

23/65-05C 203 Market Street
Brookeville Historic District

Fothergill, Anne

From: Fothergill, Anne
Sent: Thursday, September 27, 2007 9:39 AM
To: 'russ.gorden@montgomerycountymd.gov'
Cc: 'scanlon@davisconstruction.com'
Subject: FW: 203 Market St. Outbuilding

Mr. Gorden:

The changes in the windows in the new outbuilding at 203 Market Street have been approved by the Historic Preservation Commission. This email can serve as the official approval and will be placed in our file for this approved Historic Area Work Permit along with the revised elevations.

Thanks,
Anne

Anne Fothergill
Senior Planner
Montgomery County Planning Department
Countywide Planning--Historic Preservation Section
1109 Spring Street, Suite 801
Silver Spring, MD 20910
301-563-3400 phone
301-563-3412 fax
<http://www.mc-mncppc.org/historic/>

----- Forwarded message -----

From: Gorden, Russ <Russ.Gorden@montgomerycountymd.gov>
Date: Sep 24, 2007 9:24 AM
Subject: RE: Permit #462862 (Scanlon Workshop)
To: Andrea Scanlon <andrea.scanlon@gmail.com>

Good Morning,

Yes, everything appears to be OK and approval is pending the letter from MNCPPC-MC (or re-stamped plans).

Thank you,
Russ Gorden
2407776219

9-26-07

yes

STAFF ITEM

Anne Fothergill

203 Market Street, Brookeville

The HPC approved new construction for an outbuilding, a workshop, in Brookeville. The applicant is proposing to remove a few windows due to DPS' requirements to meet code. See attached elevations showing the windows to be removed. Staff would like HPC approval to approve this at the staff level.

Fothergill, Anne

Subject: FW: 203 Market St. Outbuilding
Attachments: Scanlon Workshop Revised Elevations.pdf

From: Scanlon, Chris [mailto:cscanlon@davisconstruction.com]
Sent: Tuesday, September 18, 2007 8:30 AM
To: Fothergill, Anne
Subject: FW: 203 Market St. Outbuilding

Hi Ann,

I had been working previously with Michele Oaks on the permit for an outbuilding at 203 Market St. in Brookeville, MD. She stamped our construction set back on August 10th and we have been working to get our Montgomery County Building Permit approval since then. I was hoping you could help me with a request that arose from the County permit reviewer. Michele referred me to you since she is now in her new role.

As part of the building permit review, we were asked to submit wall bracing diagrams. During this process we realized that the approved HAWP design will not meet the IRC code bracing requirements due to the window locations on the front and rear of the building. So, to meet the code requirements, we are proposing to revise the windows on the front and rear elevations of the building, but the Department of Permitting Services would like acknowledgement from HPC that this revision is ok before continuing to review of our application. I have attached the revised elevations of the building that denote the window deletions. All of the other windows and doors remain per the original elevations and windows schedule.

Could you fax or email something to myself and our permit reviewer at the MC DPS acknowledging these revisions? We are anxious to start this project as we were hoping to already be well under construction by now. Here is the permit reviewers contact info...

Russell Gorden
Montgomery County Department of Permitting Services
Phone: 240-777-6248
Fax: 240-777-6248
Email: russ.gorden@montgomerycountymd.gov

Let me know if you have any questions about the revisions or if you need anything else from me. Thanks!

Chris Scanlon

MICHE BOOZ

ARCHITECT

A3

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**SCANLON
WORKSHOP**

203 Market Street
Brookeville, Maryland 20833
Montgomery County

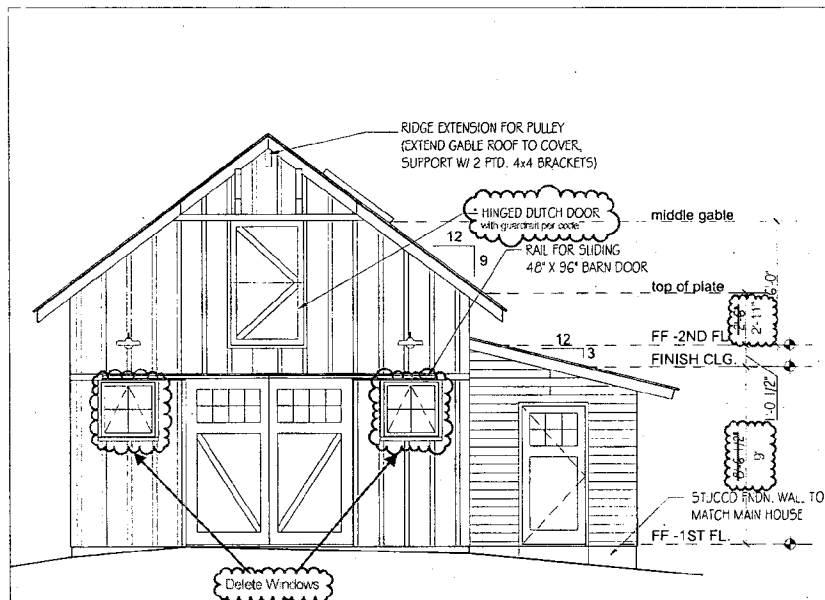
Drawings:

ELEVATIONS

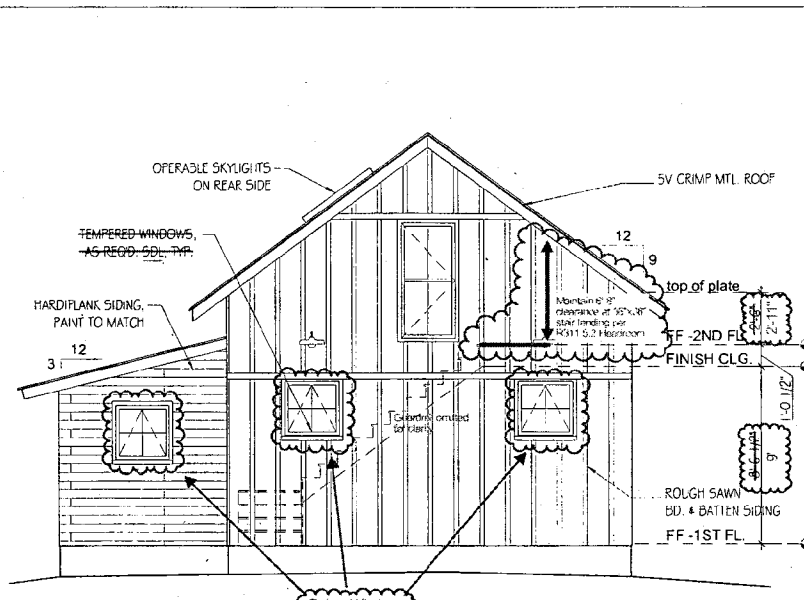
Dates:

PERMIT SET 1 AUG 07
TODAY'S DATE 1 AUG 07

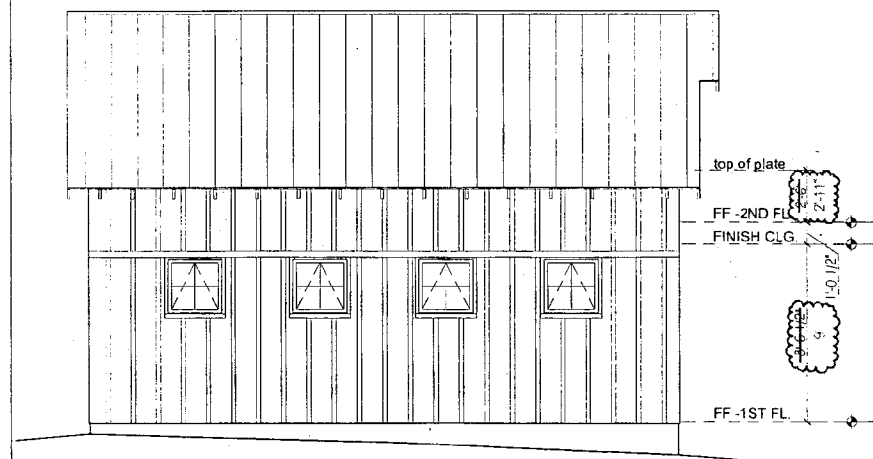
ADDENDUM #1 - 16 SEP 07



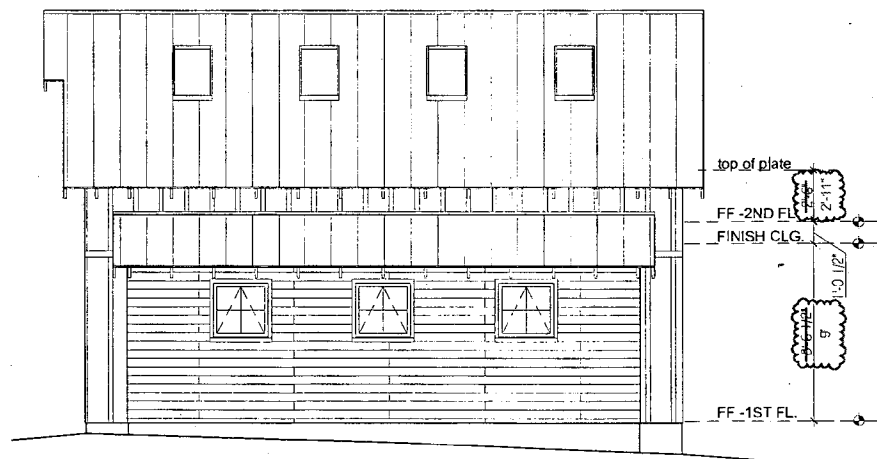
1 SOUTH ELEVATION (FACING MAIN HOUSE)
A3 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION (FACING WOODS)
A3 SCALE: 1/4" = 1'-0"

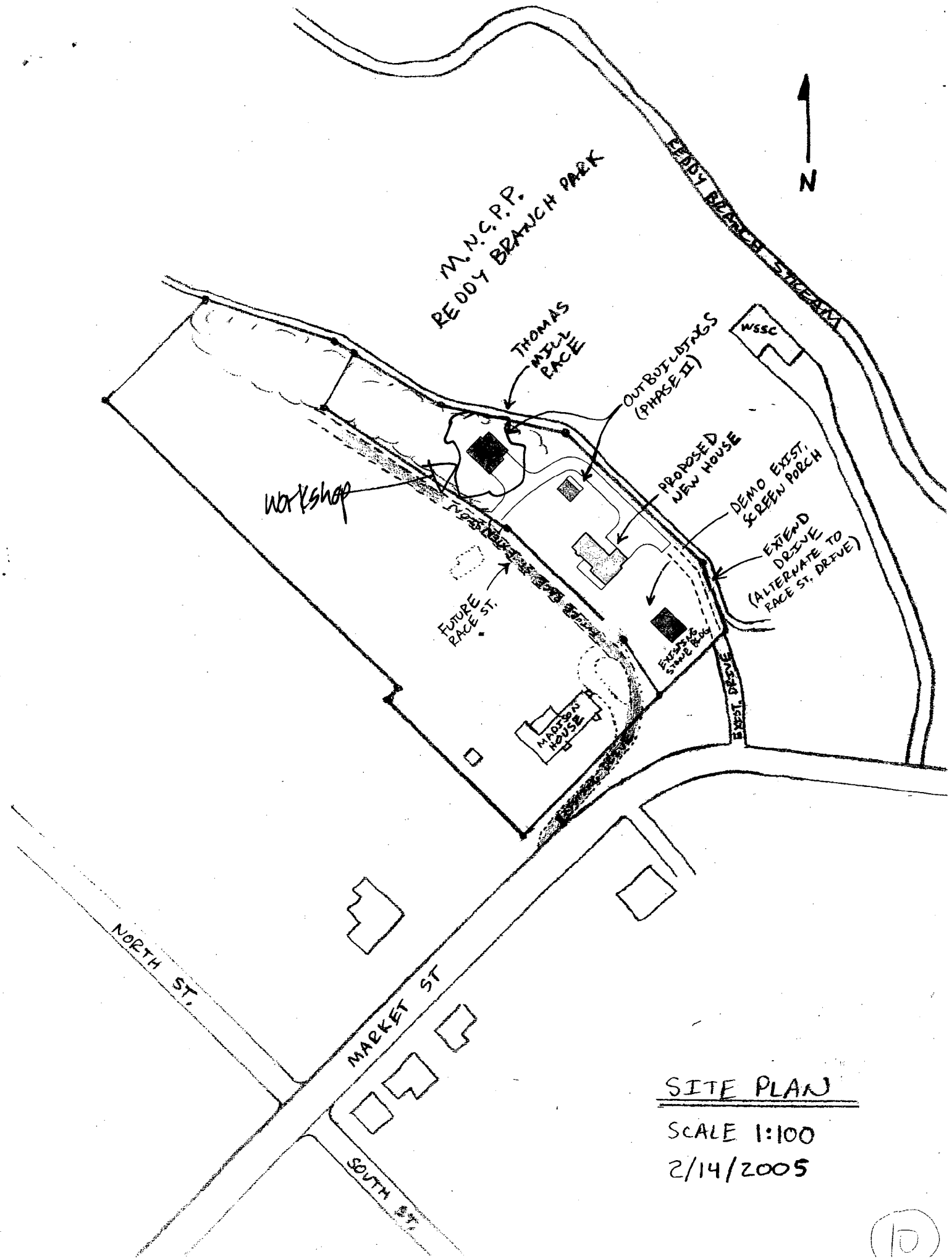


3 WEST ELEVATION (FRONT)
A3 SCALE: 1/4" = 1'-0"



4 EAST ELEVATION (FACING REAR WOODS)
A3 SCALE: 1/4" = 1'-0"

PERMIT SET- 1 AUG 07



SITE PLAN

SCALE 1:100

2/14/2005

Oaks, Michele

From: Scanlon, Chris [cscanlon@davisconstruction.com]
Sent: Friday, August 10, 2007 3:52 PM
To: Oaks, Michele
Subject: RE: 203 Market St. Outbuilding

Hi Michele,

1. Please find attached a window schedule for the project.
2. The plan is to use an opaque stain on the board and batten siding. The trim around windows will be rough sawn wood (matches the battens). The exposed roof rafters are painted wood. The underside of the exposed roof structure is painted 3 1/2" wide plybead. The clapboard siding at the lean-to is prefinished smooth Hardiplank siding (matches the approved material on the existing house). The corner boards and window trim at the clapboard siding is painted wood.

Let me know if you need any other info.

Thanks.

Chris

From: Oaks, Michele [mailto:Michele.Oaks@mncppc-mc.org]
Sent: Friday, August 10, 2007 2:39 PM
To: Scanlon, Chris
Subject: 203 Market St. Outbuilding

Chris,

I am working on your drawings. I have a couple of needs before I can hand them over....

1. I need a door and window schedule for the building. Please make sure that the windows are SDL painted wood.
The door schedule needs to include the garage door. I left a message with Miche's office..to see if he has this information too.
2. A couple of things were missing o the plans that I will need to add. Such as the board and batten does not specify "painted or stained" and the trimwork does not specify that it will be wood.

Let me know if you have any questions.

Michele

Michele Oaks, Planner Coordinator
Historic Preservation Section
Montgomery County Department of Planning
Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)
(301) 563-3412 (fax)
michele.oaks@mncppc-mc.org

8/10/2007

www.montgomeryplanning.org

203 Market St Workshop Window Schedule

| Elevation | Qty | Item | Material | Glass | R.O. Size | Notes |
|-----------|-----|------------------|----------|---|-------------|--|
| South | 2 | Fixed Window | Wood | Low-e Simulated Divided Lite | 2'4" x2'4" | Non-Operable |
| South | 1 | Lower Barn Door | Wood | True Divided Light or None (windows may be deleted) | 8' x 8' | Custom made wood door w/insulated core |
| South | 1 | Upper Dutch Door | Wood | None | 6' x 3' | Custom made wood door w/insulated core |
| South | 1 | Lean-to Door | Wood | Low-e Simulated Divided Lite | 3' x 6'8" | |
| North | 2 | Fixed Window | Wood | Low-e Simulated Divided Lite | 2'4" x2'4" | Non-Operable. Tempered glass at future stair |
| North | 1 | Double Hung | Wood | Low-e Simulated Divided Lite | 3' x 6' | Tempered glass at future stair |
| West | 4 | Awning Window | Wood | Low-e Simulated Divided Lite | 2'4" x2'4" | Operable |
| East | 3 | Awning Window | Wood | Low-e Simulated Divided Lite | 2'4" x2'4" | Operable |
| Roof | 4 | Fixed Skylight | Wood | Low-e | 1'9" x 2'3" | |

Transmittal

Scanlon Workshop
 203 Market Street
 Brookeville, MD 20833
 Phone: (301) 536-5538
 Fax: (301) 468-3918

To: Historic Preservation Sector, Montgomery County Dept of Planning
Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
PH (301) 563-3400, FAX (301) 563-3412
michele.oaks@mncppc-mc.org
 Attn: Ms. Michele Oaks, Planner Coordinator

Date: August 8, 2007

We are sending you the following items:

- Herewith Under separate cover via _____
 Submittal Shop Drawings Plans Specifications Sample Letter
 Other _____

| Copies | Date | Description |
|--------|----------|---|
| 3 | 08/01/07 | Permit Set - Scanlon Workshop (full size) |
| 1 | 08/01/07 | Permit Set - Scanlon Workshop (11 x 17) |
| 3 | 09/13/05 | Site Plan - Scanlon Workshop |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |


These are transmitted:

- For Your use For Review and Comment Other _____
 As Requested Approved as Submitted _____
 For Approval Approved as Noted _____

Remarks:

Enclosed are the drawings for the Scanlon Workshop at 203 Market Street, per your email correspondence with Chris Scanlon. Let me know when you are finished and I will pick up the stamped drawings. Feel free to contact Chris or myself at (301) 536-5538 or andrea.scanlon@gmail.com with any questions.

cc: _____

Sincerely,

 Andrea Scanlon



Andrea Scanlon <andrea.scanlon@gmail.com>

310 Market St HAWP Status & Permit Drawings for 203 Market St. Outbuilding

2 messages

Scanlon, Chris <cscanlon@davisconstruction.com>

Tue, Aug 7, 2007 at 9:19 AM

To: Michele.Oaks@mncppc-mc.org

Cc: andrea.scanlon@gmail.com

Hi Michelle,

I was hoping that you could help me with a couple of HPC items...

1. We have a Brookeville Planning Commission tonight and are reviewing the Building Permit for 310 Market St. Can you let me know what the status is on their HAWP application?
2. When we got our permit drawings signed by HPC for our new house at 203 Market St. we did not have full construction drawings yet for the outbuildings. Miche has completed permit drawings for one of the outbuildings (the workshop) and we are ready to submit for our Montgomery County building permit. My wife, Andrea can drop off drawings to your office today but I'm not sure who they should go to for signature since Tania's no longer there. Can you help us with getting the permit drawings signed so we can submit for our county permit? I've attached the original HAWP with the approved outbuilding shown on pg 17. I'll follow this email with a .pdf of the construction drawings since the file size is large.

Thanks!

Chris

2 attachments

 203 Market HAWP Report.pdf
2934K

 HAWP Permit.pdf
26K

Scanlon, Chris <cscanlon@davisconstruction.com>

Tue, Aug 7, 2007 at 11:12 AM

To: andrea.scanlon@gmail.com

See address below...

Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)

From: Oaks, Michele [mailto:Michele.Oaks@mncppc-mc.org]

Sent: Tuesday, August 07, 2007 11:09 AM

To: Scanlon, Chris

Subject: RE: 310 Market St HAWP Status & Permit Drawings for 203 Market St. Outbuilding

Thanks for your understanding.

Michele

Michele Oaks, Planner Coordinator
Historic Preservation Section
Montgomery County Department of Planning
Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)
(301) 563-3412 (fax)
michele.oaks@mncppc-mc.org
www.montgomeryplanning.org

-----Original Message-----

From: Scanlon, Chris [<mailto:cscanlon@davisconstruction.com>]
Sent: Tuesday, August 07, 2007 10:04 AM
To: Oaks, Michele
Subject: RE: 310 Market St HAWP Status & Permit Drawings for 203 Market St. Outbuilding

Hi Michelle,

I hope they tripled your salary since your are now doing the work of three! Thanks for the info on 310 Market St.

Regarding our permit set, Friday would be fine. I'll have Andrea drop them off at you office either this afternoon or tomorrow.

Chris

From: Oaks, Michele [<mailto:Michele.Oaks@mncppc-mc.org>]
Sent: Tuesday, August 07, 2007 9:49 AM
To: Scanlon, Chris
Subject: RE: 310 Market St HAWP Status & Permit Drawings for 203 Market St. Outbuilding

Hi Chris,

In terms of 310 Market. I stamped drawings yesterday...they are all approved by us and ready for your permits.

Regarding your permit, I am happy to review the case and stamp drawings, but I am on a deadline with HAWP staff reports. They are due on Thursday. I already have 4 other drawing sets that are waiting until I am done with reports to stamp and process and other work items I need to complete before Friday. So the earliest I can promise to get to them is Friday. I am so sorry.....as you can imagine with Tania, Mike Dwyer and Gwen gone and not having their position's filled yet...I am crazy busy to keep up.

Michele

Michele Oaks, Planner Coordinator

CODES

2003 INTERNATIONAL RESIDENTIAL CODE
W/ APPLICABLE MONTGOMERY COUNTY AMENDMENTS.

CODE ANALYSIS

AREA CALCULATIONS:
TOTAL FINISHED SF - 675 SF

BUILDING HEIGHT: 16' FROM GRADE TO MIDPOINT OF HIGHEST GABLE ROOF

OCCUPANCY CALCULATIONS: NOT APPLICABLE

SPRINKLER SYSTEM: NOT APPLICABLE

DESIGN CRITERIA
FLOOR LOAD 40 PSF
ROOF SNOW LOAD 30 PSF
ROOMS OTHER THAN SLEEPING: MIN. 40 PSF
STAIRS: MIN. 40 PSF
FLOOR/CLG. DEFLECTION: L/360
WIND CRITERIA 90 MPH (3 SEC. GUSTS)
CONCRETE WEATHERING: SEVERE
TERMITE INFESTATION: MODERATE TO HEAVY
DECAY PROBABILITY: SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY: B
FROST LINE DEPTH: 30 IN.
WINTER DESIGN TEMP.: 13°F
FLOOD HAZARDS: NONE
SPECIES/GRADE OF FRAMING LUMBER:
SPRUCE PINE FIR NO. 1 OR NO. 2

DISCREPANCIES SHOULD BE BROUGHT TO ATTENTION OF ARCHITECT BEFORE CONSTRUCTION BEGINS.

ZONING

ZONE: "HVR" Historic Village Residential

BUILDING HEIGHT: 35 feet, or not taller than the primary structure.

ACCESSORY SETBACKS - may only be located in the side or rear yard and must be setback a minimum of two (2) feet from any property line.

SCOPE OF WORK

THIS BUILDING PERMIT IS FOR A NEW BACKYARD WORKSHOP ON THE PROPERTY OF 203 MARKET ST., BROOKEVILLE, MD. HISTORIC AREA WORK PERMIT & TOWN OF BROOKEVILLE BUILDING PERMITS APPLY.

CONTACT INFORMATION

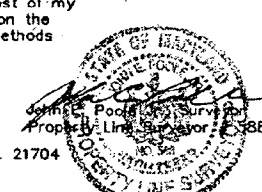
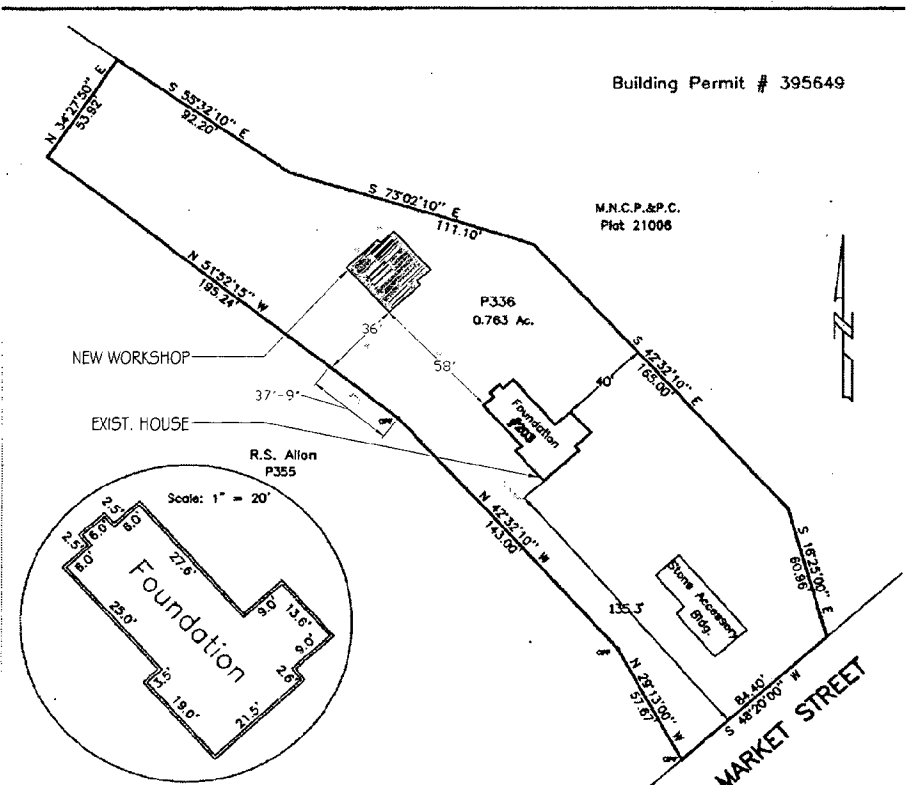
OWNERS:
CHRIS & ANDREA SCANLON
203 MARKET STREET
BROOKEVILLE, MD 20833

ARCHITECT:
MICHE BOOZ ARCHITECT, INC.
208 MARKET STREET
BROOKEVILLE, MD 20833
301-774-6911

Location Drawing
Christopher & Andrea Scanlon Property
Town of Brookeville - Olney (8th) District
Montgomery County, Maryland

Page 1 of 2 Pages
Note: This property is not in a flood plain area.

Surveyor's Certificate
I hereby certify that the plan shown hereon is correct to the best of my knowledge and belief and that the location of the visible improvements on the described property have been carefully established by accepted survey methods and that unless otherwise shown there are no encroachments.
Date: December 14, 2005
Scale: 1" = 50'
P336 Tax Map HU62 L. 29911 F. 739
House #203 Market Street, Brookeville, Maryland 20833
Subject to Rights of Way and Easements of record.
Prepared by R.K. Maddox Surveys, 4011 Baker Valley Road, Frederick, Md. 21704
Note: See Page Two (2) for additional information.

SURVEY BY OTHERS SCALE: 1"=50'-0"

MICHE BOOZ
ARCHITECT
CS
208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON WORKSHOP
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:
COVER SHEET

Dates:
PERMIT SET 1 AUG 07
TODAY'S DATE 1 AUG 07

- A1 FLOOR PLANS
- A2 FLOOR PLANS
- A3 ELEVATIONS
- A4 SECTIONS
- DT WALL SECTIONS
- S1 ROOF & 2ND FLOOR FRAMING PLANS

LIST OF ABBREVIATIONS & SYMBOLS

| | | | | | | | | | |
|----------------------|---------|-----------------------|----------|-----------------|---------|----------------------------|---------|------------------------|--------|
| ABOVE | ABV | CONCRETE | CONC. | FINISHED FLOOR | F.F. | OPENING | OPNG | TOP OF | T.O. |
| ABOVE FINISHED FLOOR | A.F.F. | CONCRETE MASONRY UNIT | CMU | FLOOR | FLR. | OPPOSITE | OPP. | TREAD | T. |
| APPROXIMATE | APPROX. | CONTINUOUS | CONT. | FOUNDATION | FNDN | PAINTED | PTD. | TYPICAL | TYP. |
| ASPHALT | ASPH. | DEMOLISH | DEMO. | GALVANIZED | GALV. | PLYWOOD | PLYWD | UNLESS NOTED OTHERWISE | U.N.O. |
| AT | @ | DETAIL | DET. | GRADE | GR. | PLASTER | PLAS. | VERTICAL | VERT. |
| AVERAGE | AVG | DIAMETER | Ø, DIAM. | GYPSUM BOARD | GYP. BD | PLATE | PL. | VERIFY IN FIELD | V.I.F. |
| BEAM | BM | DIMENSION | DIM. | HORIZONTAL | HORZ. | PRESSURE TREATED | P.T. | VINYL TILE | V.C.T. |
| BETWEEN | BTW. | DOOR | DR | HEIGHT | HT | ROUGH OPENING | R.O. | WITH | W/ |
| BLOCKING | BLKG | DOWNSPOUT | D.S. | INCH | IN. | RISER | R. | WOOD | WD |
| BOARD | BD | DRAWING | DWG | INSULATION | INSUL. | ROOM | RM | WATER PROOF | W.P. |
| BOTTOM CHORD | B.C. | DRINKING FOUNTAIN | D.F. | INTERIOR | INT. | SECTION | SEC. | | |
| BOTTOM OF | B.O. | EACH | EA. | LIGHT | LT | SHEET | SHT | | |
| BRICK | BR. | ELECTRICAL | ELEC. | MASONRY OPENING | M.O. | SPECIAL | SPEC. | | |
| BUILDING | BLDG | ELEVATION | EL. | MECHANICAL | MECH. | STEEL | STL | | |
| CEILING | CLG | EQUIPMENT | EQUIP. | MINIMUM | MIN. | STRUCTURAL | STRUCT. | | |
| CENTER LINE | C.L. | EQUAL | EQ. | MISCELLANEOUS | MISC. | STRUCTURAL INSULATED PANEL | S.I.P. | | |
| CERAMIC TILE | C.T. | EXISTING | EXG. | NUMBER | #. NO. | THRESHOLD | THRESH. | | |
| CLEAN OUT | C.O. | EXTERIOR | EXT. | NOT IN CONTRACT | N.I.C. | TO BE DETERMINED | T.B.D. | | |
| COLUMN | COL. | FEET | FT | ON CENTER | O.C. | TO BE SPECIFIED | T.B.S. | | |
| | | | | | | TONGUE AND GROOVE | T & G | | |

| | |
|----------------------------|----------------|
| (2) (A1) DETAIL INDICATOR | BRICK |
| (2) (A1) SECTION INDICATOR | (2) NEW DOOR |
| ⊗ C.M.U. | (A) NEW WINDOW |

Scanlon Workshop

203 MARKET STREET BROOKEVILLE, MD 20833

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
Montgomery County
Historic Preservation Commission
Michelle DeLoach
8/10/07

PERMIT SET - 1 AUG 07

MICHE BOOZ

ARCHITECT

A1

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**SCANLON
WORKSHOP**

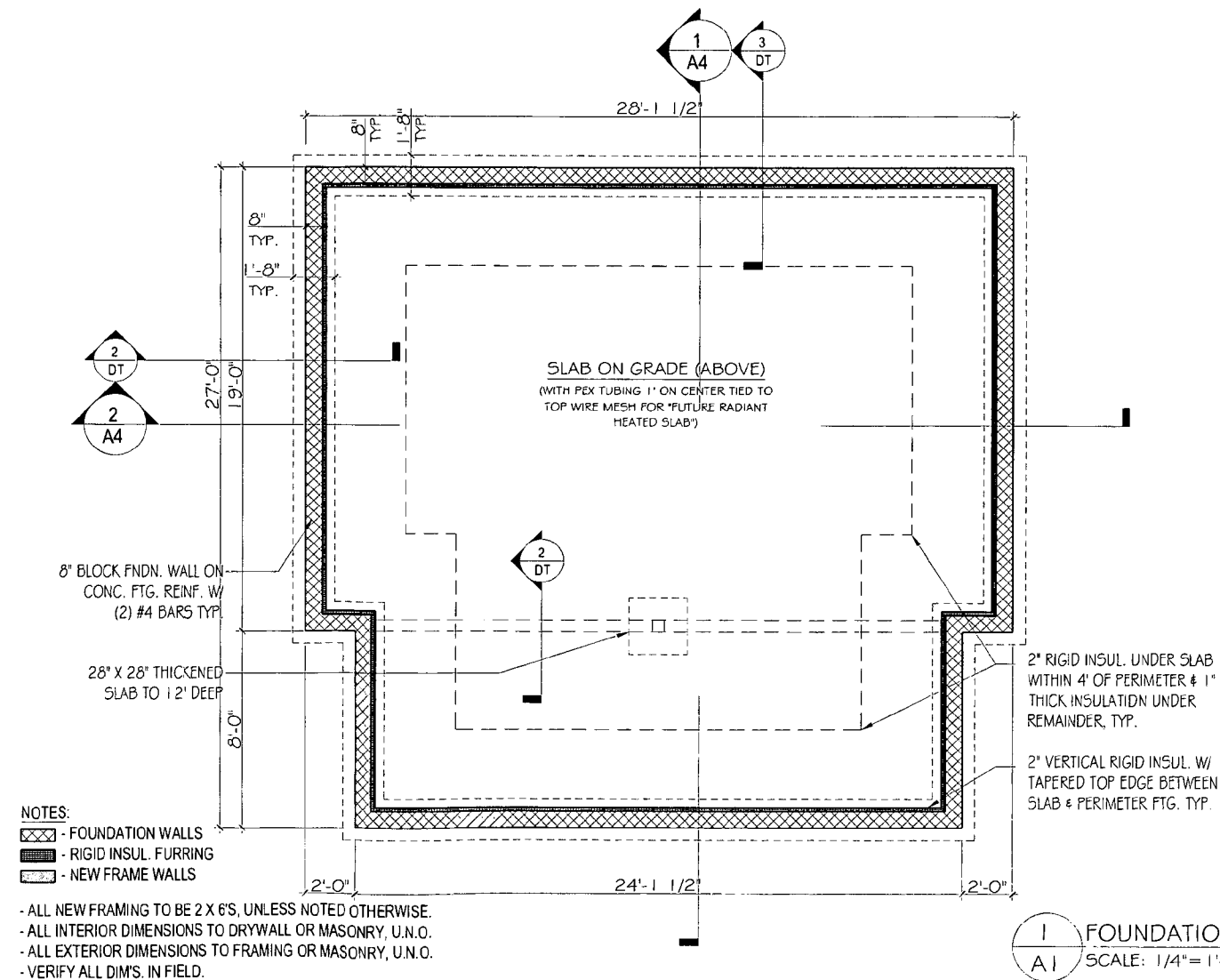
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:

PLANS

Dates:

PERMIT SET 1 AUG 07
TODAY'S DATE 1 AUG 07



PERMIT SET- 1 AUG 07

MICHE BOOZ

ARCHITECT

A2

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**SCANLON
WORKSHOP**

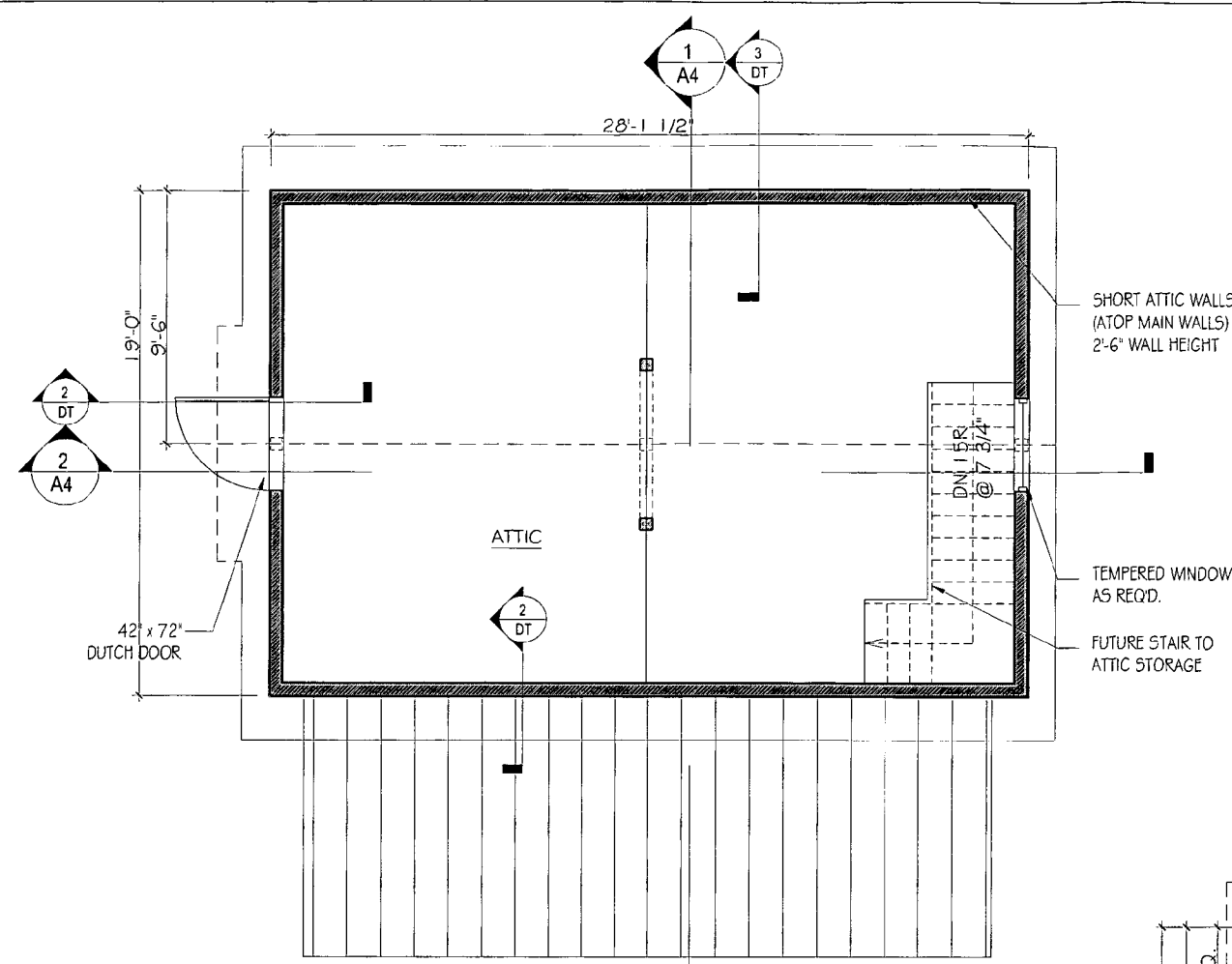
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:

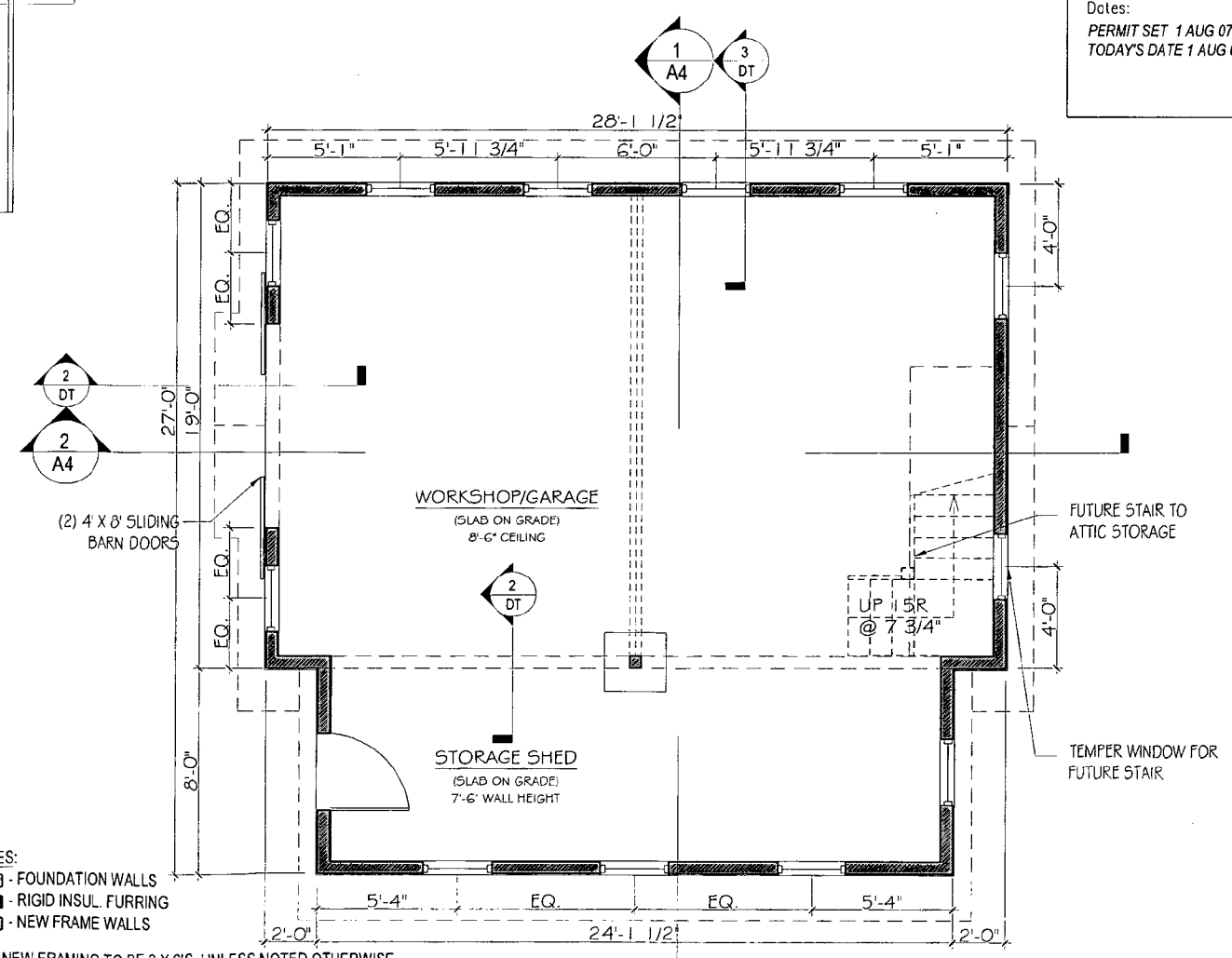
PLANS

Dates:

PERMIT SET 1 AUG 07
TODAY'S DATE 1 AUG 07



1 ATTIC FLOOR PLAN
A2 SCALE: 1/4" = 1'-0"



- NOTES:
- FOUNDATION WALLS
 - RIGID INSUL. FURRING
 - NEW FRAME WALLS

- ALL NEW FRAMING TO BE 2 X 6'S, UNLESS NOTED OTHERWISE.
- ALL INTERIOR DIMENSIONS TO DRYWALL OR MASONRY, U.N.O.
- ALL EXTERIOR DIMENSIONS TO FRAMING OR MASONRY, U.N.O.
- VERIFY ALL DIM'S. IN FIELD.

2 FIRST FLOOR PLAN
A2 SCALE: 1/4" = 1'-0"

PERMIT SET- 1 AUG 07

MICHE BOOZ

ARCHITECT

A3

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**SCANLON
WORKSHOP**

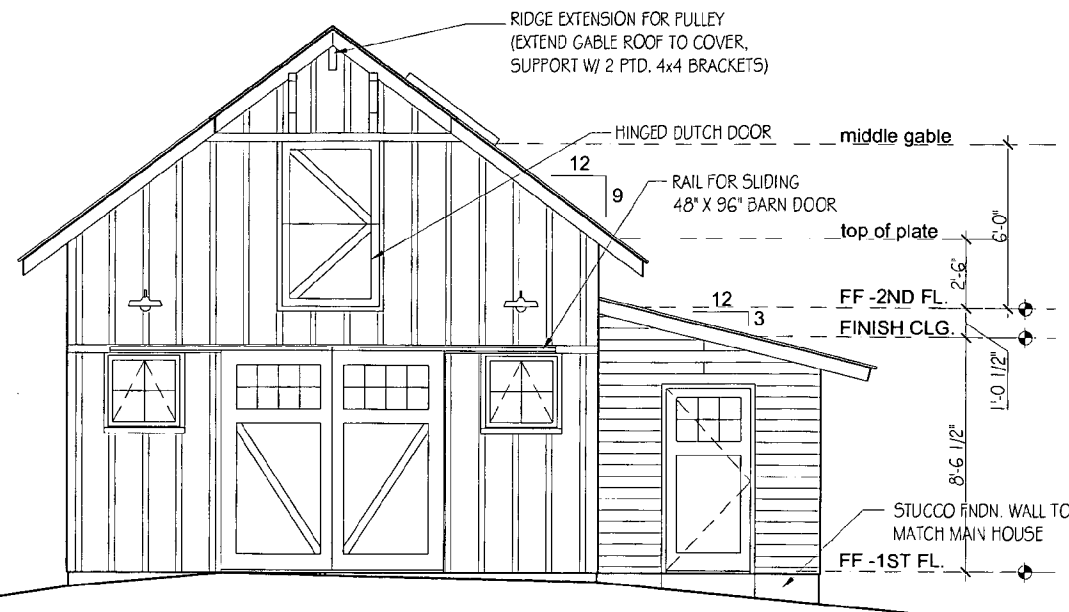
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Montgomery County

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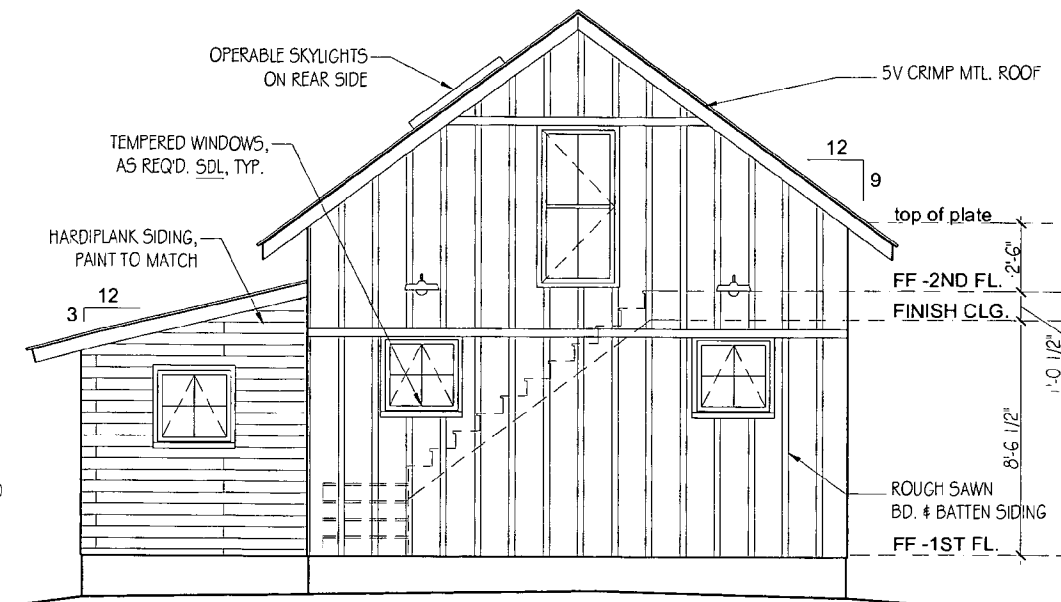
ELEVATIONS

Dates:

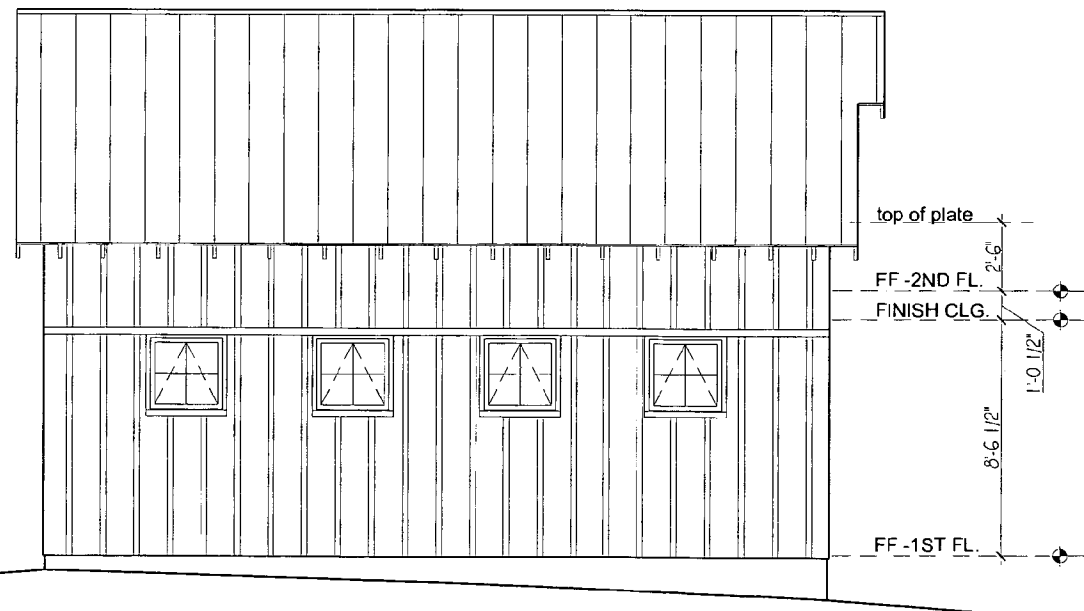
PERMIT SET 1 AUG 07
TODAY'S DATE 1 AUG 07



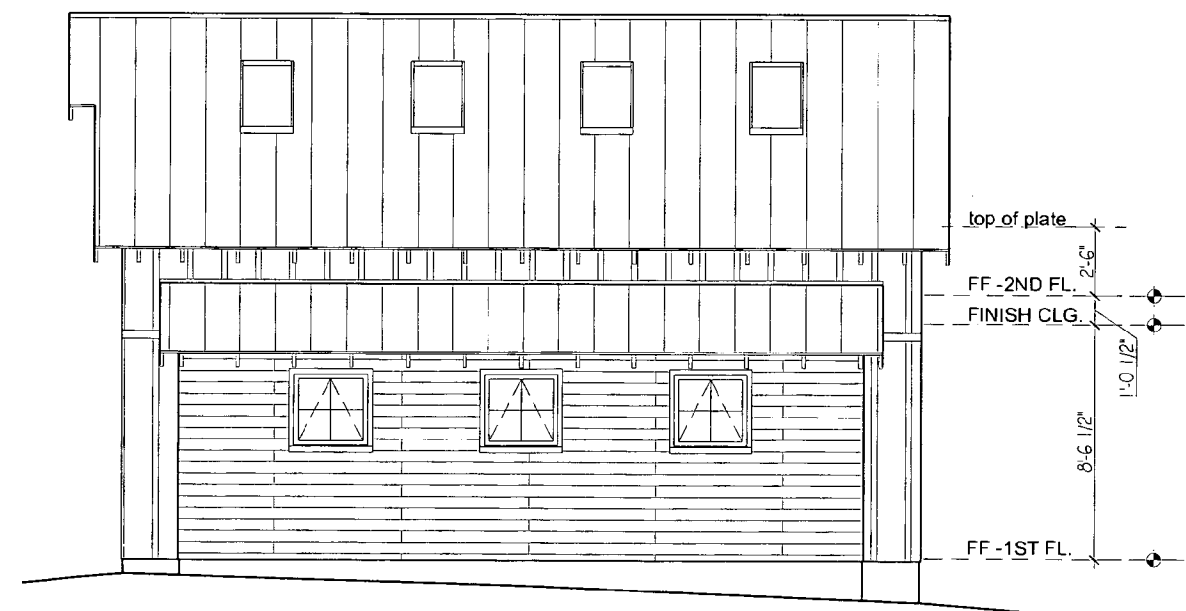
1 SOUTH ELEVATION (FACING MAIN HOUSE)
A3 SCALE: 1/4"=1'-0"



2 NORTH ELEVATION (FACING WOODS)
A3 SCALE: 1/4"=1'-0"

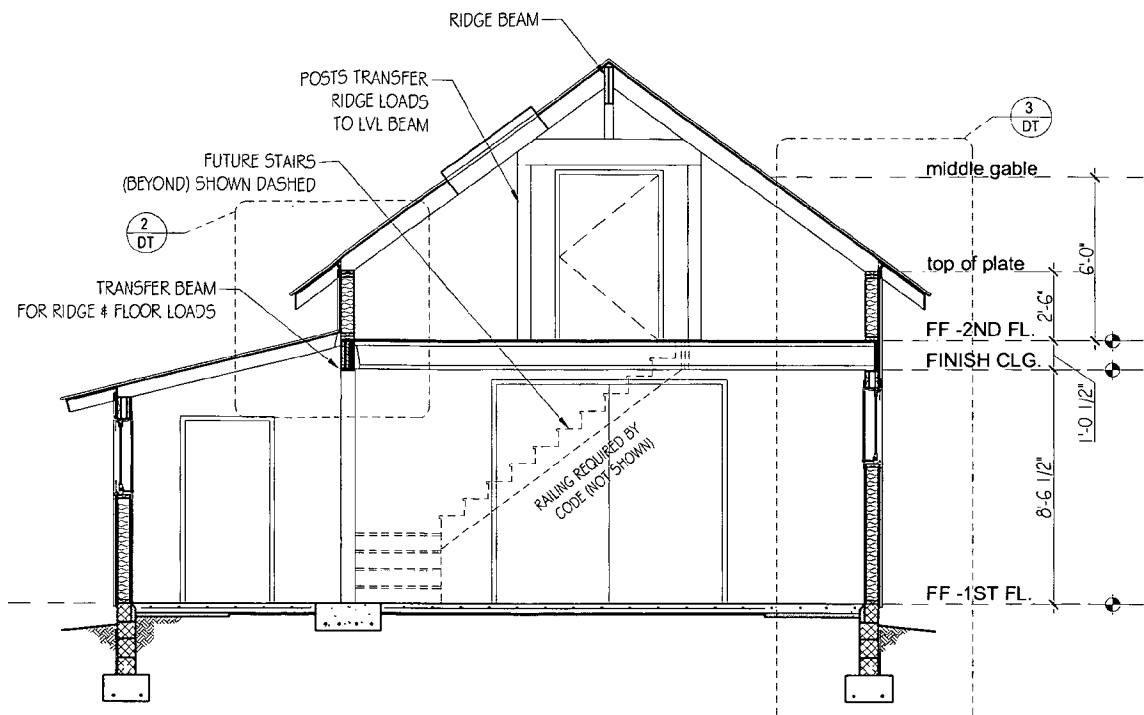


3 WEST ELEVATION (FRONT)
A3 SCALE: 1/4"=1'-0"

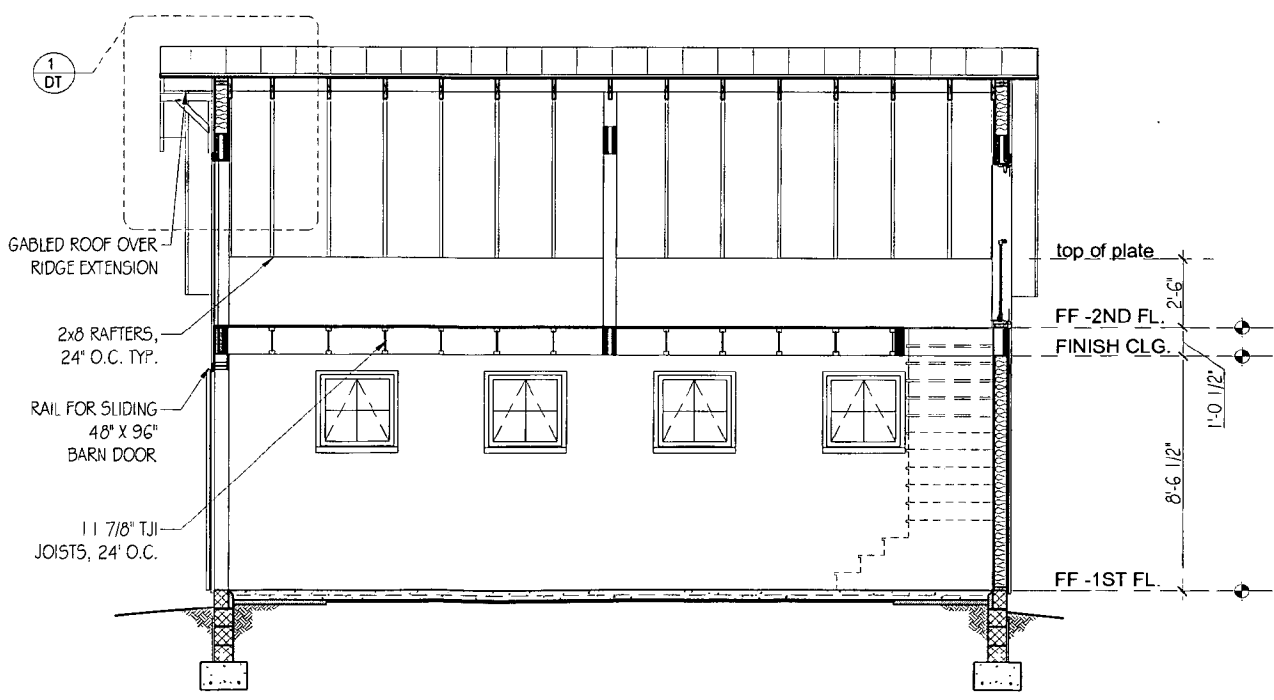


4 EAST ELEVATION (FACING REAR WOODS)
A3 SCALE: 1/4"=1'-0"

PERMIT SET- 1 AUG 07



1 SECTION A-A
A4 SCALE: 1/4" = 1'-0"



2 SECTION B-B
A4 SCALE: 1/4" = 1'-0"

MICHE BOOZ
ARCHITECT
A4
208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
**SCANLON
WORKSHOP**
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:
SECTIONS

Dates:
PERMIT SET 1 AUG 07
TODAY'S DATE 1 AUG 07

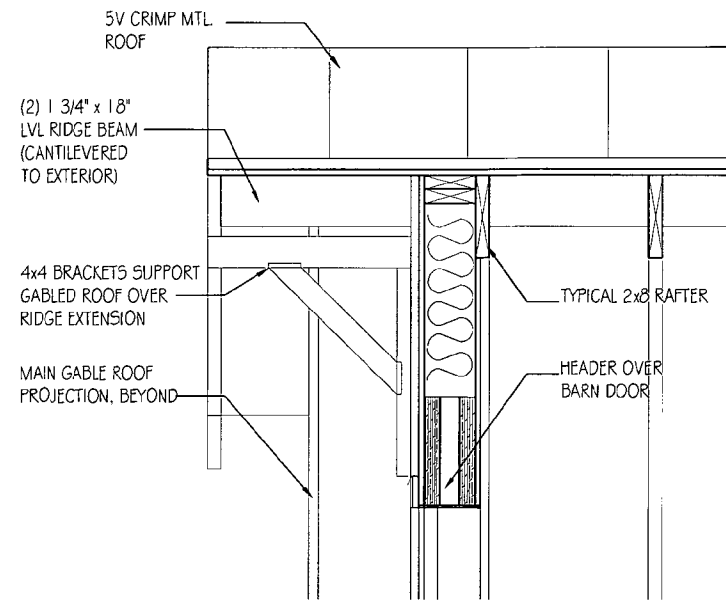
PERMIT SET - 1 AUG 07

MICHE BOOZ
 ARCHITECT
 DT
 208 Market St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

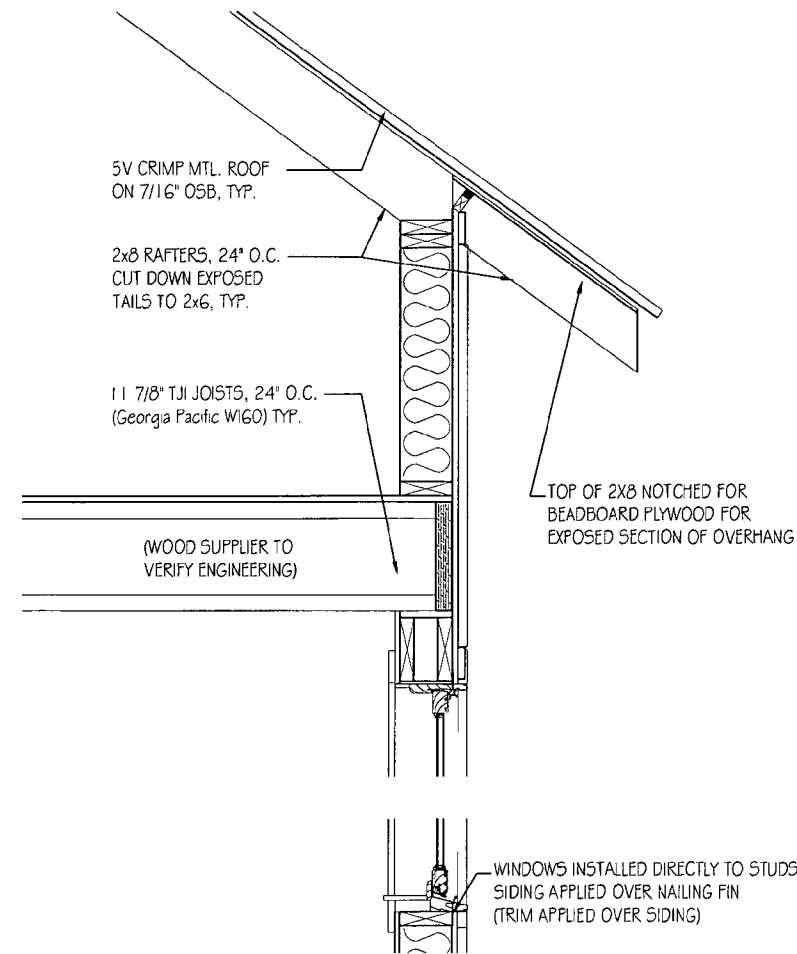
Project:
**SCANLON
 WORKSHOP**
 203 Market Street
 Brookeville, Maryland 20833
 Montgomery County

Drawings:
 WALL SECTION
 DETAILS

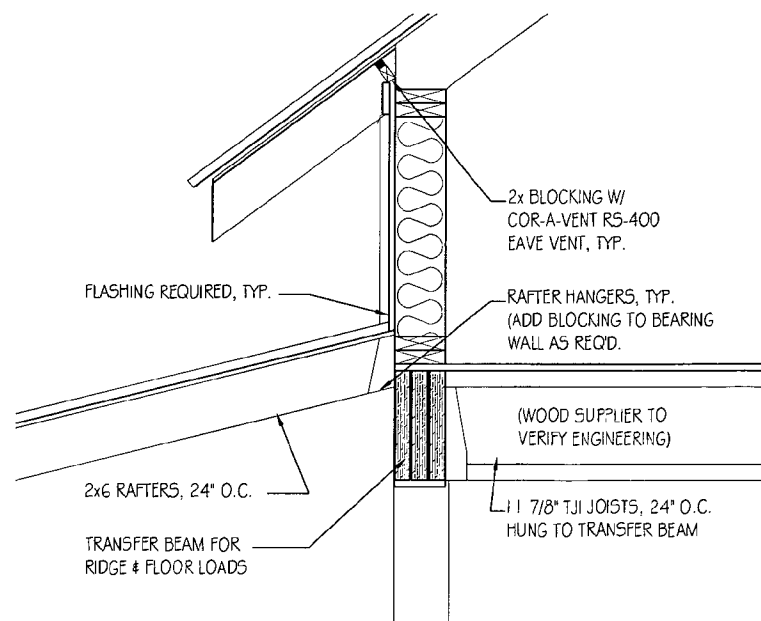
Dates:
 PERMIT SET 1 AUG 07
 TODAY'S DATE 1 AUG 07



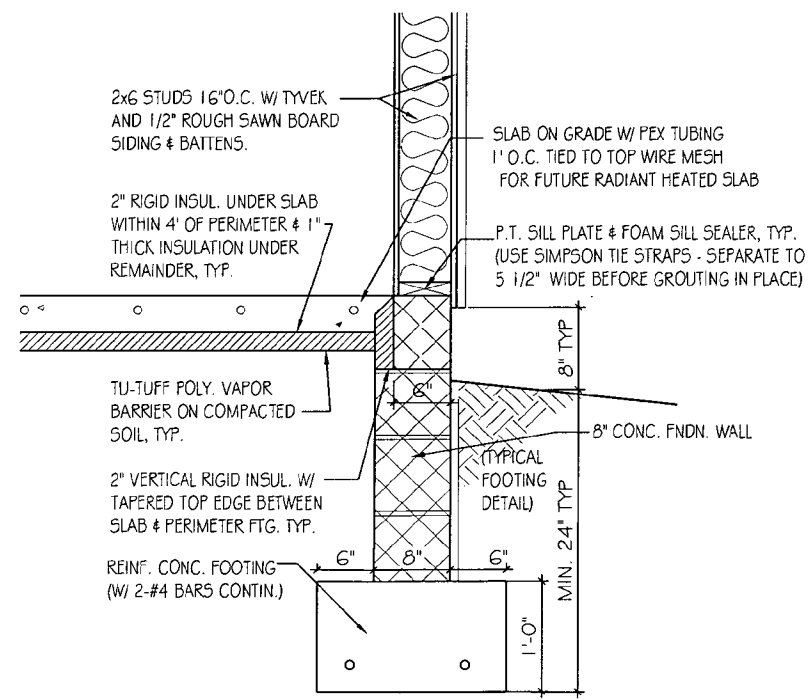
1 GABLE RIDGE DETAIL
 DT SCALE: 1"=1'-0"



3 EAVE WALL DETAIL
 DT SCALE: 1"=1'-0"



2 SHED CONNECTION DETAIL
 DT SCALE: 1"=1'-0"



PERMIT SET- 1 AUG 07

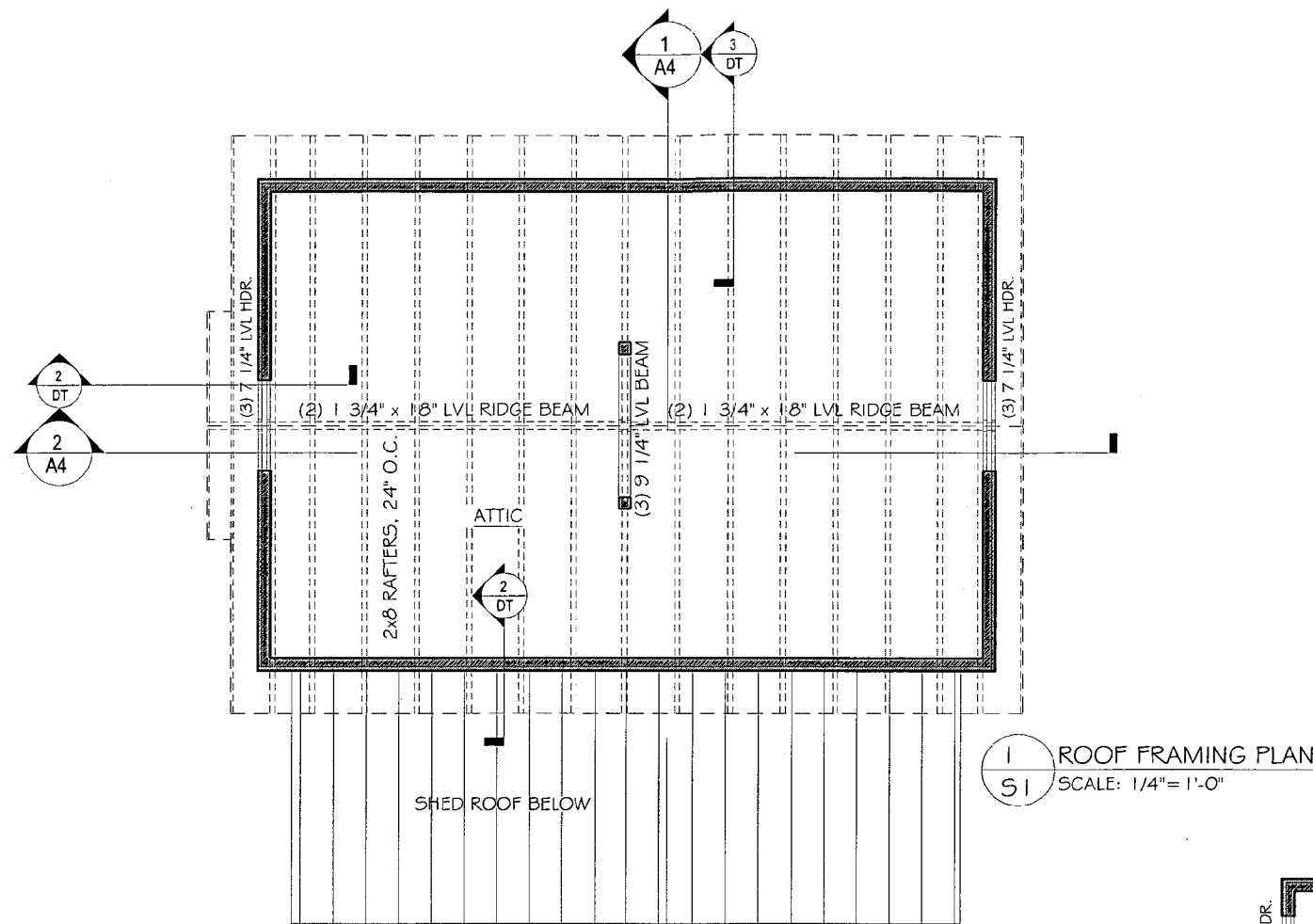
LUMBER PACKAGE TO BE
ENGINEERED BY SUPPLIER

MICHE BOOZ
ARCHITECT
S1
208 Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

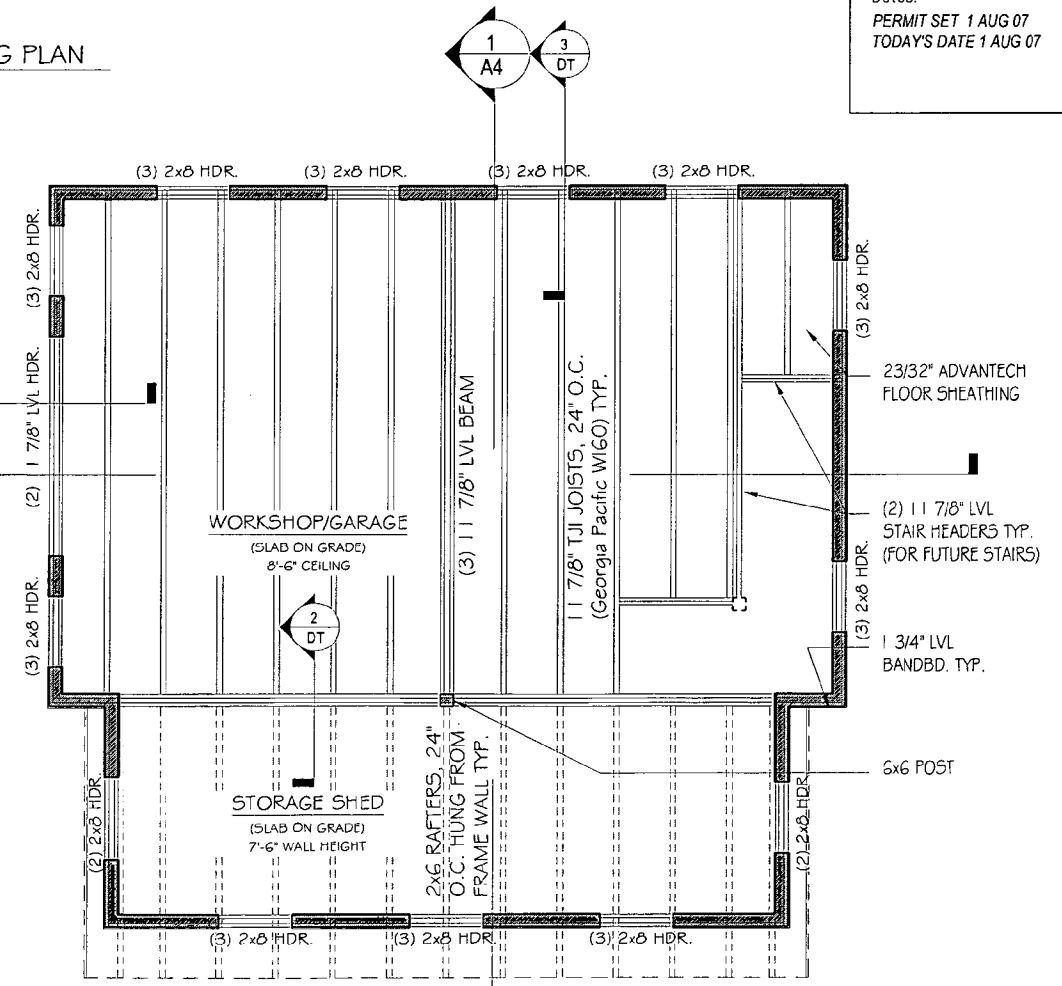
Project:
**SCANLON
WORKSHOP**
203 Market Street
Brookville, Maryland 20833
Montgomery County

Drawings:
NEW PLANS

Dates:
PERMIT SET 1 AUG 07
TODAY'S DATE 1 AUG 07



1 ROOF FRAMING PLAN
S1 SCALE: 1/4" = 1'-0"



2 2ND FLOOR FRAMING PLAN
S1 SCALE: 1/4" = 1'-0"

- NOTES:
- FOUNDATION WALLS
 - RIGID INSUL. FURRING
 - NEW FRAME WALLS
- ALL NEW FRAMING TO BE 2 X 6'S, UNLESS NOTED OTHERWISE.
 - ALL INTERIOR DIMENSIONS TO DRYWALL OR MASONRY, U.N.O.
 - ALL EXTERIOR DIMENSIONS TO FRAMING OR MASONRY, U.N.O.
 - VERIFY ALL DIMS. IN FIELD.

PERMIT SET- 1 AUG 07



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

August 18, 2005

Mr. Reggie Jetter
Department of Permitting Services
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166

Re: Historic Area Work Permit # 372691
203 Market Street, Brookeville
New Construction in the *Brookeville Master Plan Historic District*

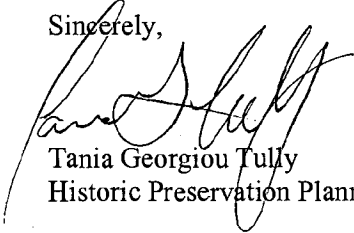
Dear Mr. Jetter:

I am writing regarding proposed changes to the previously approved HAWP (HPC# 23/65-05A). The Montgomery County Historic Preservation Commission (HPC), at the August 17, 2005 HPC meeting, has approved the following changes to the design of the new house and site plan:

- *Location on site*
- *Rafter tail design*
- *Addition of gutters and downspouts*
- *Chimney material change to brick*
- *Railing style*
- *Trim change on 2nd level windows of Southwest facade*
- *Muntin pattern of attic window changed Southwest facade*
- *East (called North in HAWP)*
- *Garage door change*
- *Addition of basement window on Northwest elevation*
- *Removal of basement window on Southeast elevation*
- *Lowering of attic window on Southeast elevation*

Please utilize this letter as formal approval for these revisions. All other proposed modifications must be presented to the HPC through the HAWP process for revision. Thank you for your assistance in this matter. If you have any questions, please do not hesitate to contact staff at 301-563-3400.

Sincerely,


Tania Georgiou Tully
Historic Preservation Planner

cc: Chris and Andrea Scanlon
Miche Booz, Architect



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: February 24, 2005

MEMORANDUM

TO: Chris and Andrea Scanlon (Miche Booz, Architect)
203 Market Street, **Brookeville Historic District**

FROM: Tania Georgiou Tully, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application # 372691

Your Historic Area Work Permit application for new construction, restoration of existing stone structure, construction of new outbuildings, and tree removal was **approved with conditions** by the Historic Preservation Commission at its February 23, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must **schedule a meeting** with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: February 24, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Tania Georgiou Tully, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 372691

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with CONDITIONS**.

1. Materials and design details will be provided to and approved by staff.
2. Windows will be wood with true or simulated divided lights – specifications to be provided to and approved by staff.
3. A tree protection plan will be prepared by the applicant, approved by an M-NCPPC arborist, and implemented prior to any work beginning on the property.
4. Drawings showing the outbuildings sited on the slope of the land will be submitted for staff review prior to completion of construction drawings.
5. Driveway construction will be delayed as long as it is feasible to allow more time for the decision regarding the creation of Race Street to be made.
6. The existing stone structure will be stabilized and repaired to the extent necessary as determined by staff prior to occupancy of the new construction

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Chris and Andrea Scanlon (Miche Booz, Architect)

Address: 203 Market Street, Brookeville

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR ROCKVILLE MD 20850
 246-777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR
 HISTORIC AREA WORK PERMIT

est. s.f. 2000-2500
 est cost \$250,000

Contact Person: MICHE BOOZ
 Daytime Phone No.: (301) 774-6911
 Tax Account No.: 00731780
 Name of Property Owner: CHRIS + ANDREA SCANLON Daytime Phone No.: 301-255-2155
 Address: 212 MARKET ST. BROOKEVILLE MD 20833
Street Number City State Zip Code
 Contractor: NOT SELECTED YET Phone No.: N/A
 Contractor Registration No.: N/A
 Agent for Owner: N/A Daytime Phone No.: N/A

LOCATION OF BUILDING/PREMISE

House Number: 203 Street: MARKET ST.
 Town/City: BROOKEVILLE Nearest Cross Street: RT 97/GEORGIA AVE.
 Lot: N/A Block: N/A Subdivision: 5
 Liber: 558 Folio: 860 Parcel: P336

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
 1B. Construction cost estimate: \$ UNKNOWN
 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: IF AVAILABLE
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: IF AVAILABLE

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 2/1/2005
Signature of owner or authorized agent Date

Approved: v. with conditions For Chairman, Historic Preservation Commission
 Disapproved: _____ Signature: Julia O'Malley Date: 2/23/05
 Application/Permit No: 372691 Date filed: _____ Date Issued: _____

1. WRITTEN DESCRIPTION OF PROJECT

a.) Description of existing structure(s) and environmental setting, including their historical features and significance:

203 Market St. includes a single existing stone structure (approx. 18'x 26') with an 18'x 16' screened porch addition constructed some time after 1976. The existing structure has been modified a number of times over the years and has currently suffering badly from the effects of a lack of maintenance.

b.) General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed project consists of the following items:

Phase I (see attached plans for details)

- **Restoration of Existing Stone Structure** – Exterior work includes removal of existing non-historic screen porch and repairs to the existing cedar shingle roof. The large tree leaning over the North corner of the structure would be removed for both for the safety of the structure and its occupants.
- **Construction of New House** – Construction of a new historically appropriate 2 story, 3 Bedroom house.

Phase II (Construction details will be included under a separate HAWP application)

- **Construction of 2 New Outbuildings** – Construction of small (approx 16' x 18') outbuilding for storage of lawn and garden equipment. Structure will be detailed as a farmer's outbuilding (board and batten exterior, metal or wood shingle roof). Also, the construction of new outbuilding approx 26' x 40' to be used as woodworking hobby shop. Structure will be detailed to look like a traditional barn.

Note Regarding Race Street: Some of the attached plans refer to a road called "Race St. Extension". The Madison House property owners are currently developing plans to subdivide their property and build a house on the rear of their lot. It is anticipated that their proposal will include the public dedication of Race Street as shown on the attached plans. Race St. appears on many early maps of the town at this location, but currently does not exist. Access to the new house or addition at 203 Market St. would be by either extending the existing driveway from Market St. along the NE property line or by constructing a new drive from Race St.

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- ✓ a. the scale, north arrow, and date;
- ✓ b. dimensions of all existing and proposed structures; and
- ✓ c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

✓ **3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 6 1/2" x 11" paper are preferred.

- ✓ a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- ✓ b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

✓ **4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- ✓ a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- ✓ b. Clearly label photographic prints of the resource as viewed from the public right-of-way end of the adjoining properties. All labels should be placed on the front of photographs.

✓ **6. TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

✓ **7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Tully, Tania

From: Scanlon, Chris [cscanlon@davisconstruction.com]
Sent: Thursday, August 11, 2005 9:54 AM
To: Tully, Tania
Subject: RE: SCANLON HOUSE

Hi Tania,

Here are the final site and tree preservation plans for our house at 203 Market St. in Brookeville, MD. I will drop off 4 full size sets of all the drawings for your signature around 12:00pm today. You should have already received 8 1/2"x11" copies of the architectural plans direct from Miche's office.

Let me know if there is anything we can do to help you expedite the final HPC approval so we can proceed with our building permit.

Thanks.

Chris Scanlon

From: Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]
Sent: Thursday, August 04, 2005 5:17 PM
To: Scanlon, Chris
Cc: MICHEBOOZ@aol.com
Subject: RE: SCANLON HOUSE

Chris-

I received the drawings from Miche Booz's office, and even taking into account some fax distortion, the cumulative effect is a change too great for me to approve under the Approval Condition. It still may be approvable at the staff level, but I will need to take this to the Commission on August 17 in order to receive permission to approve the changes at staff level.

In the meantime it would helpful to me to have clean 8 1/2 x 11 copies of the drawings to send to the Commission for review prior to the meeting.

Also, do you have a tree protection plan prepared yet?

I am out of the office tomorrow (Friday), but will be back in on Monday. Give me a call if you have questions.

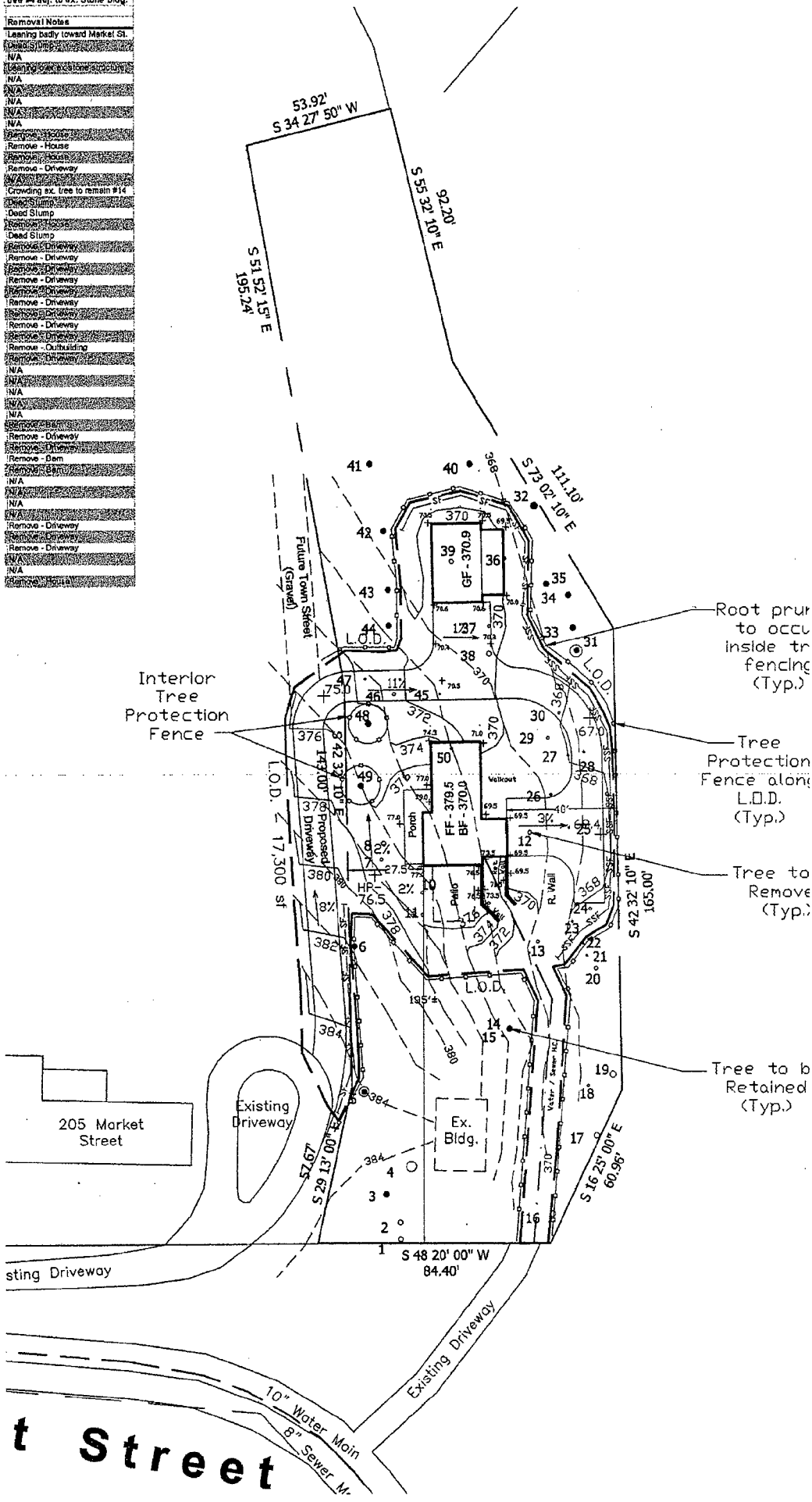
Sincerely,
Tania Tully

Tania Georgiou Tully
Historic Preservation Planner
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, MD 20910
301-563-3400
301-563-3412 (fax)
www.mc-mncppc.org

-----Original Message-----

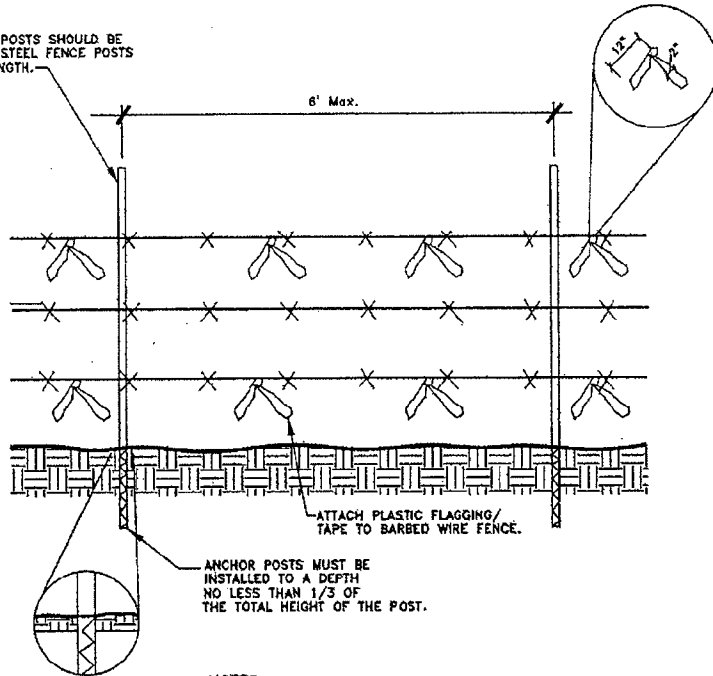
8/11/2005

| |
|---------------------------------|
| tree #4 adj. to ex. Stone bldg. |
| Removal Note |
| Leaning badly toward Market St. |
| N/A |
| Lean toward stone building |
| N/A |
| N/A |
| N/A |
| N/A |
| Remove - House |
| Remove - Outbuilding |
| Remove - Driveway |
| Remove - Driveway |
| Crowding ex. tree to remain #14 |
| Dead Slump |
| Dead Slump |
| Remove - Driveway |
| Remove - Driveway |
| Remove - Driveway |
| Remove - Driveway |
| Remove - Driveway |
| Remove - Driveway |
| Remove - Driveway |
| Remove - Driveway |
| Remove - Outbuilding |
| Remove - Driveway |
| N/A |
| N/A |
| N/A |
| N/A |
| Remove - Driveway |
| Remove - Driveway |
| Remove - Dam |
| Remove - Dam |
| N/A |
| N/A |
| N/A |
| Remove - Driveway |
| Remove - Driveway |
| Remove - Driveway |
| Remove - Driveway |
| N/A |
| N/A |
| Remove - Driveway |



THREE STRAND BARBED WIRE

ANCHOR POSTS SHOULD BE MIN. 2" STEEL FENCE POSTS 6' IN LENGTH.

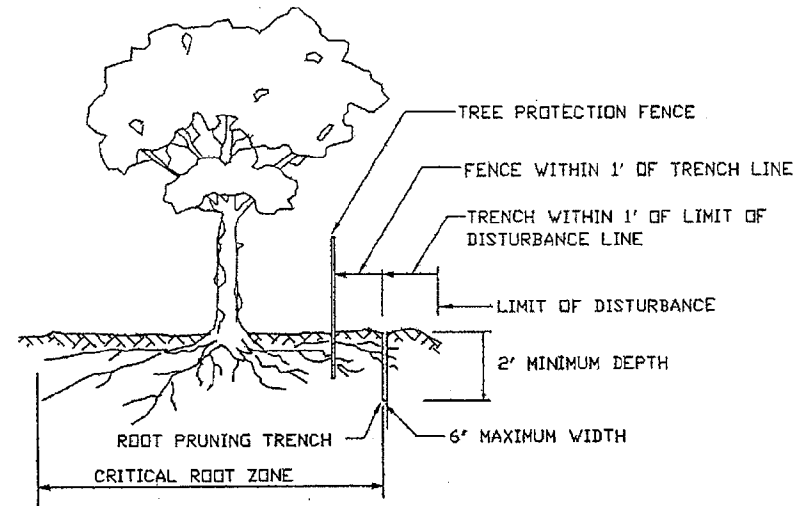


ATTACH PLASTIC FLAGGING/TAPE TO BARBED WIRE FENCE.

ANCHOR POSTS MUST BE INSTALLED TO A DEPTH NO LESS THAN 1/3 OF THE TOTAL HEIGHT OF THE POST.

NOTES:

1. Forest protection device only.
2. Retention Area will be set as part of the review process.
3. Boundaries of Retention Area should be staked and flagged prior to installing device.
4. Avoid root damage when placing anchor posts.
5. Barbed wire should be securely attached to posts.
6. Device should be properly maintained during construction.
7. Protective signage is also required.



NOTES:

1. RETENTION AREAS TO BE ESTABLISHED AS PART OF THE FOREST CONSERVATION PLAN REVIEW PROCESS.
2. BOUNDARIES OF RETENTION AREAS TO BE STAKED, FLAGGED AND/OR FENCED PRIOR TO TRENCHING.
3. EXACT LOCATION OF TRENCH SHOULD BE IDENTIFIED.
4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH SOIL REMOVED OR ORGANIC SOIL.
5. ROOTS SHOULD BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.

ROOT PRUNING

TREE PRESERVATION NOTES:

PRECONSTRUCTION-

- 1) APPLY RAINBOW TREECARE SCIENTIFIC ADVANCEMENTS "CAMBISTAT 2SC TM" PLANT GROWTH REGULATOR BY BASAL DRENCH APPLICATION AND/OR SOIL INJECTION APPLICATION OR SIMILAR PRODUCT.
- 2) IDENTIFY THE LIMITS OF DISTURBANCE AND STAKE IN THE FIELD.
- 3) INSTALL TREE PROTECTION FENCE AND SIGNS AT THE LIMITS OF DISTURBANCE.
- 4) PRUNE TO CLEAR CROWN OF THE DISEASED, CROSSING, WEAK AND DEAD WOOD. ALL PRUNING SHALL BE IN ACCORDANCE WITH THE ANSI 300 PRUNING STANDARDS AND ADHERE TO THE MOST RECENT EDITION OF ANSI Z133.1.
- 5) IN LOCATION DETERMINED ON-SITE, ROOT PRUNE TO THE DEPTH OF EXCAVATION OR 24 INCHES, WHICHEVER IS LESS, APPROXIMATELY SIX INCHES INSIDE THE LIMITS OF DISTURBANCE. ROOT PRUNE BY DIGGING SOIL AWAY WITH A SHOVEL AND CUT THE EXPOSED ROOT WITH A HAND SAW.
- 6) COVER THE AREAS TO BE IMPACTED IN THE CRITICAL ROOT ZONE WITH 10 INCHES OF HARDWOOD MULCH TO GUARD AGAINST SURFACE COMPACTION, AMELIORATE SOIL TEMPERATURES, AND TO CONSERVE SOIL MOISTURE.

DURING CONSTRUCTION-

- 1) WATER INSIDE THE TREE PROTECTION ZONE TO THE DEPTH OF THE ROOT SYSTEM (APPROXIMATELY 6-12 INCHES).
- 2) CONTROL ANY PESTS THAT ARE IDENTIFIED DURING CONSTRUCTION. TREES IMPACTED BY CONSTRUCTION ARE PREDISPOSED TO INSECT DISEASES.
- 3) MAINTAIN THE TREE PROTECTION ZONE.

POST CONSTRUCTION -

- 1) EVALUATE TREE CONDITIONS, MAKE RECOMMENDATIONS FOR REMEDIAL TREATMENTS, IF NECESSARY, SUCH AS IRRIGATION AND PRUNING.
- 2) IRRIGATION : THE AMOUNT OF WATER APPLIED MUST BE APPROPRIATE FOR THE INDIVIDUAL TREE SPECIES.
- 3) PRUNING MAY BE REQUIRED TO REMOVE STRUCTURALLY WEAK BRANCHES OR TO THIN THE CROWN TO REDUCE THE AMOUNT OF CANOPY EXPOSED TO THE WIND.

***TREE HEALTH, PRUNING AND STRESS REDUCTION MEASURES SHOULD BE CONFIRMED BY A CERTIFIED ARBORIST AT TIME OF CONSTRUCTION.**

203 Market St. Brookeville, MD - Tree Survey

Notes: The new house / outbuilding locations were selected to minimize the impact on several large Ash trees along the front property line and the 55in dia. Ash (#35) at the rear corner of the property line.

The trees proposed to be removed fall under one of the following conditions:

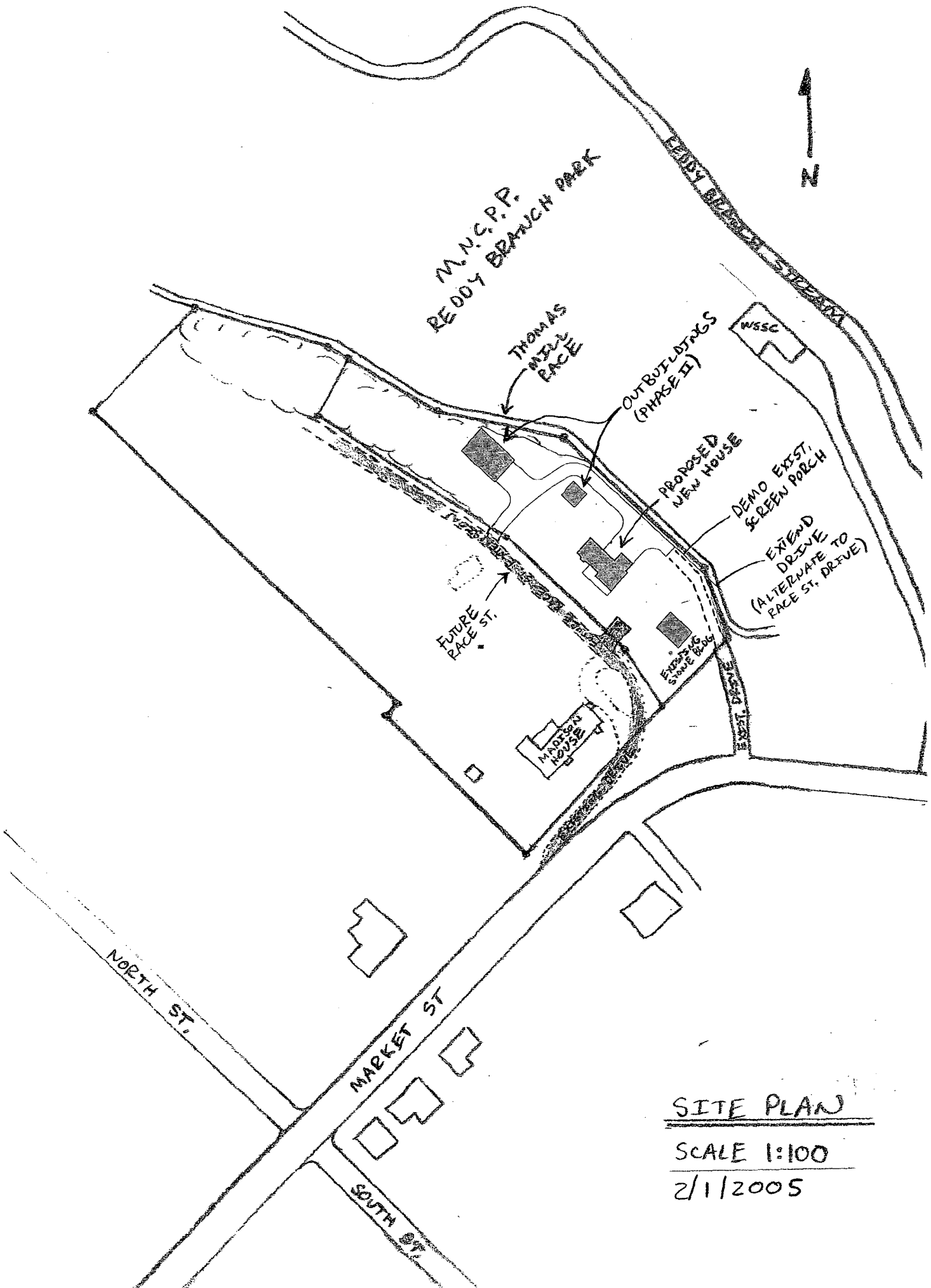
1. Recent invasive growth of Black Locust in yard from the surrounding woods.
2. Dead or badly damaged trees
3. Trees endangering structures
4. Trees too close or in the footprint of new construction

Note: Trees to be removed by owner prior to construction. Contractor responsible for removing and disposing all stumps (except tree #4 adj. to ex. Stone bldg).

| # | Dia. (in.) | Species | Action | Removal Condition | Removal Notes |
|----|------------|----------------|--------------------|--|----------------------------------|
| 1 | 20 in. | Black Cherry | Remove | Dead or badly damaged trees | Leaning badly toward Market St. |
| 2 | 20 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Slump |
| 3 | 11 in. | Black Locust | Existing to Remain | N/A | N/A |
| 4 | 43 in. | White Ash | Remove | Trees endangering structures | Leaning over ex. stone structure |
| 5 | 41 in. | White Ash | Existing to Remain | N/A | N/A |
| 6 | 17 in. | White Ash | Existing to Remain | N/A | N/A |
| 7 | 13 in. | White Ash | Remove | Trees too close or in the footprint of new construction | N/A |
| 8 | 17 in. | White Ash | Remove | Trees too close or in the footprint of new construction | N/A |
| 9 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 10 | 2 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods | Remove - House |
| 11 | 13 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - House |
| 12 | 6 in. | White Ash | Remove | Trees too close or in the footprint of new construction | Remove - House |
| 13 | 14 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 14 | 20 in. | White Ash | Existing to Remain | N/A | N/A |
| 15 | 10 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Crowding ex. tree to remain #14 |
| 16 | 25 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Slump |
| 17 | 25 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Slump |
| 18 | 0 in. | White Ash | Remove | Trees too close or in the footprint of new construction | Remove - House |
| 19 | 27 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Slump |
| 20 | 8 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods | Remove - Driveway |
| 21 | 7 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 22 | 6 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods | Remove - Driveway |
| 23 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 24 | 12 in. | Black Cherry | Remove | Trees too close or in the footprint of new construction | Remove - Driveway |
| 25 | 8 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 26 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods | Remove - Driveway |
| 27 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 28 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods | Remove - Driveway |
| 29 | 11 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Outbuilding |
| 30 | 0 in. | Black Cherry | Remove | Trees too close or in the footprint of new construction | Remove - Driveway |
| 31 | 55 in. | White Ash | Existing to Remain | N/A | N/A |
| 32 | 27 in. | Tulip Poplar | Existing to Remain | N/A | N/A |
| 33 | 21 in. | White Ash | Existing to Remain | N/A | N/A |
| 34 | 9 in. | American Beech | Existing to Remain | N/A | N/A |
| 35 | 22 in. | Black Cherry | Existing to Remain | N/A | N/A |
| 36 | 0 in. | Black Cherry | Remove | Dead or badly damaged trees | Remove - Barn |
| 37 | 11 in. | Black Cherry | Remove | Dead or badly damaged trees | Remove - Driveway |
| 38 | 19 in. | Black Cherry | Remove | Dead or badly damaged trees | Remove - Driveway |
| 39 | 16 in. | Black Cherry | Remove | Trees too close or in the footprint of new construction | Remove - Barn |
| 40 | 6 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods | Remove - Barn |
| 41 | 13 in. | American Beech | Existing to Remain | N/A | N/A |
| 42 | 6 in. | American Beech | Existing to Remain | N/A | N/A |
| 43 | 22 in. | White Ash | Existing to Remain | N/A | N/A |
| 44 | 11 in. | White Ash | Existing to Remain | N/A | N/A |
| 45 | 8 in. | White Ash | Remove | Trees too close or in the footprint of new construction | Remove - Driveway |
| 46 | 13 in. | White Ash | Remove | Trees too close or in the footprint of new construction | Remove - Driveway |
| 47 | 8 in. | White Ash | Remove | Trees too close or in the footprint of new construction | Remove - Driveway |
| 48 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 49 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 50 | 10 in. | Black Locust | Remove | Within footprint | Remove - House |

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

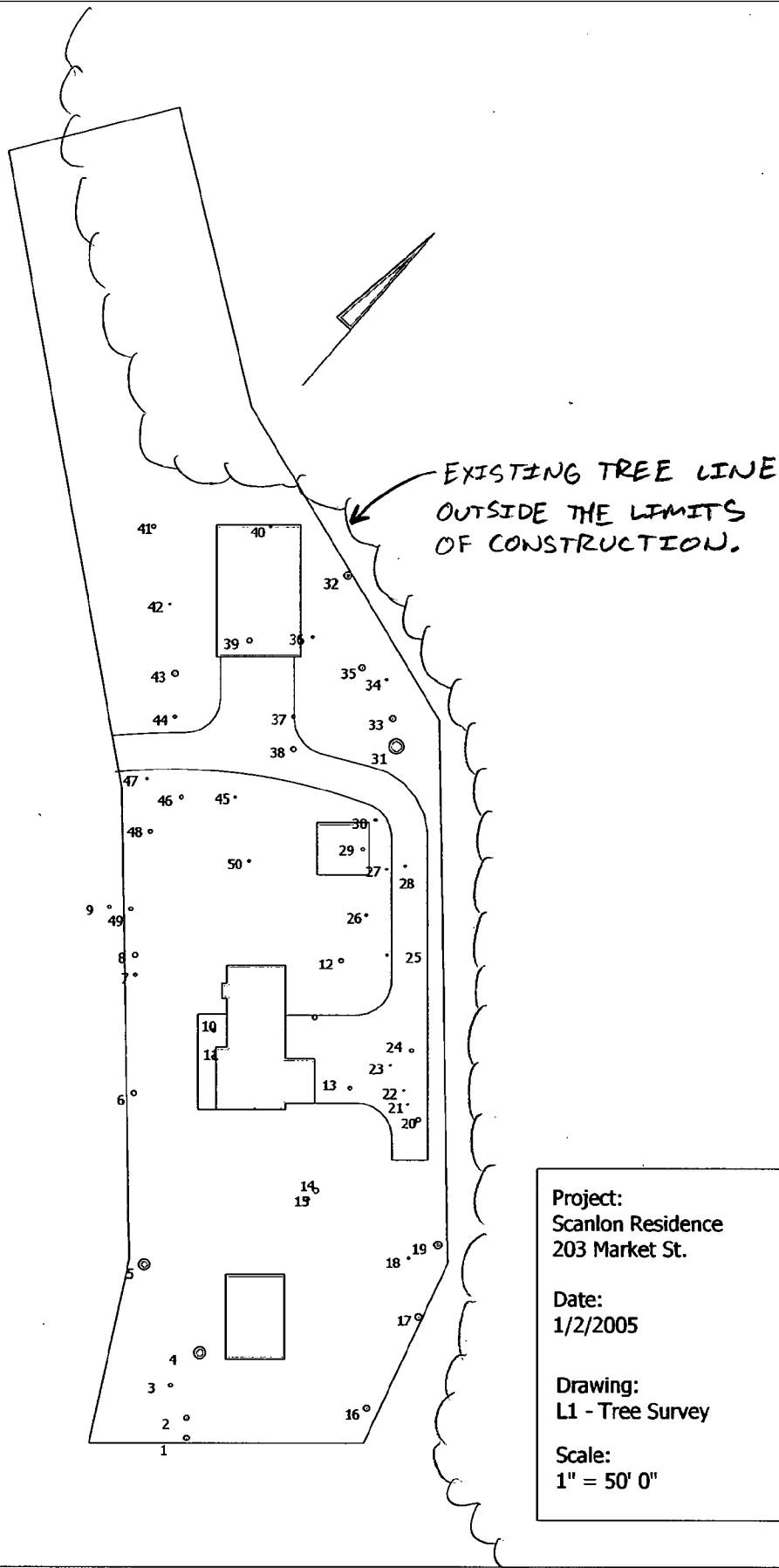
| | |
|--|---|
| <p>Owner's mailing address CHRIS + ANDREA SCANLON 212 MARKET ST. BROOKEVILLE, MD 20833</p> | <p>Owner's Agent's mailing address MICHE BOOZ 208 MARKET ST. BROOKEVILLE, MD 20833</p> |
| <p align="center">Adjacent and confronting Property Owners mailing addresses</p> | |
| <p>RICHARD + DIANE ALLAN 205 MARKET ST. BROOKEVILLE, MD 20833</p> | <p>THE MARYLAND NATIONAL CAPITAL PARK + PLANNING COMMISSION 8787 GEORGIA AVE. SILVER SPRING, MD 20910</p> |
| <p>SCOTT PENLAND + CONNIE ANGIULI 200 MARKET ST. BROOKEVILLE, MD 20833</p> | |
| <p>SCOTT PENLAND + CONNIE ANGIULI 198 MARKET ST. BROOKEVILLE, MD 20833</p> | |



SITE PLAN

SCALE 1:100

2/1/2005



Project:
 Scanlon Residence
 203 Market St.

 Date:
 1/2/2005

 Drawing:
 L1 - Tree Survey

 Scale:
 1" = 50' 0"

203 Market St. Brookeville, MD - Tree Survey

Notes: The new house / outbuilding locations were selected to minimize the impact on several large Ash trees along the front property line and the 55in dia. Ash (#35) at the rear corner of the property line.

The trees proposed to be removed fall under one of the following conditions:

1. Recent invasive growth of Black Locust in yard from the surrounding woods.
2. Dead or badly damaged trees
3. Trees endangering structures
4. Trees too close or in the footprint of new construction

| # | Dia. (in.) | Species | Action | Removal Condition | Removal Notes |
|----|------------|----------------|--------------------|--|---------------------------------|
| 1 | 20 in. | Black Cherry | Remove | Dead or badly damaged trees | Leaning badly toward Market St. |
| 2 | 20 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Stump |
| 3 | 11 in. | Black Locust | Existing to Remain | N/A | N/A |
| 4 | 43 in. | White Ash | Remove | Trees endangering structures | Leaning over ex.stone structure |
| 5 | 41 in. | White Ash | Existing to Remain | N/A | N/A |
| 6 | 17 in. | White Ash | Existing to Remain | N/A | N/A |
| 7 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 8 | 17 in. | White Ash | Existing to Remain | N/A | N/A |
| 9 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 10 | 12 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - House |
| 11 | 13 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - House |
| 12 | 16 in. | White Ash | Remove | Trees too close or in the footprint of new construction | Remove - House |
| 13 | 14 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 14 | 20 in. | White Ash | Existing to Remain | N/A | N/A |
| 15 | 10 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Crowding ex. tree to remain #14 |
| 16 | 25 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Stump |
| 17 | 25 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Stump |
| 18 | 10 in. | White Ash | Remove | Trees too close or in the footprint of new construction | Remove - House |
| 19 | 27 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Stump |
| 20 | 8 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 21 | 7 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 22 | 6 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 23 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 24 | 12 in. | Black Cherry | Remove | Trees too close or in the footprint of new construction | Remove - Driveway |
| 25 | 8 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 26 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 27 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 28 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 29 | 11 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Outbuilding |
| 30 | 10 in. | Black Cherry | Remove | Trees too close or in the footprint of new construction | Remove - Driveway |
| 31 | 55 in. | White Ash | Existing to Remain | N/A | N/A |
| 32 | 27 in. | Tulip Poplar | Existing to Remain | N/A | N/A |
| 33 | 21 in. | White Ash | Existing to Remain | N/A | N/A |
| 34 | 9 in. | American Beech | Existing to Remain | N/A | N/A |

| # | Dia. (in.) | Species | Action | Removal Condition | Removal Notes |
|----|------------|----------------|--------------------|--|-------------------|
| 35 | 22 in. | Black Cherry | Existing to Remain | N/A | N/A |
| 36 | 10 in. | Black Cherry | Remove | Dead or badly damaged trees | Remove - Barn |
| 37 | 11 in. | Black Cherry | Remove | Dead or badly damaged trees | Remove - Driveway |
| 38 | 19 in. | Black Cherry | Remove | Dead or badly damaged trees | Remove - Driveway |
| 39 | 18 in. | Black Cherry | Remove | Trees too close or in the footprint of new construction | Remove - Barn |
| 40 | 8 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Barn |
| 41 | 13 in. | American Beech | Existing to Remain | N/A | N/A |
| 42 | 6 in. | American Beech | Existing to Remain | N/A | N/A |
| 43 | 22 in. | White Ash | Existing to Remain | N/A | N/A |
| 44 | 11 in. | White Ash | Existing to Remain | N/A | N/A |
| 45 | 8 in. | White Ash | Existing to Remain | N/A | N/A |
| 46 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 47 | 8 in. | White Ash | Existing to Remain | N/A | N/A |
| 48 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 49 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 50 | 10 in. | Black Locust | Existing to Remain | N/A | N/A |

MICHE BOOZ

ARCHITECT

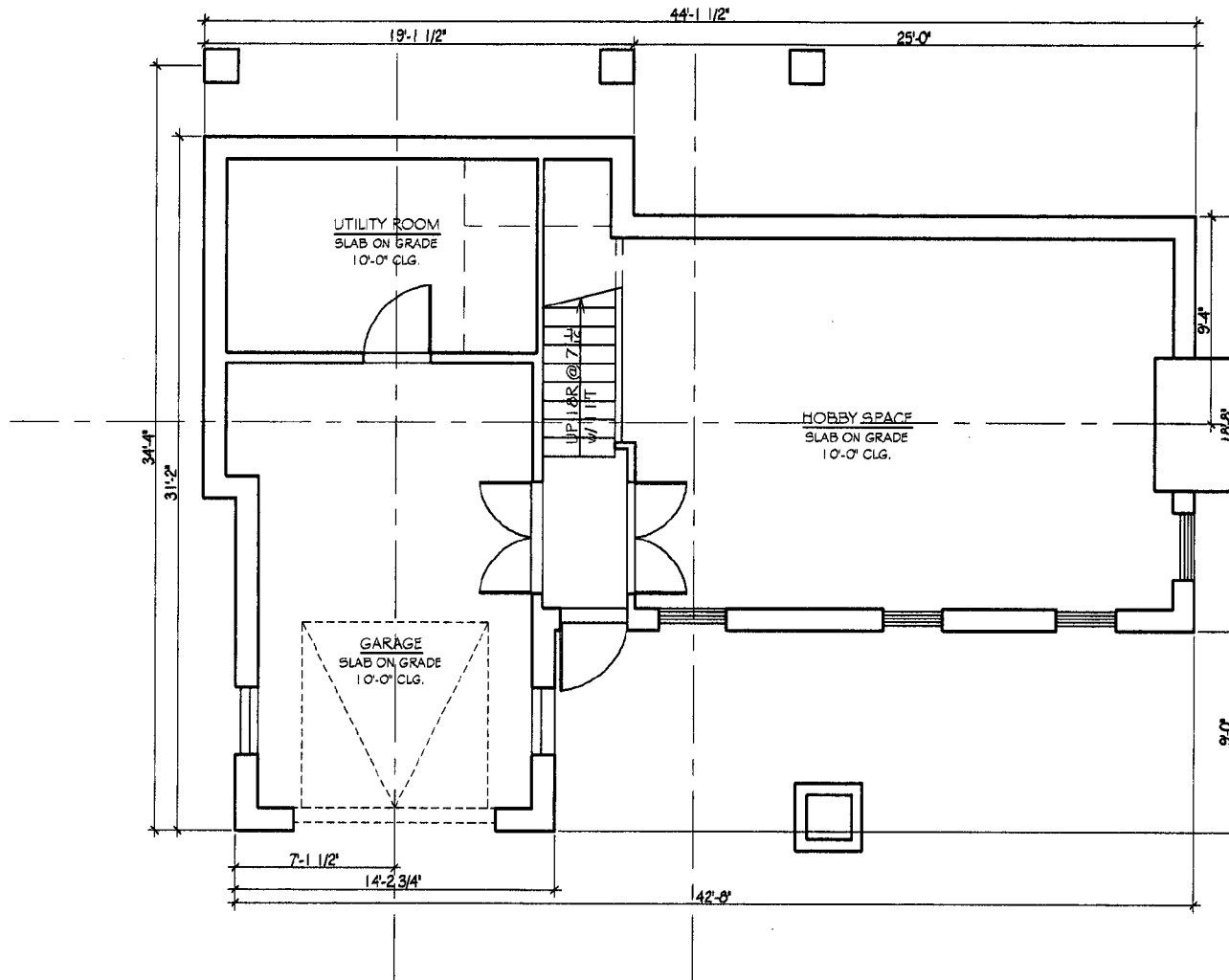
A1

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

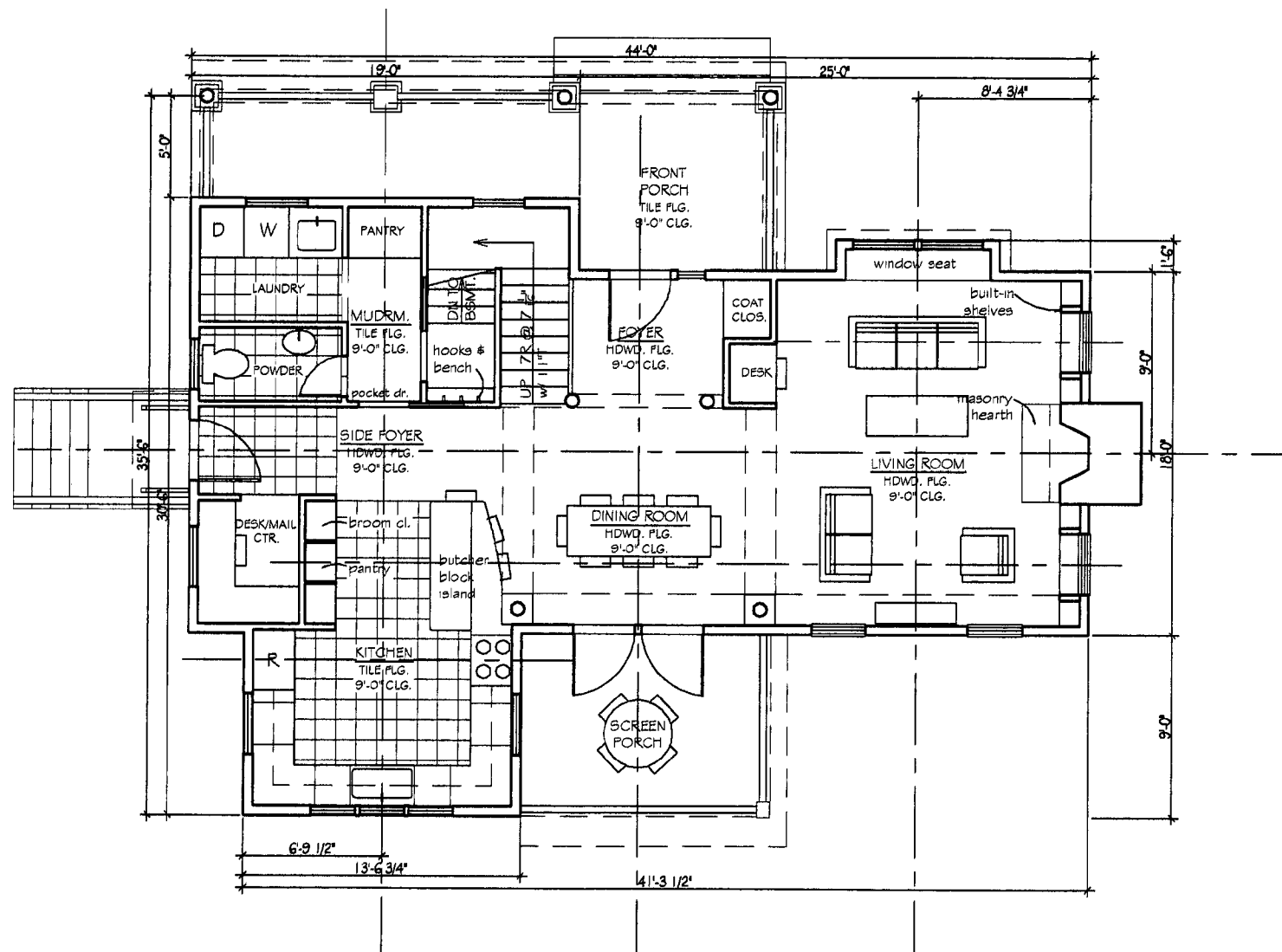
Dates:
TODAY'S DATE 2 FEB 05

Drawings:
PLANS



1 BASEMENT PLAN
A1 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 2 FEBRUARY 05



MICHE BOOZ
 ARCHITECT
 A2
 208 / Market St
 Brookeville
 Maryland 20833
 (301) 774 8911
 fax: 774 1908

Project:
SCANLON HOUSE
 Race Street
 Brookeville, Maryland
 Montgomery County

Dates:
 TODAY'S DATE 2 FEB 05

Drawings:
 PLANS

1
A2 1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 2 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A3

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

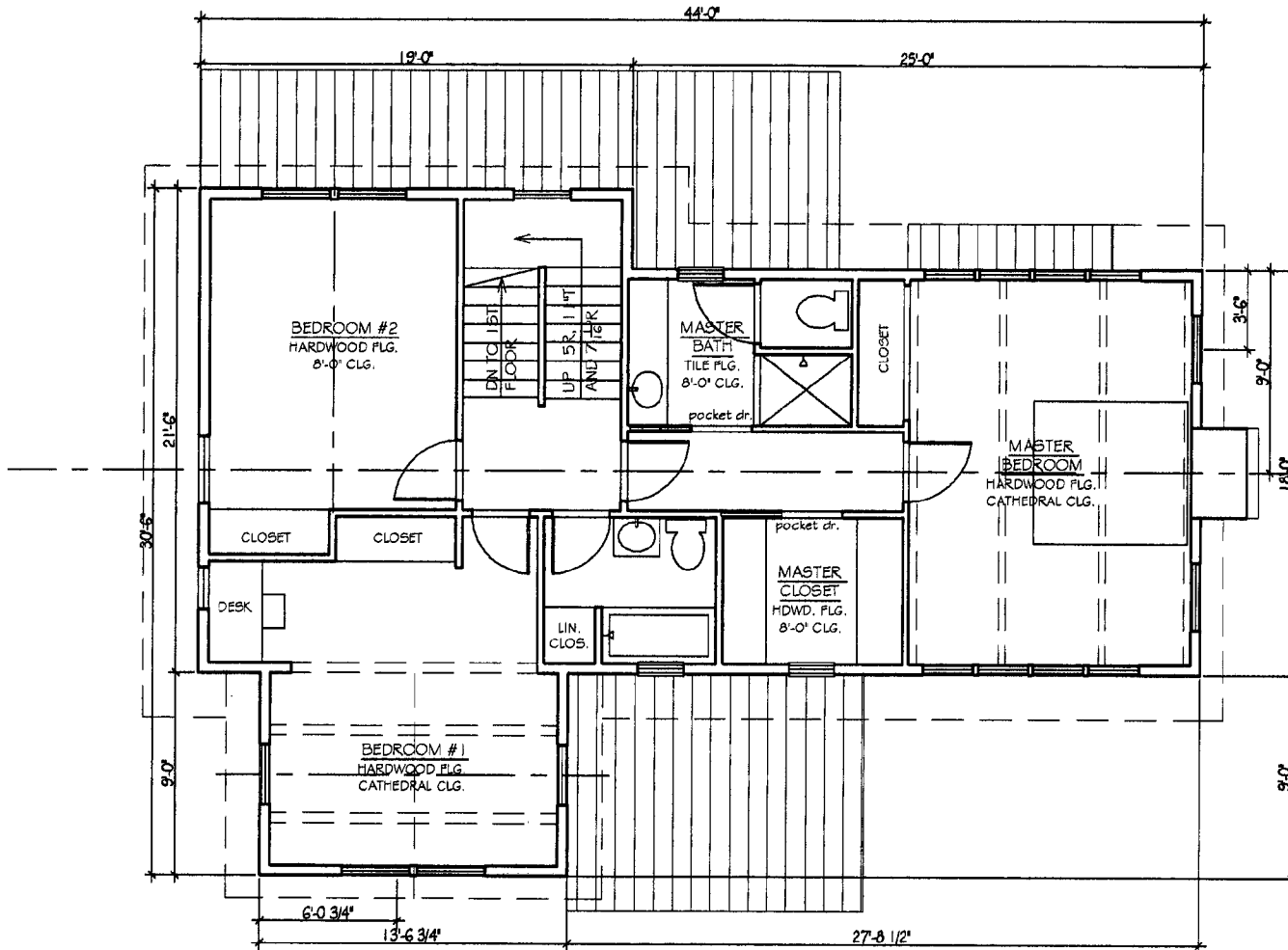
Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

TODAY'S DATE 2 FEB 05

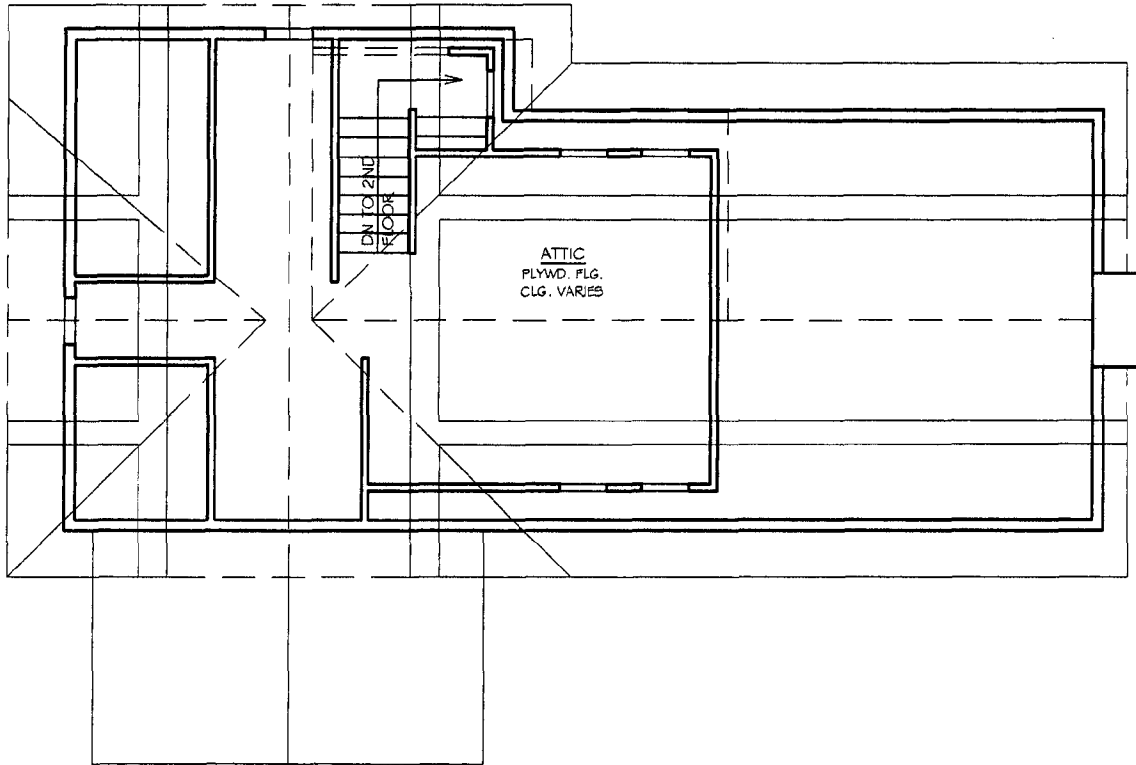
Drawings:

PLANS



1
A3 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 2 FEBRUARY 05



MICHE BOOZ

ARCHITECT

A4

208 Market St
Brookeville
Maryland 20833
(301)774 8911
fax: 774 1908

Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

TODAY'S DATE 2 FEB 05

Drawings:

PLANS

1 ATTIC FLOOR PLAN
A4 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 2 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A5

208 Market St
Brookeville
Maryland 20833
(301)774 8911
fax: 774 1908

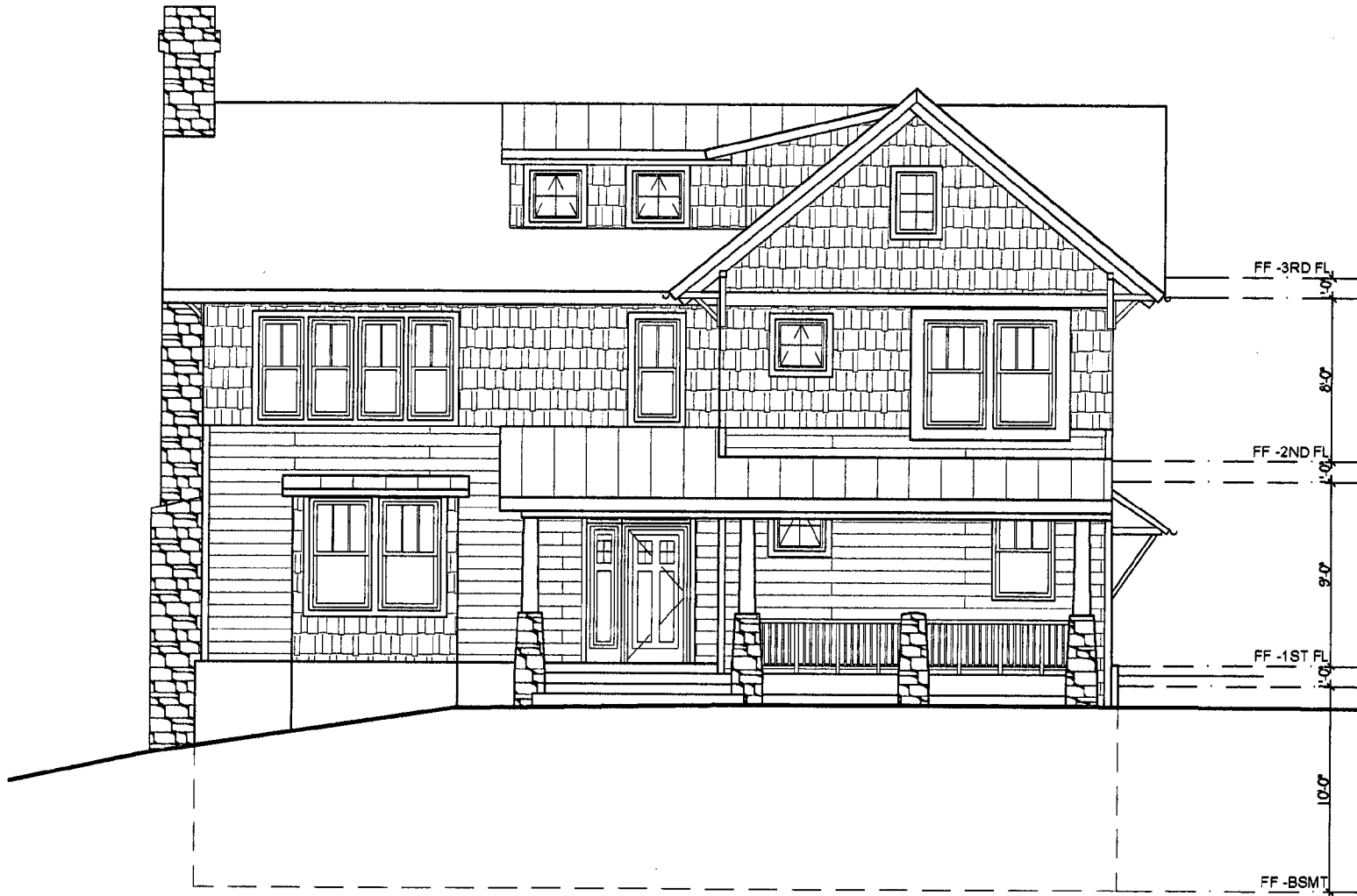
Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

TODAYS DATE 2 FEB 05

Drawings:

ELEVATIONS



1 SOUTH ELEVATION
A5 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 2 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A6

208 Market St
Brookeville
Maryland 20833
(301)774 8911
fax: 774 1908

Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:
TODAY'S DATE 2 FEB 05

Drawings:
ELEVATIONS



1 NORTH ELEVATION
A6 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 2 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A7

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

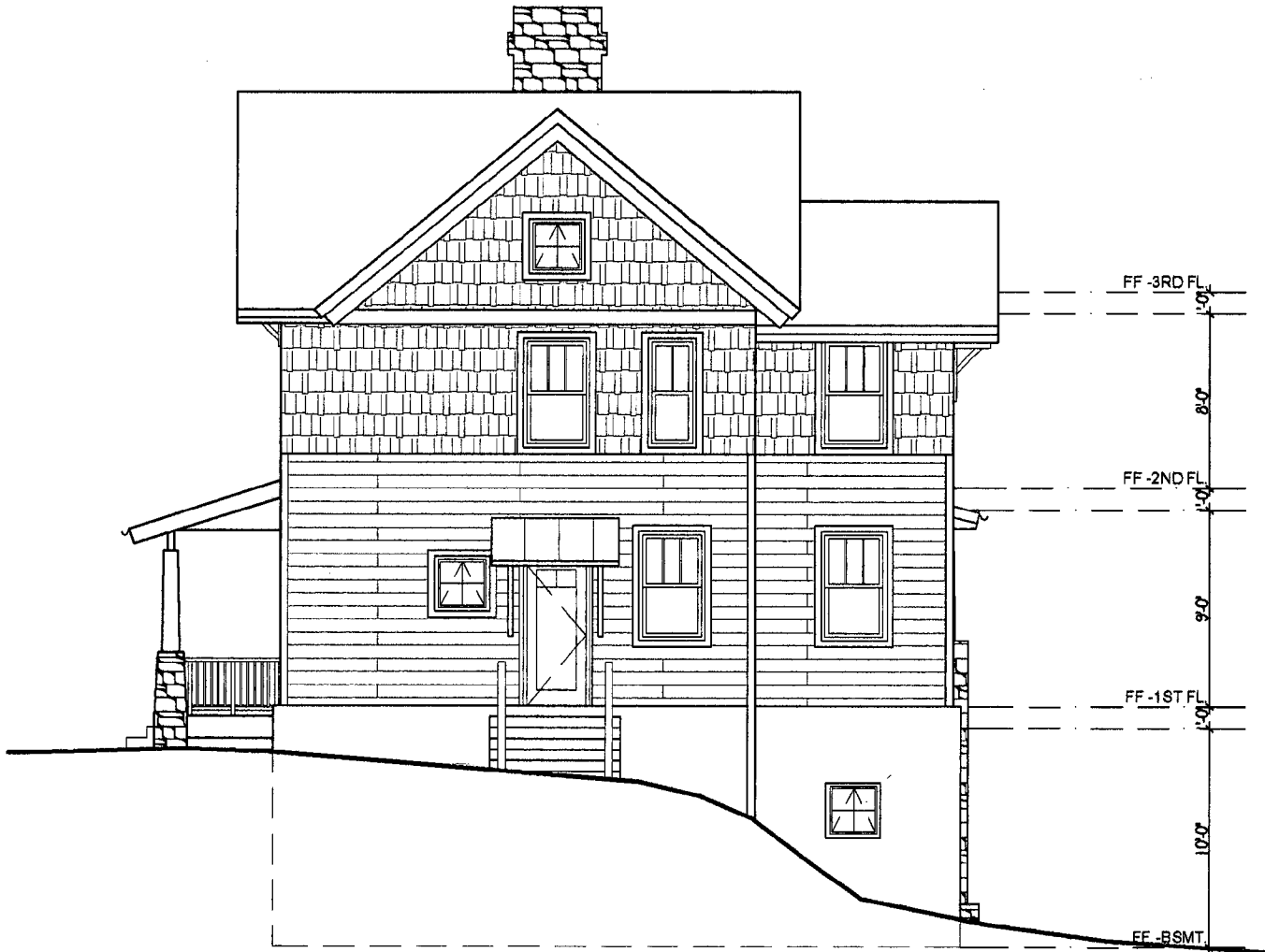
Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

TODAY'S DATE 2 FEB 05

Drawings:

ELEVATIONS



1 EAST ELEVATION
A7 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 2 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A8

208 Market St
Brookeville
Maryland 20833
(301)774 8911
fax: 774 1908

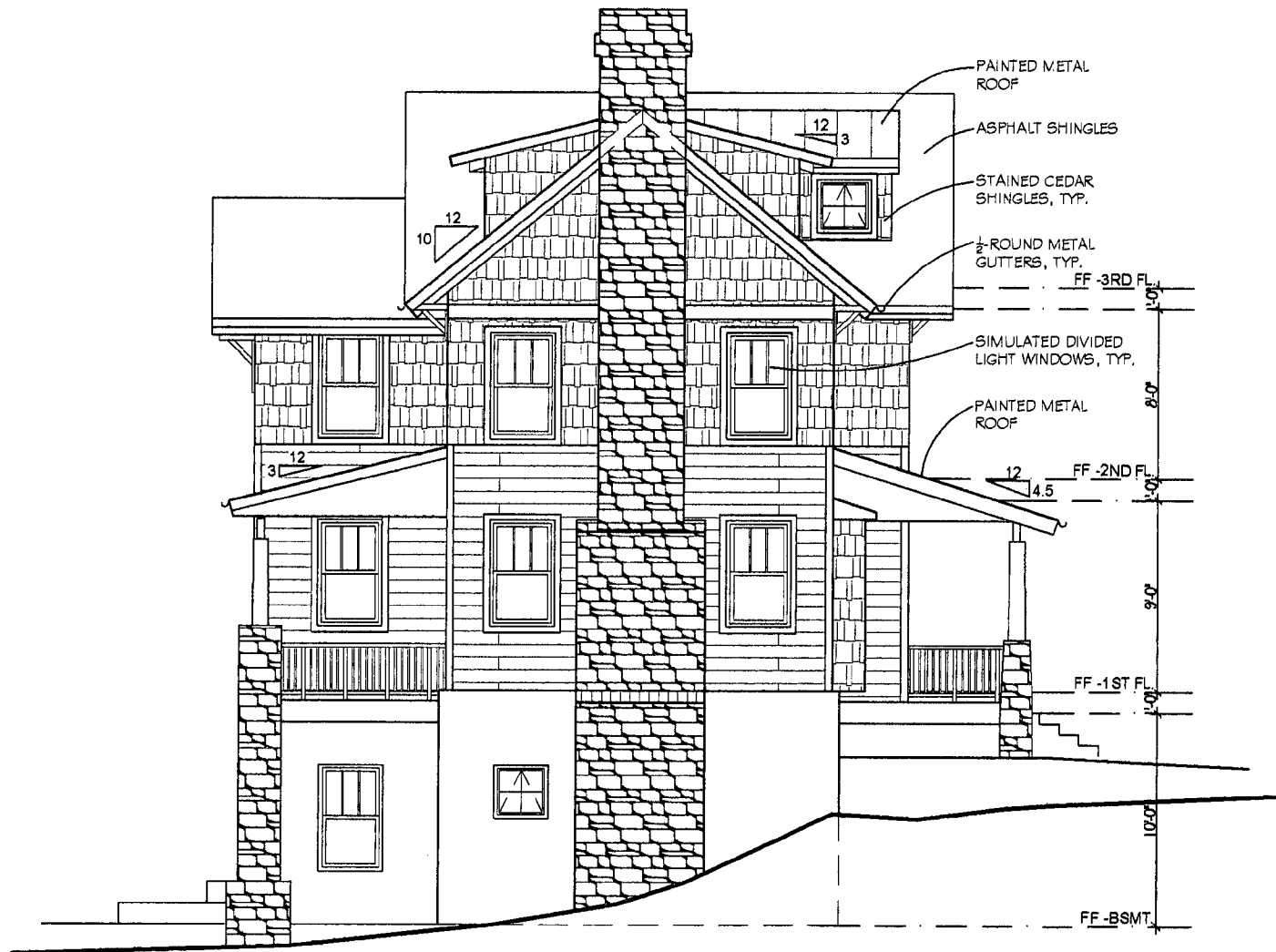
Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

TODAY'S DATE 2 FEB 05

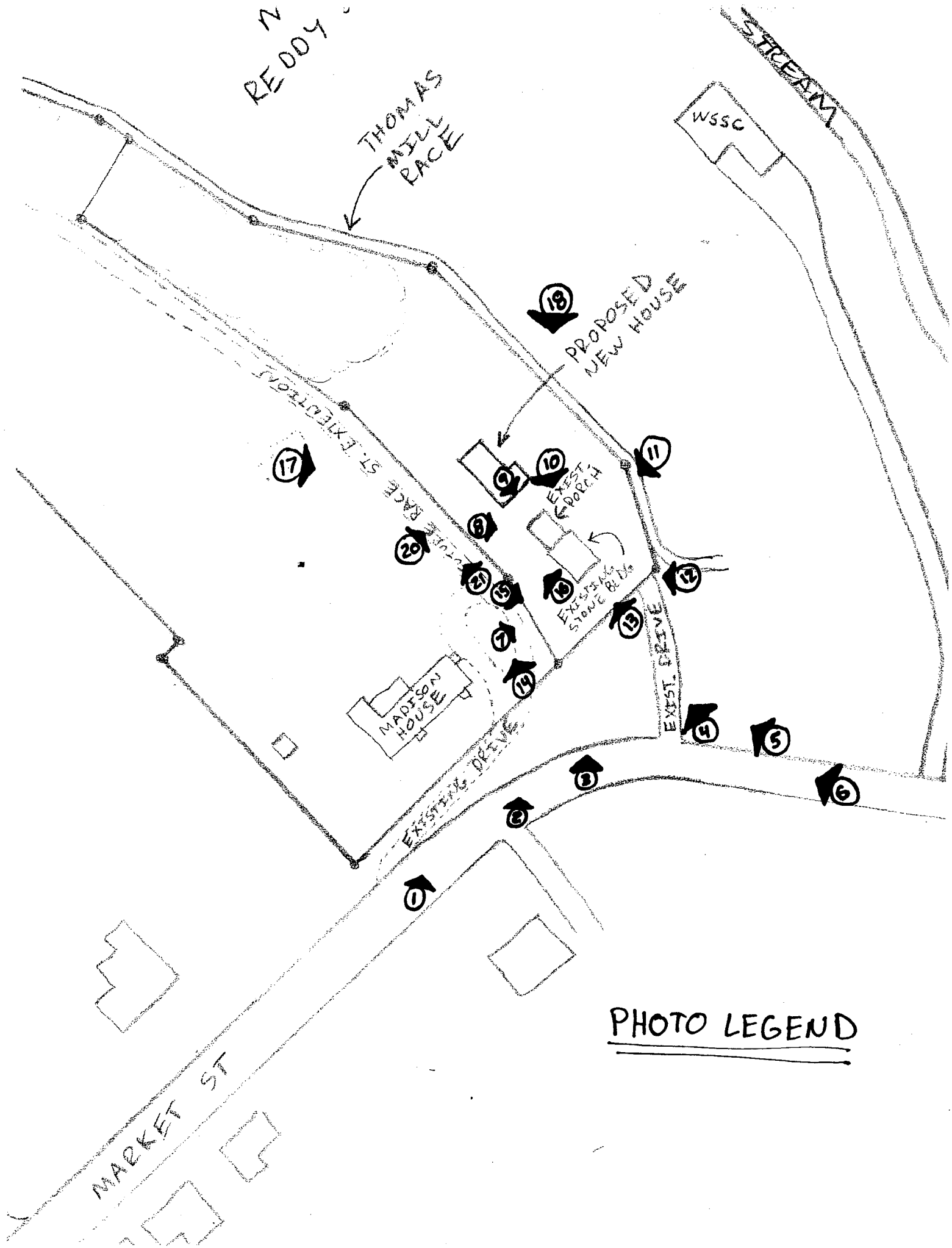
Drawings:

ELEVATIONS



1 WEST ELEVATION
A8 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 2 FEBRUARY 05



203 Market St., Brookeville, MD
(as viewed from the public right-of-way)



Photo 1 - View from Market St. looking downhill.
(Madison House in foreground, 203 Market in background)



Photo 2 - View from Market St. looking downhill.
(Madison House on far left)

203 Market St., Brookeville, MD
(as viewed from the public right-of-way)



Photo 3 - View from Market St.



Photo 4 - View from directly across from 203 Market

203 Market St., Brookeville, MD
Existing Stone Structure

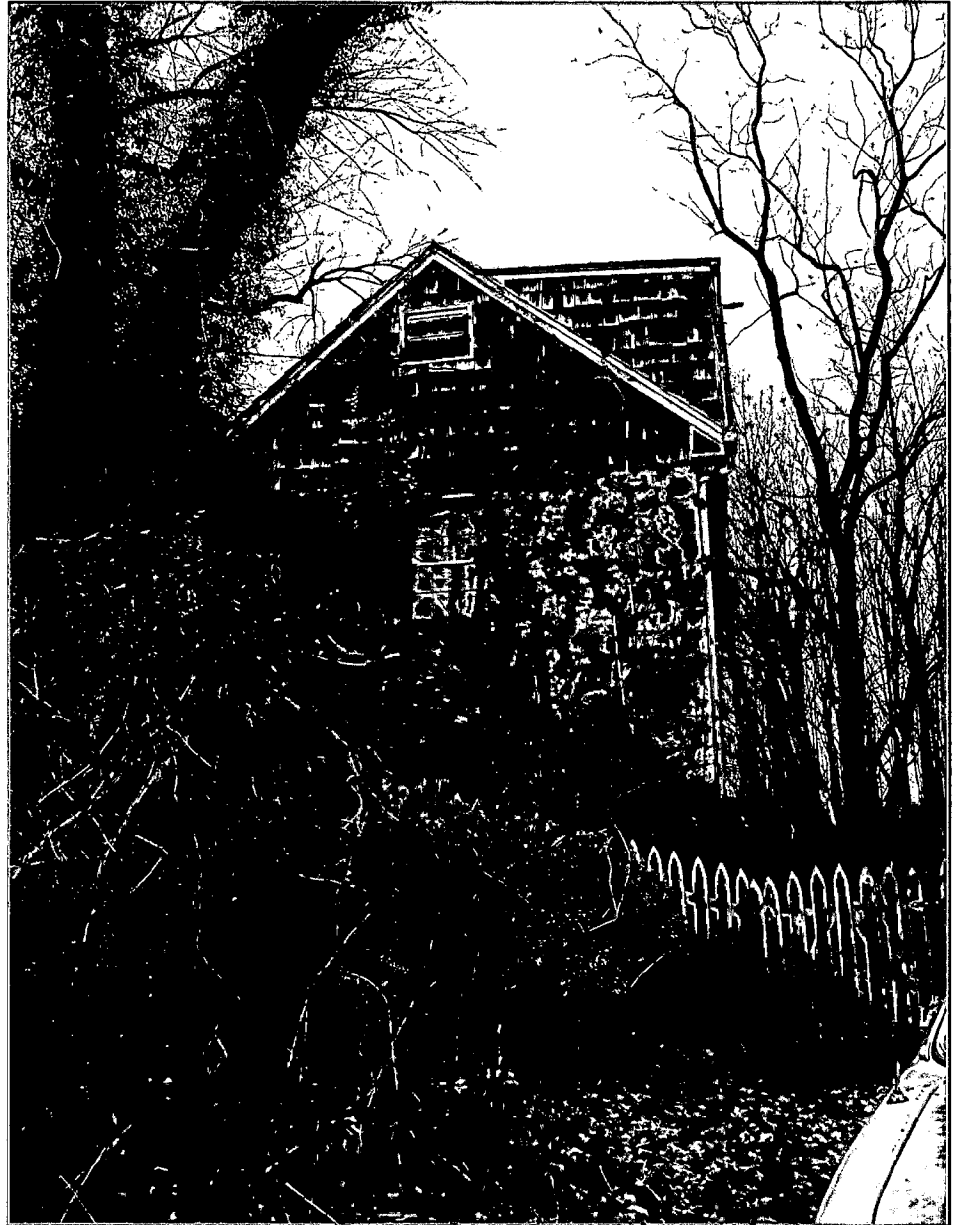


Photo 13 - South Elevation

203 Market St., Brookeville, MD
(as viewed from the public right-of-way)



Photo 5 - View from Market St. looking up hill.
(Madison house on far left)



Photo 6 - Looking from Market St. up hill

203 Market St., Brookeville, MD
Existing Stone Structure



Photo 7 - West Elevation



Photo 8 - West and North Elevations

203 Market St., Brookeville, MD
Existing Stone Structure



Photo 9 - North Elevation

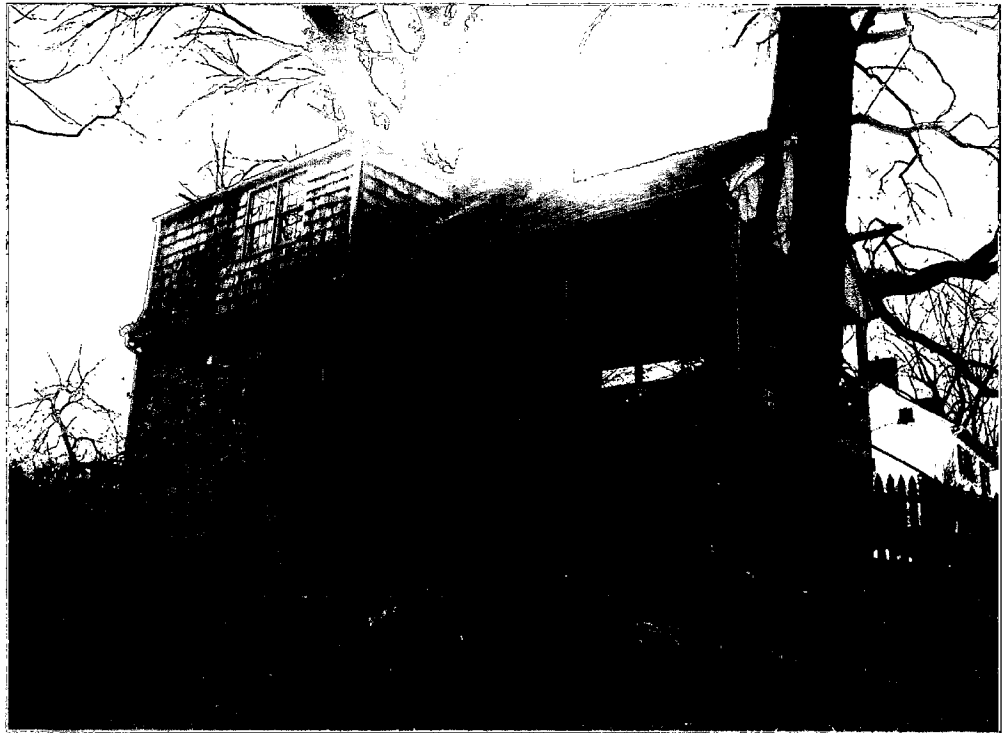


Photo 10 - East and North Elevations

203 Market St., Brookeville, MD
Existing Stone Structure



Photo 11 - East Elevation



Photo 12 - South and East Elevation

203 Market St., Brookeville, MD
(view of surrounding land)



Photo 14 - View from Madison House drive



Photo 15 - View from Madison House drive
down towards Market St.

203 Market St., Brookeville, MD
(view of surrounding land)



Photo 16 - View looking NW from face of existing stone structure



Photo 17 - View from back of Madison House lot looking East

203 Market St., Brookeville, MD
(view of surrounding land)



Photo 18 - View from across mill race looking South

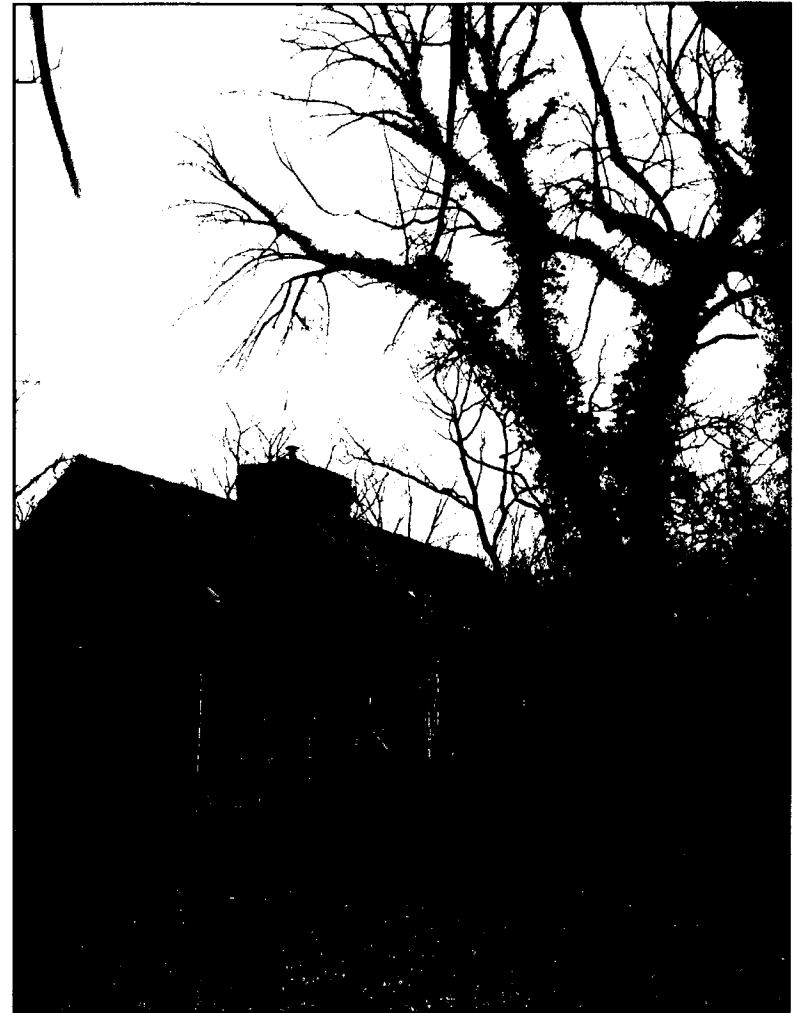


Photo 19 - View of large tree looming over existing stone structure. (Due to the tree's significant leaning towards the existing building and proximity to building it's removal is proposed.)

**203 Market St., Brookeville, MD
(view of surrounding land)**



Photo 20 - Proposed new building site



Photo 21 - Route of future Race St. starting at end of existing drive. (Race St would be developed as part of an anticipated subdivision proposal of the Madison house property)

August 23, 2005
212 Market St.
Brookeville, MD 20833

Ms. Tania Georgiou Tully
Historic Preservation Planner
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, MD 20910

Re: 203 Market St. Brookeville, MD – Scanlon House

Dear Ms. Tully,

Please find attached 4 full size copies of the site, tree preservation and architectural plans for 203 Market St. in Brookeville, Md per our previous conversations. The plans have been revised to reflect the original HAWP Approval drawings with the additional changes that were approved at staff level at the meeting on August 17, 2005.

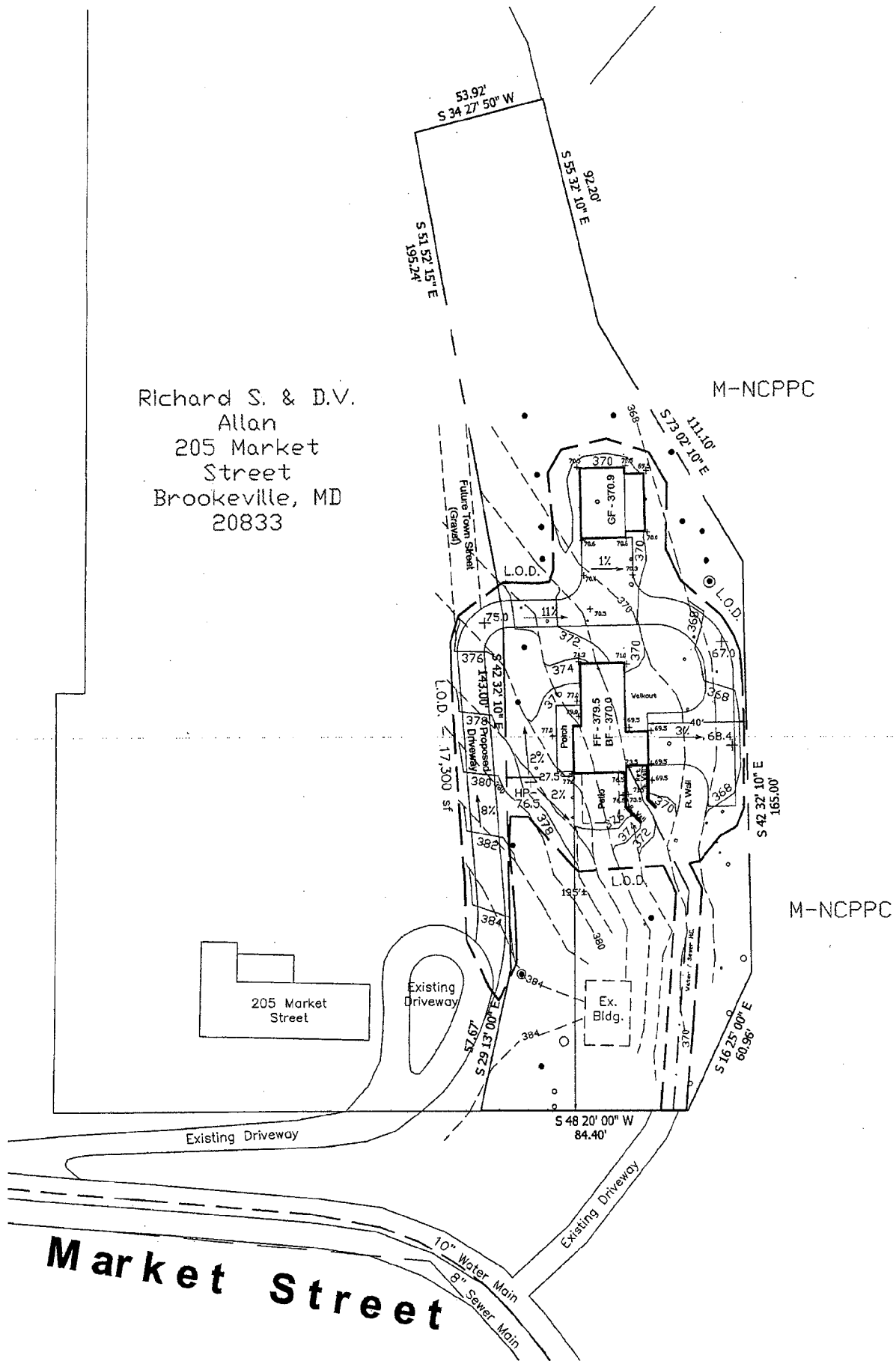
Please either contact myself at 301-255-2155 or Miche Booze Architects (301) 774-6911 (ask for Miche or Joe) if you have any questions related to the plans and to notify us when they are available for pick-up.

Sincerely,



Christopher T. Scanlon

Richard S. & D.V.
Allan
205 Market
Street
Brookeville, MD
20833



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 203 Market Street **Meeting Date:** 02/23/05
Applicant: Chris and Andrea Scanlon **Report Date:** 02/15/05
 (Miche Booz, Architect)
Resource: Brookeville Historic District **Public Notice:** 02/09/05
Review: HAWP **Tax Credit:** Partial
Case Number: 23/65-05A **Staff:** Tania Tully

PROPOSAL: New construction or addition to existing structure, restoration of existing stone structure, construction of new outbuildings

RECOMMENDATION: Approve with conditions.

UNANIMOUS

Kim concerned w/ rehab - ensure that work is done before new house

Not of work done in the 70s

cracked in stone units for walkway

STAFF RECOMMENDATION:

Staff is recommending approval with the following conditions:

1. Materials and design details will be provided to and approved by staff.
2. Windows will be wood with true or simulated divided lights - specifications to be provided to and approved by staff.
3. A tree protection plan will be prepared by a certified arborist and implemented prior to any work beginning on the property.
4. Drawings showing the outbuildings sited on the slope of the land will be submitted for staff review prior to completion of construction drawings.
5. Driveway construction will be delayed as long as it is feasible to allow more time for the decision regarding the creation of Race Street to be made.

6. Stone structure will be stabilized to the extent necessary to allow for the removal of new construction.

approved by MNCPC arborist

removed prior to occupancy

staff

PROJECT DESCRIPTION

SIGNIFICANCE: Master Plan Site, #23/65 (National Register Historic District)
STYLE: 18th Century Federal/Victorian/Early 20th-Century
DATE: c. 1794

The Town of Brookeville was originally platted in 1794 and is situated along Georgia Avenue, MD Route 97. On August 26, 1814 during the War of 1812, Brookeville was the U.S. Capital while President Madison fled the burning of Washington DC by the British. The house the President escaped to was owned by Caleb & Henrietta Bentley and is presently known as the "Madison House" located at 205 Market Street because of this renowned event.

The proposed project will be located at 203 Market Street, which is directly east of the Madison House. The Madison House is a 2-1/2 story brick house with an adjoining 1-story addition, which was the first

Brookeville post office - circa 1802. Constructed in 1798, the house is an excellent example of a Federal style house in the district and carries high historical significance.

Adjacent and downhill from the Madison House is the Miller's Cottage at 203 Market Street, and this is the site of the current proposal. Originally constructed in 1788 for the Brookeville Mill and remodeled in the 1960s, this is currently a small 1-½ story fieldstone house that exhibits some historic detailing such as a massive external stone chimney with a walk-in fireplace.

In addition to the built environment, the topography of Market Street drops prominently southeast as it connects to Brighton Dam Road. Any new development on this lot will be viewed coming up Market Street into the historic downtown of Brookeville.

PROPOSAL:

The applicant proposes a two phase project with the following elements:

- 1) Restoration of the existing stone structure (including removal of non-historic screen porch, tree removal, and roof repair)
- 2) Construction of a new single-family home.
- 3) Construction of a new lawn & garden outbuilding – approximately 12' x 16'.
- 4) Construction of a new shop outbuilding – approximately 18' x 28' with an 8' x 23' lean-to with the appearance of a traditional barn.
- 5) Installation of a new gravel driveway(s) to the new house and outbuildings.
- 6) Tree removal.

In the preliminary application, the applicant provided a series of historic photos of the site that show that there were historically a collection of buildings in and around 203 Market Street including a mill, a mill barn, and a miller's cottage. Other than 203 Market Street, only foundations remain of the other structures that once existed.

Constructing a detached single-family house is consistent with concept of re-creating a small cluster of buildings on the site as originally existed. The new house proposed is modest in size (just under 1,000 square foot footprint) and is designed in a vernacular Craftsman-style that is compatible with the historic character of Brookeville. The house makes use of the grade change on the property with the facade facing the Madison House being two and one-half stories and the facade facing the parkland being three and one-half stories. (Circles 11-14)

PHASE I

Existing Stone Structure

Restoration and repair of the existing structure including removal of the non-historic screen porch, tree removal, and roof repair.

New Single-Family Home

The footprint and plan of the new house is the same as was seen at the Preliminary Consultation. The changes involve windows and proposed materials. On the South elevation the sidelight has been removed from the front door, the porch is a foot or two shorter, and the band of windows is now three rather than four. On the North elevation the band of windows is also now three rather than four, and the pair of windows in the second floor gable end have been made narrower to match the other windows on that level. On the East elevation the second floor window on the north end has been made narrower. On the West

elevation the second floor window on the south end has been made narrower. On all elevations the rafter ends are now proposed to be exposed.

The applicants also seek several material options. For the roof they want the option of asphalt shingles as seen at the preliminary or cedar shingles. For the upper floor siding, they would like the option of cement board shingles in addition to stained cedar and they would like to be able to choose between a stucco or stone foundation. For the chimney and piers they are requesting either stucco, stone, or brick.

PHASE II

Lawn & Garden Outbuilding

This frame building is vernacular in style, using board and batten siding and wood shingle roofing. Its site will depend on the final configuration of the driveway. In Option A it can be set back farther off of Race Street. (Circle 18)

Shop Outbuilding

This new outbuildings is also proposed to be vernacular in style with board and batten siding and metal roofing. This building, not including the lean-to, is approximately the size of the Miller's Cottage. (Circle 17)

OTHER

Driveway & Tree Removal

Two alternatives (Circles 15 & 16) are shown based on whether a new public street (Race Street) is created by the Town of Brookeville in the near future. The applicant has removed the parking pad from the front of the property in both Options. Proposed tree removals are for safety and construction of the new buildings (Circles 19-21). Approximately 28 trees are proposed for removal 6 due to the new construction and 1 that is endangering the Miller's Cottage.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Brookeville Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation:

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

This application reflects changes made to the design by the applicant as per the Commission's comments at the February 9, 2005 meeting. (See Circles 40-43 for prior design.) At the Preliminary Consultation the main items of discussion were the size of the outbuildings, design of the new house, and the driveway locations. Select pages from the first staff report are included at the end of this report.

As requested by the Commission, both proposed outbuildings were reduced in size. The shop building has been reduced from 26' x 40' to 18' x 28' with an 8' x 23' lean-to – approximately 33%. The lawn and garden outbuilding was reduced from 16' x 16' to 12' x 16' – approximately 25%. Staff is comfortable with these reductions and suggests that the applicants be required to submit drawings showing the outbuildings sited on the slope of the land for staff review prior to completion of construction drawings.

For the driveway configuration, staff recommends approval of Option B, but understands that unless the plan to revive Race Street is implemented it is infeasible. We urge the applicant to hold off on construction of any drive until after the house is complete in order to allow more time for the Race Street situation to be resolved.

As noted on Circle 2, the design of the new residence has been slightly modified in the elevations, but the plan remains the same. The window changes help unify and simplify the appearance of the house, which fluctuates due to the grade. The cleaner elevations are the two (south and west) that will be most visible from the Madison House and the potential Race Street. The house will not be visible from Market Street, but may have some visibility in the winter from Brighton Dam Road.

Material options requested by the applicants are for budget reasons – stained cedar siding and a stone foundation are preferred, but they request flexibility. Staff recommends approving the use of fiber-cement shingles conditioned on staff approval of the specific product type (i.e. Hardie has panels and individual shingles). Similarly, staff recommends that the fiber-cement siding have a smooth finish rather than simulated wood. Although wood siding and shingles are more compatible with the historic district, the HPC has previously approved fiber-cement siding in Brookeville, most recently with wood trim/corner boards. Staff is comfortable with either a stone or stucco foundation, but recommends the stucco foundation for a simpler and cleaner look. If the same profiles can be maintained (e.g. battered porch piers) then brick could be used for the chimneys and piers, but we do not recommend approving stucco.

Cedar roof shingles are also approvable. Staff requests that the Commission require the applicants to provide trim details and material selections prior to issuance of a permit.

The tree survey and removal list provided in Circles 19-21 is very informative and thorough. Staff recommends that the applicants have a certified arborist prepare a tree protection plan and that the HAWP is approved conditioned upon its implementation.

Finally, staff applauds the applicants for rehabilitation of the existing stone building and request the Commission to remind them of the benefits of the Montgomery County Historic Preservation Tax Credit.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation*.

and with the conditions specified in Circle 1.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
240-777-6570

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MICHE BOOZ
Daytime Phone No.: (301) 774-6911

Tax Account No.: 00731780

Name of Property Owner: CHRIS + ANDREA SCANLON Daytime Phone No.: 301-255-2155
Address: 212 MARKET ST. BROOKEVILLE MD 20833
Street Number City State Zip Code

Contractor: NOT SELECTED YET Phone No.: N/A

Contractor Registration No.: N/A

Agent for Owner: N/A Daytime Phone No.: N/A

LOCATION OF BUILDING/PREMISE

House Number: 203 Street: MARKET ST.
Town/City: BROOKEVILLE Nearest Cross Street: RT 97/GEORGIA AVE.
Lot: N/A Block: N/A Subdivision: 5
Liber: 558 Folio: 860 Parcel: P336

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Plaze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ UNKNOWN

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: IF AVAILABLE
2B. Type of water supply: 01 WSSC 02 Well 03 Other: IF AVAILABLE

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 2/1/2005 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature _____ Date _____

Application/Permit No. 372691 Date Filed: _____ Date Issued: _____

est. s.f. 2000-2500
est cost \$250,000

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- ✓ a. the scale, north arrow, and date;
- ✓ b. dimensions of all existing and proposed structures; and
- ✓ c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

✓ 3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- ✓ a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- ✓ b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

✓ 4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- ✓ a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- ✓ b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

✓ 5. **TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

✓ 7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

7

Scanlon, Chris

From: Scanlon, Chris
Sent: Monday, February 14, 2005 10:00 AM
To: 'Tania Tully (tania.tully@mncppc-mc.org)'
Subject: 203 market St. HAWP Revisions

Contacts: Tania Tully

Hi Tania,

We've been busy updating our drawings based on the staff and commission comments from our preliminary hearing last Wednesday. We should have the changes done today. I will drop them off at your office before the end of the day (probably between 12:00 and 1:00)

The revisions in today's drawings hopefully address all of the staff and commission concerns and are as follows:

- Delete parking spaces shown on Race St near existing stone building per staff comments
- Reduced the size of both outbuildings per staff concerns about site being overbuilt. (Shop is now 18' x 28' with a 8'x23' bump out, and Lawn and Garden Outbuilding is now 12'x16')
- Driveway noted as gravel
- Revised window sizes and locations to address commission comments regarding preference for front elevation from original sketches.
- Included sketches of both outbuildings for approval as part of this HAWP submission.

Let me know if you have any questions. My direct line is (301) 255-2155.

Chris

Christopher T. Scanlon
Director of Information Technology

James G. Davis Construction Corporation
12530 Parklawn Drive
Suite 100
Rockville, MD 20833
(p) 301-881-2990
(f) 301-468-3918
(w) www.davisconstruction.com

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1. WRITTEN DESCRIPTION OF PROJECT

a.) Description of existing structure(s) and environmental setting, including their historical features and significance:

203 Market St. includes a single existing stone structure (approx. 18' x 26') with an 18' x 16' screened porch addition constructed some time after 1976. The existing structure has been modified a number of times over the years and has currently suffering badly from the effects of a lack of maintenance.

b.) General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed project consists of the following items:

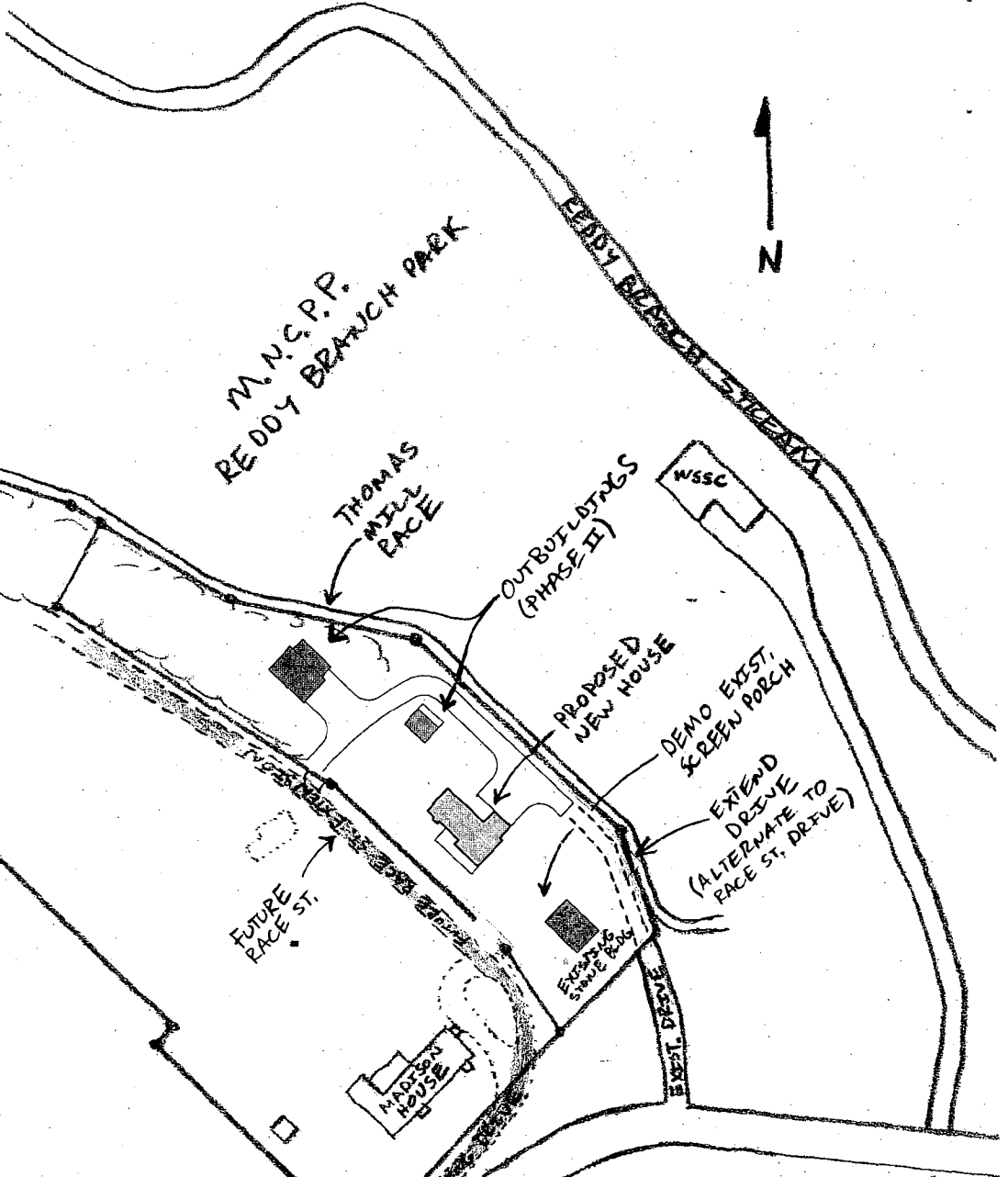
Phase I (see attached plans for details)

- **Restoration of Existing Stone Structure** – Exterior work includes removal of existing non-historic screen porch and repairs to the existing cedar shingle roof. The large tree leaning over the North corner of the structure would be removed for both for the safety of the structure and its occupants.
- **Construction of New House** – Construction of a new historically appropriate 2 story, 3 Bedroom house.

Phase II (Construction details will be included under a separate HAWP application)

- **Construction of 2 New Outbuildings** – Construction of small (approx 16' x 18') outbuilding for storage of lawn and garden equipment. Structure will be detailed as a farmer's outbuilding (board and batten exterior, metal or wood shingle roof). Also, the construction of new outbuilding approx 26' x 40' to be used as woodworking hobby shop. Structure will be detailed to look like a traditional barn.

Note Regarding Race Street: Some of the attached plans refer to a road called "Race St. Extension". The Madison House property owners are currently developing plans to subdivide their property and build a house on the rear of their lot. It is anticipated that their proposal will include the public dedication of Race Street as shown on the attached plans. Race St. appears on many early maps of the town at this location, but currently does not exist. Access to the new house or addition at 203 Market St. would be by either extending the existing driveway from Market St. along the NE property line or by constructing a new drive from Race St.



M.N.C.P.P.
REDDY BRANCH PARK

THOMAS
MILL
RACE

OUTBUILDINGS
(PHASE II)

PROPOSED
NEW HOUSE

DEMO EXIST.
SCREEN PORCH

EXTEND
DRIVE
(ALTERNATE TO
RACE ST. DRIVE)

FUTURE
RACE ST.

MADISON
HOUSE

EXIST. DRIVE

NORTH ST.

MARKET ST

SOUTH ST.

SITE PLAN

SCALE 1:100

2/14/2005

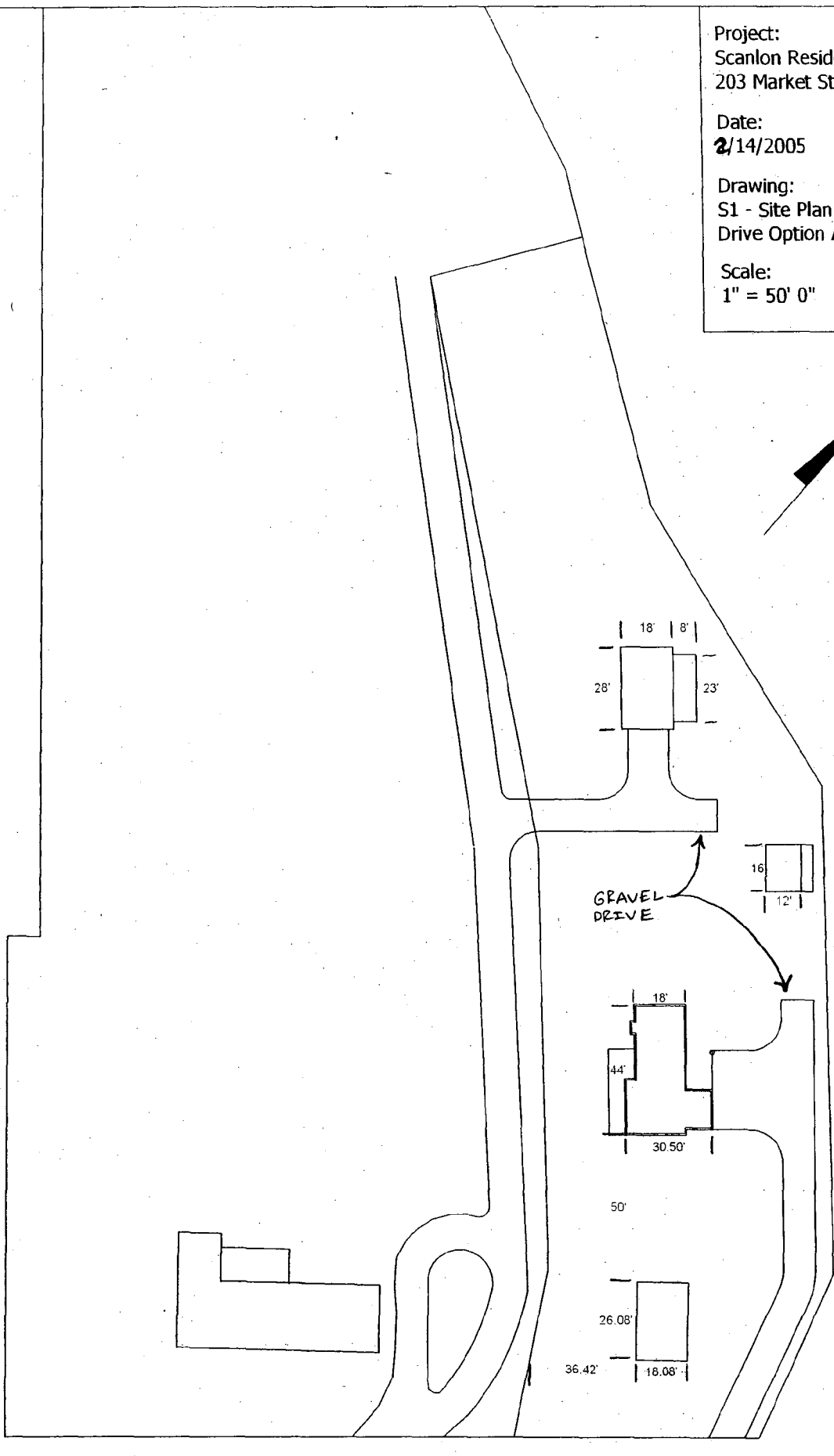
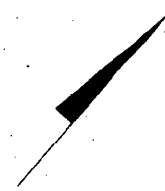
(10)

Project:
Scanlon Residence
203 Market St.

Date:
2/14/2005

Drawing:
S1 - Site Plan
Drive Option A

Scale:
1" = 50' 0"

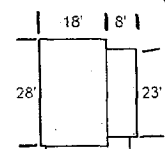
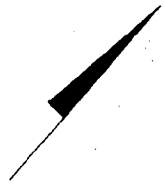


Project:
Scanlon Residence
203 Market St.

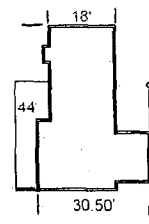
Date:
2/14/2005

Drawing:
S1 - Site Plan
Drive Option B

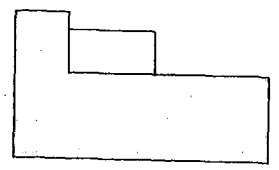
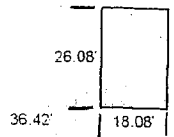
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1" = 50' 0"

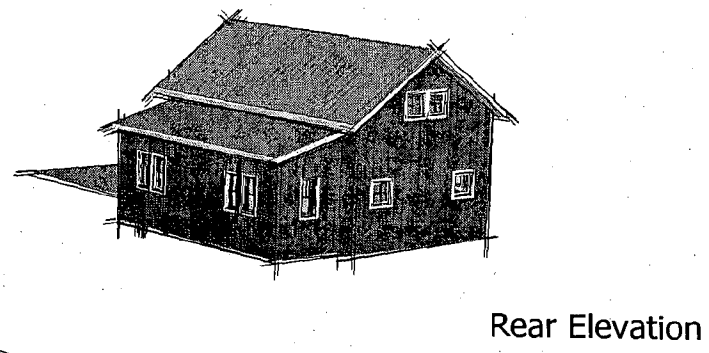
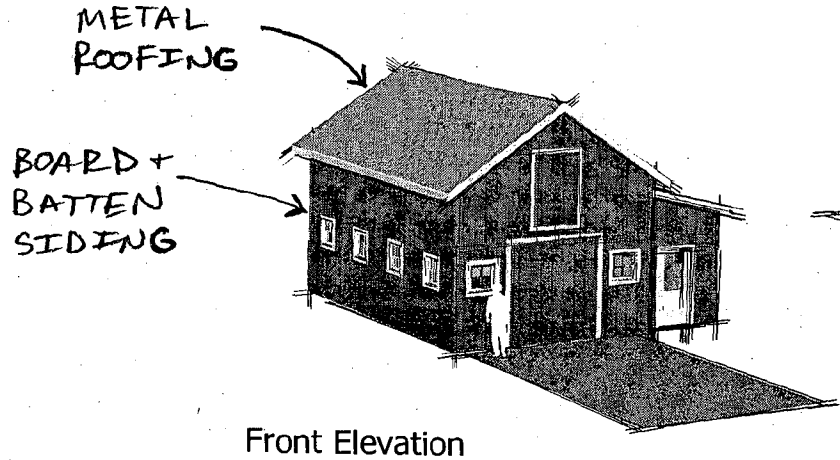


GRAVEL DRIVE ↗



50'



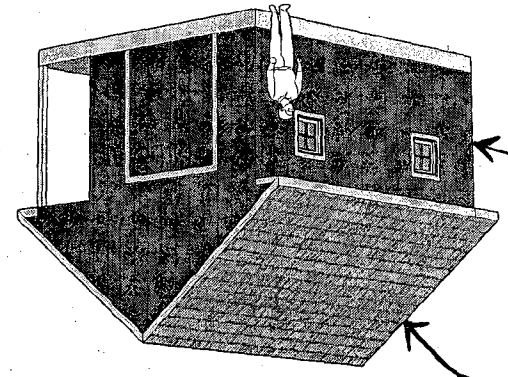
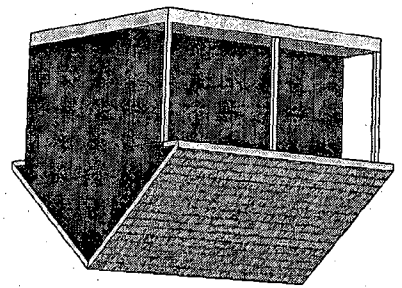


SHOP OUTBUILDING

2/14/2005

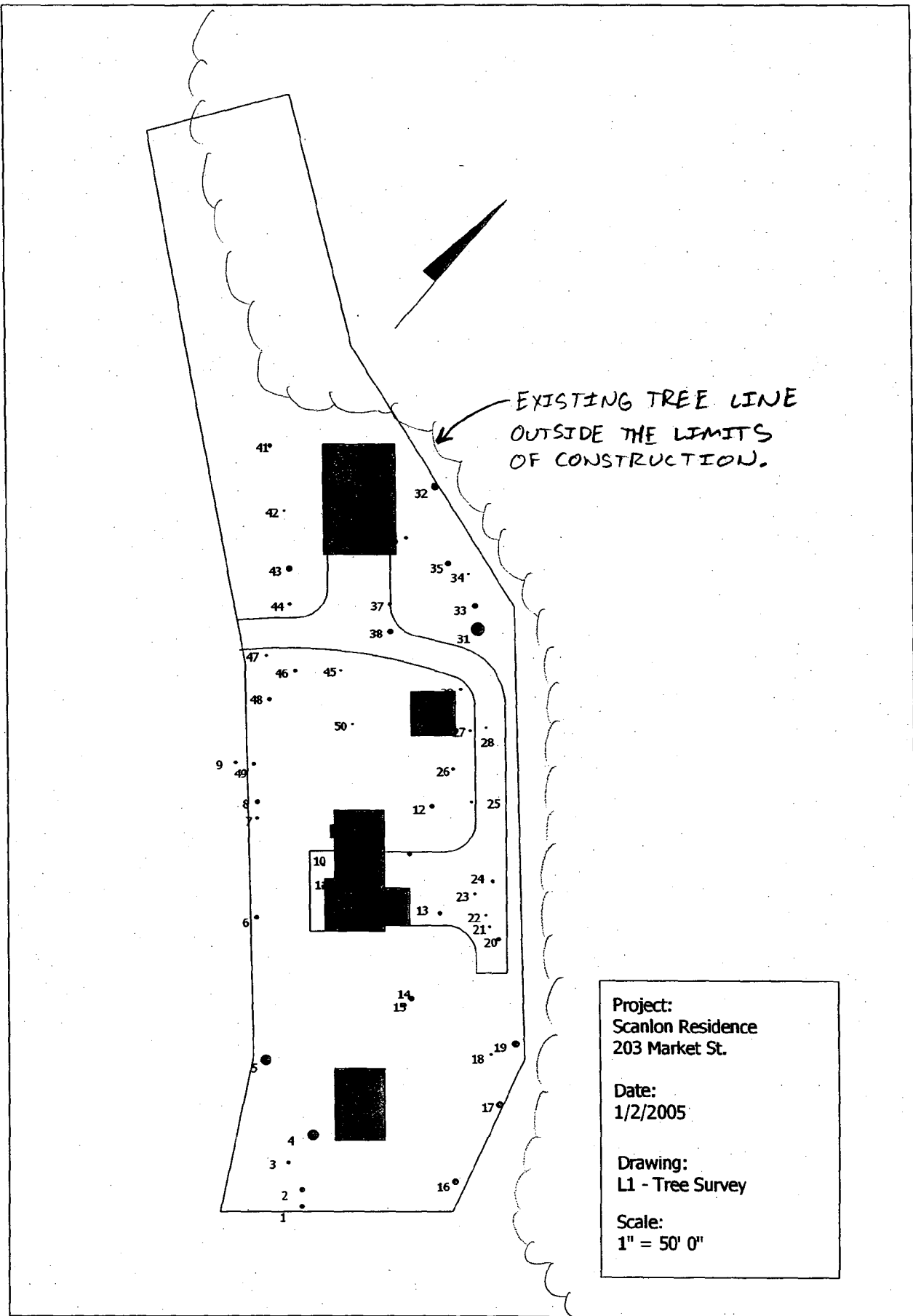
(17)

LAWN + GARDEN OUTBUILDING
2/14/2005



CEDAR
SHINGLE
ROOF

BOARD +
BATTEN
SIDING



EXISTING TREE LINE
OUTSIDE THE LIMITS
OF CONSTRUCTION.

Project:
Scanlon Residence
203 Market St.

Date:
1/2/2005

Drawing:
L1 - Tree Survey

Scale:
1" = 50' 0"

203 Market St. Brookeville, MD - Tree Survey

Notes: The new house / outbuilding locations were selected to minimize the impact on several large Ash trees along the front property line and the 55in dia. Ash (#35) at the rear corner of the property line.

The trees proposed to be removed fall under one of the following conditions:

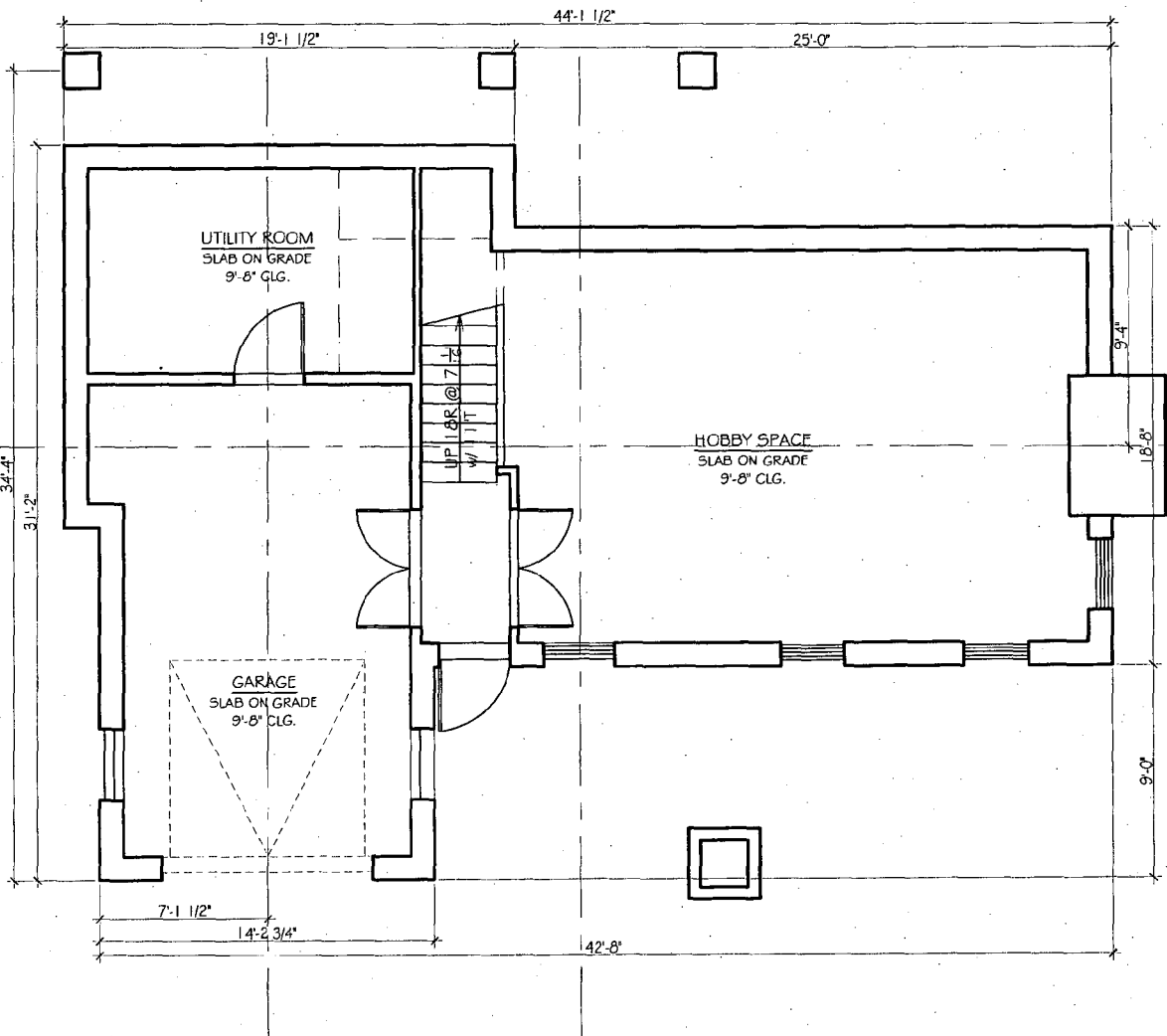
1. Recent invasive growth of Black Locust in yard from the surrounding woods.
2. Dead or badly damaged trees
3. Trees endangering structures
4. Trees too close or in the footprint of new construction

| # | Dia. (in.) | Species | Action | Removal Condition | Removal Notes |
|----|------------|----------------|--------------------|--|---------------------------------|
| 1 | 20 in. | Black Cherry | Remove | Dead or badly damaged trees | Leaning badly toward Market St. |
| 2 | 20 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Stump |
| 3 | 11 in. | Black Locust | Existing to Remain | N/A | N/A |
| 4 | 43 in. | White Ash | Remove | Trees endangering structures | Leaning over ex stone structure |
| 5 | 41 in. | White Ash | Existing to Remain | N/A | N/A |
| 6 | 17 in. | White Ash | Existing to Remain | N/A | N/A |
| 7 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 8 | 17 in. | White Ash | Existing to Remain | N/A | N/A |
| 9 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 10 | 12 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - House |
| 11 | 13 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - House |
| 12 | 16 in. | White Ash | Remove | Trees too close or in the footprint of new construction | Remove - House |
| 13 | 14 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 14 | 20 in. | White Ash | Existing to Remain | N/A | N/A |
| 15 | 10 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Crowding ex. tree to remain #14 |
| 16 | 25 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Stump |
| 17 | 25 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Stump |
| 18 | 10 in. | White Ash | Remove | Trees too close or in the footprint of new construction | Remove - House |
| 19 | 27 in. | Black Locust | Remove | Dead or badly damaged trees | Dead Stump |
| 20 | 8 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 21 | 7 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 22 | 6 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 23 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 24 | 12 in. | Black Cherry | Remove | Trees too close or in the footprint of new construction | Remove - Driveway |
| 25 | 8 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 26 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 27 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 28 | 9 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Driveway |
| 29 | 11 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods. | Remove - Outbuilding |
| 30 | 10 in. | Black Cherry | Remove | Trees too close or in the footprint of new construction | Remove - Driveway |
| 31 | 55 in. | White Ash | Existing to Remain | N/A | N/A |
| 32 | 27 in. | Tulip Poplar | Existing to Remain | N/A | N/A |
| 33 | 21 in. | White Ash | Existing to Remain | N/A | N/A |
| 34 | 9 in. | American Beech | Existing to Remain | N/A | N/A |

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| # | Dia. (in.) | Species | Action | Removal Condition | Removal Notes |
|----|------------|----------------|--------------------|---|-------------------|
| 35 | 22 in. | Black Cherry | Existing to Remain | N/A | N/A |
| 36 | 10 in. | Black Cherry | Remove | Dead or badly damaged trees | Remove - Barn |
| 37 | 11 in. | Black Cherry | Remove | Dead or badly damaged trees | Remove - Driveway |
| 38 | 19 in. | Black Cherry | Remove | Dead or badly damaged trees | Remove - Driveway |
| 39 | 18 in. | Black Cherry | Remove | Trees too close or in the footprint of new construction | Remove - Barn |
| 40 | 8 in. | Black Locust | Remove | Recent invasive growth of Black Locust in yard from the surrounding woods | Remove - Barn |
| 41 | 13 in. | American Beech | Existing to Remain | N/A | N/A |
| 42 | 6 in. | American Beech | Existing to Remain | N/A | N/A |
| 43 | 22 in. | White Ash | Existing to Remain | N/A | N/A |
| 44 | 11 in. | White Ash | Existing to Remain | N/A | N/A |
| 45 | 8 in. | White Ash | Existing to Remain | N/A | N/A |
| 46 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 47 | 8 in. | White Ash | Existing to Remain | N/A | N/A |
| 48 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 49 | 13 in. | White Ash | Existing to Remain | N/A | N/A |
| 50 | 10 in. | Black Locust | Existing to Remain | N/A | N/A |

(17)

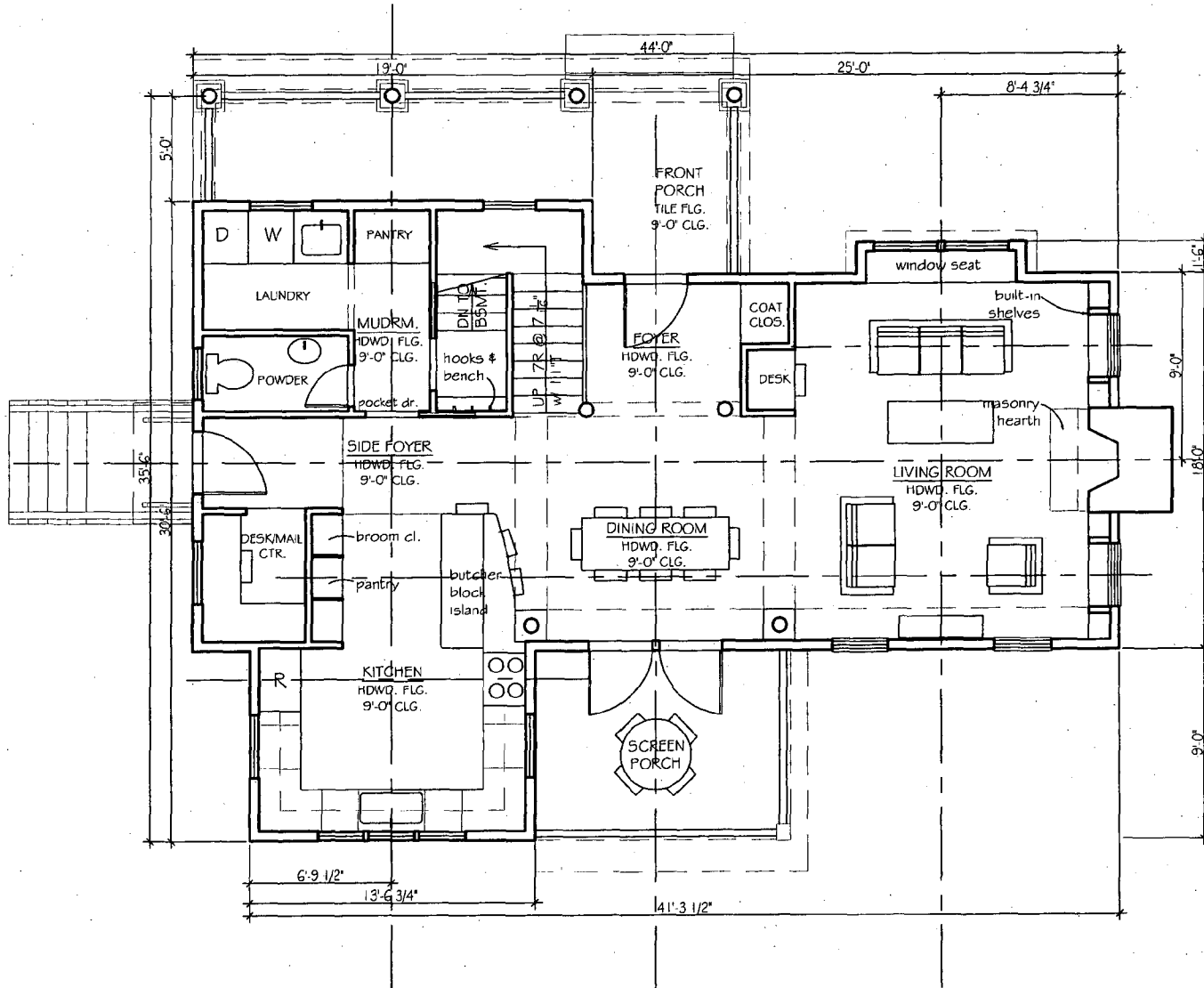


| | |
|--|---|
| MICHE BOOZ | |
| ARCHITECT | |
| A1 | 208 Market St Brookeville Maryland 20833 (301) 774 6911 fax: 774 1908 |
| Project: SCANLON HOUSE Race Street Brookeville, Maryland Montgomery County | |
| Dates: | |
| TODAY'S DATE 14 FEB 05 | |
| Drawings: PLANS | |

I.A.W.P. SUBMISSION - 14 FEBRUARY 05

1 BASEMENT PLAN
A1 SCALE: 1/8" = 1'-0"

22



MICHE BOOZ
ARCHITECT

A2

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:
TODAY'S DATE 14 FEB 05

Drawings:
PLANS

23

1 1ST FLOOR PLAN
A2 SCALE: 1/8" = 1'-0"

I.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A3

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

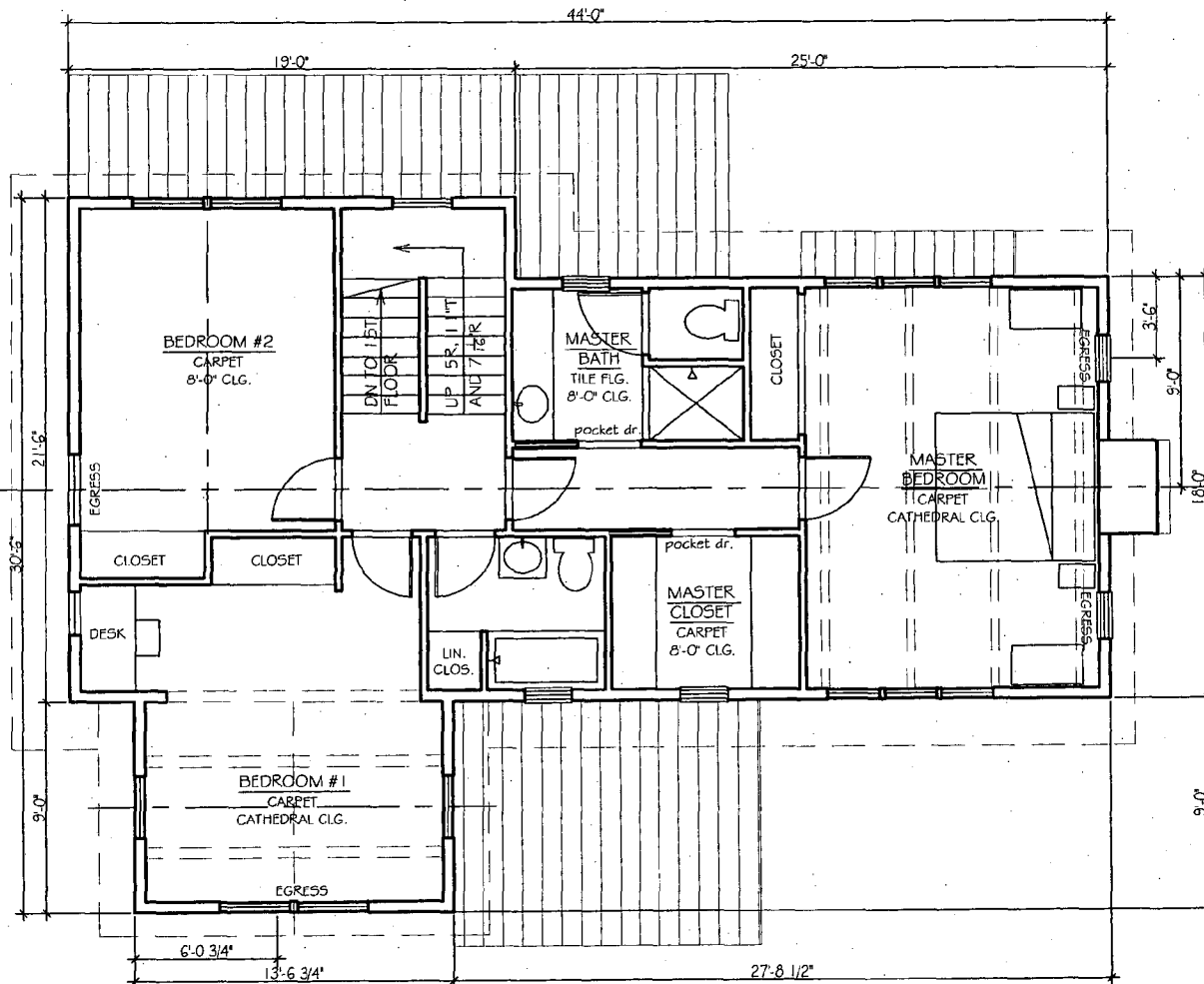
Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

TODAY'S DATE: 14 FEB 05

Drawings:

PLANS

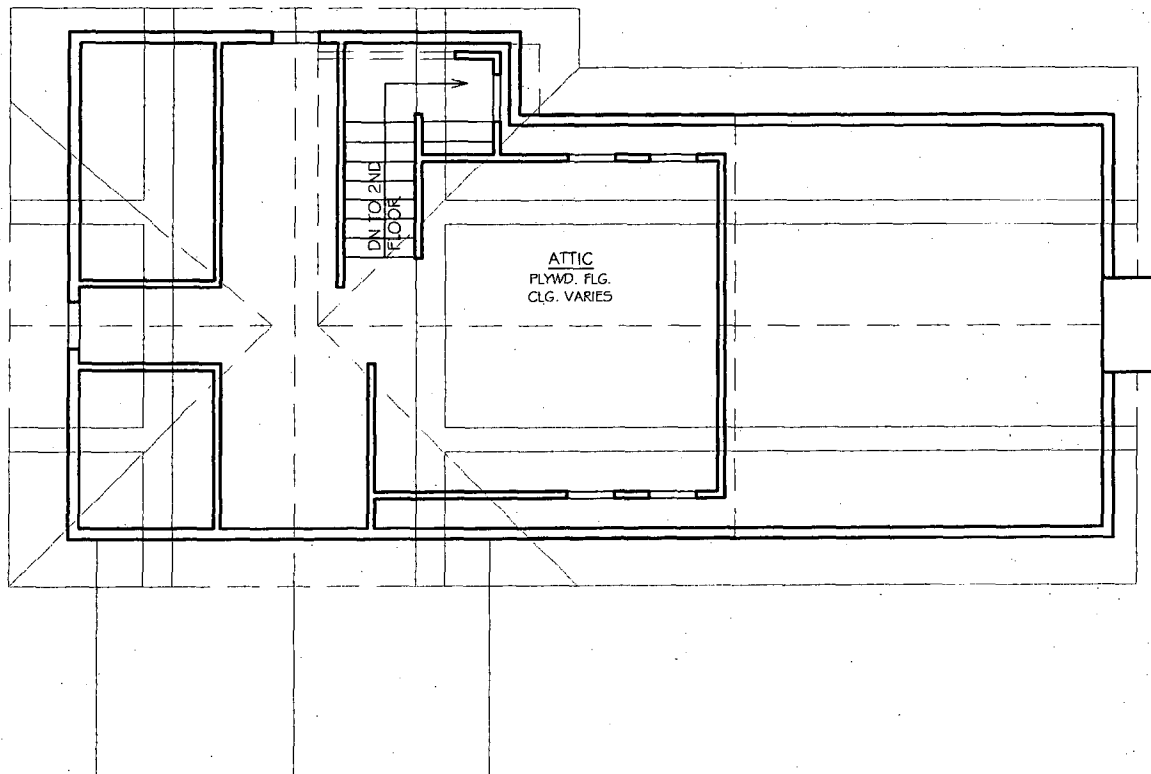


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1 2ND FLOOR PLAN
A3 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 14 FEBRUARY 05

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MICHE BOOZ

ARCHITECT

A4

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

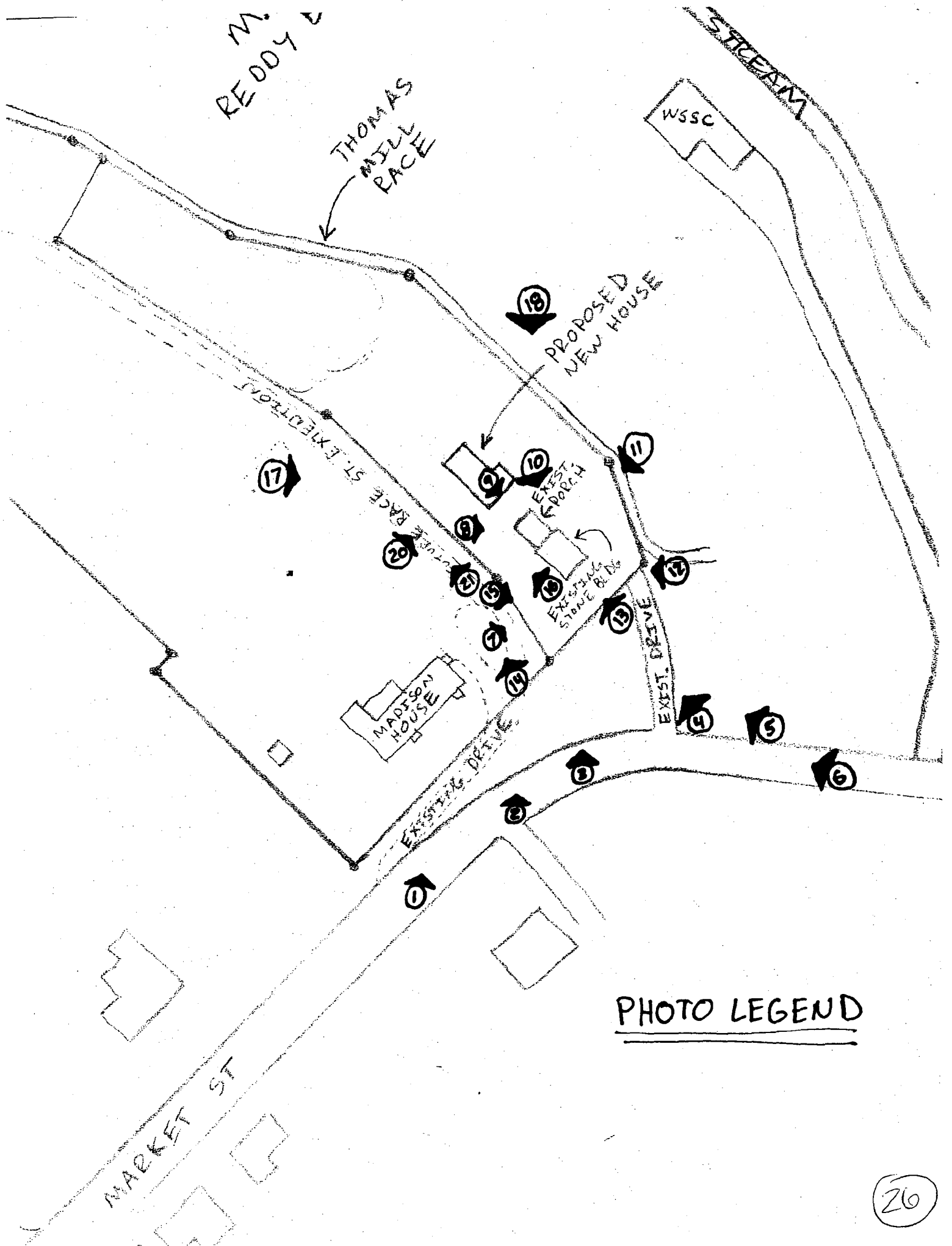
TODAY'S DATE: 14 FEB 05

Drawings:

PLANS

1 ATTIC FLOOR PLAN
A4 SCALE: 1/8" = 1'-0"

J.A.W.P. SUBMISSION - 14 FEBRUARY 05



203 Market St., Brookeville, MD
(as viewed from the public right-of-way)

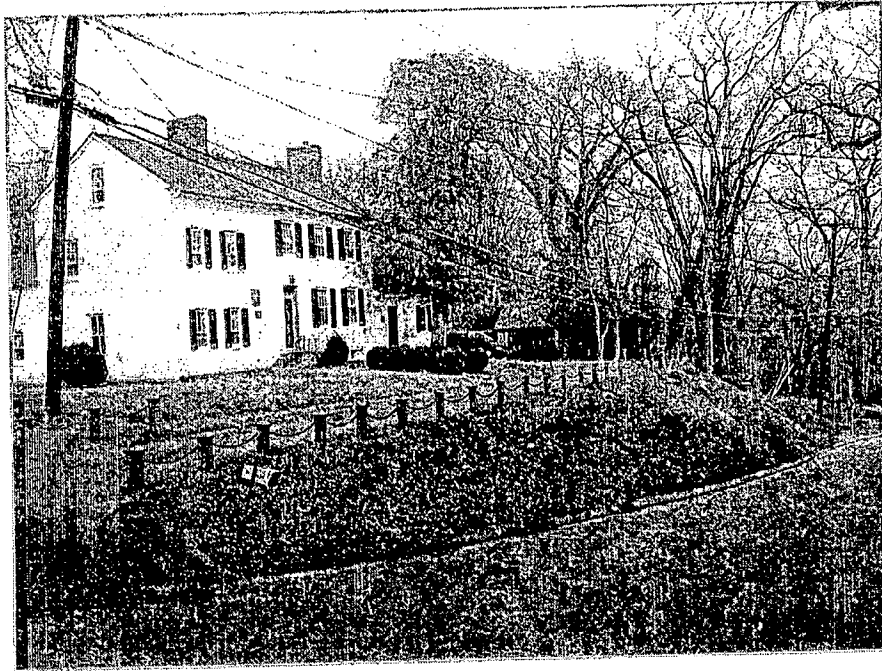


Photo 1 - View from Market St. looking downhill:
(Madison House in foreground, 203 Market in background)

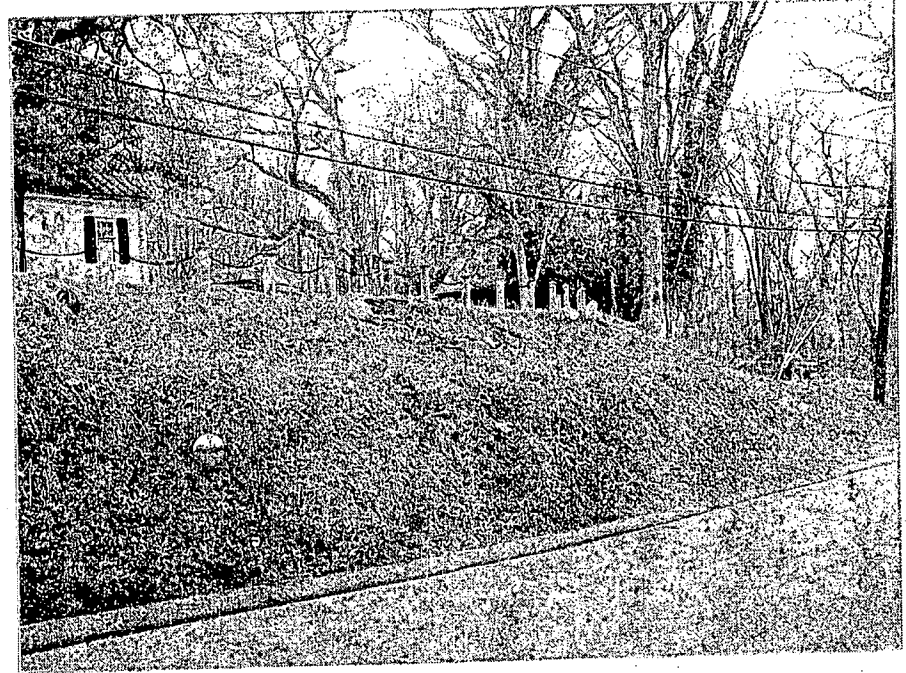


Photo 2 - View from Market St. looking downhill.
(Madison House on far left)

203 Market St., Brookeville, MD
(as viewed from the public right-of-way)

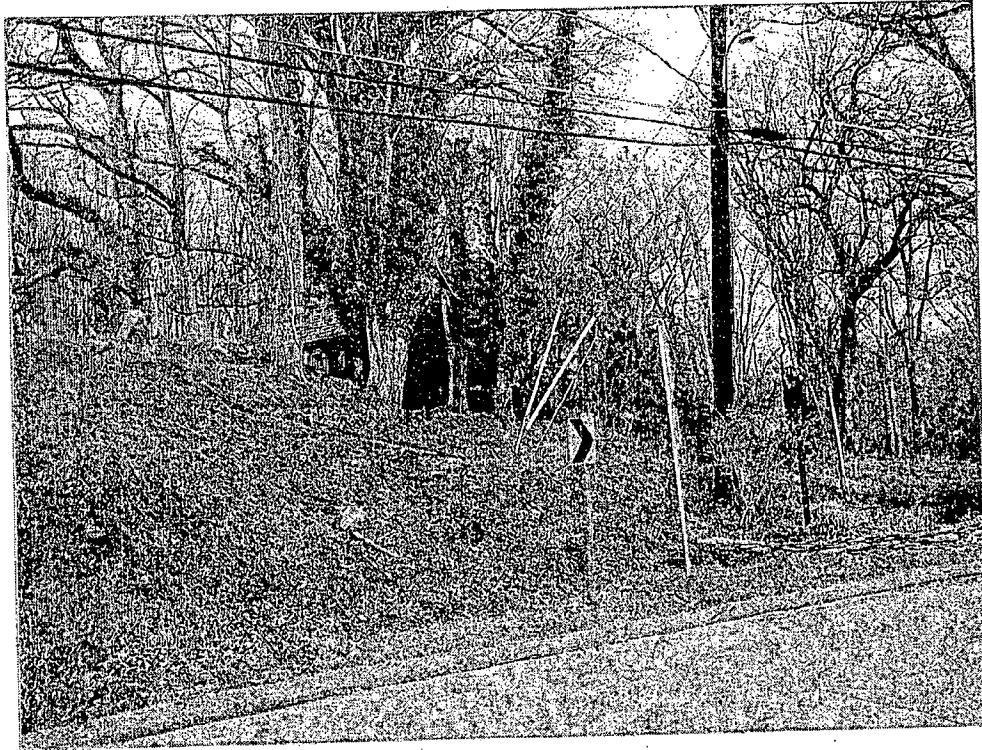


Photo 3 - View from Market St.



Photo 4 - View from directly across from 203 Market

2

203 Market St., Brookeville, MD
(as viewed from the public right-of-way)



Photo 5 - View from Market St. looking up hill.
(Madison house on far left)

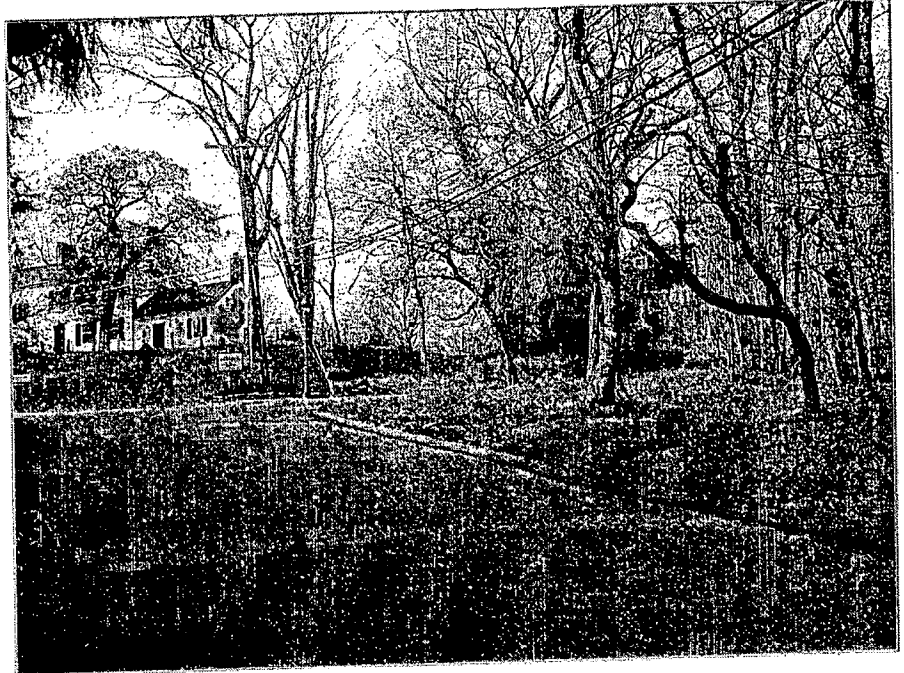


Photo 6 - Looking from Market St. up hill

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203 Market St., Brookeville, MD
Existing Stone Structure

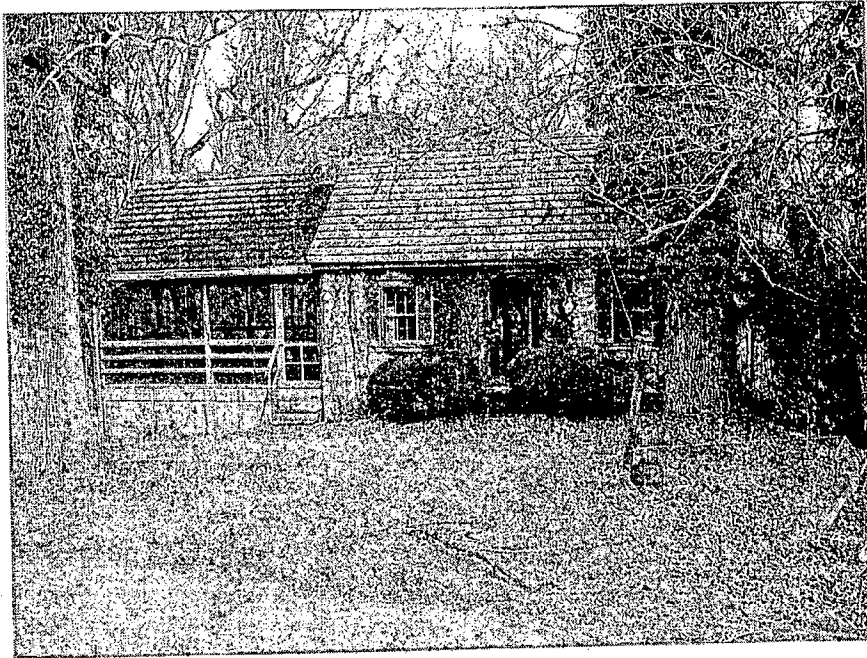


Photo 7 - West Elevation



Photo 8 - West and North Elevations

203 Market St., Brookeville, MD
Existing Stone Structure

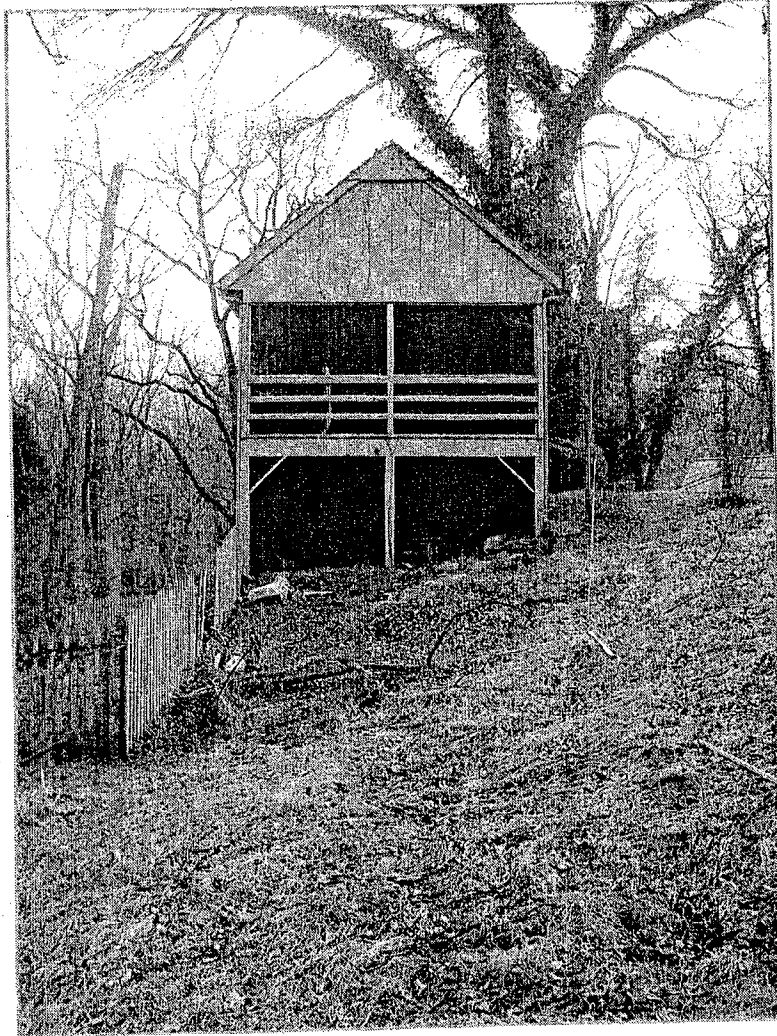


Photo 9 - North Elevation

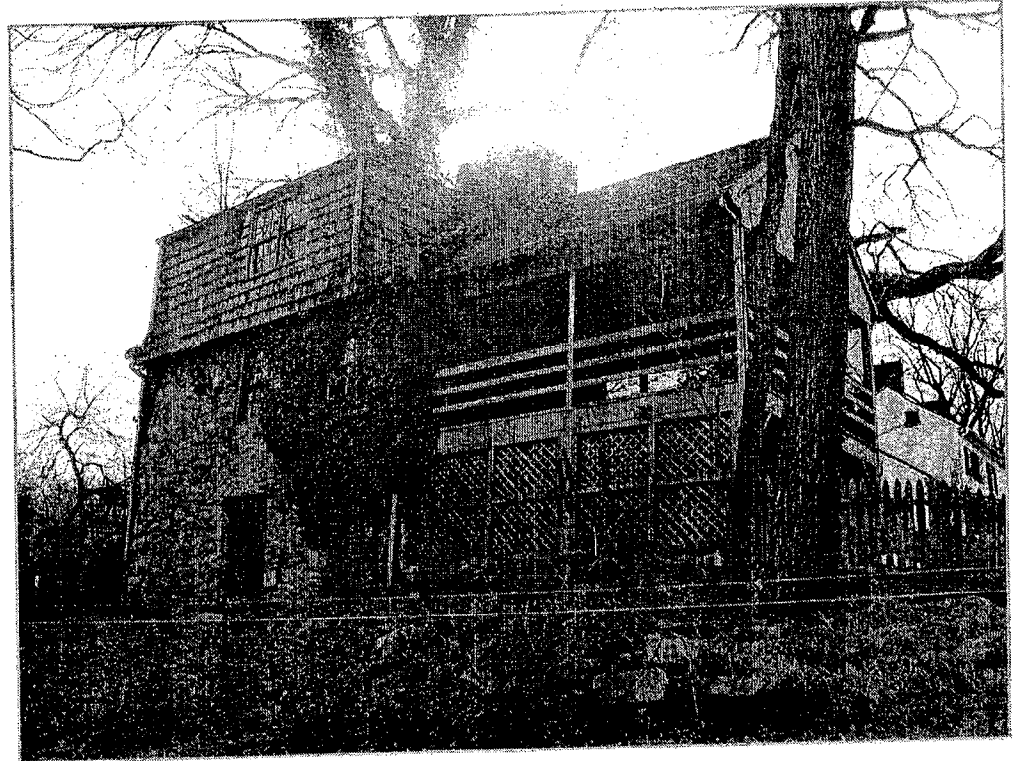


Photo 10 - East and North Elevations

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203 Market St., Brookeville, MD
Existing Stone Structure



Photo 11 - East Elevation



Photo 12 - South and East Elevation

203 Market St., Brookeville, MD
(view of surrounding land)



Photo 14 - View from Madison House drive



Photo 15 - View from Madison House drive
down towards Market St.

203 Market St., Brookeville, MD
(view of surrounding land)

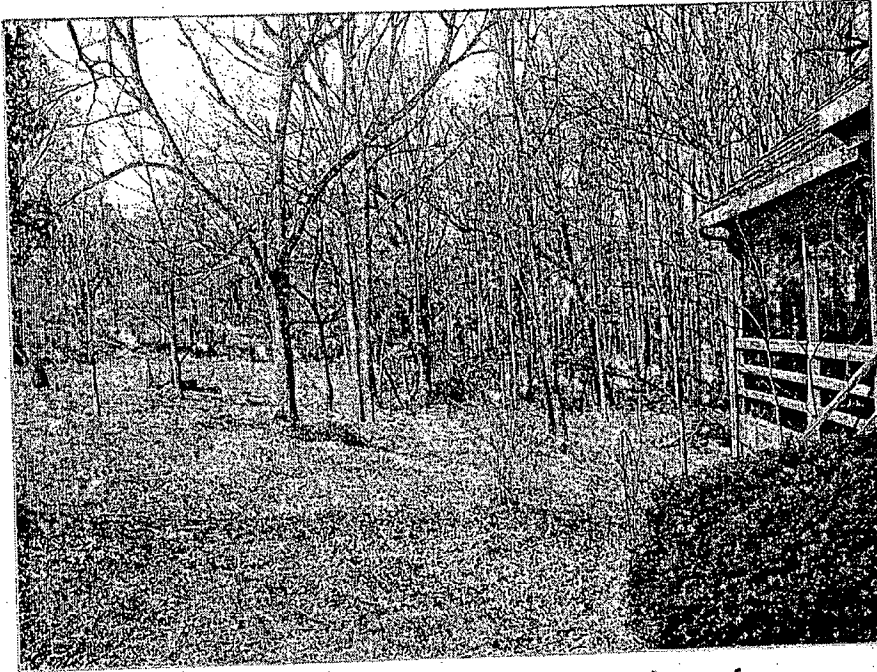


Photo 16 - View looking NW from face of existing stone structure



Photo 17 - View from back of Madison House lot looking East

203 Market St., Brookeville, MD
(view of surrounding land)

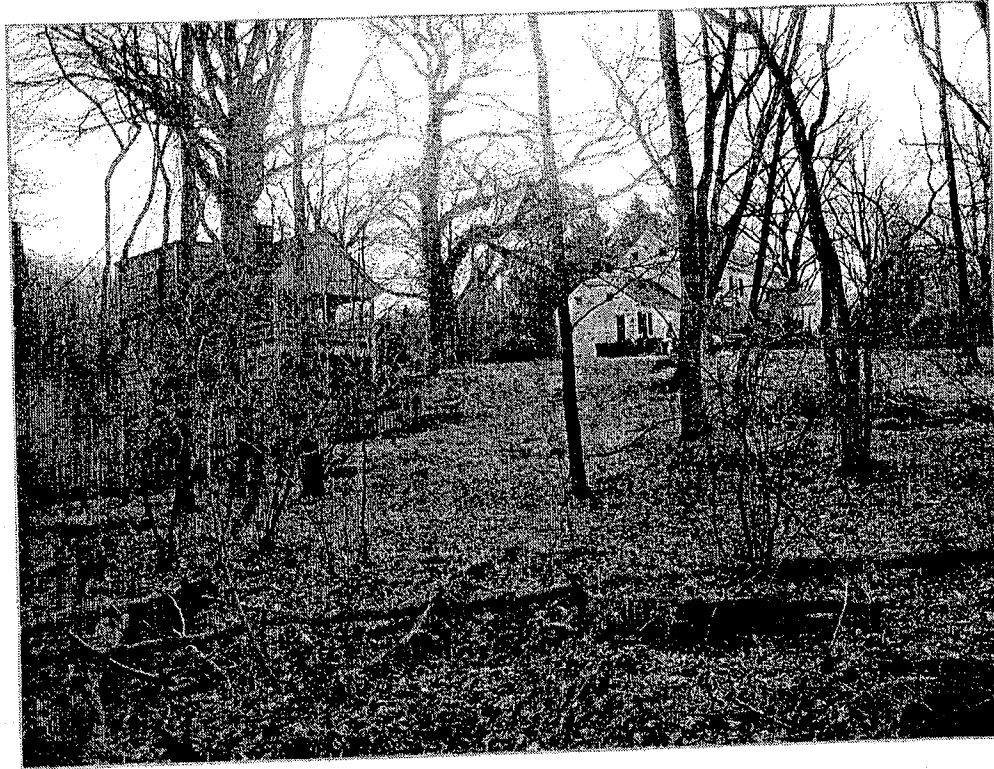


Photo 18 - View from across mill race looking South

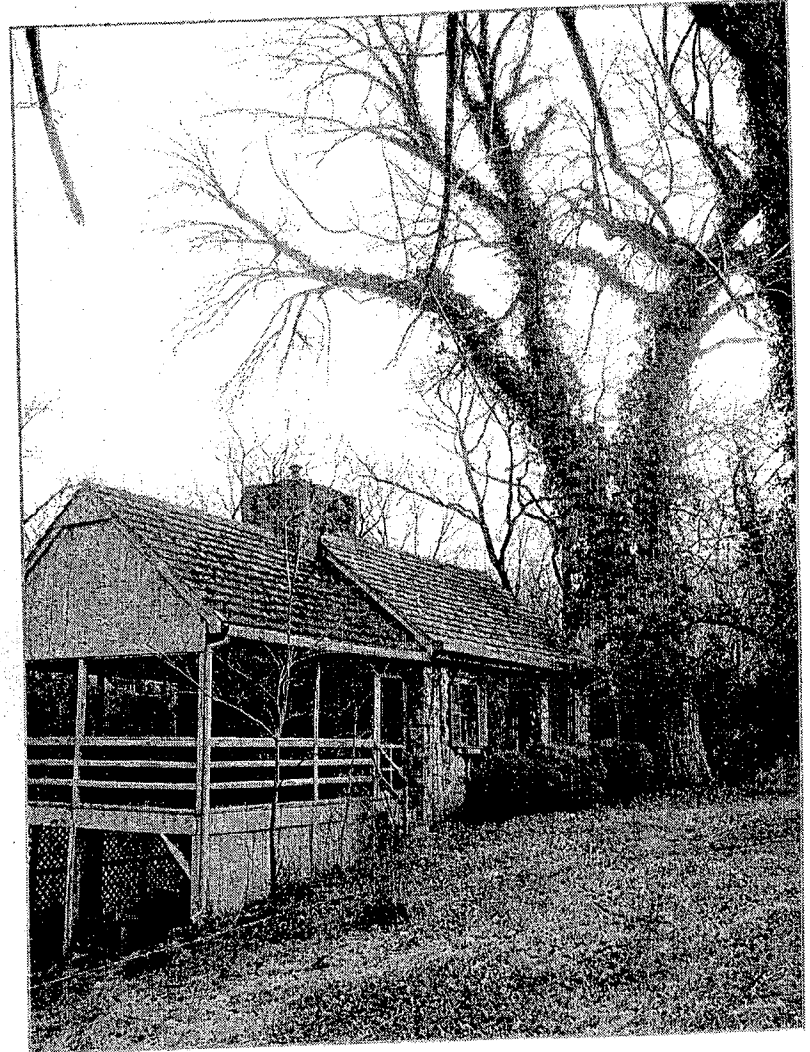


Photo 19 - View of large tree looming over existing stone structure. (Due to the tree's significant leaning towards the existing building and proximity to building it's removal is proposed.)

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203 Market St., Brookeville, MD
(view of surrounding land)



Photo 20 - Proposed new building site



Photo 21 - Route of future Race St. starting at end of existing drive. (Race St would be developed as part of an anticipated subdivision proposal of the Madison house property)

HISTORIC PRESERVATION COMMISSION STAFF REPORT

| | | | |
|---------------------|---|-----------------------|-------------|
| Address: | 203 Market Street | Meeting Date: | 02/09/05 |
| Applicant: | Chris and Andrea Scanlon (Miche Booz, Architect) | Report Date: | 02/02/05 |
| Resource: | Brookeville Historic District | Public Notice: | 01/26/05 |
| Review: | Preliminary Consultation | Tax Credit: | Partial |
| Case Number: | n/a | Staff: | Gwen Wright |
| PROPOSAL: | New construction or addition to existing structure, restoration of existing stone structure, construction of new outbuildings | | |
| RECOMMEND: | Proceed to HAWP | | |

SITE DESCRIPTION

SIGNIFICANCE: *Master Plan Site, #23/65 (National Register Historic District)*
STYLE: 18th Century Federal/Victorian/Early 20th-Century
DATE: c. 1794

The Town of Brookeville was originally platted in 1794 and is situated along Georgia Avenue, MD Route 97. On August 26, 1814 during the War of 1812, Brookeville was the U.S. Capital while President Madison fled the burning of Washington DC by the British. The house the President escaped to was owned by Caleb & Henrietta Bentley and is presently known as the "Madison House" located at 205 Market Street because of this renowned event.

The proposed project will be located at 203 Market Street, which is directly east of the Madison House. The Madison House is a 2-½ story brick house with an adjoining 1-story addition, which was the first Brookeville post office - circa 1802. Constructed in 1798, the house is an excellent example of a Federal style house in the district and carries high historical significance.

Adjacent and downhill from the Madison House is the Miller's Cottage at 203 Market Street, and this is the site of the current proposal. Originally constructed in 1788 for the Brookeville Mill and remodeled in the 1960s, this is currently a small 1-½ story fieldstone house that exhibits some historic detailing such as a massive external stone chimney with a walk-in fireplace.

In addition to the built environment, the topography of Market Street drops prominently southeast as it connects to Brighton Dam Road. Any new development on this lot will be viewed coming up Market Street into the historic downtown of Brookeville.

PROPOSAL

The applicant proposes to undertake a two phase project. Phase I is:

- Restoration of the existing stone structure (including removal of non-historic screen porch, tree removal, and roof repair)
- Construction of a new outbuilding – approximately 16' x 18'.
- Construction of a new single-family home or construction of a new addition to the existing stone structure to use it as a single-family home. Based on conversations with staff, the applicant prefers the approach of constructing a new house.

The second phase of the project would be:

- Construction of a new outbuilding – approximately 26' x 40', with the appearance of a traditional barn.

As part of this proposal, the applicant has provided a series of historic photos of the site that show that there were historically a collection of buildings in and around 203 Market Street including a mill, a mill barn, and a miller's cottage. Other than 203 Market Street, only foundations remain of the other structures that once existed.

Based on this historic information, staff has encouraged the applicant to look at constructing a detached single-family house rather than adding on to the existing small stone building at 203 Market Street. This is consistent with concept of re-creating a small cluster of buildings on the site as originally existed. The applicant has explored this option and prefers it; however, they are providing information on the alternative of adding on to the existing stone structure for the HPC's information.

The new house proposed is modest in size (just under 1,000 square foot footprint) and is designed in a simple, vernacular style with some Craftsman-style elements that is compatible with the historic character of Brookeville. The house makes use of the grade change on the property with the facade facing the Madison House being two stories and the facade facing the parkland being three stories.

The new outbuildings are proposed to be vernacular is style, using board and batten siding and metal or wood shingle roofing.

The applicant has also shown three alternatives for the driveway to the new house and outbuildings depending on whether a new public street (Race Street) is created by the Town of Brookeville in the near future.



STAFF DISCUSSION

The Town of Brookeville is a very significant historic district comprised of houses ranging from the late 1780s to the 1950s, with all of these eras represented immediately adjacent to the proposed project. Staff feels that any new construction that is introduced must be compatible with the surrounding buildings, and particularly sensitive to the older properties. Because this property is in a National Register Historic District, staff is very concerned that proposals for new construction be given the highest level of scrutiny for compatibility with the historic district.

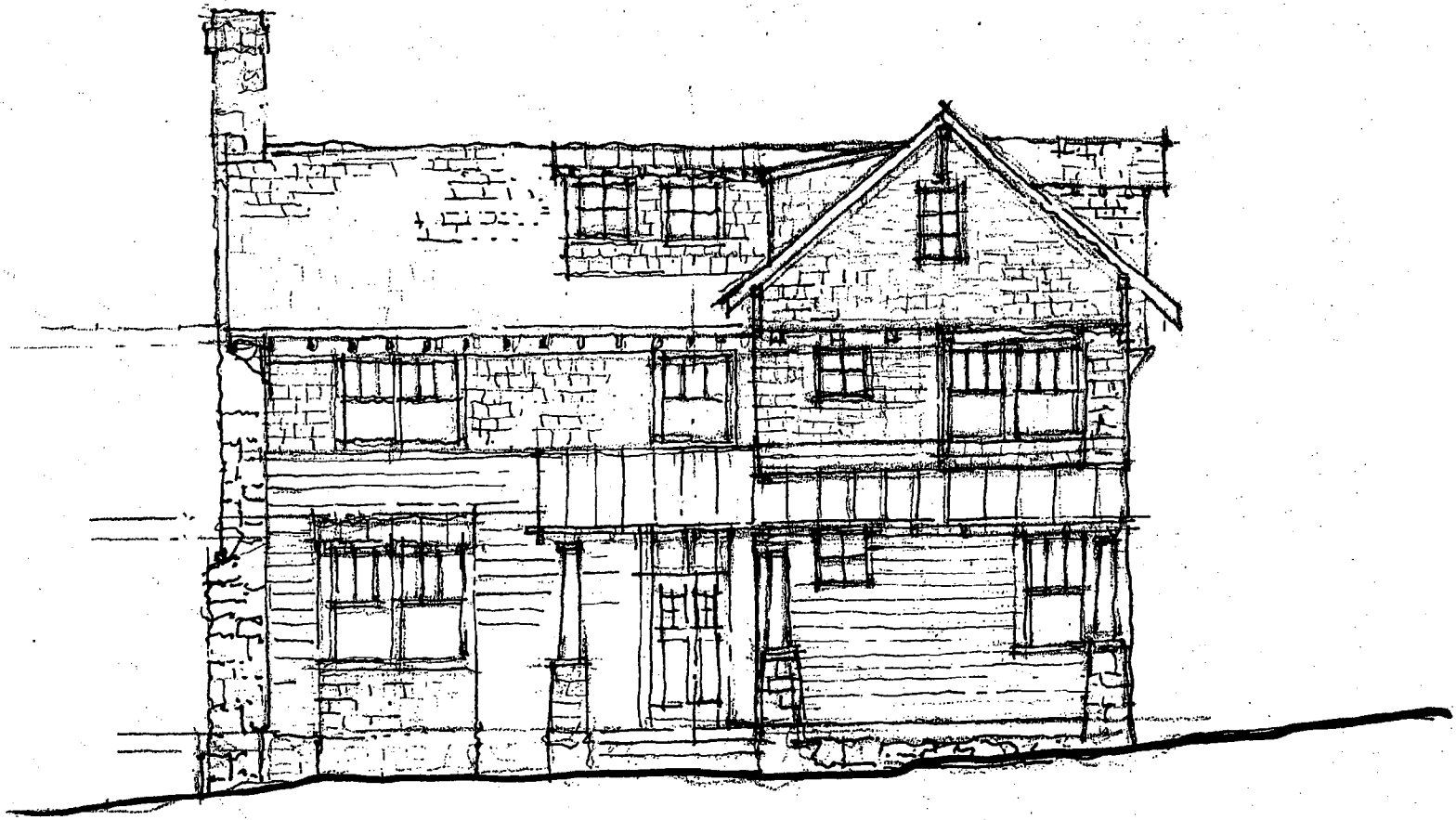
Given this background, staff generally feels that this project is well-conceived. It is consistent with the historic development of this site as it re-creates a cluster of buildings and outbuildings on this site. It makes use of the grade change on the site to minimize the impact of the new buildings on the historic structures nearby – particularly the Madison House.

Staff has four basic suggestions for the applicant and the HPC to consider:

1. Staff strongly recommends that the HPC support the concept of a new detached single-family house rather than adding on to the existing small stone structure. The size of the addition proposed would overwhelm the stone structure and it should not be undertaken. The stone structure should be – over a period of time – restored to its original appearance, including removal of the non-historic rear dormer.
2. The new house is compatible with the character of the historic district – particularly in terms of size and massing. However, staff would suggest that the architectural detailing of the house be as simple as possible. The current design is a bit too replicative and the house should read as a clearly non-historic building.
3. Additional information should be developed about the larger of the new outbuildings proposed. The HPC needs to see a detailed design and a massing study so as to assure that the new building does not add too much “structure” to this lot.
4. Finally, the three alternatives for driveways are very helpful. Staff believes that either Configuration A or B would be acceptable, as long as the driveways are gravel and not paved. In addition, the small parking space in front of the proposed new house (that is shown on all three configurations) should not be constructed under any of the scenarios.

STAFF RECOMMENDATION

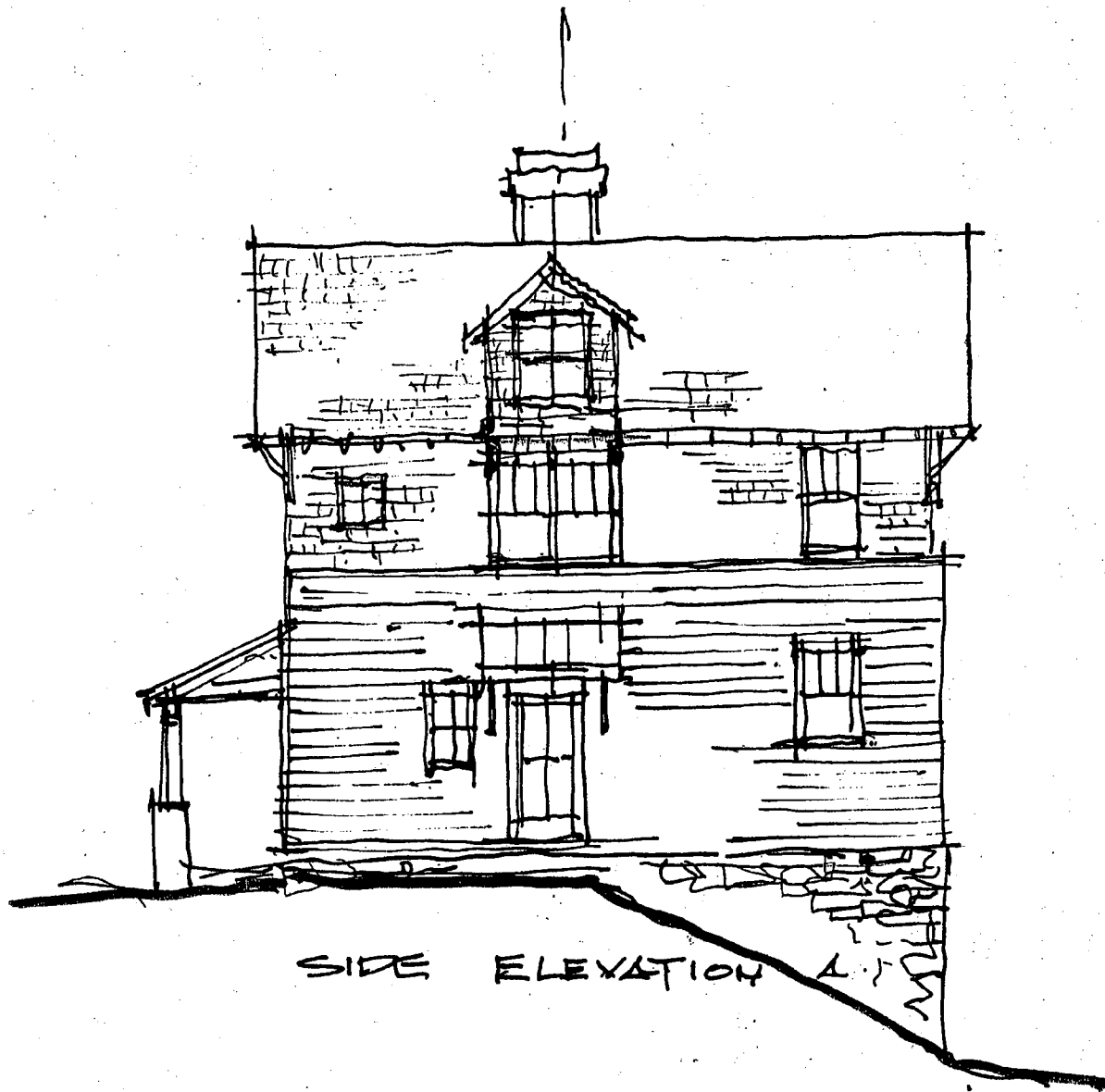
Overall, staff feels that this is a good project and should proceed to a Historic Area Work Permit. However, there are a number of suggestions – as listed above – that should be incorporated into any final HAWP application.



FRONT ELEVATION &

12
10

203 MARKET ST.
OPTION #1 (NEW HOUSE)



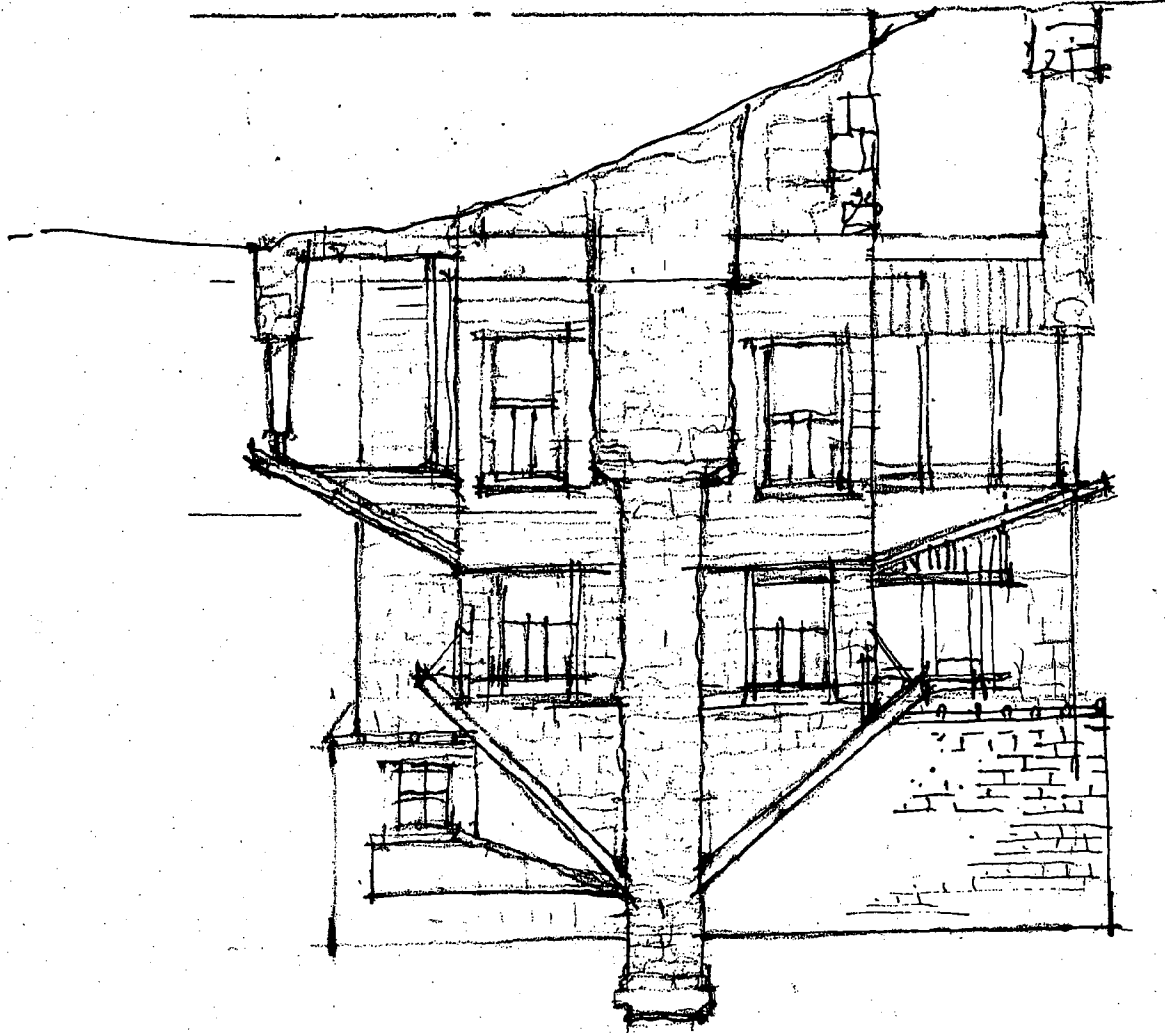
SIDE ELEVATION

203 MARKET ST,
OPTION #1 (NEW HOUSE)

26
41

203 MARKET ST.
OPTION #1 (NEW HOUSE)

SIDE ELEVATION A



24
24

1/2



REAR ELEVATION A.

203 MARKET ST.
OPTION #1 (NEW HOUSE)

~~23~~
43

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

| | |
|--|---|
| <p>Owner's mailing address CHRIS + ANDREA SCANLON 212 MARKET ST. BROOKEVILLE, MD 20833</p> | <p>Owner's Agent's mailing address MICHE BOOZ 208 MARKET ST. BROOKEVILLE, MD 20833</p> |
| <p align="center">Adjacent and confronting Property Owners mailing addresses</p> | |
| <p>RICHARD + DIANE ALLAN 205 MARKET ST. BROOKEVILLE, MD 20833</p> | <p>THE MARYLAND NATIONAL CAPITAL PARK + PLANNING COMMISSION 8787 GEORGIA AVE. SILVER SPRING, MD 20910</p> |
| <p>SCOTT PENLAND + CONNIE ANGIULI 200 MARKET ST. BROOKEVILLE, MD 20833</p> | |
| <p>SCOTT PENLAND + CONNIE ANGIULI 198 MARKET ST. BROOKEVILLE, MD 20833</p> | |

48
44

Tully, Tania

From: Scanlon, Chris [cscanlon@davisconstruction.com]
Sent: Thursday, August 11, 2005 1:22 PM
To: Tully, Tania
Subject: RE: SCANLON HOUSE

Hi Tania,

Joe mailed the smaller drawings on Mon, but I also just now dropped off another copy in case something happened to his drawings.

I also dropped off the large format prints for signature and understand that you can't stamp them until after the 17th. We are really anxious to get started with construction and made a conscious effort not to make any major changes to the design previously approved by the commission to try and avoid any delays at this step. If there is anything on the plans that is going to force us to wait longer than the 17th for approval, please let me know so we can change it, and avoid having to do the full HAWP revision.

Thanks.

Chris

From: Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]
Sent: Thursday, August 11, 2005 9:58 AM
To: Scanlon, Chris
Subject: RE: SCANLON HOUSE

Good morning Chris-

Thanks for the tree plans.

I have not yet received the smaller review drawings - Joes said he was going to mail them. I cannot stamp any drawings until I have taken the review drawings to the Commission on August 17th. At that meeting they will either give me permission to approve the changes at the staff level or there is a small possibility that they will want the changes brought back as a revision to the HAWP. I'm sorry if you misunderstood my previous message.

-Tania Tully

-----Original Message-----

From: Scanlon, Chris [mailto:cscanlon@davisconstruction.com]
Sent: Thursday, August 11, 2005 9:54 AM
To: Tully, Tania
Subject: RE: SCANLON HOUSE

Hi Tania,

Here are the final site and tree preservation plans for our house at 203 Market St. in Brookeville, MD. I will drop off 4 full size sets of all the drawings for your signature around 12:00pm today. You should have already received 8 1/2"x11" copies of the architectural plans direct from Miche's office.

Let me know if there is anything we can do to help you expedite the final HPC approval so we can proceed with our building permit.

8/12/2005

Thanks.

Chris Scanlon

From: Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]
Sent: Thursday, August 04, 2005 5:17 PM
To: Scanlon, Chris
Cc: MICHEBOOZ@aol.com
Subject: RE: SCANLON HOUSE

Chris-

I received the drawings from Miche Booz's office, and even taking into account some fax distortion, the cumulative effect is a change too great for me to approve under the Approval Condition. It still may be approvable at the staff level, but I will need to take this to the Commission on August 17 in order to receive permission to approve the changes at staff level.

In the meantime it would helpful to me to have clean 8 1/2 x 11 copies of the drawings to send to the Commission for review prior to the meeting.

Also, do you have a tree protection plan prepared yet?

I am out of the office tomorrow (Friday), but will be back in on Monday. Give me a call if you have questions.

Sincerely,
Tania Tully

Tania Georgiou Tully
Historic Preservation Planner
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, MD 20910
301-563-3400
301-563-3412 (fax)
www.mc-mncppc.org

-----Original Message-----

From: MICHEBOOZ@aol.com [mailto:MICHEBOOZ@aol.com]
Sent: Thursday, August 04, 2005 2:23 PM
To: Tully, Tania
Subject: SCANLON HOUSE

Tania,

8 JPGS are attached with the final Scanlon House drawings. (The PDF was too large and got bounced).

The changes to the drawings from the Feb.24 approval set are as follows:

Front elevation: no significant changes

Rear elevation: arrangement of basement doors/windows altered; arched opening over garage replaced with more conventional trabeation; double window in 2nd floor bedroom replaced with larger single (egress) window.

Side (farthest from stone house): chimney design refined; square window added to basement; screen added to rear porch; 1st floor windows minimized.

8/12/2005

Side (facing stone house): 1st floor windows regularized; 2nd floor windows moved; basement window removed.

General changes: all exposed rafter tails have been changed to a curved rafter tail (see dwgs.); gutters and downspouts added.

Hopefully these changes are minor enough to keep it on the staff level. Let us know what you think. I believe Chris Scanlon will be going for building permits on Monday if everything looks okay to you.

Call me if you have any questions or comments.

Thanks,

Joe Harris

Miche Booz Architect

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Joe Harris
Miche Booz Architect

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Tania Tully

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8/4/2005

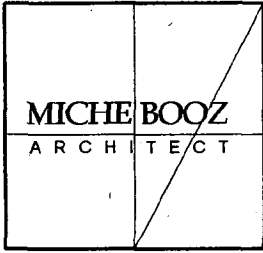
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Thanks,

Joe Harris
Miche Booz Architect



MEMORANDUM

Date: 8/8/05

Project: Scanlon House

To: Tania Tully
Historic Preservation Planner
MNCPPC-Historic Pres. Section
1109 Spring St. Ste. 801
Silver Spring, MD 20910

Tania,

Enclosed is a copy of the Scanlon drawings dated August 5, 2005 copied down to fit on 8 ½ x 11 pages. These drawings can replace the ones I faxed last Thursday.

Please call if you have any questions.

Thanks,


Joe Harris

SCANLON HOUSE

203 MARKET STREET,
BROOKEVILLE, MD 20833

ABBREVIATIONS

| | | | |
|--------------------|---------|-------------------|--------|
| ABOVE | ABV | MASONRY OPENING | M.O. |
| APPROXIMATE | APPROX. | MEDICINE CABINET | M.C. |
| AT | AT | METAL | MET. |
| AVERAGES | AVG | MINIMUM | MIN. |
| BASEMENT | BSMT. | MISCELLANEOUS | MISC. |
| BEAM | BM | NUMBER | NO. |
| BETWEEN | BET. | ON CENTER | O.C. |
| BLOCKING | BLKG | OPENING | OPNG |
| BOARD | BD | PAINTED | PTD |
| BOTTOM OF | B.O. | PLYWOOD | PLYWD |
| BRICK | BR. | PLASTER | PLAS. |
| BUILDING | BLDG | PLATE | PL. |
| CEILING | CLG | PRESSURE TREATED | P.T. |
| CERAMIC TILE | C.T. | ROUGH OPENING | R.O. |
| CLEAN CUT | C.O. | RISER | R. |
| COLUMN | COL. | ROOM | RM |
| CONCRETE | CONC. | SECTION | SEC. |
| CONC. MASONRY UNIT | CMU | SHEET | SHT |
| CONTINUOUS | CONT. | STEEL | STL |
| DETAIL | DET. | STONE | ST. |
| DIAMETER | Ø | THRESHOLD | THRES. |
| DIMENSION | DIM. | THICKNESS | THK |
| DOOR | DR | TO BE SPECIFIED | T.B.S. |
| DOWNSPOUT | D.S. | TO MATCH EXISTING | T.M.E. |
| EACH | EA. | TOP OF | T.O. |
| ELEVATION | EL. | TYPICAL | TYP. |
| ENTRANCE | ENT. | UNDERSIDE | U/S |
| EXISTING | EXG | UNLESS NOTED | U.N.O. |
| FEET | FT | OTHERWISE | |
| FLOOR | FL | VINYL TILE | V.C.T. |
| FOUNDATION | FNDN | WITH | W/ |
| GLASS | GL | WOOD | WD |
| GRADE | GR. | | |
| HARDWOOD | HWWD | | |
| HEIGHT | HT | | |
| INCH | IN. | | |
| INSULATION | INSUL. | SYMBOLS | |
| INTERIOR | INT. | SMOKE DETECTOR | (S) |
| LIGHT | LT | | |

ZONING

Owner: Chris & Andrea Scanlon
 Phone: 301-260-0246
 Address: 203 Market St.
 Lot: N/A
 Subdivision: 5
 Election District: 8
 Zone: HVR-Historic Village Residential
 Front BRL: 15' min.
 Side BRL: 8' min.
 Rear BRL: 40' min.
 Lot Coverage: n/a
 Bldg. Height: 35' max.
 Lot Size: 33105 SF

LOADS

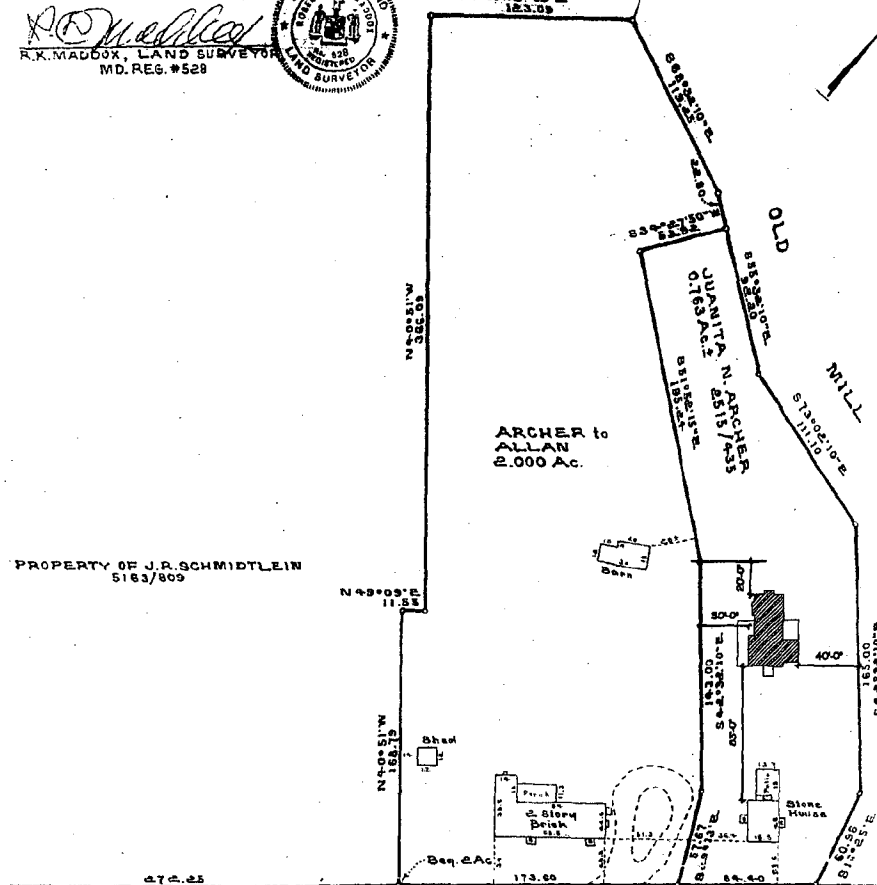
ROOF SNOW LOAD:
 30 PSF
 FLOOR LOAD: 40 PSF,
 30 PSF SLEEPING
 DECK:
 MIN. 40 PSF
 ROOMS OTHER
 THAN SLEEPING: 40 PSF
 STAIRS: MIN. 40 PSF
 FLOOR/CEILING LIVE LOAD
 DEFLECTDN:L/360

DESIGN CRITERIA

CONCRETE, STRUCT. CONC. SHALL BE DESIGNED IN ACCORDANCE W/ THE "BUILDING CODE REQ.'S FOR REINF. CONC. (ACI 318-99). THE CONC. USED SHALL HAVE MIN. ULTIMATE COMPRESSIVE STRENGTH OF 3500 PSI FOR 3000 PSI @ 28 DAYS FOR ALL OTHERS.
 STEEL: THE REINF. OF ASTM A615 GRADE 60 SHALL BE USED IN ALL THE CONC. STRUCTURES.
 STRUCTURAL STEEL: SHALL BE DESIGNED IN ACCORD. W/ "SPEC. FOR STRUC. STEEL BLDGS. (AISC ALLOW. STRESS DES. 9TH EDITION)
 STEEL SHAPES, PLATES, BARS, CHANNELS, & ANGLES OF GRADE ASTM 36 SHALL BE USED
 LUMBER: ALL FRAMING SHALL BE SPRUCE, PINE, HEMFIR NO.1/ NO.2 OR BETTER U.N.O.
 SOIL BEARING: 2000 PSF
 TERMITES INFESTATION: MODERATE TO HEAVY
 DECAY PROBABILITY: SLIGHT TO MODERATE
 SEISMIC DESIGN CATEGORY: B
 FROST LINE DEPTH: 30 IN.
 WINTER DESIGN TEMP: 13°F
 FLOOD HAZARDS: NO
 CONCRETE WEATHERING: SEVERE

shown hereon is correct; that it is a survey by Juanita N. Archer to by deed dated September 25, 1980 and lots of Montgomery County, Maryland is that stones marked thus □ and iron pipes here shown.

R.K. Maddox
 R.K. MADDOX, LAND SURVEYOR
 MD. REG. #528



PROPERTY OF J.R. SCHMIDTLEIN
 5183/805

MARKET STREET

PLAT OF SURVEY
 PARTS OF TRACTS OF LAND CALLED
 "KNOWN AS
 "MADISON HOUSE"
 TOWN OF BROOKEVILLE
 OLNEY (8th) DISTRICT
 MONTGOMERY COUNTY, MARYL

SCALE: 1" = 50'
 1" = 40'
 SEPT., 1980

R.K. MADDOX
 LAND SURVEYOR
 ROCKVILLE, MARYLAND

MICHE BOOZ
 ARCHITECT
CS1
 208 Market St
 Brookeville
 Maryland 20833
 (301) 774 8911
 fax: 774 1908

Project:
SCANLON HOUSE
 203 Market Street
 Brookeville, Maryland 20833
 Montgomery County

Drawings:
 COVER SHEET
 1 inch = 50 feet

Dates:
 SCHEMATICS 18 JAN 05
 H.A.W.P. SET 15 MAR 05
 DEVELOP. SET 15 MAY 05
 TODAY'S DATE 9 AUG 05

- INDEX OF DRAWINGS**
- A1 BASEMENT PLAN
 - A2 FIRST FLOOR PLAN
 - A3 SECOND FLOOR PLAN
 - A4 ATTIC FLOOR PLAN
 - A5 WEST ELEV.
 - A6 EAST ELEV.
 - A7 NORTH ELEV.
 - A8 SOUTH ELEV.
 - A9 SECTIONS
 - DT1 WALL BOT. DETAILS
 - B1 1ST FLR. FRAMING
 - B2 2ND FLR. FRAMING
 - B3 ATTIC FLR. FRAMING
 - B4 ROOF FRAMING
 - SD1 WINDOW & DOOR SCHEDULES
 - SD2 FINISH & INT. DOOR SCHEDULES

Permits:
 Town of Brookeville Building
 Permit Approved:
 March 1, 2005

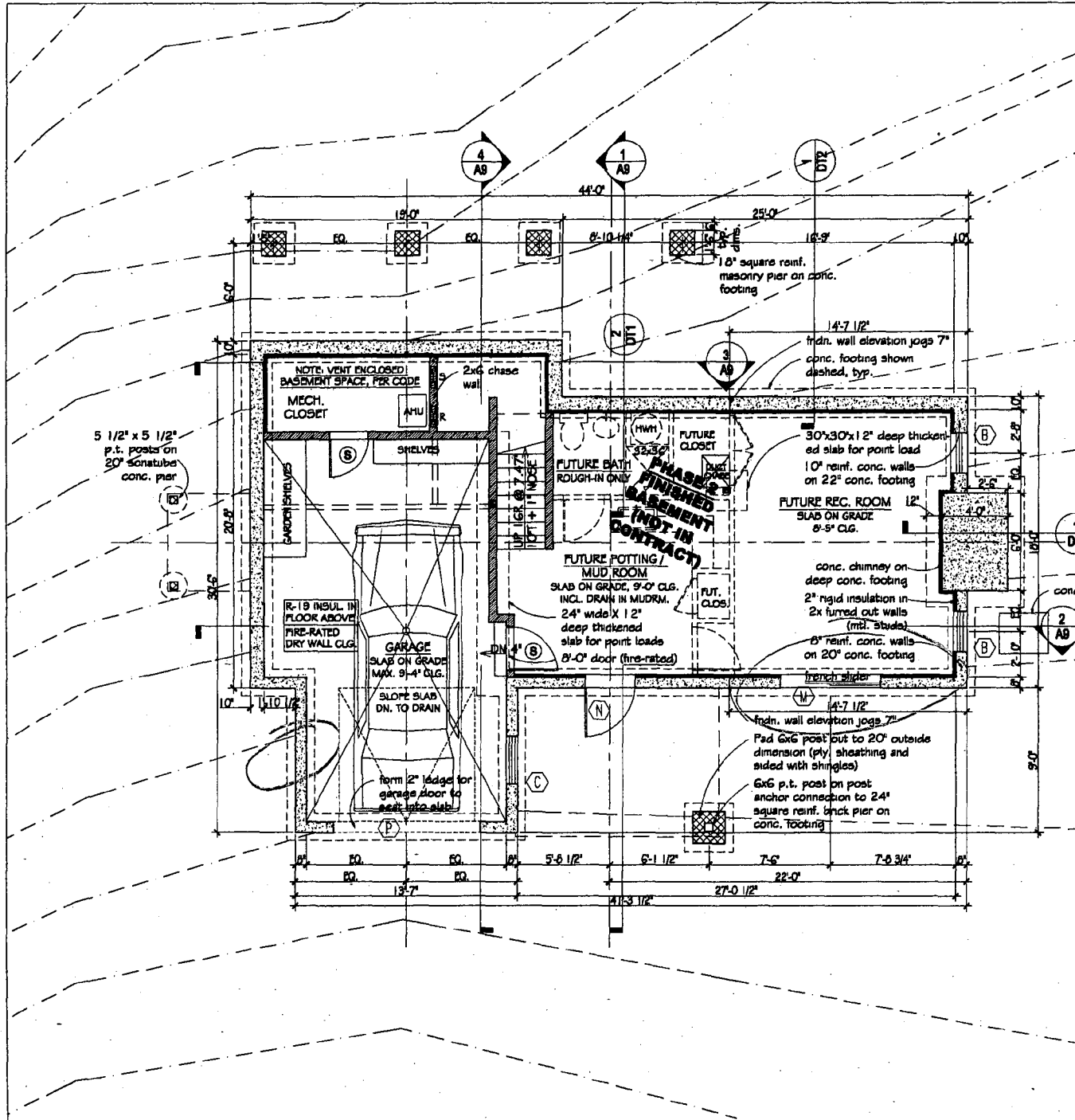
Historic Area Work Permit:
 #372891

Building Permit:
 Electrical Permit:

Consultants:
 General Contractor:
 Chris & Andrea Scanlon
 Structural Engineer:
 T.B.D.
 Mechanical Consultant:
 T.B.D.
 Electrical Contractor:
 T.B.D.

Code:
 IRC 2003

PERMIT SET - 5 AUGUST 2005



- NOTES:
- NEW MASONRY WALLS
 - NEW CONC. WALLS
 - NEW RIGID INSUL. FURRING
 - NEW FRAME WALLS
- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
 - ALL NEW EXTERIOR FRAMING TO BE 2 X 6S, U.N.O.
 - ALL NEW INTERIOR FRAMING TO BE 2 X 4S, U.N.O.
 - ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC. AS NOTED
- INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

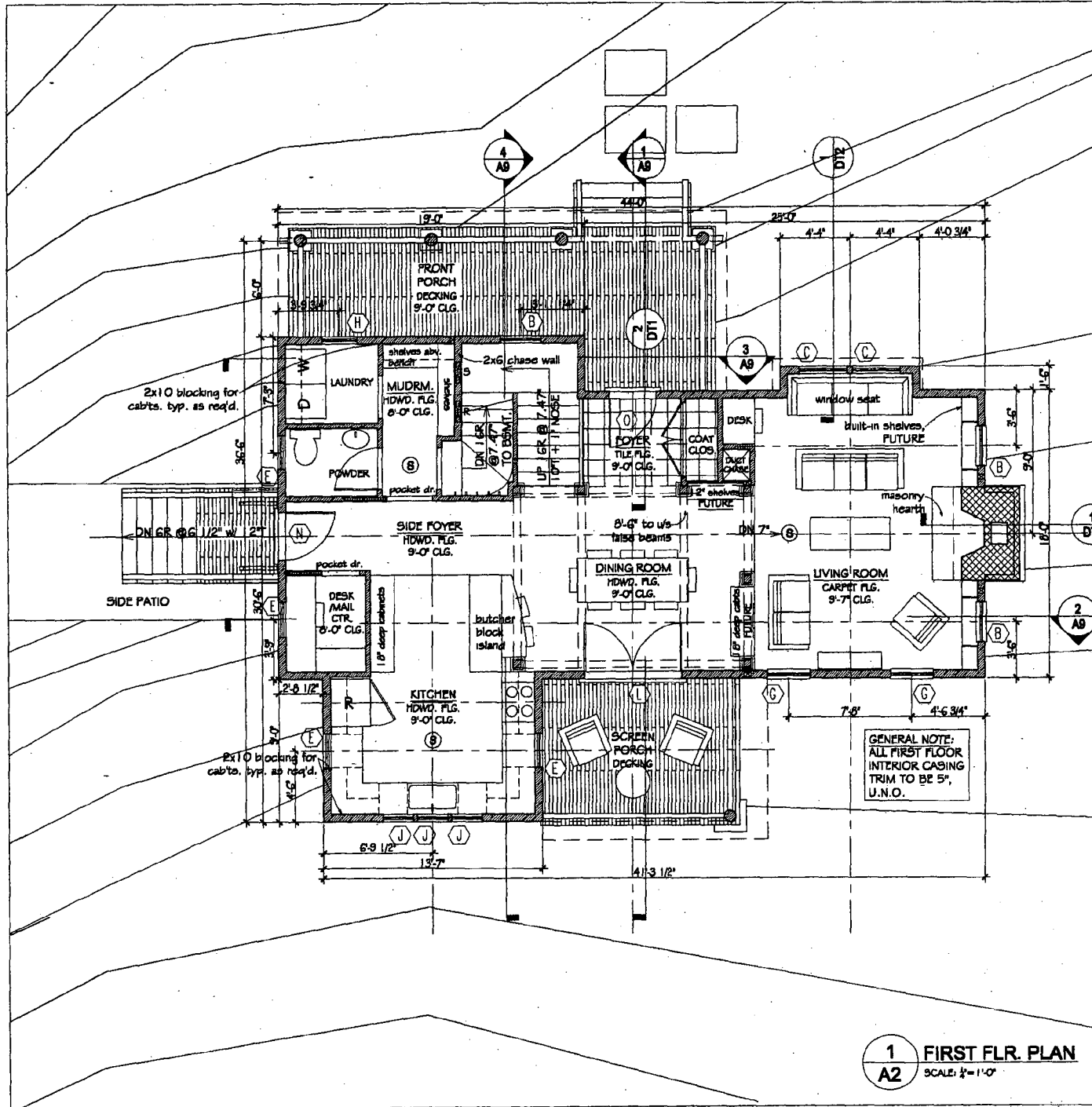
1 BASEMENT PLAN
A1 SCALE: 1/4" = 1'-0"





PERMIT SET - 5 AUGUST 2005

Project:
SCANLON HOUSE
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:
FIRST FLOOR PLAN

Dates:
SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



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- INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS**

1 FIRST FLR. PLAN
A2 SCALE: 1/4" = 1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ

ARCHITECT

A3

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

SCANLON
HOUSE

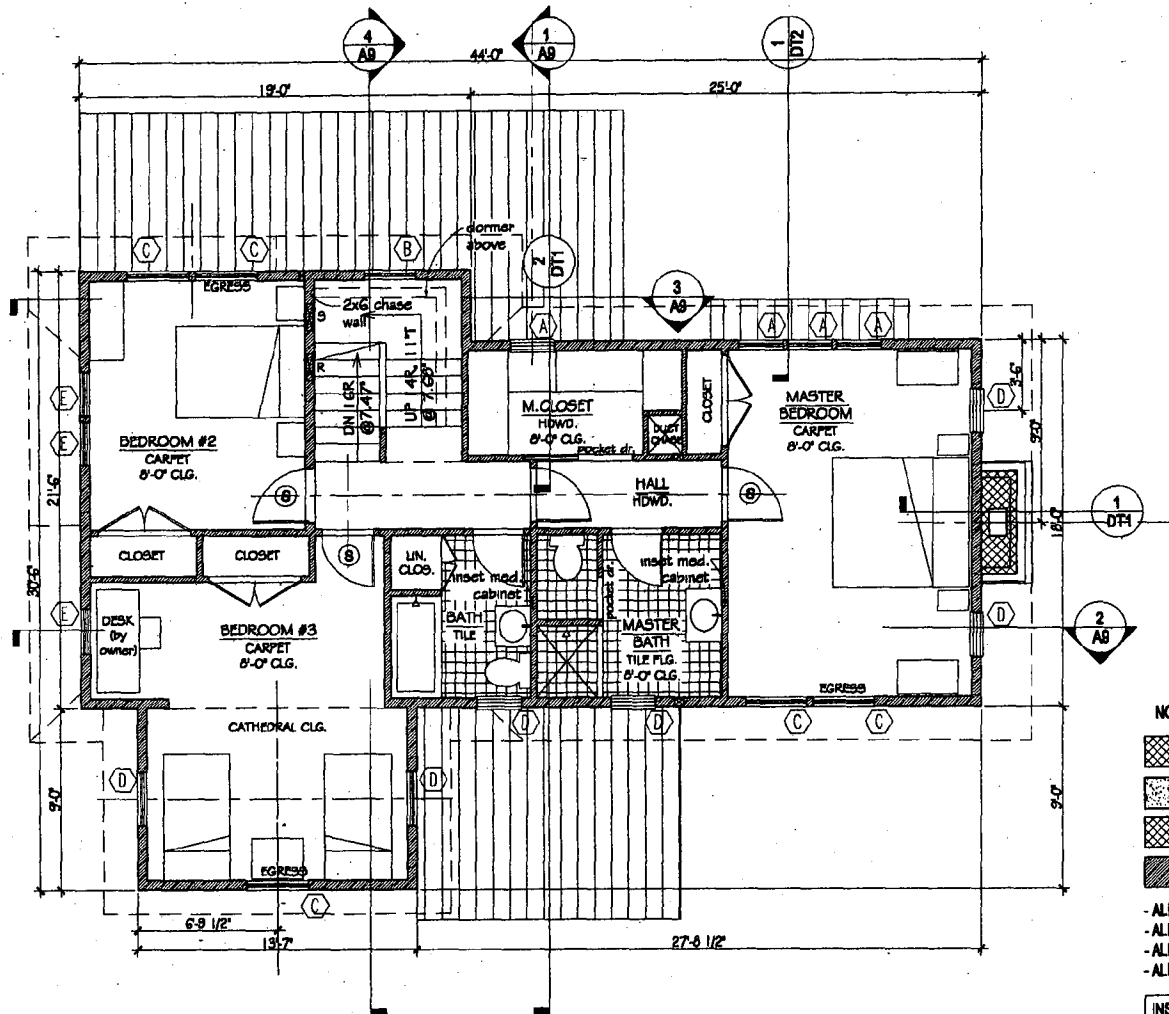
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:





SECOND FLOOR PLAN

Dates:

SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



NOTES:

-  - NEW MASONRY WALLS
-  - NEW CONC. WALLS
-  - NEW RIGID INSUL. FURRING
-  - NEW FRAME WALLS

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- ALL NEW INTERIOR FRAMING TO BE 2 X 4S, U.N.O.
- ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED

INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

1
A3 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ

ARCHITECT

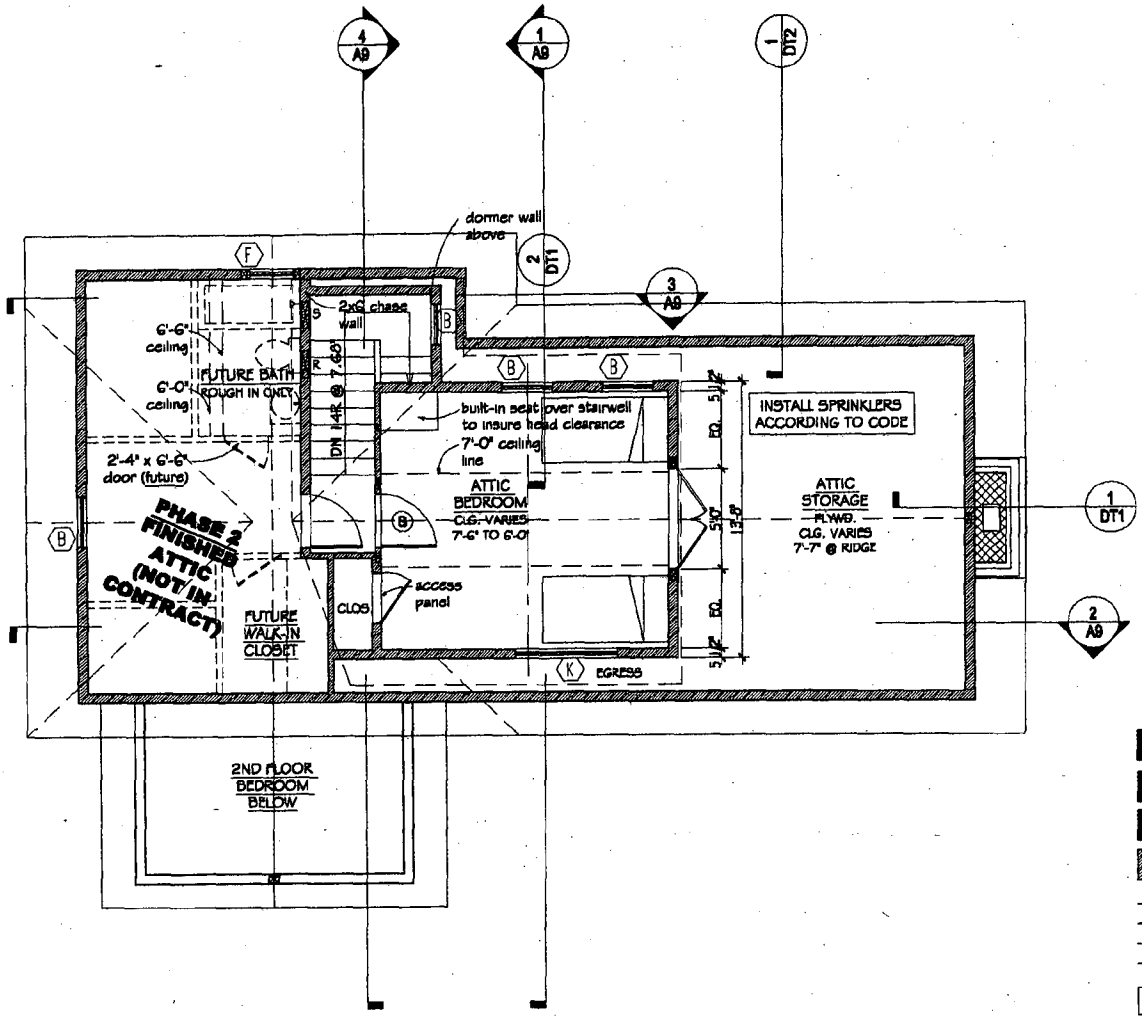
A4

208/Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON HOUSE
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:
ATTIC FLOOR PLAN

Dates:
SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



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1
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SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ
ARCHITECT

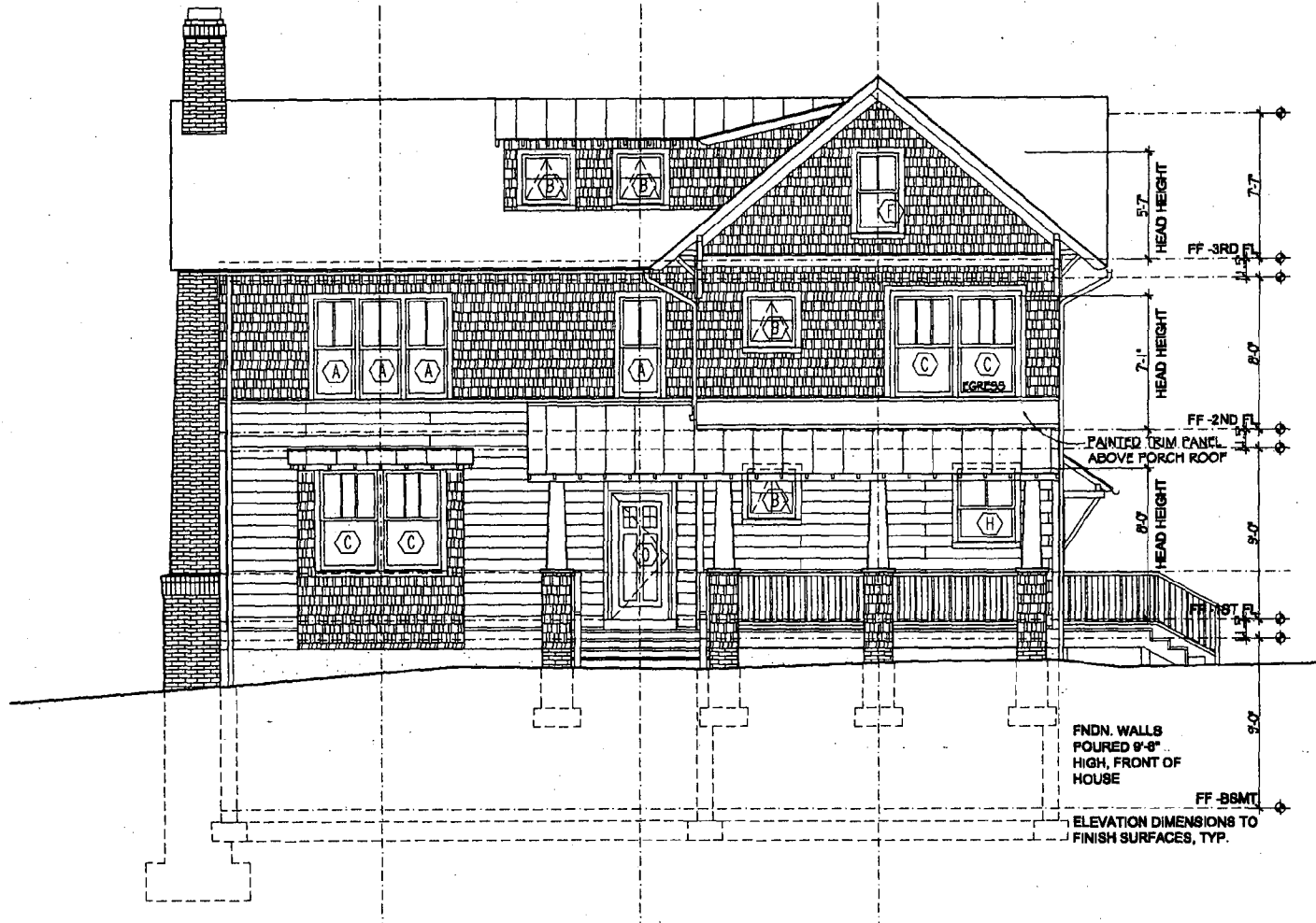
A5

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON
HOUSE
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:
WEST ELEVATION
1/4"=1'-0"

Dates:
SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



1 WEST ELEVATION
A5 SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ
ARCHITECT

A6

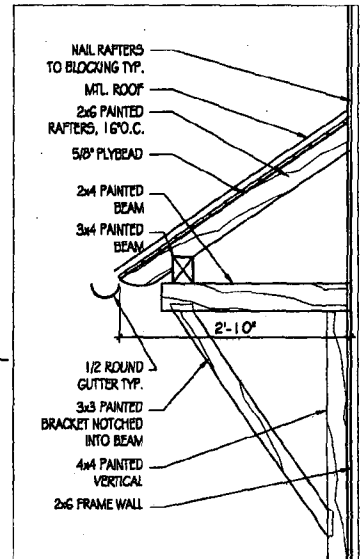
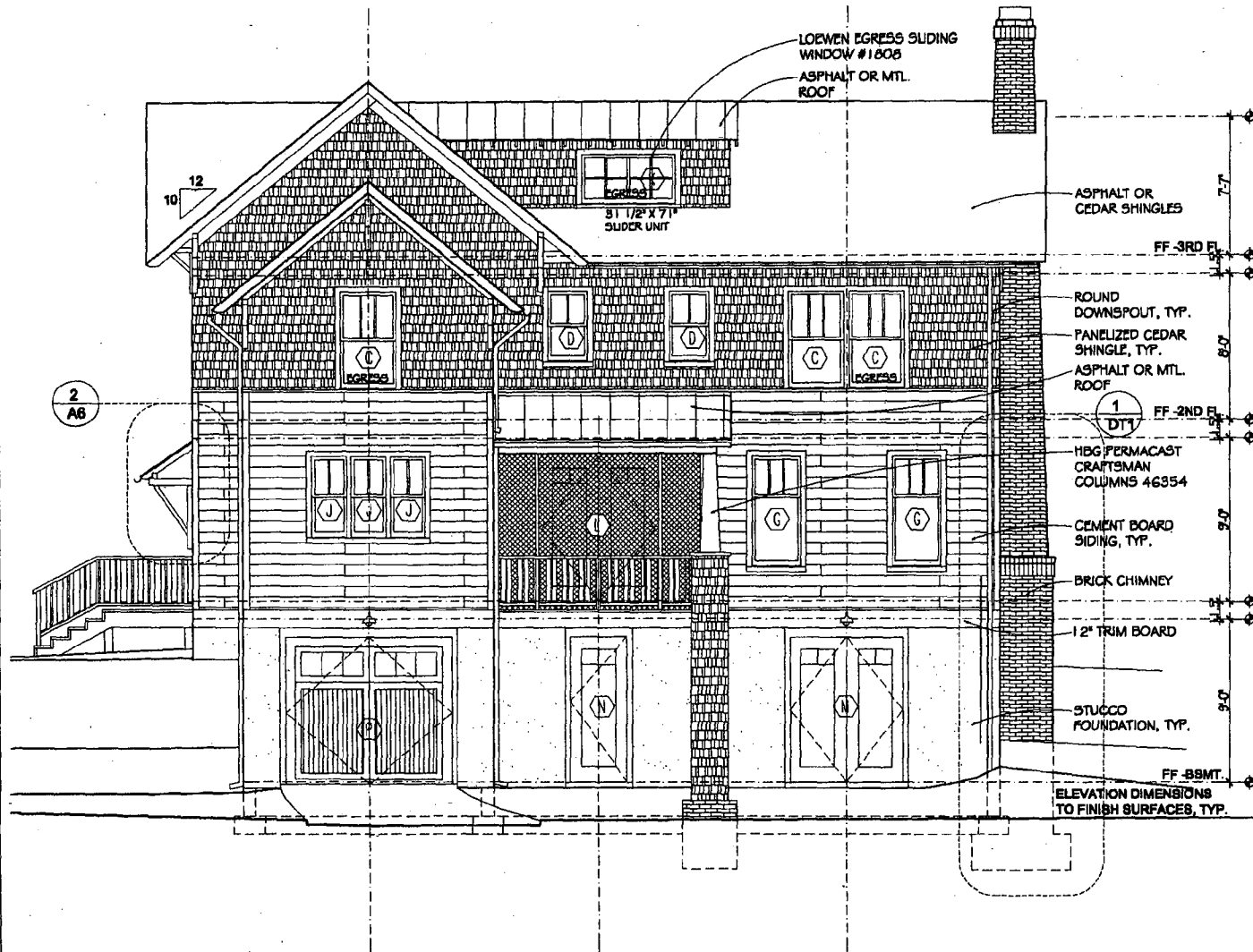
208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON HOUSE

203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:
EAST ELEVATION
1/4"=1'-0"

Dates:
SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



1 EAST ELEVATION
A6 SCALE: 1/4"=1'-0"

2 SHED ROOF DETAIL
A6 SCALE: 1"=1'-0"

PERMIT SET- 5 AUGUST 2005

MICHE BOOZ

ARCHITECT

A7

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

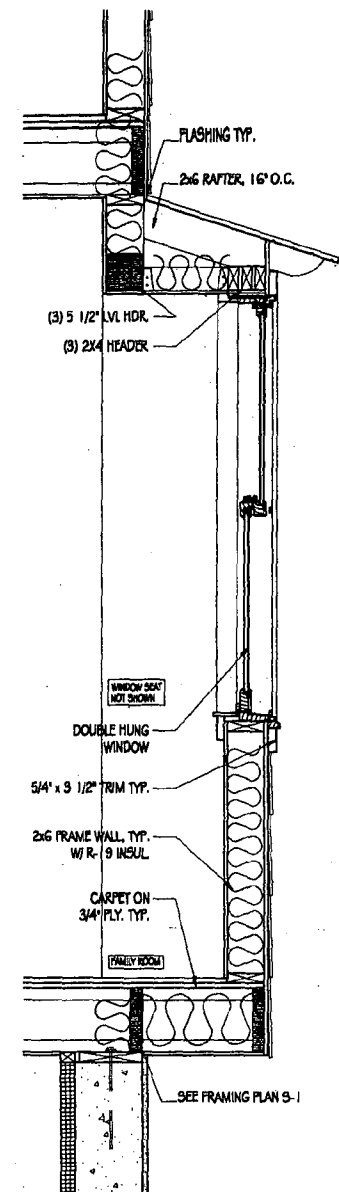
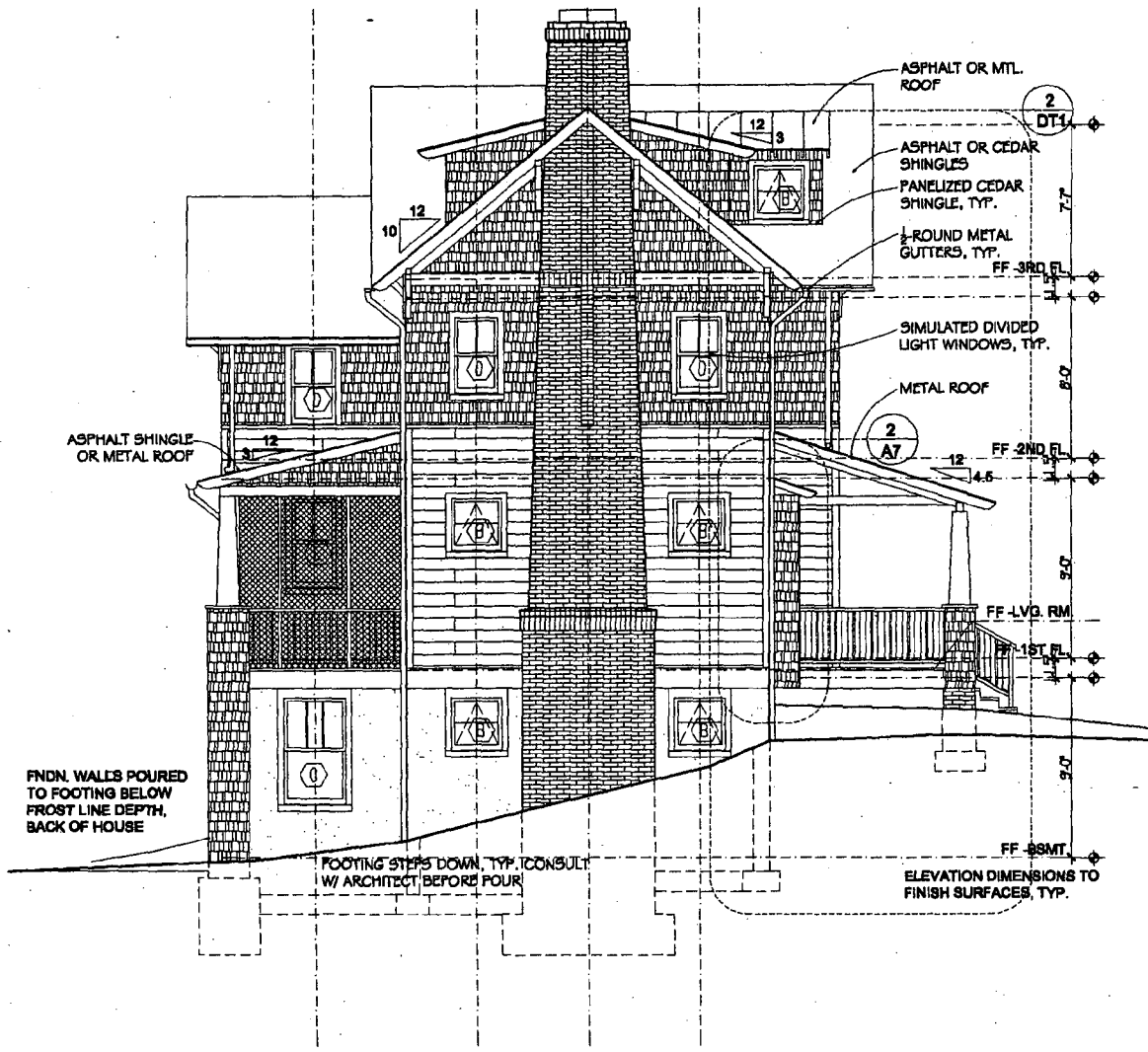
SCANLON HOUSE

203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:

NORTH ELEVATION
1/4"=1'-0"

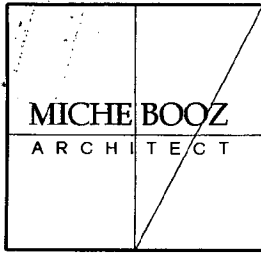
Dates:
SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



1 NORTH ELEVATION
A7 SCALE: 1/4"=1'-0"

2 WINDOW SEAT DETAIL
A7 SCALE: 1"=1'-0"

PERMIT SET - 5 AUGUST 2005



MEMORANDUM

Date: 8/8/05

Project: Scanlon House


To: Tania Tully
Historic Preservation Planner
MNCPPC-Historic Pres. Section
1109 Spring St. Ste. 801
Silver Spring, MD 20910

Tania,

Enclosed is a copy of the Scanlon drawings dated August 5, 2005 copied down to fit on 8 ½ x 11 pages. These drawings can replace the ones I faxed last Thursday.

Please call if you have any questions.

Thanks,


Joe Harris

SCANLON HOUSE

203 MARKET STREET,
BROOKEVILLE, MD 20833

ABBREVIATIONS

| | | | |
|---|--|---|---|
| ABOVE APPROXIMATE AT AVERAGES BASEMENT BEAM BETWEEN BLOCKING BOARD BOTTOM OF BRICK BUILDING CEILING CERAMIC TILE CLEAN OUT COLUMN CONCRETE CONC. MASONRY UNIT CONTINUOUS DETAIL DIAMETER DIMENSION DOOR DOWNSPOUT EACH ELEVATION ENTRANCE EXISTING FEET FLOOR FOUNDATION GLASS GRADE HARDWOOD HEIGHT INCH INSULATION INTERIOR LIGHT | ABV APPROX. @ AVG BSMT. BM BET. BLKG BD B.O. BR BLDG CLG C.T. C.O. COL. CONC. CMU CONT. DET. Ø DIM. DR D.S. EA. EL. ENT. EXG FT FL FNDN GR. HDWD HT IN. INT. INSUL. LT | MASONRY OPENING MEDICINE CABINET METAL MINIMUM MISCELLANEOUS NUMBER ON CENTER OPENING PAINTED PLYWOOD PLASTER PLATE PRESSURE TREATED ROUGH OPENING RISER ROOM SECTION SHEET STEEL STONE THRESHOLD THICKNESS TO BE SPECIFIED TO MATCH EXISTING TOP OF TREAD TYPICAL UNDERSIDE UNLESS NOTED VINYL TILE WOOD | M.O. M.C. MET. MIN. MISC. NO. O.C. OPNG PTD. FLYWD PLAS. PL. P.T. R.O. R. RM SEC. SHT STL ST. THRES. THK T.B.S. T.M.E. T.O. T. TYP. U/S U.N.O. V.C.T. W/ WD |
| | | SYMBOLS | |
| | | SMOKE DETECTOR | Ⓢ |

ZONING

Owner: Chris & Andrea Scanlon
Phone: 301-260-0246
Address: 203 Market St.
Lot: N/A
Subdivision: 5
Election District: 8
Zone: HVR-Historic Village Residential
Front BRL: 15' min.
Side BRL: 8' min.
Rear BRL: 40' min.
Lot Coverage: n/a
Bldg. Height: 35' max.
Lot Size: 33105 SF

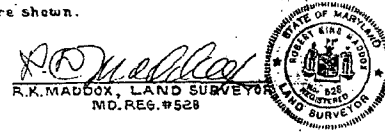
LOADS

ROOF SNOW LOAD: 30 PSF
FLOOR LOAD: 40 PSF, 30 PSF SLEEPING DECK:
MIN. 40 PSF ROOMS OTHER THAN SLEEPING: 40 PSF STAIRS: MIN. 40 PSF FLOOR/CEILING LIVE LOAD DEFLECTION: L/360

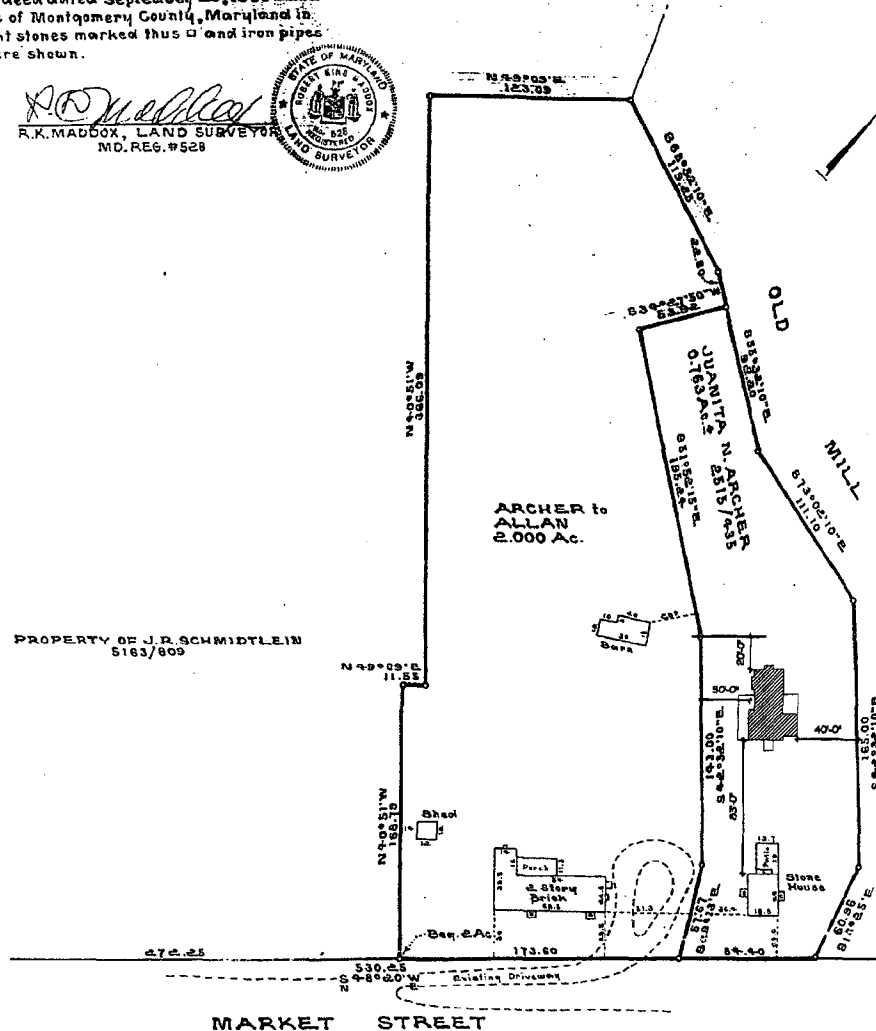
DESIGN CRITERIA

CONCRETE: STRUCT. CONC. SHALL BE DESIGNED IN ACCORDANCE W/ THE "BUILDING CODE REQ.'S FOR REINF. CONC. (ACI 318-99). THE CONC. USED SHALL HAVE MIN. ULTIMATE COMPRESSIVE STRENGTH OF 3500 PSI FOR 3000 PSI @ 28 DAYS FOR ALL OTHERS.
STEEL: THE REINF. OF ASTM A615 GRADE 60 SHALL BE USED IN ALL THE CONC. STRUCTURES.
STRUCTURAL STEEL: SHALL BE DESIGNED IN ACCORD. W/ "SPEC. FOR STRUC. STEEL BLDGS. (AISC ALLOW. STRESS DES. 9TH EDITION) STEEL SHAPES, PLATES, BARS, CHANNELS, & ANGLES OF GRADE ASTM 36 SHALL BE USED
LUMBER: ALL FRAMING SHALL BE SPRUCE, PINE, HEMFIR NO.1/ NO.2 OR BETTER U.N.O.
SOIL BEARING: 2000 PSF
TERMITE INFESTATION: MODERATE TO HEAVY
DECAY PROBABILITY: SLIGHT TO MODERATE
SEISMIC DESIGN CATEGORY: B
FROST LINE DEPTH: 30 IN.
WINTER DESIGN TEMP: 13°F
FLOOD HAZARDS: NO
CONCRETE WEATHERING: SEVERE

shown hereon is correct; that it is a survey by Juanita N. Archer to by deed dated September 25, 1980 and lots of Montgomery County, Maryland in that stones marked thus and iron pipes here shown.



PROPERTY OF J.R. SCHMIDTLEIN
5163/809



PLAT OF SURVEY
PARTS OF TRACTS OF LAND CALLED
"MADISON HOUSE"
TOWN OF BROOKEVILLE
OLNEY (8th) DISTRICT
MONTGOMERY COUNTY, MARYL

SCALE: 1" = 40'
SEPT., 1980

R.K. MADDOX
LAND SURVEYOR
ROCKVILLE, MARYLAND

MICHE BOOZ
ARCHITECT

CS1
208 Market St
Brookville
Maryland 20833
301-774-6911
fax: 774-1908

Project:
SCANLON HOUSE
203 Market Street
Brookville, Maryland 20833
Montgomery County

Drawings:
COVER SHEET
1 inch = 50 feet

Dates:
SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05

INDEX OF DRAWINGS

- A1 BASEMENT PLAN
- A2 FIRST FLOOR PLAN
- A3 SECOND FLOOR PLAN
- A4 ATTIC FLOOR PLAN
- A5 WEST ELEV.
- A6 EAST ELEV.
- A7 NORTH ELEV.
- A8 SOUTH ELEV.
- A9 SECTIONS
- DT1 WALL SECT. DETAILS
- S1 1ST FLR. FRAMING
- S2 2ND FLR. FRAMING
- S3 ATTIC FLR. FRAMING
- S4 ROOF FRAMING
- SC1 WINDOW & DOOR SCHEDULES
- SC2 FINISH & INT. DOOR SCHEDULES

Permits:

Town of Brookville Building
Permit Approved:
March 1, 2005

Historic Area Work Permit:
#372691

Building Permit:

Electrical Permit:

Consultants:

General Contractor:
Chris & Andrea Scanlon

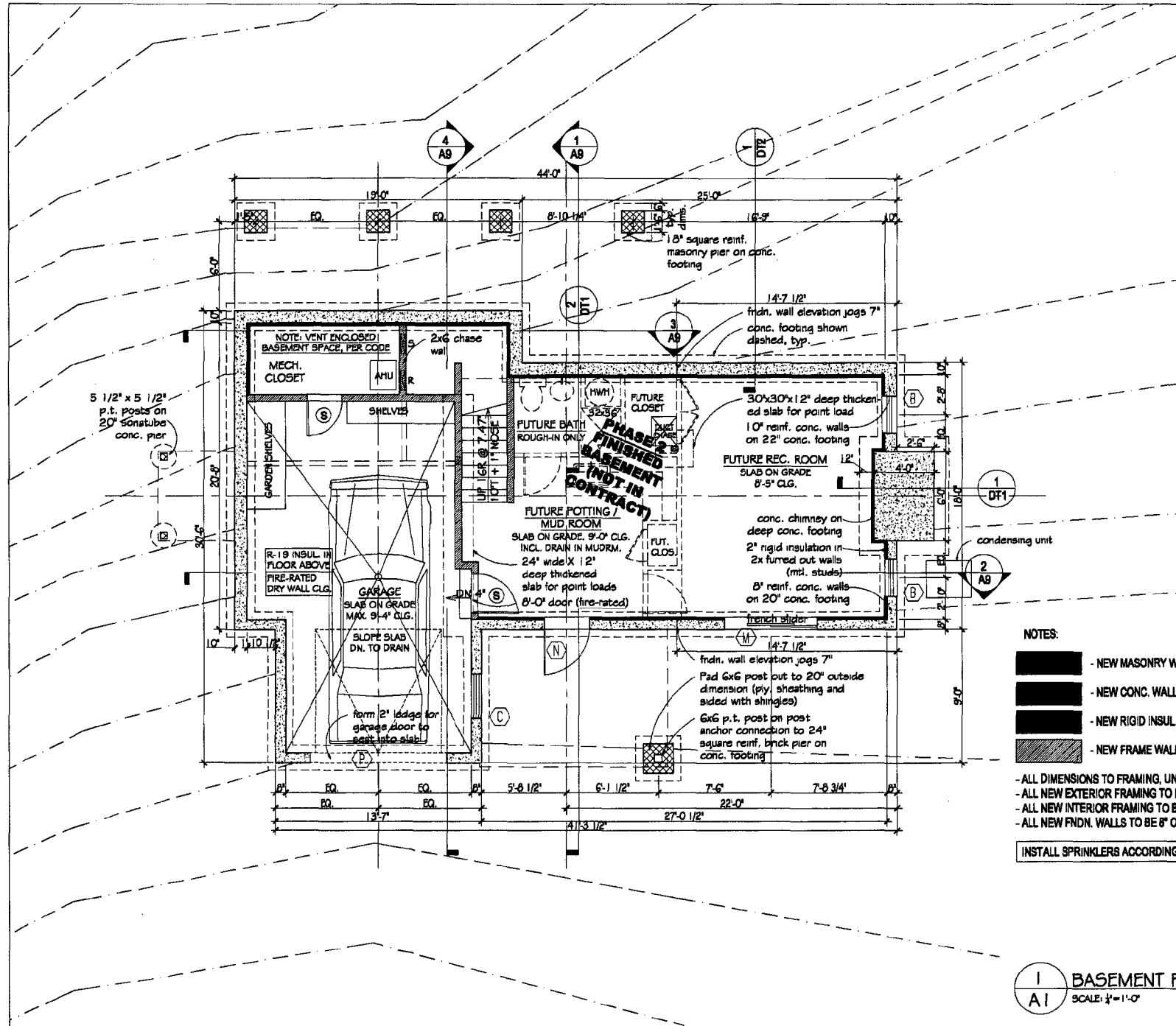
Structural Engineer:
T.B.D.

Mechanical Consultant:
T.B.D.

Electrical Contractor:
T.B.D.

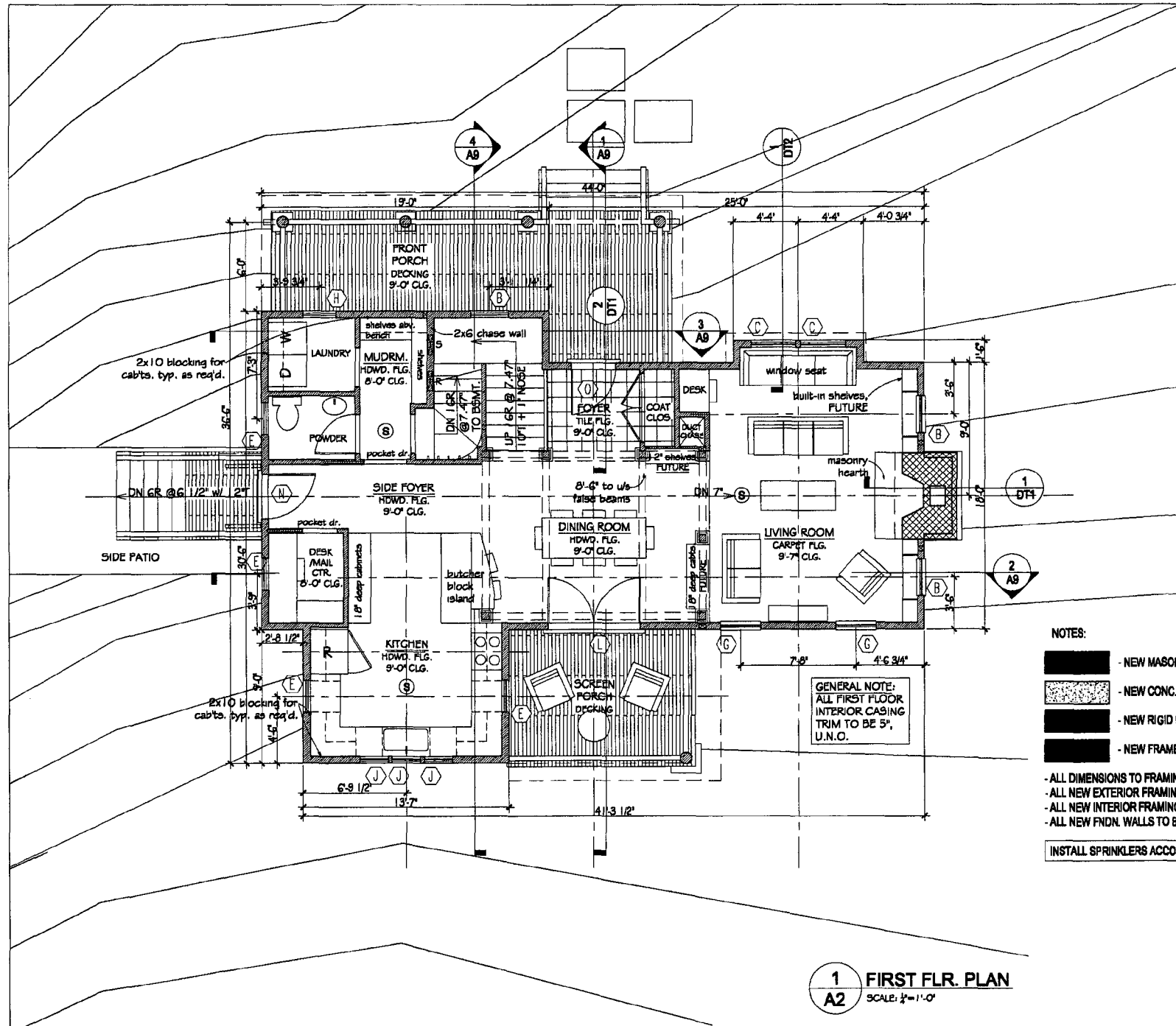
Code:
IRC 2003

PERMIT SET - 5 AUGUST 2005



- NOTES:**
- NEW MASONRY WALLS
 - NEW CONC. WALLS
 - NEW RIGID INSUL. FURRING
 - NEW FRAME WALLS
- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
 - ALL NEW EXTERIOR FRAMING TO BE 2X 6'S, U.N.O.
 - ALL NEW INTERIOR FRAMING TO BE 2X 4'S, U.N.O.
 - ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED
- INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

1
A1 **BASEMENT PLAN**
SCALE: 1/4" = 1'-0"



- NOTES:**
- NEW MASONRY WALLS
 - NEW CONC. WALLS
 - NEW RIGID INSUL. FURRING
 - NEW FRAME WALLS
- GENERAL NOTE:**
 ALL FIRST FLOOR INTERIOR CASING TRIM TO BE 5", U.N.C.
- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE
 - ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.C.
 - ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.C.
 - ALL NEW FNDN. WALLS TO BE 8" OR 10" CONC., AS NOTED
- INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS**

1
A2 **FIRST FLR. PLAN**
 SCALE: 1/4"=1'-0"

MICHE BOOZ

ARCHITECT

A3

208 Market St
Brookville
Maryland 20833
(301)774-6911
fax: 774-1908

Project:

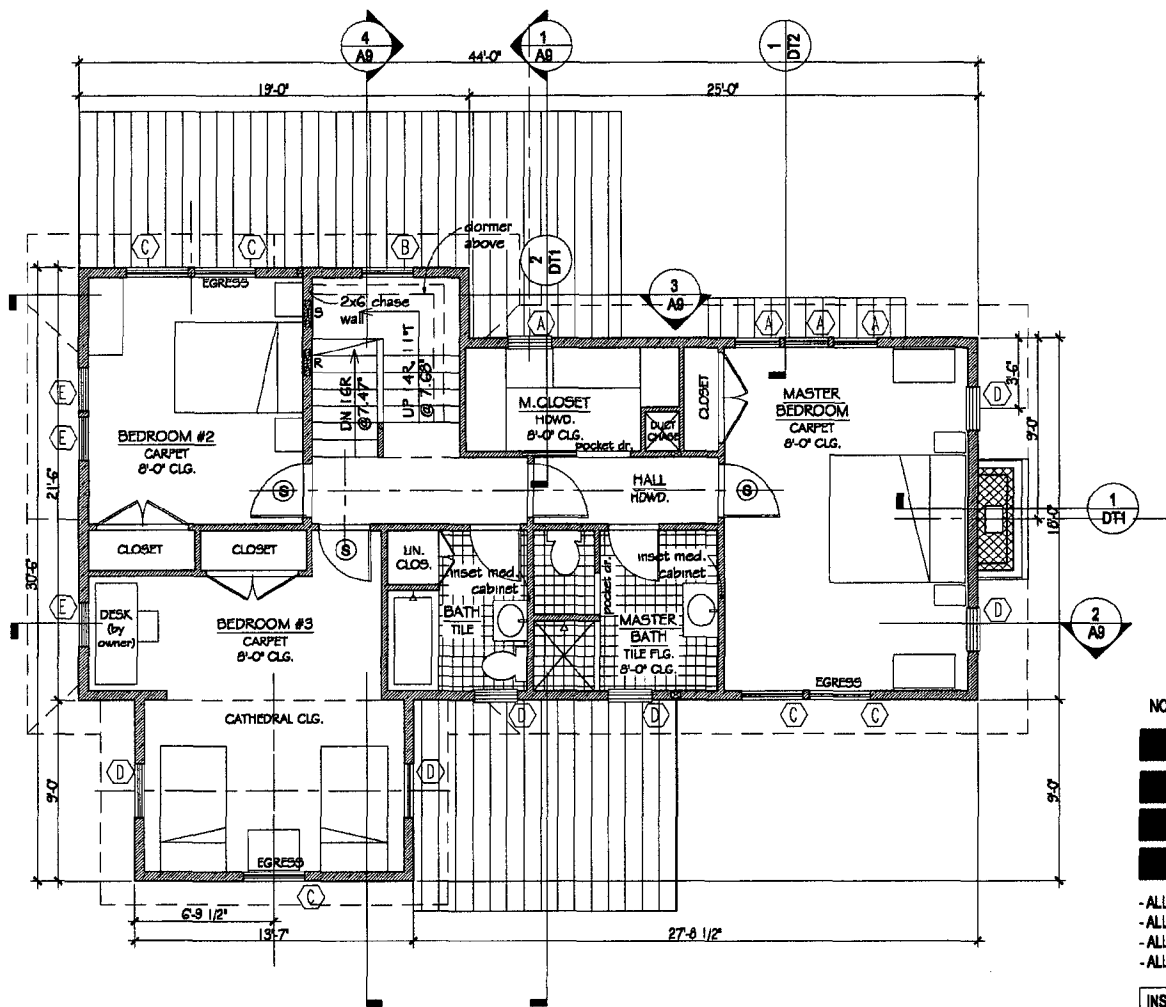
SCANLON
HOUSE

203 Market Street
Brookville, Maryland 20833
Montgomery County

Drawings:

SECOND FLOOR PLAN

Dates:
SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



NOTES:

- NEW MASONRY WALLS
- NEW CONC. WALLS
- NEW RIGID INSUL. FURRING
- NEW FRAME WALLS

- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
- ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
- ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- ALL NEW FIN.D. WALLS TO BE 8" OR 10" CONC., AS NOTED

INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

1
A3 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ

ARCHITECT

A4

208 Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

SCANLON
HOUSE

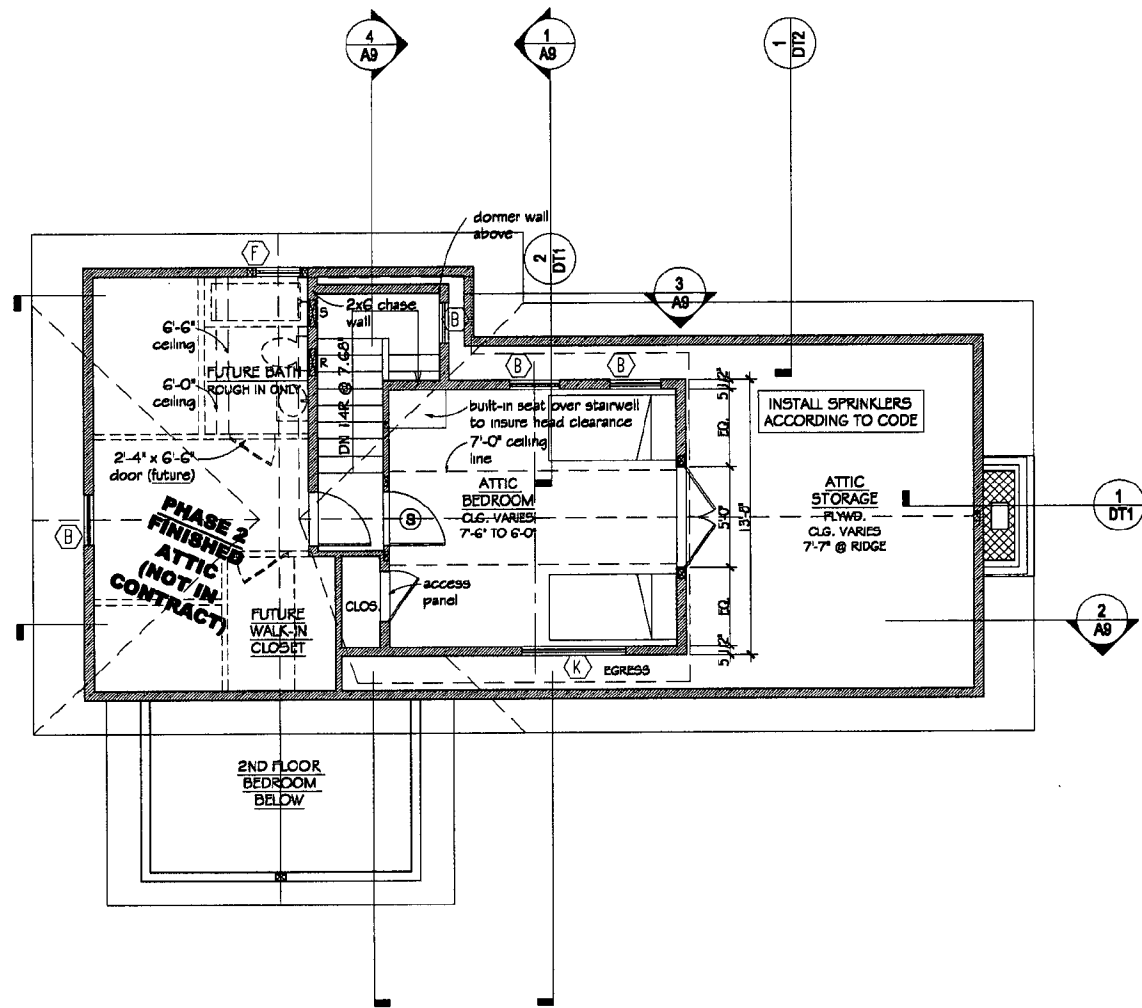
203 Market Street
Brookville, Maryland 20833
Montgomery County

Drawings:

ATTIC FLOOR PLAN

Dates:

SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



NOTES:

- NEW MASONRY WALLS
- NEW CONC. WALLS
- NEW RIGID INSUL. FURRING
- NEW FRAME WALLS

- ALL DIMENSIONS TO FRAMING, UNLESS NOTED OTHERWISE.
- ALL NEW EXTERIOR FRAMING TO BE 2 X 6'S, U.N.O.
- ALL NEW INTERIOR FRAMING TO BE 2 X 4'S, U.N.O.
- ALL NEW FNDN. WALLS TO BE 8" DR 10" CONC., AS NOTED

INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

1
A4 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

PERMIT SET - 5 AUGUST 2005

MICHE BOOZ
ARCHITECT

A5

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

SCANLON
HOUSE

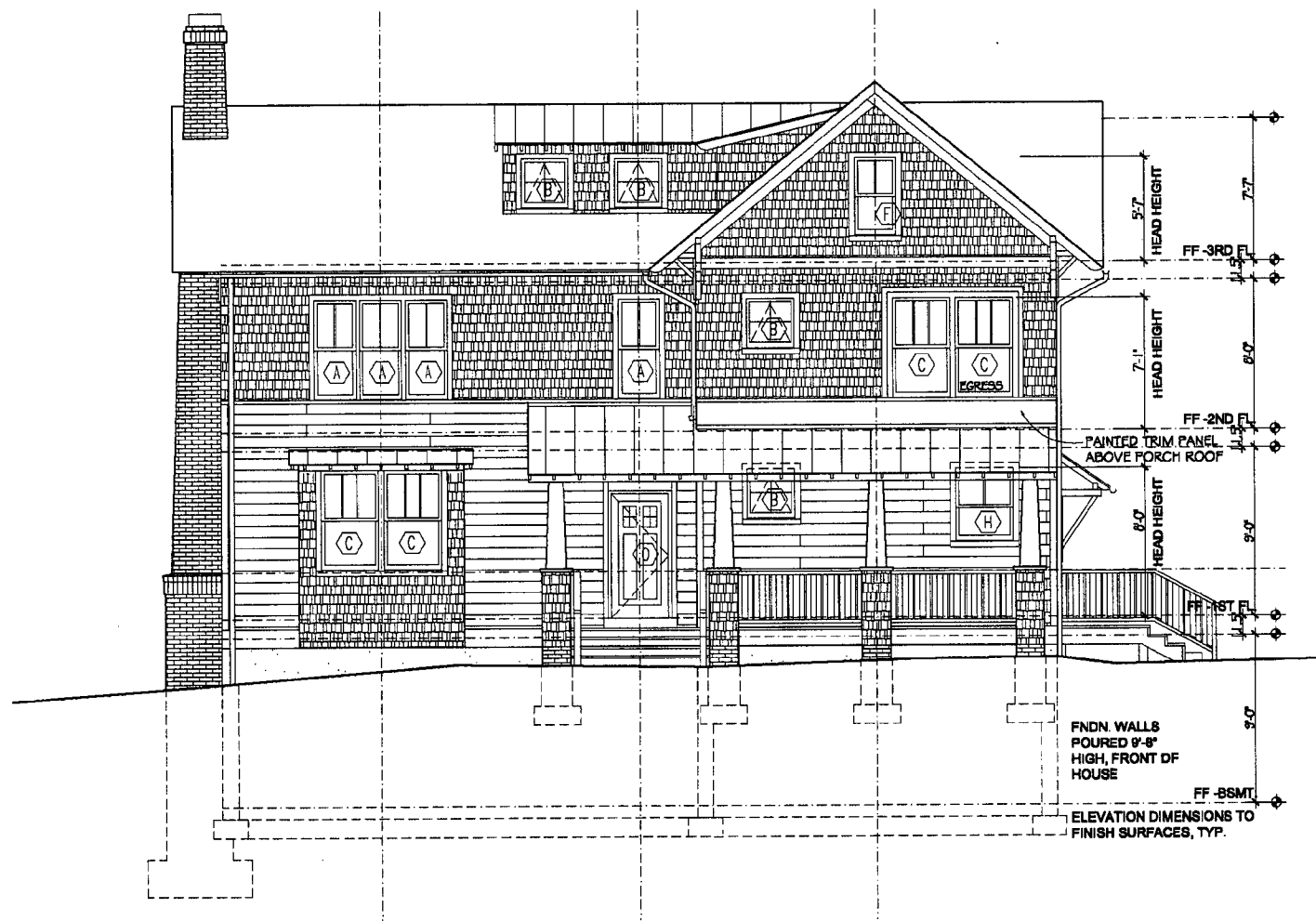
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:

WEST ELEVATION
1/4"=1'-0"

Dates:

SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



1 WEST ELEVATION
A5 SCALE: 1/4"=1'-0"

PERMIT SET- 5 AUGUST 2005

MICHE BOOZ
ARCHITECT

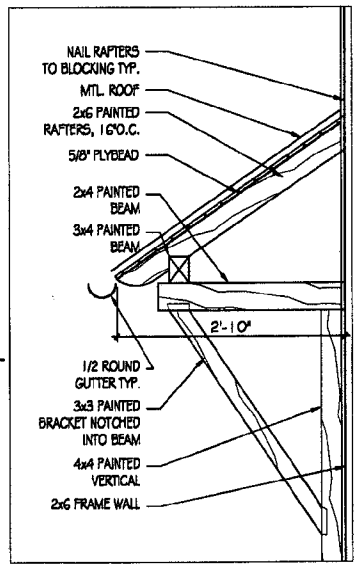
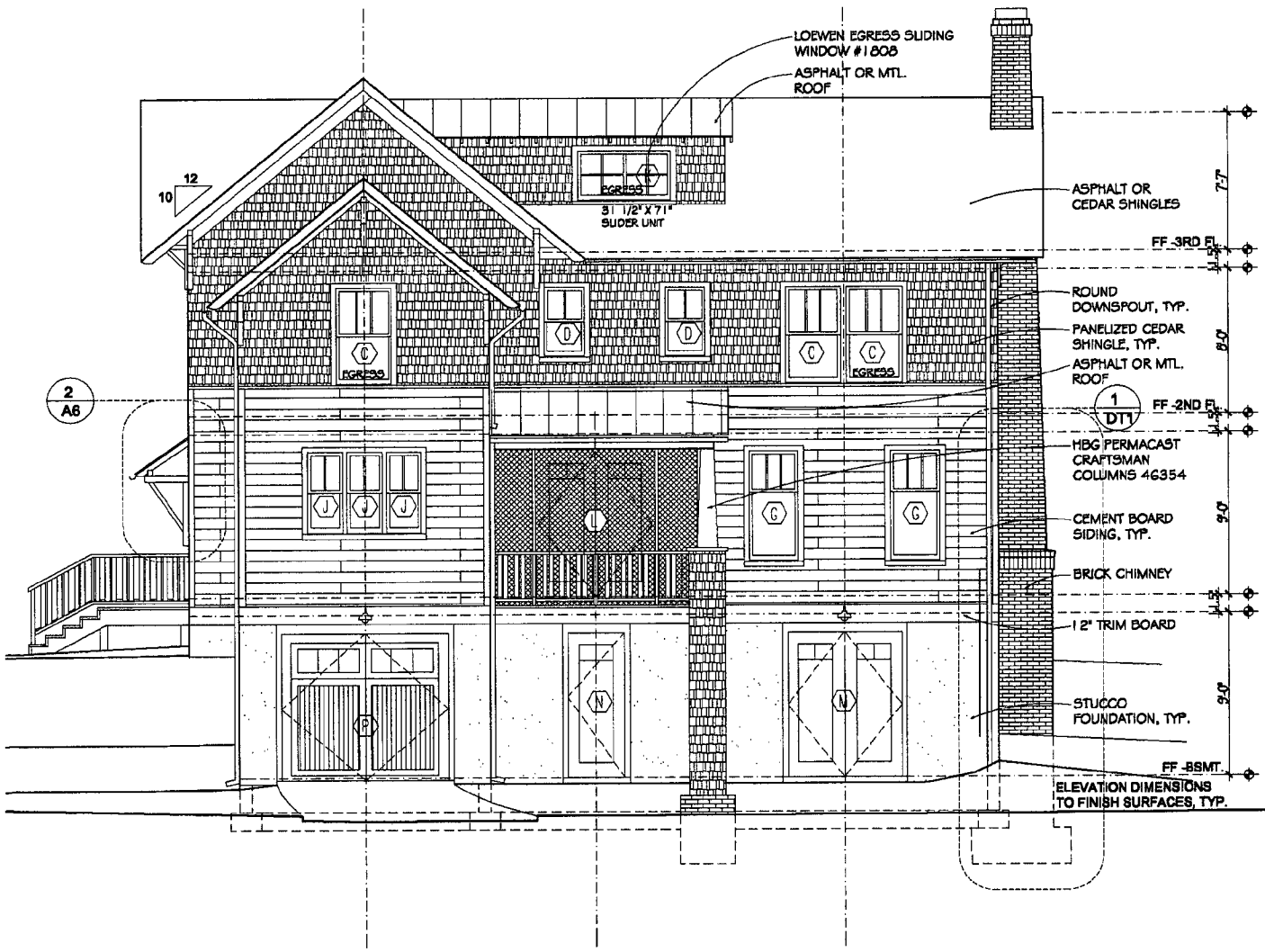
A6

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON HOUSE
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:
EAST ELEVATION
1/4"=1'-0"

Dates:
SCHEMATICS 18 JAN 05
H.A.N.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



1 EAST ELEVATION
A6 SCALE: 1/4"=1'-0"

2 SHED ROOF DETAIL
A6 SCALE: 1"=1'-0"

PERMIT SET- 5 AUGUST 2005

Project:

SCANLON HOUSE

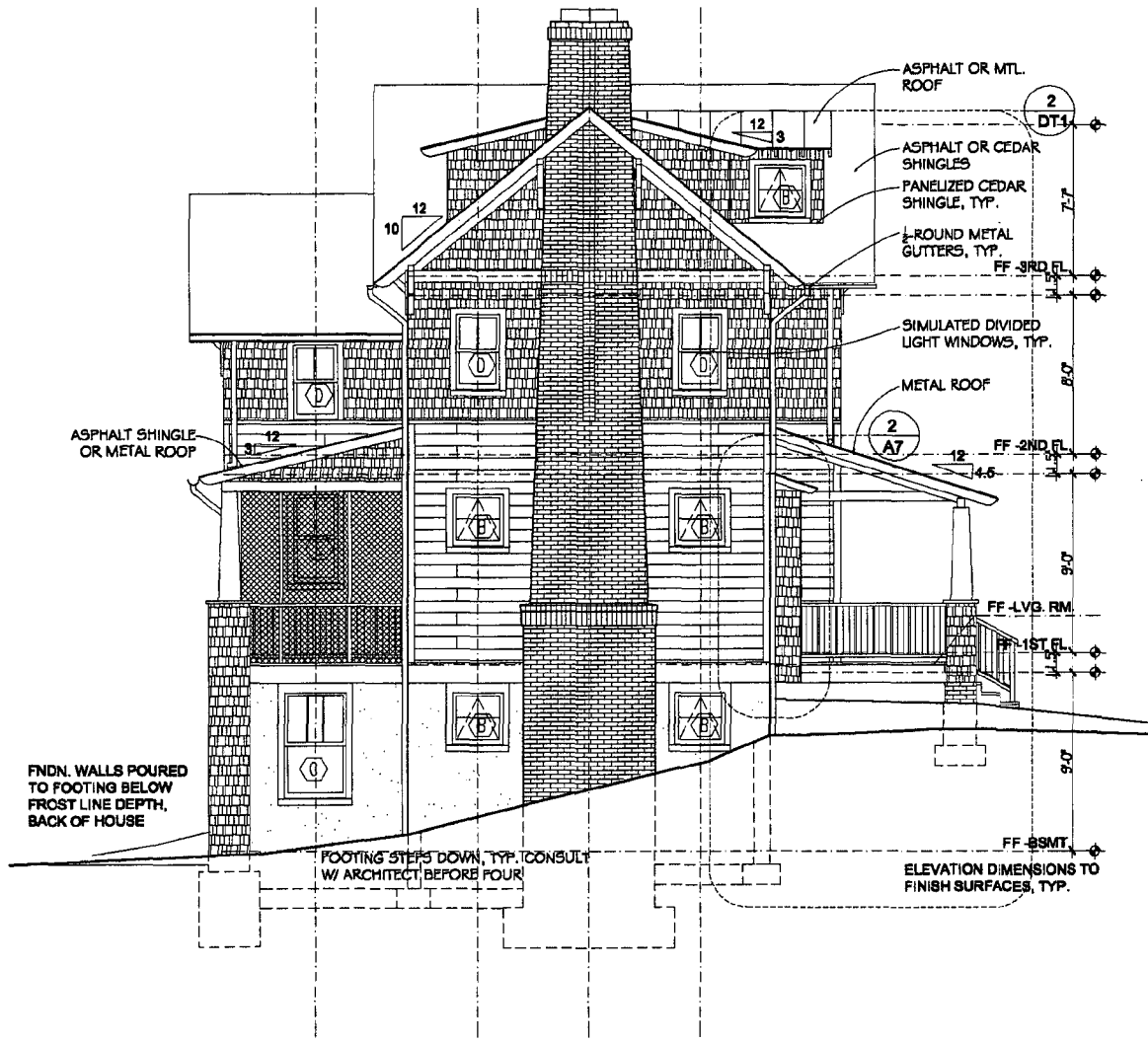
203 Market Street
Brookeville, Maryland 20833
Montgomery County

Drawings:

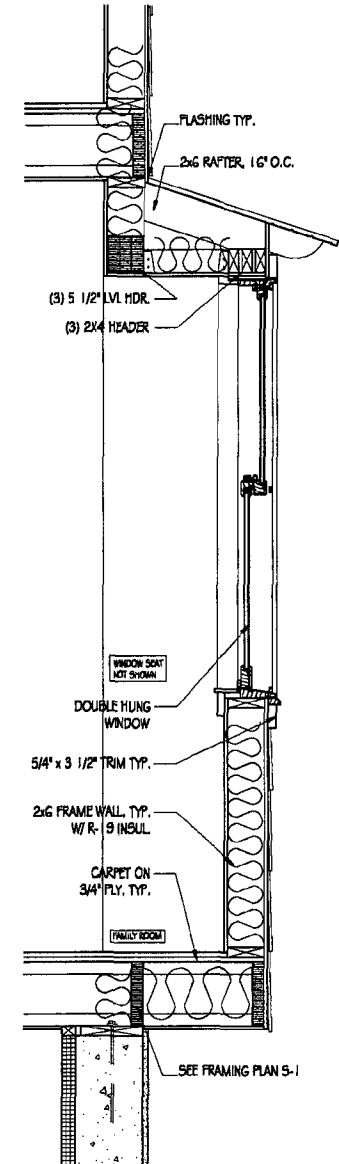
NORTH ELEVATION
1/4"=1'-0"

Dates:

SCHEMATICS 18 JAN 05
H.A.W.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



1 NORTH ELEVATION
A7 SCALE: 1/4"=1'-0"



2 WINDOW SEAT DETAIL
A7 SCALE: 1"=1'-0"

Tully, Tania

From: Tully, Tania
Sent: Thursday, August 04, 2005 5:17 PM
To: 'Scanlon, Chris'
Cc: 'MICHEBOOZ@aol.com'
Subject: RE: SCANLON HOUSE

Chris-

I received the drawings from Miche Booz's office, and even taking into account some fax distortion, the cumulative effect is a change too great for me to approve under the Approval Condition. It still may be approvable at the staff level, but I will need to take this to the Commission on August 17 in order to receive permission to approve the changes at staff level.

In the meantime it would helpful to me to have clean 8 1/2 x 11 copies of the drawings to send to the Commission for review prior to the meeting.

Also, do you have a tree protection plan prepared yet?

I am out of the office tomorrow (Friday), but will be back in on Monday. Give me a call if you have questions.

Sincerely,
Tania Tully

Tania Georgiou Tully
Historic Preservation Planner
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, MD 20910
301-563-3400
301-563-3412 (fax)
www.mc-mncppc.org

-----Original Message-----

From: MICHEBOOZ@aol.com [mailto:MICHEBOOZ@aol.com]
Sent: Thursday, August 04, 2005 2:23 PM
To: Tully, Tania
Subject: SCANLON HOUSE

Tania,

8 JPGS are attached with the final Scanlon House drawings. (The PDF was too large and got bounced).

The changes to the drawings from the Feb.24 approval set are as follows:

Front elevation: no significant changes

Rear elevation: arrangement of basement doors/windows altered; arched opening over garage replaced with more conventional trabeation; double window in 2nd floor bedroom replaced with larger single (egress) window.

Side (farthest from stone house): chimney design refined; square window added to basement; screen added to rear porch; 1st floor windows minimized.

Side (facing stone house): 1st floor windows regularized; 2nd floor windows moved; basement window removed.

8/4/2005

General changes: all exposed rafter tails have been changed to a curved rafter tail (see dwgs.); gutters and downspouts added.

Hopefully these changes are minor enough to keep it on the staff level. Let us know what you think. I believe Chris Scanlon will be going for building permits on Monday if everything looks okay to you.

Call me if you have any questions or comments.

Thanks,

Joe Harris
Miche Booz Architect

SCANLON HOUSE

203 MARKET STREET,
BROOKVILLE, MD 20833

ABBREVIATIONS

| ASV | APR/ | APPROXIMATE | ASV | MASONRY | ASV | M.C. |
|-------|-------|-------------|-------|----------------|-------|------|
| APR/ | AVC | APPROXIMATE | APR/ | STRUT | AVC | MTL |
| AVC | BSP | APPROXIMATE | BSP | REINFORCING | BSP | WSP |
| BSP | BTD | APPROXIMATE | BTD | CONCRETE | BTD | ST |
| BTD | BUC | APPROXIMATE | BUC | FOUNDATION | BUC | CR |
| BUC | B/O | APPROXIMATE | B/O | ROOFING | B/O | GR |
| B/O | B/B | APPROXIMATE | B/B | WALLS | B/B | HT |
| B/B | B/C | APPROXIMATE | B/C | INTERIOR | B/C | MT |
| B/C | B/T | APPROXIMATE | B/T | SMOKE DETECTOR | B/T | W/S |
| B/T | B/P | APPROXIMATE | B/P | | B/P | |
| B/P | B/S | APPROXIMATE | B/S | | B/S | |
| B/S | B/W | APPROXIMATE | B/W | | B/W | |
| B/W | B/D | APPROXIMATE | B/D | | B/D | |
| B/D | B/L | APPROXIMATE | B/L | | B/L | |
| B/L | B/H | APPROXIMATE | B/H | | B/H | |
| B/H | B/V | APPROXIMATE | B/V | | B/V | |
| B/V | B/U | APPROXIMATE | B/U | | B/U | |
| B/U | B/DI | APPROXIMATE | B/DI | | B/DI | |
| B/DI | B/DO | APPROXIMATE | B/DO | | B/DO | |
| B/DO | B/DIV | APPROXIMATE | B/DIV | | B/DIV | |
| B/DIV | B/EXT | APPROXIMATE | B/EXT | | B/EXT | |
| B/EXT | B/EXI | APPROXIMATE | B/EXI | | B/EXI | |
| B/EXI | B/F | APPROXIMATE | B/F | | B/F | |
| B/F | B/FL | APPROXIMATE | B/FL | | B/FL | |
| B/FL | B/GR | APPROXIMATE | B/GR | | B/GR | |
| B/GR | B/H | APPROXIMATE | B/H | | B/H | |
| B/H | B/HT | APPROXIMATE | B/HT | | B/HT | |
| B/HT | B/MT | APPROXIMATE | B/MT | | B/MT | |
| B/MT | B/W/S | APPROXIMATE | B/W/S | | B/W/S | |
| B/W/S | B/U/S | APPROXIMATE | B/U/S | | B/U/S | |
| B/U/S | B/W | APPROXIMATE | B/W | | B/W | |
| B/W | B/W/S | APPROXIMATE | B/W/S | | B/W/S | |

ZONING

Owner: Chris & Andrea
Section
Phone: 301-260-CZ46
Address: 203 Market St.
Lot: N/A
Subdivision: 5
Zone: HYR-Residential
Village Residential
Front BRIL: 15' min.
Side BRIL: 8' min.
Rear BRIL: 40' min.
Lot Coverage: 5/0
Bldg Height: 35' max.
Lot Size: 33105 SF

LOADS

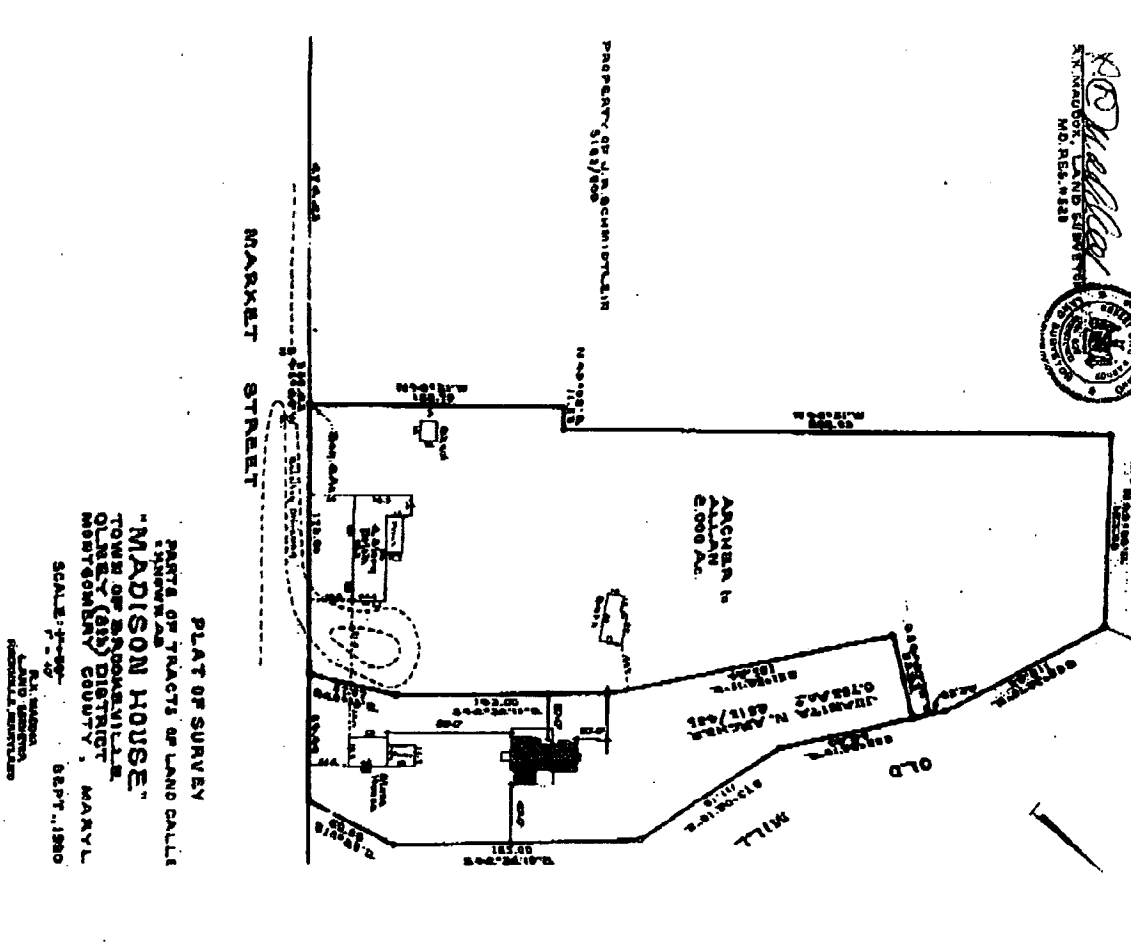
ROOF SNOW LOAD:
30 PSF
FLOOR LOAD: 40 PSF,
30 PSF SLEEPING
DECK:
MIN. 40 PSF
RINGS OTHER
THAN SLEEPING: 40 PSF
STAIRS: MIN. 40 PSF
FLOOR/CEILING LIVE LOAD
DEFLECTION: $L/360$

DESIGN CRITERIA

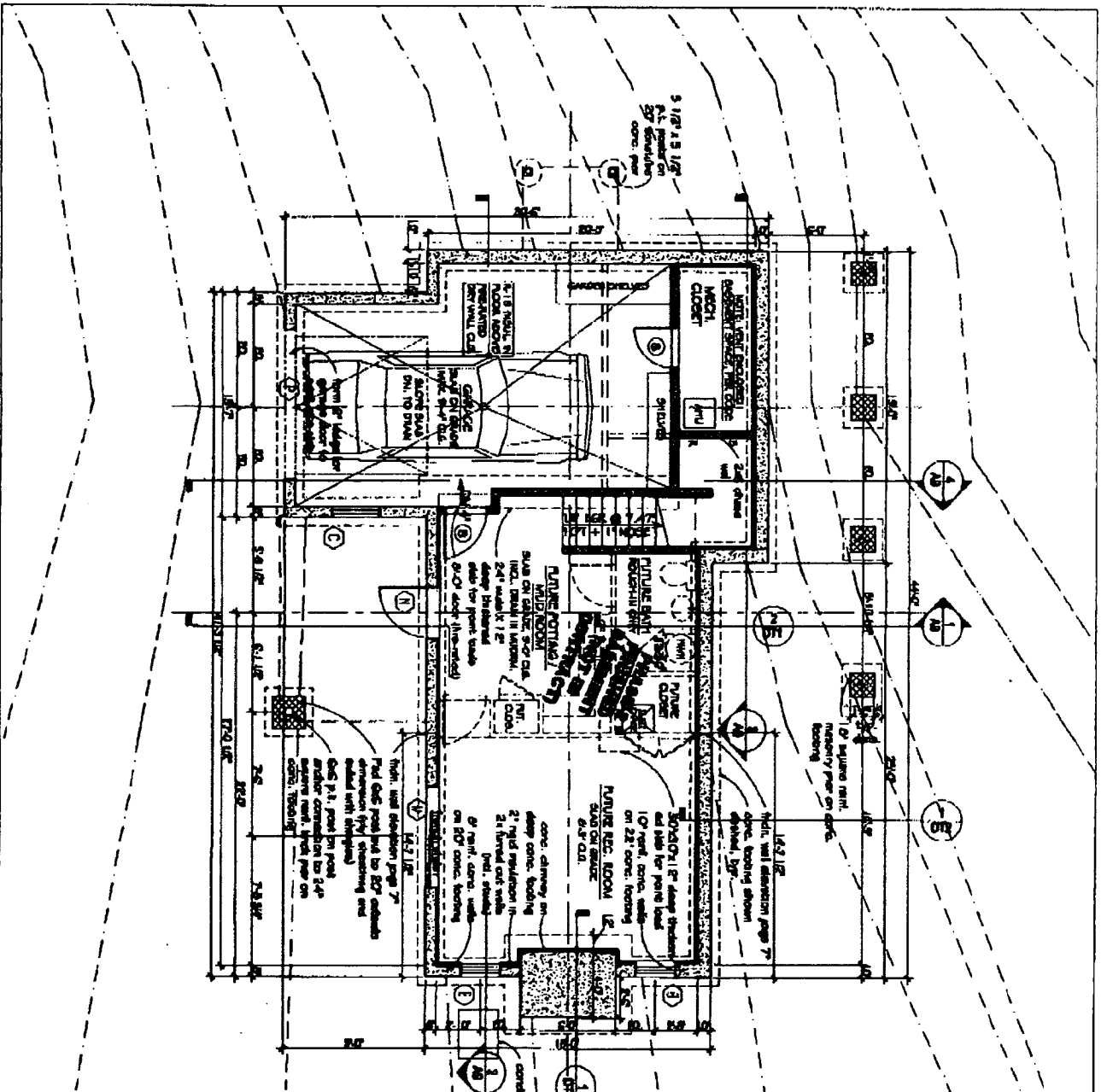
CONCRETE STRUCT. CONC. SHALL
BE DESIGNED IN ACCORDANCE W/
THE BUILDING CODE R10.5 FOR
3E N.E. CONC. (ACI 318-89).
THE CONC. USED SHALL HAVE MIN.
ULTIMATE COMPRESSIVE STRENGTH
OF 3500 PSI FOR 3000 PSF @ 28
DAYS FOR ALL OTHERS.
STEEL: THE REIN. OF ASTM A615
GRADE 60 SHALL BE USED IN ALL
THE CONC. STRUCTURES.
STRUCTURAL STEEL: SHALL BE
DESIGNED IN ACCORD. W/ SPEC.
FOR STRUC. STEEL BLDGS. (AISC
ALLOW. STRESS DES. 9TH EDITION)
STEEL SHAPES, PLATES, BARS,
CHANNELS, & ANGLES OF GRADE
ASTM A36 SHALL BE USED
LUMBER: ALL FRAMING SHALL BE
SPRUCE, PINE, HEMLOCK NO.1/
NO.2 OR BETTER UNK.

SOIL BEARING: 2000 PSF
REQUIRE INFILTRATION: MODERATE
TO HEAVY
DECAY PROBABILITY: SLIGHT TO
MODERATE
SEISMIC DESIGN CATEGORY: B
GROUND MOTION: 0.25g PER
WINDER DESIGN LONG: 137'
FLOOD HAZARD: NO
CONCRETE WEATHERING: SEVERE

This document is correct as filed if it is approved by the County Clerk of Montgomery County, Maryland, as of the date of recording. It is not intended to constitute a contract, and it is subject to the terms and conditions of the original contract between the parties thereto.



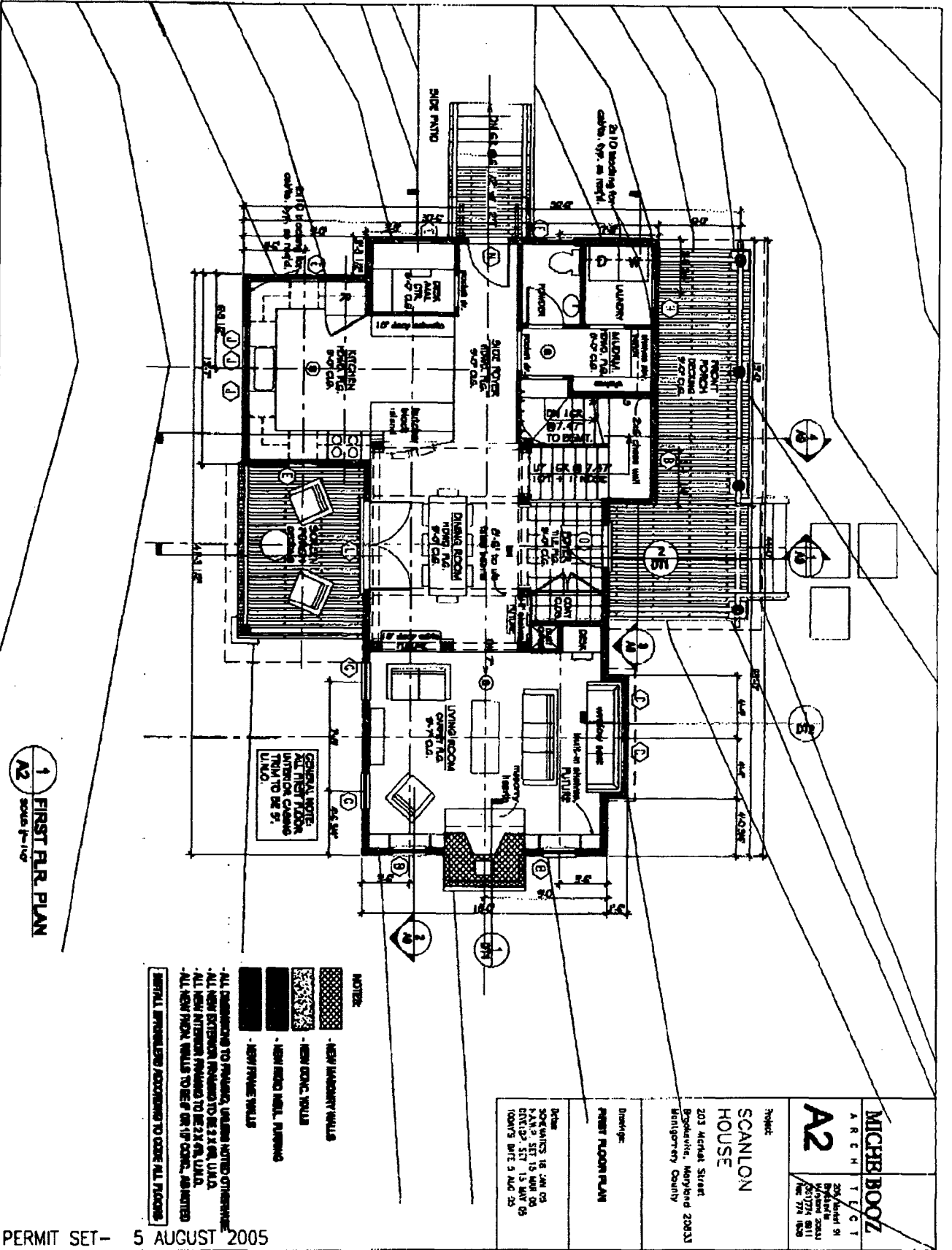
| | | |
|--|---------------------------|---|
| MICHEL BOOZ ARCHITECT | | Project: SCANLON HOUSE 203 Market Street Brookeville, Maryland 20833 Montgomery County |
| Permit: DESIGN: 14 JUN 05 PLAN SET: 5 MAY 05 CONSTRUCTION SET: 5 MAY 05 TOWER DATE: 5 APR 05 | | Drainage COVER SHEET 1 inch = 50 feet |
| Date: 5 AUGUST 2005 | Scale: AS SHOWN | Date: 5 AUGUST 2005 |
| Title: PERMIT SET | Project: SCANLON HOUSE | Date: 5 AUGUST 2005 |



- NOTES**
- NEW MASONRY WALLS
 - NEW CONC. WALLS
 - NEW ROOF PANEL REMOVAL
 - NEW FRAME WALLS
- ALL DIMENSIONS TO FINISH, UNLESS NOTED OTHERWISE
 - ALL NEW EXTENSION FINISHED TO BE 2 1/2\"/>

1 BASEMENT PLAN
 SCALE 1/4\"/>

| | | |
|--|--|--|
| MICHE BOOZ ARCHITECT 120 Avenue 51 Brooklyn, NY 11211 TEL: 718-338-8100 | | Project: SCANLON HOUSE 203 Wood Street Brooklyn, NY 11211 Montgomery County |
| Date: 5/26/05 5/27/05 5/27/05 5/27/05 | Drawn by: JMB Checked by: JMB | Title: BASEMENT PLAN |

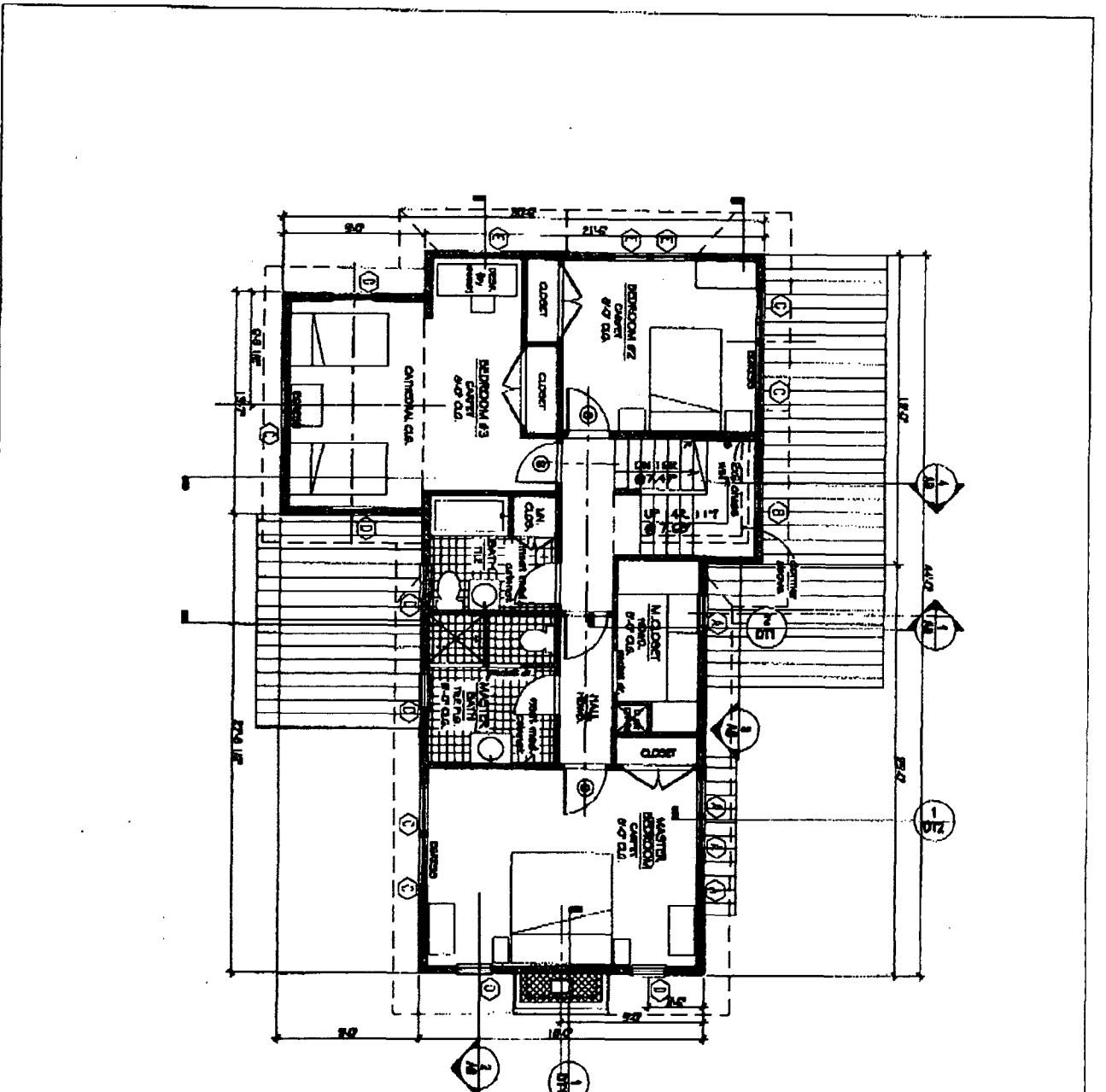


1 FIRST FLOOR PLAN
Scale 1/8" = 1'-0"

GENERAL NOTE:
ALL FLOOR INTERIOR FINISHES SHALL BE AS SHOWN ON U.I.D.S.

- NOTICE:
- NEW MASONRY WALLS
 - NEW CONCR. WALLS
 - NEW BRICK WALL, FINISHED
 - NEW FINISH WALLS
- ALL DIMENSIONS TO FINISH, UNLESS NOTED OTHERWISE.
 - ALL NEW EXTERIOR FINISHES TO BE 3/4" OR U.I.D.S.
 - ALL NEW INTERIOR FINISHES TO BE 3/4" OR U.I.D.S.
 - ALL NEW FINISH WALLS TO BE 5/8" OR 1/2" CONCR. AS NOTED.
- PERMIT SET- 5 AUGUST 2005

| | |
|---|--|
| MICHE BOOZ ARCHITECT 205 South St Baltimore, MD 21201 Tel: 410.527.1811 Fax: 410.527.1808 | Project: SCANLON HOUSE 203 Market Street Baltimore, Maryland 21201 Baltimore County |
| | Designer: PERMIT FLOOR PLAN Date: CONTRACTS 18 JAN 05 PLAN SET 15 MAR 05 DEVELOP SET 15 MAR 05 OWNER'S DWT 5 AUG 05 |



- NOTES**
- NEW FINISH WALLS
 - NEW CONCL. WALLS
 - NEW ROOF INSUL. FLOORING
 - NEW FINISH WALLS
- ALL DIMENSIONS TO FINISH, UNLESS NOTED OTHERWISE.
 - ALL NEW EXTERIOR FINISH TO BE 2 X 4 IN. J.U.G.
 - ALL NEW INTERIOR FINISH TO BE 2 X 4 IN. J.U.G.
 - ALL NEW FLOOR FINISH TO BE # ON SP. CONC. AS NOTED
 - VERIFY ALL DIMENSIONS ACCORDING TO CODE ALL FLOORING

1 2ND FLOOR PLAN
 A3

| | |
|--|--|
| MICHE BOOZ ARCHITECT 250 West Street Brooklyn, Maryland 20833 Montgomery County | Project: SCANLON HOUSE |
| | Date: SUBMITTED: 16 JUN 03 PLANNING SET: 15 JUN 03 DESIGN SET: 13 APR 03 OWNER'S SET: 3 AUG 03 |
| Drafting: SECOND FLOOR PLAN | Project: SCANLON HOUSE |
| 203 Market Street Brooklyn, Maryland 20833 Montgomery County | Project: SCANLON HOUSE |

PERMIT SET- 5 AUGUST 2005

MICHE BOOZ

ARCHITECT

229/Annet St
Baltimore, MD 21201
410/774-1908
FAX: 410/774-1908

A4

Project:

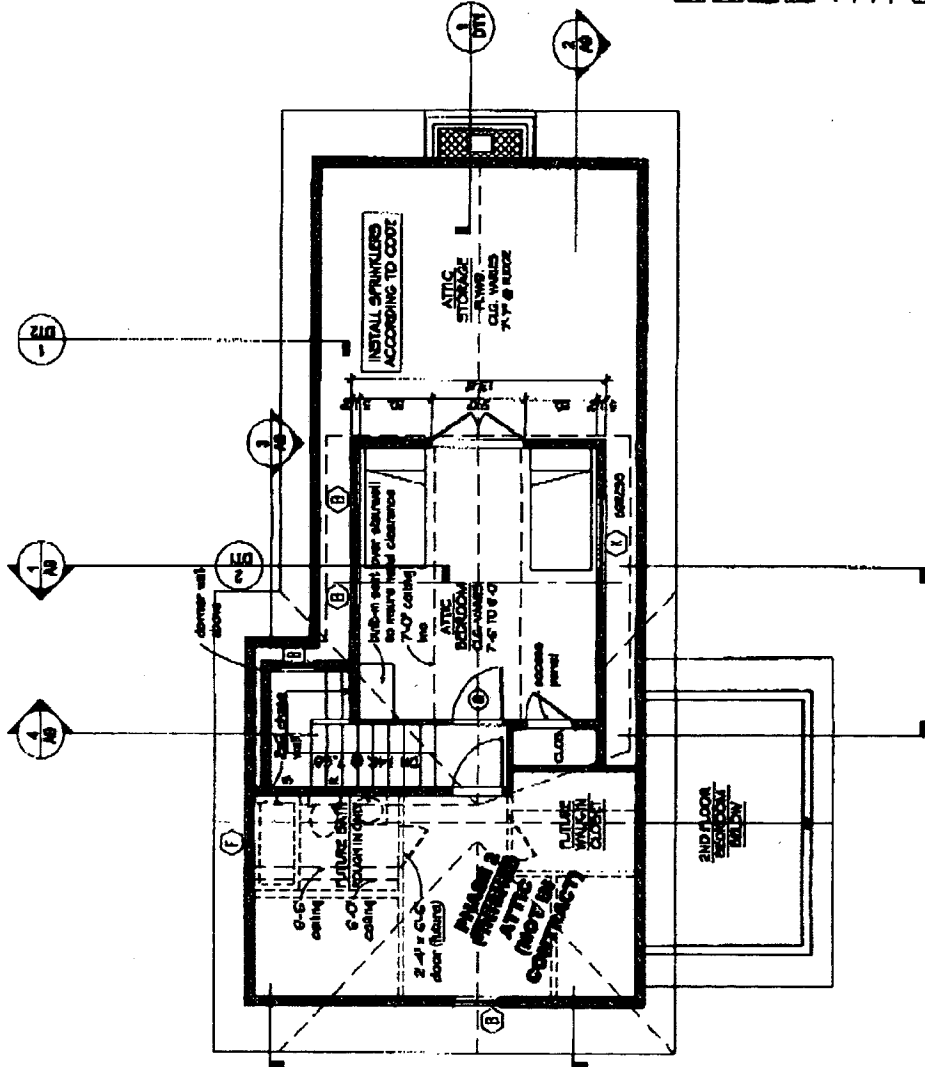
SCANLON HOUSE

203 Woodport Street
Baltimore, Maryland 20833
Montgomery County

Package:

ATTIC FLOOR PLAN

Date:
SCHEDULED 18 JAN 05
H.A.R.P. SET 15 JAN 05
EXCISE SET 18 JAN 05
TUM'S DATE 5 2 05 05



NOTES

-  NEW MASONRY WALLS
-  NEW CONG. WALLS
-  NEW ROOF WHEEL FLOORING
-  NEW FRAME WALLS

- ALL DIMENSIONS TO FINISH UNLESS NOTED OTHERWISE.
- ALL NEW EXTERIOR FINISHES TO BE 2 1/2\"/>

INSTALL SPRINKLERS ACCORDING TO CODE ALL FLOORS

1 2ND FLOOR PLAN
scale: 1/8\"/>

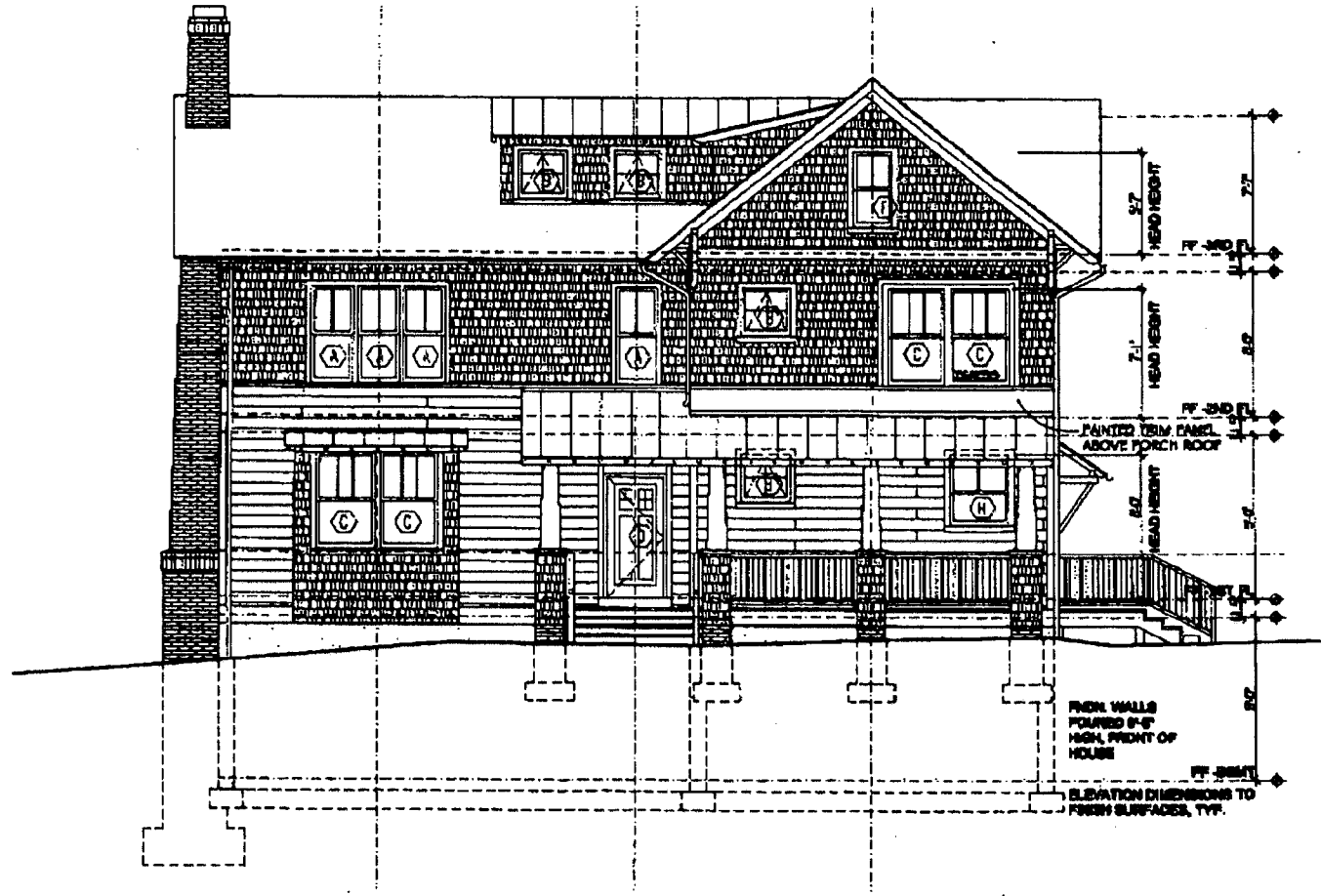
MICHE BOOZ
ARCHITECT

A5
208 Market St
Brookville, Maryland 20833
301.774.0111
Fax: 774.1908

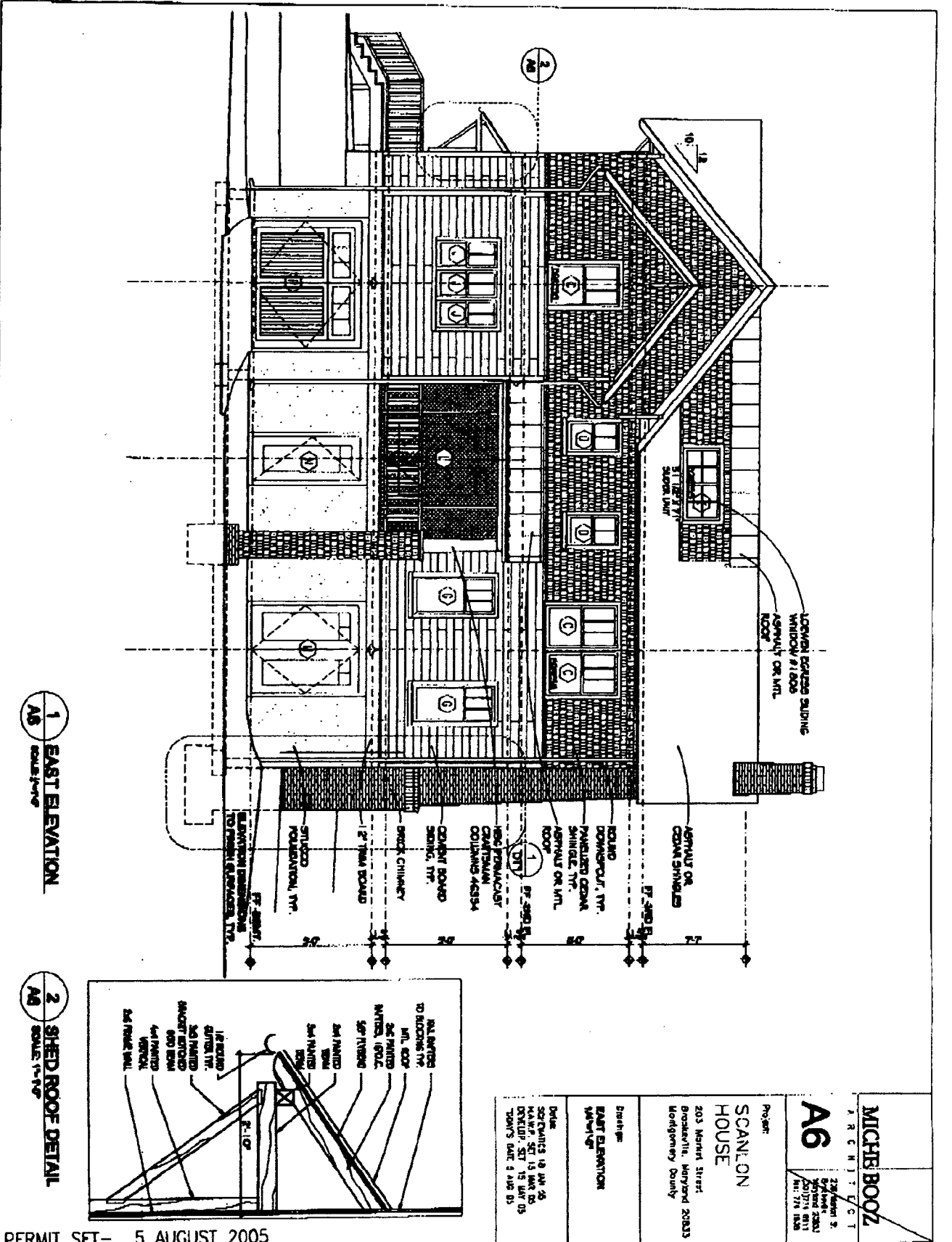
Project
SCANLON HOUSE
203 Market Street
Brookville, Maryland 20833
Montgomery County

Designer
WEST ELEVATION
1/4"=1'-0"

Dates:
SCHEMATICS 15 JAN 05
H.A.R.P. SET 15 MAR 05
DEVELOP. SET 15 MAY 05
TODAY'S DATE 5 AUG 05



1 WEST ELEVATION
A5 1/4"=1'-0"

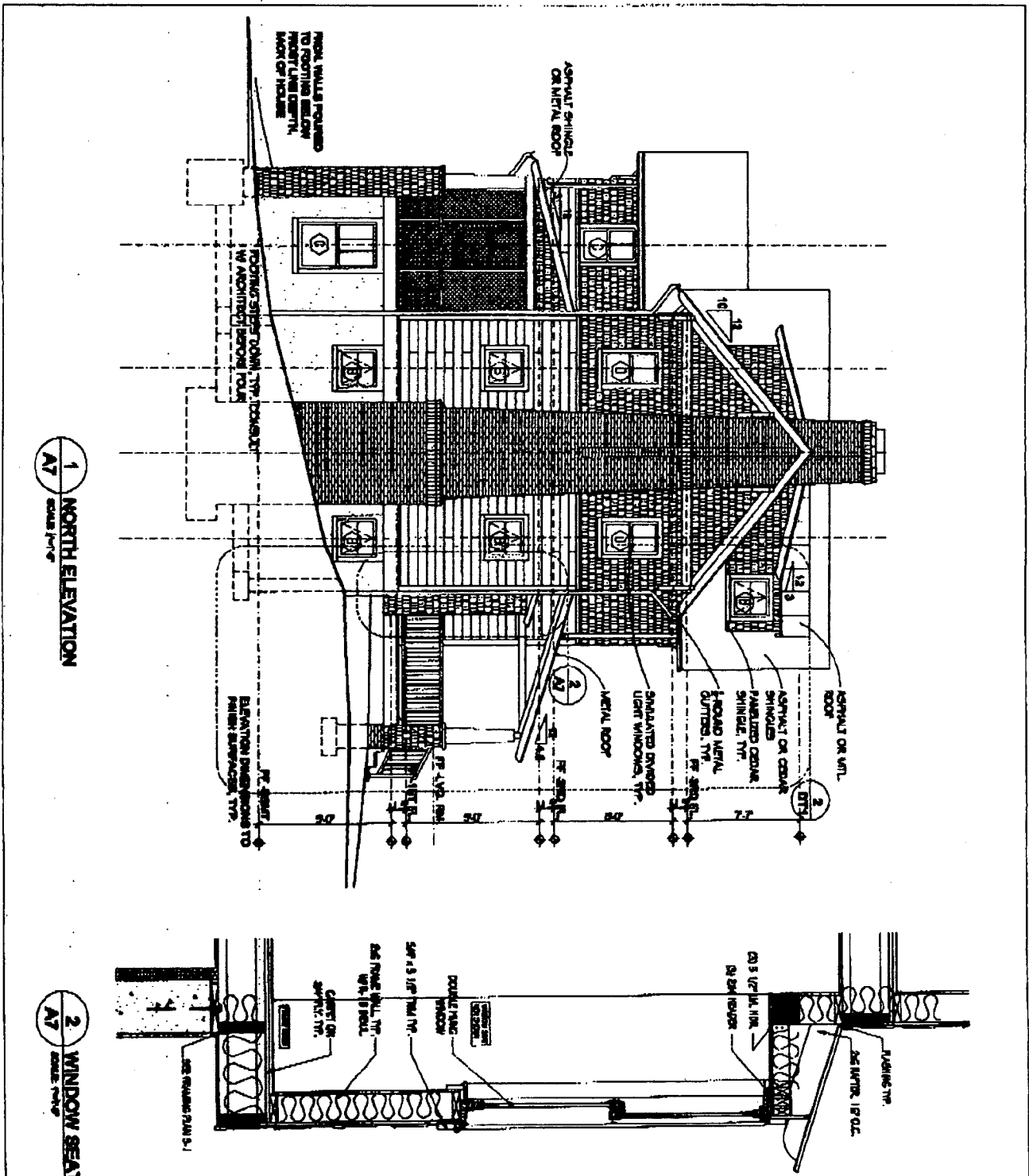


1 EAST ELEVATION
AS SCALE: 1/8" = 1'-0"

2 SHED ROOF DETAIL
AS SCALE: 1/4" = 1'-0"

| | | |
|--|---|--|
| MICHE BOOZ ARCHITECT 224 West 5th Austin, TX 78701 TEL: 772 1826 | | Project: SCANLON HOUSE 203 Market Street Monteville, Maryland 20833 Montgomery County |
| Date: SET PANTS 18 JAN 05 MAIN SET 15 MAR 05 EXTERIOR SET 15 MAR 05 DOOR'S DATE 8 APR 05 | Finish: EAST ELEVATION WALLS | Details: SET PANTS 18 JAN 05 MAIN SET 15 MAR 05 EXTERIOR SET 15 MAR 05 DOOR'S DATE 8 APR 05 |

PERMIT SET - 5 AUGUST 2005

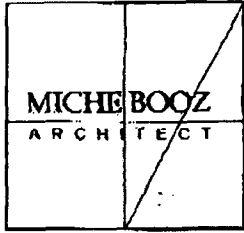


1 NORTH ELEVATION
SCALE 1/8" = 1'-0"

2 WINDOW SEAT DETAIL
SCALE 1/4" = 1'-0"

| | | | |
|---|--|--|--|
| MICHE BOOZ ARCHITECT 205 Avenue S Brooklyn, NY 11211 Tel: 772 1800 | Project: SCANLON HOUSE 203 Market Street Brooklyn, NY 11211 Montgomery County | Designer: NORTH ELEVATION 1/11/05 | Date: SCHEDULES 18 APR 05 HAND SET 15 MAR 05 DISPLAY SET 15 MAR 05 TODAY'S DATE 5 AUG 05 |
|---|--|--|--|

PERMIT SET- 5 AUGUST 2005



FAX TRANSMITTAL


Date: 8/4/05
To: TANIA TULLY
Phone: 301.563.3400
Fax: 301.563.3412
From: JOE HARRIS

Project: SCANLON HOUSE
Page 1 of 9
Re: REVIEW OF CHANGES

TANIA -

HERE ARE THE SCANLON HOUSE DWGS,
AT LONG LAST !!

THANKS -


JOE HARRIS

Tully, Tania

From: MICHEBOOZ@aol.com
Sent: Thursday, August 04, 2005 2:23 PM
To: Tully, Tania
Subject: SCANLON HOUSE

Tania,

8 JPGS are attached with the final Scanlon House drawings. (The PDF was too large and got bounced).

The changes to the drawings from the Feb.24 approval set are as follows:

Front elevation: no significant changes

Rear elevation: arrangement of basement doors/windows altered; arched opening over garage replaced with more conventional trabeation; double window in 2nd floor bedroom replaced with larger single (egress) window.

Side (farthest from stone house): chimney design refined; square window added to basement; screen added to rear porch; 1st floor windows minimized.

Side (facing stone house): 1st floor windows regularized; 2nd floor windows moved; basement window removed.

General changes: all exposed rafter tails have been changed to a curved rafter tail (see dwgs.); gutters and downspouts added.

Hopefully these changes are minor enough to keep it on the staff level. Let us know what you think. I believe Chris Scanlon will be going for building permits on Monday if everything looks okay to you.

Call me if you have any questions or comments.

Thanks,

Joe Harris
Miche Booz Architect

Tully, Tania

From: Scanlon, Chris [cscanlon@davisconstruction.com]
Sent: Thursday, August 04, 2005 8:38 AM
To: Tully, Tania
Subject: RE: 203 Market St. Brookeville



203 Market Site
Plan DRAFT.pdf...

Hi Tania,

Thanks for the information.

Attached is a draft copy of our site plan that shows the house shifted away from the existing stone building slightly due to the rock excavation issue. Currently it looks like we will be able to go with the Commission's preferred driveway configuration based on the feedback from the owners of the Madison house.

Let me know if you need anything else from us. The full plans should follow in the next week to be stamped.

Chris Scanlon

-----Original Message-----

From: Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]
Sent: Wednesday, August 03, 2005 10:38 AM
To: Scanlon, Chris
Subject: RE: 203 Market St. Brookeville

Good Morning Chris-

Because of the shift on the house location I may need get permission from the Commission to approve that at a staff level. If you can provide me with that drawing first, so I can compare, I will be able to determine if that is the case. Either way, I do not see a problem with getting the approval.

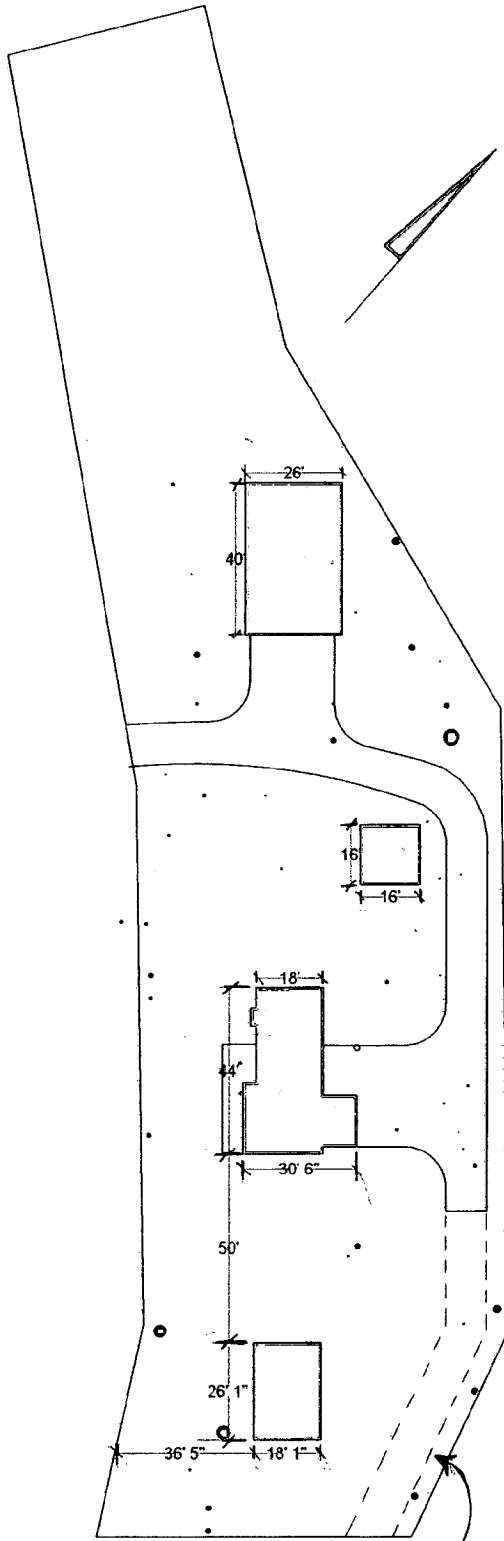
Once that issue is settled, you need to have three (or 4 if Brookeville wants a copy) permit sets made and drop them off at my office for stamping. I will compare the drawings with the approved drawings and stamp them as appropriate. It takes me a day or two to get them stamped depending on my workload. (FYI- I will be out of the office the week of August 29)

You then take 2 of the stamped permit sets to DPS.

Let me know if you have any other questions.
-Tania

Tania Georgiou Tully
Historic Preservation Planner
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, MD 20910
301-563-3400
301-563-3412 (fax)
www.mc-mncppc.org

-----Original Message-----



ALTERNATE DRIVE
 LOCATION IF RACE ST.
 IS NOT COMPLETED.

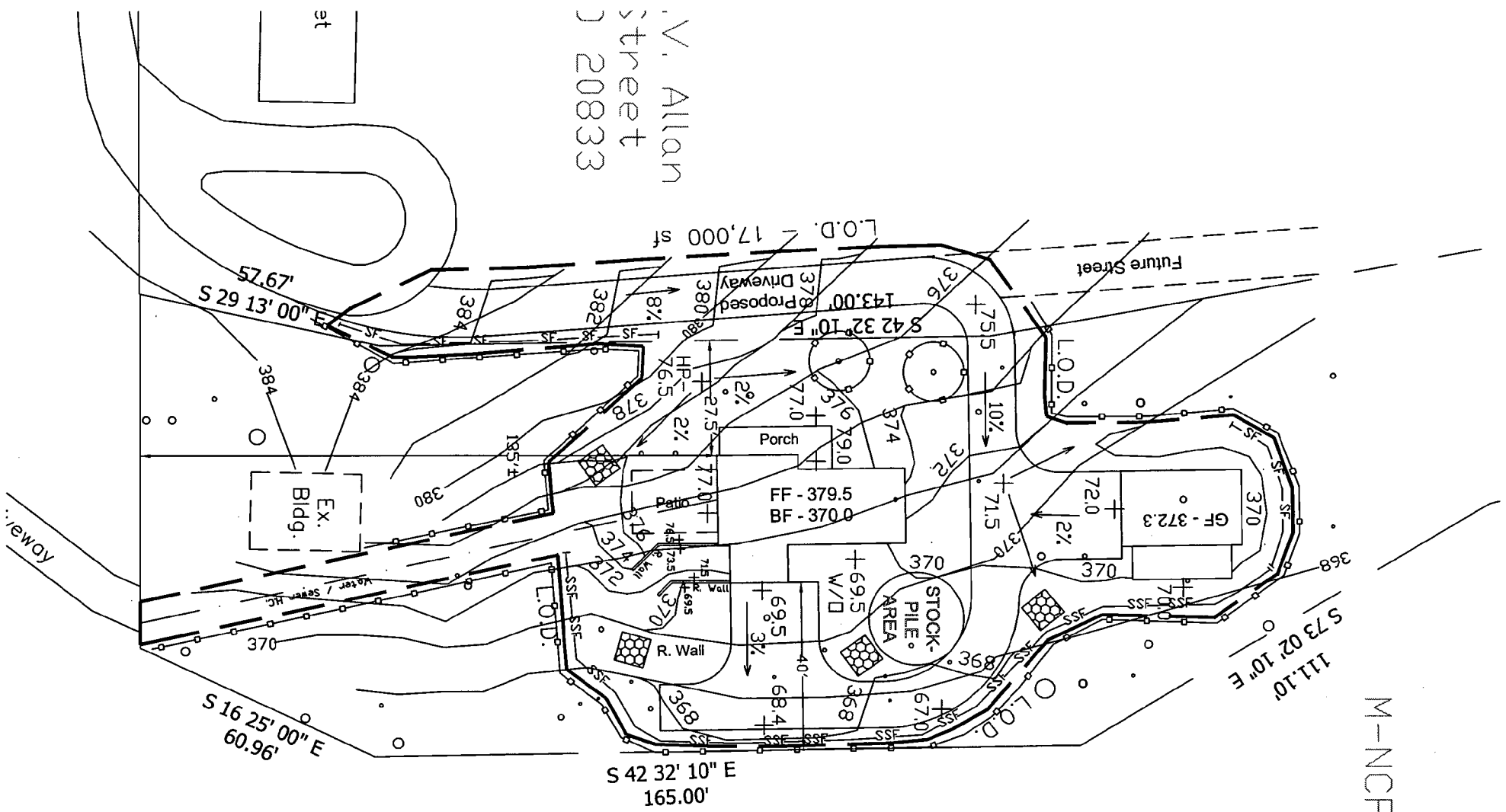
Project:
 Scanlon Residence
 203 Market St.

Date:
 1/2/2005

Drawing:
 S1 - Site Plan

Scale:
 1" = 50' 0"

V. Allan
Street
20833



M-NCPPC

M-NCPPC

Tully, Tania

From: Tully, Tania
Sent: Wednesday, August 03, 2005 10:38 AM
To: 'Scanlon, Chris'
Subject: RE: 203 Market St. Brookeville

Good Morning Chris-

Because of the shift on the house location I may need get permission from the Commission to approve that at a staff level. If you can provide me with that drawing first, so I can compare, I will be able to determine if that is the case. Either way, I do not see a problem with getting the approval.

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You then take 2 of the stamped permit sets to DPS.

Let me know if you have any other questions.
-Tania

Tania Georgiou Tully
Historic Preservation Planner
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, MD 20910
301-563-3400
301-563-3412 (fax)
www.mc-mncppc.org

-----Original Message-----

From: Scanlon, Chris [mailto:cscanlon@davisconstruction.com]
Sent: Wednesday, August 03, 2005 10:23 AM
To: Tully, Tania
Subject: 203 Market St. Brookeville

Hi Tania,

We are just about finished with our permit drawings (including the site plan and tree preservation plan) for our approved HAWP at 203 Market St. in Brookeville.

Can you let me know the process that we should follow at this point? Do we need to bring the drawings to you first in Silver Spring to stamp them before we submit to Rockville?

The size and design of the house of the house has not changed since the HAWP, but we have some additional detail shown on the drawings now. Also, the house location has been shifted slightly further away from the existing stone building due to excavation and utility issues with underground rock. We have already received a permit revision for this shift from the Town of Brookeville.

Thanks.

Chris Scanlon
212 Market St.
Brookeville, MD 20833

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

| Owner's mailing address | Owner's Agent's mailing address |
|--|--|
| CHRIS + ANDREA SCANLON 212 MARKET ST. BROOKEVILLE, MD 20833 | MICHE BOOZ 208 MARKET ST. BROOKEVILLE, MD 20833 |
| Adjacent and confronting Property Owners mailing addresses | |
| RICHARD + DIANE ALLAN 205 MARKET ST. BROOKEVILLE, MD 20833 | THE MARYLAND NATIONAL CAPITAL PARK + PLANNING COMMISSION 8787 GEORGIA AVE. SILVER SPRING, MD 20910 |
| SCOTT PENLAND + CONNIE ANGIULI 200 MARKET ST. BROOKEVILLE, MD 20833 | |
| SCOTT PENLAND + CONNIE ANGIULI 198 MARKET ST. BROOKEVILLE, MD 20833 | |



Tully, Tania

From: Scanlon, Chris [cscanlon@davisconstruction.com]
Sent: Monday, February 14, 2005 10:00 AM
To: Tully, Tania
Subject: 203 market St. HAWP Revisions

Hi Tania,

We've been busy updating our drawings based on the staff and commission comments from our preliminary hearing last Wednesday. We should have the changes done today. I will drop them off at your office before the end of the day (probably between 12:00 and 1:00)

The revisions in today's drawings hopefully address all of the staff and commission concerns and are as follows:

- Delete parking spaces shown on Race St near existing stone building per staff comments
- Reduced the size of both outbuildings per staff concerns about site being overbuilt. (Shop is now 18' x 28' with a 8'x23' bump out, and Lawn and Garden Outbuilding is now 12'x16')
- Driveway noted as gravel
- Revised window sizes and locations to address commission comments regarding preference for front elevation from original sketches.
- Included sketches of both outbuildings for approval as part of this HAWP submission.

Let me know if you have any questions. My direct line is (301) 255-2155.

Chris

Christopher T. Scanlon
Director of Information Technology

James G. Davis Construction Corporation
12530 Parklawn Drive
Suite 100
Rockville, MD 20833
(p) 301-881-2990
(f) 301-468-3918
(w) www.davisconstruction.com

Scanlon, Chris

From: Scanlon, Chris
Sent: Monday, February 14, 2005 10:00 AM
To: 'Tania Tully (tania.tully@mncppc-mc.org)'
Subject: 203 market St. HAWP Revisions

Contacts: Tania Tully

Hi Tania,

We've been busy updating our drawings based on the staff and commission comments from our preliminary hearing last Wednesday. We should have the changes done today. I will drop them off at your office before the end of the day (probably between 12:00 and 1:00)

The revisions in today's drawings hopefully address all of the staff and commission concerns and are as follows:

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- Driveway noted as gravel
- Revised window sizes and locations to address commission comments regarding preference for front elevation from original sketches.
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Let me know if you have any questions. My direct line is (301) 255-2155.

Chris

Christopher T. Scanlon
Director of Information Technology

James G. Davis Construction Corporation
12530 Parklawn Drive
Suite 100
Rockville, MD 20833
(p) 301-881-2990
(f) 301-468-3918
(w) www.davisconstruction.com

MICHE BOOZ

ARCHITECT

A1

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

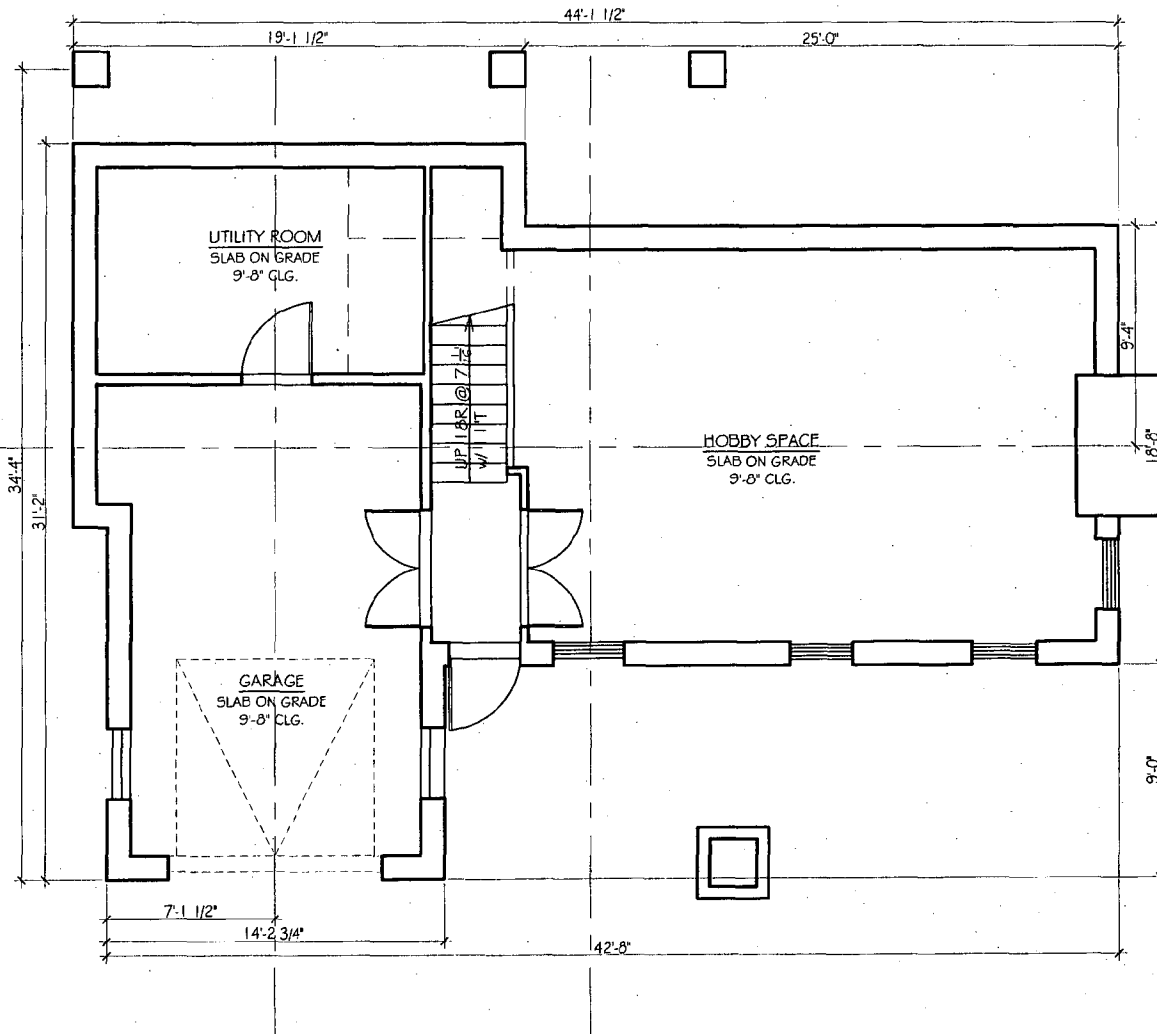
Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

TODAY'S DATE 04 FEB 05

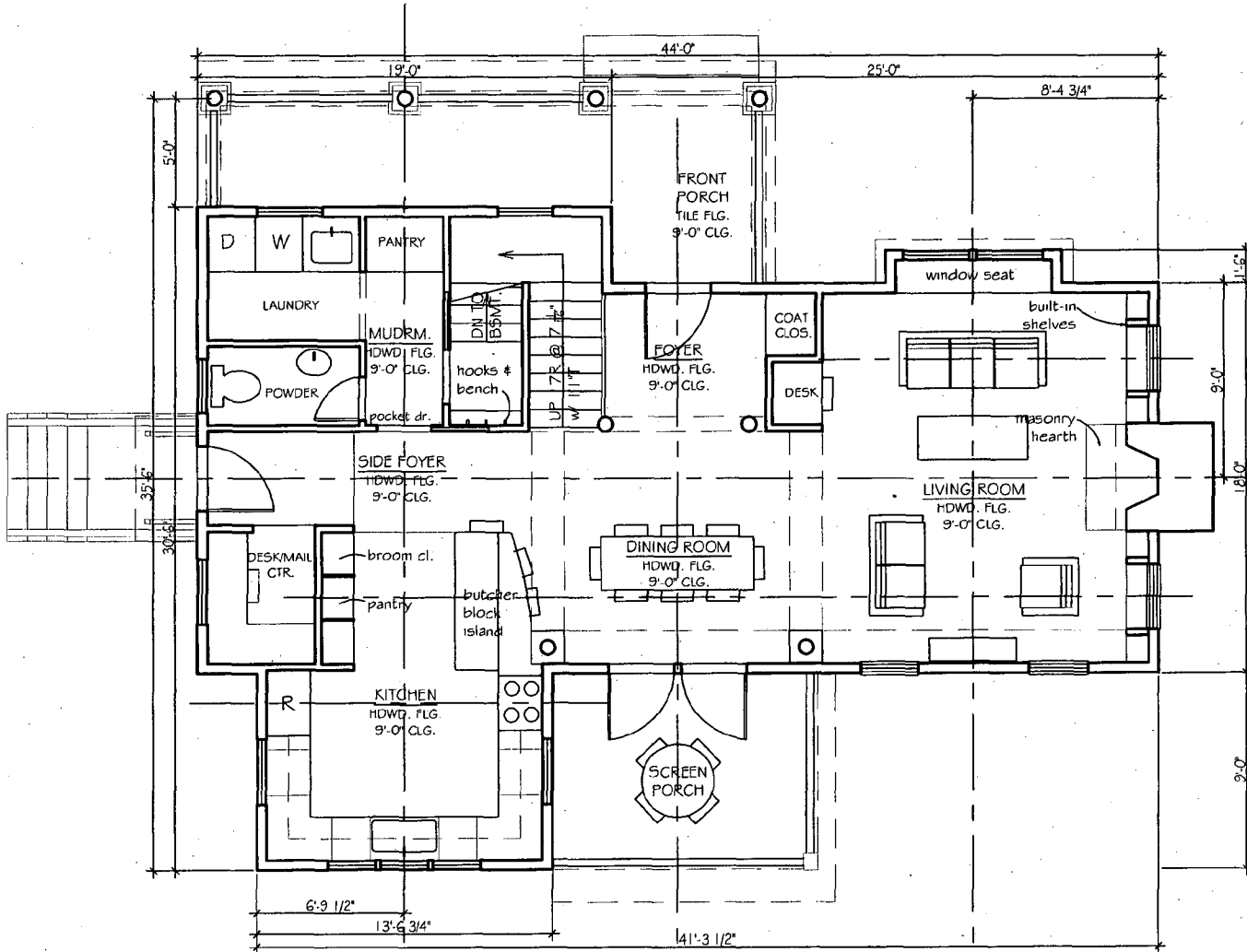
Drawings:

PLANS



1 BASEMENT PLAN
A1 SCALE: 1/8" = 1'-0"

T.A.W.P. SUBMISSION - 14 FEBRUARY 05



MICHE BOOZ
 ARCHITECT
 A2
 208/Market St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

Project:
 SCANLON HOUSE
 Race Street
 Brookeville, Maryland
 Montgomery County

Dates:
 TODAY'S DATE: 14 FEB 05

Drawings:
 PLANS

1 1ST FLOOR PLAN
 A2 SCALE: 1/8" = 1'-0"

T.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A3

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

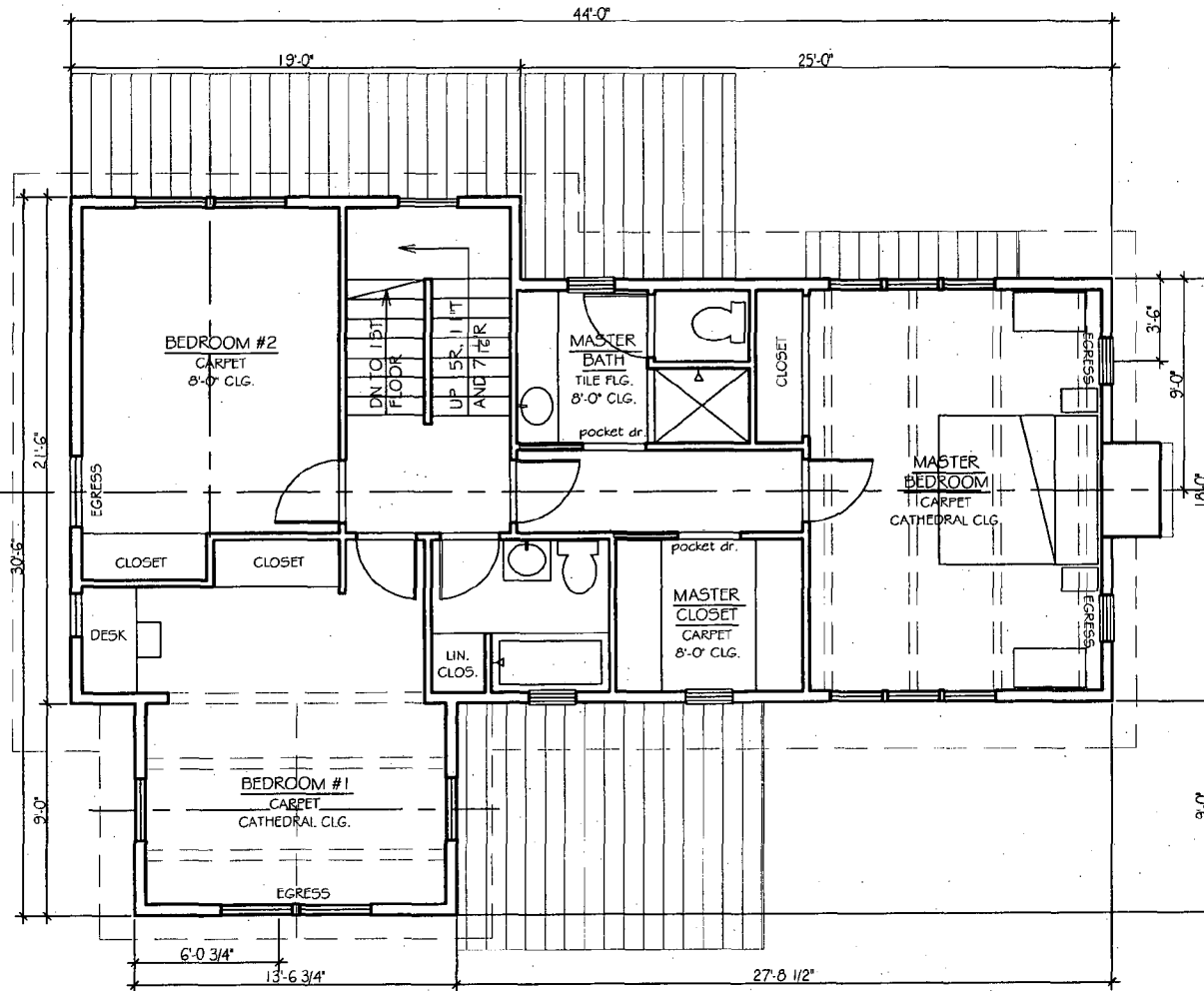
Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

TODAY'S DATE: 14 FEB 05

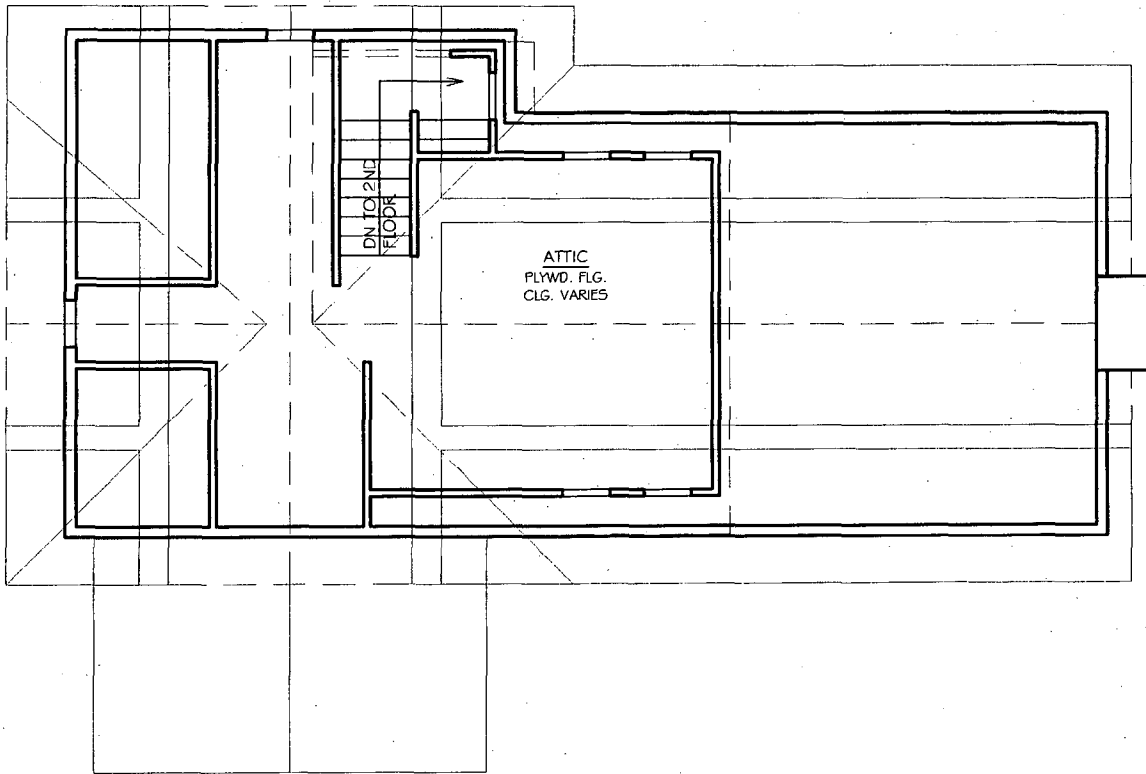
Drawings:

PLANS



1 2ND FLOOR PLAN
A3 SCALE: 1/8" = 1'-0"

I.A.W.P. SUBMISSION - 14 FEBRUARY 05



MICHE BOOZ

ARCHITECT

A4

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

TODAY'S DATE 14 FEB 05

Drawings:

PLANS

1 ATTIC FLOOR PLAN
A4 SCALE: 1/8" = 1'-0"

H.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A5

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:
TODAY'S DATE 14 FEB 05

Drawings:
ELEVATIONS



1 SOUTH ELEVATION
A5 SCALE: 1/8" = 1'-0"

I.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A6

208 Market St
Brookeville
Maryland 20833
(301)774 8911
fax: 774 1908

Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:
TODAY'S DATE 14 FEB 05

Drawings:
ELEVATIONS



1 NORTH ELEVATION
A6 SCALE: 1/8" = 1'-0"

T.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ

ARCHITECT

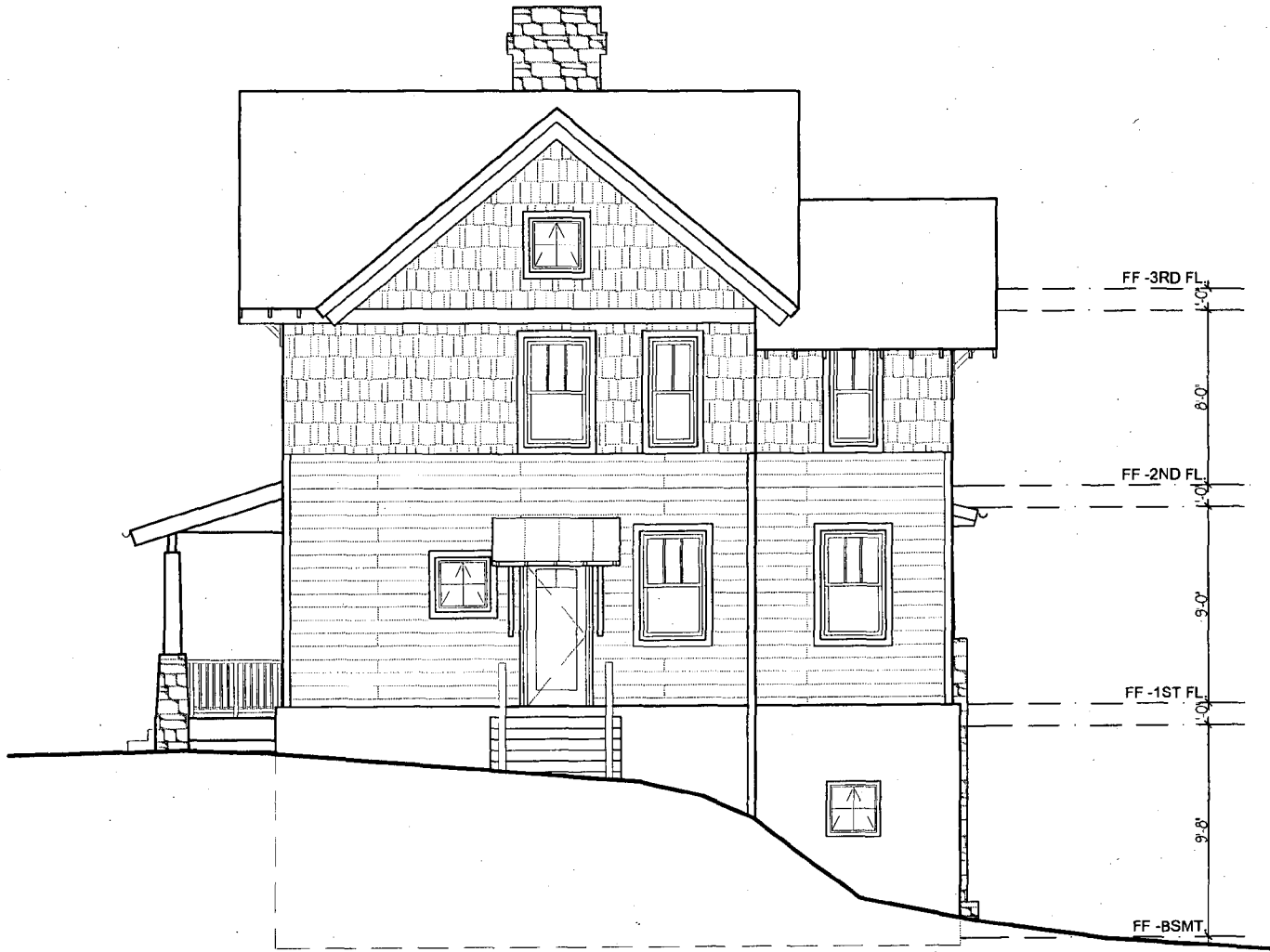
A7

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:
TODAY'S DATE 14 FEB 05

Drawings:
ELEVATIONS



1 EAST ELEVATION
A7 SCALE: 1/8" = 1'-0"

I.A.W.P. SUBMISSION - 14 FEBRUARY 05

MICHE BOOZ

ARCHITECT

A8

208/Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

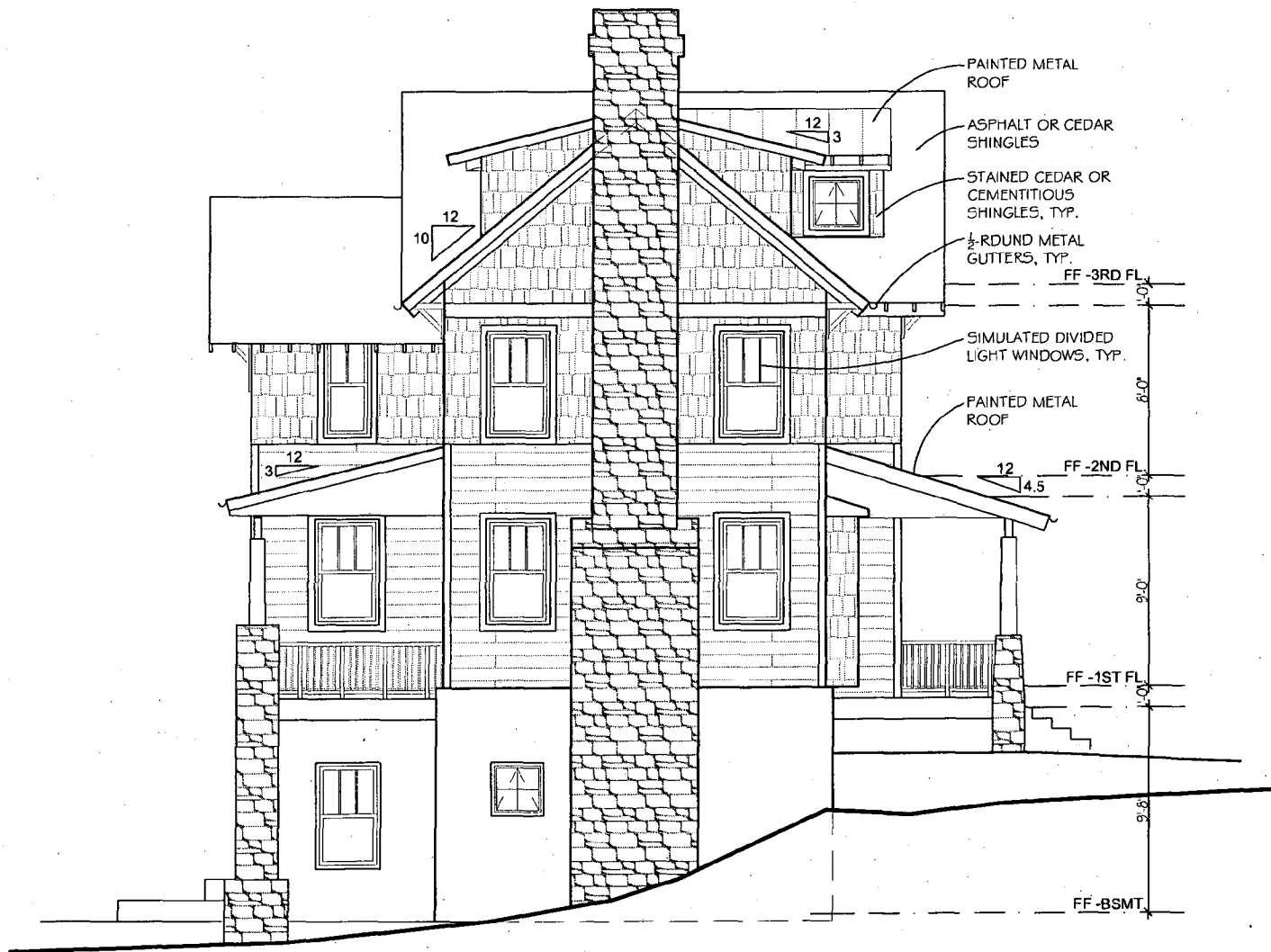
Project:
SCANLON HOUSE
Race Street
Brookeville, Maryland
Montgomery County

Dates:

TODAY'S DATE 14 FEB 05

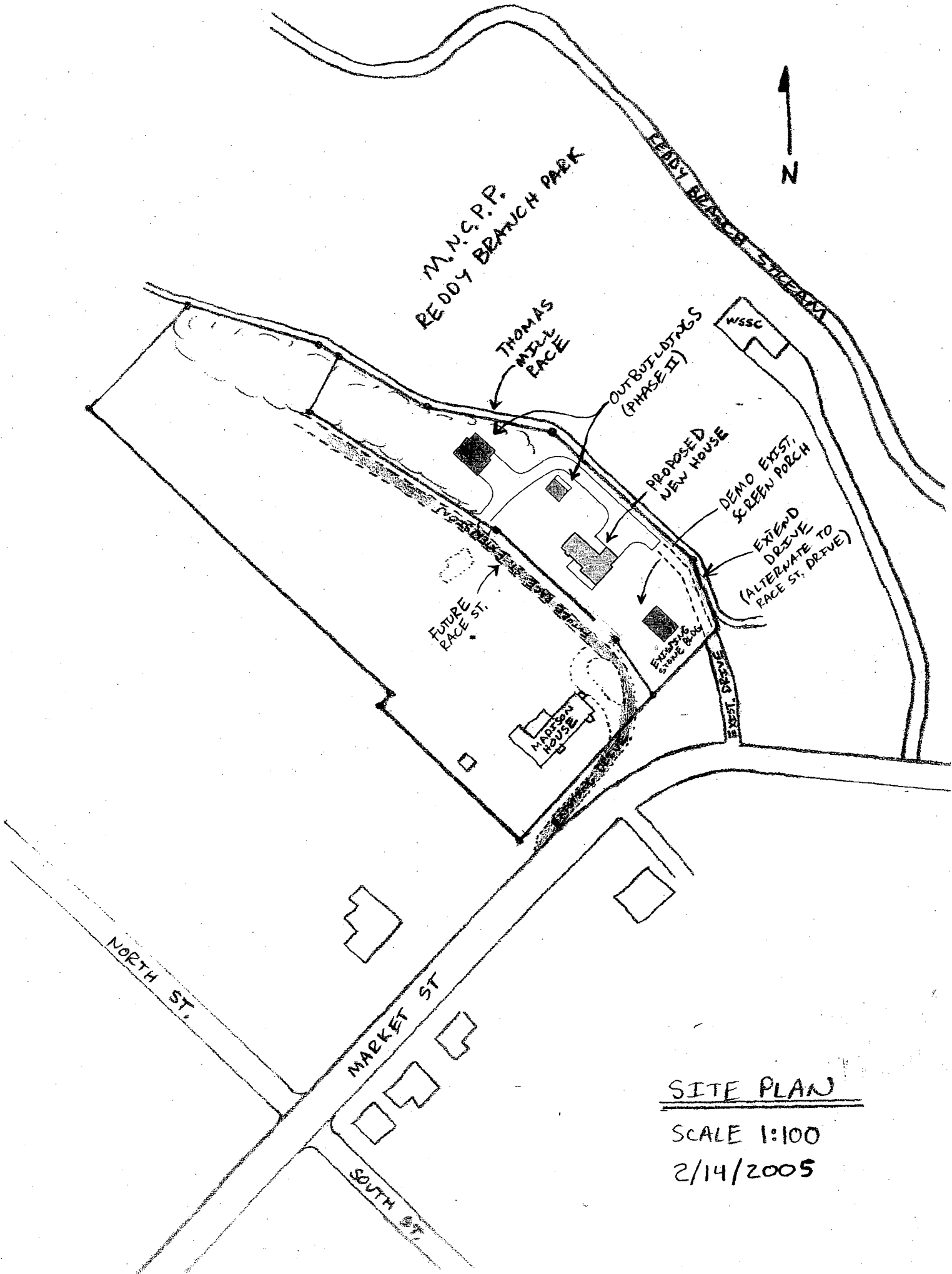
Drawings:

ELEVATIONS



1 WEST ELEVATION
A8 SCALE: 1/8" = 1'-0"

I.A.W.P. SUBMISSION - 14 FEBRUARY 05



SITE PLAN

SCALE 1:100

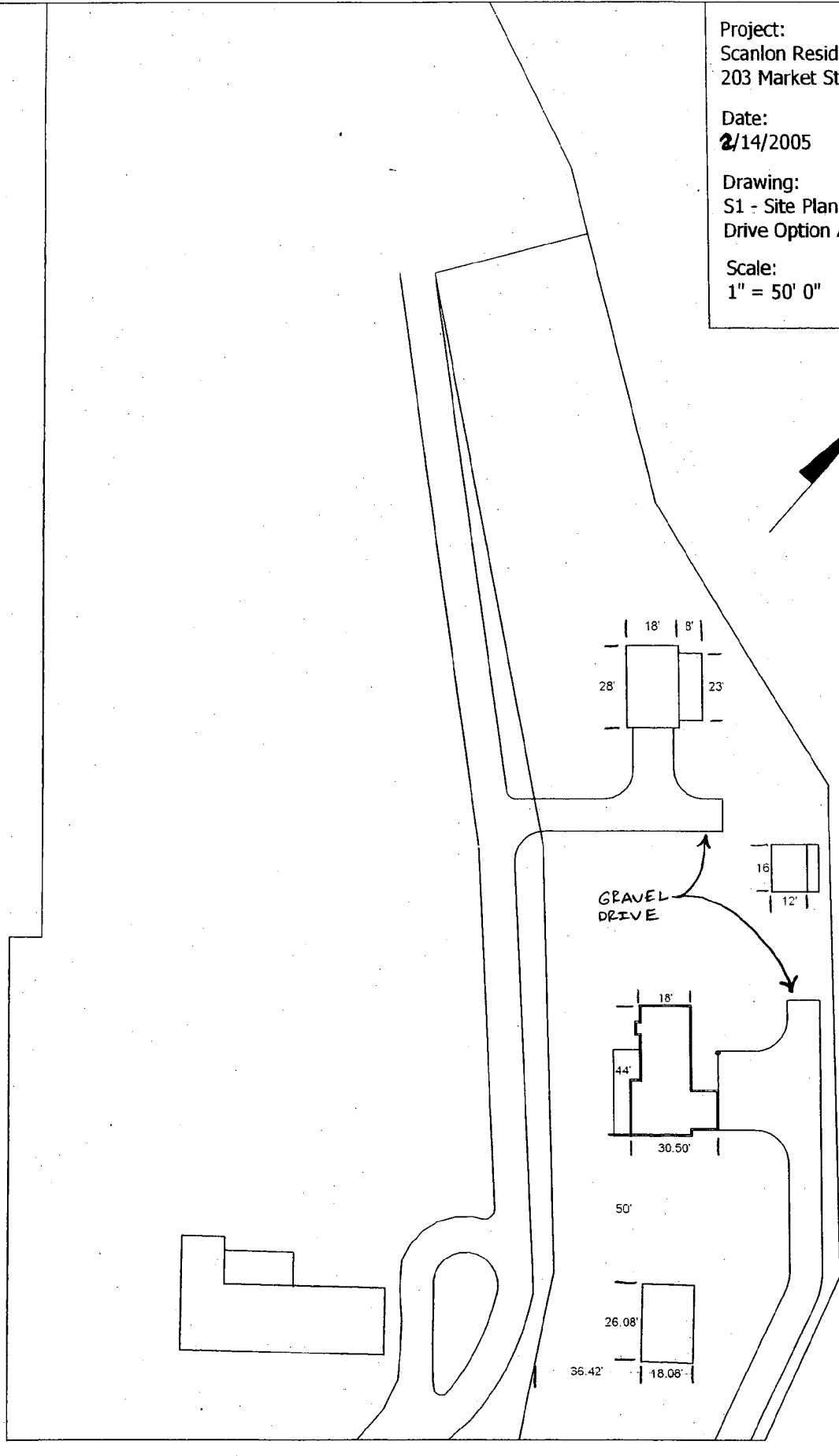
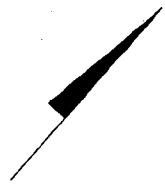
2/14/2005

Project:
Scanlon Residence
203 Market St.

Date:
2/14/2005

Drawing:
S1 - Site Plan
Drive Option A

Scale:
1" = 50' 0"

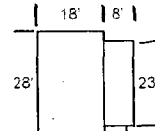
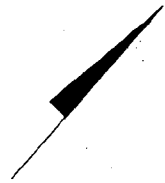


Project:
Scanlon Residence
203 Market St.

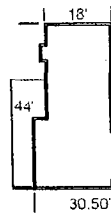
Date:
2/14/2005

Drawing:
S1 - Site Plan
Drive Option B

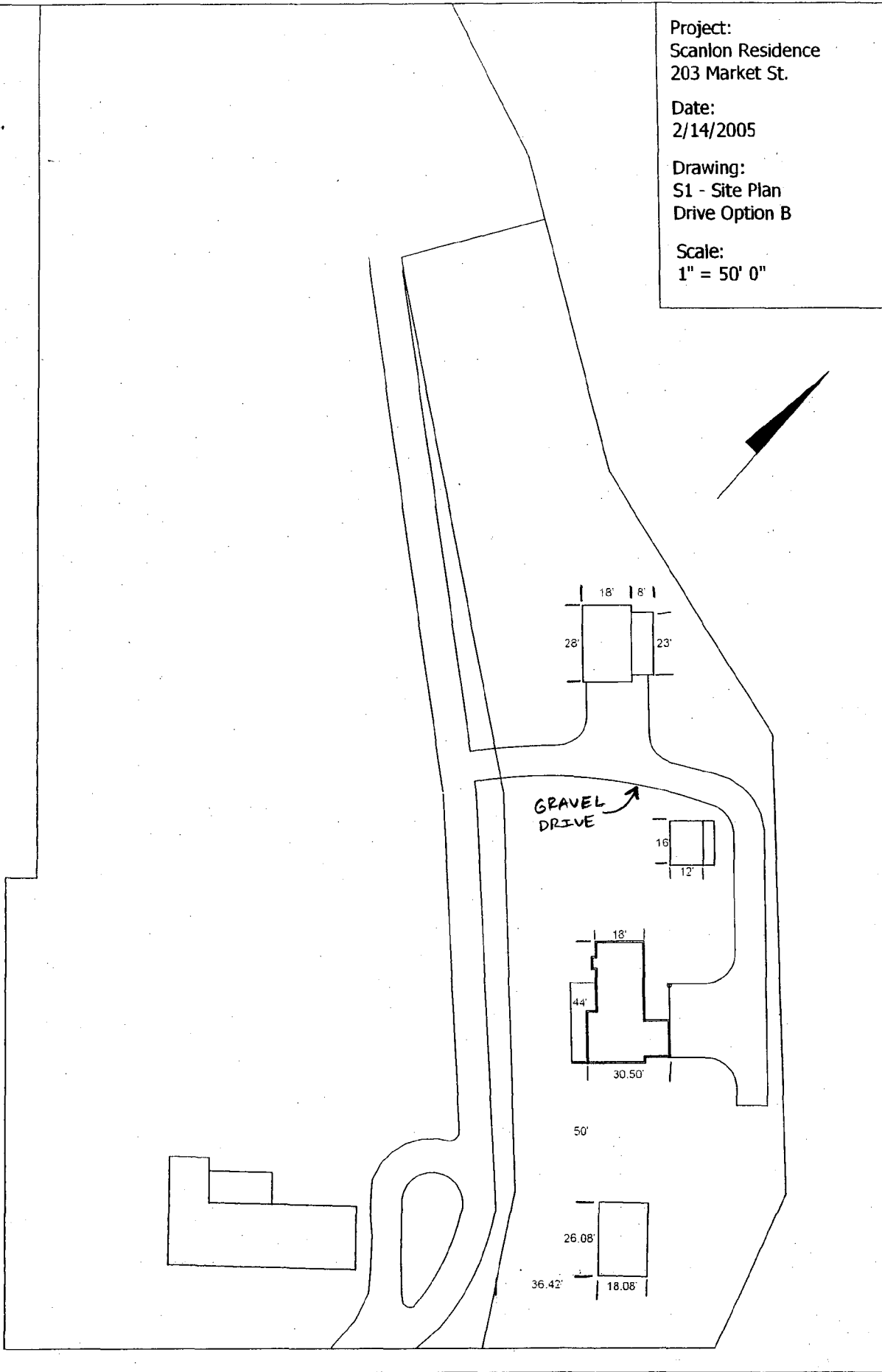
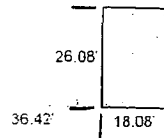
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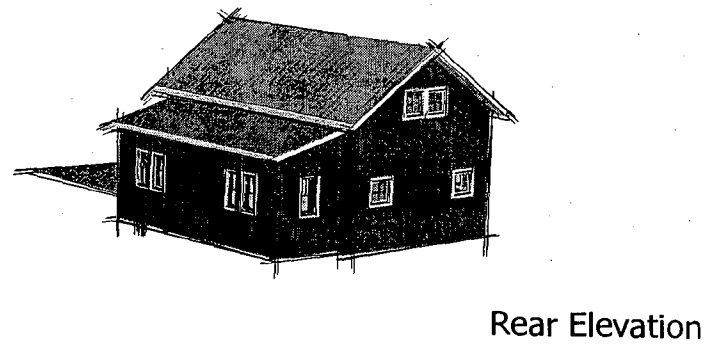
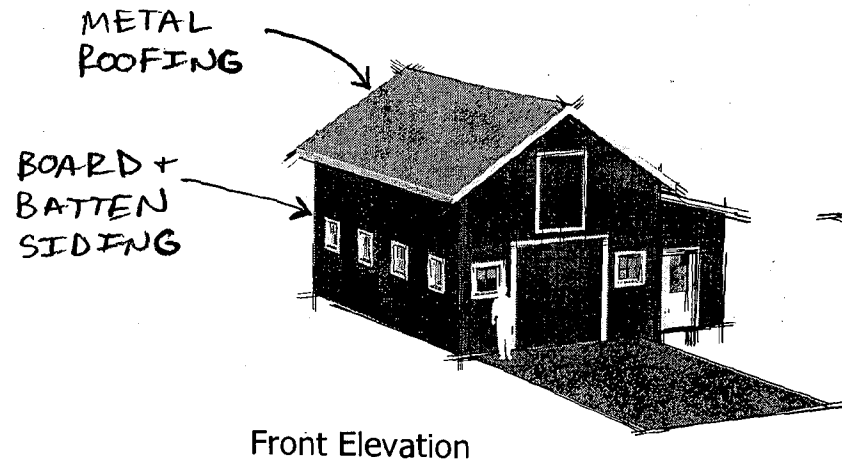


GRAVEL DRIVE ↗



50'

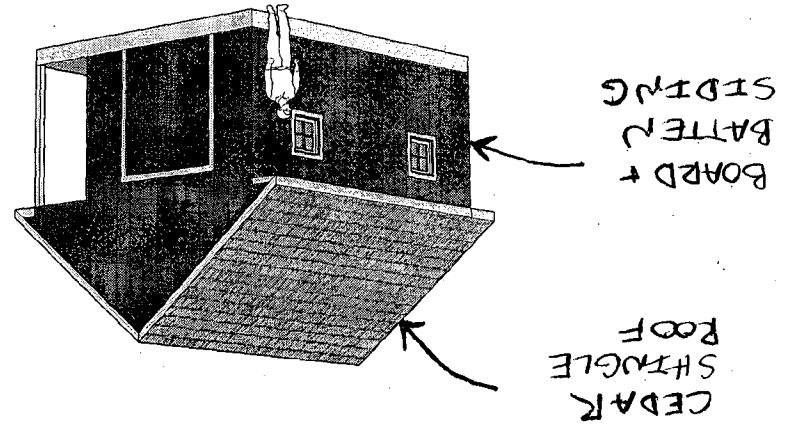
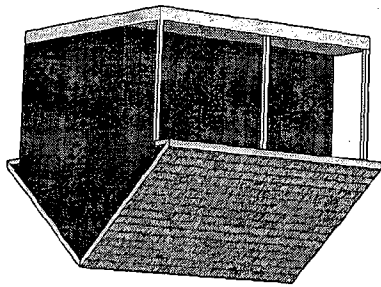




SHOP OUTBUILDING

2/14/2005

LAWN + GARDEN OUTBUILDING
2/14/2005



CEDAR
SHINGLE
ROOF

BOARD +
BATTEN
SIDING