

23/15-06A	4601	Damascus Rd
23/15-06B	4601	Damascus Rd
23/15-06C	4601	Damascus Rd
Tusculum, 23/15		

TUSCULUM

tenant house
greenhouse/garden

party barn

pool/pool house

2006



HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 5/11/2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #417225, alterations to non-historic tenant house and construction of greenhouse, garden shed and wall

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the 5/10/2006 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Josh Freeman

Address: 4601 Damascus Rd, Gaithersburg

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





HISTORIC PRESERVATION COMMISSION
301/563-3400

417225

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MICHE BOOZ
Daytime Phone No.: 301-774-6911

Tax Account No.: 0002841

Name of Property Owner: JOSH FREEMAN Daytime Phone No.: 240-779-8000

Address: 4601 DAMASCUS RD GAITHERSBURG, MD 20882
Street Number City State Zip Code

Contractor: MIKE LOFGREN Phone No.: 301-948-3277

Contractor Registration No.: _____
Agent for Owner: MICHE BOOZ Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PREMISE
House Number: 4601 Street: DAMASCUS ROAD
Town/City: GAITHERSBURG Nearest Cross Street: GRIFFITH ROAD
Lot: _____ Block: _____ Subdivision: 1
Liber: _____ Folio: _____ Parcel: P444

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Reze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC ... 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC ... 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

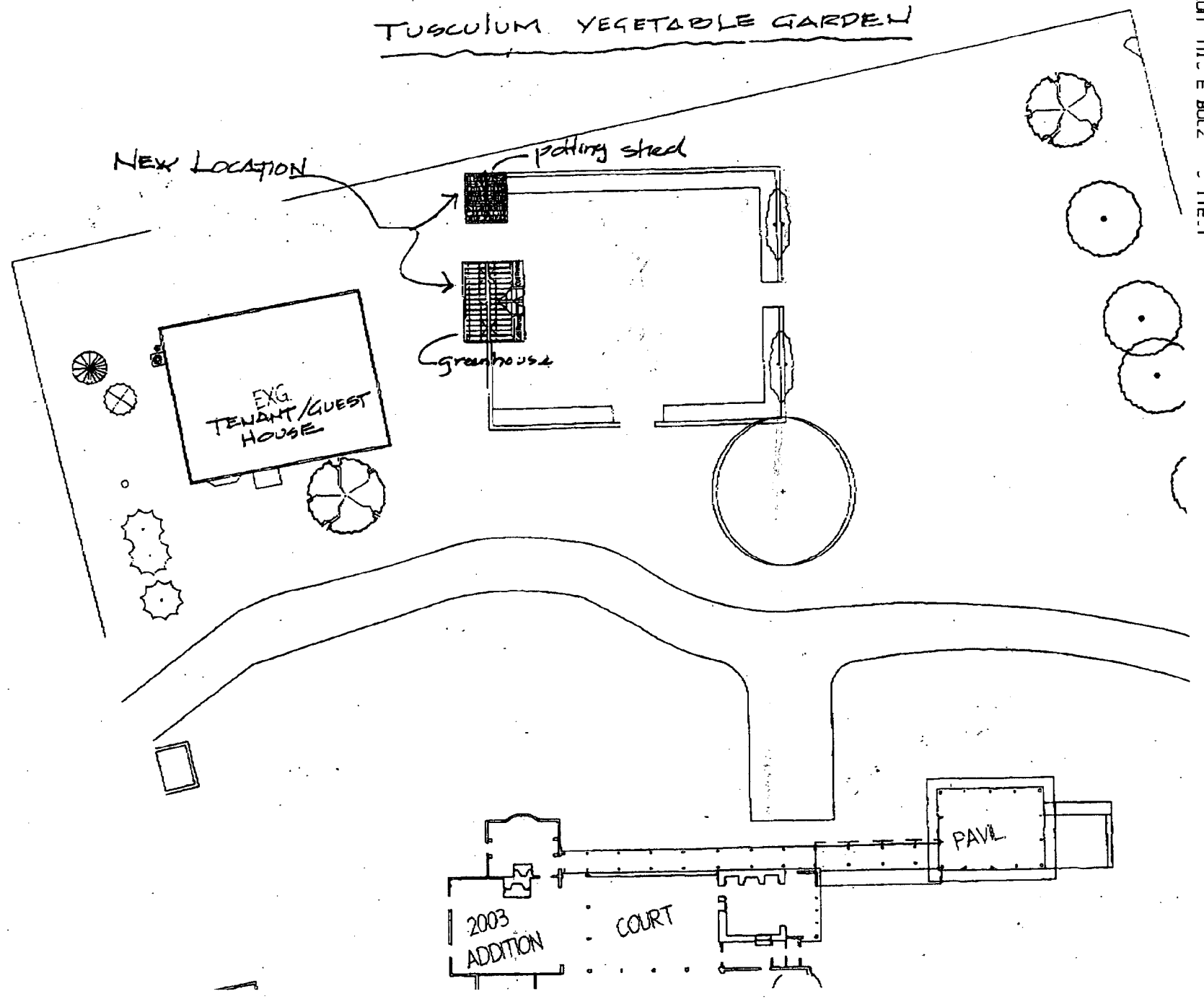
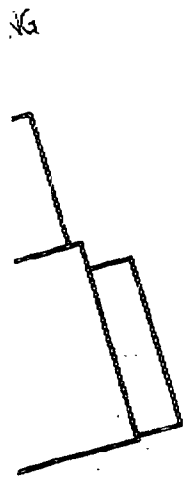
[Signature] Signature of owner or authorized agent 3.30.06 Date

Approved: _____
Disapproved: _____ Signature: [Signature] Date: May 11, 2006
Application/Permit No.: 417225 Date Filed: _____ Date Issued: _____

RECEIVED
APR 10 2006
DN OF CASE WORK NIGHT

CASE # E TUSCULUM FARM
RENTED SITE PLAN
MAY 8, 2006

TUSCULUM VEGETABLE GARDEN



UNIVERSITY OF CALIFORNIA

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	4601 Damascus Road, Laytonsville	Meeting Date:	05/10/06
Applicant:	Josh Freeman (Miche Booz, AIA)	Report Date:	05/03/06
Resource:	<i>Master Plan Site # 23/15</i> Tusculum Farm	Public Notice:	04/26/06
Review:	HAWP	Tax Credit:	None
Case Number:	23/15-06C	Staff:	Anne Fothergill

PROPOSAL: Alterations to non-historic tenant house and construction of greenhouse, garden shed and garden wall

RECOMMEND: Approval

PROPERTY DESCRIPTION

Master Plan Site # 23/15 Tusculum Farm/Griffith-Hutton House

Excerpt from the Maryland Inventory of Historic Properties form:

The property known alternatively as Tusculum or the Griffith-Hutton House is located on a 219-acre parcel of land in rural Montgomery County. The property includes a large stone and frame farmhouse, parts of which may date to the 18th century and an important collection of dairy barns, one built by master-builder August Priebe. The environmental setting is 25 acres, and the house and three historic barns are contributing resources.

Tradition maintains that the original log house at Tusculum was built in 1747 by patriot Henry Griffith. Henry Griffith was a prominent Marylander who was Justice of the Lower Court of Frederick County, Moderator of the Hungerford Tavern meeting in 1774, and Member of the Annapolis Convention that formed the Association of Freemen of Maryland. Griffith also witnessed the signing of the Declaration of Independence.

The main house at Tusculum is a 2-1/2 story cross gable stone and frame structure that is the product of several building campaigns. The oldest part of the house appears to be the principal stone wing, though the frame ell attached to it may occupy the site of an earlier log structure, and even incorporate aspects of it into its walls. The stone wing (today's main block) was built circa 1797. Additionally, an important group of agricultural buildings is located west of the main dwelling and includes two barns with silos and a stable. An addition to the west side of the house was approved by the HPC and constructed in 2003.

PROPOSAL

The applicants propose to renovate the existing non-historic tenant house, which is located behind the historic house. They will increase the roof pitch, change the roofing material to cedar shingles, replace the vinyl siding with Hardiplank, and add a 6' wide front portico.

The applicants also propose to construct a new 10' 8" x 19' x 12' 3" tall metal and glass greenhouse and 12' x 12' x 15' tall garden shed next to the tenant house. The greenhouse and garden shed will have a stone base and the shed will have painted board and batten siding and a metal roof.

Next to the garden shed and greenhouse will be a 61' 10" x 69' 4" vegetable garden with a low stone wall around it. The wall will be the same stone as the stone base of the greenhouse and shed and will be 18" at the front and approximately 30" at the back as the grade drops.

See proposed plans in Circles 6-10.

STAFF DISCUSSION

Staff used the Secretary of the Interior's *Standards for Rehabilitation* as a guide, specifically:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed alterations to the non-historic tenant house would not adversely impact this historic resource and the proposed changes will actually improve this building's compatibility with the setting and the other buildings on the property.

The proposed construction of a greenhouse and garden shed are also approvable. They are located well behind the historic resource and they will sit lower than the house as the land slopes down behind the house. The garden area with the low stone wall, garden, and two new buildings are all appropriately sited and designed so they are compatible with the historic house and farm setting.

Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation* #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6376

DPS - #8

417225

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MICHAEL BOOZ
Daytime Phone No.: 301-774-6911

Tax Account No.: 0002841

Name of Property Owner: JOSH FREEMAN Daytime Phone No.: 240-779-8000

Address: 4601 DAMASCUS RD GAITHERSBURG, MD 20882
Street Number City State Zip Code

Contractor: MIKE LOFGREN Phone No.: 301-948-3277

Contractor Registration No.: _____
Agent for Owner: MICHAEL BOOZ Daytime Phone No.: 301-774-6911

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Town/City: GAITHERSBURG Nearest Cross Street: GRIFFITH ROAD
Lot: _____ Block: _____ Subdivision: 1
Liber: _____ Folio: _____ Parcel: P444

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable
CHECK ALL APPLICABLE:
 A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 100,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

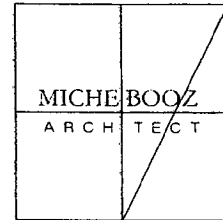
3.30.06
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 417225 Date Filed: _____ Date Issued: _____

PROJECT: TUSCULUM FARM
ADDRESS: 4601 DAMASCUS ROAD
GAITHERSBURG, MD 20882
OWNER: JOSH FREEMAN
APPLICANT: MICHE BOOZ, ARCHITECT
DATE: January 18, 2006



ADJACENT PROPERTIES MAILING ADDRESSES

Alan Auslaender
4910 Damascus Road
Gaithersburg, MD 20882

John G. Hallman
5000 Damascus Road
Gaithersburg, MD 20882

Kristen Middleton
6300 Damascus Road
Gaithersburg, MD 20882

Andrew Balderson
4230 Damascus Road
Laytonsville, MD 20882

John P. Infante
4200 Damascus Road
Laytonsville, MD 20882

Ernest J. Moncada
4510 Damascus Road
Laytonsville, MD 20882

Ernest D. & C.R. Branson
4900 Damascus Road
Gaithersburg, MD 20882

Brenda A. Kolb
4300 Damascus Road
Laytonsville, MD 20882

Evan C. & S.P. Nudd
4920 Damascus Road
Gaithersburg, MD 20882

Rufus Butts
4015 Damascus Road
Gaithersburg, MD 20882

Kennedy Enterprises, LLC
10446 Waterfowl Terrace
Columbia, MD 21044

Iema Angela Ortega
5037 Damascus Road
Gaithersburg, MD 20882

Arthur Chenowith
5035 Damascus Road
Gaithersburg, MD 20882

Alfred & D.F. Lang
4410 Damascus Road
Laytonsville, MD 20882

Robert W. Payne
4810 Damascus Road
Gaithersburg, MD 20882

Glen P. Cook
4320 Damascus Road
Laytonsville, MD 20882

Ronald & J.C. Lasheski
4000 Elton Farm Road
Sunshine, MD 20833

Huntley H. Perry
4330 Damascus Road
Laytonsville, MD 20882

James R. & G.L. Curtiss
3610 Elton Farm Road
Brookeville, MD 20833

Gerald L. Mader
4420 Damascus Road
Laytonsville, MD 20882

State of Maryland (Parcel
564) Dept. of Natural
Resources
300 W. Preston Street, #
601
Baltimore, MD 21201

John W. & P.J. Douglass
5049 Damascus Road
Gaithersburg, MD 20882

Jose A.P. & M.A.C. Matos
4930 Damascus Road
Gaithersburg, MD 20882

Gregory & Donna M.P.
Eisenstadt
4010 Elton Farm Road
Brookeville, MD 20833

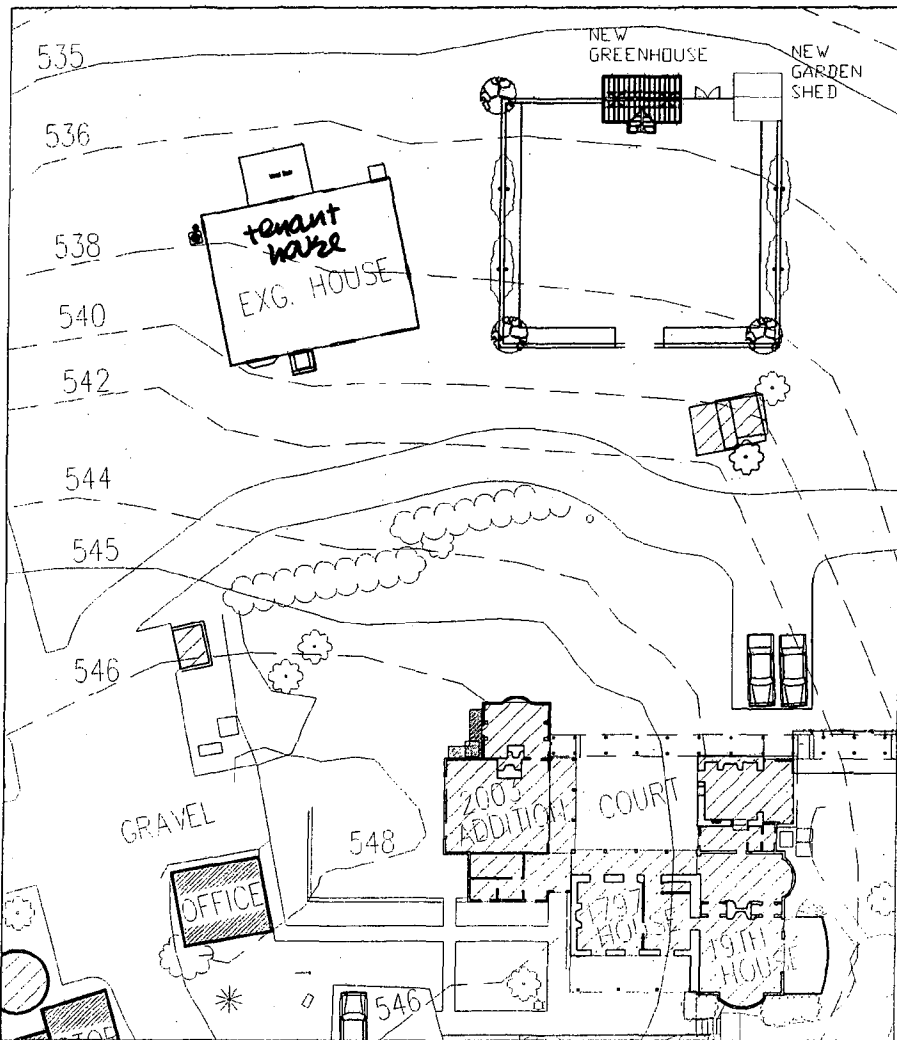
William M. Mayo
P.O. Box 172
Brookeville, MD 20833

William K. Zorr
4310 Damascus Road
Laytonsville, MD 20882

Kenneth E. Geary
4400 Damascus Road
Laytonsville, MD 20882

James McLaughlin
5233 Griffith Road
Laytonsville, MD 20882

This project consists of a renovation to an existing non-historic tenant house and the construction of a new greenhouse and a new garden shed. The work on the tenant house consists of increasing the existing roof pitch, changing the roofing material to cedar shingles, replacing the existing vinyl siding with hardi-plank, and adding a front portico. The new greenhouse will have a stone base to match the existing stone base on the main house and the new garden shed will also have a stone base with painted board and batten siding and a metal roof.



SITE PLAN 1"=30'-0"

SITE PLAN AT TUSCULUM FARM

4601 DAMASCUS ROAD, LAYTONSVILLE, MARYLAND 20882

DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF
WIND LOAD:
90 MPH
CONCRETE WEATHERING:
SEVERE
TERMITE INFESTATION:
MODERATE TO HEAVY
DECAY PROBABILITY:
SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY:
B
FROST LINE DEPTH:
30 IN.
WINTER DESIGN TEMP:
13°F
FLOOD HAZARDS:
NO

SPECIES/GRADE OF FRAMING
LUMBER: SPRUCE PINE OR FIR
NO.1 OR NO.2

LOADS

ROOMS OTHER THAN SLEEPING:
MIN. 40 PSF
STAIRS:
MIN. 40 PSF
FLOOR/ CEILING DEFLECTION:
L/360

SQUARE FOOTAGE

GARDEN SHED - 144 SF
GREENHOUSE - 266 SF

ABBREVIATIONS

ABOVE APPROXIMATE	ABV. APPROX.
AT	⊙
AVERAGES	AVG
BEAM	BM
BETWEEN	BET.
BLOCKING	BLKG
BOARD	BD
BOTTOM OF	B.O.
BRICK	BR.
BUILDING	BLDG
CEILING	CLG
CLEAN OUT	C.O.
COLUMN	COL.
CONCRETE	CONC.
CONC. MASONRY UNIT	CMU
CONTINUOUS	CONT.
DETAIL	DET.
DIAMETER	∅
DIMENSION	DIM.
DOOR	DR
DOWNSPOUT	D.S.
EACH	EA.
ELEVATION	EL.
ENTRANCE	ENT.
EXISTING	EXG
FEET	FT
FLOOR	FL
FOUNDATION	FNON
GLASS	GL
GRADE	GR.
HARDWOOD	HOWD
HEIGHT	HT
INCH	IN.
INSULATION	INSUL.
INTERIOR	INT.
LIGHT	LT
MASONRY OPENING	M.O.
MEDICINE CABINET	M.C.
METAL	MET.
MINIMUM	MIN.
MISCELLANEOUS	MISC.
NUMBER	NO.
ON CENTER	O.C.
OPENING	OPNG
PAINTED	PTD
PLYWOOD	PLYWD
PLASTER	PLAS.
PLATE	PL.
ROUGH OPENING	R.O.
RISER	R.
ROOM	RM
SECTION	SEC
SHEET	SHT
STEEL	STL
STONE	ST.
THRESHOLD	THRES.
THICKNESS	THK
TO MATCH EXISTING	T.M.E.
TOP OF	T.O.
TREAD	T.
TYPICAL	TYP.
UNDERSIDE	U/S
WITH	W/
WOOD	WD

INDEX OF DRAWINGS

CS. COVER SHEET
A1 FLOOR PLAN/ELEVATION
A2 GREENHOUSE DRAWINGS

MICHE BOOZ
ARCHITECT

CS

200 Market St
Bryansville
Maryland 20833
201274 891
fax 774 1906

Project:

FREEMAN
GREENHOUSE
AND GARDEN
SHED

4601 Damascus Road
Laytonsville, Maryland 208

Montgomery County

March 16, 2006

Consultants:

General Contractor:

LOFGREN CONSTRUCTION

Mechanical Contractor:

T.B.D.

Electrical Contractor:

T.B.D.

Code:

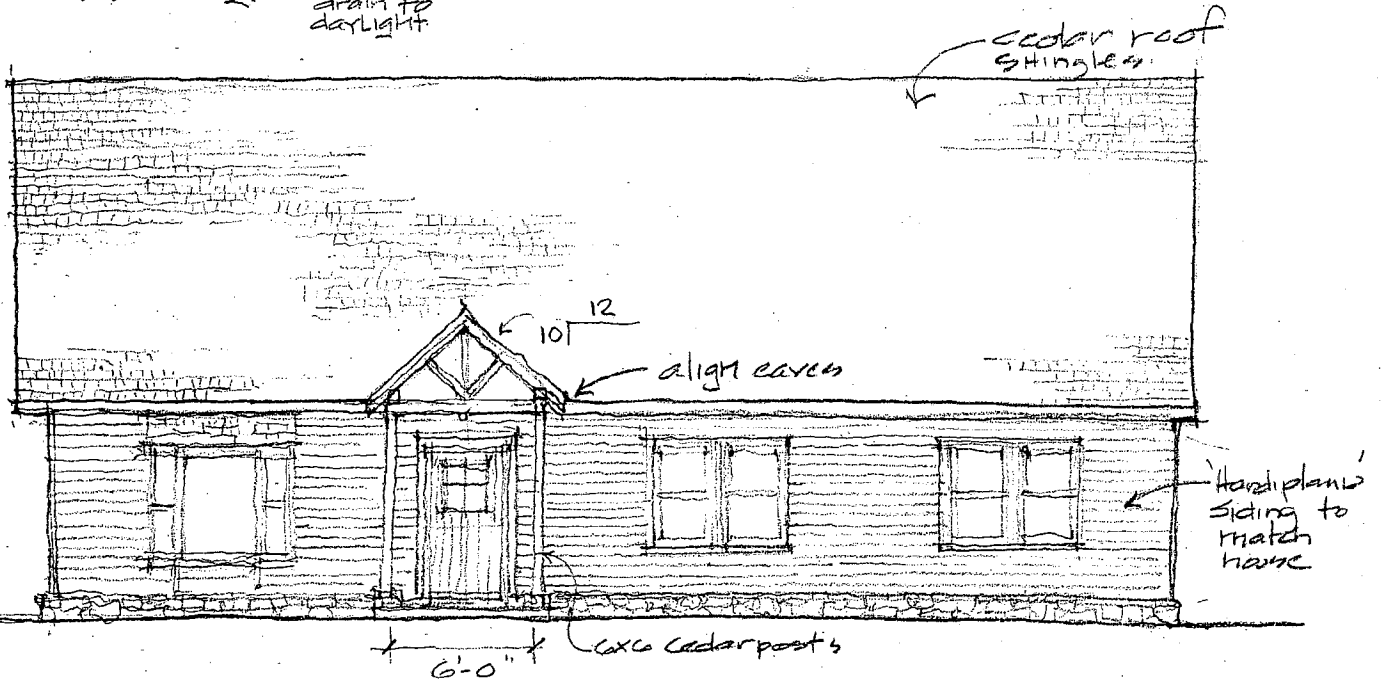
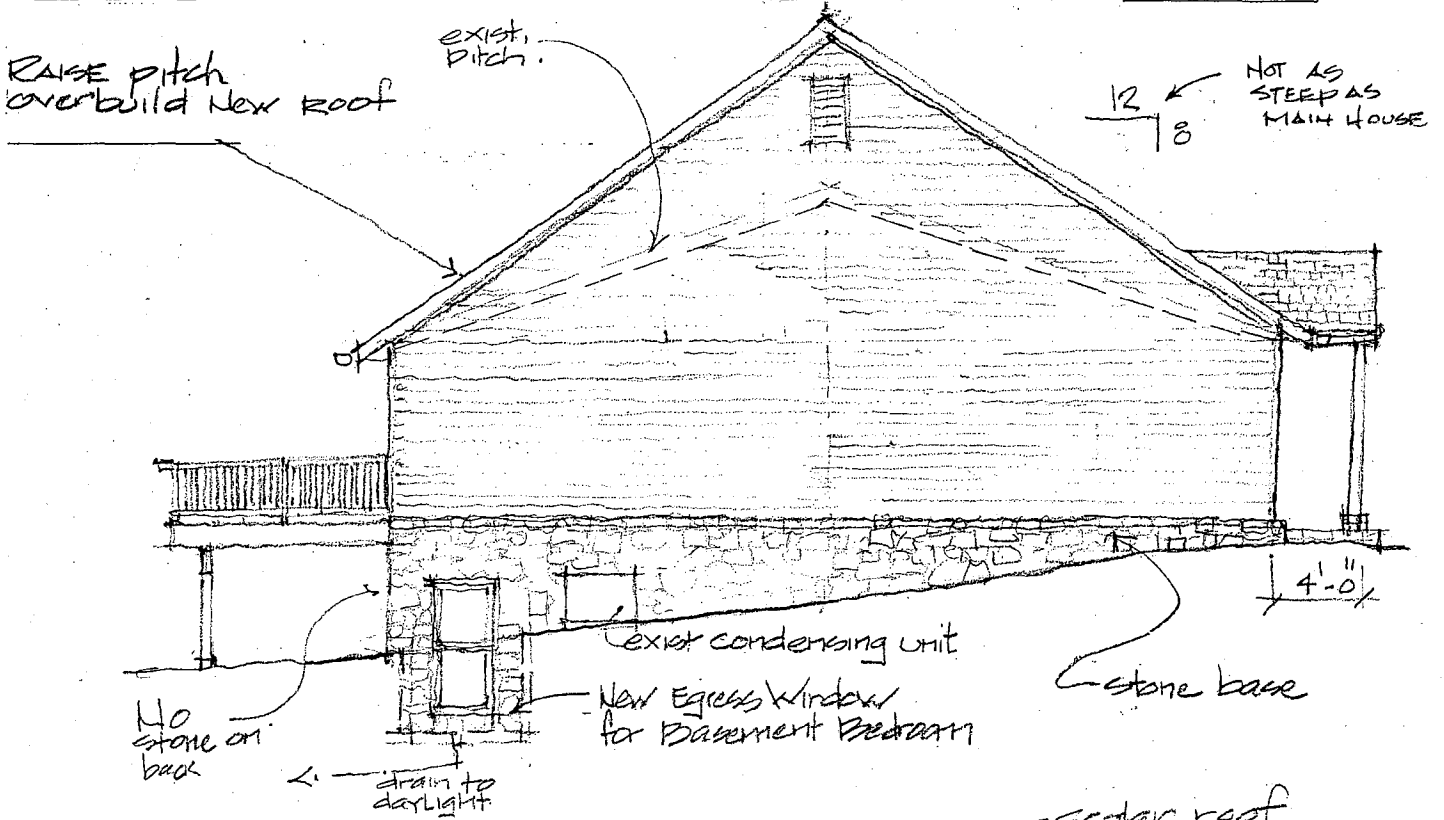
IRC 2003

MICHE BOOZ	/
ARCH. TECT	

PROJECT:
Tenant
House

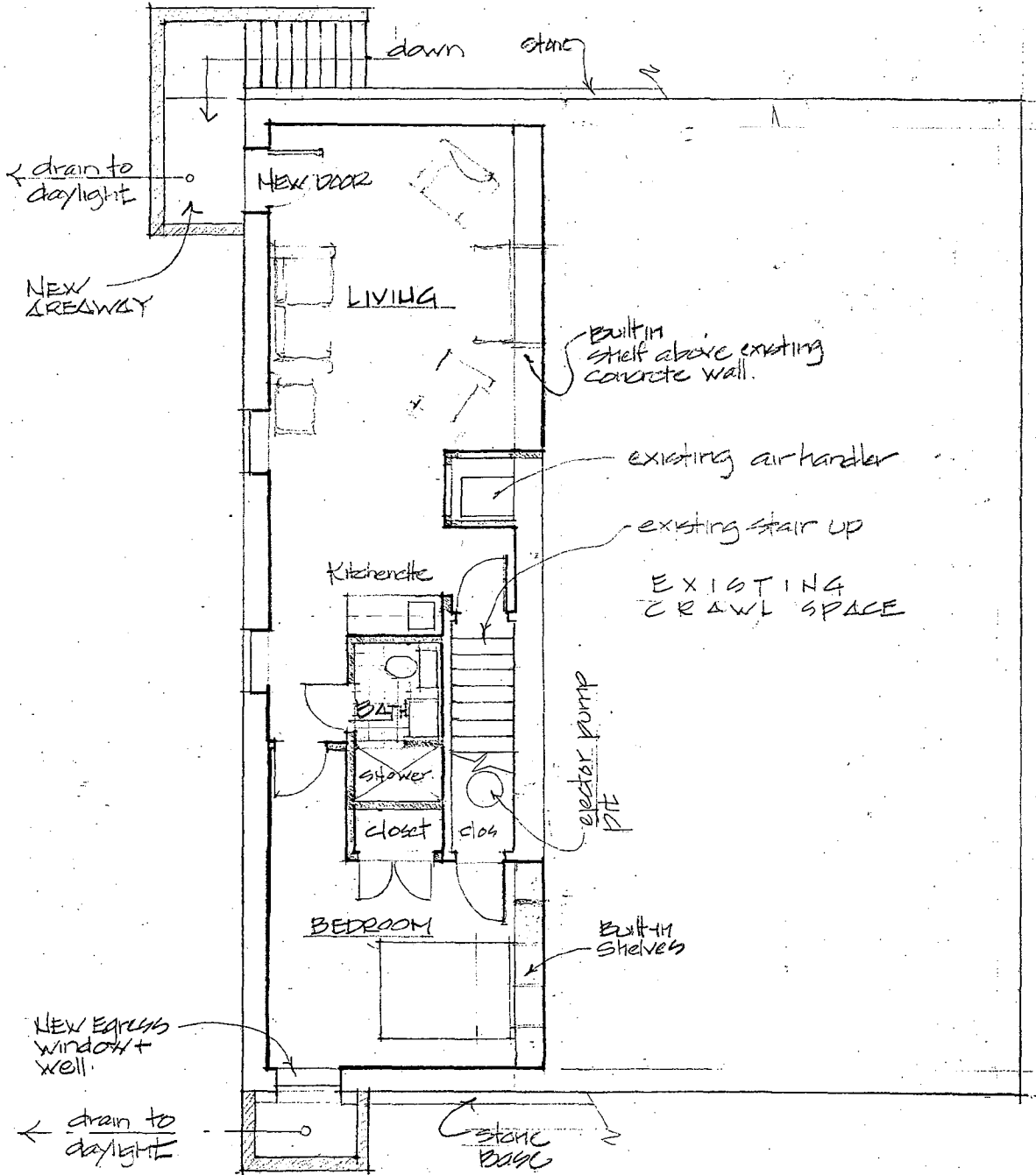
DATE
02.20.06

SIDE ELEVATION



FRONT ELEVATION 1/8" = 1'-0" +-

MICHE BOOZ ARCHITECT	PROJECT	DATE
	TUACOLUMBIA TENANT HOUSE RENOVATION 1/8" = 1'-0"	2.21.06



MICHE BOOZ

ARCHITECT

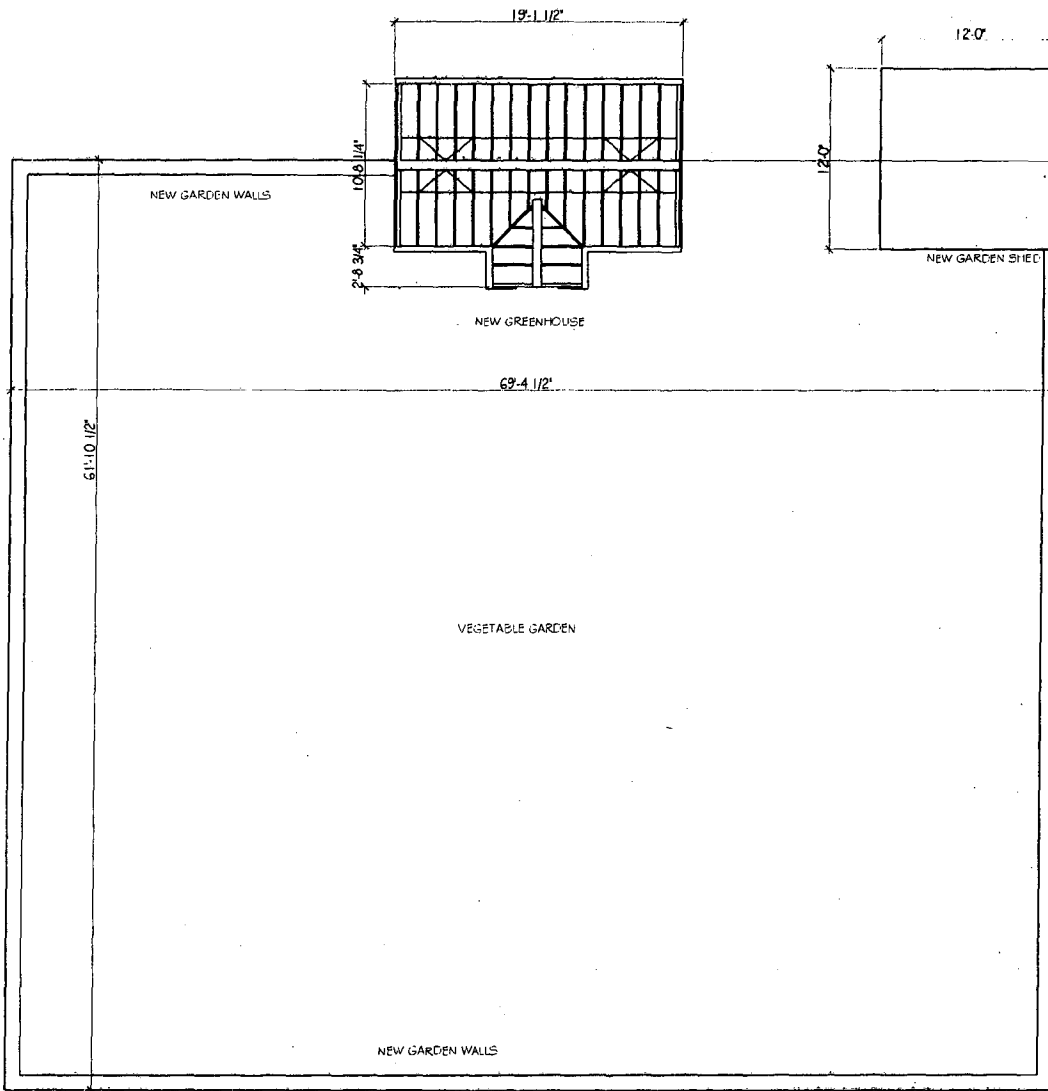
A-1

208 Market St
Brynmawr
Wilmington 20833
301774 6911
fax: 774 1908

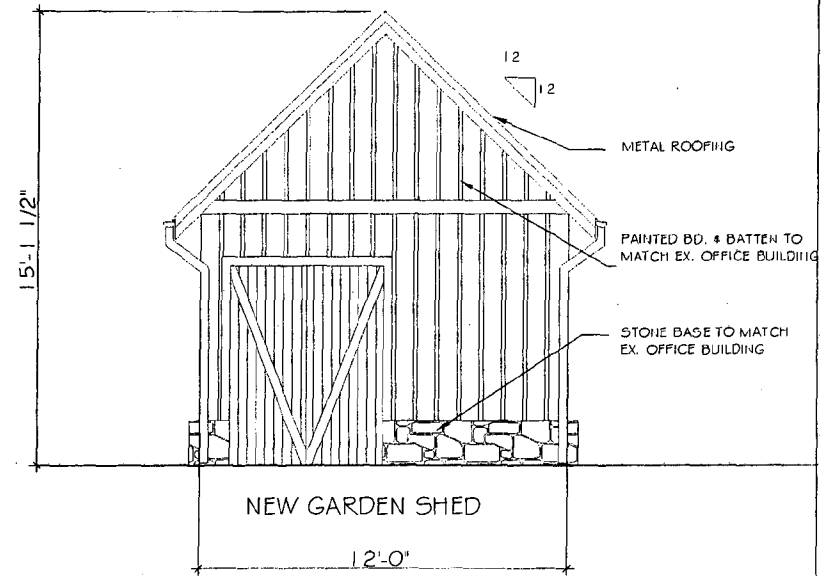
Project:
FREEMAN
GREENHOUSE
AND GARDEN
SHED

4601 Damascus Road
Loytonsville, Maryland 20882
Montgomery County

March 16, 2006

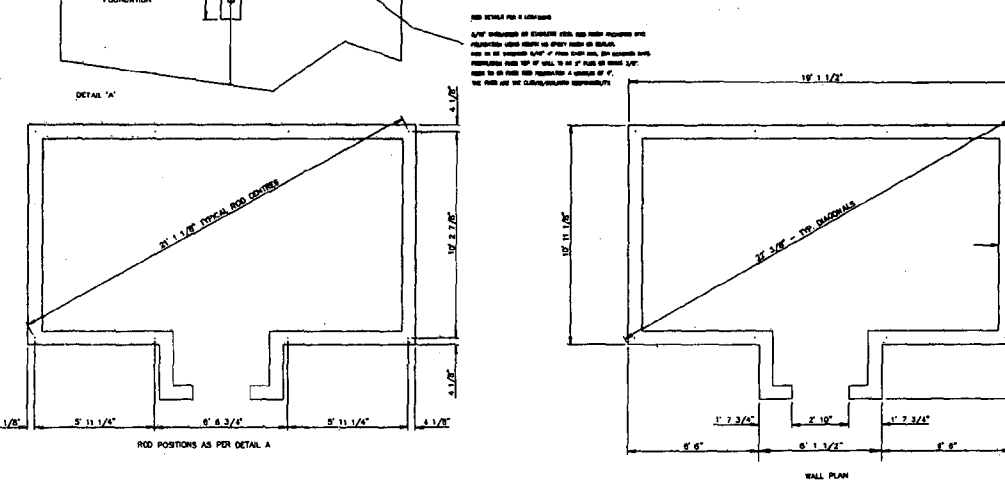
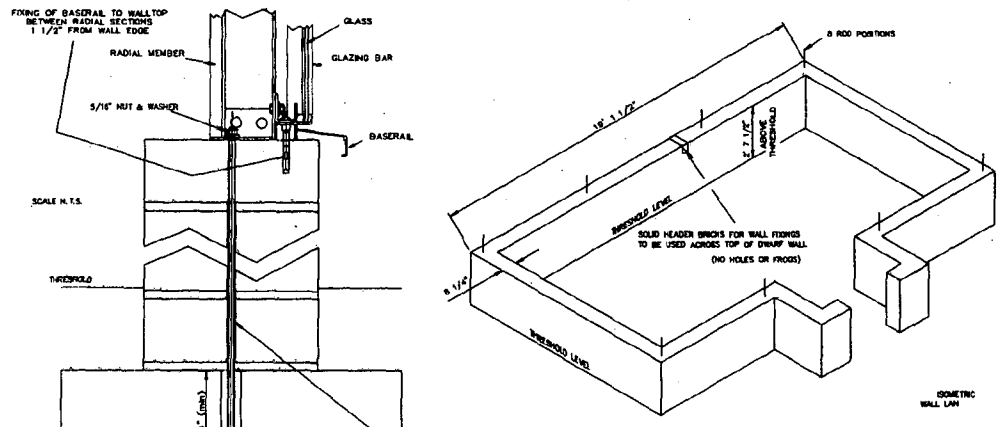


PLAN-GARDEN/GREENHOUSE/SHED
SCALE: 1/8" = 1'-0"



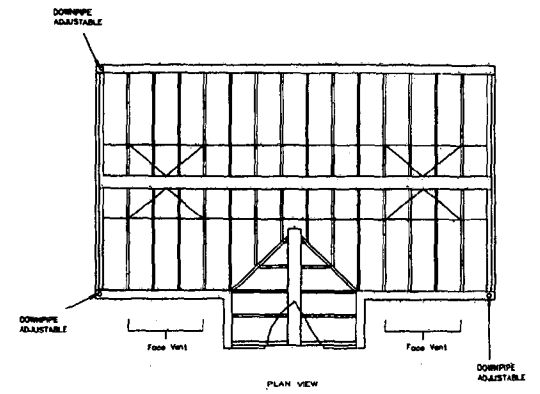
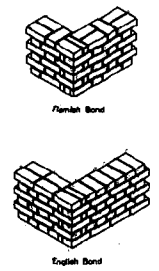
ELEVATION- GARDEN SHED
SCALE: 1/4" = 1'-0"

(b)

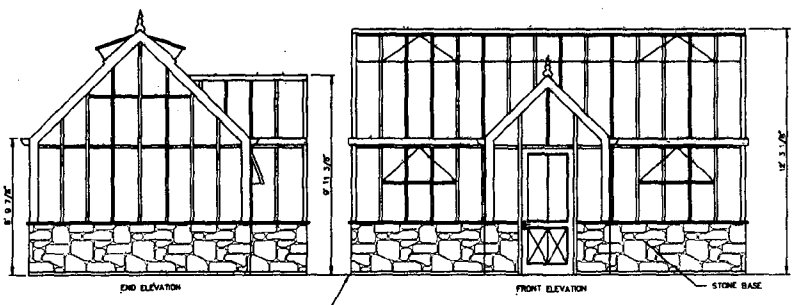


DO NOT SCALE
IF IN DOUBT CONTACT
PRIVATE GARDEN

IMPORTANT NOTE:
ALL BASE DIMENSIONS TO BE WITHIN PLUS OR MINUS 1/4"



PLEASE READ ALL INSTRUCTIONS
BEFORE COMMENCING. IF YOU HAVE
ANY DOUBTS AS TO THE SPECIFICATIONS
THAT WE REQUIRE
PLEASE CONTACT
PRIVATE GARDEN



THRESHOLD AND INTERIOR PATH LEVEL WHICH SHOULD BE SLIGHTLY ABOVE NORMAL GROUND LEVEL.
THE THRESHOLD LEVEL IS THE LEVEL AT WHICH THE DOOR WILL OPERATE WITH NORMAL CLEARANCE.
THIS SHOULD BE THE FINISHED FLOOR LEVEL INSIDE THE GLASSHOUSE. WALLTOP TO BE 2' 7 1/2" ABOVE THRESHOLD.

NOTES RELATIVE TO FOUNDATION AND WALLING (CLIENT'S RESPONSIBILITY)

ALL SPECIFICATIONS TO BE CONSULTED WITH A REPUTABLE COMMERCIAL ARCHITECT OF
SOLID/ANON BRICKS UNDER VENTILATION TO BEING PART 1 AND TABLE 1
SEE TABLE BELOW FOR THE DETAILS FOR STRENGTH CLASS AND/OR DESIGNATION

TYPE OF BRICKS (CLASSIFICATION BY WEIGHT)	CLASSIFICATION
COMMON BRICK	10.5 TO 15.5
ENGLISH BRICK	15.5 TO 20.5
COMMON BRICK WITH PEARLS	10.5 TO 15.5

THE DESIGN AND USE OF ARCHITECTURE SHOULD BE IN ACCORDANCE WITH THE
RECOMMENDATIONS GIVEN IN RELEVANT BRICKS OR BRICKS
REPUTABLE ARCHITECTS SHOULD ADVISE AS TO THE APPROPRIATE USE OF BRICKS
AND BE CONSULTANT TO THE ABOVE SPECIFICATIONS

ALL FINISH DIMENSIONS FROM 1' ABOVE GROUND LEVEL TO BE CONSULTED
UNLESS THEY ARE TO BE EXPLICITLY STATED WITH SPECIFIC REFERENCE NOT NECESSARILY THE

NOTES RELATIVE TO FOUNDATION AND WALLING (CONTINUED)

ALL DIMENSIONS UNLESS OTHERWISE STATED FROM THE TOP OF THE
FOUNDATION TO BE CONSIDERED WITH DIMENSIONS CLEAR & BRICKS WITH VENT
EXCEPT WHERE OTHERWISE STATED

FOR FULLY SPECIFIED SPECIFICATIONS TO BE CONSULTED IN ORDER OF
THE FOLLOWING:

A. BRICKWORK - ONE COURSE OF HOLLOWING AND ONE COURSE OF STRUCTURE ALTERNATIVELY
B. PLASTER - ONE COURSE AND STRUCTURE ALTERNATIVELY IN THE BATH ROOMS

IF THE WALL IS TO BE CONSTRUCTED WITH TWO PARALLEL LEAVES, THIS IS TO BE HALF
THICKNESS AND TO BE EXPLICITLY STATED WITH THE SPECIFICATIONS TO BE 7 1/2" GAP
BETWEEN AND 7 1/2" MINIMUM. ALL WALLS ARE TO BE STRUCTURE WITH DOUBLE WALLS
TYPE TO BE EXPLICITLY STATED WITH PART 2 TEST AND BRICKS PARTS TEST

IF A DEEP FLOOR COURSE IS TO BE INSTALLED, THIS IS TO BE EXPLICITLY STATED WITH THE
SPECIFICATIONS WITHIN WHICH THE LAYER IS TO BE EXPLICITLY STATED WITHIN WHICH THE
THE FULL HEIGHT OF THE BRICK WALL, THE TOP OF THE THRESHOLD IS TO BE 7" FROM
THE WALL

ALL FOUNDATIONS SHOULD BE OF SUFFICIENT DEPTH AND THICKNESS TO BE EXPLICITLY STATED WITHIN WHICH THE

GENERAL NOTES:
STRUCTURE BUILT IN ALUMINIUM ALLOY
POLYESTER POWDER COATED, COLOUR FOREST GREEN
ROOF VENTS OPERATED BY AIR 7 AUTOVENTS
VERTICAL FACE VENTS OPERATED BY MANUAL SPRING THROWS
GLAZED IN TOUGHENED SAFETY GLASS. EXTRA PANE TO BE SUPPLIED FOR LOWER DOOR
CAST ALUMINIUM RIDGE CRESTINGS & FINIALS FITTED TO RIDGE
ALUMINIUM SWING DOOR COMPLETE WITH LOCKS & BRASS FURNITURE
EDGE ALUMINIUM GUTTERS

THESE DETAILS MUST BE ADHERED TO
IF YOU HAVE DOUBTS RELATING TO THESE DETAILS
PLEASE CONTACT PRIVATE GARDEN LTD.

<p>SCALE FOR DRAWING IN FEET</p>		<p>3rd ANGLE PROJECTION</p>
<p>DESCRIPTION: GENERAL ARRANGEMENT DRAWING "THE VICTORIAN LODGE GLASSHOUSE".</p>		<p>CLIENT: - Mr. Bruno Private Garden, 38 Commercial Drive, PO Box 500, Harpenden, MK45 3SE, U.K.A.</p>
<p>HARTLEY BOTANIC LIMITED Greenfield, Clifton, Lancashire, OL3 7AG.</p>	<p>DRAWN: RH DATE: 05.08.04 DRAWING NO: HBS491-001 ISSUE: A</p>	<p>MODIFICATION: SCALE: 1:80 CHECKED: APH DRAWN: HBS DRAWING NO: HBS491 ISSUE: A</p>

10

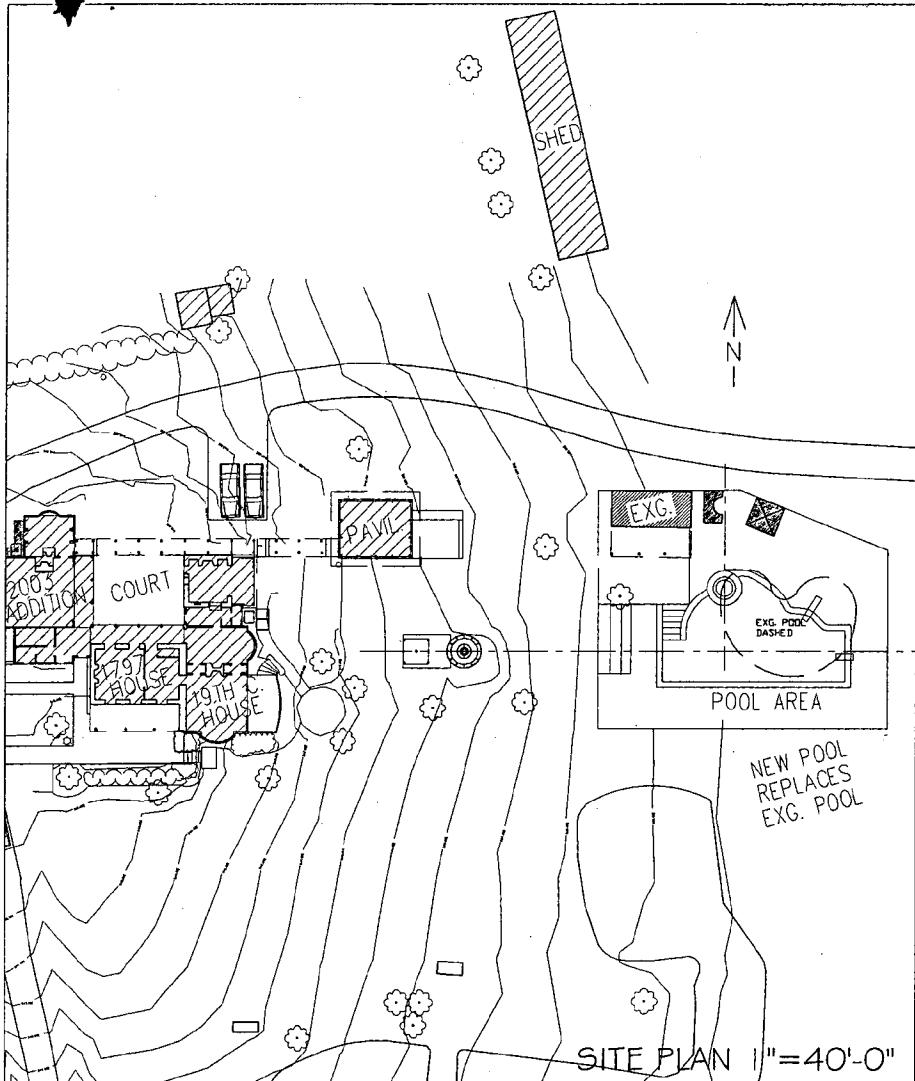


Tusculum Farm (tenant house and garden site not visible)



Vinculum Farm
pool

stamped
approved
3-7-06
AF



DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF
WIND LOAD:
90 MPH
CONCRETE WEATHERING:
SEVERE
TERMITE INFESTATION:
MODERATE TO HEAVY
DECAY PROBABILITY:
SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY:
B
FROST LINE DEPTH:
30 IN.
WINTER DESIGN TEMP:
13°F
FLOOD HAZARDS:
NO

SPECIES/GRADE OF FRAMING
LUMBER: SPRUCE PINE OR FIR
NO.1 OR NO.2

LOADS

ROOMS OTHER THAN SLEEPING:
MIN. 40 PSF
STAIRS:
MIN. 40 PSF
FLOOR/ CEILING DEFLECTION:
L/360

SQUARE FOOTAGE

ADDITION:
STORAGE SHED - 144 SF

POOL: NO NEW SF -
EXISTING FOOTPRINT

ABBREVIATIONS

ABOVE	ABV
APPROXIMATE	APPROX.
AT	@
AVERAGES	AVG
BEAM	BM
BETWEEN	BET.
BLOCKING	BLKG
BOARD	BD
BOTTOM OF	B.O.
BRICK	BR.
BUILDING	BLDG
CEILING	CLG
CLEAN OUT	C.O.
COLUMN	COL.
CONCRETE	CONC.
CONC. MASONRY UNIT	CMU
CONTINUOUS	CONT.
DETAIL	DET.
DIAMETER	Ø
DIMENSION	DIM.
DOOR	DR
DOWNSPOUT	O.S.
EACH	EA.
ELEVATION	EL.
ENTRANCE	ENT.
EXISTING	EXG
FEET	FT
FLOOR	FL.
FOUNDATION	FNON
GLASS	GL.
GRADE	GR.
HARDWOOD	HDWO
HEIGHT	HT
INCH	IN.
INSULATION	INSUL.
INTERIOR	INT.
LIGHT	LT
MASONRY OPENING	M.O.
MEDICINE CABINET	M.C.
METAL	MET.
MINIMUM	MIN.
MISCELLANEOUS	MISC.
NUMBER	NO.
ON CENTER	O.C.
OPENING	OPNG
PAINTED	PTD
PLYWOOD	PLYWD
PLASTER	PLAS.
PLATE	PL.
ROUGH OPENING	R.O.
RISER	R.
ROOM	RM
SECTION	SEC.
SHEET	SHT
STEEL	STL
STONE	ST.
THRESHOLD	THRES.
THICKNESS	THK
TO MATCH EXISTING	T.M.E.
TOP OF	T.O.
TREAD	T.
TYPICAL	TYP.
UNDERSIDE	U/S
WITH	W/
WOOD	WD

INDEX OF DRAWINGS

CS.	COVER SHEET
A1	FLOOR PLAN -POOL AND POOLHOUSE
A2	FLOOR PLAN -POOLHOUSE
A2	ELEVATION -POOLHOUSE
A3	ELEVATION -POOLHOUSE

MICHE BOOZ
ARCHITECT
208 Market St
Bryansville
Maryland 20833
(301)774 6911
fax: 774 1908

CS

Project:
**FREEMAN POOL
RENOVATION**

4601 Damascus Road
Laytonsville, Maryland 20882
Montgomery County

Drawings:

Consultants:

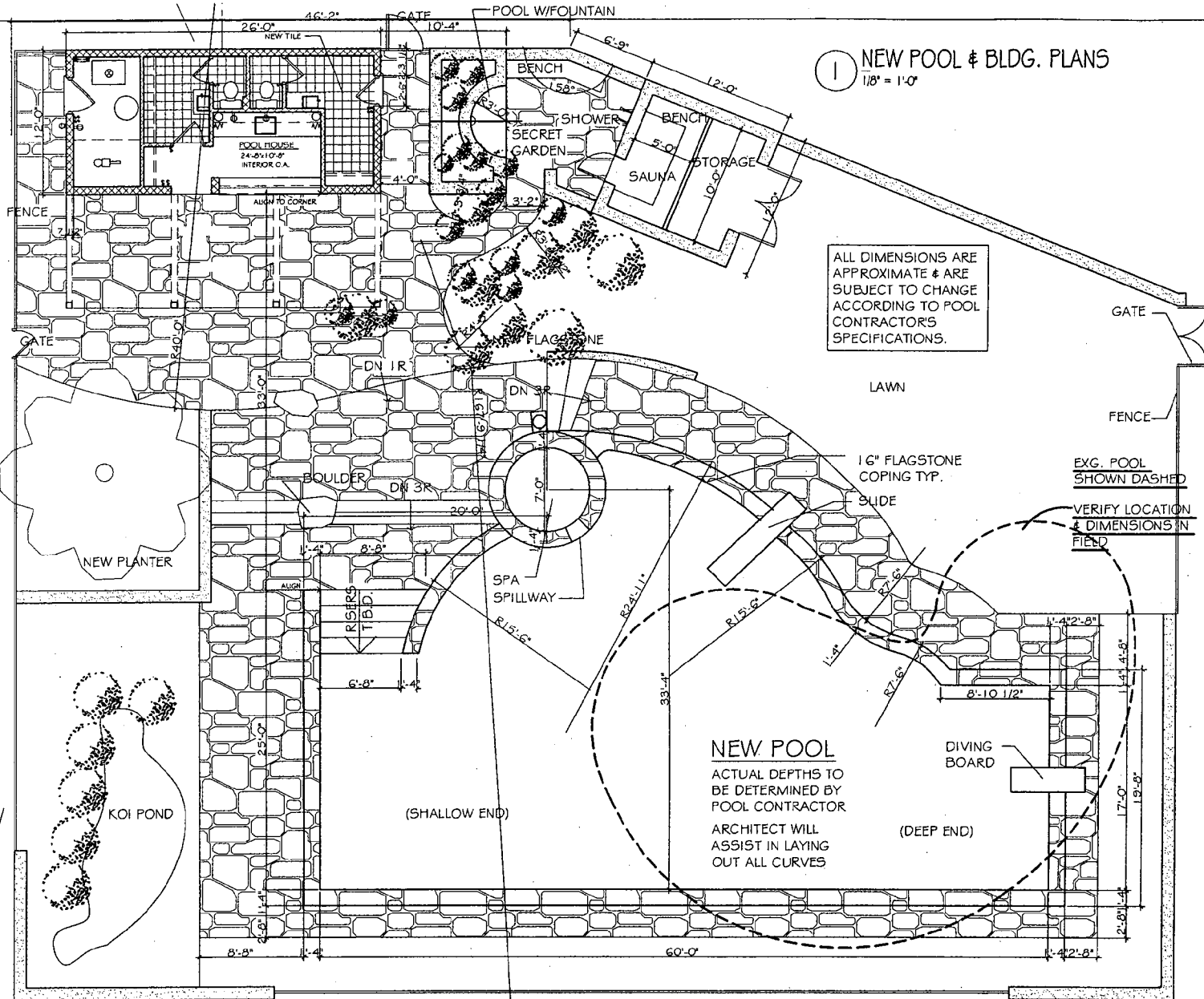
General Contractor:
LOGREN CONSTRUCTION
Mechanical Contractor:
T.B.D.
Electrical Contractor:
T.B.D.

Code:

IRC 2003

POOL RENOVATION AT TUSCULUM FARM

4601 DAMASCUS ROAD, LAYTONSVILLE, MARYLAND 20882



1 NEW POOL & BLDG. PLANS
1/8" = 1'-0"

ALL DIMENSIONS ARE APPROXIMATE & ARE SUBJECT TO CHANGE ACCORDING TO POOL CONTRACTOR'S SPECIFICATIONS.

NEW POOL
ACTUAL DEPTHS TO BE DETERMINED BY POOL CONTRACTOR
ARCHITECT WILL ASSIST IN LAYING OUT ALL CURVES

EXG. POOL SHOWN DASHED

VERIFY LOCATION & DIMENSIONS IN FIELD

SWALE TO DIRECT RUNOFF FROM SLOPE

MICHE BOOZ

ARCHITECT

A1

208 Market St
Bryansville
Maryland 20833
301/774 6911
fax: 774 1908

Project:
FREEMAN POOL RENOVATION

4801 Damascus Road
Laytonsville, Maryland 20882

Montgomery County
NEW PLANS

Drawing:
POOL/POOLHSE.

NOTES:

1. REPLACE EX. PLUMBING FIXTURES WITH NEW
2. REPLACE EX. DOORS WITH NEW.
3. NEW POOL EQUIPMENT AS REQUIRED BY CONTRACTOR.
4. REPLACE EX. ROOF

NEW POOL HOUSE PLAN
1/4" = 1'-0"

MICHE BOOZ

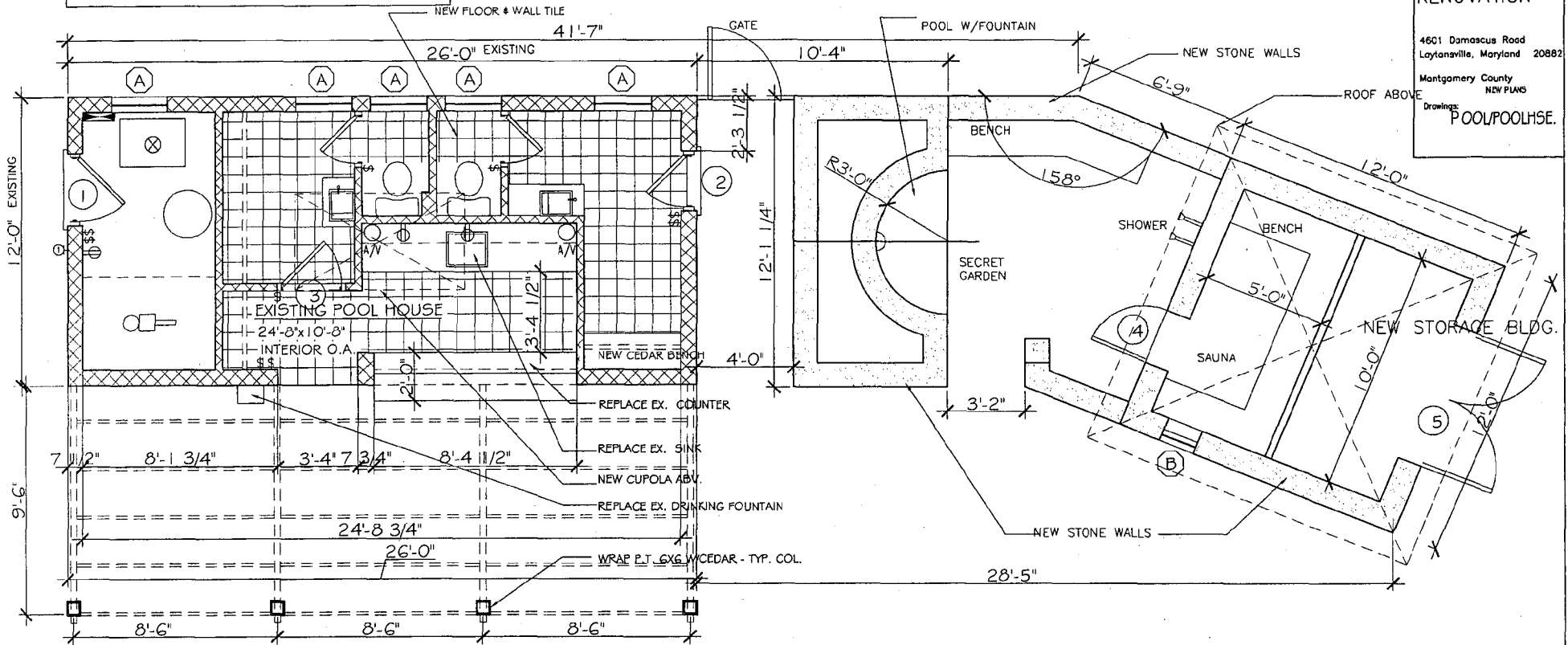
ARCHITECT
A2
209 Market St
Brydenville
Maryland 20833
(301) 774 6811
Fax: 774 1908

Project:
FREEMAN POOL RENOVATION

4601 Damascus Road
Laytonsville, Maryland 20882

Montgomery County
NEW PLANS

Drawings:
POOL/POOLHSE.



MICHE BOOZ

ARCHITECT

A3

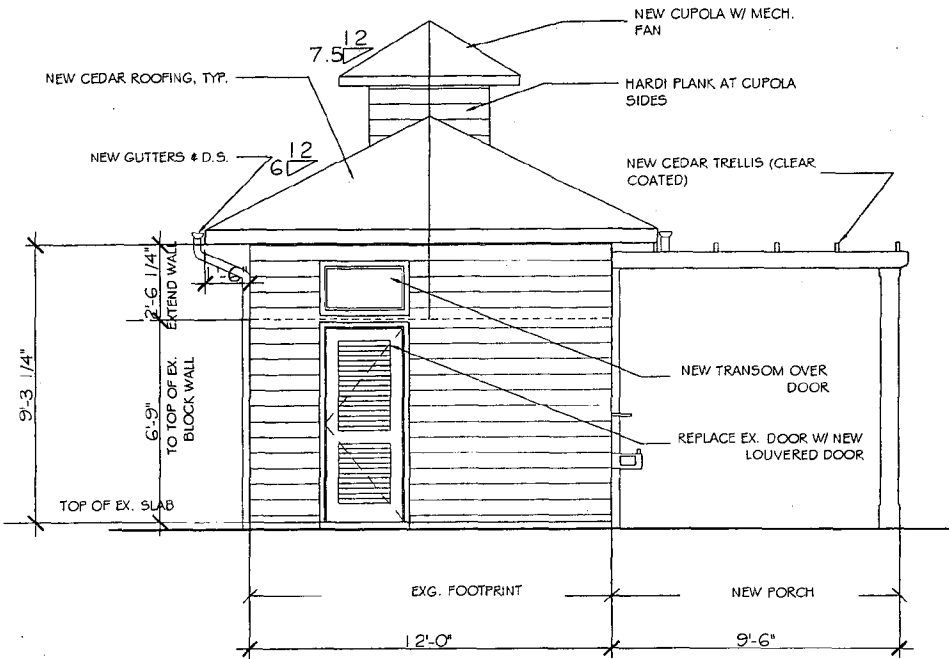
208 Market St
Brykettle
Maryland 20833
(301)774-6811
fax: 774-1908

Project:
FREEMAN POOL
RENOVATION

4601 Damascus Road
Laytonville, Maryland 20882

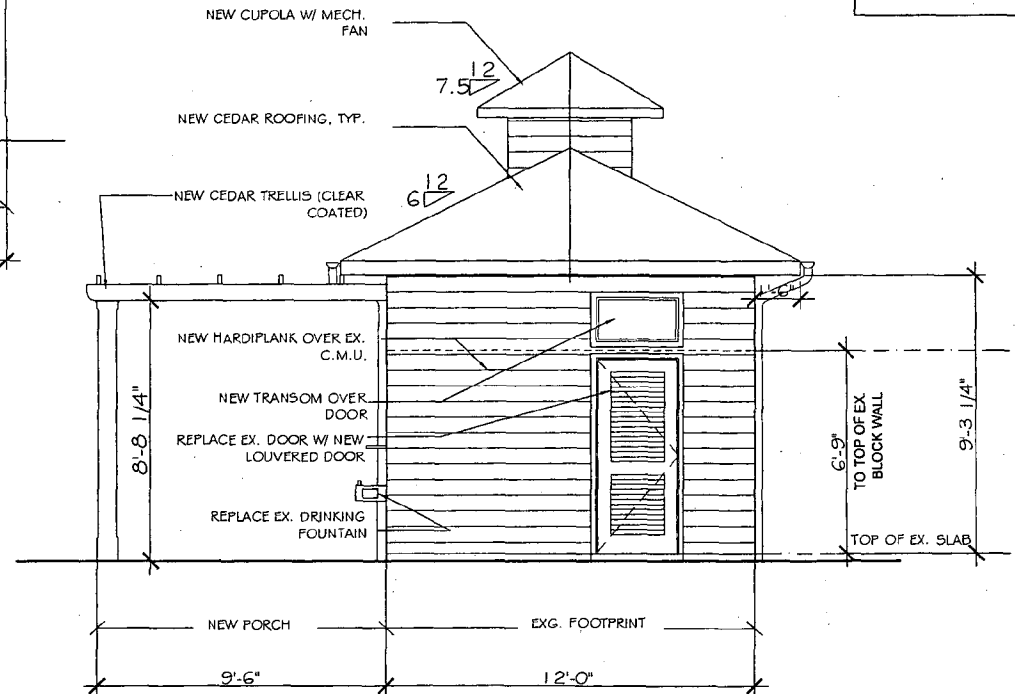
Montgomery County
NW PLANS

Drawing:
POOL/POOLHSE.



WEST ELEVATION - POOLHOUSE

1/4" = 1'-0"

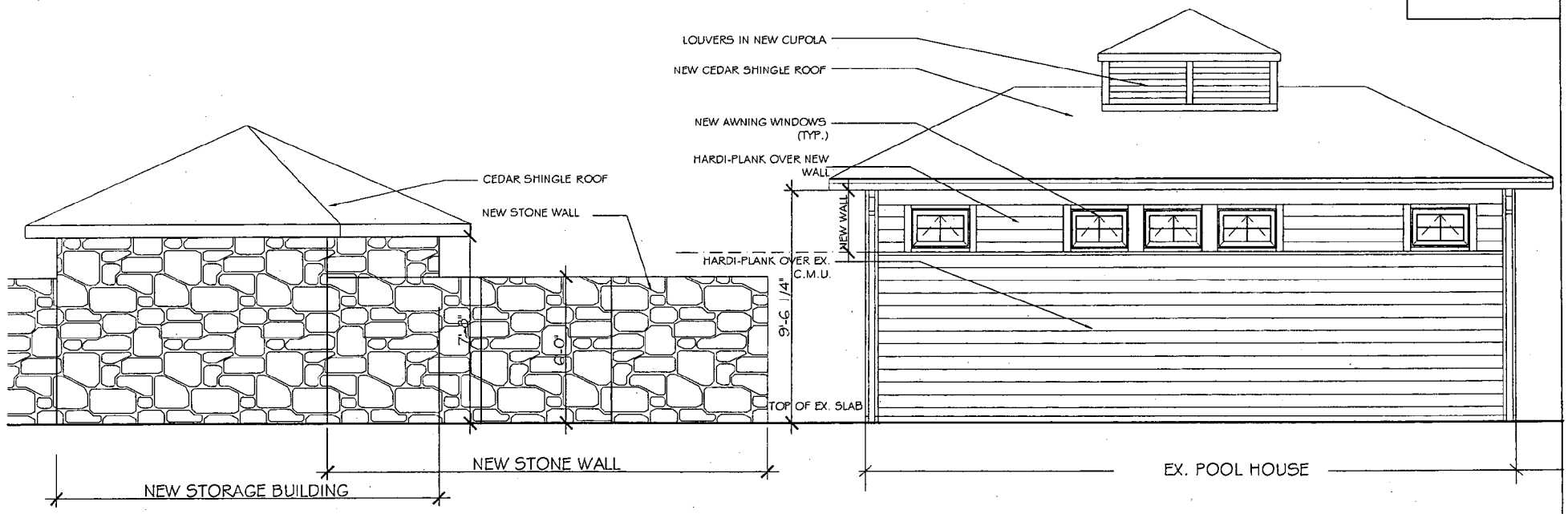


EAST ELEVATION - POOLHOUSE

1/4" = 1'-0"

MICHE BOOZ
 ARCHITECT
A4
 208 Mariet St
 Bryskville
 Maryland 20833
 (301) 774-6811
 fax: 774-1908

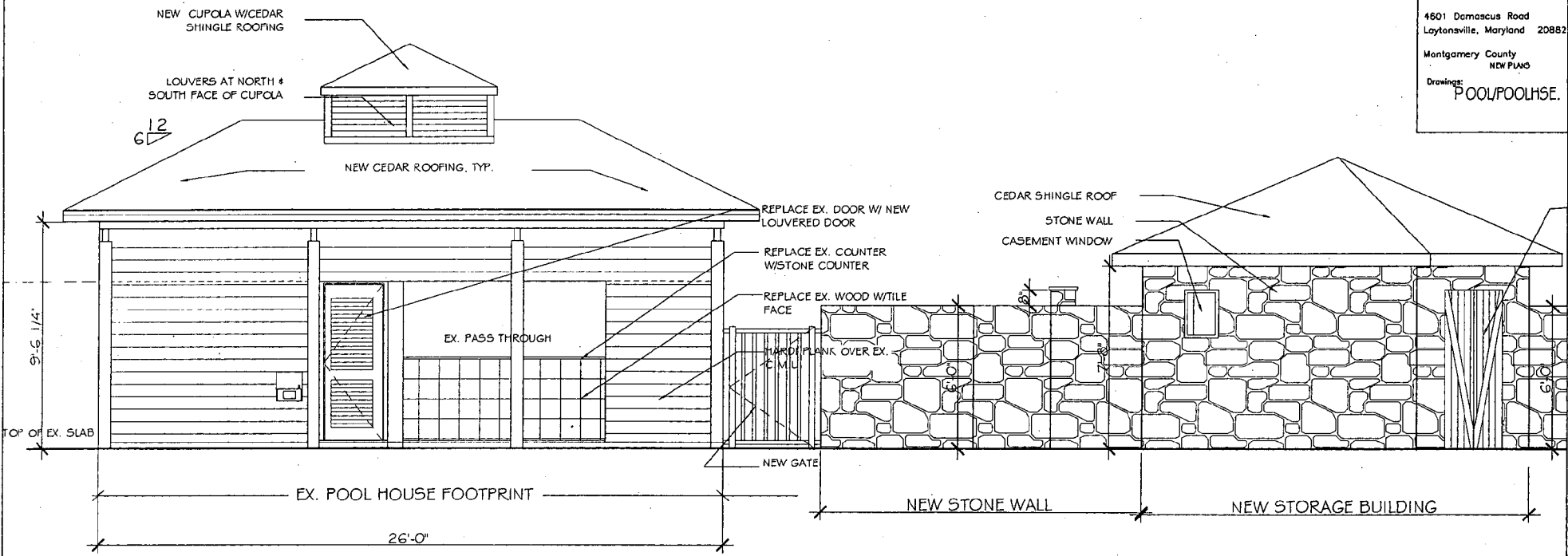
Project:
**FREEMAN POOL
 RENOVATION**
 4601 Damascus Road
 Laytonsville, Maryland 20882
 Montgomery County
 NEW PLANS
 Drawings:
POOL/POOLHSE.



NORTH ELEVATION - POOLHOUSE
 1/4" = 1'-0"

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 ARCHITECT
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 208 Market St
 Brykewille
 Maryland 20833
 (301) 774-6911
 fax: 774 1908

Project:
FREEMAN POOL RENOVATION
 4601 Damascus Road
 Laytonsville, Maryland 20882
 Montgomery County
 NEW PLANS
 Drawings: **POOL/POOLHSE.**



SOUTH ELEVATION - POOLHOUSE
 1/4" = 1'-0"

Party Mon

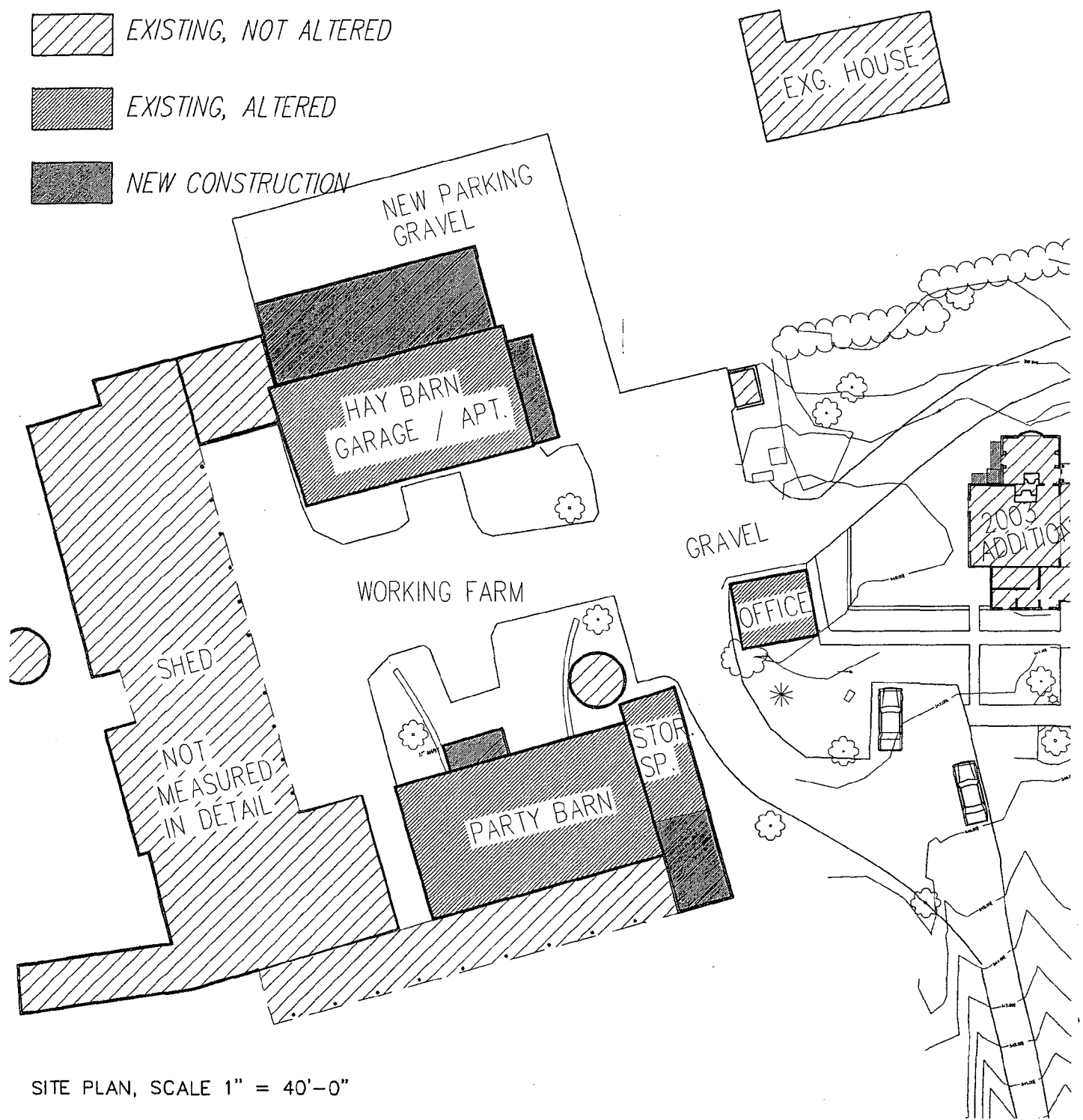
Stamped approved

3-7-06

 EXISTING, NOT ALTERED

 EXISTING, ALTERED

 NEW CONSTRUCTION



DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF
WIND LOAD:
90 MPH
CONCRETE WEATHERING:
SEVERE
TERMITE INFESTATION:
MODERATE TO HEAVY
DECAY PROBABILITY:
SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY:
B
FROST LINE DEPTH:
30 IN.
WINTER DESIGN TEMP:
13°F
FLOOD HAZARDS:
NO

SPECIES/GRADE OF FRAMING LUMBER:
SPRUCE PINE OR FIR
NO.1 OR NO.2

LOADS

ROOMS OTHER THAN SLEEPING:
MIN. 40 PSF
STAIRS:
MIN. 40 PSF
FLOOR/ CEILING DEFLECTION:
L/360

SQUARE FOOTAGE

ADDITION:
1ST FLOOR: SF
2ND FLOOR: SF
TOTAL: SF

ABBREVIATIONS

ABOVE APPROXIMATE	ABV APPROX.
AT	@
AVERAGES	AVG
BEAM	BM
BETWEEN	BET.
BLOCKING	BLKG
BOARD	BD
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CLEAN OUT	C.O.
COLUMN	COL.
CONCRETE	CONC.
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CONTINUOUS	CONT.
DETAIL	DET.
DIAMETER	Ø
DIMENSION	DIM.
DOOR	DR
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SC1	WINDOW/DOOR SCHEDULE

MICHE BOOZ

ARCHITECT

CS

208 Market St
Brykville
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fax: 774 1908

Project:
**PARTY BARN
AT TUSCULUM
FARMS**

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:

COVERSHEET

Dates:
AS BUILTS: OCT 05
SCHEMATICS: OCT 05

Consultants:

General Contractor:

LOFGREN CONSTRUCTION

Mechanical Contractor:

T.B.D.

Electrical Contractor:

T.B.D.

Code:

IRC 2003

RENOVATED BARN AT TUSCULUM FARM

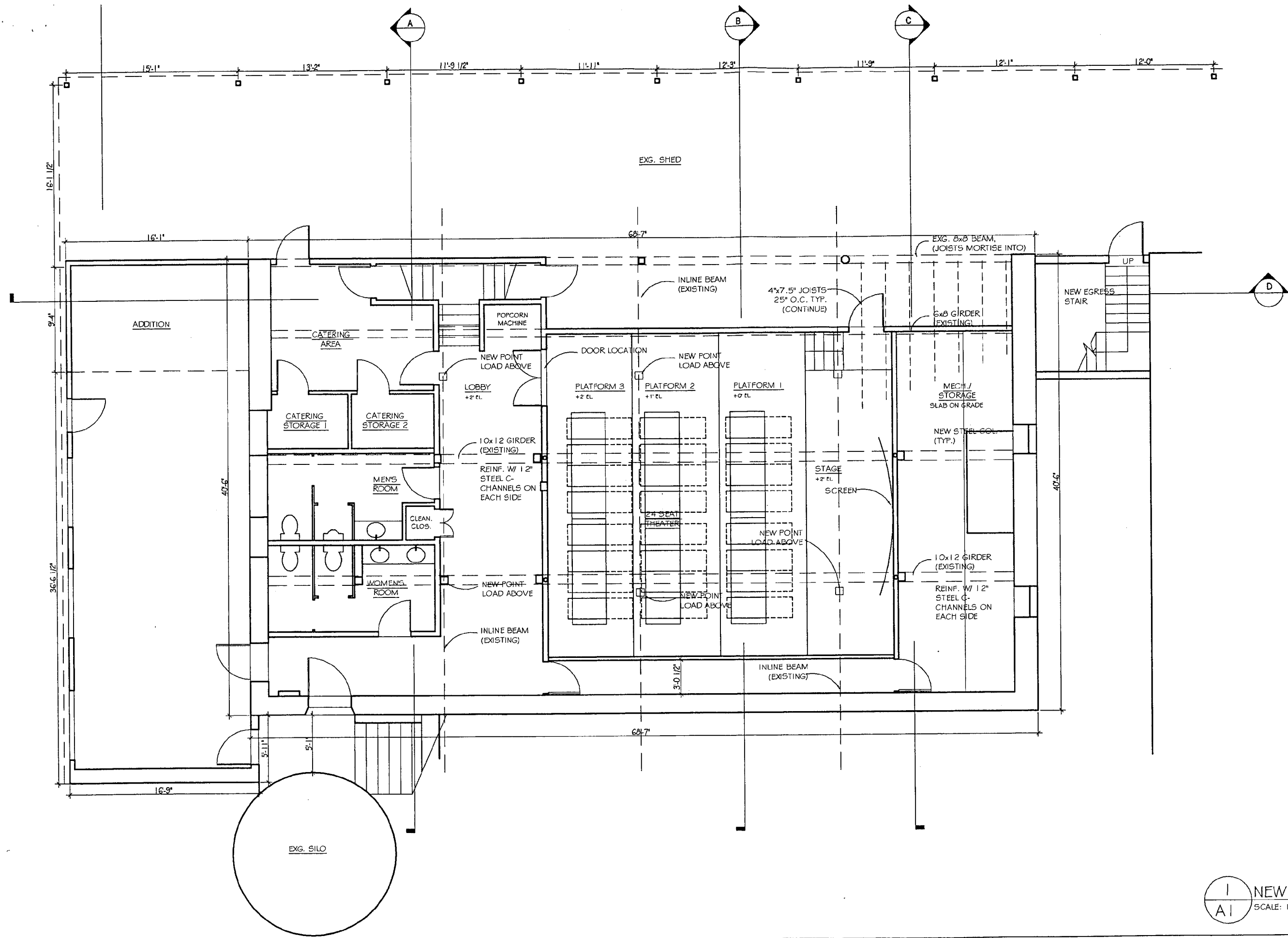
4601 DAMASCUS ROAD LAYTONSVILLE MARYLAND 20882

PROGRESS SET - January 18, 2006

Project:
PARTY BARN AT TUSCULUM FARMS
 4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 NEW PLANS

Dates:
 AS BUILTS OCT 05
 SCHEMATICS OCT 05



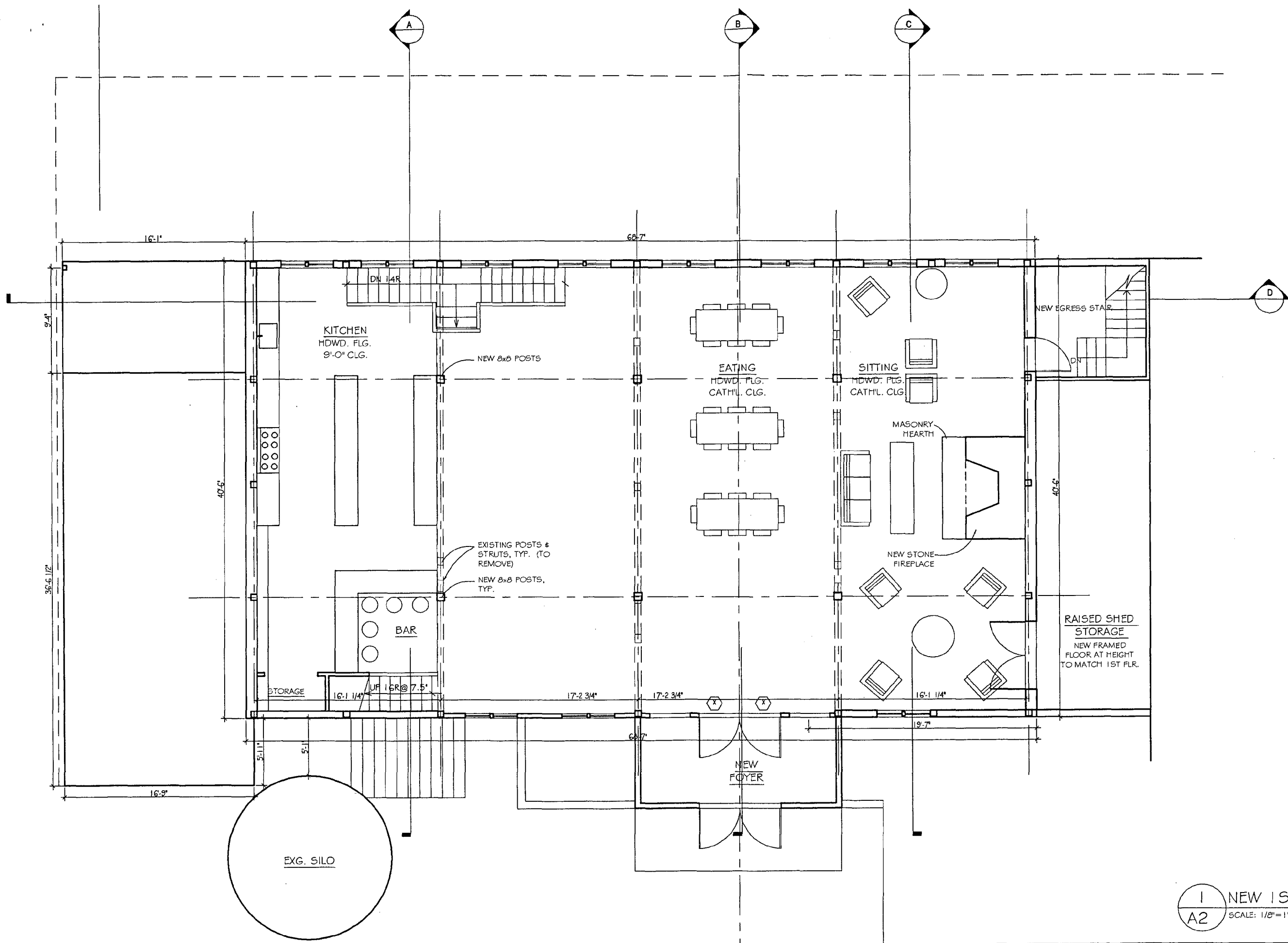
I
A1 NEW BSMT. PLAN
 SCALE: 1/8" = 1'-0"

PROGRESS SET - January 18, 2006

Project:
PARTY BARN AT TUSCULUM FARMS
 4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 NEW PLANS

Dates:
 AS BUILTS OCT 05
 SCHEMATICS OCT 05



1 NEW 1ST FL. PLAN
A2 SCALE: 1/8" = 1'-0"

PROGRESS SET - January 18, 2006

MICHE BOOZ

ARCHITECT

A4

208 Market St
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Maryland 20833
(301)774 6911
fax: 774 1908

Project:

PARTY BARN
AT TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

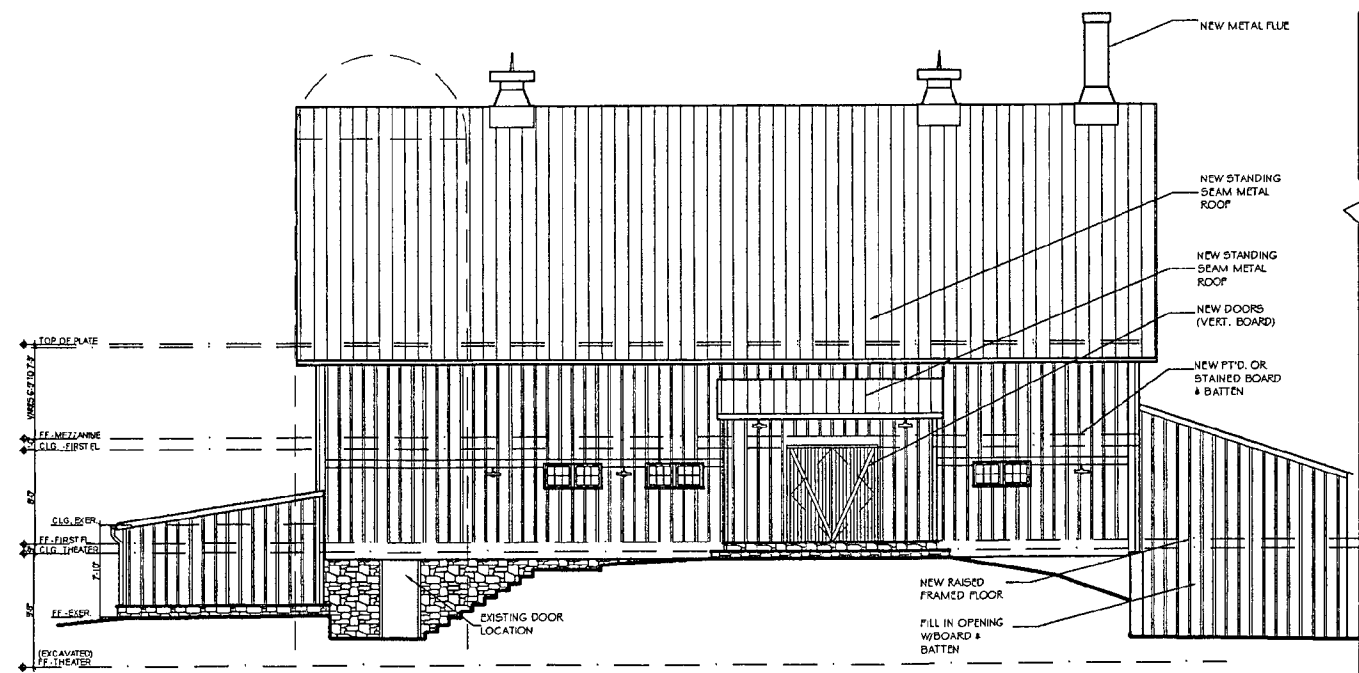
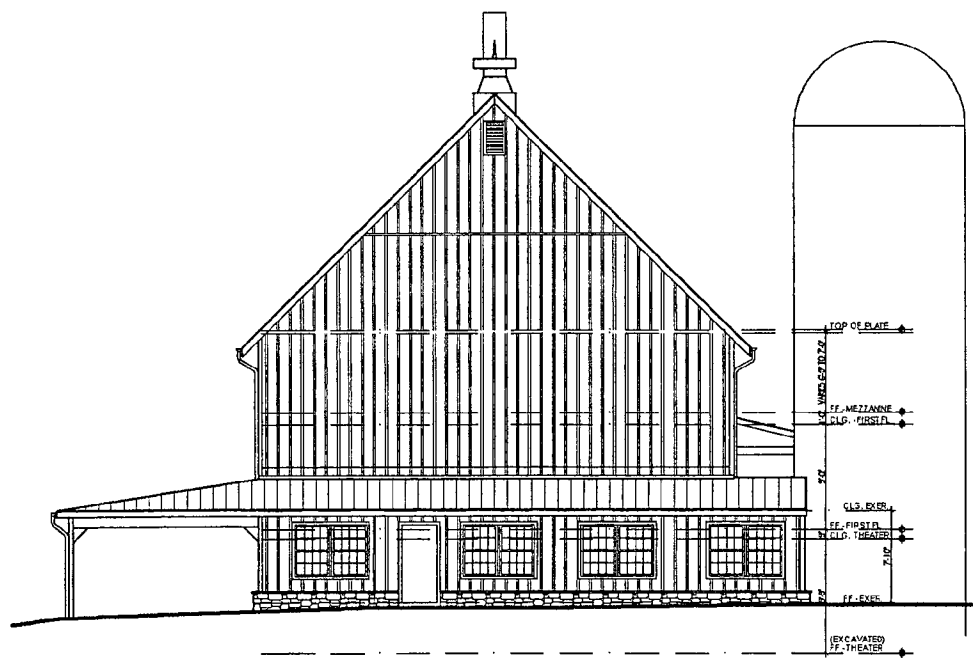
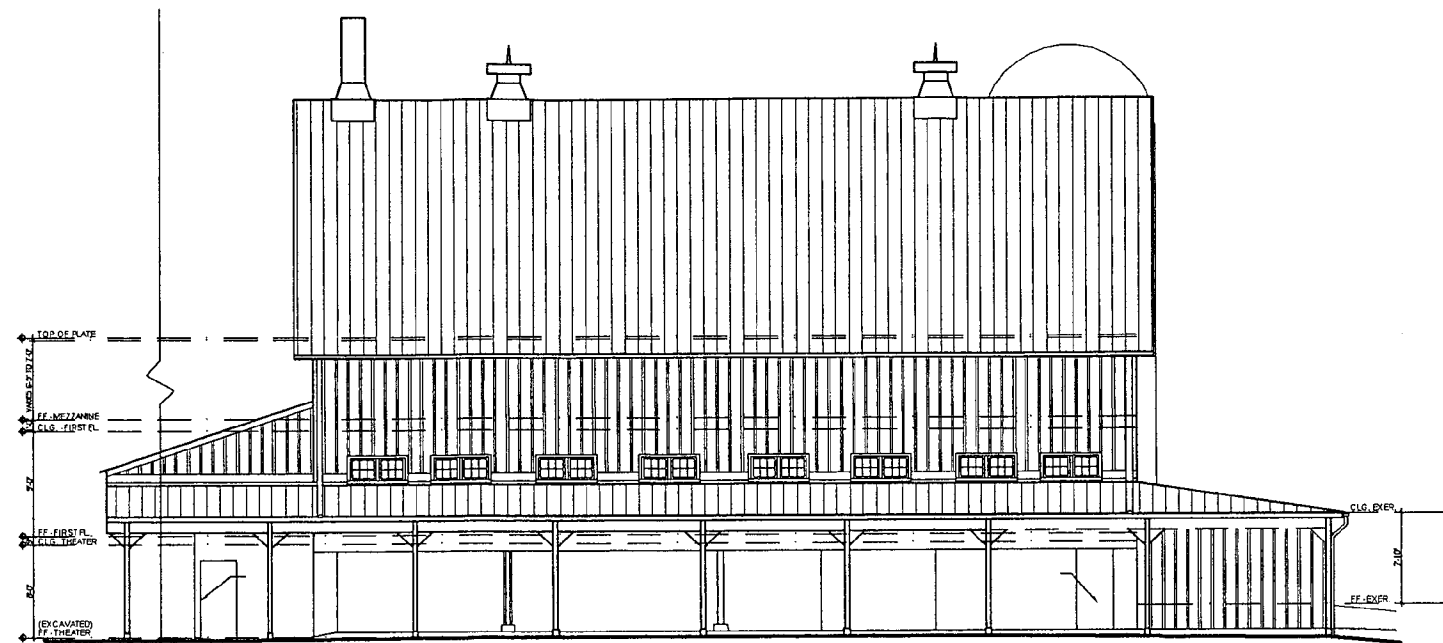
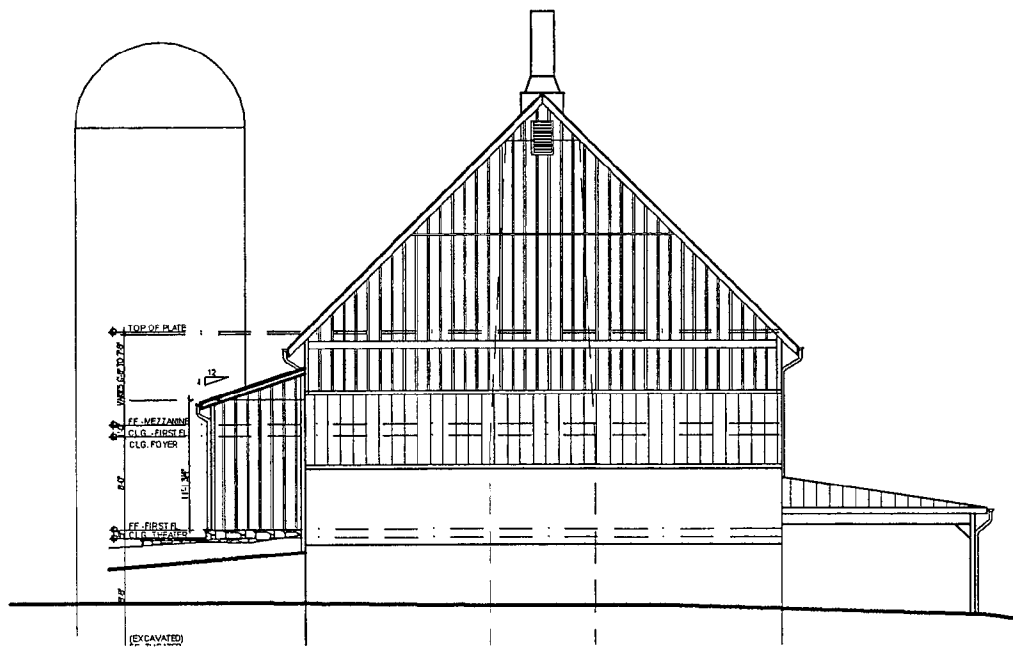
Montgomery County

Drawings:

NEW ELEVATIONS

Dates:

AS BUILTS OCT 05
SCHEMATICS OCT 05



1
A4 NEW ELEVATIONS
SCALE: 1/16"=1'-0"

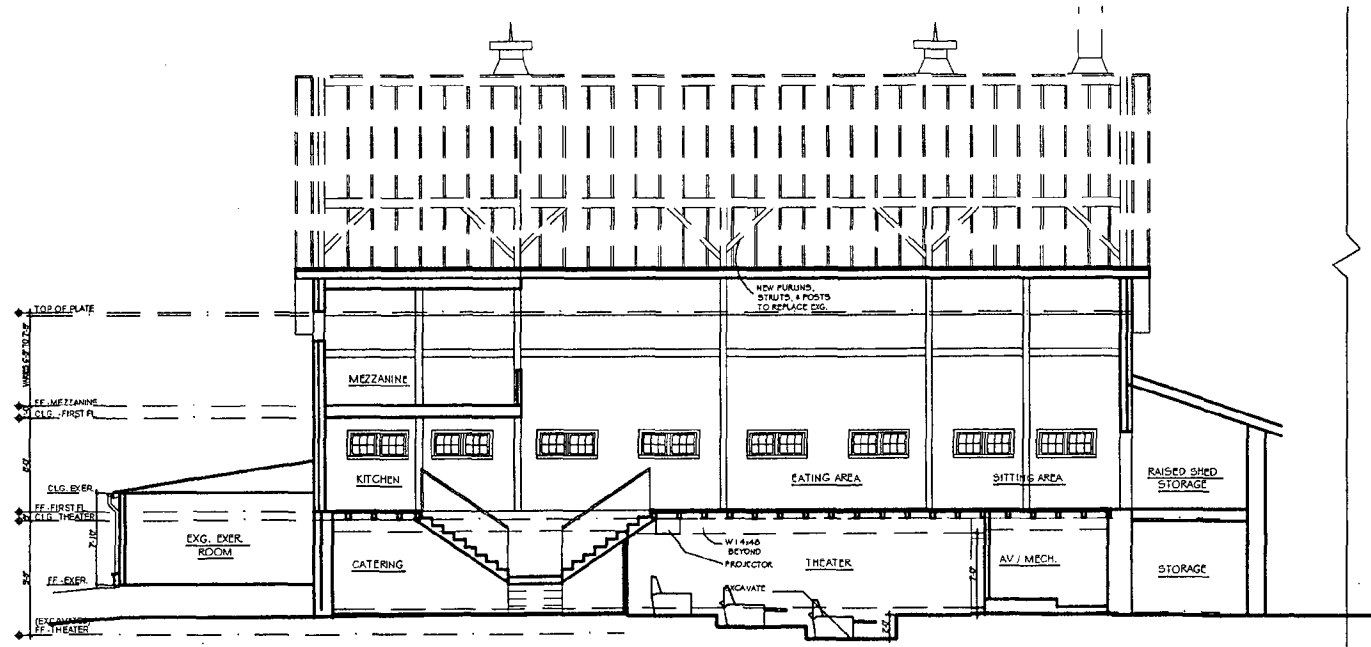
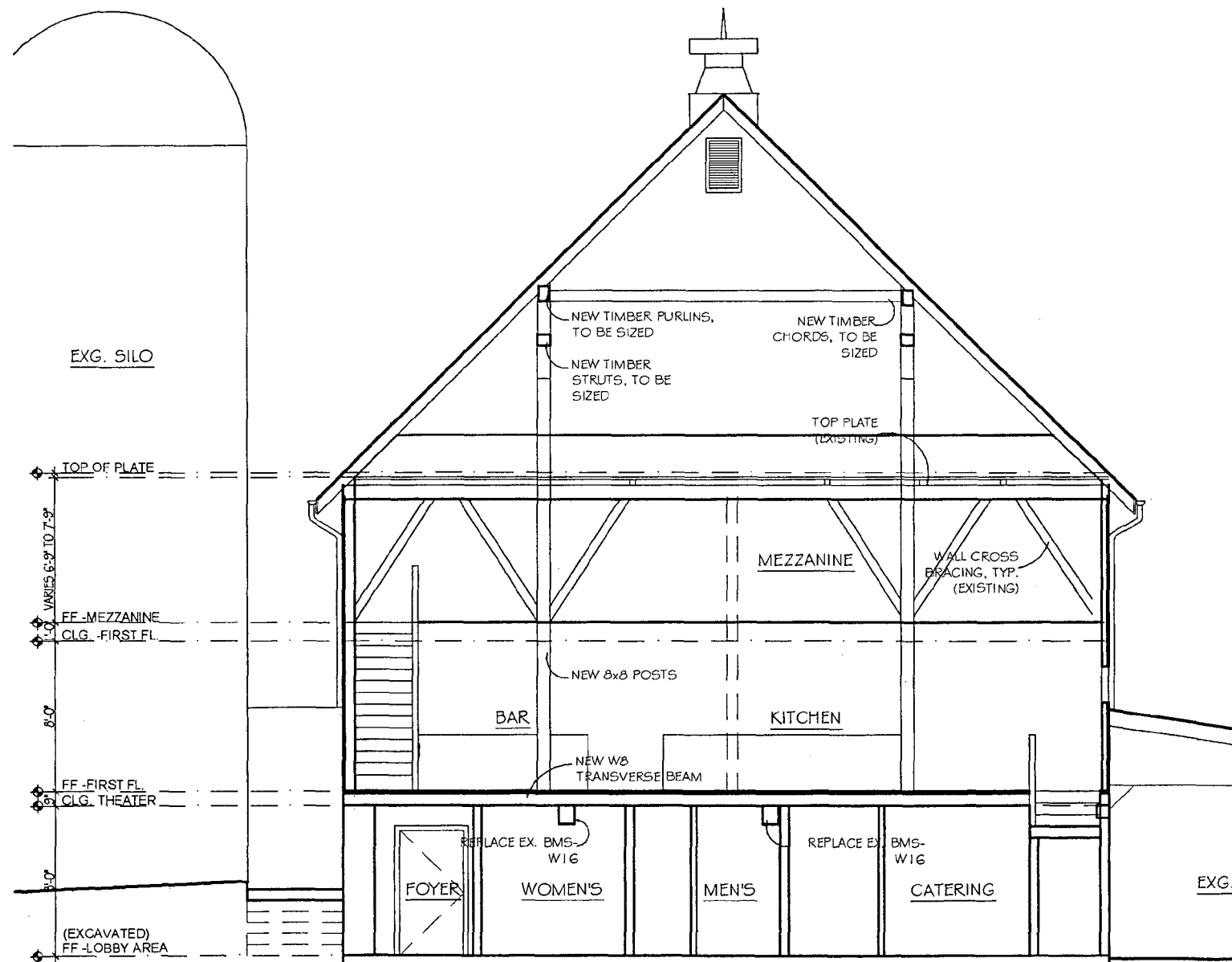
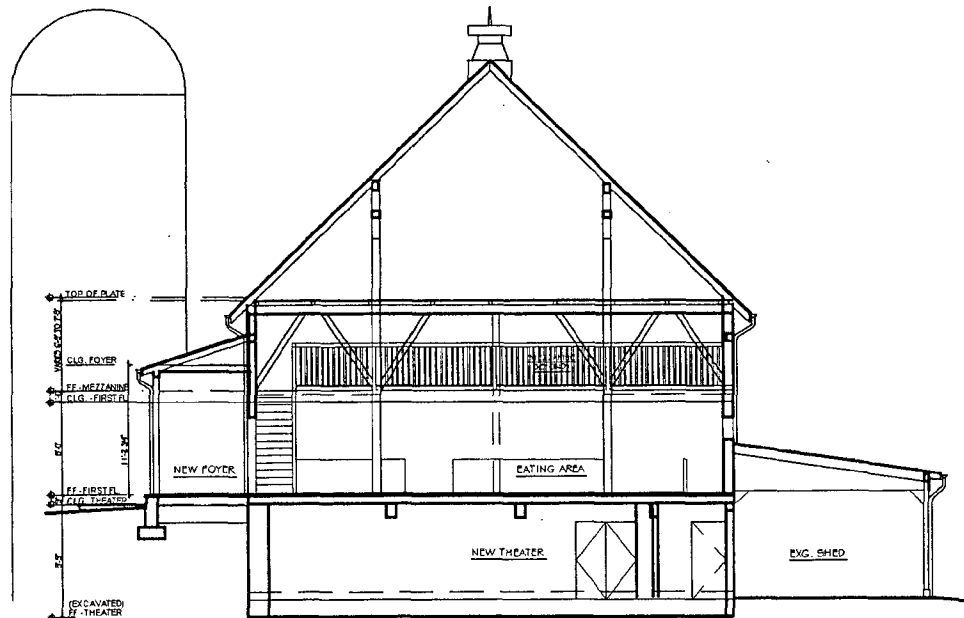
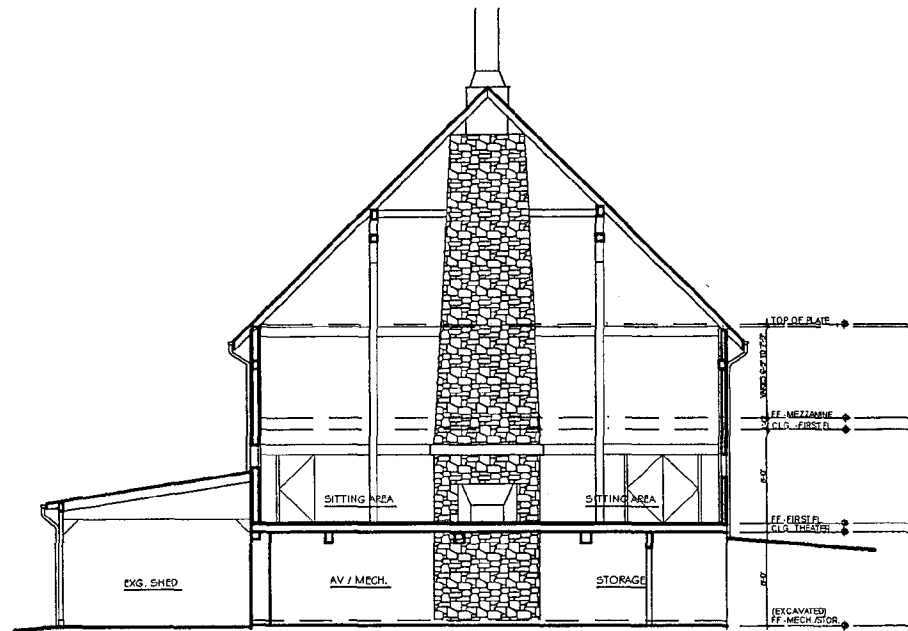
PROGRESS SET - January 18, 2006

Project:
PARTY BARN
AT TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:
NEW SECTIONS

Dates:
AS BUILTS OCT 05
SCHEMATICS OCT 05



PROGRESS SET - January 18, 2006

FREEMAN PARTY BARN PHOTOS - JANUARY 18, 2006



EXISTING NORTH ELEVATION OF PARTY BARN



EXISTING EAST ELEVATION OF PARTY BARN



LOOKING NORTH (PARTY BARN TO WEST)



EXISTING SOUTH ELEVATION OF PARTY BARN

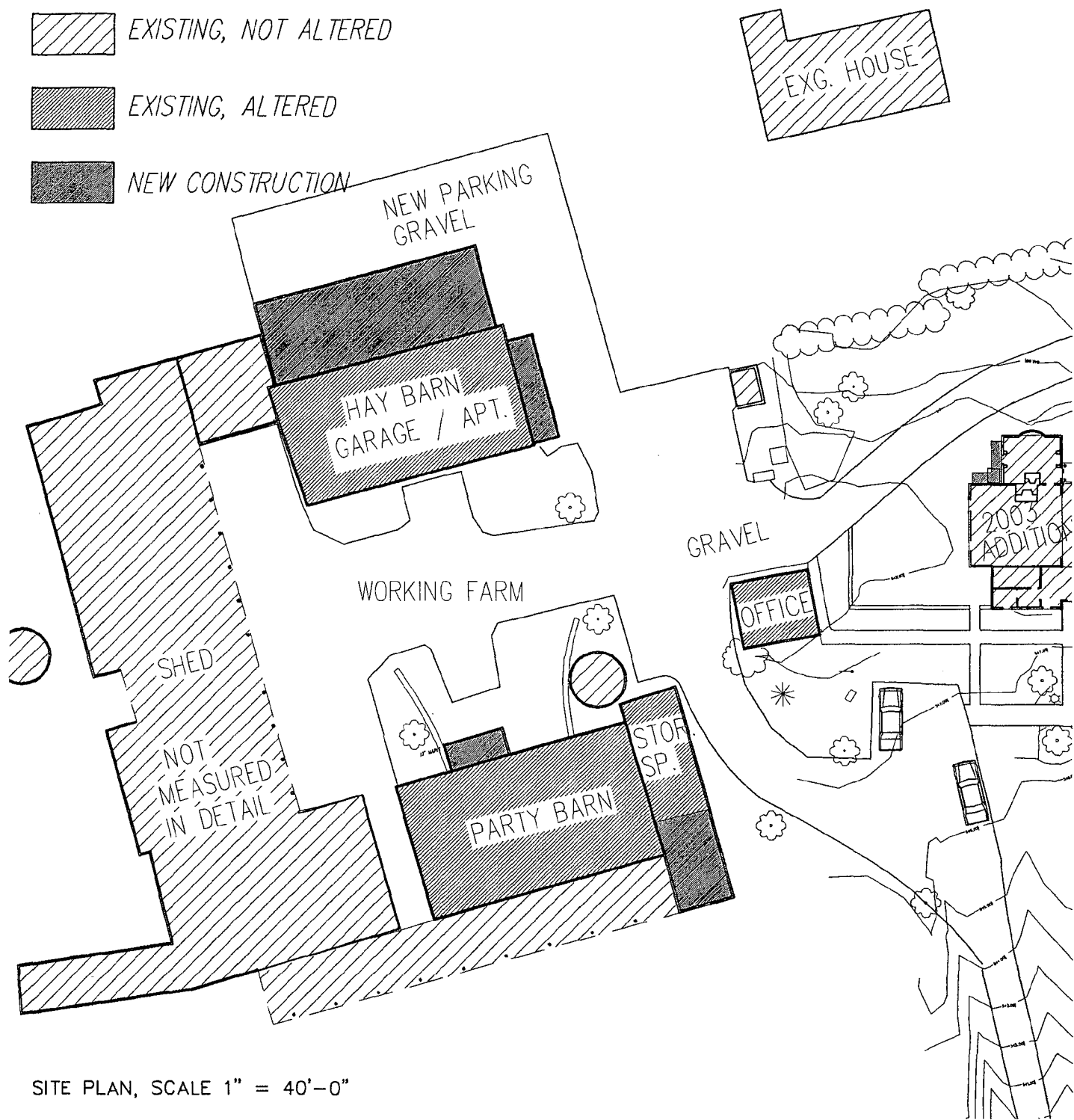


LOOKING TO WEST

 EXISTING, NOT ALTERED

 EXISTING, ALTERED

 NEW CONSTRUCTION



SITE PLAN, SCALE 1" = 40'-0"

DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF
WIND LOAD:
90 MPH
CONCRETE WEATHERING:
SEVERE
TERMITE INFESTATION:
MODERATE TO HEAVY
DECAY PROBABILITY:
SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY:
B
FROST LINE DEPTH:
30 IN.
WINTER DESIGN TEMP:
13°F
FLOOD HAZARDS:
NO

SPECIES/GRADE OF FRAMING
LUMBER: SPRUCE PINE OR FIR
NO.1 OR NO.2

LOADS

ROOMS OTHER THAN SLEEPING:
MIN. 40 PSF
STAIRS:
MIN. 40 PSF
FLOOR/ CEILING DEFLECTION:
L/360

SQUARE FOOTAGE

ADDITION:
1ST FLOOR: SF
2ND FLOOR: SF
TOTAL: SF

ABBREVIATIONS

ABOVE	ABV
APPROXIMATE	APPROX.
AT	⊙
AVERAGES	AVG
BEAM	BM
BETWEEN	BET.
BLOCKING	BLKG
BOARD	BD
BOTTOM OF	B.O.
BRICK	BR.
BUILDING	BLDG
CEILING	CLG
CLEAN OUT	C.O.
COLUMN	COL.
CONCRETE	CONC.
CONC. MASONRY UNIT	CMU
CONTINUOUS	CONT.
DETAIL	DET.
DIAMETER	∅
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INDEX OF DRAWINGS

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DT1	SECTION DETAILS
SC1	WINDOW/DOOR SCHEDULE

MICHE BOOZ

ARCHITECT

CS

208 Market St
Brykerville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
**PARTY BARN
AT TUSCULUM
FARMS**

4601 Damascus Road
Laytonsville, MD 20882

Montgomery County

Drawings:
COVERSHEET

Dates:
AS BUILTS OCT 05
SCHEMATICS OCT 05

Consultants:
General Contractor:
LOFGREN CONSTRUCTION
Mechanical Contractor:
T.B.D.
Electrical Contractor:
T.B.D.

PROGRESS SET- January 18, 2006

RENOVATED BARN AT TUSCULUM FARM

4601 DAMASCUS ROAD LAYTONSVILLE MARYLAND 20882

Code:
IRC 2003

MICHE BOOZ

ARCHITECT

A1

208 Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

PARTY BARN
AT TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

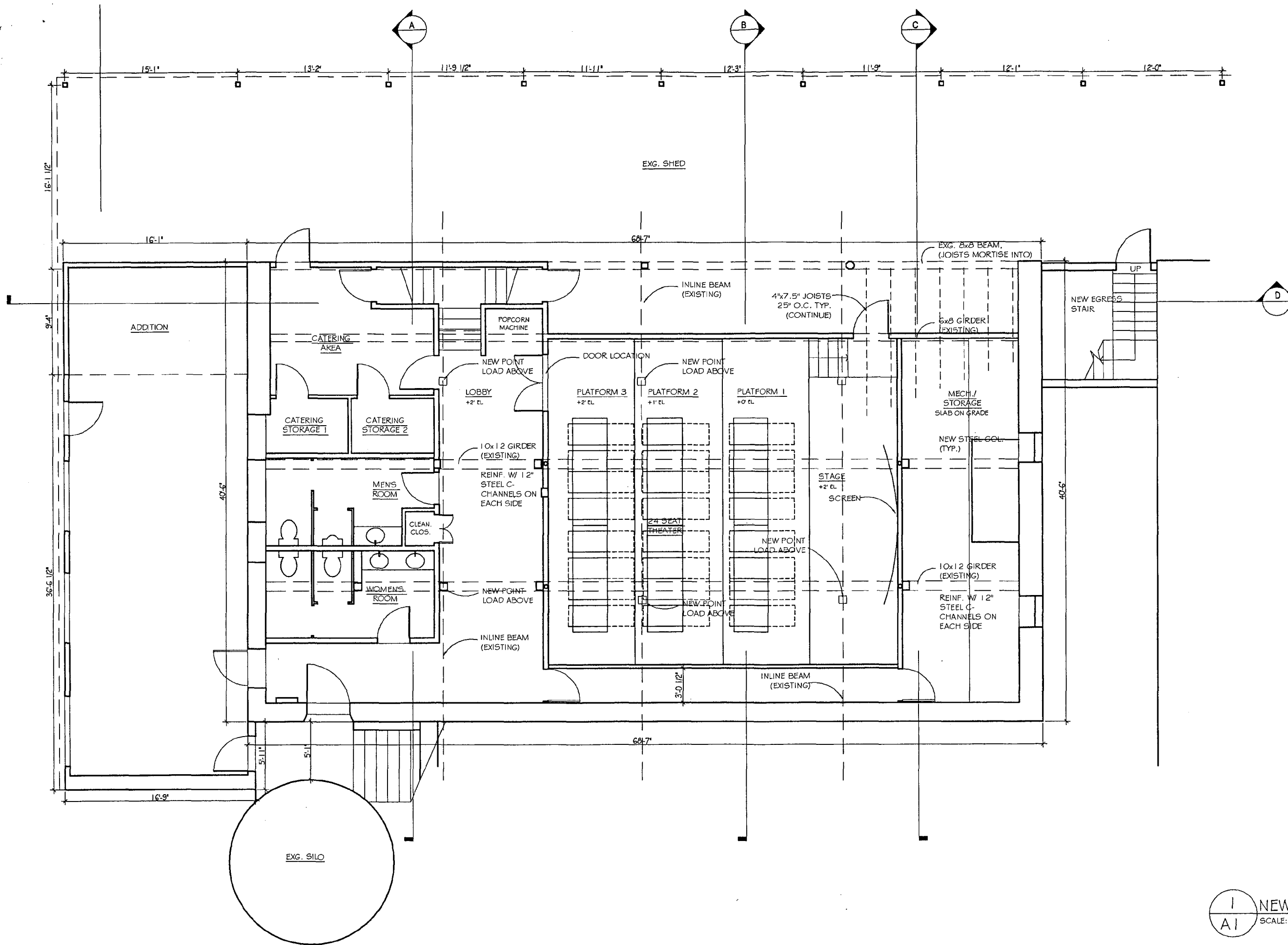
Montgomery County

Drawings:

NEW PLANS

Dates:

AS BUILTS OCT 05
SCHEMATICS OCT 05



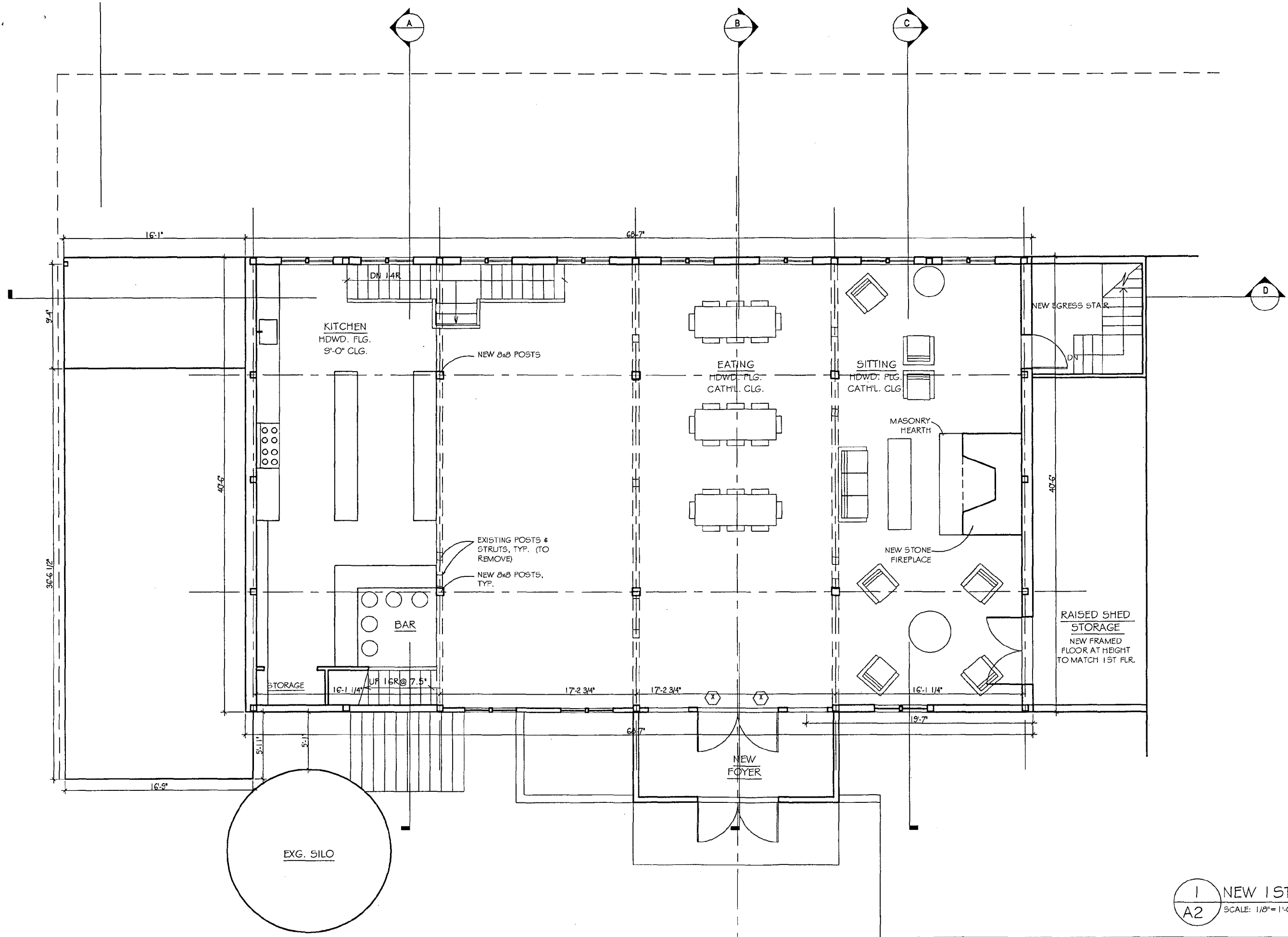
PROGRESS SET - January 18, 2006

1
A1 NEW BSMT. PLAN
SCALE: 1/8" = 1'-0"

Project:
PARTY BARN AT TUSCULUM FARMS
 4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 NEW PLANS

Dates:
 AS BUILTS OCT 05
 SCHEMATICS OCT 05



1 NEW 1ST FL. PLAN
A2 SCALE: 1/8" = 1'-0"

PROGRESS SET - January 18, 2006

MICHE BOOZ

ARCHITECT

A4

208 Market St
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Maryland 20833
(301)774 6911
fax: 774 1908

Project:

PARTY BARN
AT TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882

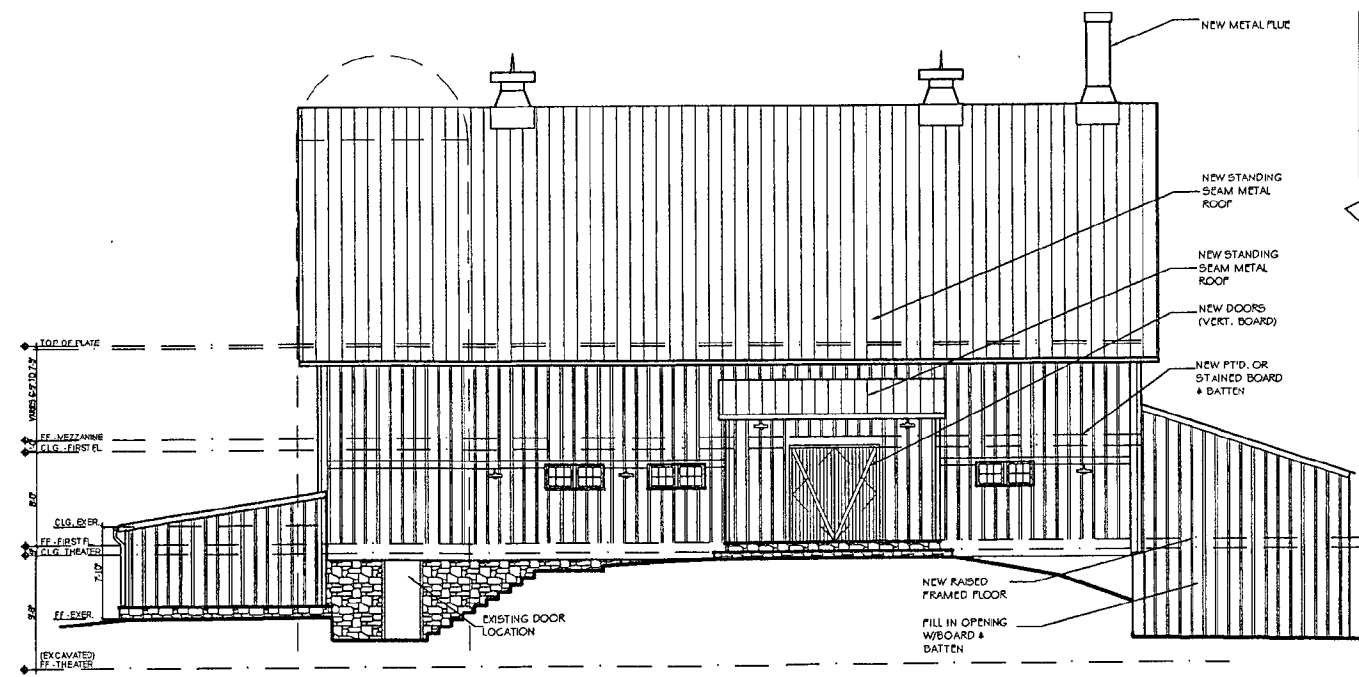
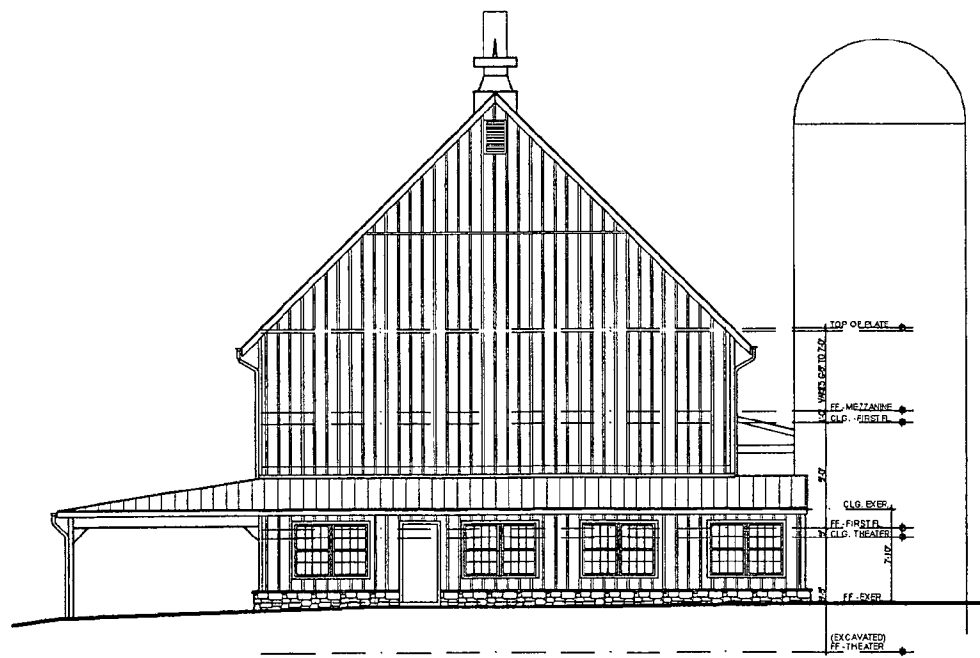
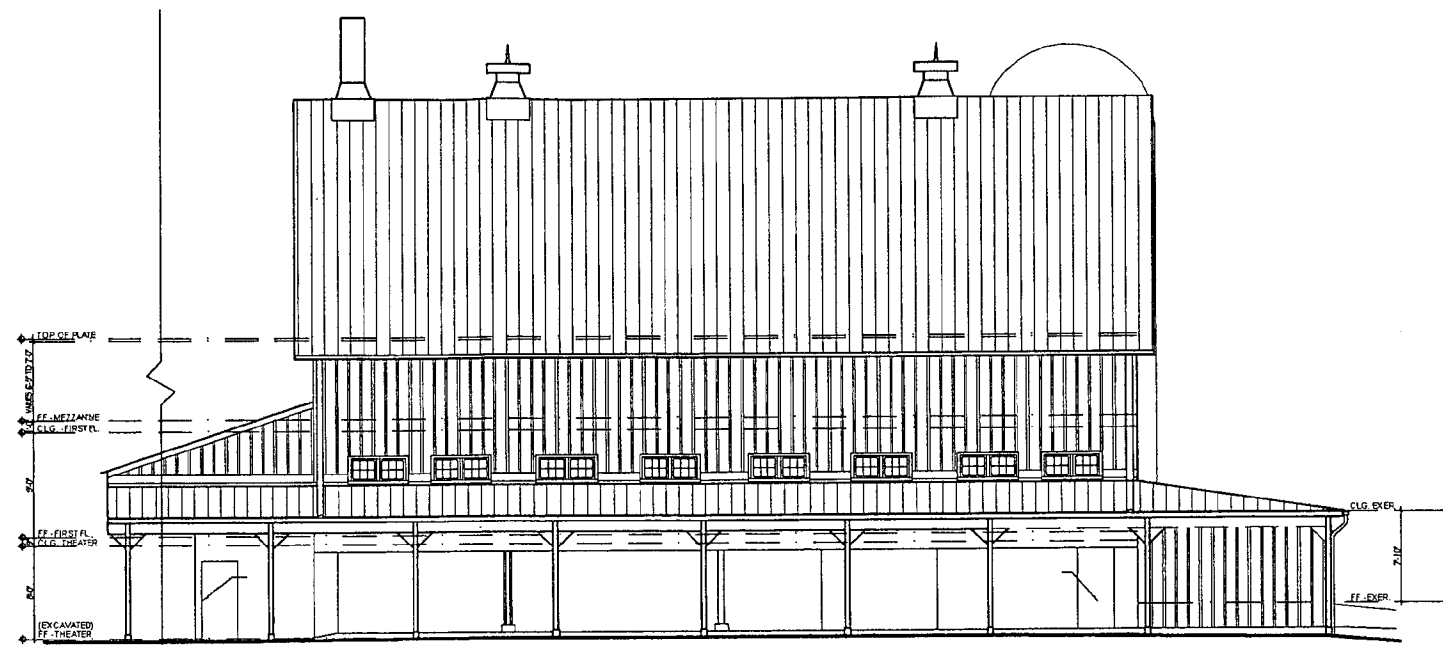
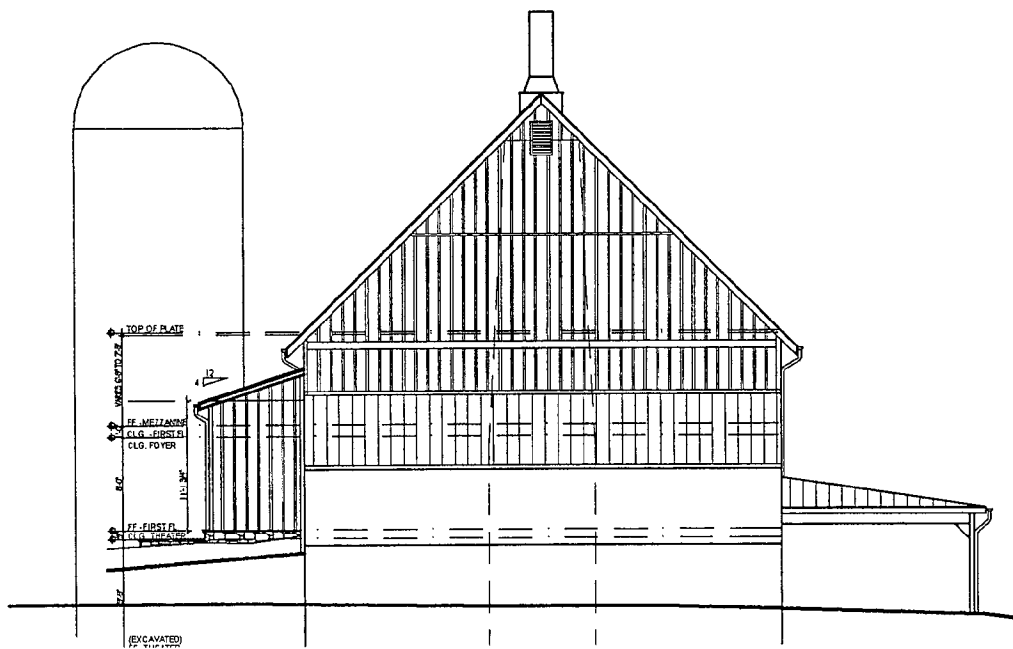
Montgomery County

Drawings:

NEW ELEVATIONS

Dates:

AS BUILTS OCT 05
SCHEMATICS OCT 05



1
A4 NEW ELEVATIONS
SCALE: 1/16" = 1'-0"

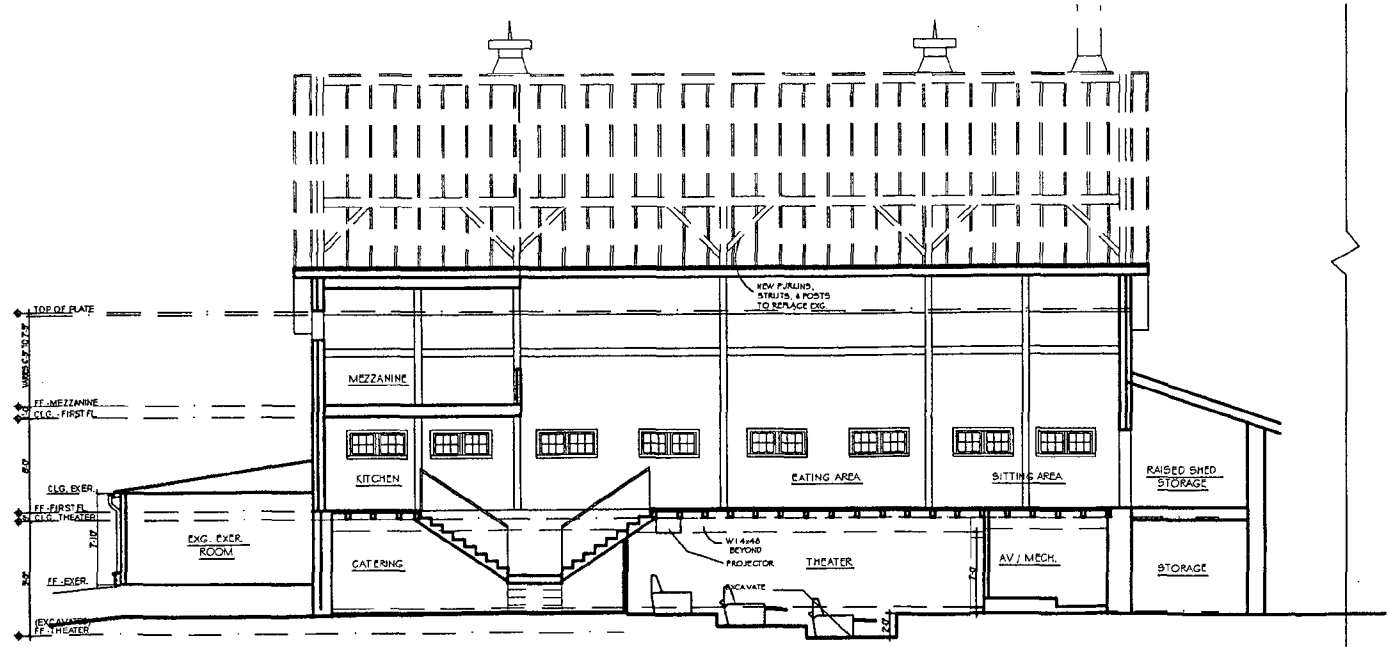
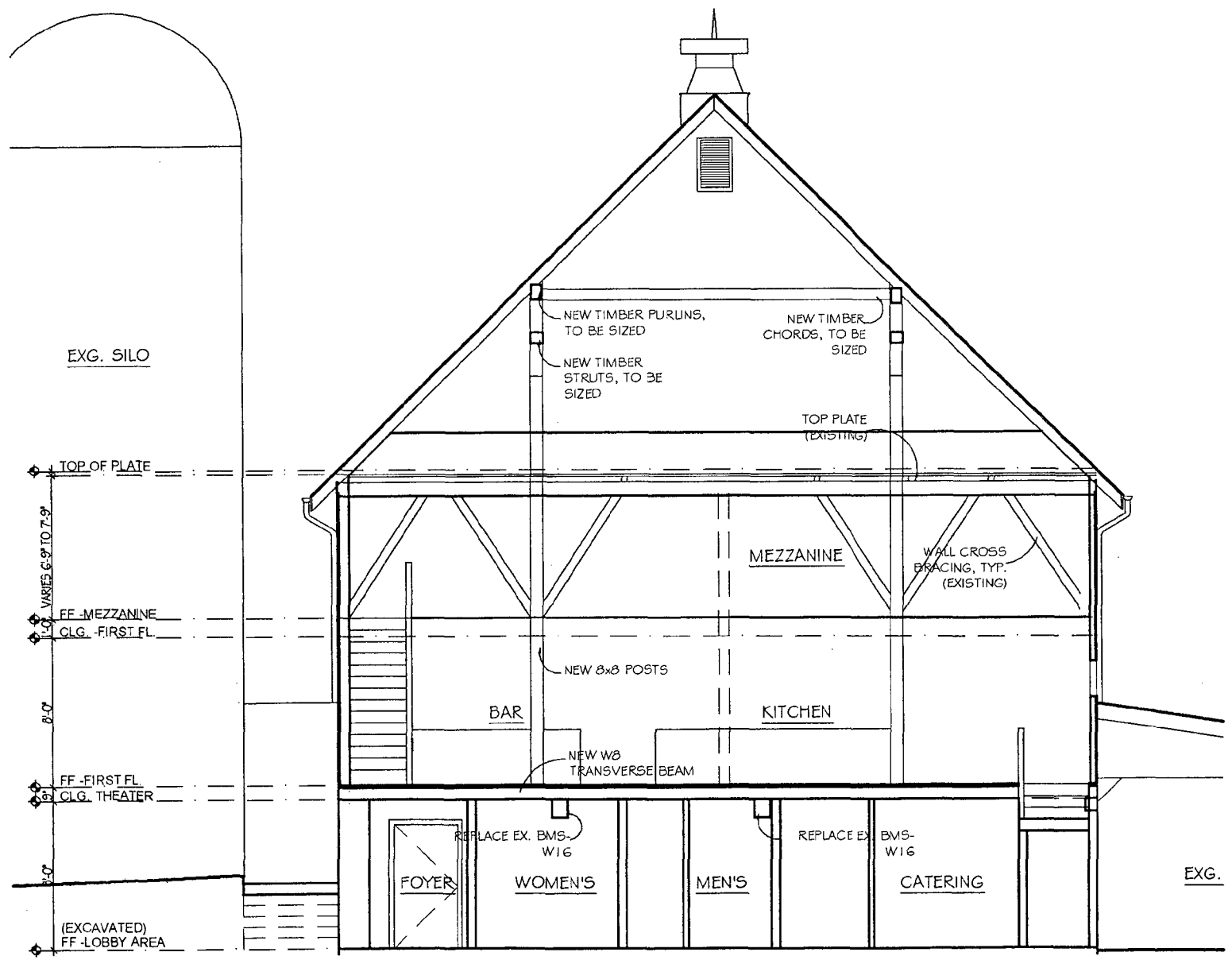
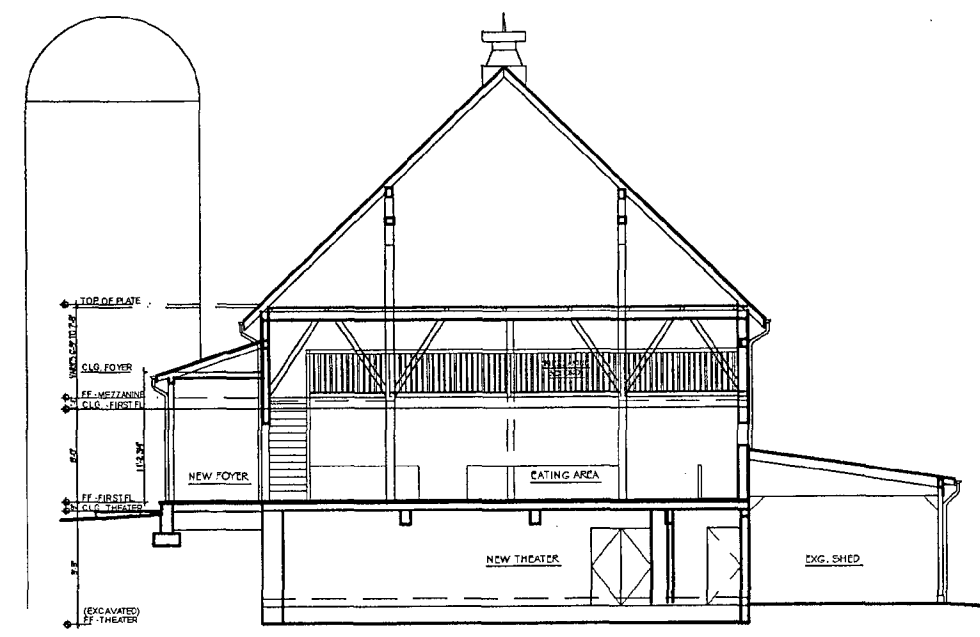
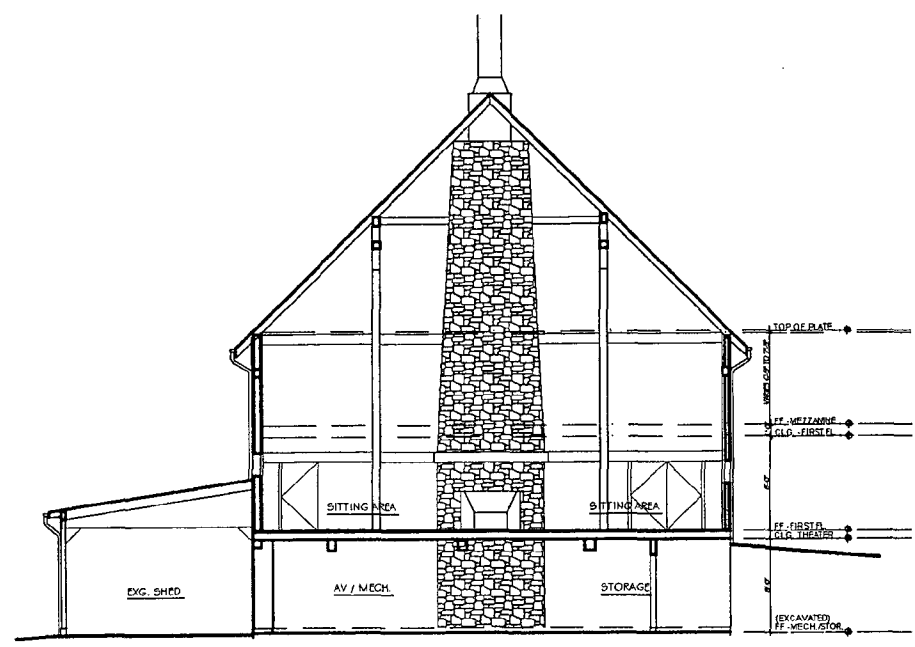
PROGRESS SET - January 18, 2006

Project:
PARTY BARN AT TUSCULUM FARMS

4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

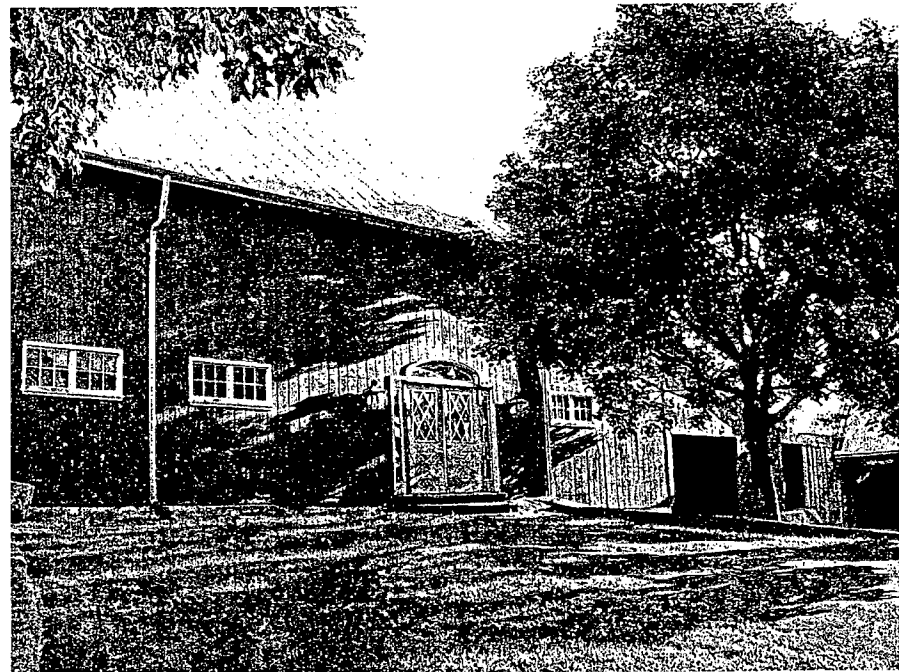
Drawings:
NEW SECTIONS

Dates:
AS BUILTS OCT 05
SCHEMATICS OCT 05



PROGRESS SET - January 18, 2006

FREEMAN PARTY BARN PHOTOS - JANUARY 18, 2006



EXISTING NORTH ELEVATION OF PARTY BARN



EXISTING EAST ELEVATION OF PARTY BARN



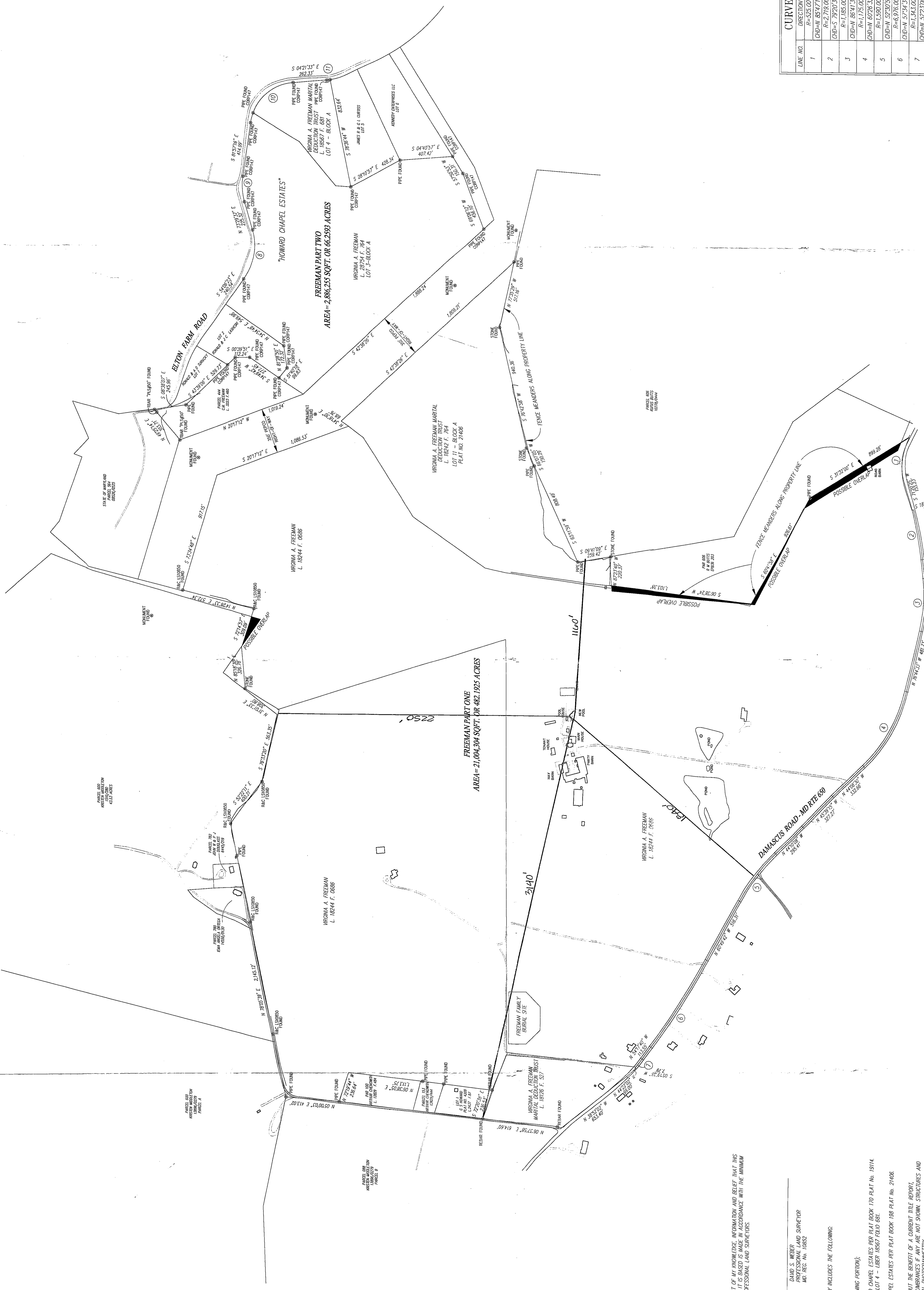
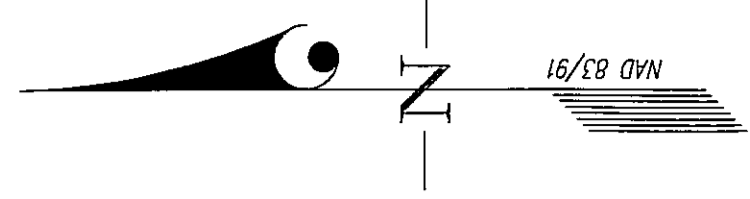
LOOKING NORTH (PARTY BARN TO WEST)



EXISTING SOUTH ELEVATION OF PARTY BARN



LOOKING TO WEST



LINE NO.	DIRECTION	DISTANCE	DELTA/TAN
1	CHD-N 853.719° W	L=498.14	Δ=154.435°
2	R=2,719.00° W	L=301.17	Δ=107.146°
3	CHD-S 792.03° W	L=380.06	Δ=150.907°
4	R=1,175.00° W	L=409.59	Δ=153.539°
5	CHD-N 853.719° W	L=409.59	Δ=153.539°
6	R=1,175.00° W	L=409.59	Δ=153.539°
7	CHD-S 792.03° W	L=409.59	Δ=153.539°
8	R=2,719.00° W	L=409.59	Δ=153.539°
9	CHD-N 853.719° W	L=409.59	Δ=153.539°
10	R=1,175.00° W	L=409.59	Δ=153.539°
11	CHD-S 792.03° W	L=409.59	Δ=153.539°

APPROVED
 MONTGOMERY COUNTY
 JUL 10 2004

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED IS MADE IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS.

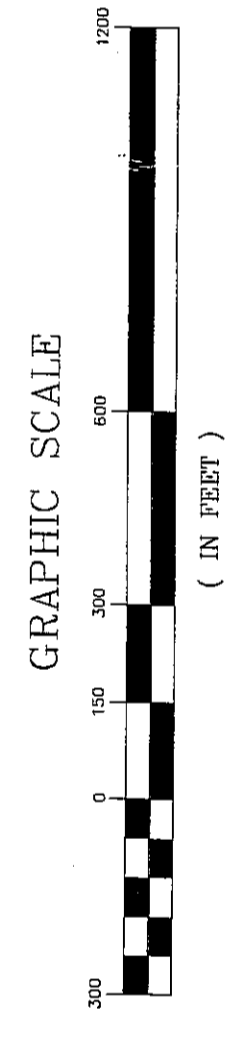
DATE: _____
 DAVID S. WEBER, LAND SURVEYOR
 MD REG. NO. 10852

THE LAND COMPRISING THIS SURVEY INCLUDES THE FOLLOWING:
 1) LOTS 1025 FOLD 527;
 2) LOTS 1024 FOLD 686 (REMAINING PORTION);
 3) LOTS 3 & 4, BLOCK A, THORWARD CHAPEL ESTATES PER PLAT BOOK 170 PLAT No. 1914, LOT 3 - L&R 2025 FOLD 704, LOT 4 - L&R 1825 FOLD 681;
 4) LOT 11, BLOCK A, THORWARD CHAPEL ESTATES PER PLAT BOOK 198 PLAT No. 21406.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT, EASEMENTS/RIGHTS-OF-WAY/ENCUMBRANCES IF ANY ARE NOT SHOWN, STRUCTURES AND FARM ROADS ARE SHOWN PER AERIAL PHOTOGRAMMETRY.

THERE IS POSSIBLY A PRESCRIPTIVE EASEMENT FOR DAMASCUS ROAD - MD RTE 650 OVER A STRIP OF THE SUBJECT PROPERTY.

THERE ARE UTILITIES CROSSING THE SUBJECT PROPERTY THAT ARE NOT SHOWN.



PREPARED FOR:
 JESSY FREEMAN
 4609 DAMASCUS - LAYTONVILLE ROAD
 SUNSHINE, MARYLAND 20885

PREPARED BY:
 DAVID S. WEBER
 LAND SURVEYOR
 MD REG. NO. 10852

DATE: NOVEMBER 2004

TAX MAP - ORD: HY-11W

ZONING: _____

SCALE: 1"=300'

G. L. W. FILE No.: 00-058

SHEET: _____

1 OF 1

PLAT OF BOUNDARY SURVEY - WORKSHEET
FREEMAN PROPERTY
 LAYTONVILLE ELECTRIC DISTRICT No. 1
 MONTGOMERY COUNTY, MARYLAND

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, ARCHITECTS, ENVIRONMENTAL SCIENTISTS
 300 NATIONAL BANK - SELLERS BUILDING
 EASTWILMINGTON, MARYLAND 20814
 TEL: 301-411-8000 FAX: 301-411-1066
 WWW.GLW-ENGINEERS.COM

DATE: _____
 DESIGNED BY: _____
 CHECKED BY: _____
 DRAWN BY: _____
 APPR. BY: _____

DATE: _____
 DESIGNED BY: _____
 CHECKED BY: _____
 DRAWN BY: _____
 APPR. BY: _____



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MICHE BOOZ
Daytime Phone No.: 301-774-6911

Tax Account No.: 0002841

Name of Property Owner: JOSE FREEMAN Daytime Phone No.: 240-779-8000

Address: 4601 DAMASCUS RD GAITHERSBURG, MD 20892
Street Number City Street Zip Code

Contractor: MIKE LOFREN Phone No.: 301-948-3277

Contractor Registration No.:

Agent for Owner: MICHE BOOZ Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PREMISE

House Number: 4601 Street: DAMASCUS ROAD

Town/City: GAITHERSBURG Nearest Cross Street: GRIFFITH ROAD

Lot: Block: Subdivision: 1

Liber: Folio: Parcel: P444

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ UNKNOWN

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

1-18-06
Date

Approved: [Signature] For Chairman of Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 2-9-06

Application/Permit No.: 409313 Date Filed: _____ Date Issued: _____



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-5370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MICHE BOOZ
Daytime Phone No.: 301-774-6911

Tax Account No.: 0002841

Name of Property Owner: JOSE FREEMAN Daytime Phone No.: 240-779-8000

Address: 4601 DAMASCUS RD GAITHERSBURG, MD 20892
Street Number City State Zip Code

Contractor: MILKE LOFUREN Phone No.: 301-948-3277

Contractor Registration No.: _____

Agent for Owner: MICHE BOOZ Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PREMISE

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Lot: _____ Block: _____ Subdivision: 1

Liber: _____ Folio: _____ Parcel: P444

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
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- Move
- Install
- Wreck/Raze
- Revison
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ UNKNOWN

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet 0 inches 5 6'-0"

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Booz
Signature of owner or authorized agent

1.18.06
Date

Approved: For Chairperson Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 2-9-06

Application/Permit No.: 409315 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 2/9/2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #409315, pool, pool house and new storage building

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the 2/8/2006 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Josh Freeman

Address: 4601 Damascus Rd, Gaithersburg

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	4601 Damascus Road, Unity	Meeting Date:	02/08/06
Applicant:	Josh Freeman (Miche Booz, AIA)	Report Date:	02/01/06
Resource:	<i>Master Plan Site # 23/15</i> Tusculum Farm	Public Notice:	01/25/06
Review:	HAWP	Tax Credit:	Partial
Case Number:	23/15-06B	Staff:	Anne Fothergill

PROPOSAL: Alterations to pool house and new sauna/storage building

RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan Site # 23/15 Tusculum Farm/Griffith-Hutton House*

Excerpt from the Maryland Inventory of Historic Properties form:

The property known alternatively as Tusculum or the Griffith-Hutton House is located on a 219-acre parcel of land in rural Montgomery County. The property includes a large stone and frame farmhouse, parts of which may date to the 18th century and an important collection of dairy barns, one built by master-builder August Priebe. The environmental setting is 25 acres, and the house and three historic barns are contributing resources.

Tradition maintains that the original log house at Tusculum was built in 1747 by patriot Henry Griffith. Henry Griffith was a prominent Marylander who was Justice of the Lower Court of Frederick County, Moderator of the Hungerford Tavern meeting in 1774, and Member of the Annapolis Convention that formed the Association of Freemen of Maryland. Griffith also witnessed the signing of the Declaration of Independence.

The main house at Tusculum is a 2-1/2 story cross gable stone and frame structure that is the product of several building campaigns. The oldest part of the house appears to be the principal stone wing, though the frame ell attached to it may occupy the site of an earlier log structure, and even incorporate aspects of it into its walls. The stone wing (today's main block) was built circa 1797. Additionally, an important group of agricultural buildings is located west of the main dwelling and includes two barns with silos and a stable. An addition to the west side of the house was approved by the HPC and constructed in 2003.

BACKGROUND

The HPC approved a HAWP in May 2005 for a number of alterations to various buildings at Tusculum Farm including changes to the pool house, pool, and pool area as well as construction of a new separate sauna building and outdoor shower. The applicants now are requesting HPC approval for new plans for the pool house and sauna buildings.

The alterations to and around the pool have not changed, and since they were approved in the 2005 HAWP they do not need additional review by the HPC. Specifically, the replacement pool, flagstone decking, and wrought iron fencing have all been approved by the HPC.

PROPOSAL

As mentioned in *Background*, the alterations to and around the pool were approved in the 2005 HAWP and therefore they do not need additional review by the HPC. This staff report will focus only on the new changes the applicant is proposing.

The applicants propose alterations to the non-contributing 12' x 26' pool house. These include changes to the exterior of the building including an extension in the building's height from 6'9" (top of existing block wall) to 9'3" (top of wall) and a new roof form with a cupola on top. The building will have Hardiplank siding over the existing CMU block, cedar shingle roofing, a cedar trellis off the south side, wood louvered entry doors, wood windows, wood transom, and wood trim.

Adjacent to the pool house they propose a low wooden gate and then a 6' stone wall leading to an outdoor shower and a new 12' x 12' sauna and storage building adjacent to the pool house. The stone sauna and storage building has a cedar shingle roof, wood casement window and double wood entry doors at the far end of the building. There are also stone walls and benches creating a garden and fountain area between the new building and the pool house.

STAFF DISCUSSION

Staff used the Secretary of the Interior's *Standards for Rehabilitation* as a guide, specifically:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The HPC approved a very similar proposal to this one in 2005 which included alterations to the pool house and new construction of a sauna building, and the changes proposed in this submission are essentially minor revisions to the approved plans. The proposed alterations to the pool house and the new small sauna/storage building would not adversely affect this resource. The pool area is set back from the historic buildings and these alterations would have minimal impact on the overall setting.

Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation* #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



RETURN TO: 25 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MICHE BOOZ
Daytime Phone No.: 301-774-6911

Tax Account No.: 0002841

Name of Property Owner: JOSE FREEMAN Daytime Phone No.: 240-779-8000

Address: 4601 DAMASCUS RD GAITHERSBURG, MD 20892
Street Number City State Zip Code

Contractor: MIKE LOFUREN Phone No.: 301-948-3277

Contractor Registration No.: _____
Agent for Owner: MICHE BOOZ Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PREMISE

House Number: 4601 Street: DAMASCUS ROAD
Town/City: GAITHERSBURG Nearest Cross Street: GRIFFITH ROAD
Lot: _____ Block: _____ Subdivision: 1
Liber: _____ Folio: _____ Parcel: P444

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revising Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ UNKNOWN

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet 0 inches & 6'-0"
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Booz
Signature of owner or authorized agent

1. 18. 06
Date

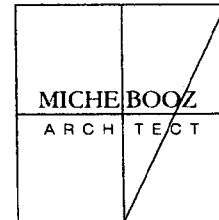
Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 409315 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

PROJECT: TUSCULUM FARM
ADDRESS: 4601 DAMASCUS ROAD
GAITHERSBURG, MD 20882
OWNER: JOSH FREEMAN
APPLICANT: MICHE BOOZ, ARCHITECT
DATE: January 18, 2006



ADJACENT PROPERTIES MAILING ADDRESSES

Alan Auslaender
4910 Damascus Road
Gaithersburg, MD 20882

John G. Hallman
5000 Damascus Road
Gaithersburg, MD 20882

Kristen Middleton
6300 Damascus Road
Gaithersburg, MD 20882

Andrew Balderson
4230 Damascus Road
Laytonsville, MD 20882

John P. Infante
4200 Damascus Road
Laytonsville, MD 20882

Ernest J. Moncada
4510 Damascus Road
Laytonsville, MD 20882

Ernest D. & C.R. Branson
4900 Damascus Road
Gaithersburg, MD 20882

Brenda A. Kolb
4300 Damascus Road
Laytonsville, MD 20882

Evan C. & S.P. Nudd
4920 Damascus Road
Gaithersburg, MD 20882

Rufus Butts
4015 Damascus Road
Gaithersburg, MD 20882

Kennedy Enterprises, LLC
10446 Waterfowl Terrace
Columbia, MD 21044

Iema Angela Ortega
5037 Damascus Road
Gaithersburg, MD 20882

Arthur Chenowith
5035 Damascus Road
Gaithersburg, MD 20882

Alfred & D.F. Lang
4410 Damascus Road
Laytonsville, MD 20882

Robert W. Payne
4810 Damascus Road
Gaithersburg, MD 20882

Glen P. Cook
4320 Damascus Road
Laytonsville, MD 20882

Ronald & J.C. Lasheski
4000 Elton Farm Road
Sunshine, MD 20833

Huntley H. Perry
4330 Damascus Road
Laytonsville, MD 20882

James R. & G.L. Curtiss
3610 Elton Farm Road
Brookeville, MD 20833

Gerald L. Mader
4420 Damascus Road
Laytonsville, MD 20882

State of Maryland (Parcel
564) Dept. of Natural
Resources
300 W. Preston Street, #
601
Baltimore, MD 21201

John W. & P.J. Douglass
5049 Damascus Road
Gaithersburg, MD 20882

Jose A.P. & M.A.C. Matos
4930 Damascus Road
Gaithersburg, MD 20882

Gregory & Donna M.P.
Eisenstadt
4010 Elton Farm Road
Brookeville, MD 20833

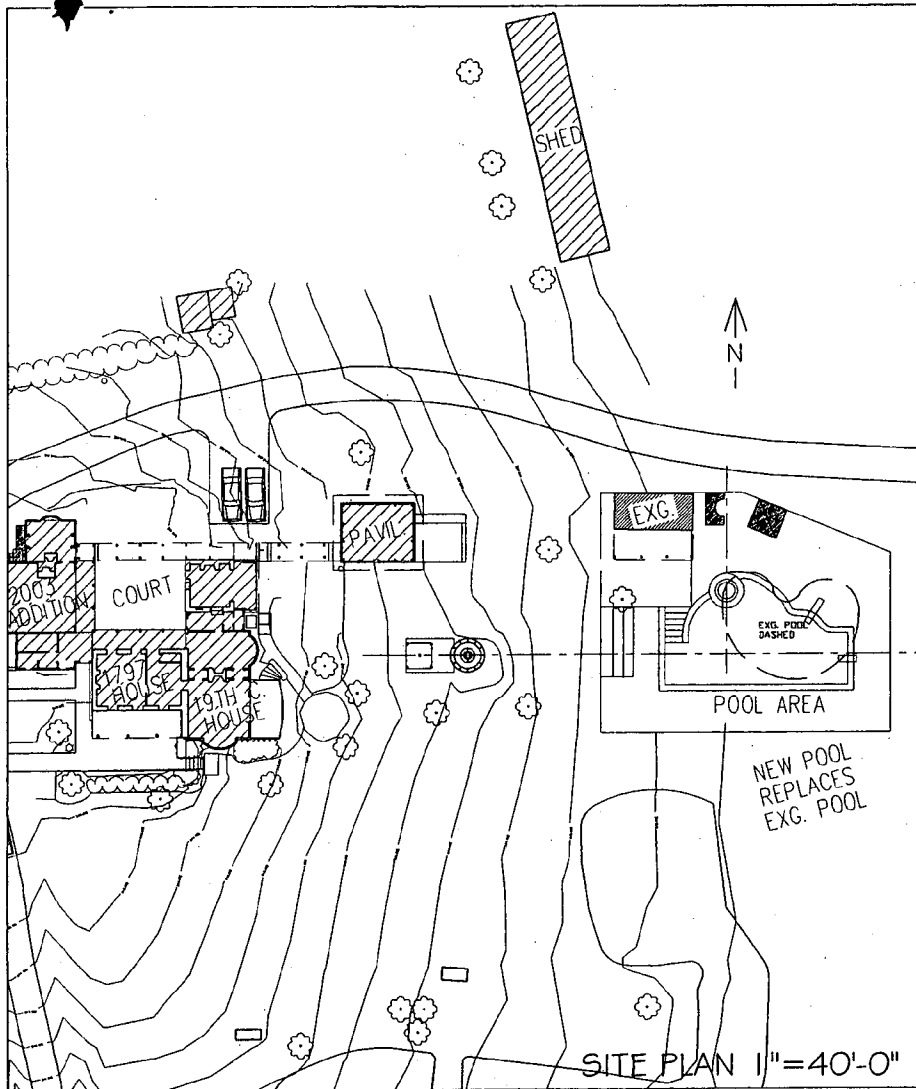
William M. Mayo
P.O. Box 172
Brookeville, MD 20833

William K. Zorr
4310 Damascus Road
Laytonsville, MD 20882

Kenneth E. Geary
4400 Damascus Road
Laytonsville, MD 20882

James McLaughlin
5233 Griffith Road
Laytonsville, MD 20882

This project is a remodeling of an existing non-historic pool house and a new pool to replace an existing pool. There is also the addition of a new storage building/sauna next to the existing pool house and trellis to the front of the existing pool house. The materials for the renovation will be consistent with the main house. The new pool will be in roughly the same location as the existing pool.



DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF
WIND LOAD:
90 MPH
CONCRETE WEATHERING:
SEVERE
TERMITE INFESTATION:
MODERATE TO HEAVY
DECAY PROBABILITY:
SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY:
B
FROST LINE DEPTH:
30 IN.
WINTER DESIGN TEMP:
13°F
FLOOD HAZARDS:
NO

SPECIES/GRADE OF FRAMING
LUMBER: SPRUCE PINE OR FIR
NO.1 OR NO.2

LOADS

ROOMS OTHER THAN SLEEPING:
MIN. 40 PSF
STAIRS:
MIN. 40 PSF
FLOOR/ CEILING DEFLECTION:
L/360

SQUARE FOOTAGE

ADDITION:
STORAGE SHED - 144 SF

POOL: NO NEW SF -
EXISTING FOOTPRINT

ABBREVIATIONS

ABOVE APPROXIMATE AT AVERAGES BEAM BETWEEN BLOCKING BOARD BOTTOM OF BRICK BUILDING CEILING CLEAN OUT COLUMN CONCRETE CONC. MASONRY UNIT CONTINUOUS DETAIL DIAMETER DIMENSION DDDR DOWNSPOUT EACH ELEVATION ENTRANCE EXISTING FEET FLOOR FOUNDATION GLASS GRADE HARDWOOD HEIGHT INCH INSULATION INTERIOR LIGHT MASONRY OPENING MEDICINE CABINET METAL MINIMUM MISCELLANEOUS NUMBER ON CENTER OPENING PAINTED PLYWOOD PLASTER PLATE ROUGH OPENING RISER ROOM SECTION SHEET STEEL STONE THRESHOLD THICKNESS TO MATCH EXISTING TOP OF TREAD TYPICAL UNDERSIOE WITH WOOD	ABV APPROX. @ AVG BM BET. BLKG BD B.O. BR. BLDG CLG C.O. COL. CONC. CMU CONT. DET. Ø DIM. DR D.S. EA. EL. ENT. EXG FT FL. FNDN GL. GR. HDWD HT IN. INSUL. INT. LT M.O. M.C. MET. MIN. MISC. NO. D.C. OPNG PTD PLYWD PLAS. PL. R.O. R. RM SEC. SHT STL ST. THRES. THK T.M.E. T.O. T. TYP. U/S W/ WD
---	--

INDEX OF DRAWINGS

CS.	COVER SHEET
A1	FLOOR PLAN -POOL AND POOLHOUSE
A2	FLOOR PLAN -POOLHOUSE
A2	ELEVATION -POOLHOUSE
A3	ELEVATION -POOLHOUSE

MICHE BOOZ
ARCHITECT
CS
209 Market St
Brykville
Maryland 20833
(301)774 6611
fax: 774 1908

Project:
FREEMAN POOL RENOVATION

4601 Damascus Road
Laytonsville, Maryland 20882
Montgomery County

Drawings:

Consultants:

General Contractor:

LOGREN CONSTRUCTION

Mechanical Contractor:

T.B.D.

Electrical Contractor:

T.B.D.

Code:

IRC 2003

POOL RENOVATION AT TUSCULUM FARM

4601 DAMASCUS ROAD, LAYTONSVILLE, MARYLAND 20882

1 NEW POOL & BLDG. PLANS
1/8" = 1'-0"

MICHE BOOZ

ARCHITECT
A1
209 Market St
Brydenville
Maryland 20833
(301) 774-6911
fax: 774-1908

Project:
FREEMAN POOL RENOVATION

4601 Damascus Road
Laytonsville, Maryland 20882

Montgomery County
NEW PLANS

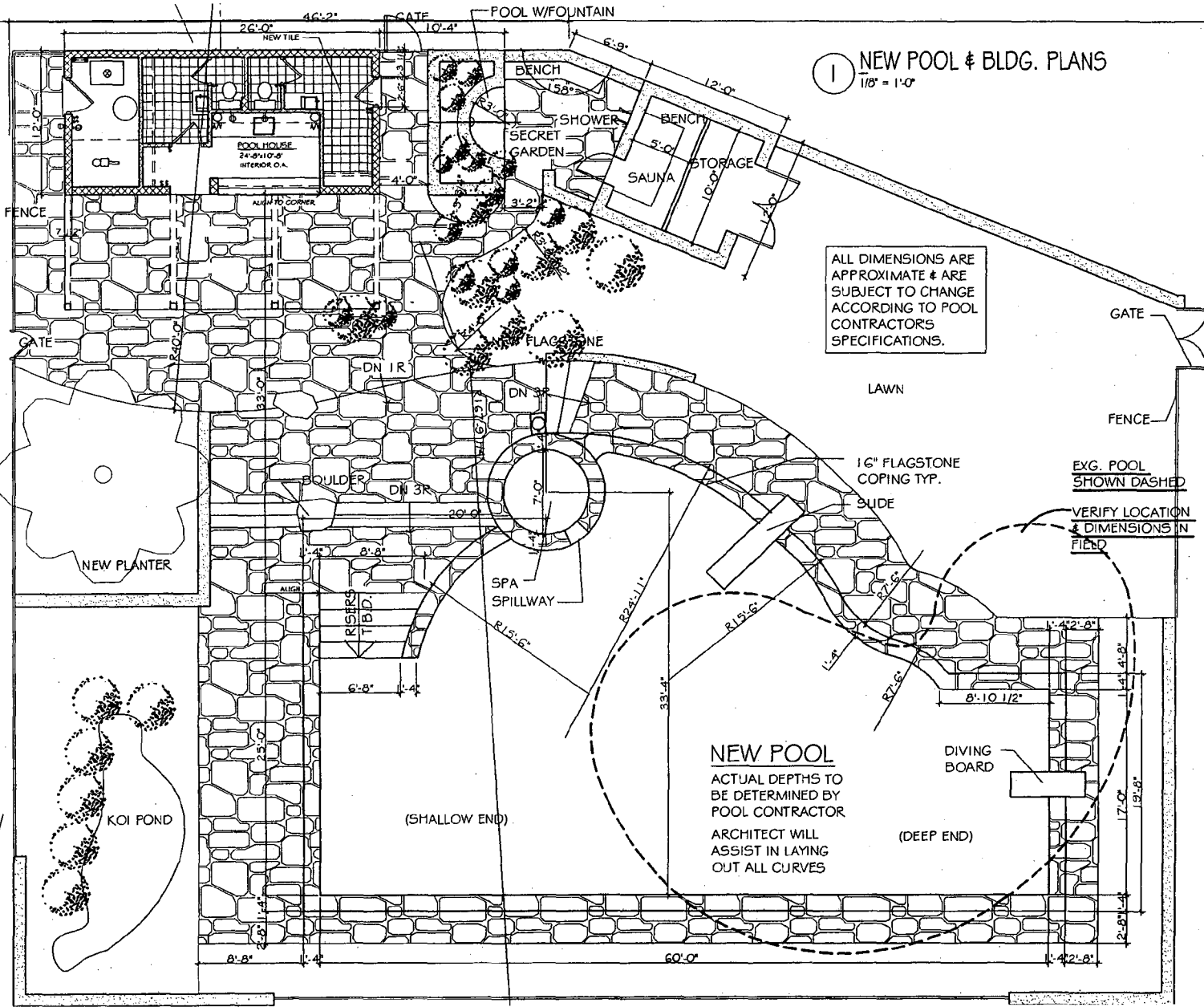
Drawings:
POOL/POOLHSE.

ALL DIMENSIONS ARE APPROXIMATE & ARE SUBJECT TO CHANGE ACCORDING TO POOL CONTRACTOR'S SPECIFICATIONS.

NEW POOL
ACTUAL DEPTHS TO BE DETERMINED BY POOL CONTRACTOR
ARCHITECT WILL ASSIST IN LAYING OUT ALL CURVES

EXG. POOL SHOWN DASHED

VERIFY LOCATION & DIMENSIONS IN FIELD



7

NOTES:

1. REPLACE EX. PLUMBING FIXTURES WITH NEW
2. REPLACE EX. DOORS WITH NEW.
3. NEW POOL EQUIPMENT AS REQUIRED BY CONTRACTOR.
4. REPLACE EX. ROOF

1 NEW POOL HOUSE PLAN
1/4" = 1'-0"

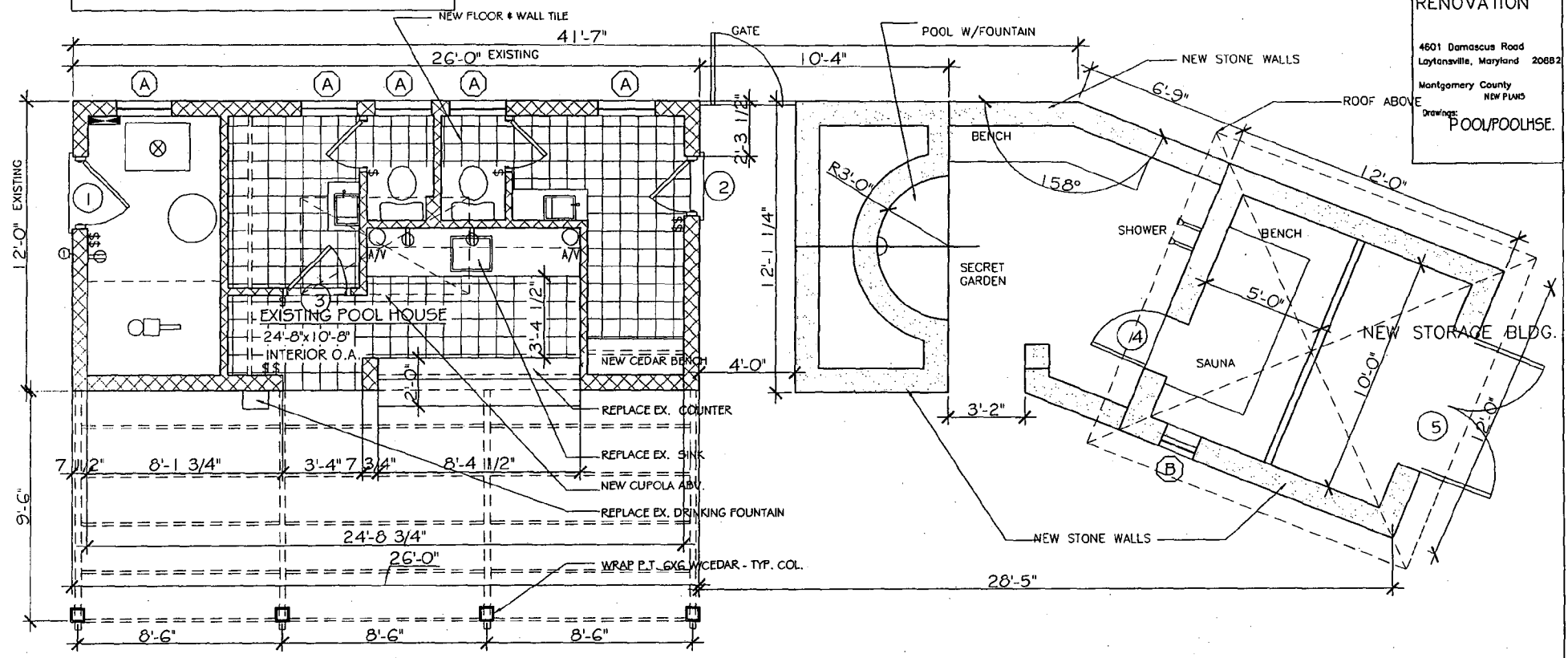
MICHE BOOZ

ARCHITECT
A2
208 Market St
Brykewille
Maryland 20833
301-774-6811
fax 774-1908

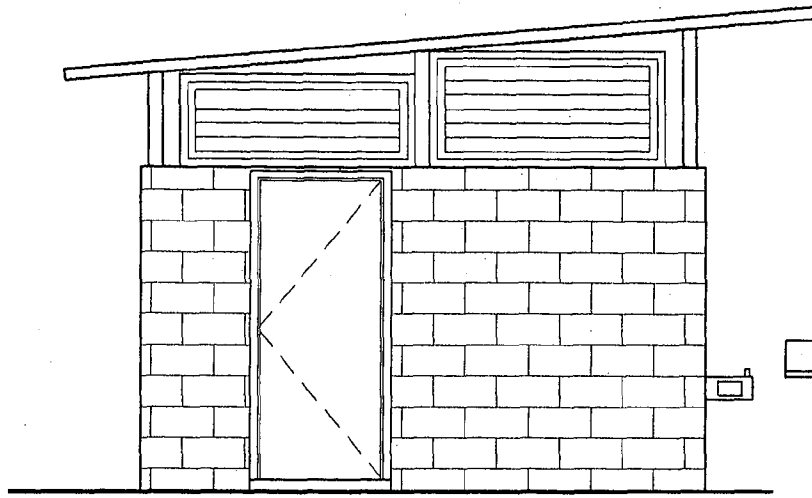
Project:
FREEMAN POOL RENOVATION

4601 Damascus Road
Laytonsville, Maryland 20882

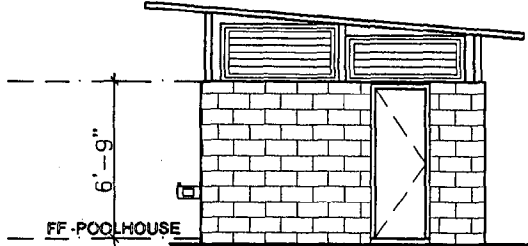
Montgomery County
NEW PLANS
Drawing:
POOL/POOLHSE.



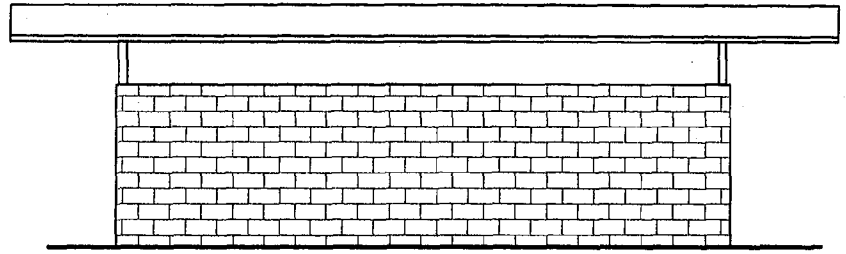
8



1 EXG. POOLHOUSE ELEV.-WEST
 $1/4" = 1'-0"$



2 EXG. POOLHOUSE ELEV.-EAST
 $1/8" = 1'-0"$



3 EXG. POOLHOUSE ELEV.-NORTH
 $1/8" = 1'-0"$



~~2~~ 4 EXG. POOLHOUSE ELEV.-SOUTH
 $1/4" = 1'-0"$

MICHE BOOZ
 ARCHITECT
 208 Market St
 Brooklyn
 Maryland 20833
 (301) 774 8911
 fax: 774 1908

Project:
TUSCULUM FARM
 4801 Damascus Rd.
 Laytonville, MD 20882

Drawing: AS-BUILT ELEVS.
 Date: 20 APR 05

POOL/POOLHSE.

MICHE BOOZ

ARCHITECT

A3

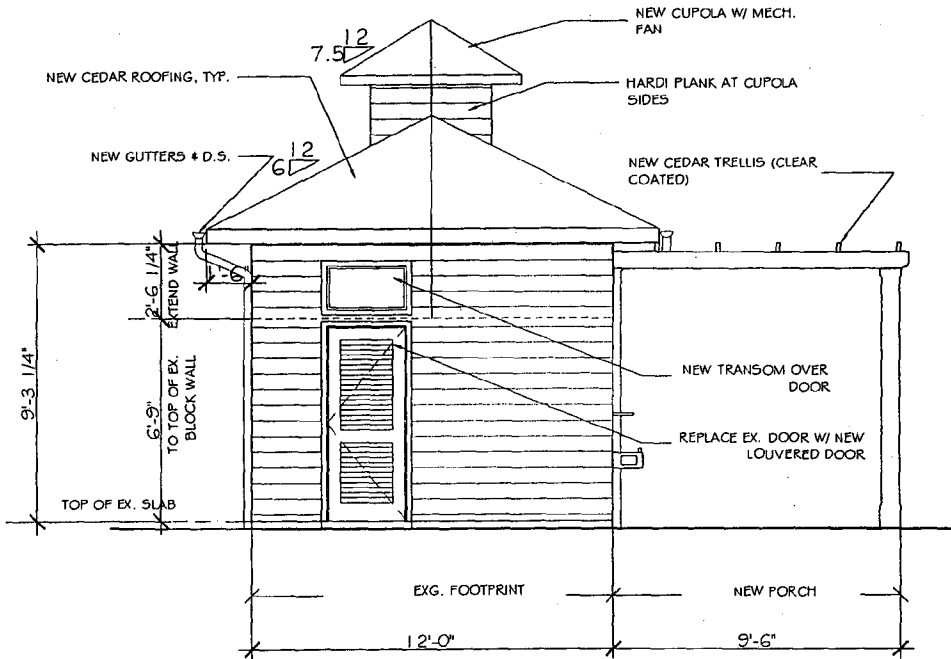
206 Marlton St
Brykville
Maryland 20833
(301) 774-8811
fax: 774-1908

Project:
FREEMAN POOL
RENOVATION

4601 Damascus Road
Laytonsville, Maryland 20882

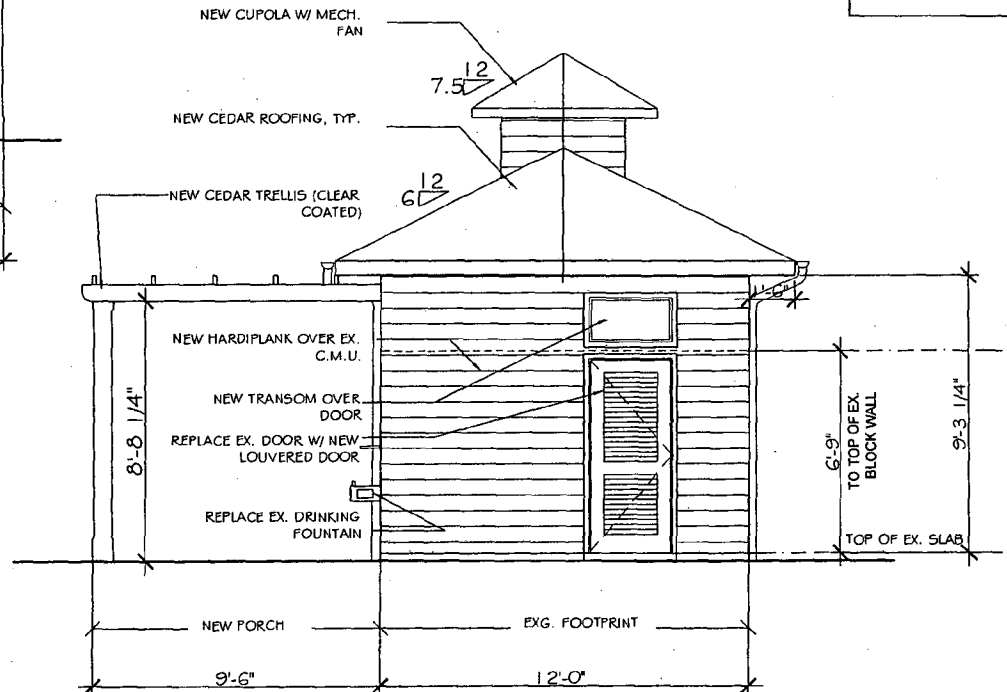
Montgomery County
NEW PLANS

Drawing:
POOL/POOLHSE.



WEST ELEVATION - POOLHOUSE

1/4" = 1'-0"



EAST ELEVATION - POOLHOUSE

1/4" = 1'-0"

16

MICHE BOOZ

ARCHITECT

A4

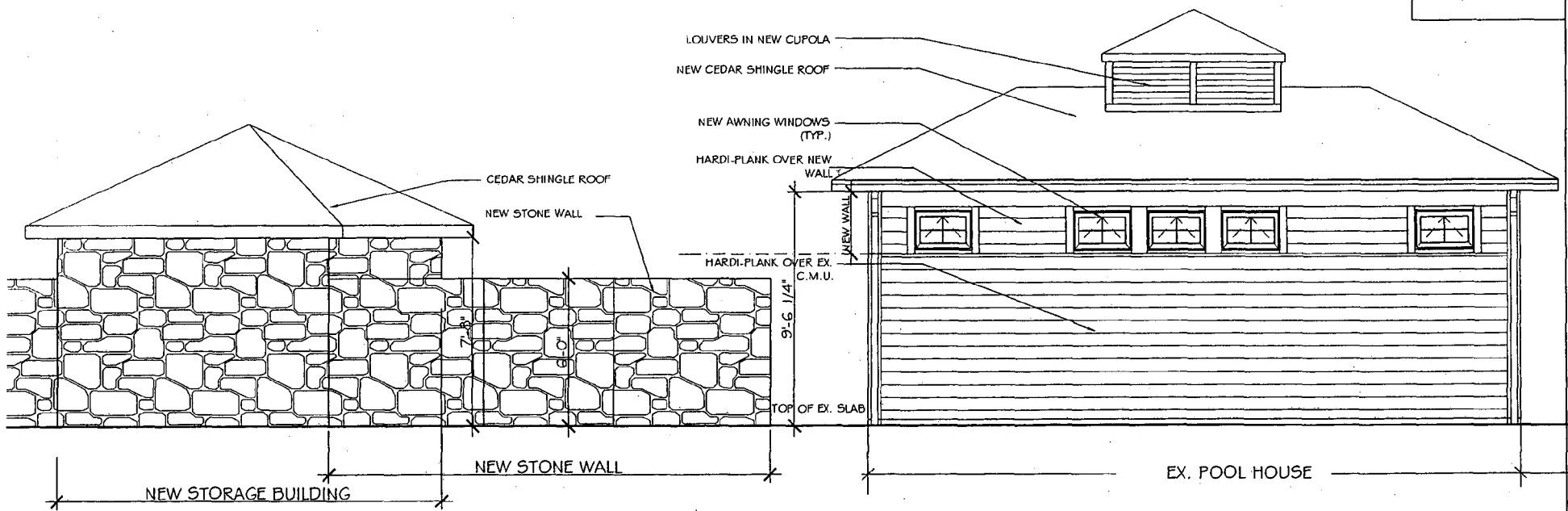
208 Market St
Baltimore
Maryland 20833
Tel: 774 6811
Fax: 774 1908

Project:
FREEMAN POOL
RENOVATION

4601 Damascus Road
Laytonsville, Maryland 20882

Montgomery County
NEW PLANS

Drawings:
POOL/POOLHSE.



NORTH ELEVATION - POOLHOUSE
1/4" = 1'-0"

11

MICHEBOOZ

ARCHITECT

A5

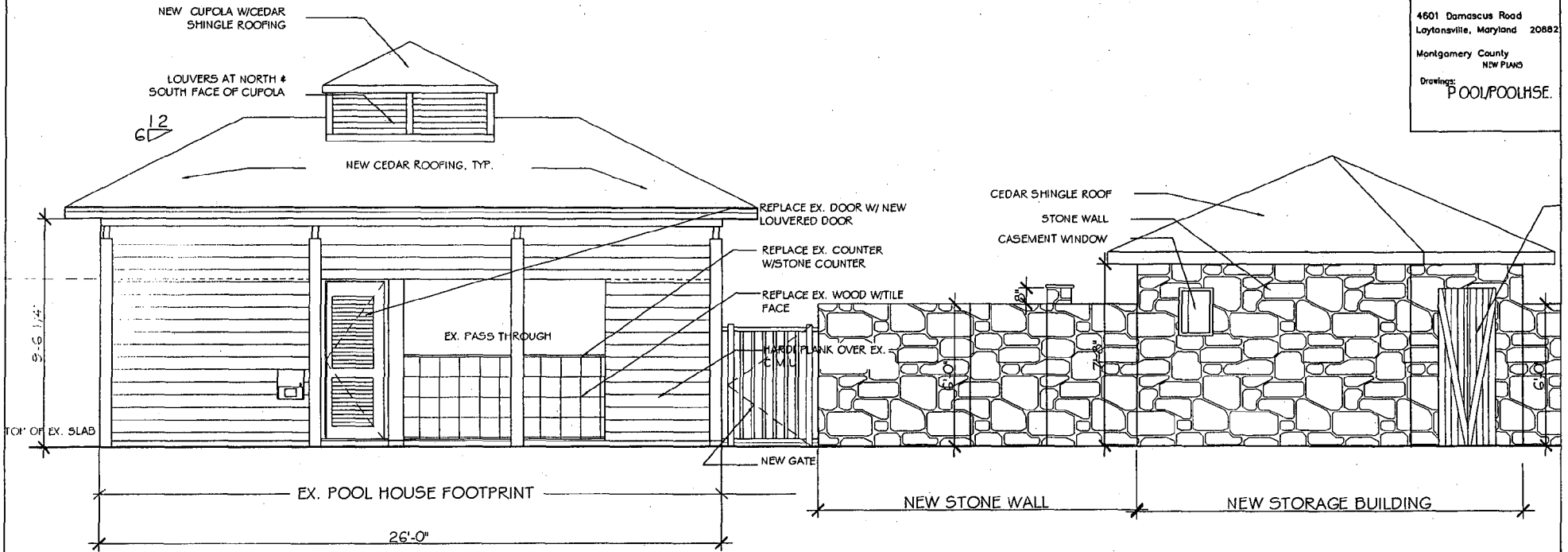
208 Market St
Brykawnville
Maryland 20833
(301)774-6811
fax: 774-1908

Project:
FREEMAN POOL
RENOVATION

4601 Damascus Road
Laytonsville, Maryland 20882

Montgomery County
NEW PLANS

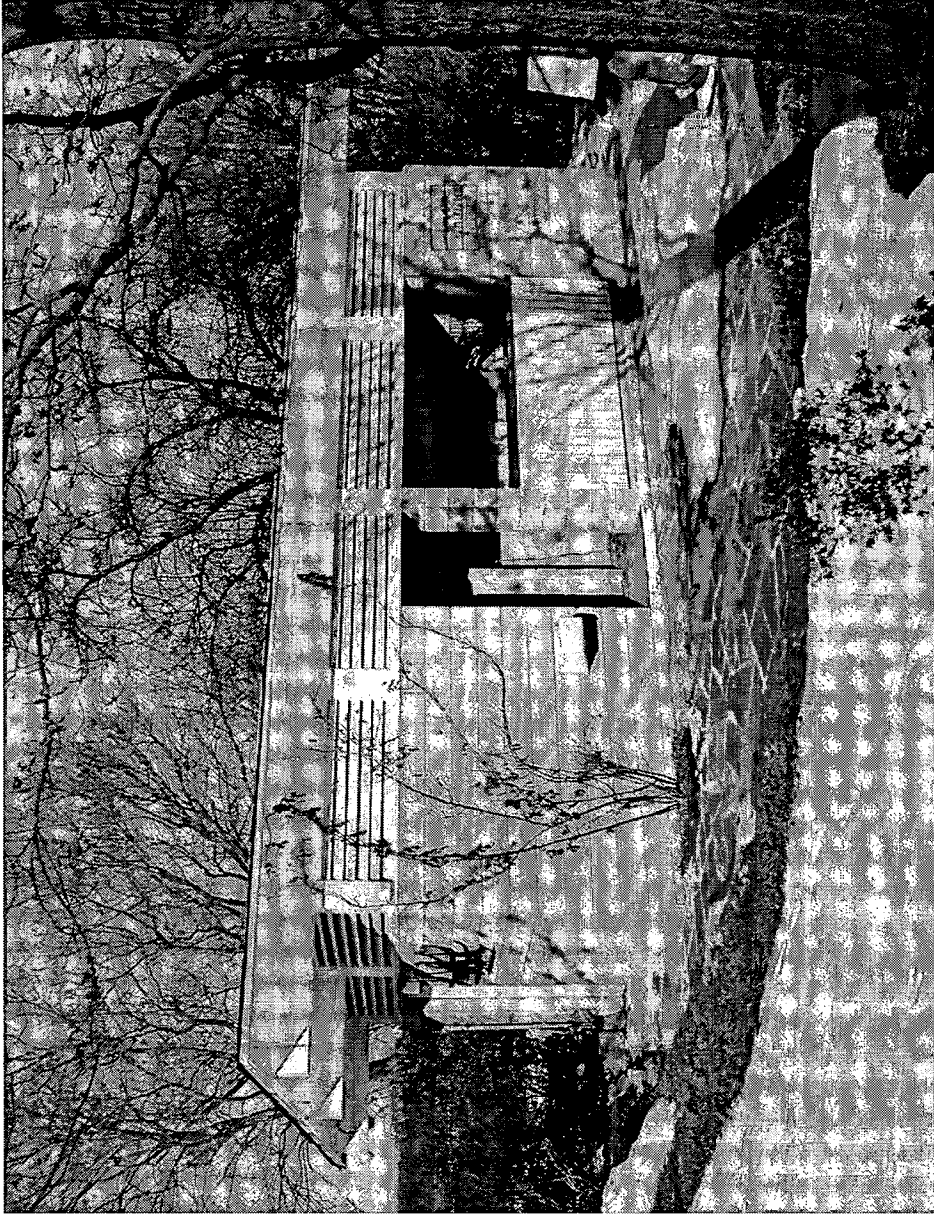
Drawings:
POOL/POOLHSE.



SOUTH ELEVATION - POOLHOUSE

1/4" = 1'-0"

21



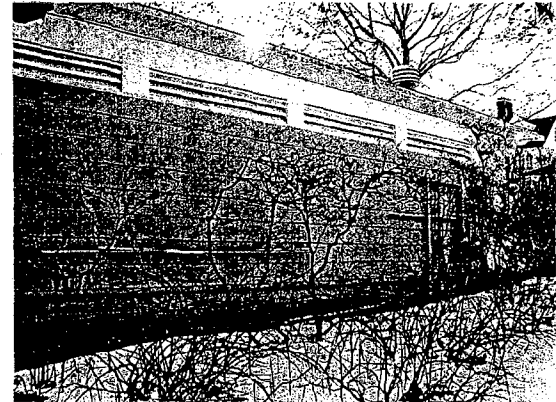
FREEMAN POOL AND POOLHOUSE PHOTOS - JANUARY 18, 2006



EXISTING SOUTH ELEVATION OF POOLHOUSE



EXISTING POOLHOUSE AND POOL FROM SOUTH



EXISTING NORTH ELEVATION OF POOLHOUSE






EXISTING WEST ELEVATION OF POOLHOUSE

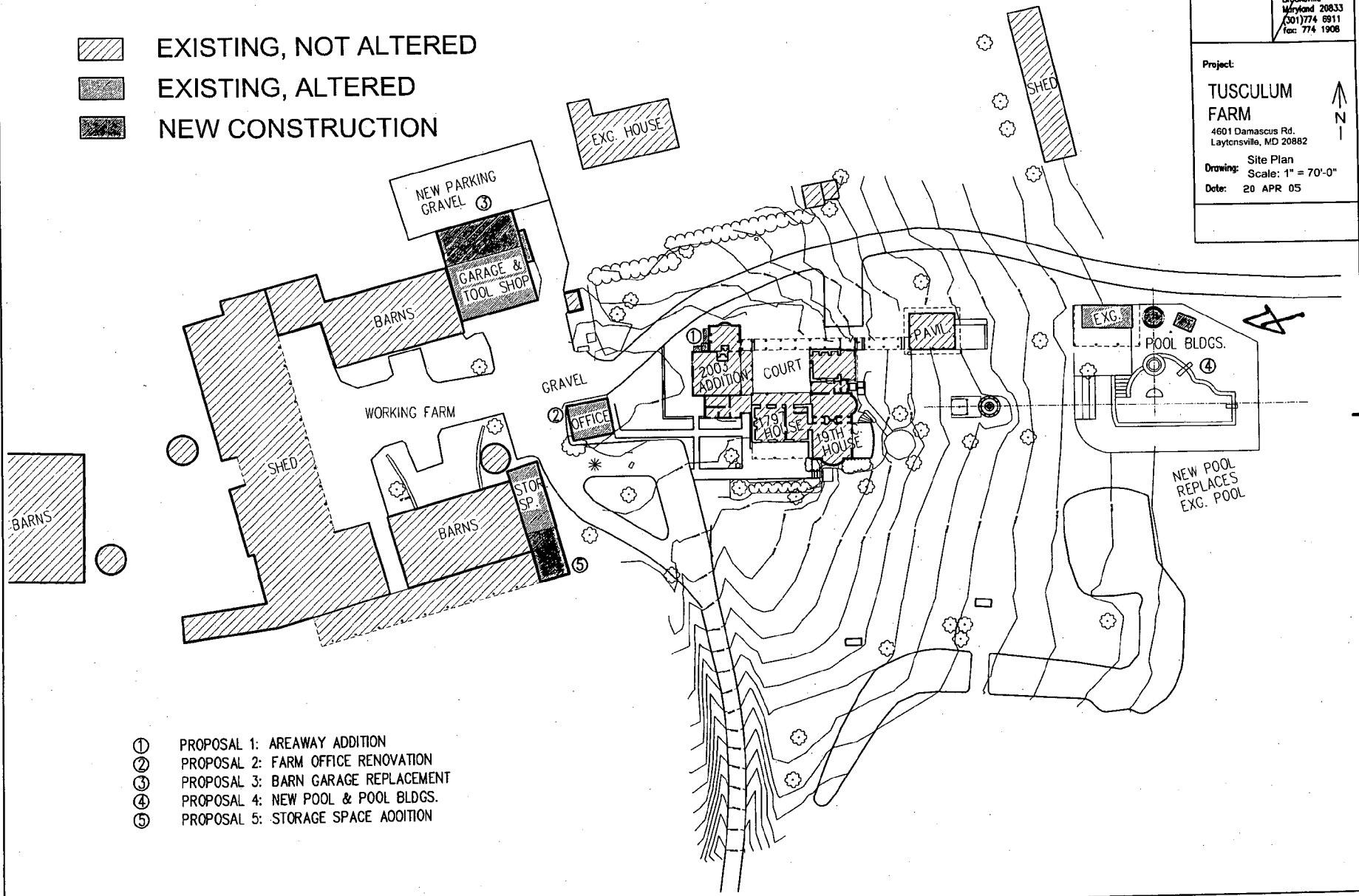


EXISTING POOL LOOKING SOUTH

MICHE BOOZ
 ARCHITECT
 208 Market St
 Brykewille
 Maryland 20833
 (301)774 6911
 fax: 774 1908

Project:
TUSCULUM FARM
 4601 Damascus Rd.
 Laytonville, MD 20882
 Drawing: Site Plan
 Scale: 1" = 70'-0"
 Date: 20 APR 05

-  EXISTING, NOT ALTERED
-  EXISTING, ALTERED
-  NEW CONSTRUCTION



- ① PROPOSAL 1: AREAWAY ADDITION
- ② PROPOSAL 2: FARM OFFICE RENOVATION
- ③ PROPOSAL 3: BARN GARAGE REPLACEMENT
- ④ PROPOSAL 4: NEW POOL & POOL BLDGS.
- ⑤ PROPOSAL 5: STORAGE SPACE ADDITION

HPL approved 2005

15
 16



HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 2/9/2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #409313, Alterations to barn

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the 2/8/2006 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Josh Freeman

Address: 4601 Damascus Rd, Gaithersburg

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	4601 Damascus Road, Unity	Meeting Date:	02/08/06
Applicant:	Josh Freeman (Miche Booz, AIA)	Report Date:	02/01/06
Resource:	<i>Master Plan Site # 23/15</i> Tusculum Farm	Public Notice:	01/25/06
Review:	HAWP	Tax Credit:	Partial
Case Number:	23/15-06A	Staff:	Anne Fothergill

PROPOSAL: Alterations and addition to barn

RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan Site # 23/15 Tusculum Farm/Griffith-Hutton House*

Excerpt from the Maryland Inventory of Historic Properties form:

The property known alternatively as Tusculum or the Griffith-Hutton House is located on a 219-acre parcel of land in rural Montgomery County. The property includes a large stone and frame farmhouse, parts of which may date to the 18th century and an important collection of dairy barns, one built by master-builder August Priebe. The environmental setting is 25 acres, and the house and three historic barns are contributing resources.

Tradition maintains that the original log house at Tusculum was built in 1747 by patriot Henry Griffith. Henry Griffith was a prominent Marylander who was Justice of the Lower Court of Frederick County, Moderator of the Hungerford Tavern meeting in 1774, and Member of the Annapolis Convention that formed the Association of Freemen of Maryland. Griffith also witnessed the signing of the Declaration of Independence.

The main house at Tusculum is a 2-1/2 story cross gable stone and frame structure that is the product of several building campaigns. The oldest part of the house appears to be the principal stone wing, though the frame ell attached to it may occupy the site of an earlier log structure, and even incorporate aspects of it into its walls. The stone wing (today's main block) was built circa 1797. Additionally, an important group of agricultural buildings is located west of the main dwelling and includes two barns with silos and a stable. An addition to the west side of the house was approved by the HPC and constructed in 2003.

BACKGROUND

On December 7, 2005 the HPC reviewed proposed alterations to the party barn at a preliminary level. At that meeting the HPC was very supportive of the proposal and recommended the applicant proceed to a HAWP application. The transcript is in Circles 14-16.

PROPOSAL

The applicants are proposing a front entry foyer addition to the party barn as well as a new metal flue. The foyer addition will be clad in board and batten siding and will have a standing seam metal roof and wood vertical board doors. There will be some new board and batten siding installed on the barn to cover an existing opening. The plans are in Circles 6-12.

Additionally, the applicants plan to make a number of structural improvements and repairs to the barn which do not require a HAWP, including installing a new standing seam metal roof.

An axonometric drawing showing the front foyer addition to the party barn is in Circle 7.

STAFF DISCUSSION

Staff used the Secretary of the Interior’s *Standards for Rehabilitation* as a guide, specifically:

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided;

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The HPC was very supportive of the proposed alterations and structural improvements and the foyer addition to the party barn when they reviewed it in December 2005. The current proposal has not changed from what the HPC saw at that time.

The barn is located far from the road, and the foyer addition is on the courtyard side of the barn and would not be visible from the street. The structural work, repairs, and material changes that the applicant plans to do are all improvements to the historic barn. The proposal for alterations to the barn would not adversely affect the historic resource and staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior’s *Standards for Rehabilitation* #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: MICHE BOOZ

Daytime Phone No.: 301-774-6911

Tax Account No.: 0002841

Name of Property Owner: JOSE FREEMAN Daytime Phone No.: 240-779-8000

Address: 4601 DAMASCUS RD GAITHERSBURG, MD 20892
Street Number City Street Zip Code

Contractor: MIKE LOFREEN Phone No.: 301-948-3277

Contractor Registration No.: _____

Agent for Owner: MICHE BOOZ Daytime Phone No.: 301-774-6911

LOCATION OF BUILDING/PREMISE

House Number: 4601 Street: DAMASCUS ROAD

Town/City: GAITHERSBURG Nearest Cross Street: GRIFFITH ROAD

Lot: _____ Block: _____ Subdivision: 1

Liber: _____ Folio: _____ Parcel: P444

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Well (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ UNKNOWN

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

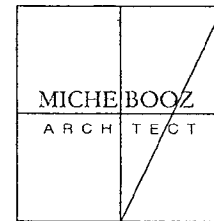
1.18.06
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 409313 Date Filed: _____ Date Issued: _____

PROJECT: TUSCULUM FARM
ADDRESS: 4601 DAMASCUS ROAD
GAITHERSBURG, MD 20882
OWNER: JOSH FREEMAN
APPLICANT: MICHE BOOZ, ARCHITECT
DATE: January 18, 2006



ADJACENT PROPERTIES MAILING ADDRESSES

Alan Auslaender
4910 Damascus Road
Gaithersburg, MD 20882

John G. Hallman
5000 Damascus Road
Gaithersburg, MD 20882

Kristen Middleton
6300 Damascus Road
Gaithersburg, MD 20882

Andrew Balderson
4230 Damascus Road
Laytonsville, MD 20882

John P. Infante
4200 Damascus Road
Laytonsville, MD 20882

Ernest J. Moncada
4510 Damascus Road
Laytonsville, MD 20882

Ernest D. & C.R. Branson
4900 Damascus Road
Gaithersburg, MD 20882

Brenda A. Kolb
4300 Damascus Road
Laytonsville, MD 20882

Evan C. & S.P. Nudd
4920 Damascus Road
Gaithersburg, MD 20882

Rufus Butts
4015 Damascus Road
Gaithersburg, MD 20882

Kennedy Enterprises, LLC
10446 Waterfowl Terrace
Columbia, MD 21044

Iema Angela Ortega
5037 Damascus Road
Gaithersburg, MD 20882

Arthur Chenowith
5035 Damascus Road
Gaithersburg, MD 20882

Alfred & D.F. Lang
4410 Damascus Road
Laytonsville, MD 20882

Robert W. Payne
4810 Damascus Road
Gaithersburg, MD 20882

Glen P. Cook
4320 Damascus Road
Laytonsville, MD 20882

Ronald & J.C. Lasheski
4000 Elton Farm Road
Sunshine, MD 20833

Huntley H. Perry
4330 Damascus Road
Laytonsville, MD 20882

James R. & G.L. Curtiss
3610 Elton Farm Road
Brookeville, MD 20833

Gerald L. Mader
4420 Damascus Road
Laytonsville, MD 20882

State of Maryland (Parcel
564) Dept. of Natural
Resources
300 W. Preston Street, #
601
Baltimore, MD 21201

John W. & P.J. Douglass
5049 Damascus Road
Gaithersburg, MD 20882

Jose A.P. & M.A.C. Matos
4930 Damascus Road
Gaithersburg, MD 20882

Gregory & Donna M.P.
Eisenstadt
4010 Elton Farm Road
Brookeville, MD 20833


William M. Mayo
P.O. Box 172
Brookeville, MD 20833


William K. Zorr
4310 Damascus Road
Laytonsville, MD 20882


Kenneth E. Geary
4400 Damascus Road
Laytonsville, MD 20882

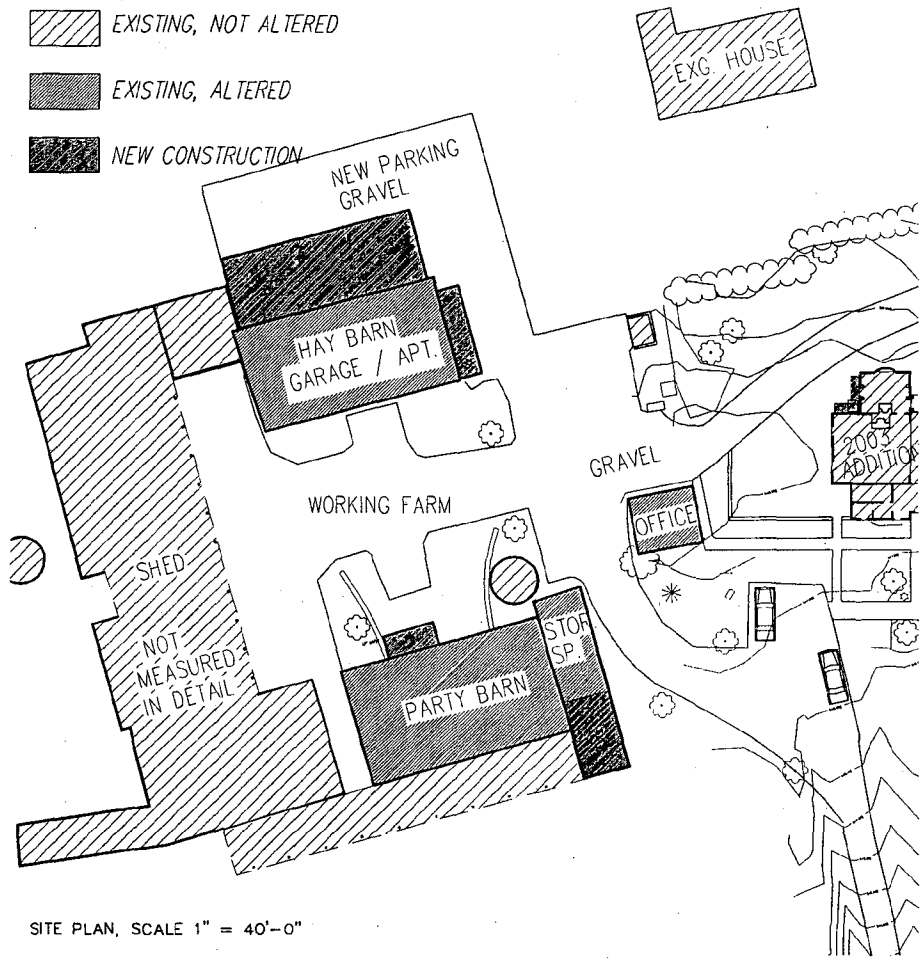
James McLaughlin
5233 Griffith Road
Laytonsville, MD 20882

This project is a remodeling of an existing barn built during the late 19th century. The current barn has some structural issues and these would be repaired. The barn is currently being used as a large entertainment space. The owner would like to maintain and upgrade the facility for that use on the main level. On the lower level the owner would like to put in a home theatre for his family. The exterior changes are minimal; they include a foyer on the north elevation and a new metal flue. We are also adding some additional board and batten siding to cover an existing opening. The materials and finishing will match those of the approved alterations to the farm office structure

 EXISTING, NOT ALTERED

 EXISTING, ALTERED

 NEW CONSTRUCTION



SITE PLAN, SCALE 1" = 40'-0"

DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF
WIND LOAD:
90 MPH
CONCRETE WEATHERING:
SEVERE
TERMITE INFESTATION:
MODERATE TO HEAVY
DECAY PROBABILITY:
SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY:
B
FROST LINE DEPTH:
30 IN.
WINTER DESIGN TEMP:
13°F
FLOOD HAZARDS:
NO

SPECIES/GRADE OF FRAMING
LUMBER: SPRUCE PINE OR FIR
NO.1 OR NO.2

LOADS

ROOMS OTHER THAN SLEEPING:
MIN. 40 PSF
STAIRS:
MIN. 40 PSF
FLOOR/ CEILING DEFLECTION:
L/360

SQUARE FOOTAGE

ADDITION:
1ST FLOOR: SF
2ND FLOOR: SF
TOTAL: SF

ABBREVIATIONS

ABOVE APPROXIMATE AT	ABV APPROX.
AVERAGES	AVG
BEAM	BM
BETWEEN	BET.
BLOCKING	BLKG
BOARD	BD
BOTTOM OF	B.O.
BRICK	BR.
BUILDING	BLDG
CEILING	CLG
CLEAN OUT	C.O.
COLUMN	COL.
CONCRETE	CONC.
CONC. MASONRY UNIT	CMU
CONTINUOUS	CONT.
DETAIL	DET.
DIAMETER	Ø
DIMENSION	DIM.
DOOR	DR
DOWNSPOUT	D.S.
EACH	EA.
ELEVATION	EL.
ENTRANCE	ENT.
EXISTING	EXG
FEET	FT
FLOOR	FL.
FOUNDATION	FNDR
GLASS	GL.
GRADE	GR.
HARDWOOD	HDWD
HEIGHT	HT
INCH	IN.
INSULATION	INSUL
INTERIOR	INT.
LIGHT	LT
MASONRY OPENING	M.O.
MEDICINE CABINET	M.C.
METAL	MET.
MINIMUM	MIN.
MISCELLANEOUS	MISC.
NUMBER	NO.
ON CENTER	O.C.
OPENING	OPNG
PAINTED	PTD
PLYWOOD	PLYWD
PLASTER	PLAS.
PLATE	PL.
ROUGH OPENING	R.O.
RISER	R.
ROOM	RM
SECTION	SEC.
SHEET	SHT
STEEL	STL
STONE	ST.
THRESHOLD	THRES.
THICKNESS	THK
TO MATCH EXISTING	T.M.E.
TOP OF	T.O.
TREAD	T.
TYPICAL	TYP.
UNDERSIDE	U/S
WITH	W/
WOOD	WD

INDEX OF DRAWINGS

CS.	COVERSHEET
AB1	AS-BUILT PLAN
AB2	AS-BUILT PLAN
AB3	AS-BUILT ELEV.
A1	FIRST FL. PLAN
A2	SECOND FL. PLAN
A3	ATTIC FL. PLAN
A4	ELEVATIONS
A5	SECTIONS
S1	FOUNDATION & FRAMING
S2	FLOOR & ROOF FRAMING
DT1	SECTION DETAILS
SC1	WINDOW/DOOR SCHEDULE

MICHE BOOZ

ARCHITECT
208 Market St
Bryansville
Maryland 20833
(301) 774-6911
Fax: 774-1908

CS

Project:
**PARTY BARN
AT TUSCULUM
FARMS**

4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:
COVERSHEET

Dates:
AS BUILTS: OCT 05
SCHEMATICS: OCT 05

Consultants:
General Contractor:
LOFGREN CONSTRUCTION
Mechanical Contractor:
T.B.D.
Electrical Contractor:
T.B.D.

Code:
IRC 2003

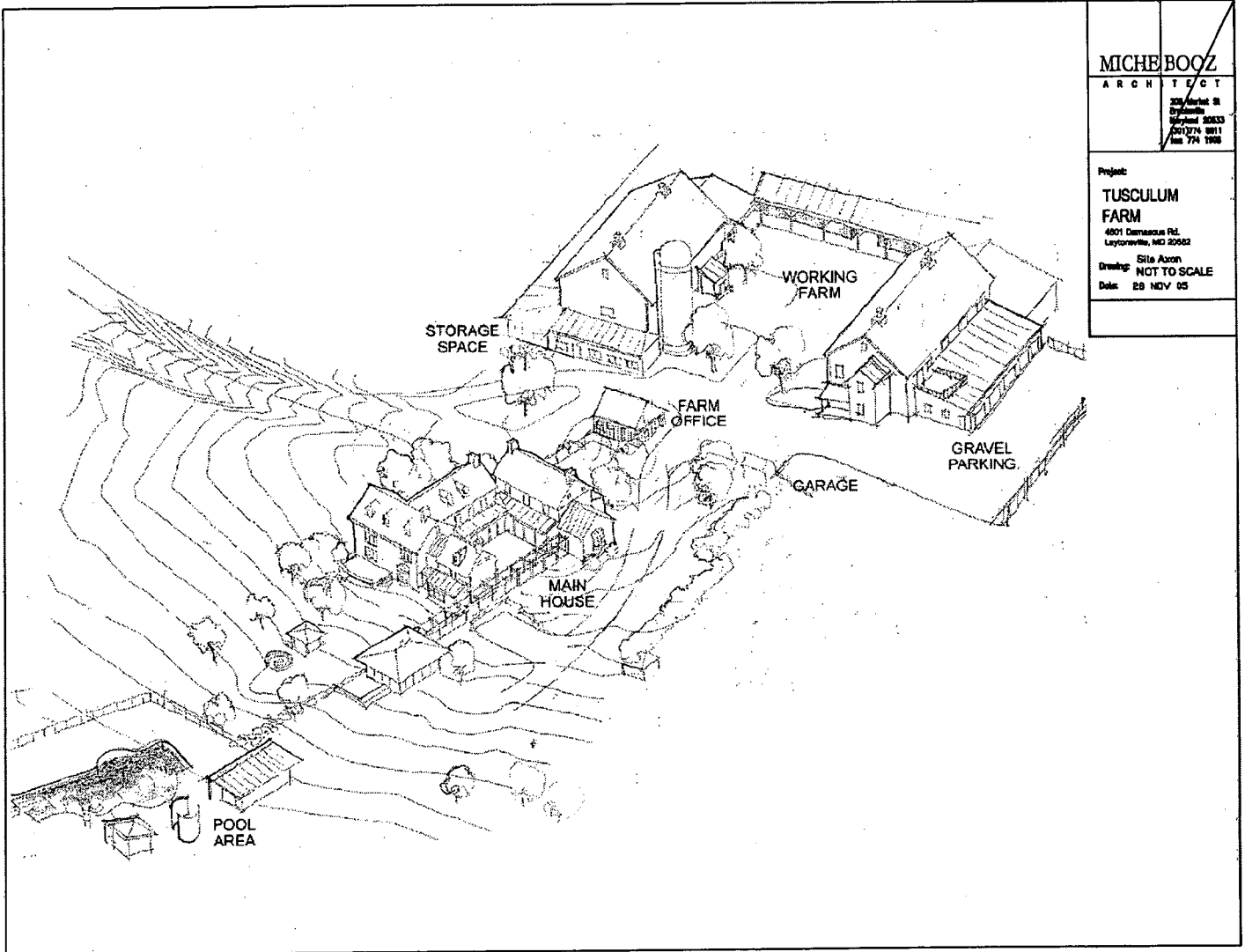
PROGRESS SET - January 18, 2006

RENOVATED BARN AT TUSCULUM FARM

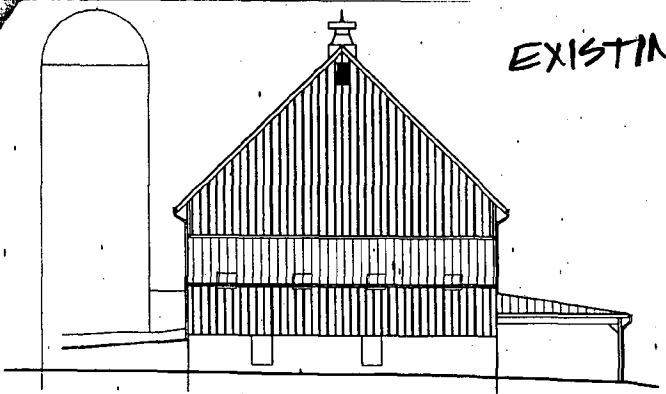
4601 DAMASCUS ROAD LAYTONSVILLE MARYLAND 20882

6

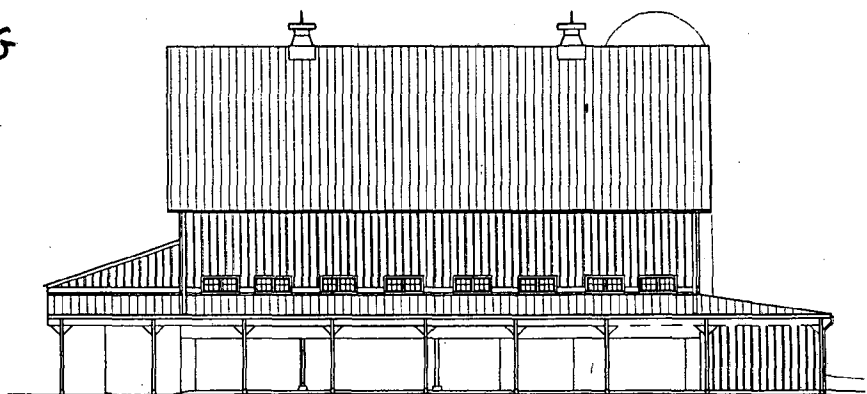
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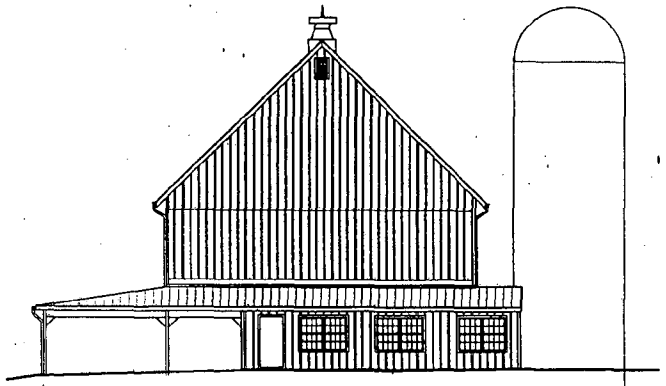
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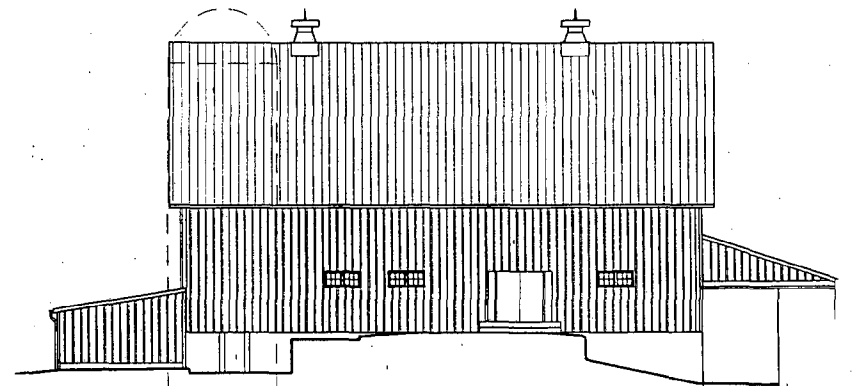
WEST ELEVATION



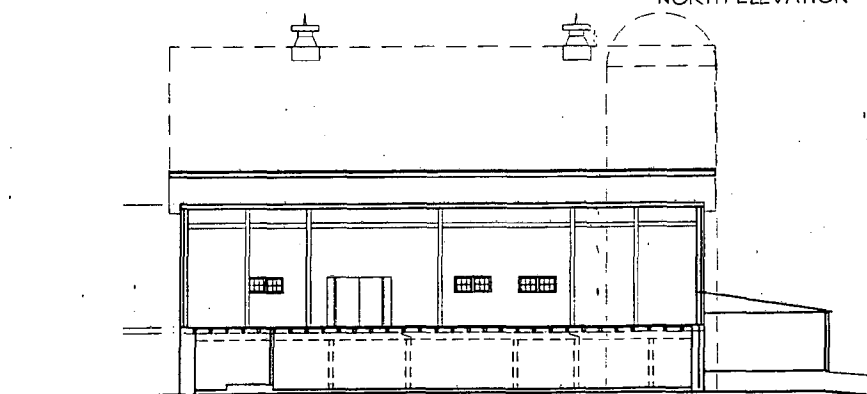
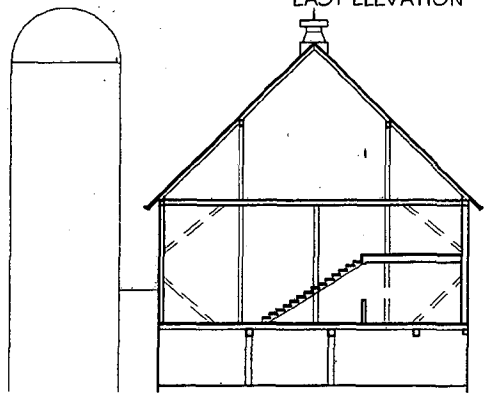
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



MICHE BOOZ
ARCHITECT
AB3
203/Market St
Bryansville
Maryland 20833
(301)774-6911
Fax: 774-1908

Project:
PARTY BARN
AT TUSCULUM
FARMS

4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:
AS BUILT
ELEVATIONS

Dates:
AS BUILTS: OCT 05
SCHEMATICS: OCT 05
TODAY'S DATE: 10 NOV 05

1 AS-BUILT ELEVATIONS
AB3 SCALE: 1/16" = 1'-0"

PROGRESS SET - 10 NOVEMBER 05

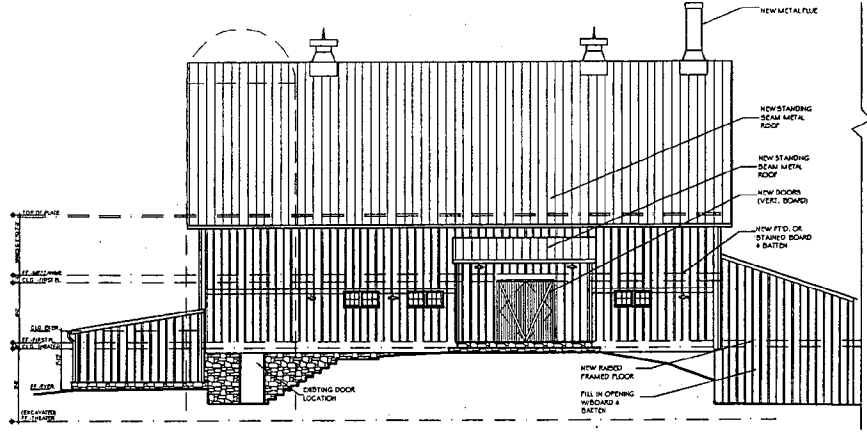
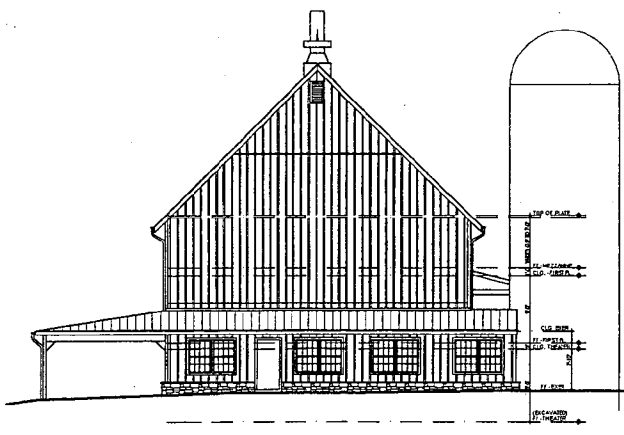
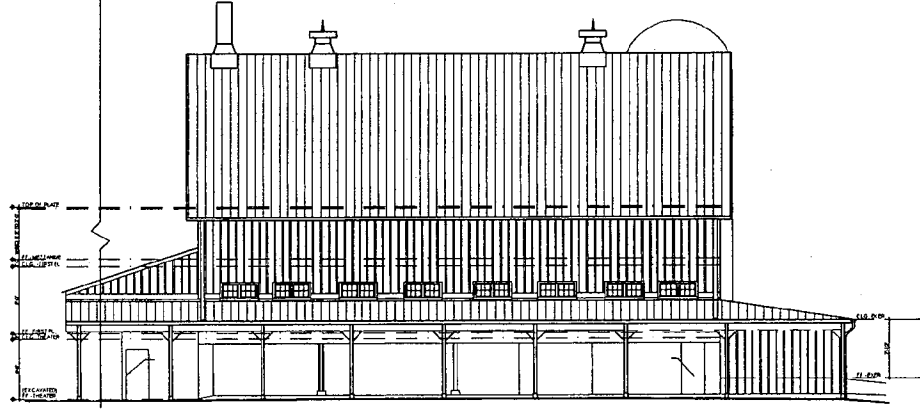
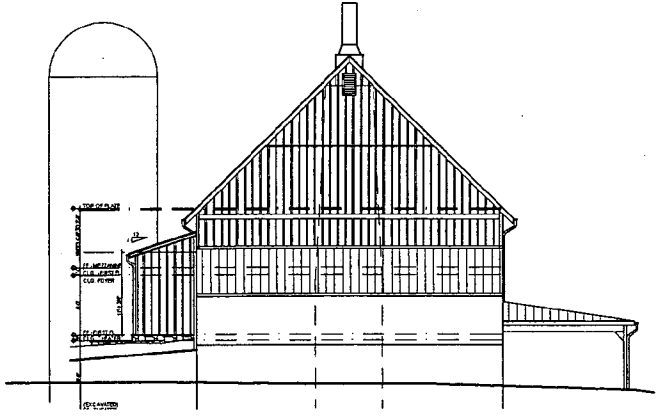
Handwritten marks: a circled '2' and a circled '9'.

Project:
**PARTY BARN
 AT TUSCULUM
 FARMS**

4601 Damascus Road
 Laytonsville, MD 20882
 Montgomery County

Drawings:
 NEW ELEVATIONS

Dates:
 AS BUILTS OCT 05
 SCHEMATICS OCT 05



1
 A4 NEW ELEVATIONS
 SCALE: 1/16"=1'-0"

PROGRESS SET - January 18, 2006

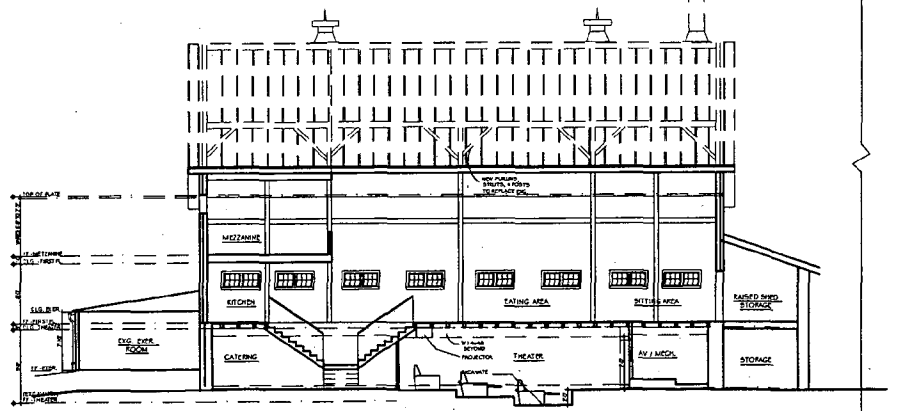
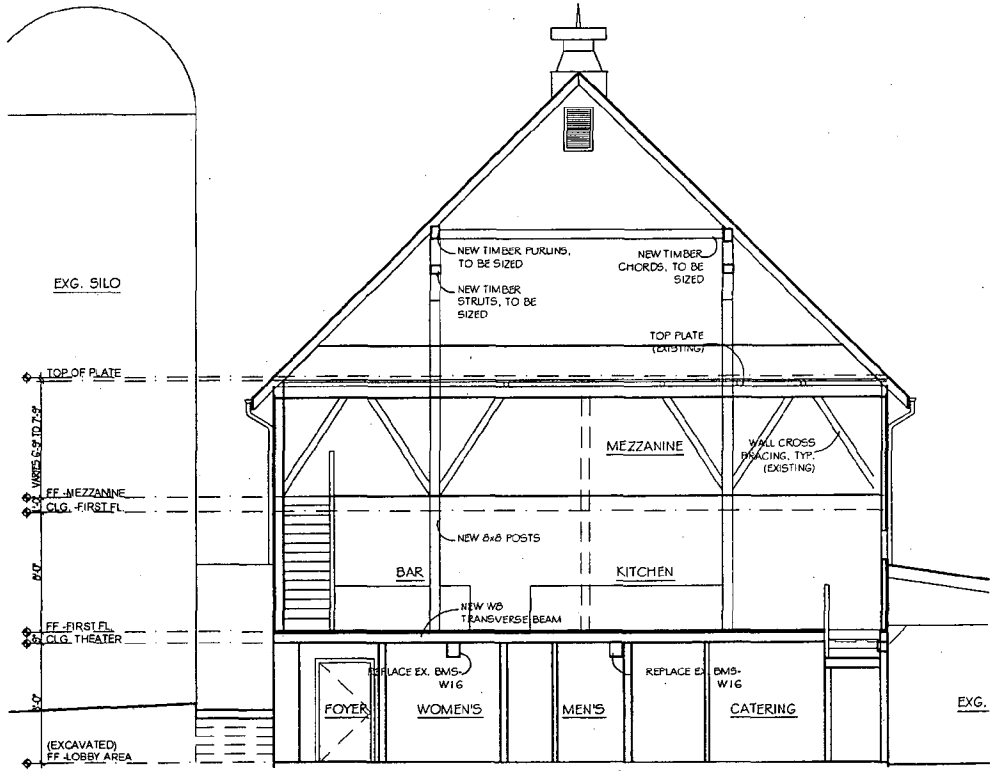
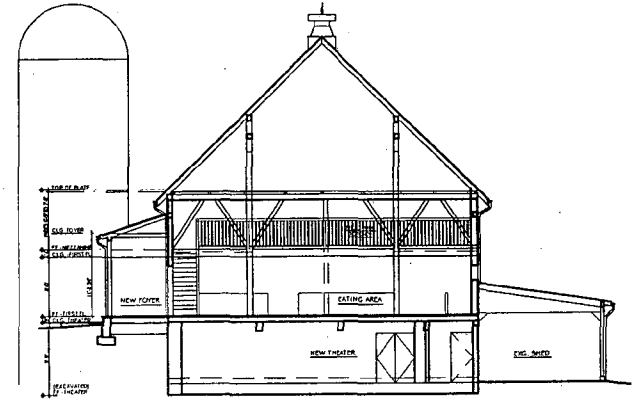
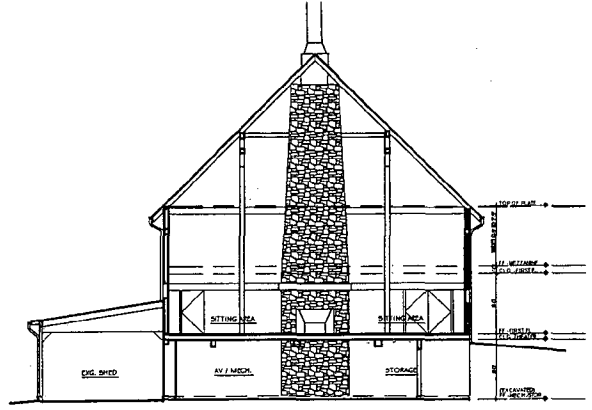
9

Project:
PARTY BARN AT TUSCULUM FARMS

4601 Domoscus Road
Loytonsville, MD 20882
Montgomery County

Drawings:
NEW SECTIONS

Dates:
AS BUILT: OCT 05
SCHEMATICS: OCT 05



PROGRESS SET - January 18, 2006

10

MICHE BOOZ

ARCHITECT

A1

208 Market St
Brykewille
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

PARTY BARN
AT TUSCULUM
FARMS

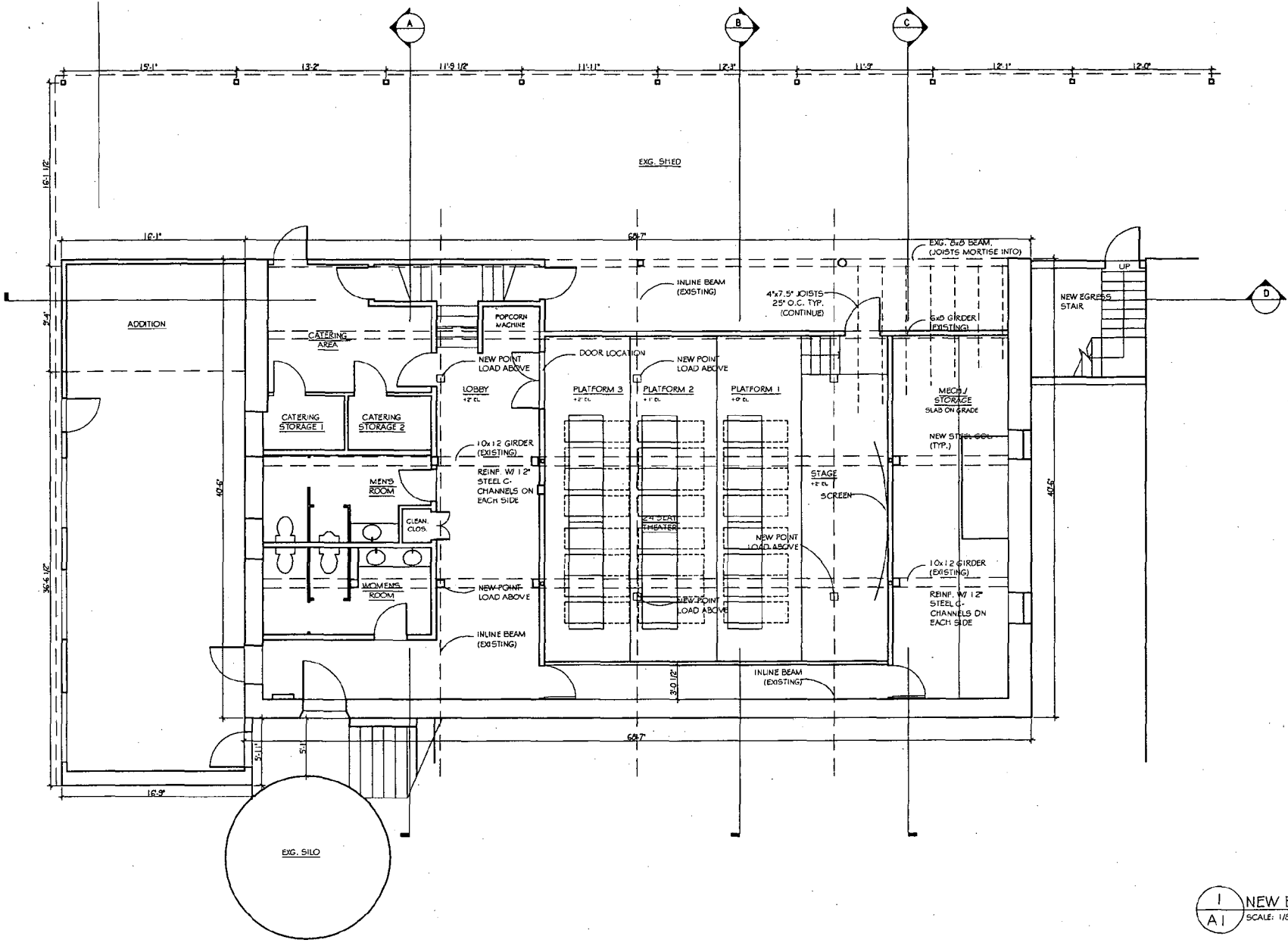
4601 Damascus Road
Laytonsville, MD 20882
Montgomery County

Drawings:

NEW PLANS

Dates:

AS BUILTS OCT 05
SCHEMATICS OCT 05



1 NEW BSMT. PLAN
A1 SCALE: 1/8" = 1'-0"

PROGRESS SET - January 18, 2006

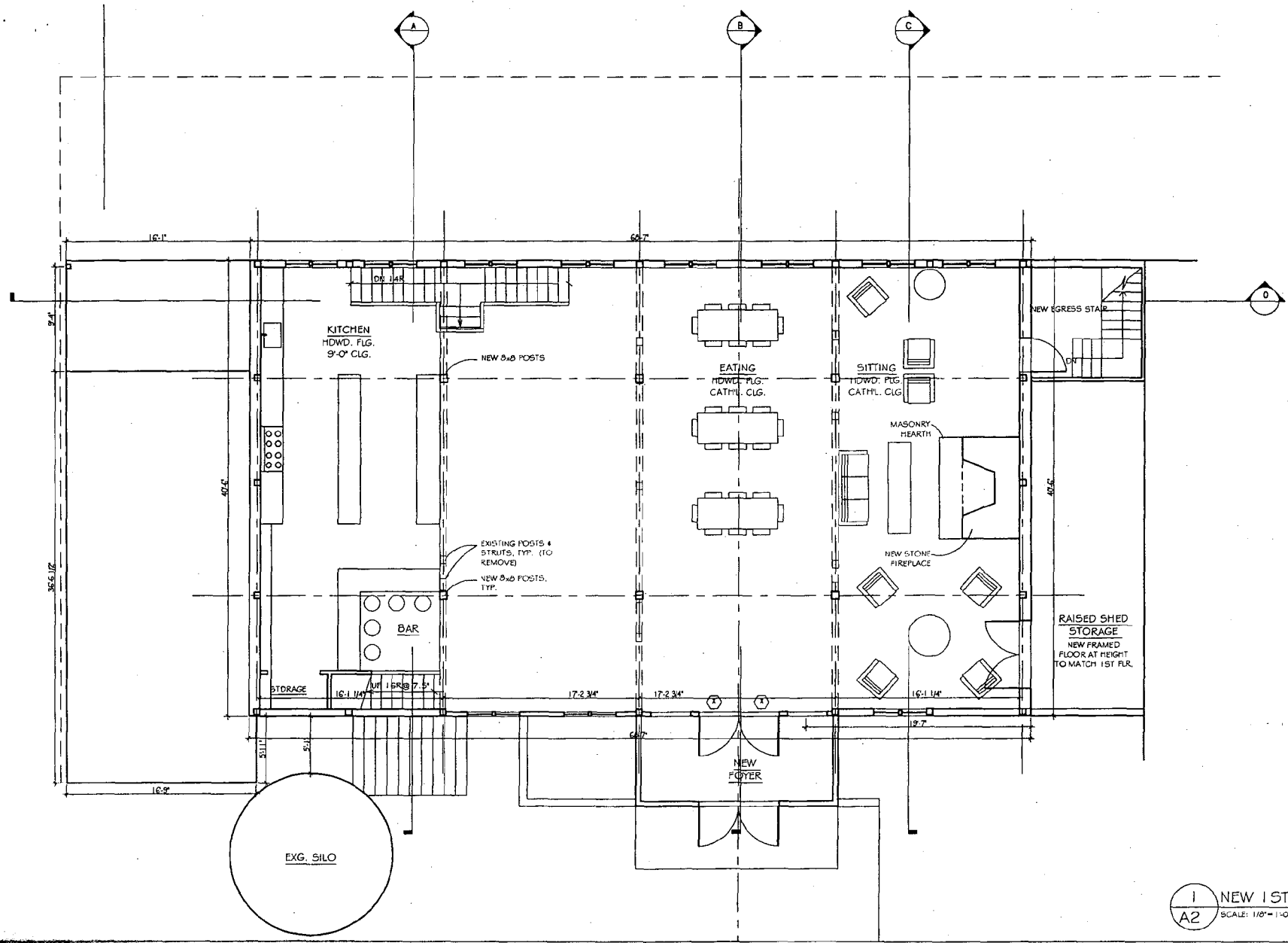
11

Project:
**PARTY BARN
 AT TUSCULUM
 FARMS.**

4601 Damascus Road
 Lytonville, MD 20882
 Montgomery County

Drawings:
 NEW PLANS

Dates:
 AS BUILT: OCT 05
 SCHEMATICS: OCT 05

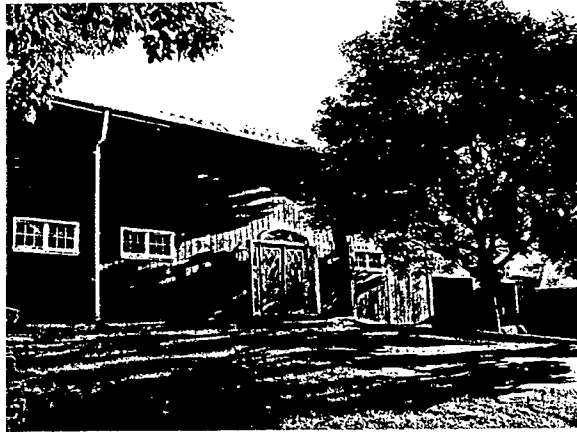


1 NEW 1ST FL. PLAN
 A2 SCALE: 1/8" = 1'-0"

PROGRESS SET - January 18, 2006

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FREEMAN PARTY BARN PHOTOS - JANUARY 18, 2006



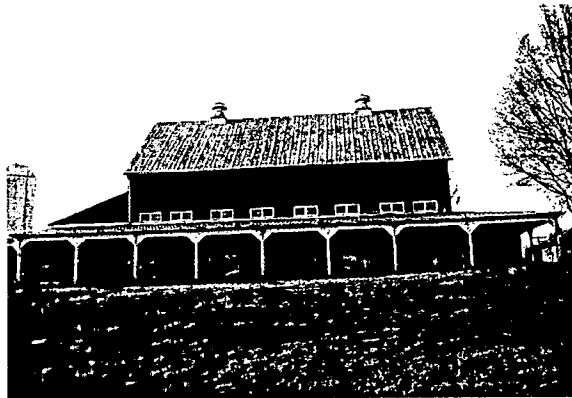
EXISTING NORTH ELEVATION OF PARTY BARN



EXISTING EAST ELEVATION OF PARTY BARN



LOOKING NORTH (PARTY BARN TO WEST)



EXISTING SOUTH ELEVATION OF PARTY BARN



LOOKING TO WEST

HPC Meeting December 7, 2005

Tusculum Farm

(transcript edited to include only discussion of the party barn and emphasis added by staff)

MS. FOTHERGILL: ...The other alteration that the applicant would like to discuss with you tonight, but it's not part of this revision to the application, but it is something that they would submit later, is a front addition to this barn, which is the party barn, and it would be a foyer addition right where those doors are, and the preliminary plan is in your packet. And then there's also an axonometric drawing in Circle 7 which does show the addition to both barns, so you can sort of see everything together.

The front addition to the party barn is something the commission can discuss tonight. I know the applicant has some examples of other barns that do have front projections, and he can show you those. The architect is here representing the applicant.

MR. BOOZ: Hi, I'm Miche Booz. Over the history or the more recent history of this farm, it's been owned by the Freeman family since I think the early '60s, and the barn, the two barns that we're talking about tonight are barns that have been used since they bought the farm. Sort of adapted to the way they live out of this farm.

It is a working farm. There's a sod operation that's going on. They have horses there and they have cows there, and it's just under 600 acres so it's a big working farm. And there are currently four, no there's five barns on the property. The two we're talking about have a variety of uses actually. What we're going to call the party barn has in fact been a party barn.

It's a building that has, just as a big open space and the family has used it for family gatherings and benefits and charity events, and that sort of thing. And it is currently, and I'll just talk about that one first, then I'll talk about the other one, is in pretty bad shape. Actually, structurally the timber framing has been shored up multiple times. The entire building, and some unfortunate things have happened to the building. The entire building has been skinned in T111. The current entrance to the door, it looks like it was a leftover from a Victorian development that happened to find its way into the opening.

The barn has also had several additions to it already. It has an addition to the east, which you can see in the photos that I passed out. It's to the left in this ensemble here. And then that low roof over the shed addition to the east then continues south and then wraps the entire barn which, although this is a 19th Century barn, I think most of those things happened, most of those additions happened in the '50s and '60s.

What we're proposing to do is to completely restore the timber frame on the inside for stabilization. In the first place there has already been some stabilization since I've been involved in the

project with the foundation on the back side. The existing stone foundation wall has been stabilized on the inside with the concrete and steel abutments on the interior.

We're proposing to remove the T111, replacing it with cedar stained red cedar siding with real board and batten, and remove the aluminum roof and use a real standing seam metal roof on the building. Restore the stone foundation around the entire building, and provide a more appropriate, I think a more appropriate entrance to it. Even the use is clearly not agricultural, but it hasn't been that way for a long time. And upgrading the building to a better party barn status.

And proposing to do a shed addition on the front. I've provided you with some photographs of some barns that I know and love that are within 15 minutes of this barn. Woodlawn probably being the furthest away with let's just back side projections that on two of them, Hank Handler and I were talking about the one on Woodlawn, it's a great barn, but the front bay is a gable bay and it's actually a different material than the stone main block of the barn.

The other one is the Greenwood Barn, which I think is a 19th Century barn. It's probably most similar to this one. It has a shed forbay on the back side. And the third one is a 1844 barn at Rosslyn Farm off of New Hampshire Avenue that has a shed addition on the front. And I think they're all compatible, obviously the historic resources that they're attached to, but we're proposing to do something like that on the back side of this barn.

I also would like to show you this, -- if you could pass around -- this is sort of the latest iteration, which I think is a little bit better than maybe the one that you've got.

MR. FULLER: The addition you're showing, this is not something you're seeking approval tonight on?

MR. BOOZ: That's a conceptual approval or preliminary consultation, whatever the correct term is.

MR. JESTER: Feedback.

MR. BOOZ: Feedback, yeah.

MS. WRIGHT: And just to clarify, because I'm a little disoriented and maybe some of the commissioners are. The view that we're seeing right here with the silo and then the addition would be right there where the door is. Is that facing the hay barn or is that facing the road?

MR. BOOZ: It's facing the hay barn away from the road.

MS. WRIGHT: So basically the view from the road as you drive up the driveway to the farm would not be changed?

MR. BOOZ: Not at all.

MS. WRIGHT: And what you would be changing is the little courtyard area that's created by the hay barn and the party barn?

MR. BOOZ: Correct. And I might add this is about, it's almost a half mile off the road anyway. You can see it in the distance. It's sort of in the center of the 600 acres.

Later...

MR. JESTER: Actually, since we've already just spent a few minutes talking about this, why don't we just give the feedback that he's requesting. And I'll start. I mean the conceptual drawing I see here let's like it's moving in the right direction. **I don't object to the, given that there's been some changes to the building, I don't object to it, and also given the fact that it's not on the public right of way, it would probably be acceptable.**

MS. ALDERSON; **I second that. I feel the same way.** I also feel it's do you like to see a farm that's still a farm in Montgomery County, and we just finished looking at that other farm where there's more buildings than that owners can easily maintain, and so I'm pleased with the idea that you found a use that is a reason to maintain the building, and **I'm okay with adapting it to a new function. And the adaptation was substantial, the building has been altered and I think the traditional detailing of the changes works.**

MR. ROTENSTEIN: **I also agree with that comment.** I would only hope the concept of the party barn doesn't the lexicon of agricultural --

MR. FULLER: **Definitely you're stabilizing the existing structure that needs help. You're doing the right thing.**

MS. O'MALLEY: Is that a consensus? **Everybody thinks that you're moving in the right direction on that.** The only real outward difference will be the addition that goes into the courtyard so to speak.

MR. BOOZ: Correct.

MS. WRIGHT: And a chimney for a new fireplace.

MR. BOOZ: Right. There will be actually a stainless steel chimney, I don't know what diameter, I'm going to guess 16 inches projecting that will appear on the, to the west side of the ventilator at the top of the far end.

MS. ALDERSON: I suppose that's sympathetic with a structure like that.

MS. O'MALLEY: A chimney?

MS. ALDERSON: Well, you're really talking about is kind of a stovepipe more or less.

MR. BOOZ: It's a stovepipe.