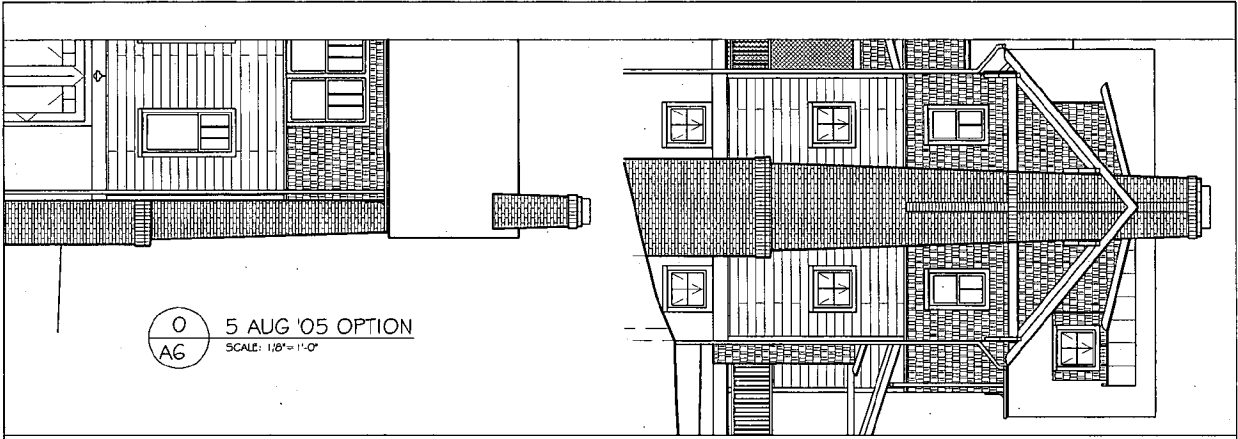
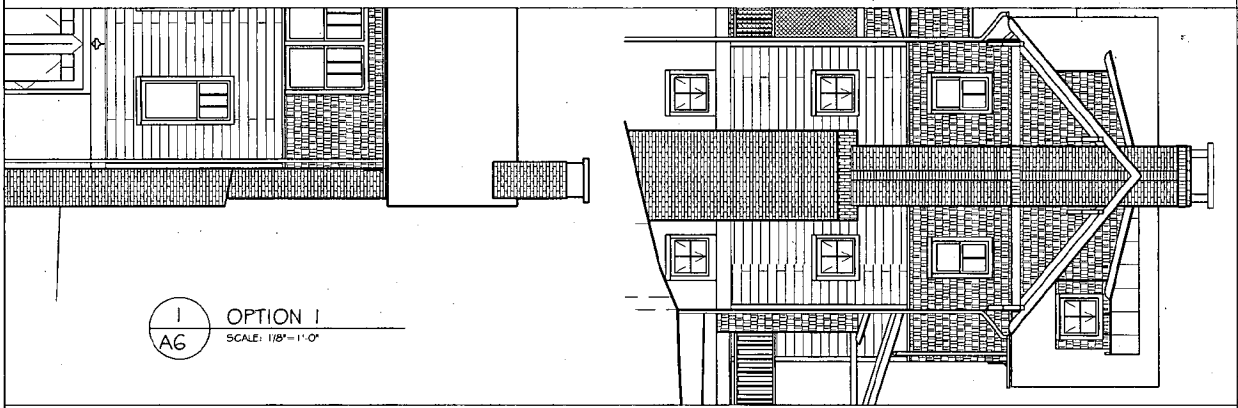


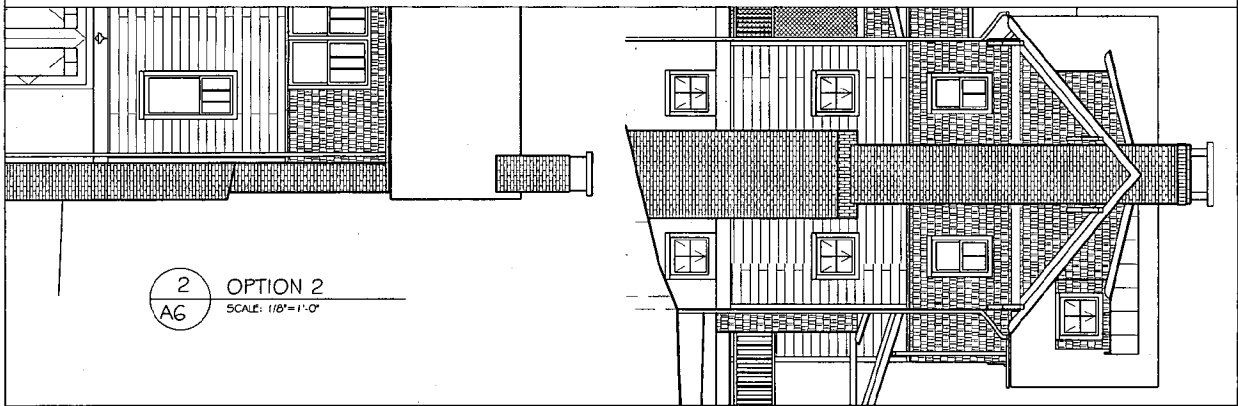
23/65-05C **REVISION** 203 Market St  
Brookeville Historic District



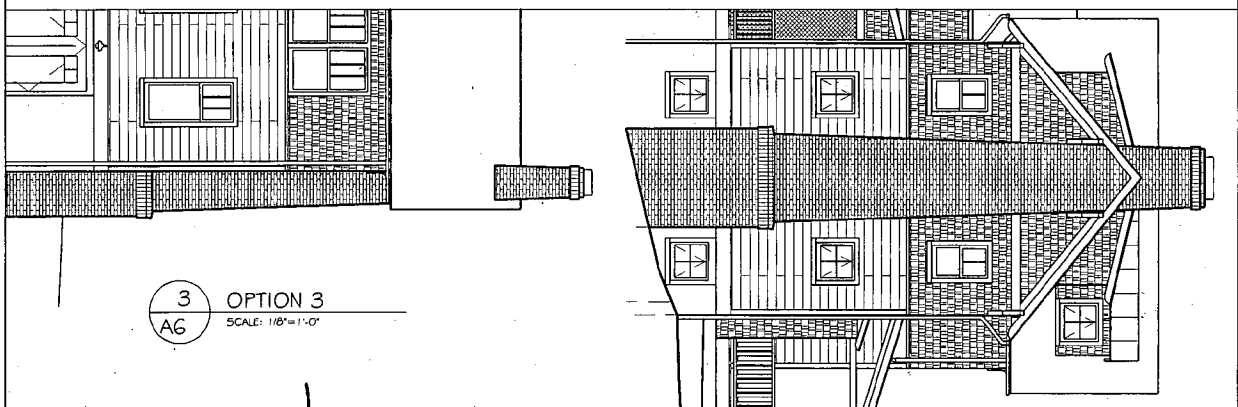
0 5 AUG '05 OPTION  
A6 SCALE: 1/8"=1'-0"



1 OPTION 1  
A6 SCALE: 1/8"=1'-0"



2 OPTION 2  
A6 SCALE: 1/8"=1'-0"

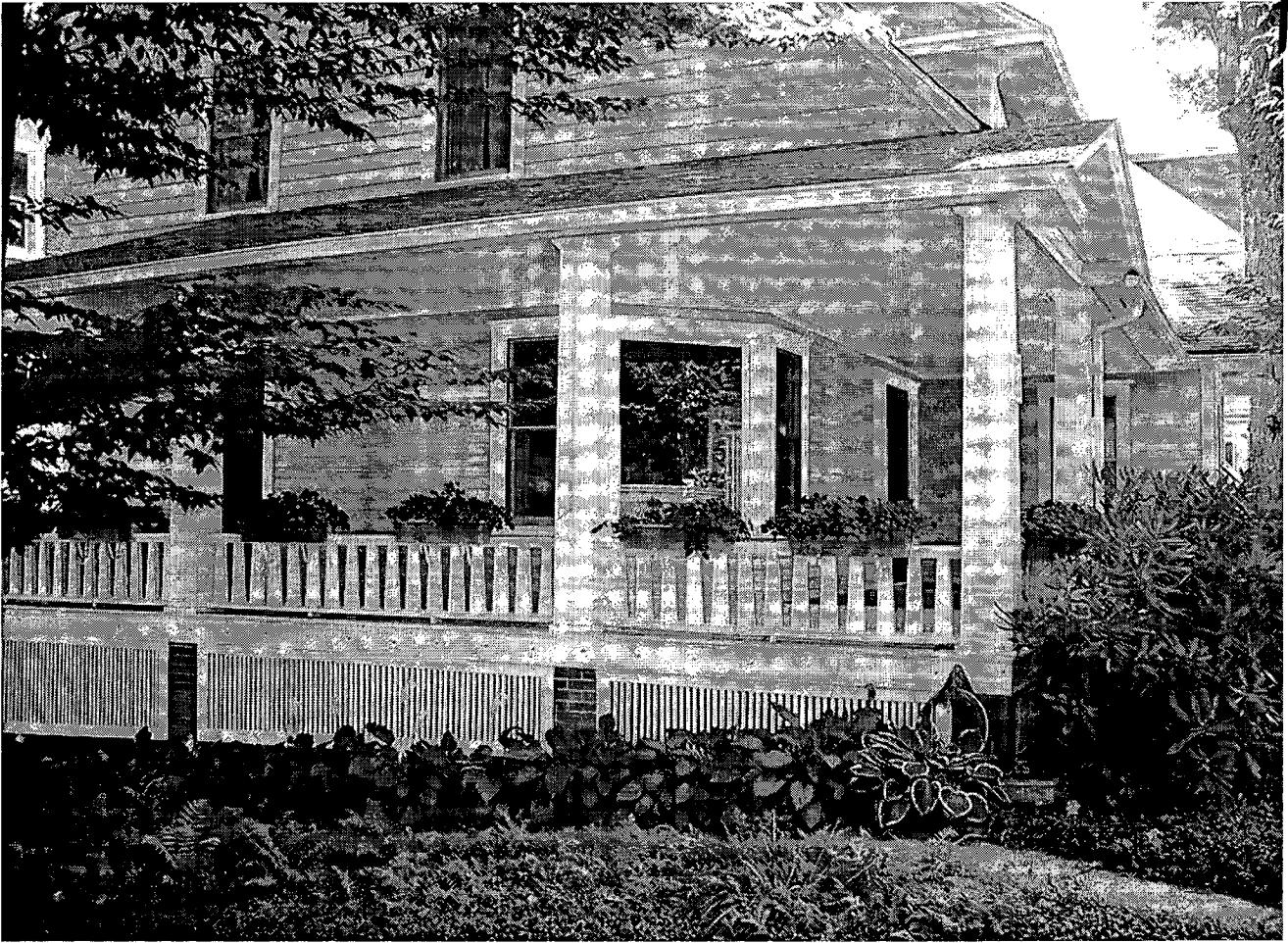


3 OPTION 3  
A6 SCALE: 1/8"=1'-0"

*scops*  
**CHIMNEY OPTIONS**  
CHIMNEY OPTIONS - 14 SEPT 05

<b>A6</b>	MICHE BOOZ ARCHITECT
	208 Annapolis St Brookland, Maryland 20611 Tel: 774 1908
Project: SCANLON HOUSE 1400 14th St Brookland, Maryland Montgomery County	
Date:	
TODAY'S DATE: 4.13.05 '05	
Drawings:	
ELEVATIONS	

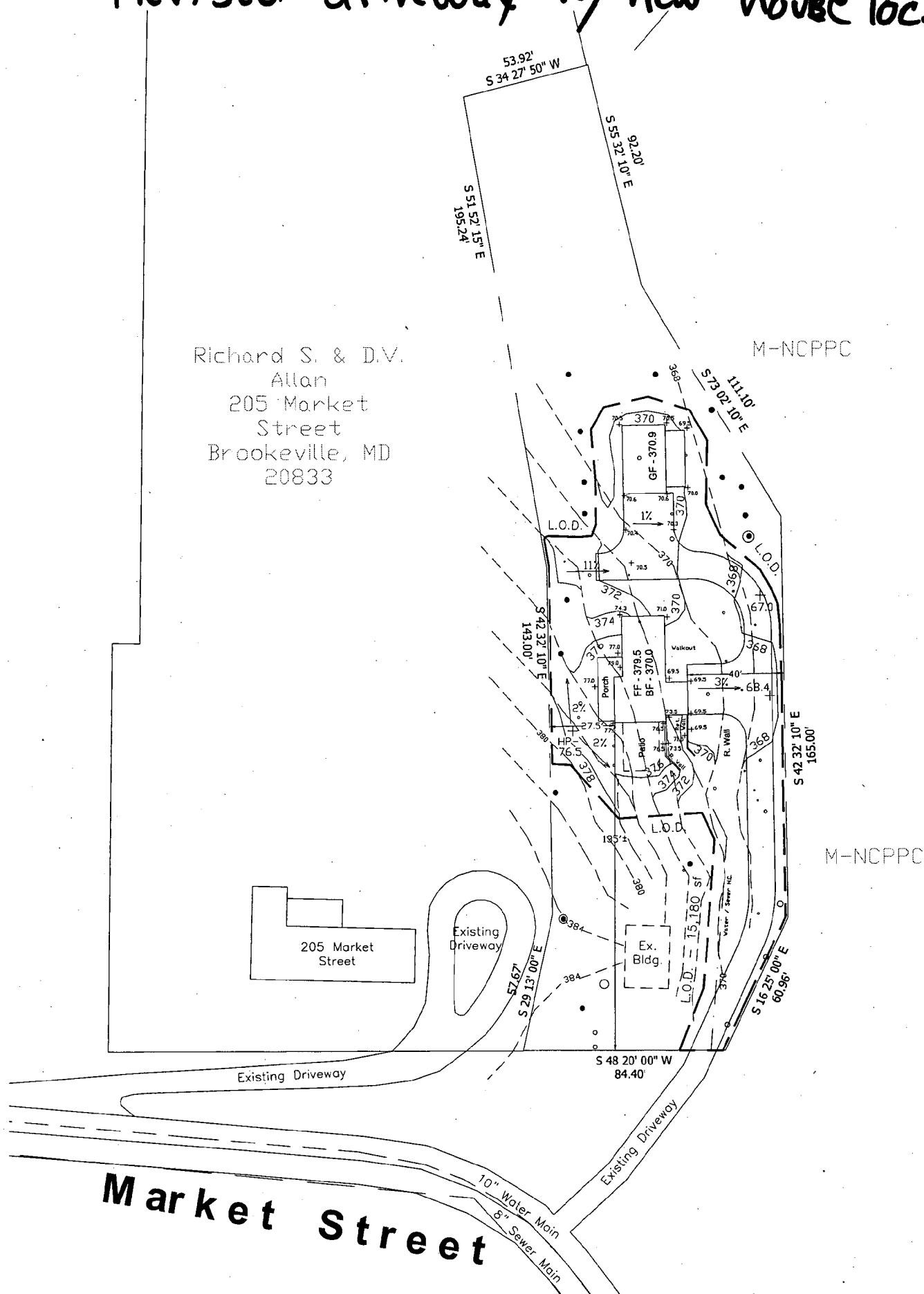
H-D



Alternate column design.

Revised driveway w/ new house loc.

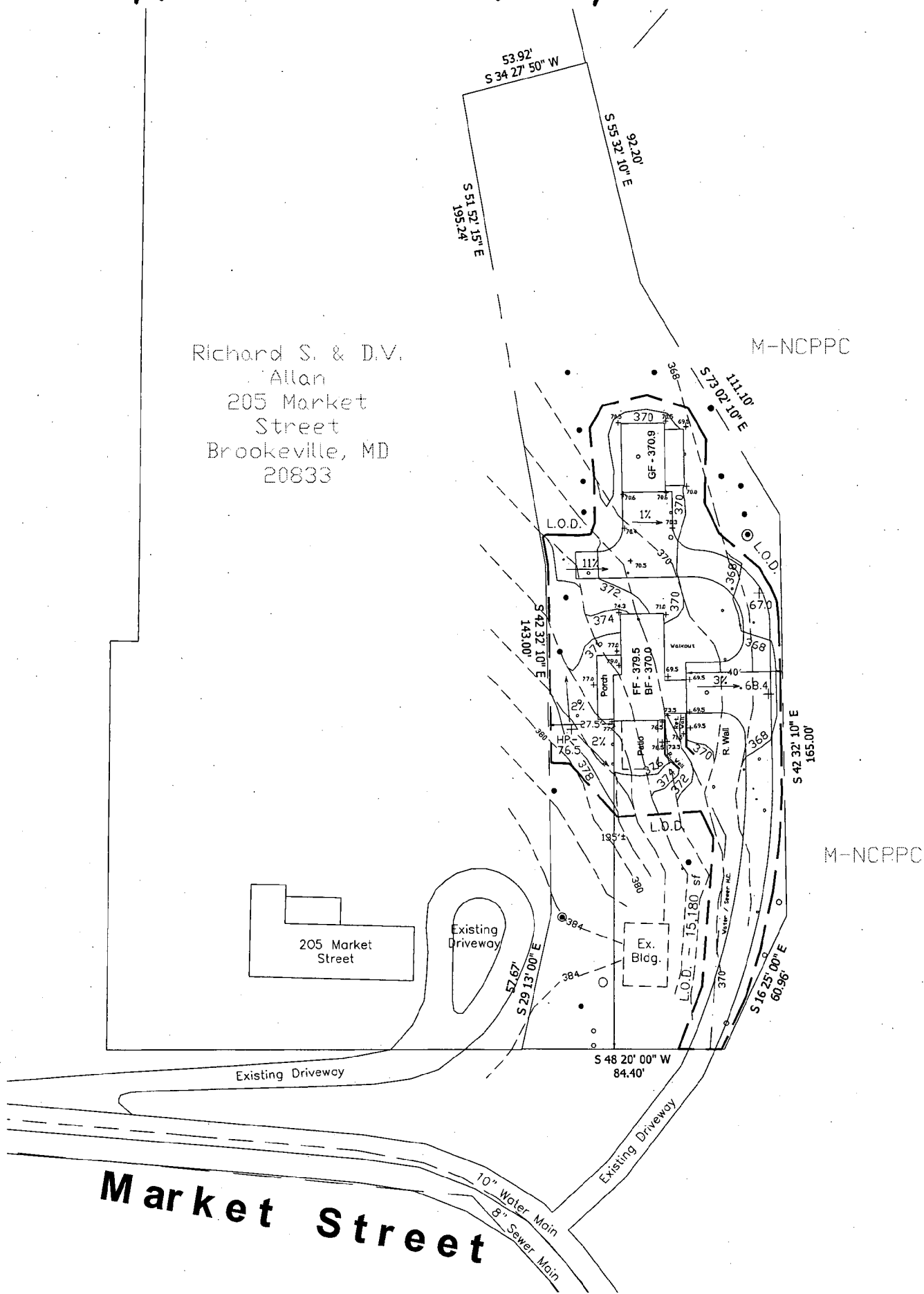
Richard S. & D.V.  
Allan  
205 Market  
Street  
Brookeville, MD  
20833

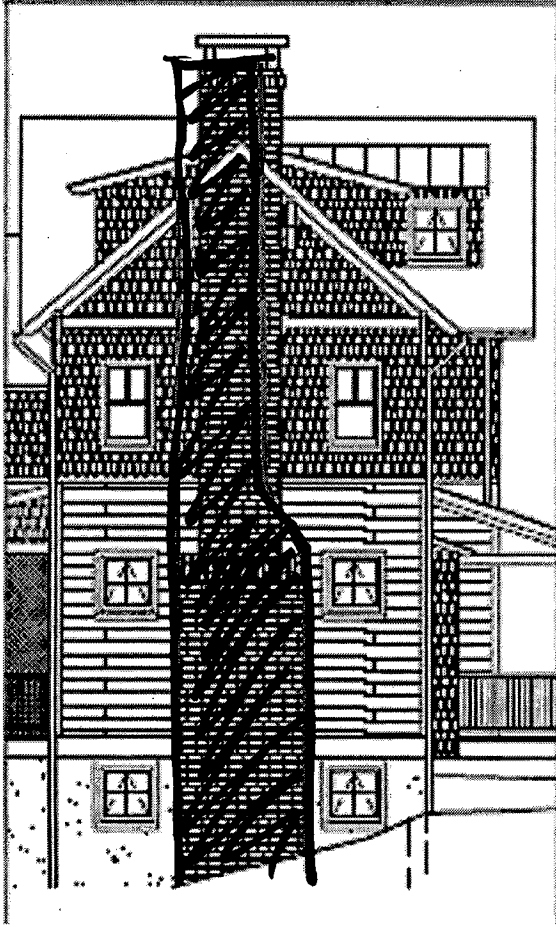


Market Street

Approved driveway w/ new house loc

Richard S. & D.V.  
Allan  
205 Market  
Street  
Brookeville, MD  
20833





STAFF SUGGESTION

MICHE BOOZ  
ARCHITECT

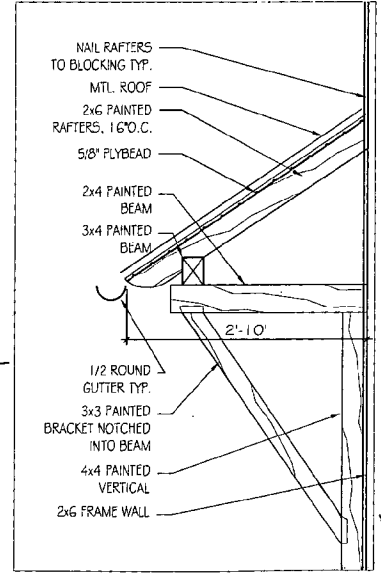
A6

208 Market St  
Brookville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:  
**EAST ELEVATION**  
1/4"=1'-0"

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 EAST ELEVATION  
A6 SCALE: 1/4"=1'-0"

2 SHED ROOF DETAIL  
A6 SCALE: 1"=1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ

ARCHITECT

A6

208 Market St  
Brookville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
SCANLON HOUSE  
Race Street  
Brookville, Maryland  
Montgomery County

Dates:

TODAY'S DATE: 14 FEB 05

Drawings:

ELEVATIONS



1 NORTH ELEVATION  
A6 SCALE: 1/8" = 1'-0"

I.A.W.P. SUBMISSION - 14 FEBRUARY 05



MICHE BOOZ  
ARCHITECT

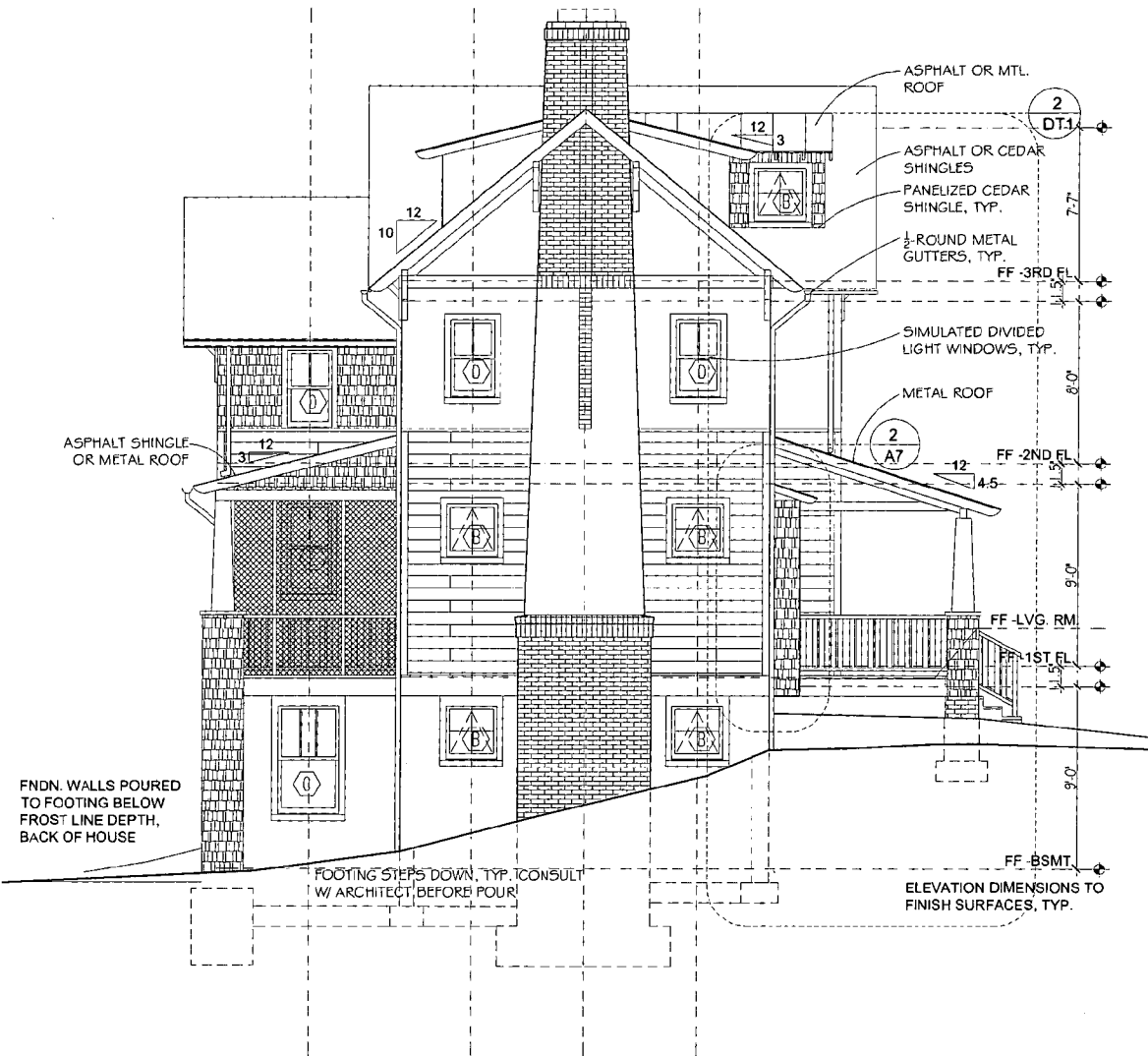
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208/Market St  
Brookville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

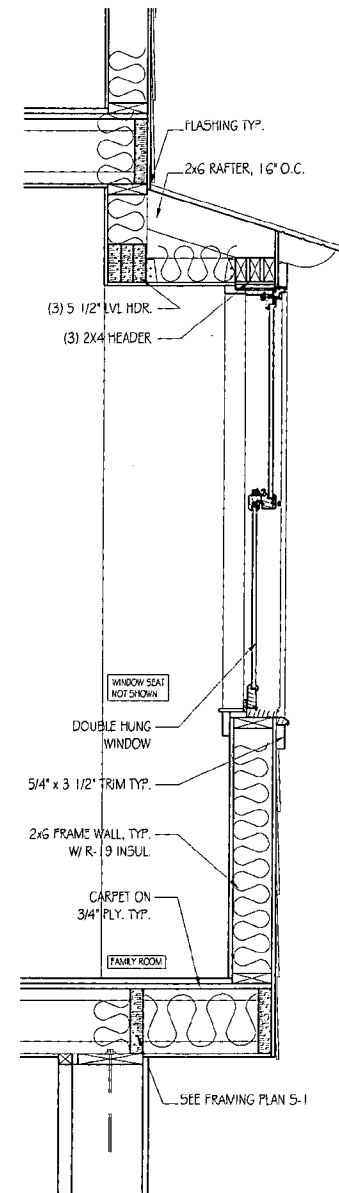
Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:  
**NORTH ELEVATION**  
1/4"=1'-0"

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 NORTH ELEVATION  
A7 SCALE: 1/4"=1'-0"



2 WINDOW SEAT DETAIL  
A7 SCALE: 1"=1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ

ARCHITECT

A8

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:

SCANLON  
HOUSE

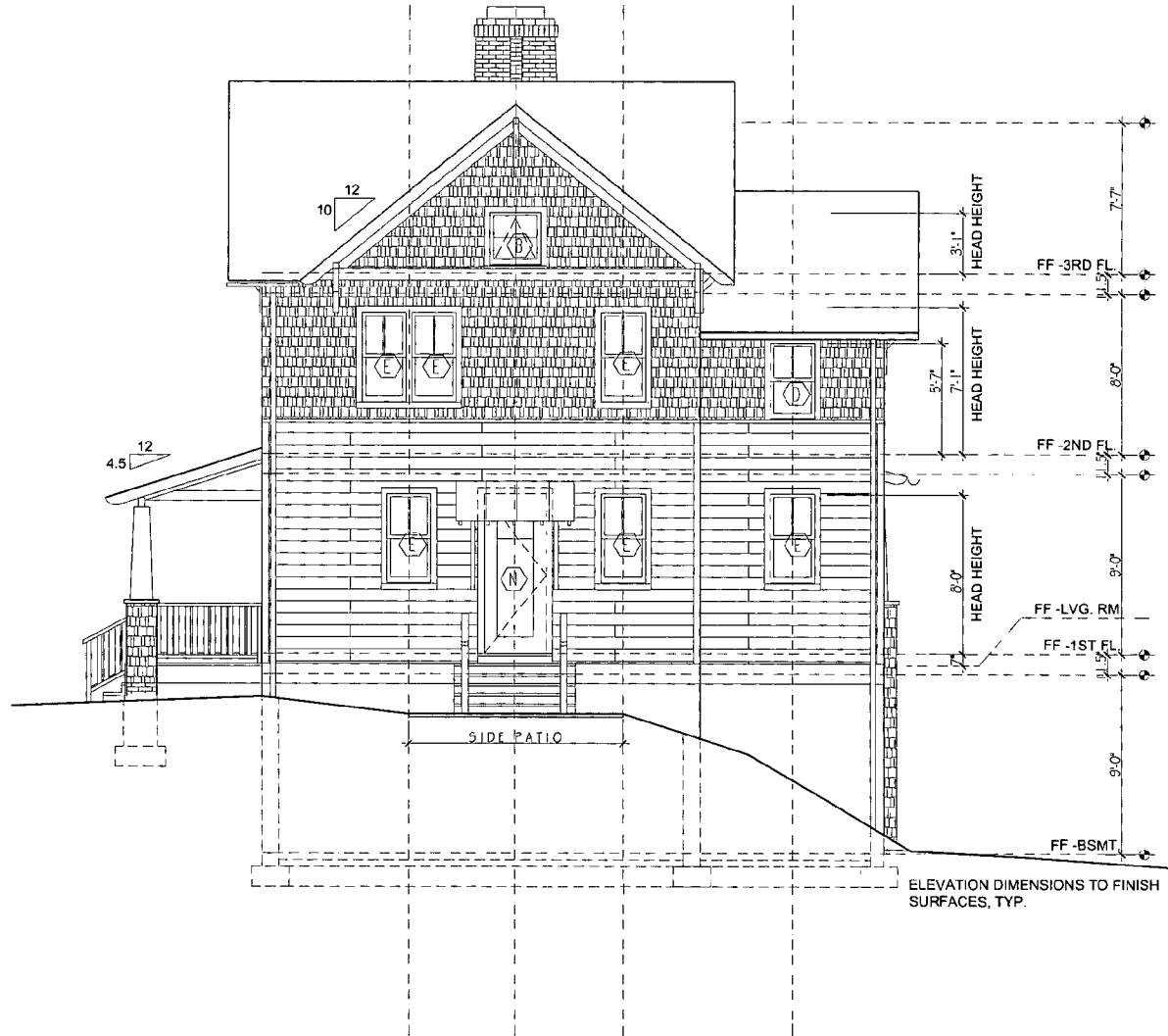
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:

SOUTH ELEVATION  
1/4"=1'-0"

Dates:

SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



ELEVATION DIMENSIONS TO FINISH SURFACES, TYP.

1 SOUTH ELEVATION  
A8 SCALE 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ

ARCHITECT

A5

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
SCANLON HOUSE  
Race Street  
Brookeville, Maryland  
Montgomery County

Dates:

TODAY'S DATE 14 FEB 05

Drawings:

ELEVATIONS



1 SOUTH ELEVATION  
A5 SCALE: 1/8" = 1'-0"

I.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ  
ARCHITECT

A5

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:

SCANLON  
HOUSE

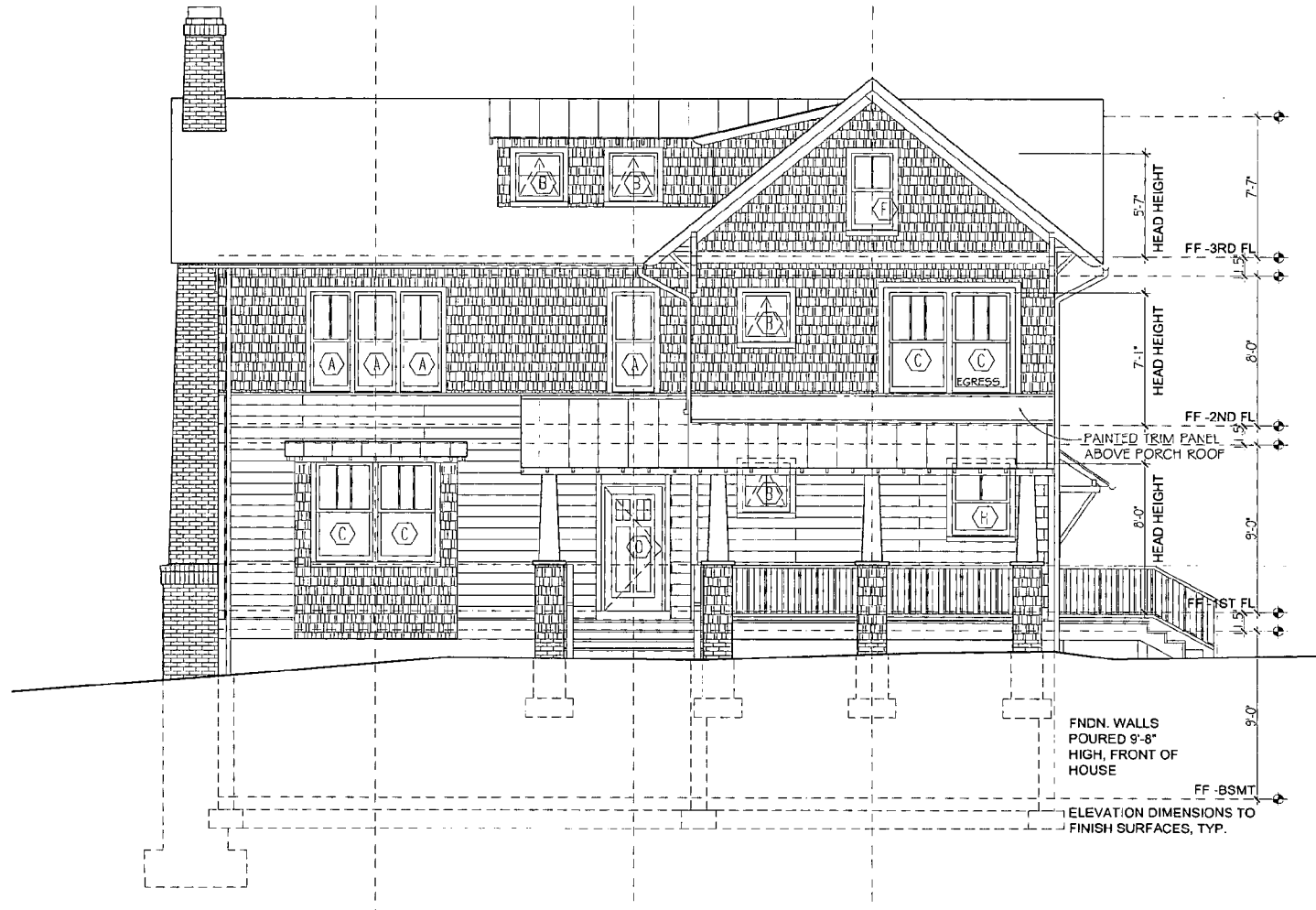
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:

WEST ELEVATION  
1/4"=1'-0"

Dates:

SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 WEST ELEVATION  
A5 SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

Comparison Drawings of 203 Market Street

STAFF  
ITEM

- 1<sup>st</sup> Level – all windows changed to 2/1, the left one made bigger (OK) and the right ones made smaller
- 2<sup>nd</sup> Level – all windows changed to 2/1
  - 3/1 changed into a pair of windows and moved to the left – staff is OK with position change
  - other two windows made smaller
- Attic – window location lowered – OK

## Reference Material

### Conditions of Approval:

1. Materials and design details will be provided to and approved by staff.
2. Windows will be wood with true or simulated divided lights – specifications to be provided to and approved by staff.
3. A tree protection plan will be prepared by the applicant, approved by an M-NCPPC arborist, and implemented prior to any work beginning on the property.
4. Drawings showing the outbuildings sited on the slope of the land will be submitted for staff review prior to completion of construction drawings.
5. Driveway construction will be delayed as long as it is feasible to allow more time for the decision regarding the creation of Race Street to be made.
6. The existing stone structure will be stabilized and repaired to the extent necessary as determined by staff prior to occupancy of the new construction

From the staff report – “If the same profiles can be maintained (e.g. battered porch piers) then brick could be used for the chimneys and piers,”

From the Transcripts –

“MR. FULLER: It seems to me there's a series of details that really aren't shown in these drawings that to me you ought to go back to staff with those, and let them make a determination whether it really needs to come to us or not.”

“MS. ALDERSON: Did you want to add a condition about the staff approval of walkway details? MR. FULLER: I think that's really implicit with our regulations. I would notify the applicant that it's just something they need to be aware of to go back.

## Design Changes For New Construction At 203 Market, Brookeville

### SITE

- The driveway selection is the preferred option of the Commission. - OK
- Tree protection plan has been prepared - OK
- Due to grading issues the new house is now sited farther away from the historic stone house (83' vs. 50'). This eliminated space for the shed, reduces the length of the rear driveway, and places the house closer to the proposed barn. - OK
- Footprint is smaller – now 907.125 - OK
- Front porch is 6' deeper - OK

### ELEVATIONS

#### Common to all Elevations

- Chimney is now tapered (material change to brick was allowed per the HAWP)
- Porch piers are now shingle with brick bases rather than stone veneer
- Porch columns now battered and piers straight rather than the other way around
- Grading comes higher up on the house such that less foundation is shown

#### West (called South in HAWP)

- Pair of windows in bay wider in proportion – from 2.3125 x 5.5 to 3 x 5 0.167
- Railings for front and side steps now shown - OK
- Railing style changed - OK
- Window under porch is stubbier than before and is 2/1 rather than 3/1
- Trim around 2<sup>nd</sup> level windows changed to match others – OK
- Muntin pattern of attic window changed – OK

#### East (called North in HAWP)

- A lot of window and door changes on the basement, 2<sup>nd</sup> and attic levels
- Windows changed to doors on basement level
- Windows on 1<sup>st</sup> level smaller, but have the same proportions – OK
- Garage door change – from arched to square – OK

#### North (called West in HAWP)

- A lot of window changes
  - Basement – window added – OK
  - 1<sup>st</sup> Level – window at screened porch smaller and changed to 2/1
    - windows flanking chimney made smaller and square – staff is OK with this changed because it is a common bungalow/ craftsman feature
  - 2<sup>nd</sup> Level – windows flanking chimney made smaller and changed to 2/1
    - window under eave made smaller and stubbier
- Projecting bay extends lower – OK

#### South (called East in HAWP)

- A lot of window changes
  - Basement – window removed – OK

1 MS. TULLY: Market Street is, you know, the thick one, a staff item, and  
2 then there are some big folded. This is another case of what ended up being designed and  
3 presented is somewhat different from what was seen at the historic area work permit.

4 This is a case where, well, it's new construction on the rear of the lot, and  
5 for a build. There was a condition that said, materials and design details will be provided  
6 to and approved by staff, but staff felt that there were enough changes that we weren't  
7 comfortable with all of  
8 them. So we wanted you guys to take a look at them.

9 I'll go over sort of briefly. If you look, I made a list of all of the changes. I  
10 also provided before and after photographs or drawings in the packet. There are, I put  
11 little okay's beside all the things that I didn't -- that staff felt were not a big deal.

12 The others, you know, I sort of leave up to you. And we start with sort of  
13 some really good things. You've got a copy of the tree protection plan. They've done  
14 that. That's good. Due to grade issues, the house is actually now farther away from the  
15 historic stone house, which great. It is, instead of 50 feet away, it's now 83 feet away.

16 That also has eliminated space for one of the outbuildings. So the shed  
17 that had been proposed, there is no place for it anymore. And it actually has a smaller  
18 footprint than it did.

19 To summarize, sort of the big issues were window changes, whether in  
20 location or proportions, that kind of thing. Additionally, there was a switch on the  
21 various porch columns on the front and the rear. Originally, the porch piers were straight,  
22 and the porch columns were straight, and the piers were battered, and now it's the other  
23 way around. The straight piers and battered columns.

24 MS. O'MALLEY: I think it would stay the way it was.



1 MS. TULLY: So basically, they don't want to come back. So what I need  
2 to know are what items that if they want to do it, they have to come back.

3 The other relatively large change is the chimney. And they were given the  
4 leeway to make some material changes, so you know, switching it to brick has already  
5 been approved, but it's, they changed the shape. It was just a straight chimney, and now  
6 it's a battered chimney.

7 MR. FULLER: Did the house rotate by 90 degrees, or did they just change  
8 the orientation?

9 MS. TULLY: The just changed it. It was one that was sort of cockeyed.  
10 So it really should probably be more west, southwest.

11 MR. FULLER: Okay.

12 MS. O'MALLEY: I'm not sure which is the one that they had? If we start  
13 on the first page --

14 MS. TULLY: Okay, you start on the first page.

15 MS. O'MALLEY: The top one is the one they already put on?

16 MS. TULLY: No, the bottom, when you look at them, the bottom one is  
17 the old. The bigger bolder one is the old. The lighter finer, and the one that shows the  
18 footings at the top, that is the new.

19 MS. O'MALLEY: Okay. I like those pillars better.

20 MR. FULLER: The new ones.

21 MS. O'MALLEY: The new ones.

22 MS. TULLY: And the other question would also be,  
23 the piers were stone. Now they are hardy shingle siding.

24 MS. O'MALLEY: That's kind of weird.

1 MR. FULLER: It looks like it starts with a stone base, and then it turned  
2 over to that, and then it turned into --

3 MS. TULLY: Brick, brick base.

4 MR. FULLER: Brick base, then hardy shingles.

5 MS. TULLY: Then hardy and then -- yes, precast concrete columns.

6 MS. WRIGHT: I just want to say something. When we have cases where  
7 they -- we aren't comfortable, either, when there are so many changes that come in from  
8 what was approved by the HPC. And that's why we bring these things to you.

9 And I'll talk about this just for one minute, because I know Commissioner  
10 Burstyn was just asking some questions. You know, one of the things that is inevitable in  
11 the construction process, and design process, is some changes come up. But there gets to  
12 a point, and we approve many small changes on a staff level that you never see or hear  
13 about. But we're getting more and more, as you can see evidenced by this evening, folks  
14 who come in, get approval, and then are asking for things to be different subsequent to  
15 that approval.

16 Sometimes the differences are subtle. Sometimes they are fairly major.  
17 And I guess, you know, in a generic sense, I would ask the Commission to think about  
18 nipping it in the bud, I mean, taking a fairly hard line on saying, if you want to really  
19 make changes, you have to come back.

20 MS. O'MALLEY: This one has a lot of changes. I think it should come  
21 back.

22 MS. WRIGHT: Because the disadvantage to doing what we're doing now  
23 is that the applicant's not here. The community is not here. There is no opportunity for  
24 folks to comment, back and forth. We're doing it at the end of the meeting. Everyone is  
25 tired. You know.

1                   And so, again, I don't want to tell you what to do on this specific case, but  
2 I will say that we're getting enough of these that I hope you all will send the message that  
3 either come in with your HAWP the way you really want to build it, or come in for  
4 revisions, if you really have to make changes.

5                   MR. BURSTYN: If it's beyond what we've directed staff to do, beyond  
6 their authority, then it's a reconsideration of the case and it should come back to the  
7 Commission, because otherwise we're making decisions based on new evidence that's  
8 submitted. And it's like going so the applicant nor the public is not here to comment on  
9 them.

10                  MS. WRIGHT: And frankly, this is what got the Planning Board in  
11 trouble --

12                  MR. BURSTYN: It's just purely wrong procedurally.

13                  MS. WRIGHT: -- on Clarksburg. It was exactly this.

14                  MR. FULLER: If we take it, if we take it to an extreme, we're going to  
15 end up having, you know, twice as many applications because it is impossible to have all  
16 these things pre-anticipated. And I think this one is kind of on the line. I mean, quite  
17 frankly, I think that the Takoma Park Fire Department almost seems like a greater shift in  
18 things that are being done here.

19                  You know, if you sort of looked at this quickly, you'd almost say, yeah, it's  
20 the same. Then you start looking at it, and the windows are shifted around. It's two's  
21 versus three's, and one's versus two's.

22                  MS. O'MALLEY: And there are two smaller, they are even smaller.

23                  MS. TULLY: And one of the reasons staff brought that up is because  
24 there was specifically discussion of the windows at the preliminary consultation, and  
25 changes were made.

1 MR. FULLER: Well, this one, this one did come in as a preliminary, plus  
2 a final.

3 MS. TULLY: Right.

4 MR. FULLER: And there wasn't that much difference between the two of  
5 them.

6 MS. TULLY: Correct.

7 MR. FULLER: So it wasn't as if it was somebody who couldn't have  
8 potentially advanced a little bit further, because in the preliminary, we were fairly happy  
9 with it.

10 MR. BURSTYN: I believe we have the authority to give the staff more of  
11 latitude in making decisions. And then if it doesn't fit in with those parameters, then they  
12 tell the applicant they have to come back. They've made substantive changes.

13 But in the firehouse thing, it was already said that we allow them to  
14 substitute materials. So if we've already said that, it's not an issue. We've already granted  
15 that.

16 MS. O'MALLEY: Right.

17 MS. WRIGHT: So, I guess --

18 MR. BURSTYN: We should not be talking about substantive materials.  
19 That's already decided.

20 MS. WRIGHT: I guess that we, you know, why we are here tonight is  
21 because some -- I mean, we understand your general guidance. But sometimes cases like  
22 this are borderline, in our minds. And that's why we bring them to you, because we need  
23 you to tell us, is this too much? Does it cross the line where you think they need to come  
24 back for a real issue.

25 MS. O'MALLEY: This is too much.

1 MR. BURSTYN: I don't think that's our decision. That's a staff decision.

2 MS. WRIGHT: No, no, no. That's why we brought it to you.

3 MS. O'MALLEY: We want staff to --

4 MR. FULLER: Well, it's two, it's a two-step, they're taking it as a two-step  
5 process.

6 MS. O'MALLEY: I think it is too much.

7 MR. FULLER: Basically, as I understand what you are doing, you are still  
8 making a number of decision on your own. Then there are certain ones that you think are  
9 in that marginal character, and you want us to help you determine whether or not there are  
10 marginal ones you can go ahead and take care of, as is, or go up.

11 MS. WRIGHT: Exactly.

12 MR. FULLER: And so you --

13 MS. TULLY: Yes, I would say an example is, if you look at my paper, if  
14 it has just been all the items that I have little okay's by, you wouldn't have seen it. But it  
15 was all the other things.

16 MR. ROTENSTEIN: I think the point's that the applicant isn't here to  
17 discuss these issues with us, and more importantly, the public.

18 MS. O'MALLEY: Or the public. Yes.

19 MR. ROTENSTEIN: Because what I would really hate to see happen is a  
20 member of the community drive by after construction is completed and have them say,  
21 not only to us but to other members of the government and the public that what they had  
22 the opportunity to comment on in the public hearing isn't what was built. So I absolutely  
23 think that something like this definitely needs to come back before the Commission.

24 MS. WRIGHT: So this one should come back.

25 MR. ROTENSTEIN: Yes.

1 MR. FULLER: Yes.

2 MS. WRIGHT: And if they don't want to come back, they can just --

3 MR. FULLER: They can follow her guidance.

4 MS. WRIGHT: -- do what they had in their original HAWP.

5 MS. TULLY: Well, except for the materials changes.

6 MR. FULLER: Or the things she says, the things that she said okay to.

7 MS. WRIGHT: They can make the materials what they have in their

8 HAWP.

9 MS. TULLY: No, they had, there was a condition they were allowed to  
10 make material changes as one of the conditions.

11 MS. WRIGHT: Okay. So if you are comfortable with the material  
12 changes --

13 MS. TULLY: Right.

14 MS. WRIGHT: -- they can do that.

15 MR. FULLER: Which I think she's already said okay.

16 MS. WRIGHT: But like the design of the chimney, if they want --

17 MS. TULLY: Right. Right.

18 MS. WRIGHT: -- it is completely redesigned.

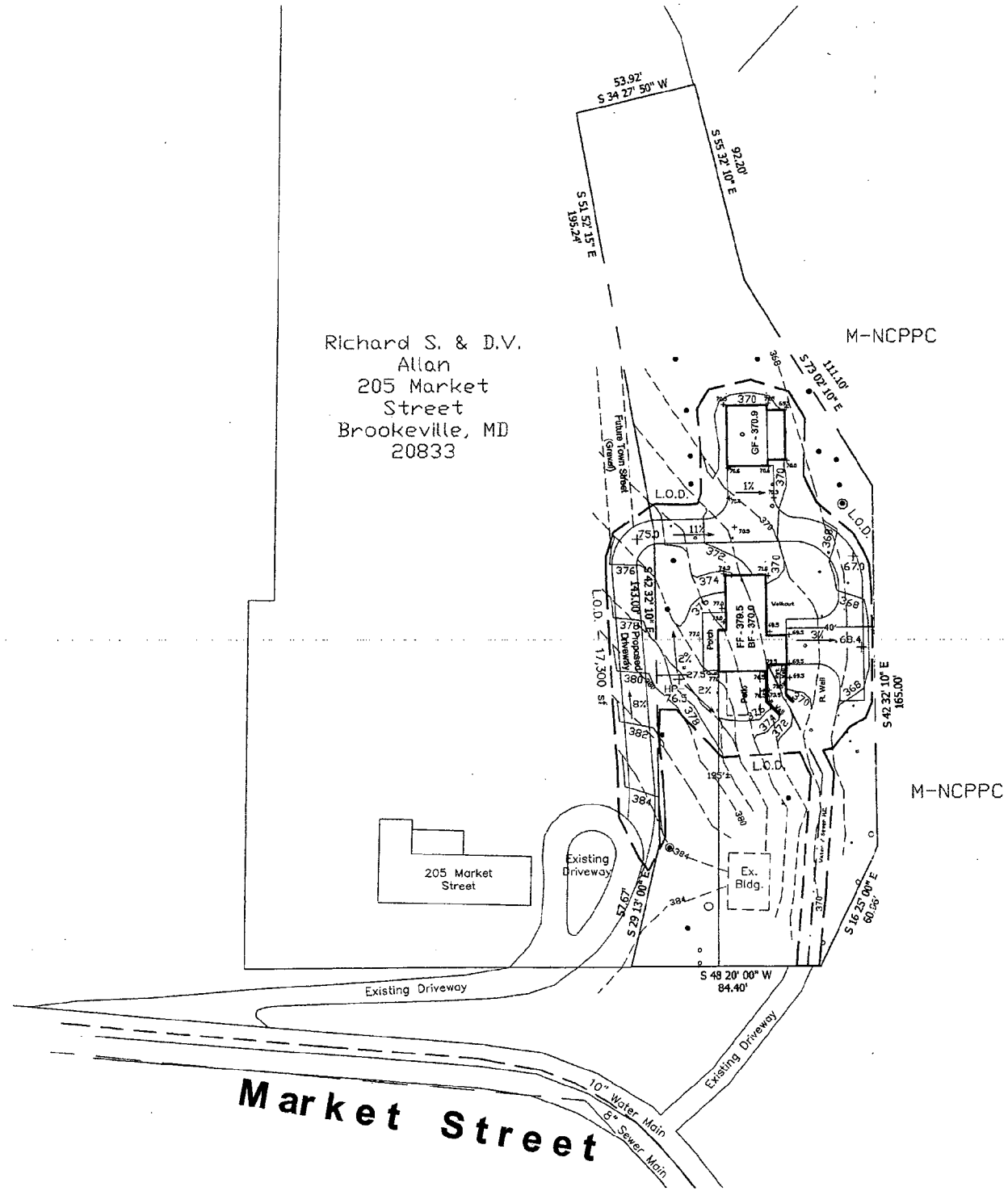
19 MS. O'MALLEY: Or the size and shape of the windows and the pillars.

MR. BURSTYN: -- reconsideration of the decision?

MS. TULLY: Yes, but reconsideration has to be done within like a set period of time. This is really a revision to an approved case. It's not asking you to completely change your decision. It's minor revisions to the design.





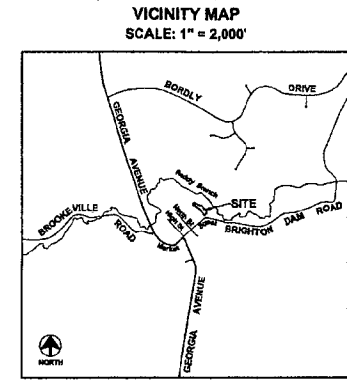


Richard S. & D.V.  
Allan  
205 Market  
Street  
Brookeville, MD  
20833

M-NCPPC

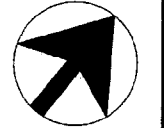
M-NCPPC

**Market Street**



VICINITY MAP  
SCALE: 1" = 2,000'

PREPARED FOR:  
**Christopher & Andrea Scanlon**  
203 Market Street  
Brookeville, MD 20833-2514  
301-260-0246

date: 08/09/05  
scale: 1" = 30'

Benning & Associates, Inc.  
Lead Planning Consultants  
8033 Shady Grove Court  
Gaithersburg, MD 20877  
(301) 948-0240



SITE PLAN  
**203 MARKET STREET**  
Town of Brookeville, Maryland

203 Market St. Brookeville, MD - Tree Survey

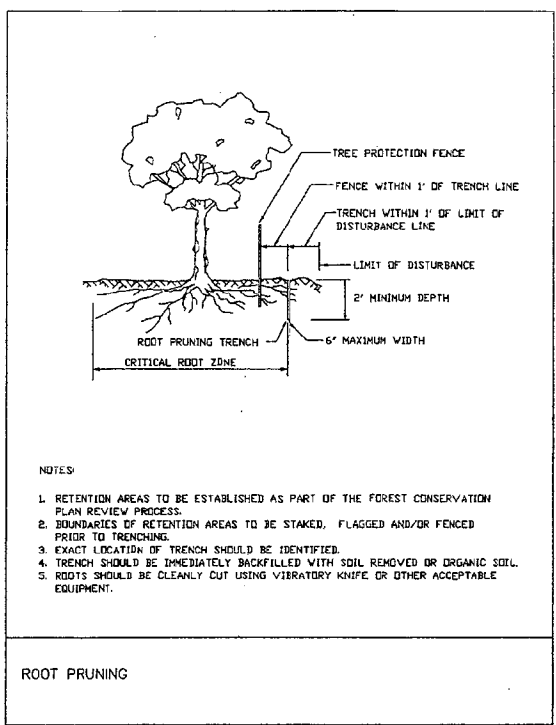
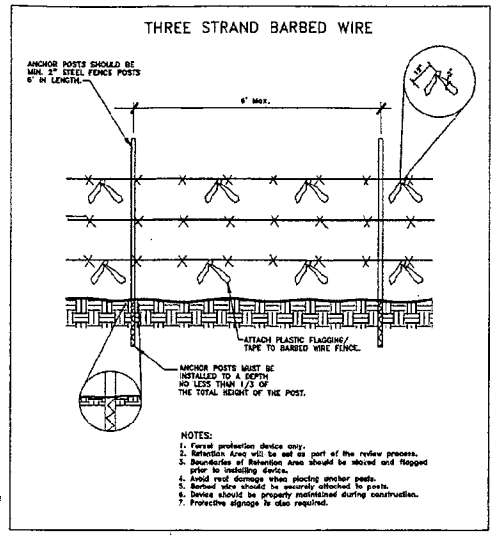
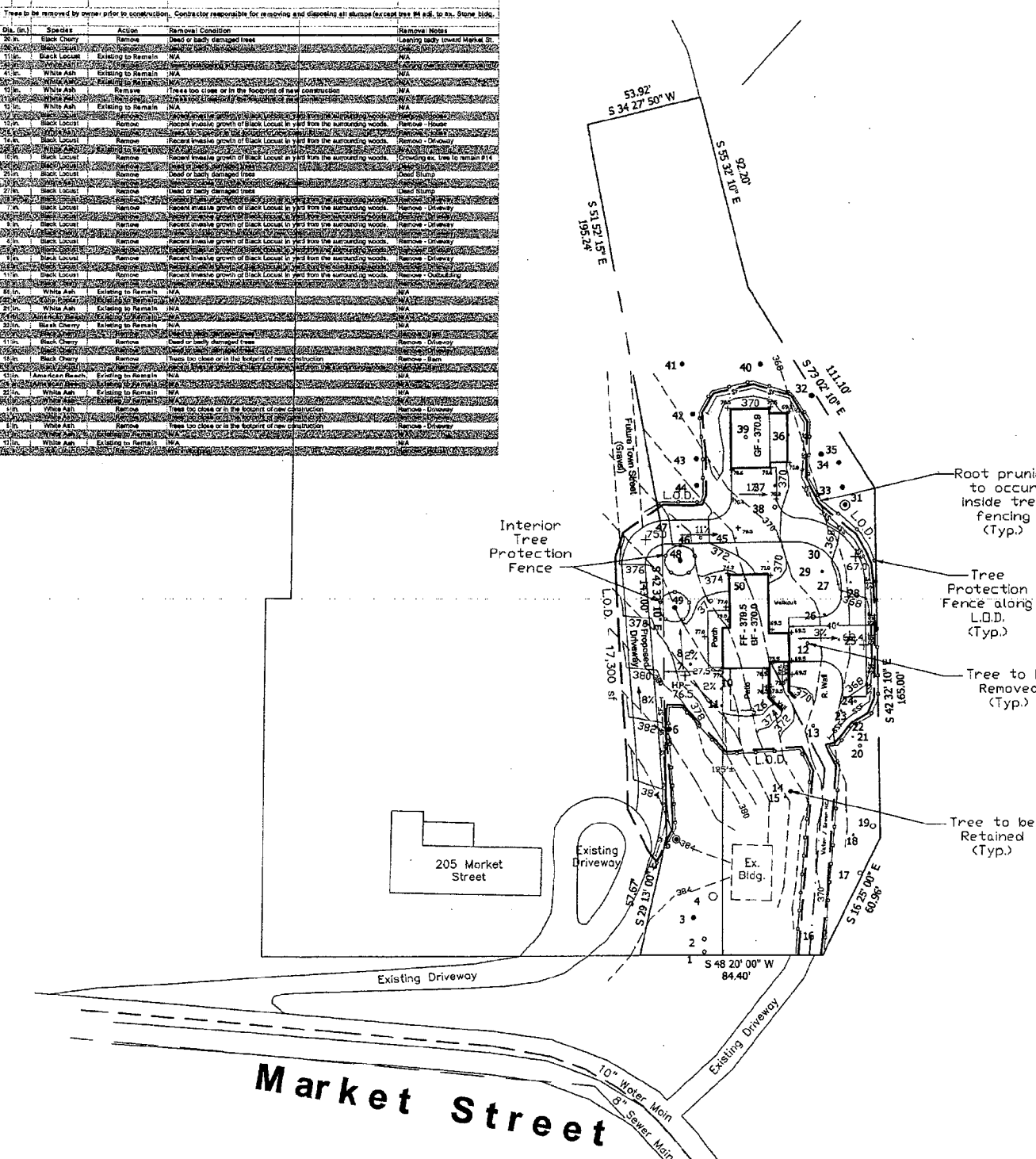
Notes: The new house's existing location was selected to minimize the impact on the existing trees. All trees along the front property line and the 10' Water Main & Sewer Main are to be retained.

The trees proposed to be removed fall under one of the following conditions:

1. Recent invasive growth of Black Locust in yards from the surrounding woods.
2. Dead or badly damaged trees.
3. Trees endangering structures.
4. Trees too close or in the path of new construction.

Notes: Trees to be removed by owner prior to construction. Contractor responsible for removing and disposing all stumps (except trees in 20, 20a, 20b, 20c, 20d).

#	Dia. (in.)	Species	Action	Removal Condition	Remove Notes
1	20 in.	Black Locust	Remove	Dead or badly damaged tree	Leaving stump ground level
2	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
3	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
4	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
5	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
6	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
7	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
8	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
9	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
10	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
11	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
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59	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House
60	11 in.	Black Locust	Remove	Recent invasive growth of Black Locust in yard from the surrounding woods	Remove - House



**TREE PRESERVATION NOTES:**

**PRECONSTRUCTION:**

- 1) APPLY RAINBOW TREE CARE SCIENTIFIC ADVANCEMENTS "CMBISTAT 25C TM" PLANT GROWTH REGULATOR BY BASAL DRENCH APPLICATION AND/OR SOIL INJECTION APPLICATION OR SIMILAR PRODUCT.
- 2) IDENTIFY THE LIMITS OF DISTURBANCE AND STAKE IN THE FIELD.
- 3) INSTALL TREE PROTECTION FENCE AND SIGNS AT THE LIMITS OF DISTURBANCE.
- 4) PRUNE TO CLEAR CROWN OF THE DISEASED, CROSSING, WEAK AND DEAD WOOD. ALL PRUNING SHALL BE IN ACCORDANCE WITH THE ANSI Z300 PRUNING STANDARDS AND ADHERE TO THE MOST RECENT EDITION OF ANSI Z133.1.
- 5) IN LOCATION DETERMINED ON-SITE, ROOT PRUNE TO THE DEPTH OF EXCAVATION OR 24 INCHES, WHICHEVER IS LESS, APPROXIMATELY SIX INCHES INSIDE THE LIMITS OF DISTURBANCE. ROOT PRUNE BY DIGGING SOIL AWAY WITH A SHOVEL AND CUT THE EXPOSED ROOT WITH A HAND SAW.
- 6) COVER THE AREAS TO BE IMPACTED IN THE CRITICAL ROOT ZONE WITH 10 INCHES OF HARDWOOD MULCH TO GUARD AGAINST SURFACE COMPACTION, AMELIORATE SOIL TEMPERATURES, AND TO CONSERVE SOIL MOISTURE.

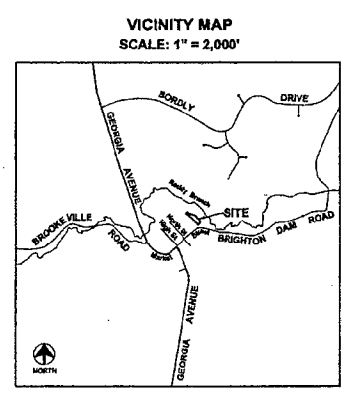
**DURING CONSTRUCTION:**

- 1) WATER INSIDE THE TREE PROTECTION ZONE TO THE DEPTH OF THE ROOT SYSTEM (APPROXIMATELY 6-12 INCHES).
- 2) CONTROL ANY PESTS THAT ARE IDENTIFIED DURING CONSTRUCTION. TREES IMPACTED BY CONSTRUCTION ARE PREDISPOSED TO INSECT DISEASES.
- 3) MAINTAIN THE TREE PROTECTION ZONE.

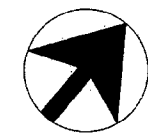
**POST CONSTRUCTION:**

- 1) EVALUATE TREE CONDITIONS, MAKE RECOMMENDATIONS FOR REMEDIAL TREATMENTS, IF NECESSARY, SUCH AS IRRIGATION AND PRUNING.
- 2) IRRIGATION - THE AMOUNT OF WATER APPLIED MUST BE APPROPRIATE FOR THE INDIVIDUAL TREE SPECIES.
- 3) PRUNING MAY BE REQUIRED TO REMOVE STRUCTURALLY WEAK BRANCHES OR TO THIN THE CROWN TO REDUCE THE AMOUNT OF CANOPY EXPOSED TO THE WIND.

\*TREE HEALTH, PRUNING AND STRESS REDUCTION MEASURES SHOULD BE CONFIRMED BY A CERTIFIED ARBORIST AT TIME OF CONSTRUCTION.

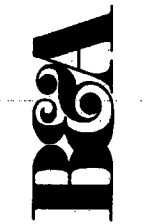


PREPARED FOR:  
 Christopher & Andrea Scanlon  
 203 Market Street  
 Brookeville, MD 20833-2514  
 301-260-0246

date: 08/09/05  
 scale: 1" = 30'

Benning & Associates, Inc.  
 Land Planning Consultants  
 10000 Old Orchard Road  
 Gaithersburg, MD 20877  
 (301)946-0246



TREE PROTECTION PLAN  
 203 MARKET STREET  
 Town of Brookeville, Maryland

September 23, 2005

212 Market Street  
Brookeville, MD 20833

Ms. Tania Georgiou Tully  
Historic Preservation Planner  
Montgomery County Department of Park and Planning  
8787 Georgia Avenue  
Silver Spring, MD 20910

Re: Scanlon Residence – 203 Market Street, Brookeville MD

Dear Ms. Tully:


Attached please find four (4) full size sets of architectural and site plans for the Scanlon Residence at 203 Market Street in Brookeville, MD. These drawings reflect the HAWP revisions approved at the September 14, 2005 HPC meeting.

Feel free to contact either myself at (301) 260-0246 or Chris Scanlon at (301) 255-2155 if you have any questions, or when the plans are available for pick-up.

Thank you for your assistance throughout the process.

Sincerely,

  
Andrea H. Scanlon



**Tully, Tania**

---

**From:** Scanlon, Chris [cscanlon@davisconstruction.com]  
**Sent:** Monday, September 12, 2005 6:16 PM  
**To:** Tully, Tania  
**Cc:** MICHEBOOZ@aol.com; Andrea Scanlon  
**Subject:** RE: SCANLON HOUSE Staff Report

Hi Tania,

Yes, we got back from vacation yesterday and did receive the report. Thanks.

I'd like to talk to you some more about the objection to the chimney so I can understand the issue better.

I asked Miche to look at other options and he drew up 3 different chimney variations, but Andrea and I think that they are all a step backwards from the currently proposed design. The inspiration for the tapered shape was found while looking at photos from various craftsman and bungalow style chimney design's from the 1910 - 1925 era.

Also, there is one other simple porch railing detail option that we would like the commission to consider that we saw on an old craftsman style house. It had full height tapered column rather than tapered column and base. (see attached sketch and photo).

Are you available tomorrow morning (Tues) to discuss?

Chris

---

**From:** Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]  
**Sent:** Monday, September 12, 2005 4:02 PM  
**To:** Scanlon, Chris  
**Cc:** MICHEBOOZ@aol.com; Andrea Scanlon  
**Subject:** SCANLON HOUSE Staff Report

Good afternoon.

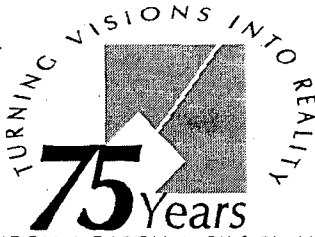
Did you all receive you copy of the staff report? Any questions or comments for me?

Thanks,

Tania

Tania Georgiou Tully  
Historic Preservation Planner  
Montgomery County Department of Park and Planning  
8787 Georgia Avenue  
Silver Spring, MD 20910  
301-563-3400  
301-563-3412 (fax)  
[www.mc-mncppc.org](http://www.mc-mncppc.org)

9/13/2005



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: September 15, 2005

MEMORANDUM

TO: Chris Scanlon  
203 Market Street, Brookeville

FROM: Tania Tully, Senior Planner *TGT*  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application #372691

---

Your Historic Area Work Permit application for a REVISION to the existing HAWP for new construction was **Approved** by the Historic Preservation Commission at its September 14, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must **schedule a meeting** with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: September 16, 2005

**MEMORANDUM**

TO: Robert Hubbard, Director

FROM: Tania Tully, Senior Planner *TGT*  
Historic Preservation Section

SUBJECT: Historic Area Work Permit #372691

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved.**

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant's Mailing Address: Chris Scanlon  
212 Market Street  
Brookeville, MD 20833

Property Address: 203 Market Street, Brookeville

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-5370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

REVISION  
TO #372691

Contact Person: CHRIS SCANLON  
Daytime Phone No.: 301-255-2155

Tax Account No.: 00731780

Name of Property Owner: CHRIS SCANLON Daytime Phone No.: 301-255-2155

Address: 212 MARKET ST BROOKEVILLE MD 20833  
Street Number City State Zip Code

Contractor: N/A Phone No.: N/A

Contractor Registration No.: N/A

Agent for Owner: N/A Daytime Phone No.: N/A

### LOCATION OF BUILDING/PREMISE

House Number: 203 Street: MARKET ST.

Town/City: BROOKEVILLE Nearest Cross Street: NORTH ST.

Lot: N/A Block: N/A Subdivision: 5

Liber: 558 Folio: 860 Parcel: P336

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 250,000

1C. If this is a revision of a previously approved active permit, see Permit # 372691

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

8/22/2005  
Date

Approved: \_\_\_\_\_ For Chairman, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: Julia O'Malley Date: 9/1/05

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

PARCEL HAS AN EXISTING STONE STRUCTURE  
ON IT TO REMAIN.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REVISIONS TO APPROVED HAMP FOR ITEMS INCLUDING  
TAPERED CHIMNEY, PORCH COLUMN DESIGN + DEPTH,  
AND WINDOW CHANGES ON SELECTED  
ELEVATIONS PER EMAIL ON 8/22/2005, ITEMS  
ON 8/18/2005 LETTER APPROVED AT STAFF LEVEL.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



**Tully, Tania**

---

**From:** Scanlon, Chris [cscanlon@davisconstruction.com]  
**Sent:** Wednesday, September 14, 2005 1:01 PM  
**To:** Tully, Tania  
**Subject:** FW: Drive Comments

Hi Tania,

Here's a slightly revised version that pulls the drive closer to the property line and shortens the turnaround over by the detached barn/shop. This will provide for a little more green space.

Chris

---

**From:** Benninglandplan@aol.com [mailto:Benninglandplan@aol.com]  
**Sent:** Wednesday, September 14, 2005 12:48 PM  
**To:** Scanlon, Chris; andrea.scanlon@verizon.net  
**Cc:** andrea.scanlon@comcast.net  
**Subject:** Re: Drive Comments

Revised PDF attached.

David W. McKee  
Benning & Associates, Inc.  
Land Planning Consultants  
8933 Shady Grove Court  
Gaithersburg, MD 20877  
(301)948-0240  
(301)948-0241 fax

**Tully, Tania**

---

**From:** Scanlon, Chris [cscanlon@davisconstruction.com]  
**Sent:** Wednesday, September 14, 2005 12:04 PM  
**To:** Tully, Tania  
**Cc:** michebooz@aol.com  
**Subject:** RE: SCANLON HOUSE Staff Report

Hi Tania,

Here is what the alternate drive location (originally approved in our HAWP) would look like with the house situated further back on the property.

Let me know if you have any questions.

Chris

---

**From:** Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]  
**Sent:** Tuesday, September 13, 2005 9:55 AM  
**To:** Scanlon, Chris  
**Cc:** Andrea Scanlon  
**Subject:** RE: SCANLON HOUSE Staff Report

What do you think of this?

-----Original Message-----

**From:** Scanlon, Chris [mailto:cscanlon@davisconstruction.com]  
**Sent:** Monday, September 12, 2005 6:16 PM  
**To:** Tully, Tania  
**Cc:** MICHEBOOZ@aol.com; Andrea Scanlon  
**Subject:** RE: SCANLON HOUSE Staff Report

Hi Tania,

Yes, we got back from vacation yesterday and did receive the report. Thanks.

I'd like to talk to you some more about the objection to the chimney so I can understand the issue better.

I asked Miche to look at other options and he drew up 3 different chimney variations, but Andrea and I think that they are all a step backwards from the currently proposed design. The inspiration for the tapered shape was found while looking at photos from various craftsman and bungalow style chimney design's from the 1910 - 1925 era.

Also, there is one other simple porch railing detail option that we would like the commission to consider that we saw on an old craftsman style house. It had full height tapered column rather than tapered column and base. (see attached sketch and photo).

Are you available tomorrow morning (Tues) to discuss?

Chris

---

**From:** Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]  
**Sent:** Monday, September 12, 2005 4:02 PM  
**To:** Scanlon, Chris  
**Cc:** MICHEBOOZ@aol.com; Andrea Scanlon  
**Subject:** SCANLON HOUSE Staff Report

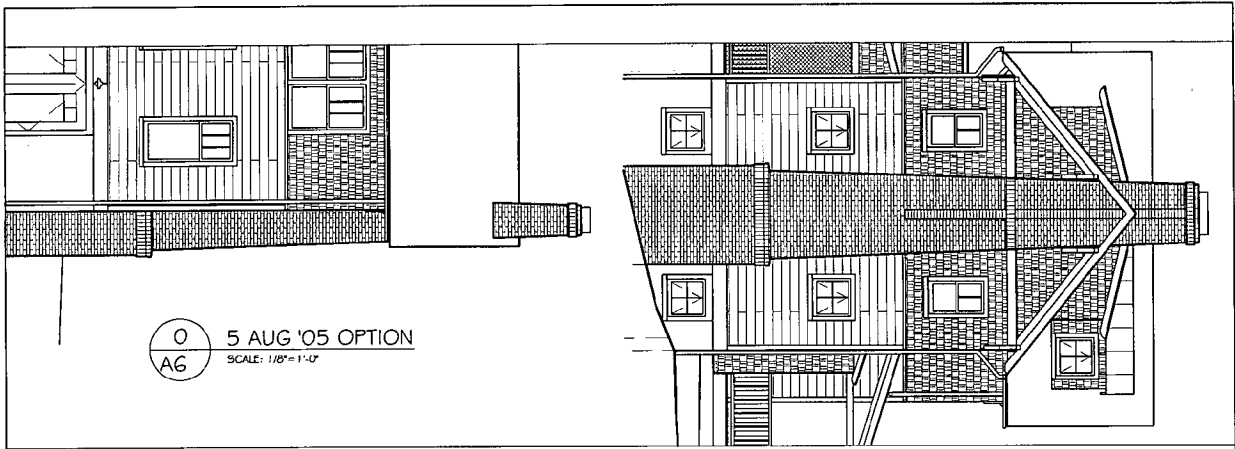
Good afternoon.

Did you all receive you copy of the staff report? Any questions or comments for me?

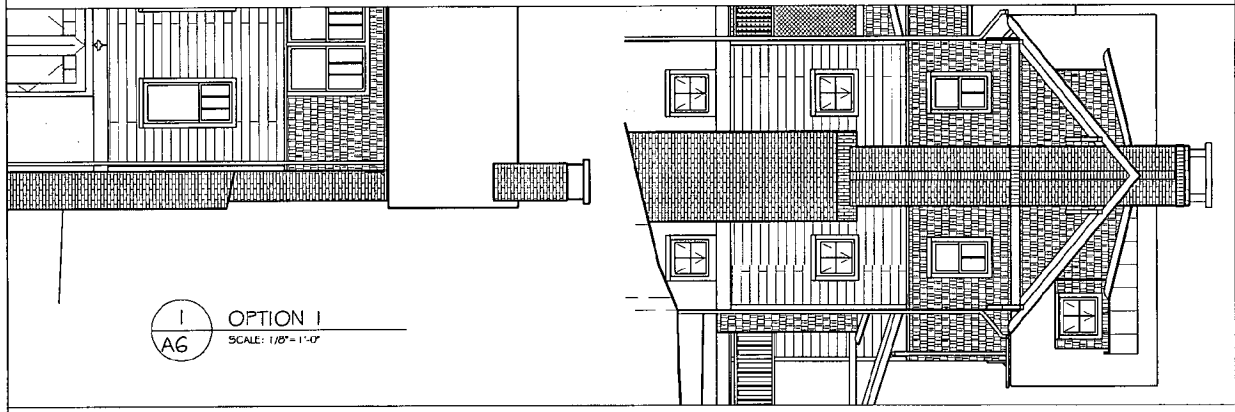
Thanks,

Tania

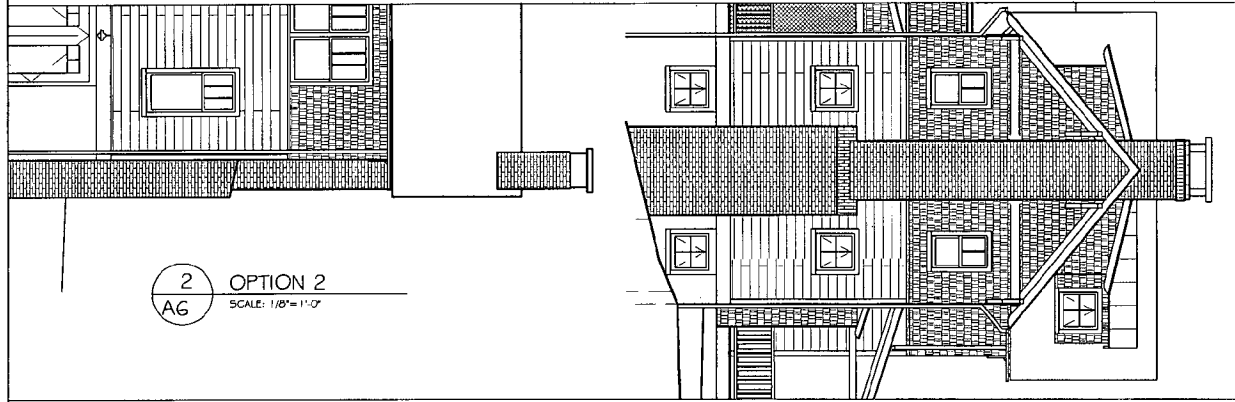
Tania Georgiou Tully  
Historic Preservation Planner  
Montgomery County Department of Park and Planning  
8787 Georgia Avenue  
Silver Spring, MD 20910  
301-563-3400  
301-563-3412 (fax)  
[www.mc-mncppc.org](http://www.mc-mncppc.org)



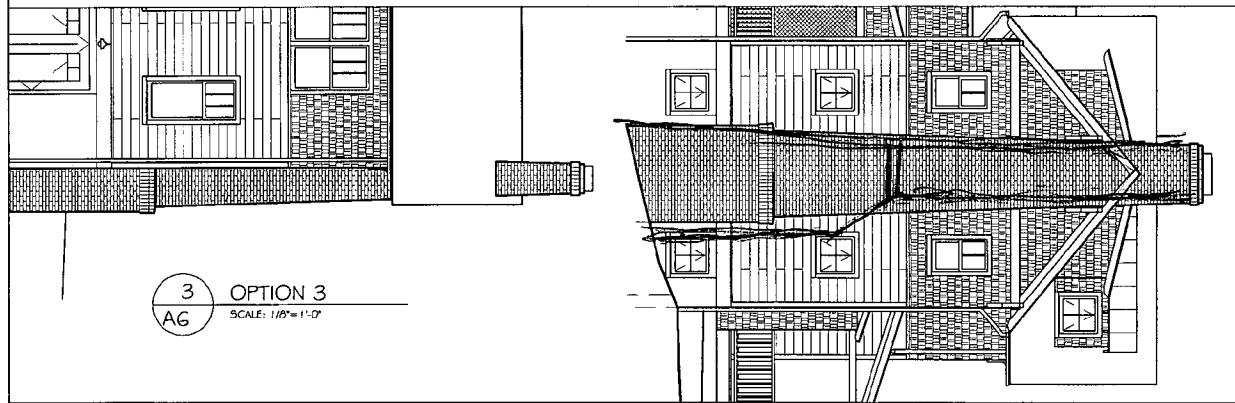
0 5 AUG '05 OPTION  
SCALE: 1/8"=1'-0"



1 OPTION 1  
SCALE: 1/8"=1'-0"



2 OPTION 2  
SCALE: 1/8"=1'-0"



3 OPTION 3  
SCALE: 1/8"=1'-0"

MICHE BOOZ ARCHITECT	250 Kent St Maryland Heights MO 63043 Tel: 314 988
	Project: SCANLON HOUSE Roca Street, Maryland Montgomery County
Date:	
TOON'S DATE: 4.22.05	
Drawings:	ELEVATIONS

**Scanlon, Chris**

---

**From:** Tully, Tania [Tania.Tully@mncppc-mc.org]  
**Sent:** Monday, August 22, 2005 9:59 AM  
**To:** MICHEBOOZ@aol.com; Scanlon, Chris  
**Subject:** RE: SCANLON HOUSE

Chris & Miche -

I've attached the info sheet I provided to the Commissioners along with the drawings. Below is a list of the changes that need to go before the Commission as a revision to the HAWP at a public meeting.

- § Deeper front porch
- § Tapered chimney
- § Porch columns now battered and piers straight rather than the other way around
- § Porch piers are now shingle with brick bases rather than stone veneer
- § Window changes – locations, sizes, etc...

Let me know if you have any other questions.

Tania

-----Original Message-----

**From:** Tully, Tania  
**Sent:** Thursday, August 18, 2005 1:28 PM  
**To:** 'MICHEBOOZ@aol.com'; 'cscanlon@davisconstruction.com'  
**Subject:** SCANLON HOUSE

Chris & Miche -

Attached is the memo indicating which changes are approved at the staff level and which will have to be submitted as a revision to the HAWP and reviewed at a public meeting.

-Tania << File: 203 Market St - Staff Level Approvals 08-2005.doc >>



August 18, 2005

Mr. Reggie Jetter  
Department of Permitting Services  
255 Rockville Pike, 2nd Floor  
Rockville, Maryland 20850-4166

Re: Historic Area Work Permit # 372691  
203 Market Street, Brookeville  
New Construction in the *Brookeville Master Plan Historic District*

Dear Mr. Jetter:

I am writing regarding proposed changes to the previously approved HAWP (HPC# 23/65-05A). The Montgomery County Historic Preservation Commission (HPC), at the August 17, 2005 HPC meeting, has approved the following changes to the design of the new house and site plan:

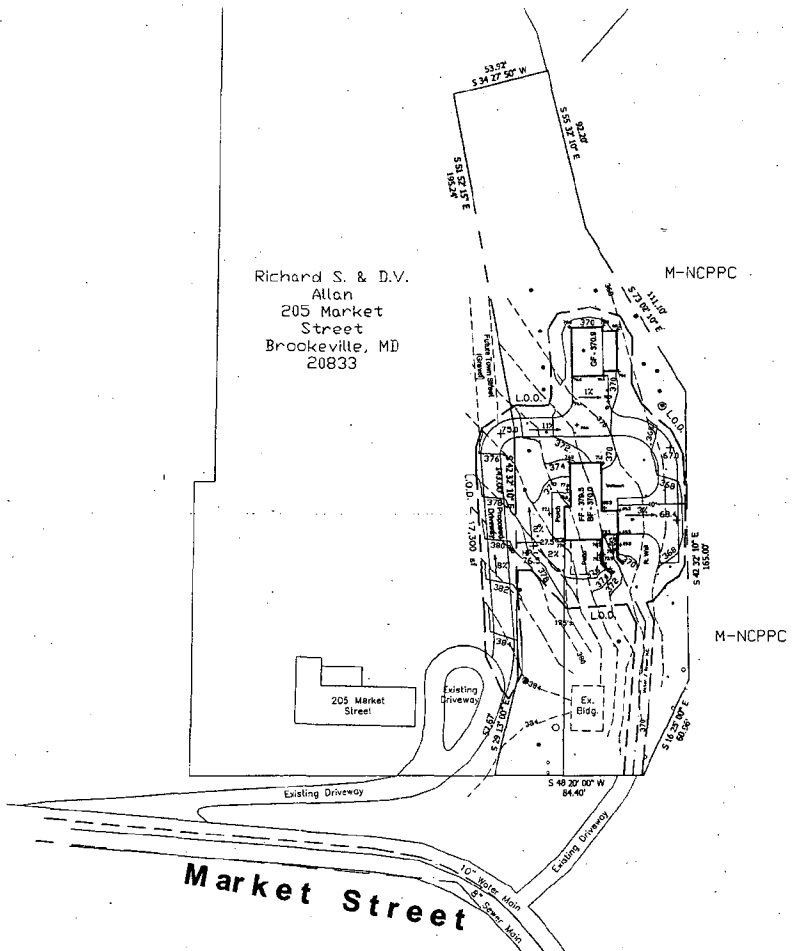
- *Location on site*
- *Rafter tail design*
- *Addition of gutters and downspouts*
- *Chimney material change to brick*
- *Railing style*
- *Trim change on 2nd level windows of Southwest facade*
- *Muntin pattern of attic window changed Southwest facade*
- *East (called North in HAWP)*
- *Garage door change*
- *Addition of basement window on Northwest elevation*
- *Removal of basement window on Southeast elevation*
- *Lowering of attic window on Southeast elevation*

**Please utilize this letter as formal approval for these revisions.** All other proposed modifications must be presented to the HPC through the HAWP process for revision. Thank you for your assistance in this matter. If you have any questions, please do not hesitate to contact staff at 301-563-3400.

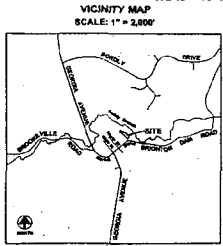
Sincerely,

Tania Georgiou Tully  
Historic Preservation Planner

cc: Chris and Andrea Scanlon  
Miche Booz, Architect

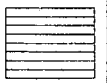


Richard S. & D.V.  
Allan  
205 Market  
Street  
Brookeville, MD  
20833



VICINITY MAP  
SCALE: 1" = 2,000'

PREPARED FOR:  
**Christopher & Andrea Scanlon**  
203 Market Street  
Brookeville, MD 20833-2514  
301-250-0246



date: 08/05/05  
scale: 1" = 30'

Planning & Associates, Inc.  
Land Planning Consultants  
8111 Chesley Green Court  
Columbia, MD 21044-0216

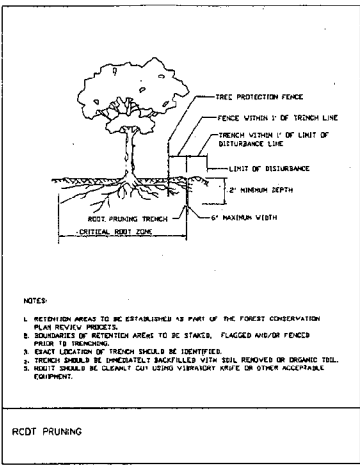
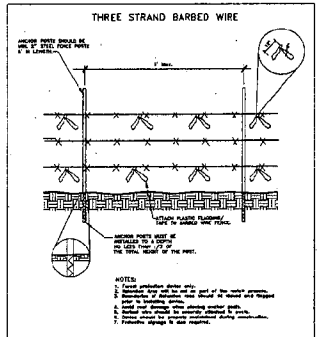
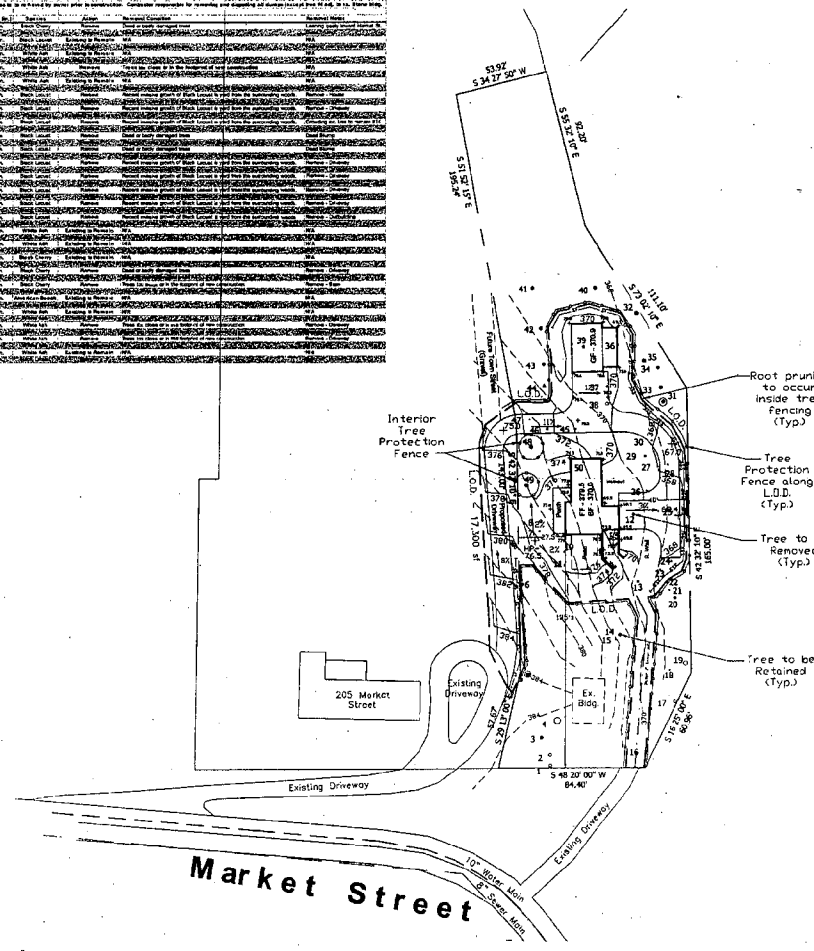


SITE PLAN  
203 MARKET STREET  
Town of Brookeville, Maryland

203 Market St. Brookeville, MD - Tree Survey

Notes:  
 1. All trees shown on this plan were measured and identified by the Surveyor.  
 2. Trees are to be retained unless otherwise noted.  
 3. Trees to be removed are shown with an 'X' through the tree symbol.  
 4. All trees are to be measured and identified by the Surveyor.  
 5. Trees are to be measured and identified by the Surveyor.  
 6. Trees are to be measured and identified by the Surveyor.  
 7. Trees are to be measured and identified by the Surveyor.  
 8. Trees are to be measured and identified by the Surveyor.  
 9. Trees are to be measured and identified by the Surveyor.  
 10. Trees are to be measured and identified by the Surveyor.

No.	Tree	Species	Height	DBH	Comments
1	...	...	...	...	...
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99	...	...	...	...	...
100	...	...	...	...	...



**TREE PRESERVATION NOTES:**

**FRENCH CONSTRUCTION:**

- 1) APPLY RANDOM TREE CARE SCIENTIFIC ADVANCEMENTS (CASTAT 23C TM) PLANT GROWTH REGULATORS BY BARK BRUSH APPLICATION AND/OR SOIL INJECTION APPLICATION OR SIMILAR PRODUCT.
- 2) IDENTIFY THE LIMITS OF DISTURBANCE AND STAKE IN THE FIELD.
- 3) INSTALL TREE PROTECTION FENCE AND BOND AT THE LIMITS OF DISTURBANCE.
- 4) PRUNE TO CLEAR CROWN OF THE DISEASED, CROSSING, WEAK AND DEAD WOOD. ALL PRUNING SHALL BE IN ACCORDANCE WITH THE ANSI A300 PRUNING STANDARDS AND ADHERE TO THE MOST RECENT EDITION OF ANSI Z39.1.
- 5) LOCATION DETERMINED QUITE, ROOT PRUNE TO THE DEPTH OF EXCAVATION OR 24 INCHES, WHICHEVER IS LESS, APPROXIMATELY SIX INCHES INSIDE THE LIMITS OF DISTURBANCE. ROOT PRUNE BY DIGGING SOIL AWAY WITH A SHOVEL AND CUT THE EXPOSED ROOT WITH A HAND SAW.
- 6) COVER THE AREAS TO BE IMPACTED IN THE CRITICAL ROOT ZONE WITH 18 INCHES OF HARDWOOD MULCH TO GUARD AGAINST SURFACE COMPACTION, AMELIORATE SOIL TEMPERATURES, AND TO CONSERVE SOIL MOISTURE.

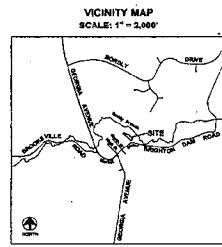
**CURING CONSTRUCTION:**

- 1) WATER INSIDE THE TREE PROTECTION ZONE TO THE DEPTH OF THE ROOT SYSTEM (APPROXIMATELY 8-12 INCHES).
- 2) CONTROL ANY PESTS THAT ARE IDENTIFIED DURING CONSTRUCTION. TREES IMPACTED BY CONSTRUCTION ARE PREDISPOSED TO INSECT DISEASES.
- 3) MAINTAIN THE TREE PROTECTION ZONE.

**POST CONSTRUCTION:**

- 1) EVALUATE TREE CONDITIONS, MAKE RECOMMENDATIONS FOR REMEDIAL TREATMENTS, IF NECESSARY, SUCH AS IRRIGATION AND PRUNING.
- 2) IRRIGATION: THE AMOUNT OF WATER APPLIED MUST BE APPROPRIATE FOR THE INDIVIDUAL TREE SPECIES.
- 3) PRUNING MAY BE REQUIRED TO REMOVE STRUCTURALLY WEAK BRANCHES OR TO THIN THE CROWN TO REDUCE THE AMOUNT OF CANOPY EXPOSED TO THE WIND.

\*TREE HEALTH PRUNING AND STRESS REDUCTION MEASURES SHOULD BE CONFIRMED BY A CERTIFIED ARBORIST AT TIME OF CONSTRUCTION.



PREPARED FOR:  
 Christopher & Andrea Scanlon  
 203 Market Street  
 Brookeville, MD 20833-2514  
 301-280-0246

date: 08/09/05  
 scale: 1" = 30'

Banning & Associates, Inc.  
 Land Planning Consultants  
 10000 Little Patuxent Pkwy  
 Columbia, MD 21044  
 410/994-0304



TREE PROTECTION PLAN  
 203 MARKET STREET  
 Town of Brookeville, Maryland



# SCANLON HOUSE

203 MARKET STREET,  
BROOKEVILLE, MD 20833

## ABBREVIATIONS

ABOVE APPROXIMATE AT AVERAGES BASEMENT BEAM BETWEEN BLOCKING BOARD BOTTOM OF BRICK BUILDING CEILING CERAMIC TILE CLEAN OUT COLUMN CONCRETE CONC. MASONRY UNIT CONTINUOUS DETAIL DIAMETER DIMENSION DOOR DOWNSPOUT EACH ELEVATION ENTRANCE EXISTING FEET FLOOR FOUNDATION GLASS GRADE HARDWOOD HEIGHT INCH INSULATION INTERIOR LIGHT	ABV APPROX. @ AVG BSMT. BM BET. BLKG BD B.O. BR. BLDG CLG C.T. C.O. COL. CONC. CONC. MASONRY UNIT CDNT. DET. Ø DIM. DR D.S. EA. EL. ENT. EKG FT. FL. FNDN GL. GR. HDWD HT IN. INSUL. INT. LT	MASONRY OPENING MEDICINE CABINET METAL MINIMUM MISCELLANEOUS NUMBER ON CENTER OPENING PAINTED PLYWOOD PLASTER PLATE PRESSURE TREATED ROUGH OPENING RISER ROOM SECTION SHEET STEEL STONE THRESHOLD THICKNESS TO BE SPECIFIED TO MATCH EXISTING TOP OF TREAD TYPICAL UNDERSIDE UNLESS NOTED OTHERWISE VINYL TILE WITH WOOD	M.O. M.C. MET. MIN. MISC. NO. O.C. OPNG PTD PLYWD PL. P.T. R.O. R. RM SEC. SHI STL ST. THRES. THK T.B.S. T.M.E. T.O. T. TYP. U/S. U.N.O. V.C.T. W/ WOOD
		<b>SYMBOLS</b>	Ⓢ
		SMOKE DETECTOR	Ⓢ

## ZONING

Owner: Chris & Andrea Scanlon  
Phone: 301-260-0246  
Address: 203 Market St.  
Lot: N/A  
Subdivision: 5  
Election District: 8  
Zone: HVR-Historic Village Residential  
Front BRL: 15' min.  
Side BRL: 8' min.  
Rear BRL: 40' min.  
Lot Coverage: n/a  
Bldg. Height: 35' max.  
Lot Size: 33105 SF

## LOADS

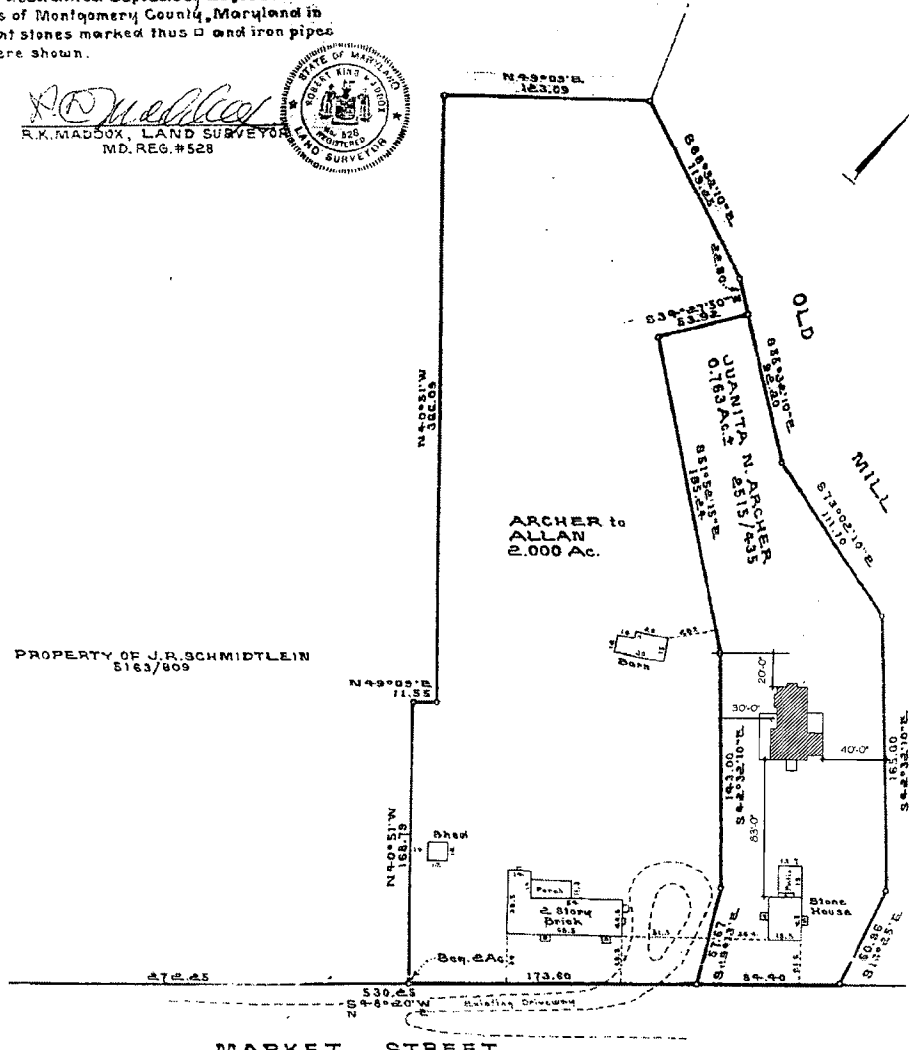
ROOF SNOW LOAD: 30 PSF  
FLOOR LOAD: 40 PSF, 30 PSF SLEEPING DECK  
MIN. 40 PSF ROOMS OTHER THAN SLEEPING: 40 PSF  
STAIRS: MIN. 40 PSF  
FLOOR/CEILING LIVE LOAD DEFLECTION: L/360

## DESIGN CRITERIA

**CONCRETE:** STRUCT. CONC. SHALL BE DESIGNED IN ACCORDANCE W/ THE "BUILDING CODE REQ.'S FOR REINF. CONC. (ACI 318-99). THE CONC. USED SHALL HAVE MIN. ULTIMATE COMPRESSIVE STRENGTH OF 3500 PSI FOR 3000 PSI @ 28 DAYS FOR ALL OTHERS.  
**STEEL:** THE REINF. OF ASTM A615 GRADE 60 SHALL BE USED IN ALL THE CONC. STRUCTURES.  
**STRUCTURAL STEEL:** SHALL BE DESIGNED IN ACCORD. W/ "SPEC. FOR STRUC. STEEL BLDGS. (AISC ALLOW. STRESS DES. 9TH EDITION) STEEL SHAPES, PLATES, BARS, CHANNELS, & ANGLES OF GRADE ASTM 36 SHALL BE USED  
**LUMBER:** ALL FRAMING SHALL BE SPRUCE, PINE, HEMFIR NO.1/ NO.2 OR BETTER U.N.O.  
**SOIL BEARING:** 2000 PSF  
**TERMITE INFESTATION:** MODERATE TO HEAVY  
**DECAY PROBABILITY:** SLIGHT TO MODERATE  
**SEISMIC DESIGN CATEGORY:** B  
**FROST LINE DEPTH:** 30 IN.  
**WINTER DESIGN TEMP:** 13°F  
**FLOOD HAZARDS:** NO  
**CONCRETE WEATHERING:** SEVERE

shown hereon is correct that it is a survey by Juanita N. Archer to be recorded September 25, 1980 and is of Montgomery County, Maryland in that stones marked thus □ and iron pipes are here shown.

*R.K. Maddox*  
R.K. MADDOX, LAND SURVEYOR  
MD. REG. #528



PLAT OF SURVEY  
PARTS OF TRACTS OF LAND CALLED  
& KNOWN AS  
"MADISON HOUSE"  
TOWN OF BROOKEVILLE  
OLNEY (8th) DISTRICT  
MONTGOMERY COUNTY, MARYLAND

SCALE: 1" = 40'  
R.K. MADDOX  
LAND SURVEYOR  
ROCKVILLE, MARYLAND  
SEPT., 1980

MICHE BOOZ  
ARCHITECT  
CS1  
208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
SCANLON HOUSE  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
COVER SHEET  
1 inch = 50 feet

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05

**INDEX OF DRAWINGS**

A1	BASEMENT PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	ATTIC FLOOR PLAN
A5	WEST ELEVATIONS
A6	EAST ELEVATIONS
A7	NORTH ELEVATIONS
A8	SOUTH ELEVATIONS
A9	SECTIONS
0T1	WALL SECT. DETAILS
S1	1ST FLR FRAMING
S2	2ND FLR FRAMING
S3	ATTIC FLR FRAMING
S4	ROOF FRAMING
SC1	WINDOW & DOOR SCHEDULES
SC2	FINISH & INT. DOOR SCHEDULES

**Permits:**  
Town of Brookeville Building Permit Approved: March 1, 2005  
Historic Area Work Permit: #372691  
Building Permit:  
Electrical Permit:

**Consultants:**  
General Contractor: Chris & Andrea Scanlon  
Structural Engineer: T.B.D.  
Mechanical Consultant: T.B.D.  
Electrical Contractor: T.B.D.

Code:  
IRC 2003

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ  
ARCHITECT

A1

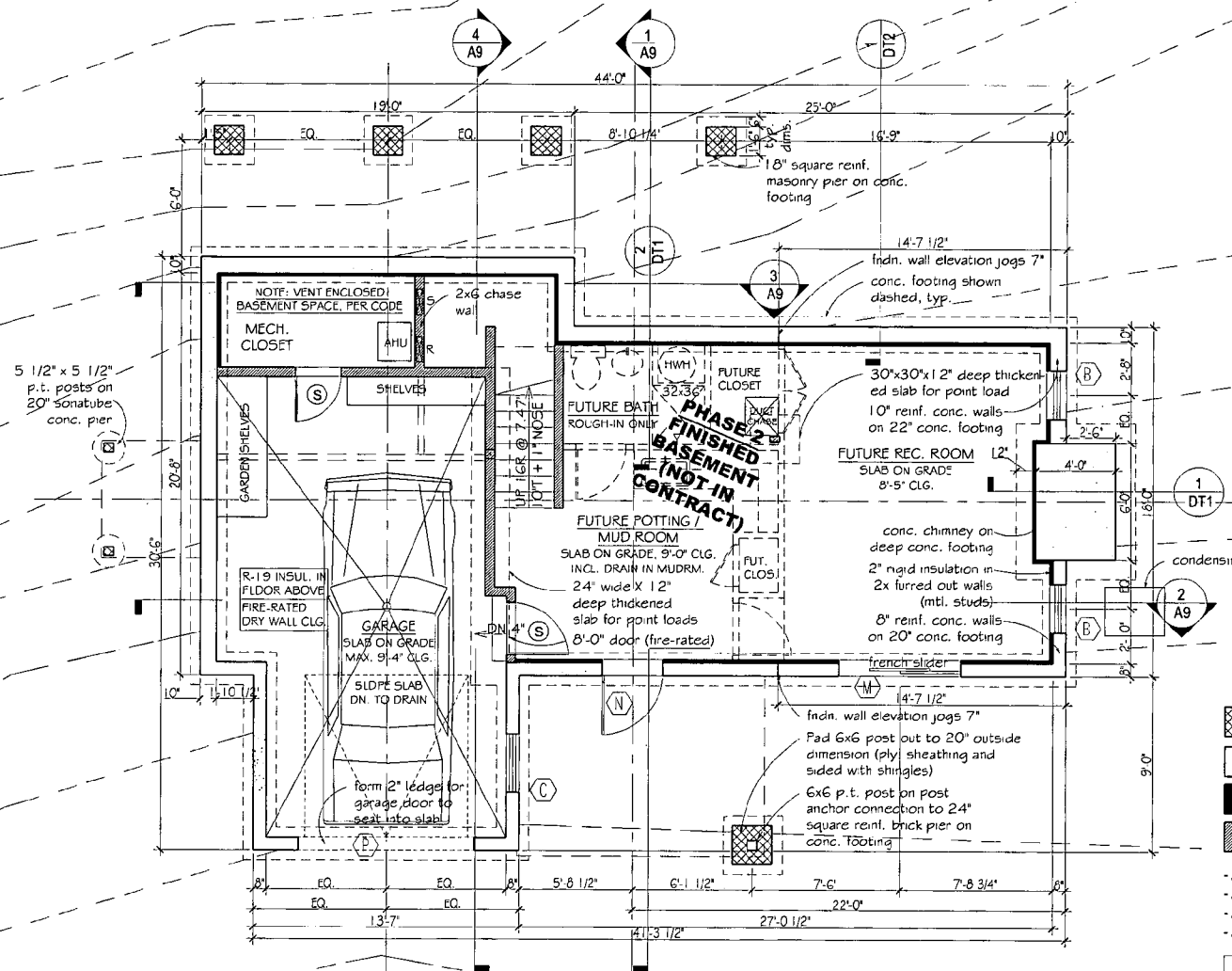
208 Market St  
Brookville  
Maryland 20833  
(301)774 6911  
fax: 774 1908





Project:  
SCANLON  
HOUSE

203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:  
BASEMENT PLAN

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



- NOTES:
-  - NEW MASONRY WALLS
  -  - NEW CONC. WALLS
  -  - NEW RIGID INSUL. FURRING
  -  - NEW FRAME WALLS
- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
  - ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
  - ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
  - ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED
- INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

1 BASEMENT PLAN  
A1 SCALE: 1/4" = 1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ  
ARCHITECT

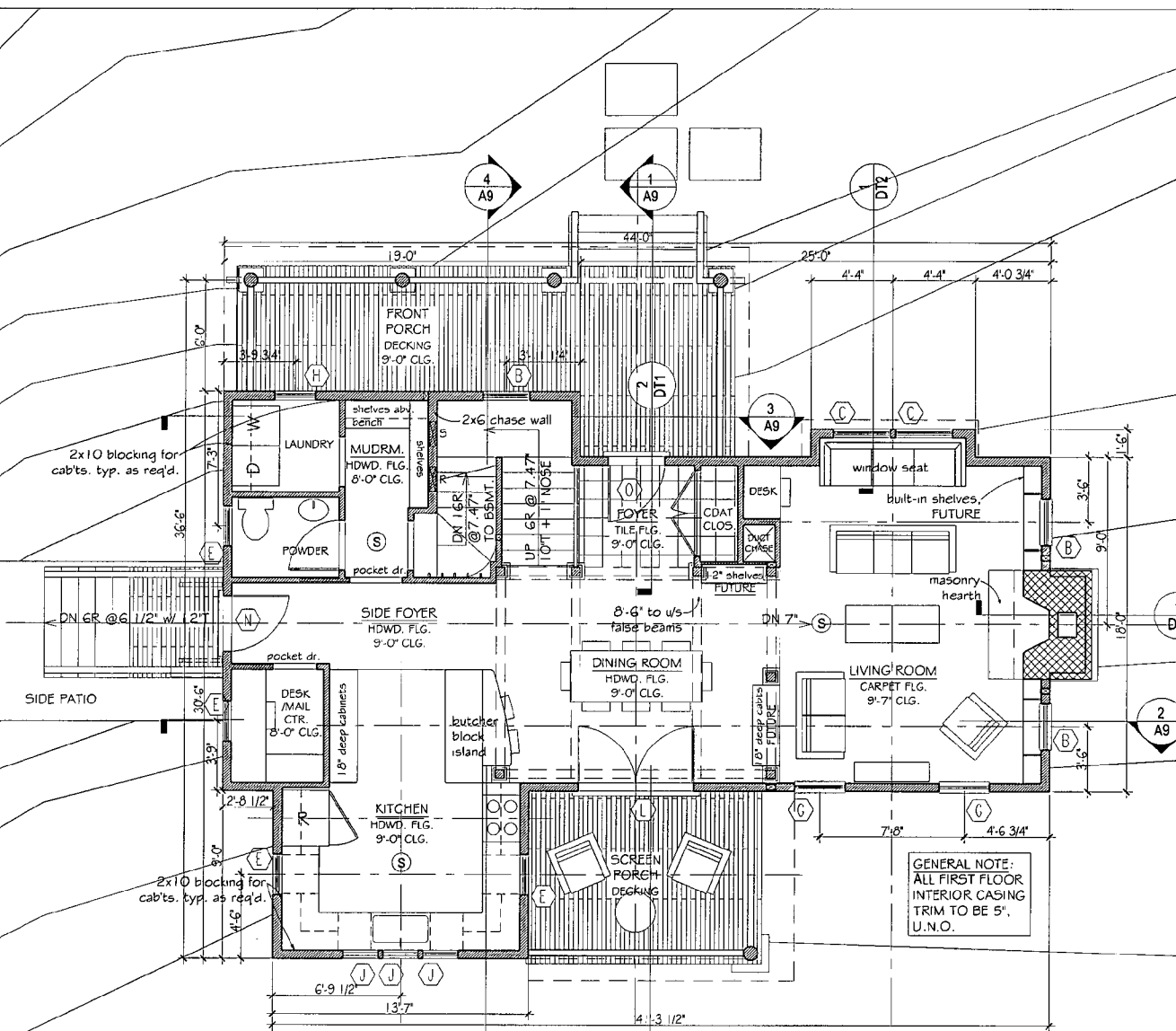
A2

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
**FIRST FLOOR PLAN**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



- NOTES:
- NEW MASONRY WALLS
  - NEW CONC. WALLS
  - NEW RIGID INSUL. FURRING
  - NEW FRAME WALLS

- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
- ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
- ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED

INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

1 FIRST FLR. PLAN  
A2 SCALE: 1/2" = 1'-0"

PERMIT SET - 5 AUGUST 2005

Project:

SCANLON  
HOUSE

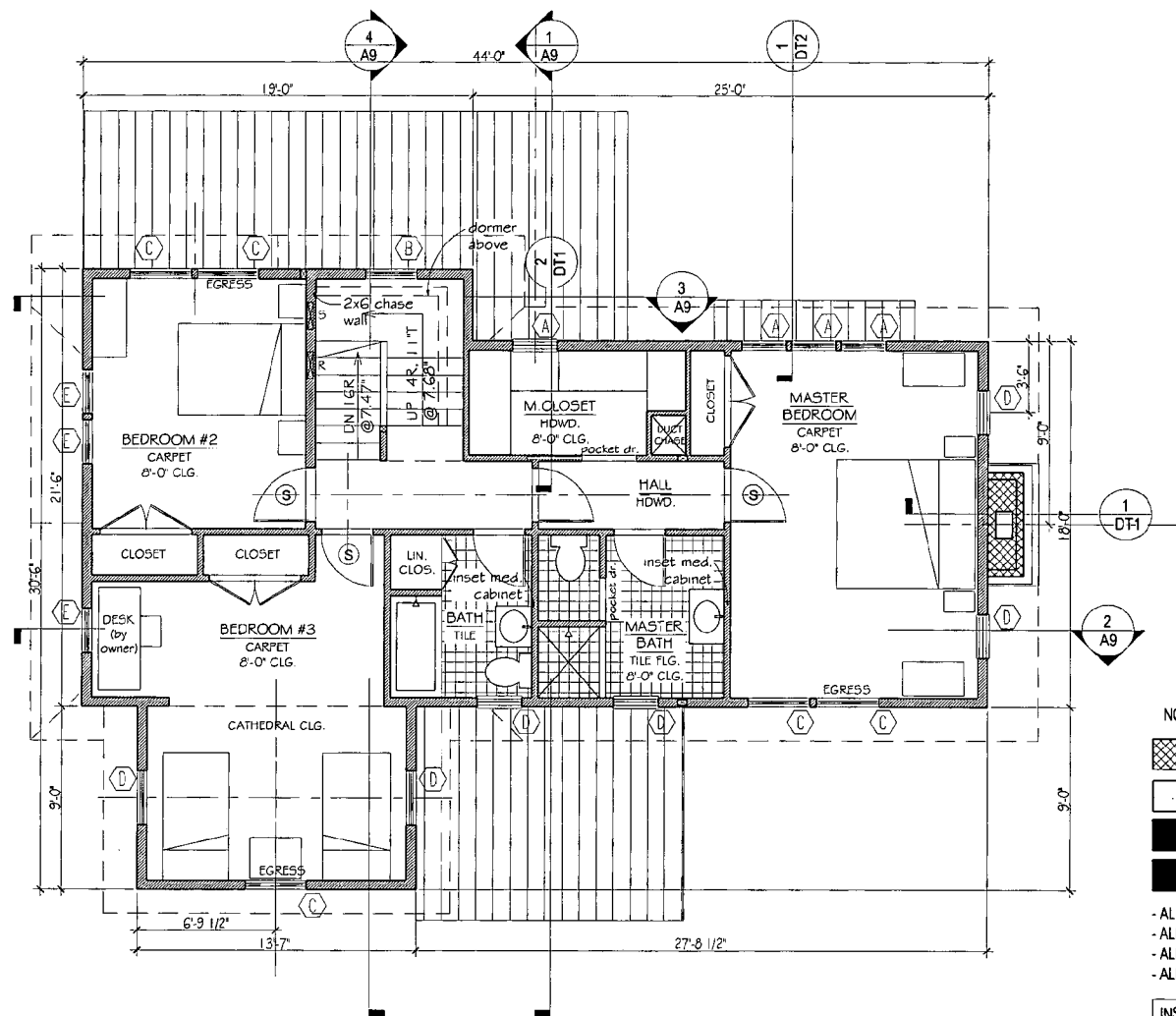
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:





SECOND FLOOR PLAN

Dates:

SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



NOTES:

-  - NEW MASONRY WALLS
-  - NEW CONC. WALLS
-  - NEW RIGID INSUL. FURRING
-  - NEW FRAME WALLS

- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
- ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
- ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.D.
- ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED

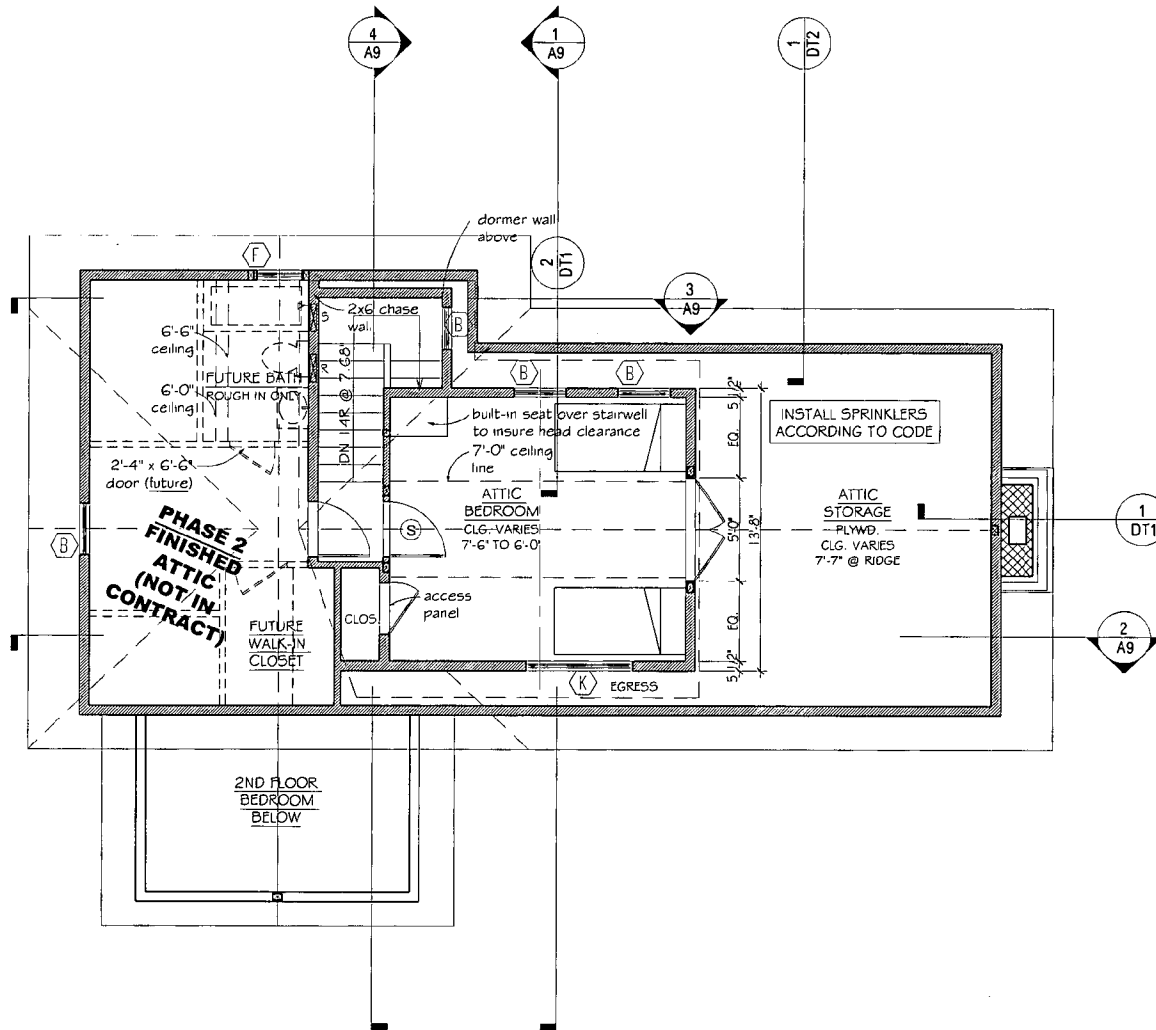
INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

1  
A3 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"

Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:  
**ATTIC FLOOR PLAN**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



- NOTES:
- NEW MASONRY WALLS
  - NEW CONC. WALLS
  - NEW RIGID INSUL. FURRING
  - NEW FRAME WALLS
- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
  - ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
  - ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
  - ALL NEW FNDN. WALLS TO BE 8" DR 10" CONC., AS NOTED
- INSTALL SPRINKLERS ACCORDING TO CODE ALL FLDORS

**1** 2ND FLOOR PLAN  
**A4** SCALE 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ

ARCHITECT

A5

208/Market St  
Brookeville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:

SCANLON  
HOUSE

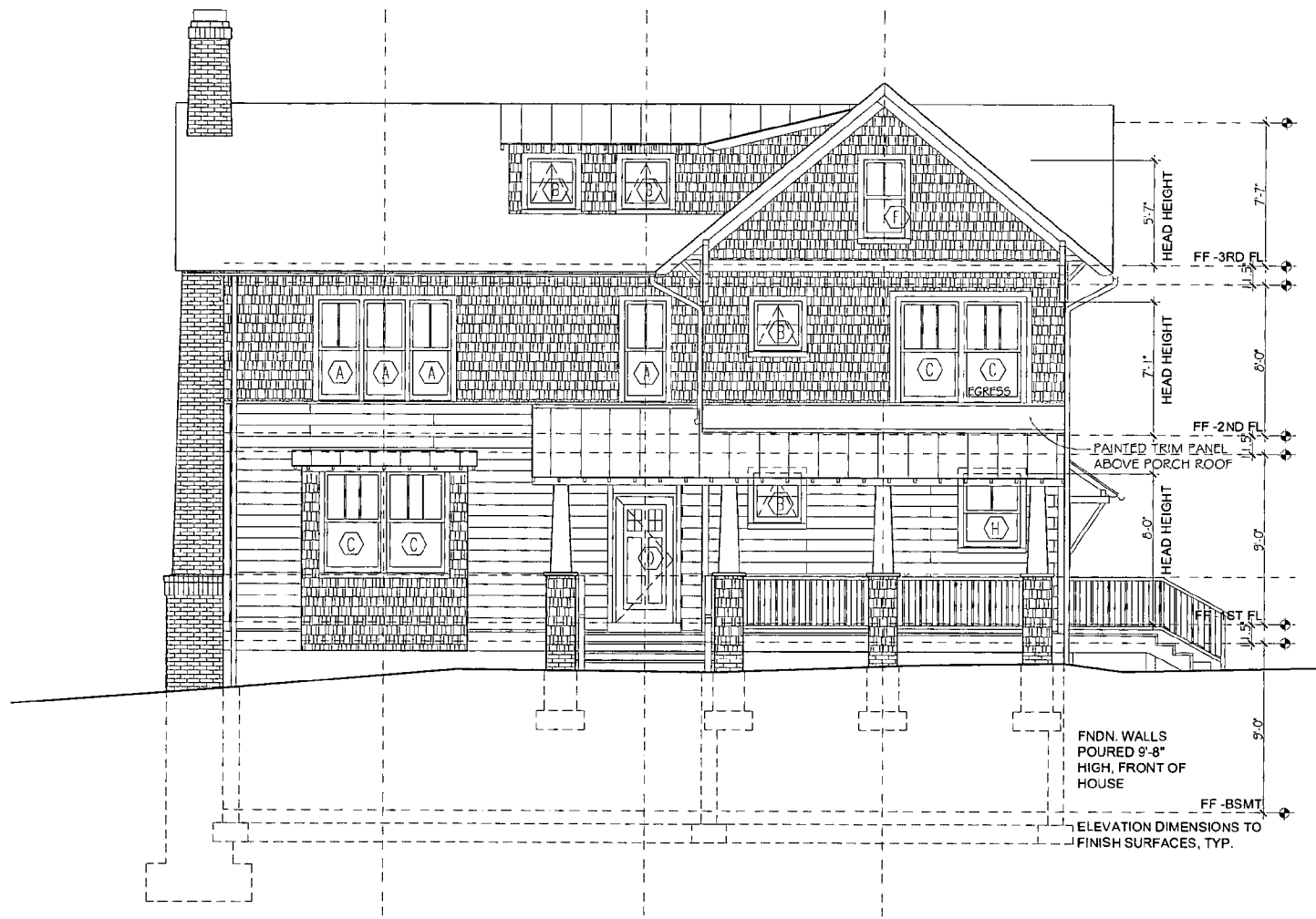
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:

WEST ELEVATION  
1/4"=1'-0"

Dates:

SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 WEST ELEVATION  
A5 SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ  
ARCHITECT

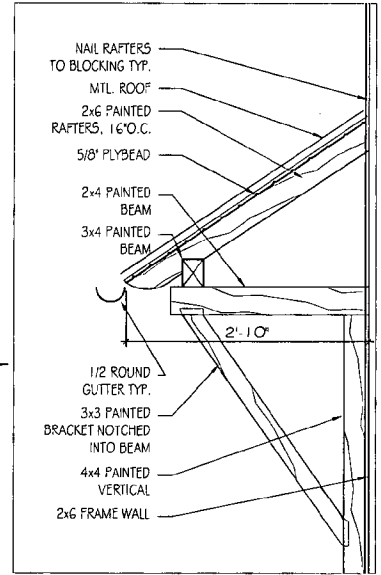
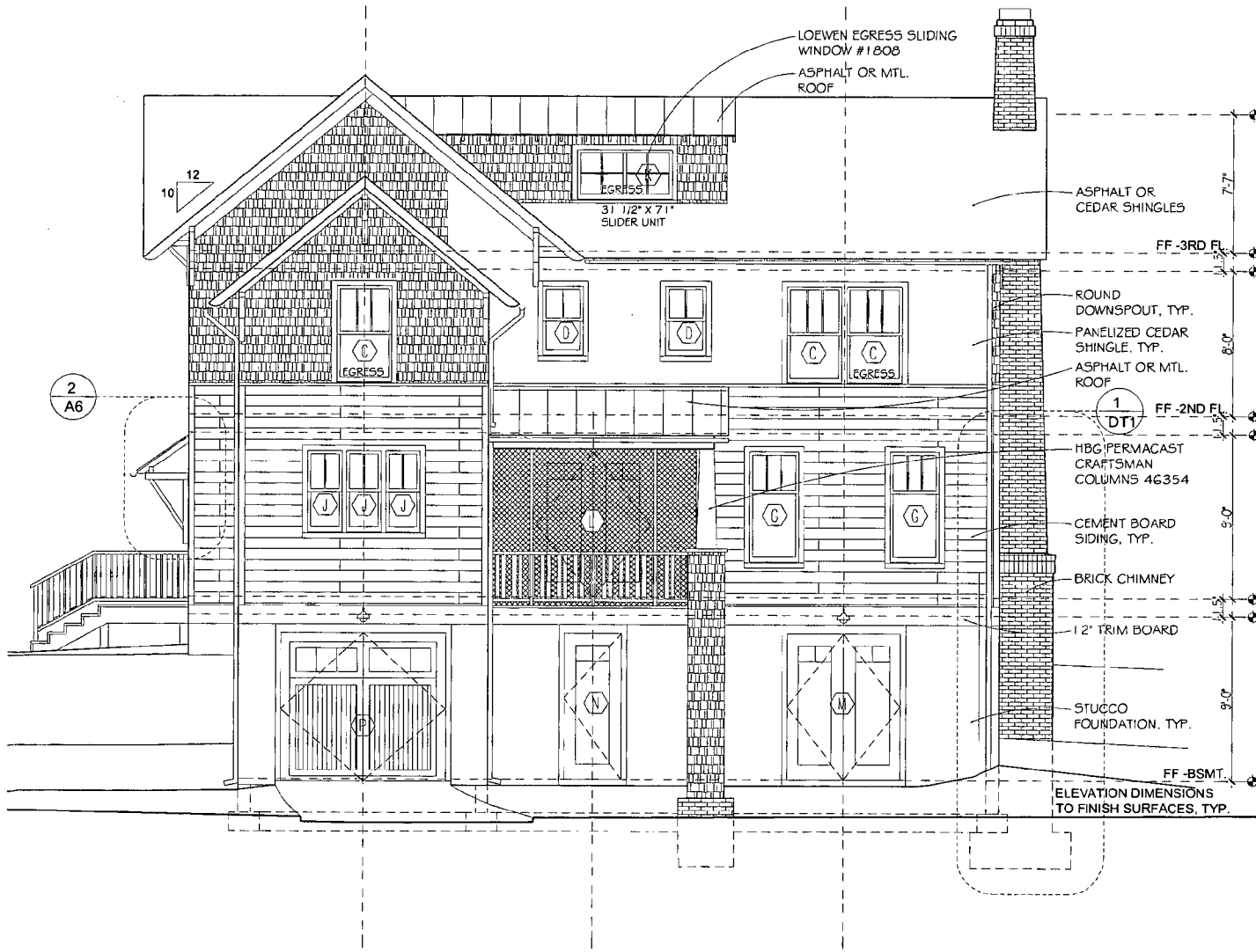
A6

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
**EAST ELEVATION**  
1/4"=1'-0"

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 EAST ELEVATION  
A6 SCALE: 1/4"=1'-0"

2 SHED ROOF DETAIL  
A6 SCALE: 1"=1'-0"

PERMIT SET- 5 AUGUST 2005

MICHE BOOZ  
ARCHITECT

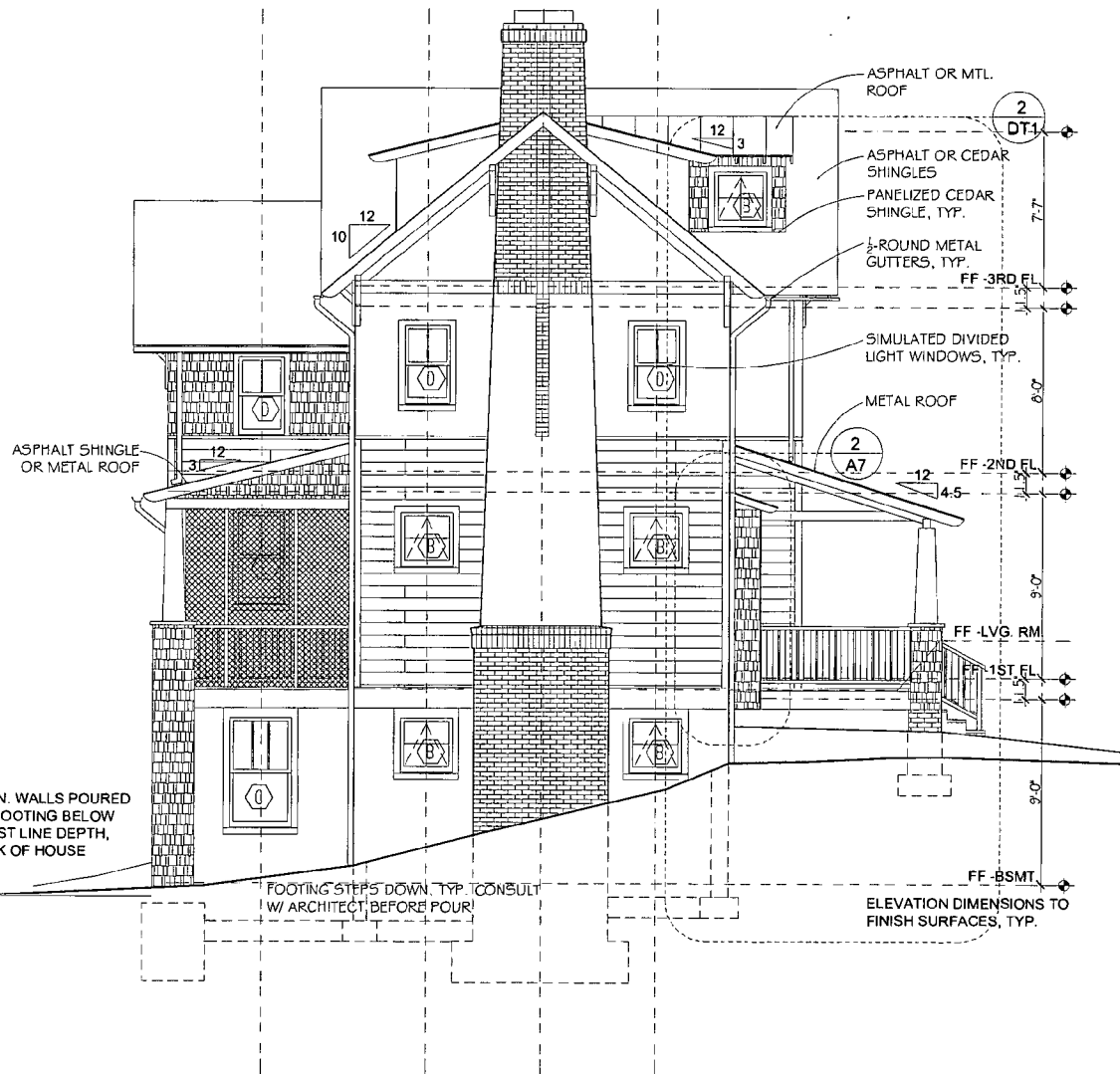
A7

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911  
fax: 774 1968

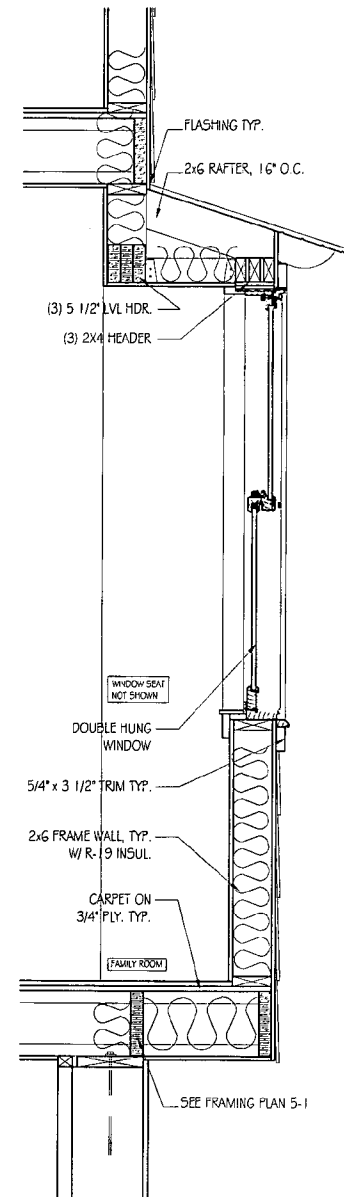
Project:  
SCANLON HOUSE  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
NORTH ELEVATION  
1/4"=1'-0"

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 NORTH ELEVATION  
A7 SCALE: 1/4"=1'-0"



2 WINDOW SEAT DETAIL  
A7 SCALE: 1"=1'-0"

PERMIT SET - 5 AUGUST 2005



MICHE BOOZ  
ARCHITECT

A8

208 Market St  
Brookville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:

SCANLON  
HOUSE

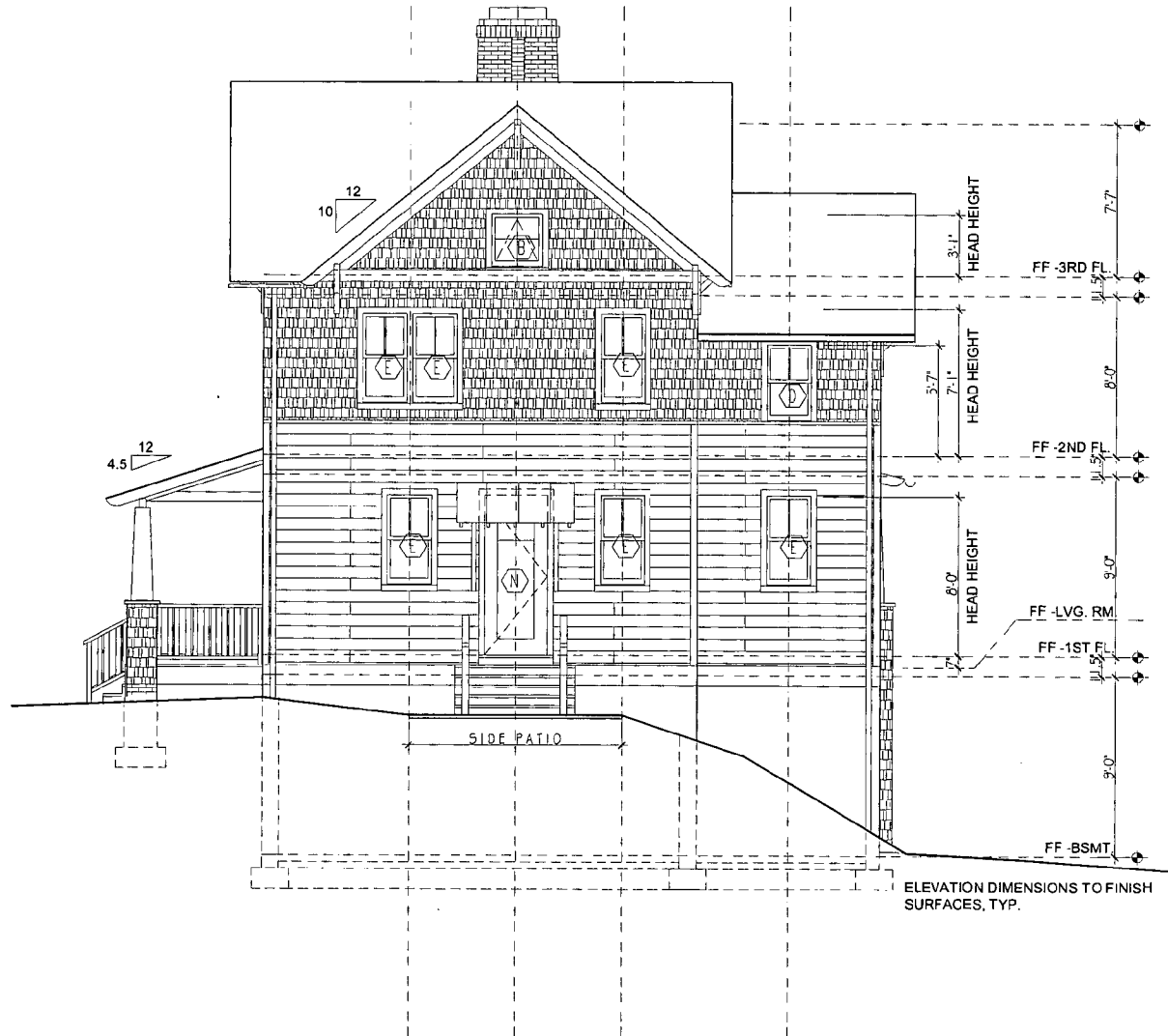
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:

SOUTH ELEVATION  
1/4"=1'-0"

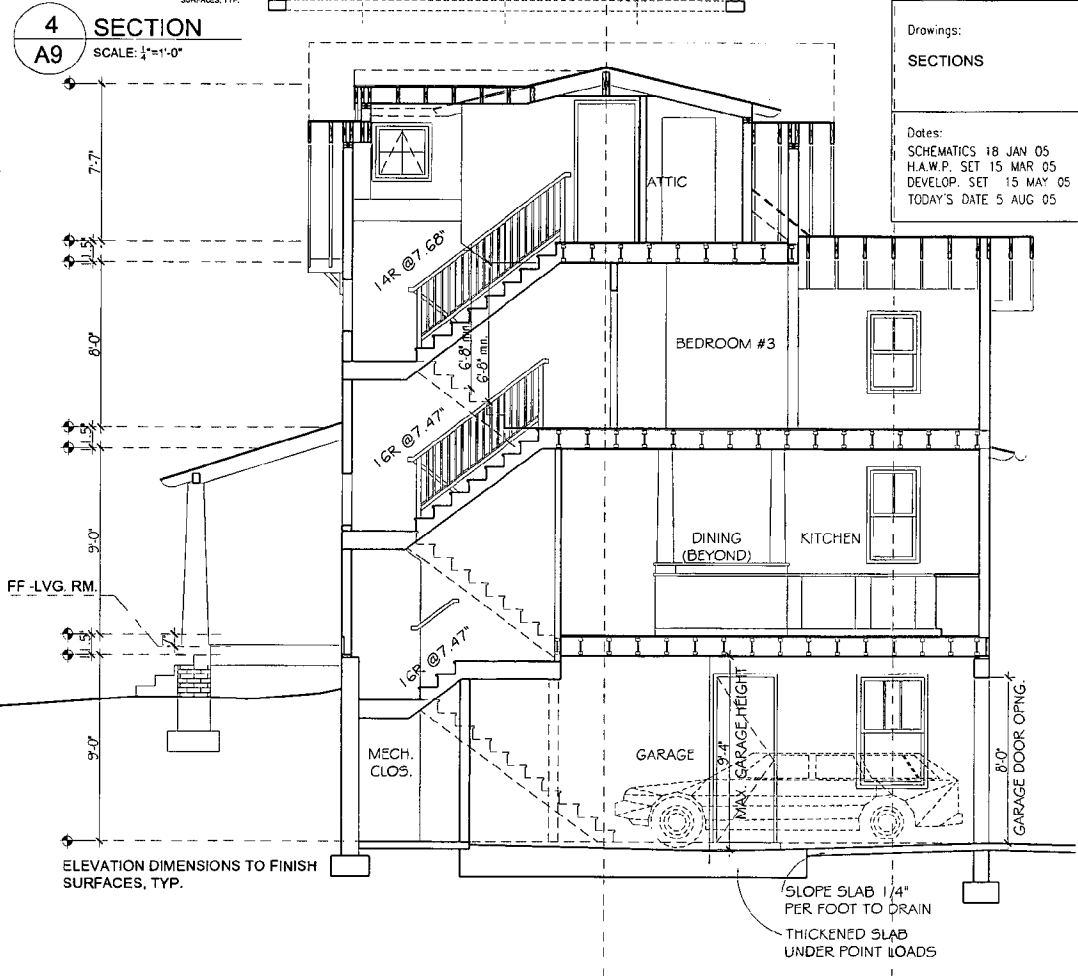
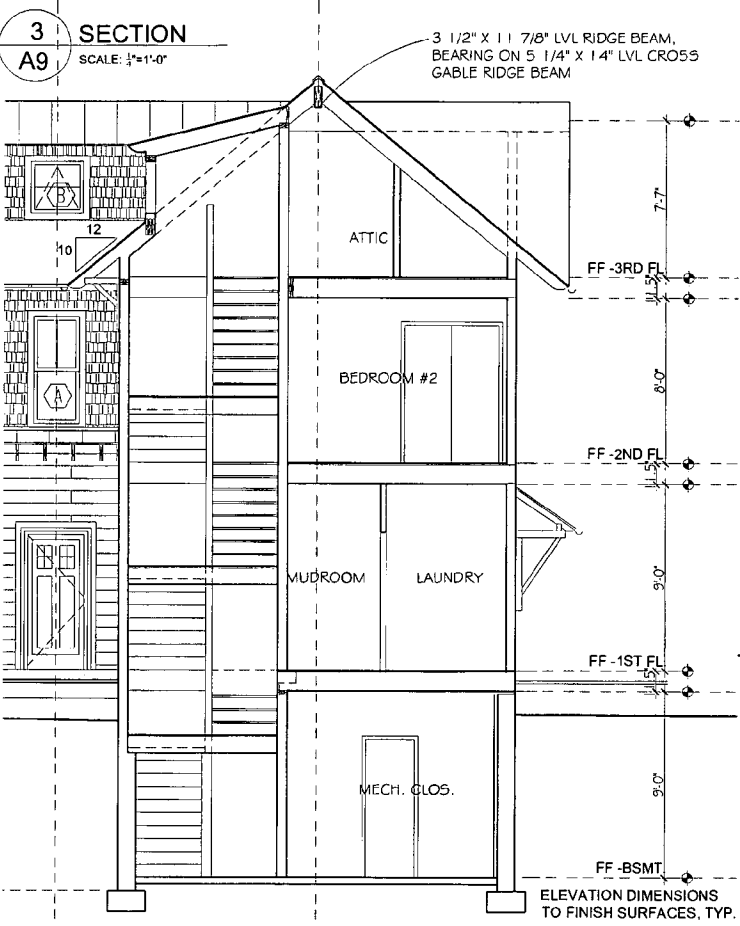
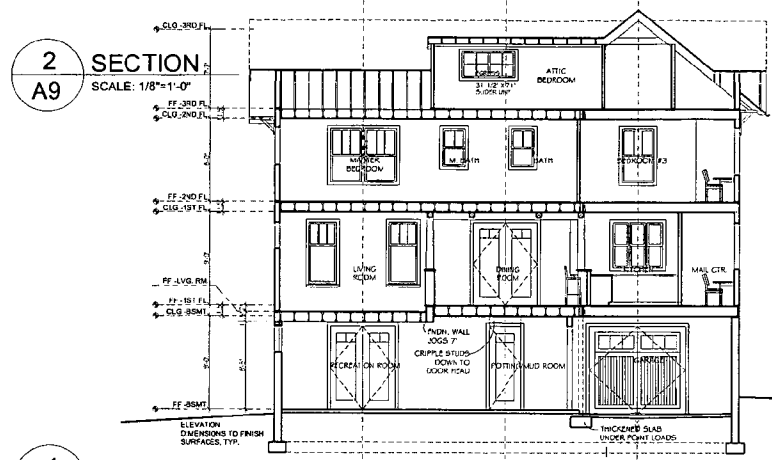
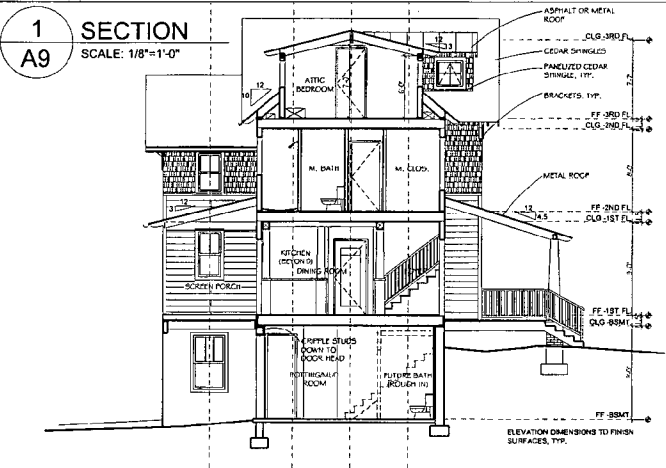
Dates:

SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 SOUTH ELEVATION  
A8 SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005



**MICHE BOOZ**  
ARCHITECT

**A9**

208 Market St  
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fax: 774 1908

Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

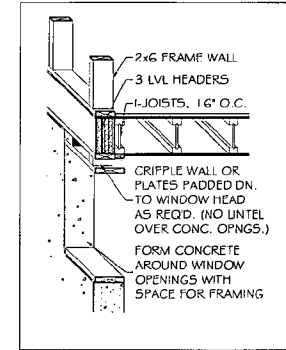
Drawings:  
**SECTIONS**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05

PERMIT SET - 5 AUGUST 2005



**1**  
**S1** FNDN. WALL OPENING DET.  
SCALE: 1/2"=1'-0"



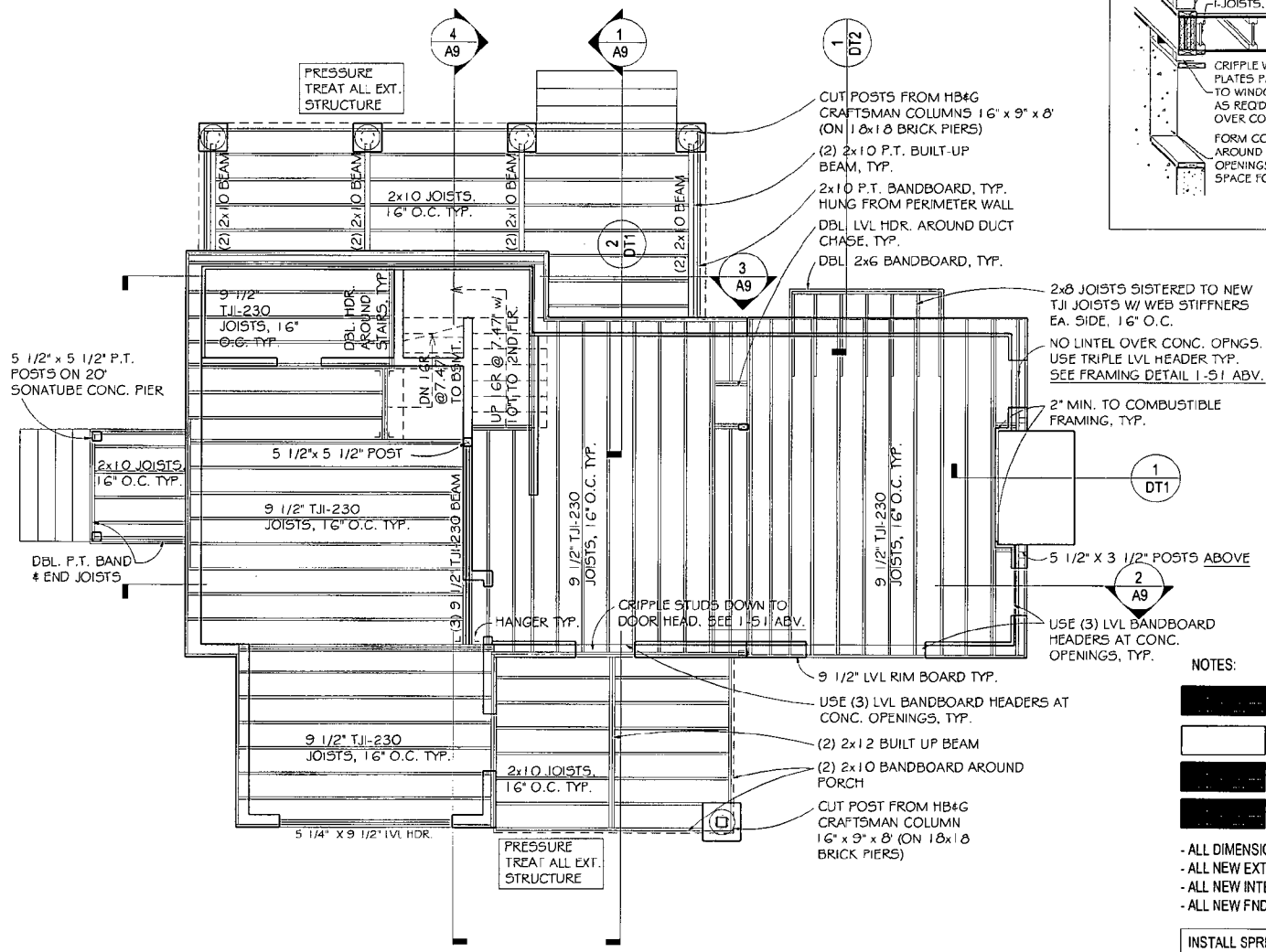
**MICHE BOOZ**  
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Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
**FIRST FLOOR FRAMING PLAN**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



- NOTES:**
- NEW MASONRY WALLS
  - NEW CONC. WALLS
  - NEW RIGID INSUL. FURRING
  - NEW FRAME WALLS
- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
  - ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
  - ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
  - ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED
- INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

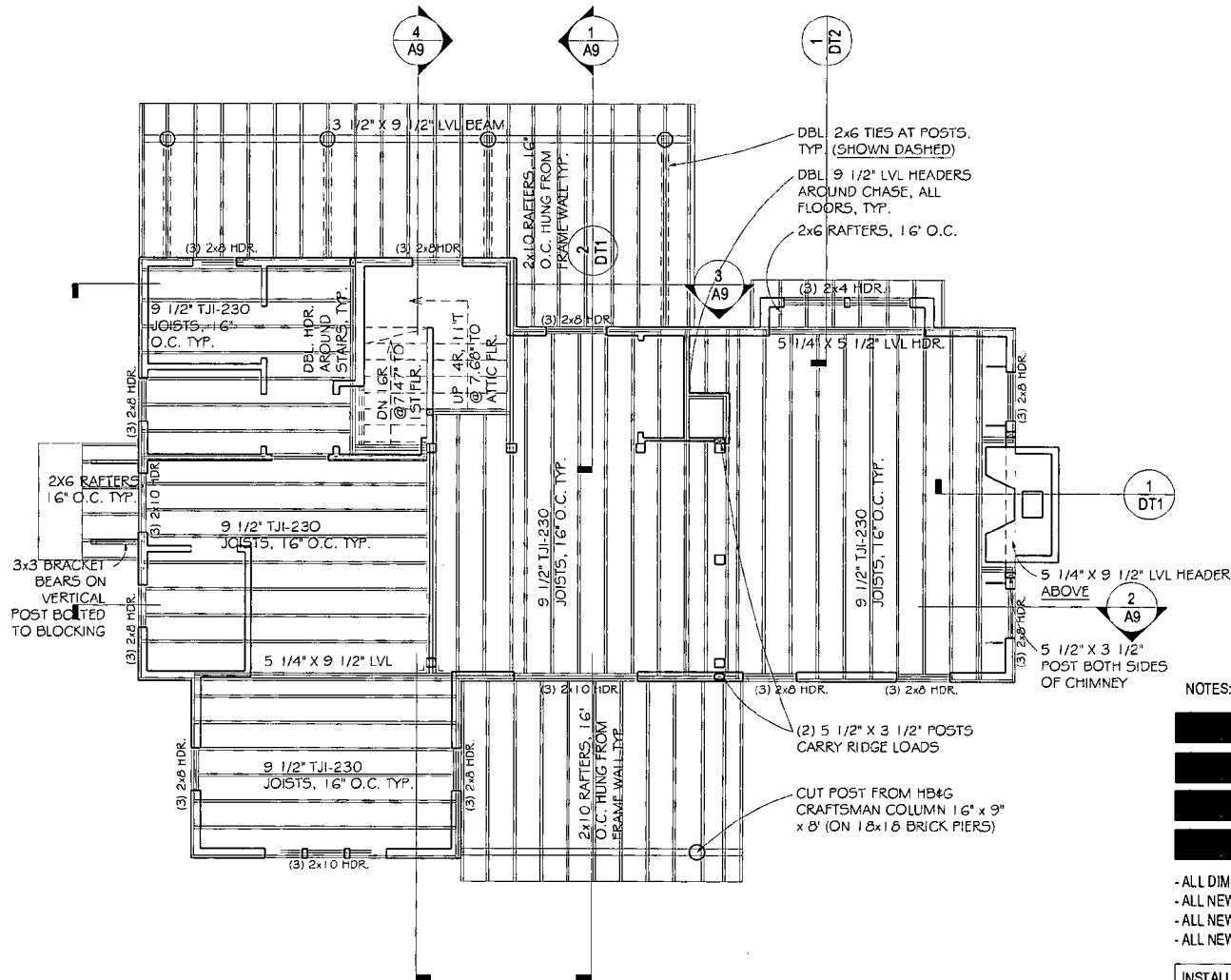
(BSMT. PLAN SHOWN BELOW)  
**2**  
**S1** 1ST FL. FRAMING PLAN  
SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:  
**SECOND FLOOR FRAMING PLAN**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



NOTES:

- NEW MASONRY WALLS
- NEW CONC. WALLS
- NEW RIGID INSUL. FURRING
- NEW FRAME WALLS

- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
- ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
- ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED

INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

(1ST FL. PLAN SHOWN BELOW)

1  
S2

**2ND FLR. FRAMING PLAN**

SCALE: 1/4"=1'-0"

MICHE BOOZ  
ARCHITECT

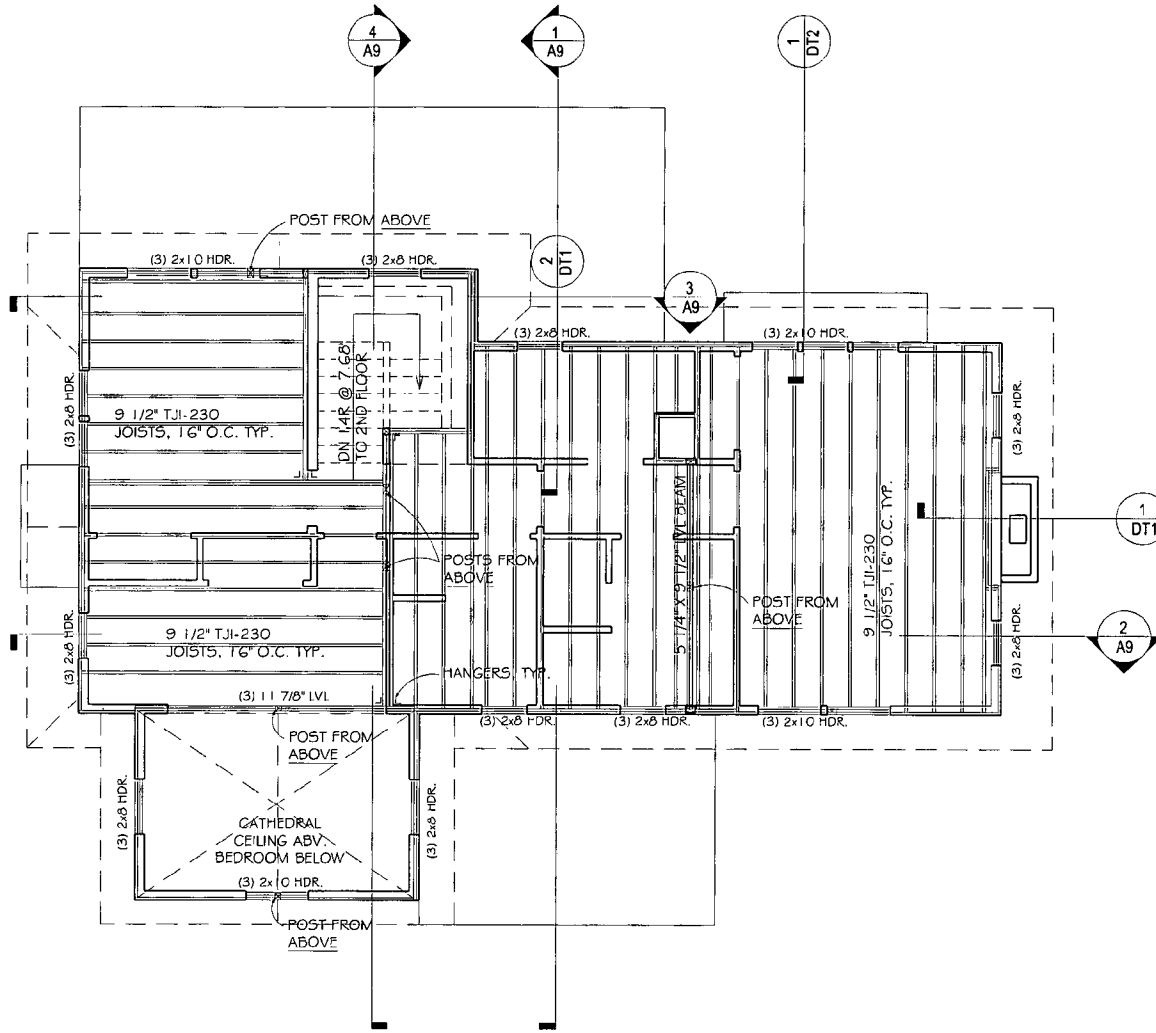
S3

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Project:  
SCANLON HOUSE  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:  
ATTIC FLOOR FRAMING

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



NOTES:

- NEW MASONRY WALLS
- NEW CONC. WALLS
- NEW RIGID INSUL. FURRING
- NEW FRAME WALLS

- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
- ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
- ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED

INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

(2ND FL. PLAN SHOWN BELOW)

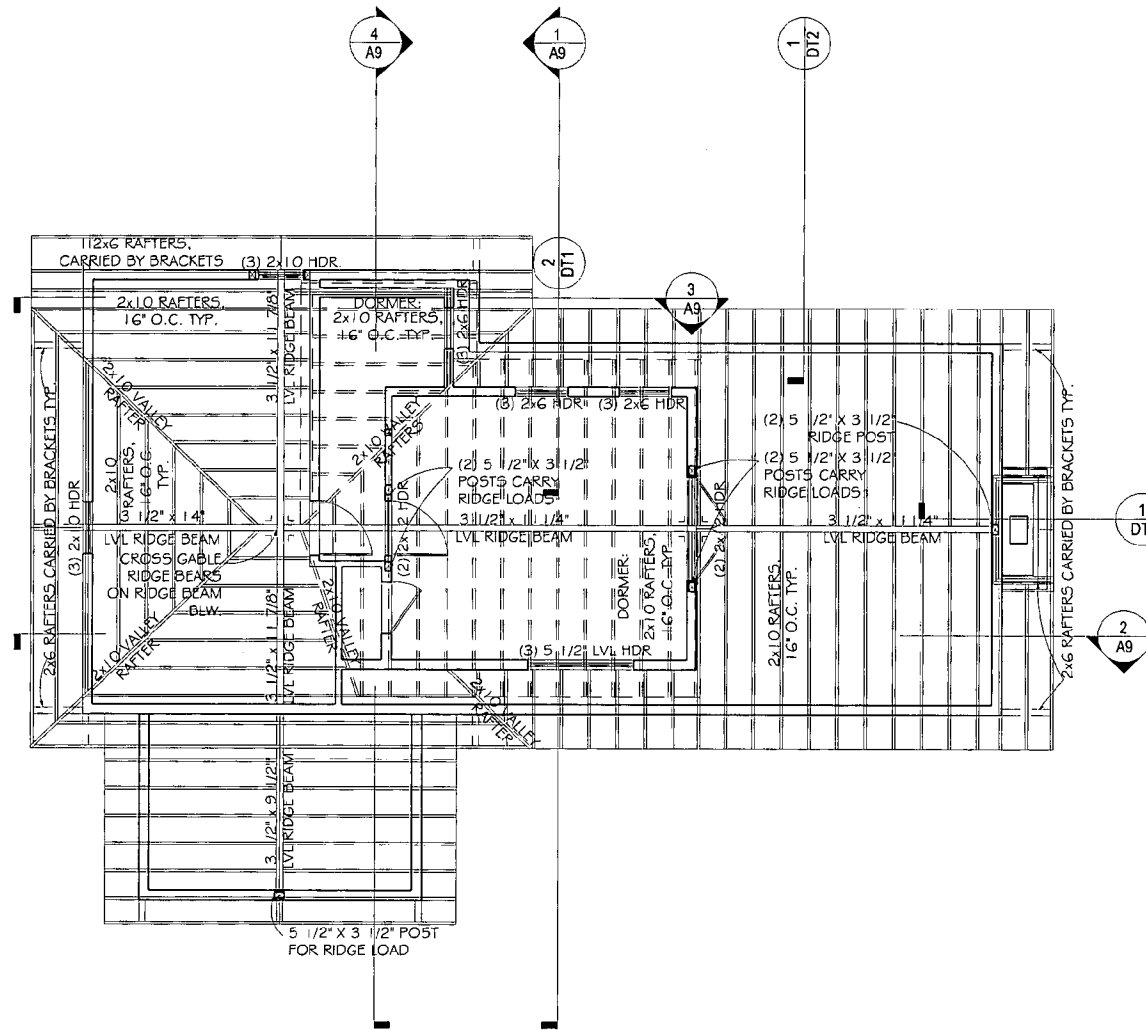
1  
S3 ATTIC FLR. FRAMING PLAN  
SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005





Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
**ROOF FRAMING PLAN**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



NOTES:

-  - NEW MASONRY WALLS
-  - NEW CONC. WALLS
-  - NEW RIGID INSUL. FURRING
-  - NEW FRAME WALLS

- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE
- ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
- ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED

INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

(ATTIC FL. PLAN SHOWN BELOW)

**1**  
**S4**  
**ROOF FRAMING PLAN**  
SCALE: 1/4"=1'-0"

WINDOW AND DOOR SCHEDULE

NO.	MANUF.	STYLE/NO.	V/F	EXT. MATERIAL	COLOR	GRILLE # PATTERN - S/DL	APPROX. R.O.	WINDOW TYPE	INT. FINISH	SCREEN	HARDW.	NOTES
(A)	MARVIN	WUDH2026	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/11	2'-2" X 5'-2"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	MULL UNITS AS DRAWN
(B)	MARVIN	WAWN2828	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/12	2'-6" X 2'-6"	AWNING	PAINT GRADE	T.B.S	T.B.S	TEMPER 3 OF THESE UNITS AS REQ'D.
(C)	MARVIN	WUDH3026	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 3/11	3'-0" X 5'-2"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	MULL UNITS AS DRAWN, EGRESS
(D)	MARVIN	WUDH2018	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/11	2'-2" X 3'-8"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	
(E)	MARVIN	WUDH2022	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/11	2'-2" X 4'-5"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	MULL UNITS AS DRAWN
(F)	MARVIN	WCM2848	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/11	2'-2" X 4'-0"	CASEMENT	PAINT GRADE	T.B.S	T.B.S	
(G)	MARVIN	WUDH262436	VENT	WOOD	T.B.S	COTTAGE STYLE, 7/8" S/DL 3/11	2'-8" X 5'-9"	COTTAGE D/H	PAINT GRADE	T.B.S	T.B.S	TOP SASH 1/3 HGT., BOTTOM SASH 2/3 HGT., OR D/H AS AVAIL.
(H)	MARVIN	WUDH3018	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 3/11	3'-0" X 3'-9"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	
(J)	MARVIN	WUDH1622	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/11	1'-10" X 4'-5"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	MULL UNITS AS DRAWN
(K)	LOEWEN	SLIDER 1808	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 4/4	31.5" X 71"	SLIDING WIN.	PAINT GRADE	T.B.S	T.B.S	EGRESS
(L)	MARVIN	WUJFD6080	VENT	WOOD	T.B.S	CUSTOM LITE PATTERN, T.B.S.	6'-1" X 8'-0"	INSW. FR. DR.	PAINT GRADE	T.B.S	T.B.S	BOTH ACTIVE
(M)	MARVIN	WUSFD6080	VENT	WOOD	T.B.S	CUSTOM LITE PATTERN, T.B.S.	6'-1" X 8'-0"	SLIDING FR. DR.	PAINT GRADE	T.B.S	T.B.S	LEFT ACTIVE
(N)	MARVIN	WUJFD3080	VENT	WOOD	T.B.S	CUSTOM LITE PATTERN, T.B.S.	3'-2" X 8'-0"	INSW. FR. DR.	PAINT GRADE	T.B.S	T.B.S	
(O)	T.B.S.	FRONT DOOR	VENT	WOOD	T.B.S	T.B.S	3'-2" X 8'-0"	FRONT DOOR	PAINT GRADE	NONE	T.B.S	
(P)	T.B.S.	GARAGE DOOR	VENT	WOOD	T.B.S	T.B.S	9'-0" X 8'-0"	GARAGE DOORS	PAINT GRADE	NONE	T.B.S	

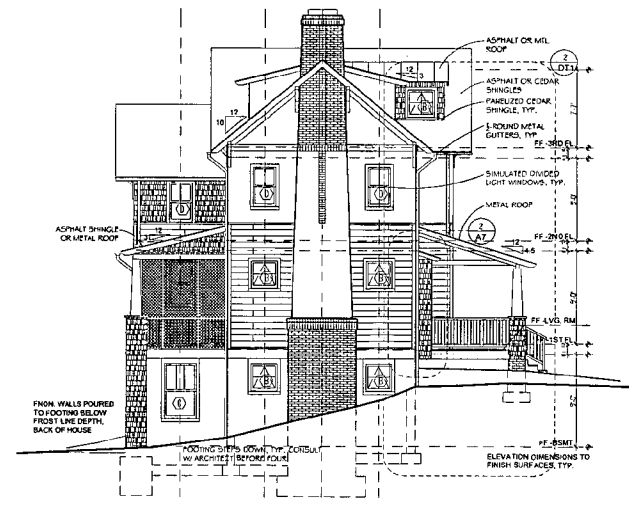
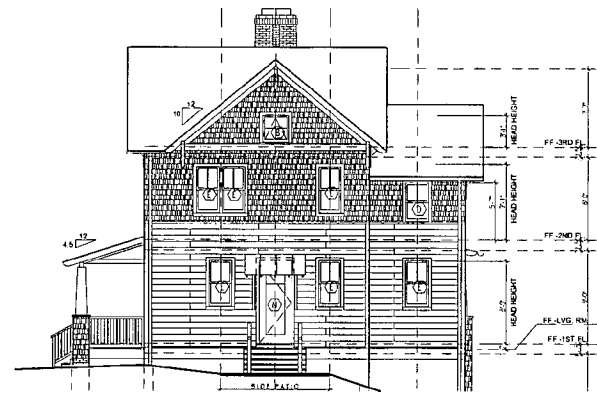
NO BRICK MOULD ON ANY WINDOW OR DOOR UNLESS NOTED OTHERWISE

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Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:  
**WINDOW & DOOR SCHEDULE**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



PERMIT SET - 5 AUGUST 2005



**Interior Door Schedule**  
August 3, 2005

Door #	Location	Size	Jamb	Type	Swing	Hardware	Notes
B-01	Mud Room to Garage	2'-8" x 6'-8" x 1 3/8"	6 9/16"	primed wood prehung	RH	self closing; weatherstripping, lock	fire rated, exterior frame
B-02	Garage to Mech Closet	2'-6" x 6'-8" x 1 3/8"	6 9/16"	primed wood prehung	RH	lock	exterior frame
B-03	Mud Room to Future Bath	2'-6" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	RH	privacy lock	NIC
B-04	Mud Room to Future Closet	2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	RH		NIC
B-05	Mud Room to Future Rac Room	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH	privacy lock	NIC
B-08	Future Rac Room to Future Closet	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			NIC
1-01	Foyer to Coat Closet	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
1-02	Side Foyer to Desk/Mail Center	2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood pocket door			
1-03	Side Foyer to Mud Room	2'-10" x 6'-3" x 1 3/8"	4 9/16"	primed wood pocket door			
1-04	Mud Room to Powder	2'-6" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH	privacy lock	
2-01	Hallway to Bedroom #2	2'-8" x 6'-8" x 1 3/8"	6 9/16"	primed wood prehung	LH	privacy lock	
2-02	Bedroom #2 to Bedroom #2 Closet	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
2-03	Hallway to Bedroom #3	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH	privacy lock	
2-04	Bedroom #3 to Bedroom #3 Closet	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
2-06	Hallway to Bath	2'-6" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH	privacy lock	
2-07	Bath to Linen Closet	dbl 1'-4" x 5'-8" x 1 3/8"	4 9/16"	primed wood prehung			
2-08	Hallway to Master Hall	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	RH		
2-09	Master Hall to Master Bath	2'-6" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH	privacy lock	
2-10	Master Bath to Master Toilet	2'-0" x 6'-8" x 1 3/8"	4 9/16"	primed wood pocket door			
2-11	Master Hall to Master Closet	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood pocket door			
2-12	Master Hall to Master Bedroom	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	RH	privacy lock	
2-13	Master Bedroom to Master Bedroom Closet	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
A-01	Hallway to Attic Bedroom	2'-8" x 6'-6" x 1 3/8"	4 9/16"	primed wood prehung	RH	privacy lock	
A-02	Attic Bedroom to Closet	2'-6" x 5'-0"	4 9/16"	primed wood access panel			
A-03	Attic Bedroom to Attic Storage	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
A-04	Hallway to Future Attic Space	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH		
A-05	Future Attic Space to Future Bath	2'-6" x 6'-6" x 1 3/8"	4 9/16"	primed wood prehung	RH	privacy lock	NIC
A-06	Future Attic Space to Future Walk-In Closet	2'-6" x 6'-6" x 1 3/8"	4 9/16"	primed wood prehung	RH		NIC

All interior doors to be Simpson Redi-Prime Shaker 8760 (or equal)

**Finish Schedule**  
August 3, 2005

Location	Walls	Floor	Ceilings	Base	Notes
Basement	perim walls only - rigid insulation	Exposed Concrete	Unfinished - Exposed Joists	None	
Basement - Garage	drywall P-2; exposed concrete	Exposed Concrete	drywall P-1	None	
Basement - Mech Closet	drywall P-2	Exposed Concrete	Unfinished - Exposed Joists	None	
1st Floor - Foyer	drywall P-2	T-3	drywall P-1	wood, P-3	
1st Floor - Coat Closet	drywall P-2	T-3	drywall P-1	wood, P-3	
1st Floor - Dining Room	drywall P-2	WD-1	drywall P-1	wood, P-3	
1st Floor - Living Room	drywall P-2	CPT-1	drywall P-1	wood, P-3	fireplace surround T-3; wood mantle P-3
1st Floor - Kitchen	drywall P-2	WD-1	drywall P-1	wood, P-3	
1st Floor - Desk/Mail Center	drywall P-2	WD-1	drywall P-1	wood, P-3	
1st Floor - Side Foyer	drywall P-2	WD-1	drywall P-1	wood, P-3	
1st Floor - Mud Room	drywall P-2	VCT-1	drywall P-1	wood, P-3	
1st Floor - Laundry	drywall P-2	VCT-1	drywall P-1	wood, P-3	
1st Floor - Powder	drywall P-2	VCT-1	drywall P-1	wood, P-3	
1st Floor - Front Porch	Railing/Columns; P-4	WD-2; P-4	Wood; P-4	None	
1st Floor - Back Porch	Railing/Columns; P-4	WD-2; P-4	Wood; P-4	None	
1st Floor - Side Porch	Railings; P-4	WD-2; P-4	Wood; P-4	None	
2nd Fl - Hallways	drywall P-2	WD-1	drywall P-1	wood, P-3	1" x 6" wood picture rail, P-3
2nd Floor - Bedroom #2	drywall P-2	CPT-1	drywall P-1	wood, P-3	
2nd Floor - Bedroom #2 Closet	drywall P-2	CPT-1	drywall P-1	wood, P-3	
2nd Floor - Bedroom #3	drywall P-2	CPT-1	drywall P-1	wood, P-3	
2nd Floor - Bedroom #3 Closet	drywall P-2	CPT-1	drywall P-1	wood, P-3	
2nd Floor - Bath	drywall P-2	T-1	drywall P-1	wood, P-3	T-2 2/3 up wall at tub
2nd Floor - Linen Closet	drywall P-2	T-1	drywall P-1	wood, P-3	
2nd Floor - Master Bath	drywall P-2	T-1	drywall P-1	wood, P-3	T-2 2/3 up wall at shower
2nd Fl - Master Closet	drywall P-2	WD-1	drywall P-1	wood, P-3	
2nd Fl - Master Bedroom	drywall P-2	CPT-1	drywall P-1	wood, P-3	
2nd Fl - Master Bedroom Closet	drywall P-2	CPT-1	drywall P-1	wood, P-3	
3rd Floor - Attic Bedroom	drywall P-2	Unfinished - Plywood Subfloor	Unfinished - Exposed Joists	None	
Stairs	drywall P-2	treads WD-1; risers P-3	drywall P-1	wood, P-3	stain grade wood railing

All interior wood doors P-3

All interior doors/windows - 1" x 6" wood trim; P-3

**MICHE BOOZ**  
ARCHITECT

**SC2**

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Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
**INTERIOR DOOR & FINISH SCHEDULES**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05

**Finish Legend**  
August 3, 2005

Code	Description
P-1	flat white ceiling paint
P-2	flat wall paint, color TBD
P-3	semi-gloss white trim paint
P-4	exterior paint
T-1	1" white ceramic hex tile
T-2	3" x 6" white ceramic subway tile
T-3	12" x 12" slate or ceramic tile
WD-1	Prefinished Vertical Grain Natural Bamboo Wood Flooring
WD-2	Tendura Wood Decking
CPT-1	Cut pile Nylon 30oz carpet w/ 1/4" rubber pad
VCT-1	Forbo Marmoleum (or equal)

***REVISION***  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	203 Market Street, Brookeville	<b>Meeting Date:</b>	9/14/2005
<b>Applicant:</b>	Chris Scanlon (Miche Booz, Architect)	<b>Report Date:</b>	9/7/2005
<b>Resource:</b>	Brookeville Historic District	<b>Public Notice:</b>	8/31/2005
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	23/65-05C REVISION	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	New construction	<b>RECOMMENDATION:</b>	Approve with Conditions

---

**RECOMMENDATION**

Staff is recommending approval with the following condition:

1. The chimney is redesigned so as to be simpler and not battered.

**SITE DESCRIPTION**

**SIGNIFICANCE:** *Master Plan Site, #23/65 (National Register Historic District)*  
**STYLE:** 18th Century Federal/Victorian/Early 20th-Century  
**DATE:** c. 1794

The Town of Brookeville was originally platted in 1794 and is situated along Georgia Avenue, MD Route 97. On August 26, 1814 during the War of 1812, Brookeville was the U.S. Capital while President Madison fled the burning of Washington DC by the British. The house the President escaped to was owned by Caleb & Henrietta Bentley and is presently known as the "Madison House" located at 205 Market Street because of this renowned event.

The proposed project will be located at 203 Market Street, which is directly east of the Madison House. The Madison House is a 2-½-story brick house with an adjoining 1-story addition, which was the first Brookeville post office - circa 1802. Constructed in 1798, the house is an excellent example of a Federal style house in the district and carries high historical significance.

Adjacent and downhill from the Madison House is the Miller's Cottage at 203 Market Street, and this is the site of the current proposal. Originally constructed in 1788 for the Brookeville Mill and remodeled in the 1960s, this is currently a small 1-½ story fieldstone house that exhibits some historic detailing such as a massive external stone chimney with a walk-in fireplace.

In addition to the built environment, the topography of Market Street drops prominently southeast as it connects to Brighton Dam Road. Any new development on this lot will be viewed coming up Market Street into the historic downtown of Brookeville.

## **APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Brookeville Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

### ***Secretary of the Interior's Standards for Rehabilitation:***

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## **BACKGROUND:**

This HAWP was originally approved at the February 23, 2005 Historic Preservation Commission (HPC) Meeting. Subsequent to the meeting the location of the house was shifted and the design slightly modified. The house location was been shifted slightly further away from the existing stone building due to excavation and utility issues with underground rock. The applicants have already received a permit revision for this shift from the Town of Brookeville. Additionally, they will likely be able to go with the Commission's preferred driveway configuration based on the feedback from the owners of the Madison house.

Condition 1 of the original approval allowed for some level of staff approval for material and detail changes. Staff examined the new drawings and concluded that the changes were too numerous and should be brought to the Commission as a Staff Item. At the August 17, 2005 meeting the Commission allowed for staff to approve changes that fall within the condition, but stated that the rest of the changes must come back as a formal revision.

Staff approved the following modifications per the original condition (Circle 9):

- *Location on site*
- *Rafter tail design*
- *Addition of gutters and downspouts*
- *Chimney material change to brick*
- *Railing style*
- *Trim change on 2nd level windows of Southwest facade*
- *Muntin pattern of attic window changed Southwest facade*
- *East (called North in HAWP)*
- *Garage door change*
- *Addition of basement window on Northwest elevation*
- *Removal of basement window on Southeast elevation*
- *Lowering of attic window on Southeast elevation*

**PROPOSAL:**

Revision of approved design for construction of a new single-family home. Generally the changes include deepening the front porch, tapering the chimney; battering the porch columns and straightening the piers; changing the porch piers materials to shingle with brick bases; and modifying the location, size and types of numerous windows. An explanation for the changes is provided on Circle 7. The specific changes – those that were not approved at the Staff level – are listed below:

*Common to all Elevations*

- Chimney is now tapered (material change to brick was allowed per the HAWP)
- Porch piers are now shingle with brick bases rather than stone veneer
- Porch columns now battered and piers straight rather than the other way around
- Grading comes higher up on the house such that less foundation is shown
- 2<sup>nd</sup> Level – 3/1 changed into a pair of windows and moved to the left
- 2<sup>nd</sup> Level – other two windows made smaller
- Attic – window location lowered

*West (called South in HAWP) Circle 11*

- Pair of windows in bay wider in proportion
- Railings for front and side steps now shown
- Railing style changed
- Window under porch is stubbier than before and is 2/1 rather than 3/1
- Trim around 2<sup>nd</sup> level windows changed
- Muntin pattern of attic window changed

*South (called East in HAWP) Circle 12*

- Basement – window removed
- 1<sup>st</sup> Level – all windows changed to 2/1 and the
- 1<sup>st</sup> Level – the left window made bigger
- 1<sup>st</sup> Level – right windows made smaller
- 2<sup>nd</sup> Level – all windows changed to 2/1

*East (called North in HAWP) Circle 13*

- A lot of window and door changes on the basement, 2<sup>nd</sup> and attic levels
- Windows changed to doors on basement level
- Windows on 1<sup>st</sup> level smaller, but have the same proportions
- Garage door change – from arched to square

*North (called West in HAWP) Circle 14*

- Basement – window added
- 1<sup>st</sup> Level – window at screened porch smaller and changed to 2/1
- 1<sup>st</sup> Level – windows flanking chimney made smaller and square
- 2<sup>nd</sup> Level – windows flanking chimney made smaller and changed to 2/1
- 2<sup>nd</sup> Level – window under eave made smaller and stubbier
- Projecting bay extends lower

## **STAFF DISCUSSION**

After first reviewing the revised drawing in detail and with attention to the minutia, staff took a step back and considered the new house and design as a whole. Review emphasis was placed on the *Secretary of the Interior's Standards* and with the points discussed at the two prior HPC meetings. Because of the numerous small changes found during the detailed review, it is important that they were brought to the Commission and heard at a public meeting.

When looking at new construction in an historic district, the primary focus is on the massing and scale as compared to the historic resources. This has not changed with the revisions. In fact, the footprint of the new house is a bit smaller and it is sited farther from the stone cottage. Additionally, the materials and features should be compatible with the district. Most of the material changes were conditionally approved by the HPC at the February 23, 2005 meeting (See Circles 29-32 for approved design). That leaves the issue of the features.

The design presented in the revised HAWP contains refinements to features while retaining the approved vernacular Craftsmanesque style and massing. Discussions by the Commission regarding the details of the design (See Circles 33-69 for minutes) centered on simplification, unification and differentiation. Most of the revisions meet these goals. The window changes continue to help unify and simplify the appearance of the house, which fluctuates due to the grade and they clean up the end elevation most visible from the Madison House and the future Race Street. The chimney redesign, however, does not fit – it changed from a straightforward chimney to one that is battered and more appropriate to a high style house. Staff recommends approval of the revised HAWP with the condition that the chimney is redesigned so as to be simpler and not battered.

## **STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and provided the condition listed on Circle 1 is met;

and with the general condition applicable to all Historic Area Work Permits that the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable). After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

T

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

REVISION TO #372691

Contact Person: CHRIS SCANLON

Daytime Phone No.: 301-255-2155

Tax Account No.: 00731780

Name of Property Owner: CHRIS SCANLON

Daytime Phone No.: 301-255-2155

Address: 212 MARKET ST BROOKEVILLE MD 20833  
Street Number City State Zip Code

Contractor: N/A Phone No.: N/A

Contractor Registration No.: N/A

Agent for Owner: N/A Daytime Phone No.: N/A

### LOCATION OF BUILDING/PREMISE

House Number: 203 Street: MARKET ST.

Town/City: BROOKEVILLE Nearest Cross Street: NORTH ST.

Lot: N/A Block: N/A Subdivision: 5

Liber: 558 Folio: 860 Parcel: P336

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 250,000

1C. If this is a revision of a previously approved active permit, see Permit # 372691

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*Chris Scanlon*  
Signature of owner or authorized agent

8/22/2005  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

PARCEL HAS AN EXISTING STONE STRUCTURE  
ON IT TO REMAIN.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REVISIONS TO APPROVED HAMP FOR ITEMS INCLUDING  
TAPERED CHIMNEY, PORCH COLUMN DESIGN + DEPTH,  
AND WINDOW CHANGES ON SELECTED  
ELEVATIONS PER EMAIL ON 8/22/2005, ITEMS  
ON 8/18/2005 LETTER APPROVED AT STAFF LEVEL.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

## Tully, Tania

---

**From:** Scanlon, Chris [cscanlon@davisconstruction.com]  
**Sent:** Thursday, August 25, 2005 4:53 PM  
**To:** Tully, Tania  
**Cc:** MICHEBOOZ@aol.com; Andrea Scanlon  
**Subject:** RE: SCANLON HOUSE

Hi Tania,

Thanks for the head's up regarding the HAWP revision and for stamping our current permit set promptly.

Regarding the 4 main changes before the commission in the HAWP revision...

--- PORCH DEPTH ---

The depth was increased by 1' because it was not deep enough previously to comfortably fit a chair on it and still maintain a walking path in front of it.

--- CHIMNEY ---

The chimney shape change was for aesthetic reasons. We wanted to continue the "battered" theme from the porch columns and didn't like the "tacked on" look that the chimney had before when it was smaller. It looked undersized and out of proportion being so tall and narrow.

--- WINDOWS ---

Many of the window changes were due to some specific interior constraints (like raising sill height so you don't look at the back of the washer/dryer through the laundry room window). Others were to balance the overall composition of the elevations which we think work much better now.

--- PORCH COLUMNS ---

We went back and forth on the front porch pier base material between brick and shingles. We eliminated the stone option since there is no other stone on the house. One of the commission members noted at our previous hearing that "there is a lot going on" in the front elevation of the house and we thought that keeping the materials and colors as consistent as possible will help unify the design. We ended up with shingles since the brick chimney won't be visible as you approach the house. The change to a tapered column rather than tapered bases were to reflect a more traditional craftsman detail.

I look forward to a draft of the staff report.

Feel free to call if you have any questions and have a nice vacation.

Chris

---

**From:** Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]  
**Sent:** Thursday, August 25, 2005 3:52 PM  
**To:** MICHEBOOZ@aol.com  
**Cc:** Andrea Scanlon; Scanlon, Chris  
**Subject:** RE: SCANLON HOUSE

I received the submittal from DPS. The case is on the September 14th agenda. It will proceed now as a regular HAWP would. I'll contact you before I finalize my staff report.  
-Tania

-----Original Message-----

8/26/2005

7



**Scanlon, Chris**

---

**From:** Tully, Tania [Tania.Tully@mncppc-mc.org]  
**Sent:** Monday, August 22, 2005 9:59 AM  
**To:** MICHEBOOZ@aol.com; Scanlon, Chris  
**Subject:** RE: SCANLON HOUSE

Chris & Miche -

I've attached the info sheet I provided to the Commissioners along with the drawings. Below is a list of the changes that need to go before the Commission as a revision to the HAWP at a public meeting.

- § Deeper front porch
- § Tapered chimney
- § Porch columns now battered and piers straight rather than the other way around
- § Porch piers are now shingle with brick bases rather than stone veneer
- § Window changes – locations, sizes, etc...

Let me know if you have any other questions.

Tania

-----Original Message-----

**From:** Tully, Tania  
**Sent:** Thursday, August 18, 2005 1:28 PM  
**To:** 'MICHEBOOZ@aol.com'; 'cscanlon@davisconstruction.com'  
**Subject:** SCANLON HOUSE

Chris & Miche -

Attached is the memo indicating which changes are approved at the staff level and which will have to be submitted as a revision to the HAWP and reviewed at a public meeting.

-Tania << File: 203 Market St - Staff Level Approvals 08-2005.doc >>



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

August 18, 2005

Mr. Reggie Jetter  
Department of Permitting Services  
255 Rockville Pike, 2nd Floor  
Rockville, Maryland 20850-4166

Re: Historic Area Work Permit # 372691  
203 Market Street, Brookeville  
New Construction in the *Brookeville Master Plan Historic District*

Dear Mr. Jetter:

I am writing regarding proposed changes to the previously approved HAWP (HPC# 23/65-05A). The Montgomery County Historic Preservation Commission (HPC), at the August 17, 2005 HPC meeting, has approved the following changes to the design of the new house and site plan:

- *Location on site*
- *Rafter tail design*
- *Addition of gutters and downspouts*
- *Chimney material change to brick*
- *Railing style*
- *Trim change on 2nd level windows of Southwest facade*
- *Muntin pattern of attic window changed Southwest facade*
- *East (called North in HAWP)*
- *Garage door change*
- *Addition of basement window on Northwest elevation*
- *Removal of basement window on Southeast elevation*
- *Lowering of attic window on Southeast elevation*

**Please utilize this letter as formal approval for these revisions.** All other proposed modifications must be presented to the HPC through the HAWP process for revision. Thank you for your assistance in this matter. If you have any questions, please do not hesitate to contact staff at 301-563-3400.

Sincerely,

Tania Georgiou Tully  
Historic Preservation Planner

cc: Chris and Andrea Scanlon  
Miche Booz, Architect

# SCANLON HOUSE

203 MARKET STREET,  
BROOKEVILLE, MD 20833

## ABBREVIATIONS

ABOVE APPROXIMATE AVERAGES BASEMENT BEAM BETWEEN BLOCKING BOARD BOTTOM OF BRICK BUILDING CEILING CERAMIC TILE CLEAN OUT COLUMN CONCRETE CONC. MASONRY_UNIT CONTINUOUS DETAIL DIAMETER DIMENSION DOOR DOWNSPOUT EACH ELEVATION ENTRANCE EXISTING FEET FLOOR FOUNDATION GLASS GRADE HARDWOOD HEIGHT INCH INSULATION INTERIOR LIGHT	ABV APPROX. @ AVG BSMT. BM BET. BLKG BO B.O. BR BLDG CLG C.T. C.O. COL. CONC. CMU CONT. DET. DIM. DR D.S. EA. EL. ENT. EXC FT. FL. FNDN GL. GR. HDWD HT IN. INSUL. INT. LT	MASONRY OPENING MEDICINE CABINET METAL MINIMUM MISCELLANEOUS NUMBER ON CENTER OPENING PAINTED PLYWOOD PLASTER PLATE PRESSURE TREATED ROUGH OPENING RISER RDOM SECTION SHEET STEEL STONE THRESHOLD THICKNESS TO BE SPECIFIED TO MATCH EXISTING TOP OF TREAD TYPICAL UNDERSIDE UNLESS NOTED OTHERWISE VINYL TILE WITH WOOD	M.O. M.C. MET. MIN. MISC. NO. O.C. OPNG. PTD PLYWD PLAS. PL. P.T. R.O. R. RM SEC. SHT STL ST THRES. THK T.B.S. T.M.E. T.O. T. TYP. U/S U.N.O. V.C.T. W/W WD
		<b>SYMBOLS</b>	(S)
		SMOKE DETECTOR	(S)

## ZONING

Owner: Chris & Andrea Scanlon  
 Phone: 301-260-0246  
 Address: 203 Market St.  
 Lot: N/A  
 Subdivision: 5  
 Election District: 8  
 Zone: HVR-Historic Village Residential  
 Front BRL: 15' min.  
 Side BRL: 8' min.  
 Rear BRL: 40' min.  
 Lot Coverage: n/o  
 Bldg. Height: 35' max.  
 Lot Size: 33105 SF

## LOADS

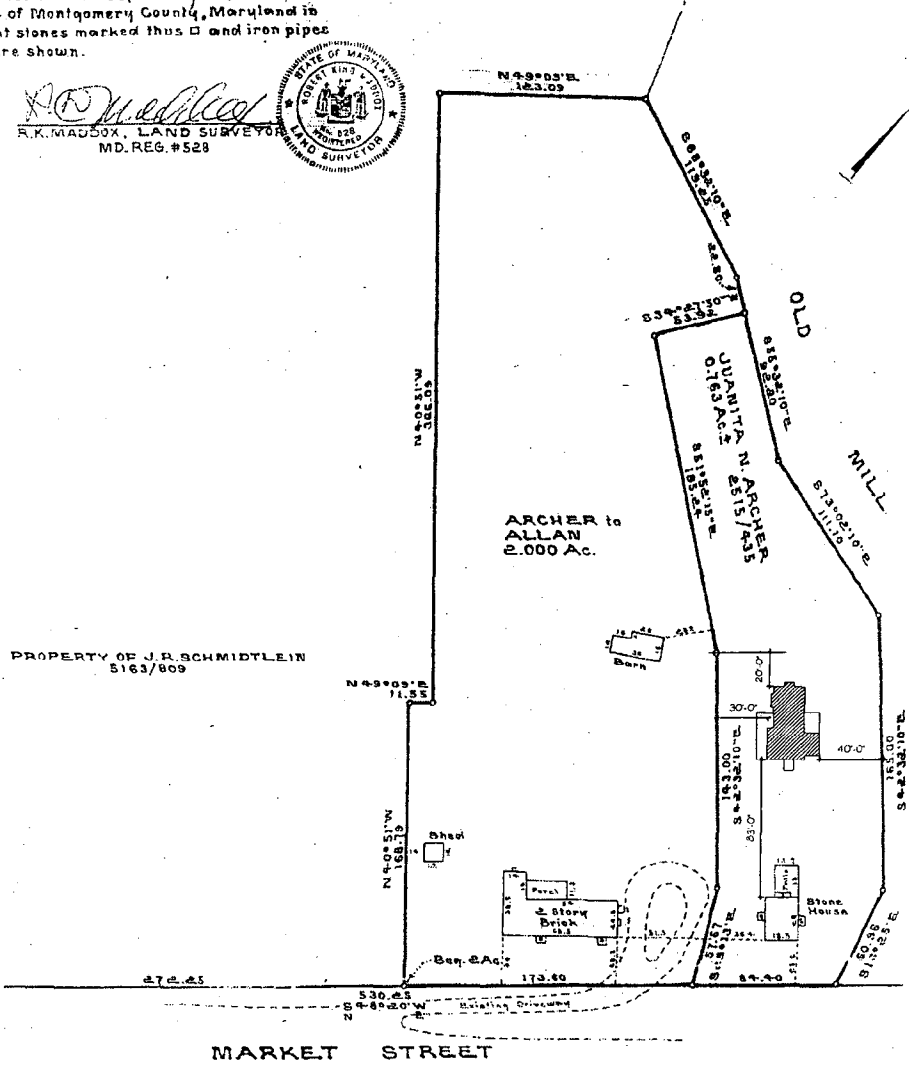
ROOF SNOW LOAD: 30 PSF  
 FLOOR LOAD: 40 PSF, 30 PSF SLEEPING  
 DECK: MIN. 40 PSF  
 ROOMS OTHER THAN SLEEPING: 40 PSF  
 STAIRS: MIN. 40 PSF  
 FLOOR/CEILING LIVE LOAD DEFLECTION: L/360

## DESIGN CRITERIA

**CONCRETE:** STRUCT. CONC. SHALL BE DESIGNED IN ACCORDANCE W/ THE "BUILDING CODE REQ.'S FOR REINF. CONC. (ACI 318-99). THE CONC. USED SHALL HAVE MIN. ULTIMATE COMPRESSIVE STRENGTH OF 3500 PSI FOR 3000 PSI @ 28 DAYS FOR ALL OTHERS.  
**STEEL:** THE REINF. OF ASTM A615 GRADE 60 SHALL BE USED IN ALL THE CONC. STRUCTURES.  
**STRUCTURAL STEEL:** SHALL BE DESIGNED IN ACCORD. W/ "SPEC. FOR STRUC. STEEL BLDGS. (AISC ALLOW. STRESS DES. 9TH EDITION) STEEL SHAPES, PLATES, BARS, CHANNELS, & ANGLES OF GRADE ASTM 36 SHALL BE USED  
**LUMBER:** ALL FRAMING SHALL BE SPRUCE, PINE, HEMFIR NO.1/ NO.2 OR BETTER U.N.O.  
**SOIL BEARING:** 2000 PSF  
**TERMITE INFESTATION:** MODERATE TO HEAVY  
**DECAY PROBABILITY:** SLIGHT TO MODERATE  
**SEISMIC DESIGN CATEGORY:** B  
**FROST LINE DEPTH:** 30 IN.  
**WINTER DESIGN TEMP:** 13°F  
**FLOOD HAZARDS:** NO  
**CONCRETE WEATHERING:** SEVERE

shown hereon is correct; that it is a survey by Junnita N. Archer to be deed dated September 25, 1980 and is of Montgomery County, Maryland in that stones marked thus □ and iron pipes are here shown.

R.K. MADDOX, LAND SURVEYOR  
 MD. REG. #528



**PLAT OF SURVEY**  
 PARTS OF TRACTS OF LAND CALLED & KNOWN AS  
**"MADISON HOUSE"**  
 TOWN OF BROOKEVILLE  
 OLNEY (8th) DISTRICT  
 MONTGOMERY COUNTY, MARYL  
 SCALE: 1" = 40'  
 SEPT., 1980  
 R.K. MADDOX  
 LAND SURVEYOR  
 ROCKVILLE, MARYLAND

<b>MICHE BOOZ</b>	
ARCHITECT	
<b>CS1</b>	
208 Market St Brookville Maryland 20833 (301) 774 6911 fax 774 1908	
Project: <b>SCANLON HOUSE</b> 203 Market Street Brookville, Maryland 20833 Montgomery County	
Drawings: COVER SHEET 1 inch = 50 feet	
Dates: SCHEMATICS 18 JAN 05 H.A.W.P. SET 15 MAR 05 DEVELOP. SET 15 MAY 05 TODAY'S DATE 5 AUG 05	
<b>INDEX OF DRAWINGS</b> A1 BASEMENT PLAN A2 FIRST FLOOR PLAN A3 SECOND FLOOR PLAN A4 ATTIC FLOOR PLAN A5 WEST ELEV. A6 EAST ELEV. A7 NORTH ELEV. A8 SOUTH ELEV. A9 SECTIONS DT1 WALL SECT. DETAILS S1 1ST FLR. FRAMING S2 2ND FLR. FRAMING S3 ATTIC FLR. FRAMING S4 ROOF FRAMING SC1 WINDOW & DOOR SCHEDULES SC2 FINISH & INT. DOOR SCHEDULES	
Permits: Town of Brookville Building Permit Approved: March 1, 2005 Historic Area Work Permit: #372691 Building Permit: Electrical Permit:	
Consultants: General Contractor: Chris & Andrea Scanlon Structural Engineer: T.B.D. Mechanical Consultant: T.B.D. Electrical Contractor: T.B.D.	
Code: IRC 2003	

PERMIT SET - 5 AUGUST 2005

10

MICHE BOOZ  
ARCHITECT

A5

208 Market St  
Brookville  
Maryland 20833  
(301) 774 6911  
fax: 774 1908

Project:

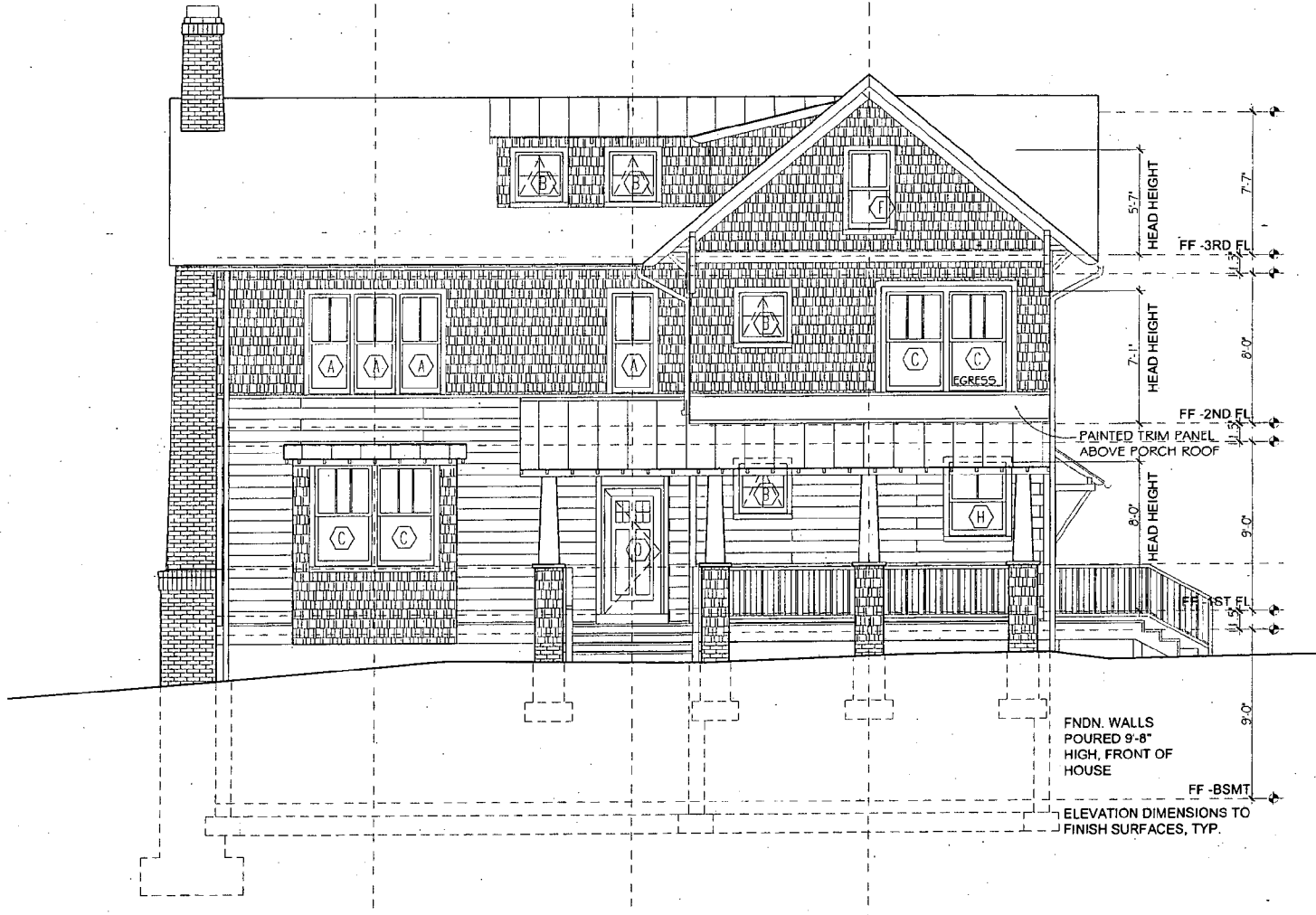
SCANLON  
HOUSE

203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:

WEST ELEVATION  
1/4"=1'-0"

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 WEST ELEVATION  
A5 SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

11

MICHE BOOZ

ARCHITECT

A8

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:

SCANLON  
HOUSE

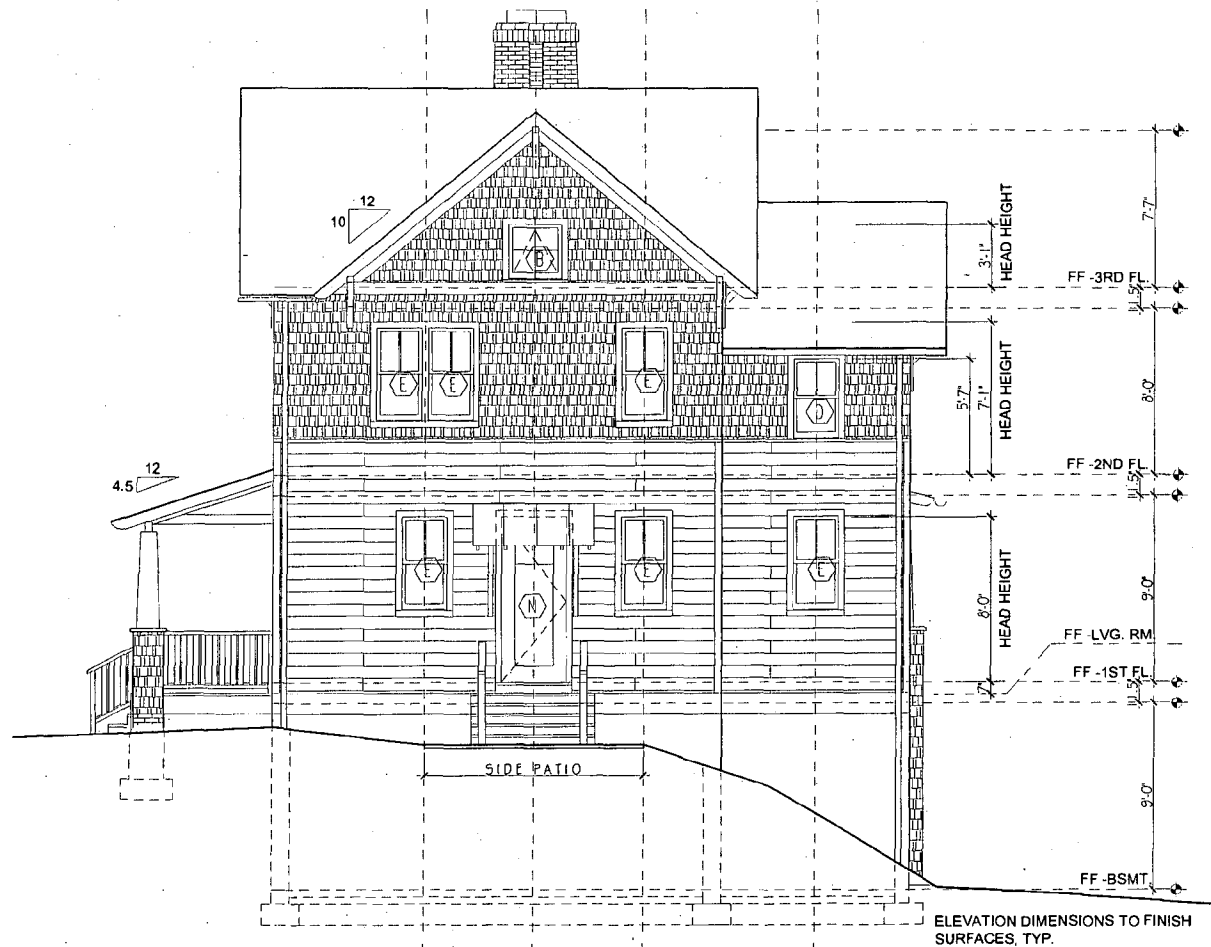
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:

SOUTH ELEVATION  
1/4"=1'-0"

Dates:

SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 SOUTH ELEVATION  
A8 SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

12

MICHE BOOZ  
ARCHITECT

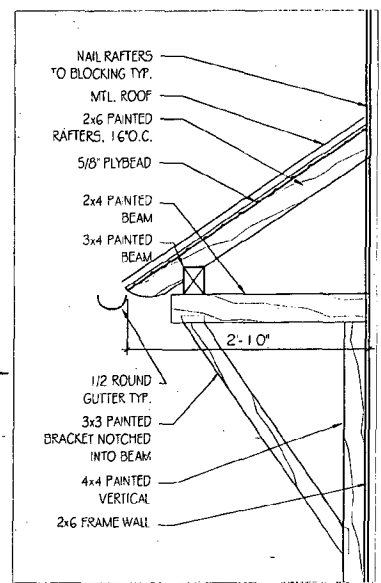
A6

208 Market St  
Brookville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:  
**EAST ELEVATION**  
1/4"=1'-0"

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 EAST ELEVATION  
A6 SCALE: 1/4"=1'-0"

2 SHED ROOF DETAIL  
A6 SCALE: 1"=1'-0"

13

REVISED SET 11 AUGUST 2005

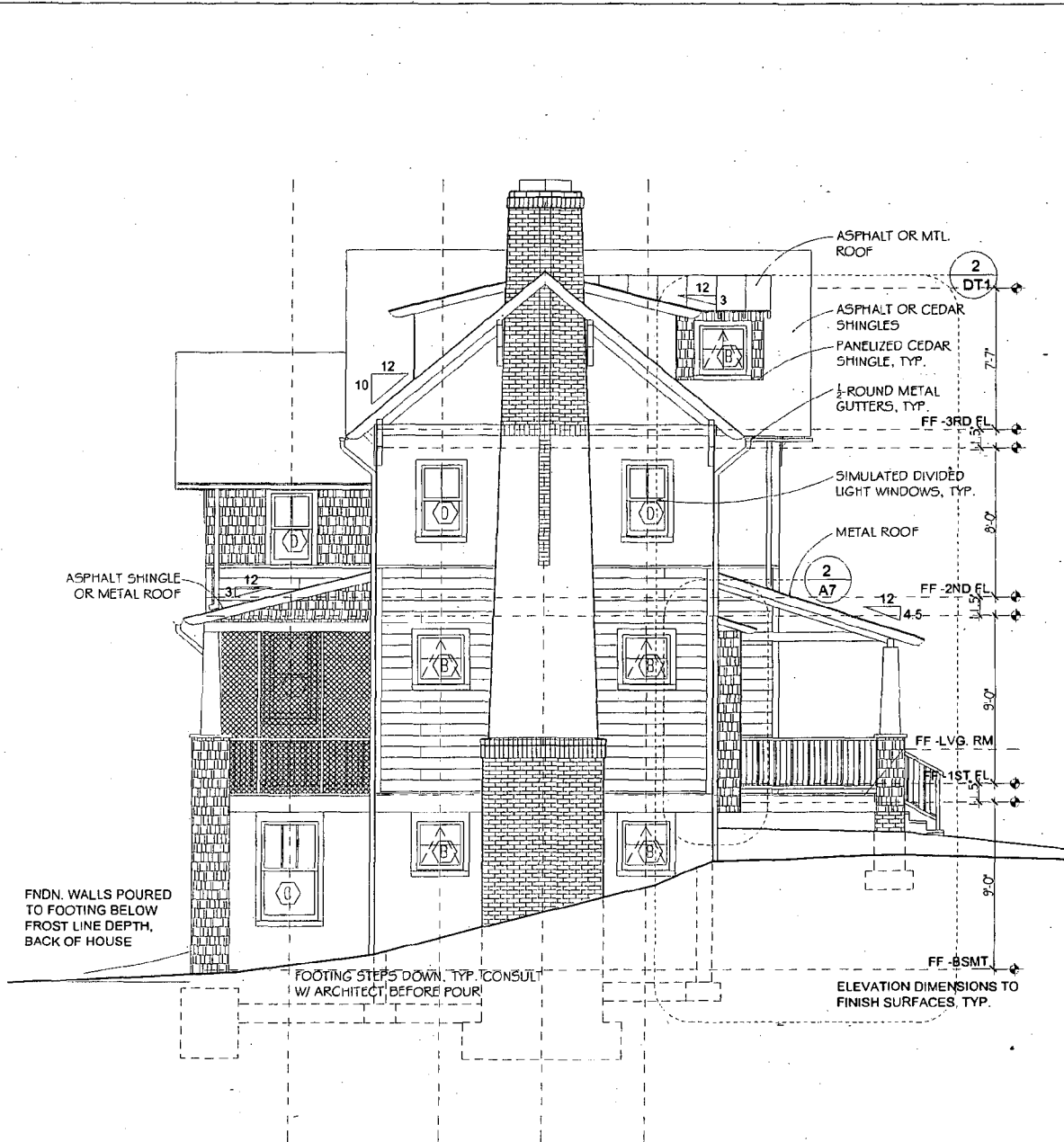
MICHE BOOZ  
ARCHITECT

208 Market St.  
Brookville  
Maryland 20833  
(301) 774 6911  
fax. 774 1908

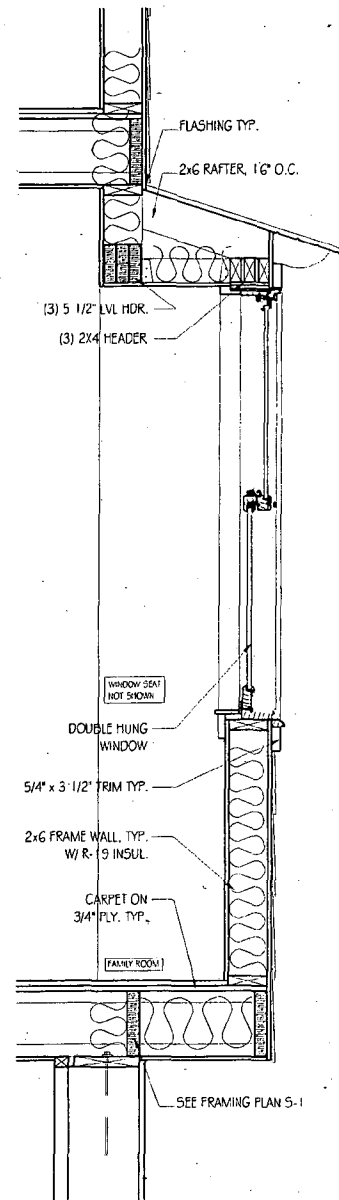
Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:  
**NORTH ELEVATION**  
1/4"=1'-0"

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



1 NORTH ELEVATION  
A7 SCALE: 1/4"=1'-0"



2 WINDOW SEAT DETAIL  
A7 SCALE: 1"=1'-0"

14







MICHE BOOZ  
ARCHITECT

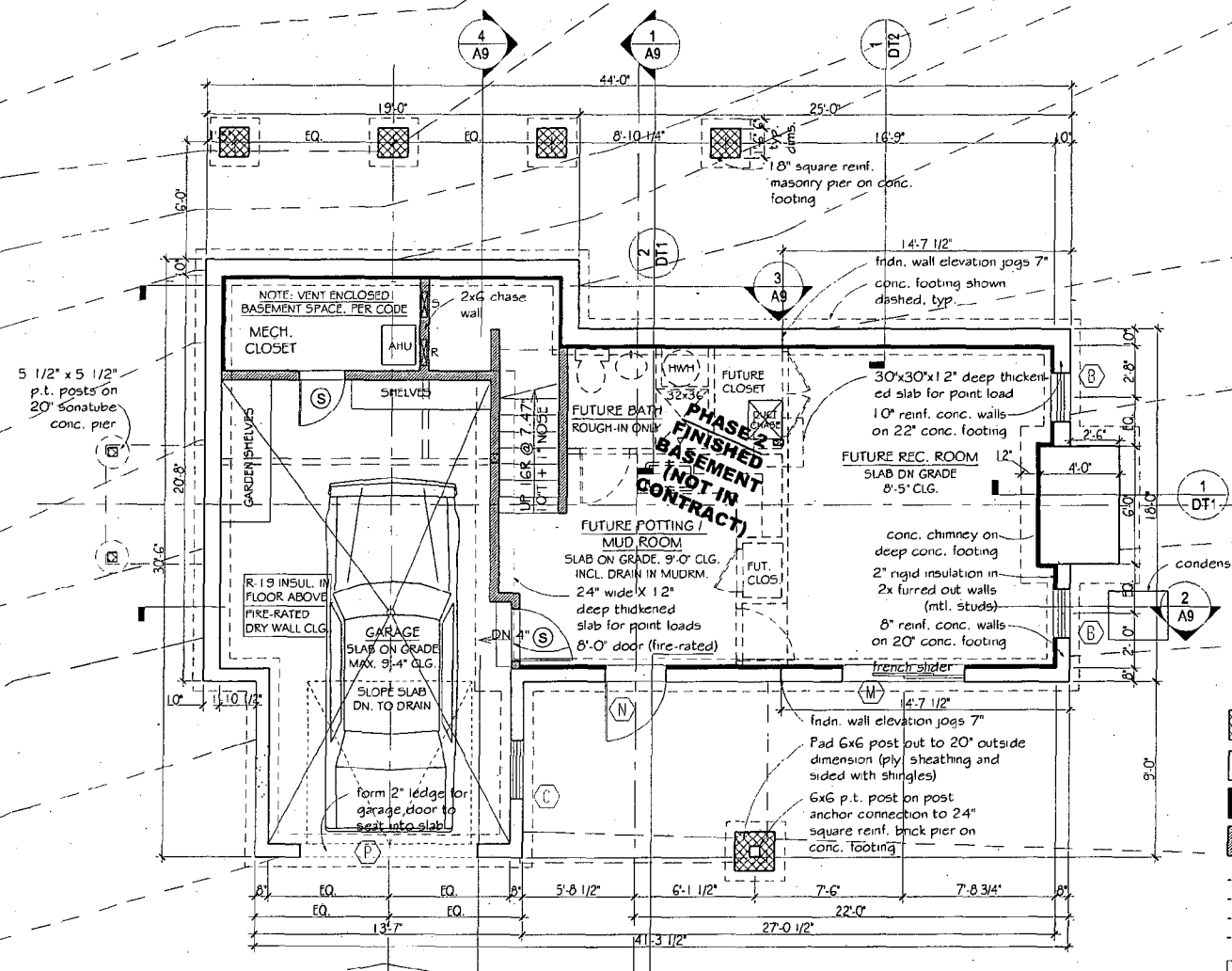
A1

208/Market St  
Brookville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
**BASEMENT PLAN**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



- NOTES:**
- NEW MASONRY WALLS
  - NEW CONC. WALLS
  - NEW RIGID INSUL. FURRING
  - NEW FRAME WALLS
- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
  - ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
  - ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
  - ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED
- INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

**1** BASEMENT PLAN  
A1 SCALE: 1/8" = 1'-0"

PERMIT SET - 5 AUGUST 2005

21

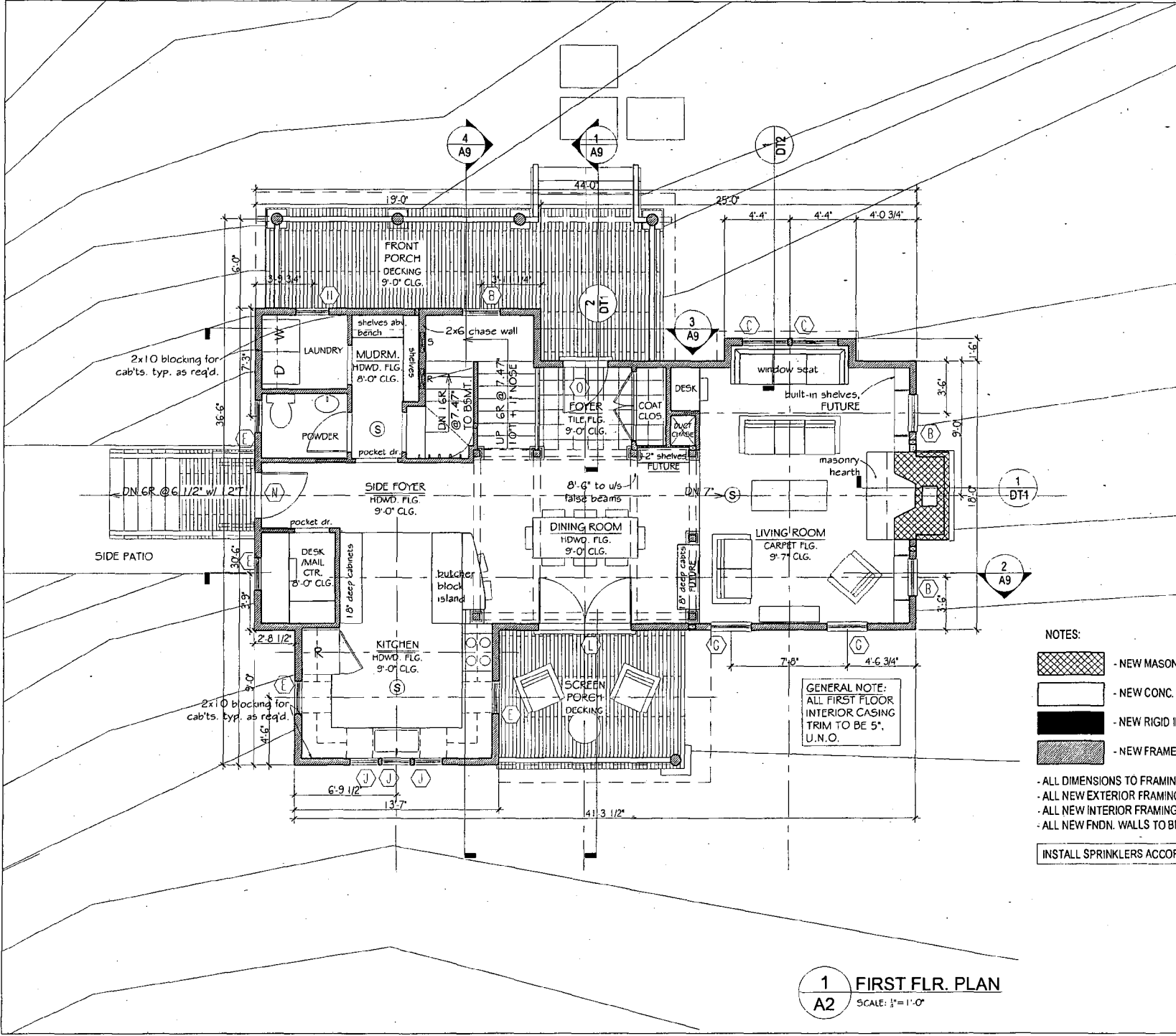
MICHE BOOZ  
ARCHITECT

208 Market St  
Brookville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:  
**FIRST FLOOR PLAN**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



- NOTES:
- NEW MASONRY WALLS
  - NEW CONC. WALLS
  - NEW RIGID INSUL. FURRING
  - NEW FRAME WALLS

- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
- ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
- ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED

INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

**1 FIRST FLR. PLAN**  
A2 SCALE: 1/8" = 1'-0"

18

PERMIT SET - MICHE BOOZ ARCHITECT 2005



MICHE BOOZ  
ARCHITECT

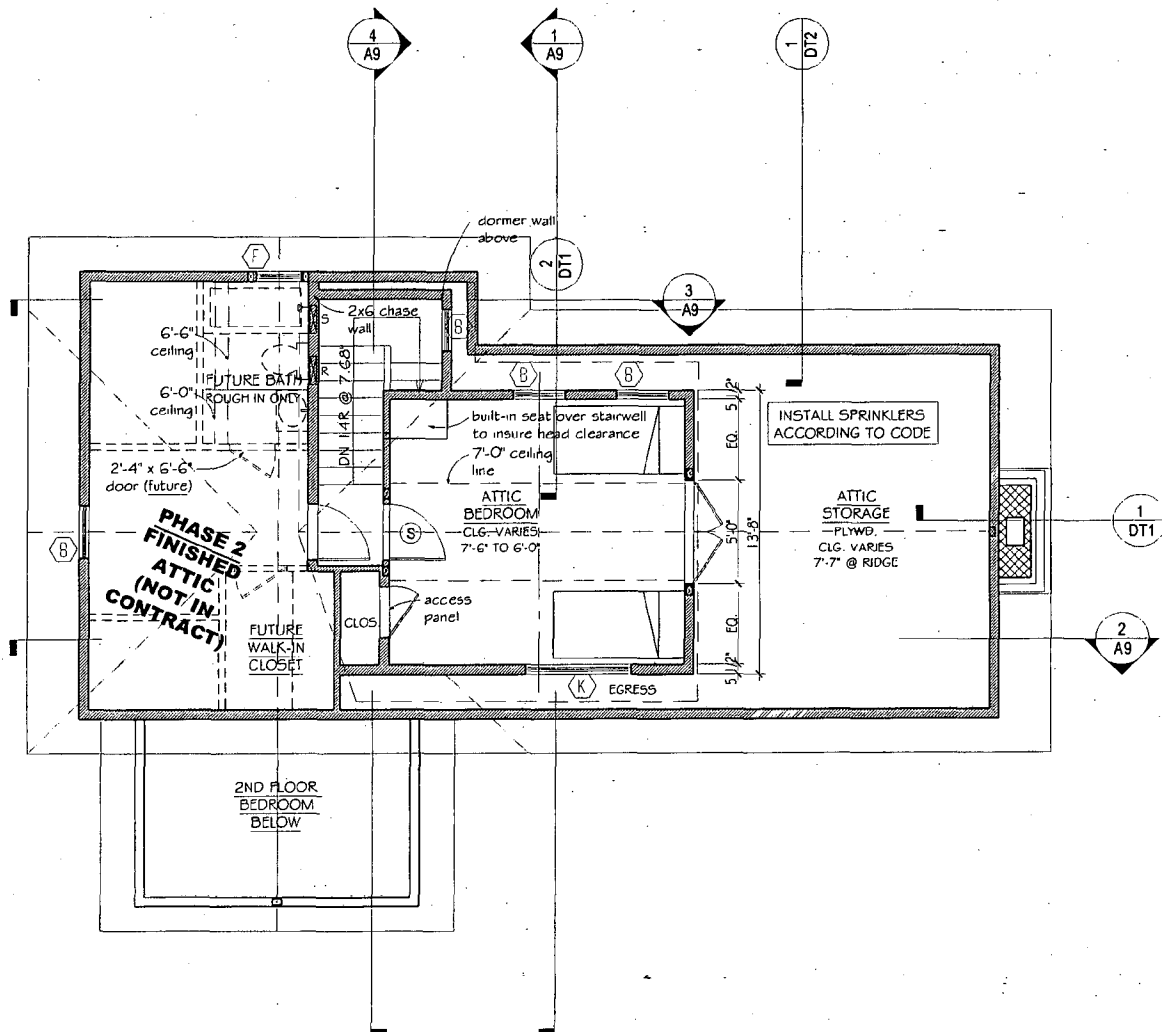
A4

208 Market St  
Brookeville  
Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
SCANLON  
HOUSE  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
ATTIC FLOOR PLAN

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



NOTES:

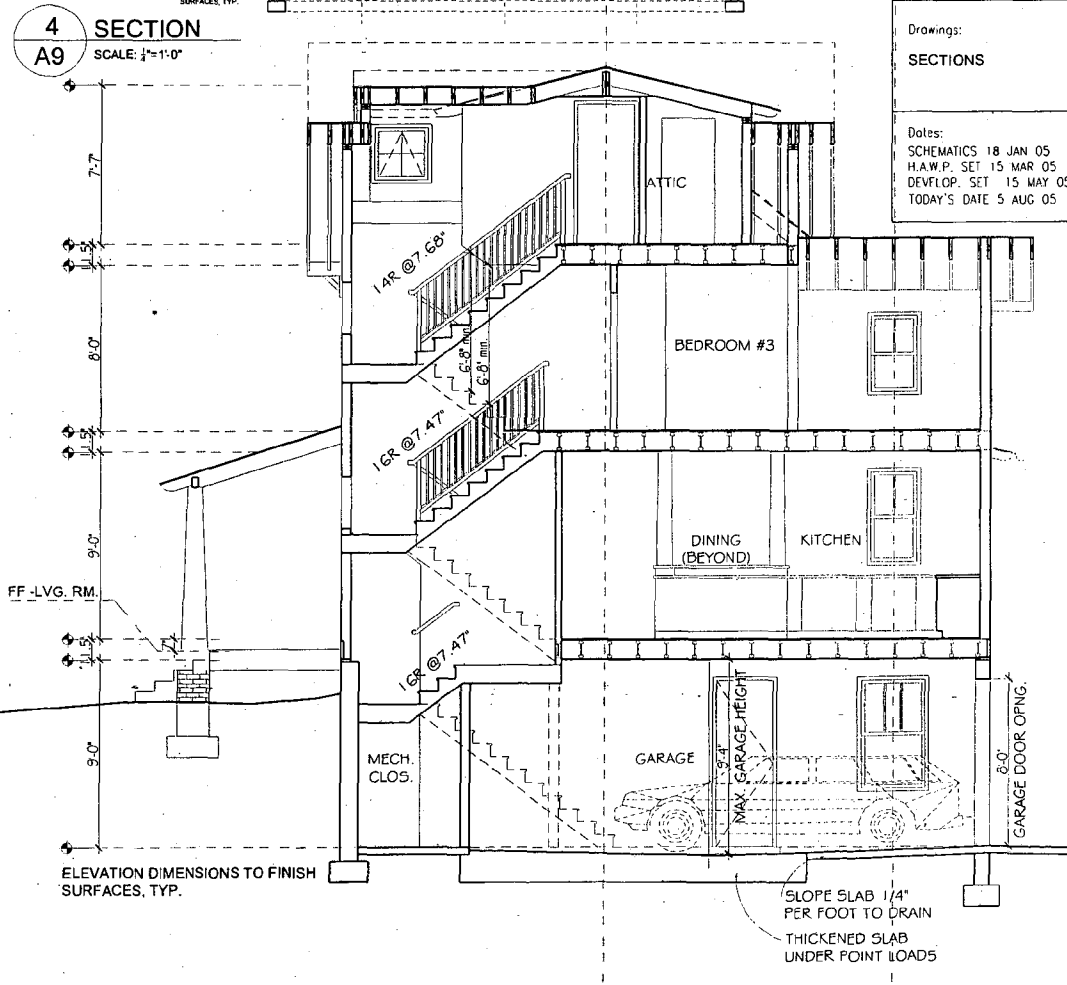
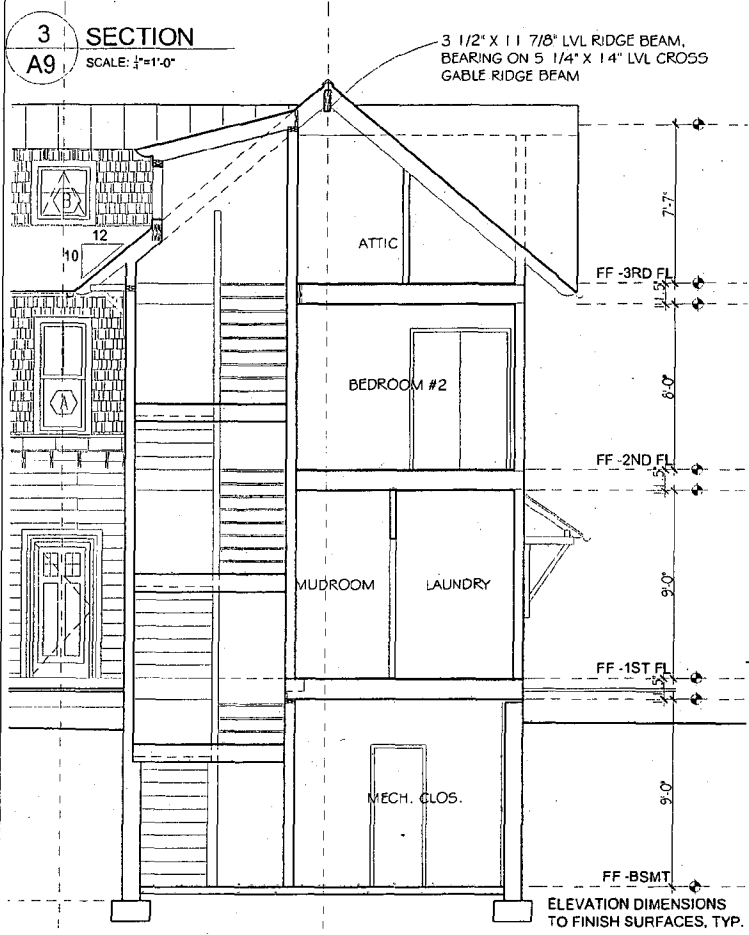
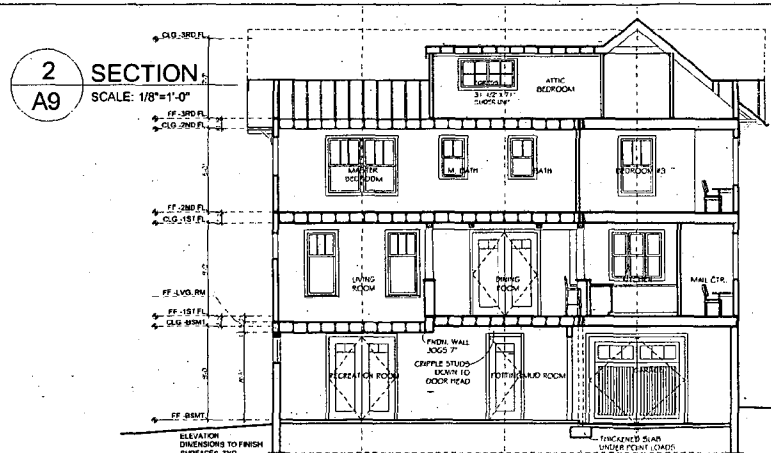
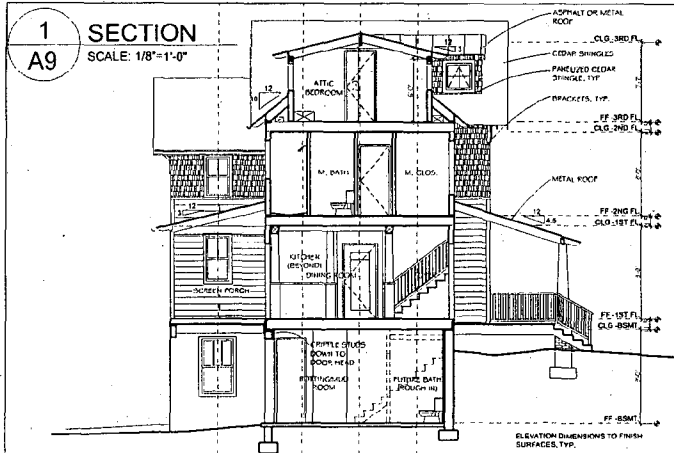
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INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

1 2ND FLOOR PLAN  
A4 SCALE 1/4"=1'-0"

22



**MICHE BOOZ**  
ARCHITECT

**A9**

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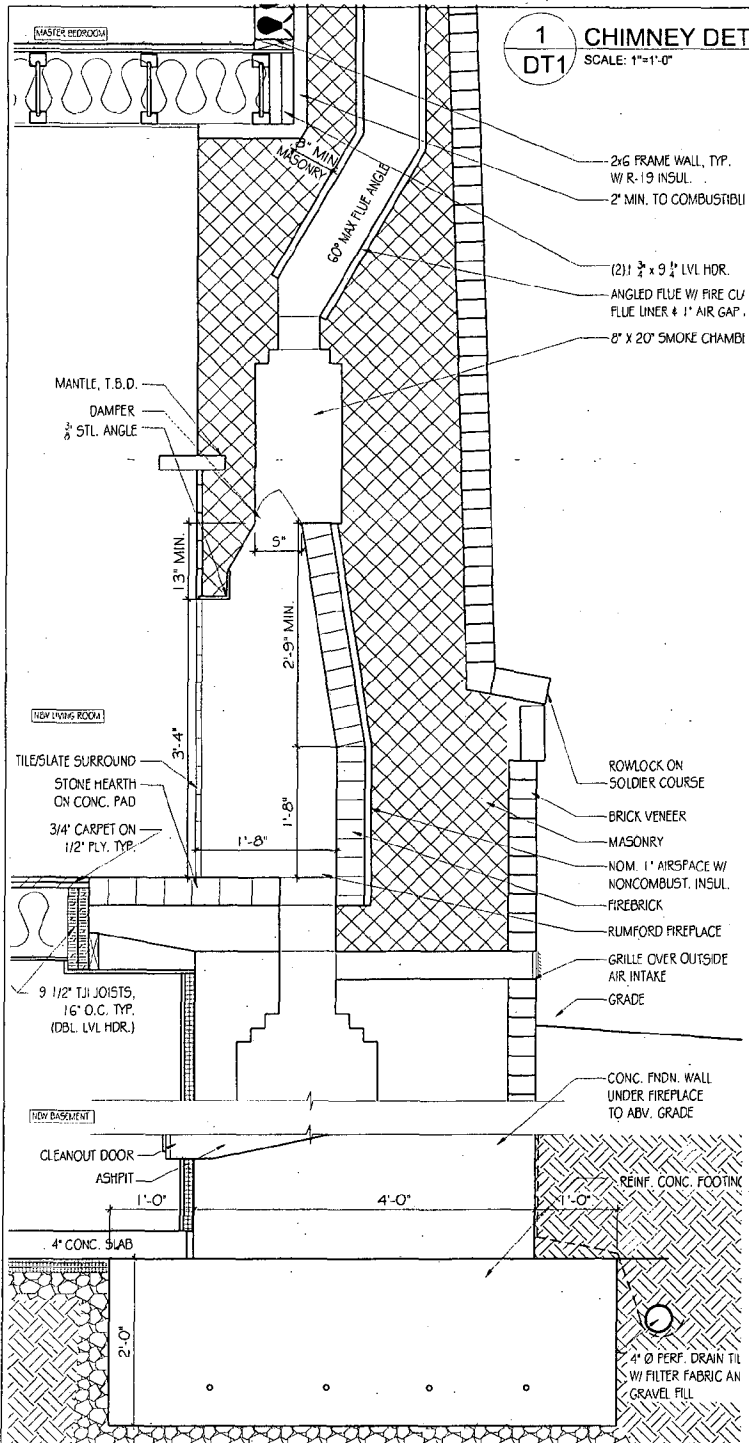
Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
**SECTIONS**

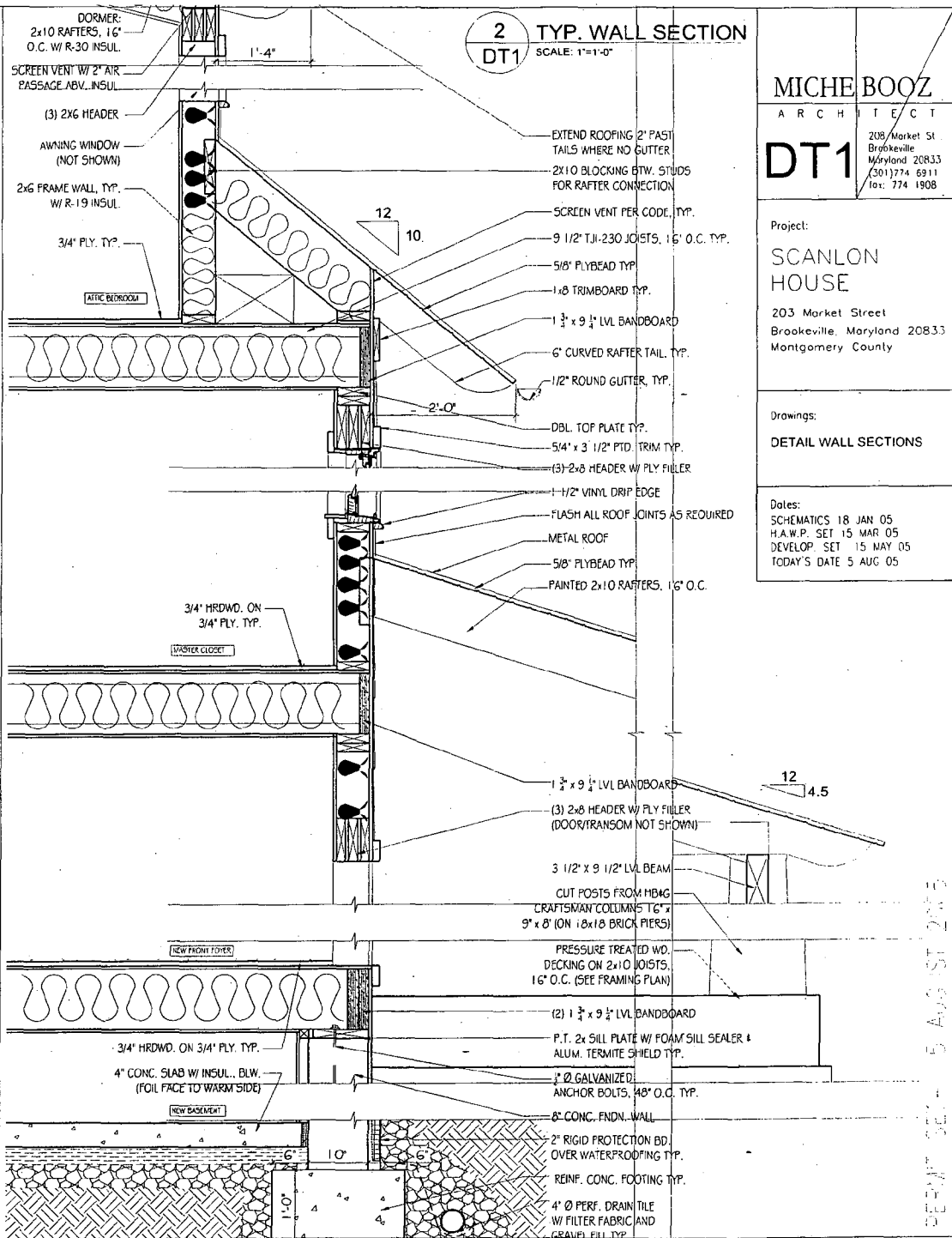
Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05

(12)

PERMIT SET 5 AUGUST 2005



**1 CHIMNEY DET.**  
DT1  
SCALE: 1"=1'-0"



**2 TYP. WALL SECTION**  
DT1  
SCALE: 1"=1'-0"

**MICHE BOOZ**  
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Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

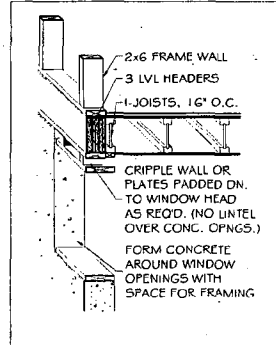
Drawings:  
**DETAIL WALL SECTIONS**

Dates:  
SCHEMATICS 18 JAN 05  
H.A.W.P. SET 15 MAR 05  
DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05

DEVELOP. SET - 5 AUG ST 2005

20

**1 FNDN. WALL OPENING DET.**  
SCALE: 1/2"=1'-0"

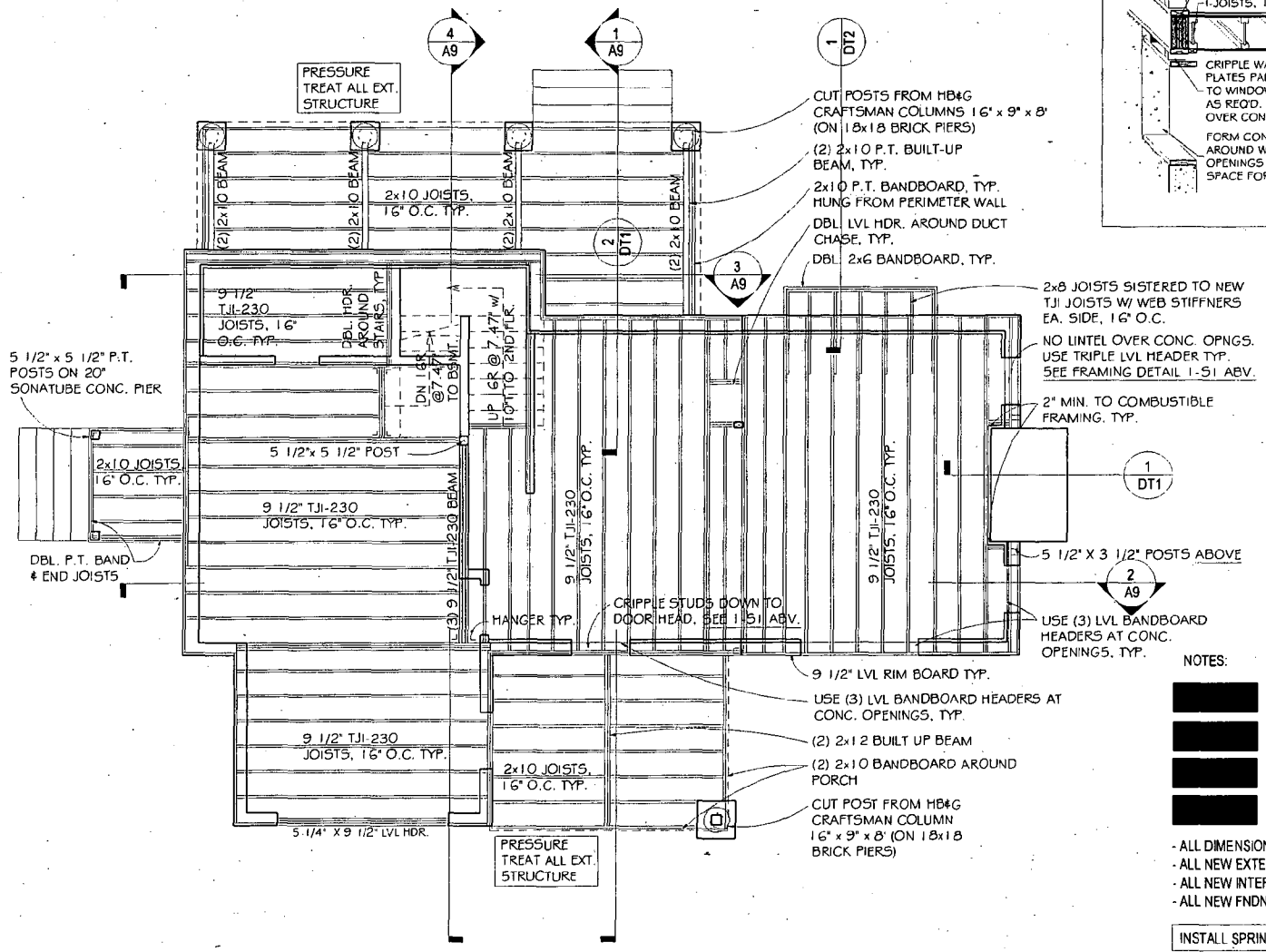


**MICHE BOOZ**  
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**S1**  
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Maryland 20833  
(301)774 6911  
fax: 774 1908

Project:  
**SCANLON HOUSE**  
203 Market Street  
Brockeville, Maryland 20833  
Montgomery County

Drawings:  
**FIRST FLOOR FRAMING PLAN**

Dates:  
SCHEMATICS 18 JAN 05  
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DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



- NOTES:**
- NEW MASONRY WALLS
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INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

(BSMT. PLAN SHOWN BELOW)

**2 1ST FL. FRAMING PLAN**  
SCALE: 1/4"=1'-0"

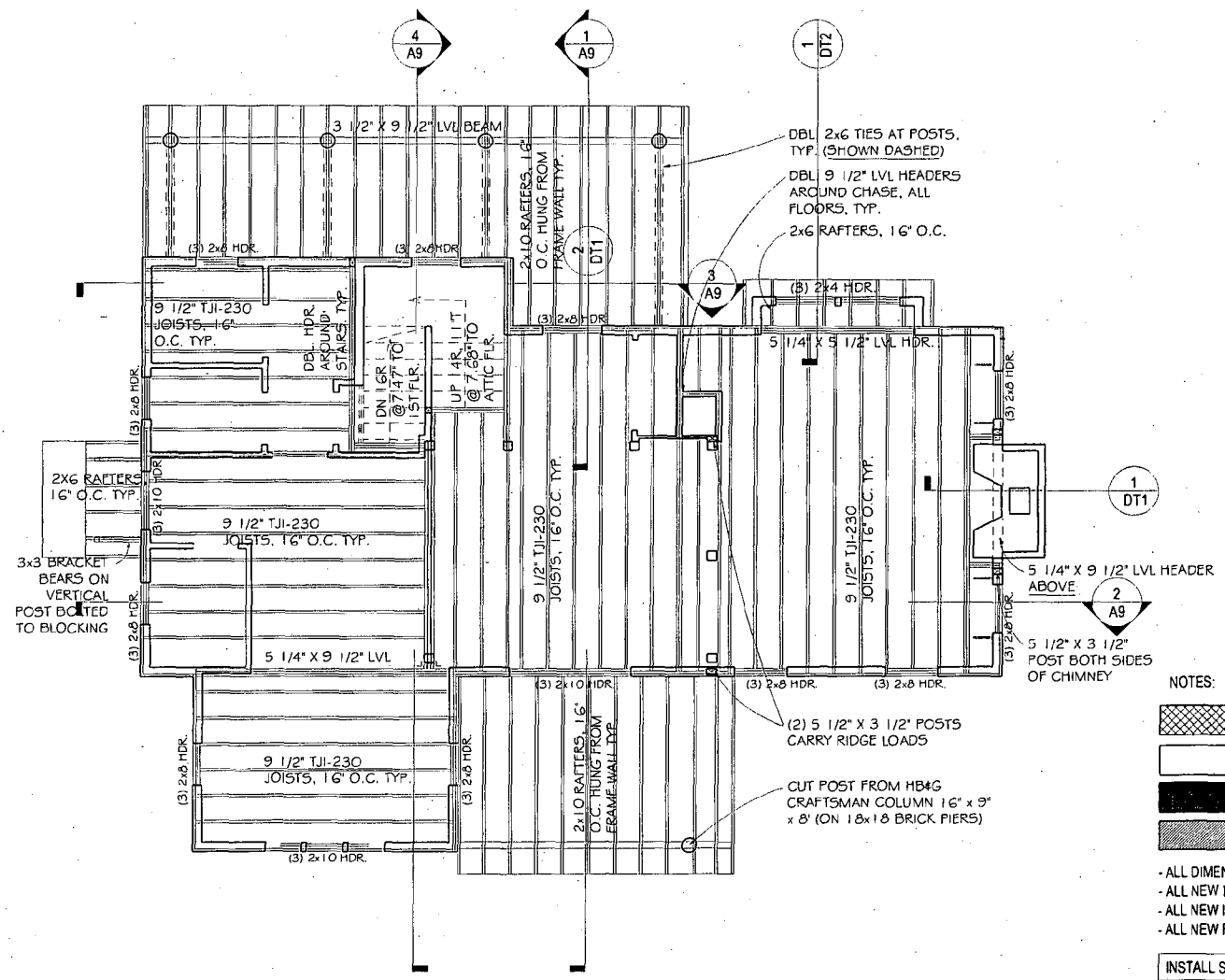
23



Project:  
**SCANLON HOUSE**  
203 Market Street  
Brookeville, Maryland 20833  
Montgomery County

Drawings:  
**SECOND FLOOR FRAMING PLAN**

Dates:  
SCHEMATICS 18 JAN 05  
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DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



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  - ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
  - ALL NEW FNDN. WALLS TO BE 8\"/>
- INSTALL SPRINKLERS ACCORDING TO CODE ALL FLDORS

(1ST FL. PLAN SHOWN BELOW)

**1**  
**S2** **2ND FLR. FRAMING PLAN**  
SCALE 1/2"=1'-0"

274

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ  
ARCHITECT

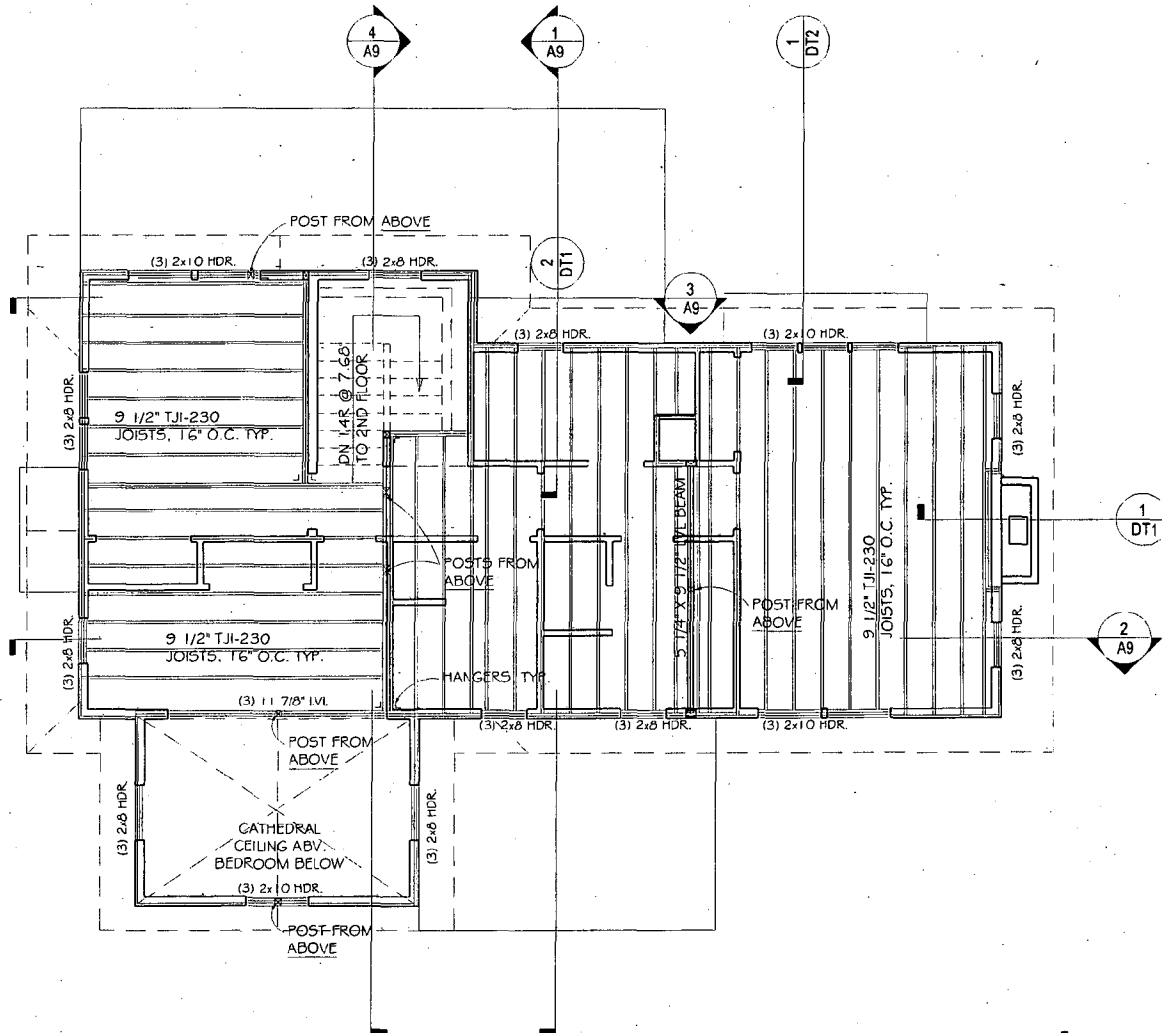
S3

208 Market St  
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Project:  
SCANLON  
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Drawings:  
ATTIC FLOOR FRAMING

Dates:  
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- INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

(2ND FL. PLAN SHOWN BELOW)  
1 ATTIC FLR. FRAMING PLAN  
S3 SCALE: 1/4"=1'-0"

58

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ

ARCHITECT

S4

208 Market St  
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Project:

SCANLON  
HOUSE

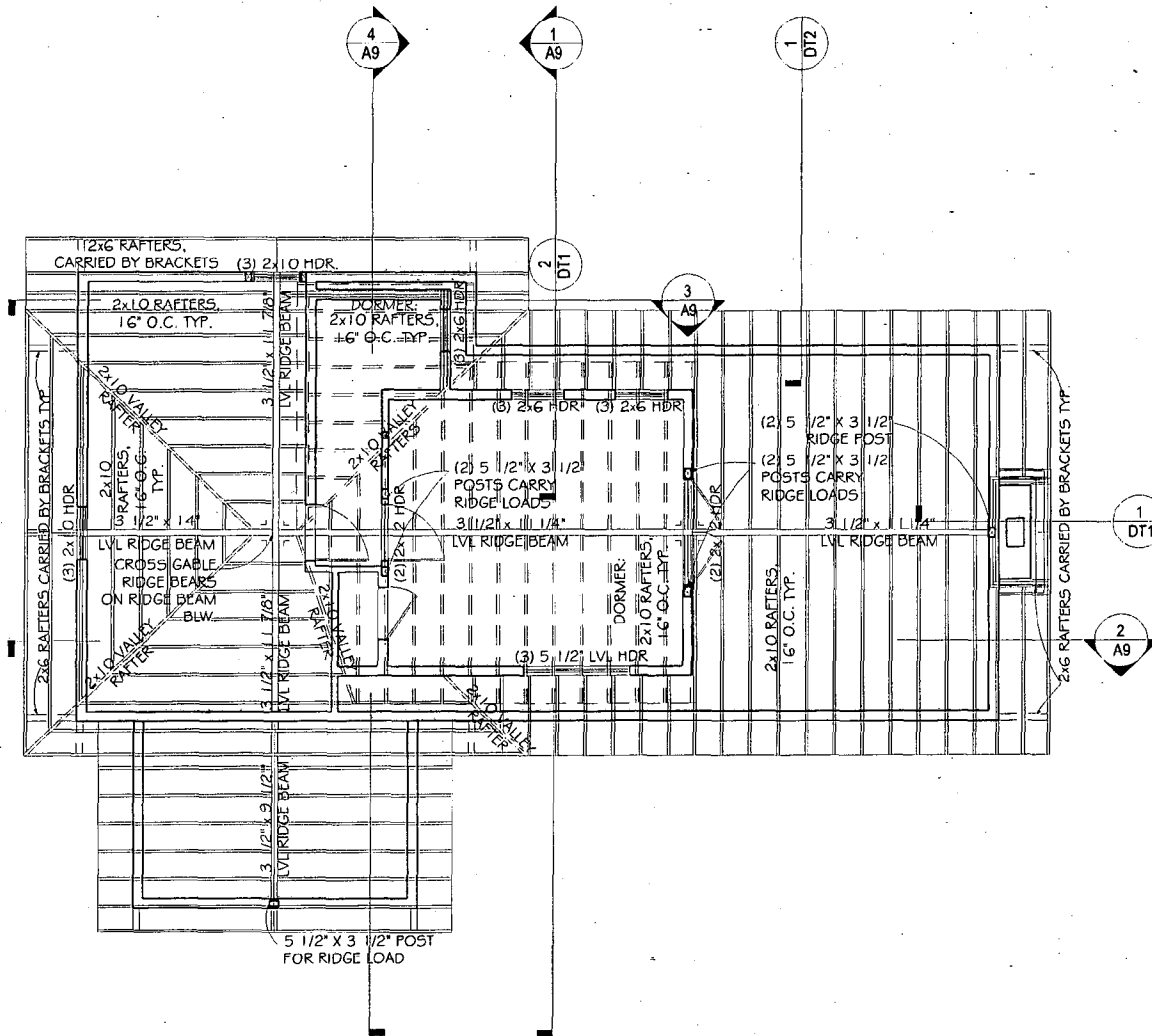
203 Market Street  
Brookville, Maryland 20833  
Montgomery County

Drawings:

ROOF FRAMING PLAN

Dates:

SCHEMATICS 18 JAN 05  
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DEVELOP. SET 15 MAY 05  
TODAY'S DATE 5 AUG 05



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■ - NEW MASONRY WALLS

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INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

(ATTIC FL. PLAN SHOWN BELOW)

1  
S4

ROOF FRAMING PLAN

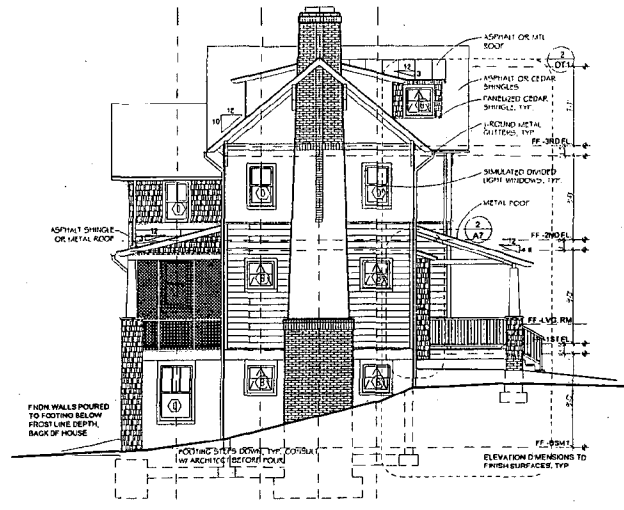
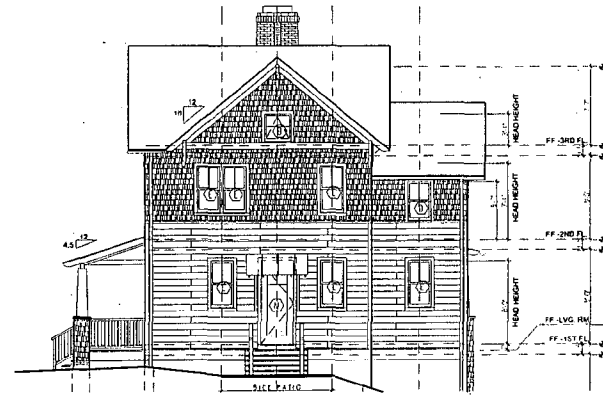
SCALE: 1/4"=1'-0"

20

WINDOW AND DOOR SCHEDULE

NO.	MANUF.	STYLE/ NO.	V / F	EXT. MATERIAL	COLOR	GRILLE # PATTERN - S/DL	APPROX. R.O.	WINDOW TYPE	INT. FINISH	SCREEN	HARDW.	NOTES
(A)	MARVIN	WUDH2D26	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/11	2'-2" X 5'-2"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	MULL UNITS AS DRAWN
(B)	MARVIN	WAWN2828	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/12	2'-6" X 2'-6"	AWNING	PAINT GRADE	T.B.S	T.B.S	TEMPER 3 OF THESE UNITS AS REQ'D.
(C)	MARVIN	WUDH3026	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 3/11	3'-0" X 5'-2"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	MULL UNITS AS DRAWN, EGRESS
(D)	MARVIN	WUDH2018	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/11	2'-2" X 3'-8"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	
(E)	MARVIN	WUDH2022	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/11	2'-2" X 4'-5"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	MULL UNITS AS DRAWN
(F)	MARVIN	WCM2848	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/11	2'-2" X 4'-0"	CASEMENT	PAINT GRADE	T.B.S	T.B.S	
(G)	MARVIN	WUDH2624/36	VENT	WOOD	T.B.S	COTTAGE 5STYLE, 7/8" S/DL 3/11	2'-8" X 5'-9"	COTTAGE DM	PAINT GRADE	T.B.S	T.B.S	TOP SASH 1/3 HGT., BOTTOM SASH 2/3 HGT., OR DM AS AVAIL.
(H)	MARVIN	WUDH3018	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 3/11	3'-0" X 3'-9"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	
(J)	MARVIN	WUDH1622	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 2/11	1'-10" X 4'-5"	DOUBLE HUNG	PAINT GRADE	T.B.S	T.B.S	MULL UNITS AS DRAWN
(K)	LOEWEN	SLIDER 1808	VENT	WOOD	T.B.S	7/8" PERIMETER-INT. EXT., 4/4	31.5" X 71"	SLIDING WIN.	PAINT GRADE	T.B.S	T.B.S	EGRESS
(L)	MARVIN	WUFDG080	VENT	WOOD	T.B.S	CUSTOM LITE PATTERN, T.B.S	6'-1" X 8'-0"	INSW. FR. DR.	PAINT GRADE	T.B.S	T.B.S	BOTH ACTIVE
(M)	MARVIN	WU5FDG080	VENT	WOOD	T.B.S	CUSTOM LITE PATTERN, T.B.S	6'-1" X 8'-0"	SLIDING FR. DR.	PAINT GRADE	T.B.S	T.B.S	LEFT ACTIVE
(N)	MARVIN	WUFD3D80	VENT	WOOD	T.B.S	CUSTOM LITE PATTERN, T.B.S	3'-2" X 8'-0"	INSW. FR. DR.	PAINT GRADE	T.B.S	T.B.S	
(●)	T.B.S.	FRONT DOOR	VENT	WOOD	T.B.S	T.B.S	3'-2" X 8'-0"	FRONT DOOR	PAINT GRADE	NONE	T.B.S	
(●)	T.B.S.	GARAGE DOOR	VENT	WOOD	T.B.S	T.B.S	9'-0" X 8'-0"	GARAGE DOORS	PAINT GRADE	NONE	T.B.S	

NO BRICK MOULD ON ANY WINDOW OR DOOR UNLESS NOTED OTHERWISE



**MICHE BOOZ**  
 ARCHITECT  
**SC1**  
 208 Market St  
 Brookeville, Maryland 20833  
 (301) 774 6911  
 fax: 774 1908

Project:  
**SCANLON HOUSE**  
 203 Market Street  
 Brookeville, Maryland 20833  
 Montgomery County

Drawings:  
**WINDOW & DOOR SCHEDULE**

Dates:  
 SCHEMATICS 18 JAN 05  
 H.A.W.P. SET 15 MAR 05  
 DEVELOP. SET 15 MAY 05  
 TODAY'S DATE 5 AUG 05

42

FRONT SET - 5 AUGUST 2005

**Interior Door Schedule**  
August 3, 2005

Door #	Location	Size	Jamb	Type	Swing	Hardware	Notes
B-01	Mud Room to Garage	2'-8" x 6'-8" x 1 3/8"	6 9/16"	primed wood prehung	RH	self closing; weatherstripping, lock	fire rated; exterior frame
B-02	Garage to Mech Closet	2'-6" x 6'-8" x 1 3/8"	6 9/16"	primed wood prehung	RH	lock	exterior frame
B-03	Mud Room to Future Bath	2'-6" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	RH	privacy lock	NIC
B-04	Mud Room to Future Closet	2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	RH	privacy lock	NIC
B-05	Mud Room to Future Rec Room	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH	privacy lock	NIC
B-06	Future Rec Room to Future Closet	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			NIC
1-01	Foyer to Coat Closet	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
1-02	Side Foyer to Desk/Mail Center	2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood pocket door			
1-03	Side Foyer to Mud Room	2'-10" x 6'-8" x 1 3/8"	4 9/16"	primed wood pocket door			
1-04	Mud Room to Powder	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH	privacy lock	
2-01	Hallway to Bedroom #2	2'-8" x 6'-8" x 1 3/8"	6 9/16"	primed wood prehung	LH	privacy lock	
2-02	Bedroom #2 to Bedroom #2 Closet	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
2-03	Hallway to Bedroom #3	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH	privacy lock	
2-04	Bedroom #3 to Bedroom #3 Closet	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
2-06	Hallway to Bath	2'-6" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH	privacy lock	
2-07	Bath to Linen Closet	dbl 1'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
2-08	Hallway to Master Hall	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	RH		
2-09	Master Hall to Master Bath	2'-6" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH	privacy lock	
2-10	Master Bath to Master Toilet	2'-0" x 6'-8" x 1 3/8"	4 9/16"	primed wood pocket door			
2-11	Master Hall to Master Closet	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood pocket door			
2-12	Master Hall to Master Bedroom	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	RH	privacy lock	
2-13	Master Bedroom to Master Bedroom Closet	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
A-01	Hallway to Attic Bedroom	2'-8" x 6'-6" x 1 3/8"	4 9/16"	primed wood prehung	RH	privacy lock	
A-02	Attic Bedroom to Closet	2'-6" x 5'-0"	4 9/16"	primed wood access panel			
A-03	Attic Bedroom to Attic Storage	dbl 2'-4" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung			
A-04	Hallway to Future Attic Space	2'-8" x 6'-8" x 1 3/8"	4 9/16"	primed wood prehung	LH		
A-05	Future Attic Space to Future Bath	2'-6" x 6'-6" x 1 3/8"	4 9/16"	primed wood prehung	RH	privacy lock	NIC
A-06	Future Attic Space to Future Walk-In Closet	2'-6" x 6'-6" x 1 3/8"	4 9/16"	primed wood prehung	RH		NIC

All interior doors to be Simpson Red-Prima Shaker 9760 (or equal)

**Finish Schedule**  
August 3, 2005

Location	Walls	Floor	Ceilings	Base	Notes
Basement	perim walls only - rigid insulation	Exposed Concrete	Unfinished - Exposed Joists	None	
Basement - Garage	drywall P-2; exposed concrete	Exposed Concrete	drywall P-1	None	
Basement - Mech Closet	drywall P-2	Exposed Concrete	Unfinished - Exposed Joists	None	
1st Floor - Foyer	drywall P-2	T-3	drywall P-1	wood, P-3	
1st Floor - Coat Closet	drywall P-2	T-3	drywall P-1	wood, P-3	
1st Floor - Dining Room	drywall P-2	WD-1	drywall P-1	wood, P-3	
1st Floor - Living Room	drywall P-2	CPT-1	drywall P-1	wood, P-3	fireplace surround T-3; wood mantle P-3
1st Floor - Kitchen	drywall P-2	WD-1	drywall P-1	wood, P-3	
1st Fl - Desk/Mail Center	drywall P-2	WD-1	drywall P-1	wood, P-3	
1st Floor - Side Foyer	drywall P-2	WD-1	drywall P-1	wood, P-3	
1st Floor - Mud Room	drywall P-2	VCT-1	drywall P-1	wood, P-3	
1st Floor - Laundry	drywall P-2	VCT-1	drywall P-1	wood, P-3	
1st Floor - Powder	drywall P-2	VCT-1	drywall P-1	wood, P-3	
1st Floor - Front Porch	Railing/Columns; P-4	WD-2; P-4	Wood; P-4	None	
1st Floor - Back Porch	Railing/Columns; P-4	WD-2; P-4	Wood; P-4	None	
1st Floor - Side Porch	Railings; P-4	WD-2; P-4	Wood; P-4	None	
2nd Fl - Hallways	drywall P-2	WD-1	drywall P-1	wood, P-3	1" x 6" wood picture rail, P-3
2nd Floor - Bedroom #2	drywall P-2	CPT-1	drywall P-1	wood, P-3	
2nd Floor - Bedroom #2 Closet	drywall P-2	CPT-1	drywall P-1	wood, P-3	
2nd Floor - Bedroom #3	drywall P-2	CPT-1	drywall P-1	wood, P-3	
2nd Floor - Bedroom #3 Closet	drywall P-2	CPT-1	drywall P-1	wood, P-3	
2nd Floor - Bath	drywall P-2	T-1	drywall P-1	wood, P-3	T-2 2/3 up wall at tub
2nd Floor - Linen Closet	drywall P-2	T-1	drywall P-1	wood, P-3	
2nd Floor - Master Bath	drywall P-2	T-1	drywall P-1	wood, P-3	T-2 2/3 up wall at shower
2nd Fl - Master Closet	drywall P-2	WD-1	drywall P-1	wood, P-3	
2nd Fl - Master Bedroom	drywall P-2	CPT-1	drywall P-1	wood, P-3	
2nd Fl - Master Bedroom Closet	drywall P-2	CPT-1	drywall P-1	wood, P-3	
3rd Floor - Attic Bedroom	drywall P-2	Unfinished - Plywood Subfloor	Unfinished - Exposed Joists	None	
Stairs	drywall P-2	treads WD-1; risers P-3	drywall P-1	wood, P-3	stain grade wood railing

All interior wood doors P-3  
All interior doors/windows - 1" x 6" wood trim: P-3

**MICHE BOOZ**  
ARCHITECT

**SC2**

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Drawings:  
**INTERIOR DOOR & FINISH SCHEDULES**

Notes:  
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**Finish Legend**  
August 3, 2005

Code	Description
P-1	flat white ceiling paint
P-2	flat wall paint, color TBD
P-3	semi-gloss white trim paint
P-4	exterior paint
T-1	1" white ceramic hex tile
T-2	3" x 6" white ceramic subway tile
T-3	12" x 12" slate or ceramic tile
WD-1	Prefinished Vertical Grain Natural Bamboo Wood Flooring
WD-2	Tendura Wood Decking
CPT-1	Cut pile Nylon 30oz carpet w/ 1/4" rubber pad
VCT-1	Forbo Marmoleum (or equal)

78

MICHE BOOZ

ARCHITECT

A5

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Project:  
SCANLON HOUSE  
Race Street  
Brookeville, Maryland  
Montgomery County

Dates:  
TODAY'S DATE 14 FEB 05

Drawings:  
ELEVATIONS



MB

1 SOUTH ELEVATION  
A5 SCALE: 1/8" = 1'-0"

T.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A7

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(301)774 6911  
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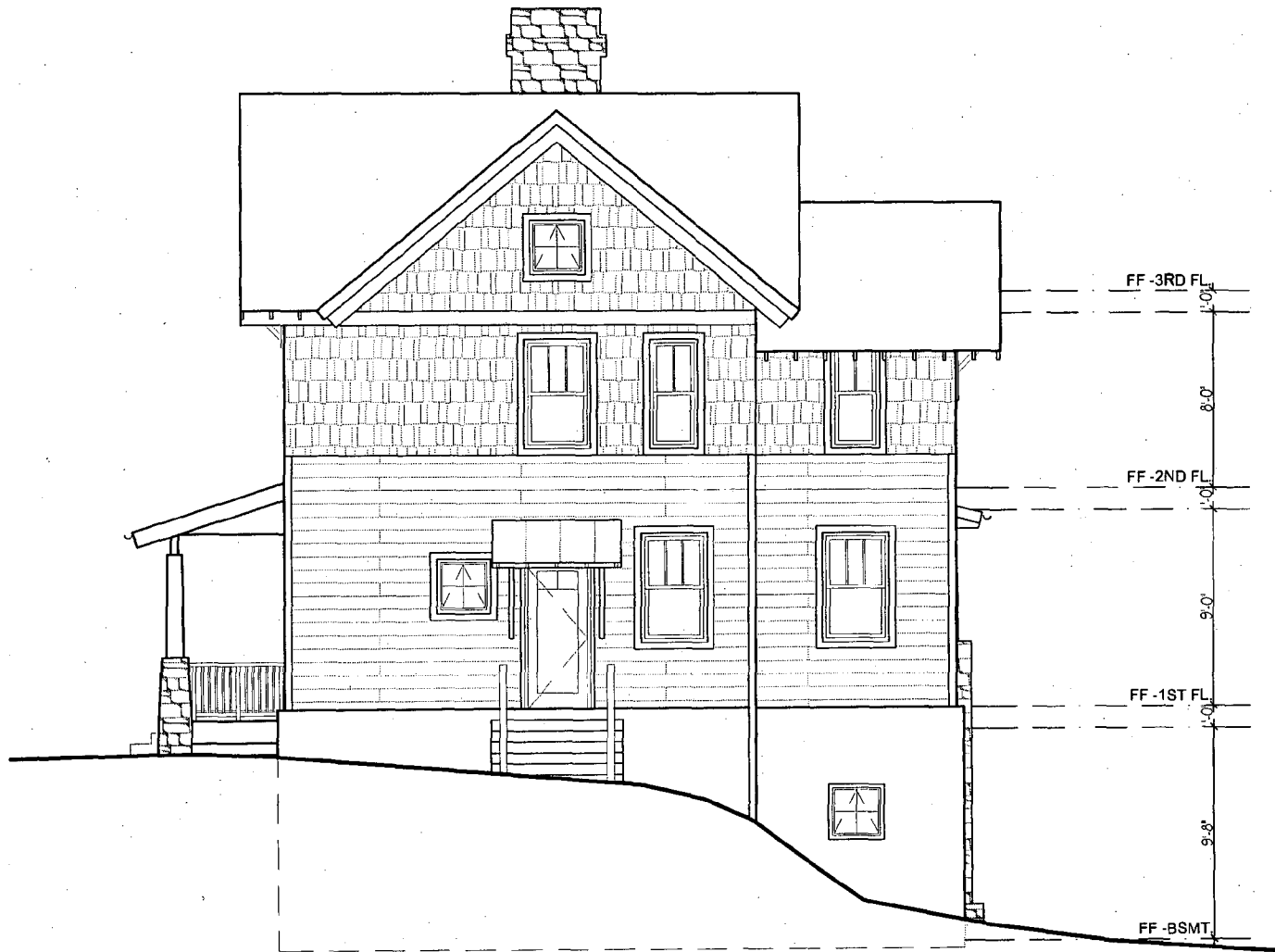
Project:  
SCANLON HOUSE  
Race Street  
Brookeville, Maryland  
Montgomery County

Dates:

TODAY'S DATE 14 FEB 05

Drawings:

ELEVATIONS



(12)

1 EAST ELEVATION  
A7 SCALE: 1/8" = 1'-0"

I.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ

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A6

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Project:  
SCANLON HOUSE  
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ELEVATIONS



I.A.W.P. SUBMISSION - 14 FEBRUARY 05

30

1 NORTH ELEVATION  
A6 SCALE: 1/8" = 1'-0"



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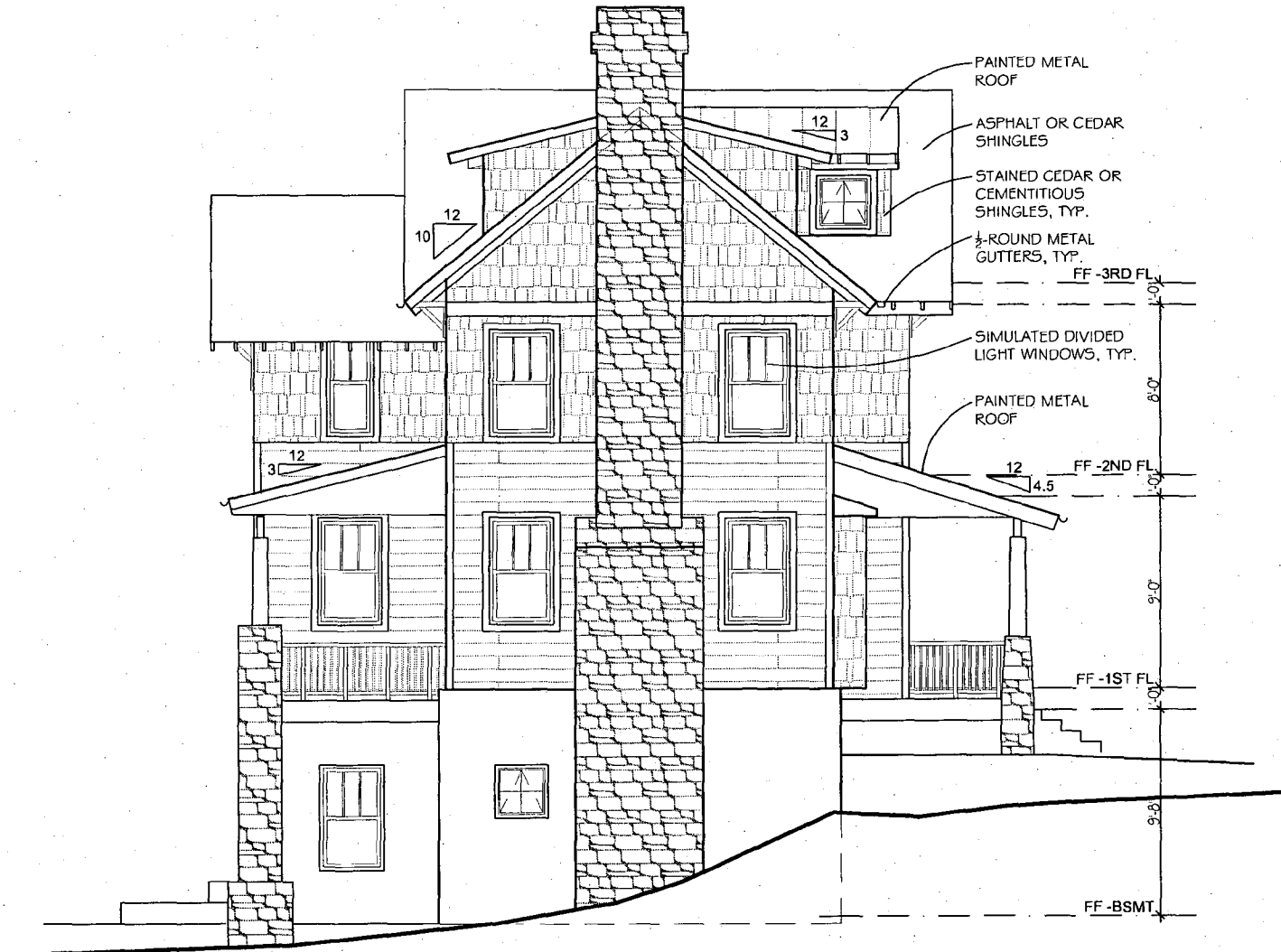
Project:  
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Drawings:

ELEVATIONS



1 WEST ELEVATION  
A8 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ

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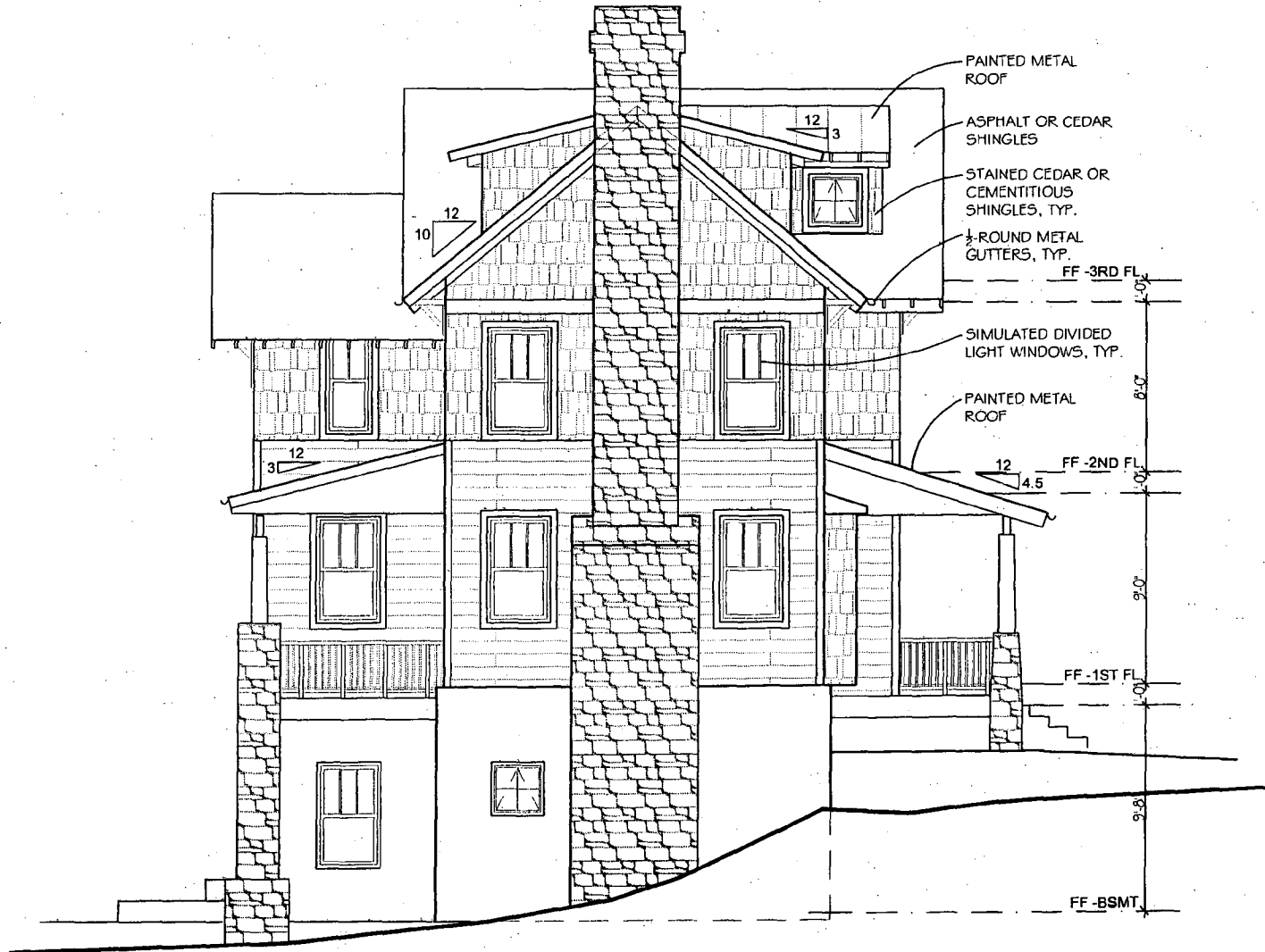
Project:  
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1 WEST ELEVATION  
A8 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A7

208 Market St  
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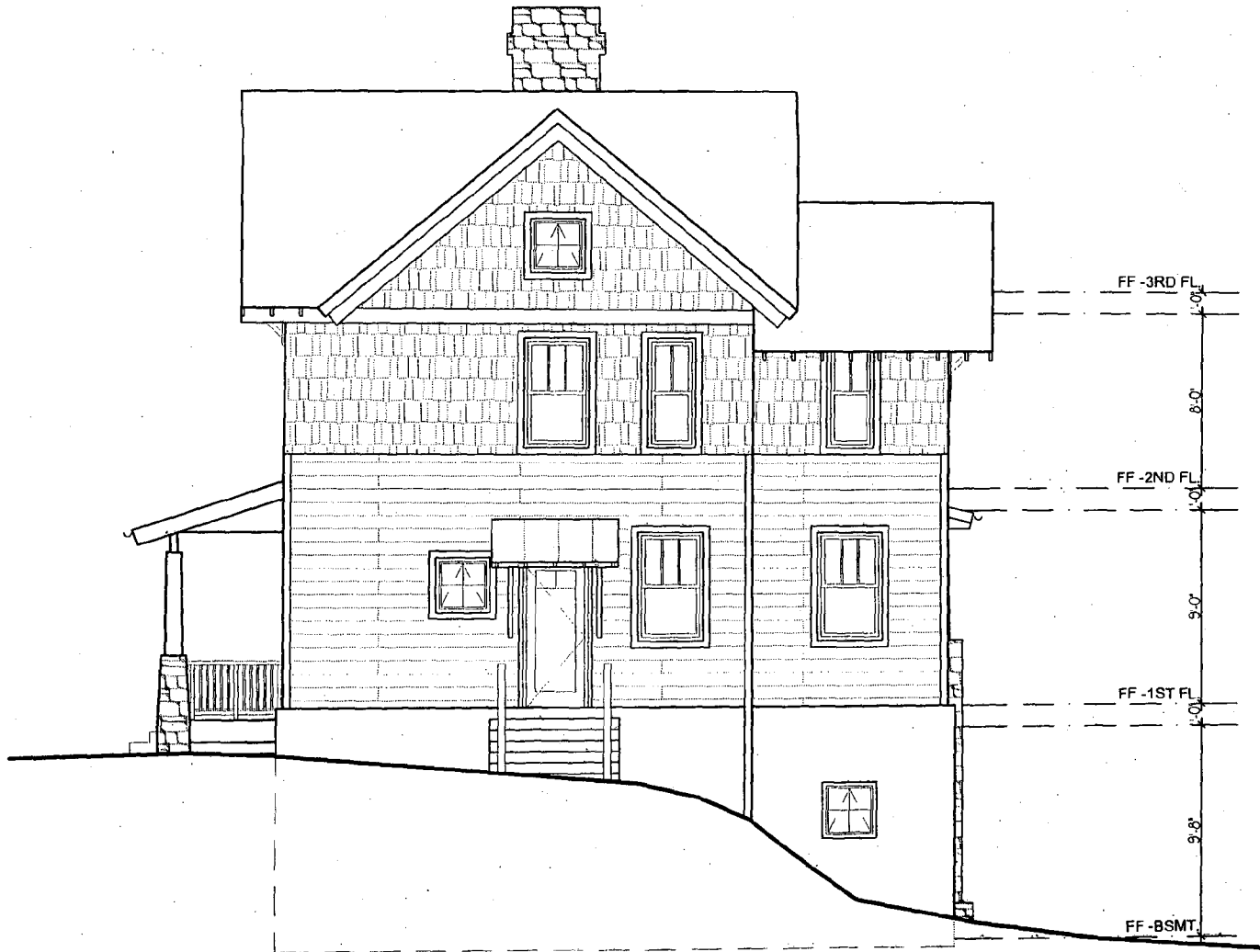
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1 EAST ELEVATION  
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I.A.W.P. SUBMISSION - 14 FEBRUARY 05

32

1 MS. O'MALLEY: The next will be moving to  
2 preliminary consultations and we'll start with the 212 Market  
3 Street.

4 MS. WRIGHT: Okay. I will give a very brief staff  
5 report and will run through some images. Maybe if I could  
6 run through the images first, and then we'll turn the lights  
7 back on and go through the staff report.

8 This is a subdivision that's in a very important,  
9 very historic part, not subdivision. I'm sorry. This is a  
10 historic area work permit application that is in an historic  
11 important part of the Brookeville District. It's adjacent to  
12 the Madison House, history of which is described in your  
13 report. This is the Madison House. It involves this  
14 building which is directly across the driveway from that wing  
15 of the Madison House that we just saw called the Miller's  
16 House. Here is a closeup. This is a building that has  
17 undergone a lot of alterations. The screened porch you see  
18 to the left is relatively modern addition. There's a large  
19 dormer that's been added to the rear of the building. But it  
20 still is an important little stone cottage.

21 Looking down the driveway, the Madison House would  
22 be to your left. The Miller's House, the Miller Stone House  
23 is to your right. The asphalt you see is the driveway for  
24 the Madison House. The area that is being discussed at this  
25 time for construction of a new house is directly sort of

PRELIM

FEB 9

(33)

1 behind that big tree that you see. Looking, again down what  
2 was historically a street that was laid out and called Race  
3 Street, but never was built, would be essentially an  
4 extension right through where the group of people in the  
5 photo are standing of the driveway. That would be Race  
6 Street. The house that's currently being discussed in this  
7 historic area work permit application would be to the right.

8 Continuing to look down, this is essentially the backyard  
9 right now of the Madison House. It's a long sort of meadow  
10 along field that goes in a linear fashion behind the Madison  
11 House. The house that you see right here is the Jordan  
12 House, the Louder House which is the one that we just  
13 discussed is the existing house on Mr. Kirby's project, to  
14 get a sense of where we are location wise.

15 This is standing on the driveway of the Madison  
16 House looking down to where Georgia, I'm sorry, where Market  
17 Street becomes, goes down to Brighton Dam Road. And the  
18 truck you see there is sort of the lower driveway that goes  
19 to the stone cottage. Gives you a sense of the topographic  
20 difference from the Madison House down to the lower side of  
21 the Miller's cottage, the Mill Cottage.

22 This is Market Street as it heads down I guess it  
23 would be east towards Brighton Dam Road. The house that you  
24 see across the way is a new house that was reviewed and  
25 approved by the Historic Preservation Commission and it has

1 been constructed. Again, here's the stone cottage with its  
2 screen porch. You can see the fence line to the left.  
3 Again, there's the fence line to the left. And you begin to  
4 see some orange tapes that lay out where the new house that  
5 would be located on the site. So continue trying to look at  
6 that.

7 Now, I believe the orange tapes that you see in the  
8 foreground here and the applicant may want to correct me on  
9 this. I believe those orange tapes represent the location of  
10 the proposed barn type structure and the actual house would  
11 be closer to the stone cottage.

12 MR. SCANLON: That's not correct.

13 MS. WRIGHT: That's not correct. Okay. So this  
14 orange tape is the location of the house?

15 MR. SCANLON: Yes.

16 MS. WRIGHT: Okay. Thank you. The orange tape is  
17 the location of the house. And then the barn type structure  
18 would be to the left of that in this slide. Again you can  
19 see the tapes. Stepping back you can see from the backyard  
20 Madison House, you see the wing of the Madison House on the  
21 right of the slide here. And the stone cottage and then the  
22 new house would be in this location. Again, another view  
23 sort of looking back to try to give you a sense of the  
24 relationship between the Madison House and this.

25 Here are some more pictures of orange tapes. And I

1 may even ask the applicant, you know, when he makes his  
2 presentation to address these because when we were out at the  
3 site the applicant was not with us. So, we didn't interpret  
4 all the orange tapes perfectly. But, they did lay out where  
5 the house and where the barn structure would be located.

6           This is some of the trees. They also did actually  
7 put orange tape around the trees that are being proposed for  
8 removal. And this is again sort of looking towards the side  
9 of what would be the new house. This is looking at some of  
10 the trees that would be to the, if you were facing the new  
11 barn it would be to the left of the new barn, and more  
12 photographs of the trees in the area.

13           Okay. If we can turn up the lights and we can keep  
14 these slides available if the applicant wants to make  
15 reference to them as well.

16           I think in the staff report we go through a whole  
17 explanation of the significance of this particular area  
18 within the historic district. And, what the applicant is  
19 proposing to undertake is a two phase project. The first  
20 phase is restoration of the existing stone structure;  
21 construction of a new outbuilding 16 by 18 feet; and  
22 construction of a new single-family home or construction of  
23 an addition to the existing stone structure. They have  
24 proposed those two alternative approaches.

25           The second phase of the project would be

1 construction of a new, again sort of barn like outbuilding  
2 that would be 26 by 40. One of the things that's very  
3 interesting about this site is that there are historic  
4 photographs that demonstrate that this portion of the  
5 historic district was historically small cluster of  
6 buildings. That there were a number of buildings related to  
7 the historic mill which no longer exists. And that the  
8 approach that staff has talked to the applicant about is  
9 trying to, you know, in a sense be faithful to that historic  
10 reality that there were a number of smallish buildings  
11 clustered in the immediate area.

12           They are proposing a very, a house that's modest in  
13 size, just under 1,000 square foot footprint, very simple  
14 vernacular style with some craftsman style elements. And the  
15 house makes use of the grade change with the facade facing  
16 the Madison House being two stories and the facade facing the  
17 parkland being three stories.

18           The outbuildings that are proposed are vernacular  
19 in style. They've shown three alternatives for a driveway to  
20 the house and outbuildings depending on whether Race Street  
21 is created and constructed.

22           Again, just to sort of cut to the chase, I had four  
23 basic suggestions for the applicant, HPC to consider. All in  
24 all I think this is a successful project, something that will  
25 be compatible with the character of the district. I strongly



1 support the idea of doing a new detached single-family house  
2 rather than adding on to that stone structure. I think  
3 adding on to the stone structure as you can see, it's a very  
4 small building, would really overwhelm it. And, you really  
5 wouldn't read it as a historic form any longer.

6 I think it should be restored to its original  
7 appearance over a period of time and become essentially an  
8 outbuilding, another outbuilding on this project. Which is  
9 historically what it was. It was not the main Miller's  
10 house. It was an ancillary structure. I think the new house  
11 is compatible with the district, particularly in terms of  
12 size and massing. I think it's a little replicative and  
13 should, some effort should be made to simplify it and make it  
14 clearly a non-historic building so it's not quite so  
15 replicative.

16 I think there is concern about putting too much  
17 built structure on this property. I think the stone cottage,  
18 the house, the barn plus another outbuilding may end up being  
19 a bit much. And I think that's something that needs to be  
20 discussed. I think the driveway alternatives are helpful to  
21 look at. I think the alternatives that the Commission should  
22 support are the ones that provide the least amount of car  
23 scape. And all of this would be gravel in any case. I mean  
24 but I think we would recommend that any driveways be gravel,  
25 wouldn't be asphalt. Yet, as you can see on pages, circle

1 32, 33 and 34, there are the three alternatives, and I think  
2 that configuration A or B might be very appropriate. I guess  
3 I'm a bit more concerned about configuration C in terms of  
4 how much paving it adds; how close it is to the historic mill  
5 race. I think that's the least preferable of the  
6 alternatives.

7 I think with that, I will turn things over to the  
8 applicant and his architect. And then if you have questions  
9 for me or for them, we can address those all.

10 MS. O'MALLEY: Thank you.

11 MS. WRIGHT: There are some additional drawings that  
12 I'm going to pass around that I was just handed that show the  
13 exterior facade.

14 MS. O'MALLEY: Any questions for staff?

15 MS. WATKINS: I just have one point of information.  
16 Can you have two dwelling units on one lot?

17 MS. WRIGHT: You can't have two single-family homes  
18 on one lot. What would have to be that this building would  
19 essentially become like a guest house. And it would have to  
20 function as that. It would not be able to be a separate  
21 single-family home.

22 MR. BOOZ: Hi, I'm Miche Booz wearing many hats this  
23 evening. One of the things we might explain is that  
24 Brookeville has its own zoning and allows for accessory  
25 apartments. And has its own setbacks and so forth. And as

1 it turns out that although we had originally planned this to  
2 be an addition, not a separate house, I think it's fair to  
3 say that that's the solution we prefer also. But, we needed  
4 to explore that so that we can legitimately say also that we  
5 have a separate house and then an accessory apartment. And,  
6 that is allowed in Brookeville.

7 MR. FULLER: So the applicant's preference is to do  
8 an addition rather than --

9 MR. BOOZ: No, the reverse, yeah.

10 MS. O'MALLEY: I just have a question right from the  
11 start. We kind of have been talking about having separate  
12 garages. What was the thought? Staff didn't comment on  
13 having a garage as part of the house.

14 MS. WRIGHT: I can comment on that now if you want.  
15 I think that my thought in supporting that, and we did  
16 discuss it was that that was a way, frankly, of decreasing  
17 the number of buildings that would end up needing to be on  
18 the site. And we may want to discuss that with the  
19 applicant, you know, given that they are proposing two other  
20 outbuildings plus the stone building as an ancillary  
21 building. I don't think a detached garage would also work.  
22 It would be too many clustered buildings.

23 MS. O'MALLEY: Did you want to say anything about  
24 your project?

25 MR. BOOZ: About the garage?

1 MS. O'MALLEY: About the project in general.

2 MR. BOOZ: Well, it's a small house really, 918  
3 square foot footprint. It's three bedrooms. It's, I think  
4 it's a fairly efficient small house. It doesn't have any  
5 extra rooms or anything, great room, dining room, kitchen,  
6 building plan with three bedrooms on the second floor and  
7 then some shop space and utility space as well as the garage  
8 in the basement with some attic space, too. I think it's a  
9 very efficient small house.

10 ~~And although there are some craftsman overtones or~~  
11 ~~undertones, I think it's a, through the use of hardy plank~~  
12 ~~and a few other more modern materials, I think it's going to~~  
13 ~~be an interpretation really of an older style, not a~~  
14 ~~replication of one.~~

15 MR. FULLER: The outbuildings that are proposed, I  
16 mean, so basically what the program is is that there is a new  
17 primary residence. There is an accessory apartment which  
18 would be the old facility.

19 MR. BOOZ: Uh-huh.

20 MR. FULLER: And the two outbuildings, are those  
21 also being considered as the, is the larger being considered  
22 as the accessory apartment?

23 MR. BOOZ: No, no, the old stone house is going to  
24 be the accessory apartment and the barn like structure will  
25 really be a workshop.

1           MR. SCANLON: Yeah, the footprint of the barn, the  
2 26 by 40 is actually larger than that structure would be. I  
3 included a small rendering in there. It's more like 26 by 30  
4 with the main structure being 18 by 30. Kind of that lean to  
5 roof on the side. That's proposed to be used as a wood  
6 working shop, just a hobby shop. The other outbuilding is  
7 proposed for lawn and garden equipment, to be able to just  
8 pull a tractor into it.

9           MR. FULLER: And significant difference in terms of  
10 access, in terms of one that's going across the adjoining  
11 property and one is on site, what, do you have, are you in  
12 negotiation with the people in the Madison House? That's  
13 something that's a viable option either way?

14           MR. SCANLON: Actually, both Miche and I sit on the  
15 Brookeville Planning Commission and we had been approached a  
16 few months back by Rick Gowan, the owner of the Madison House  
17 to begin discussions about subdivision of that property. So,  
18 he was proposing the construction of Race Street, the  
19 extension coming basically back off of his existing drive.  
20 He's in talks now I think with staff about exact orientation  
21 of the house. But so basically we were piggybacking on what  
22 is most likely going to be the construction of that Race  
23 Street. We showed the other driveway option in the event  
24 that Mr. Allen decides not to move forward with this project.  
25 We will still need to have access to the property. I think

1 the driveway orientations that we've shown are probably in  
2 order of our preference as well. So, assuming that Race  
3 Street gets constructed in a timely fashion along with our  
4 project that we would do that option A.

5 MS. WATKINS: And would the driveway be gravel or --

6 MR. SCANLON: Yes.

7 MS. WATKINS: Isn't that a pretty steep slope, the  
8 building back to the garage?

9 MR. SCANLON: The slope is actually fairly gradual  
10 along Race Street going back. It kind of parallels the  
11 property line. Where the slope is greatest is where you turn  
12 perpendicular to it. It drops fast when you're up towards  
13 the Madison House. But, as you go back to the property where  
14 kind of the driveway comes off it's actually a fairly gradual  
15 slope.

16 MS. ALDERSON: Can you address outbuilding number 2  
17 shown on 32. I see that the proposed new house is small, the  
18 outbuilding and then a much larger outbuilding that seems to  
19 out scale even the new house. What was the intent there?

20 MR. SCANLON: I think the footprint may be a little  
21 bit misleading, out of scale in that drawing. So, I tried to  
22 address that with a three dimensional sketch of the  
23 outbuilding there. It's actually going to be smaller than  
24 what's on the footprint. Essentially the building dimensions  
25 would be 18 foot by 30 foot barn like structure with a lean

1 to addition of about eight feet.

2 MS. ALDERSON: This was that 18 by 30 you were just  
3 referring to, not the one that's shown as outbuilding number  
4 1.

5 MR. SCANLON: No, outbuilding number 1 is the lawn  
6 and garden shed.

7 MS. ALDERSON: Okay.

8 MR. SCANLON: That would not have any type of  
9 driveway up to it or anything.

10 MS. WRIGHT: And is 16 by 18 really still the size  
11 of the lawn and garden shed, or, would it actually be  
12 smaller?

13 MR. SCANLON: It can be smaller than that.

14 MS. WRIGHT: Because that 16 by 18 is a one car  
15 garage, size of a one car garage basically.

16 MR. SCANLON: Yeah. I think we were in such a state  
17 of flux when we initially submitted these, we basically just  
18 wanted to get a couple of footprints on the plan so we at  
19 least had something to discuss off of rather than actual  
20 dimensions at this point. So we were probably a little bit  
21 generous in what the actual sizes of these structures are.

22 MS. ALDERSON: I very much support breaking up the  
23 pieces like this, distribute them across the line and much  
24 better to leave the existing stone building as a diminutive,  
25 wonderful little cottage that it is. And with the house

1 positioned behind it. Is there anything that can be done to  
2 assure that that remains a solidarity diminutive building?  
3 That would be my only concern that in the future we might get  
4 a submission that says geez, this accessory apartment would  
5 work so much better if we could add a large back porch and  
6 maybe a room on the side.

7 MR. SCANLON: Yeah, actually we agree and part of  
8 our proposal is actually to remove that screen porch on the  
9 side of it, to return it back to the original structure.

10 MS. ALDERSON: Terrific. The only other thing I  
11 would add, I don't have any problem with the idea of  
12 traditional construction in a site that's so sensitive like  
13 this and I think using again the traditional vernacular  
14 materials is a great idea. The only thing that I note in  
15 looking at the elevation, and particularly because you've got  
16 the bi- the roof, is that there's an awful lot going on in  
17 the roof with the gable and this sort of multiple layering of  
18 dormers. And it seems that with the other structures that  
19 are these really very simple vernacular masses. If it's  
20 possible to simplify that roof line, that roof area, that can  
21 be helpful.

22 MR. BOOZ: Yeah, the shed dormers, they are just so  
23 that you can stand up as you come up the stairs and use the  
24 attic. It gives you an extra sort of a kid's room. It's not  
25 a bedroom.



1 MS. ALDERSON: Is there a way to do it so that the  
2 dormers aren't colliding there behind the gable? It's just  
3 kind of a, quite a cluster.

4 MR. SCANLON: Yeah, I think we kind of saw that as a  
5 traditional craftsman detail with these gables in the corner  
6 of the shed dormers kind of tucked there into the corners  
7 there. And mostly because of the orientation of where the  
8 stair comes up. It needs to kind of come, wrap that corner  
9 as opposed to just being a long, kind of the longer  
10 elevation. The main stairwell of the building basically  
11 comes up where the two small square windows are in the front  
12 there.

13 MS. O'MALLEY: I kind of liked your first version.

14 MR. SCANLON: Are there particular elements? It's  
15 really more of a refinement. I kind of thought when we went  
16 to the final, although it's drawn in CAD so it doesn't have  
17 that warm and fuzzy feeling.

18 MS. O'MALLEY: Maybe it's the color change or  
19 something.

20 MS. WRIGHT: It does seem to have more horizontal  
21 than it has a certain verticality in the submission on circle  
22 24. Maybe it's the windows seem longer and taller rather  
23 than broader. And it's made it somehow seem horizontal.

24 MS. O'MALLEY: More windows on the second floor.

25 MR. BOOZ: Yeah, it may be the four windows on the

1 second floor make it more horizontal. But, I should add that  
2 the plan is also two feet, it's actually four feet longer in  
3 the second version. That it's about two feet each way. So  
4 it's 44 feet, not 40. It's still 918 square feet as a  
5 footprint, but it's a bigger, slightly bigger and longer  
6 building. And that allowed us to not to be as quite as  
7 cramped in the laundry space and in the great room.

8 MS. ANAHTAR: I have a question. Front porch so is  
9 the entrance to the houses on the southern side. Correct?

10 MR. BOOZ: The front porch?

11 MS. ANAHTAR: Yeah.

12 MR. BOOZ: It's really more west.

13 MS. ANAHTAR: Your south elevation the entrance  
14 goes --

15 MR. BOOZ: Right.

16 MS. ANAHTAR: And the north elevation is where the  
17 house becomes basically almost four story high. So, all the  
18 driveways show that from the north side. So what you see is  
19 that four story facade. Right? Not the, so how do you enter  
20 the house? You drive from the north, but how do you get to  
21 the house?

22 MR. SCANLON: Essentially --

23 MS. ANAHTAR: So what do you see? Do you see the  
24 two story house or four story --

25 MR. BOOZ: Two from Race Street.

1 MR. SCANLON: Essentially the four story side of the  
2 house backs to Park and Planning land and it's completely  
3 wooded back there. So that side of the house really is not  
4 that visible at all.

5 MS. WRIGHT: I think if you look at circle 32 --

6 MS. ANAHTAR: Yeah.

7 MS. WRIGHT: The public would see the two story  
8 portion of the house. On circle 32 there there's proposed  
9 Race Street extended. The people who live in the house would  
10 drive around to the back of the house to enter it and they  
11 would see the four story section. ~~But, the average person~~  
12 ~~either on Market Street or driving down proposed Race Street~~  
13 ~~would see the two story section.~~

14 MR. FULLER: I mean it's the end elevation that's  
15 really given the public elevation. I mean the only place you  
16 really see the house is driving up and --

17 MS. WRIGHT: And it's blocked a bit by the stone  
18 cottage shown.

19 MR. SCANLON: And also because of the topography  
20 when you come up Market Street, it's very much a hill that  
21 you more see with the stone building on top of it. I think  
22 one of the historic photos in the submission, yeah, on page  
23 21 is sort of a view, although there are more trees now.  
24 Kind of you can see the topography looking up towards that  
25 stone building.

1 MR. BOOZ: You can see the stone building just in  
2 the upper left there, that's it.

3 MR. SCANLON: There's an arrow, 203 Market Street.  
4 That's the existing stone cottage from the historic building.

5 MR. FULLER: Except for the guys pumping out the  
6 septic system everybody sees the house more.

7 MS. O'MALLEY: ~~So is there a way that you could~~  
8 ~~change the front so it didn't look so horizontal?~~

9 MR. BOOZ: We've already had some discussion about  
10 making those four windows two and going back to the original.

11 MS. WRIGHT: The applicants mentioned the use of  
12 like hardy plank or a cement siding. How does the Commission  
13 feel about that? And I will preface that by saying generally  
14 in Brookeville we have not approved a lot of hardy plank.

15 MR. BOOZ: Can I just add that the houses on Water  
16 Street are all hardy plank.

17 MR. SCANLON: And also the new house across from the  
18 Madison House is also hardy plank. The last four houses in  
19 town were hardy plank.

20 MS. WRIGHT: I'm going to go back and double check  
21 'cause I remember a long discussion about the one on Market  
22 Street. I don't think it was supposed to be hardy plank.  
23 So, I mean I will check on that.

24 MR. BOOZ: It is.

25 MS. WRIGHT: But how do you all feel about hardy

1 plank versus a natural --

2 MS. O'MALLEY: Are you saying the ones on High  
3 Street are hardy plank?

4 MR. SCANLON: The ones on Water Street.

5 MS. WRIGHT: Water Street.

6 MS. O'MALLEY: Water Street are.

7 MR. BOOZ: Yes. And so are two recent additions  
8 that were approved here.

9 MS. O'MALLEY: I've also been back to see those on  
10 Water Street.

11 MR. BOOZ: It's funny, I had the same discussion  
12 last week in front of the Prince George's County Historic  
13 Preservation Commission about hardy plank. And they're  
14 actually discussing the policy of approving it on new  
15 construction and additions, not on original historic  
16 structures. And the only fit I saw was that as an architect  
17 and just watching houses go up is that most of the wood  
18 siding is yellow pine these days. And it just doesn't hold  
19 paint very well. And the siding that's available that does  
20 hold paint well is Old Growth Red Wood and Clear Cedar. And  
21 if you can get it, there's some pines that work. But, it's  
22 really, I mean aside from the cost, I mean it's just a  
23 sustainability issue. I think it's worth considering some of  
24 the better synthetic materials. I'm certainly not suggesting  
25 vinyl or anything like that. But, cement board seems to be a

1 very good product.

2 MR. SCANLON: The other thing that you've remarked  
3 about Water Street, I think the detailing of the casings  
4 around the window and the trim really detract from those  
5 houses as opposed to the house down on Market Street which is  
6 also hardy plank, but it's a much more traditional look and  
7 feel house. I think it's much more appropriately detailed,  
8 so --

9 MS. O'MALLEY: The one on Water Street that we were  
10 viewing through the trees?

11 MR. SCANLON: Uh-huh. Those houses are actually  
12 designed by the same architect. But the architect actually  
13 built one of them. Crane Homes was the builder of the other  
14 ones on Water Street.

15 MS. WRIGHT: We do have two more cases tonight, so  
16 maybe it would make sense to just go down the line and get  
17 overall comments to give the applicants some direction.

18 MS. O'MALLEY: Can I start with Commissioner  
19 Burstyn?

20 MR. BURSTYN: I think that what you've got looks  
21 good to me.

22 MS. ANAHTAR: Yeah, I think I support the idea of  
23 having the new house being detached from the historic house.  
24 ~~And I don't have any problems with the modern objectives.~~

25 MS. WATKINS: I'd like to first take a look at the

1 siding of the buildings, the addition. I prefer natural  
2 materials, but I think the case can be made for new  
3 construction, hardy plank. I think the right for the  
4 detailing makes the difference. It's like final detailing  
5 versus the detailing --

6 MR. FULLER: There's a couple of different things.  
7 Number one, as it relates to driveways, I'd certainly hate to  
8 see two separate driveways extending back into these  
9 properties. And the idea to try to work together I think is  
10 great. And if you have to go first, I think it would be  
11 great if then you provided access the other way. I don't  
12 recall exactly, you said coming into the curb on your  
13 existing driveway, that the one in front of the Madison House  
14 is also on that funny high plateau. Neither one is a  
15 particularly good location. But, to me, I'd just hate to see  
16 two separate driveways running back into adjoining properties  
17 before it's said and done. I think the idea of clustering  
18 three small buildings is great. Definitely the smaller one,  
19 some of the sketch make it look like you're overpowering the  
20 overall property.

21 As it relates to the architecture of the house, I  
22 think both of these could be developed, both the original  
23 hand sketches or the computer generated, that I think you can  
24 develop these into something acceptable. And as it relates  
25 to hardy plank, if the others are really hardy plank, then at

1 this point then it would be silly to say that you have to  
2 stay with something natural.

3 MS. ALDERSON: I'll only add to my earlier comment  
4 that while natural materials are preferable in this setting,  
5 that hardy plank with good detailing of the trim could be  
6 made acceptable.

7 MR. ROTENSTEIN: I only have a comment on the  
8 driveways, driveway and its proximity to the mill race. The  
9 mill race clearly is an important feature and any new  
10 construction adjacent to it should be sensitive to issues of  
11 runoff and erosion, anything that might adversely impact the  
12 mill race.

13 MS. ALDERSON: Actually, can I just add one other  
14 thing. Is it possible to create an easement that would  
15 protect that very diminutive little cottage?

16 MS. WRIGHT: I mean the cottage is protected by  
17 walls. So, if a proposal ever came in to add on to it, you  
18 all certainly can deny that proposal. You know, there are  
19 historic preservation easement programs where folks can  
20 donate an easement for a tax deduction, promising that they  
21 won't add on. And that might be something the applicant  
22 would want to consider.

23 MS. O'MALLEY: And I don't think we brought up the  
24 issue of the archaeological resource with this being --

25 MR. ROTENSTEIN: Given the slope, I don't see that



1 as being a particularly significant issue at this location.  
2 The mill race is on adjacent property and that would be the  
3 sensitive resource in this case.

4 MS. O'MALLEY: And of course we would look for an  
5 accurate tree survey showing what was being removed. And I  
6 notice that it's heavily wooded and a lot of the trees are  
7 under six inches. But, to clear cut all the trees except  
8 those that are six inches might really leave it open. So,  
9 trying to make it pretty accurate.

10 MR. SCANLON: Yes, we've done a survey and we would  
11 review that when we actually go for our HAWP with all the  
12 trees tagged and we'd definitely want your input.

13 MS. O'MALLEY: Thank you. That's everything.

14 MR. SCANLON: Okay.

15 MS. O'MALLEY: We'll see you again.

16 MR. SCANLON: Thank you.

17 MR. BOOZ: Thank you.

1 MS. TULLY: Okay. The project at 203 Market Street  
 2 you saw just at the last meeting as a preliminary  
 3 consultation, and just to briefly refamiliarize yourself,  
 4 there is an existing stone building on the site, and the  
 5 applicants are proposing the construction of a new single  
 6 family home, restoration of the existing outbuilding, I mean,  
 7 excuse me, the existing stone structure, construction of two  
 8 outbuildings, and then driveways associated with the property  
 9 and tree removal that would be associated with any grading.

10 Not a whole lot has changed since the preliminary  
 11 consultation. The applicants did take your comments into  
 12 consideration, and both of the outbuildings are smaller than  
 13 what was originally seen by what staff thought was, you know,  
 14 a significant amount.

15 The driveway option is still, you know, up in the  
 16 air, due to the uncertainty right now of whether or not there  
 17 actually will be a raised street. And the applicant, the few  
 18 suggestions that the applicant has in the plans that you have  
 19 tonight are the two that were preferred by the Commission at  
 20 the last meeting.

21 The only other, also on the drawings on the view of  
 22 the new house, there were some comments about the windows and  
 23 the fenestration, and the applicants did make changes to the  
 24 windows on the third or the second floor, eliminating the  
 25 four bands, making it, the three windows, and narrowing a lot

HAWP

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1 of those windows, so that it is more consistent.

2           Additionally, the applicant also has requested some  
3 alternate material changes so that they have some flexibility  
4 based on their budget. With that in mind, staff recommends  
5 approval with a number of conditions, and one of those is  
6 regarding the materials and some of the design details that  
7 they be provided to improve by staff; that the windows are  
8 wood with true or simulated divided lights. I think that is  
9 what is, has been suggested, the information is just not in  
10 this application.

11           That they do have a tree protection plan prepared  
12 by a certified arborist, and implemented. There is a tree  
13 survey in the packet, and it also includes an indication of  
14 which trees would be removed, due to construction or grading.

15           And that's one of the reasons for condition five, which is  
16 that driveway construction be delayed as long as feasibly  
17 possible to allow for the decision whether or not there will  
18 be a raised street, since that would change the driveway  
19 configuration.

20           Additionally, staff would like for you to request  
21 additional drawings showing the outbuildings cited on the  
22 site showing the slope of the land. I will get to that  
23 point. I do have some slides, that's what you saw at the  
24 last meeting as well. And if you have any questions, thank  
25 you.

1           MS. WILLIAMS: I just have one quick question. The  
2 existing stone structure in the photographs appears to be in  
3 pretty bad condition, and yet the discussion of the  
4 rehabilitation and restoration is pretty limited in the staff  
5 report. I'm wondering if we're going to see another HAWP for  
6 that, or if you are just assuming that it's going to be done  
7 well?

8           MS. TULLY: That's a good, I mean, that's a good  
9 question. I mean, as long as -- I mean, what this HAWP would  
10 be approving would be removing the existing nonhistoric  
11 porches, that is mentioned in their application and their  
12 written description on circle nine.

13           With regards to everything else, provided that they  
14 are not, it is, you know, truly a restoration, then they  
15 don't need a HAWP. I mean --

16           MS. WRIGHT: I mean, if they are repairing the  
17 windows and literally just repairing the windows that are  
18 there, they don't need a HAWP. If they are repairing the  
19 doors that are there, repointing the brick, that sort of  
20 thing, none of that requires a HAWP.

21           However, one thing that we've mentioned and that  
22 they may do at some point in the future, is the other big  
23 nonconforming kind of change that's been made to that small  
24 stone structure, in addition to the screen porch, is a large  
25 dormer on the rear of the stone structure.

1           I know the applicant has talked about eventually  
2 wishing to remove that dormer and replace it with something  
3 more compatible. If and when they got to the point of doing  
4 that, that would require a historic area work permit.

5           MS. WILLIAMS: Okay. I guess my other point is,  
6 even though it's not necessary to have a HAWP for an interior  
7 restoration or renovation work, it looks, based upon the  
8 photos, that this is a bigger project than it seems to be  
9 presented as, and I just want to make sure that we get this  
10 restoration work done on that existing historic stone house  
11 before we see the completion and occupancy of the new house.  
12 That's my main concern. I just want to make sure that we're  
13 understanding that.

14           MS. O'MALLEY: Could we have the applicants come  
15 up? I guess maybe it would be good if you could address that  
16 issue?

17           MR. SCANLON: Sure. My name is Chris Scanlon.  
18 Actually, the structure of the house itself is in very good  
19 condition. What it's largely suffering from is growth of ivy  
20 on it, the bushes growing over it, and the large tree that is  
21 kind of moving over it at this point, is really the biggest  
22 threat to the structure.

23           The entire roof of that building was replaced back  
24 in the seventies. So there are some repairs that needs to be  
25 done to the cedar shingles, but it would be patching damaged

1 shingles, rather than any type of full scale replacement.

2 The windows themselves are in good shape. They are true  
3 divided light, historically appropriate windows. So the most  
4 we would be doing to them are actually painting it.

5 The structure was actually repointed in the  
6 seventies, as well. It wasn't repointed very well, from a  
7 visual standpoint, but structurally, the masonry building,  
8 the bones of the building are in very good shape. All of the  
9 interior structure is in good shape. All the interior floor  
10 boards had already been replaced. They are not original.

11 The interior of the building is in pretty good  
12 shape with the exception of plumbing systems. Those all need  
13 to be replaced. So there isn't a whole lot we are going to  
14 actually need to do from a restoration standpoint, other than  
15 get the growth that's on the building now off of it, remove  
16 the stones, or removed the screened porch that was put on it,  
17 and pretty much leave it at that point.

18 MS. WILLIAMS: So it will be treated as a separate  
19 single family residence from the new house, or is it going to  
20 be a guest house?

21 MR. SCANLON: A guess house or office space for us  
22 for a home office..

23 MR. BOOZ: And Brookeville allows for an accessory  
24 apartment.

25 MS. O'MALLEY: Are there any questions for the

1 applicant?

2 MS. ALDERSON: I think the only question we have is  
3 just looking at the sketch is to commend you. This is  
4 completely consistent with what we discussed, and commend you  
5 for approaching this as a way to use the property with  
6 minimal impact on the lovely stone building.

7 The only question was, we would presume that you  
8 would probably have a driveway that leads to the house. Can  
9 you tell us, I think there was a question about whether or  
10 not the drawings are telling us everything? I think you were  
11 planning gravel?

12 MR. SCANLON: On the sketch on page 15, is kind of  
13 the option, I think, that right now looks like the one that  
14 we will be following. Phase one of the project, which we are  
15 looking to get started on in the next couple of months, will  
16 be only the construction of the house, and it does not look  
17 like the raised street will be constructed by that time.

18 And also, just for construction vehicle entrance to  
19 the property, we need to kind of extend the existing  
20 driveway. The driveway will be gravel, but then any of the  
21 outbuildings that will be built are out into the future, that  
22 the street will probably exist at that point. And at that  
23 point, we may even consider, basically, undoing the drive, if  
24 we are forced to kind of continue extending the existing one,  
25 and match it, and do that, and do it completely off the

1 street.

2 MS. ALDERSON: So the intent is to do minimal now,  
3 reversible as possible, so that if another driveway is added,  
4 there will be minimal paved area?

5 MR. SCANLON: Yes, our thought it to do just an 11-  
6 foot gravel drive, as small as possible.

7 MS. O'MALLEY: And I had some question about the,  
8 you don't show any walkways or anything to the front door or  
9 the side door?

10 MR. SCANLON: Yes, I think we just haven't gotten  
11 to that phase of the design at this point. Probably, if we  
12 had guests visiting, prior to the construction of the shop  
13 outbuilding, they would just come up to the back of the house  
14 and then probably circle around to the side door. We could  
15 do a walkway from out at the street.

16 MS. O'MALLEY: So you would come in with those  
17 changes?

18 MR. SCANLON: Yes, if you would like to see, I  
19 guess, after the raised street configuration is finalized, we  
20 can certainly send you guys a sketch.

21 MS. ALDERSON: Have you given, have you considered,  
22 since it is such a very old house, and the whole feeling is  
23 so 19 century, using walkway material other than poured  
24 concrete?

25 MR. SCANLON: Oh, yes, I think we would do gravel,



1 like a pea gravel with just a metal landscaping edge or  
2 something on the side, something very nondescript. Or  
3 especially for the stone building, there might be something  
4 as simple as just the flag, pieces of flagstone running to  
5 the front doorway. Definitely not poured concrete walk.

6 MS. ALDERSON: I would personally be comfortable,  
7 if that is the intent, that you use either of those two  
8 materials. We're talking about something made of stone,  
9 either crushed or stone units, that we could let staff, be  
10 handled at staff level.

11 MR. FULLER: It seems to me there's a series of  
12 details that really aren't shown in these drawings that to me  
13 you ought to go back to staff with those, and let them make a  
14 determination whether it really needs to come to us or not.

15 But, I mean, do be aware that people get upset when things  
16 get built that haven't at least been discussed with staff.

17 MS. O'MALLEY: Any other questions?

18 MR. SCANLON: The only question I guess I have is  
19 about the tree protection plan. I think we are of the same  
20 opinion that we want to save the trees that are going to stay  
21 on the site, as we are going to be the owners of the property  
22 as well.

23 But there really is only one tree that would be  
24 within what I would consider the limits of construction. So  
25 to have to go to the added expense of having a certified

1 arborist actually create this plan seems like we're somewhat  
2 paying for the transgressions of those who have gone before  
3 us, particularly in the last session.

4           So I guess what I would like to propose is that we  
5 create a tree preservation plan for approval by staff, or  
6 staff's arborist, essentially showing the limits of  
7 construction, four-foot high fence designated as anything  
8 outside of that is the tree protection zone, and we would  
9 designate where root pruning would be, and clearly designate  
10 that there would not be any grading that would happen outside  
11 of that tree preservation area. And just see if that's  
12 acceptable to, for approval purposes.

13           MS. O'MALLEY: I wouldn't see a problem with that,  
14 but I would note that we now ask that the tree protection be  
15 in place before anything begins.

16           MR. SCANLON: Absolutely.

17           MS. WRIGHT: But your big issue is that not having  
18 the plan prepared by a certified arborist, but having a plan,  
19 they could be reviewed and approved by the Park and Planning  
20 Arborist. You would prepare it yourselves --

21           MR. SCANLON: Yes.

22           MS. WRIGHT: -- for review and approval by the Park  
23 and Planning arborist.

24           MR. SCANLON: It's a simple enough tree  
25 preservation project, and having worked with the

1 preservationists on other projects that I've done, it seems  
2 like something that we could very easily detail and show.

3 MS. WILLIAMS: Could we just change that condition  
4 to read, prepared by the project architect?

5 MS. WRIGHT: Yes, I think the condition would have  
6 to read something like a tree protection plan will be  
7 prepared by the applicant and approved by MNCPPC arborist,  
8 and implemented prior to any work being done on the property.

9 MR. FULLER: All right. Let me make a motion that  
10 we approve case 23/65-05A with the five conditions as  
11 recommended by staff, with a modification to read, a tree  
12 protection plan will be prepared an approved by MNCPPC staff  
13 and implemented to any work on the property.

14 MS. WILLIAMS: Second.

15 MS. ALDERSON: Did you want to add a condition  
16 about the staff approval of walkway details?

17 MR. FULLER: I think that's really implicit with  
18 our regulations. I would notify the applicant that it's just  
19 something they need to be aware of to go back.

20 MS. O'MALLEY: Any other discussion?

21 MS. WILLIAMS: Yes, I sort of still want to explore  
22 this notion of insuring the restoration of the stone house  
23 before the new house gets occupied. And I don't know if we  
24 can just add another condition, that I don't know if staff  
25 has to sign off on this or to get an occupancy, or how does

1 there -- what sort of mechanism do we have, then, for  
2 insuring that the stone house gets restored?

3 MS. ALDERSON: I'm a little reluctant to go that  
4 far on this particular one, because the building is not in  
5 danger.

6 MS. WILLIAMS: But it's an opportunity to gain a  
7 restored historic resource, and an opportune moment.

8 MS. ALDERSON: I guess the current plan, though, is  
9 simply to remove the added porch.

10 MS. WILLIAMS: So the current plan isn't to  
11 actually clean up the interior and make it habitable?

12 MR. SCANLON: Yes. I had understood that there was  
13 no HAWP required for interior restoration of a historic  
14 structure, so we did not address any of that in our  
15 application.

16 Our applicant addresses the exterior restoration  
17 which really consists of repairing the roof, because there is  
18 one leak in it; removal of the porch, because it kind of  
19 detracts from the historic nature of the building; and  
20 protecting the structure by removing the tree. Other than  
21 that, there really is nothing else for the exterior  
22 restoration.

23 MS. WRIGHT: I think the question really is, what's  
24 your intent? What is your plan? Are you going to be fixing  
25 up the stone house sort of at the same time that you're

1 building the new house so that your guest house is available  
2 when your new house is finished, or what's your intent?

3 MR. SCANLON: Our intent is to do, to remove  
4 anything that is an imminent threat to the stone building.  
5 So the immediate thing we will do is first remove the tree  
6 that is kind of leaning over it. The next priority, from a  
7 financial standpoint, is to build the single family home, and  
8 then after that, we would work over time on the interior  
9 restoration.

10 MR. FULLER: Why don't we, could we add a  
11 condition, then, that says that the existing stone structure  
12 will be stabilized, will be stabilized and repaired to the  
13 extent, repaired to the extend to stabilize and protect the  
14 structure prior to occupancy of the new house?

15 MR. SCANLON: I'm cool with that.

16 MS. O'MALLEY: Okay.

17 MS. WRIGHT: And again, just for the Commissioners,  
18 the stone house was occupied as recently as what, three or  
19 four years ago?

20 MR. BOOZ: A year ago.

21 MS. WRIGHT: A year ago. It wasn't, you know, it  
22 hasn't been a deteriorating vacant structure for 20 years or  
23 something. It was a single family house for an elderly  
24 person until a year ago.

25 MS. WILLIAMS: Sure. I understand. I mean, it

1 might not be, this might not be the, you know, perfect  
2 example where this occurs, but it is a common occurrence that  
3 people enter into new construction, along with renovation.  
4 They manage to finish the new construction, and then alas,  
5 they are out of money and they can't do the renovation. I  
6 just don't want -- I want to be able to ensure that we're  
7 doing both preservation and oversight of new construction  
8 appropriately, you know.

9 MR. SCANLON: The tree --

10 It's not necessarily that specific to your case.  
11 It's sort of a general notion. And you know, I just want to  
12 address it here. But that satisfies me.

13 MS. O'MALLEY: All right. So we have a motion --

14 MR. FULLER: With six conditions.

15 MS. O'MALLEY: -- with six conditions. Do you want  
16 to restate it?

17 MR. FULLER: Condition six would be that the  
18 existing stone structure will be repaired and stabilized to  
19 the extent necessary as agreed to by staff prior to occupancy  
20 of the new dwelling.

21 MR. SCANLON: When you say, required by staff, are  
22 their requirements going to be more than --

23 MR. FULLER: No.

24 MR. SCANLON: Okay.

25 MR. FULLER: The staff's position --

1 MS. ALDERSON: Stabilization.

2 MR. SCANLON: If you're going to tell me to repoint  
3 the entire building and then do what previous masons have  
4 done, that will be --

5 MR. FULLER: Did they do a lot of work?

6 MS. O'MALLEY: All right. So do we need a second  
7 for the added --

8 MS. ALDERSON: We could make that more specific to  
9 refer to the elements that require repair, if that helps. I  
10 mean, it's windows, roof -- windows, roof and tree removal.

11 MR. SCANLON: It's tree and root.

12 MS. ALDERSON: Tree removal and root --

13 MS. WRIGHT: That's already part of their  
14 application. I think to get at the heart of what  
15 Commissioner Williams was really trying to say is that she  
16 wants to make sure that the stone house is stabilized and  
17 repaired prior to occupancy of the new house. I mean, I  
18 think that's as simple as it is.

19 MS. ALDERSON: Yes. It can reference the items  
20 already included.

21 MR. FULLER: I'd like to leave it open. That way,  
22 if you get into it, and you find something that's about to  
23 fall down, yes, I'm sure you going to take care of it.

24 MS. O'MALLEY: All right. We have a motion on the  
25 floor. All in favor, please raise your right hand? You know

tsh

15

1 that's approval.

2 MR. SCANLON: Thank you.

3