

23/65-00C -7 Church Street

(Brookeville Historic District)

K

12/5

Ronald Thompson  
P.O. Box 309  
Brookville, MD 20833

Donald Thompson

P.O. 309

Brookville

MD.

20833

needs signature

~~needs 3 more  
elections~~

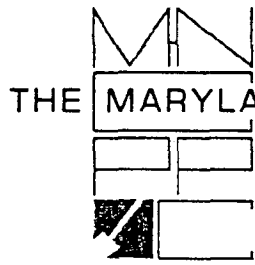
~~Young~~

Conry Ash  
907 Bardswell  
Rd

Catonsville, MD.

21228

file



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 12 | 20 | 00

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

X Approved

Approved with Conditions: \_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Donald & Patricia Thompson

Address: Re: 7 Church St. Brookeville MD.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.

*Mailing address: Thompson  
PO box 309  
20911 MD 20832*



**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Contact Person: GARRY ASH

Daytime Phone No.: 443 520 6846

Tax Account No.: \_\_\_\_\_

Name of Property Owner: DONALD/PATRICIA THOMPSON (301) Daytime Phone No.: 343 5045

Address: \_\_\_\_\_  
Street Number City Street Zip Code

Contractor: OWNER/PAW A LLC. Phone No.: 410 744 1742

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: TOM COLLINS Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: #7 Church St. Street: Church St.

Town/City: Brookville Nearest Cross Street: Georgia Ave.

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: FRANCIS LINTON

Liber: 13154 Folio: 40 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |   |                                  |   |  |                                    |  |  |                               |                               |
|---|----------------------------------|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input type="checkbox"/> Alter/renovate | <input checked="" type="checkbox"/> A/C                  | <input type="checkbox"/> Slab      | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable      | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input type="checkbox"/> Other: _____      |  |                               |                               |

1B. Construction cost estimate: \$ 195000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent \_\_\_\_\_ Date \_\_\_\_\_

Approved: X For the person, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 12/20/00

Application/Permit No.: 235809 Date Filed: 11/28/00 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*NEW CONSTRUCTION - 2-STORY COENITE*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Should be acceptable to historical community  
and blend with existing surroundings*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 12/20/00  
TO: Local Advisory Panel/Town Government *Brookville*  
FROM: Historic Preservation Section, M-NCPPC  
*RDE* Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner  
Michele Naru, Historic Preservation Planner  
SUBJECT: Historic Area Work Permit Application - HPC Decision

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The Historic Preservation Commission reviewed this project on 12/20/00  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

**HISTORIC PRESERVATION COMMISSION  
SPEAKER'S FORM**

If you wish to speak on an agenda item, please fill out this form and give it to a Historic Preservation staff person sitting at the left end of the table in the front of the auditorium prior to consideration of that item. The Historic Preservation Commission welcomes public testimony on most agenda items.

Please print using ink, and provide your full name, complete address, and name of person/organization that you officially represent (yourself, an adjacent property owner, citizens association, government agency, etc). This provides a complete record and assists with future notification on this case. **This meeting is being recorded. For audio identification, please state your name and affiliation for the record the first time you speak on any item.**

DATE: 12/20/00

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: III. E

NAME: Patricia Thompson

COMPLETE MAILING ADDRESS: P.O. Box 309, Brookeville,  
MD 20833

REPRESENTING (INDIVIDUAL/ORGANIZATION): Donald & Patricia  
Thompson

The Montgomery County Historic Preservation<sup>7</sup> Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation.....7 minutes
- Comment by affected property owners on Master Plan designation.....3 minutes
- Comment by adjacent owners/interested parties.....3 minutes
- Comment by citizens association/interested groups.....5 minutes
- Comment by elected officials/government representatives.....7 minutes

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7 Church Street	Meeting Date:	12/20/00
Applicant:	Donald & Patricia Thompson (Gary Ash, Agent)	Report Date:	12/13/00
Resource:	Brookeville Historic District	Public Notice:	12/6/00
Review:	HAWP	Tax Credit:	No
Case Number:	23/65-00C	Staff:	Robin D. Ziek

**PROPOSAL:** Construct new house

**RECOMMEND:** Approval

PROJECT DESCRIPTION

**SIGNIFICANCE:** Secondary Resource in the Brookeville Historic District  
**STYLE:** Open lot  
**DATE:** N/A

The parcel from which this project lot was carved was subdivided at some point in the past (see Circle 6); the HPC has reviewed new construction within this subdivision as early as 1965. The site plan on Circle 3 shows the subdivision lines, with access to the various lots provided on Church Street (see Circle 7, 8). This part of Brookeville is well off of Georgia Avenue, and the project site is at the edge of woods (see Circle 7, 8). The adjacent properties which front Georgia Avenue, on Parcels 765, 711, and 694, are all Post-1940 structures and are considered "Secondary Resources." In Brookeville, this designation refers to structures that were built after the "period of significance," and are considered Non-contributing.

PROPOSAL

The applicant proposes to build a modular new home on the lot (see Circle 9 ff). The two-story house has a simple side-gable roof, traditional styling, and includes a two-car attached garage. The applicant proposes to use vinyl siding, vinyl-clad wood windows, and all vinyl trim. Most of the remaining trees will remain. The applicant would like to remove two live trees as well as several dead trees (see Circle 8) in the vicinity of the new house and driveway. The rear of the lot is covered with mixed hardwood and will remain. A stone/gravel driveway will be installed to accommodate the construction. **The applicant will have to come back to the HPC to apply for a paving material for the driveway, if they so choose.**



## STAFF DISCUSSION

The proposed new house is sited outside of the urban development pattern of the historic district. Brookeville is characterized by in-town development that is tight to the road and addresses the street. The houses are close together and form the dense urban context. The proposed new house site, on the other hand, is essentially suburban in context and intention, and does not participate in the urban context of the Town. It does not front the street, and actually sets a side elevation towards Georgia Avenue. This cannot be seen, however, because of the intervening homes that do front Georgia Avenue.

The proposal would not be suitable if the site were in the urban context. The commission has generally opposed stock housing in our historic districts, seeking more contextual designs in general. In addition, the proposed materials are not historic and are therefore inappropriate in the historic district context. Staff feels that this site is sufficiently distant from the historic development in town that it will not participate in the historic context. This should not be viewed as a precedence for any development in Brookeville, and should be seen as an out-of-period structure which does not contribute to the district in any way. At other locations in town, where the site participates in the historic context, such a proposal would not be acceptable and staff would recommend a revised design, including deletion of the attached garage and strongly discouraging the use of vinyl siding.

## STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

**The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,**

and with the Secretary of the Interior Guidelines #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that **the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 extra set for HPC file copy)** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
 HISTORIC AREA WORK PERMIT**

Contact Person: GARRY ASH  
 Daytime Phone No.: 443 520 6846

Tax Account No.: \_\_\_\_\_  
 Name of Property Owner: DONALD/PATRICIA THOMPSON (301) Daytime Phone No.: 343 5045

Address: \_\_\_\_\_  
Street Number City State Zip Code

Contractor: OWNER/PHOTO A. LLC. Phone No.: 410 744 1742

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: TOM COLLINS Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: #7 Church St. Street: Church St.  
 Town/City: Brookeville Nearest Cross Street: Georgia Ave.  
 Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: FRANCIS LINTON  
 Liber: 13154 Folio: 40 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |   |                                  |   |  |                                    |  |  |                               |                               |
|---|----------------------------------|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C                  | <input type="checkbox"/> Slab      | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family |                               |                               |
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1B. Construction cost estimate: \$ 195000

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*I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.*

Signature of owner or authorized agent \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 235 809 Date Filed: 11/28/00 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
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NEW CONSTRUCTION - 2 STORY COLONIAL

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Should be acceptable to historical community  
and blend with existing surroundings

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**B.K. Maddox Surveys**



4011 Baker Valley Road ♦ Frederick, Maryland 21704-7648  
Phone 301-279-7725

November 27, 2000

Maryland-National Capital Park and Planning Commission  
Historic Preservation Commission  
8787 Georgia Avenue  
Silver Spring, Maryland 20910

Re: List of Adjacent and Confronting Property Owners

David E. & Patricia Thompson Property  
(Construction of New Dwelling)  
#7 Church Street  
Brookeville, Maryland 20833

Jerry Hidalgo  
1 Church Street  
Brookeville, Maryland 20833

John P. Seibel  
3 Church Street  
Brookeville, Maryland 20833

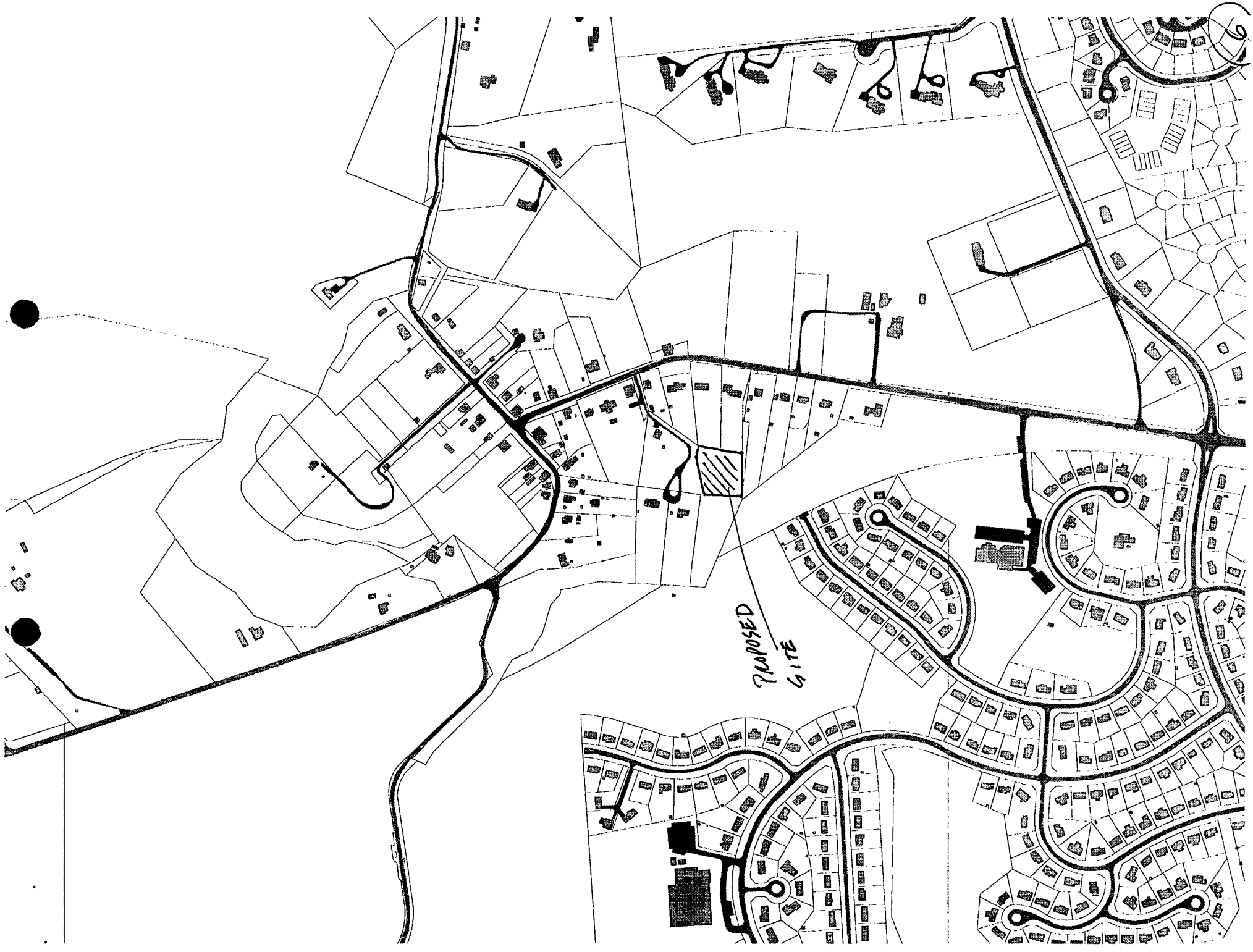
The Maryland-National Capital Park and Planning Commission  
8787 Georgia Avenue  
Silver Spring, Maryland 20910

Florence Johnston  
18 High Street  
Brookeville, Maryland 20833

Clyde W. Unglesbee  
20 South High Street  
Brookeville, Maryland 20833

Rowland C. Bowker  
22 High Street  
Brookeville, Maryland 20833

5



PROPOSED  
GATE



Plat of Proposed House Location- Site Plan - Tree Location  
 David E. & Patricia Thompson Property  
 Town of Brookeville - Old (8th) District  
 Montgomery County, Maryland  
 Surveyor's Certificate

I hereby certify that the plan shown hereon is correct to best of my knowledge and belief in accordance with descriptions of record and collected field data.

Date: October 24, 2000

Scale: 1" = 50'

Liber - 18447 Folio - 384

Tax Acc't No. 08-00732102

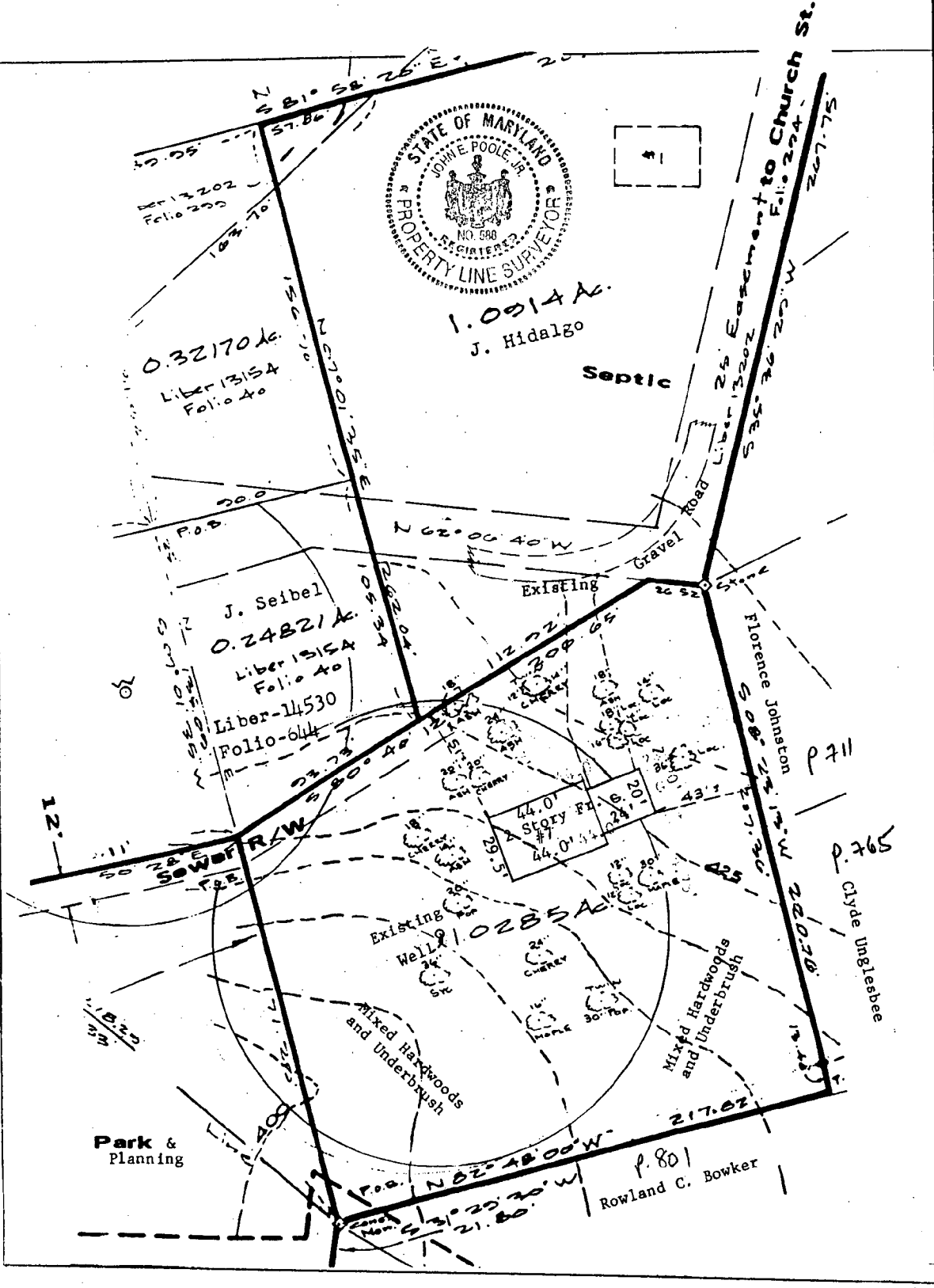
House #7 Church Street, Brookeville, Maryland 20833.

Subject to Rights of Way and Easements of record.

Prepared by: R.K. Maddox Surveys, 4011 Baker Valley Road, Frederick, Maryland 21704.

Revised: November 24, 2000

*John E. Poole, Jr.*  
 John E. Poole, Jr., Surveyor  
 Property Line Surveyor #588



1.0014 Ac.  
 J. Hidalgo

0.32170 Ac.  
 Liber 13154  
 Folio 40

J. Seibel  
 0.24821 Ac.  
 Liber 13154  
 Folio 40

Liber 11530  
 Folio 644

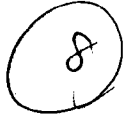
Existing Well  
 1.0285 Ac.

Florence Johnston  
 P. 711

P. 765  
 Clyde Unglesbee

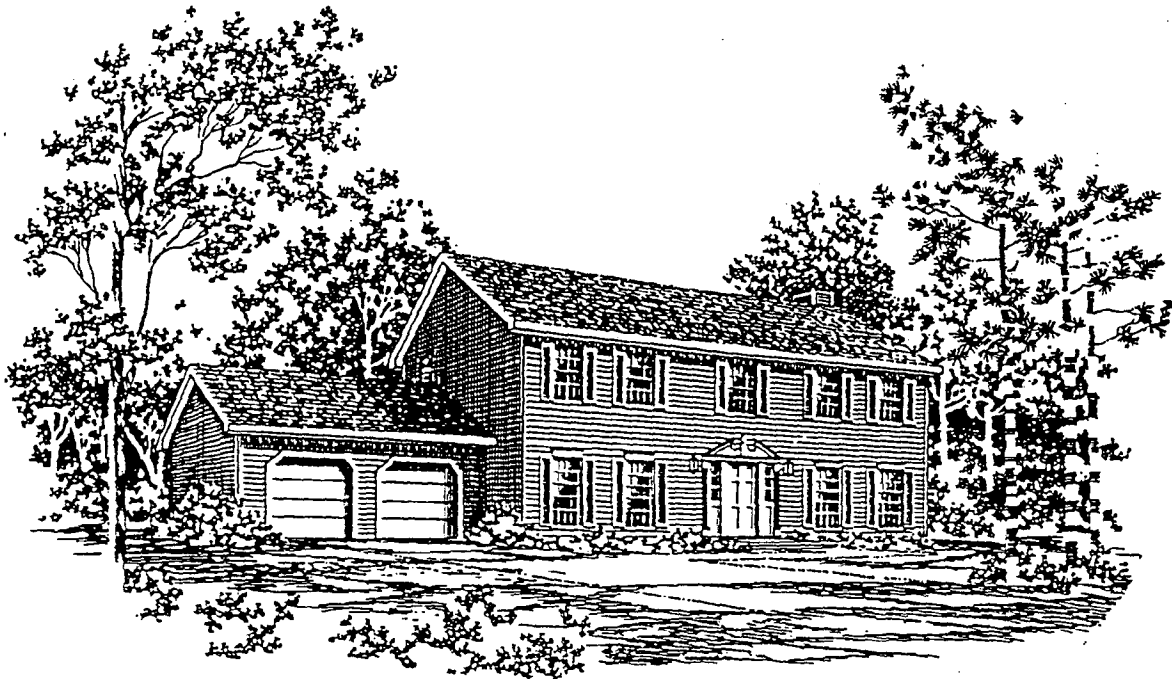
P. 801  
 Rowland C. Bowker

Park & Planning

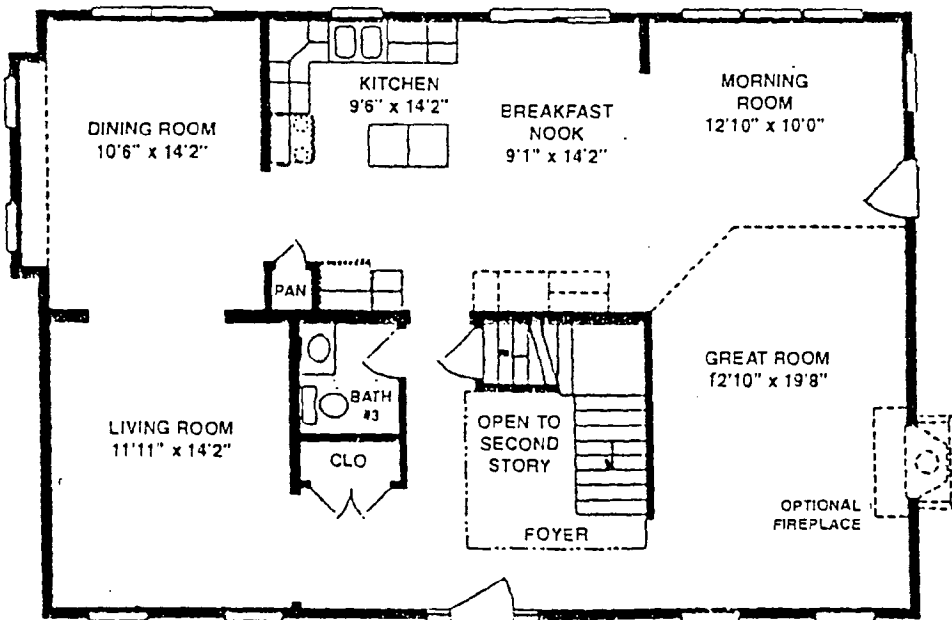


# D. H. of A. Inc.

## *The Presidential Series*



### The Jefferson



First Floor

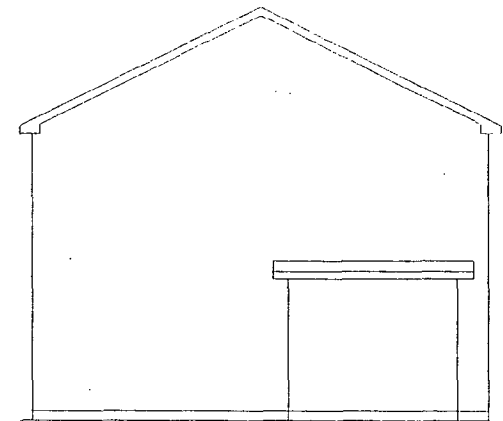
29'6" x 44' • 2640 sq. ft.



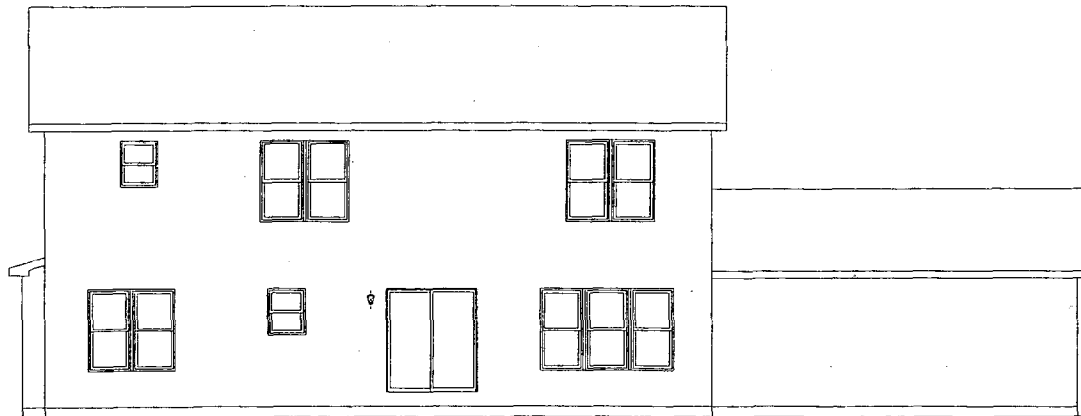




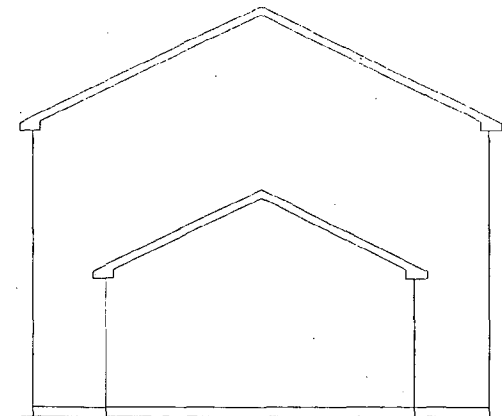
FRONT ELEVATION




RIGHT SIDE ELEVATION



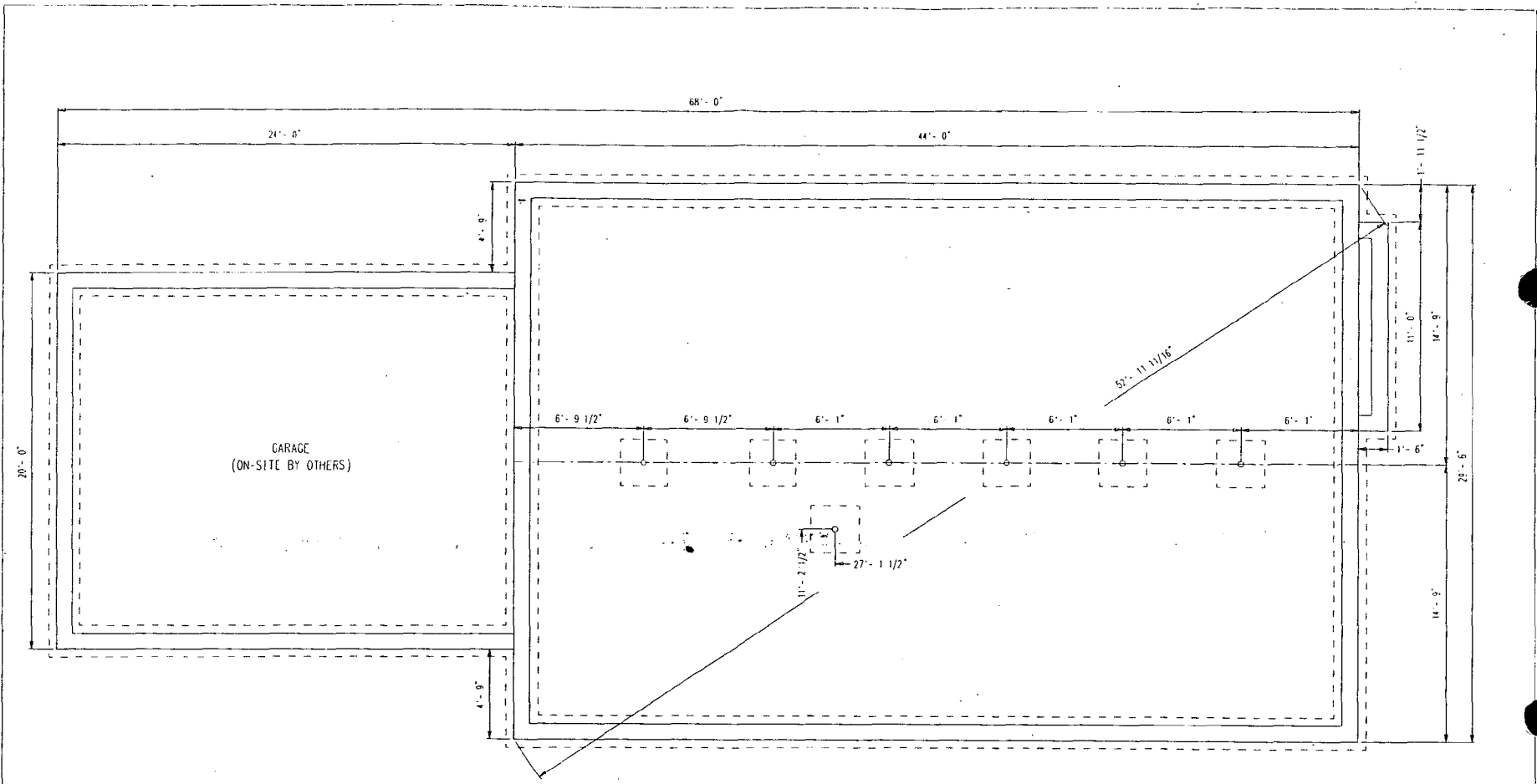
REAR ELEVATION



LEFT SIDE ELEVATION

BUILDER:	D.H. HOMES OF AMERICA	CUSTOMER:	THOMPSON	SERIAL #:	STATE:	MD
 MODULAR STRUCTURES OF PA INC 259 South Old Trail Rd. Selinsgrove, PA 17870 (570)-743-2012	MODEL:	JEFFERSON	SIZE:	29'6" x 44'	REVISED	
	DRWN BY:	BAH	DATE:	09-07-00		
	SALESMAN:	BRAD H.	PROJ#	00-0328		

10

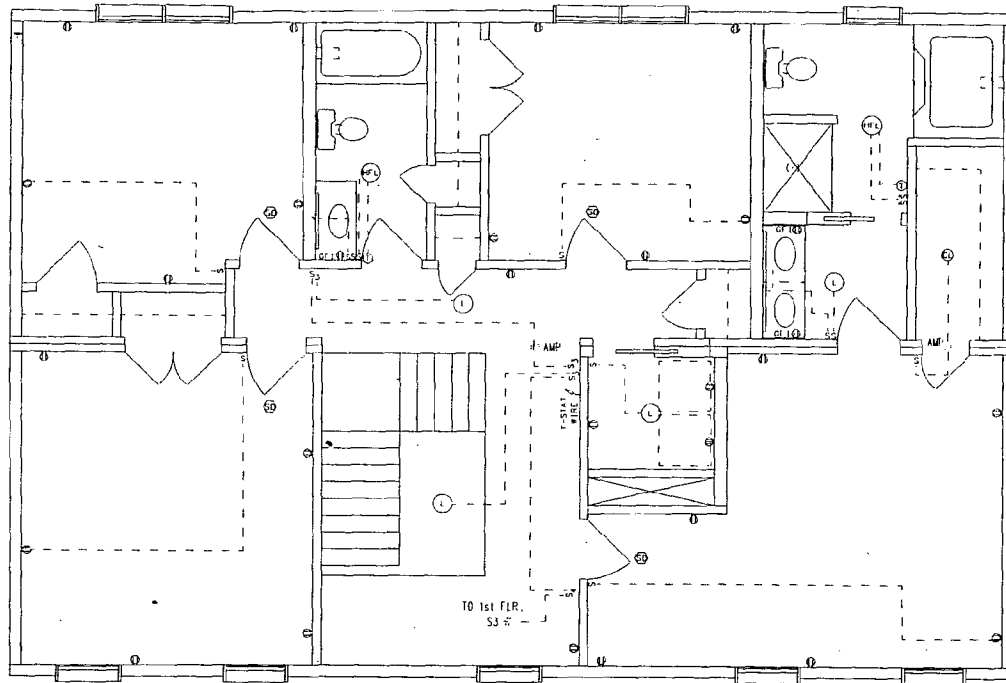


**NOTES:**


1. FOUNDATION DRAWINGS ARE RECOMMENDED ONLY, ACTUAL FOUNDATION DRAWINGS SHOULD BE APPROVED BY A REGISTERED ARCHITECT.
2. FOUNDATION DIMENSIONS ARE FROM STUD TO STUD AND DO NOT REFLECT EXT. SHEATHING OR HIGH "R" INSULATION.

BUILDER:	D.H. HOMES OF AMERICA	CUSTOMER:	THOMPSON	SERIAL #:	STATE:	MD
<b>MSI</b>	MODULAR STRUCTURES OF PA INC 259 South Old Trail Rd. Selinsgrove, PA 17870 (570)-743-2012	MODEL:	JEFFERSON	SIZE:	29'6" x 44'	REVISED
DRWN BY:	BAH	DATE:	09-07-00			
SALESMAN:	BRAD H.	PROJ#	00-0328			

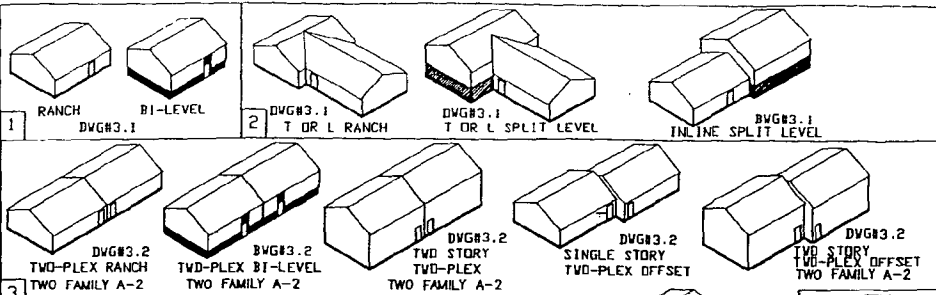
11



- NOTES:  
 1. ALL SMOKE DETECTORS AC/DC.  
 2. OMIT BASEBOARD HEAT

BUILDER:	D.H. HOWES OF AMERICA	CUSTOMER:	THOMPSON	SERIAL #:	STATE:	MD
 MODULAR STRUCTURES OF PA INC 259 South Old Trail Rd. Selinsgrove, PA 17870 (570)-743-2012	MODEL:	JEFFERSON	SIZE:	29'6" x 44'	REVISED	
	DRWN BY:	BAH	DATE:	09-07-00		
	SALESMAN:	BRAD H.	PROJ#	00-0328		

12



#	DESCRIPTION
1	COVER SHEET
2.1 & 2.2	TYPICAL ELEVATIONS
2.3	OPTION ELEVATIONS & GARAGES
3.1	FLOORPLAN MASTER & NOTES
3.2	FLOORPLAN MASTER
4	TYPICAL KITCHENS
5	TYPICAL BATHROOMS
6.1	TYPICAL FOUNDATIONS
6.2	NOTES/FOOTING DETAILS
7.1, .2	TYPICAL CROSS SECTIONS
8.3	STAIR DETAILS & NOTES
8.1, .2	SECTIONS AND DETAILS
8.4	
8.5	DETAIL REFERENCE NOTES
9.1, .2	FIRE SEPARATION DETAILS
9.3	GARAGE DETAILS (NY)
10.1	DOOR, WINDOW SCHEDULE & NOTES
10.2	SPECIFICATION SHEET
11.1	ROOF SYSTEMS
12 & 13	CAPE ROOF SYSTEMS
13.1 & 13.2	MASTER ELECTRICAL PLAN
14.1, .2 & 14.3	TYPICAL HEATING MASTER
14.4 & 15.1	TYP. HEATING AND ELECTRICAL PLUMBING NOTES
15.3	PLUMBING & WATER HEATER
15.4 & 15.5	PLUMBING RISERS
15.6	FLOOR PLAN PLUMBING LAYOUT
15.7	OVER & UNDER TWO PLEX PLUMBING RISERS
16.1	SHED DORMER DETAILS
16.2	SHED DORMER DETAILS
17.1	OVER & UNDER TWO PLEX
17.2	OVER & UNDER TWO PLEX
18	ALTERNATE WALL CONSTRUCTION
18.1	TYP. SECTIONS AND DETAILS FOR ALTER. WALL CONSTR.
18.2	FIRE SEPARATION FOR ALTER. WALL CONSTR.
19	NON COMBUSTIBLE ZERO DISTANCE AREA SEPARATION TYP. DETAILS (NEW YORK)
19.1	NON COMBUSTIBLE ZERO LOT LINE WALL (NEW YORK)

**GENERAL NOTES**

THE ENCLOSED PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MSI HOMES. THE METHODS OF CONSTRUCTION DETAILED WITHIN SHALL BE KEPT CONFIDENTIAL. ANY UNAUTHORIZED USE OF THESE DRAWINGS WITHOUT THE CONSENT OF MSI IS PROHIBITED.

MSI WILL BE CONSIDERED AS A 'SUB-CONTRACTOR' IN ALL BUILDING PROJECTS, SUPPLYING A BUILDING COMPONENT TO A 'GENERAL CONTRACTOR' OR 'BUILDER'. THE SPECIFICATIONS ARE FOR DESCRIBING AND DETAILING THE PROPER USE OF OUR MANUFACTURED BUILDING MODULE AND ITS CONSTRUCTION. COMPLETE BUILDING PROJECT DESIGN (I.E. SITE FOUNDATION, DECK OR PORCHES, ECT.) SHALL BE BY GENERAL CONTRACTOR ALL NOTES PERTAINING TO 'IN-FIELD' OR 'BY BUILDER' SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

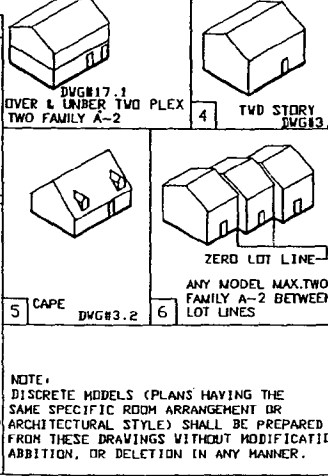
THESE PLANS MUST NOT BE SCALED FOR DIMENSIONAL REFERENCE. ALL DIMENSION LINES AND NOTES SUPERCEDE ANY SUCH REFERENCES.

ALL 24" WIBE MODELS ACTUAL DIMENSIONS FROM THE OUTSIDE FACE OF WALL FRAMING IS 23'-6"

THE THIRD PARTY AGENCY SHALL BE PFS CORP. LABELS SHALL BE LOCATED AS FOLLOWS: STATE INSIGNIA, DATA AND THIRD PARTY LABELS SHALL BE MOUNTED ON WALL BELOW KITCHEN SINK. ADDITIONAL THIRD PARTY LABEL TO BE LOCATED IN EACH MODULE FOR NEW JERSEY. ADDITIONAL STATE INSIGNIA TO BE INSTALLED IN EACH MODULE FOR MASS. ONE LABEL FOR MB UP TO 1200 SQFT, ONE ADDITIONAL STATE INSIGNIA TO BE INSTALLED FOR EVERY ADDITIONAL 500 SQFT.

THE LOCAL BUILDING CODE ENFORCEMENT OFFICER SHALL APPROVE SITE REQUIRED FIELD BUILT WALLS BETWEEN DWELLINGS AS PER NYS CODE 701.3e. HANDICAPPED ADAPTABLE UNITS PER NYS CODE TABLE 1-1102&1102.16. COMPLETION OF FIRE RATED ASSEMBLIES ABOVE CEILINGS & UNDER FLOORS, HANDRAILS FIELD INSTALLED, & ALL WORK DONE ON SITE.

ALL INTERIOR HANDRAILS PROVIDED & INSTALLED ON SITE BY BUILDER.



**DESIGN BASIS**

**TRUSS:** @ 24" OC SPACING  
 40 PSF = TOP CHORD LIVE LOAD  
 7 PSF = TOP CHORD DEAD LOAD  
 10 PSF = BOTTOM CHORD TOTAL LOAD

**TRUSS:** @ 16" OC SPACING  
 60 PSF = TOP CHORD LIVE LOAD  
 10.5 PSF = TOP CHORD DEAD LOAD  
 15 PSF = BOTTOM CHORD TOTAL LOAD

**RAFTER:**  
 40 TO 60 PSF = LIVE LOAD  
 10 PSF = DEAD LOAD

**CEILING JOISTS (STORAGE):**  
 20 PSF = LIVE LOAD  
 10 PSF = DEAD LOAD

**FLOORS (NON-SLEEPING AREA):**  
 40 PSF = LIVE LOAD  
 10 PSF = DEAD LOAD

**FLOORS (SLEEPING AREA):**  
 30 PSF = LIVE LOAD  
 10 PSF = DEAD LOAD

**WIND LOADS:**  
 70 MPH TO 110 MPH

**MODELS**

1. RANCH, SINGLE LEVEL HOME PLACED ON A CRAWL SPACE OR A FULL FOUNDATION. FOUR MODULES MAX. BI-LEVEL, SINGLE LEVEL HOME PLACED ON A FULL FOUNDATION WITH A SPLIT STAIR ENTRY. UNIT MAY OVERHANG FOUNDATION 24". FOUR MODULES MAX.

2. L AND T RANCH, SINGLE LEVEL HOME ON A CRAWL SPACE OR A FULL FOUNDATION. SIX MODULES MAX. SPLIT LEVEL, TWO LEVEL HOME WITH AN ELEVATION DIFFERENCE AND A SPLIT STAIR SERVING THE UPPER LEVEL AND BASEMENT. SIX MODULES MAX.

3. TWO FAMILY A-2 DWELLING, A TWO OR FOUR TO EIGHT MODULE STRUCTURE BUILT TO ANY OF THE OTHER MODEL SPECS AND PROPERLY FIRE SEPARATED BETWEEN UNITS. SIDE BY SIDE SINGLE FAMILY DWELLINGS. TWO FAMILY A-2 MAY BE AN OVER AND UNDER UNIT WITH FIRE SEPARATION BETWEEN LIVING SPACE AND THEIR EGRESS STAIRWAYS.

4. TWO STORY, A FOUR TO EIGHT MODULE, TWO LEVEL HOME PLACED ON EITHER A CRAWL SPACE OR FULL FOUNDATION, AND TWO FAMILY A-2, FOUR OR EIGHT MODULE.

5. CAPE, A TWO OR THREE MODULE HOME BUILT WITH EITHER A FINISHED OR UNFINISHED SECOND FLOOR (OPTIONAL SHED DORMER) PLACED ON EITHER A CRAWL SPACE OR FULL FOUNDATION.

6. ZERO LOT LINE. ANY MODEL (1 THRU 5) WITH MAX. TWO FAMILY A-2 (NEW YORK) BETWEEN ZERO LOT LINES.

**NOTE:**  
 DISCRETE MODELS (PLANS HAVING THE SAME SPECIFIC ROOM ARRANGEMENT OR ARCHITECTURAL STYLE) SHALL BE PREPARED FROM THESE DRAWINGS WITHOUT MODIFICATION, ADDITION, OR DELETION IN ANY MANNER.

**NEW YORK STATE**

CODE CONFORMANCE:  
 1. ENERGY CONDS. CONSTRUCTION CODE  
 2. NATIONAL ELECTRICAL CODE  
 3. NYS STATE UNIFORM FIRE PREVENTION AND BUILDING CODE CURRENT EDITION.

**DESIGN CRITERIA**

CONSTRUCTION TYPE:  
 (WOOD FRAME UNPROTECTED)- CT, DE, ME, MD, NH, NJ, PA, VA, VT, WV, RI

5-B - NY.  
 USE GROUP CLASSIFICATION:

GROUP R-4 - CT, DE, ME, MD, NH, NJ, PA, VA, VT, WV, RI  
 GROUP A-1 & A-2 NY  
 OCCUPANT - ONE & TWO FAMILY DWELLINGS

STATE AGENCY.

**PFS CORPORATION**

Plans certified to comply with applicable codes and regulations of:

ME, CT, NH, MA, VA, WV, PA, NJ, DE, NY

**MSI**  
 MODULAR STRUCTURES OF PENNSYLVANIA, INC.

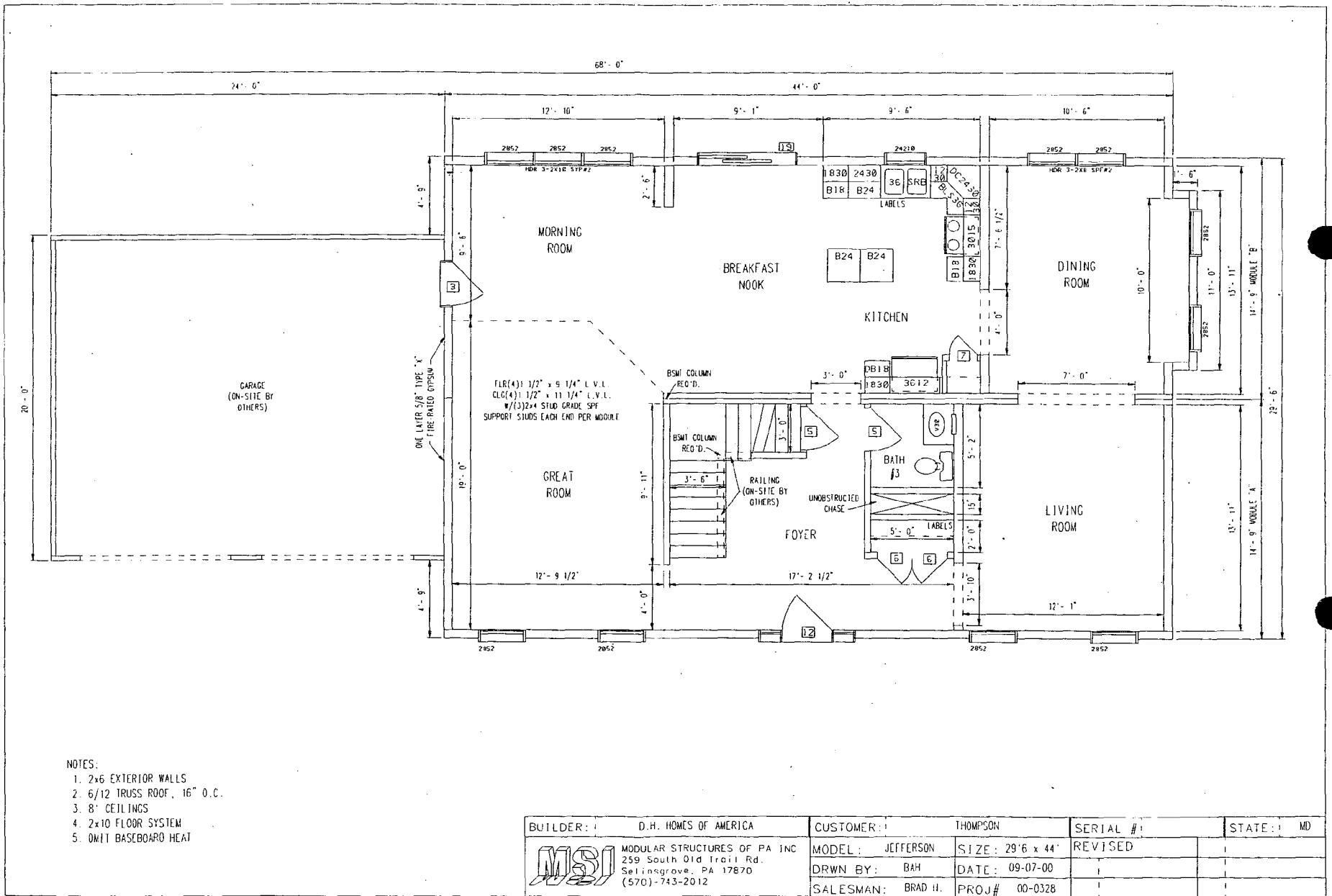
**COVER SHEET**

THIRD PARTY.

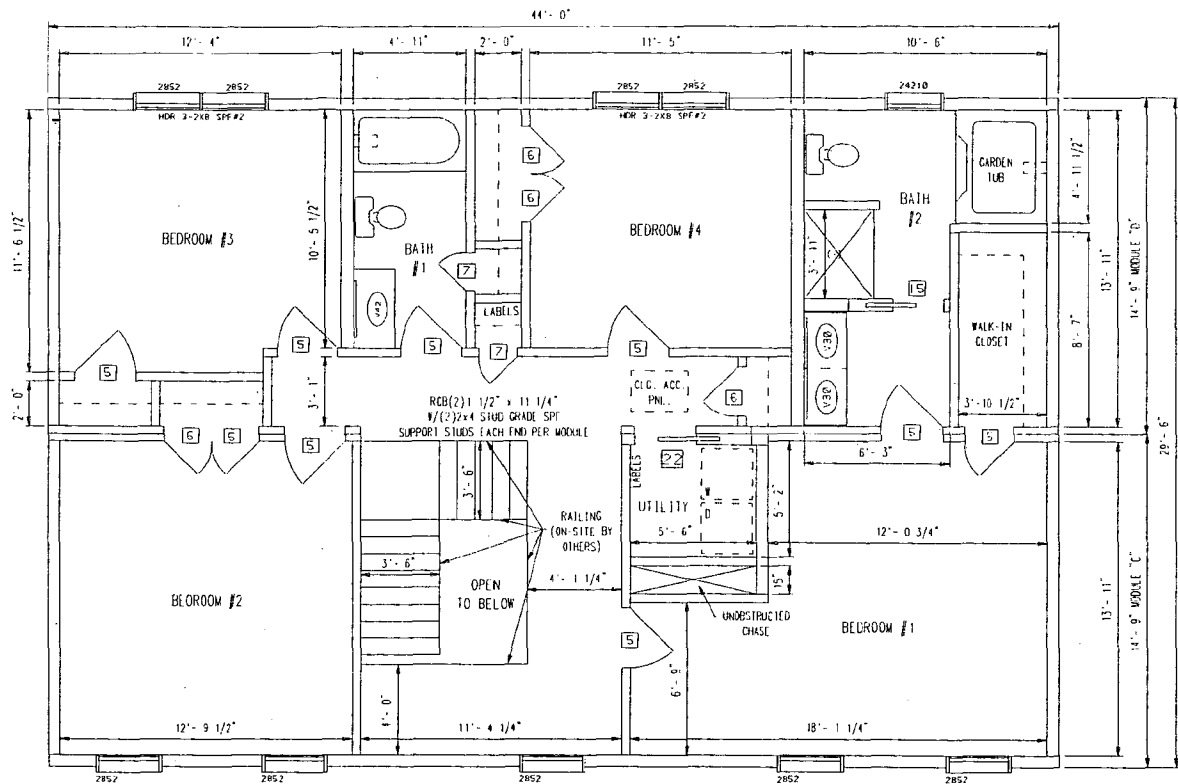
DRWN BY: MSI DATE: 2/21/97

SCALE: NONE DWG. NO.: 1

33




h1

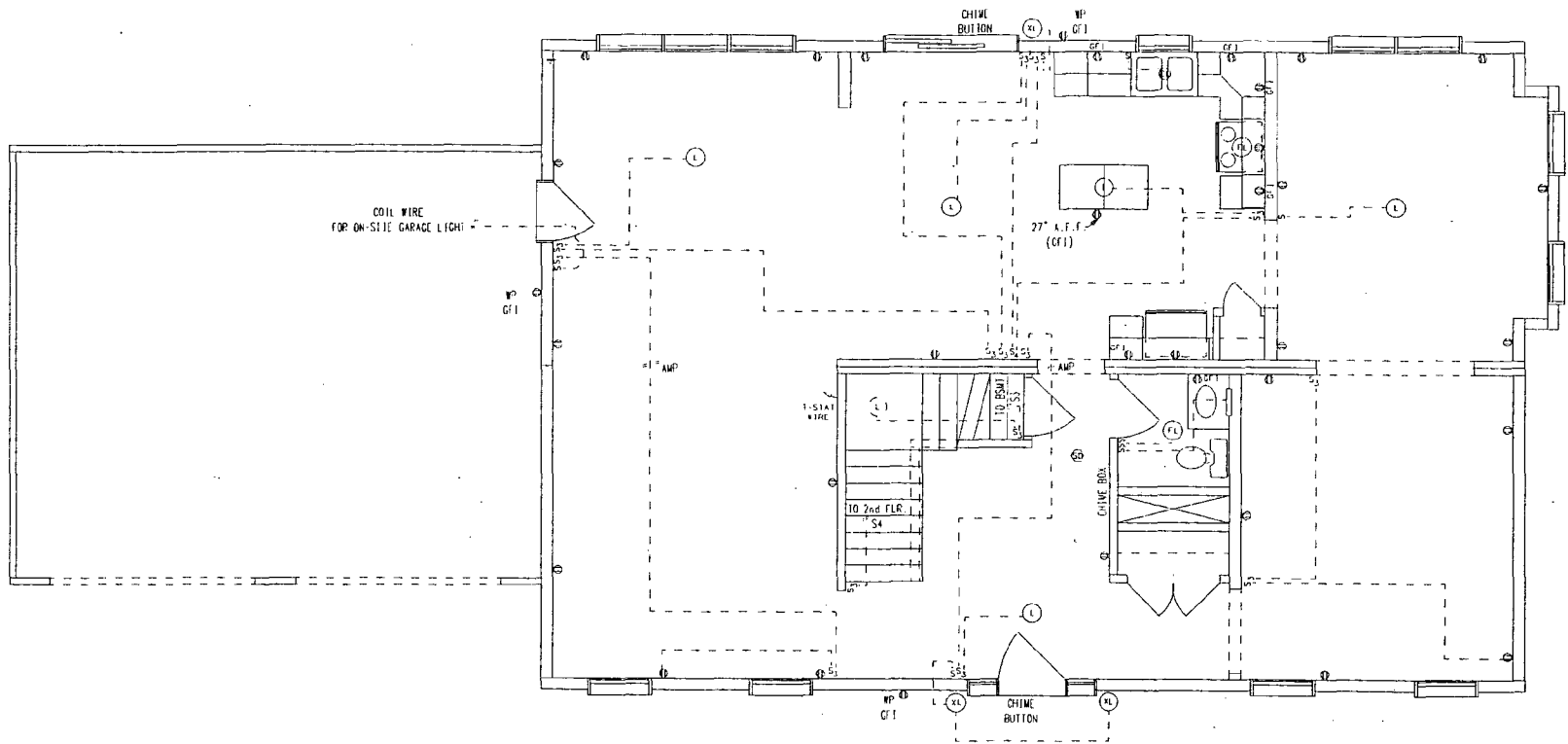


NOTES:

1. 2x6 EXTERIOR WALLS
2. 6/12 TRUSS ROOF, 16" O.C.
3. 8" CEILINGS
4. 2x10 FLOOR SYSTEM
5. OMIT BASEBOARD HEAT

BUILDER:	D.H. HOMES OF AMERICA	CUSTOMER:	THOMPSON	SERIAL #	STATE:	MD
 MODULAR STRUCTURES OF PA INC 259 South Old Trail Rd. Selinsgrove, PA 17870 (570)-743-2012		MODEL:	JEFFERSON	SIZE:	29'6" x 44'	REVISED
DRWN BY:	BAH	DATE:	09-07-00			
SALESMAN:	BRAD H.	PROJ#	00-0328			

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- NOTES:  
 1. ALL SMOKE DETECTORS AC/DC.  
 2. OMIT BASEBOARD HEAT

BUILDER:	O.H. HOMES OF AMERICA	CUSTOMER:	THOMPSON	SERIAL #:		STATE:	MD
<b>MSI</b>	MODULAR STRUCTURES OF PA INC 259 South Old Troit Rd. Selinsgrove, PA 17870 (570)-743-2012	MODEL:	JEFFERSON	SIZE:	29'6" x 44'	REVISED	
		DRWN BY:	BAH	DATE:	09-07-00		
		SALESMAN:	BRAD H.	PROJ#	00-0328		

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**Just a few of the standard features we offer:**

**6/12 Roof Pitch - 16" O.C.  
Architectural Singles with a 25 Year Warranty  
Vinyl Clad Double Hung Tilt Windows with sills  
Interior Colonial Style Mouldings, with a stained or white finish  
Interior Window Sash and Sills Stained or White Finish  
Stained Birch or Colonial White Doors  
3/4" T & G Plywood Floors  
Bath Fan/Light with heater on a timer  
200 AMP Square D, QO Line, full 40 circuit Panel Box  
Elongated Toilet  
Designer Rocker Switches**

**We also offer "The Vista" series which is an economy line. A few of it's many standard features are:**

**5/12 Roof Pitch/16" O.C.  
50 Gallon Electric Water Heater  
3 Tab Flat Shingles with a 25 year Warranty  
"Legacy" Oak Finished Framed Kitchen Cabinets and Vanities  
White Colonial Doors and Moulding  
200 AMP Square D, QO Line, full 40 circuit Panel Box  
Single Hung Vinyl Windows**

*Bar*



**D.H. of A. Inc.****PRESIDENTIAL SERIES**  
**STANDARD SPECIFICATIONS**

BOCA - National Building Code  
 BOCA - National Plumbing Code  
 BOCA - National Mechanical Code  
 BOCA - National Energy Conservation Code  
 National Electrical Code

**FLOORS**

23'8" wide models

Double 2" x 8" perimeter band - double 2" x 8" girder with 1/2" sheathing insert under marriage walls.

2" x 8" floor joists, 16" O.C. \*

\* 27'6" wide models will be double 2" x 10" perimeter band with double 2" x 10" girder with 1/2" sheathing insert under marriage wall, and 2" x 10" floor joists, 16" O.C.,  
 \* \* 3/4" plywood T & G sub-floor glued and nailed. \*

**WALLS**

\* 2" x 6" wall construction, 16" O.C. on exterior walls, \*

Thermoply sheathing board on marriage walls

\* 1/2" Finished drywall with two coats base paint

\* 7/16" O.S.B. wall sheathing

\* R-19 Fiberglass Insulation with vapor barrier

**ROOF AND CEILING**

Gable overhangs 12"

Permanent 10" overhang eaves with 6" fascia on 23'8" wide models; 10" hinged overhangs on 27'6" wide models.

\* 6/12" Trussed roof - 16" O.C. \*

7/16" O.S.B. roof sheathing

15# felt under (Architectural, self sealing shingles) (25 year) *covers covering*

\* R-30 Fiberglass Insulation (kraft faced)

\* \* 5/8" Drywall ceiling (flat-finish)

Tape and spackle at ceiling

Ridge vent

Ceiling height 8'

\* \* 3' Ice & Water Barrier

**INTERIOR**

FHA approved carpet with (6-lb. bonded padding) <sup>1/2" thick</sup> in Living Room, Dining Room, Hall and all Bedrooms.

Vinyl floor covering in Kitchen, Baths and Utility Room

Ventilated closet shelves with clothes bar

White Colonial or stained Birch flush passage and bi-fold interior doors

Wood baseboard moulding (3 1/4")

Wood door and window Colonial style casing standard 2 1/4" (white colonial or stained bass wood) *Real wood maulding*

Hall light and globe

**EXTERIOR**

*m w*

\*

Vinyl clad exterior windows with screens and insulated Low "E" glass, stained interior or white vinyl

- \* Steel insulated front and rear doors
- Exterior brass porch light at front and rear doors
- \* 4/4" or German Lap
- Door bell front and rear

**KITCHEN**

- Vented range hood with light and fan
- \* 8" Double-Bowl stainless steel sink with single lever faucet assembly and spray Custom-built, purchased Kitchen cabinets, self-edged, high pressure laminated countertops with back splash
- Soffit/Galley rail over Kitchen cabinets (optional with cathedral ceiling)
- Light
- Chandelier in Dining Room

**BATHROOM**

- Cultured marble countertop with single bowl lavatory bath vanity to match Kitchen cabinets
- \* One-piece fiberglass tub & shower unit
- \* Bath vent fan with light and (heater on separate ~~switch~~ Timer)
- \* 1.5 gal. colored china pottery water closet (elongated)
- Towel bar and paper holder
- Wall mounted beveled mirrored cabinet with matching light
- Vanities over 42" will have plate glass mirrors w/light bar

**PLUMBING**

- All plumbing stubbed through floor for on-site connection
- Water lines are copper - Type L Hard *or CPVC water lines*
- Schedule 40 PVC waste and vents
- One frost-free exterior water faucet (shipped loose)

**ELECTRIC**

- \* 200 AMP 40 circuit box (dropped below floor on basement models) *Square D 90 Line*
- Smoke and heat detectors *A Full 40 circuit*
- \* Outside weatherproof receptacle on Ground Fault Interrupter circuit
- \* Silent-Touch designer wall switches
- \* GFI protection where required

**HEATING**

- Baseboard heat with individual wall-mounted thermostats *or optional Hot Water*
- 50-Gallon electric water heater *or Boats + Registers*

**RAISED RANCH SPECIFICATION**

NOTE: Additional Specifications for Raised Ranch only.

**INTERIOR**

Four-way switch for foyer area  
 2' Electric heat element for landing or 3' hot water (shipped loose)  
 Carpet, pad & vinyl flooring ship loose for on-site assembly of stairs,  
 (stair & landing package optional)

**CAPE SPECIFICATION**

NOTE: Additional Specifications for Capes only.

**INTERIOR**

Future wiring chase  
 Stairs to second floor (railing supplied and installed by builder)  
 Close-off package includes one 30" passage door, trim, studs, drywall, insulation,  
 carpet and pad (ship loose) for stairs

**EXTERIOR**

28 x 52 windows on first floor  
 Second floor gable end windows standard (28" x 52" "D" raw)

**ROOF SYSTEM**

- \* 12/12 Rafter roof system, 16" O.C.
- \* R-30, 9 1/4" fiberglass ceiling insulation installed between first and second floor
- \* 3/4" T & G plywood floor decking on second floor 14' section 27'6" wide / 12' section on 24' wide x length of home
- \* 2" x 10" SPF floor joists 16" O.C. for 24" wide
- \* 2" X 10" SPF floor joists 16" O.C. for 27'6" wide

**TWO STORY SPECIFICATIONS**

NOTE: Additional Specifications for Two Story only.

**FIRST FLOOR CEILING**

- \* 2" X 6" Ceiling joists, 16" O.C. with double 2" x 12" perimeter bands glued and nailed.  
 Fiberglass insulation 2' around perimeter between floor and ceiling.

**TWO STORY SPECS (cont.)****EXTERIOR**

28 x 52 windows throughout second floor, and 28 x 52 windows throughout first floor except kitchen and bath

All second floor siding ship loose

2 Exterior Brass Carriage lights - STD

**SECOND FLOOR - FLOOR SYSTEM**

2 x 8 Floor joists, 16" O.C. - 24' wide

\* 2 x 10 Floor joists, 16" O.C. - 27'6" wide

**INTERIOR**

Steps to second floor with carpet and carpet pad (ship loose)

Railing supplied and installed by builder

**PLUMBING**

Plumbing stubbed for the second floor. All horizontal plumbing between floors to be done by builder on site. (Manufacturer supplied) Drywall left off to make plumbing connections (floor plan dictates). Drywall will be shipped loose.

**CONTEMPORARY SPECIFICATIONS**

~~Brown casement windows, as per floor plan~~

~~Wood/Wood Trapezoid windows, as per floor plan~~

~~Winged gable, as per floor plan~~

~~Cathedral Ceiling, as per floor plan~~

~~T-111 Premium Fir 8" Siding~~

**COLOR GUIDE****SHINGLES**

Standard - 25 yr. Architectural Owens Corning Oakridge 25, 235 lb.

Available Colors: Estate Gray, Brownwood, Driftwood, Desert Tan, Teak, Onyx Black, Barnwood

Upgrade - 30 yr. Architectural Owens Corning Oakridge 30

Available Colors: Brownwood, Driftwood, Estate Gray, Sienna Blend, Chateau Green, Cinder, Harbor Blue, Colonial Slate

**VINYL SIDING**

STANDARD 4 x 4 or German Lap

Available Colors: White, Ivory, Almond, Sand, Khaki, Blue, Pewter



Proposed driveway



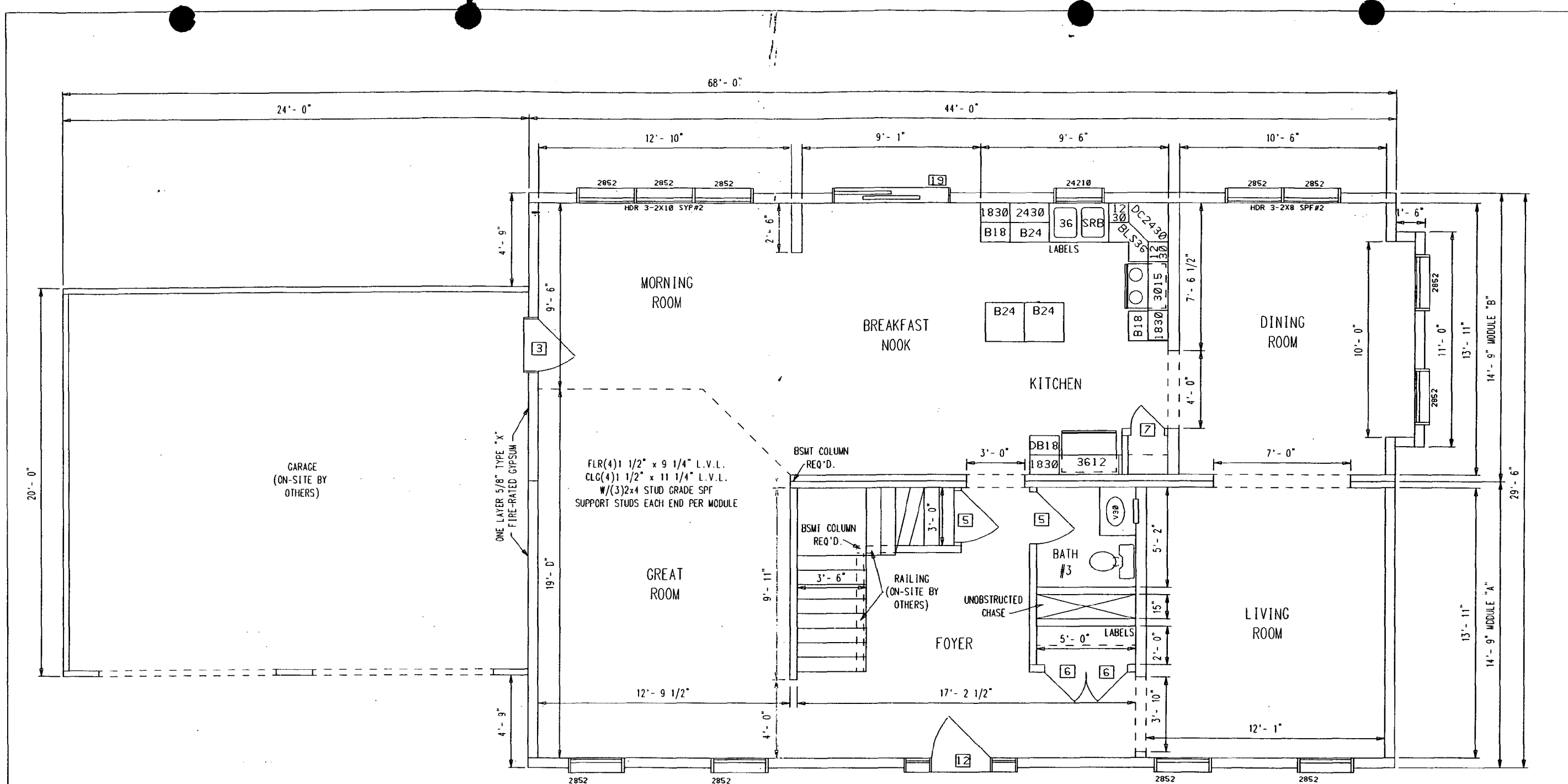
Lot 14530  
Folio 644



Lot 14530  
Folio 644




Lower end wooded  
area!

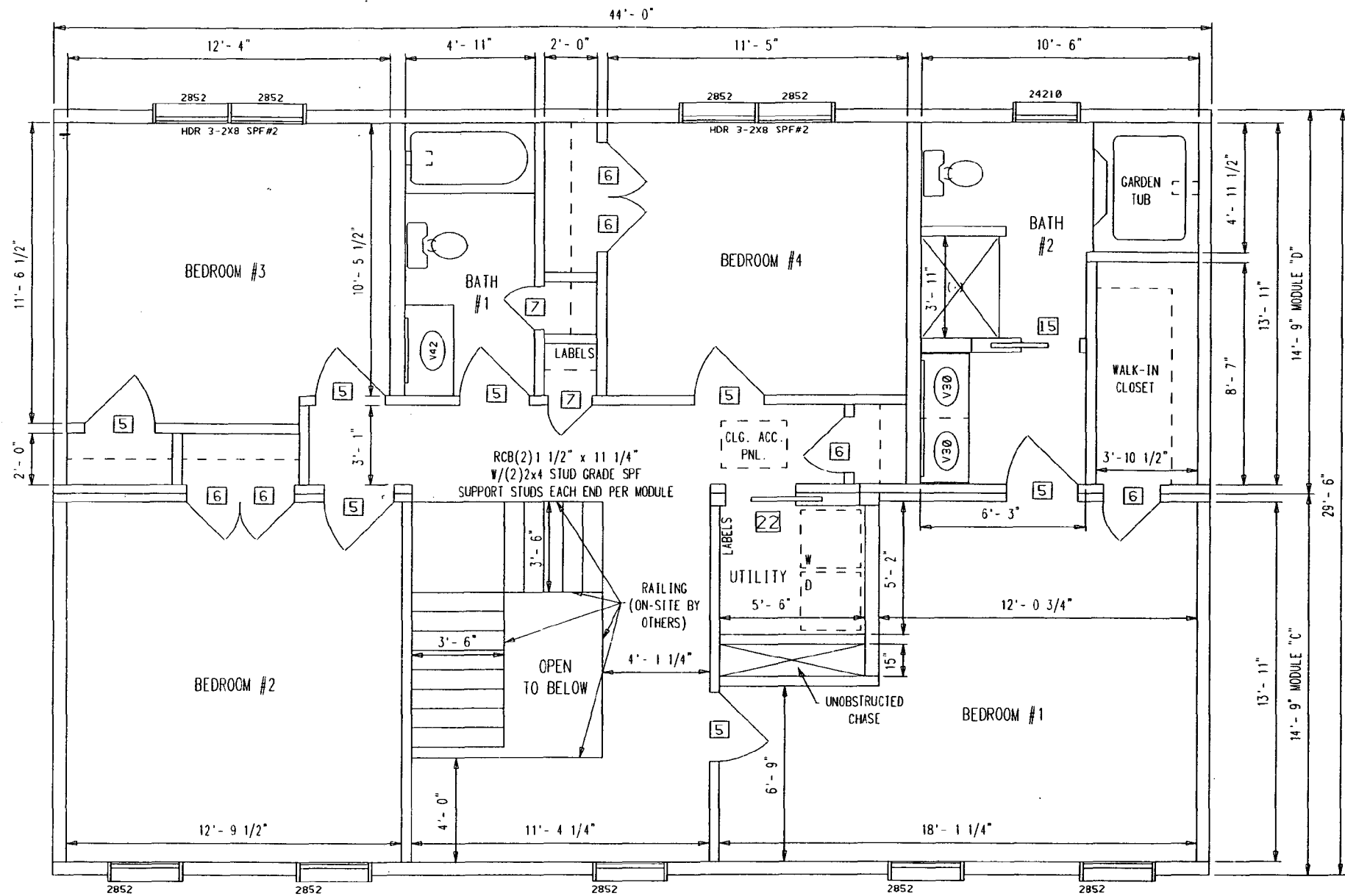


- NOTES:
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  2. 6/12 TRUSS ROOF, 16" O.C.
  3. 8' CEILINGS
  4. 2x10 FLOOR SYSTEM
  5. OMIT BASEBOARD HEAT

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]*  
 PD2  
 12/26/00

BUILDER: D.H. HOMES OF AMERICA	CUSTOMER: THOMPSON	SERIAL #:	STATE: MD
 MODULAR STRUCTURES OF PA INC 259 South Old Trail Rd. Selinsgrove, PA 17870 (570) 743-2012	MODEL: JEFFERSON	SIZE: 29'6 x 44'	REVISED
	DRWN BY: BAH	DATE: 09-07-00	
	SALESMAN: BRAD H.	PROJ# 00-0328	




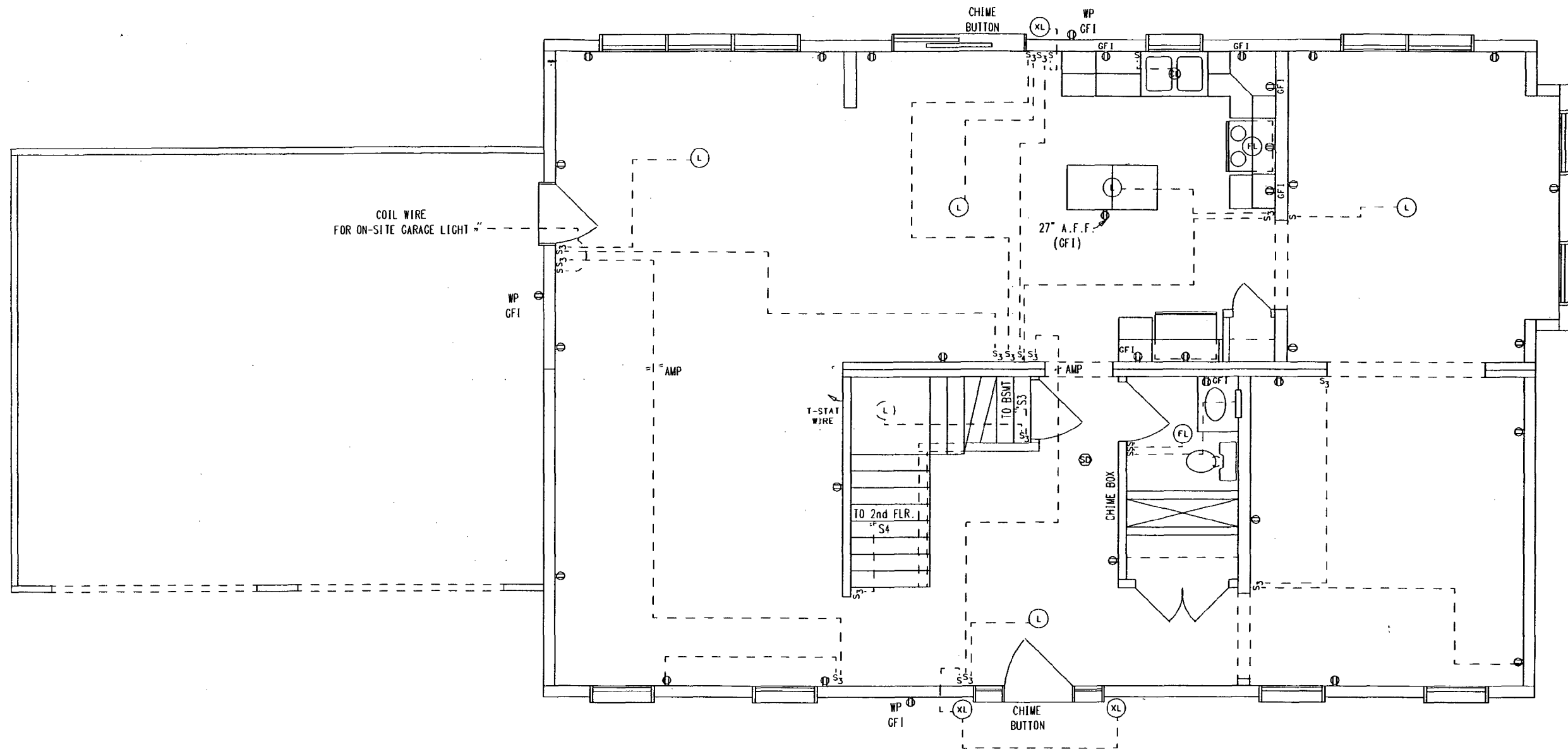
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APPROVED  
Montgomery County  
Historic Preservation Commission


*[Signature]*  
RDB  
12/26/00

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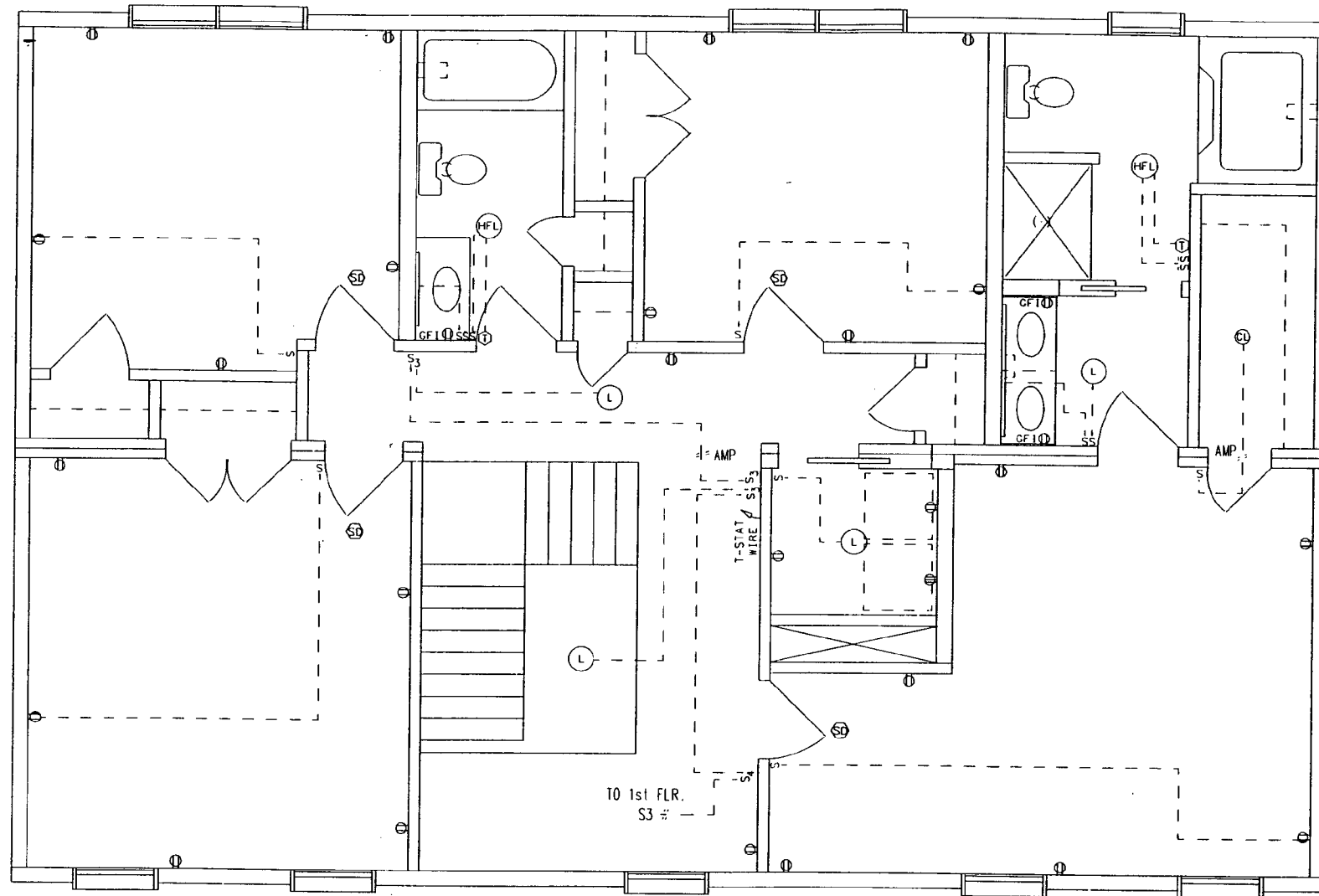


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APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*  
 PDZ  
 12/26/00

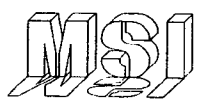
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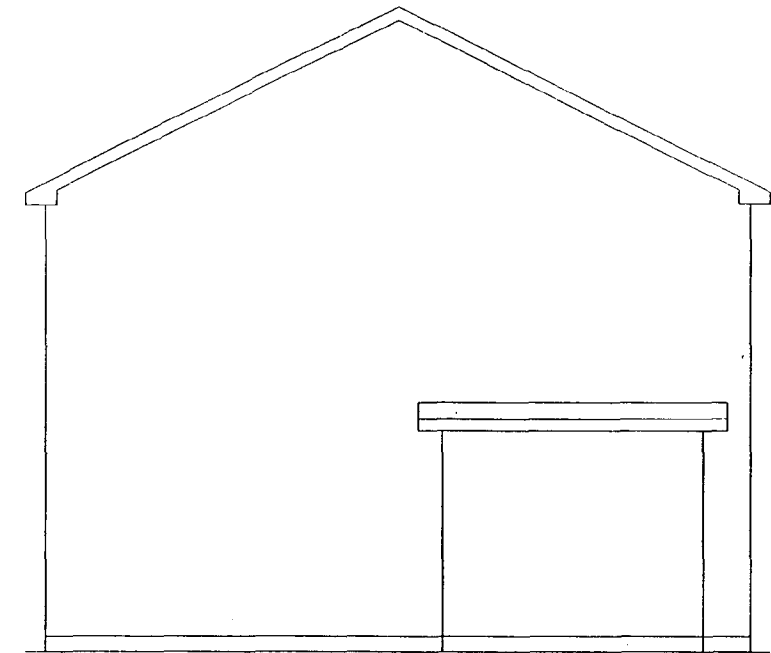
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APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*  
 12/24/00

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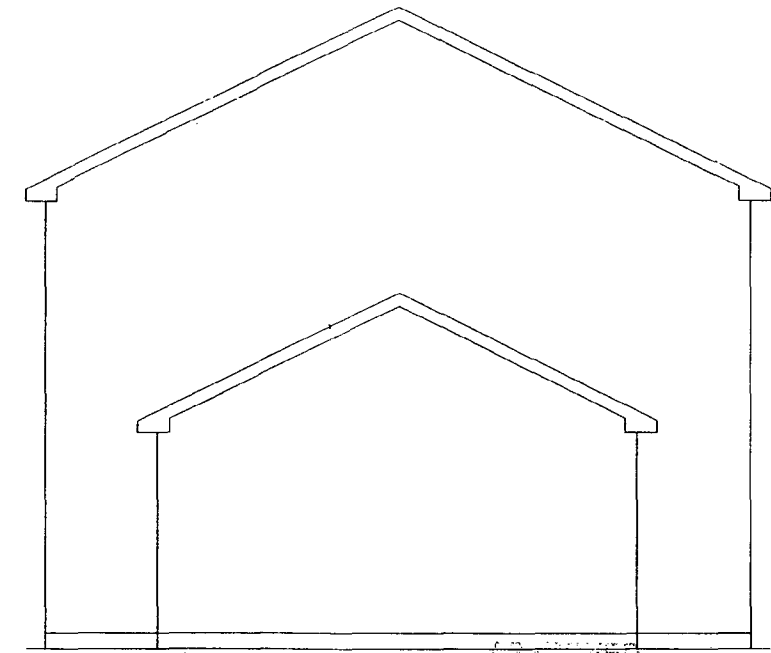
FRONT ELEVATION



RIGHT SIDE ELEVATION




REAR ELEVATION



LEFT SIDE ELEVATION

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 2022/06/06

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	DRWN BY:	BAH	DATE:	09-07-00	
	SALESMAN:	BRAD H.	PROJ#	00-0328	



Plat of Proposed House Location - Site Plan - Tree Location  
 David E. & Patricia Thompson Property  
 Town of Brookeville - Olney (8th) District  
 Montgomery County, Maryland  
 Surveyor's Certificate

I hereby certify that the plan shown hereon is correct to best of my knowledge and belief in accordance with descriptions of record and collected field data.

Date: October 24, 2000

Scale: 1" = 50'

Liber - 18447 Folio - 384

Tax Acc't No. 08-00732102

House #7 Church Street, Brookeville, Maryland 20833.

Subject to Rights of Way and Easements of record.

Prepared by: R.K. Maddox Surveys, 4011 Baker Valley Road, Frederick, Maryland 21704.

Revised: November 24, 2000

*John E. Poole, Jr.*  
 John E. Poole, Jr., Surveyor  
 Property Line Surveyor #588



1.0914 Ac.  
 J. Hidalgo

0.32170 Ac.  
 Liber 13154  
 Folio 40

J. Seibel  
 0.24821 Ac.  
 Liber 13154  
 Folio 40

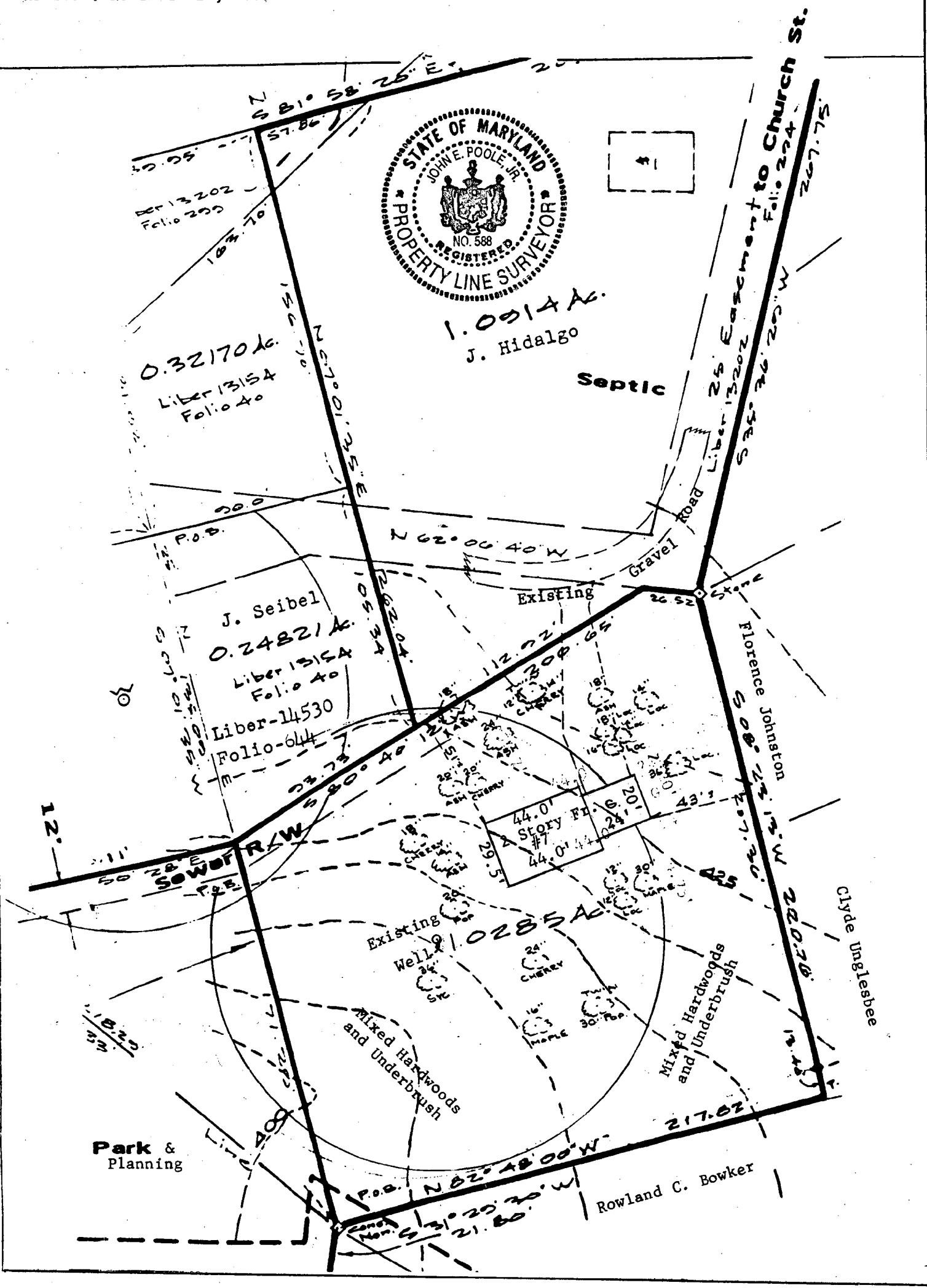
Liber-14530  
 Folio-644

44.0' Story Fr.  
 #1  
 44.0'

1.0285 Ac.

Park & Planning

Rowland C. Bowker





Lower end wooded  
area!



Libry 13154  
Folio 40



Lily 14530  
Folia 644



Proposed drive way