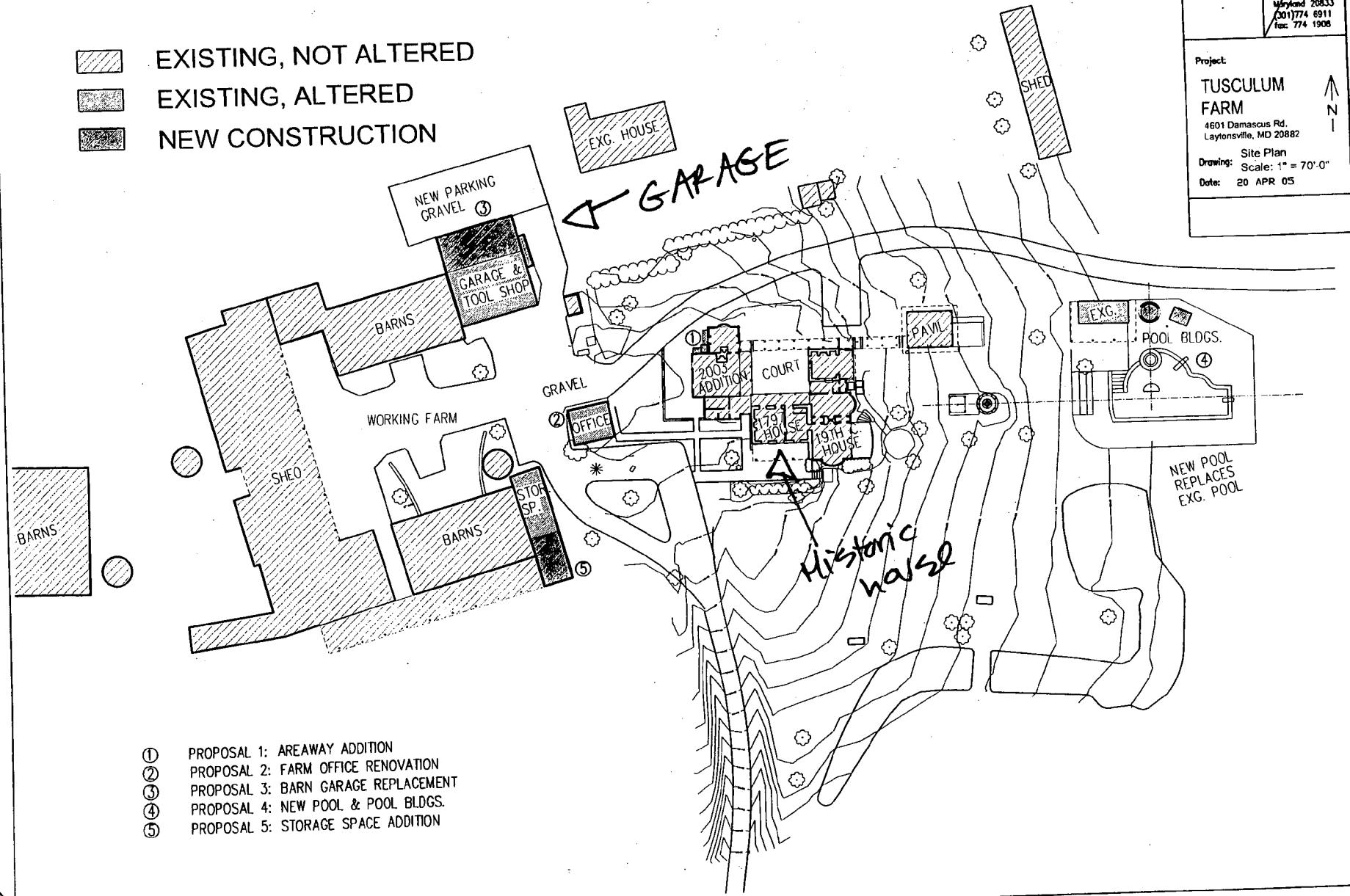
PERMIT SET - 28 JULY 05

MICHE BOOZ
ARCHITECT
209 Market St
Bryansville, Maryland 20833
(301) 774 6911
fax: 774 1906

Project:
TUSCULUM FARM
4601 Damascus Rd.
Laytonville, MD 20882
Site Plan
Drawing: Scale: 1" = 70'-0"
Date: 20 APR 05

drawings prepared at HRC workshop session 7-27-05

-  EXISTING, NOT ALTERED
-  EXISTING, ALTERED
-  NEW CONSTRUCTION



- ① PROPOSAL 1: AREAWAY ADDITION
- ② PROPOSAL 2: FARM OFFICE RENOVATION
- ③ PROPOSAL 3: BARN GARAGE REPLACEMENT
- ④ PROPOSAL 4: NEW POOL & POOL BLDGS.
- ⑤ PROPOSAL 5: STORAGE SPACE ADDITION

Fothergill, Anne

From: MICHEBOOZ@aol.com
Sent: Friday, July 22, 2005 11:24 AM
To: Fothergill, Anne
Subject: Re: Tusculum garage revision

Anne,

Here are the changes to the Freeman garage at Tusculum Farm, as you requested:

- 1) added a field stone knee wall w/ cap (1' high): to match house (for both the Garage and the Farm Office). This is to give the outbuildings some continuity with the house.
- 2) building dimensions: garage is a) one foot deeper than 5/11/05 set indicated (change from 50'-11" to 52'-0"); b) 2'-4" higher than 4/20/05 set indicated (from 25'-8" to 28'-0"); c) the "saddlebag" apartment entry mass is extended in depth from 21'-8" (on 4/11/05 set) to 25'-0".
- 3) garage doors: to be "Designer Doors" carriage style model "Carrozza" BSVN, BSVH, or BCVH, as specified on 4/29/05. Disregard the latest drawings which show custom doors.
- 4) floor plans: ground floor & apartment floor configurations have been revised, but inside of a minimally changed footprint.
- 5) Rear dormers: altered from 3 gable dormers to 1 long shed dormer on north (rear) side ONLY. This was necessary to make the floor plan more useable.
- 6) windows: All windows have been changed to a 6/6 light pattern. One window was added under the taller gable, replacing the decorative collar tie.
- 7) Front (south) elevation: altered to add office space on ground floor.
- 8) Deck: Deck added above rear garage shed.

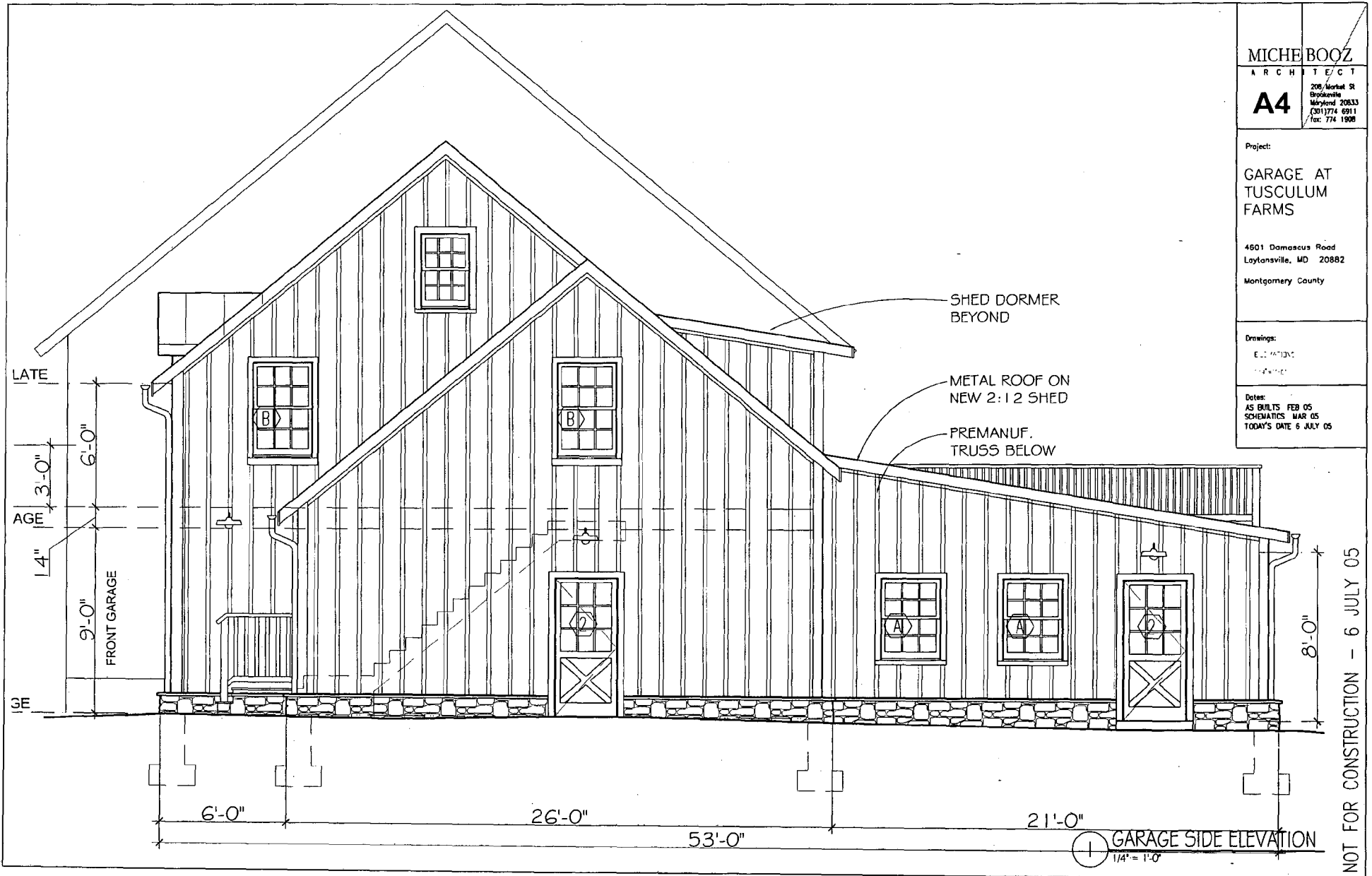
I apologize for so many changes. I can see now that the April drawings were somewhat less developed than they should have been.

Thanks,

Joe

Joe Harris
Miche Booz Architect

PROPOSED



MICHE BOOZ

ARCHITECT

A4

208 Market St
Brookville
Maryland 20833
(301) 774-6911
Fax: 774-1908

Project:
GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:
ELECTRICAL
MECHANICAL

Date:
AS BUILT: FEB 05
SCHEMATICS: MAR 05
TODAY'S DATE: 6 JULY 05

NOT FOR CONSTRUCTION - 6 JULY 05

⊕ GARAGE SIDE ELEVATION
1/4" = 1'-0"

MICHEL BOOZ
 ARCHITECT
A2
 208 Market St
 Brykewille
 Maryland 20833
 (301) 774-6911
 fax: 774-1988

Project:
GARAGE AT TUSCULUM FARMS
 4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 ELEVATION
 1/4" = 1'-0"

Dates:
 AS BUILTS FEB 05
 SCHEMATICS MAR 05
 TODAY'S DATE 6 JULY 05



GALV. ALUM.
 CRIMP ROOF TYP.

SASH TO ALIGN
 W/ FASCIA TYP.

TOP OF PLATE

6'-0"
 FF -ATTIC

3'-0"
 FF -APMT.
 CLG. GARAGE

14"
 9'-0"
 FRONT GARAGE

FF -GARAGE

DRAIN UNDER GRADE TO
 DAYLIGHT

1 GARAGE FRONT ELEVATION
 1/4" = 1'-0"

NOT FOR CONSTRUCTION - 6 JULY 05

MICHE BOOZ

ARCHITECT

A3

208 Market St
Brykewille
Maryland 20833
(301) 774-8911
Fax: 774-1908

Project:

GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

ELEVATIONS

1/2005

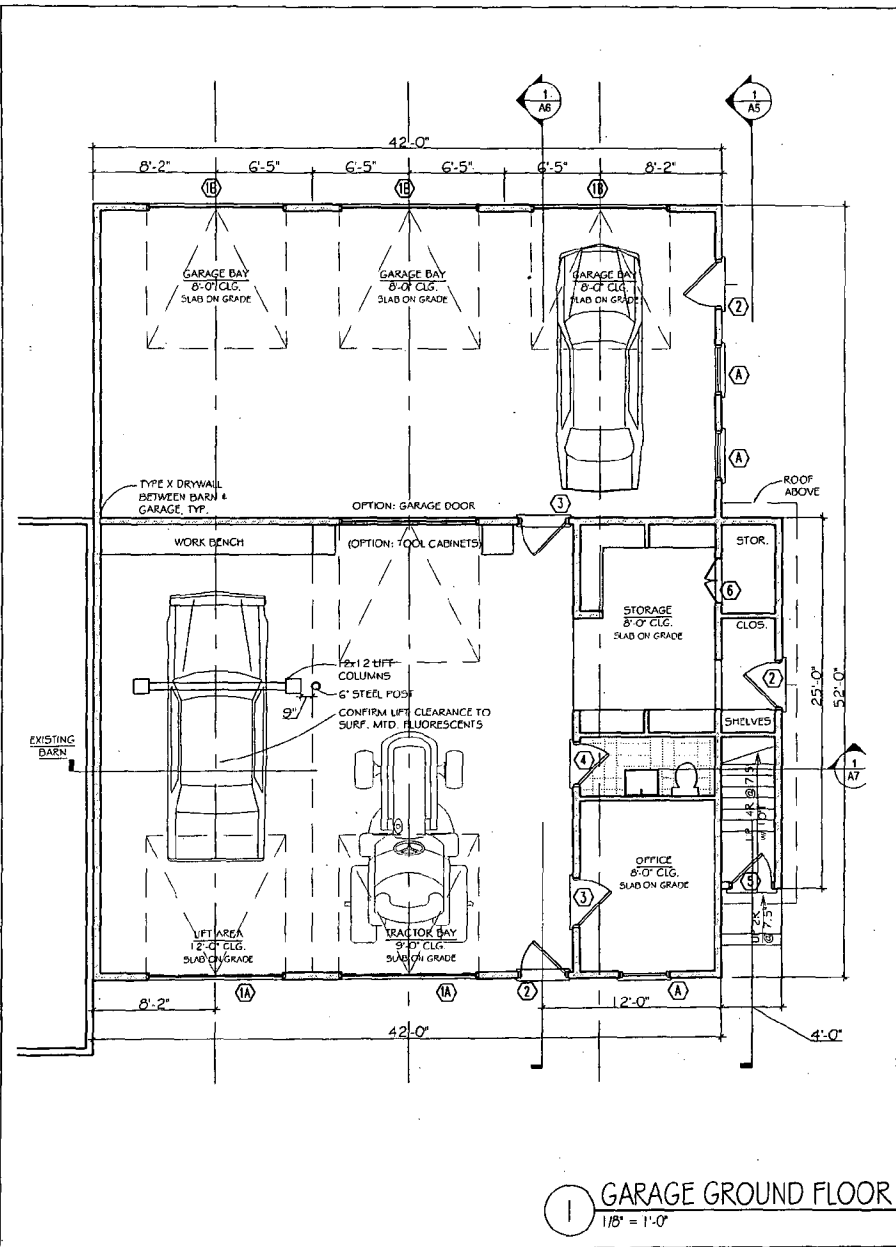
Dates:

AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 6 JULY 05

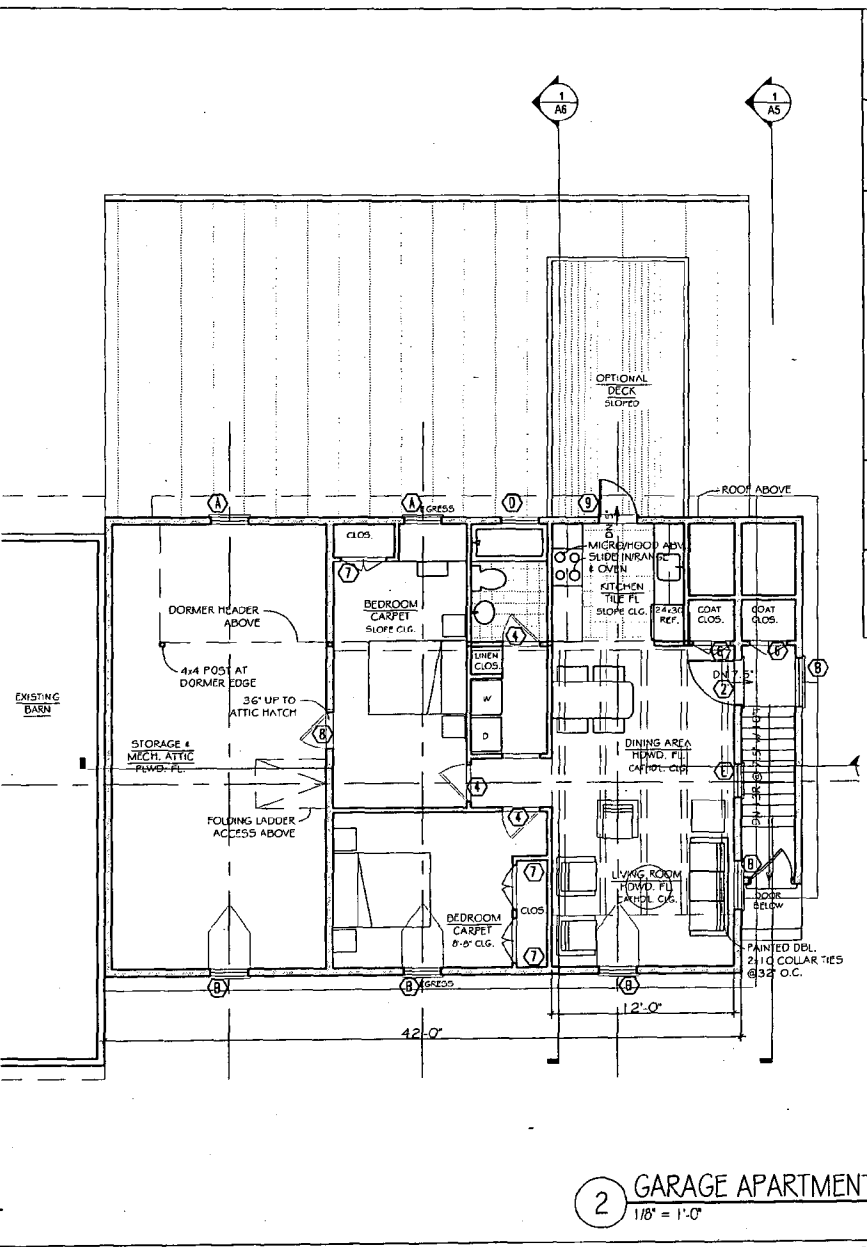


1 GARAGE REAR ELEVATION
1/4" = 1'-0"

NOT FOR CONSTRUCTION - 6 JULY 05



1 GARAGE GROUND FLOOR
1/8" = 1'-0"



2 GARAGE APARTMENT PLAN
1/8" = 1'-0"

MICHE BOOZ
ARCHITECT
A1
208 Market St
Brookville
Maryland 20833
301/774-6911
fax: 774-1903

Project:
GARAGE AT TUSCULUM FARMS

4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:
P. 1 of 2
P. 2 of 2

Dates:
AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 6 JULY 05

NOT FOR CONSTRUCTION - 6 JULY 05

Approved May 2005

one foot deeper and
one foot taller

than shown

MICHE BOOZ
ARCHITECT

A3

208 Market St
Brykville
Maryland 20833
501774 8911
fax: 774 1909

Project:

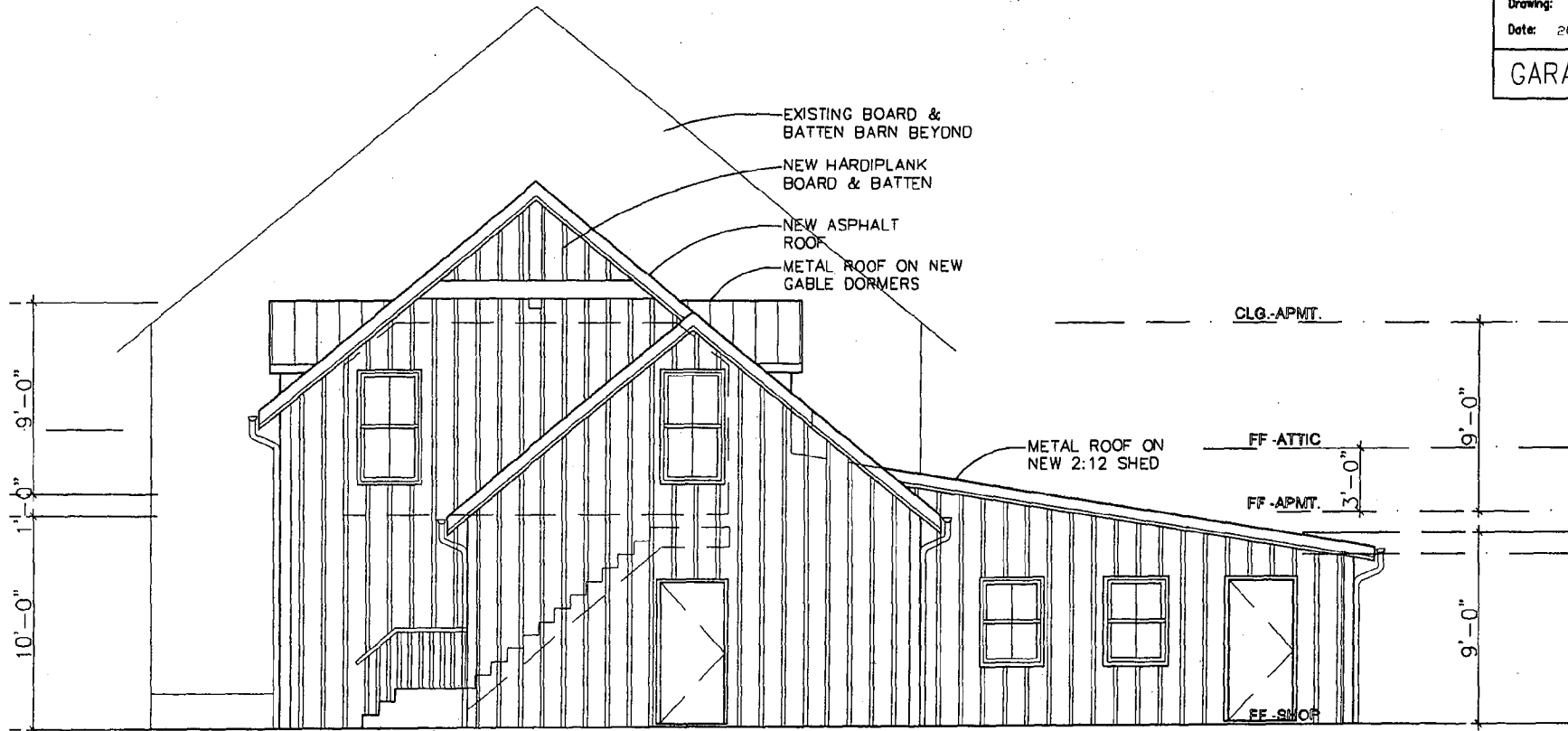
TUSCULUM
FARM

4601 Damascus Rd.
Loydsville, MD 20882

Drawing:

Date: 20 APR 05

GARAGE/APT.



1 EAST SIDE ELEVATION
1/8" = 1'-0"

(bl)

MICHE BOOZ
ARCHITECT

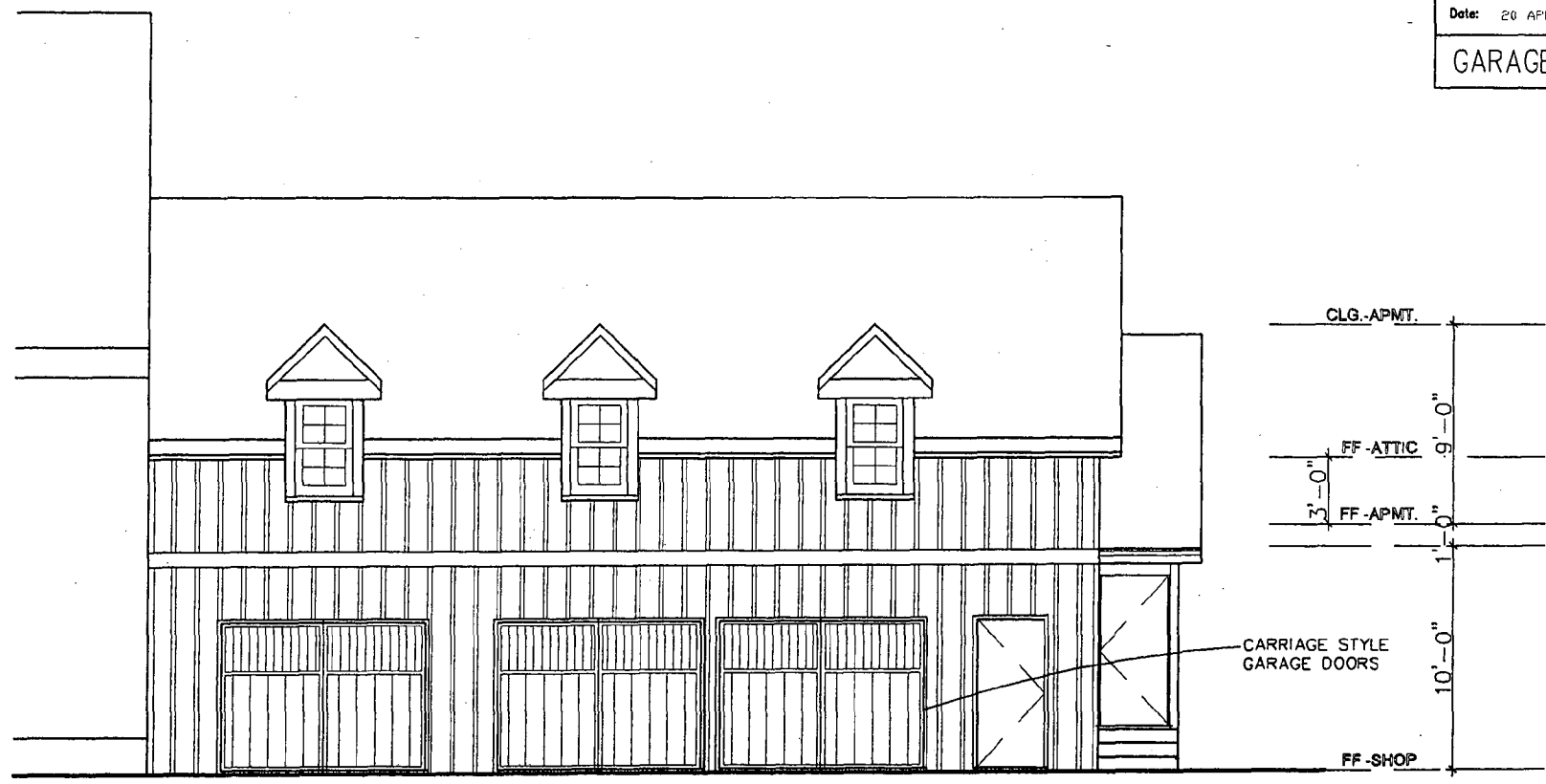
A4

208 Market St.
Brykville
Maryland 20833
(301) 774-6911
fax: 774-1908

Project:
**TUSCULUM
FARM**
4501 Damascus Rd.
Laytonville, MD 20882

Drawing:
Date: 20 APR 05

GARAGE/APT.



1 SOUTH SIDE ELEVATION
1/8" = 1'-0"

20

MICHE BOOZ
ARCHITECT

A5

208 Alarket St
Brykowskie
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

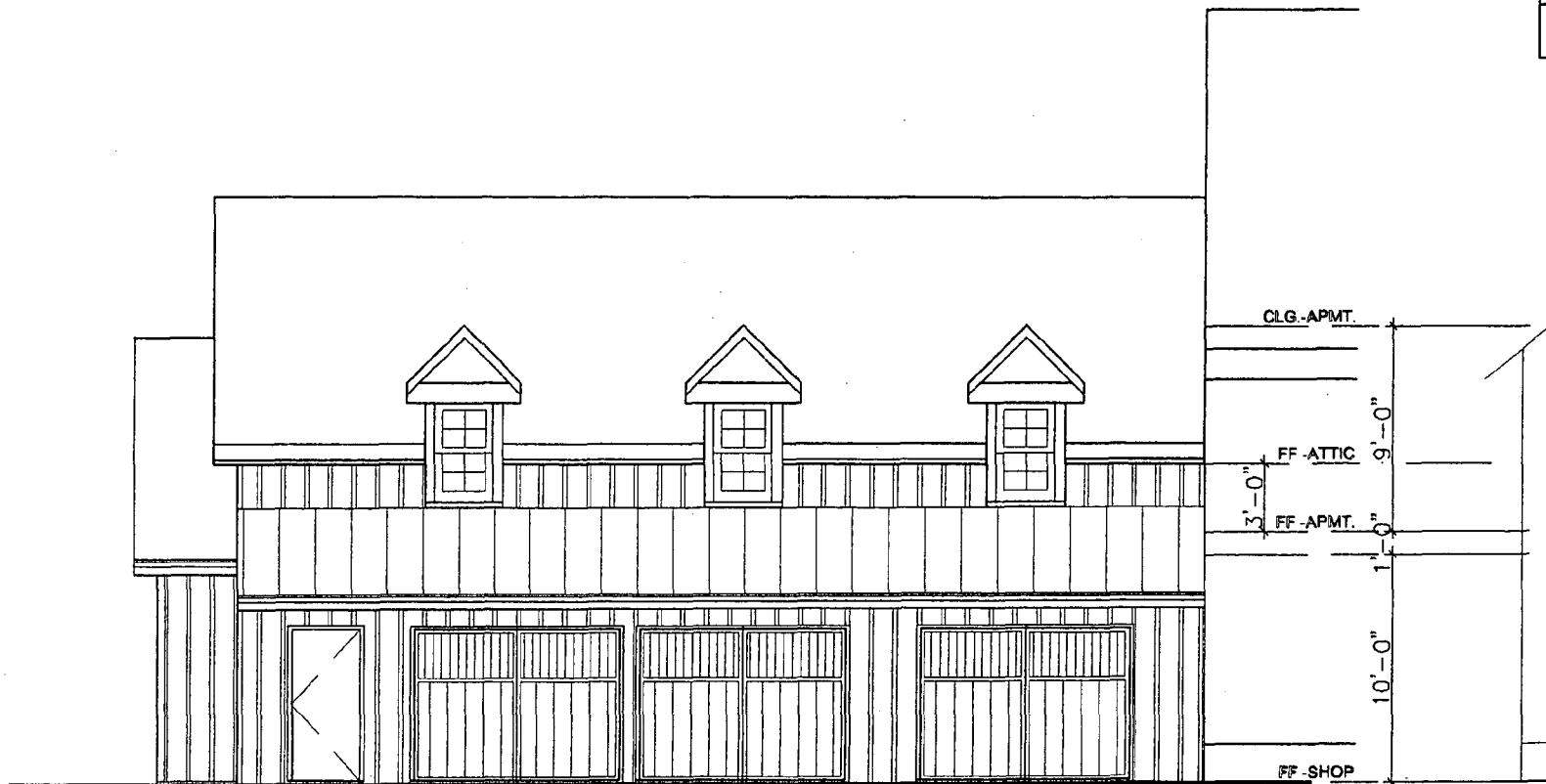
TUSCULUM
FARM

4601 Damascus Rd.
Laytonsville, MD 20882

Drawing:

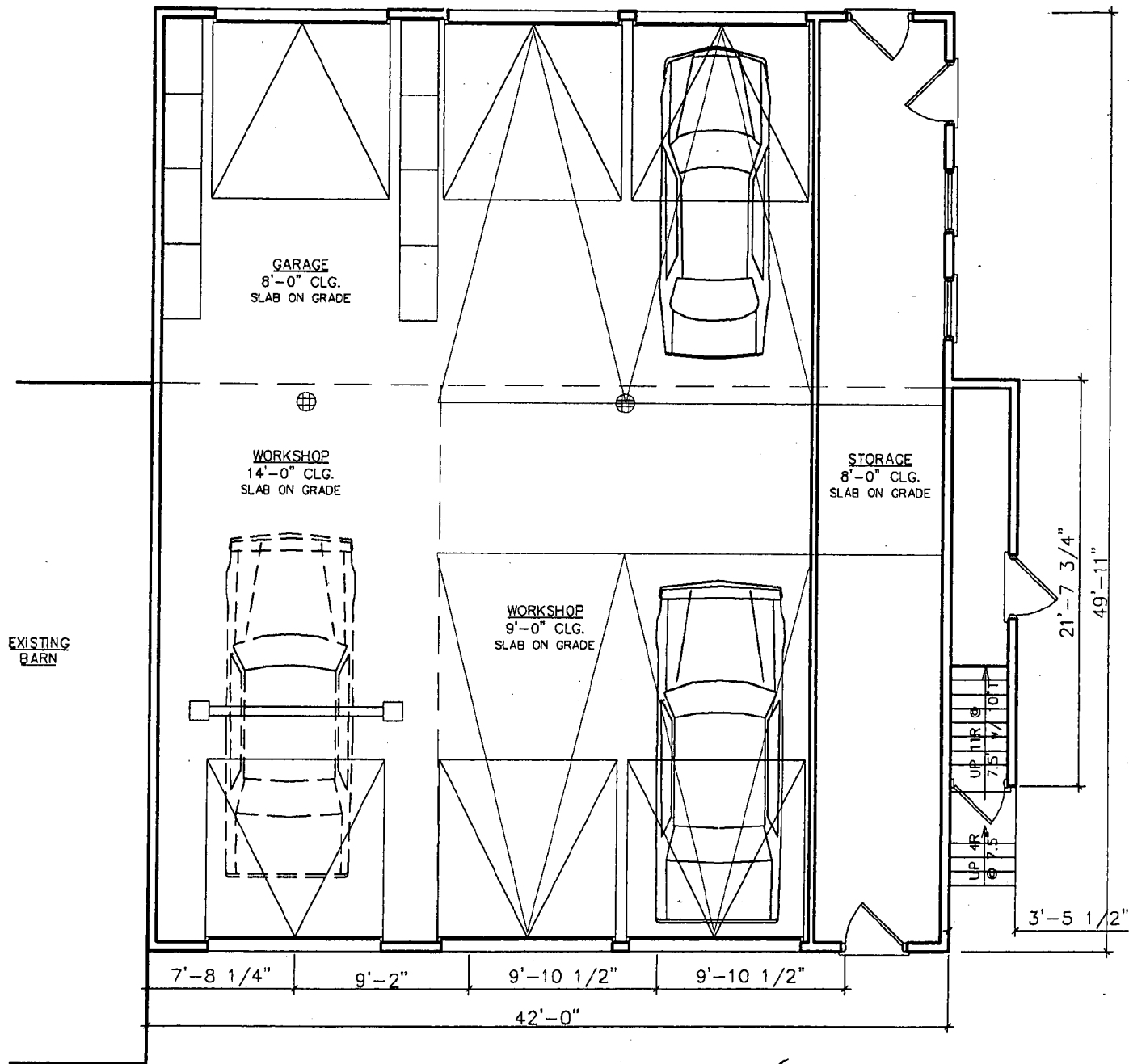
Date: 20 APR 05

GARAGE/APT.



1 NORTH SIDE ELEVATION
 $1/8" = 1'-0"$

(21)



MICHE BOOZ
 ARCHITECT
 A1
 208 Market St.
 Brooklyn, MD 20833
 (301) 774-6911
 fax 774-1908

Project:
TUSCULUM FARM
 4601 Damascus Rd.
 Laytonville, MD 20882
 Drawing:
 Date: 20 APR 05

GARAGE/APT.

EXISTING BARN

1 NEW GARAGE GROUND FL. PLAN (PROPOSED)
 1/8" = 1'-0"

22

MICHE BOOZ
ARCHITECT

A2

208 Market St.
Brykerville
Maryland 20833
(301)774-6011
fax 774-1908

Project:

TUSCULUM
FARM

4601 Damascus Rd.
Laytonsville, MD 20882

Drawing:

Date: 20 APR 05

GARAGE/APT.

EXISTING
BARN

ATTIC
PLWD. FL.

BEDROOM
CARPET
CATH'L CLG.

KITCHEN
TILE FL
9'-0" CLG.

COAT
CLOS.

DN
TR
7'5" W 10" T

U/C
REF.

BEDROOM
CARPET
CATH'L CLG.

LIVING ROOM
HOWD. FL.
CATH'L CLG.

23

PROPOSED
(2ND FLOOR)
1 NEW APARTMENT PLAN
1/8" = 1'-0"

Fothergill, Anne

From: Fothergill, Anne
Sent: Thursday, July 21, 2005 2:00 PM
To: 'MICHEBOOZ@aol.com'
Subject: RE: Tusculum garage revision

*change at rear
to shed detmer*

hi Joe,

Thanks for this PDF, it is very helpful. The HPC technically approved a May 11, 2005 sketch of a design that was one foot deeper and one foot taller than the originally-submitted HAWP design (April 20, 2005). Now it appear slightly larger again (52' deep vs. 50' 11"), the garage doors have changed, the foundation is stone, and it shows the optional deck. Has the height of the building changed? Anything else changed? If you could write out the changes so I can be as clear as possible on what has changed, then I can determine if I can approve it at a staff level, or if I need to take it to the HPC for their review at the worksession on July 27, or if in fact it needs a full review as a revision (doubtful).

Thanks, Anne

-----Original Message-----

From: MICHEBOOZ@aol.com [mailto:MICHEBOOZ@aol.com]
Sent: Thursday, July 14, 2005 11:40 AM
To: Fothergill, Anne
Subject: Tusculum garage revision

Hi Anne,

Attached is a PDF of the Tusculum Farm garage drawings. The clients have asked us to look at including a rear deck off the kitchen in the second floor apartment, which shows on these drawings.

Please let us know if this is an acceptable revision to the HPC approval set. If you have any questions or comments, email or give us a call.

Thanks,

Joe Harris
Miche Booz Architect




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 12, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator 
Historic Preservation

SUBJECT: Historic Area Work Permit # 382039

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED WITH THE FOLLOWING CONDITION:**

1. The HPC approved the updated garage design dated May 11, 2005.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Josh Freeman

Address: 4601 Damascus Rd., Gaithersburg, MD 20882

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	4601 Damascus Road, Unity	Meeting Date:	12/21/05
Applicant:	Josh Freeman (Miche Booz, AIA)	Report Date:	12/14/05
Resource:	<i>Master Plan Site # 23/15</i> Tusculum Farm	Public Notice:	12/07/05
Review:	HAWP	Tax Credit:	Partial
Case Number:	23/15-05A REVISION CONTINUED	Staff:	Anne Fothergill

PROPOSAL: Alterations and addition to barn

RECOMMEND: Approval with one condition

STAFF RECOMMENDATION

Staff recommends that the HPC approve this application with the condition that:

1. Wood windows will be installed in the hay barn; clad wood windows are allowed in the addition to the barn.

BACKGROUND

The HPC reviewed the HAWP application at the December 7, 2005 meeting and continued the case until December 21, 2005 so that the applicant's architect could make some recommended design changes to the front of the hay barn. Specifically, the HPC recommended that the central door be as tall as possible, some of the new windows on the front be removed, and the new garage doors be board and batten.

The previous staff report is in Circles 1-27. The December 7, 2005 HPC meeting minutes were not available at the time of this staff report.

PROPOSAL

The applicant has submitted a new front elevation (Circle C) that shows that three of the new windows have been removed from the front. Additionally, the central bay door is slightly taller and all the doors are clad in board and batten.

STAFF DISCUSSION

The Commission was generally supportive of the proposed additions to the hay barn. The HPC had a few concerns and the applicant has responded and made the changes that the HPC requested. The barn door is as tall as the architect could make it and the three garage doors do now blend in more than the previous design. Based on the *Standards* cited in the previous staff report, staff is recommending approval. In the previous staff report, there was one condition of approval recommended and staff continues to recommend it: wood windows will be used in the historic barn and clad wood windows will be allowed in the addition.

The proposed alterations and addition to the hay barn and the site will not adversely affect the historic resource and staff recommends approval with one condition.

STAFF RECOMMENDATION

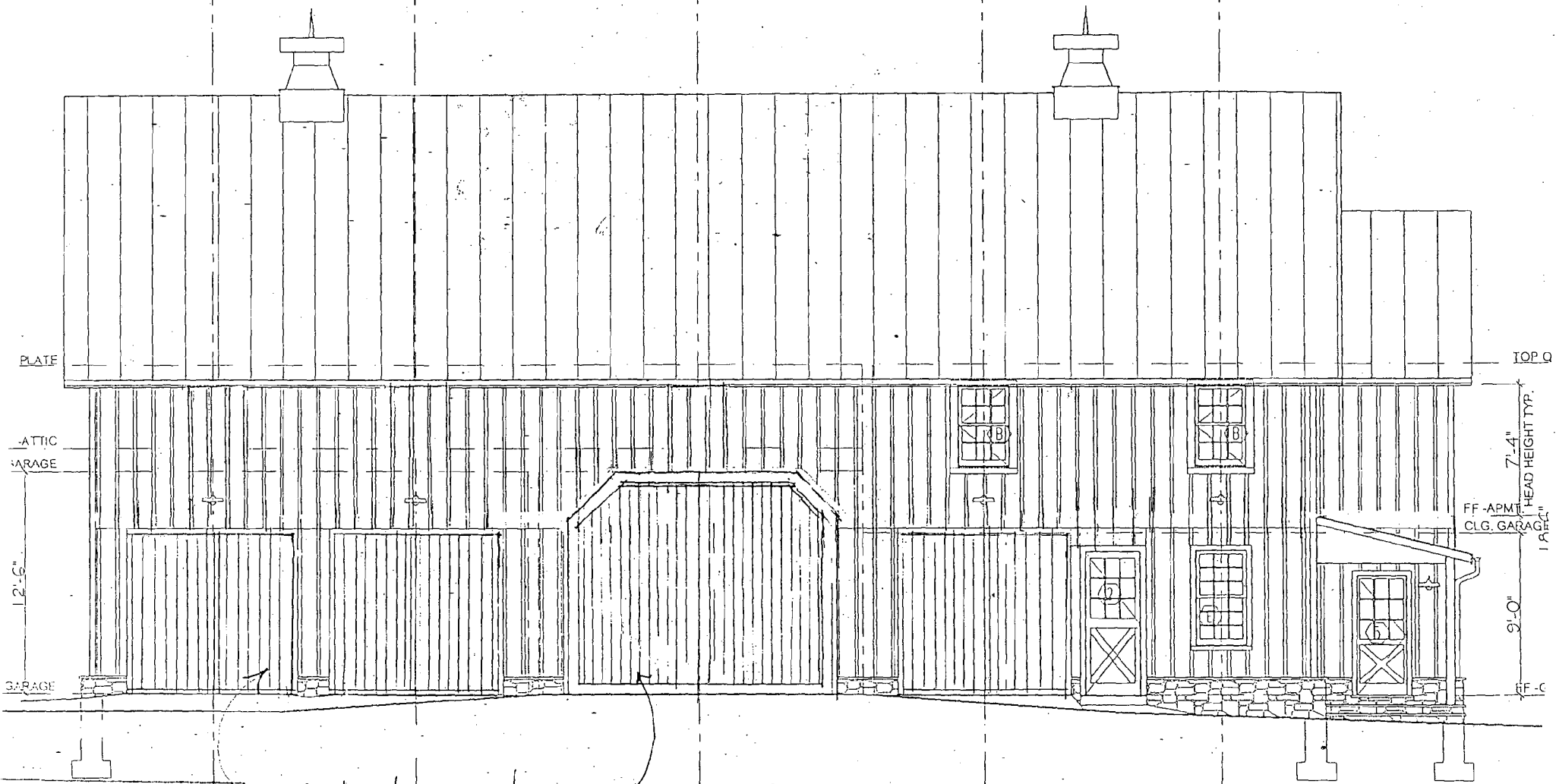
Staff recommends that the Commission **approve the HAWP application with the condition listed on page one of this report** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation* #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



Vertical wood board overhead doors - typical

HAYBARN
 REVISED FRONT ELEV.
 1/8" = 1'-0"

MICHE BOOZ
 ARCHITECT

208 Market Street
 Brookeville, MD 20833
 tel: 301 774 6511
 fax: 301 774 1808



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	4601 Damascus Road, Unity	Meeting Date:	12/07/05
Applicant:	Josh Freeman (Miche Booz, AIA)	Report Date:	11/30/05
Resource:	<i>Master Plan Site # 23/15</i> Tusculum Farm	Public Notice:	11/23/05
Review:	HAWP	Tax Credit:	None
Case Number:	23/15-05A REVISION	Staff:	Anne Fothergill

PROPOSAL: Alterations and addition to barn

RECOMMEND: Approval with one condition

STAFF RECOMMENDATION

Staff recommends that the HPC approve this application with the condition that:

1. Wood windows will be installed in the hay barn; clad wood windows are allowed in the addition to the barn.

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan Site # 23/15 Tusculum Farm/Griffith-Hutton House*

Excerpt from the Maryland Inventory of Historic Properties form:

The property known alternatively as Tusculum or the Griffith-Hutton House is located on a 219-acre parcel of land in rural Montgomery County. The property includes a large stone and frame farmhouse, parts of which may date to the 18th century and an important collection of dairy barns, one built by master-builder August Priebe. The environmental setting is 25 acres, and the house and three historic barns are contributing resources.

Tradition maintains that the original log house at Tusculum was built in 1747 by patriot Henry Griffith. Henry Griffith was a prominent Marylander who was Justice of the Lower Court of Frederick County, Moderator of the Hungerford Tavern meeting in 1774, and Member of the Annapolis Convention that formed the Association of Freemen of Maryland. Griffith also witnessed the signing of the Declaration of Independence.

The main house at Tusculum is a 2-1/2 story cross gable stone and frame structure that is the product of several building campaigns. The oldest part of the house appears to be the principal stone wing, though the frame ell attached to it may occupy the site of an earlier log structure, and even incorporate aspects of it into its walls. The stone wing (today's main block) was built circa 1797. Additionally, an important group of agricultural buildings is located west of the main dwelling and includes two barns with silos and a stable. An addition to the west side of the house was approved by the HPC and constructed in 2003.

BACKGROUND

The HPC approved a HAWP in May 2005 for demolition of an existing garage and construction of a new garage with an apartment above as well as alterations to other buildings including the office, the pool house, and the southernmost barn, which the applicants refer to as the party barn, across from the hay barn.

PROPOSAL

The applicants are proposing to revise their approved application. They will not construct the new garage that was previously approved, but would like to adapt the hay barn into the garage with an apartment above. See proposed site plan in Circle 9.

The applicant proposes a rear addition to the barn, approximately 65' wide x 24' deep. The windows will be aluminum-clad wood windows with simulated divided lights. The entire barn will be sided with true board and batten and the roof will be standing seam metal. In the existing barn there will be new aluminum-clad wood windows, wood garage and entry doors, and a stone foundation. The proposed gravel driveway is in the same location as the approved driveway but extends further behind the barn.

The originally-approved garage design is in Circles 16-18 and the existing barn and proposed barn design are in Circles 10-15.

Additionally, the applicants are interested in building a front entry foyer addition to the barn across from the hay barn. At this time, they are exploring the idea and seeking general approval of the concept from the HPC. The preliminary plans are in Circles 19-25.

An axonometric drawing showing the rear addition to the hay barn and the front foyer addition to the party barn is in Circle 7.

STAFF DISCUSSION

Staff used the Secretary of the Interior's *Standards for Rehabilitation* as a guide, specifically:

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided;

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The applicants are very good stewards of this historic resource, which is a working farm. The applicants have built a compatible addition to the historic house and continue to maintain and improve all the buildings on the farm.

The hay barn was built in 1942 and is divided into three bays with a central drive-in crib and equipment/hay storage areas to either side. The adaptation of the barn into the garage and living space is a creative way to get the needed use without constructing a new building on the property. The proposed changes to the hay barn are compatible in material and design with the historic buildings and site. The

barn still retains its form and prominent features including the two ridge ventilators and the central drive-in crib opening. While there would be some windows and doors added to the front of the barn, the new addition is appropriately located on the rear, with a small side addition, and the proposed materials for the barn are an improvement over some of the existing materials. The gravel driveway is only slightly longer than the driveway that was previously approved for the new garage, and it is tucked behind the barn.

In terms of the proposed windows, generally the HPC only allows the installation of clad wood windows in a new addition section of a historic building, not in the original structure. In this case, staff would recommend that wood windows with simulated divided lights be installed in the hay barn and clad windows be allowed in the new, rear addition to the barn.

The front addition to the other barn, the party barn, is possibly more problematic. This barn was built in the late 19th century. The interior has been altered and the building has some major structural problems. As part of the project, the applicants plan to do extensive structural repairs as well as re-side it with board and batten and install a new metal roof. While some historic barns may have been built with a projecting front entrance, this barn was not. The HPC can discuss with the applicant the proposal to put an addition on the front of a contributing resource and whether the applicants should proceed to a HAWP.

The proposed alterations and addition to the hay barn and the site would not adversely affect the historic resource and staff recommends approval with one condition.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application with the condition listed on page one of this report** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation #9*:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



REURBUTO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
210777-6970

OPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

Fax to AnneF

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MICHE BOOZ

Daytime Phone No.: 301.774.6911

Tax Account No.: 0002841

Name of Property Owner: JOSH FREEMAN Daytime Phone No.: 240.779.8000

Address: 4601 DAMASCUS ROAD GAITHERSBURG, MD 20882
Street Number City Street Zip Code

Contractor: MIKE LOFFREN Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: MICHE BOOZ Daytime Phone No.: 301.774.6911

LOCATION OF BUILDING/PREMISE

House Number: 4601 Street: DAMASCUS ROAD

Town/City: GAITHERSBURG Nearest Cross Street: GRIFFITH ROAD

Lot: _____ Block: _____ Subdivision: 1

Lot #: _____ Folio: _____ Parcel: P444

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|--|---|--|---|---|---|-------------------------------|--|
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Remove | <input checked="" type="checkbox"/> AC | <input checked="" type="checkbox"/> Stair | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input checked="" type="checkbox"/> Sted |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input checked="" type="checkbox"/> Wreck/Rebuild | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Reversible | <input type="checkbox"/> Fence/Wall (complete Section 4) | | | <input type="checkbox"/> Other: _____ | | |

1B. Construction cost estimate: \$ UNKNOWN

1C. This is a revision of a previously approved active permit, see Permit # 382039

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/ easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

* [Signature]
Signature of owner or authorized agent

11.8.05
Date

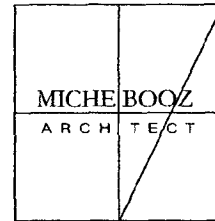
Approved: _____ For: Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 382039 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

PROJECT: TUSCULUM FARM
ADDRESS: 4601 DAMASCUS ROAD
GAITHERSBURG, MD 20882
OWNER: JOSH FREEMAN
APPLICANT: MICHE BOOZ, ARCHITECT
DATE: 20 APRIL, 2005



ADJACENT PROPERTIES MAILING ADDRESSES

Alan Auslaender
4910 Damascus Road
Gaithersburg, MD 20882

John G. Hallman
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Gaithersburg, MD 20882

Kristen Middleton
6300 Damascus Road
Gaithersburg, MD 20882

Andrew Balderson
4230 Damascus Road
Laytonsville, MD 20882

John P. Infante
4200 Damascus Road
Laytonsville, MD 20882

Ernest J. Moncada
4510 Damascus Road
Laytonsville, MD 20882

Ernest D. & C.R. Branson
4900 Damascus Road
Gaithersburg, MD 20882

Brenda A. Kolb
4300 Damascus Road
Laytonsville, MD 20882

Evan C. & S.P. Nudd
4920 Damascus Road
Gaithersburg, MD 20882

Rufus Butts
4015 Damascus Road
Gaithersburg, MD 20882

Kennedy Enterprises, LLC
10446 Waterfowl Terrace
Columbia, MD 21044

Iema Angela Ortega
5037 Damascus Road
Gaithersburg, MD 20882

Arthur Chenowith
5035 Damascus Road
Gaithersburg, MD 20882

Alfred & D.F. Lang
4410 Damascus Road
Laytonsville, MD 20882

Robert W. Payne
4810 Damascus Road
Gaithersburg, MD 20882

Glen P. Cook
4320 Damascus Road
Laytonsville, MD 20882

Ronald & J.C. Lasheski
4000 Elton Farm Road
Sunshine, MD 20833

Huntley H. Perry
4330 Damascus Road
Laytonsville, MD 20882

James R. & G.L. Curtiss
3610 Elton Farm Road
Brookeville, MD 20833

Gerald L. Mader
4420 Damascus Road
Laytonsville, MD 20882

State of Maryland (Parcel
564) Dept. of Natural
Resources
300 W. Preston Street, #
601
Baltimore, MD 21201

John W. & P.J. Douglass
5049 Damascus Road
Gaithersburg, MD 20882

Jose A.P. & M.A.C. Matos
4930 Damascus Road
Gaithersburg, MD 20882

Gregory & Donna M.P.
Eisenstadt
4010 Elton Farm Road
Brookeville, MD 20833

William M. Mayo
P.O. Box 172
Brookeville, MD 20833

William K. Zorr
4310 Damascus Road
Laytonsville, MD 20882

Kenneth E. Geary
4400 Damascus Road
Laytonsville, MD 20882

James McLaughlin
5233 Griffith Road
Laytonsville, MD 20882

Fothergill, Anne

Subject: FW: Tusculum Garage Apartment

-----Original Message-----

From: MICHEBOOZ@aol.com [mailto:MICHEBOOZ@aol.com]

Sent: Monday, November 14, 2005 1:13 PM

To: Fothergill, Anne

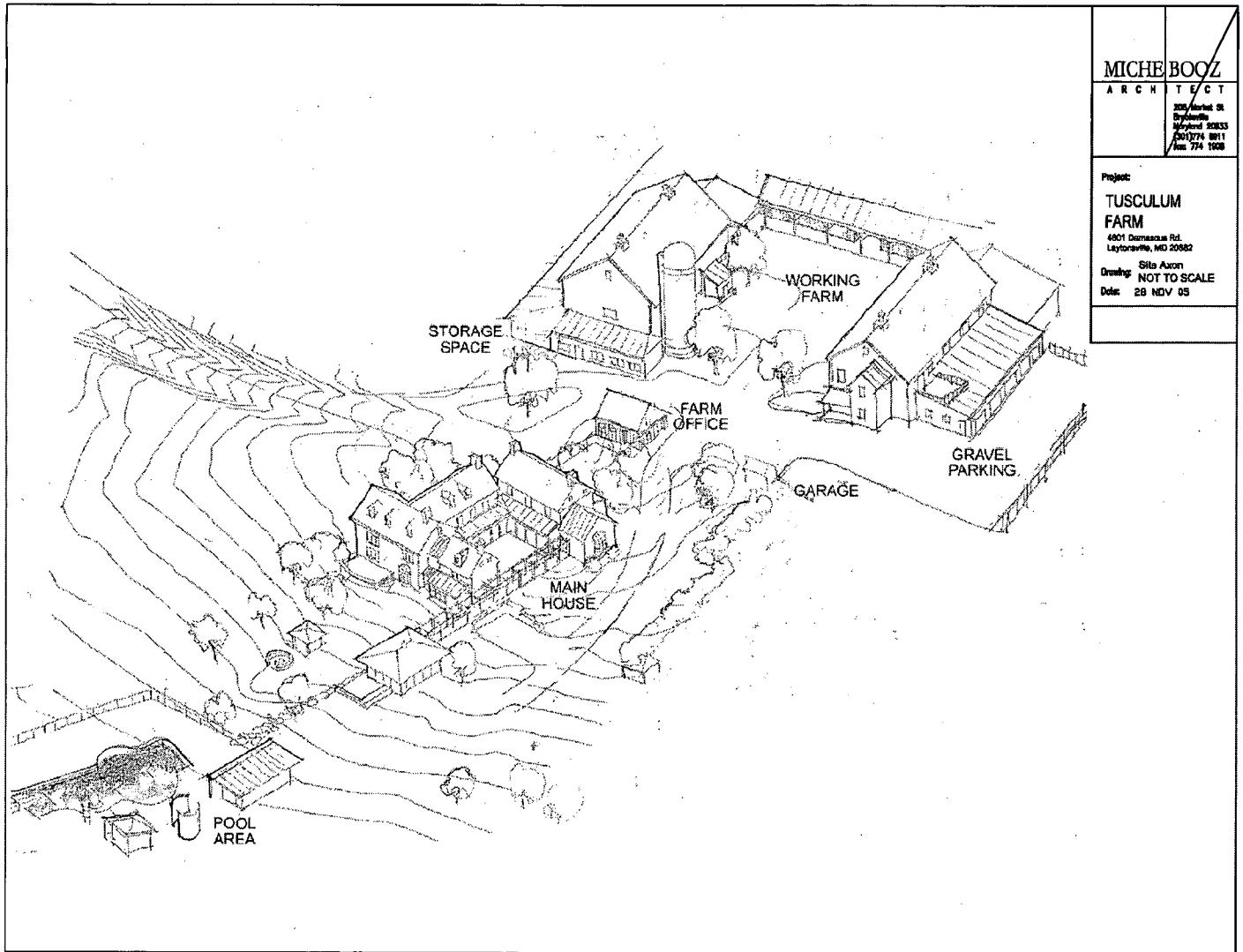
Subject: Tusculum Garage Apartment

This project consists of an alteration and adaptive reuse of a hay barn in the historic area of Tusculum Farm. The existing barn, dating from the early to mid-20th century and built largely out of scrap lumber, is currently in disrepair and needing maintenance as well as structural stabilization. The owner of the property wishes to reuse this barn for a previously approved proposed automobile/equipment garage with an apartment above. These uses were designed to be located in a new structure beside the hay barn, but have been moved inside the barn. The barn will be altered most dramatically on the interior, as a result of the necessary structural modifications. With exception to the rear addition, the changes to the exterior are largely cosmetic--part of a larger site strategy of integrating the working farm's outbuildings into a cohesive whole. The materials and finishing will match those of the approved alterations to the farm office structure.

11/21/2005

6

PROPOSED






MICHE BOOZ
ARCHITECT
2025 Market St
Baltimore, MD 21202
Tel: 410 524 8811
Fax: 410 524 1928

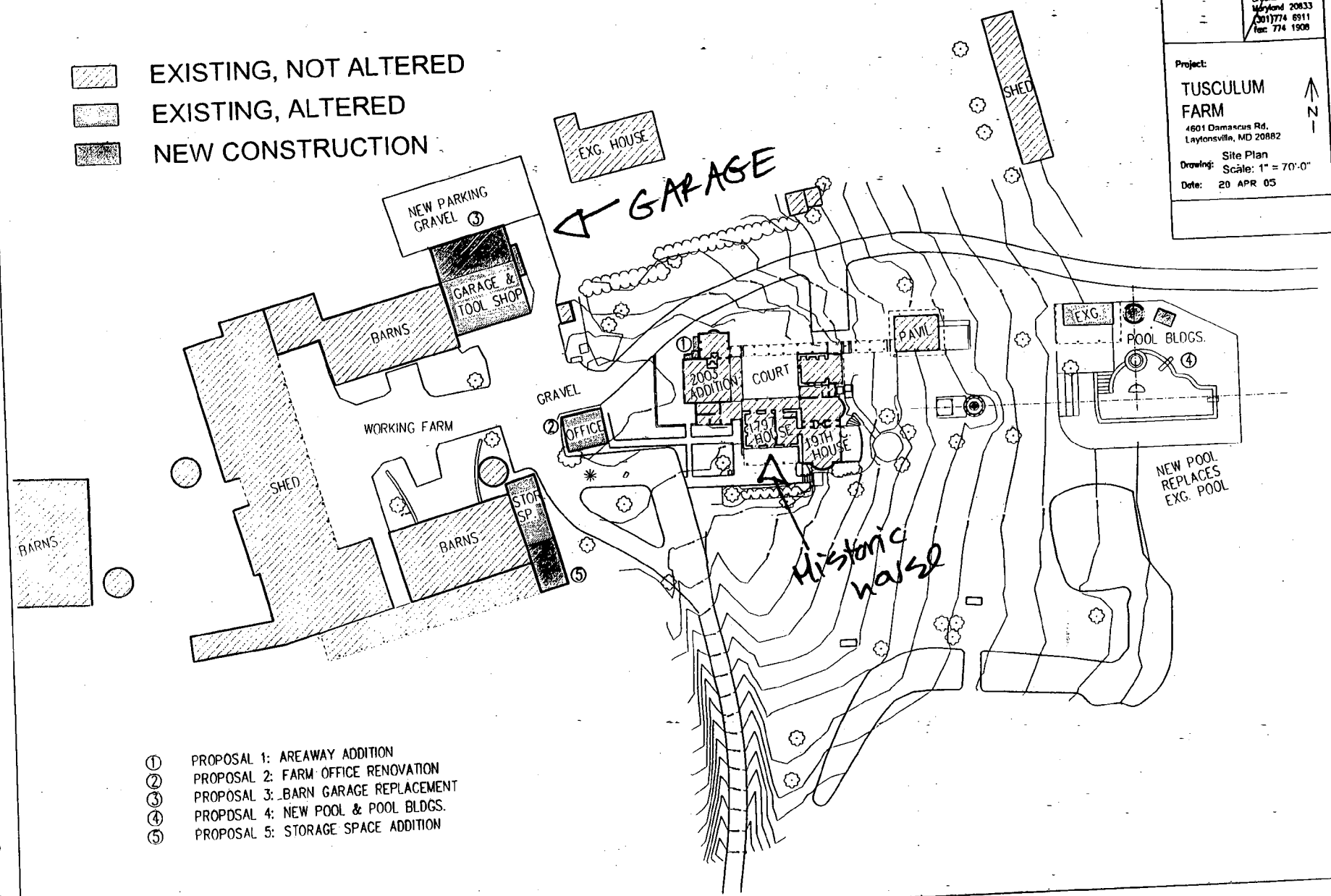
Project:
TUSCULUM
FARM
4601 Dismasse Rd.
Laytonsville, MD 20882
Drawing: Site Axon
Scale: NOT TO SCALE
Date: 28 NOV 03

Site plan approved by MPC 7-05

MICHE BOOZ
 ARCHITECT
 208 Market St
 Brydlandville
 Maryland 20833
 (301) 774 6911
 Fax: 774 1908

Project:
TUSCULUM FARM
 4601 Damascus Rd.
 Laytonsville, MD 20882
 Site Plan
 Drawing: Scale: 1" = 70'-0"
 Date: 20 APR 05


-  EXISTING, NOT ALTERED
-  EXISTING, ALTERED
-  NEW CONSTRUCTION





- ① PROPOSAL 1: AREAWAY ADDITION
- ② PROPOSAL 2: FARM OFFICE RENOVATION
- ③ PROPOSAL 3: BARN GARAGE REPLACEMENT
- ④ PROPOSAL 4: NEW POOL & POOL BLDGS.
- ⑤ PROPOSAL 5: STORAGE SPACE ADDITION

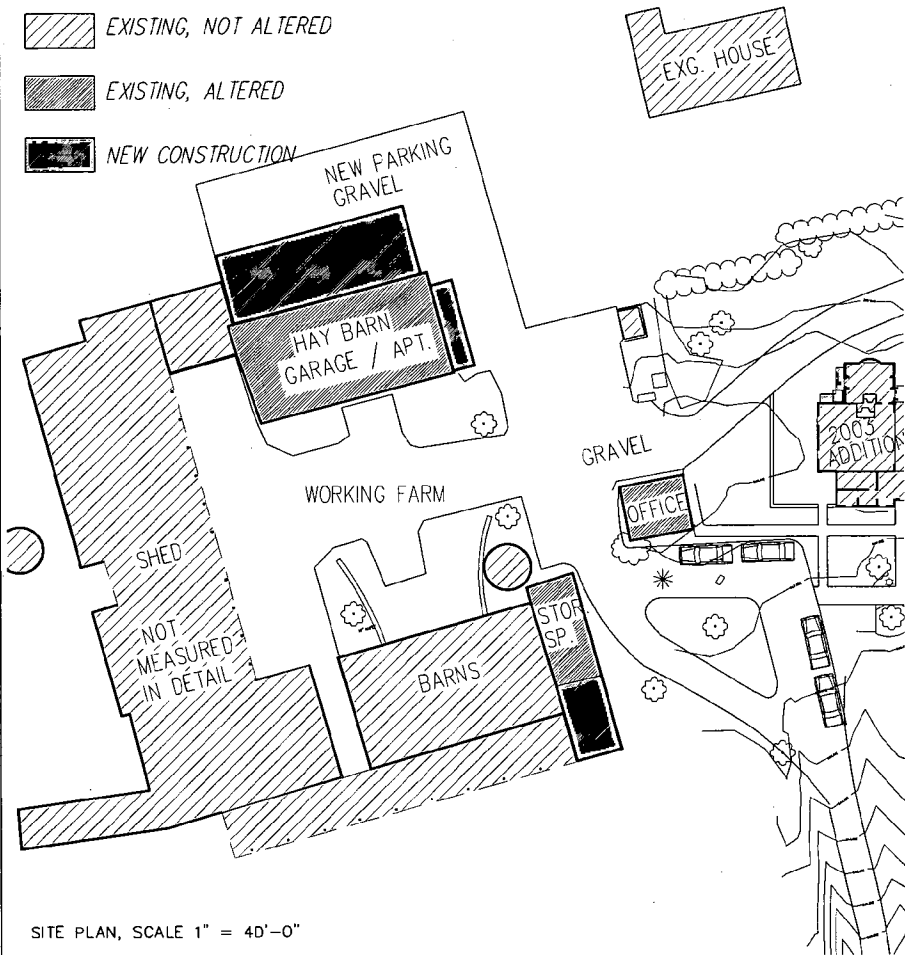
②
 ①

PROPOSED

 EXISTING, NOT ALTERED

 EXISTING, ALTERED

 NEW CONSTRUCTION



SITE PLAN, SCALE 1" = 40'-0"

DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF
WIND LOAD:
90 MPH
CONCRETE WEATHERING:
SEVERE
TERMITE INFESTATION:
MODERATE TO HEAVY
DECAY PROBABILITY:
SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY:
B
FROST LINE DEPTH:
30 IN.
WINTER DESIGN TEMP:
13°F
FLOOD HAZARDS:
NO

SPECIES/GRADE OF FRAMING
LUMBER: SPRUCE PINE OR FIR
NO.1 OR NO.2

LOADS

ROOMS OTHER THAN SLEEPING:
MIN. 40 PSF
STAIRS:
MIN. 40 PSF
FLOOR/ CEILING DEFLECTION:
L/360

SQUARE FOOTAGE

ADDITION:
1ST FLOOR: 2000 SF
(MOSTLY GARAGE SPACE)
2ND FLOOR: 1000 SF

TOTAL: 3000 SF
(1/3 IS CONDITIONED SPACE)

ABBREVIATIONS

ABOVE APPROXIMATE	ABV APPROX.
AT	@
AVERAGES	AVG
BEAM	BM
BETWEEN	BET.
BLOCKING	BLKG
BOARD	BD
BOTTOM OF	B.O.
BRICK	BR.
BUILDING	BLDG
CEILING	CLG
CLEAN OUT	C.O.
COLUMN	COL
CONCRETE	CONC.
CONC. MASONRY UNIT	CMU
CONTINUOUS	CONT.
DETAIL	DET.
DIAMETER	Ø
DIMENSION	DIM.
DODR	DR
DOWNSPOUT	D.S.
EACH	EA.
ELEVATION	EL.
ENTRANCE	ENT.
EXISTING	EXG
FEET	FT
FLOOR	FL.
FOUNDATION	FNDN
GLASS	GL.
GRADE	GR.
HARDWOOD	HDWD
HEIGHT	HT
INCH	IN.
INSULATION	INSUL.
INTERIOR	INT.
LIGHT	LT
MASONRY OPENING	M.O.
MEDICINE CABINET	M.C.
METAL	MET.
MINIMUM	MIN.
MISCELLANEOUS	MISC.
NUMBER	NO.
CN CENTER	O.C.
OPENING	OPNG
PAINTED	PTD
PLYWOOD	PLYWD
PLASTER	PLAS.
PLATE	PL.
ROUGH OPENING	R.O.
RISER	R.
ROOM	RM
SECTION	SEC.
SHEET	SHT
STEEL	STL
STONE	ST.
THRESHOLD	THRES.
THICKNESS	THK
TO MATCH EXISTING	T.M.E.
TOP OF	T.O.
TREAD	T.
TYPICAL	TYP.
UNDERSIDE	U/S
WITH	W/
WOOD	WD

INDEX OF DRAWINGS

CS.	COVERSHEET
A1	FIRST FL. PLAN
A2	SECOND FL. PLAN
E1	ELECTRICAL SYMBOLS
A3	FRONT ELEVATION
A4	REAR ELEVATION
A5	SIDE ELEVATION
A6	SECTIONS
A7	SECTIONS
A8	SECTIONS
S1	FOUNDATION & FRAMING
S2	FLOOR & ROOF FRAMING
DT1	SECTION DETAILS
DT2	SECTION DETAILS
DT3	SECTION DETAILS
SC1	WINDOW/DOOR SCHEDULE

MICHE BOOZ

ARCHITECT

CS
205 Market St
Baltimore
Maryland 20833
(301) 774-6911
Fax: 774-1908

Project:
**HAY BARN
AT TUSCULUM
FARMS**

4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:
COVERSHEET

Dates:
AS BUILTS: 11/05
20-NOV-02 10:00
TODAY'S DATE: 3 NOV 05

Consultants:
General Contractor:
LOGGREN CONSTRUCTION
Mechanical Contractor:
T.B.D.
Electrical Contractor:
T.B.D.

Code:
IRC 2003

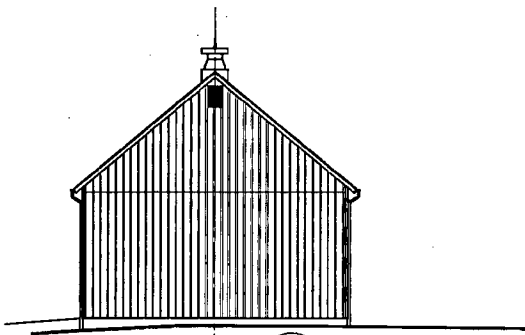
DEVELOPMENT SET - 3 NOVEMBER 05

NEW GARAGE AT TUSCULUM FARM

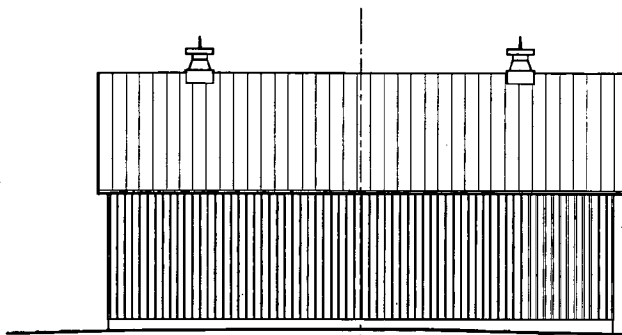
4601 DAMASCUS ROAD, LAYTONSVILLE, MARYLAND 20882

6

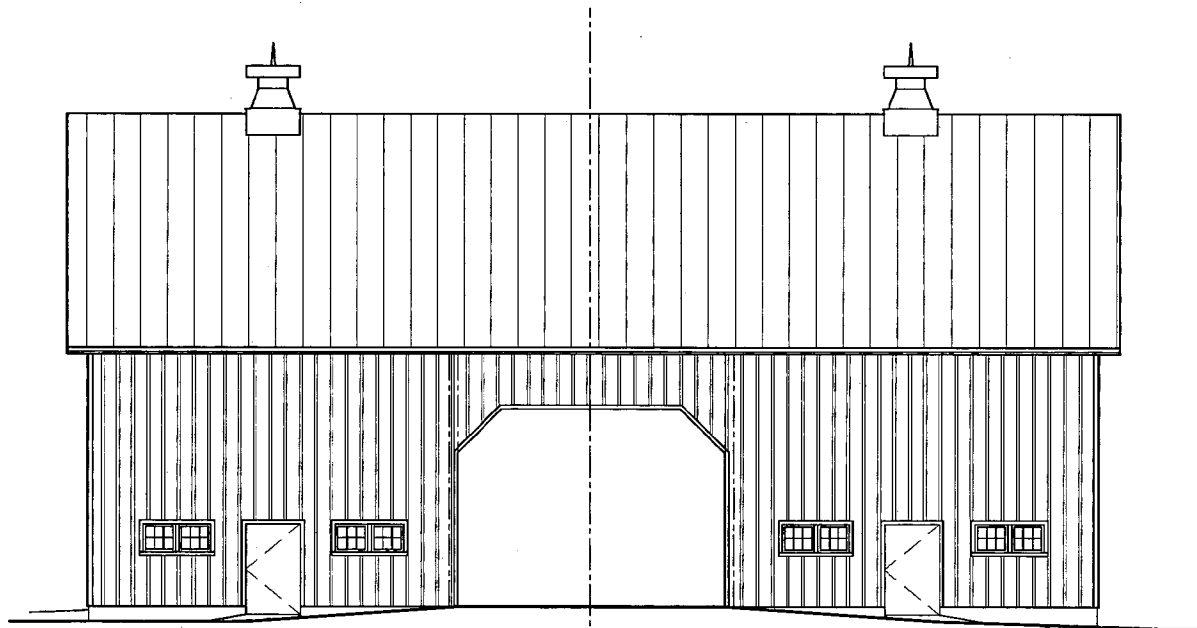
EXISTING



1 AS-BUILT EAST SIDE ELEV.
AB4 SCALE: 1/16"=1'-0"



2 AS-BUILT REAR ELEV.
AB4 SCALE: 1/16"=1'-0"



3 AS-BUILT FRONT ELEV.
AB4 SCALE: 1/8"=1'-0"

MICHE BOOZ

ARCHITECT

AB4

208 Walnut St
Bridgetown
Maryland 20833
(301) 774-8811
Fax: 774-1808

Project:

HAY BARN
AT TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:

AS BUILT
ELEVATIONS

Date:

AS BUILTS OCT 05
SCHEMATICS OCT 05
TODAY'S DATE 3 NOV 05

DEVELOPMENT SET - 3 NOVEMBER 05

10

PROPOSED

MICHE BOOZ

ARCHITECT

A3

208 Market St
Bridgetown
Maryland 20833
301.774.6811
fax: 774.1908

Project:

HAY BARN
AT TUSCULUM
FARMS

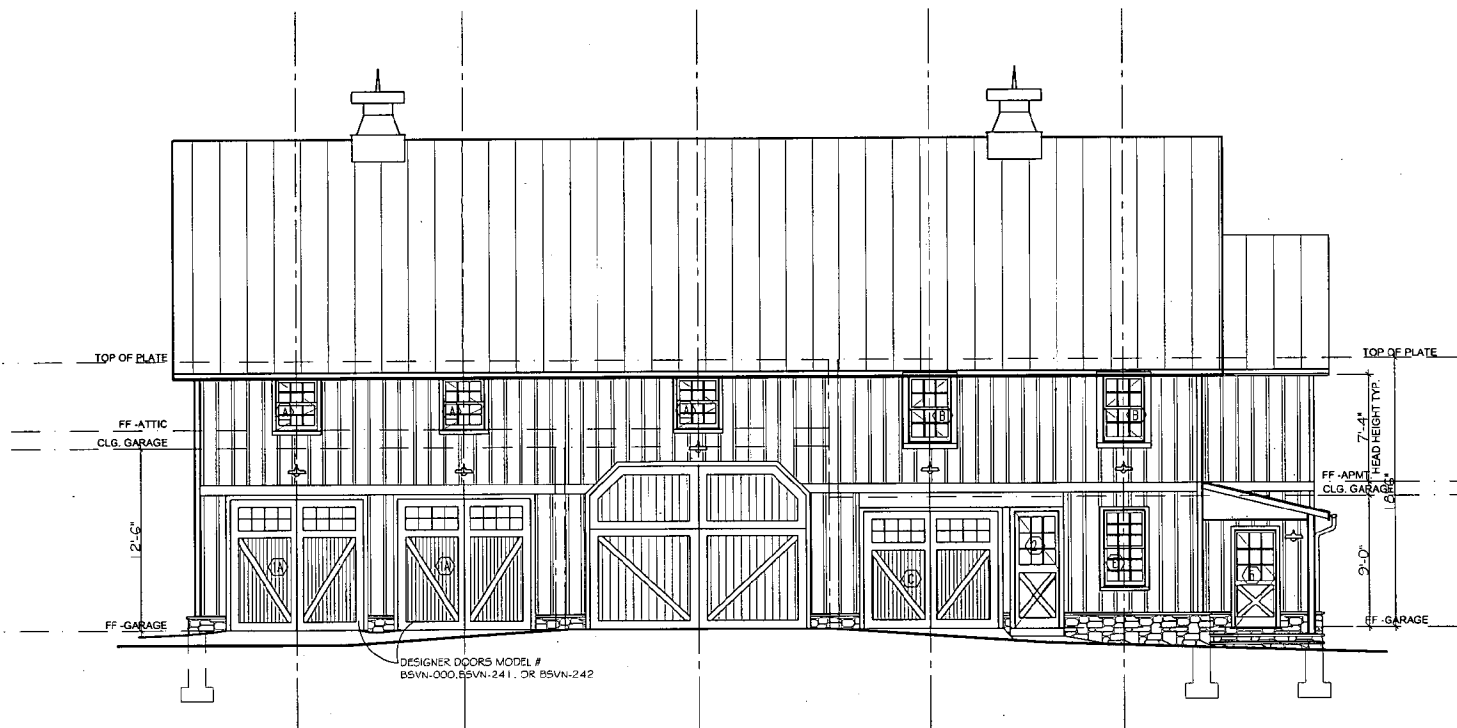
4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:

ELEVATION
1/4" = 1'-0"

Date:

AS BUILT 11 05
04-01-05
TODAY'S DATE 3 NOV 05



1 GARAGE FRONT ELEVATION
1/4" = 1'-0"

DEVELOPMENT SET - 3 NOVEMBER 05

11

MICHE BOOZ

ARCHITECT

A4

209 Market St
Brookville
Maryland 20833
(301) 774-8511
fax: 774-1908

Project:

HAY BARN
AT TUSCULUM
FARMS

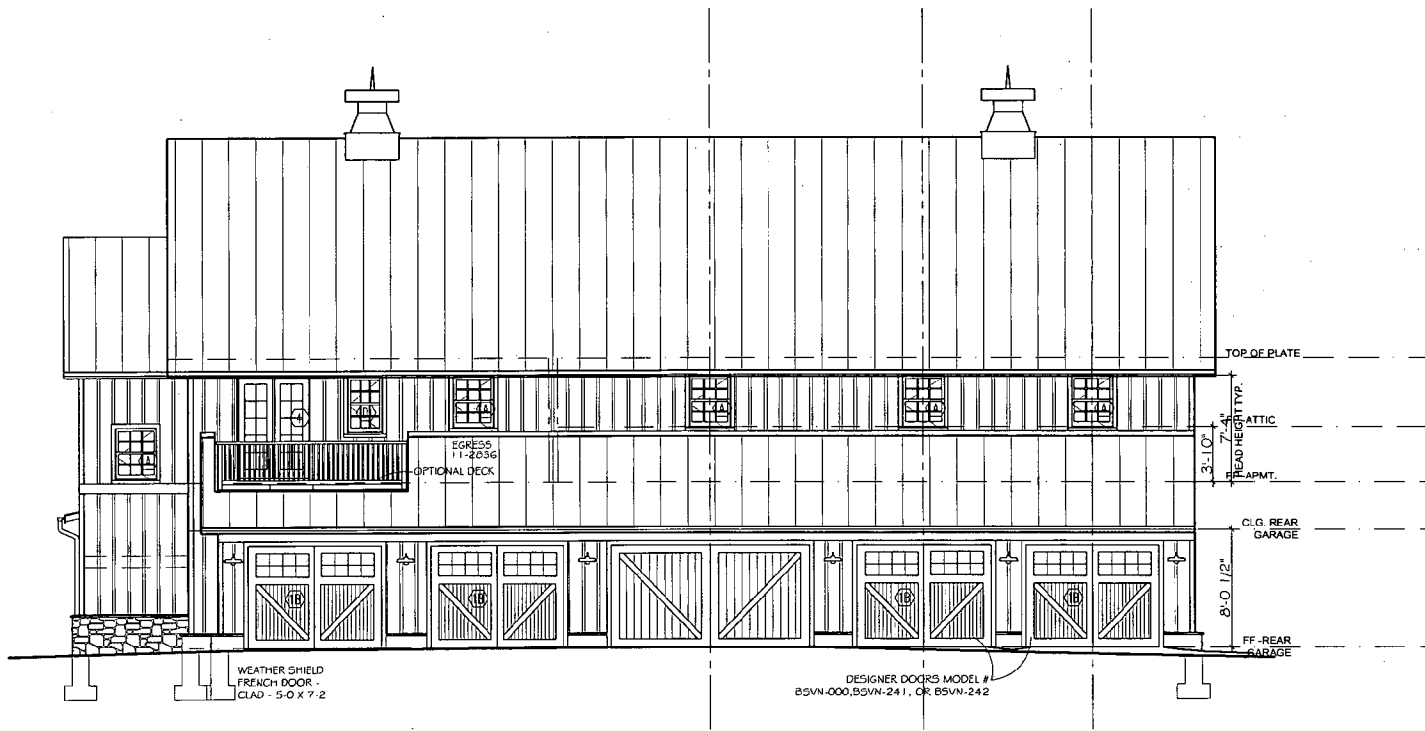
4601 Damascus Road
Loytonsville, MD 20882

Montgomery County

Drawings:

ELEVATION
24" x 36"

Dates:
AS BUILTS 01/05
TODAY'S DATE 3 NOV 05



1 GARAGE REAR ELEVATION
1/4" = 1'-0"

DEVELOPMENT SET - 3 NOVEMBER 05

21

MICHE BOOZ

ARCHITECT

A5

208 Market St
Brookville
Maryland 20833
(301) 774-6911
fax: 774-1908

Project:

HAY BARN
AT TUSCULUM
FARMS

4601 Damascus Road
Loytonsville, MD 20882

Montgomery County

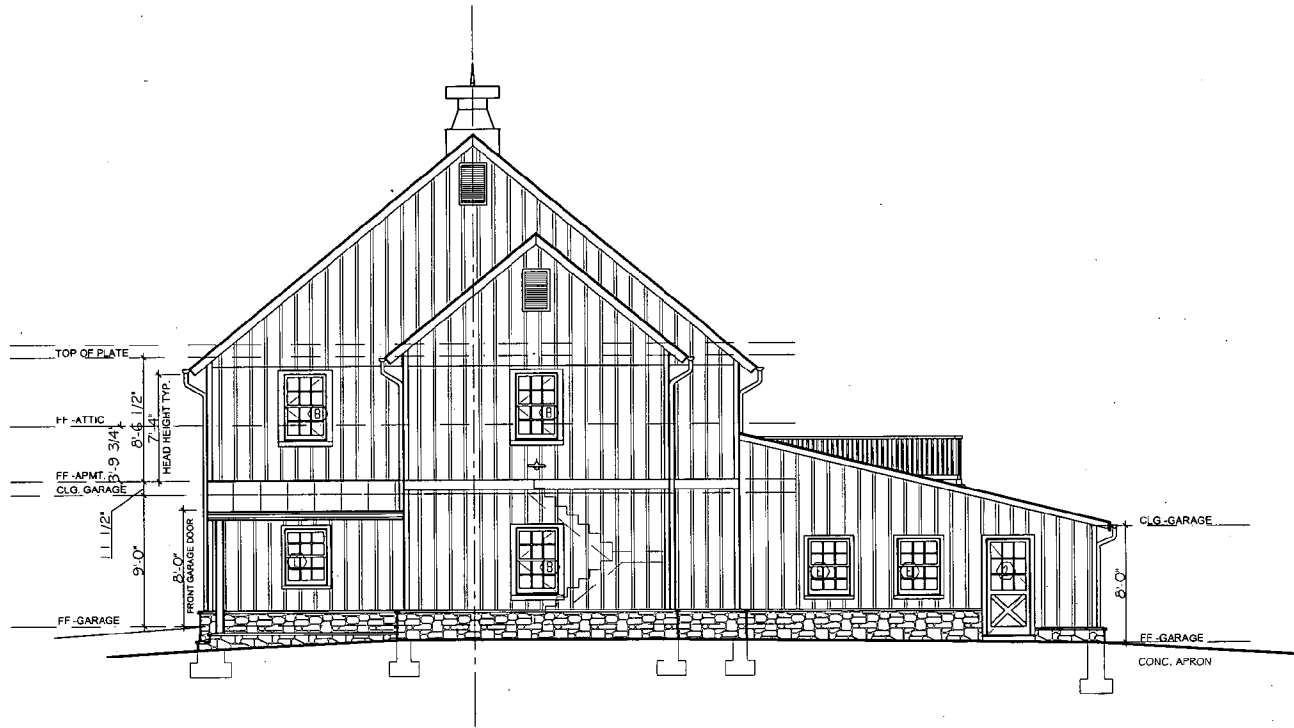
Drawings:

ELEVATION

1/4" = 1'-0"

Dates:

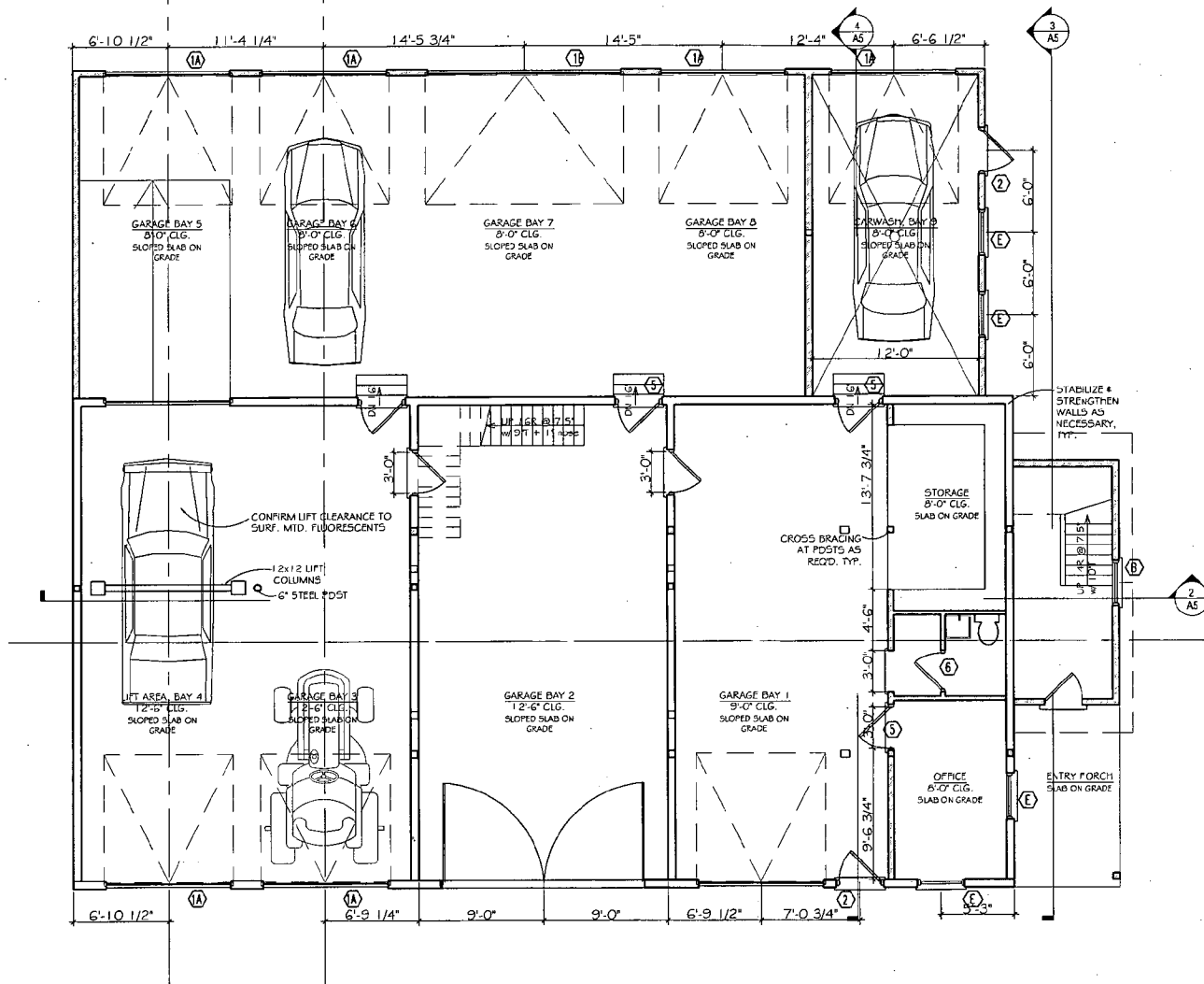
AS BUILT: JUL 05
REVISION: JUL 05
TODAY'S DATE: 3 NOV 05



1 GARAGE SIDE ELEVATION
1/4" = 1'-0"

DEVELOPMENT SET - 3 NOVEMBER 05

13



① GARAGE 1ST FLOOR
1/8" = 1'-0"

MICHE BOOZ

ARCHITECT

A1

208/Market St
Bryansville
Maryland 20833
(301)774 6911
fax 774 1908

Project:

HAY BARN
AT TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

P1/1

Dates:
AS BUILT: 3/1/05
36 EXHIBITS: 10/1/05
TODAY'S DATE: 3 NOV 05

DEVELOPMENT SET - 3 NOVEMBER, 05

(14)

MICHE BOOZ
ARCHITECT

208 Market St
Baltimore
Maryland 20833
(301) 774 6911
fax: 774 1908

A2

Project:

HAY BARN
AT TUSCULUM
FARMS

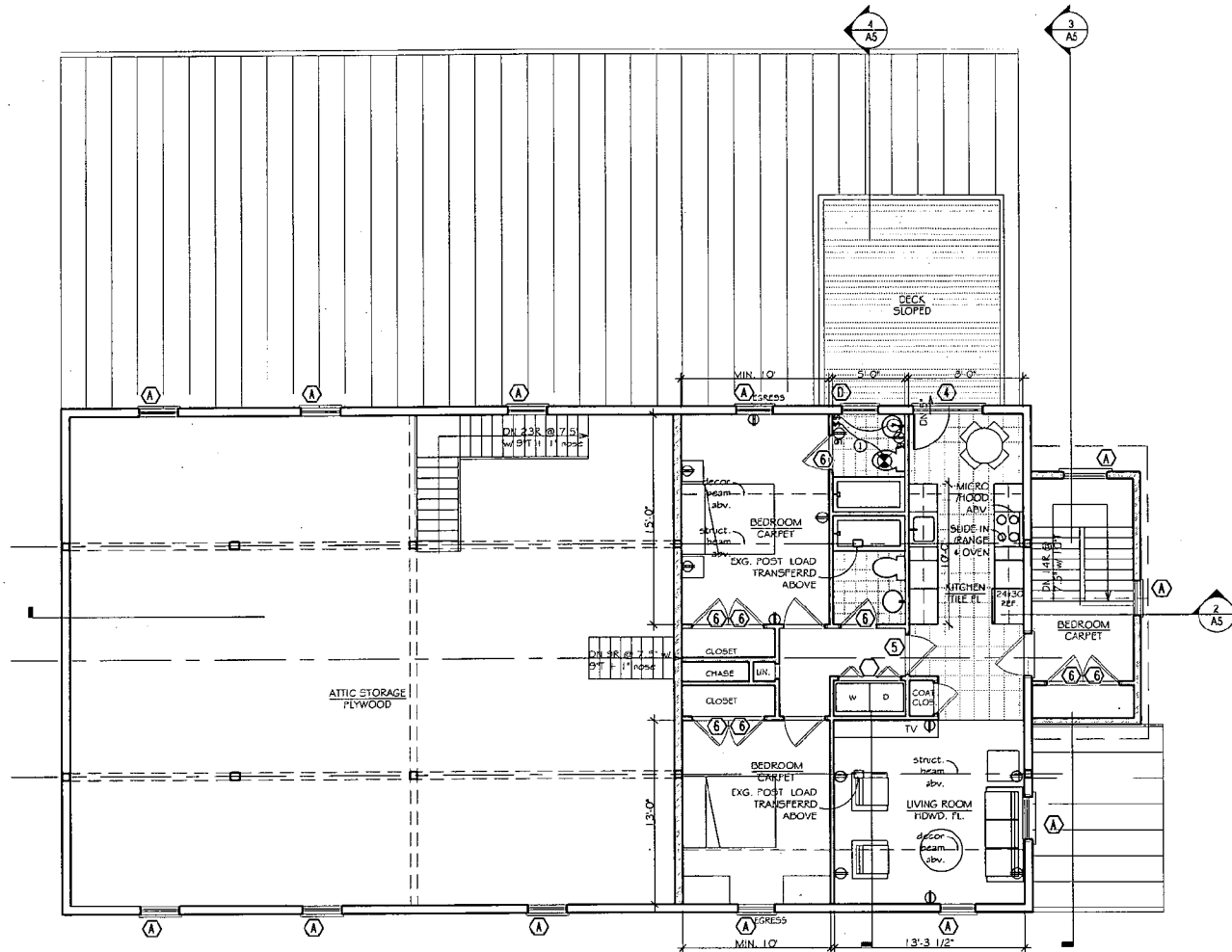
4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

PLAN

Dates:
AS BUILTS 3/1/05
36 EDITIONS 3/1/05
TODAY'S DATE 3 NOV 05

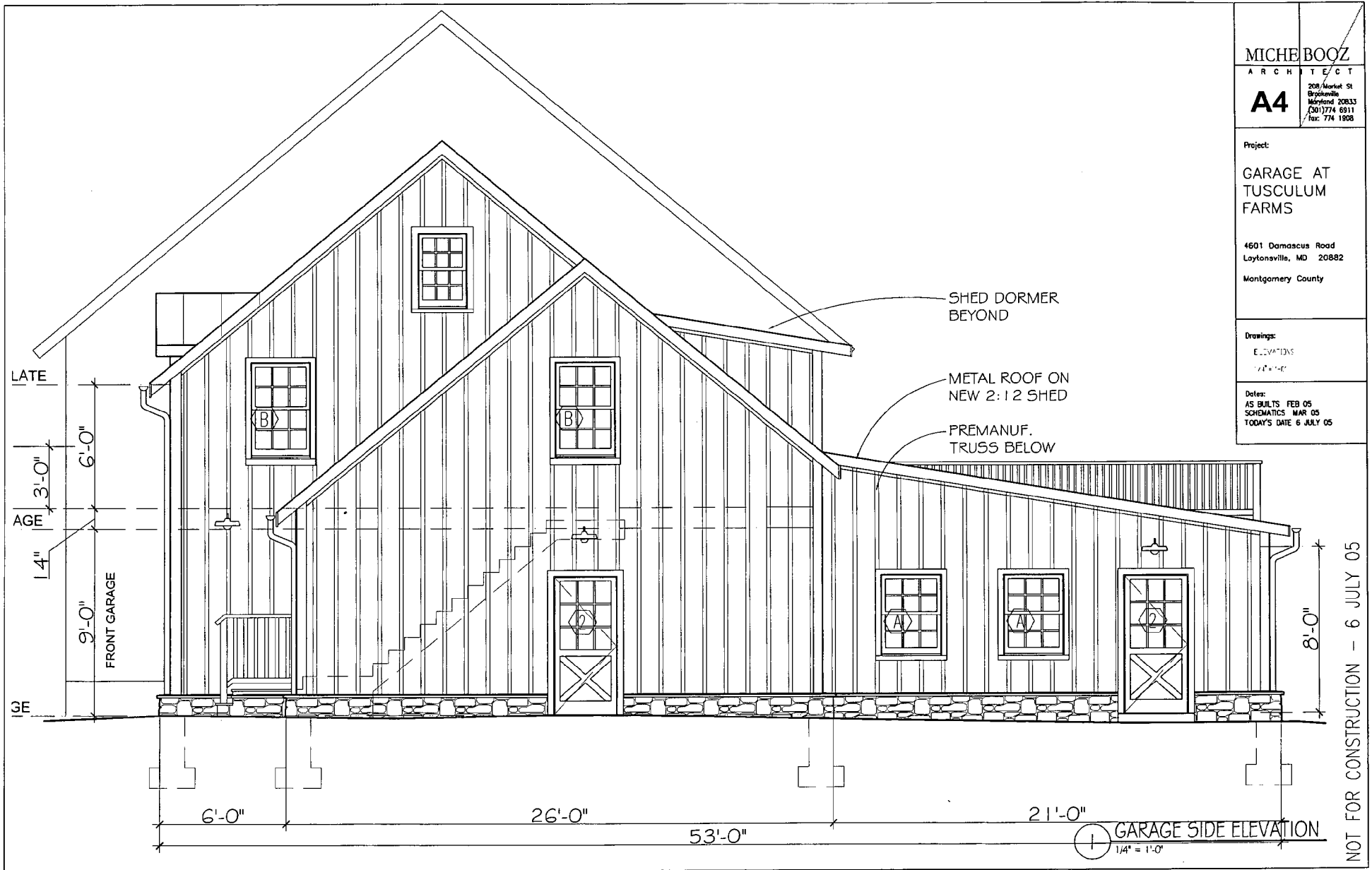


1 GARAGE 2ND FLOOR
1/8" = 1'-0"

DEVELOPMENT SET - 3 NOVEMBER 05

15

~~PROPOSED~~ Approved July 2005



NOT FOR CONSTRUCTION - 6 JULY 05

91

MICHE BOOZ
ARCHITECT

A2

208 Market St
Brykewille
Maryland 20833
301 774 6911
fax 774 1908

Project:

GARAGE AT
TUSCULUM
FARMS

4601 Damascus Road
Loytonsville, MD 20882
Montgomery County

Drawings:

ELEVATIONS
1/28/05

Dates:

AS BUILTS FEB 05
SCHEMATICS MAR 05
TODAY'S DATE 6 JULY 05



1 GARAGE FRONT ELEVATION
1/4" = 1'-0"

NOT FOR CONSTRUCTION - 6 JULY 05

19

MICHE BOOZ
 ARCHITECT
A3
 206 Market St
 Brooklyn
 Maryland 20833
 (301) 774-6511
 fax: 774-1908

Project:
GARAGE AT TUSCULUM FARMS
 4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 ELEVATIONS
 1/4" = 1'-0"

Dates:
 AS BUILTS FEB 05
 SCHEMATICS MAR 05
 TODAY'S DATE 6 JULY 05






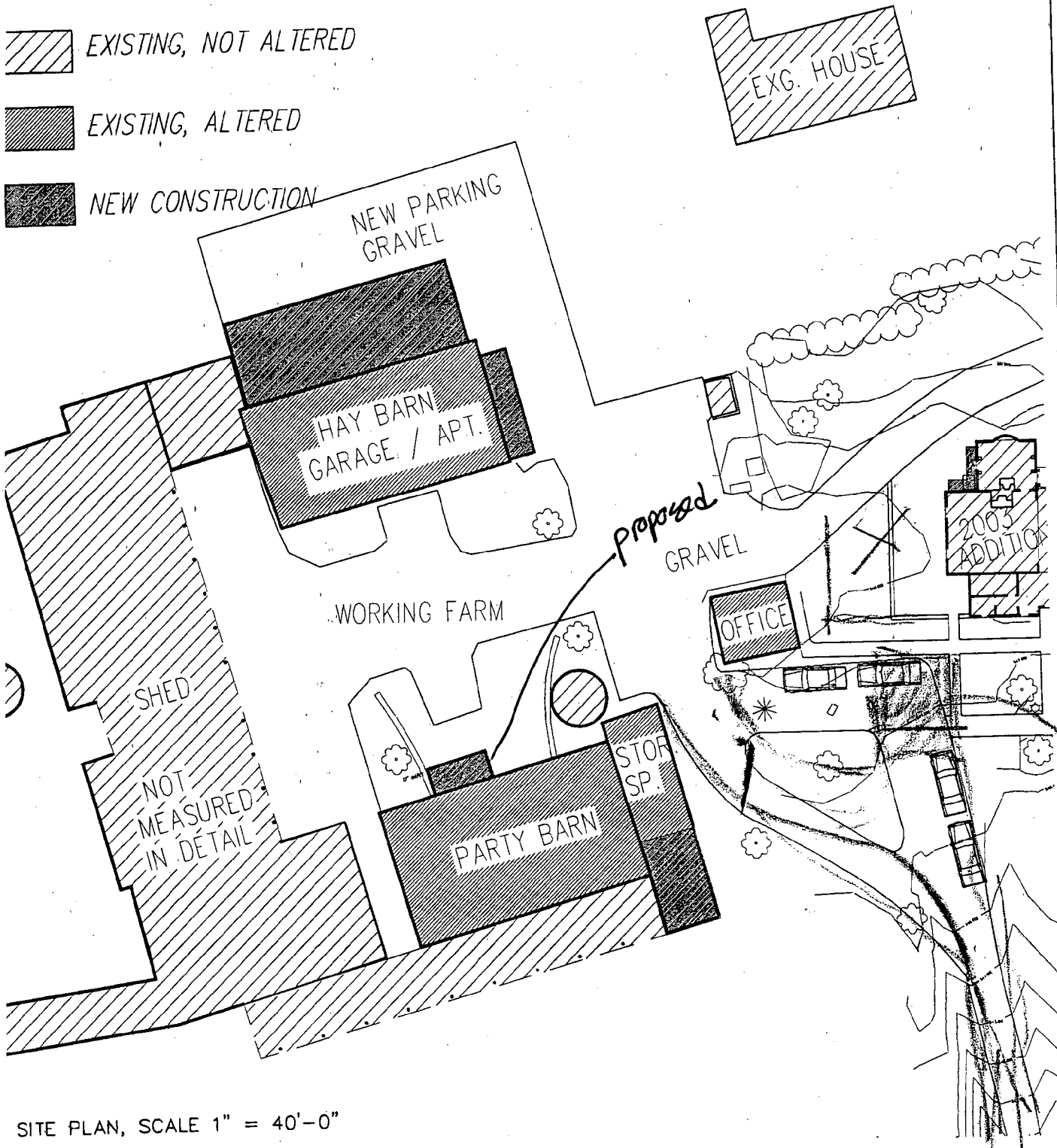
1 GARAGE REAR ELEVATION
 1/4" = 1'-0"

NOT FOR CONSTRUCTION - 6 JULY 05

(18)

PROPOSED Go for Accessory Uses

-  EXISTING, NOT ALTERED
-  EXISTING, ALTERED
-  NEW CONSTRUCTION



DESIGN

ROOF SNOW
30 PSF
FLOOR LOAD
40 PSF
WIND LOAD:
90 MPH
CONCRETE
SEVERE
TERMITE INF
MODERATE
DECAY PROI
SLIGHT TO
SEISMIC DE
B
FROST LINE
30 IN.
WINTER DE:
13°F
FLOOD HAZ
NO

SPECIES/G
LUMBER:

LOADS

ROOMS OT
MIN. 40 P
STIARS:
MIN. 40 P
FLOOR/ C
L/360

SQUAR

ADDITION:
1ST FLOO
2ND FLOO
TOTAL:

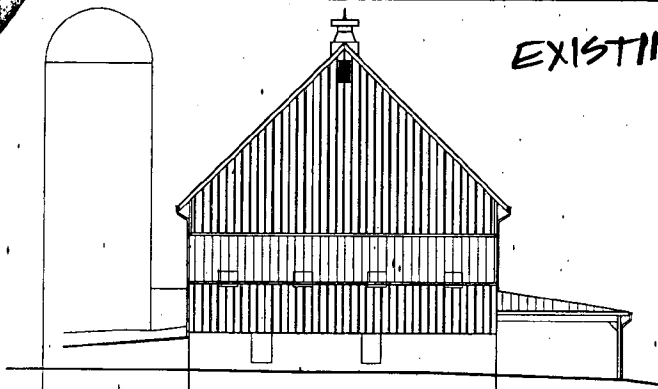
SITE PLAN, SCALE 1" = 40'-0"

RENOVATED BARN AT T

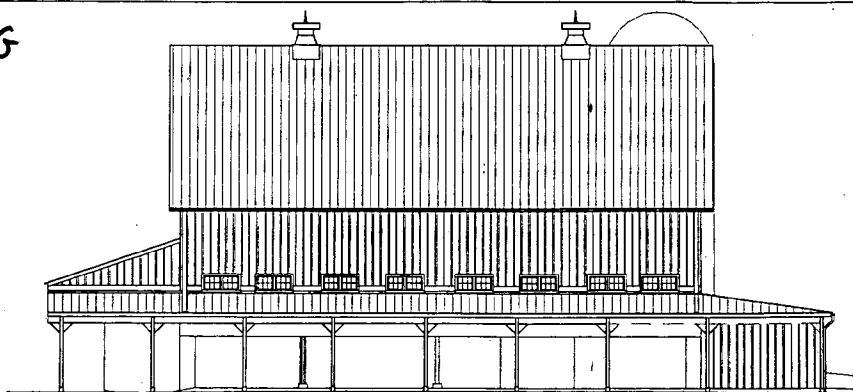
19

1601 DAMASCUS ROAD

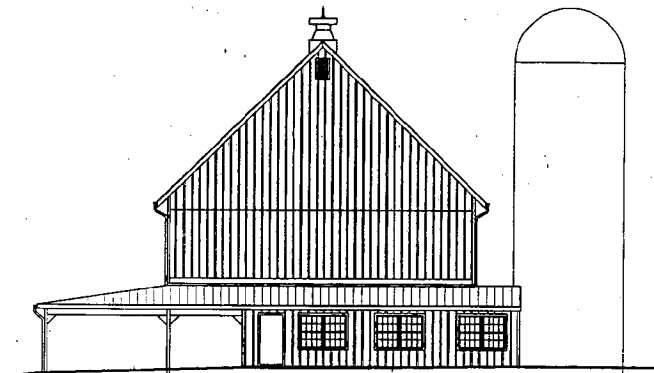
EXISTING



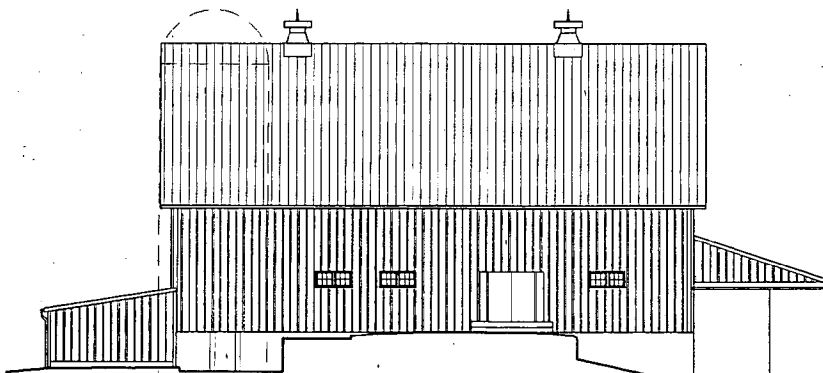
WEST ELEVATION



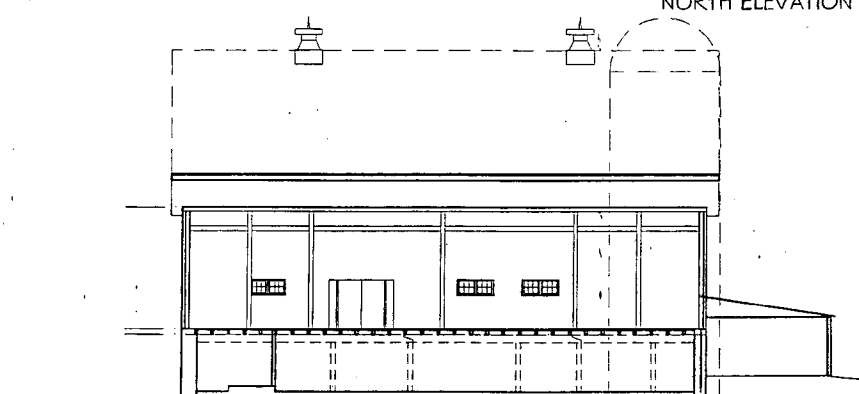
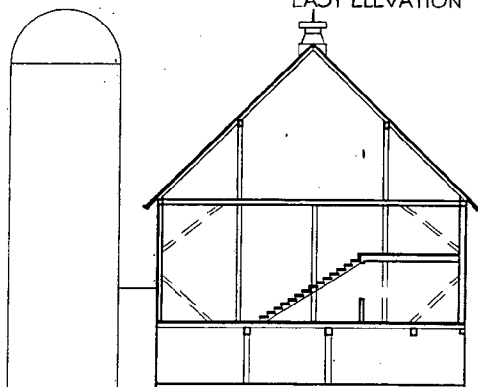
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



MICHE BOOZ
ARCHITECT
AB3

208 Market St
Brykaville
Maryland 20833
301.1774.0911
fax. 774.1928

Project:

PARTY BARN
AT TUSCULUM
FARMS

4601 Damascus Road
Loytonsville, MD 20882

Montgomery County

Drawings:

AS BUILT
ELEVATIONS

Dates:

AS BUILTS OCT 05
SCHEMATICS OCT 05
TODAY'S DATE 10 NOV 05

1 AS-BUILT ELEVATIONS
AB3 SCALE: 1/16" = 1'-0"

PROGRESS SET- 10 NOVEMBER 05

20

PROPOSED

MICHE BOOZ
ARCHITECT

A4

228 Market St
Brydewille
Maryland 20833
(301) 774-8911
fax: 774-1808

Project:

PARTY BARN
AT TUSCULUM
FARMS

4601 Domoscus Road
Loytonsville, MD 20882

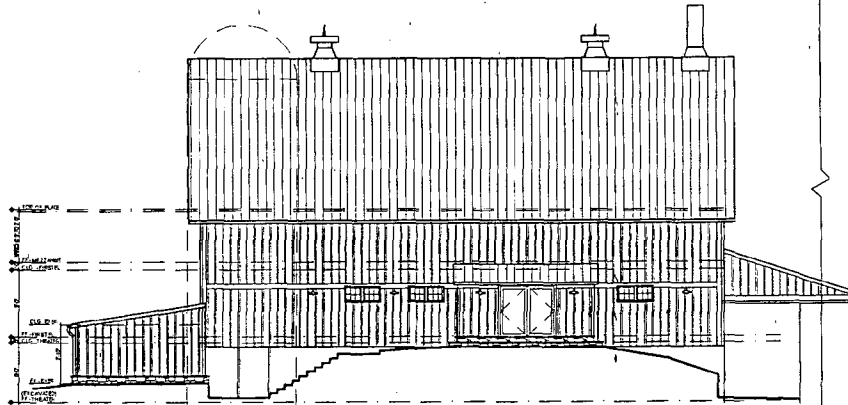
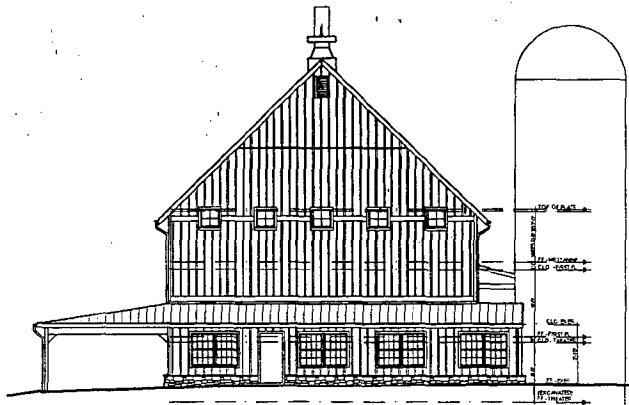
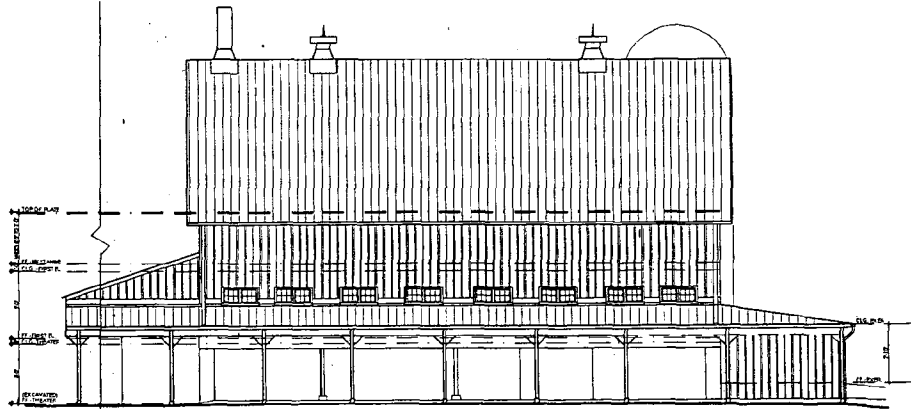
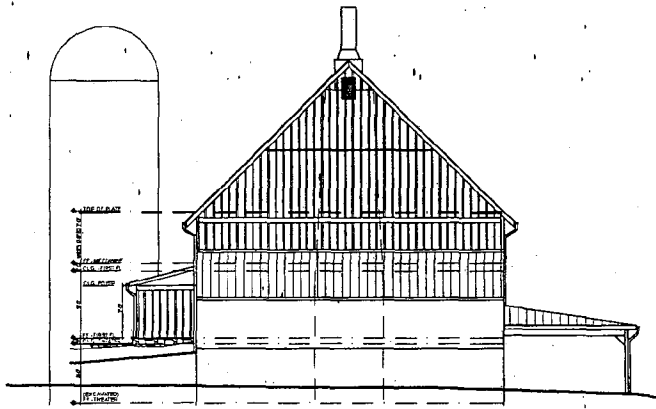
Montgomery County

Drawings:

NEW ELEVATIONS

Dates:

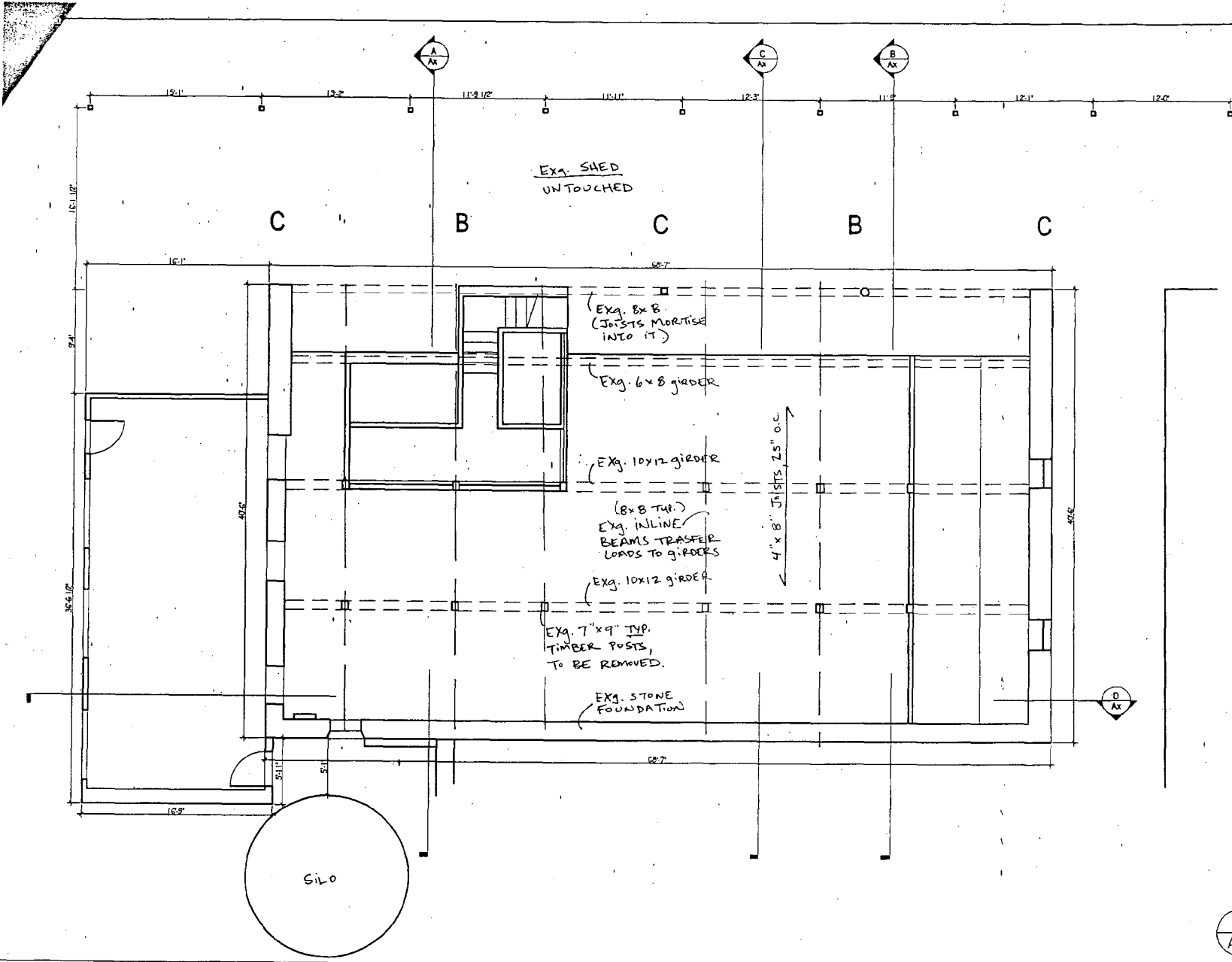
AS BUILT: OCT 05
SCHEMATICS: OCT 05
TODAY'S DATE: 10 NOV 05



1 NEW ELEVATIONS
A4 SCALE: 1/16" = 1'-0"

PROGRESS SET - 10 NOVEMBER 05

12



MICHE BOOZ	
ARCHITECT	
208 Market St Bryansville Maryland 20833 (301)774 8911 Fax: 774 1908	
Project:	
PARTY BARN AT TUSCULUM FARMS	
4601 Domascus Road Laytonsville, MD 20882	
Montgomery County	
Drawings:	
AS BUILT PLANS	
Dates:	
AS BUILTS OCT 05 SCHEMATICS OCT 05 TODAY'S DATE 10 NOV 05	

1 AS-BUILT BSMT. PLAN
ABI SCALE: 1/8" = 1'-0"

PROGRESS SET - 10 NOVEMBER 05

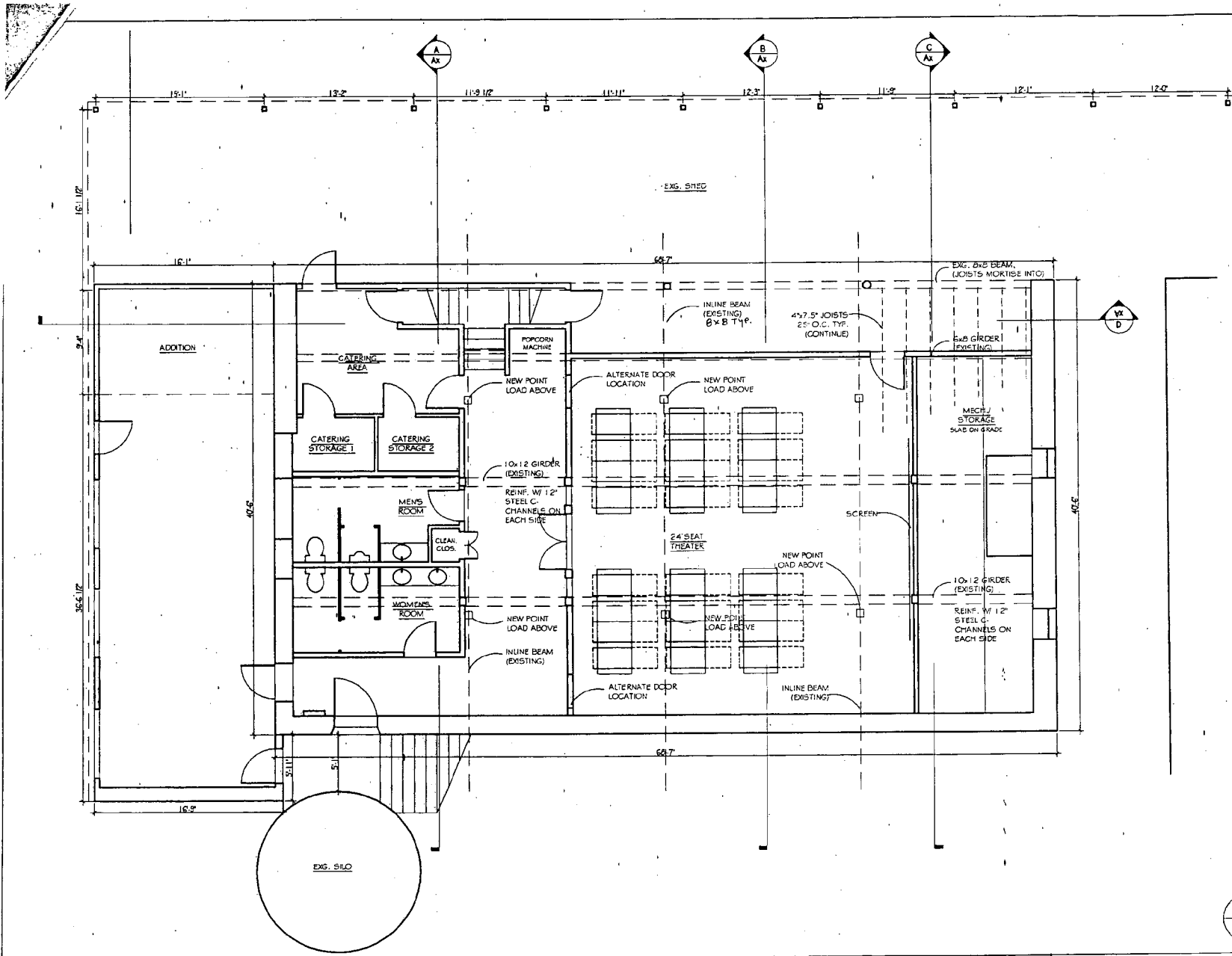
22

Project:
PARTY BARN AT TUSCULUM FARMS

4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 NEW PLANS

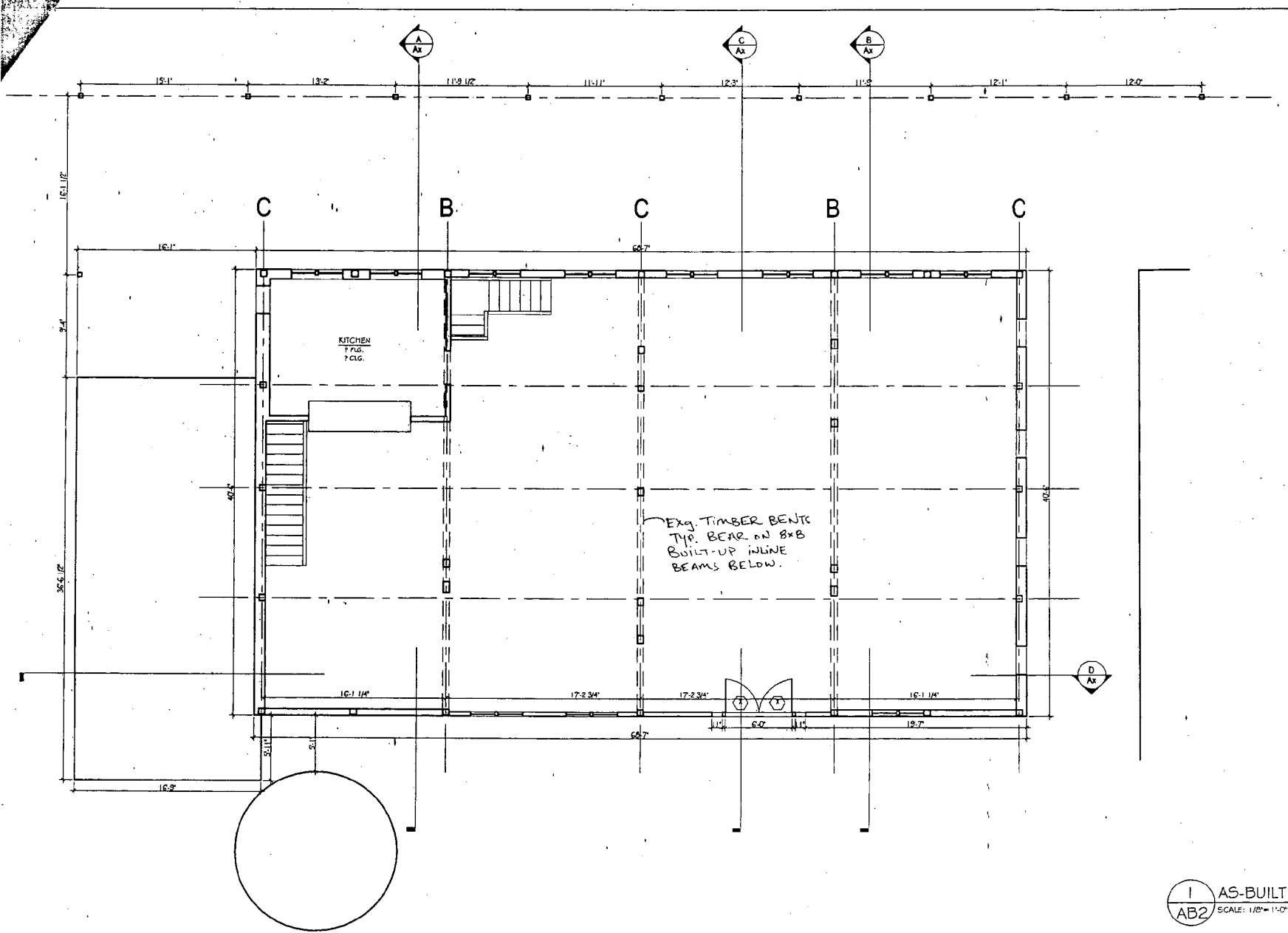
Dates:
 AS BUILTS OCT 05
 SCHEMATICS OCT 05
 TODAY'S DATE 10 NOV 05



1 NEW BSMT. PLAN
A1 SCALE: 1/8" = 1'-0"

PROGRESS SET - 10 NOVEMBER 05

23



MICHE BOOZ
ARCHITECT
AB2
209 Market St
Bryansville
Maryland 20833
(301) 774 6911
Fax: 774 1908

Project:
**PARTY BARN
AT TUSCULUM
FARMS**
4601 Damascus Road
Layonsville, MD 20882
Montgomery County

Drawings:
AS-BUILT PLANS

Dates:
AS-BUILTS: OCT 05
SCHEMATICS: OCT 05
TODAY'S DATE: NOV 05

1 AS-BUILT 1ST FL. PLAN
AB2 SCALE: 1/8" = 1'-0"

PROGRESS SET - 10 NOVEMBER 05

12

MICHE BOOZ
 ARCHITECT
 206 Market St
 Bryansville
 Maryland 20833
 (301) 774 6511
 Fax: 774 1908

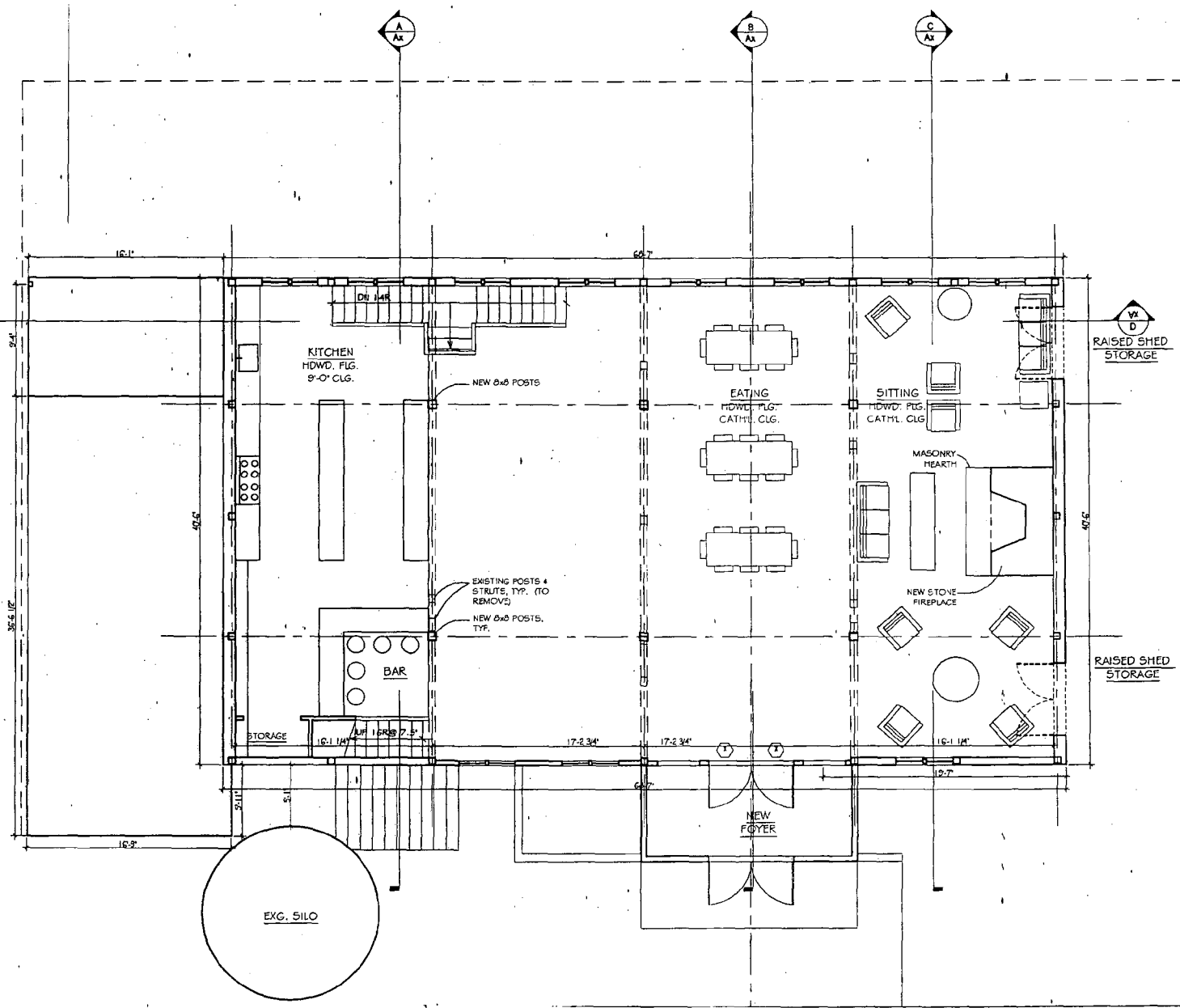
A2

Project:
**PARTY BARN
 AT TUSCULUM
 FARMS**

4601 Damascus Road
 Loytonsville, MD 20882
 Montgomery County

Drawings:
 NEW PLANS

Date:
 AS BUILTS OCT 05
 SCHEMATICS OCT 05
 TODAY'S DATE 10 NOV 05



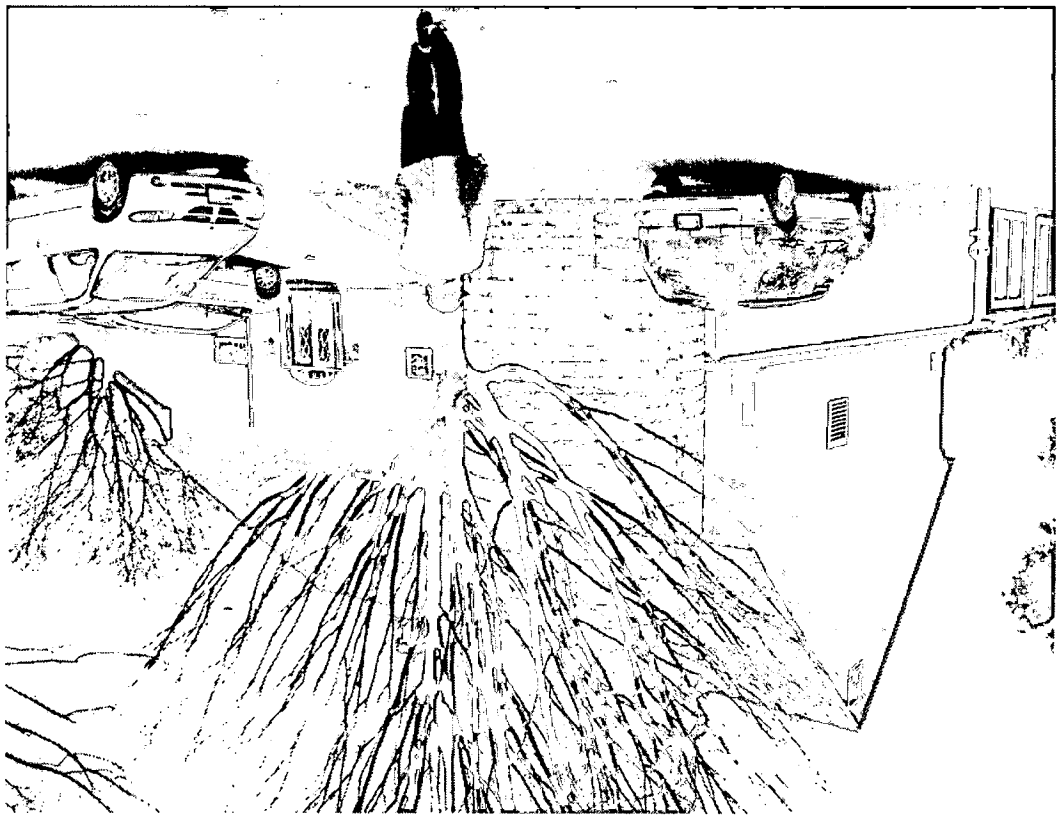
1 NEW 1ST FL. PLAN
 A2 SCALE: 1/8" = 1'-0"

PROGRESS SET - 10 NOVEMBER 05

25

Hay Barn





Southernmost barn (partly barn)

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	4601 Damascus Road, Gaithersburg	Meeting Date:	05/11/05
Applicant:	Josh Freeman	Report Date:	05/04/05
Resource:	<i>Master Plan Site # 23/15</i> Tusculum Farm	Public Notice:	04/27/05
Review:	HAWP	Tax Credit:	None
Case Number:	23/15-05A	Staff:	Anne Fothergill and Michele Oaks
PROPOSAL:	Alterations to buildings and pool	RECOMMEND:	Approval

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan Site # 23/15 Tusculum Farm/Griffith-Hutton House*

Excerpt from the Maryland Inventory of Historic Properties form:

The property known alternatively as Tusculum or the Griffith-Hutton House is located on a 219-acre parcel of land in rural Montgomery County. The property includes a large stone and frame farmhouse, parts of which may date to the 18th century and an important collection of dairy barns, built in the 1940s by master-builder August Priebe. The environmental setting is 25 acres.

Tradition maintains that the original log house at Tusculum was built in 1747 by patriot Henry Griffith. Henry Griffith was a prominent Marylander who was Justice of the Lower Court of Frederick County, Moderator of the Hungerford Tavern meeting in 1774, and Member of the Annapolis Convention that formed the Association of Freeman of Maryland. Griffith also witnessed the signing of the Declaration of Independence.

The main house at Tusculum is a 2-1/2 story cross gable stone and frame structure that is the product of several building campaigns. The oldest part of the house appears to be the principal stone wing, though the frame ell attached to it may occupy the site of an earlier log structure, and even incorporate aspects of it into its walls. The stone wing (today's main block) was built circa 1797. Additionally, an important group of agricultural buildings is located west of the main dwelling and includes two barns with silos and a stable. An addition to the west side of the house was approved by the HPC and constructed in 2003.

PROPOSAL

The applicants are proposing a number of alterations to various buildings including:

1. Addition areaway stairs (circles 11-13): New areaway external stairs will be built leading to a basement below the 2003 west wing addition. A black wrought-iron fence will encircle the top of the new walls, per safety codes. Flagstone will top the walls and slab (to match existing paths).
2. Farm office (circles 14-18): Hardiplank board panels and batten strips will be applied vertically, replacing the current CMU block finish. New windows will be aluminum-clad wood windows with simulated divided lights. The office footprint will not be altered.

M

3. Garage (circles 19-24): A new 2,300 sq. ft. garage structure will be built in the location of the existing 1,300 sq. ft. garage, which has water drainage problems and functional limitations. The new garage will be clad in hardiplank board and batten siding and will have 20 feet of additional footprint on the rear farm side. There will be a two-bedroom apartment in the new attic space with gabled dormer windows. The new windows will be aluminum-clad wood windows with simulated divided lights. There will be a fenced 40' x 80' gravel area to access the wood carriage style garage doors. The fencing will be 4 ½' tall 6" post and 4" round timber rail barnyard fencing to match existing.
4. Pool (circles 25-30): Existing pool will be replaced with a new pool in same location with flagstone decking. The existing pool house will be remodeled and expanded to include a new porch and will have hardiplank board and batten siding. An outdoor shower stall (clad in stone) and a sauna (board & batten). Wrought iron vertical fencing will be installed around the pool area to meet Code. No trees will be removed.
5. Storage space (circles 31-33): Existing storage space in the eastern shed addition to the southern-most barn in the working farm area will be expanded. The addition is to be clad in hardiplank board and batten siding, and it will be built underneath an existing shed roof. The new windows will be aluminum-clad with simulated divided lights. No trees will be removed.

STAFF DISCUSSION

Staff used the Secretary of the Interior's *Standards for Rehabilitation* as a guide, specifically:

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided;

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The applicants are very good stewards of this historic resource. This is a working farm and almost all of the proposed alterations and additions are farm/agriculturally-oriented in the working farm section of the environmental setting. These proposed changes are functional as they will provide more storage and office space and are also appropriate in material and design for compatibility with the historic buildings. The only alteration to the house is actually an alteration to the 2003 addition to the house.

The proposed alterations and additions would not adversely affect this resource and staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation* #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features,

and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

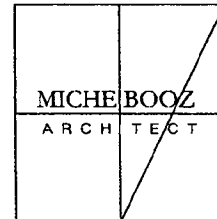
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT IN BLUE OR BLACK INK OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

5

PROJECT: TUSCULUM FARM
ADDRESS: 4601 DAMASCUS ROAD
GAITHERSBURG, MD 20882
OWNER: JOSH FREEMAN
APPLICANT: MICHE BOOZ, ARCHITECT
DATE: 20 APRIL, 2005



ADJACENT PROPERTIES MAILING ADDRESSES

Alan Auslaender
4910 Damascus Road
Gaithersburg, MD 20882

John G. Hallman
5000 Damascus Road
Gaithersburg, MD 20882

Kristen Middleton
6300 Damascus Road
Gaithersburg, MD 20882

Andrew Balderson
4230 Damascus Road
Laytonsville, MD 20882

John P. Infante
4200 Damascus Road
Laytonsville, MD 20882

Ernest J. Moncada
4510 Damascus Road
Laytonsville, MD 20882

Ernest D. & C.R. Branson
4900 Damascus Road
Gaithersburg, MD 20882

Brenda A. Kolb
4300 Damascus Road
Laytonsville, MD 20882

Evan C. & S.P. Nudd
4920 Damascus Road
Gaithersburg, MD 20882

Rufus Butts
4015 Damascus Road
Gaithersburg, MD 20882

Kennedy Enterprises, LLC
10446 Waterfowl Terrace
Columbia, MD 21044

Iema Angela Ortega
5037 Damascus Road
Gaithersburg, MD 20882

Arthur Chenowith
5035 Damascus Road
Gaithersburg, MD 20882

Alfred & D.F. Lang
4410 Damascus Road
Laytonsville, MD 20882

Robert W. Payne
4810 Damascus Road
Gaithersburg, MD 20882

Glen P. Cook
4320 Damascus Road
Laytonsville, MD 20882

Ronald & J.C. Lasheski
4000 Elton Farm Road
Sunshine, MD 20833

Huntley H. Perry
4330 Damascus Road
Laytonsville, MD 20882

James R. & G.L. Curtiss
3610 Elton Farm Road
Brookeville, MD 20833

Gerald L. Mader
4420 Damascus Road
Laytonsville, MD 20882

State of Maryland (Parcel
564) Dept. of Natural
Resources
300 W. Preston Street, #
601
Baltimore, MD 21201

John W. & P.J. Douglass
5049 Damascus Road
Gaithersburg, MD 20882

Jose A.P. & M.A.C. Matos
4930 Damascus Road
Gaithersburg, MD 20882

Gregory & Donna M.P.
Eisenstadt
4010 Elton Farm Road
Brookeville, MD 20833

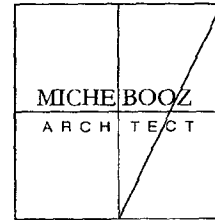
William M. Mayo
P.O. Box 172
Brookeville, MD 20833

William K. Zorr
4310 Damascus Road
Laytonsville, MD 20882

Kenneth E. Geary
4400 Damascus Road
Laytonsville, MD 20882

James McLaughlin
5233 Griffith Road
Laytonsville, MD 20882

PROJECT: TUSCULUM FARM
ADDRESS: 4601 DAMASCUS ROAD
GAITHERSBURG, MD 20882
OWNER: JOSH FREEMAN
APPLICANT: MICHE BOOZ, ARCHITECT
DATE: 20 APRIL, 2005



GENERAL PROPOSAL CONCEPT

These various proposals for Tusculum Farm relate to a broad-brush attempt to give a barn-aesthetic to the outbuildings in and around the working farm, while expanding the space and improving general functionality. With the exception of the pool and areaway stairs, these proposals are farm/agriculturally-oriented, with the noted benefit of enhancing the consistency of the buildings' exteriors.

PROPOSALS FOR HISTORIC REVIEW

PROPOSAL 1: AREAWAY TO MAIN HOUSE ADDITION

Brief: Areaway stairs to be added to main house addition.

Applicant proposes new areaway external stairs leading to a basement situated below the west wing addition, which was added to the existing house two years ago. The new stairs will serve as a secondary entrance to the basement from the barn area to the west. A black wrought-iron fence will encircle the top of the new walls, per safety codes. Flagstone will top the walls and slab (to match existing paths). No trees will be removed.

PROPOSAL 2: FARM OFFICE RENOVATION

Brief: New roof and siding to be added to existing farm office.

Applicant proposes a new conventionally framed roof for the farm office, located within the working farm sector of the historic work area. The new roof will be of a pitch (around 10 ½: 12) and scale to complement the adjacent house and is to include gable dormers on each side. Cement board panels and batten strips will be applied vertically, replacing the current CMU block finish, to return the office to a barn aesthetic. The footprint of the office will not be altered.

PROPOSAL 3: BARN GARAGE DEMOLITION AND REPLACEMENT

Brief: Garage to be razed and rebuilt to include more work area and an attic apartment.

Applicant proposes a new 2300 sq. ft. garage structure to be built in the location of the present 1300 sq. ft. garage, which has water drainage problems and functional limitations. This new garage, also in the working farm sector of the historic work area, will replace the existing workshop and expand the enclosed garage area. A two-bedroom apartment will be fit into the new attic space, lit by gabled dormer windows built in the scale of the existing house dormers. This will be accomplished with an increase in footprint that includes a new access stair and 20 feet of additional footprint to the rear farm side. Additionally, access to the rear garage doors will be added in the form of a fenced gravel area. Cementitious board and batten will be used to relate the structure to the adjacent barns.

PROPOSAL 4: POOL AND POOL HOUSE RENOVATION AND EXPANSION

Brief: Existing pool to be razed and replaced. Pool house to be remodeled and expanded to include shower and sauna areas.

Applicant proposes to demolish and replace the failing existing pool, as well as remodel the existent pool house; both are located on the east side of the hill on which the house and farm are sited. As a part of the overriding concept of creating a barn aesthetic for the property's numerous outbuildings the pool house block walls will change to cement board and batten. Two new structures will be added in the form of an outdoor shower stall (clad in stone) and a sauna (board & batten). No trees will be removed.

PROPOSAL 5: STORAGE ROOM EXPANSION

Brief: Existing storage space to be expanded.

Applicant proposes to expand and remodel the existing storage space, located in the eastern shed addition to the southern-most barn in the working farm area. The addition is to be clad in cement board and batten to make it fit in with the barn, and it will be built underneath an existing shed roof. No trees will be removed.

MICHE BOOZ
ARCHITECT

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Maryland 20833
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fax 774 1908

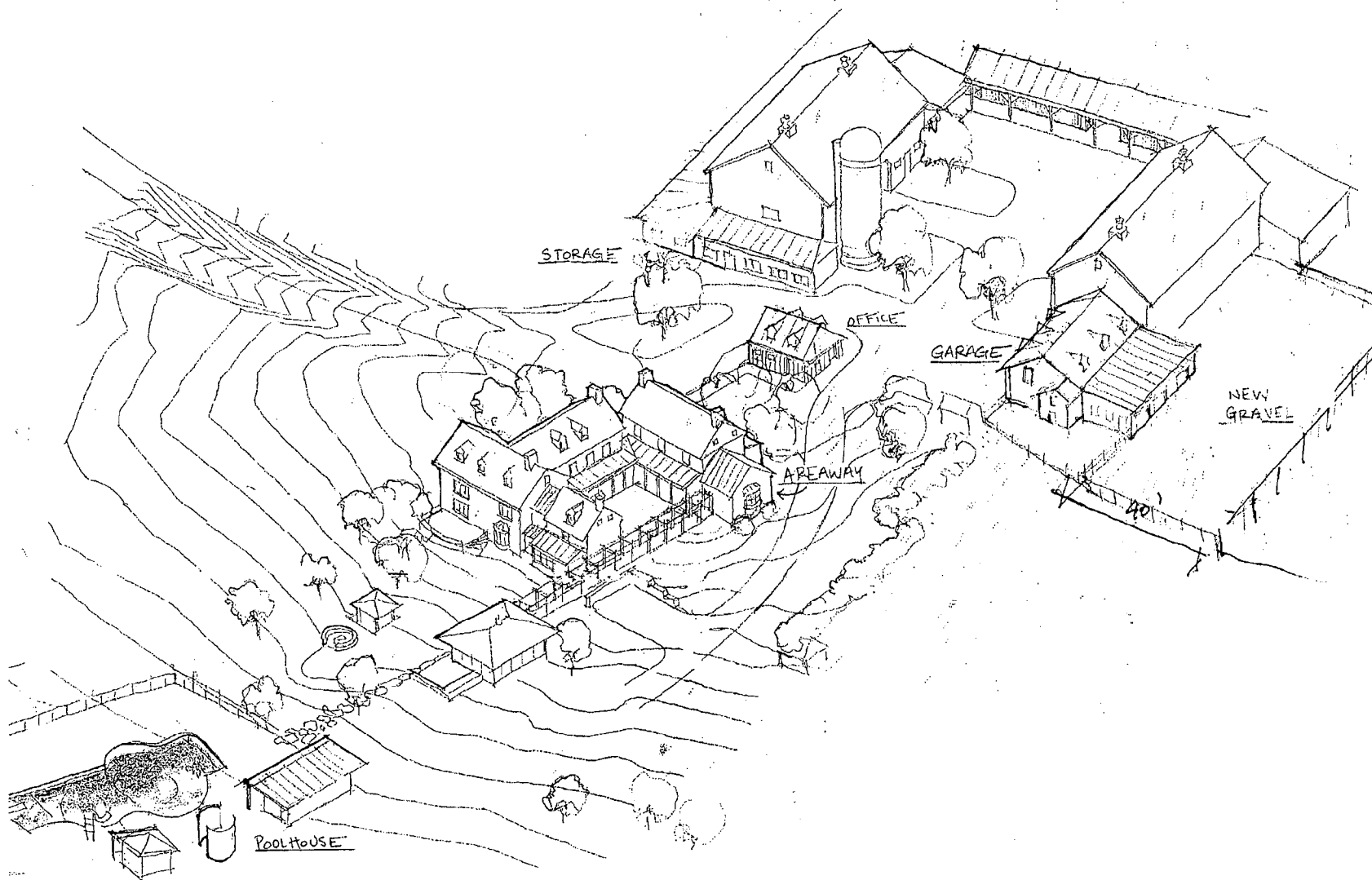
Project:

TUSCULUM
FARM

4801 Damascus Rd.
Laytonsville, MD 20882

Drawing: Site Axon
NOT TO SCALE

Date: 20 APR 05






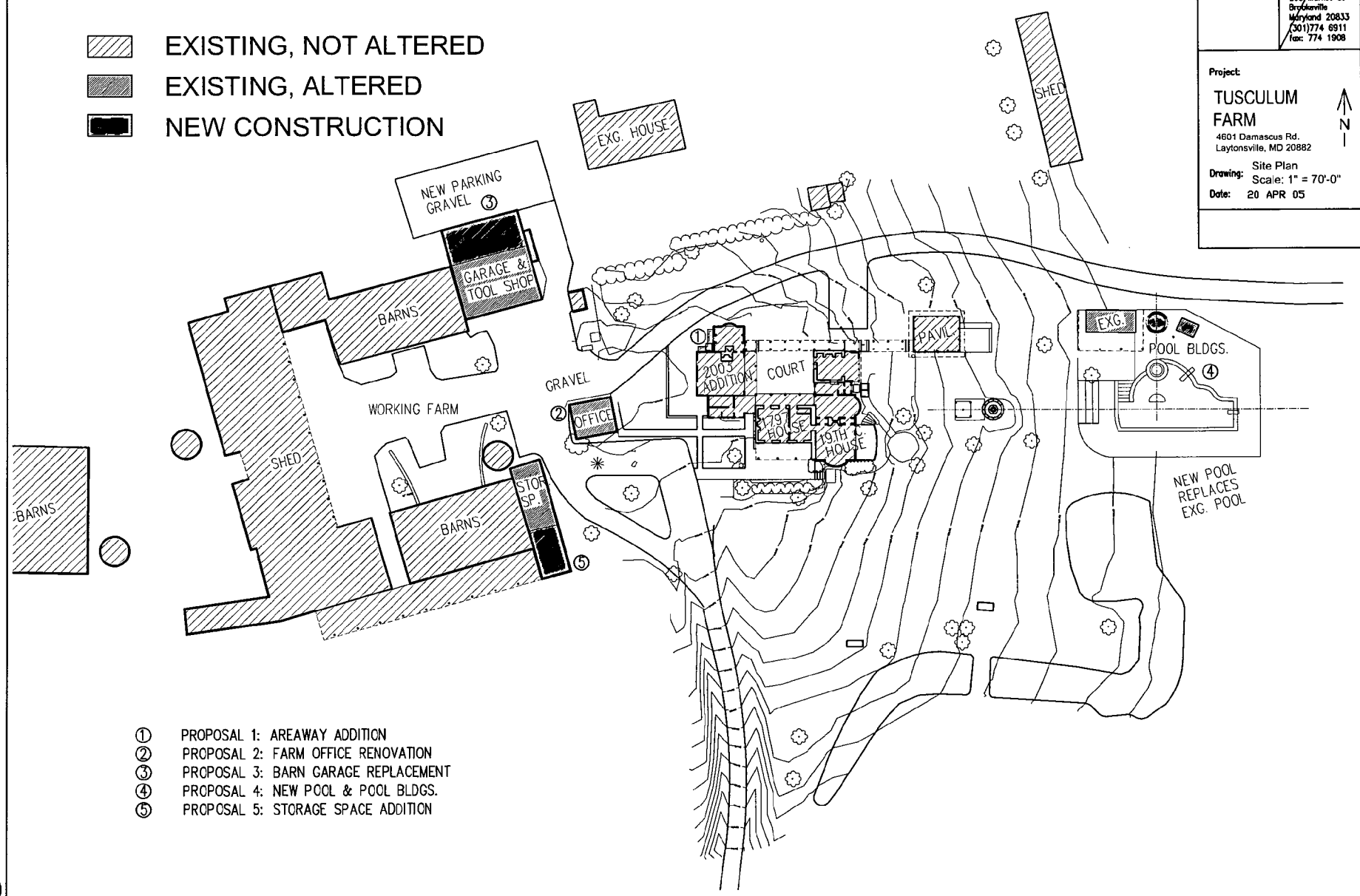
9

MICHE BOOZ
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 Fax: 774 1908

Project:
TUSCULUM FARM
 4601 Damascus Rd.
 Laytonsville, MD 20882
 Drawing: Site Plan
 Scale: 1" = 70'-0"
 Date: 20 APR 05



-  EXISTING, NOT ALTERED
-  EXISTING, ALTERED
-  NEW CONSTRUCTION



- ① PROPOSAL 1: AREAWAY ADDITION
- ② PROPOSAL 2: FARM OFFICE RENOVATION
- ③ PROPOSAL 3: BARN GARAGE REPLACEMENT
- ④ PROPOSAL 4: NEW POOL & POOL BLDGS.
- ⑤ PROPOSAL 5: STORAGE SPACE ADDITION

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AB1

Project:

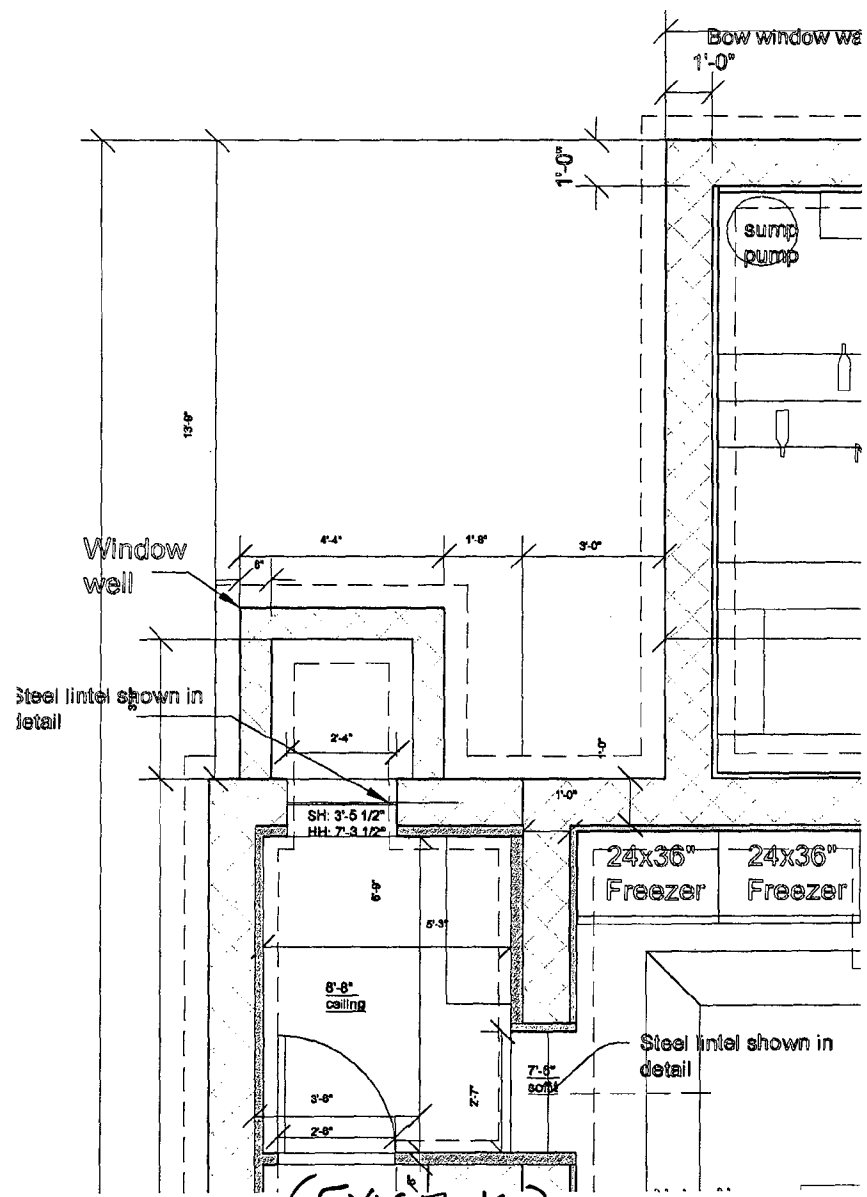
TUSCULUM
FARM

4601 Demasocus Rd.
Laytonville, MD 20882

Drawing: AS BUILT PLANS

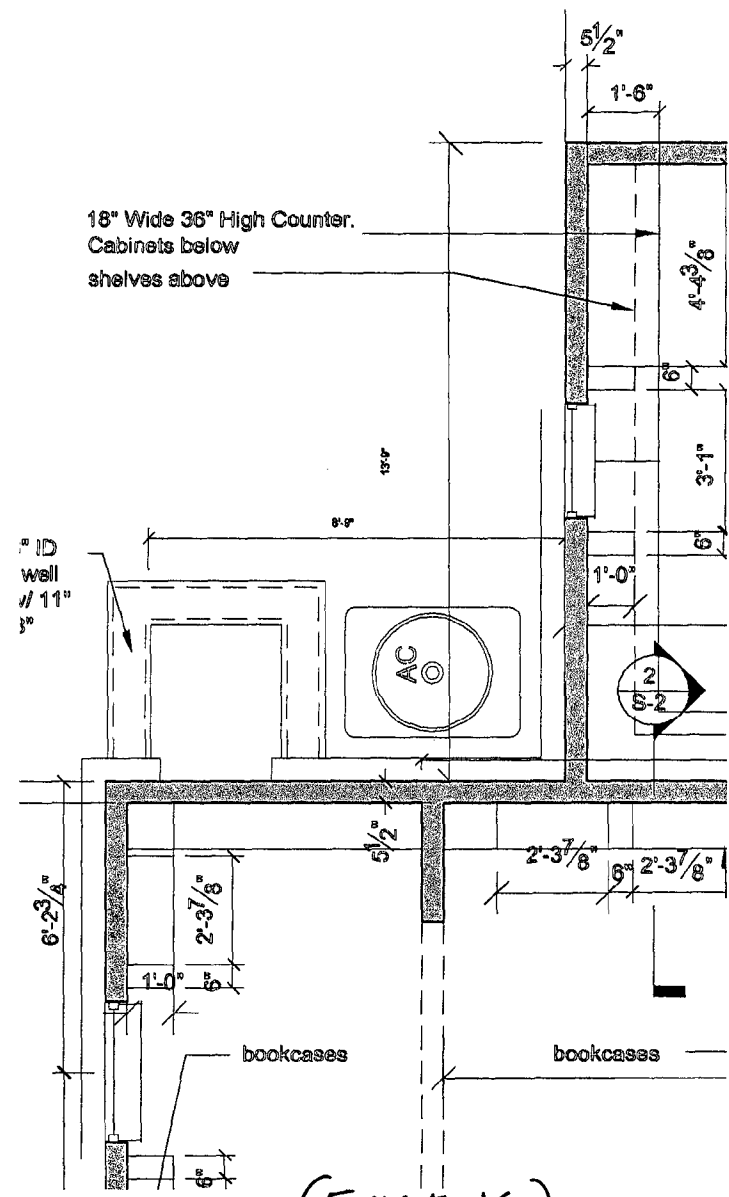
Date: 20 APR 05

NEW AREAWAY



(EXISTING)

① AS-BUILT LOWER LEVEL PLAN
1/4" = 1'-0"



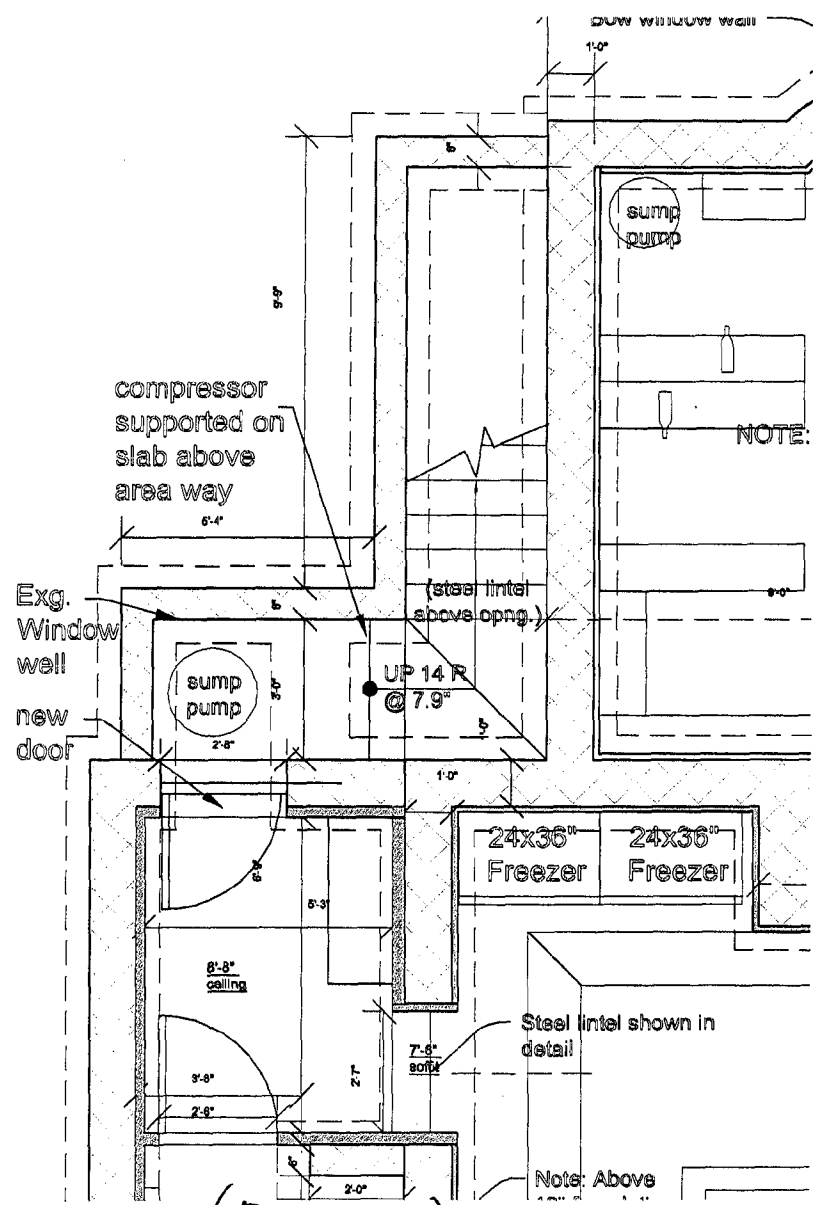
(EXISTING)

② AS-BUILT FIRST LEVEL PLAN
1/4" = 1'-0"

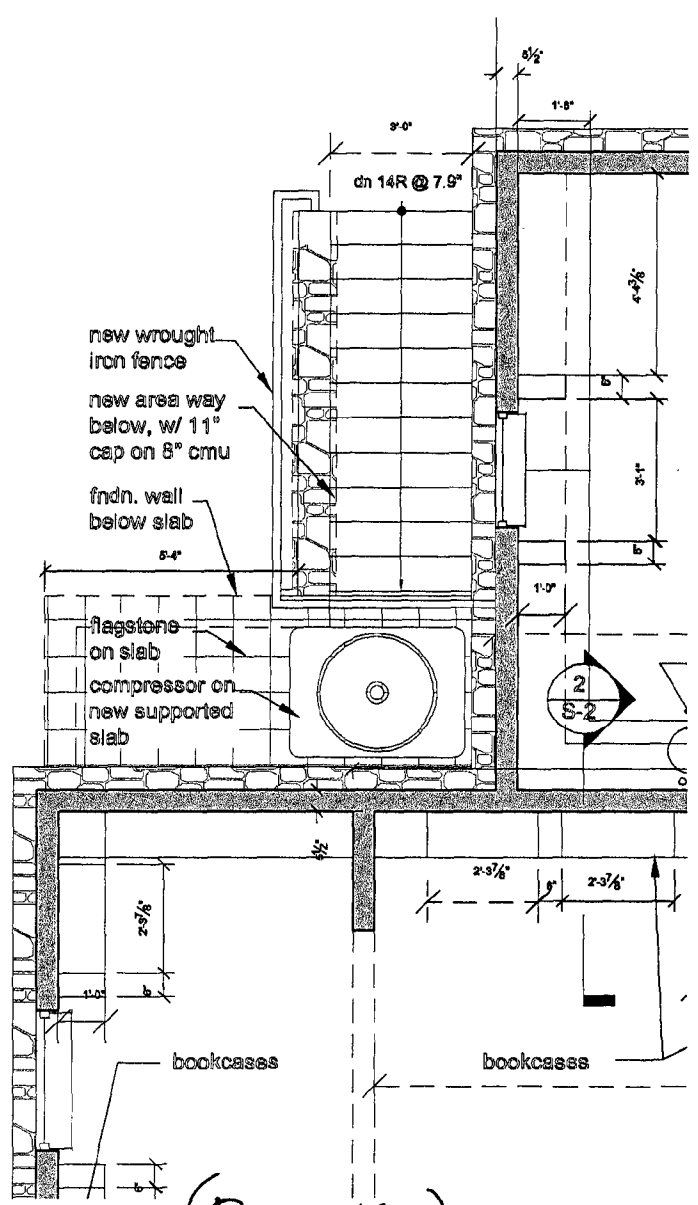
MICHE BOOZ
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 208 Market St
 Brykerville
 Maryland 20833
 (301)774 8911
 fax: 774 1908

Project:
TUSCULUM FARM
 4601 Damascus Rd.
 Laytonsville, MD 20882
 Drawing: NEW PLANS
 Date: 20 APR 05

NEW AREAWAY

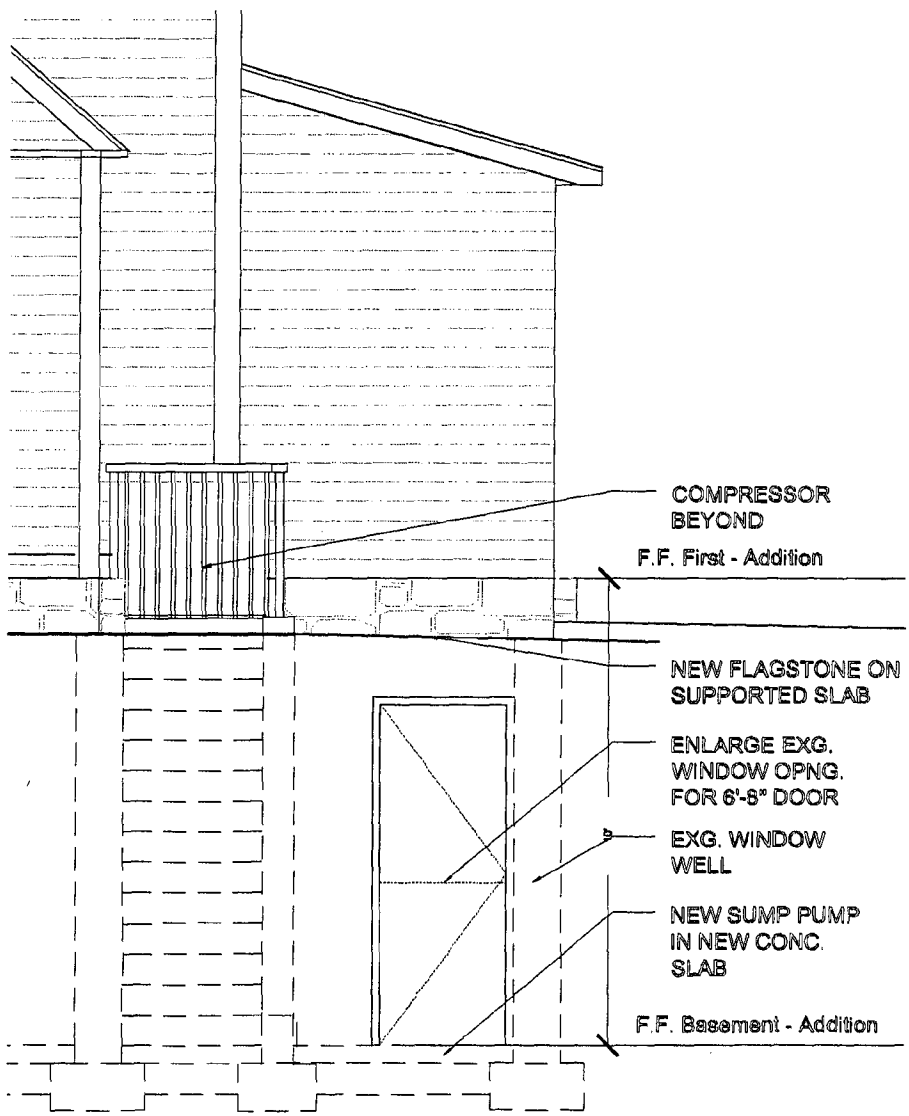


(PROPOSED)
1 NEW LOWER LEVEL PLAN
 1/4" = 1'-0"



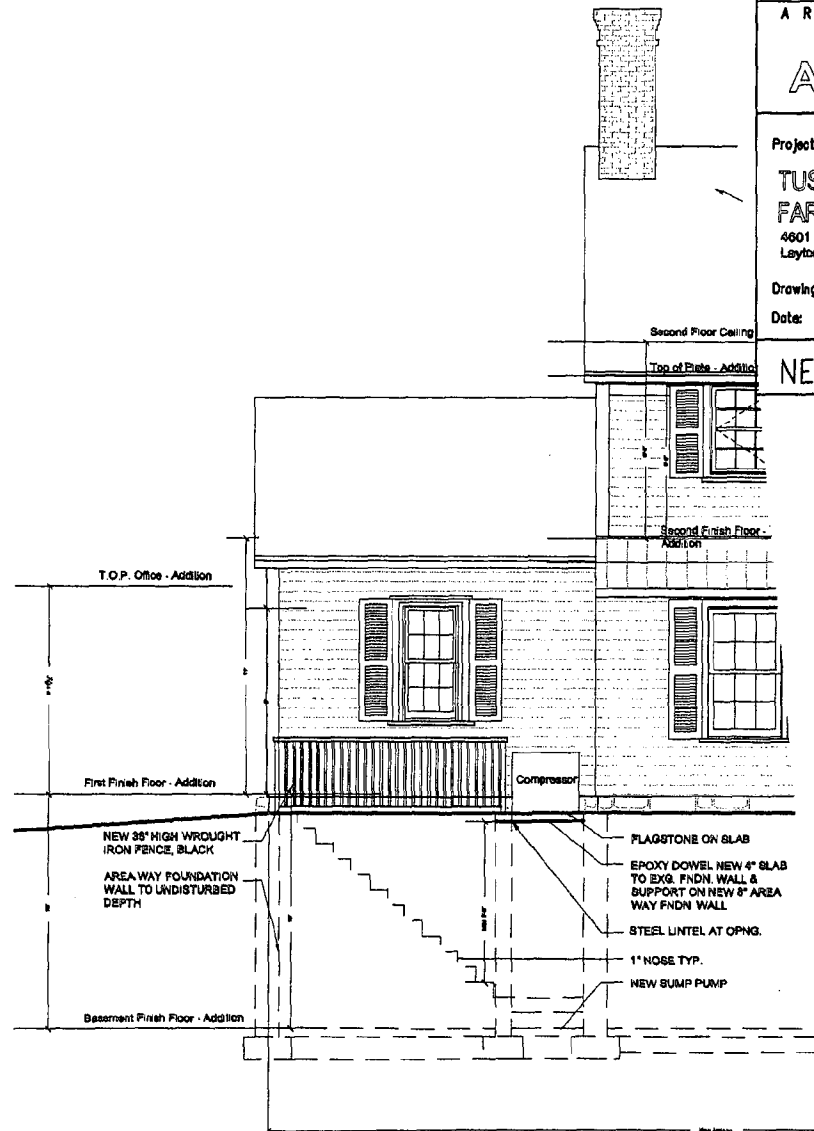
(PROPOSED)
2 NEW FIRST LEVEL PLAN
 1/4" = 1'-0"

12



(Proposed)
 ① NEW NORTH SECT-ELEV.
 1/4" = 1'-0"

13



(Proposed)
 ② NEW WEST SECT-ELEV.
 1/8" = 1'-0"

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 A2
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 fax: 774 1808

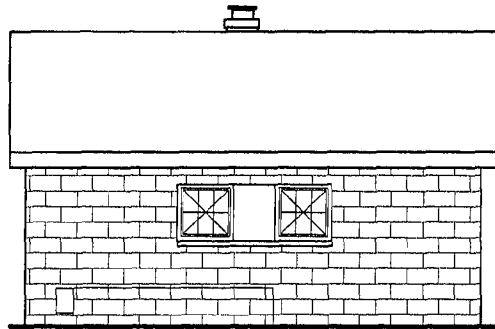
Project:
 TUSCULUM
 FARM
 4601 Damascus Rd.
 Laytonsville, MD 20682
 Drawing: NEW SECT-ELEVS.
 Date: 20 APR 05

NEW AREAWAY

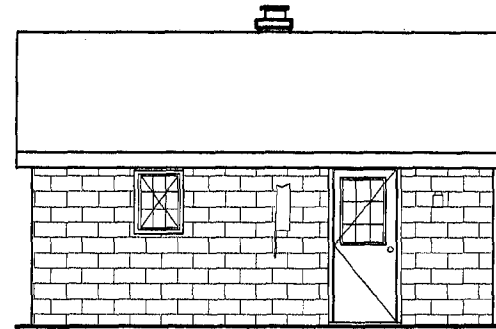
MICHE BOOZ
 ARCHITECT
 AB2 208 Market St
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 (301)774 8811
 fax 774 1808

Project:
**TUSCULUM
 FARM**
 4601 Damascus Rd.
 Laytonsville, MD 20882
 Drawing: AS-BUILT ELEVS.
 Date: 20 APR 05

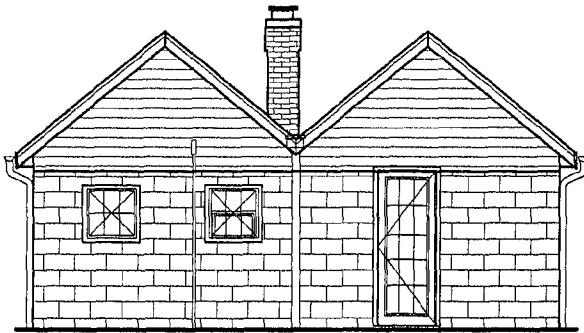
FARM OFFICE



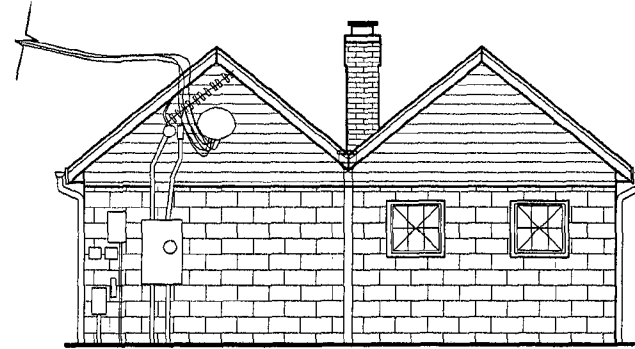
① EXG. OFFICE ELEVATION—WEST
 1/8" = 1'-0"



② EXG. OFFICE ELEVATION—EAST
 1/8" = 1'-0"



③ EXG. OFFICE ELEVATION—SOUTH
 1/8" = 1'-0"



④ EXG. OFFICE ELEVATION—NORTH
 1/8" = 1'-0"

h/

MICHE BOOZ

ARCHITECT

A3

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Maryland 20833
(301) 774 6911
fax: 774 1908

Project:

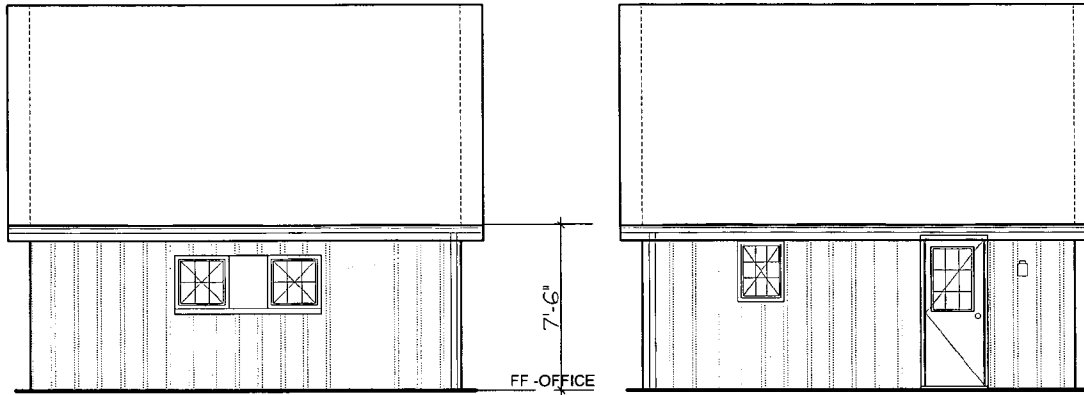
TUSCULUM
FARM

4801 Demetrius Rd
Laytonsville, MD 20882

Drawing: NEW ELEV5.

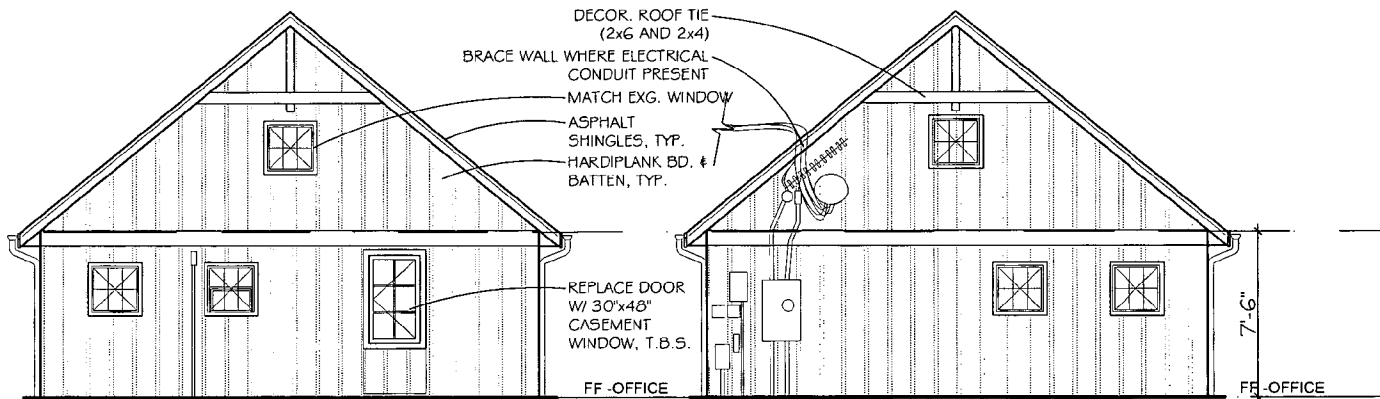
Date: APR 05

FARM OFFICE



1 NEW OFFICE ELEVATION-WEST
1/4" = 1'-0"

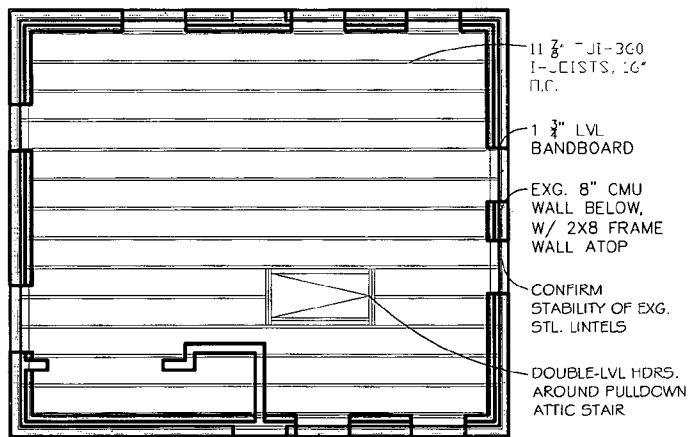
2 NEW OFFICE ELEVATION-EAST
1/4" = 1'-0"



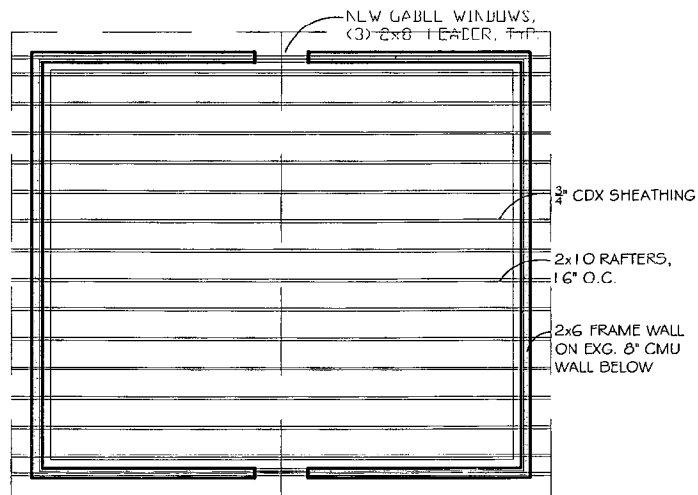
3 NEW OFFICE ELEVATION-SOUTH
1/4" = 1'-0"

4 NEW OFFICE ELEVATION-NORTH
1/4" = 1'-0"

151



1 NEW OFFICE ATTIC FRAMING
1/4" = 1'-0"



2 NEW OFFICE ROOF FRAMING
1/4" = 1'-0"

MICHE BOOZ

ARCHITECT

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fax: 774 1908

Project:

TUSCULUM
FARM

4801 Damascus Rd.
Laytonsville, MD 20882

Drawing: FRAMING PLANS

Date: 03 APR 85

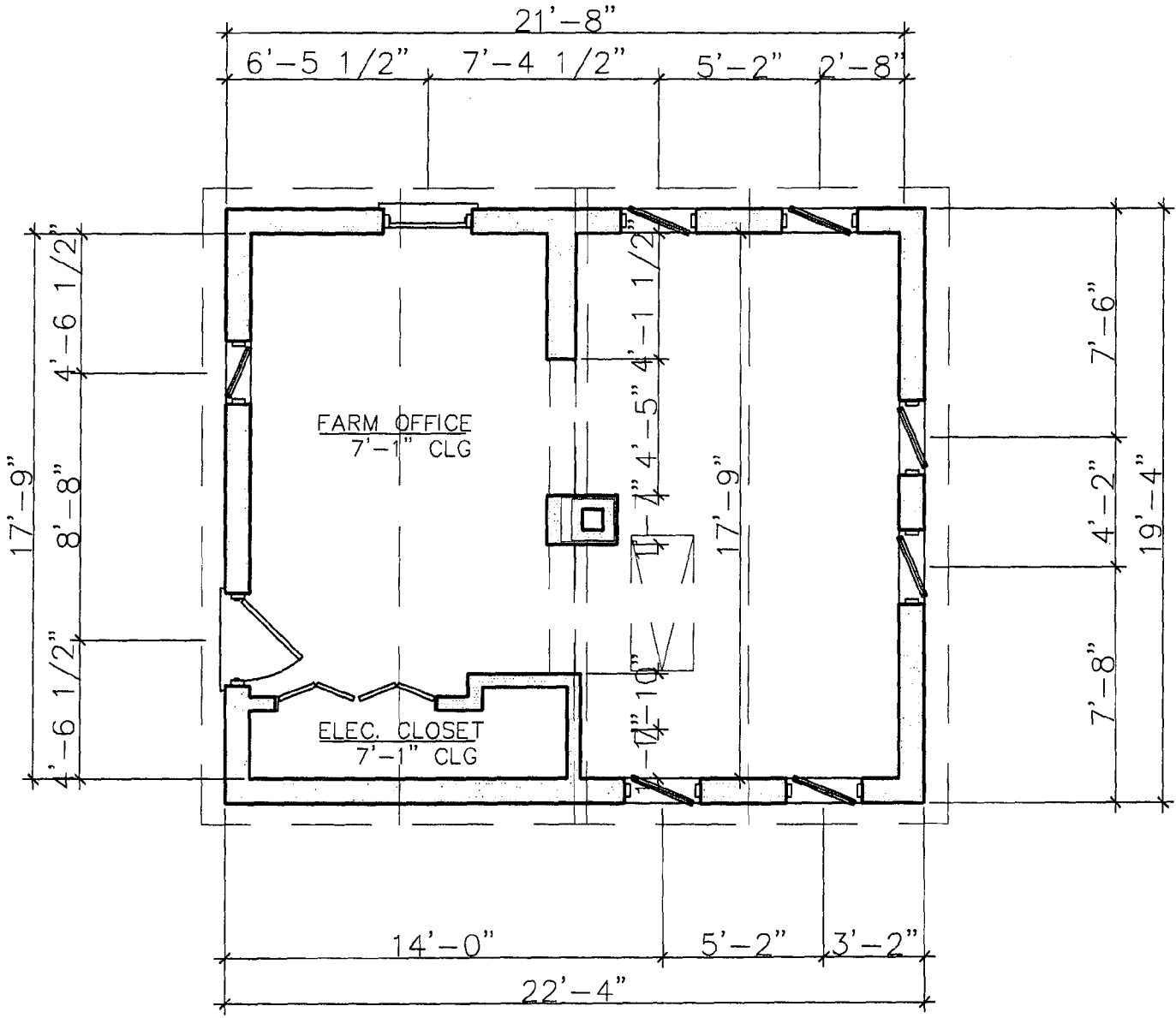
F ARM OFFICE

16

MICHE BOOZ
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 208 Market St
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Project:
TUSCULUM FARM
 4601 Damascus Rd
 Laytonsville, MD 20882
 Drawing: AS-BUILT PLANS
 Date: 20 APR 05

FARM OFFICE



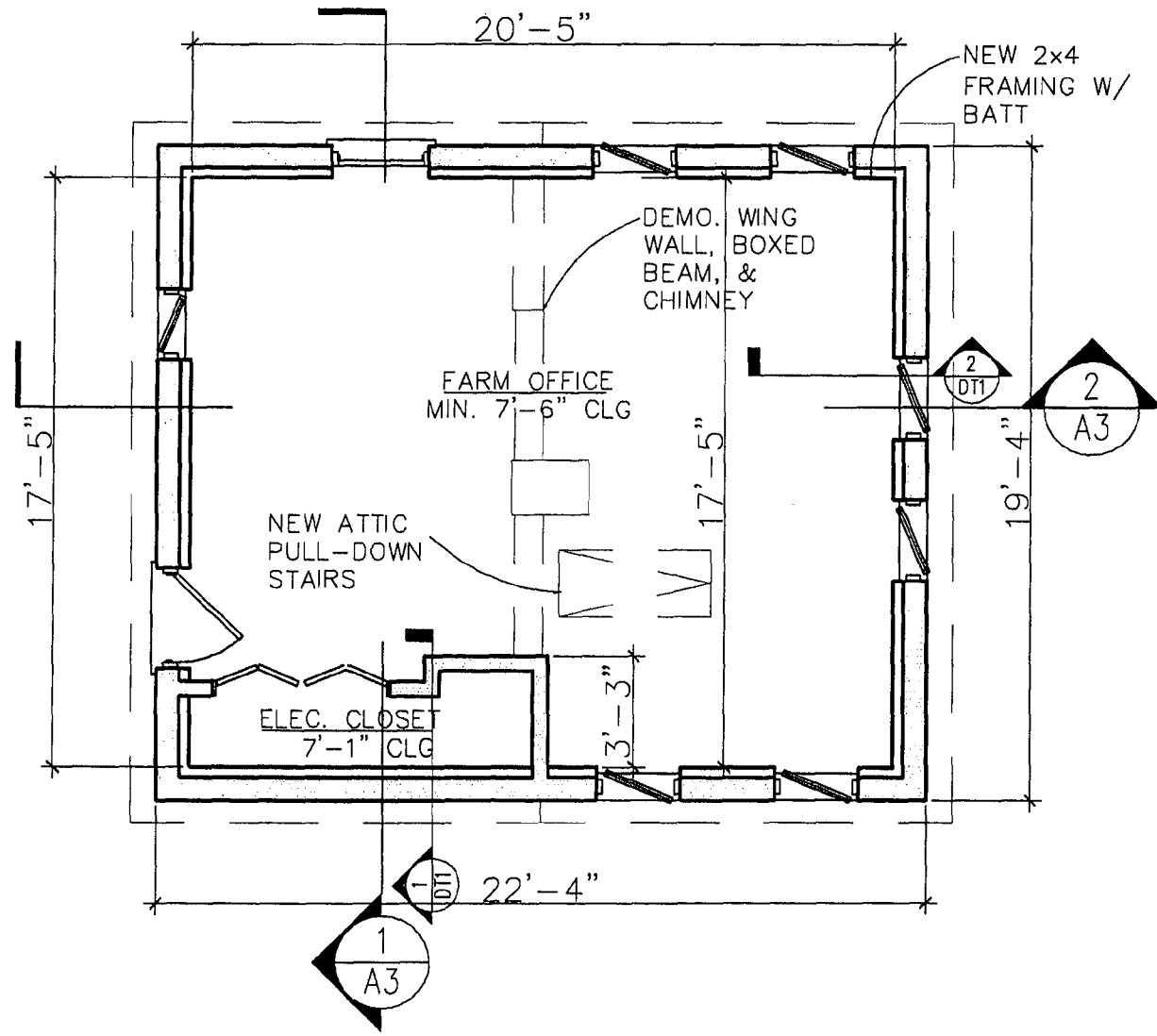
① EXG. OFFICE FLOOR PLAN
 1/4" = 1'-0"

(41)

MICHE BOOZ
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 208 Market St
 Brydenville
 Maryland 20833
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 fax: 774 1808

Project:
TUSCULUM FARM
 4601 Damascus Rd.
 Laytonsville, MD 20882
 Drawing: NEW PLANS
 Date: 20 APR 05

FARM OFFICE



1 NEW OFFICE FLOOR PLAN
 1/4" = 1'-0"

18



DESIGNER DOORS™
PIONEERING POSSIBILITIES

- COMPANY OVERVIEW
- ARCHITECTURAL LEGACY
- WH
- CALENDAR OF EVENTS
- STUDIO OF PRODUCTS
- AIA
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BECAUSE EVERY ENTRANCE MAKES AN IMPRESSION

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- Gallery
- Extreme Weather Packages
- Door Details

Limited Editions

- European Inspirations
- Door Details
- American Greats
- Door Details

Walk-Through Doors

- Gallery
- Door Details
- Design Styles - Eur. Insp.
- Design Styles - Am. Greats

Swing Garage Doors

Decorative Hardware

- Pulls
- Latches
- Hinges

Installation

Finishing



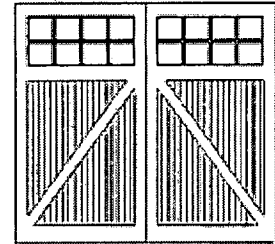
PROJECT NO. 1221
DOOR MODEL BSVH-242

Designer Doors has hundreds of standard design styles and options available. For the complete product portfolio, please contact your territory manager. | [click here](#) |

EUROPEAN INSPIRATIONS

Carrozza Family
Carriage Door Appearance

Arched doors prevalent in the 17th and 18th Baroque Era were inspired by Roman arches now characterize the French Country look



DOOR MODEL BSVN-442

(A)

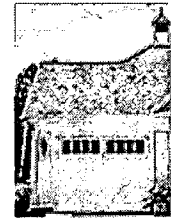
Provencal



DOOR MODEL BSVH-442

(B)

Regency

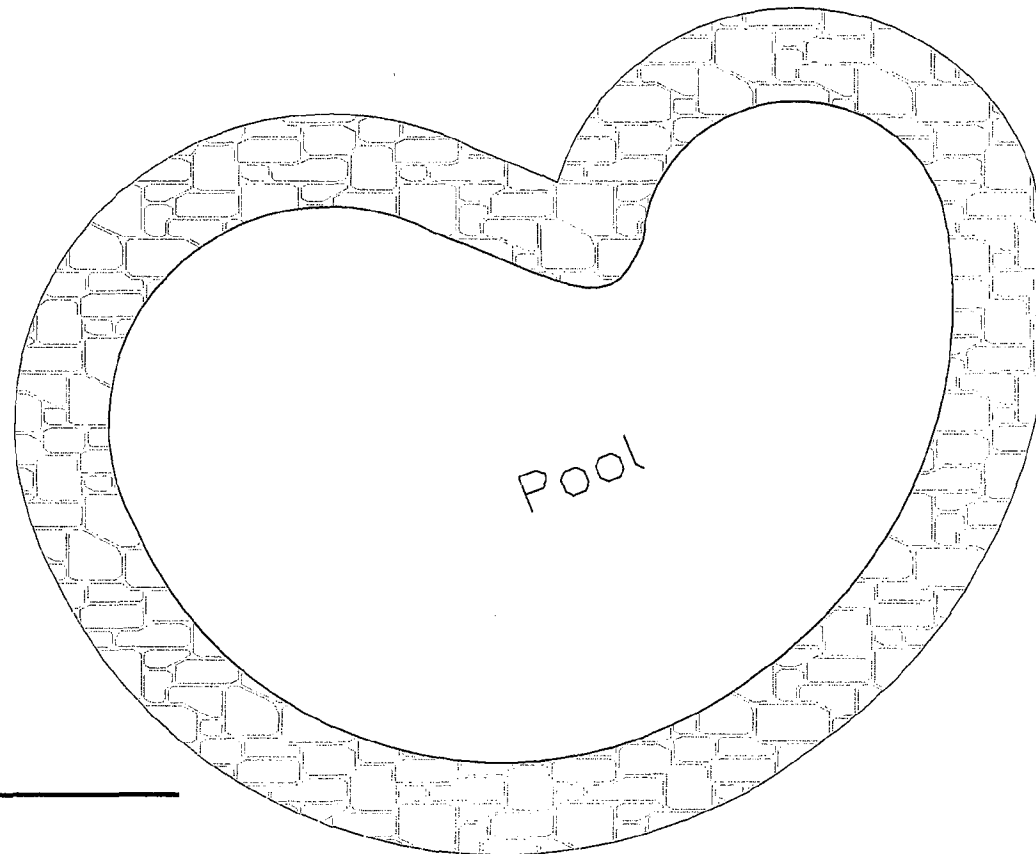
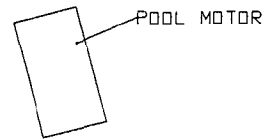
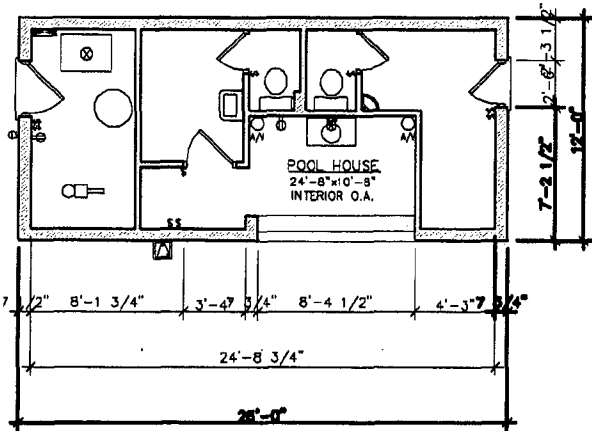


DOOR MODEL BSVH-442

Semp

Applicants propose either A or B

24



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AB1	206 Market St Brykville Maryland 20833 (301) 774-6911 fax: 774-1908
Project: TUSCULUM FARM 4801 Cameacus Rd. Laytonsville, MD 20882	
Drawing: AS-BUILT SITE PLAN	
Date: 20 APR 05	
POOL/POOLHSE	

1 EXG. POOL SITE PLAN
NOT TO SCALE

MICHE BOOZ
ARCHITECT

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Maryland 20833
(301)774 8811
fax: 774 1908

Project:

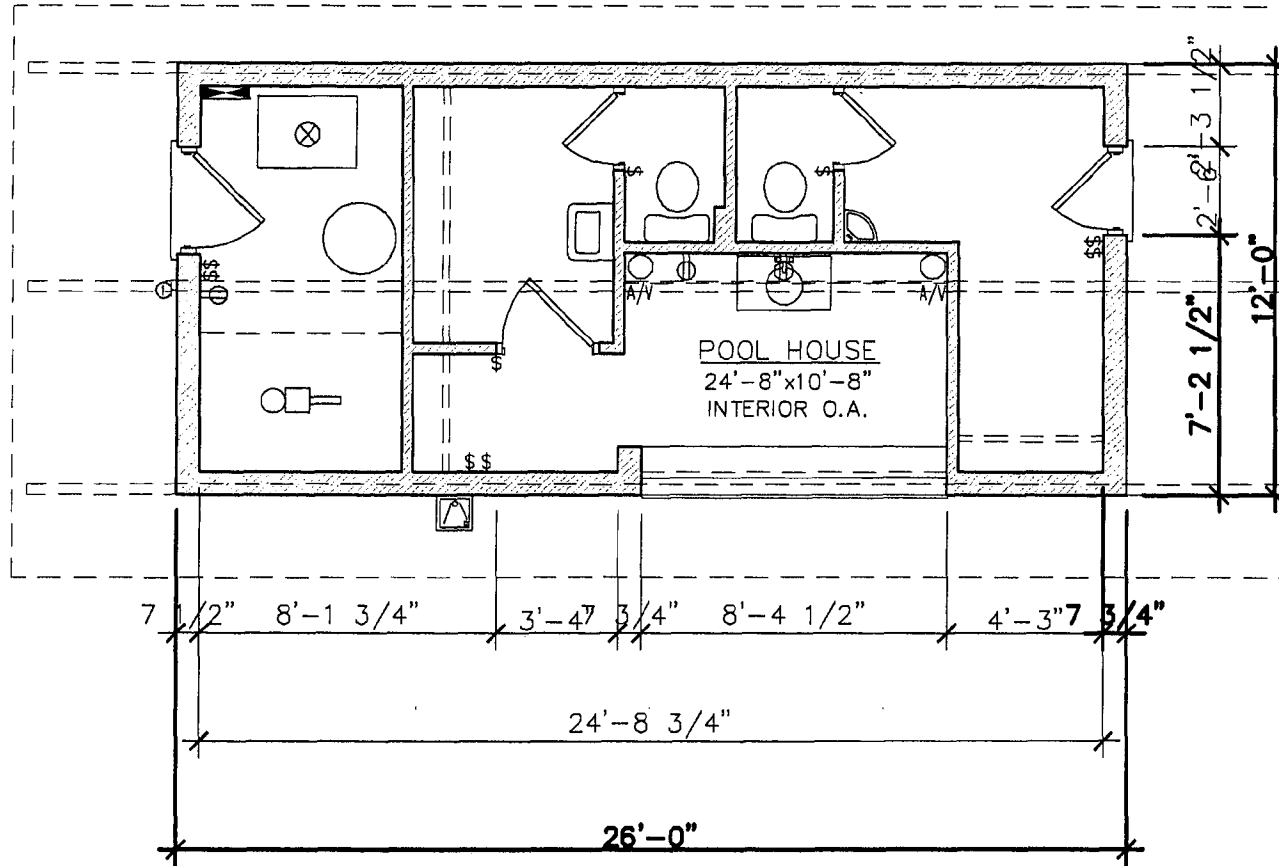
TUSCULUM
FARM

4801 Damascus Rd.
Laytonville, MD 20682

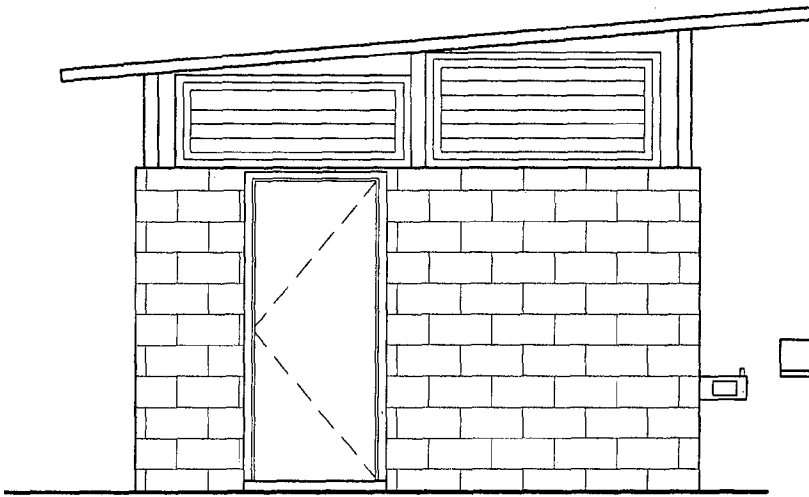
Drawing: AS-BUILT PLAN

Date: 20 APR 05

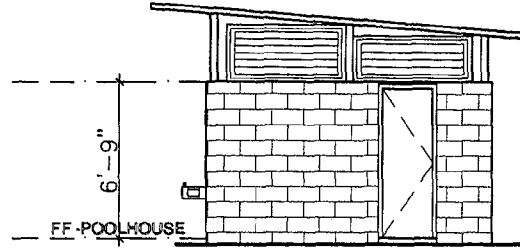
POOL/POOLHSE.



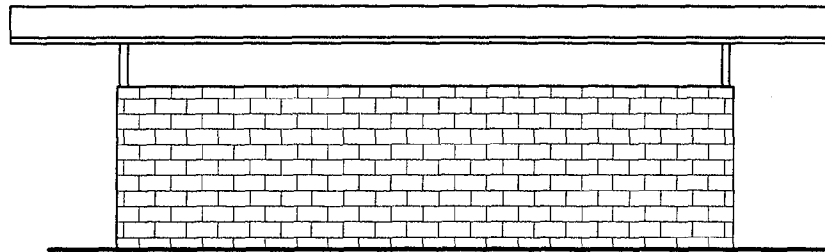
1 EXG. POOLHOUSE FLOOR PLAN
1/4" = 1'-0"



1 EXG. POOLHOUSE ELEV.-WEST
 $1/4" = 1'-0"$



2 EXG. POOLHOUSE ELEV.-EAST
 $1/8" = 1'-0"$



3 EXG. POOLHOUSE ELEV.-NORTH
 $1/8" = 1'-0"$



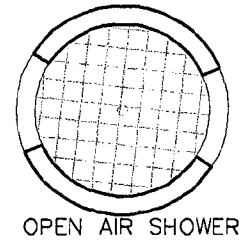
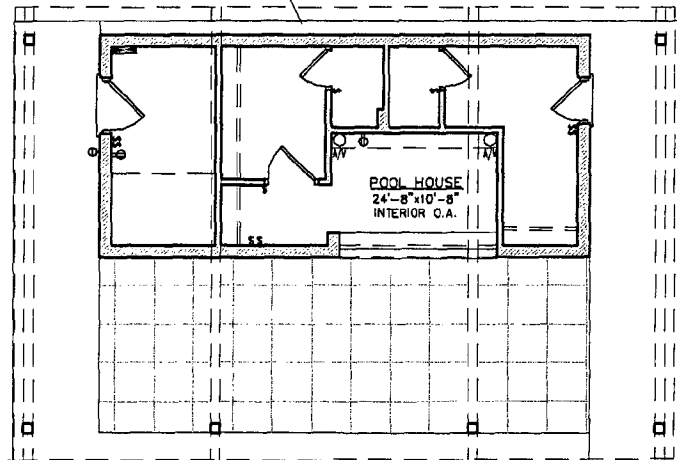
27
 4 EXG. POOLHOUSE ELEV.-SOUTH
 $1/4" = 1'-0"$

MICHE BOOZ	
ARCHITECT	
AB1	208 Market St Brykville Maryland 20833 (301) 774 6911 fax: 774 1908
Project:	
TUSCULUM FARM	
4801 Damascus Rd. Laytonsville, MD 20882	
Drawing: AS-BUILT ELEV.	
Date: 20 APR 05	
POOL/POOLHSE.	

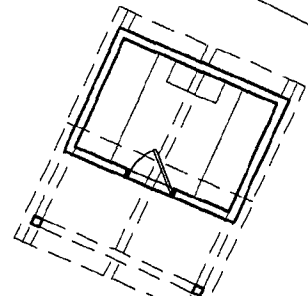
MICHE BOOZ
 ARCHITECT
 A1
 208 Market St
 Brykewille
 Maryland 20833
 (301) 774 8911
 fax: 774 1908

Project:
TUSCULUM FARM
 4801 Damesoba Rd.
 Laytonville, MD 20882
 Drawing: NEW PLANS
 Date: 20 APR 05

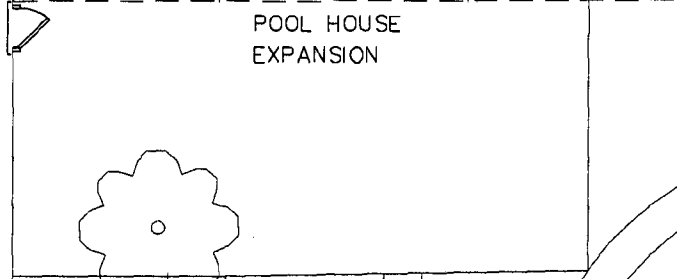
POOL/POOLHSE.



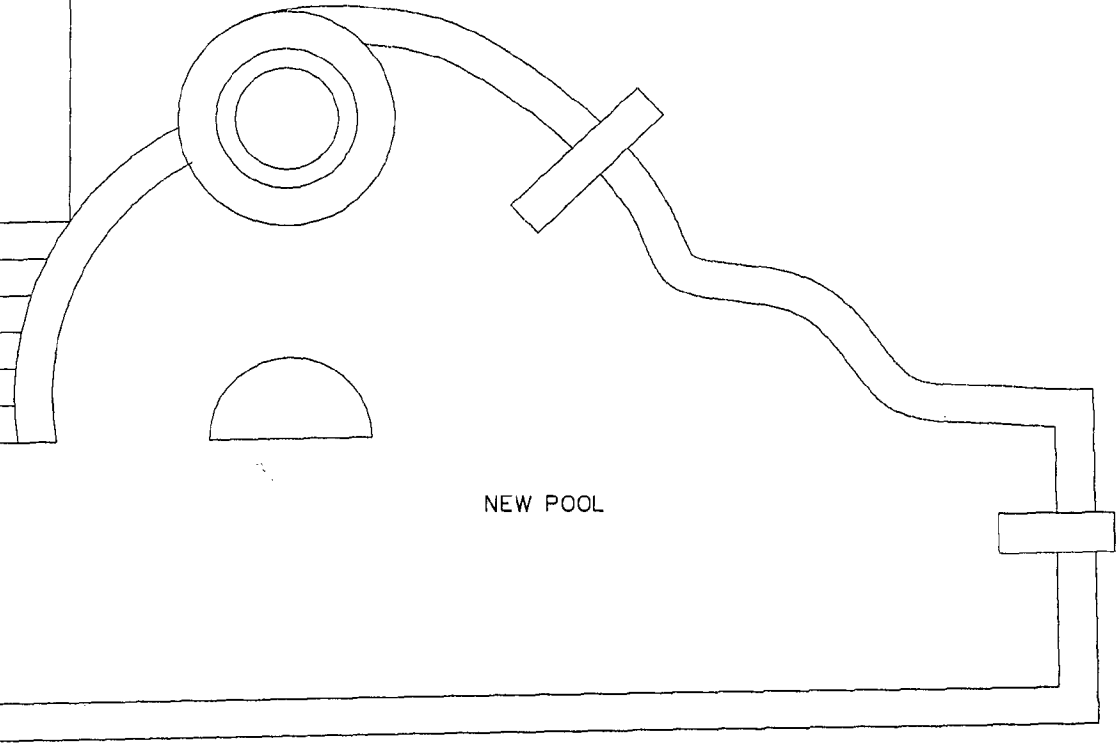
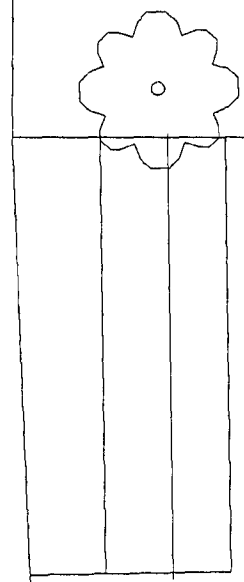
OPEN AIR SHOWER



NEW SAUNA



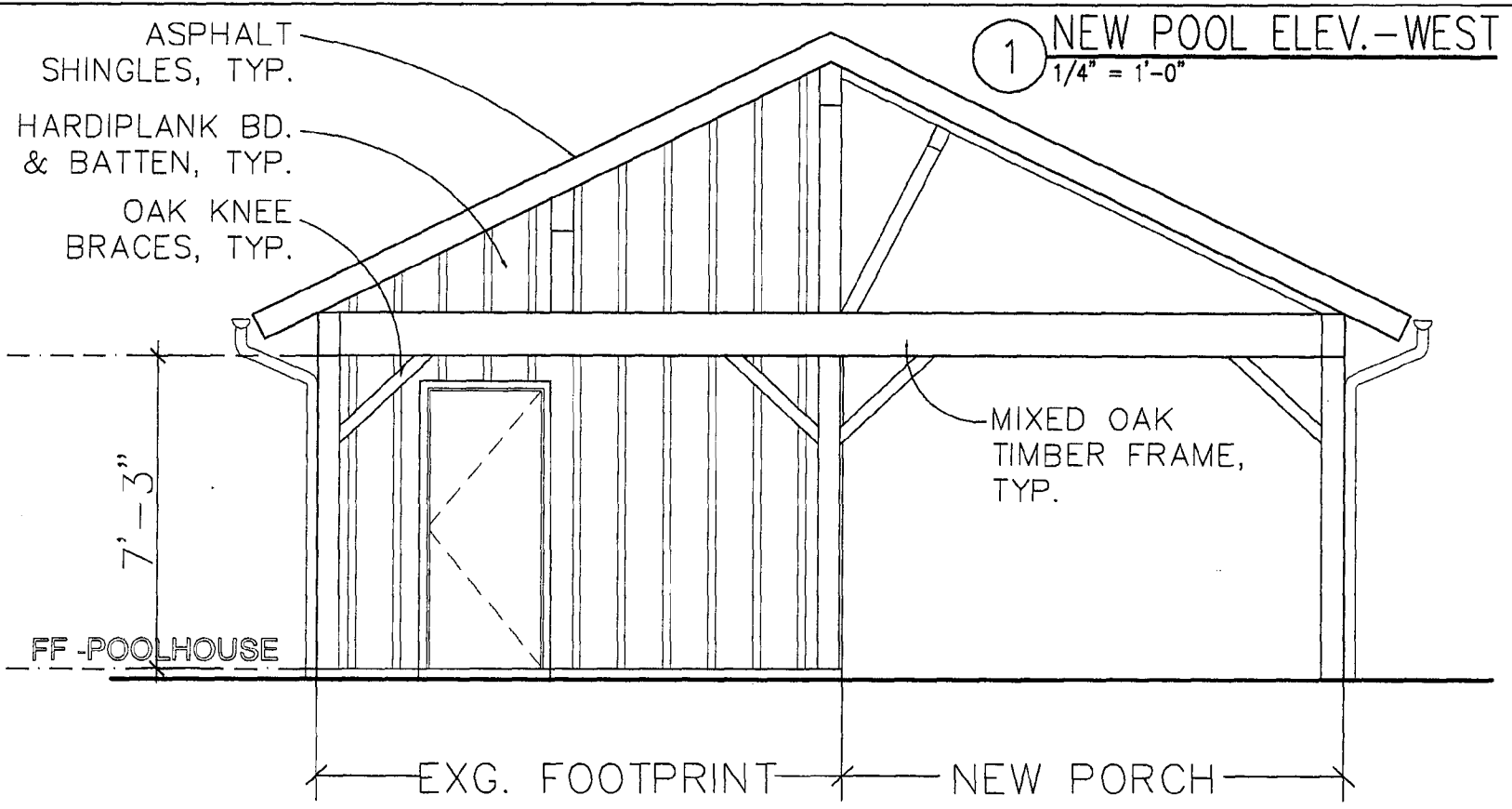
POOL HOUSE EXPANSION



NEW POOL

1 NEW POOL & BLDG. PLANS
 1" = 10'-0"

(28)



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ARCHITECT

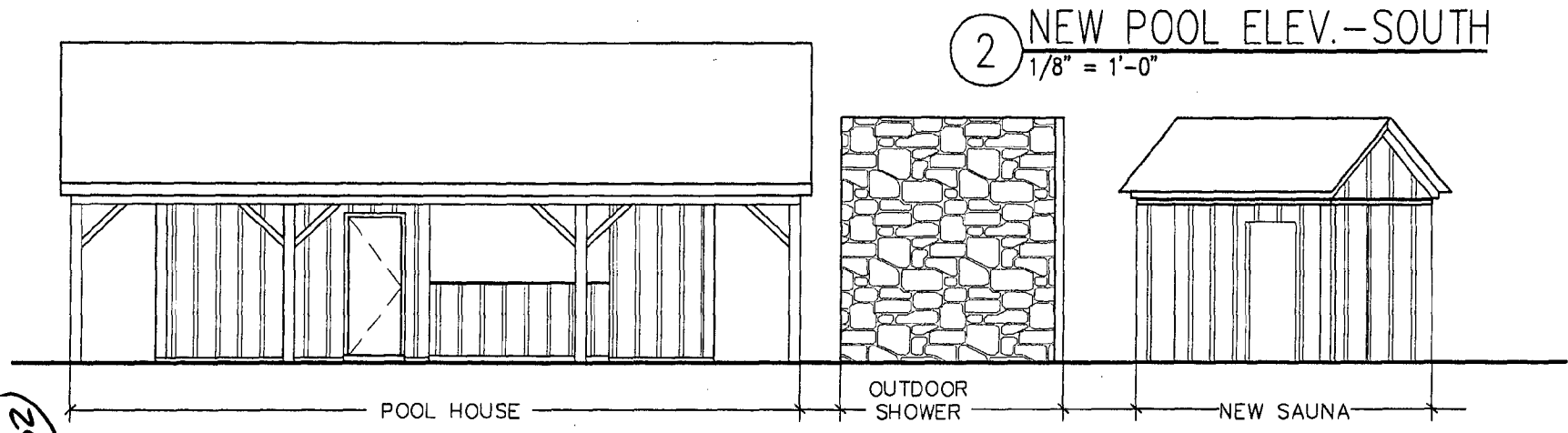
A2

208 Market St
Brykewille
Maryland 20633
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fax 774-1808

Project:
TUSCULUM FARM
4601 Damascus Rd.
Laytonsville, MD 20882

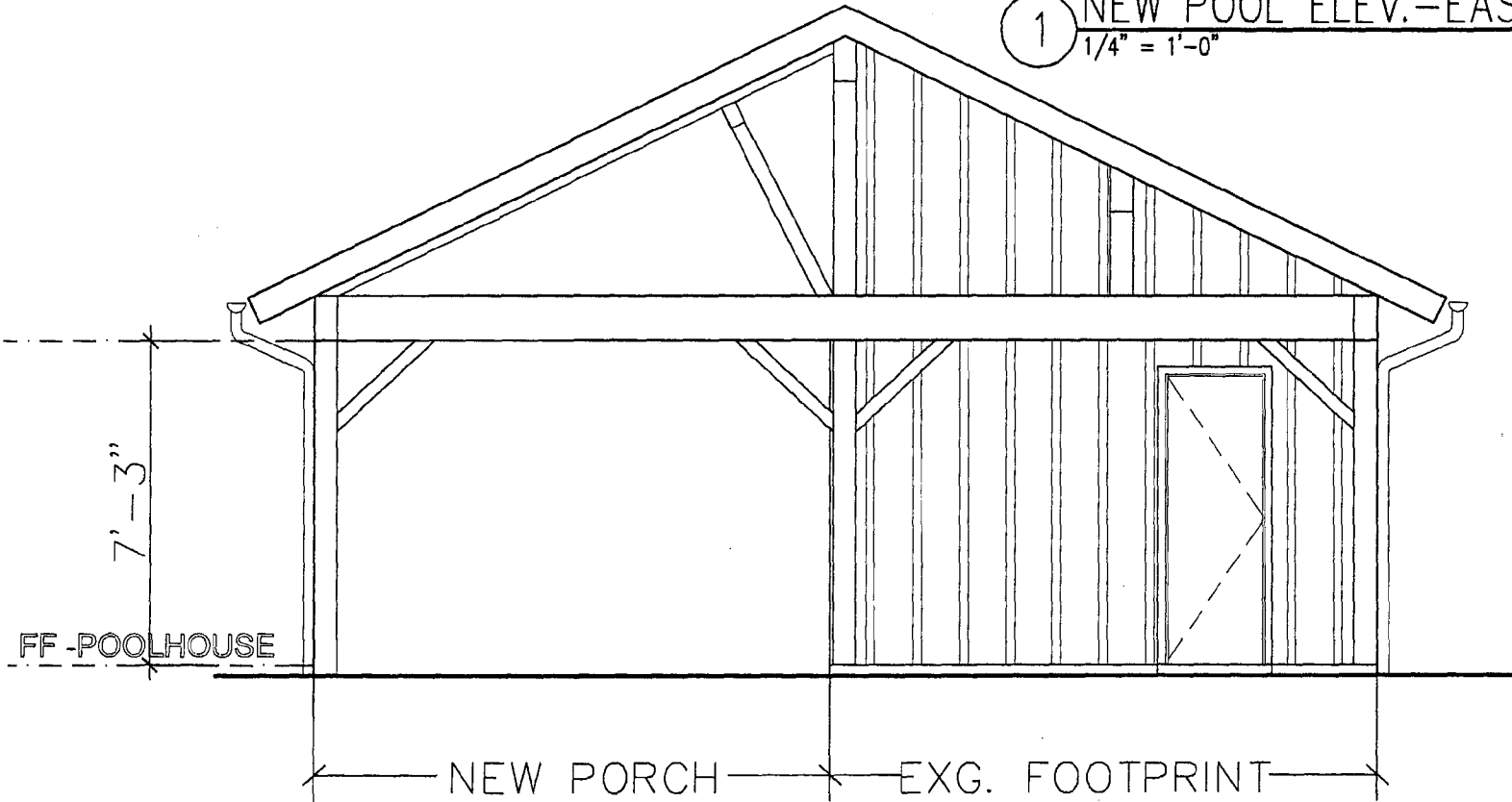
Drawing: NEW ELEVS.
Date: 20 APR 05

POOL/POOLHSE.



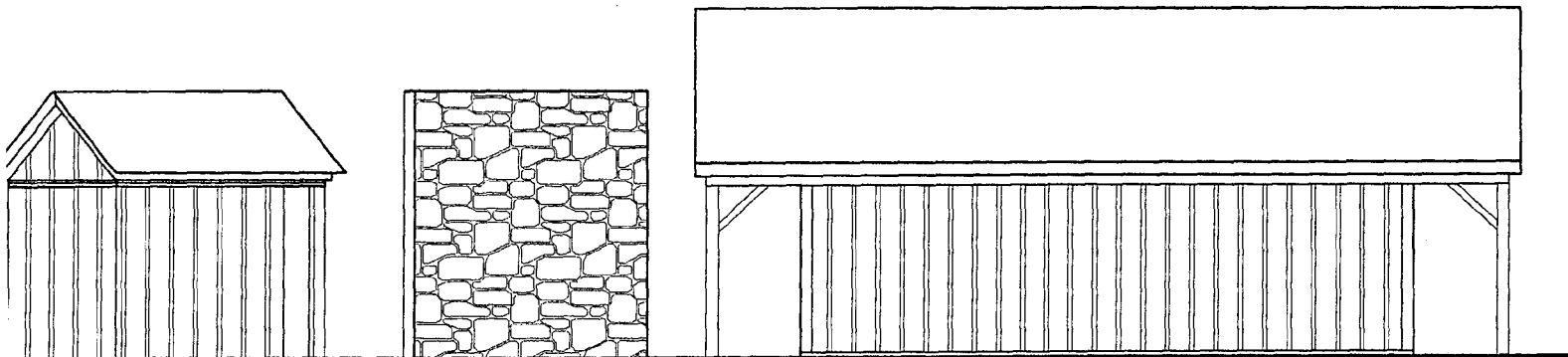
29

1 NEW POOL ELEV.-EAST
 $1/4" = 1'-0"$

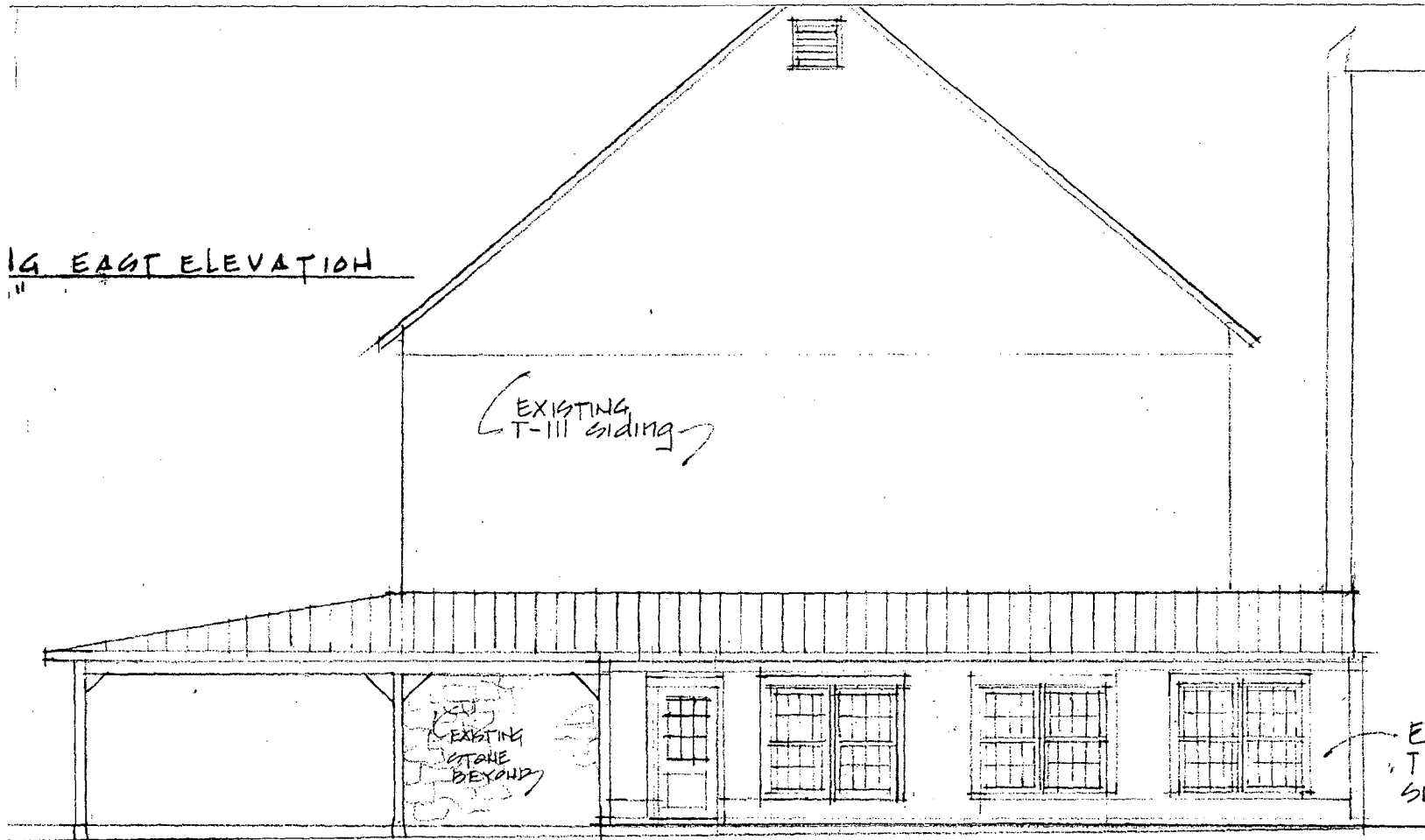


MICHE BOOZ	
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A3	208 Market St Brykerville Maryland 20833 (301)774 6911 fax: 774 1908
Project:	
TUSCULUM FARM	
4801 Damascus Rd. Laytonsville, MD 20882	
Drawing: NEW ELEV.	
Date: 20 APR 05	
POOL/POOLHSE.	

2 NEW POOL ELEV.-NORTH
 $1/8" = 1'-0"$



1G EAST ELEVATION



MICHE BOOZ
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fax 774 1908

Project:
**TUSCULUM
FARM**
4801 Damascus Rd.
Laytonsville, MD 20882
Drawing: AS-BUILT ELEVS
Date: 20 APR 05

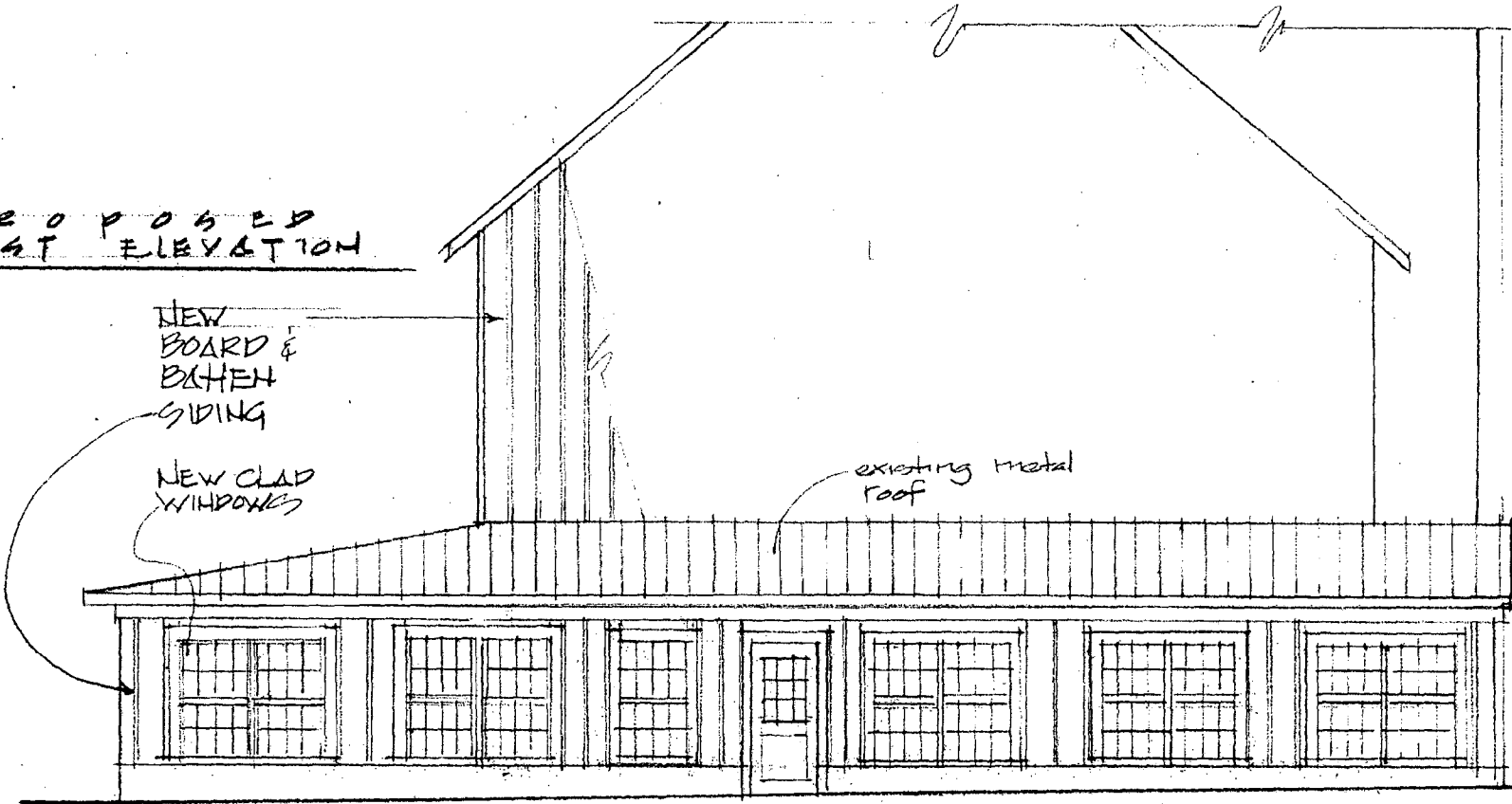
STORAGE SPACE

E
T
S

1 EXG. EAST ELEVATION
1/8" = 1'-0"

31

PROPOSED EAST ELEVATION



NEW
BOARD &
BATTEN
SIDING

NEW CLAD
WINDOWS

existing metal
roof

MICHE BOOZ
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fax: 774 1908

Project:
TUSCULUM
FARM
4601 Damascus Rd.
Laytonsville, MD 20882
Drawing: NEW ELEVS
Date: 20 APR 05

STORAGE SPACE

MICHE BOOZ ARCHITECT

4.20.05

1 NEW EAST ELEVATION
1/8" = 1'-0"

321

MICHE BOOZ

ARCHITECT

A1

208 Market St
Brykerville
Maryland 20833
(301) 774 8911
fax 774 1908

Project:

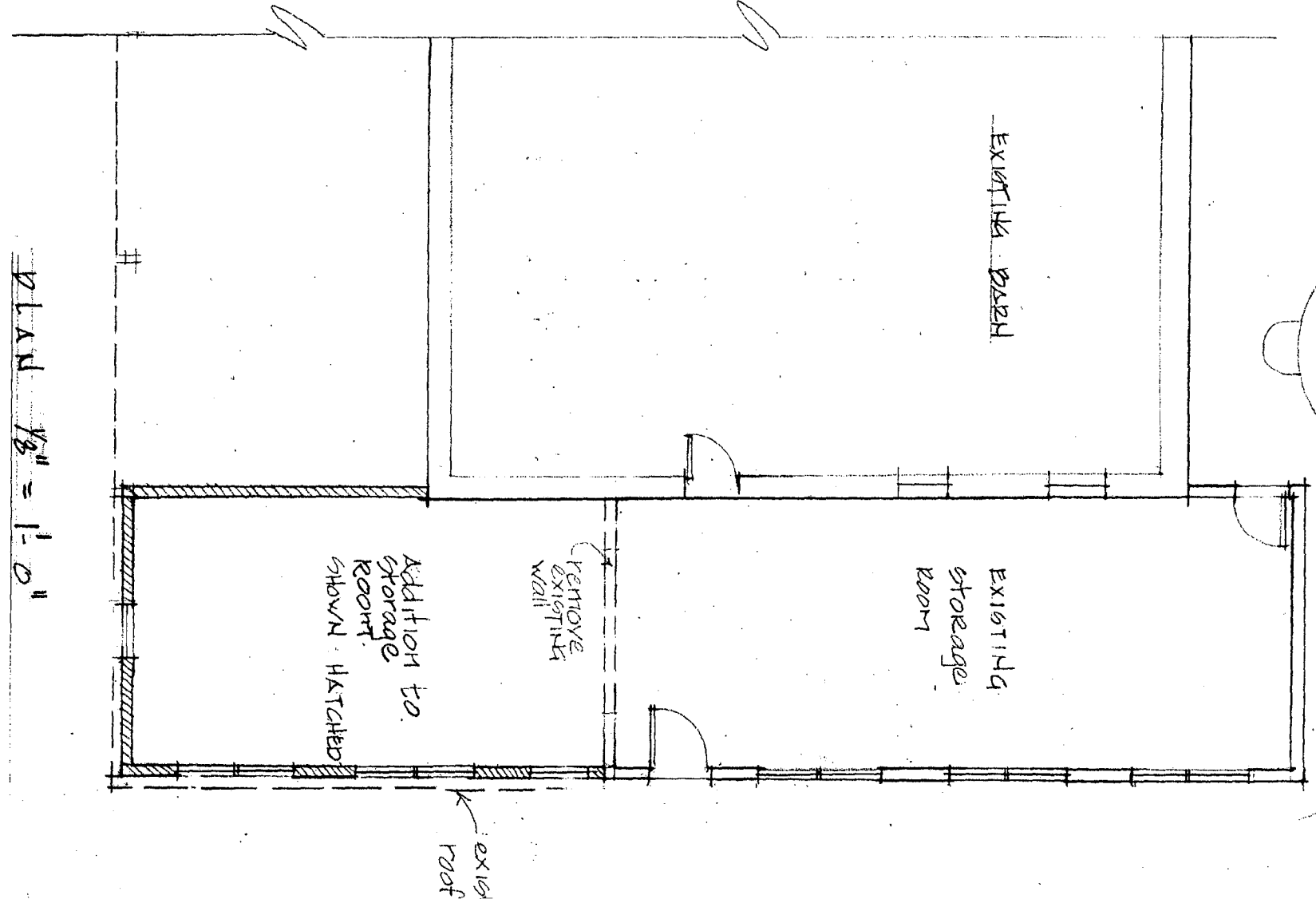
TUSCULUM
FARM

4601 Damascus Rd.
Laytonsville, MD 20882

Drawing: NEW PLANS

Date: 20 APR 05

STORAGE SPACE



1 FLOOR PLANS
1/8" = 1'-0"

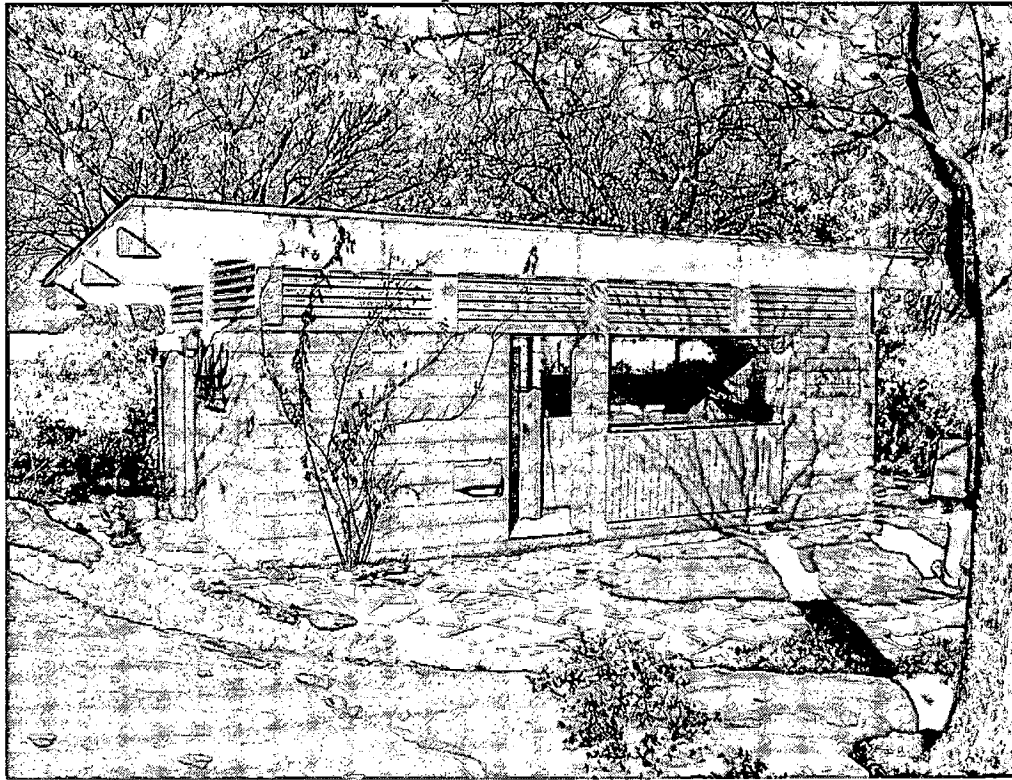
Site of areaway stairs



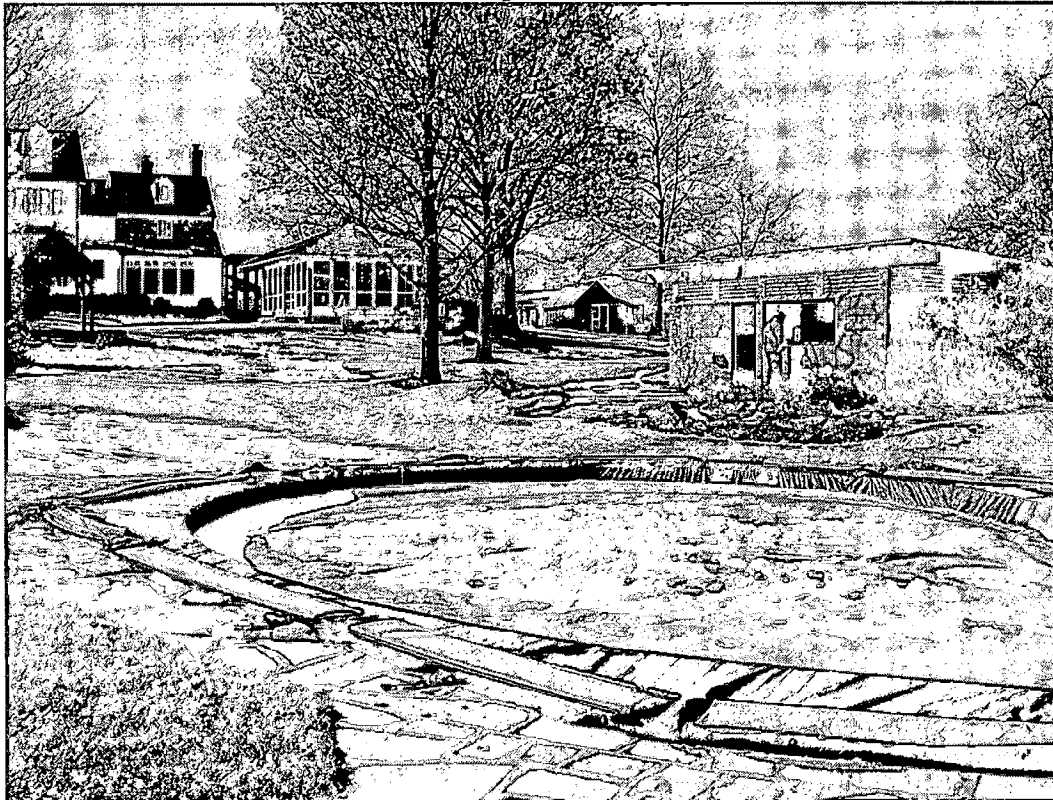
office



pool house



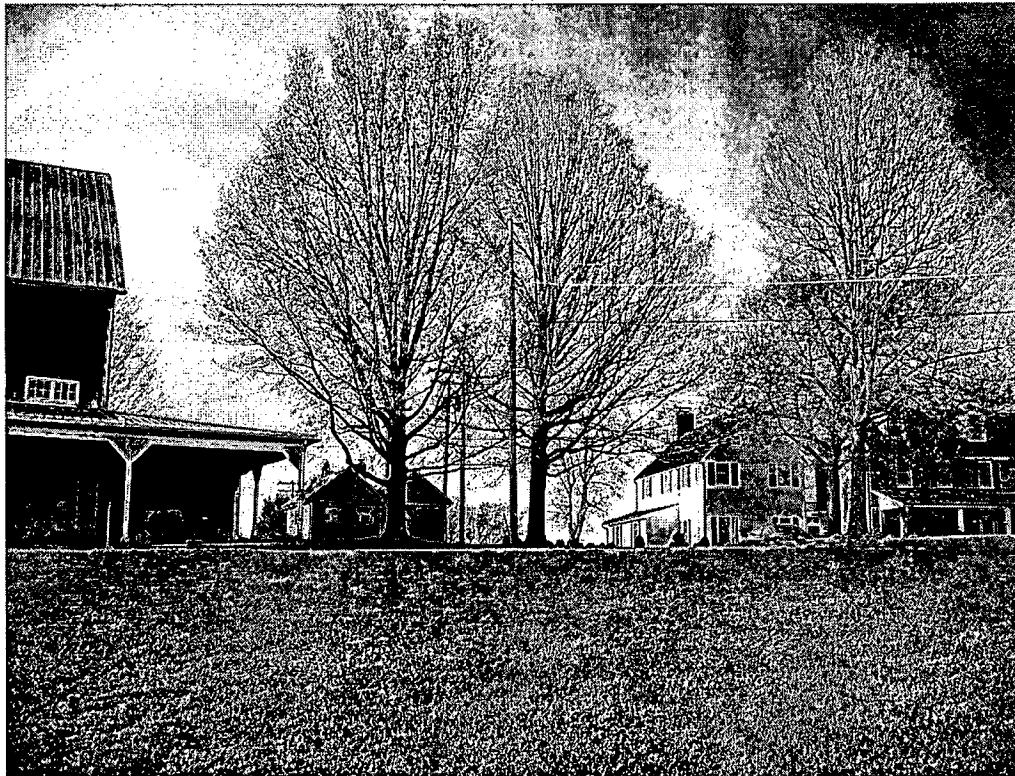
pool



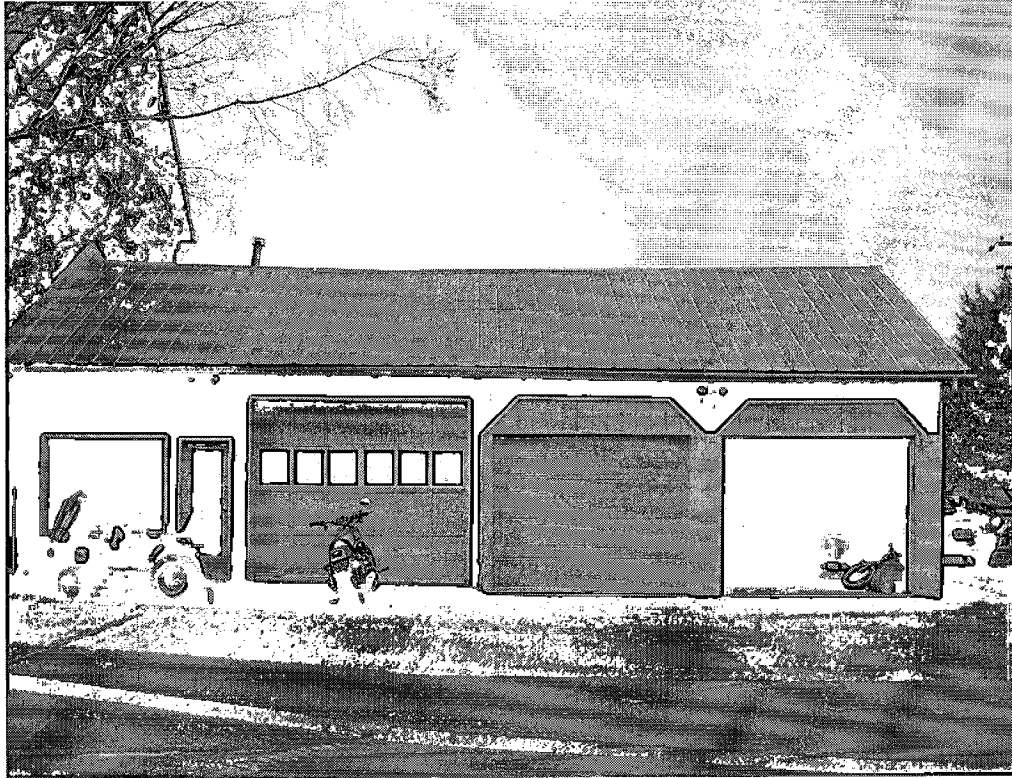
shed

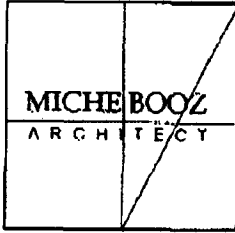


house, office, and shed



garage



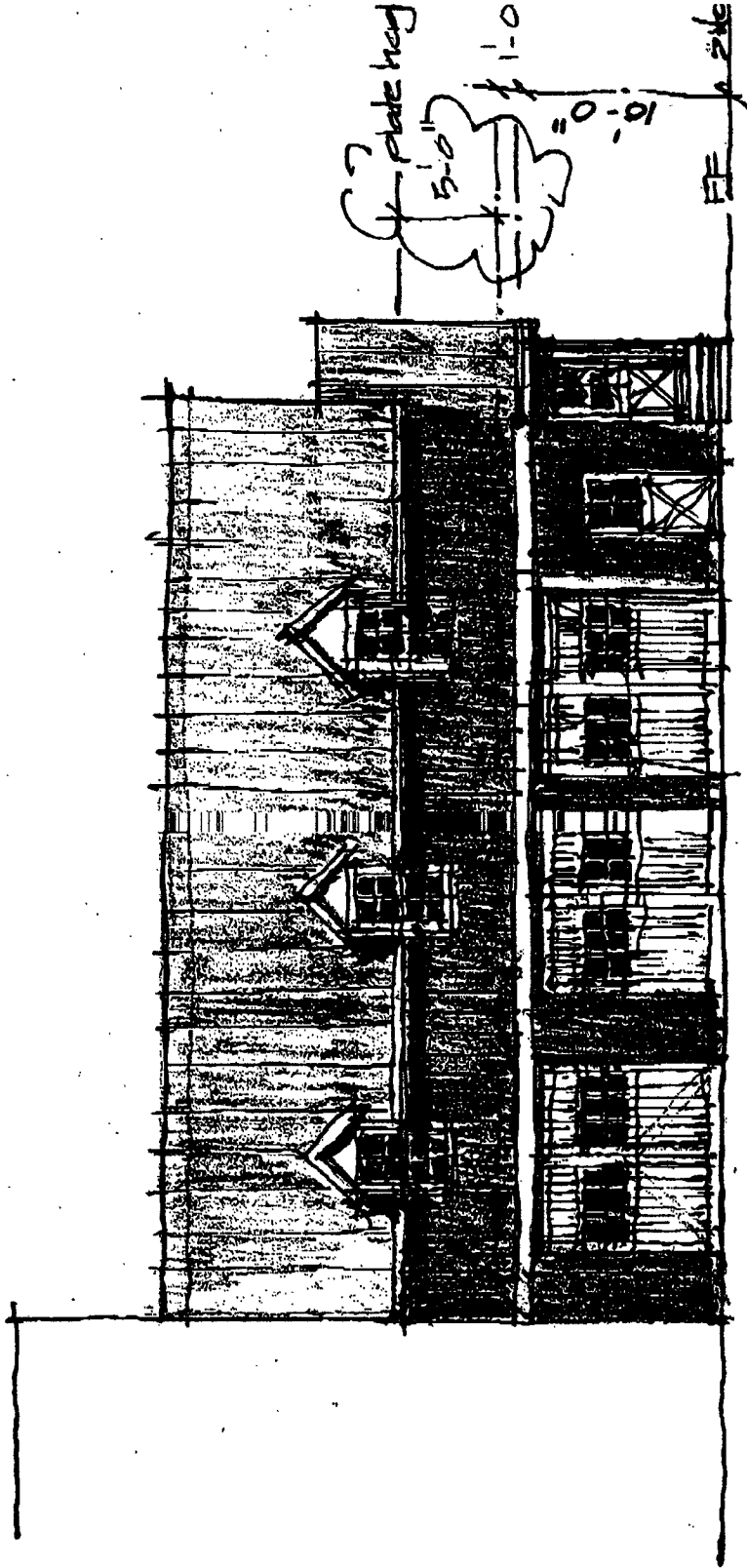


FAX TRANSMITTAL

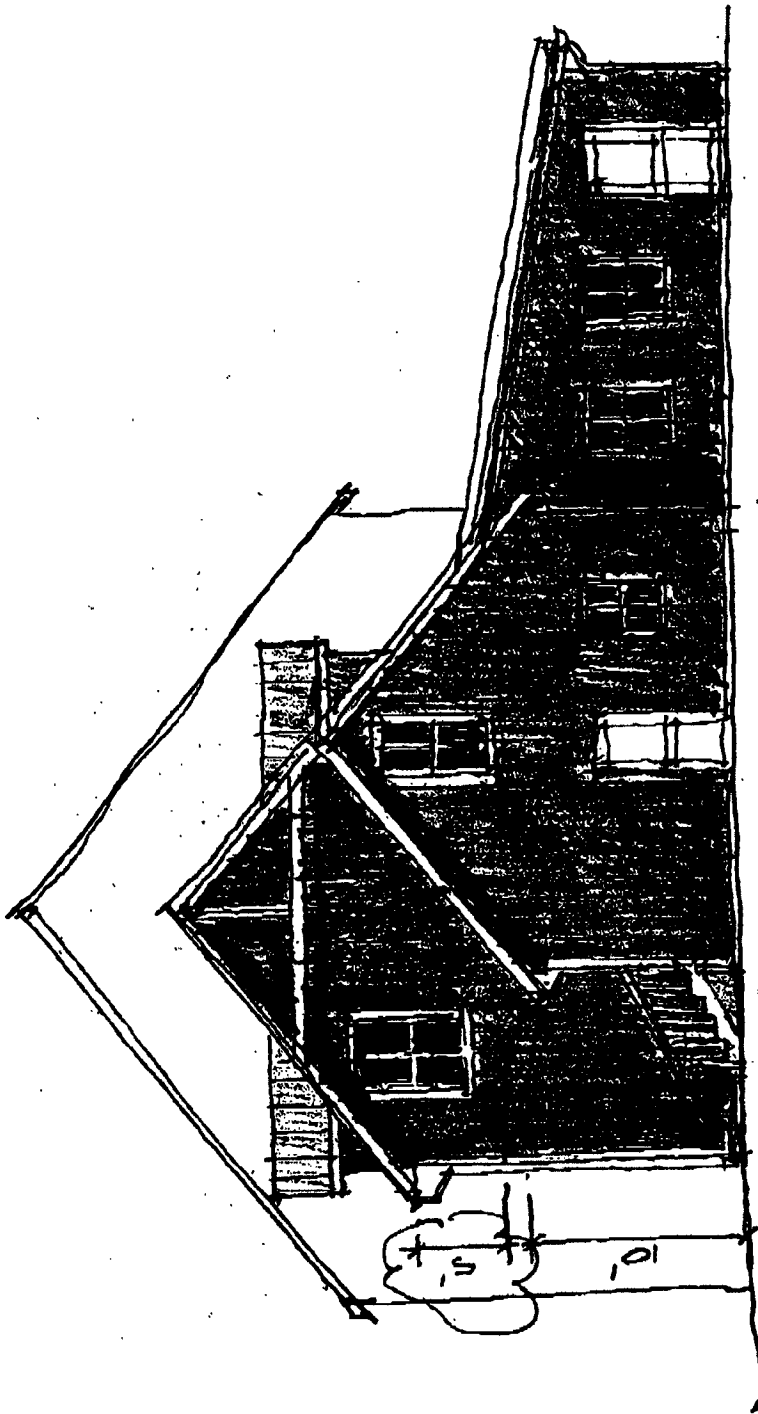
Date: 5-11-05
 To: Anne Fothergill
 Phone: 301-650-4371 or 4379
 Fax: 301-650-4379
 From: Miche Booz
 Cell: 301-602-6357

Project: Tusculum
 Page 1 of 5
 Re: Change to Garage/Apt

case III-G
 change to garage
 (one foot deeper and one foot taller)
 HPC approved

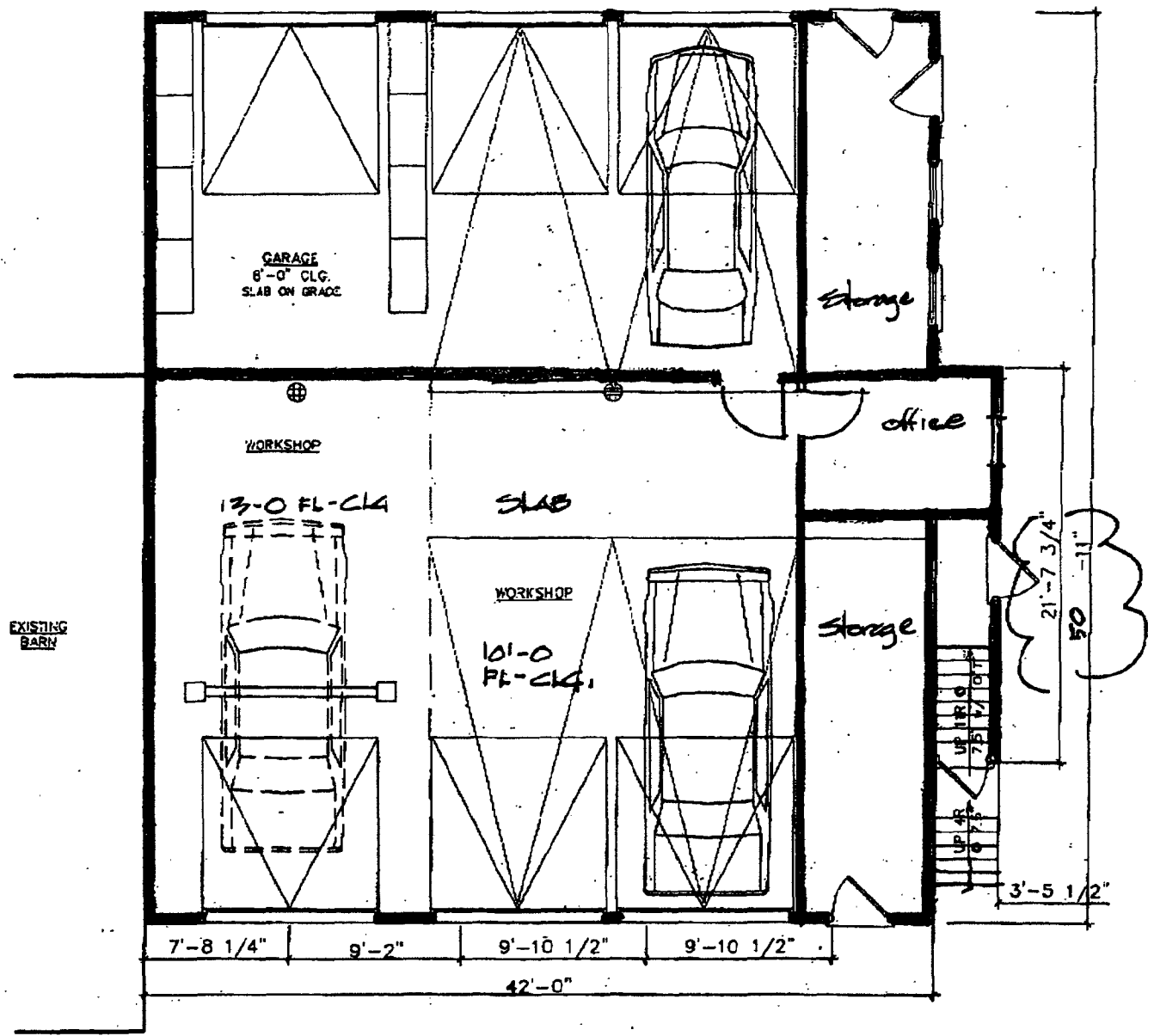


South Elevation



East Elevation

MICHE BOOZ	
ARCHITECT	
A1	228 Market St Baltimore Maryland 21202 301.774.0811 fax 774.1908
Project:	
TUSCULUM FARM	
4601 Oceanview Rd. Laytonsville, MD 20882	
Drawing:	
Date:	
GARAGE/APT.	



1 NEW GARAGE GROUND FL. PLAN
 1/8" = 1'-0"

