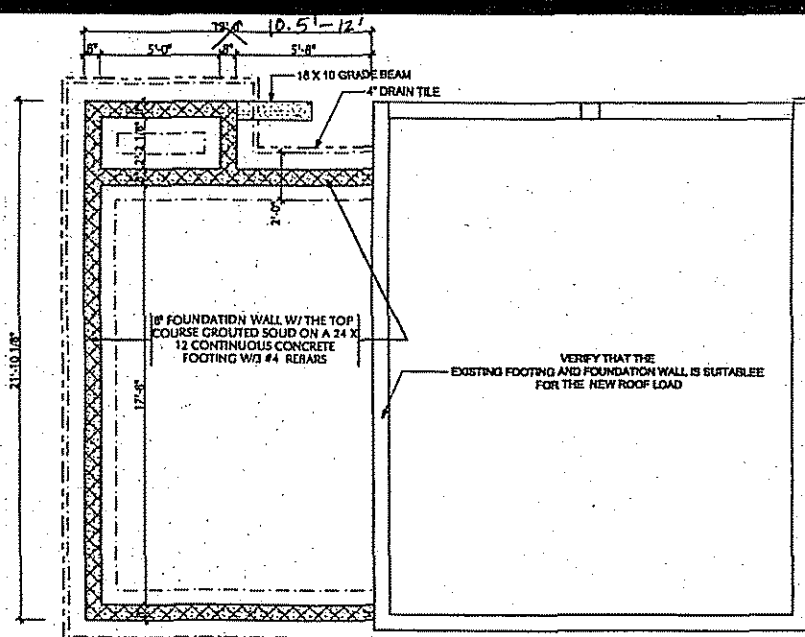




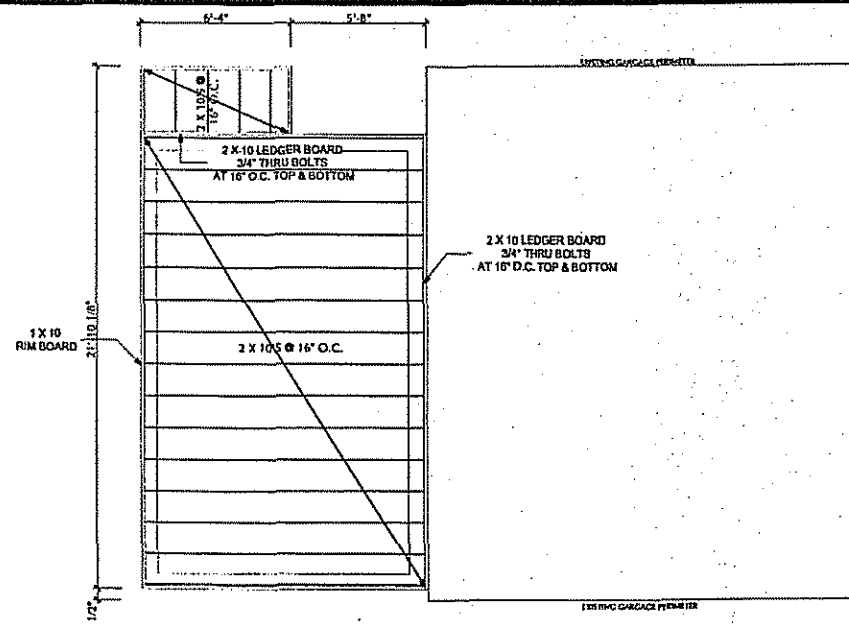
31/06-05L 10205 Connecticut Ave
Kensington Historic District



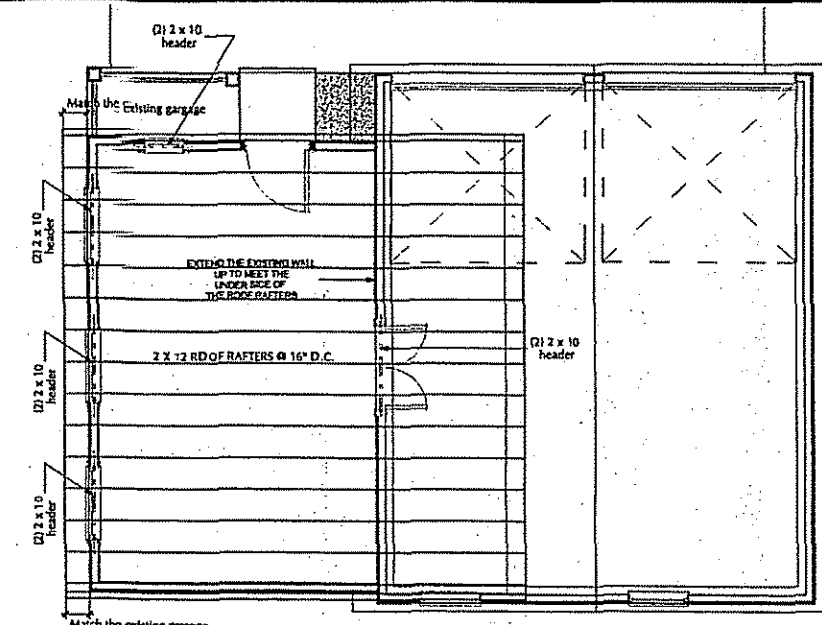


Foundation Plan

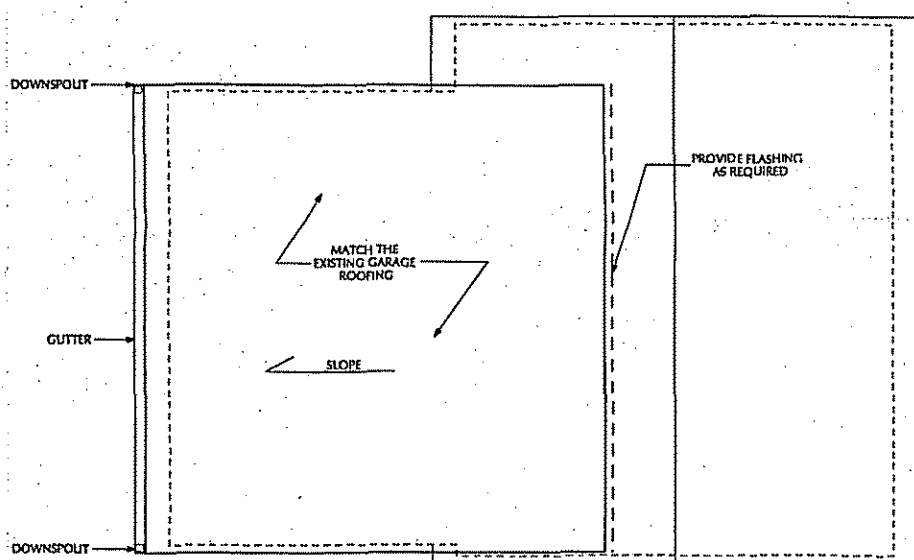
1/4" = 1'-0"



First Floor Plan

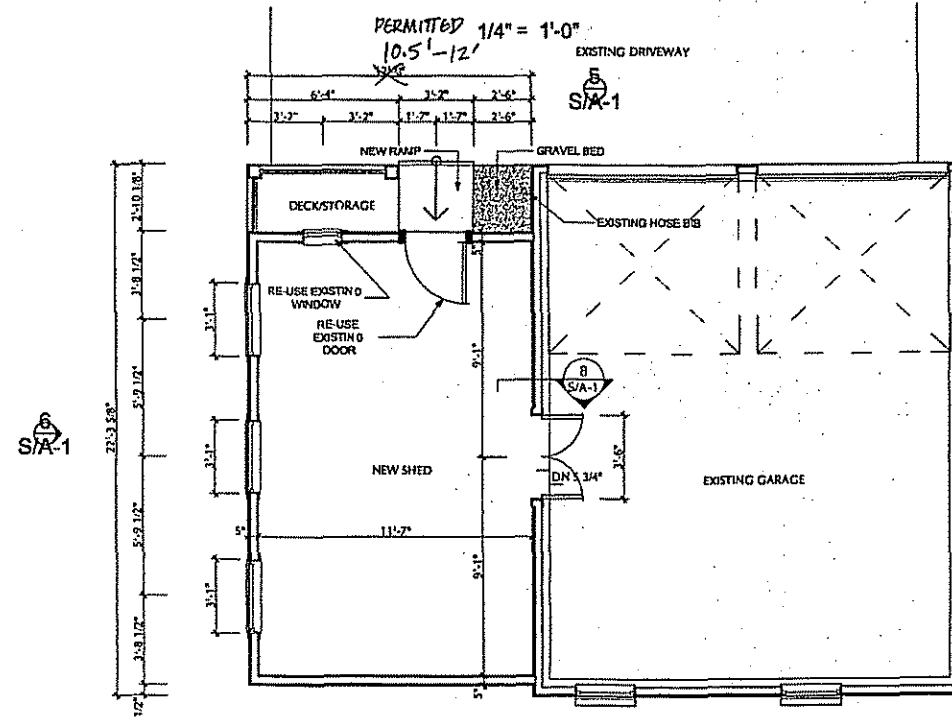


Roof Structure

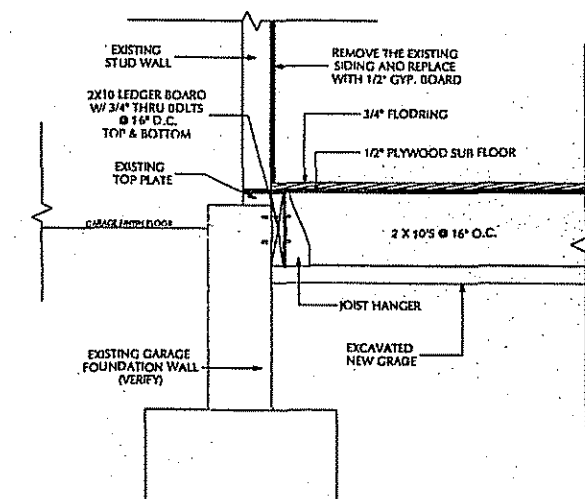


Roof Plan

1/4" = 1'-0"



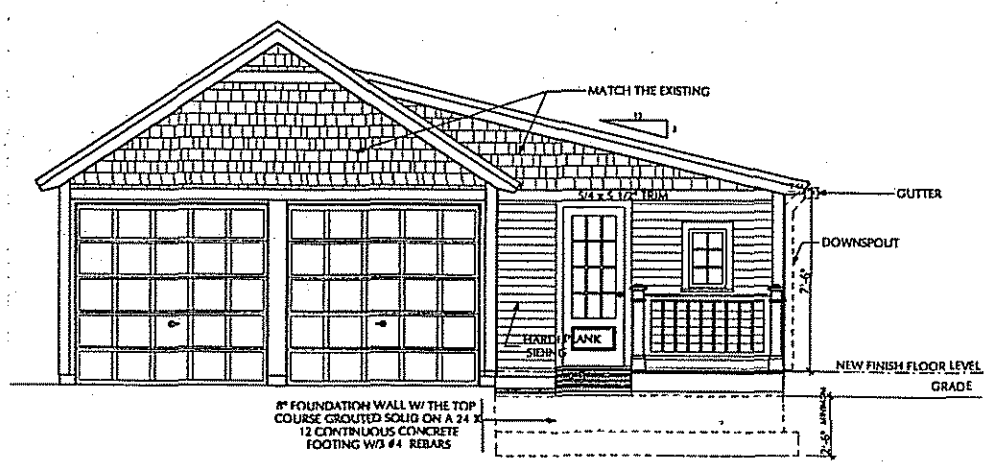
First Floor Plan (Shed)



Foundation & Floor Detail

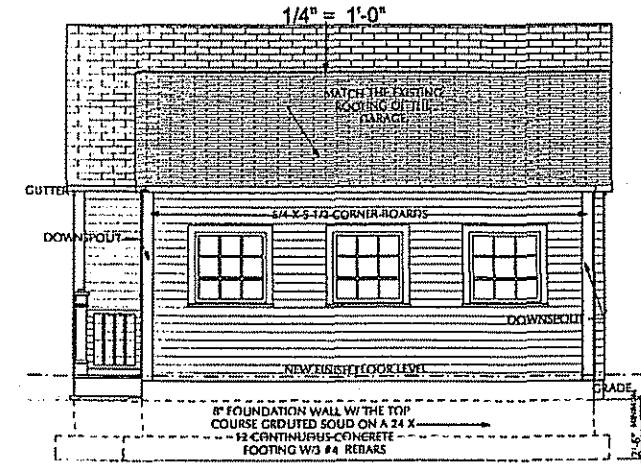
1" = 1'-0"

PLAN Copy 1 & 2



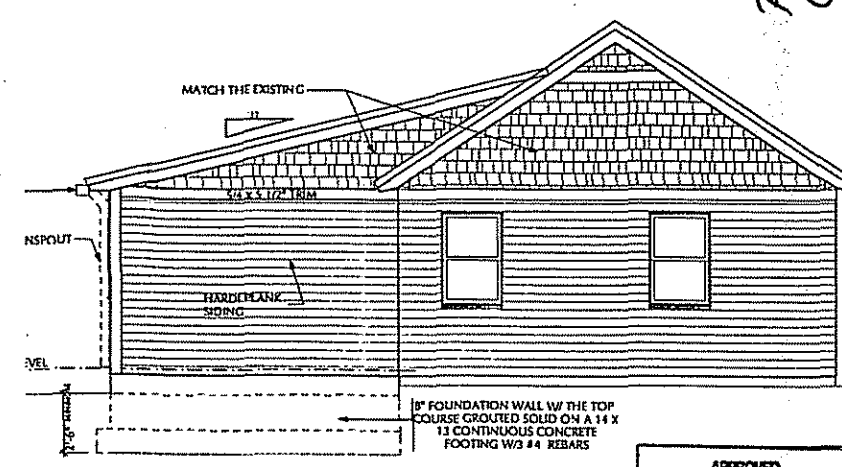
Front Elevation

1/4" = 1'-0"



Right Elevation

1/4" = 1'-0"



Rear Elevation

1/4" = 1'-0"

ATECT
LLC
ATECT DESIGNS
13009 PALMER HOUSE WAY
SEVER SPRING MD, 20854
301.490.1615 (P)
301.550.1057 (F)

The Cohen Residence
10205 Connecticut Avenue
Kensington, MD 20895

Structural, Floor & Roof Plans, E

Scale:
Date:
Revisions:

Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions.

SCALE: AS NOTED
DRAWN: CJ
CHECKED:
DATE: 6.4.2005
REVISIONS:
COPYRIGHT

SHEET
S/A-1
SHEET 2 OF 3

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley
with corrections 7-15-05

C:\PROJECTS\Cohen\Layout Book\Cohen Residence.lnk

ATECT
LLC

ATECT DESIGNS
13292 PALMER HOUSE WAY
SILVER SPRING, MD, 20904
301.893.1159
301.892.2870

The Cohen Residence
10205 Connecticut Avenue
Kensington, MD 20895

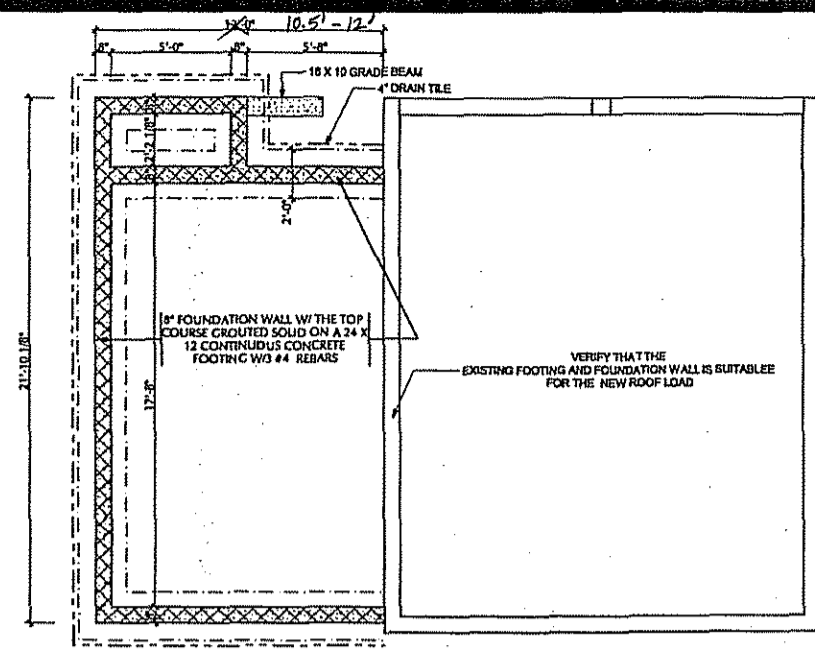
Structural, Floor & Roof Plans, E



Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the office must be notified of any variations from the dimensions and conditions.

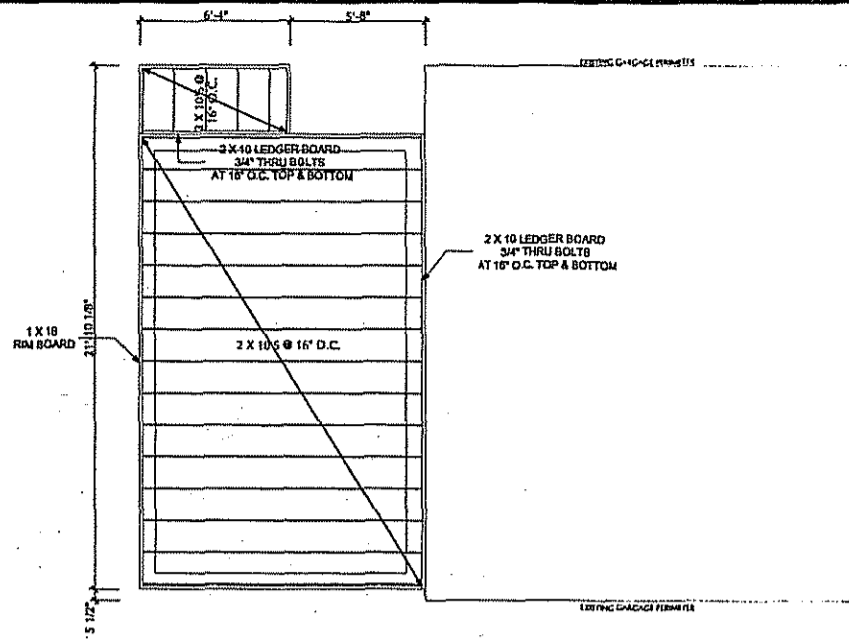
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DRAWN:	CL
CHECKED:	
DATE:	6.4.2005
REVISIONS:	
© COPYRIGHT	

SHEET
S/A-1
SHEET 2 OF 3

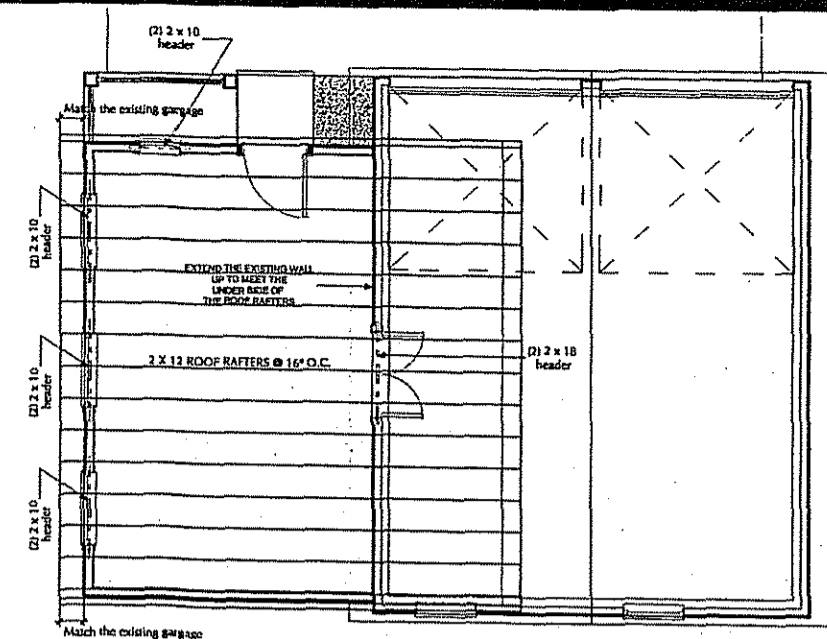


Foundation Plan

1/4" = 1'-0"

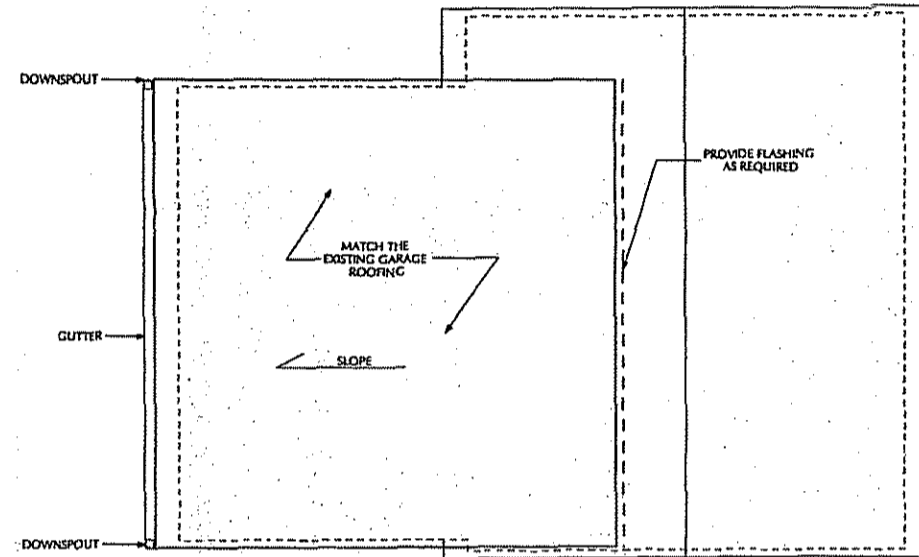


First Floor Plan



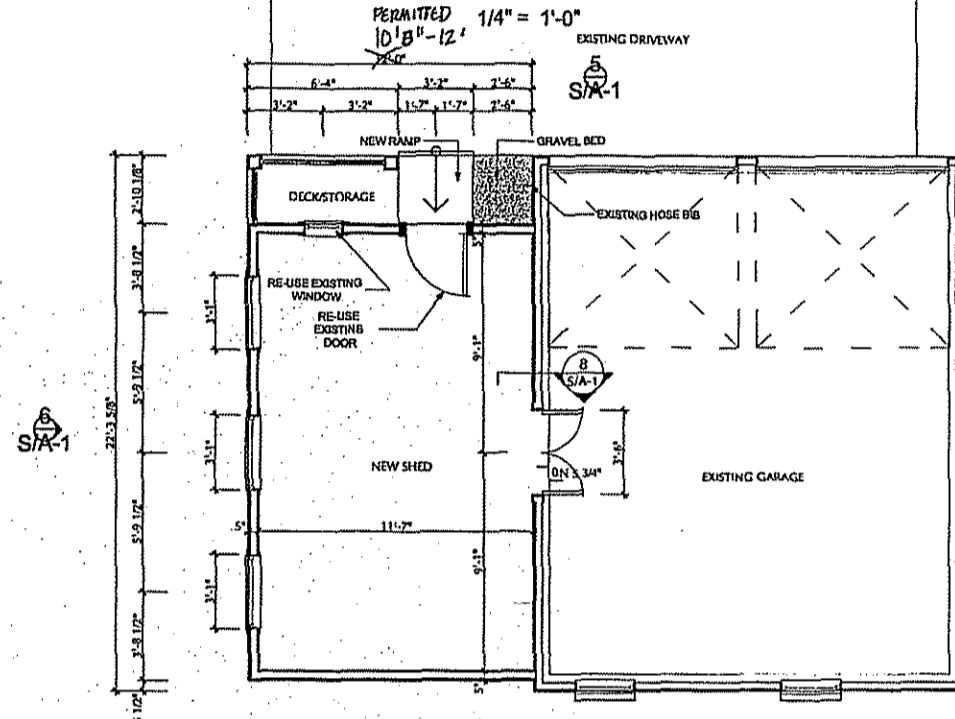
Roof Structure

1/4" = 1'-0"



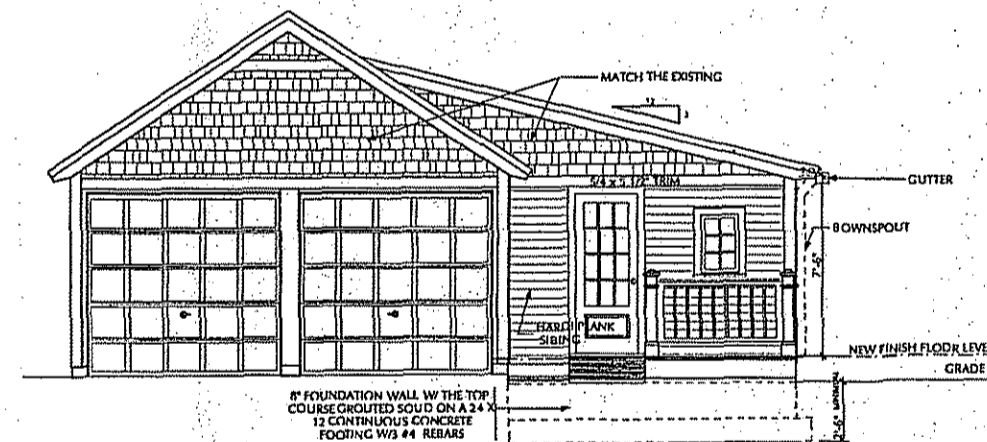
Roof Plan

1/4" = 1'-0"



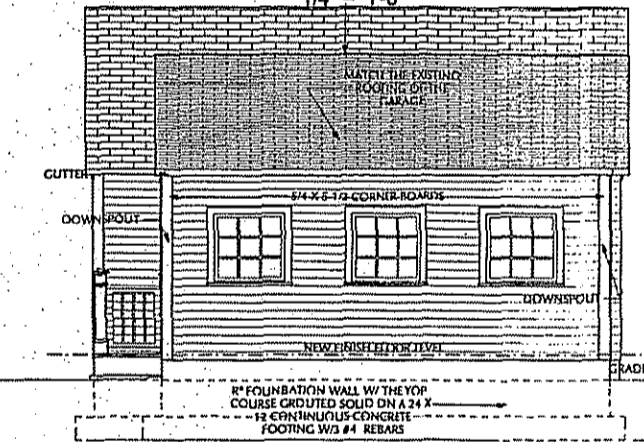
First Floor Plan (Shed)

1/4" = 1'-0"



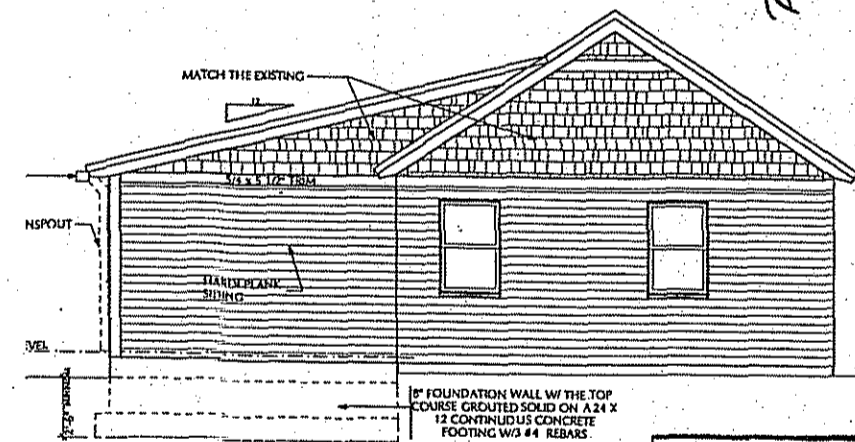
Front Elevation

1/4" = 1'-0"



Right Elevation

1/4" = 1'-0"



Rear Elevation

1/4" = 1'-0"

Foundation & Floor Detail

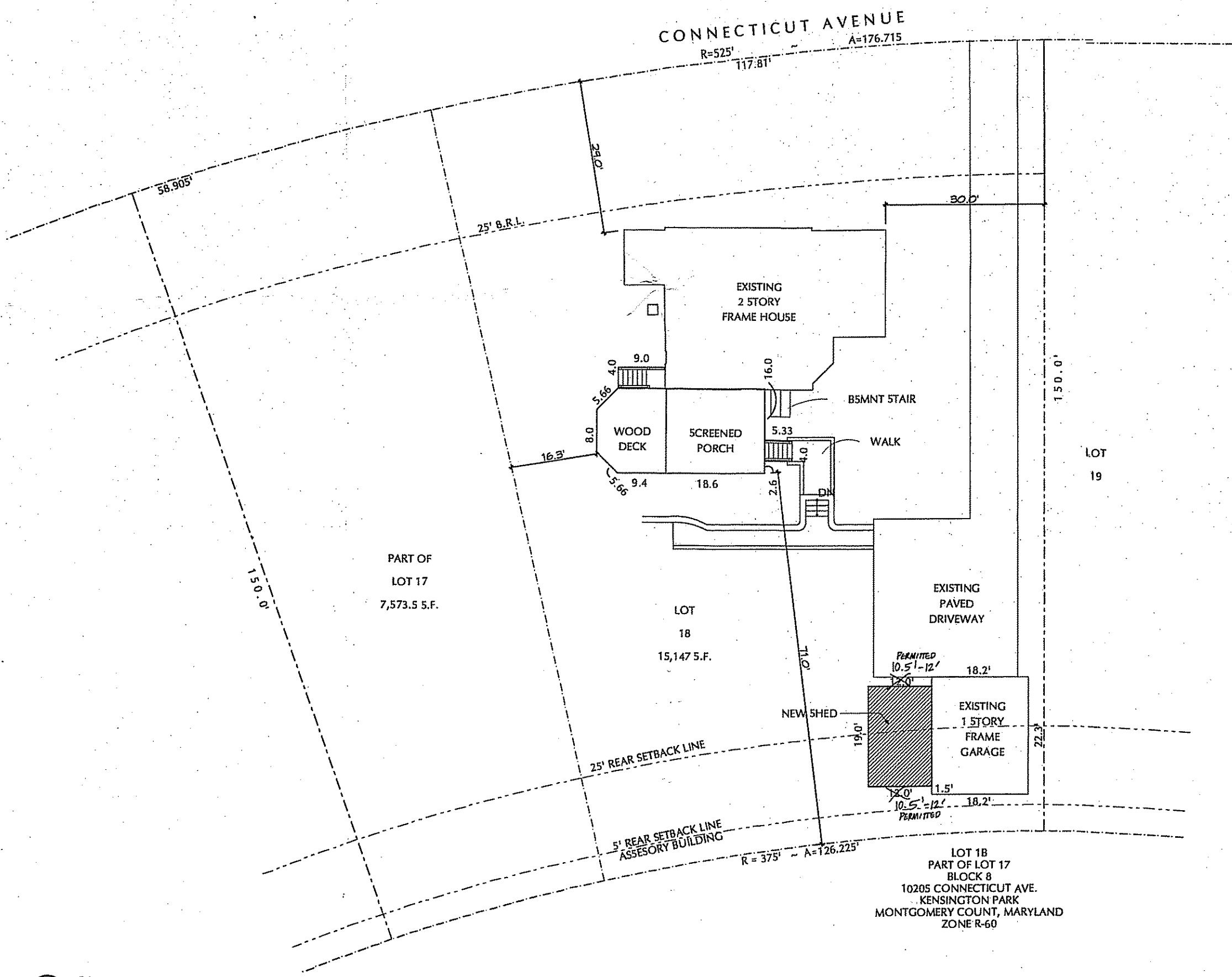
1" = 1'-0"

PLAN COPY 2 of 2

APPROVED
Montgomery County
Housing Preservation Commission
Julia D. Malley
with corrections 7-15-07

C:\PROJECTS\Cohen\Layout Book\Cohen Residence.lbk

Site Plan
1" = 10'-0"



ATECT
LLC

ATECTDESIGNS
13309 PALMER HOUSE WAY
SILVER SPRING, MD. 20994
301.490.1415/07
301.490.2897/07

The Cohen Residence
10205 Connecticut Avenue
Kensington, MD 20895

Site Plan

Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions.

SCALE:	AS NOTED
DRAWN:	CU
CHECKED:	
DATE:	6.4.2005
REVISIONS:	
© COPYRIGHT	

SITE PLAN

APPROVED
Montgomery County
Health & Environmental Department
Julia O'Halley
8-13-05
with attention


SHEET
C-1
SHEET 1 OF 3



Date: July 13, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator 
Historic Preservation

SUBJECT: Historic Area Work Permit # 387408

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Steven Cohen

Address: 10205 Connecticut Avenue, Kensington, MD 20895

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
 301/563-3400

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**



Contact Person: STEVEN COHEN
 Daytime Phone No.: 202 528 4986

Tax Account No.: 470600

Name of Property Owner: STEVEN COHEN Daytime Phone No.: 202 528 4986

Address: 10205 CONNECTICUT AVE KENSINGTON MD 20895
Street Number City Street Zip Code

Contractor: N/A - HOMEOWNER Phone No.: _____

Contractor Registration No.: TO BUILD

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10205 Street: CONNECTICUT AVE
 Town/City: KENSINGTON Nearest Cross Street: BALTIMORE
 Lot: 18R Block: 8 Subdivision: 15
 Liber: _____ Folio: _____ Parcel: 13 HP 43

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|------------------------------------|--|--|-------------------------------|--|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A.C. | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input checked="" type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Reze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 2,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
 Signature of owner or authorized agent

JUNE 10, 2005
 Date

Approved: _____ For Chairman, Historic Preservation Commission
 Disapproved: _____ Signature: Julia O'Malley Date: 7-13-05
 Application/Permit No. 307408 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

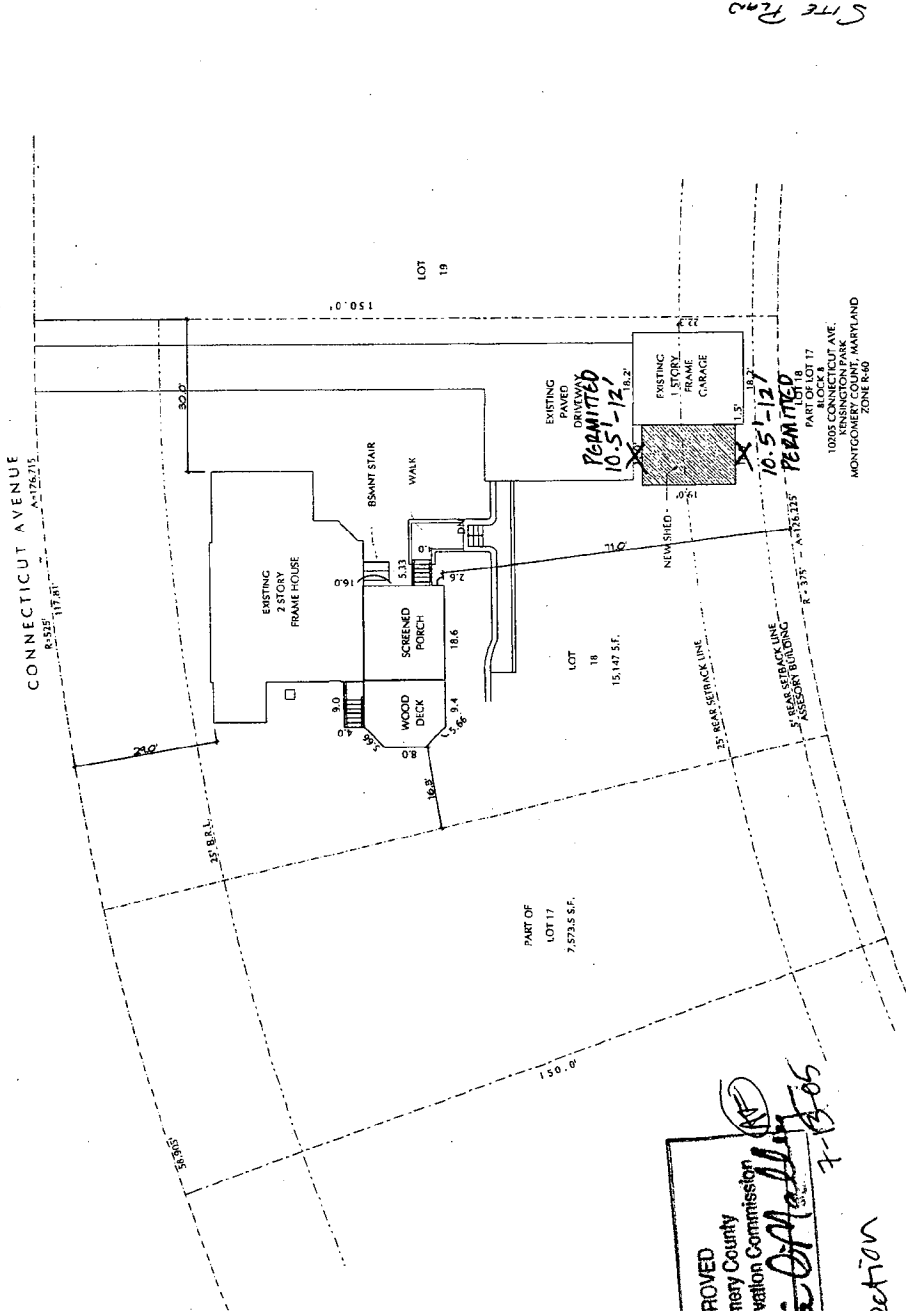


ARCHITECTURAL
DESIGN
10205 CONNECTICUT AVENUE
KENSINGTON, MD 20895

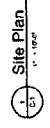
The Cohen Residence
10205 Connecticut Avenue
Kensington, MD 20895

Site Plan

Scale: 1/8" = 1'-0"
Date: 02/11/05
Drawing: 02
Project: 10205
Client: A. Cohen



APPROVED
Montgomery County
Historic Preservation Commission
Judith Offenberg
7-13-05
with correction



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10205 Connecticut Ave, Kensington **Meeting Date:** 07/13/05
Resource: Primary-1 Resource **Report Date:** 07/06/05
Kensington Historic District
Review: HAWP **Public Notice:** 06/29/05
Case Number: 31/06-05L **Tax Credit:** None
Applicant: Steven Cohen **Staff:** Anne Fothergill
PROPOSAL: Shed installation
RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Primary-One Resource
STYLE: Four Square
DATE: c. 1898

PROPOSAL

The applicants are proposing installation a 200 SF shed adjacent to the existing garage located behind the house. The shed would be 10.5' wide x 19' deep with a shed roof. It would be clad in Hardiplank horizontal siding and the front door and four new windows will be wood with simulated divided lights. There will be no changes to the driveway as part of this shed installation.

*note: shed width on plans has been changed to 10.5' at applicant's request

For proposed plans see Circles 7 + 8. Photos of the house and garage are in Circles 10 + 11.

STAFF DISCUSSION

Staff used the *Secretary of the Interior's Standards for Rehabilitation* as a guide, specifically Standard # 9 which states:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Staff also used the *Vision of Kensington: A Long-Range Preservation Plan* as a guide for this project. Within the Historic District, the *Vision* states, "the houses share a uniformity of scale, set backs and construction materials that contributes to the cohesiveness of the district's streetscapes." The *Vision*

discusses specifically the Historic Residential Core, where this house is located, which “consists of most of the primary historic resources in the residential neighborhood...In this area it is important to preserve these patterns of open space, front yard setbacks, building scale, architectural character, and the streetscape qualities.”

The *Vision of Kensington* also states that “the majority of houses extant in Kensington are sited on ample-sized parcels, oftentimes consisting of two or three lots...The average lot coverage within the Kensington Historic District is 15%.” The Vision also notes that the average lot coverage specifically for the Primary Resources is 10% with a maximum of 25% lot coverage.

In this case, the house footprint with all the porches is approximately 1700 SF and the existing garage is approximately 400 SF. The entire lot is 22,722 SF. The addition of the shed would increase the lot coverage to approximately 10%, which is acceptable within the historic district. Ideally the side lot will not be built on, and staff encourages the applicants to consider an easement on this property.

The proposed shed addition to the garage will not be visible from the street, is set back from and is lower than the garage, and the materials are compatible with the historic resource.

Staff recommends approval of this application.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior’s *Standards for Rehabilitation #9*:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

TOOL SHED ATTACHED TO EXISTING
DETACHED GARAGE.

NO HISTORICAL SIGNIFICANCE - GARAGE
DOORS AND TREATMENT NOT ORIGINAL
CIRCA 1960

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

MINIMAL IMPACT - NOT VISIBLE
FRIM STREET

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Properties Adjacent to 10205 Connecticut Ave,
Kensington

South 3819 Calvert Place, Hammond Residence
North 10209 Connecticut Ave, Gimer Residence
West 10210 Carroll Place, Bodkiss Residence
West 10212 Carroll Place, Lawson Residence

Properties Across Street from 10205 Connecticut Ave

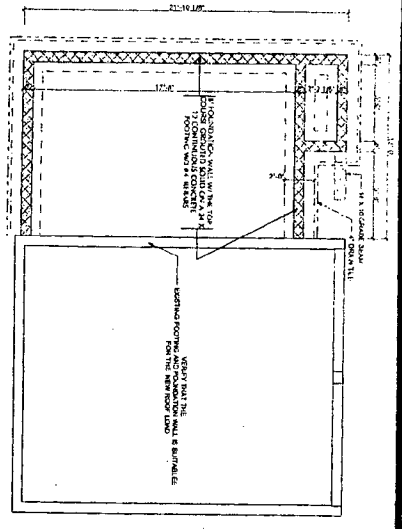
South Warner Memorial Church, Parking
North Warner Memorial Church, Vacant Parcel

June 10, 2005

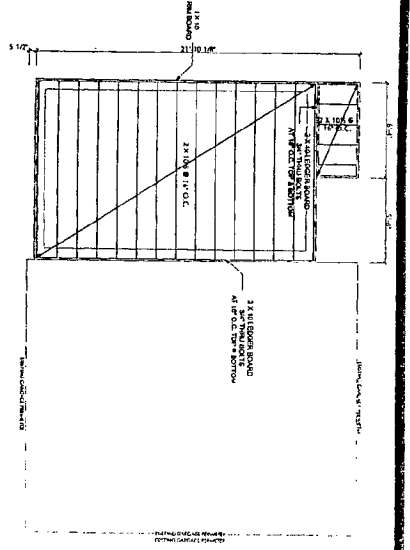
Project Description

Steven and Colleen Cohen Residence
10205 Connecticut Ave
Kensington Maryland , 20895
301 929 0812

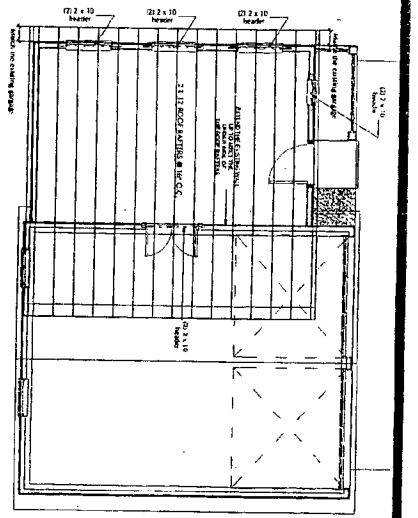
The project is a Tool Shed (under 200 sqft). The shed will be wood frame construction supported on a concrete foundation. The foundation will comprise six or more concrete piers 12-18 in diameter. The plans do not accurately depict the foundation details. The roof treatment will be identical to the existing garage. The siding will be wood and selected to generally resemble the garage but will have architectural differences to distinguish it from the original construction. Note the attached plans are accurate with respect to all dimensions.



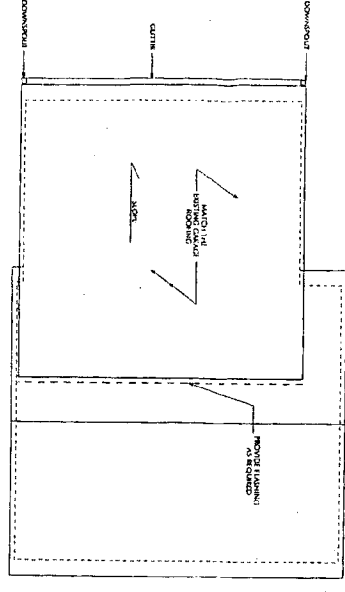
Foundation Plan
1/4" = 1'-0"



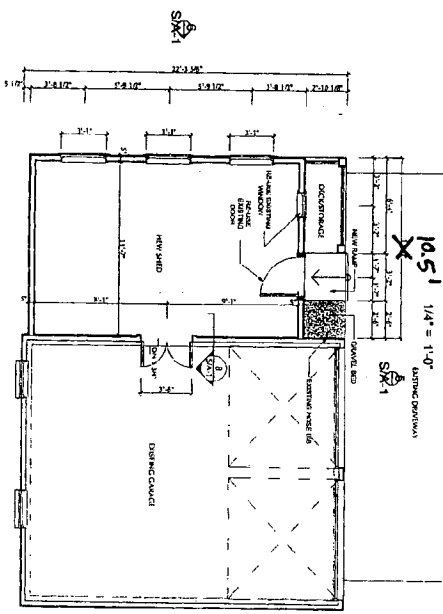
First Floor Plan
10.5' 1/4" = 1'-0"



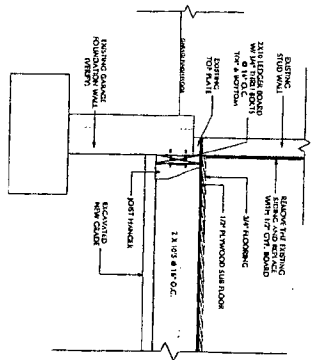
Roof Structure
1/4" = 1'-0"



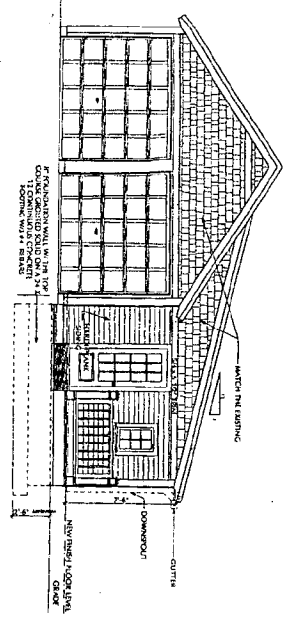
Roof Plan
1/4" = 1'-0"



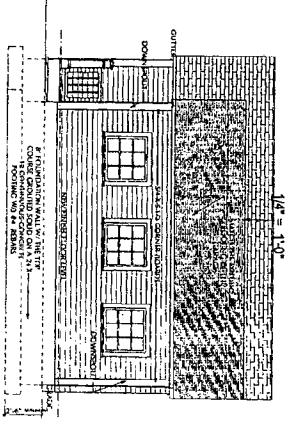
First Floor Plan (Shed)
1/4" = 1'-0"



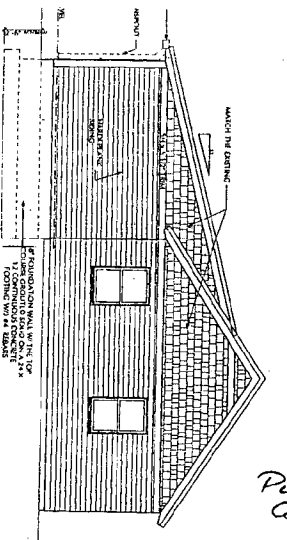
Foundation & Floor Detail
1" = 1'-0"



Front Elevation
1/4" = 1'-0"



Right Elevation
1/4" = 1'-0"



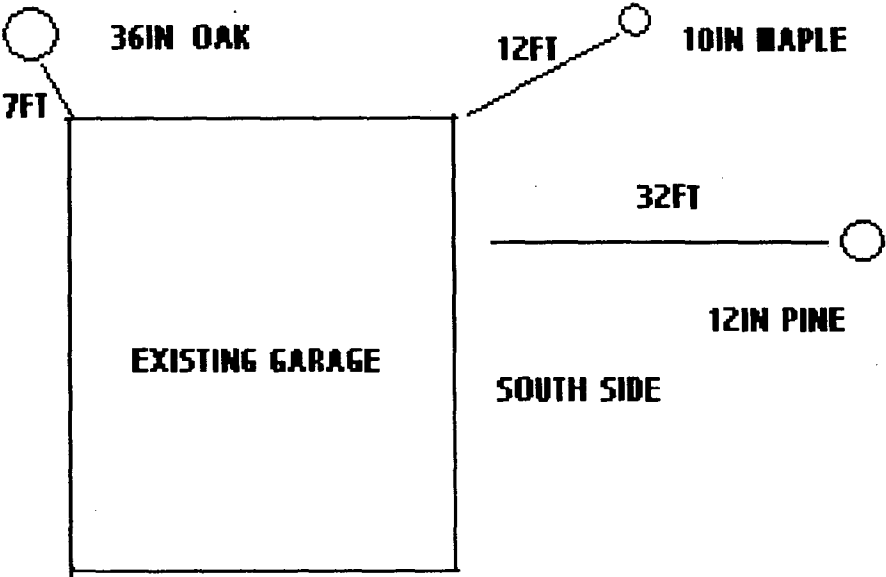
Rear Elevation
1/4" = 1'-0"

PLAN COPY 292

	PROJECT: NEW BUILD DRAWN: CD CHECKED: C.A.M. DATE: 6/20/03 REVISION:	Structural, Floor & Roof Plans, E	ARCT ARCHITECTS 3500 WOODBURN AVENUE SUITE 100 BETHESDA, MD 20814	The Cohen Residence 10205 Connecticut Avenue Kensington, MD 20895
	Notes: 1. All dimensions are in feet and inches unless otherwise noted. 2. All materials are to be installed in accordance with the manufacturer's instructions. 3. All work is to be done in accordance with the applicable building codes.			

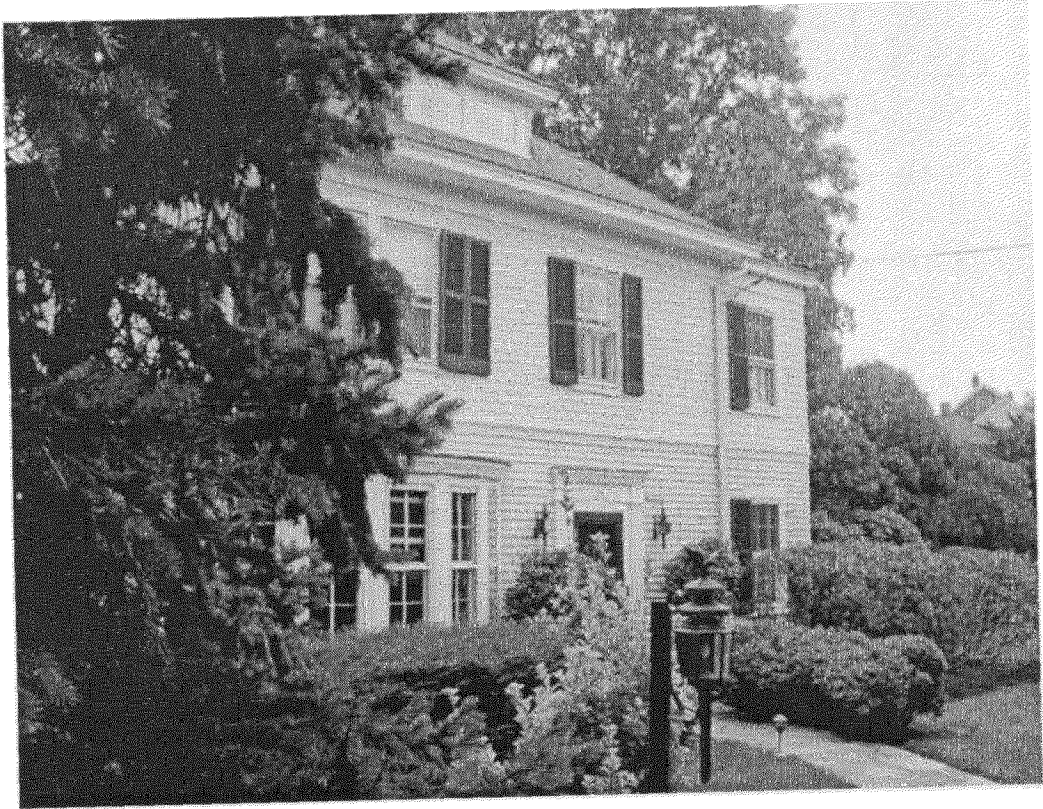
8

**GARAGE 10205 CONNECTICUT AVE
TREE SURVEY**

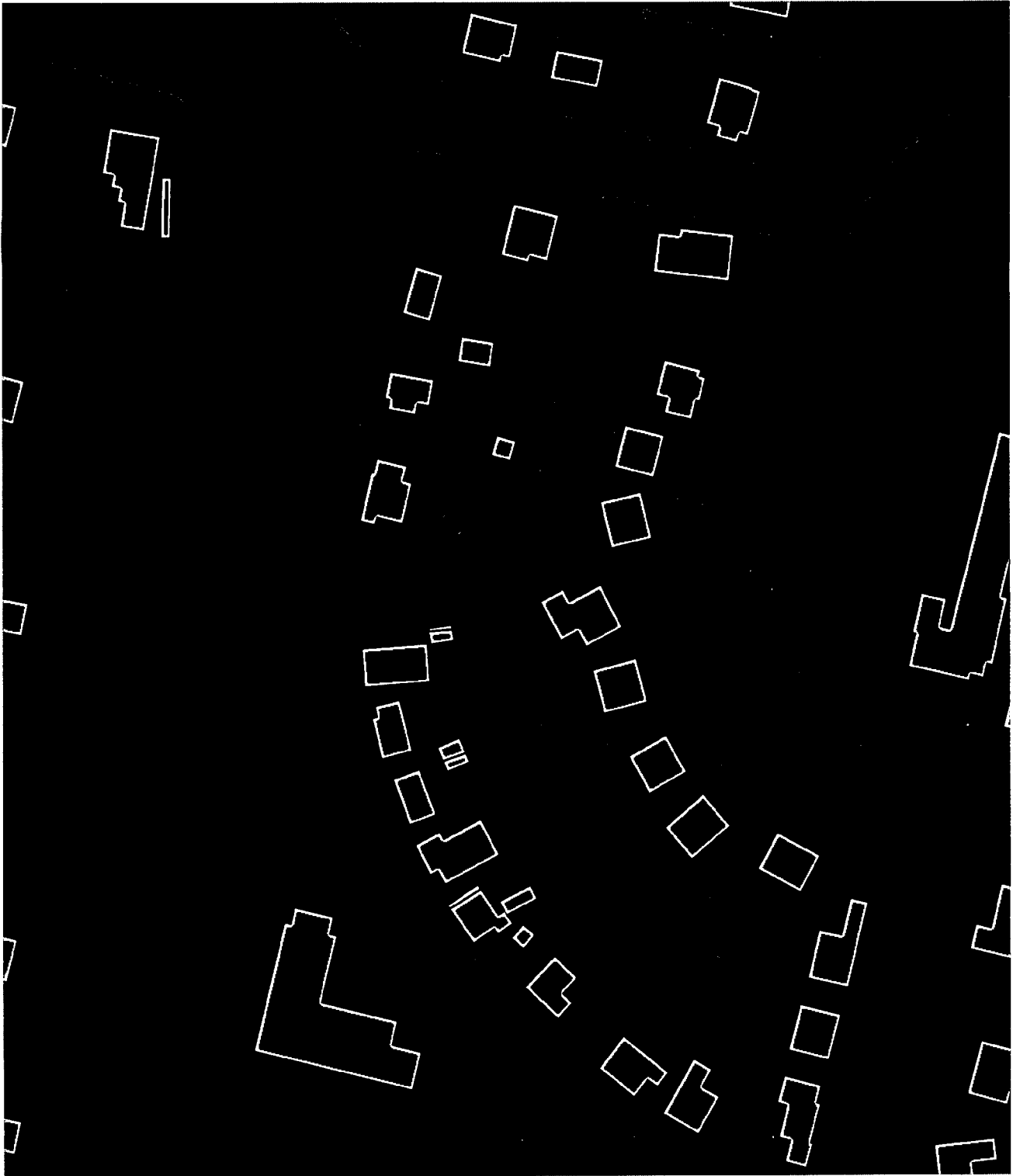


FRONT

NOT TO SCALE



10205 CONNECTICUT



Notice:

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Casual User Application



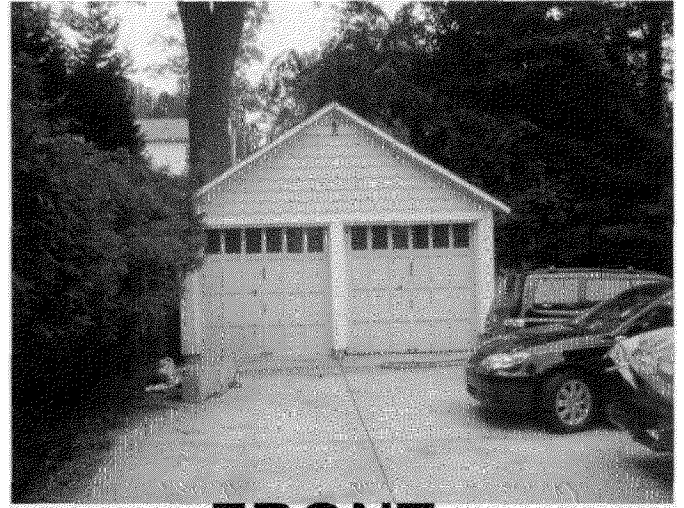
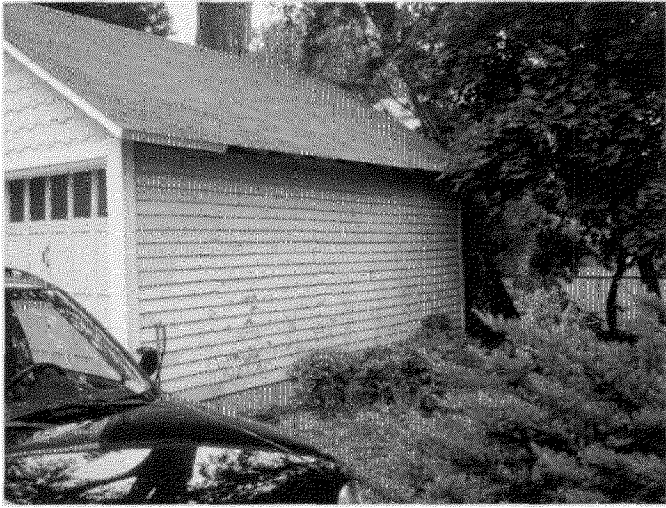
Research & Technology Center

Scale: 1" = 116'

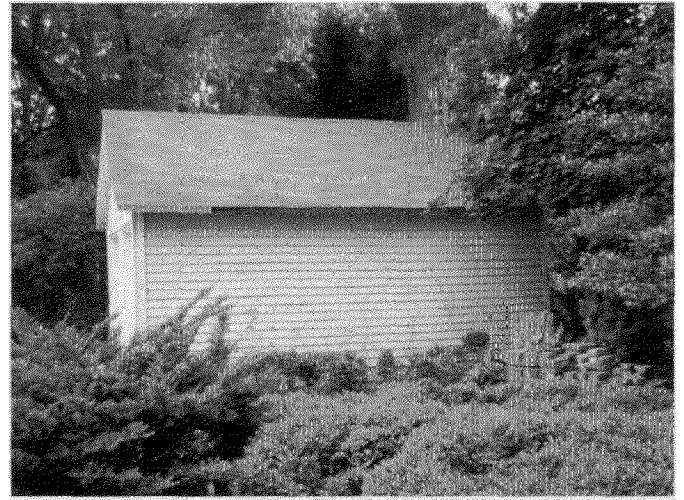
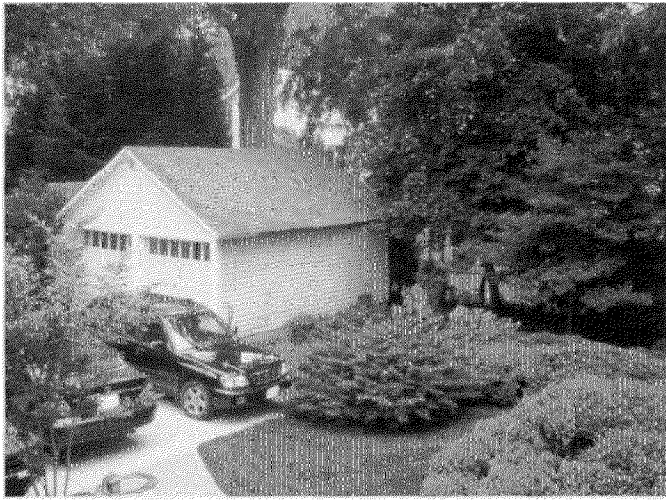


MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue - Silver Spring, Maryland 20910-3760

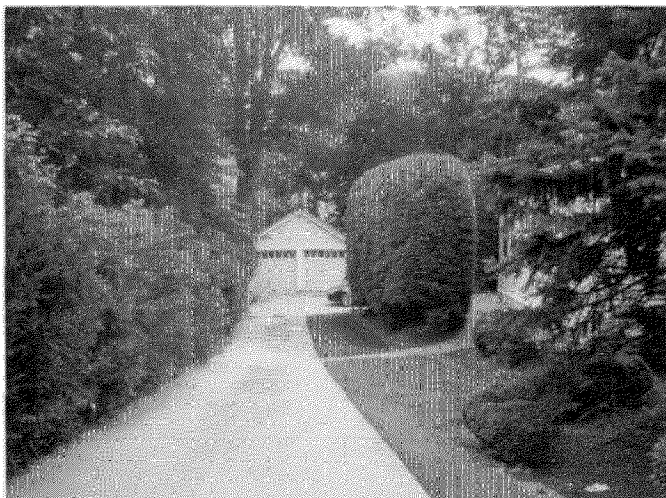
COHEN GARAGE 10205 CONNECTICUT AVE



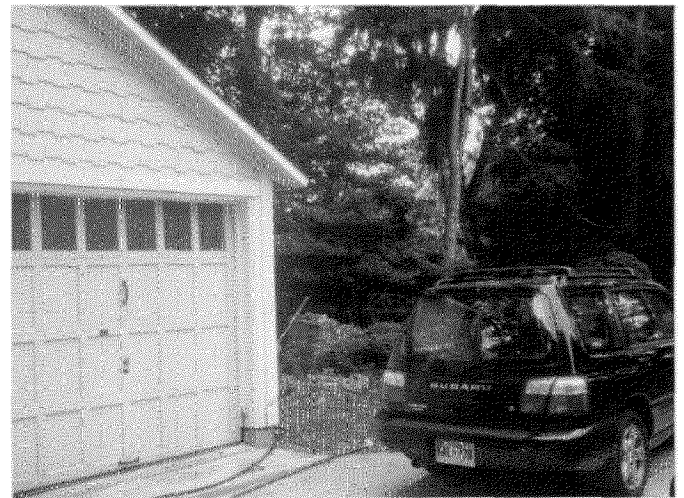
FRONT



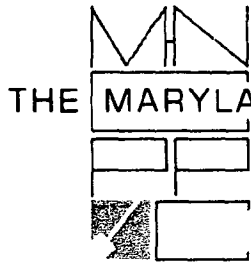
SOUTH SIDE



CONNECTICUT AVE



31/06-02R 10205 Connecticut Ave
(Kensington Historic District)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 12/19/02

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

HPC# 31/06-02R DPS# 292602

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: STEVEN & COLLEEN COHEN

Address: 10205 CONNECTICUT AVE KENSINGTON

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: STEVEN COHEN
Daytime Phone No.: 571 218 3294
202 528 4986 (CELL)
Tax Account No.: # 470600
Name of Property Owner: STEVEN & COLLEEN COHEN Daytime Phone No.: 571 218 3294
Address: 10205 CONNECTICUT AVE KENSINGTON MD 20895
Street Number City State Zip Code
Contractor: S&T DESIGN / REMODELING INC Phone No.: 301 942 0191
Contractor Registration No.: # 34482
Agent for Owner: RON TUCKER Daytime Phone No.: 301 942 0191

LOCATION OF BUILDING/PREMISE

House Number: 10205 Street: CONNECTICUT AVE
Town/City: KENSINGTON PARK Nearest Cross Street: BALTIMORE ST
Lot: 18R Block: 8 Subdivision: 15
Liber: _____ Folio: _____ Parcel: 13 HP 43

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

11 NOV 2002
Date

Approved: 292602 X
Disapproved: _____ Signature: [Signature] Date: 12/19/02
Application/Permit No.: 292602 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

AMERICAN FOUR SQUARE - WOOD SIDING, CENTER CHIMNEY

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ATTACHED SCREENED PORCH W/ OPEN SIDE DECK

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10205 Connecticut Ave., Kensington **Meeting Date:** 12/18/02
Resource: Outstanding Resource **Report Date:** 12/11/02
 Kensington Historic District
Review: HAWP **Public Notice:** 12/04/02
Case Number: 31/06-02R **Tax Credit:** None
Applicant: Steven and Colleen Cohen **Staff:** Michele Naru
 (George Myers, Architect)

PROPOSAL: Construction of a new rear deck and porch

RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Outstanding Resource
STYLE: Colonial Revival/Four Square Plan
DATE: 1880-1910

The subject house is a 2-1/2-story frame house clad with imbricated, wood siding on the second story and clapboard on the first story. There have been alterations to the house including the construction of small additions.

PROPOSAL:

The owners wish to expand the existing east (rear) elevation by constructing a one-story screen porch addition (15'2" x 17'5") with an adjacent 13'2" x 16' wood deck. All framing and decorative elements including flooring and balustrades will be constructed of natural, painted or stained wood. The foundation will be a brick-faced, pier foundation.

STAFF DISCUSSION

The house is an Outstanding Resource within the Kensington Historic District and alterations to these resources are reviewed with a strict level of design review.

The proposed demolition and new construction design is in-keeping with the design of the historic structure, and compatible with the historic district. These changes will have no effect on the historic significance of this resource.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior’s Guideline #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



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255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

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301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Tax Account No.: # 470600
Contact Person: STEVEN COHEN
Daytime Phone No.: 571 218 3294
202 528 4986 (CELL)
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Street Number City State Zip Code
Contractor: SFT DESIGN/REMODELING INC Phone No.: 301 942 0191
Contractor Registration No.: # 34482
Agent for Owner: RON TUCKER Daytime Phone No.: 301 942 0191

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

11 NOV 2002
Date

Approved: 292602 For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

3

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**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

Properties Adjacent to 10205 Connecticut Ave,
Kensington

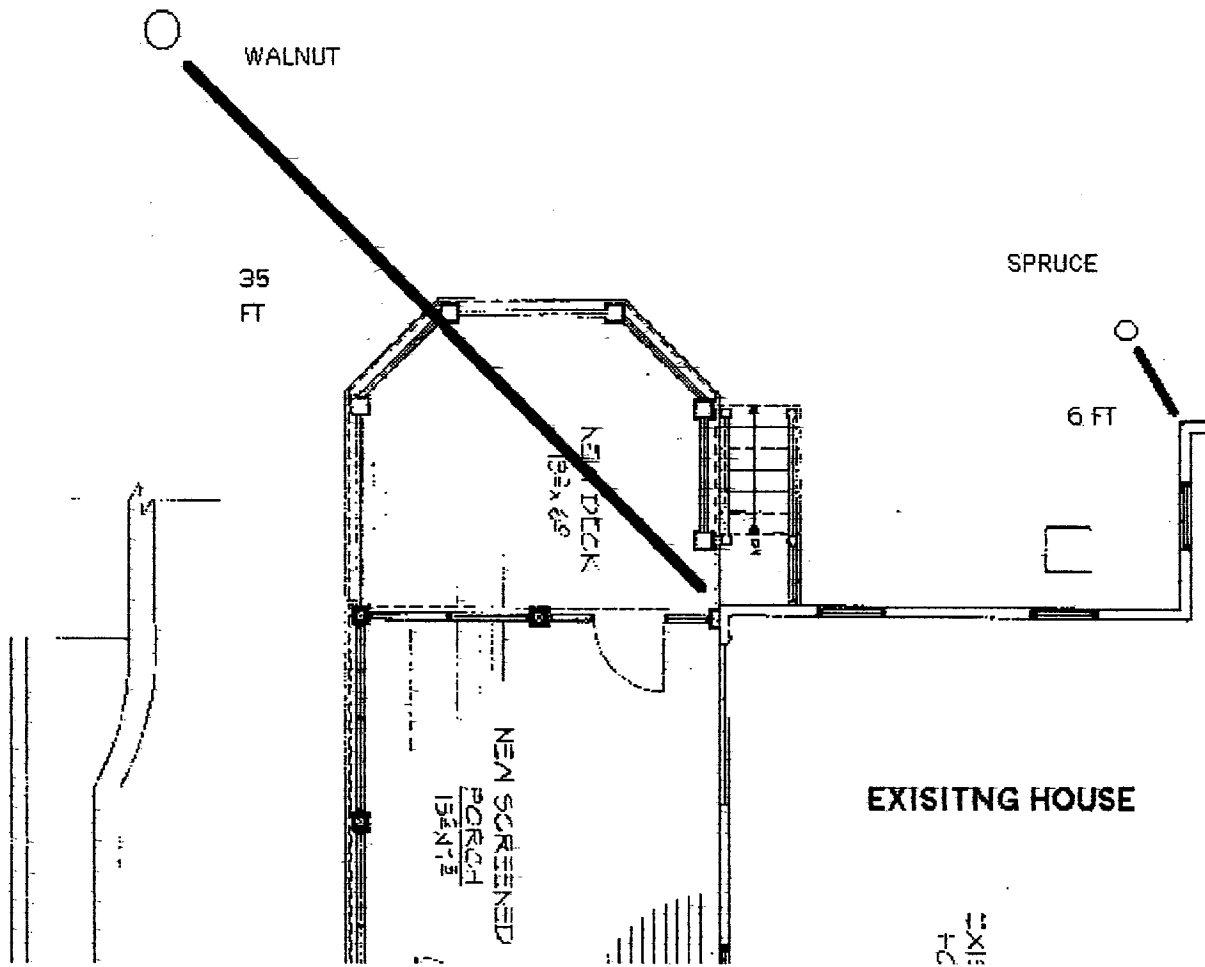
South 3819 Calvert Place, Hammond Residence
North 10209 Connecticut Ave, Smith Residence
West 10210 Carroll Place, Bodkiss Residence
West 10212 Carroll Place, Lawson Residence

Properties Across Street from 10205 Connecticut Ave

South Warner Memorial Church, Parking
North Warner Memorial Church, Vacant Parcel

PLAN OF HOUSE AND PORCH

TREE SURVEY
10205 CONNECTICUT AVE

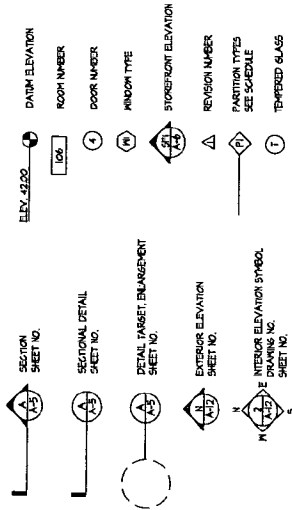


COHEN RESIDENCE ADDITION

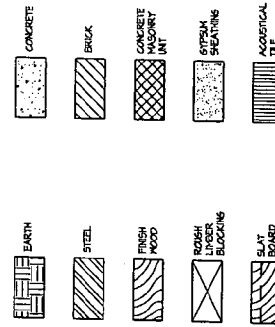
10205 Connecticut Avenue

Kensington, Maryland 20895

GRAPHIC SYMBOLS



MATERIAL SYMBOLS



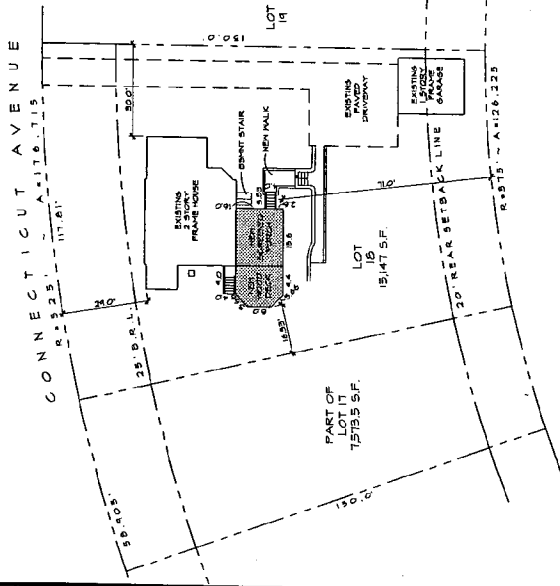
LIST OF DRAWINGS

- CS COVER SHEET
- SP SPECIFICATIONS
- A1.0 EXISTING CONDITIONS / DEMOLITION PLANS
- A1.1 FOUNDATION & FRAMING PLAN / FLOOR PLAN
- A1.2 ROOF PLAN
- A2.0 ELEVATIONS
- A3.0 SECTIONS AND DETAILS

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
CON	CONCRETE	BR	BRICK
CMU	CONCRETE MASONRY UNIT	GM	GYPSONUM SHEATHING
FIN	FINISH WOOD	BLK	BLOCKING
GL	GLASS	SLT	SLAT BOARD
AC	ACOUSTICAL TILE		
ASPH	ASPHALT		
CLG	CLAY TILE		
CM	COMMON		
CR	CORNER		
DR	DOOR		
FR	FRAMING		
GR	GRASS		
HT	HATCH		
INT	INTERIOR FINISH		
LD	LOADING DOCK		
LN	LANDSCAPE		
LT	LIGHT		
ME	METAL		
ML	MATERIAL		
MR	MATERIAL REVISION		
MT	MATERIAL TYPE		
ND	NOTED		
OR	OPENING		
OV	OVERLAP		
PL	PLASTER		
RF	ROOF		
RM	ROOM		
RT	ROOF TRUSS		
ST	STEEL		
TR	TRUSS		
VR	VERTICAL		
WT	WATER		
WD	WOOD		
WM	WOOD MATERIAL		
WV	WOOD VENEER		
Z	ZONING		

PLAT



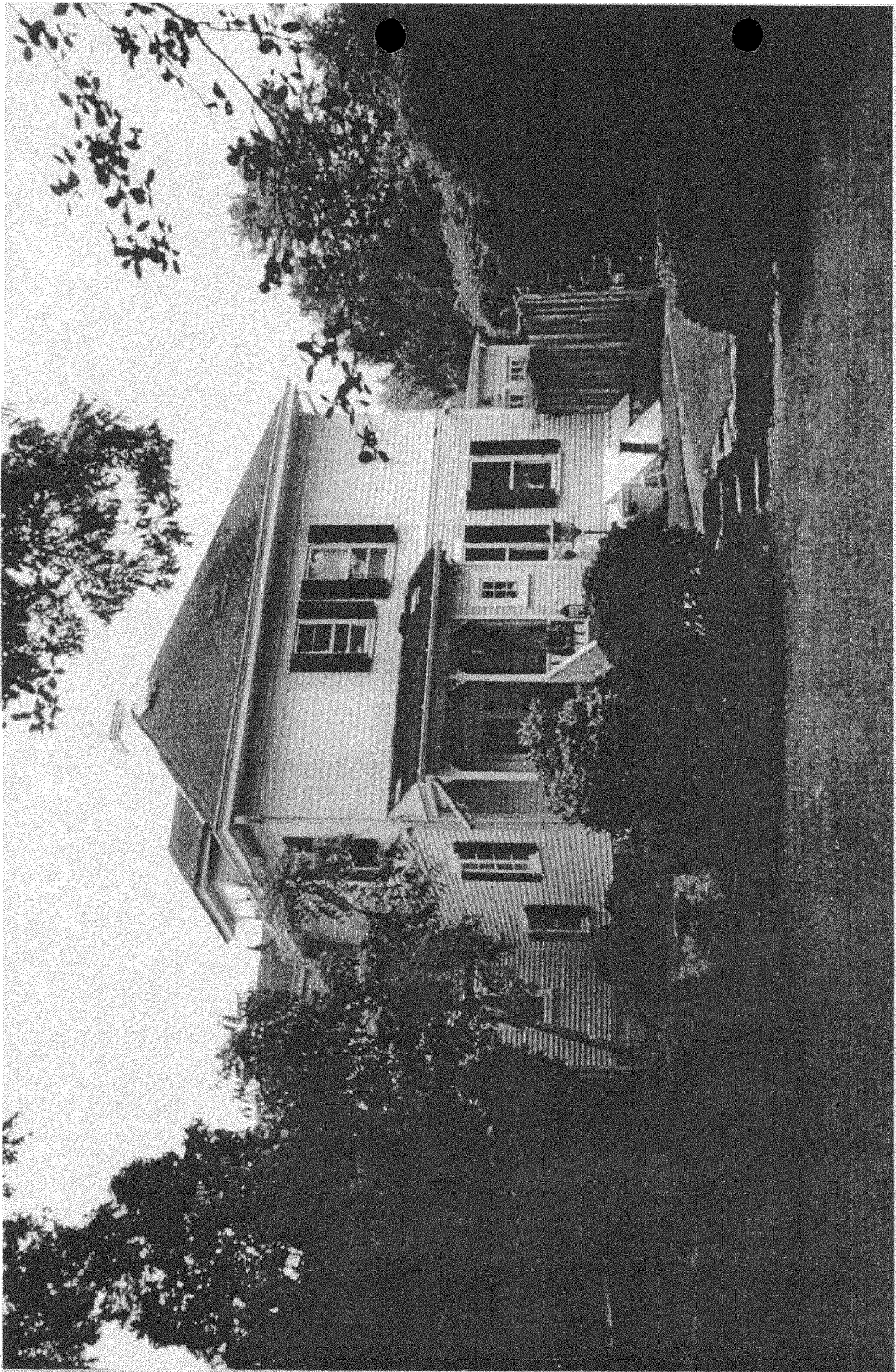
PLAT DATA
 LOT 18, PART OF LOT 11, BLOCK 8, KENSINGTON PARK, HORTGROVE COUNTY, MARYLAND
 ZONED RMD, RECORDED IN PLAT BOOK B, PLAT 4
 NOTE: DRAWING SHOWN IS BASED ON INFORMATION FROM PLAT DATED APRIL 12, 1942, PREPARED BY CAPITAL SURVEYS, INC.

1 PLAT
 CS SCALE: 1" = 20'-0"

GTM ARCHITECTS
 10205 CONNECTICUT AVENUE
 KENSINGTON, MD 20895
 COVER SHEET

COHEN RESIDENCE ADDITION

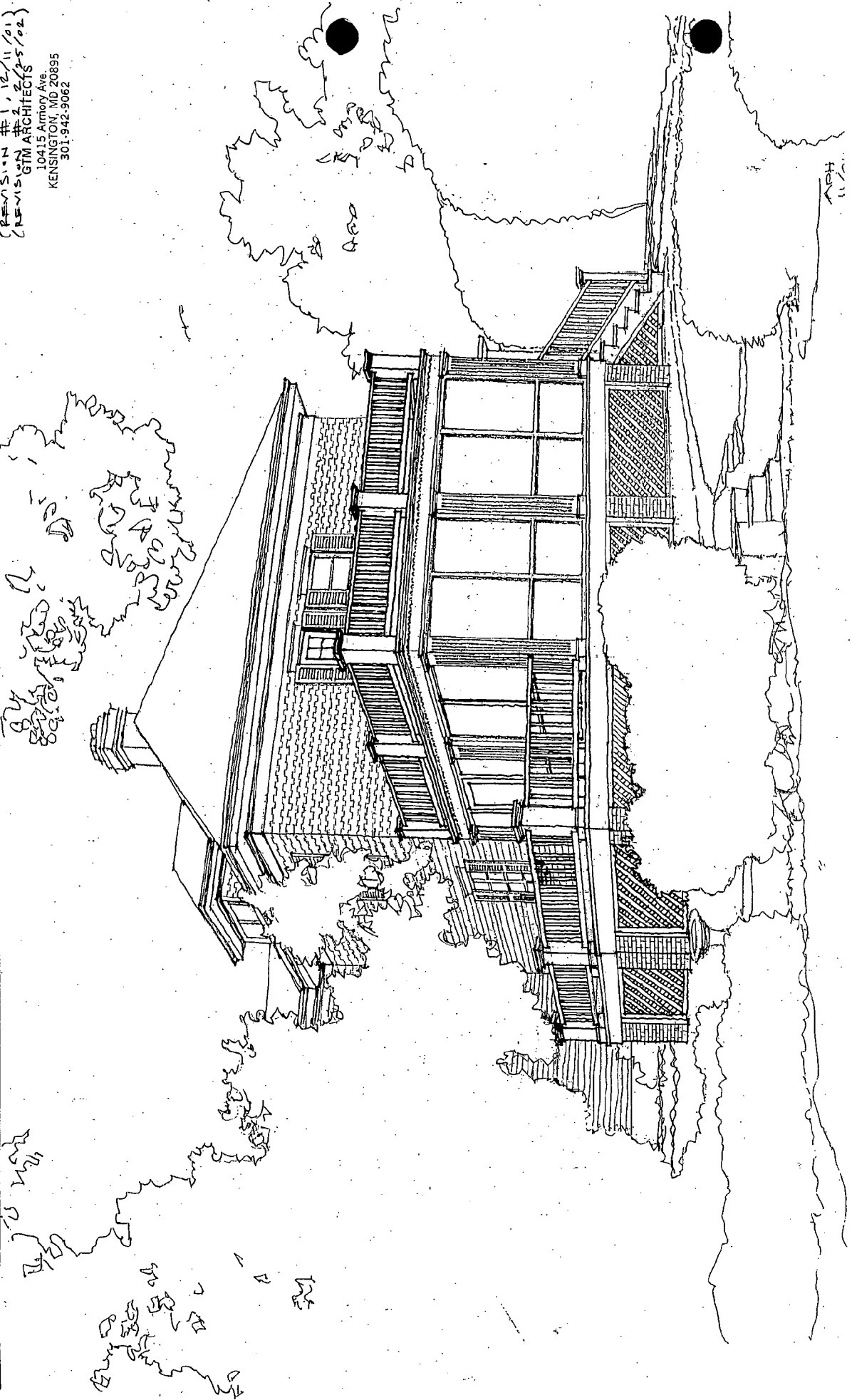
DESIGNED BY: RL
 CHECKED BY: MCH
 DATE: 5/8/02
 PROJECT NO.: 01-0418
 DRAWING NO.: CS

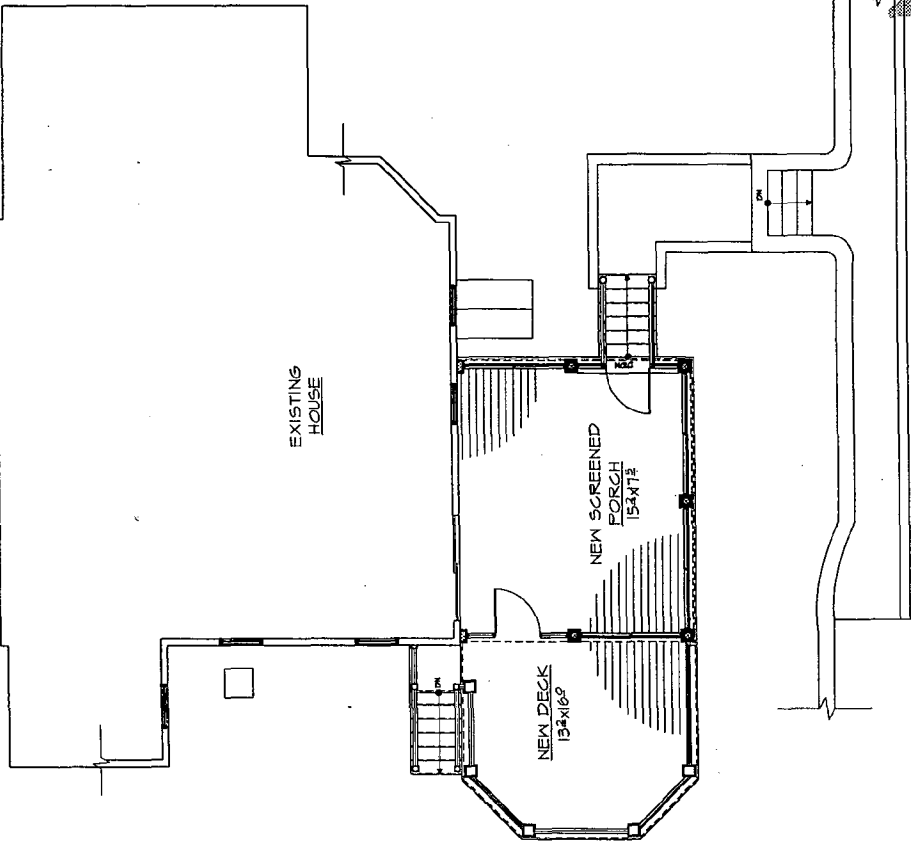


COHEN RESIDENCE, 1920S CONNECTICUT AVE., KENSINGTON, MD

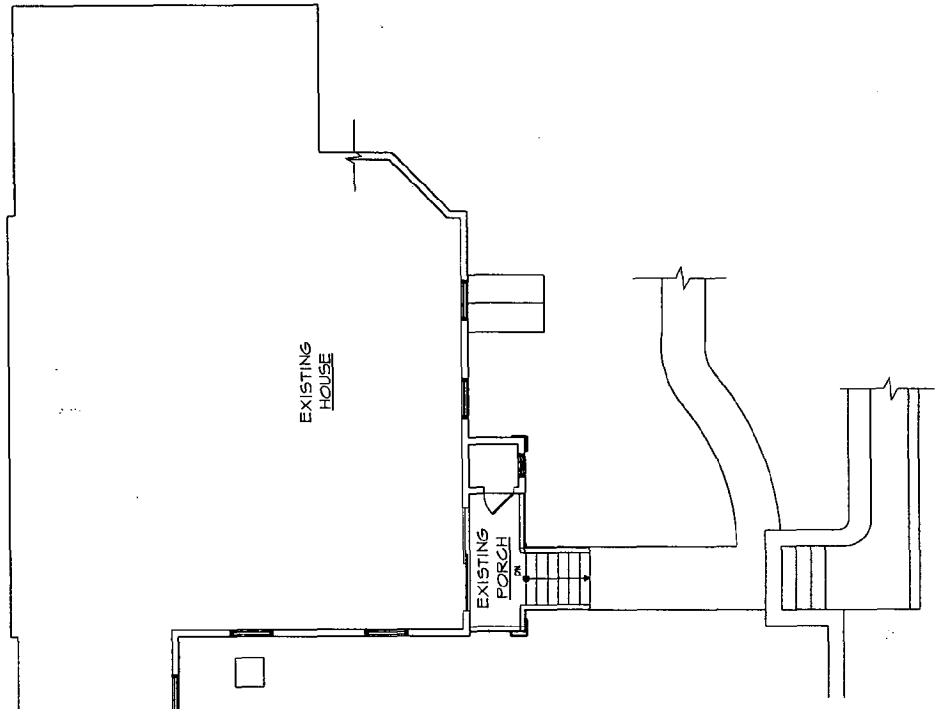
OPTION # 26.

(REVISION # 1, 12/11/01)
(REVISION # 2, 2/5/02)
GTM ARCHITECTS
10415 Armore Ave.
KENSINGTON, MD 20895
301-942-9062



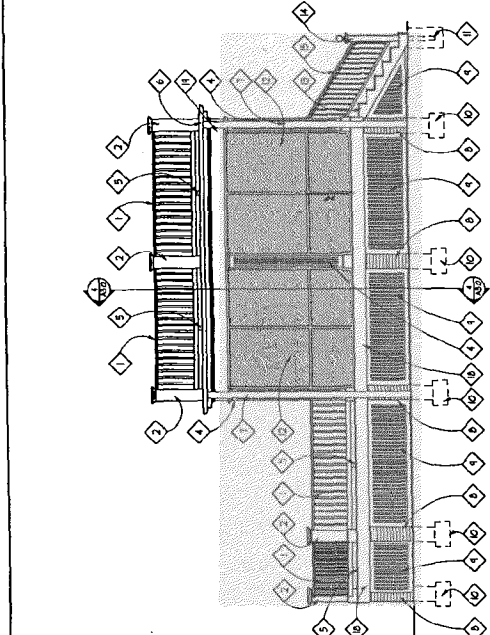


2 FIRST FLOOR PLAN (AFTER)
 SCALE: 1/8" = 1'-0"

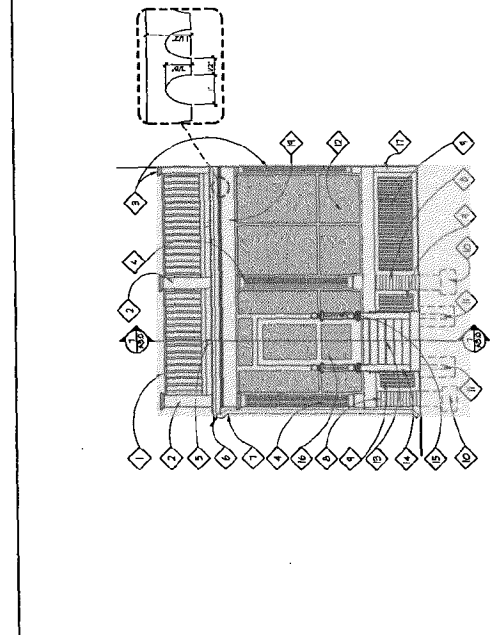


1 FIRST FLOOR PLAN (BEFORE)
 SCALE: 1/8" = 1'-0"

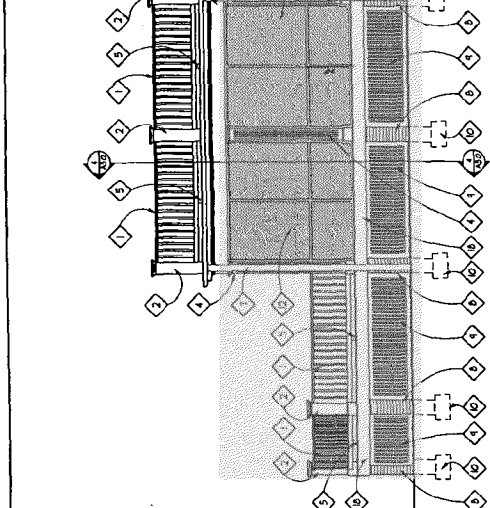
- CONSTRUCTION NOTES**
- 1** **1** SEE ELEVATION 1 FOR WINDOW & DOOR SIZES AND FINISHES. SEE ELEVATION 1 FOR FINISHES AND MATERIALS. SEE ELEVATION 1 FOR MATERIALS. SEE ELEVATION 1 FOR MATERIALS.
 - 2** **2** 3" x 6" POST WRAP, FTD. WITH 1/2" x 8" POST WITHIN.
 - 3** **3** DECOMBATIVE PLASTER, (2) COATINGS ON POST SYSTEM.
 - 4** **4** 3/4" X 1/2" PUNCHED GALVANIZED WIRE, WITH 1/2" x 2" POST WITHIN.
 - 5** **5** FINISH SOLID BLOSSOM, 1/2" HORIZONTAL OF RAIL SECTION, FTD.
 - 6** **6** WRITEN TO MATCH EXISTING CENTER.
 - 7** **7** 3" x 3" METAL DOWNSPUT, TO MATCH EXISTING.
 - 8** **8** BRICK PIER ABOVE BRACKET, CHIP PER BELOW BRACKET.
 - 9** **9** LATTICE, TYPICALLY 1/2" x 1/2" SQUARE, SQUARE MET DIAGONAL.
 - 10** **10** 3/4" x 1/2" x 1/2" DEEP CONC. PIS, W/ (2) # 4 REBARS EACH WAY, 3" FROM BOTTOM.
 - 11** **11** 4 x 4 POST W/ 1/2" DIA. X 2" x 2" JOIST CONCRETE FOOTING.
 - 12** **12** SCREEN PANEL, N 2 x 4 FTD. WOOD FRAME W/ 3/4" PLAT W/ SCREEN TIE, FTD.
 - 13** **13** 3/4" x 2" BROWARD METAL, STAINLESS, 1/4" MESH PERIOD, FTD.
 - 14** **14** 3/4" x 1/2" POST WRAP, FTD. WITH 1/2" x 2" POST WITHIN & DECOMBATIVE RAIL TRS.
 - 15** **15** SEE ELEVATION 1 FOR WINDOW & DOOR SIZES AND FINISHES. SEE ELEVATION 1 FOR FINISHES AND MATERIALS. SEE ELEVATION 1 FOR MATERIALS.
 - 16** **16** 3/4" x 2" BROWARD METAL, STAINLESS, 1/4" MESH PERIOD, FTD.
 - 17** **17** 3/4" x 1/2" POST WRAP, FTD. WITH 1/2" x 2" POST WITHIN & DECOMBATIVE RAIL TRS.
 - 18** **18** 3/4" x 1/2" POST WRAP, FTD. WITH 1/2" x 2" POST WITHIN & DECOMBATIVE RAIL TRS.
 - 19** **19** 3/4" x 1/2" POST WRAP, FTD. WITH 1/2" x 2" POST WITHIN & DECOMBATIVE RAIL TRS.
 - 20** **20** 3/4" x 1/2" POST WRAP, FTD. WITH 1/2" x 2" POST WITHIN & DECOMBATIVE RAIL TRS.



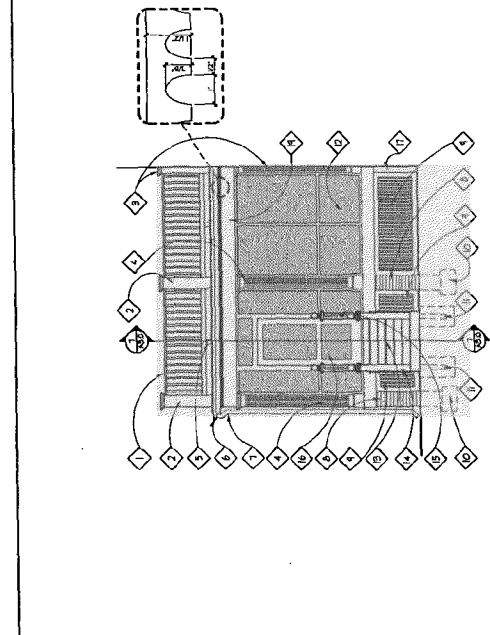
1 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

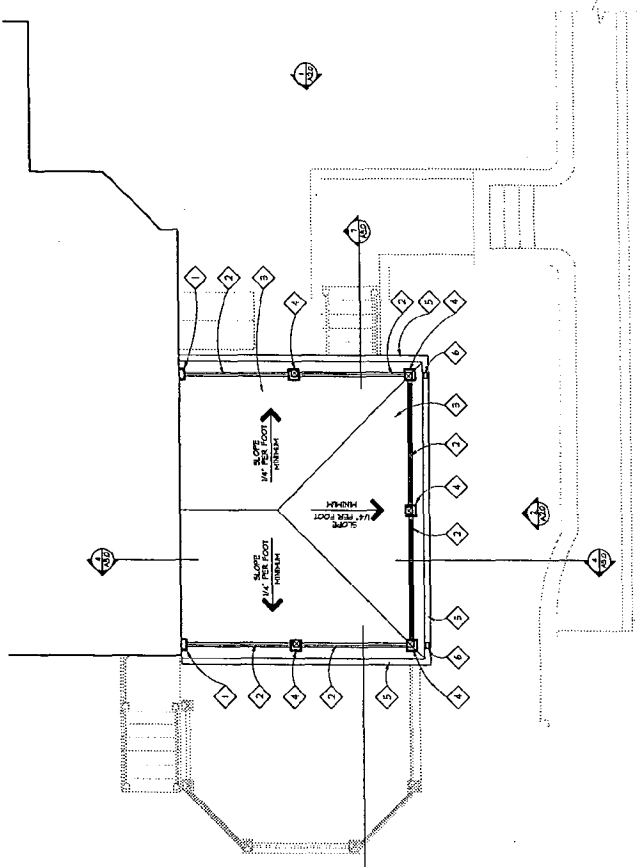


4 REAR ELEVATION
SCALE: 1/4" = 1'-0"

(11)

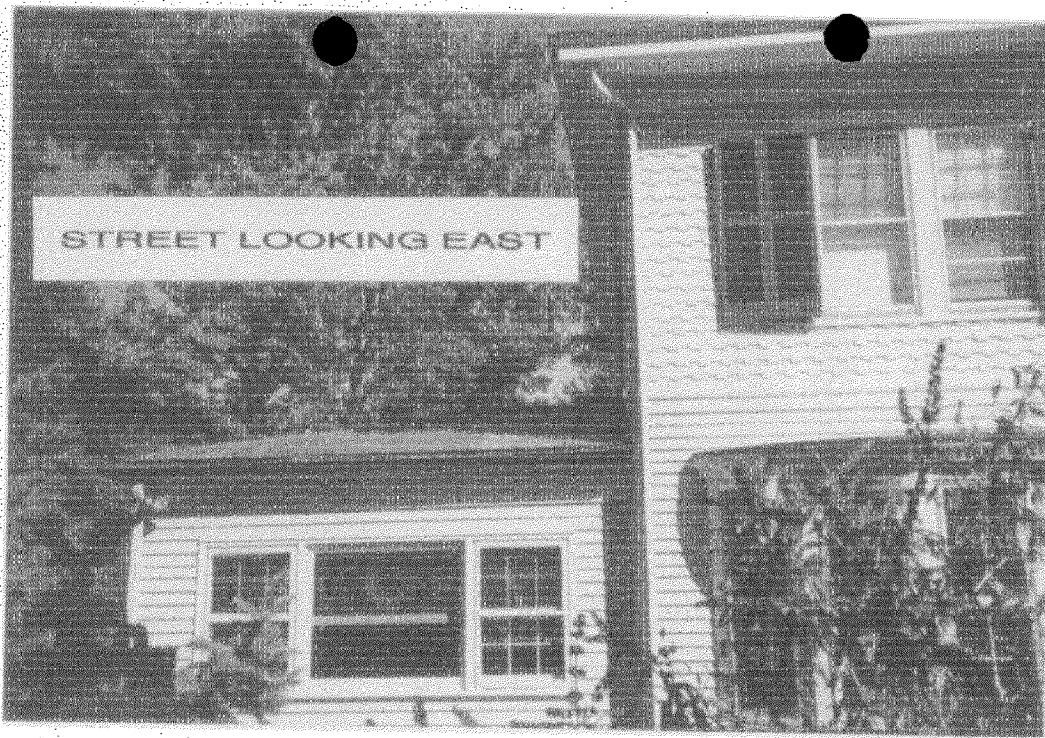
CONSTRUCTION NOTES

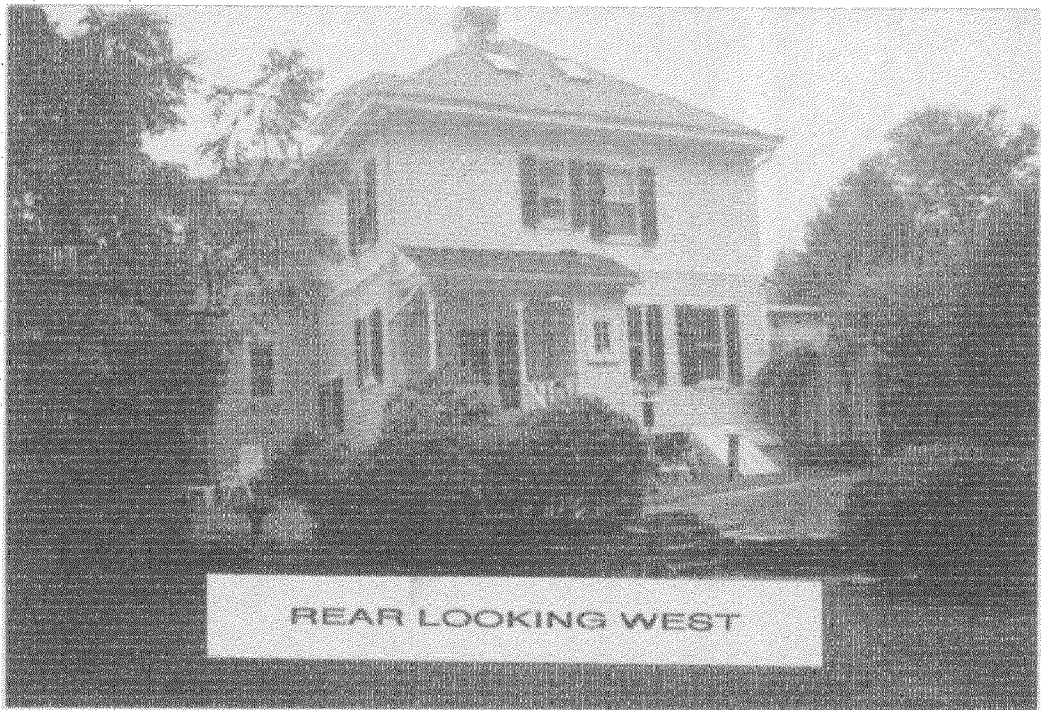
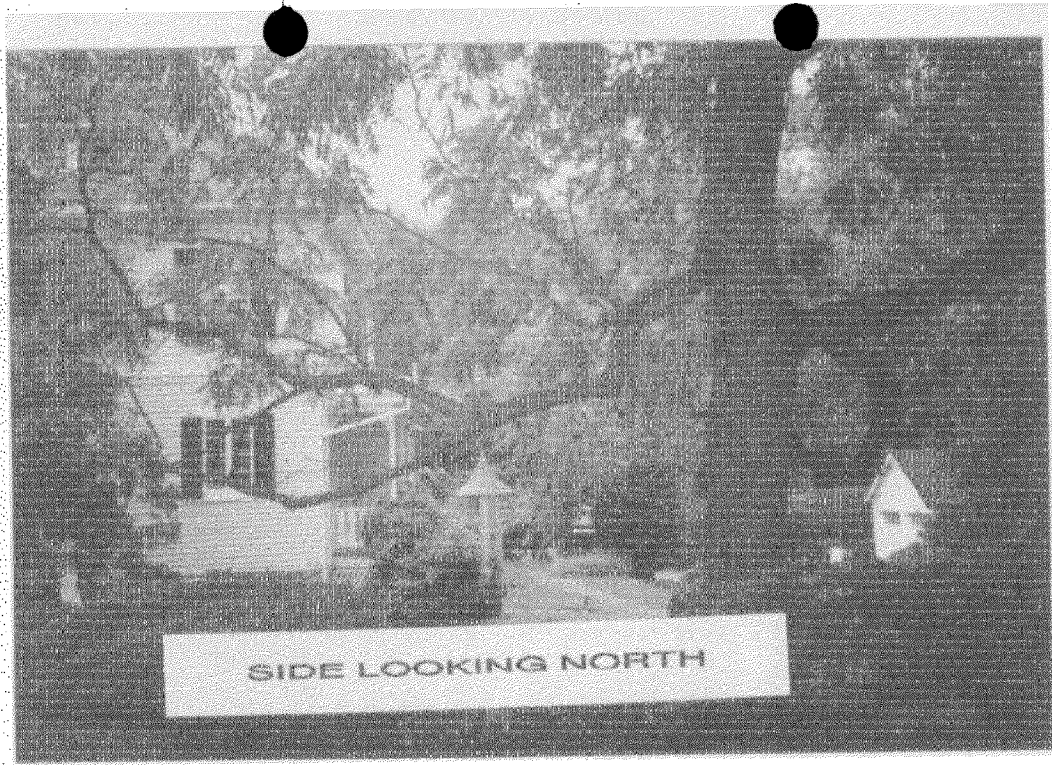
- 1. RECONSTRUCT PLASTER 1/2" OF GYPHUM OR MORE SYSTEM.
- 2. USE 1/2" GYPHUM OVER 1/2" PLASTER.
- 3. BRIDGE MEMBRANE ROOFING ON 5/8" PLYWOOD ON 2" X 4 SLEEPERS.
- 4. 2" X 4 SLEEPERS ON 2" X 4 BRACKETS & BOLTED TO 2" X 4 JOISTS.
- 5. 1/2" GYPHUM BRACKETS & EVERY 8" O.C.
- 6. 2" X 4 IS POST HANG WITH 1" X 6 POST PATER.
- 7. MATCH TO EXISTING.
- 8. 5" X 8" DOWNRODS TO MATCH EXISTING.



1 ROOF PLAN
 A12 SCALE: 1/4"=1'-0"

12





COHEN RESIDENCE ADDITION

102205 Connecticut Avenue

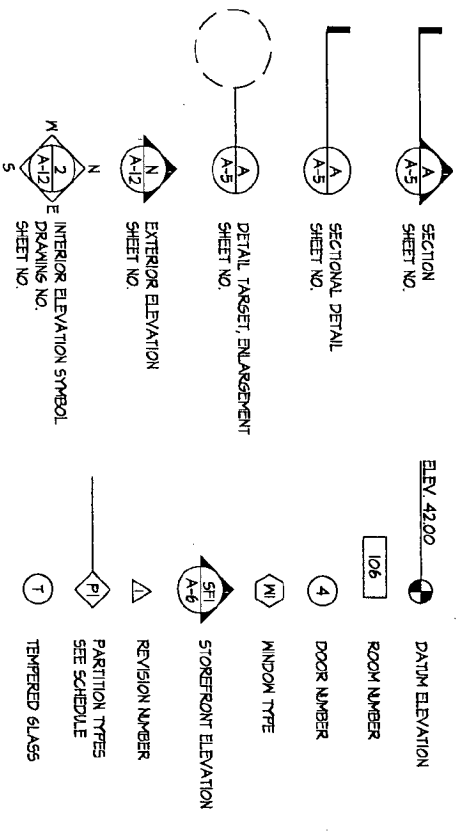
Kensington, Maryland 20895

APPROVED
 Montgomery County
 Historic Preservation Commission
 12/19/02

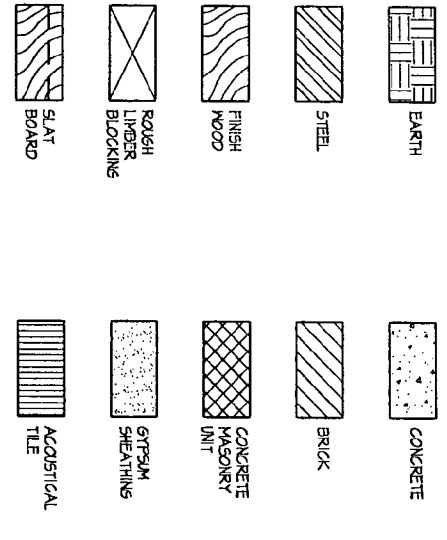
GTM
 ARCHITECTS
 1049 ASHCREST AVENUE
 KENSINGTON, MD 20895
 (301)443-4062
 (301)443-9925 FAX

102205 CONNECTICUT AVENUE
 KENSINGTON, MD 20895
 COVER SHEET

GRAPHIC SYMBOLS



MATERIAL SYMBOLS



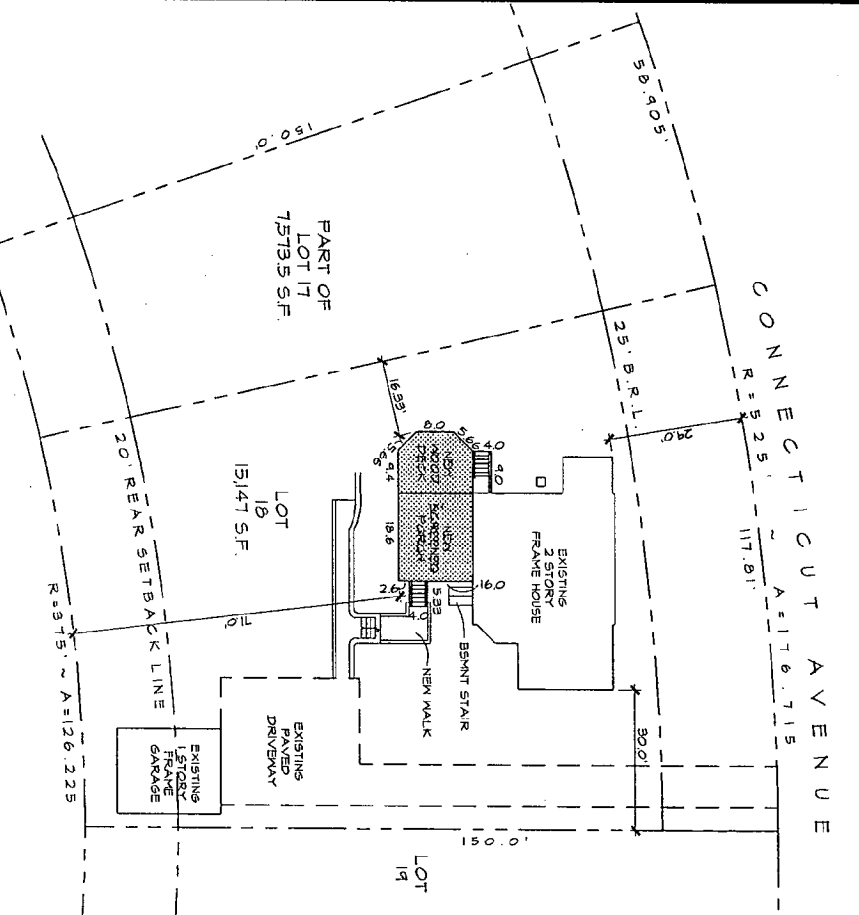
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- A3.0 SECTIONS AND DETAILS

ABBREVIATIONS

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PLAT



PLAT DATA

LOT 18, PART OF LOT 17, BLOCK 8, KENSINGTON PARK, MONTGOMERY COUNTY, MARYLAND
 ZONED R-60, RECORDED IN PLAT BOOK 19, PLAT 4
 NOTE: DRAWING SHOWN IS BASED ON INFORMATION FROM PLAT DATED JUNE 12, 1982, PREPARED BY CAPITOL SURVEYS, INC.

1 PLAT
 CS SCALE: 1" = 20'-0"

COHEN RESIDENCE ADDITION

REVISIONS:	
SEAL:	
DRAWN BY:	RL
CHECKED BY:	MDH
SCALE:	AS NOTED
DATE:	5/8/02
PROJECT NO.:	01.0415
DRAWING NO.:	CS

SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION

The purpose of the following specifications is to establish the level of quality required for both materials and workmanship. These notes are intended as a general guide, specific and additional requirements are indicated on the drawings. The contractor should also note that not all of the items mentioned below may apply to this project.

GENERAL REQUIREMENTS

1. All work shall conform to the applicable sections of the Montgomery County code for single family construction and all applicable building codes.
2. The General Contractor shall provide and designate trees and shrubs for removal as required. Protect all landscaping beyond the areas of construction as required.
3. Electrical contractor shall review the drawings and existing service to determine if an additional panel is required. Additional panel locations to the existing service to be approved by the Owner and Architect prior to installation.
4. Mechanical contractor shall design and install a new system capable of servicing the new spaces. Unit location and ductwork to be approved by Owner and Architect prior to installation.
5. The General Contractor shall coordinate phasing and time limits for new construction with the Owner as to establish an acceptable payment schedule related to the status of the project.
6. Any permits required for the project shall be obtained by the General Contractor, unless framed otherwise by the Architect. The permit shall be obtained by the General Contractor, unless framed otherwise by the Architect. The Owner is not responsible for any issues of residential construction process. The Owner is not responsible for any issues of residential construction process. The Owner is not responsible for any issues of residential construction process.
7. The General Contractor shall store materials and equipment in a safe and suitable place during the construction process. The Owner is not responsible for any issues of residential construction process.
8. All debris shall be periodically removed from the site so as not to create a physical or visual hazard to the Owner.
9. The General Contractor shall be licensed in Montgomery County, Maryland and shall guarantee the project labor and materials for a period of one year after the Final Lien is completed by the Architect and Owner, on per centum base.
10. The General Contractor shall provide competent daily supervision for the project as related to the specific areas required by the code.
11. The General Contractor shall carry Workers Compensation insurance for every person employed by him on the premises and shall maintain such insurance in full force during the entire term of this contract.
12. The General Contractor shall carry Comprehensive General and Auto Liability liability insurance in the amount of \$50,000 minimum. These requirements can be amended by the Owner if specified on the contract.
13. All drawings, specifications, and copies furnished by the Architect are the documents for the construction of the project only and shall not be used in any other circumstance.
14. The General Contractor shall carefully study the contract documents and report to the Architect any error, omission or inconsistency in any drawings prior to the commencement of the work.
15. The General Contractor shall provide and pay for all labor, materials, equipment, tools, machinery and other facilities and services necessary for the proper execution and completion of the work, and shall guarantee no mechanical items against the project of completion.
16. The Contractor is stated in the agreement and is the total amount payable by the Owner to the General Contractor for the performance of the work under the contract documents. A Change Order is a revision to the contract. The Change Order must be signed by the Owner, which designates the architect, architect or architect in consultation with the Contractor. The Change Order must also designate the original contractor as well.
17. At least seven days before the date of each progress payment established by the agreement, the General Contractor shall submit to the Architect and Owner an itemized application designating which portion of the work has been completed.

DEMOLITION NOTES

1. Every care shall be taken during demolition to protect the house by means of temporary supports and bracing as necessary to prevent any structural failure during removal and replacement of existing structural members.
2. Temporary walls and dirt barriers shall be installed as necessary to prevent demolition of dirt and dust the portions of the house that are not part of the work.
3. Conduct all demolition operations in accordance with applicable codes and ordinances.
4. Coordinate demolition with work of subcontractors.
5. Maintain the existing structure in a neat, safe condition at all times.

GENERAL STRUCTURAL NOTES

1. Work shall be done in accordance with the International One and Two Family Dwelling Code, 2000 Edition, and applicable local supplements.
2. The design gravity load shall be as follows:
Roof Load (Snow) 50 LL + 15 DL + 45 PSF
Living Spaces (1st Floor) 40 LL + 15 DL + 55 PSF
Sleeping Spaces (2nd Floor) 30 LL + 15 DL + 45 PSF
Exterior Decks 60 LL + 15 DL + 75 PSF
Live Load Deflection Limitation for Floors shall be L/360
Live Load Deflection Limitation for Rafters shall be L/240

FOUNDATIONS

1. The foundation for the structure has been designed for the assumed bearing pressure of 2000 PSF. This is to be verified by the contractor prior to footings being poured. It is also assumed that there is no major condition present.
2. Basement walls have been designed for an assumed equivalent fluid pressure of 55 PSF.
3. Excavations for spread footings and continuous footings shall be cleaned and hand tamped to a uniform surface.
4. Slabs or grade shall be underlain by a minimum of 4" of granular material having a maximum aggregate size of 1/2 inches and no more than 2% fines. Prior to placing the granular material, the floor subgrade shall be properly compacted, free of standing water, mud, and frozen soil. Before placement of concrete, a vapor barrier shall be placed on top of the granular fill.
5. Bottoms of all exterior footings shall be 2'-6" below finished grade. Footings shall project a minimum of 12" into undisturbed existing natural ground having allowable bearing capacity stated. Depth of footings subject to change if soil conditions are other than assumed.

MASONRY

1. Brick shall conform to ASTM C-52. Mortar shall conform to Federal Specifications SS-C-13E-type II. Lay brick only when outside temperature is 45 deg or more and mortar will cure without freezing.
2. Portland Cement and mortar mixtures shall not be used without freezing.
3. Calcium Chloride and admixtures shall not be used without freezing.
4. Bearing steel and wood beams shall be supported on solid masonry piers on isolated. Other structural members (blocks etc.) shall be supported on B' of solid masonry. All beams and lintels shall have minimum horizontal bearing of 4".
5. Anchor bolts: Set anchor bolts or approved anchor strips as required. Bolts for load all plates shall be 1/2" diameter and project 16" into masonry. Set bolts or strips 12" from face of masonry.
6. Masonry walls shall have horizontal and vertical reinforcement at least 16" O.C. vertically.
7. Provide 4" solid masonry on all sides of jobs or beams entering masonry party walls.
8. Brick Veneer:
A. Structure brick veneer with 16 sq. ft. solid masonry on 16" O.C. horizontally and vertically.
B. Provide one set flashing at eaves, base courses, sills, openings, parapets and on rooves on drawings.
C. Provide weep holes at top of eaves and flashings at 24" O.C.

ENERGY CONSERVATION

1. The following provisions for thermal resistance meet or exceed the requirements stipulated by the BOCA Basic Energy Conservation Code.
2. Insulation
Celing (exposed) Styrofoam R-30
Voided Ceiling From Joists with Styrofoam or similar glazing R-13
Floor joists R-19
Floor over unheated spaces (including floor overhangs) R-19
Roofing (all) (including flat roof) R-19
Sill on grade (needed space) R-5
2" perimeter insulation R-5
3. Air Infiltration: Doors Double-glazed
4. Windows: Not exceeding ten (10) SF of each crack.
5. Sliding Glass Doors: Not exceeding ten (10) SF per foot of door area.
6. Sliding Doors: Not exceeding one and one-half (1.5) SF per square foot of door area. Provide 1" fiberglass insulation between panes.
7. Air Conditioning (heating and cooling) heat exchanger, heat pumps, ducts and spaces in crawl spaces and roof cavities shall be approved from seal or similar sealant.
8. Concrete: (a) All concrete construction shall conform to the latest A.C.I. code books.
9. Concrete shall have minimum 5% air aggregates and normal weight coarse aggregates conforming to ASTM C-33 Type I Portland cement conforming to ASTM C-59 and shall have a maximum 28-day compressive strength of 4000 psi for precast concrete units.
10. All poured in place concrete exposed to weather conditions, including the garage floor, shall be air entrained 6% of concrete volume. No calcium chloride or other admixtures shall be used except as approved in writing by the owner.
11. Slabs on grade: Slabs on grade shall be 4" thick, reinforced with 6# G/2' related wire mesh, top mesh 6" in each direction. Slabs shall be laid on a layer of 6" mill polystyrene over a 4" layer of washed gravel. Refer to drawings for location of thermal insulation.
12. Concrete finish: All exposed steps, slabs and slabs shall first have a steel trowel finish and then a very light broom finish.
13. Expansion joints: Non-poured concrete approved expansion joint material shall be cast in place where slabs meet masonry or concrete walls to prevent bonding between the two materials.
14. Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing compound within one hour of the final troweling.
15. Reinforcing steel: Reinforcing steel for the slabs shall be minimum grade 60,000 psi steel conforming to ASTM spec. A615-42. All other reinforcing steel shall conform to ASTM spec. A615-42. Minimum lap to conform to ASTM A-615. Fabric shall be applied in accordance with the latest detailing manual A.C.I. 315.
16. Reinforcement designated as "continuous" shall lap 36 bar diameters at splices unless noted otherwise.
17. Horizontal footing reinforcement shall be continuous and shall have 45 degree bends and extensions, or corner bars of equivalent size lapped 36 bar diameters, at corners and intersections.
18. Footings:
A. Bottom of footings shall extend a minimum of 2'-6" below any surface subject to freezing. Footings shall extend at least 12" into undisturbed soil or set on compacted compressed fill. Depth of footing subject to change if soil conditions are other than assumed. Bearing value of soil is assumed to be 2000 psf with no major condition present. Minimum bearing value of compacted fill shall be certified by a licensed geotechnical engineer.
19. Anchor bolts: Set anchor bolts or approved strips as required. Bolts for wood all plates shall be 1/2" diameter and project 16" into masonry. Set bolts or strips 12" from end of dry plate and 6"-0" max O.C. spacing.

CONCRETE

1. Unless otherwise noted on drawings, all structural wood members shall be #2 Southern Pine or equal, with the following combination of joint stresses:
Extreme fiber stress in bending 1200 psi
Compression parallel to the grain 1000 psi
Compression perpendicular to the grain 566 psi
Modulus of Elasticity 1,800,000 psi
2. Manufactured roof and floor joists (if shown on drawings) must be designed and certified by a licensed engineer and submitted to the Architect and local building department for approval.
3. Roof rafters and/or brusses shall be connected at each bearing point with one pre-drilled 1/4" galvanized nailer with one pre-drilled 1/4" galvanized nailer. Each rafter shall be 18 6x6 minimum thick.
4. Provide double joists under all parallel partitions at joist that support headers, and at borders that support joists. Use joist hangers where applicable.
5. All joists and rafters shall be rigidly braced at intervals not exceeding 8'-0".
6. Double studs at header bearing double joists and rafters at all openings according to steelable table (unless noted otherwise on drawings):
Double 2 x 4 Up to 3'-0"
Double 2 x 6 Up to 4'-0"
Double 2 x 8 Up to 5'-0"
Double 2 x 10 Up to 7'-0"
Double 2 x 12 Up to 8'-0"
All double headers and joists shall be fastened together with a minimum of two rows of 16 d nails 12" on center.
7. Provide blocking, bracing, cross blocks, stiffeners, or rafter joists, or required at joint ends.
8. Floor joists shall have a minimum bearing of 2" on framed walls. All beams shall have minimum bearing of 4" on all supports. Provide moisture protection to and of beams protected the masonry walls.
9. Wood joists studs, and brusses shall not be cut or notched unless authorized by the architect. Drilled nails shall be contained at mid-depth of the member and the hole diameter shall not exceed 1/3 the actual depth of the member. No holes shall be drilled within 1" from the ends or within the middle 1/3 of the span. Provide 4" clear between holes.
10. Existing conditions shall be verified by the contractor. Any existing damaged wood members shall be identified and replaced by the contractor.
11. Contractor shall be responsible for providing necessary bracing and shoring of existing members and walls while altering the structure.
12. Provide 2x4 intermediate blocking at all bearing and non-bearing partitions.
13. All plywood shall be APA spec rated. Use exterior grade plywood wherever edge of frame will be exposed to weather. Interior physical exposed to weather during construction shall be Exposure 1 minimum.
14. Siding shall be 3/4" tongue & groove plywood glued and screwed to the floor joists on per APA recommendations.
15. Roof structing shall be 1/2" plywood. Provide 1/4" tips at butt joints of roof sheathing.
16. MCRO-LAM L.V.L. (laminated veneer lumber) beams shall be manufactured by the Trus Joist Corporation or approved equal. Beams shall be installed according to manufacturer's recommendations. When fastening two or more beams together, provide a minimum of two rows of 16d nails 12" on center.
17. All floor joists are to be manufactured by the Trus Joist Corporation or approved equal. Install on per manufacturer's recommendations.

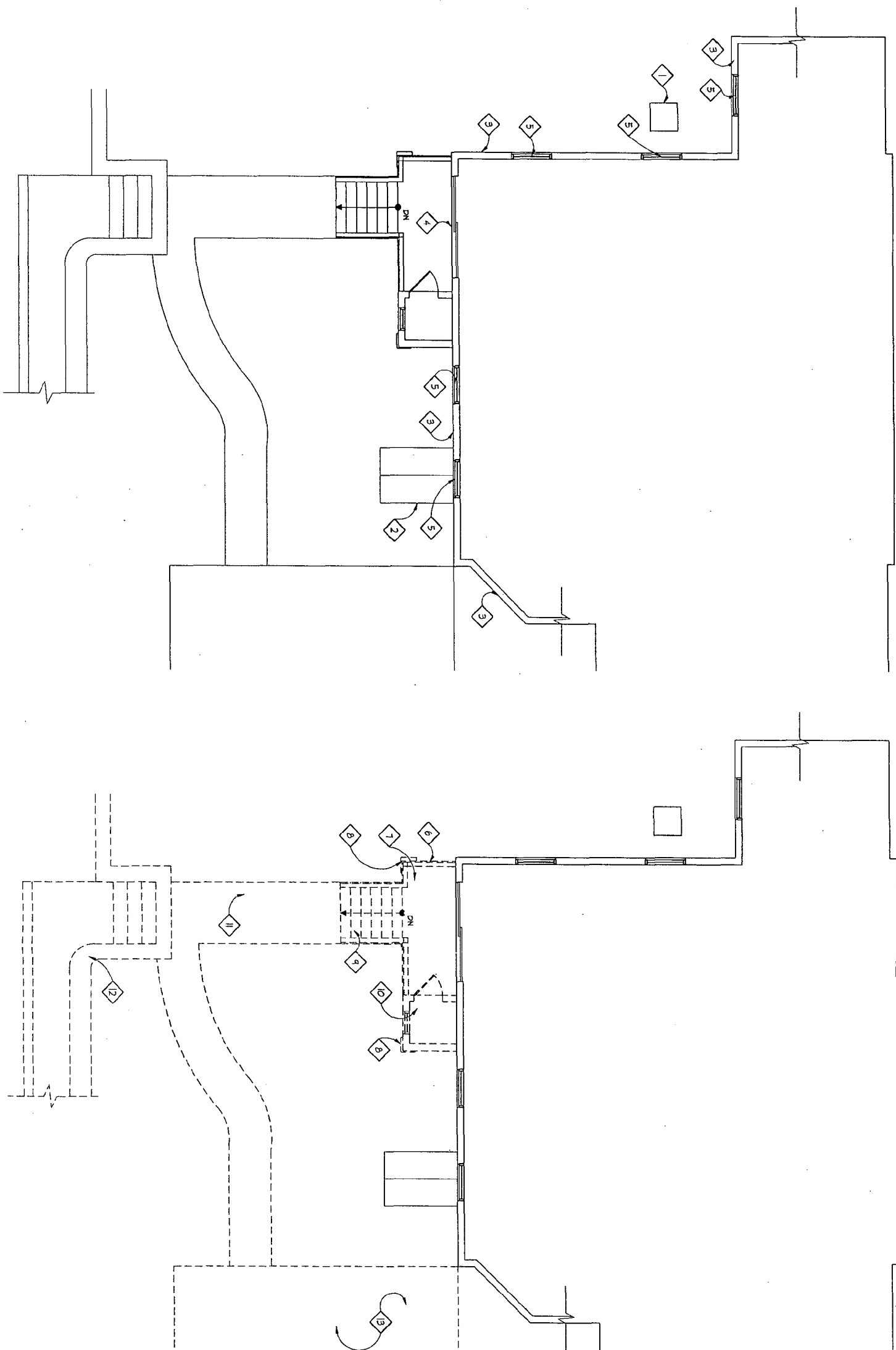
WOOD & CARPENTRY

1. The following wood elements are to be pressure treated with preservative:
A. Sill plates resting on concrete or masonry walls.
B. Sill plates resting on concrete slabs on grade.
C. Ends of joists which either terminate or masonry walls and have less than 12" bearing on top, masonry and masonry.
D. Exterior trim.
E. Exterior trim.
F. Exterior trim.
G. All exterior trim shall be clear pine or redwood.
H. All trim shall be primed on both sides prior to installation.
I. All outside corners shall be mitered. No butt joints will be accepted.
J. Siding.
K. Rafter.
L. Prime siding front & back prior to installation.
M. Coordinate all floor and wall framing with deckwork. Refer to mechanical notes.
1. Structural steel shall conform to ASTM A58. All steel angles, I-beams, channels, etc. are to be shop primed with red lead or red oxide primer or approved equal. Structural steel to be on a base or on a foundation shall be primed with two coats of an asphaltic base paint and protected with a minimum of 2" solid masonry concrete.
2. For all openings or recesses in brick or brick-faced masonry, provide 1/4" thick insulation. Provide one steel angle for each 4" of wall thickness. Provide 1/4" insulation (insulation) according to the schedule below:

Label	Insulation (insulation)	Ins. Bearing	4"
L 3-1/2 x 3-1/2 x 1/4"	Up to 3'-0"	6"	6"
L 3-1/2 x 3-1/2 x 5/16"	4'-1" to 5'-0"	6"	6"
L 4 x 3-1/2 x 5/16"	5'-1" to 6'-0"	6"	6"
L 5 x 3-1/2 x 5/16"	6'-1" to 7'-0"	6"	6"
L 6 x 4 x 3/8"	7'-1" to 8'-0"	6"	6"
1. The contractor shall provide a window sash consisting of a minimum of 3" Schedule 40 or equivalent. PVC pipe (minimum 1" dia) shall be set in the sill plate of the frame (at all new window sashes) and terminated at least 6" above the high side of the roof penetration, to serve as a slip-slab connection. Contractor shall coordinate location of pipe with architect prior to installing the pipe.
2. The contractor shall provide any other measures as required by local codes.
1. All vents shall be vented to one of the following ways (refer to drawings for specific):
A. Gable roof venting and continuous north venting Ridge vent shall be by
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CONSTRUCTION NOTES

- 1 EXISTING TO REMAIN
 - 1 AIR CONDITIONER COMPRESSOR AND PAD
 - 2 BASEMENT ACCESS HATCH
 - 3 EXTERIOR WALL SIDING, TRIM, GUTTERS, DOWNSPOUTS, ETC.
 - 4 DOOR SYSTEM, TRIM, HARDWARE, ETC.
 - 5 WINDOW TRIM, HARDWARE, SCREENS, ETC.
- EXISTING TO BE REMOVED
- 6 CAREFULLY REMOVE & SAVE EXISTING PORCH RAIL AND BRACKETS. STORE PER OWNER'S INSTRUCTIONS
 - 7 DECK STRUCTURE INCLUDING BUT NOT LIMITED TO, ROOFING, POSTS, BEAMS, FLOOR STRUCTURE & FRIERS
 - 8 FOOTINGS TO ACCOMMODATE NEW WORK
 - 9 STEPS INCLUDING BUT NOT LIMITED TO TREADS, RISERS, STRINGERS, BEAM, RAILING SYSTEM
 - 10 STORAGE AREA INCLUDING BUT NOT LIMITED TO WALLS, FLOOR, CEILING, DOOR, WINDOW, ETC.
 - 11 WALKWAY, STACK AND STORE STONE FOR REUSE
 - 12 REBUILD REMAINING WALL AS SHOWN ON DRAWING A.11
 - 13 REPLACE BRICK PATIO. SEE SHEET A.11 FOR ROUGH AREA



1 EXISTING CONDITIONS PLAN
A.10 SCALE: 1/4" = 1'-0"

2 DEMOLITION PLAN
A.10 SCALE: 1/4" = 1'-0"

GTM
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KENSINGTON, MD 20895
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800/442-3924 FAX

10205 CONNECTICUT AVENUE
KENSINGTON, MD 20895
EXISTING CONDITIONS
DEMOLITION PLAN

**COHEN
RESIDENCE
ADDITION**

REVISIONS:

SEAL:

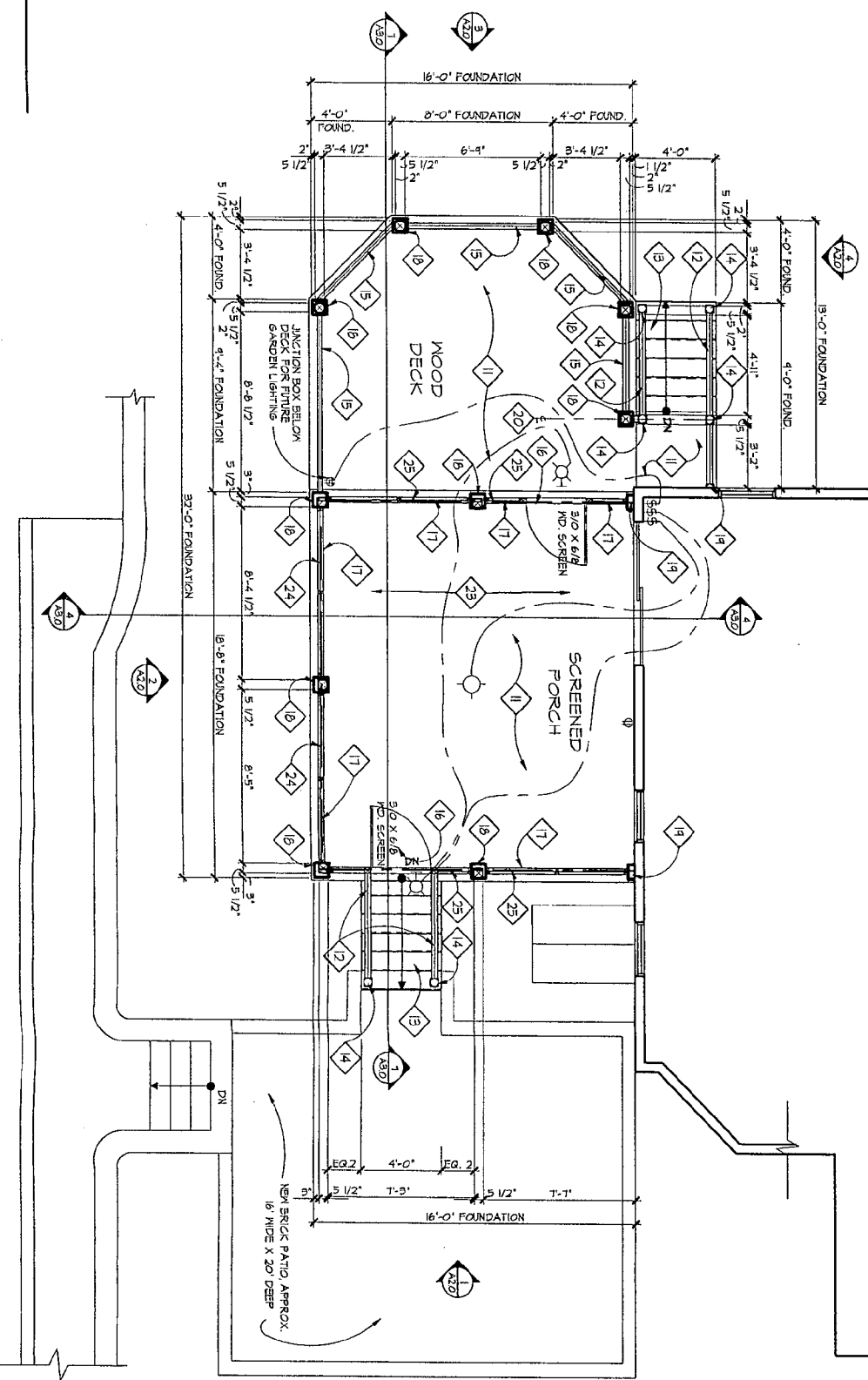
DRAWN BY: RL
CHECKED BY: MDH
SCALE: AS NOTED
DATE: 5/8/02
PROJECT NO.: 01.041B
DRAWING NO.:

APPROVED
Montgomery County
Historic Preservation Commission

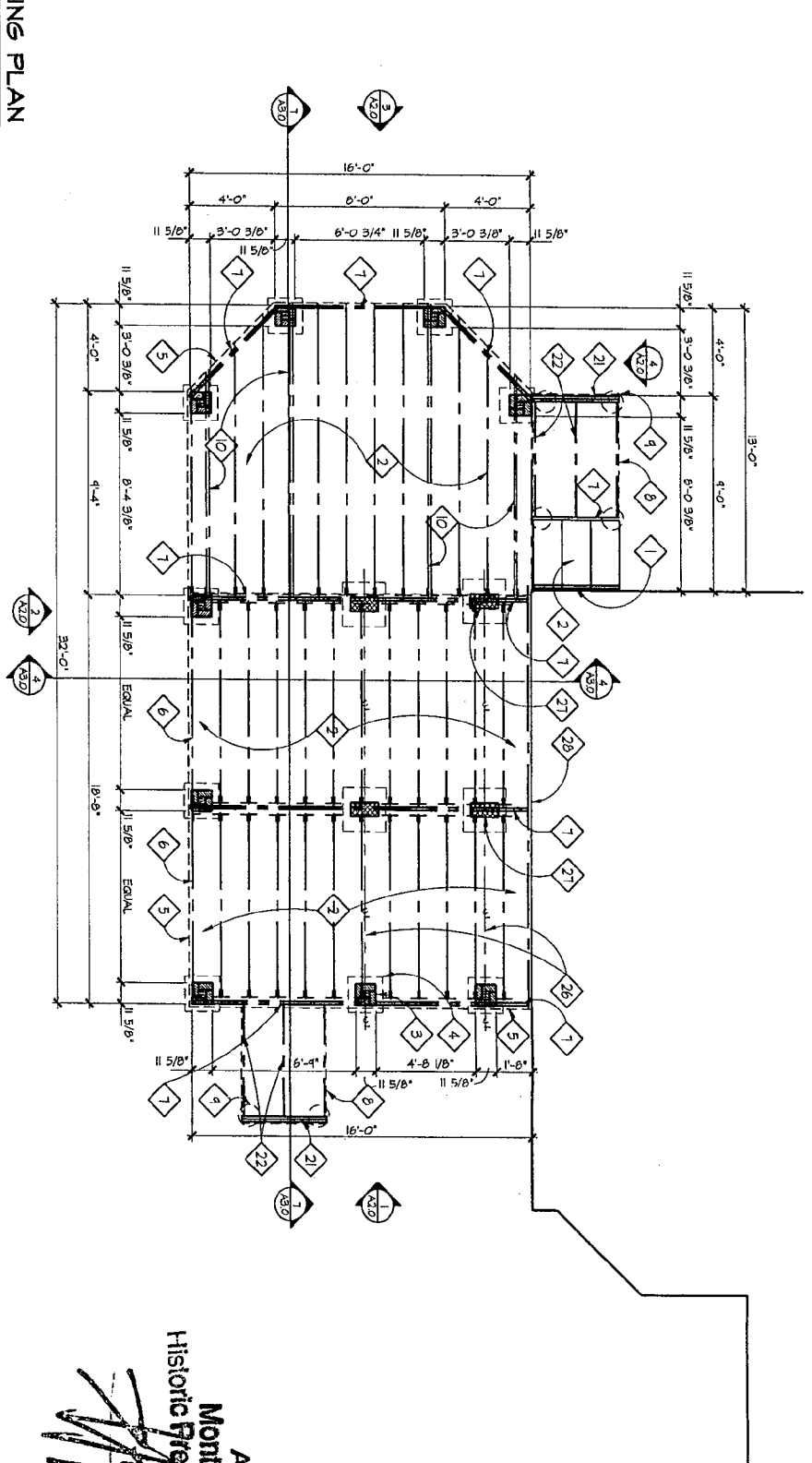
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12/19/02

A.10

2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FOUNDATION & FRAMING PLAN
SCALE: 1/4" = 1'-0"



APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
12/19/02

CONSTRUCTION NOTES

- 1 (2) 2 X 12 P.T. LEDGER W/ 5/8" DIA. LAGS & 1/2" O.C. STAGGERED. PROVIDE SOLID BLOCKING IN EXISTING WALL, IF REQUIRED.
- 2 2 X 12 P.T. JOISTS @ 16" O.C. W/ BRIDG & EVERY 8'-0" O.C. TYP.
- 3 NOMINAL 12" X 12" SOLID BRICK PIER GROUT CAVITY SOLID (TYP) ABOVE GRADE. EXIST. PIER BELOW GRADE, TYP.
- 4 30' X 30' X 12" DEEP CONCR. FTG. W/ (2) #4 REBARS EACH WAY, 3" FROM BOTTOM, TYP.
- 5 LINE OF FLOOR DECK ABOVE
- 6 (2) 2 X 12 P.T. GIRDER
- 7 (2) 2 X 12 P.T. GIRDER
- 8 LINE OF STAIR ABOVE
- 9 12" DIA. X 30" DEEP CONCR. FTG., TYP.
- 10 DOUBLE JOISTS @ EACH POST
- 11 DECKING: 1 X 6 T&G IRONWOOD STAINED
- 12 STAIR RAIL: T.M. PERRY #M-4842 PTD. COMBINED TO RECEIVE BALUSTERS. BOTTOM RAIL: T.M. PERRY #M-4811 PTD.
- 13 5/4 X 12 IRONWOOD TRENDS, STAINED; 1 X WOOD RISERS, PTD.
- 14 5/4 X 12 POST W/RAIP PTD. WITH 4 X 4 POST WITHIN & DECORATIVE BALL TBS.
- 15 RAIL SYSTEM: TOP RAIL: T.M. PERRY #M-4842 PTD. BALUSTERS: T.M. PERRY #M-4275 SQUARE EDGED 1 1/4" X 1 1/4" PTD. @ 5' O.C. BOTTOM RAIL: T.M. PERRY #M-4811 PTD.
- 16 CUSTOM SCREEN DOOR SYSTEM: DOOR: PTD. 1 3/4" THICK, PTD. WOOD WITH 6" WIDE SLIDE, TOP AND CENTER RAIL (ALIGN TOP OF CENTER RAIL WITH SCREEN PANEL, CENTER RAIL) FRAME: 4 X 4 POSTS AND HEADER, PTD. HARDWARE: TBS.
- 17 2 X 4 P.T. WOOD FRAME, PTD. W/ 1X WD. SCREEN TRIM, PTD.
- 18 5/4 X 10 COLUMN W/RAIP WITH 6 X 6 COLUMN WITHIN (PROVIDE CONTINUOUS VERTICAL SOLID BLOCKING @ 6 X 6)
- 19 DECORATIVE PLASTER, 1/2" OF COLUMN OR POST 5'-9" TM
- 20 ALIGN CENTER OF PORCH COLUMNS W/ STAIR COLUMNS
- 21 (2) 2 X 8 P.T. BEAM, TYP.
- 22 2 X 12 P.T. CARRIAGE BD., TYP.
- 23 2 X 10 FLOOR JOISTS @ 16" O.C. ABOVE, TYP.
- 24 (2) 2 X 12 HEADER BEAM ABOVE, TYP.
- 25 (2) 2 X 12 HEADER BEAM ABOVE, TYP.
- 26 ALIGN CENTERLINE OF CHU PIERS WITH CENTERLINES OF BRICK PIERS
- 27 8" X 16" CONCR. PIER W/ #5 3X6'S VERTICAL. GROUT CORES SOLID. PROVIDE 24" X 24" X 12" DEEP CONCRETE FOOTING W/ (2) #4 REBARS EACH WAY & 3" FROM BOTTOM, TYP.
- 28 2 X 12 P.T. LEDGER W/ 5/8" DIA. LAGS & 1/2" O.C. STAGGERED. PROVIDE SOLID BLOCKING IN EXISTING WALL, IF REQUIRED.

GENERAL STRUCTURAL NOTES

1. CENTER ALL PIERS AND COLS WITH CENTER OF CONCR. FOOTINGS (TYP)
2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW GRADE (TYP) OR AS SHOWN ON DRAWINGS
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS
4. PROVIDE SIMPSON H2S OR H3 JUNCTION CONNECTORS AT ALL PARTIERS. PROVIDE 5/16" STRIPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER
5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No. 1 OR 1.4L POST; NO BUILT-UP STUDS ALLOWED EXCEPT AS SPECIFIED ON THE DRAWINGS
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CHU OR STEEL BEAMS
7. PROVIDE SIMPSON POST CAP AND BASE CONN. TYP. AT ALL POST AND BEAM CONNECTIONS
8. CONTRACTOR IS RESPONSIBLE FOR ALL TEMP. SHORNS, SEQRVICE AND METHOD OF CONSTR.
9. REFER TO SPECIFICATIONS SHEET SP FOR SIZES OF UNSPECIFIED HEADERS

GTM ARCHITECTS
1048 ARBOR AVENUE
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(301) 424-4062
(301) 424-3424 FAX

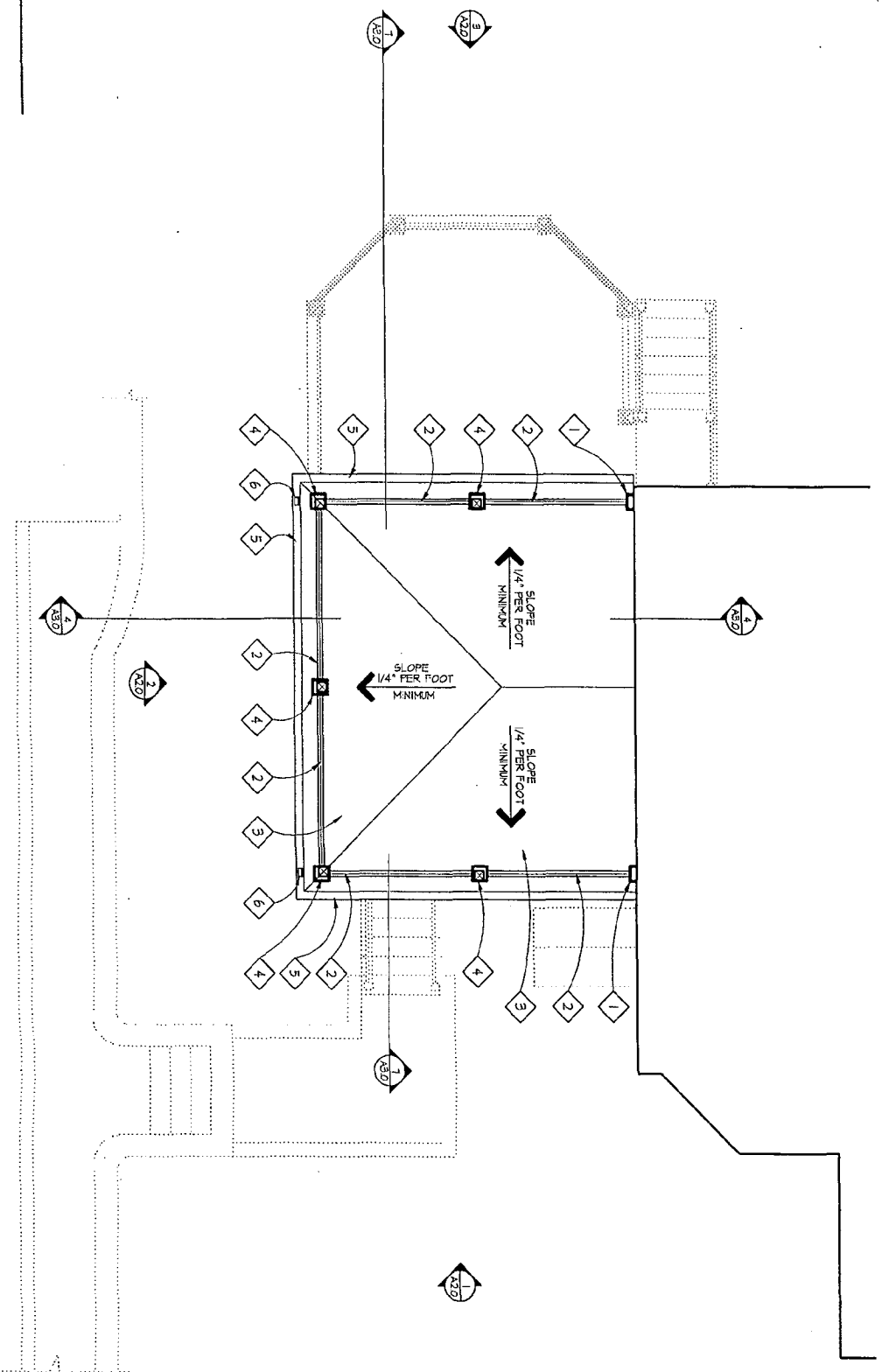
10205 CONNECTICUT AVENUE
KENSINGTON, MD 20895
FOUNDATION & FRAMING PLAN
FLOOR PLAN

COHEN RESIDENCE ADDITION

REVISIONS:
DRAWN BY: RL
CHECKED BY: MDH
SCALE: AS NOTED
DATE: 5/8/02
PROJECT NO.: O1.041B
DRAWING NO.: **A1.1**

CONSTRUCTION NOTES

- 1 DECORATIVE PLASTER, 1/2" OF COLUMN OR POST SYSTEM
- 2 RAIL SYSTEM:
TOP RAIL: TWIPERRY # 40-8840 PTD.
BALLASTERS: 1 1/4" PERRY 704-2375 SQUARE EGGED 1 1/4" X 1 1/4" PTD. @ 5" O/C
BOTTOM RAIL: 1 1/4" PERRY 704-8011 PTD.
- 3 DECK: HERBANE ROOFING ON 5/4" PLYWOOD ON 2" X SLEEPERS
(CUSTOM CUT TO SHAPE)
• 16" O/C ON 5/4" T&G PLYWOOD GLED & SCREENED TO 2" X 10 JOISTS
• 16" O/C W/ BRIDGING @ EVERY 8'-0" O/C
- 4 5/4" X 10 POST W/SP WITH 6" X 6" POST WITHIN
- 5 GUTTER, TO MATCH EXISTING
- 6 3" X 3" DOWNPOUT, TO MATCH EXISTING



1
ROOF PLAN
SCALE: 1/8"=1'-0"

GTM
ARCHITECTS

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TEL: 301-424-9231
FAX: 301-424-9231

10205 CONNECTICUT AVENUE
KENSINGTON, MD 20895
ROOF PLAN

**COHEN
RESIDENCE
ADDITION**

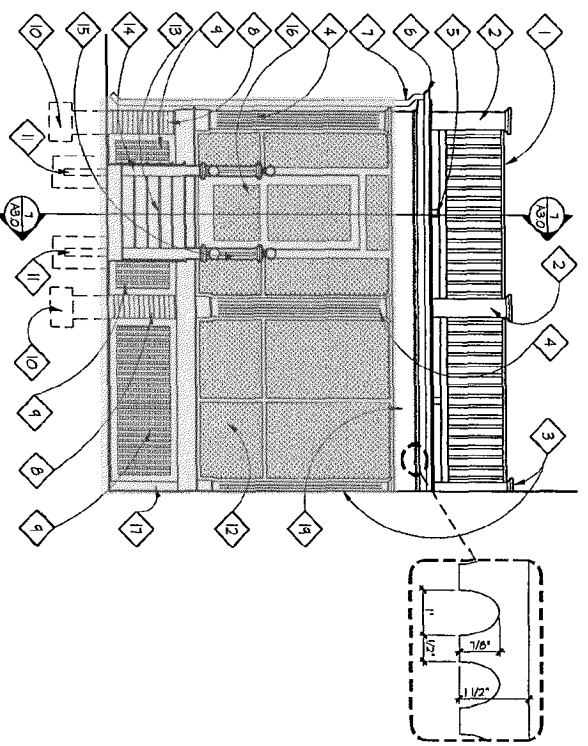
REVISIONS:

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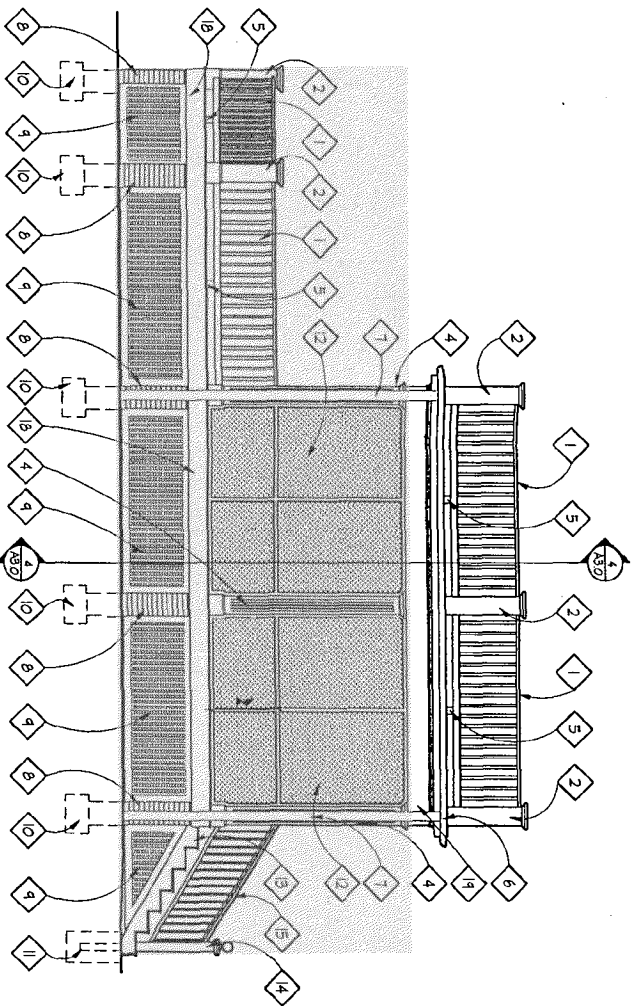
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CHECKED BY: MDH
SCALE: AS NOTED
DATE: 5/18/02
PROJECT NO.: 01.041B
DRAWING NO.:

A12

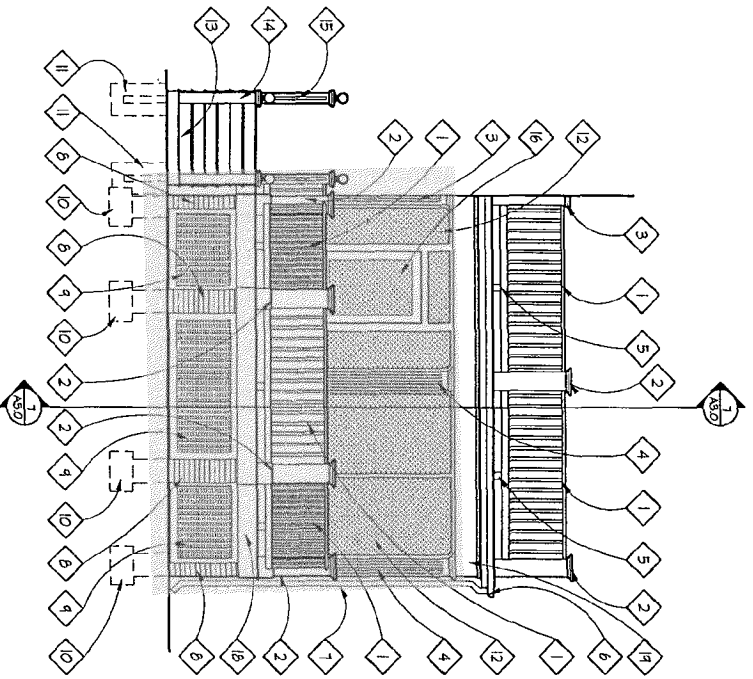
APPROVED
Montgomery County
Historic Preservation Commission
5/12/19/02



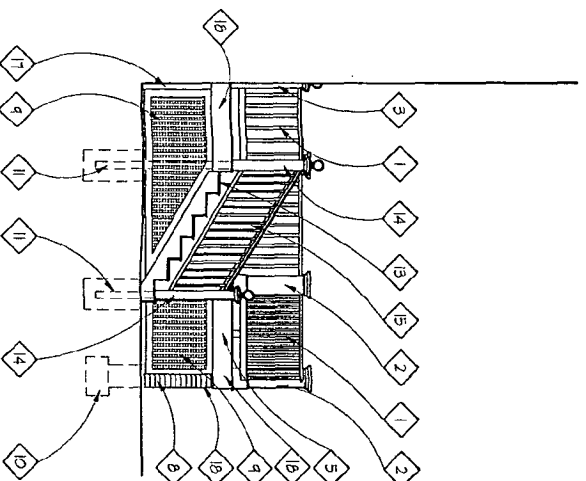
1 LEFT SIDE ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



4 FRONT ELEVATION
A2.0 SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES

- 1 RAIL SYSTEM; 1" X 1/4" PERRY 4 MM-8840 PTD. 1" X 1/4" PERRY 4 MM-8840 SQUARE EDGED 1/16" X 1/16" PTD. 5" O/C BOTTOM RAIL, 1" X 1/4" PERRY 4MM-8840 PTD.
- 2 5/4 X 1/2 POST WRAP; PTD. WITH 6 X 6 POST WITHIN
- 3 DECORATIVE PLASTER 1/2 OF COLUMN OR POST SYSTEM
- 4 5/4 X 1/2 FLUTED COLUMN WRAP; PTD. WITH 6 X 6 POST WITHIN
- 5 PROVIDE SOLID BLOCKING @ MIDSPAN OF RAIL SECTION; PTD.
- 6 GUTTER; TO MATCH EXISTING COPPER
- 7 5" X 3" METAL DOWNSPOUT; TO MATCH EXISTING
- 8 BRICK PIER ABOVE GRADE; C/MU. PIER BELOW GRADE
- 9 LATTICE; TAMPBRAY 4MM-286; PTD.; SQUARE NOT DIAGONAL.
- 10 30" X 30" X 12" DEEP CONC. FTG. W/ (2) # 4 REBAR; EACH WAY, 3" FROM BOTTOM
- 11 4 X 4 POST IN 12" DIA. X 30" DEEP CONCRETE FOOTING
- 12 SCREEN PANEL; IN 2 X 4 PTD. WOOD FRAME W/ 1/4" FLAT HD. SCREEN TRIM; PTD.
- 13 5/4 X 1/2 IRONWOOD TRENDS STAINED; 1" X WOOD RISERS; PTD. 1 X 12 STRINGER; PTD.
- 14 5/4 X 1/2 POST WRAP; PTD. WITH 4 X 4 POST WITHIN & DECORATIVE BALL; TBS.
- 15 STAIR RAIL; 1" X PERRY 4MM-8840 PTD. 1" X 1/4" PERRY 4MM-8840 SQUARE EDGED 5" O/C; PTD. BOTTOM RAIL; 1" X PERRY 4MM-8840; PTD.
- 16 CUSTOM SCREEN DOOR SYSTEM; DOOR; PTD. 1 3/4" THICK. PTD. WOOD WITH 6" WIDE SIDE, TOP AND CENTER RAIL (ALIGN TOP OF CENTER RAIL WITH SCREEN PANEL CENTER RAIL) DOOR STOPS; 1/2" WOOD; PTD. FRAME; 4 X 4 POSTS AND HEADER; PTD. HARDWARE; TBS.
- 17 4 X 4 PT. POST; PTD. ATTACHED TO EXISTING FOUNDATION W/ (3) 5/8" DIA. LAGS
- 18 5/4 X 1/2 FLAT HD. TRIM BAND; PTD.
- 19 5/4 X FLAT HD. TRIM BAND W/ DENTIL MOLDING (SEE ENLARGED DETAIL, THIS SHEET)

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301/462-5924 FAX

10205 CONNECTICUT AVENUE
KENSINGTON, MD 20895
ELEVATIONS

**COHEN
RESIDENCE
ADDITION**

REVISIONS:

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CHECKED BY: MDH
SCALE: AS NOTED
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PROJECT NO.: 01.041B
DRAWING NO.:

A2.0

APPROVED
Montgomery County
Public Works & Planning
Committee
5/12/19/02

CONSTRUCTION NOTES

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ARCHITECTS
10415 ARBOR AVENUE
KENSINGTON, MD 20895
(301)442-4062
(301)442-3928 FAX

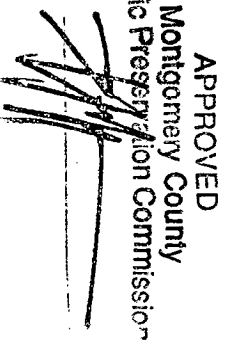
10205 CONNECTICUT AVENUE
KENSINGTON, MD 20895
SECTIONS
DETAILS

**COHEN
RESIDENCE
ADDITION**

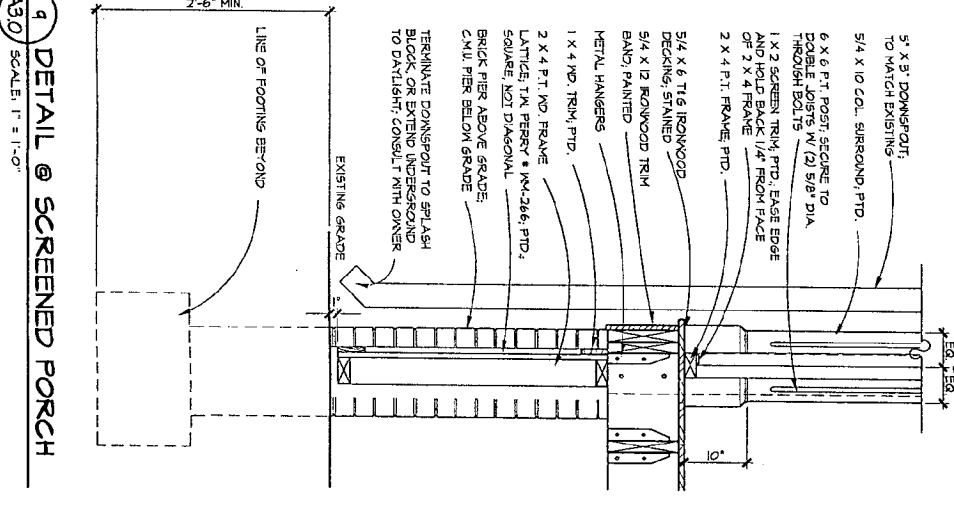
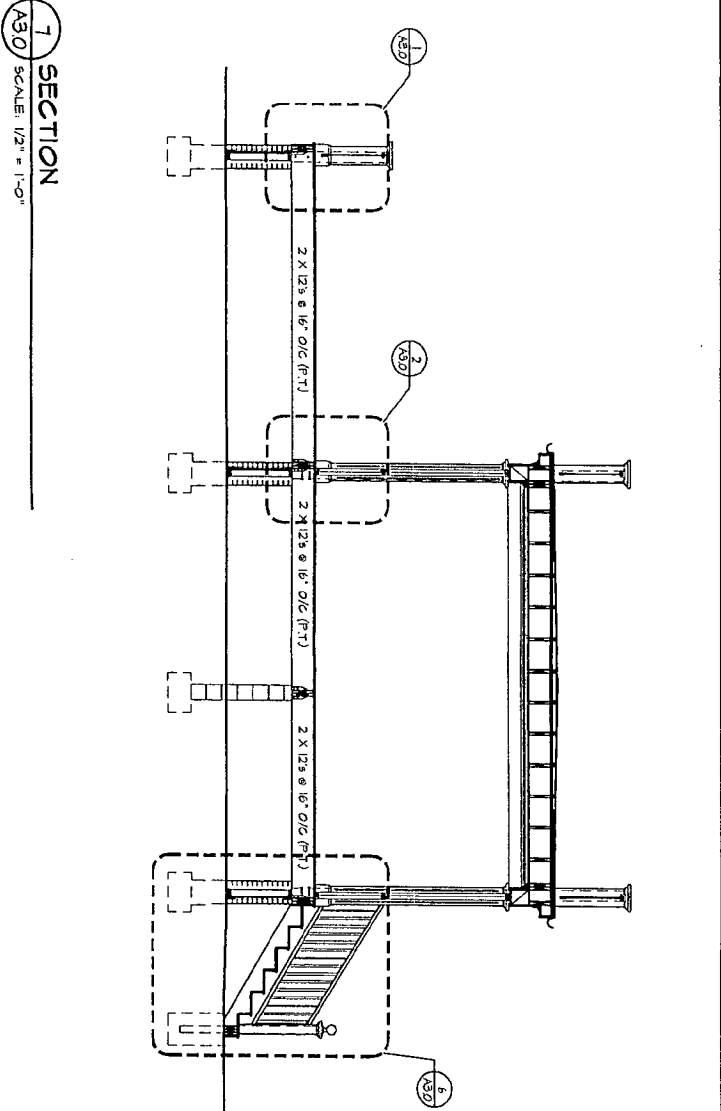
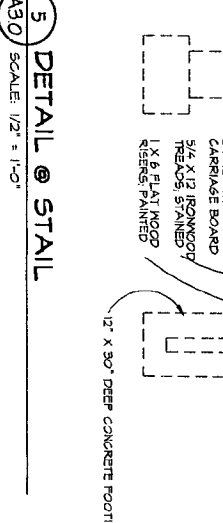
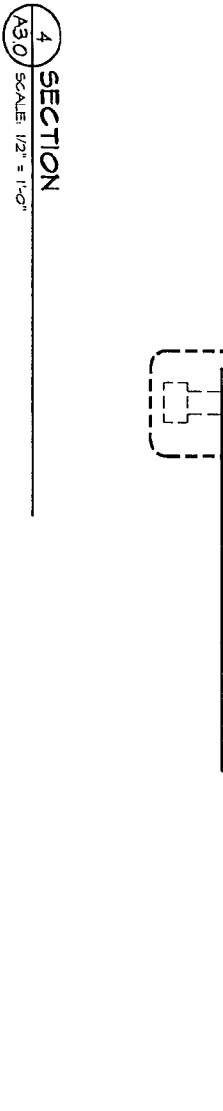
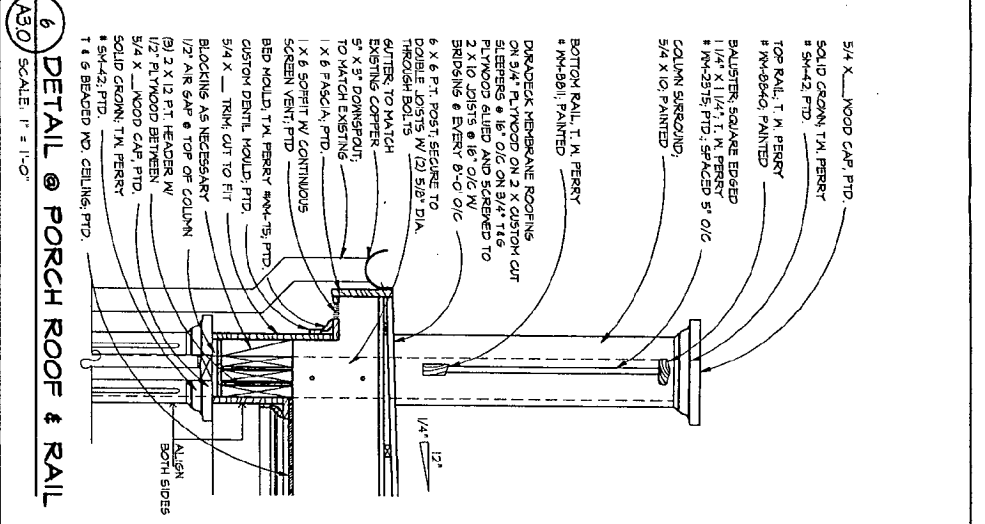
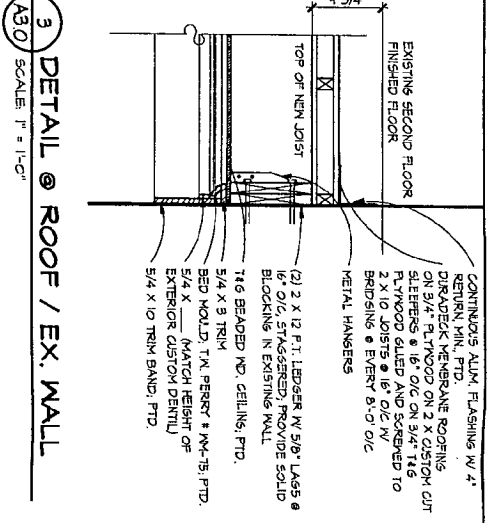
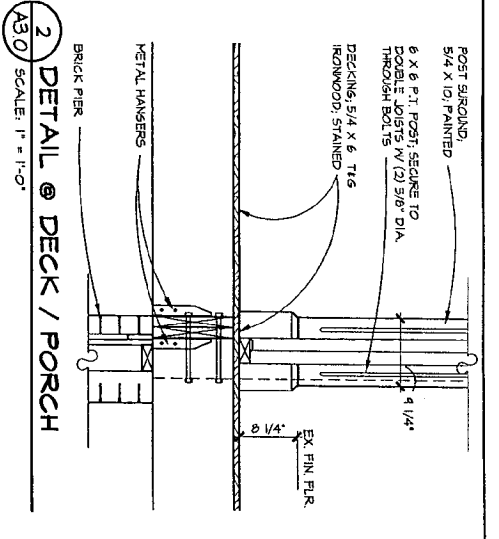
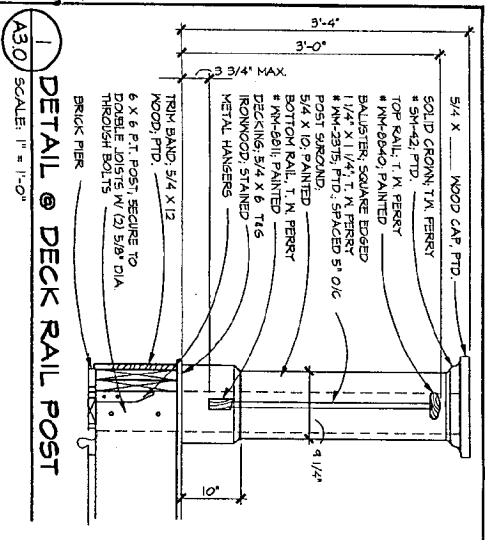
REVISIONS:

DESIGN BY: RL
CHECKED BY: MDH
SCALE: AS NOTED
DATE: 5/6/02
PROJECT NO: 010418
DRAWING NO:

APPROVED
Montgomery County
Historic Preservation Commission



A3.0

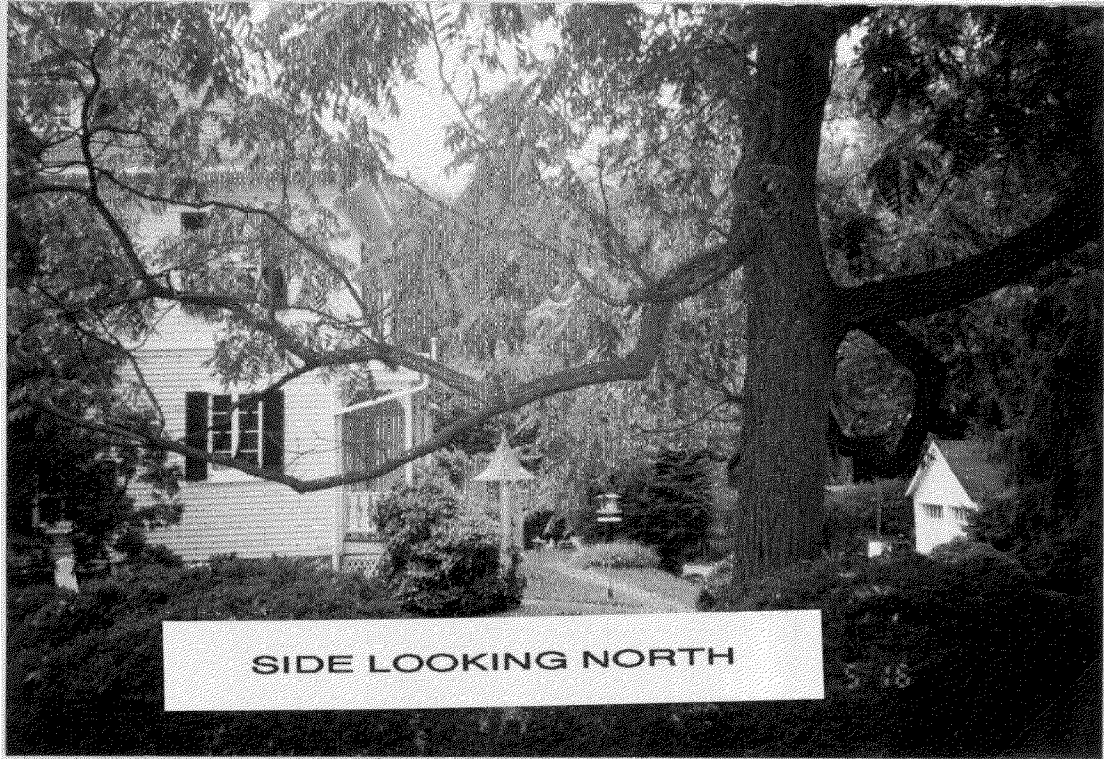


Properties Adjacent to 10205 Connecticut Ave,
Kensington

South 3819 Calvert Place, Hammond Residence
North 10209 Connecticut Ave, Smith Residence
West 10210 Carroll Place, Bodkiss Residence
West 10212 Carroll Place, Lawson Residence

Properties Across Street from 10205 Connecticut Ave

South Warner Memorial Church, Parking
North Warner Memorial Church, Vacant Parcel



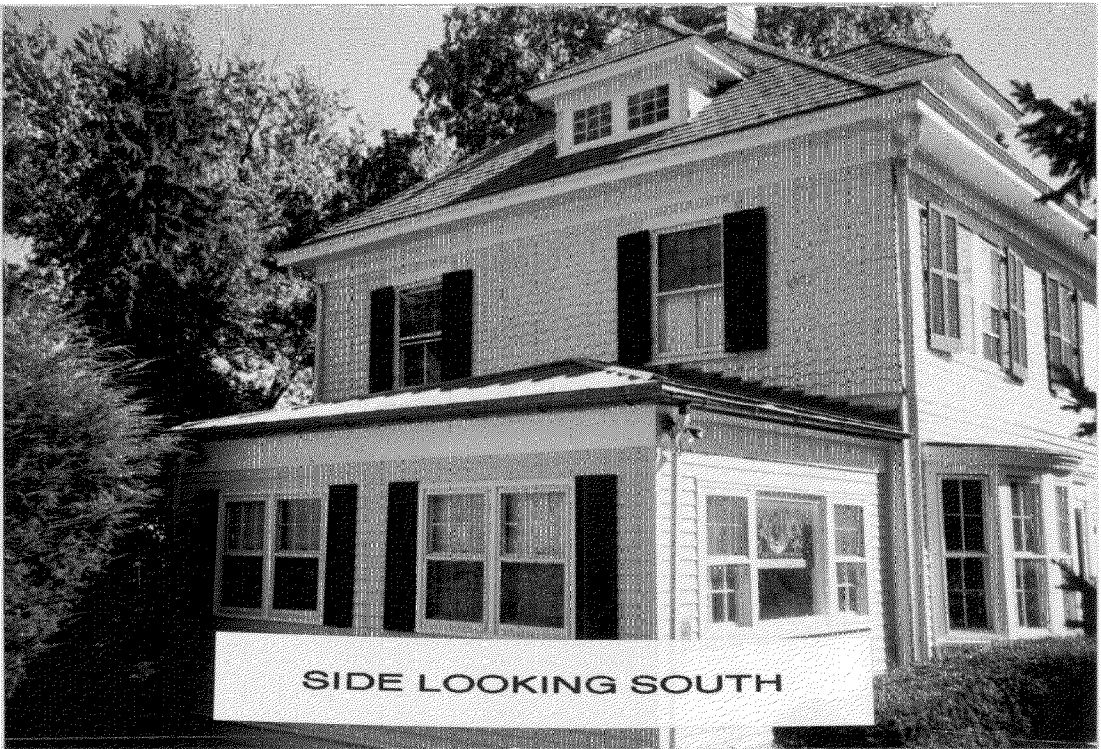
SIDE LOOKING NORTH



REAR LOOKING WEST



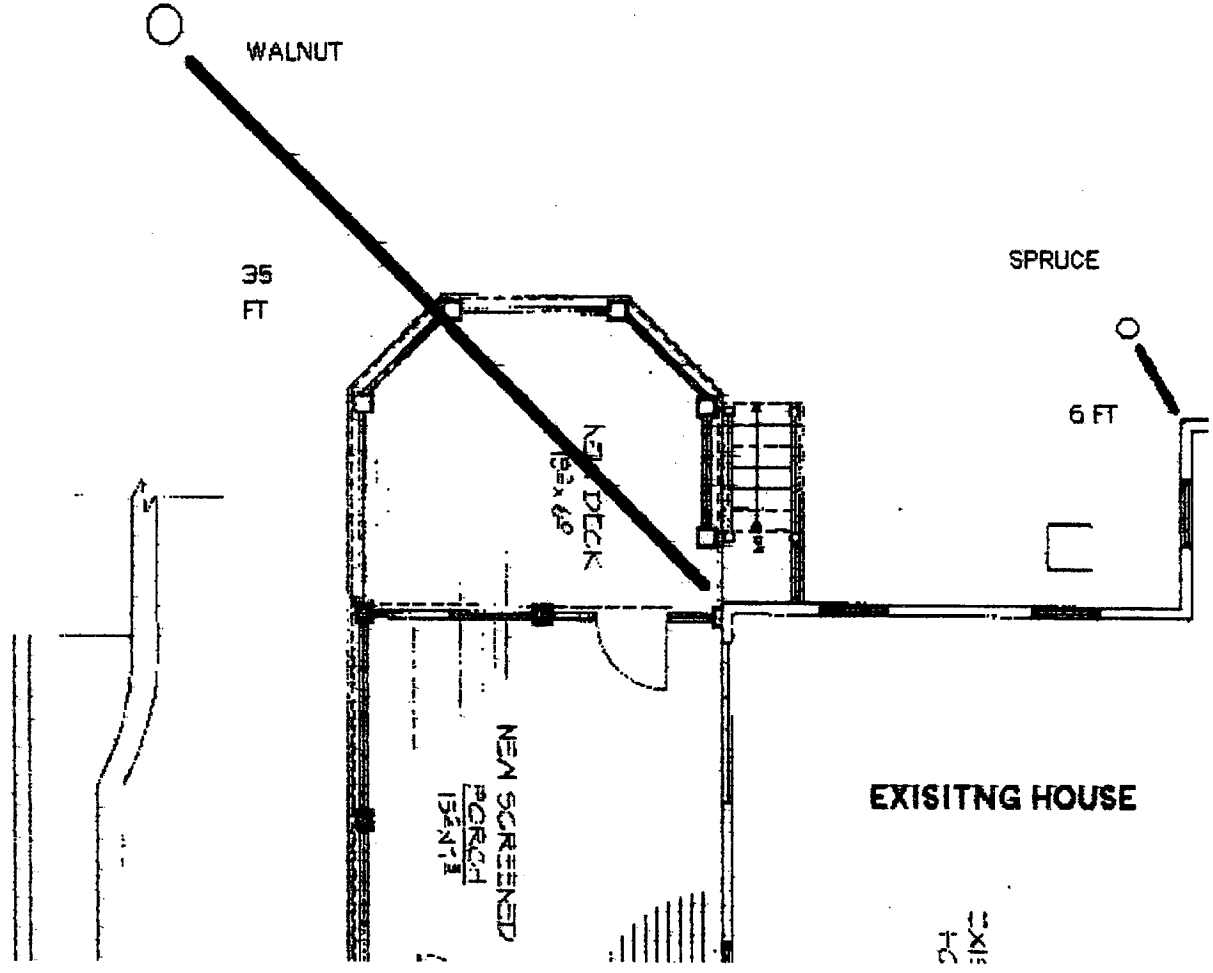
STREET LOOKING EAST



SIDE LOOKING SOUTH

DATE: 08/11/2010 10:58 AM

TREE SURVEY 10205 CONNECTICUT AVE



DATE: 08/11/2010 10:58 AM

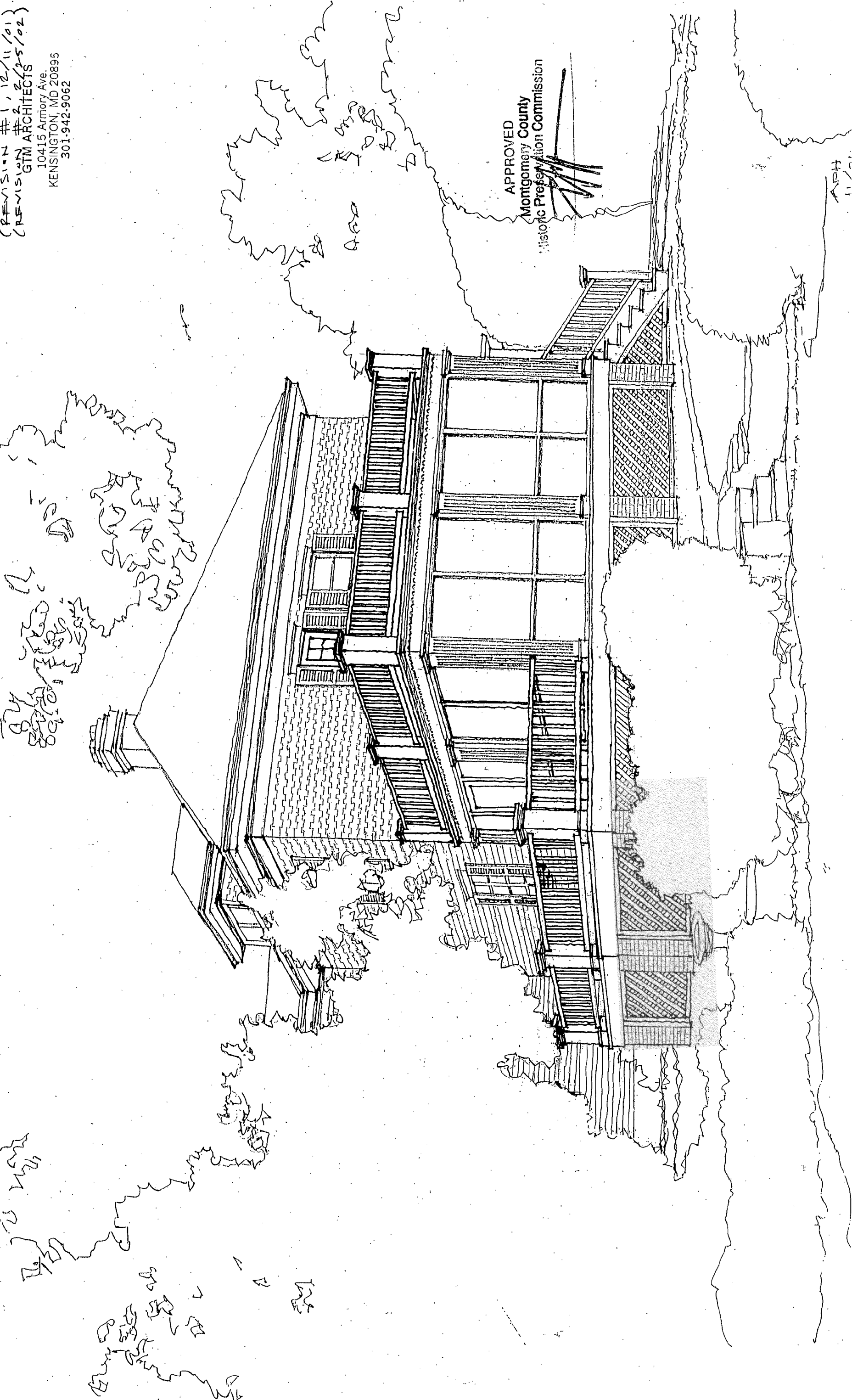
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COHEN RESIDENCE

1920S CONNECTICUT AVE, KENSINGTON, MD

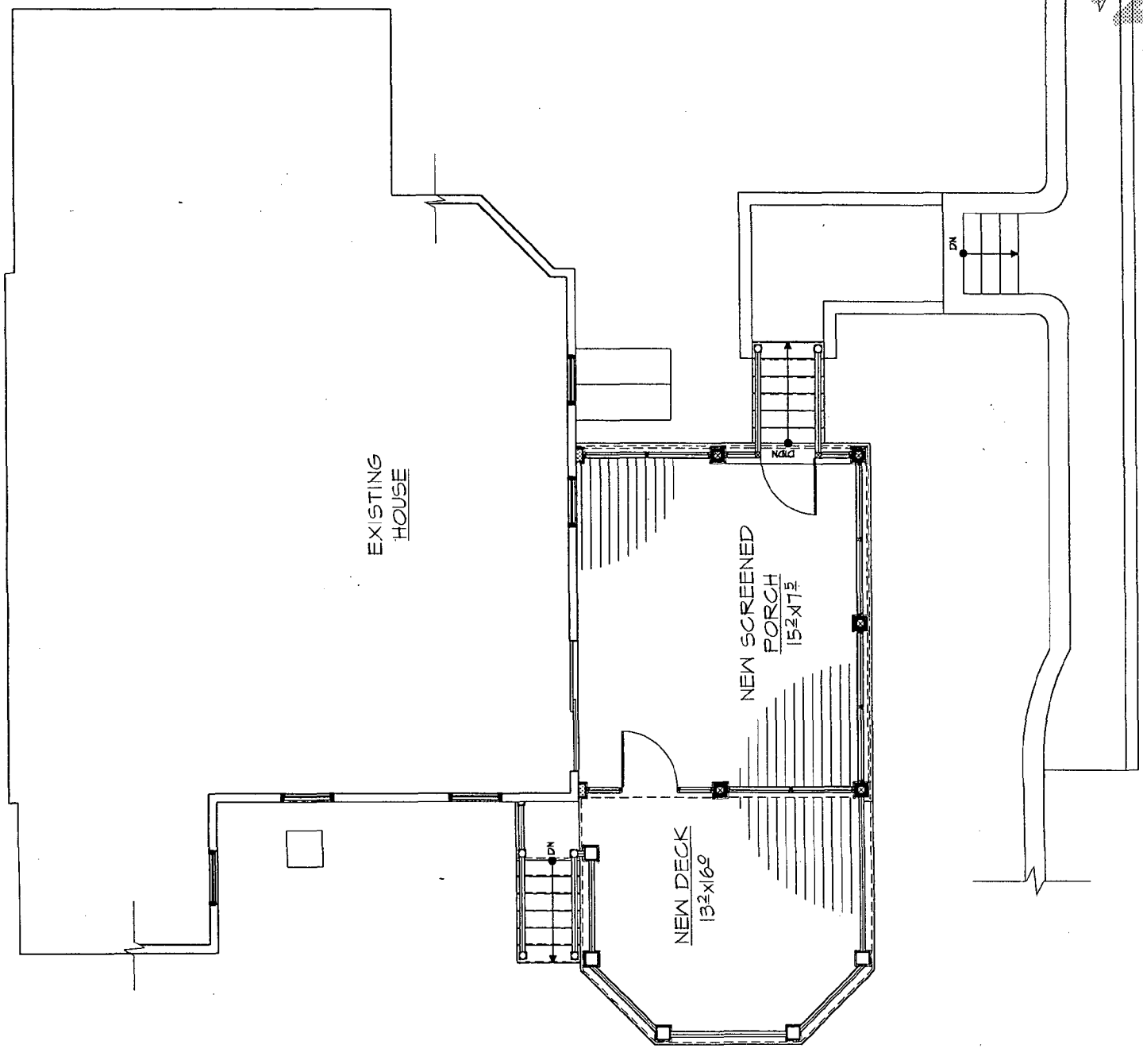
OPTION # 2b.

(REVISION # 1, 12/11/01)
(REVISION # 2, 2/25/02)
GTM ARCHITECTS
10415 Armory Ave.
KENSINGTON, MD 20895
301-942-9062

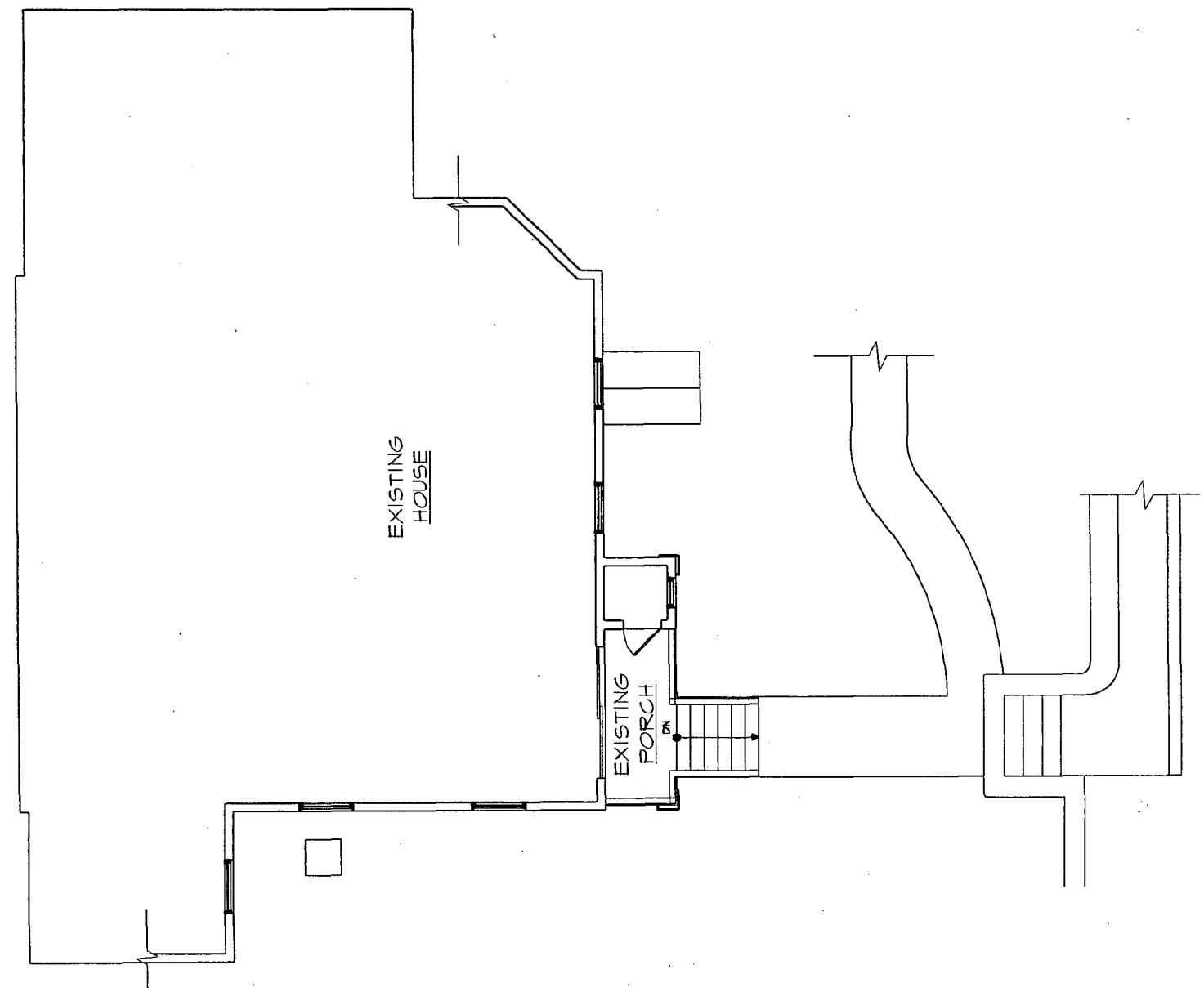


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Montgomery County
Historic Preservation Commission

11/11/01



2 FIRST FLOOR PLAN (AFTER)
 SCALE: 1/8"=1'-0"



1 FIRST FLOOR PLAN (BEFORE)
 SCALE: 1/8"=1'-0"

APPROVED
 MONTGOMERY COUNTY
 Historic Preservation Commission

