

31/06-05O 10220 Carroll Place  
Kensington Historic District



10220 Carroll

**Tully, Tania**

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**From:** Jim Engel [j\_engel01@yahoo.com]  
**Sent:** Sunday, March 11, 2007 8:44 AM  
**To:** Collin Ingraham  
**Cc:** Tully, Tania  
**Subject:** 10220 Carroll Place Kensington, MHT Proj. 2005-696

Collin,

Attached are some bracket profiles. We are leaning toward the "sun-ray" designs. These come in a variety of wood species, typically 12-14 inches in length, 3/4 inches in width, with a 1-1/4" width frame.

Also attached are some sample rail kit pieces from the local lumberyard. While these are fairly plain, they are douglas fir, primed. It seems that a huge percentage of the historic porches in town have had these kits installed over the years, or have had parts of these kits used in repairs. I've attached images of a neighbor's porch. The house is a relatively untouched example of a Kensington house, but I don't know if their porch parts are original.

Can you let us know if these are acceptable (subject to MHT approval of the changes as illustrated on an Amendment form.)?

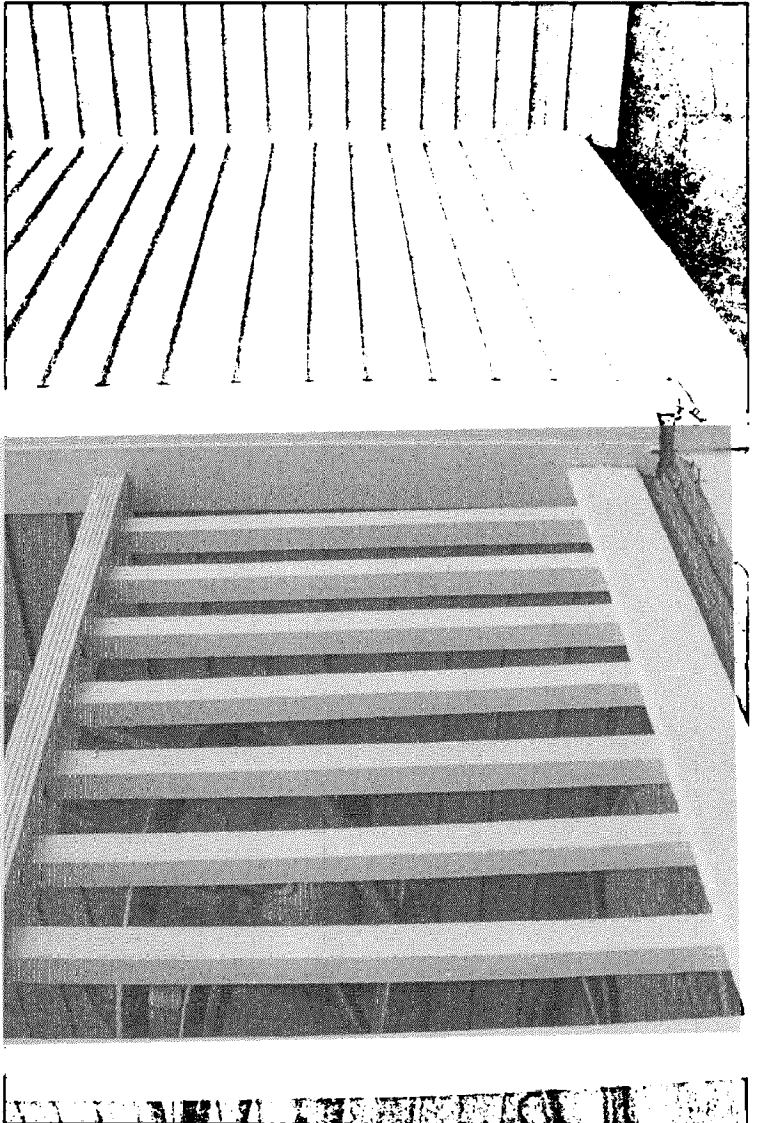
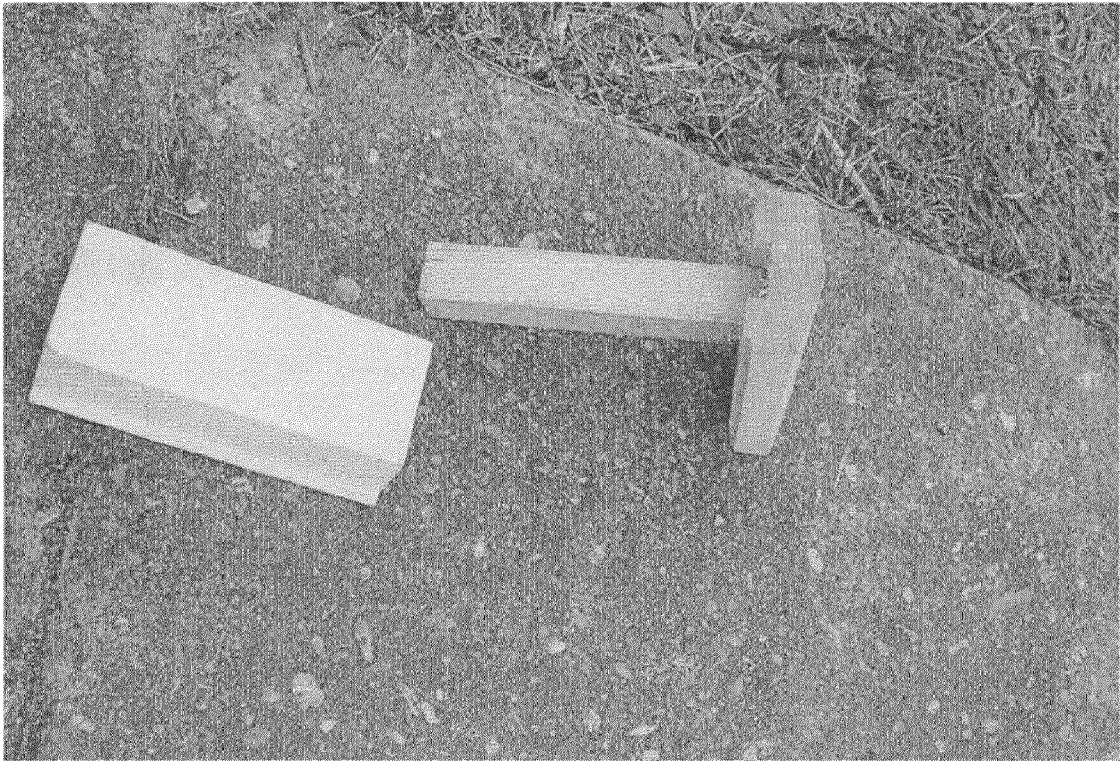
Thanks.

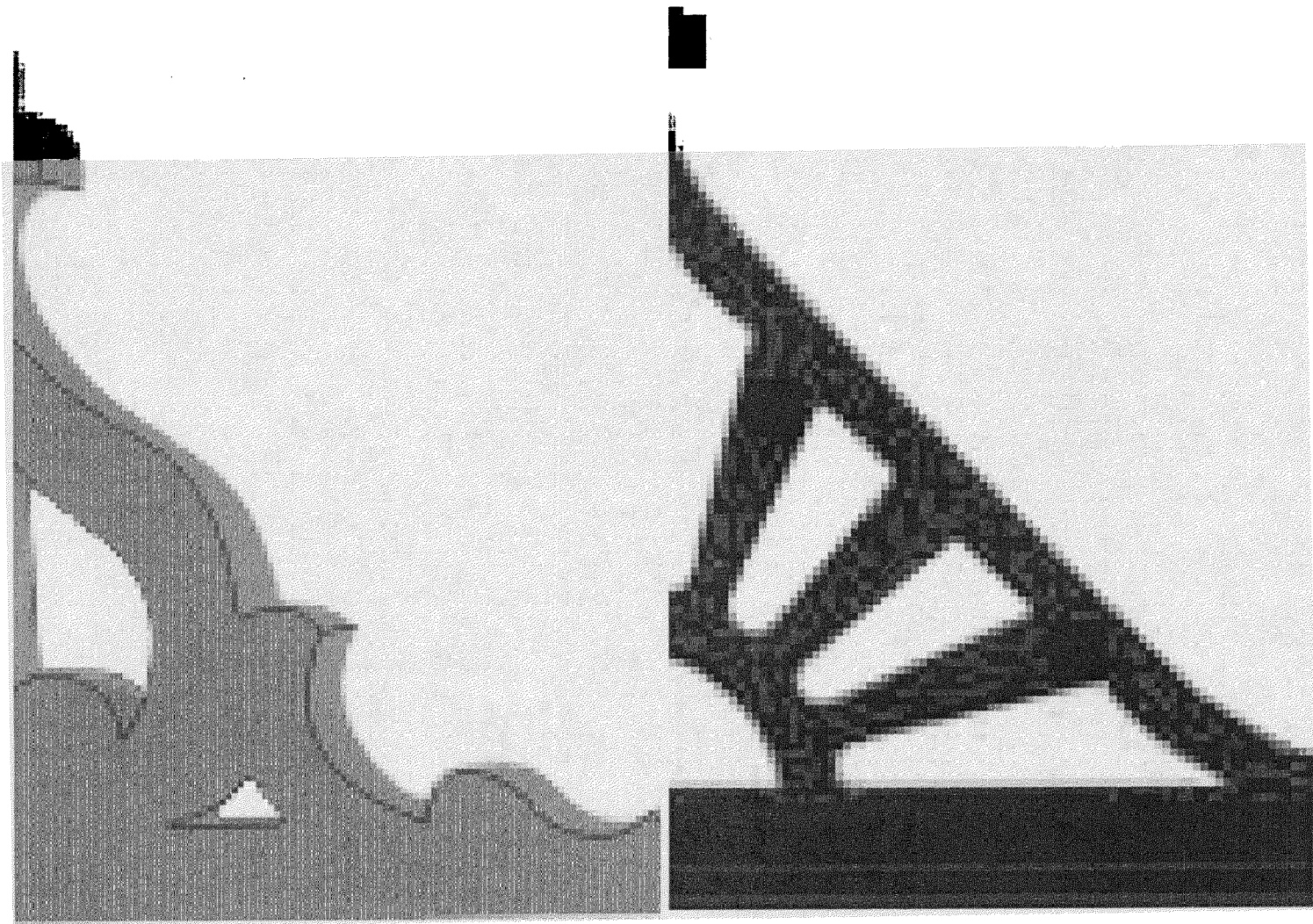
Jim Engel & Maureen Conley.  
(301) 529 9062.

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Bored stiff? Loosen up...

Download and play hundreds of games for free on Yahoo! Games.







FYI

**Tully, Tania**

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**From:** Jim Engel [j\_engel01@yahoo.com]  
**Sent:** Tuesday, February 13, 2007 2:12 PM  
**To:** Tully, Tania  
**Subject:** 10220 Carroll Place

Some follow up that you might dig:

We've started to unwrap our house from beneath the non historic siding. Gulp!

Some of the south and most of the east sides are uncovered.

We haven't gotten to the fascias yet.

We expected to find, and found, some broken short sections of clapboard, some mashed up exterior sills, and the nail and insulation fill holes. Nothing major there.

We did not expect to find that the aluminum siding installer in the 1980's hacked off the shingles on the 2nd and 3rd story where they flared out. The contractor had a big box of cedar shake on site in about 15 minutes. He's also sourced redwood planks for the siding.

The contractor, Andreas Bolbasis, seems good. He said he went through MHT application on his own house on Perry Ave a while ago, so he seems to know the rules. Any insight on him?

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We won't tell. Get more on [shows you hate to love](#)  
(and love to hate): [Yahoo! TV's Guilty Pleasures list](#).

## Tully, Tania

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**From:** Tully, Tania  
**Sent:** Monday, March 05, 2007 9:03 AM  
**To:** 'Jim Engel'  
**Subject:** RE: 10220 Carroll Place

Jim -

Thanks for the pictures. When you've chosen brackets and railings send pictures so I can take it to the Commission to get permission for Staff level approval. With the shadow lines it shouldn't be a problem, but I don't think that they were included in the original application. Also be sure you run it by MHT. I'd hate to have the tax credits jeopardized.

Speaking of tax credits, will you be applying for the County credit this year?

-Tania

Tania Georgiou Tully  
Senior Planner  
Montgomery County Historic Preservation Commission  
1109 Spring Street, Suite 801  
Silver Spring, MD 20910  
301-563-3400

-----Original Message-----

**From:** Jim Engel [mailto:j\_engel01@yahoo.com]  
**Sent:** Saturday, March 03, 2007 1:23 PM  
**To:** Tully, Tania  
**Subject:** 10220 Carroll Place

Tania,

We are moving along with the restoration process. The contractor is doing a great job, using cedar to replace clapboard and shake where necessary. Wood "all-trim" has been used on a few minor areas of the water table and some missing pieces up in the gables. We've taken a ton of pictures along the way to show what we've fixed.

For not much more money, the carpenter can install railings and brackets on the front porch. While I don't know what original brackets and railings looked like, I will try to get you a sample or picture of what we are planning to use. It should be consistent in design with the colonial revival posts that we used to replace the original hacked up revival posts that we found when we demolished the non-historic powderroom on the front porch last spring. It will be appropriate for a late victorian house and similar to original railings on other Kensington houses (assuming I can find any original railings on other houses. A lot of them are replacements.)

Attached are 2 pictures taken last spring during demolition showing shadow lines where the original railings and brackets were installed.

Please call me or email me if you need any additional information.

3/5/2007



May 30, 2006

To: Tania Tully

From: Jim Engel

RE: Patio/Hardscape Plan, 10220 Carroll Place, Kensington Historic District, Lot 29, Block 8, being a resubdivision of Lots 1 & 2, Block 8, Kensington Park

We propose revising our original patio/hardscape plan as presented in our approved HAWP as follows:

**Patio and access to lower yard:** The two small patios and massive circular staircase in the original plan will be replaced in the plan by one patio located below the new wooden deck/stairs outside the French doors. The new patio will be approximately 17 feet in diameter. The patio will be flagstone set on crushed bluestone. The patio's grade will be approximately 3 feet below the grade of the house and accessed by 2-3 steps dropping down from the flagstone walkways next to the house. Another series of 2-3 steps will drop from the patio to the side yard.

**Screening:** The patio's impact on the view from Carroll Place and Baltimore Street will be minimized by the use of new plantings and re-use of existing plantings such as sweetshrub/boxwoods/spirea. New plantings may include flowering trees such as ornamental cherry, eastern dogwood, or possibly a large species from the Maryland native tree list, if growing conditions allow. The wooden screens proposed in the original plan will not be installed.

**Grade Changes and Stone Walls:** The grade change between the upper yard near the house and the lower yard will be addressed by a series of 3 stacked stone walls, generally not more than 4 feet high. The height of the walls will depend upon the existing grade changes. Walls are specified as "Endless Mountain" stone, which is a brand of natural Pennsylvania field stone from Endless Mountain Stone Co.

**Paving:** Walkways will be flagstone set in gravel/bluestone. The existing driveway on Carroll Place will remain, but will be reduced greatly in size by removing the existing paving next to the house. With the exception of the indicated flagstone walk going from the front walkway to the new wooden deck stairs, areas with paving removed will be converted to planting beds.

**Fences:** An existing non-historic wire fence running from east to west, separating the upper elevation near the house and the lower elevation of side yard will be removed and not replaced. See below for comments regarding existing perimeter fences.

In regard to other details approved in the HAWP that are not part of the current installation:

Curb cut and driveway on Baltimore Street: If, in the future, we move forward with a curb cut and driveway on Baltimore Street, the Carroll Place curb cut and driveway will be removed. Staff will be provided with enough time to comment/approve materials, size, etc.

Garden shed: This may be installed in the future. Staff will be notified of the exact specifications of any contemplated shed and provided with enough time to comment/approve.

Removal of mature choke cherry tree next to well vault: The tree may be removed in the future, but will be replaced by a large Maryland native species elsewhere in the yard.

The paved area below the well vault (“paved basketball”): Any paving or garden structures in this area will be ornamental in nature, such as a water feature, fountain, stone benches, etc. Specifications of any contemplated structures will be provided to staff with enough time to comment/approve.

Fencing, Carroll Place “cottage garden”: Staff will be notified of any proposed changes in existing non-historic perimeter fences, installation of garden gates, ornamental fences, etc. and provided with enough time to comment/approve.

Public sidewalk - Baltimore Street

Public sidewalk

Ex. Wire Fence

Existing Planting beds

3/32

LAWN

Ex. Concrete walk

Ex. Beds

Ex. Driveway Asphalt

Ex. Beds

Existing Planting beds

REMOVE ASPHALT NEW BEDS

Flagstone

Ex. Bed

LAWN

Ex. Beds

AC AC

FLAGSTONE

Ex. Flagstone in gravel

Gravel

Ex. Wire Fence

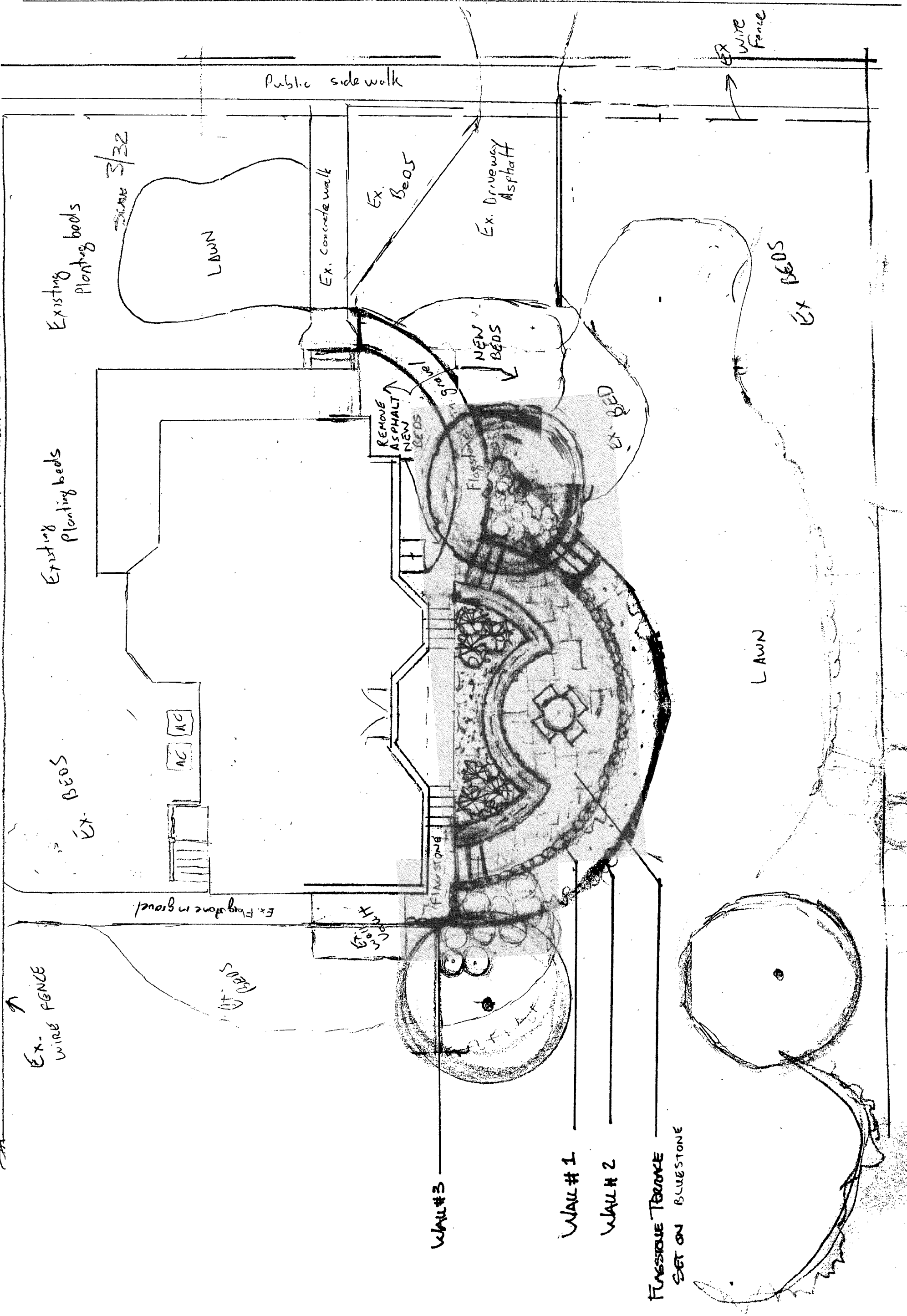
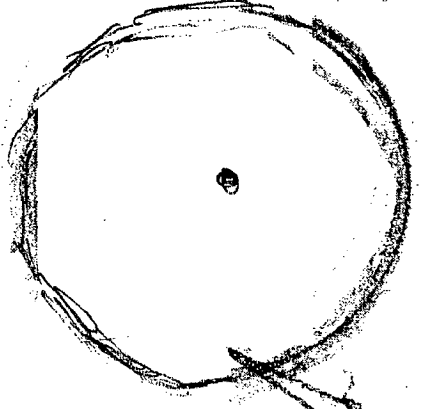
Ex. Beds

Wall #3

Wall #1

Wall #2

FLORISSANT TERRAZZO SET ON BLUESTONE

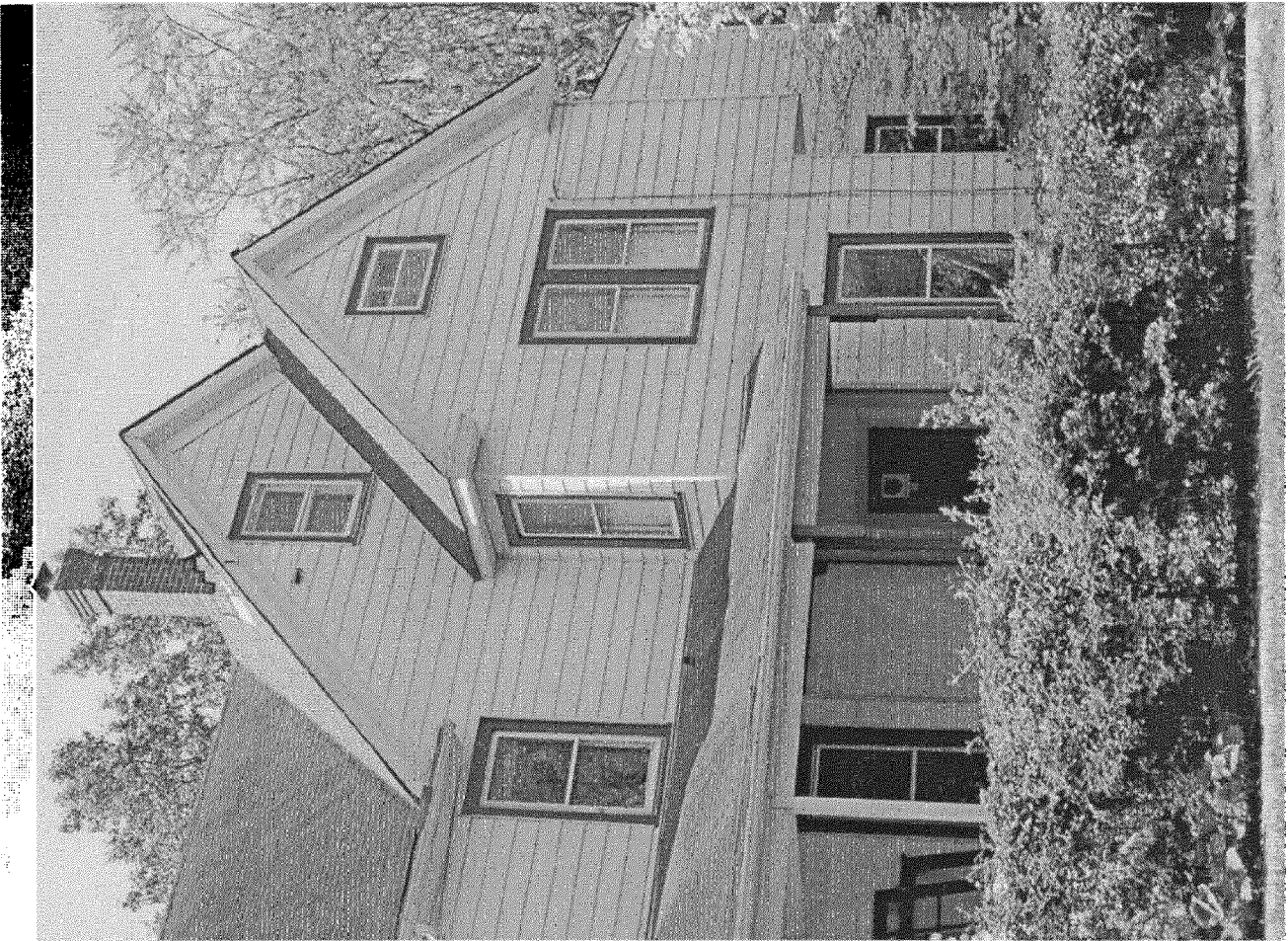




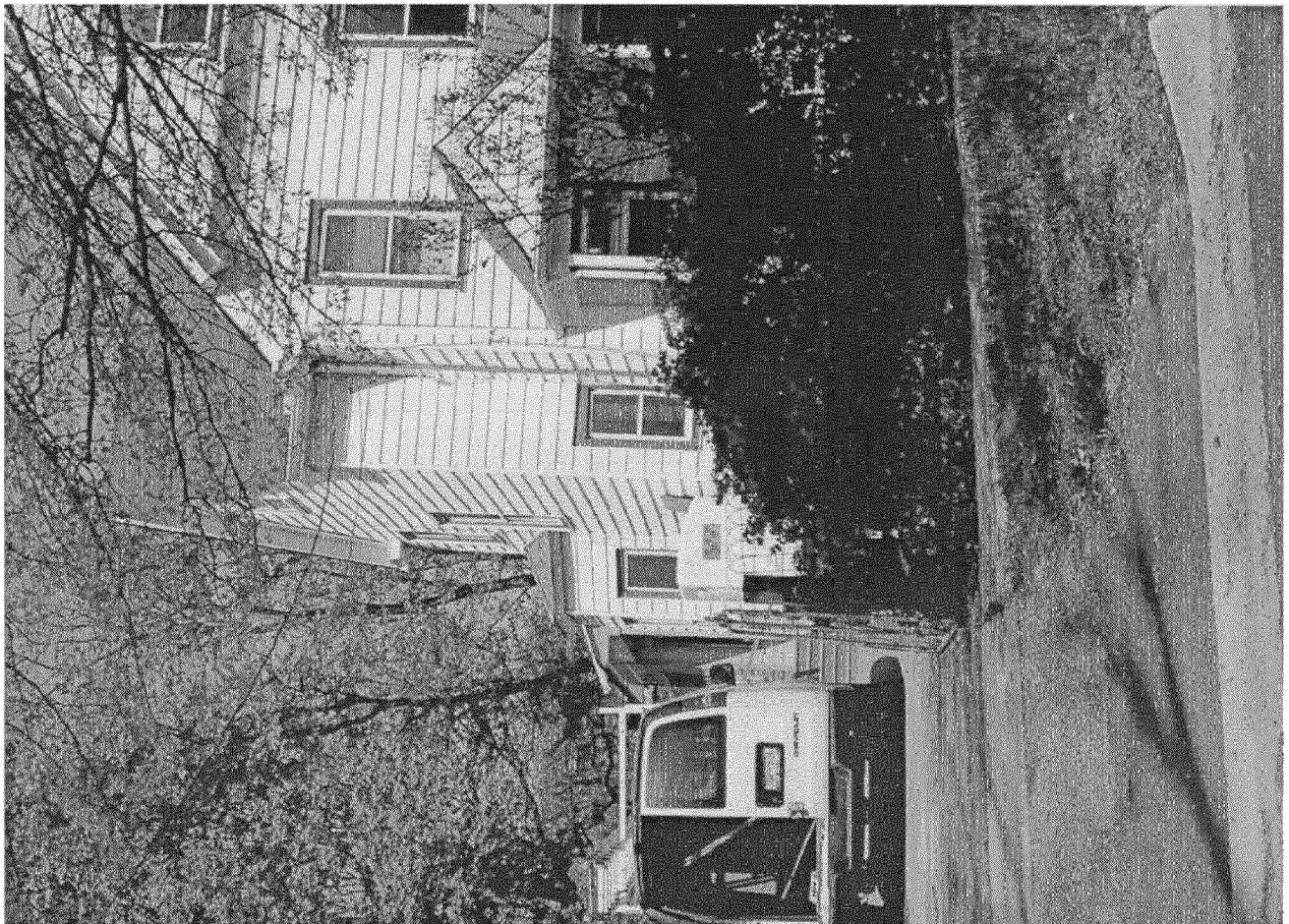


1











File Copy

## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

February 3, 2006

Mr. Reggie Jetter  
Department of Permitting Services  
255 Rockville Pike, 2nd Floor  
Rockville, Maryland 20850-4166

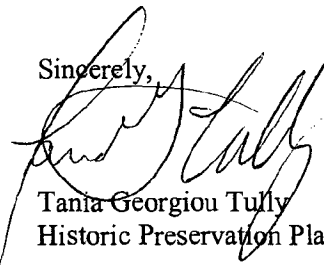
Re: Historic Area Work Permit # 396694  
10220 Carroll Place, Kensington, MD  
Primary 1 Resource within the *Kensington Master Plan Historic District*

Dear Mr. Jetter:

I am writing regarding proposed changes to the previously approved HAWP #396694 (HPC# 31/06-050). With authority granted by the Montgomery County Historic Preservation Commission (HPC) staff has approved minor changes to the rear of the approved addition. One of the windows from the non-contributing addition will be reused in the new addition. An aluminum storm window matching others on the house will also be installed.

**Please utilize this letter as formal approval for this revision.** Thank you for your assistance in this matter. If you have any questions, please do not hesitate to contact staff at 301-563-3400.

Sincerely,



Tania Georgiou Tully  
Historic Preservation Planner

cc: Gail Lucas, DPS  
Maureen Conley & Jim Engel



## Tully, Tania

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**From:** james.engel@pnc.com  
**Sent:** Friday, February 03, 2006 11:49 AM  
**To:** Tully, Tania  
**Subject:** RE: HAWP 10220 Carroll PI Kensington

I faxed over rear elevation and interior schematic showing re-use of the old window in the rear powderroom exterior wall. Please note that the elevation only amends the re-use of the window. The hipped roof over the 2nd floor shown in the original HAWP is still planned but was not part of the permit drawings for the new construction. It will be done in a later permit application to DPS.

Also, we want to use aluminum triple track storm window on the re-used window on the powderroom. This would be similar to what we already have on the rest of the original house. I spoke to Colin Ingraham at MHT about this and he said as long as the storm window is 1/1 and the break between the aluminum sashes lines up with the break between the wood window sashes, then it's ok.

Jim Engel, Vice President  
PNC Dealer Finance Corp.  
PNC Bank  
7200 Wisconsin Ave, Suite 314  
Bethesda, MD 20814  
James.Engel@PNC.COM  
(301) 951 0798  
Fax (301) 951 0796  
Mobile (301) 529 9062

"Tully, Tania" <Tania.Tully@mncppc-mc.org>

To <james.engel@pnc.com>

cc

02/01/2006 04:13 PM

Subject RE: HAWP 10220 Carroll PI Kensington

See below:

-----Original Message-----

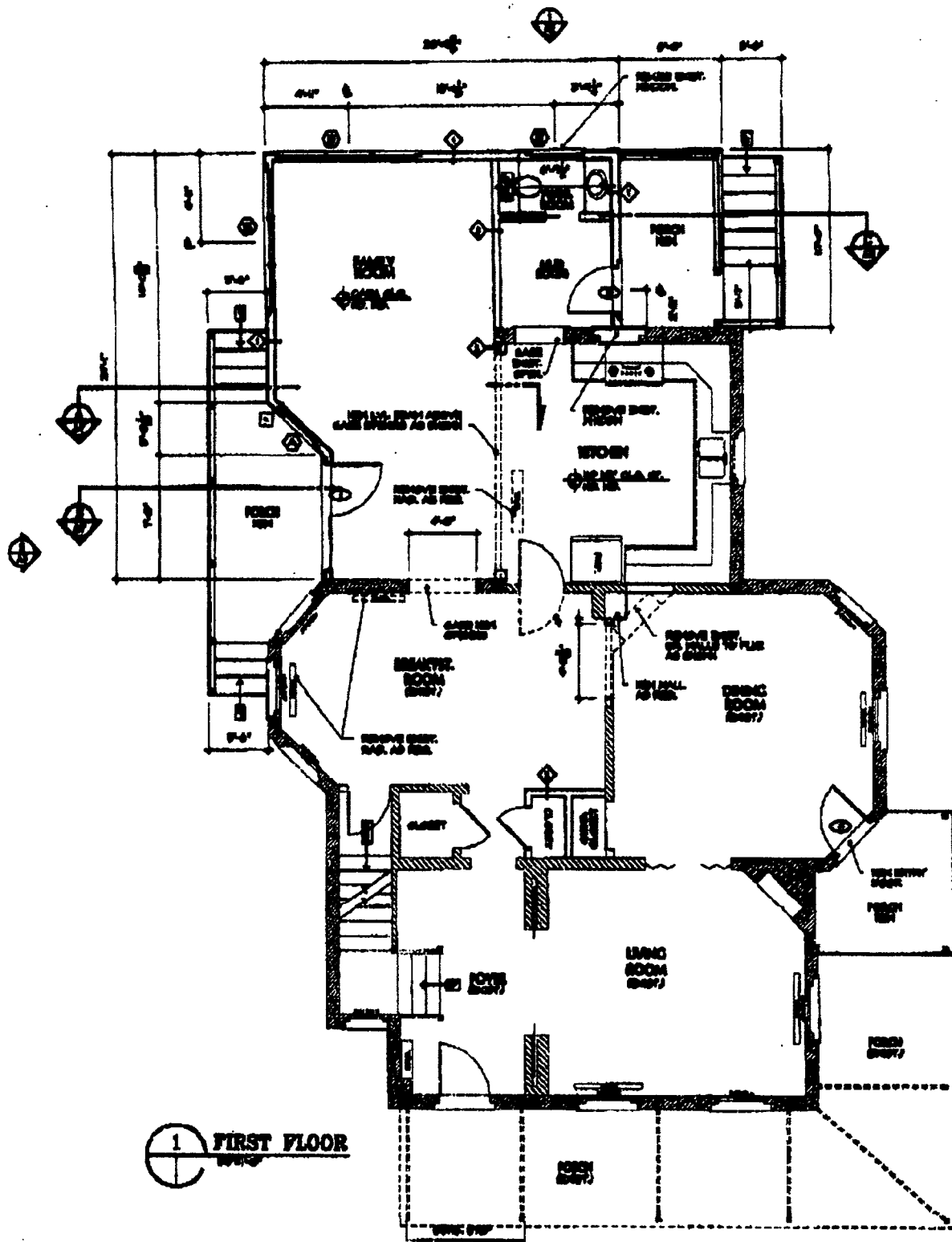
**From:** james.engel@pnc.com [mailto:james.engel@pnc.com]  
**Sent:** Wednesday, February 01, 2006 11:35 AM  
**To:** Tully, Tania  
**Subject:** RE: HAWP 10220 Carroll PI Kensington

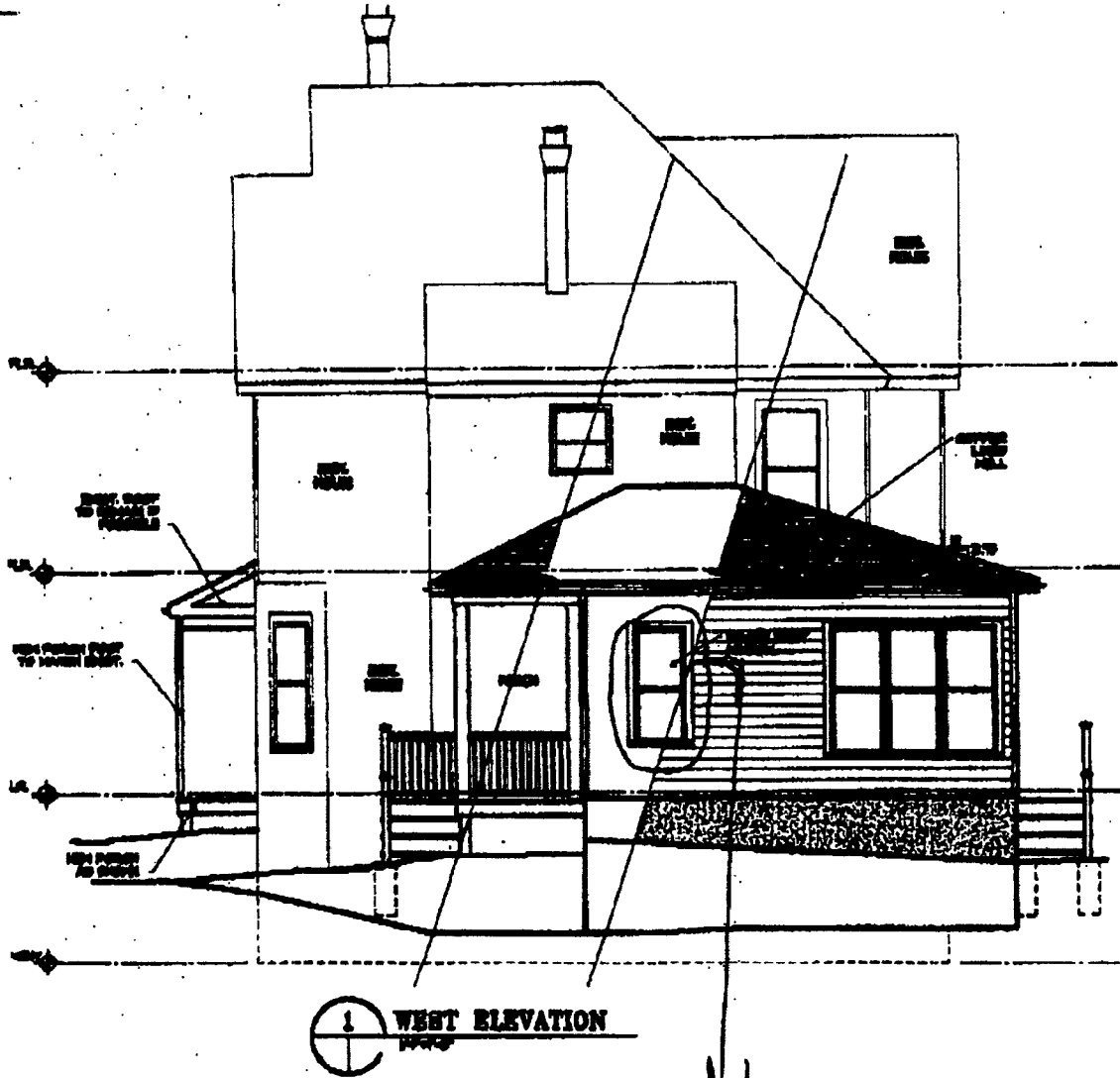
Paul Kuzma won't be able to revise the rear elevation on CAD until end of next week, showing the re-use of the old kitchen window in the new powderroom. If I can manage to draw it in by hand, scan it, and email to you, would that be ok? [Tully, Tania] That should work so long as you also include a written description

MHT signed off on our application! Now we just have to figure out how to properly document all of the applicable expenses, work being done, etc. for both you and them. Any pointers would be appreciated. [Tully, Tania]  
Congratulations! The only suggestion that comes immediately to mind for my purpose is to itemize wherever possible. Your contractor could indicate time spent inside vs.. outside and work on the new addition vs. work on

2/3/2006







Window from south wall  
of kitchen, between kitchen  
& old sun porch, re-used  
here



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: September 29, 2005

MEMORANDUM

TO: Maureen Conley & Jim Engel  
10220 Carroll Place, Kensington

FROM: Tania Tully, Senior Planner *TGT*  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application #396694

*Stamped  
10/27/05*

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Your Historic Area Work Permit application for Rear addition and major landscaping was **Approved with Conditions** by the Historic Preservation Commission at its September 28, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must **schedule a meeting** with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and the official approval letter. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: September 29, 2005

**MEMORANDUM**

TO: Robert Hubbard, Director

FROM: Tania Tully, Senior Planner <sup>TGT</sup>  
Historic Preservation Section

SUBJECT: Historic Area Work Permit #396694

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions.**

1. A tree protection plan will be provided to staff and implemented prior to any work beginning on the property.
2. Staff must approve the profile of any replacement wood siding.
3. Specification sheets for the windows will be provided to staff as part of the permit set. ✓
4. The trellises at the southeast patio (Circle 22) will not be greater than 5' in height and/or will be redesigned to be more open.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Maureen Conley & Jim Engel

Address: 10220 Carroll Place, Kensington

This HAWP approval is subject to the general condition that the applicant shall present the 3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Jim Engel  
Daytime Phone No.: 703 394 2545 or 301 529 9062  
Tax Account No.: Lot 1 13-03253567 & Lot 2 13-01022890  
Name of Property Owner: Maureen Conley + Jim Engel Daytime Phone No.: 301-933-9008 / 703-394-2545  
Address: 10220 Carroll Pl. Kensington MD 20895  
Street Number City State Zip Code  
Contractor: Kuzma Construction Phone No.: 301-571-5550  
Contractor Registration No.: MD HIC LIC #16783  
Agent for Owner: — Daytime Phone No.: —

LOCATION OF BUILDING/PREMISE

House Number: 10220 Carroll Pl. Street  
Town/City: Kensington Nearest Cross Street: Baltimore + Connecticut Ave.  
Lot: 1 & 2 Block: 8 Subdivision: Kensington Park (15)  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: re-grade

1B. Construction cost estimate: \$ 250,000 house / \$40,000 landscaping

1C. If this is a revision of a previously approved active permit, see Permit # —

Received  
SEP - 7 2005

Dept. of Permitting Services

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 3 feet — inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Maureen Conley Date: 9/6/05

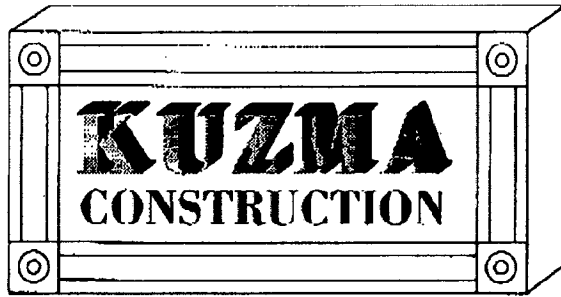
Approved: 396694 with conditions Date: 9/28/05  
Signature: Julia D. Malley  
Disapproved: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Application/Permit No.: AP 396694 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edit 6/21/99 SEE REVERSE SIDE FOR INSTRUCTIONS



301-563-3412



FOR MS. ANIA TUM

RE: ENGEL PROJECT  
10220 CARROLL PLACE  
KENSINGTON

PLEASE FIND TO FOLLOW (2) SHEETS  
WITH WINDOWS AND EXTERIOR DOORS  
FOR THE ENGEL ADDITION.

ALL EXTERIORS OF THE UNITS ARE  
PRIMED AND PAINTED WOOD. UNITS TO HAVE  
ANTIQUE BRASS HARDWARE TO MATCH  
EXISTING. PLEASE CONTACT ME WITH  
ANY QUESTIONS.

PAUL KUZMA  
301-571-5550 OR KUZCON@AOL

THANK YOU  
P.

ROCKVILLE WINDOW & DOOR CO.  
7404-E LINDBERGH DRIVE  
GATHERSBURG, MD 20879  
Phone: 301 208-3590  
Fax: 301 208-3594

# QUOTE: 980

QUOTE DETAIL  
Project Number: 980  
Printed: 10/28/2005 10:15:19 AM

CQ Proj #: 980	System #: 0	Order Date: 10/28/2005	Valid Date: 11/28/2005
Sold To: 15 KUZMA CONSTRUCTION 10139 CEDAR LANE ATTN: PAUL KUZMA KENSINGTON, MD 20885	Dealer Proj #: 980 Customer ID:	Ship To: 1 ROCKVILLE WINDOW & DOOR CO. 7404-E LINDBERGH DRIVE GATHERSBURG, MD 20879	
Phone: 301 571-5550	Fax: 301 530-9457	Phone: 301 762-6663	Fax: 301 208-3594

Delivery Instructions: JOB: ENGEL 10220 CARROLL PLACE  
KENSINGTON MD 20885

Drop Ship:

Shipping Instructions:

Weather Shield Mfg. Inc. Proposes to Furnish Products as Stated Below.  
All Units viewed from Exterior.

Item Number: 2  
Quantity: 1  
Total Jamb To Jamb: 29 5/16 X 69 1/8  
Total Rough Opening: 30 5/16 X 69 5/8



Weather Shield  
Double Hung Tilt  
Rectangle  
Product Arrangement-1 Wide  
Sizing Method-Nominal Glass Size  
Nominal Glass Size-24 X 30  
Nominal Glass Width-24  
Nominal Glass Height-30  
Overall Jamb Width-29 5/16  
Jamb Height-69 1/8  
Overall R/O Width-30 5/16  
R/O Height-69 5/8  
Glass Width-23 7/8  
Glass Height-29 11/16  
Operating Code-Operating  
Exterior Frame Finish-Prime  
Exterior Sash Finish-Prime  
Interior Material-First Coat

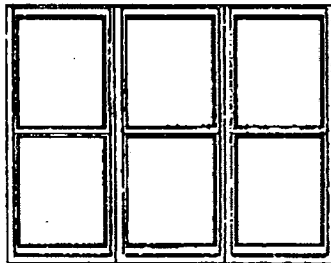
Jamb Liner Color-White  
Glass Type-Insulated Low E  
Gas-Argon  
Lite Configuration-1 Lite  
Hardware Color-Oil Rubbed Bronze  
Screen/Storm-Full Screen  
Screen/Storm Color-White

PO: CP-KUZMA/ENGEL  
JOB NAME: CP-KUZMA/ENGEL  
LOCATION:

Per Unit: Ext. Price:

Unit Price: \$343.20 \$343.20

Item Number: 3  
Quantity: 2  
Total Jamb To Jamb: 89 X 69 1/8  
Total Rough Opening: 89 1/16 X 69 5/8



Weather Shield  
Double Hung Tilt  
Rectangle  
Product Arrangement-3 Wide  
Sizing Method-Nominal Glass Size  
Nominal Glass Size-24 X 30  
Nominal Glass Width-24  
Nominal Glass Height-30  
Overall Jamb Width-88  
Jamb Height-69 1/8  
Overall R/O Width-89 1/16  
R/O Height-69 5/8  
Glass Width-23 7/8  
Glass Height-29 11/16  
Operating Code-Operating  
Operating Code 2-Operating  
Operating Code 3-Operating  
Exterior Frame Finish-Prime

Exterior Sash Finish-Prime  
Interior Material-First Coat  
Jamb Liner Color-White  
Glass Type-Insulated Low E  
Gas-Argon  
Lite Configuration-1 Lite  
Hardware Color-Oil Rubbed Bronze  
Screen/Storm-Full Screen  
Screen/Storm Color-White

PO: CP-KUZMA/ENGEL  
JOB NAME: CP-KUZMA/ENGEL  
LOCATION:

Per Unit: Ext. Price:

Unit Price: \$1,050.80 \$2,121.50



ROCKVILLE WINDOW & DOOR CO.  
 7404-E LINDBERGH DRIVE  
 GAITHERSBURG, MD 20879  
 Phone: 301 208-3580  
 Fax: 301 208-3594

QUOTE DETAIL  
 Project Number: 880  
 Printed: 10/28/2005 10:15:19 AM

Item Number: 4  
 Quantity: 2  
 Total Jamb To Jamb: 32 5/16 X 82 1/32  
 Total Rough Opening: 33 1/16 X 82 1/2



Weather Shield  
 Hinged French Door 11  
 Rectangle  
 Sizing Method-Call Out  
 Standard Size-Yes  
 Call Out Width-2-9  
 Call Out Height-6-10  
 Jamb Width-32 5/16  
 Jamb Height-82 1/32  
 Glass Width-21 1/18  
 Glass Height-57 5/16  
 R/O Width-33 1/16  
 R/O Height-82 1/2  
 Operating Code-Inswing Right-A  
 Exterior Frame Finish-Prime  
 Exterior Insert Finish-Prime  
 Bottom Rail Options-7 1/2 Inch  
 Interior Material-First Coat

Inside Jamb Option-Fingerjoint  
 Outside Jamb Option-Fingerjoint  
 Glass Type-Insulated Low E  
 Glazing Bead Type-Flush Bead  
 Gas-Argon  
 Lite Configuration-1 Lite  
 Lock Options-Multi Point  
 Lockset Style-Style 1 Traditional  
 Lockset Color-Oil Rubbed Bronze  
 Keyed Locks-Keyed Alike  
 Hinge Type-Adjustable Hinge  
 Hinge Color-Oil Rubbed Bronze  
 Shoot Bolt-None

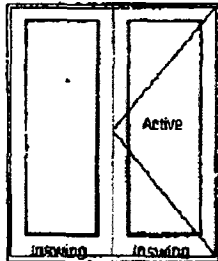
Additional Item Comments  
 \* ONE CODE A & ONE CODE B \*

PO: CP-KUZMA/ENGEL  
 JOB NAME: CP-KUZMA/ENGEL  
 LOCATION:

Per Unit: Ext. Price:

Unit Price: \$1,205.88 \$2,411.76

Item Number: 5  
 Quantity: 1  
 Total Jamb To Jamb: 71 1/4 X 86 1/32  
 Total Rough Opening: 72 X 86 1/2



Weather Shield  
 French Center Hinged Door 21  
 Rectangle  
 Sizing Method-Call Out  
 Standard Size-Yes  
 Call Out Width-6-0  
 Call Out Height-7-2  
 Jamb Width-71 1/4  
 Jamb Height-86 1/32  
 R/O Width-72  
 R/O Height-86 1/2  
 Glass Width-25 1/16  
 Glass Height-71 5/16  
 Operating Code-Inswing Right-A  
 Exterior Frame Finish-Prime  
 Exterior Insert Finish-Prime  
 Bottom Rail Option-7 1/2 Inch  
 Interior Material-First Coat

Inside Jamb Option-Fingerjoint  
 Outside Jamb Option-Fingerjoint  
 Glass Type-Insulated Low E  
 Glazing Bead Type-Flush Bead  
 Gas-Argon  
 Lite Configuration-1 Lite  
 Lock Options-Multi Point  
 Lockset Style-Style 1 Traditional  
 Lockset Color-Oil Rubbed Bronze  
 Keyed Locks-Keyed Alike  
 Hinge Type-Adjustable Hinge  
 Hinge Color-Oil Rubbed Bronze  
 Shoot Bolt-None  
 Screen Color-White  
 St. Steel Screen Rollers-No  
 Pkg Screens Separately-No

Additional Item Comments  
 \* NOTE 5.4" NOT A STD. SIZE SO I WENT WITH A 6 0" \* CONFIRM HINGING \*

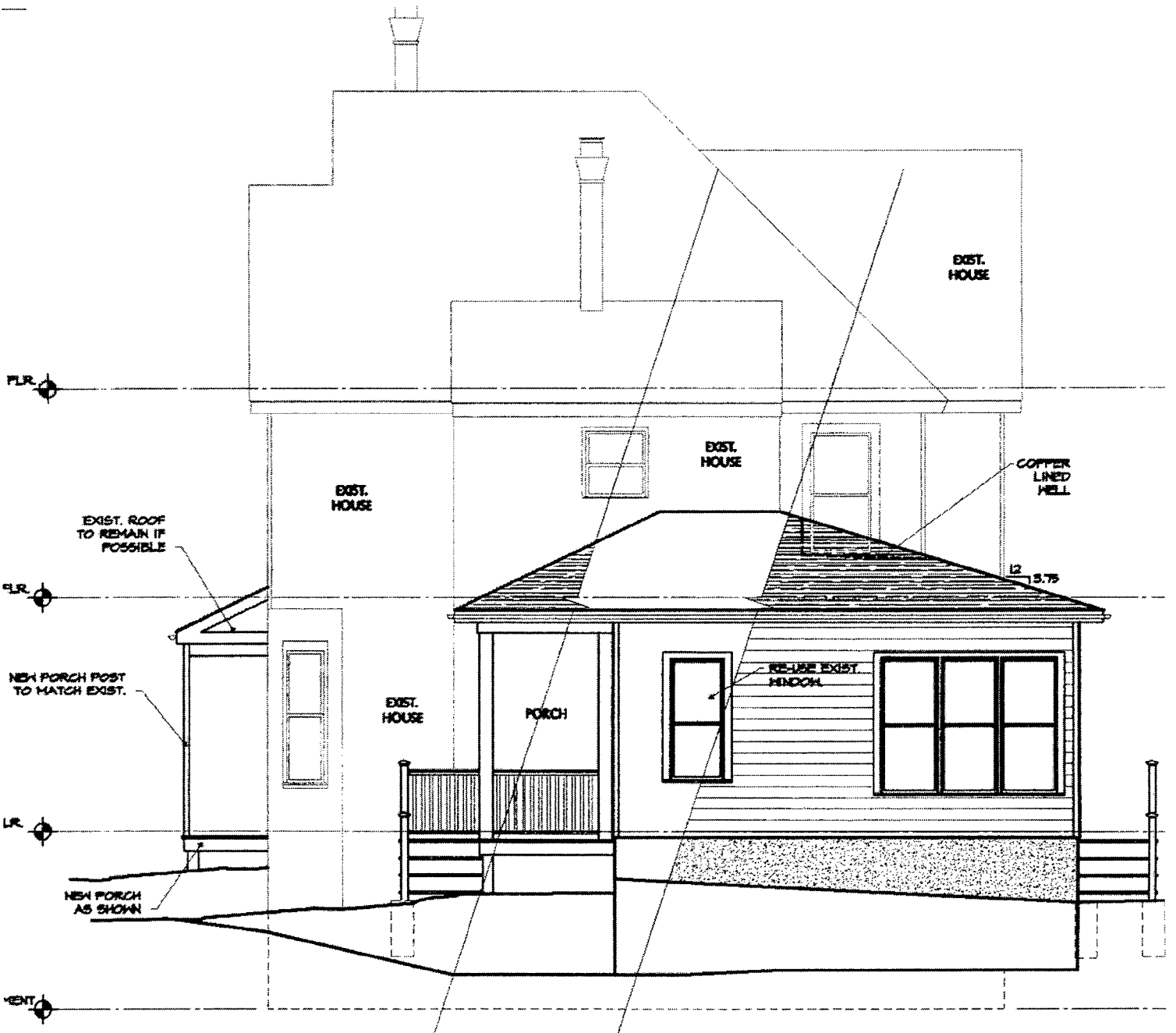
PO: CP-KUZMA/ENGEL  
 JOB NAME: CP-KUZMA/ENGEL  
 LOCATION:

Per Unit: Ext. Price:

Unit Price: \$1,899.30 \$1,899.30

Misc Item	Qty	Price	Less Discount	Tax Amt	Ext Price
ENERGY SURCHARGE	1	\$125.00		\$0.00	\$125.00
				Total	\$25.00





1
**WEST ELEVATION**  
 1/4"=1'-0"





## Tully, Tania

---

**From:** james.engel@pnc.com  
**Sent:** Tuesday, January 24, 2006 11:39 AM  
**To:** Tully, Tania  
**Subject:** RE: 10220 Carroll

Remnants of 2 of the original porch posts were found: Thick, turned posts, squared ends, brackets, very low railing. Railing would be way below code today. People were shorter then? Unfortunately the bead board ceiling is hacked up and rotting in places due to vent stack leakage.

With the exception of replacing beadboard ceiling (while trying to save what's still good) we'll probably leave the posts as is until we get a handle on the budget for front porch rehab. I'll try to see if I can find originals on neighbors' houses, and look for current stock that is similar.

The remnants were pretty hacked up, from when the first story was covered in shingles, which will be difficult to remove without damaging the clapboard underneath.

Also found old bottles in the kitchen walls, amonia with patent of 1907, vanilla and almond extract for baking, and a bottle of castor oil from Peoples Drug Stores, if I recall it was corked not screwtop. Rusty rim lock, and what looks like an old bar of soap. The bottles will make a nice display when we restore the original china hutch.

So far, things are on track. No major disasters except a T joint on a water line failed on the 3rd floor and ruined a lot of the breakfast room ceiling. It was unfortunately a coincidence, just a badly soldered joint from circa 1966. Fortunately the plumber was doing rough in for the powderroom the next day.

Jim Engel, Vice President  
PNC Dealer Finance Corp.  
PNC Bank  
7200 Wisconsin Ave, Suite 314  
Bethesda, MD 20814  
James.Engel@PNC.COM  
(301) 951 0798  
Fax (301) 951 0796  
Mobile (301) 529 9062

"Tully, Tania" <Tania.Tully@mncppc-mc.org>

01/24/2006 11:16 AM

To <james.engel@pnc.com>

cc

Subject RE: 10220 Carroll

Jim-

I think that's fine, but I will need a revised elevation in order to formally give approval.

By the way, I drove by this morning and the progress looks good. It is great having the "porch room" gone.

1/24/2006

-Tania

-----Original Message-----

**From:** james.engel@pnc.com [mailto:james.engel@pnc.com]

**Sent:** Tuesday, January 24, 2006 9:54 AM

**To:** Tully, Tania

**Subject:** 10220 Carroll

Tania,

I may have already asked you this: we are re-configuring the first floor schematic. Instead of the powderroom in the middle of the house, it will go in the back where the mudroom was planned. This results in no changes to the exterior elevations.

I discussed with our builder, Paul Kuzma, re-using the smaller historic 1/1 window that we are taking out between the kitchen and the planned family room. It would go in the rear powderroom on the western elevation. He recommended that we install a storm window to help cut down the draft. Storm window would probably be aluminum triple track, similar to what is currently on the rest of the original house (installed by the previous owner.) This would change the western elevation by breaking up the somewhat long wall between the new rear porch and the three new 1/1 double hung windows on the family room addition.

Would that be ok? We can get you a revised elevation if necessary.

Jim Engel, Vice President  
PNC Dealer Finance Corp.  
PNC Bank  
7200 Wisconsin Ave, Suite 314  
Bethesda, MD 20814  
James.Engel@PNC.COM  
(301) 951 0798  
Fax (301) 951 0796  
Mobile (301) 529 9062

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<https://pnc.p.delivery.net/m/u/pnc/uni/p.asp> By unsubscribing to this message, you will be unsubscribed from all advertising or promotional messages from PNC. Removing your e-mail address from this mailing list will not affect your subscription to alerts, e-newsletters or account servicing e-mails..

10220 Carroll Place 1/24/06

















## Tully, Tania

---

**From:** Tully, Tania  
**Sent:** Thursday, January 12, 2006 2:56 PM  
**To:** 'james.engel@pnc.com'  
**Cc:** Thompson, Abigail  
**Subject:** RE: drawings

Jim-

Thanks for the persistence. I looked at the drawings of the new roof configuration and it looks great. Thank you for continuing to work on this. If this will need to go back to DPS for a revised building permit let me know and I can provide a formal memo.

Tania Georgiou Tully  
Historic Preservation Planner  
Montgomery County Department of Park and Planning  
8787 Georgia Avenue  
Silver Spring, MD 20910  
301-563-3400  
301-563-3412 (fax)  
[www.mc-mncppc.org](http://www.mc-mncppc.org)

-----Original Message-----

**From:** james.engel@pnc.com [mailto:james.engel@pnc.com]  
**Sent:** Thursday, January 12, 2006 10:12 AM  
**To:** Thompson, Abigail  
**Cc:** Tully, Tania  
**Subject:** RE: drawings

After several attempts last night to log in, I was finally able to place the revised drawings in the "Historic" folder. There are two JPEGs with "10220 Carroll Place Kensington" in the file name.

If you have any questions, please call me. Thanks for your help.

Jim Engel, Vice President  
PNC Bank Dealer Financial Services  
7200 Wisconsin Ave, Suite 314  
Bethesda, MD 20814  
James.Engel@PNC.COM  
(301) 951 0798  
Fax (301) 951 0796  
Mobile (301) 529 9062

"Thompson, Abigail" <Abigail.Thompson@mncppc-mc.org>

01/11/2006 11:09 AM

To "Tully, Tania" <Tania.Tully@mncppc-mc.org>, <james.engel@pnc.com>  
cc  
Subject RE: drawings

1/12/2006



Mr. Engel -

Cut and paste the following link into your browser:

<ftp://141.156.208.87>

Username - mroftpuser

Password for all to access - T3n\$4wot

Please put the files in the "Historic" Folder. If you have any problems please let me know.

Abi

Abigail G. Thompson  
Historic Preservation Office  
301.563.3400

-----Original Message-----

**From:** Tully, Tania  
**Sent:** Wednesday, January 11, 2006 10:42 AM  
**To:** james.engel@pnc.com  
**Cc:** Thompson, Abigail  
**Subject:** RE: drawings

No, I didn't get them. I'll have Abi send you the ftp information. That should be the easiest way without you physically bringing a disk.

Thanks.

-----Original Message-----

**From:** james.engel@pnc.com [mailto:james.engel@pnc.com]  
**Sent:** Wed 1/11/2006 10:12 AM  
**To:** Tully, Tania  
**Cc:**  
**Subject:** RE: drawings

I think so. If you didn't get them (again) I'll have to figure out another way to transmit them.

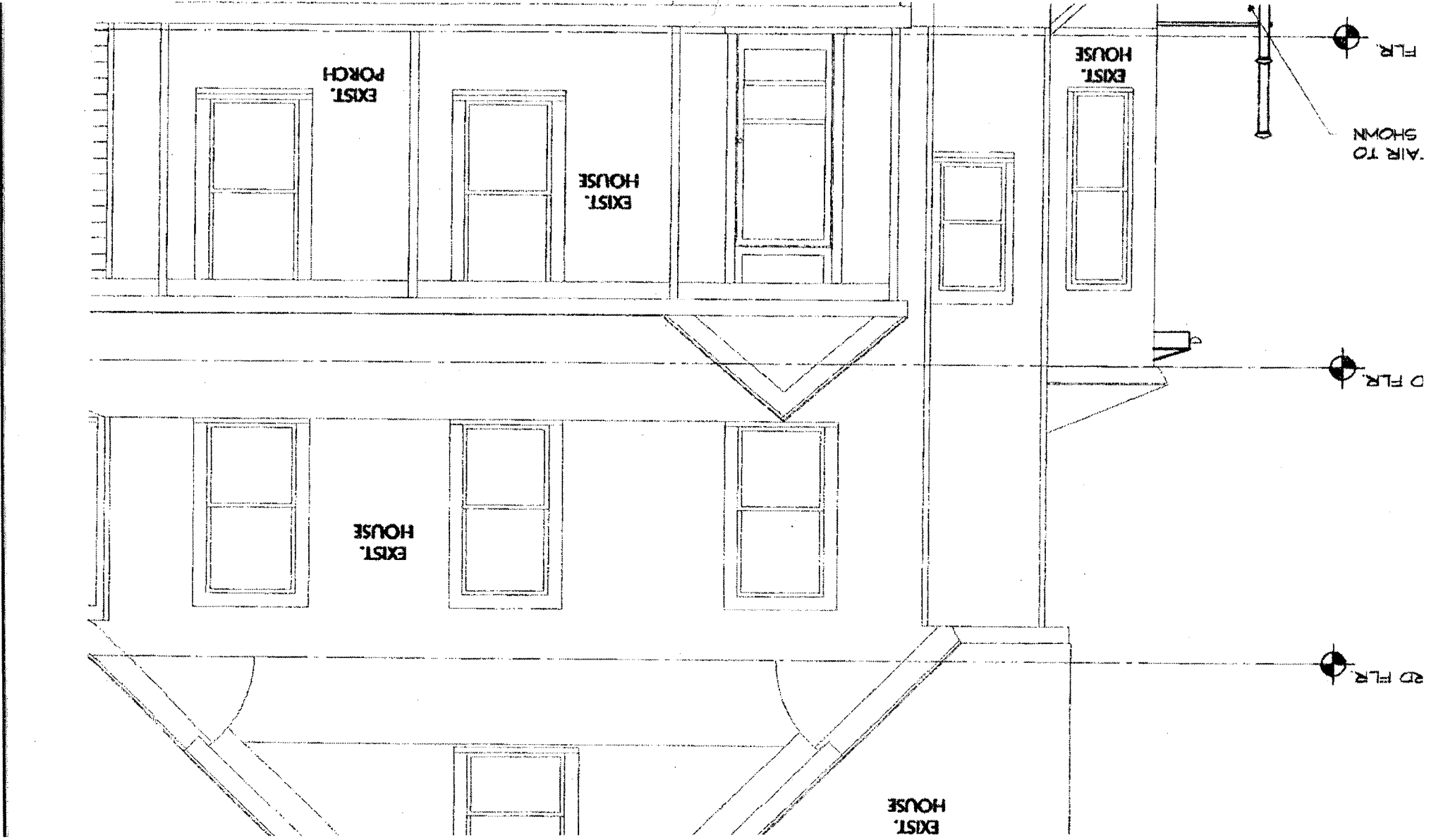
Jim Engel, Vice President  
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7200 Wisconsin Ave, Suite 314  
Bethesda, MD 20814  
James.Engel@PNC.COM  
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Mobile (301) 529 9062

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**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	10220 Carroll Place, Kensington	<b>Meeting Date:</b>	09/28/05
<b>Applicant:</b>	Maureen Conley and Jim Engel	<b>Report Date:</b>	09/21/05
<b>Resource:</b>	Primary 1 Resource Kensington Historic District	<b>Public Notice:</b>	09/14/05
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	31/06-050	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Partial Demolition, Rear Addition, Landscaping		
<b>RECOMMENDATION:</b>	Approve with Conditions		

---

**STAFF RECOMMENDATION**

Staff is recommending approval with the following conditions:

1. A tree protection plan will be provided to staff and implemented prior to any work beginning on the property.
2. Staff must approve the profile of any replacement wood siding.
3. Specification sheets for the windows will be provided to staff as part of the permit set.
4. The applicant will take a final good-faith look at the south elevation and try to achieve a solution that does not compromise the roof of the bay. Alternatives will be reviewed and approved by staff.
5. The trellises at the southeast patio (Circle 22) will not be greater than 5' in height and/or will be redesigned to be more open.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Primary 1 Resource within the Kensington Historic District  
**STYLE:** Victorian, Vernacular  
**DATE:** c1897

This 2½-story frame Victorian residence retains most of its architectural integrity despite alterations over the years. The major exterior changes include the aluminum siding and small rear additions. The wrap-around porch, cross-gable form, and most of the windows remain largely intact. There is a steep grade change across the parcel.

**DISTRICT HISTORY**

The Kensington Historic District is a well-preserved, turn-of-the-century garden suburb with Victorian era residences, curvilinear streets, and a vital commercial district. The community has its origins in a railroad stop known as Knowles Station, named after the major land holding family in the area. Beginning in 1890,

Washington developer Brainard Warner purchased and subdivided property along the Metropolitan Branch, transforming the community from a small passenger stop to a park-like suburban community. He named his subdivision Kensington Park, after a London suburb, and established a library, town hall, and Presbyterian church. Under Warner's persuasion, the Knowles Station depot and post office eventually changed to the Kensington moniker.

Inviting friends to join him in the country, away from the heat and congestion of Washington, Warner established his own summer residence on a large, circular parcel of land at the heart of the community. The Warner Residence, also historically known as Hadley Hall, is sited at the southern end of the historic district, at 10231 Carroll Place. The substantial structure is now the Carroll Manor Nursing Home. Kensington residences are designed in a variety of architectural styles popular during the Victorian period, including Queen Anne, Shingle, and Colonial Revival. These houses, built in the late 1800s and early 1900s, are clustered around the railroad station.

Residents of the growing community incorporated the Town of Kensington in 1894, with its own governing body. The suburb's appeal strengthened when Warner and others organized a trolley line along Kensington Parkway to Chevy Chase, to connect with the Capital Traction Line to Washington. Supplementing train service, the streetcar, operating from 1895-1933, made Kensington even more accessible in the pre-automobile era.

## **BACKGROUND**

The Commission first reviewed this proposal as a Preliminary Consultation at its January 26, 2005 meeting. Elevation drawings from the Preliminary and a copy of the minutes are attached beginning on Circles 42 and 46. The applicant is in the process of obtaining a minor subdivision of Lots 1 & 2 into a single platted lot (Erased lot line). It is in the signature phase.

## **APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Vision of Kensington: A Long-Range Preservation Plan***

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

**Montgomery County Code; Chapter 24A**

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

**Secretary of the Interior's Standards for Rehabilitation:**

- #2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- #3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- #9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- #10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**PROPOSAL****Demolition**

- 1) Remove the non-historic rear enclosed porch on the SW elevation (Circle 32)
- 2) Remove the shed addition on the W elevation (Circle 33)
- 3) Remove c.1975 aluminum siding
- 4) Remove c.1920 shingle siding
- 5) Remove the infill powder room on porch. (Circle 31)
- 6) Remove a Tulip Poplar and a Choke Cherry (Circle 20)

**New Construction**

- 7) Construct a 1-story addition on the SW corner (Circles 17&18)
- 8) Construct a small mudroom and porch on the W elevation (Circles 16 & 17)
- 9) Replace shed roof of 1966 addition with a hipped roof – Optional Item (Circle 17)
- 10) Replace other gutters with half-round gutters
- 11) Replace trim details as needed

*Materials*

- Windows – 1/1 wood
- Doors – wood
- Trim – wood
- Posts and railings – wood
- Horizontal siding – 7” exposure smooth clapboard cement board
- Foundation – parged block
- Roof – shed, asphalt shingles
- Rear porch – wood, lattice underneath

Rehabilitation

- 12) Existing window and door to be retained for future use
- 13) Minimal changes to be made to 1920s kitchen addition
- 14) Front porch flooring & ceiling repairs
- 15) Add trim and siding where powder room was removed
- 16) Remove aluminum siding
- 17) Remove 1920s shingle siding

Landscaping (Likely to be Phased as indicated below) Circle 21

- 1) Complete landscaping intended to integrate the two lots into one and containing a series of outdoor rooms.
  - a. Cottage Garden – crushed stone path, arched trellis
  - b. White Formal Garden – main lawn area
  - c. Bottom Garden – new garden shed (Circle 23)
  - d. Grotto Garden – exterior brick wall of existing well house, stone steps from rear terrace, future paved basketball area
  - e. Front Garden – no change
- 2) Two circular terraces between house and gardens
  - f. Front Terrace – vined trellises (Circle 22)
  - g. Rear Terrace – fire pit, stone stairs
- 3) Grade changes will be managed with fill, retaining walls and stairs (Circle 24)
- 4) Reduce size of the existing driveway
- 5) Potential future driveway relocation to Baltimore Street also shown.

*Materials*

- Terraces and walkways – crushed stone or slate pavers on crushed stone
- Retaining walls – stacked stone
- Trellis screens – wood

*Initial Phase*

- Demo existing railroad tie retaining walls
- Replace with stacked stone retaining wall
- Regrading and removal of Tulip Poplar
- Reduce size of driveway
- Expose wall of well vault and remove Wild Cherry
- Install shed



*Later Phase*

- Replace / add fences
- Install walkway, rose bower and arched trellis in Cottage Garden
- Relocate driveway to Baltimore Street.

**STAFF DISCUSSION**

Discussion of this proposal at the January 2005 Preliminary Consultation was primarily positive, including discussion of the rehabilitation plans proposed for the existing house. The scale and location of the addition was not an issue. The two items of question were the use of Hardi Plank siding on the addition and the resolution of the roof on the south elevation. The changes seen in the proposal presented in the HAWP application are the result of Commission comments, hiring a landscape designer, and a change in architects.

The proposed re-subdivision request to erase the lot line that divides their property is nearly complete. Staff commends the applicants for choosing this route rather than seeking a variance. The consolidation of the lots is a positive action that will help maintain the character of the district and the historically large parcels. It will also likely preclude future infill development.

The modifications to the design of the addition are not dramatic and the proposal still benefits the character of the historic house. In particular, removal of the non-historic siding and restoration of the original fabric will go a long way in increasing the architectural integrity of the house. Re-opening the north part of the porch is also a positive move. The proposed addition is modest, much of it replacing existing non-historic additions. The new construction is more compatible than the existing additions and the scale is appropriate to the house. The use of Hardi-Plank siding will help differentiated the new from the existing. Although the bay on the south elevation is a 1920s addition, staff is concerned about the proposed integration of its roof into the new addition. Staff understands the structural challenge that corner of the house proposes (Circle 36), but had hoped for a solution more in keeping with the Secretary's Standards. The proposed hipped roof on the existing condition is compatible and has historic precedence as seen on Circle 26.

The proposed landscaping is a complete design for the yard that will help visually achieve one lot, just as the minor-subdivision will do legally. Currently there are several retaining walls and a steep drop to Lot 2. The intent of the regrading is to reintroduce the gentle slope across the yard as much as possible. Staff applauds the reduction of asphalt, though any future driveway relocation change would need to include removal of the existing drive off Carroll Place and come back as a separate HAWP. The garden shed is of compatible design, scale, and location. The trellises in the southeast patio (Circle 22) appear to be too tall. The current design has a fence-like appearance and fences are typically not approved forward of the rear plan of the house at more than 4' in height. Staff is suggesting that they not be greater than 5' in height and/or will be redesigned to be more open.

Staff commends the applicants for tackling the restoration of the historic wood siding and reminds them that much of the rehabilitation work will be eligible for the Montgomery County Historic Preservation Tax Credit.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and provided the conditions listed on Circle 1 are met;

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jim Engel

Daytime Phone No.: 703 394 2545 or 301 529 9062

Tax Account No.: Lot 1 13-03253567 & Lot 2 13-01022890

Name of Property Owner: Maureen Conley + Jim Engel Daytime Phone No.: 301-933-9008 / 703-394-2545

Address: 10220 Carroll Pl. Kensington MD 20895  
Street Number City State Zip Code

Contractor: Kuzma Construction Phone No.: 301-571-5550

Contractor Registration No.: MD HIC LIC #16783

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

### LOCATION OF BUILDING/PREMISE

House Number: 10220 Carroll Pl. Street \_\_\_\_\_  
Town/City: Kensington Nearest Cross Street: Baltimore + Connecticut Ave.  
Lot: 1 & 2 Block: 8 Subdivision: Kensington Park (15)  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: re-grade

1B. Construction cost estimate: \$ 250,000 house + 40,000 landscape

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

Received

SEP - 7 2005

Dept. of Permitting Services

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 3 feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Maureen Conley Signature of owner or authorized agent Date: 9/6/05

Approved: 396694 For Chairperson, Historic Preservation Commission

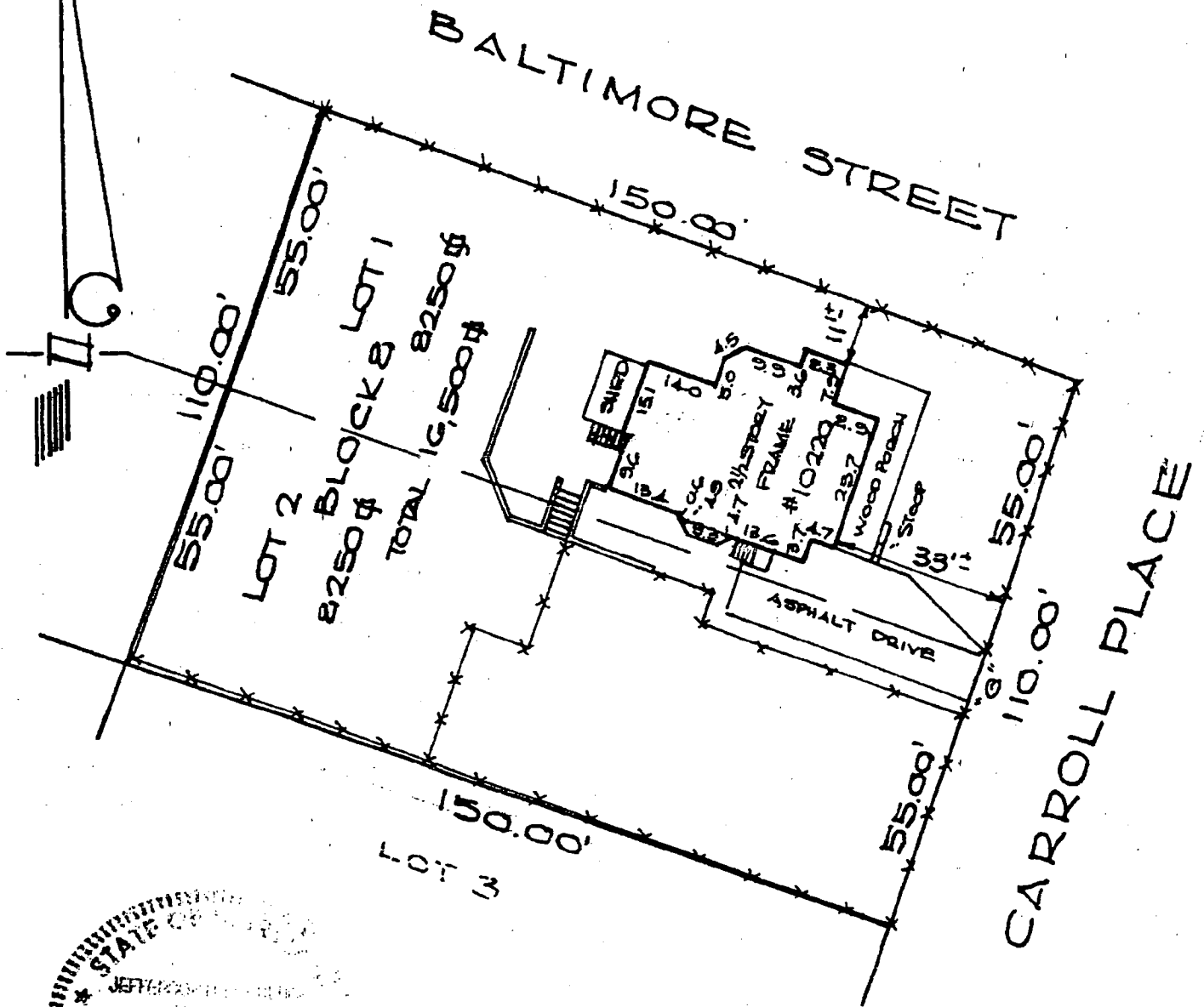
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edit 6/21/99 SEE REVERSE SIDE FOR INSTRUCTIONS

AP  
396694





Offset dimensions shown thus NN± are generally within 1 (one) foot of the stated distance if 20 feet or less. Longer distances may exceed 1 foot margin proportionally. All offsets depend on site conditions and other factors including but not limited to; elevation changes, availability of property markers, availability and age of land record data, irregularly shaped and or large lots.

*Jefferson D. Lawrence* 9-16-98  
 Md Reg. Professional Surveyor #5216 Jefferson D. Lawrence Date

Property shown hereon is not in a flood plain per existing records unless otherwise noted

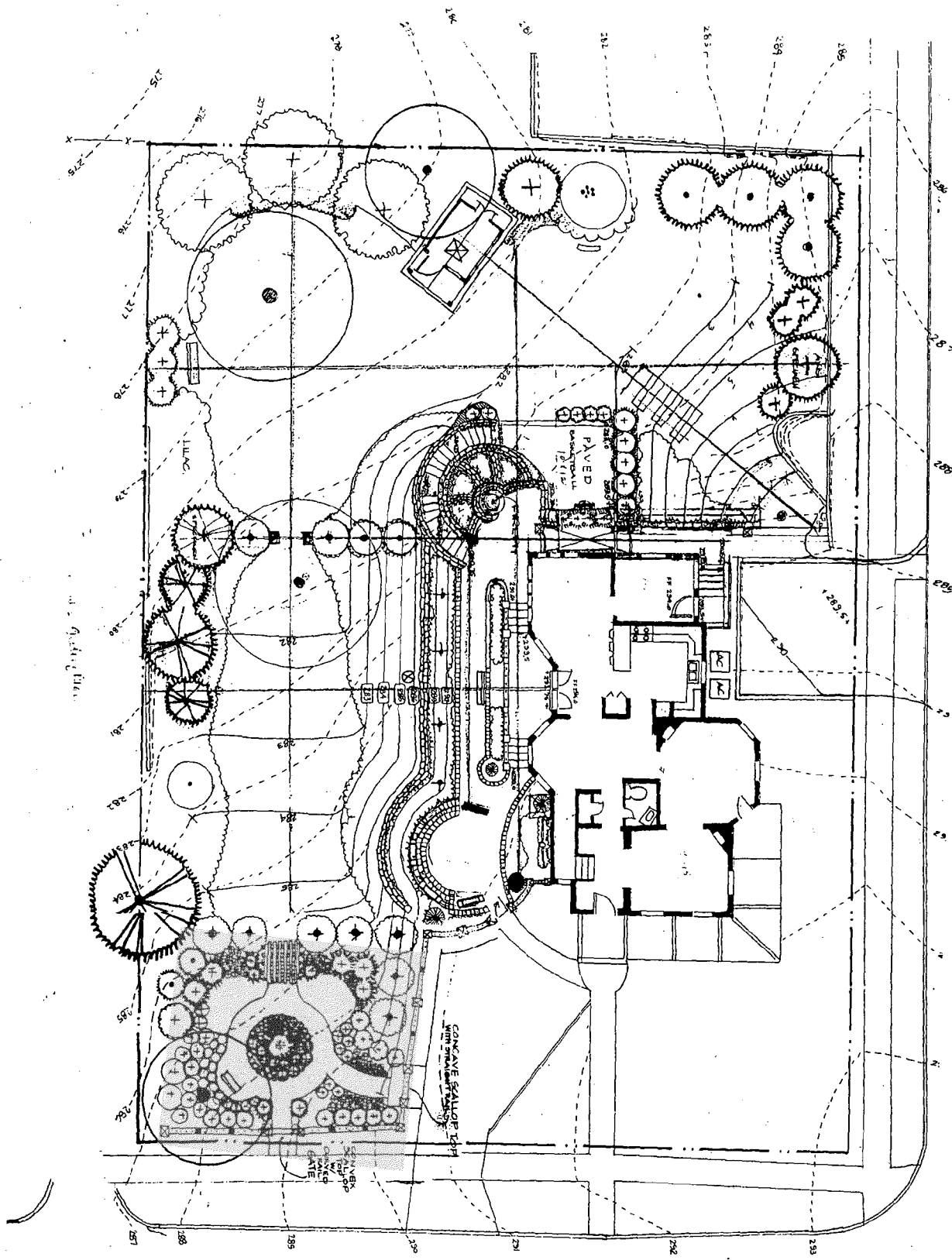
**O'CONNELL & LAWRENCE, INC.**  
 Surveyors, Engineers & Land Planners  
 17904 Georgia Avenue, Suite 302  
 Olney, Maryland 20832-2239  
 (301) 924-4570 Fax (301) 924-5872

**HOUSE LOCATION DRAWING**  
 LOTS 1 & 2 BLOCK B  
**KENSINGTON PARK**  
 MONTGOMERY COUNTY, MARYLAND  
 Plat Book: **B** Plat: **4** Liber: Folio:

**SURVEYOR'S CERTIFICATION**  
 I hereby certify to the best of my knowledge and belief that the property delineated hereon is in accordance with the Plat of Subdivision and/or deed of record, that the improvements were located by accepted field practices and include permanent visible structures and encroachments, if any. This drawing is not to be relied upon for the establishment or location of fences, garages, buildings or other existing or future improvements. This drawing does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing. Questions pertaining to relationships of the property corners or lines to real objects must be addressed by a Boundary Survey. This drawing is of benefit to a consumer only insofar as it is required by a lender or title insurance company or its agent in connection with contemplated transfer, financing or refinancing, and valid only within six months from field date, and as to them I warrant the accuracy of the drawing. No title report furnished.

Job No.	750-161
Scale	1" = 30'
Field Dates	
Wall Check	
Final Loc.	9-14-98
Recert	

8



**Existing structures, environmental setting, historic features, significance:**

c. 1897 Victorian-era home, having 2.5 stories with irregular gable height, prominent front gable feature, and wrap around front porch. Home is a Primary 1 resource in the Historic Core of the Kensington Historic District facing the west side of the front lawn of the former summer residence of the town's developer BH Warner.

Alterations by previous owners include the following:

- Bay window on southern exposure, c. 1920
- Kitchen addition on western exposure and relocation/construction of service porch to southwest exposure, c. 1920
- Shingle siding over lap siding on first floor, c. 1920
- Enlargement of service porch, c. 1950
- 2<sup>nd</sup> floor addition on top of kitchen, c. 1966
- Conversion of service porch into sunroom, c. 1966
- Changed grading of yard and constructed railroad tie retaining walls between upper and lower yard, c 1966
- Powder room built onto wrap around front porch, c. 1970
- Replacement of front/wrap around porch posts, c. 1970
- Replacement of tongue and grove front porch floor with plank floor, c. 1970
- Construction of Fiberglas shed on western elevation, c. 1970
- Aluminum siding, c. 1975
- Aluminum triple track storm windows, c. 1975
- Aluminum/vinyl replacement windows on north and south gables, c. 1975/1980.

**General description of project, effect on historic resource(s), environmental setting, and historic district:**

**Changes to House:**

- Minor subdivision of Lots 1 & 2 into single platted lot
- Demolish rear porch on southwestern corner and Fiberglas shed on western elevation. Replace with an enlarged one story room on southwestern elevation of kitchen and small mudroom and porch on the western elevation with the following features:
  - Double wood French doors on southern elevation in set-back facing Lot 2 opening to balcony, with stairs leading down to ground level.
  - Block foundation with parging to match rest of house.
  - 1/1 windows, minimal separation between openings to maximize light.
  - Shed roof on new first floor construction, copper-lined wells beneath existing windows on southern exposure of c. 1966 rear bedroom and western exposure of c. 1897 house.
  - Hardiplank lap siding in a different width than what is found on original house.
  - Wood trim on windows, doors, cornerboards, etc. will be similar to original house.

- Wood posts and railings on balcony and rear porch will be typical for the 1890-1910 period.
- Southern wall of existing kitchen and western wall of dining room will be opened up into the new room. Historic window and hardware will not be discarded and will be retained for possible future use.
- Doorway from porch into kitchen to be cut into western wall of kitchen. Window on western wall of kitchen to be filled in. Historic window will not be discarded and will be retained for possible future use.

The demolition of the existing rear porch mainly involves post 1950/1966 construction. Changes to the first floor, western elevation of the kitchen, including the new door, window fill-in and new rear porch involve the c. 1920 kitchen addition. The new rear porch will replace the lost "service porch," which is a feature common to Victorian era homes. These features will be reversible, if desired, by future owners.

- Remove shed roof on c 1966 second floor bedroom above kitchen and replace with hipped roof that will be shorter in elevation than the other gables found on the original house. This will provide some visual balance with the rest of the house. Hipped roof feature over kitchen is shown in similar house plan originally published in c. 1885, *Shoppell's Modern Houses*.
- Demolish first floor powder room on wrap around front porch north elevation and relocate powder room to interior of first floor. Retain opening onto wrap around porch as a new exterior door. Door-type to be consistent with styles used between 1890-1910. Door and trim will be wood, and any exterior siding will be replaced with wood lap closely matching existing house's original first floor lap siding.

Although the doorway onto the front porch was not original to this house, such doorways were common in the late 1800's. Removal of the c. 1966 powder room will restore the bay feature on the north elevation and the full depth of the wrap around front porch.

- Replace gutters on the house with "half-moon" gutters.
- Remove c. 1920 shingle siding on first floor and remove c. 1975 aluminum siding on rest of house. If necessary, replace missing trim with wood in styles consistent with other examples of this house in the Historic District.

#### **Changes to Landscaping:**

Landscape plan was commissioned with the goals of integrating the two lots into a single yard, creating usable entertainment spaces immediately adjacent to the house, and dealing in a cost-effective, aesthetically pleasing, and permanent way with the 17-foot grade change from the front to the back corner of the property. It was prepared by Harvard-trained landscape architect Judy Hanks-Henn, also a resident of the Kensington Historic District, who has a unique appreciation for the Victorian mind, style, and sensibility.

Overall concept is a series of garden rooms, experienced sequentially and incorporating several axes, focal points, and vistas, following the Classic Style. The front room will be a Cottage Garden, entered from the driveway and using colorful flowers, herbs and vegetables to provide color in spring and summer. It will feature a circular crushed stone path surrounding a round bed with a visual focal point in the center. To one side of the path is a rose bower, which will be chosen according to the salvage style. A line of boxwoods (transplanted from along the existing retaining wall) will form a visual barrier along the back edge of the Cottage Garden, with an arched trellis in the center through which a glimpse of the next room will be visible.

After passing beneath the arch, a visitor will enter into the White Formal Garden room. This area will be visible from the house and the terraces above and will be the main lawn area for games and activities. The prominent location lends itself to evening entertaining space. Because white colored flowers come forward at night, the monochrome white palette was chosen, allowing for highly visible arrangements to be seen from the distance of the upper terraces. A focal point will be placed on the far side of the Formal Garden where it is visible from the house.

Entering from the Cottage Garden, characterized by wild, abundant and colorful plantings, the Formal Garden will provide stark contrast with its calming, serene style and palette. Structure again will be provided by transplanting existing boxwoods and making use of existing Leyland cypresses to define the boundaries of this room. These evergreens will help define the space even in winter.

Continuing down the slope, the Bottom Garden room will be entered by passing between two larger urns or other similar planting containers. This room features a new garden shed, which will be visible from the front and rear terraces, the rear gate, and the house, but will provide a "surprise" feature to the new visitor as it remains just out of view from the first two rooms. The shed will be placed on an angle to offer the most pleasing vistas, with three new dogwoods planted behind and to the side. This garden is at the lowest, shadiest point of the yard and will feature woodland flowers and bulbs.

Next to the Bottom Garden is the Grotto Garden, defined by the exterior brick wall of the original well house, stone steps descending from the rear terrace above, and a new line of evergreens to enclose the space. The plan suggests the Grotto Garden may feature a paved surface suitable for basketball or dancing space, but at least initially we expect to plant grass or some other low groundcover.

Completing the tour of the gardens, a visitor can climb the steps leading to the rear gate on Baltimore Street. This hill will be regraded to make it more accessible and safer for stairs. Existing plantings in the corner, which were installed in 1999, will remain, though some may need to be moved because of overcrowding.

Two circular terraces will provide entertaining space and ease the transition from house to gardens. Both circular in design, the concept involves a front "ladies sitting circle," surrounded by vined trellises for privacy. This terrace will offer a place for children to play and people to gather. The front terrace is connected by a long pathway to the back terrace, organized around a central fire pit and stone stairs descending to the Grotto Garden. The stairs will surround an interior terraced planting area to soften the surrounding hardscape. The back terrace will provide space for outdoor cooking and will offer a "men's" gathering place.



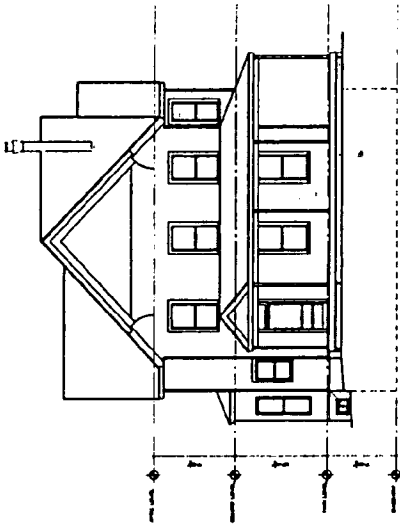
Beside the path that connects the two terraces, a major elevation change separates the upper areas from the gardens below. At its maximum, the elevation change is nine feet. This slope will need to be managed through the use of fill, retaining walls, and stairs. This regrading will be the main focus of the first phase of landscaping, as the existing railroad tie retaining walls have begun to rot.

Landscaping will be phased, depending upon cost.

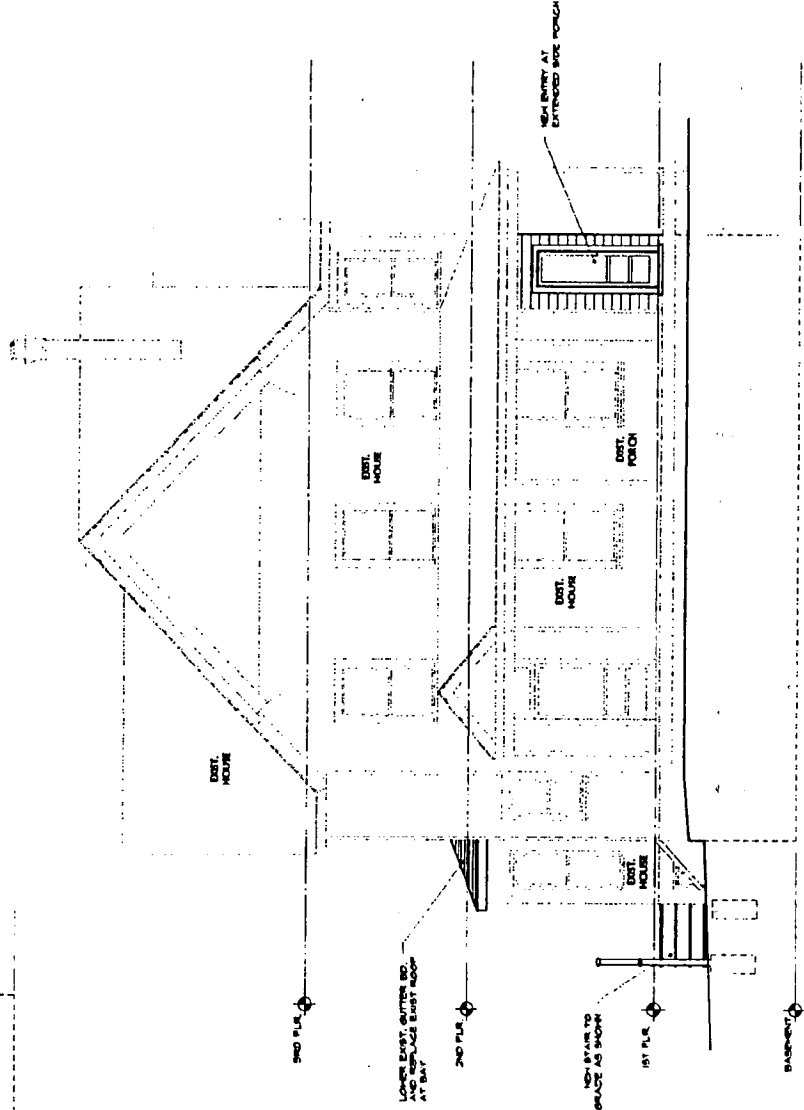
The Front Garden at the corner of Baltimore St. and Carroll Pl. will remain unchanged. This garden is currently a Wild Garden filled with flowering shrubs, perennials, bulbs, and annuals. Azaleas lining the front porch and filling the side yard along Baltimore St. will also be largely retained, though some azaleas may be relocated to fill in hillsides, particularly in the back where a large stand of overgrown forsythia now grows. We anticipate removing the forsythia, as it does not currently receive enough sunlight to flower properly.

**Initial phases:**

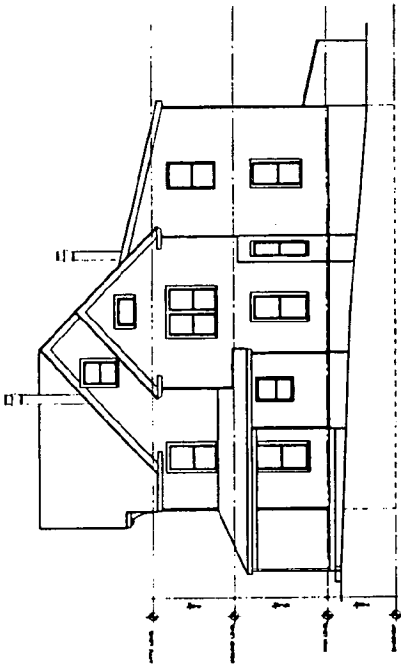
- Demolish c. 1966 multiple railroad tie retaining walls separating upper/lower yards.
- Replace retaining walls with single run of retaining wall constructed of stacked stone, halfway between the elevation of the lower yard and upper yard. Regrade as necessary, including to create flat terrace areas next to existing driveway and walkway around southwestern corner of house.
- Regrading the steep slope on the south side of the house will require removal of c. 1966 tulip poplar to allow construction of stacked stone retaining wall. The landscape architect considered several options for keeping this tree, including building a retaining wall around it, but was unable to incorporate it in the plan without sacrificing the original goals of integrating the two lots, creating usable entertaining spaces next to the house, and permanently addressing the slope issue. Reforestation will be accomplished with the planting of four crape myrtles or other similarly "human-scaled" trees equally spaced along the top of the retaining wall.
- Terraces and walkways to be either crushed stone or slate pavers on crushed stone. Edges of walkways to be constructed of block paver stone.
- Relocate/re-use existing boxwoods, if possible, along top edge of new retaining wall and to create definition between garden rooms.
- Wood trellis screens around front terrace will be planted with wisteria, trumpet vine, clematis, and other flowering vines.
- Reduce size of existing driveway.
- Expose brick exterior wall of well vault as a garden feature. Requires removal of c. 1966 wild cherry on western exposure of house, which grows only a few feet from the railroad tie retaining wall that surrounds the well vault. Reforestation will be accomplished through three dogwoods



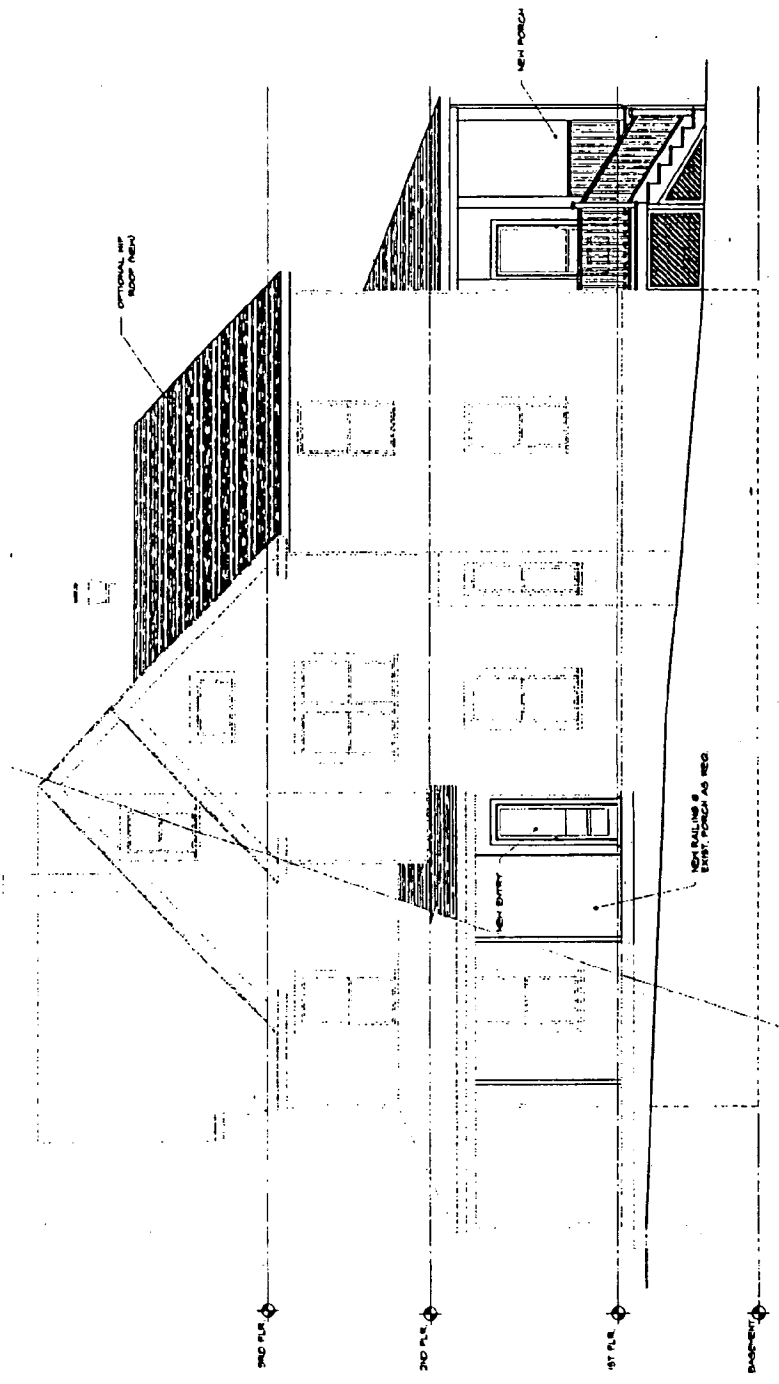
AS EXIST. EAST ELEV.  
1/8" = 1'-0"



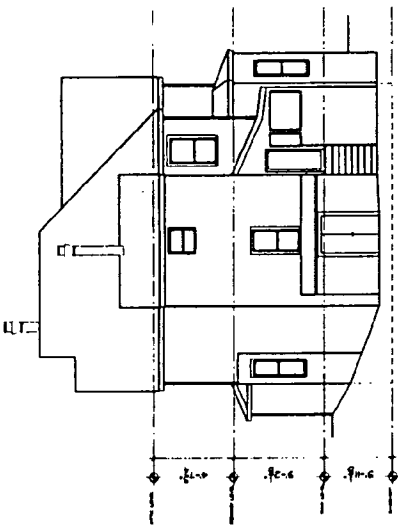
3 EAST ELEVATION  
1/8" = 1'-0"



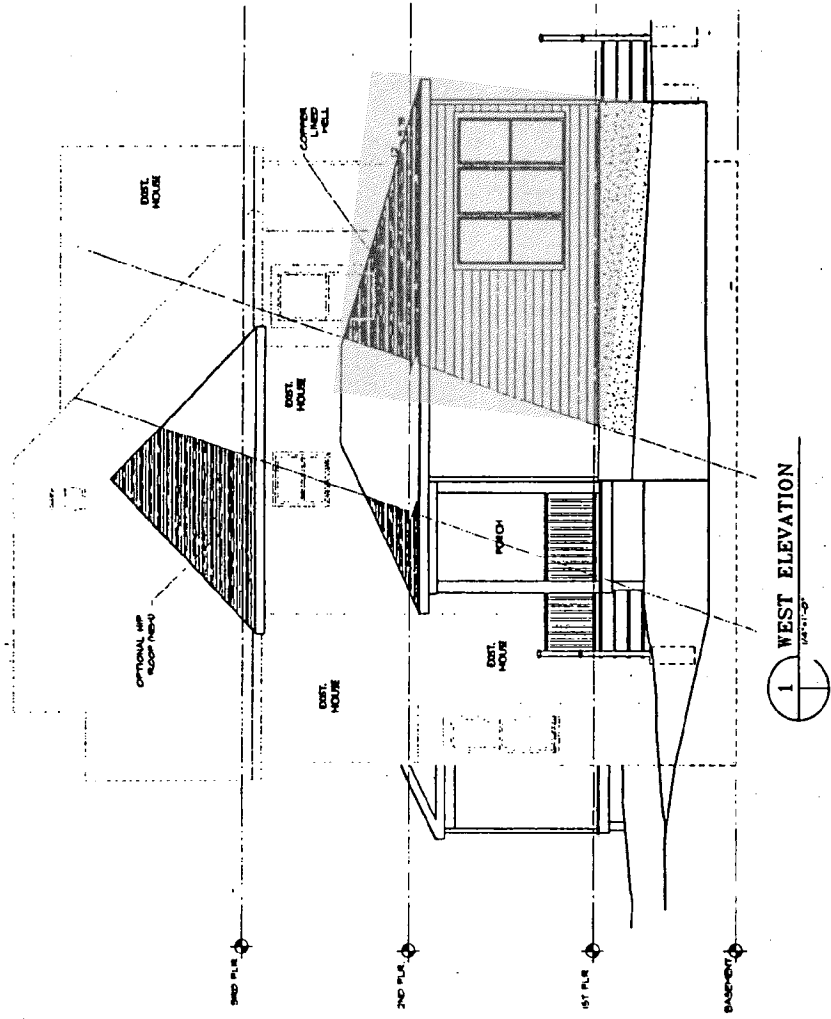
A4 EXIST. NORTH ELEV.  
1/4" = 1'-0"



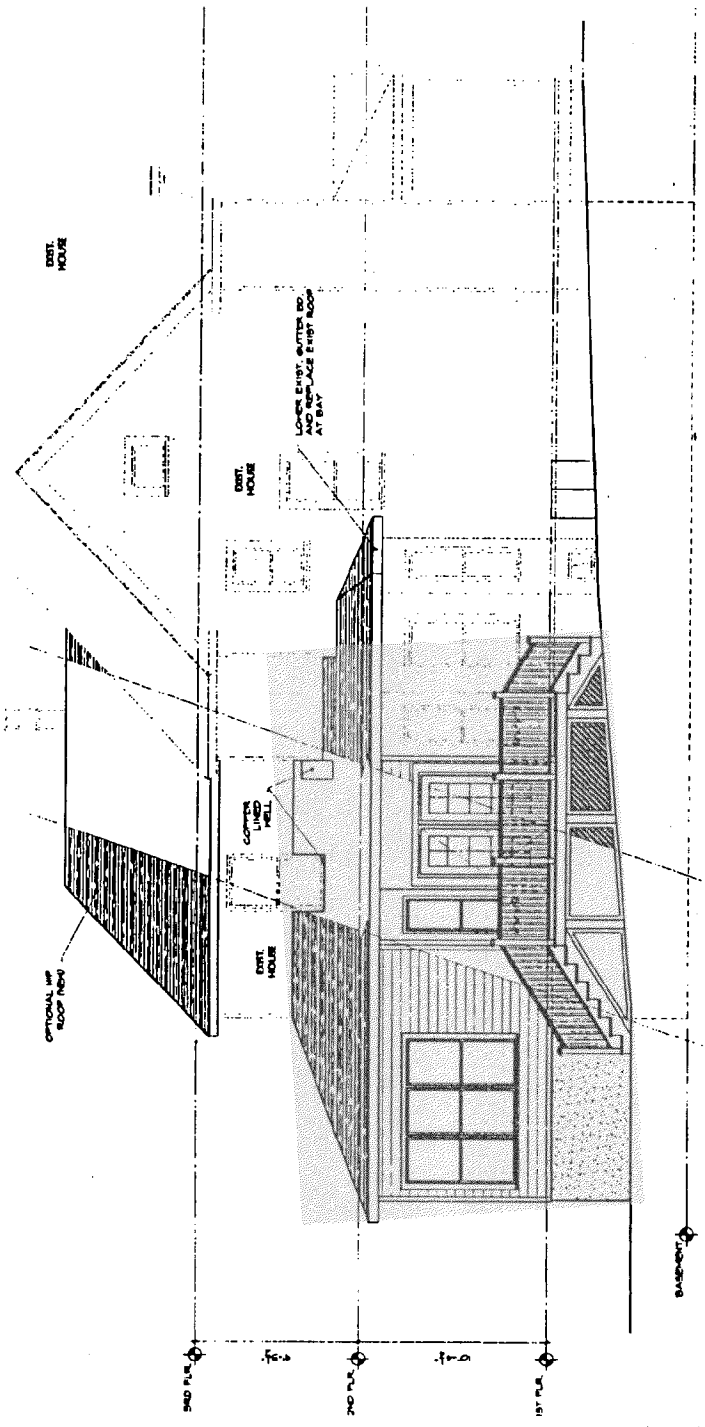
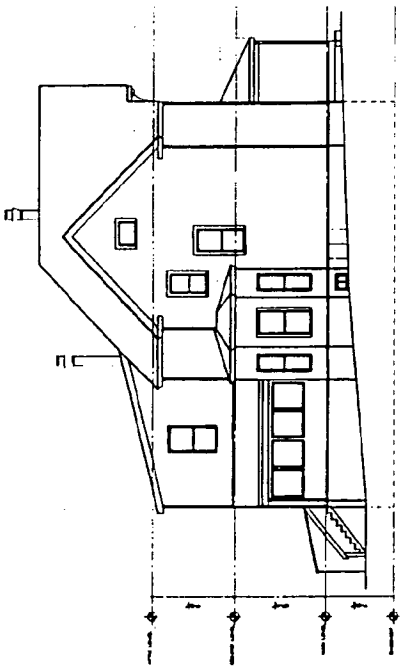
4 NORTH ELEVATION  
1/4" = 1'-0"



A1 EXIST. WEST ELEV.  
1/4" = 1'-0"



1 WEST ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION







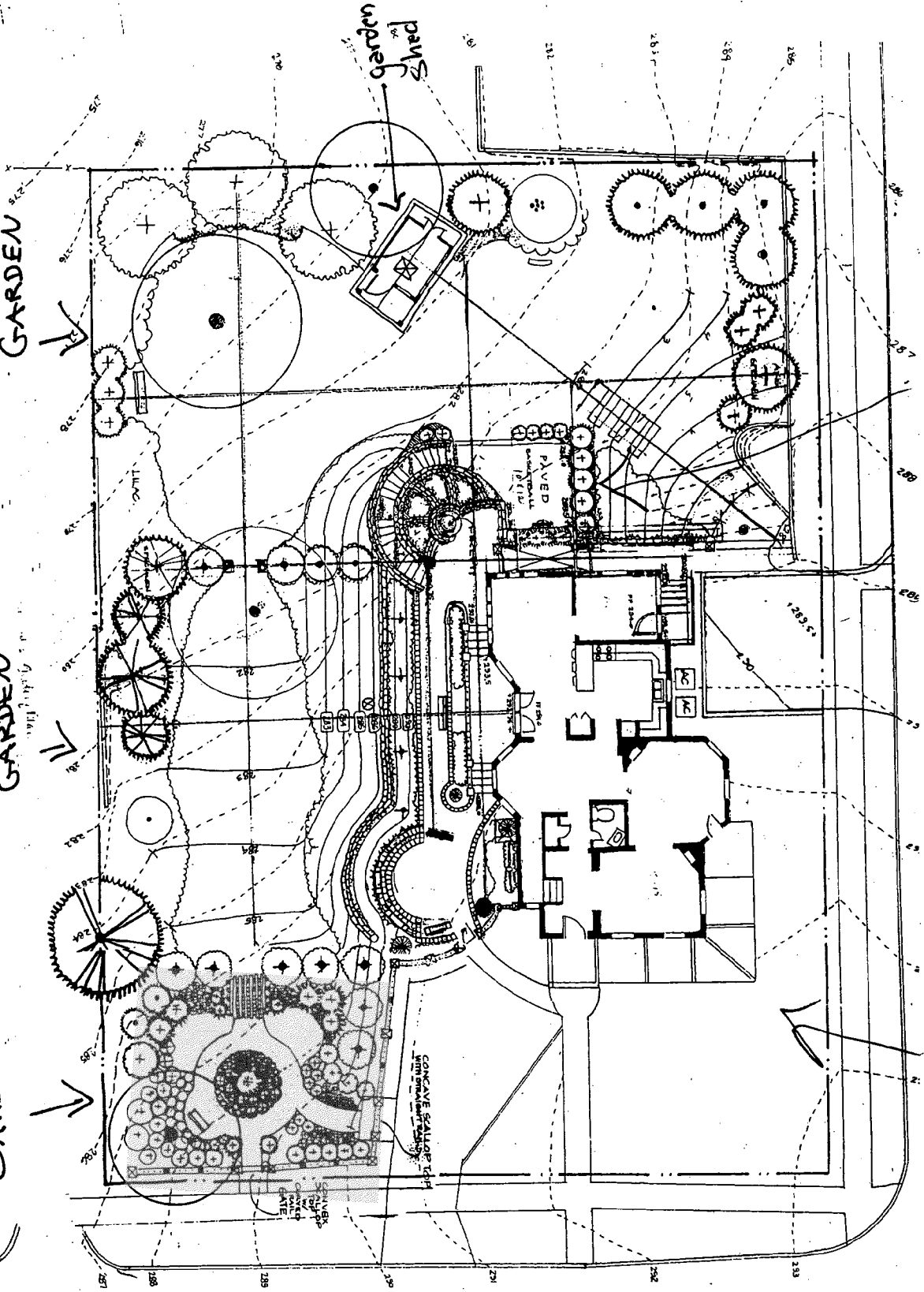
COTTAGE GARDEN

WHITE FORMAL GARDEN

BOTTOM GARDEN

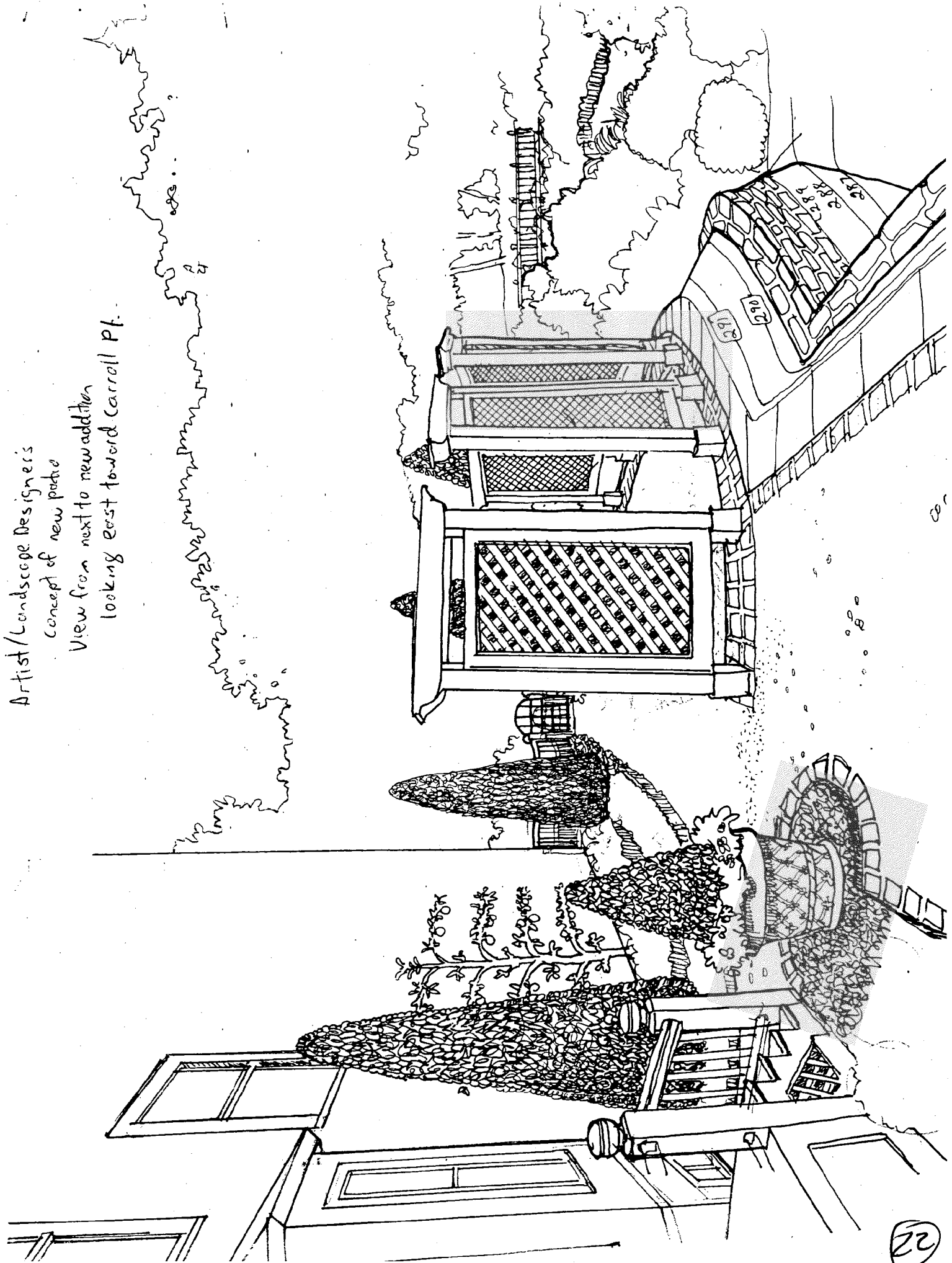
GROTTO GARDEN

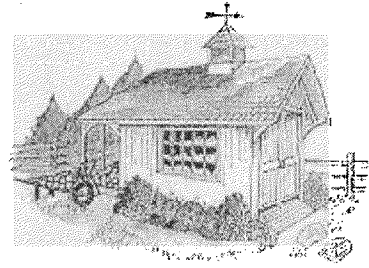
FRONT GARDEN (EXISTING)



Artist/Landscape Designers  
Concept of new patio

View from next to new addition  
looking east toward Carroll Pt.

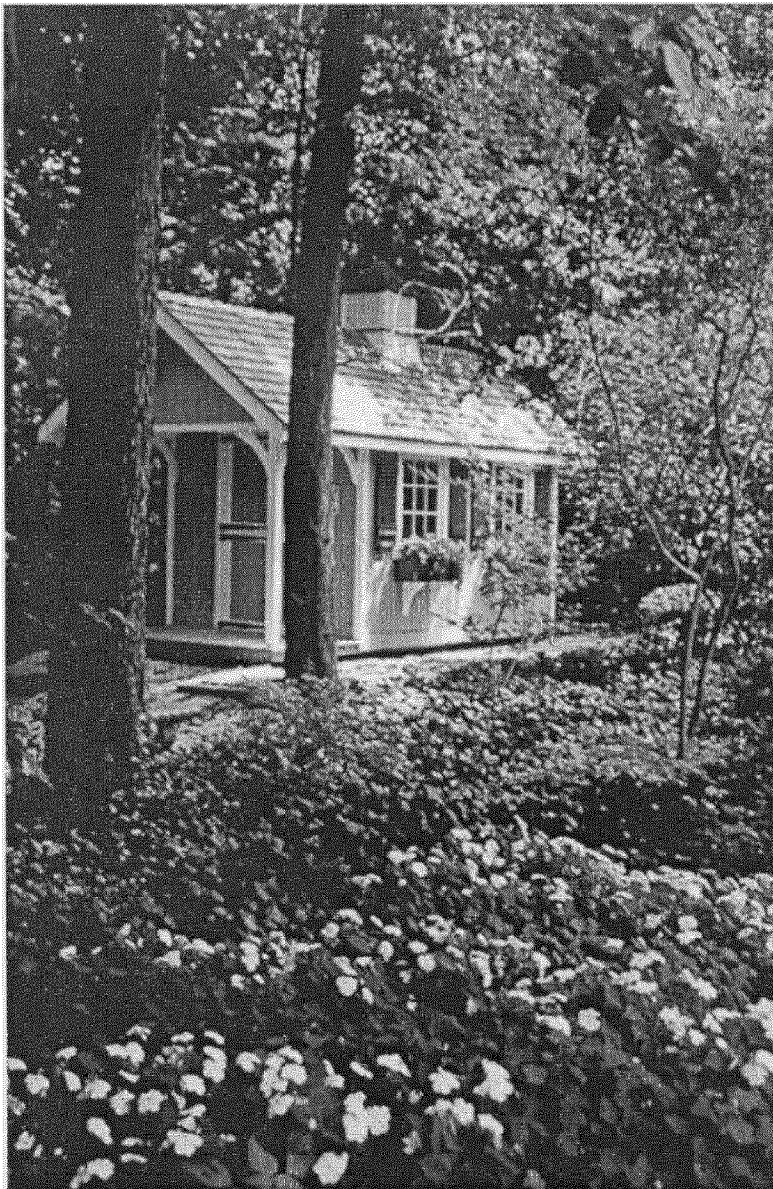


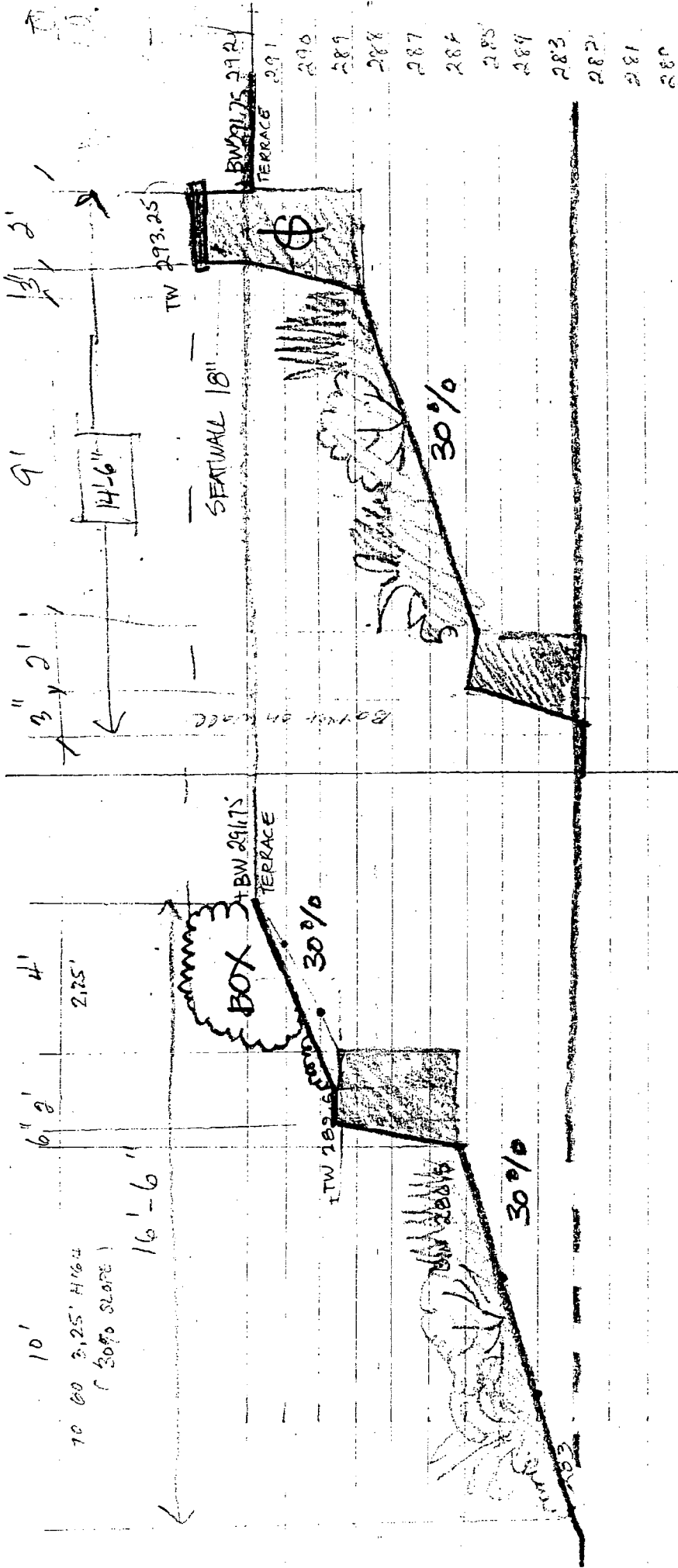


**Design A** (click for photos)

8' x 12' x 10½' high  
Woodshed lean-to 4' long  
x 8' wide

This roomy garden shed will house a multitude of garden tools and equipment. A six foot wide door provides easy access. The window has true divided lights and can be opened for ventilation. The optional cupola also provides ventilation. The wood shed at the back holds an ample cord of wood. It is also an option. A very attractive and functional out building.





THIS.

"Gothic"  
(natural) garden

Do a Scale version

IDEAL  
CONFIG.

SOLUTIONS USING 2'-3' GRAVITY WALL

Classic style  
garden

Collage (floor)

NOT THIS.



*All Things Financial.*

**Fax Cover Sheet**

JAMES ENGEL  
VICE PRESIDENT  
1650 TYSONS BOULEVARD, SUITE 1150  
MCLEAN, VA 22102  
TEL: 703-394-2545  
FAX: 703-734-1834

**Date:** September 19, 2005

**To:** Tania Tully, Preservation Planner  
MNC-PPC-Montgomery Co.

**Fax:** 301-563-3412

**From:** JIM ENGEL

**Tel.:** 703 394 2545

**Pages:** \_\_\_2\_\_\_ including cover sheet

**Comments:**

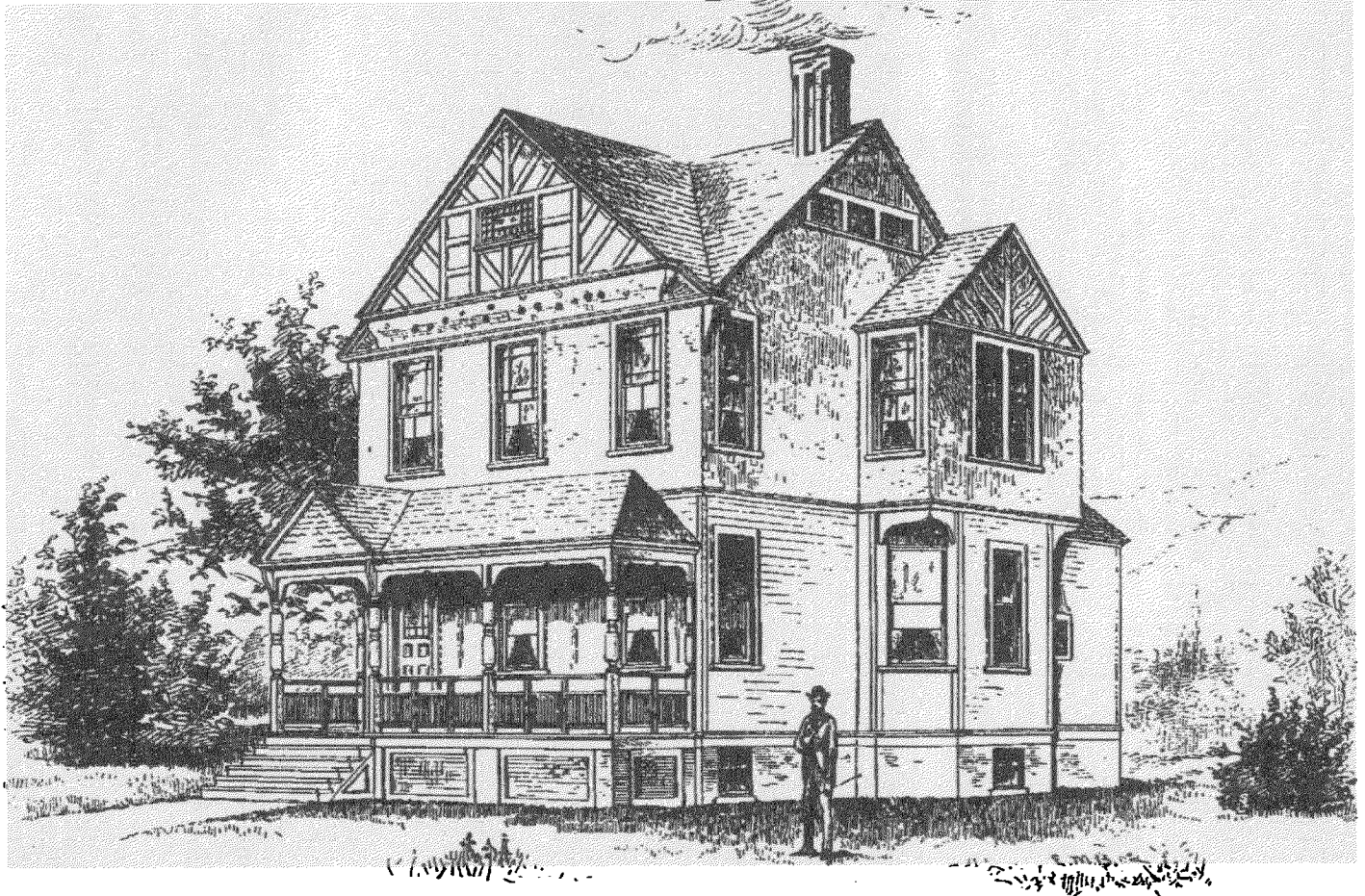
RE: 10220 Carroll Place, Kensington.

Shoppell's Modern Houses, Design No. 282, circa, 1885. Note hipped roof over kitchen.

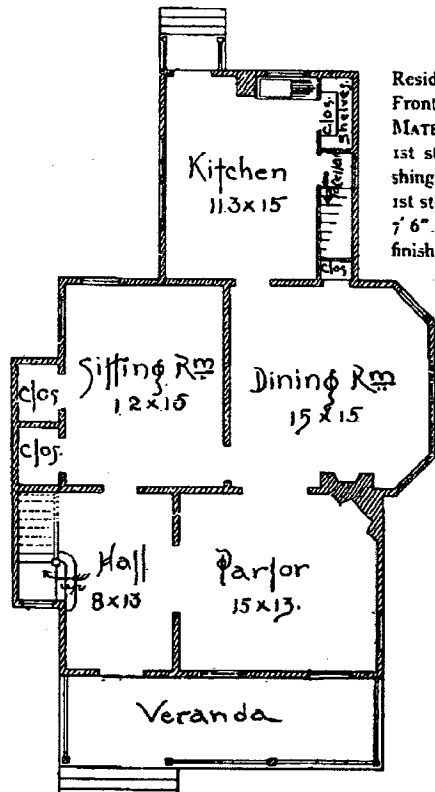
While this is has some variation from our house (which was probably a "knockoff" design,) some of the room dimensions are the same. It is interesting to note that along with the 2 others like ours in Kensington, there is also one on the main street in Chestertown, MD.

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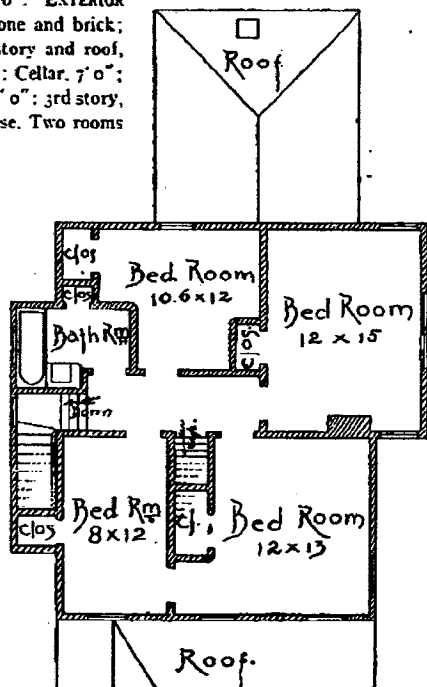




PERSPECTIVE VIEW



Residence. Cost: \$3070. DIMENSIONS: Front, 31'0"; depth, 51'6". EXTERIOR MATERIALS: Foundation, stone and brick; 1st story, clapboards; 2nd story and roof, shingles. HEIGHT OF STORIES: Cellar, 7'0"; 1st story, 10'0"; 2nd story, 9'0"; 3rd story, 7'6". Cellar under main house. Two rooms finished in attic.







Thursday, September 01, 2005

Mr. Jim Engel & Ms. Maureen Conley  
10220 Carroll Place  
Kensington, MD 20895

#### PROPOSAL/AGREEMENT

Kuzma Construction will provide all permit drawings, permits, labor and material to complete the scope of work as per final preliminary drawings and the following specifications and description:

**Demolition.** Take apart and remove the following existing areas: Powder room down to floor framing; Wall and adjacent area between current family and dining rooms, entire existing rear sunroom, attached rear shed, kitchen down to framing and sub floor (see note in finishes about kitchen floor), and siding on exterior walls where new walls and roof planes are to connect. Provide a total of four 30-yard dumpsters for the removal of all associated debris from the premises, dumpster to be located in driveway for the duration of the job.

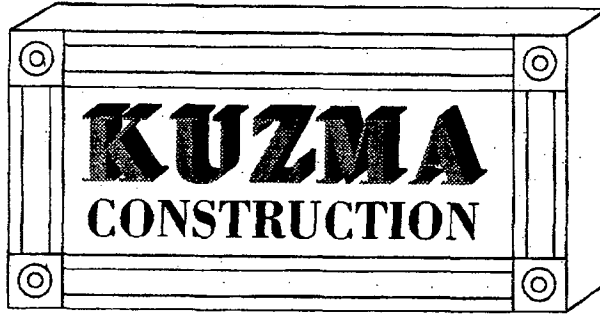
**Foundation.** Excavate for and pour 18" x 12" concrete footings with two #4 re-bars 30" below grade. Build 8" block foundation with parged exterior to level of floor framing. Note: Area of existing well to be built around, no modification or repairs to that well are included in this scope of work. Interior of crawl space to have access door, include 6-mil poly vapor barrier and leveling and tamping of crawl area. Also pour concrete landing area and three concrete piers for the Baltimore St. side porch steps, and concrete piers for other porch steps.

**Framing.** All foundation walls to have pressure treated 2x8 mudsills bolted to the foundations with 1/2" anchor bolts 6'-0" on center. Floor framing to be 9 1/2" Truss Joist type with 11 7/8" microlam beam at mid span of longer living area. Floor sheathing to be 3/4" tongue and groove OSB (Oriented Strand Board), glued and nailed. All exterior and interior walls to be framed with single 2x4 bottom plate, double 2x4 top plates, and 2x4 studs 16" on center. For exterior walls include double 2x10 headers over window and door openings. Install drop wood beam between kitchen and new family room to carry load when opened up.

All roofs to be framed with double hip jacks and common 2x10 rafters, 16" on center, and 5/8" OSB sheathing. Hip jacks may be engineered as micro lam beams. Ceiling framing to be either 2x8 or 2x6 16" on center. Ceiling of family room to be approximately 9'-6", kitchen ceiling height to remain the same, ceiling height in powder room to be approximately 8'-0". Include venting of exhaust fan in powder room to the exterior of house.

The existing bay window in the new breakfast room is to have a new roof integrated with the family room roof as per plans. This will necessitate a dropped ceiling over that area in the breakfast room, to be finished with sheetrock. If during the course of construction this area can be simplified in construction there may be a price reduction commensurate with change in the scope of work.

**Roofing.** Provide Ice and Watershield over the entire roof area. Provide and install 30-year asphalt shingles with caps at hips and Flashvent venting at sidewall tie-ins for attic ventilation. Install custom copper window wells at two windows. Install white half round aluminum gutters and downspouts on entire addition.



ENGEL/CONLEY PROPOSAL/AGREEMENT- PAGE TWO

New windows and exterior doors to be Weathershield with low-e, argon glazing, primed exteriors, oil-rubbed bronze hardware, and insect screens for the windows and center hinged door unit only. Note: The total allowance for exterior door and window units is \$6,995 at contractor's cost. Change in manufacturer or specifications may result in cost increase or decrease.

Exterior finishes. All new eaves, fascia, soffit, and rake trim to be All-trim grade, pre-primed. Include aluminum vents for new soffits. All outside corners to be All-trim 5/4, siding to be 7" exposure smooth clapboard type Hardy plank, window and door trim to be All-trim. Include cap flashing for all windows and doors. Note: Assume 1'-0" overhangs at roof.

Front porch. Patch flooring with 5/4 x 6 pressure treated decking boards, ceiling with 1x4 double pattern beadboard, and posts and header framing and trim to match existing. Also include new trim/siding on that short gable end.

Rear porch. Same as above with traditional porch railing, 6x6 columns, and stairs to grade with closed risers. Include lattice to close off under porch with one removable panel. Side landing and stairs: Frame with pressure treated lumber and install pressure treated 5/4x6 decking and painted risers and side lattice work. Include graded gravel or leave existing concrete if graded properly, on 6-mil poly under these areas.

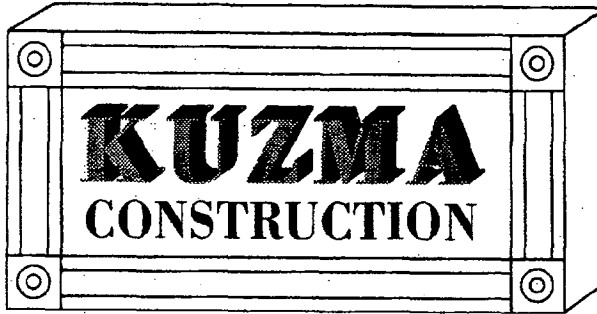
Insulation. Provide R-30 batt insulation for the new floor areas, R-38 for the ceiling areas, and R-13 for the exterior walls. Also include Tyvek house wrap on new and re-sided walls.

HVAC. Remove and dispose of indicated radiators. HEATING. Provide and install cast iron baseboard as follows: (2) 24" units in breakfast room bay, (1) 18" on family room angled wall, (2) 36" units on family room walls, (1) 18" in mudroom, (1) 18" in foyer area of family room. The family room and mudroom area will be on it's own thermostat. The kitchen will have two power kick plate heating units located in toe space of cabinets. COOLING. Demo existing vents as required by new layout and install the following new floor vents: (2) in family room, (2) in kitchen, (1) in mudroom. Also install two new high air returns in dining room and breakfast room.

Plumbing. Demo and cap existing powder room and kitchen. Provide all new waste, vent, water piping, and gas line for new kitchen layout, and new powder room location. Kitchen. Set and connect faucet disposal, dishwasher, icemaker for refrigerator, and gas range. Powder room. Provide, set, and connect toilet and pedestal sink with faucet. Relocate/install one new exterior hose bib on the rear of house @ allowance of \$220. The following are allowances for items provided at cost: Kitchen faucet- \$260, disposal- \$250, toilet-\$175, pedestal sink-\$250, ped. faucet-\$225, Note: Kitchen sink to be purchased by owner and installed by countertop fabricators.

Electrical. As per attached two sheets from Bill's Electric Co. Include installation of and 3-way switching for owner supplied ceiling fixture for new dining room. Exclude replacement of old work in other parts of the house this scope and budget.

Interior finishes. Provide and install 1/2" sheetrock in new areas including taping, spackling, and sanding. Include point up between priming and finish coats of paint. Also include plaster patch if needed in dining room area of old chimney chase.



ENGEL/CONLEY SCOPE AND BUDGET- PAGE THREE

Install baseboard and casing to match existing as closely as possible from stock trims. Assume all trims to be painted this scope. Doors to pantry, mudroom closet, and powder room to be provided with hardware by owner and installed by Kuzma at allowance of \$840, labor and materials, which includes cost of new doors for pantry and mudroom closet if old ones not used. There will be one shelf and one pole in the mudroom closet this scope of work. Exclude pantry shelving, which will be done by homeowner.

Provide labor for the installation of owner-supplied butler's area cabinetry, solid surface countertop to be installed by fabricator.

Floors. Provide and install new 2 1/2" tongue and groove salvaged antique pine flooring throughout kitchen, family room, and mudroom. Provide sanding and application of four topcoats of stain/urethane to this new flooring and the flooring in the new dining room, breakfast room and powder room. Include new shoe molding from stock trims. This scope of work may change if original flooring under kitchen is salvageable. Allowance for material is \$6/square foot, contractor's cost.

Kitchen. Provide setting, leveling and connection of all owner provided appliances and cabinets, fillers, and associated trims. Allow two men five days to set these items, not including solid surface countertops and sink which are to be set by fabricator and purchased by the client directly. Exclude any tile backsplash this scope.

Painting. Prep, prime, and apply two coats of Duron paint to all new interior surfaces and breakfast room, dining room, and powder room. Exterior surfaces to be painted include all new siding and trim. Pressure treated decking to be unfinished. Note: The total budget for interior painting is \$3,500. This allows for eggshell finish and all prep work.

General. Provide final cleaning of all new surfaces and proper grading from new structures. Note: This assumes finished landscaping by others. Exclude bar sink, work related to possible new water service, any other re-roofing or siding work, cost of kitchen cabinets, countertops, sink, and appliances, and cabinets and counter for butlers area.

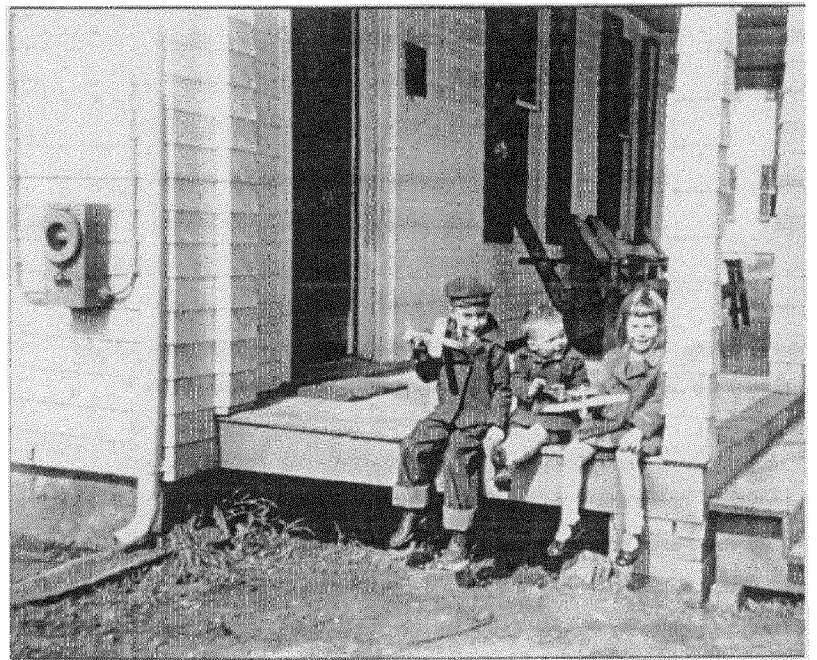
The above scope of work should be substantially complete within twenty four weeks not allowing for weather delays and possible added work. Any material changes or modifications to the as specified project or this proposal (including total job cost) will be agreed to and acknowledged using written additional work authorization or change order forms, signed by both parties and payable in full upon completion of that work. Include all manufacturers' warranties on materials provided and two-year warranty on all labor.



Eastern elevation today



Eastern elevation c. 1950



Front porch c. 1950

note parging on foundation  
shingles on first  
Floor



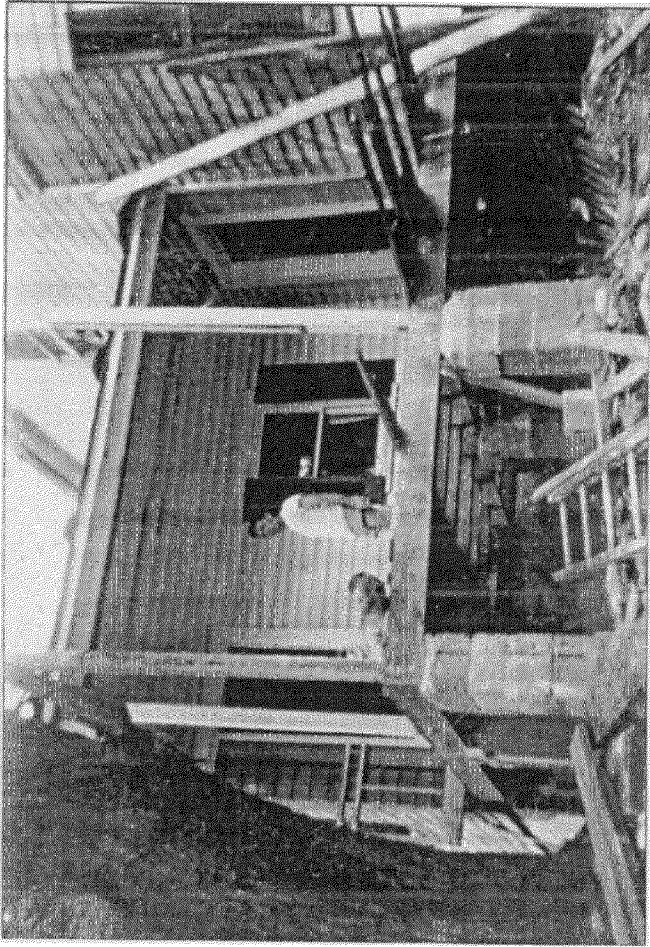


North elevation

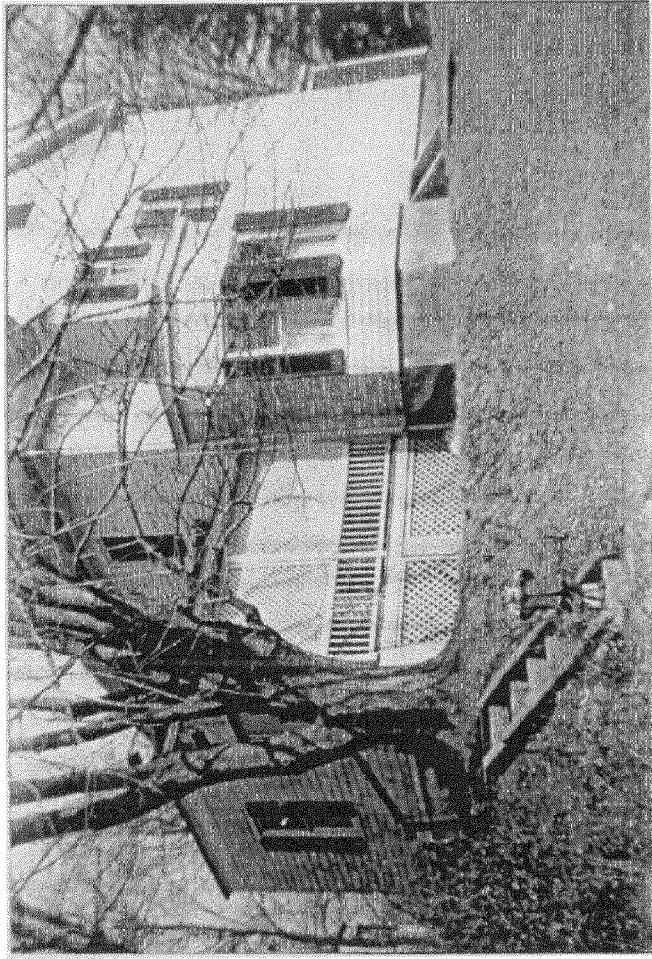


North ~~west~~ corner  
east

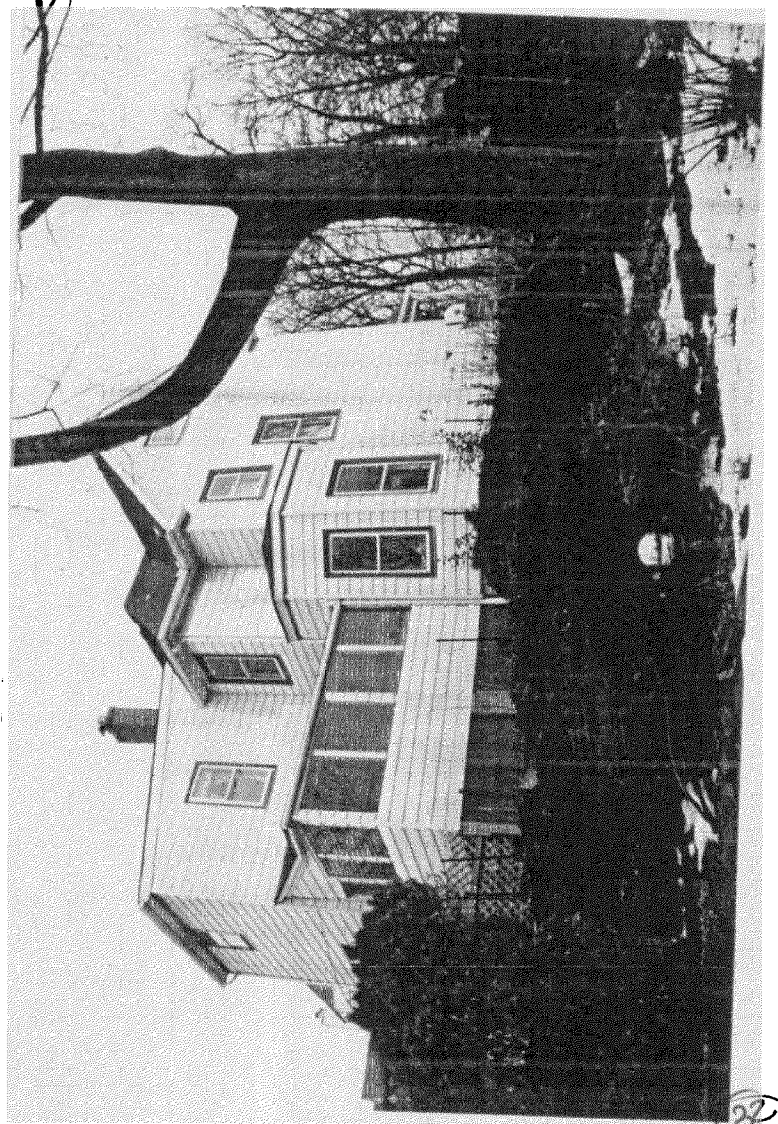
porch infill



South west Porch being expanded c. 1951



South west Porch, prior to expansion, c. 1950  
Note parging on foundation



South west Corner today  
with rear enclosed Porch





South elevation today

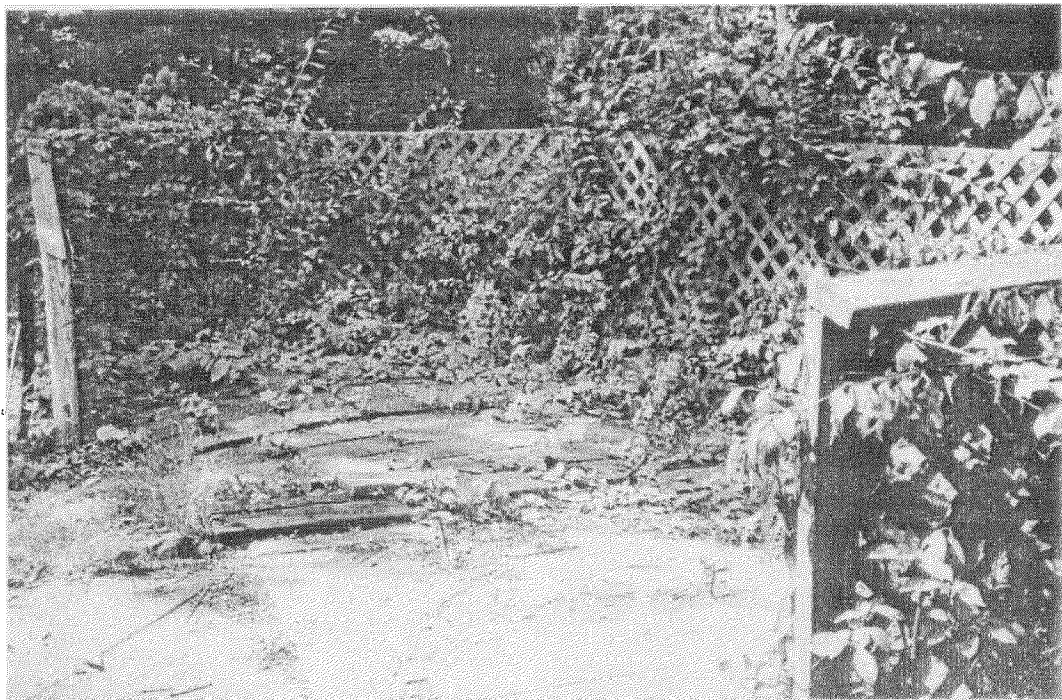
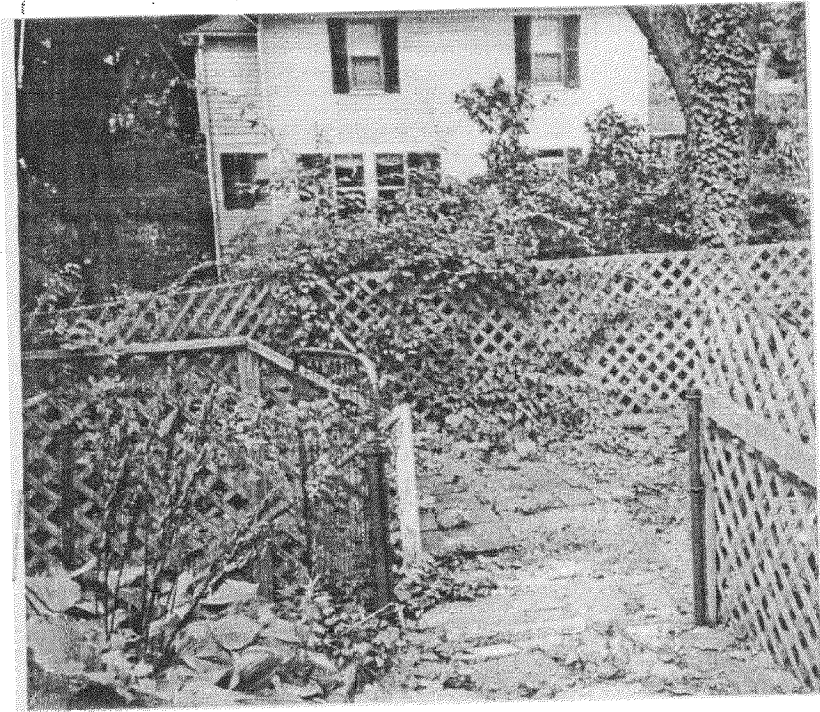


West elevation today

Shed addition

10220 Carroll Pl.  
existing back terrace and stairs

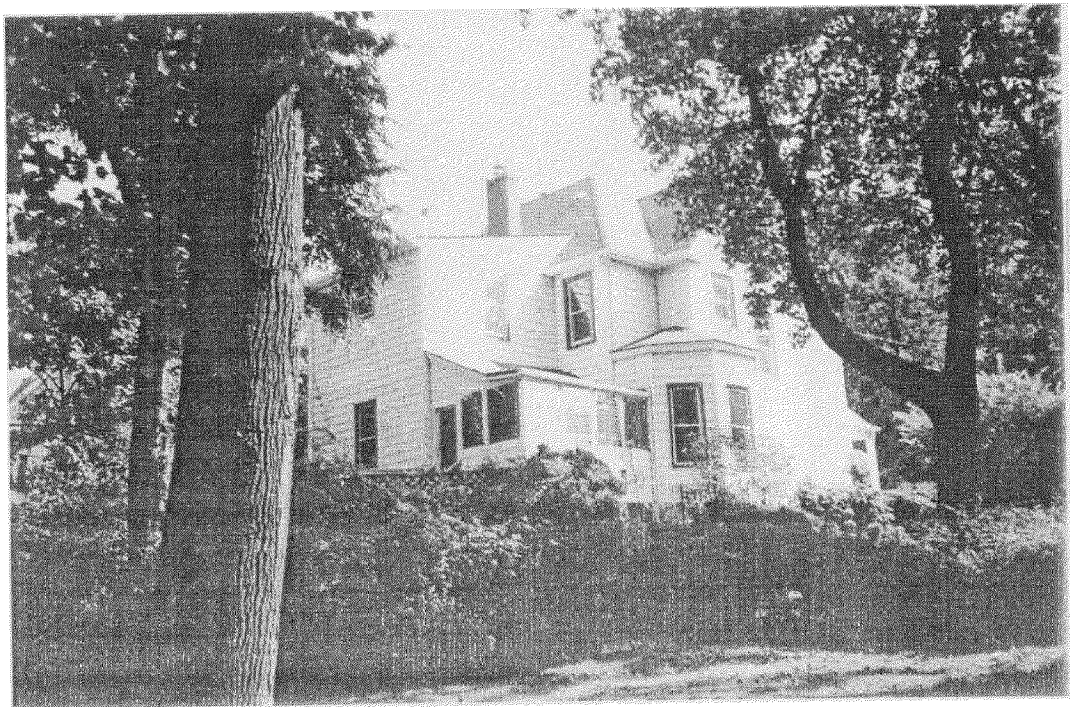
Existing back terrace & stairs





0220 Carroll Pl  
view from lowest point. toward house

View from lowest point towards  
hse.





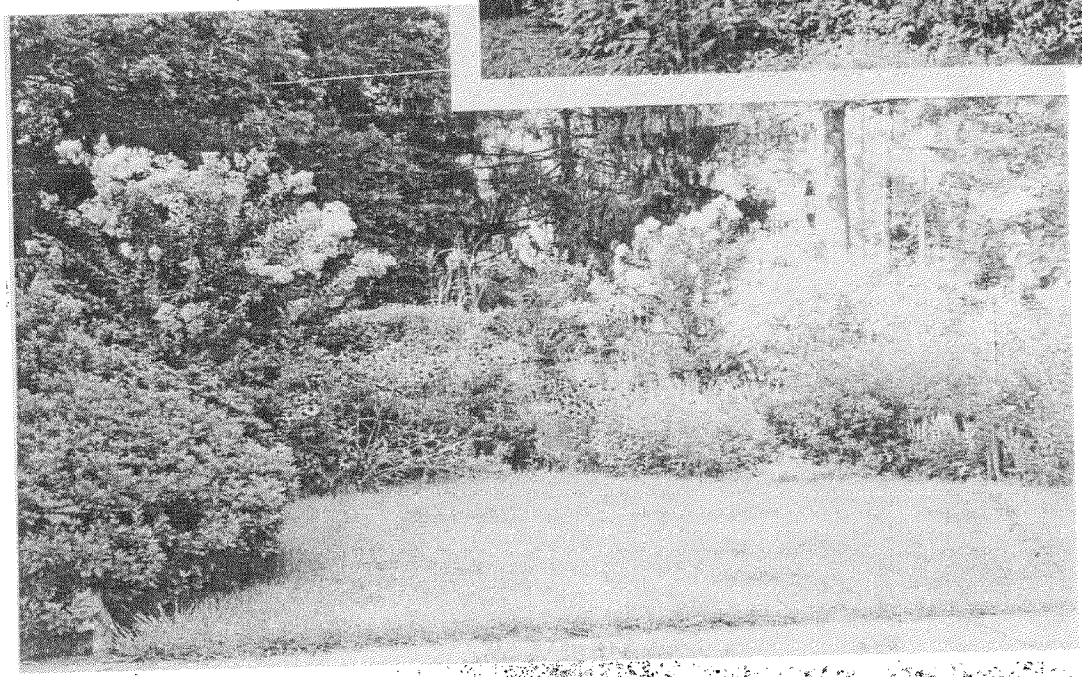
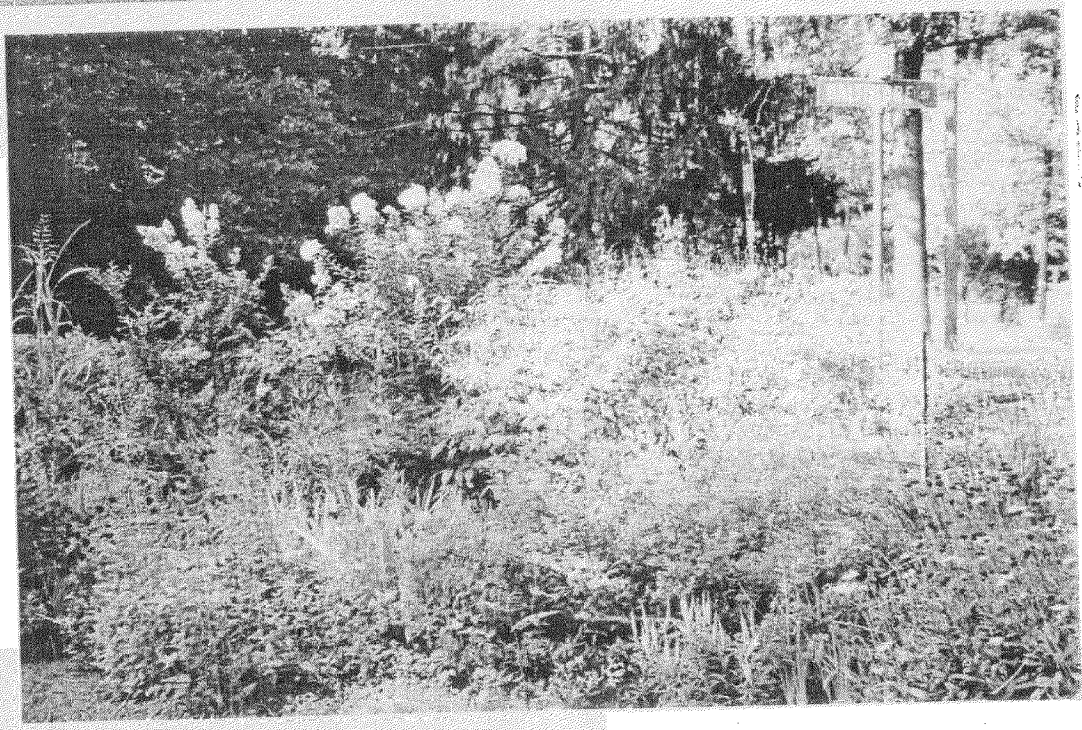
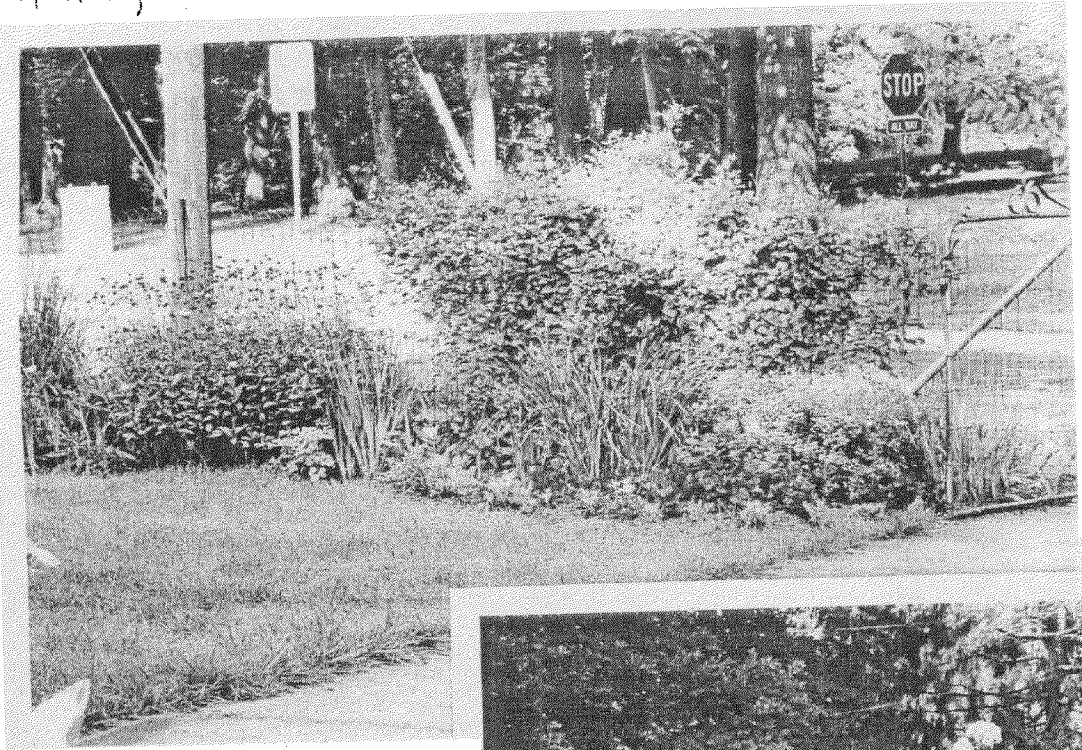






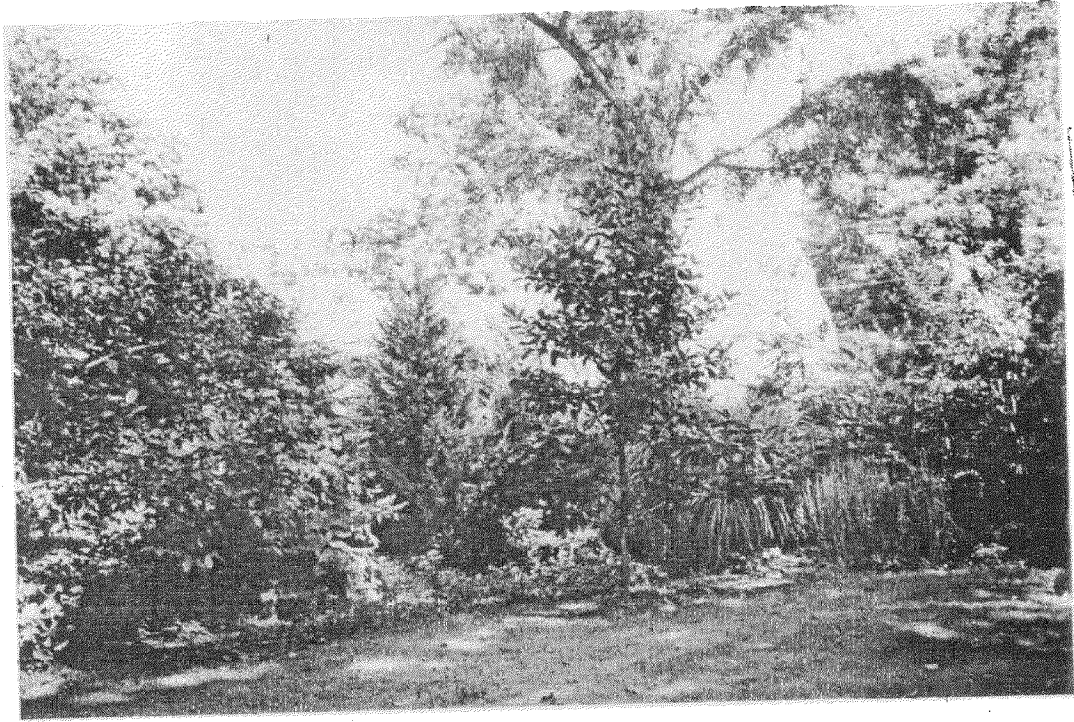
2270 Carroll Bluff  
existing Wild Garden, corner of Baltimore St. & Carroll Pl. - no change

Existing Wild  
Garden  
"Front Garden"



10220 (Cecil Pl.)

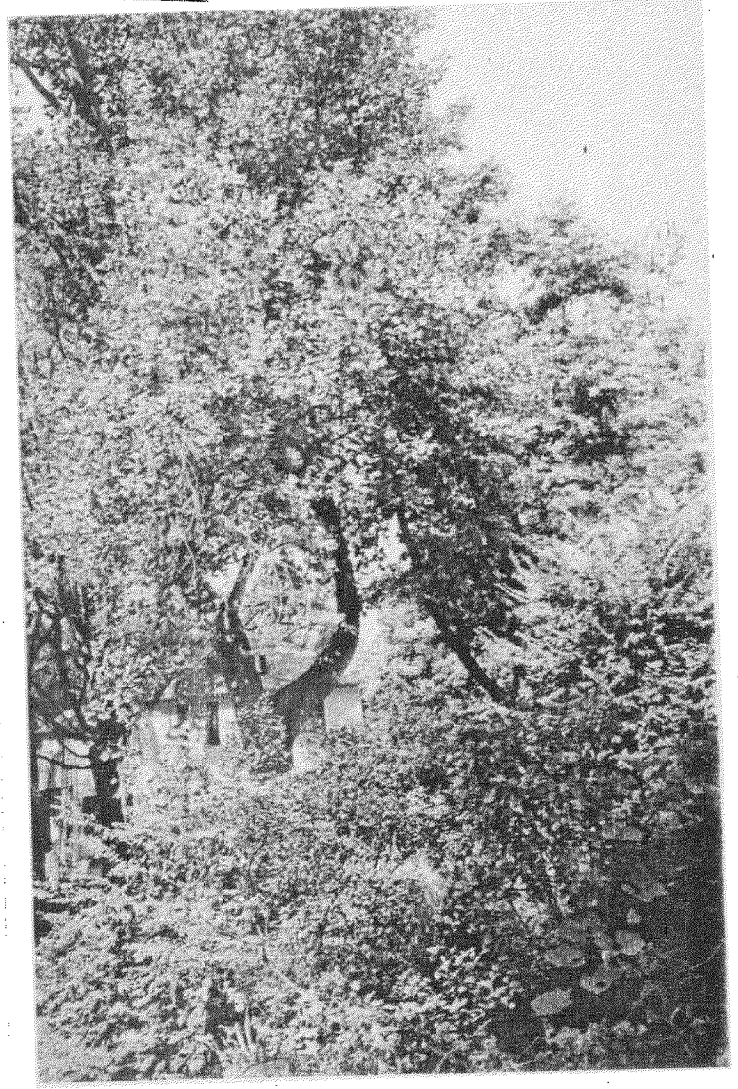
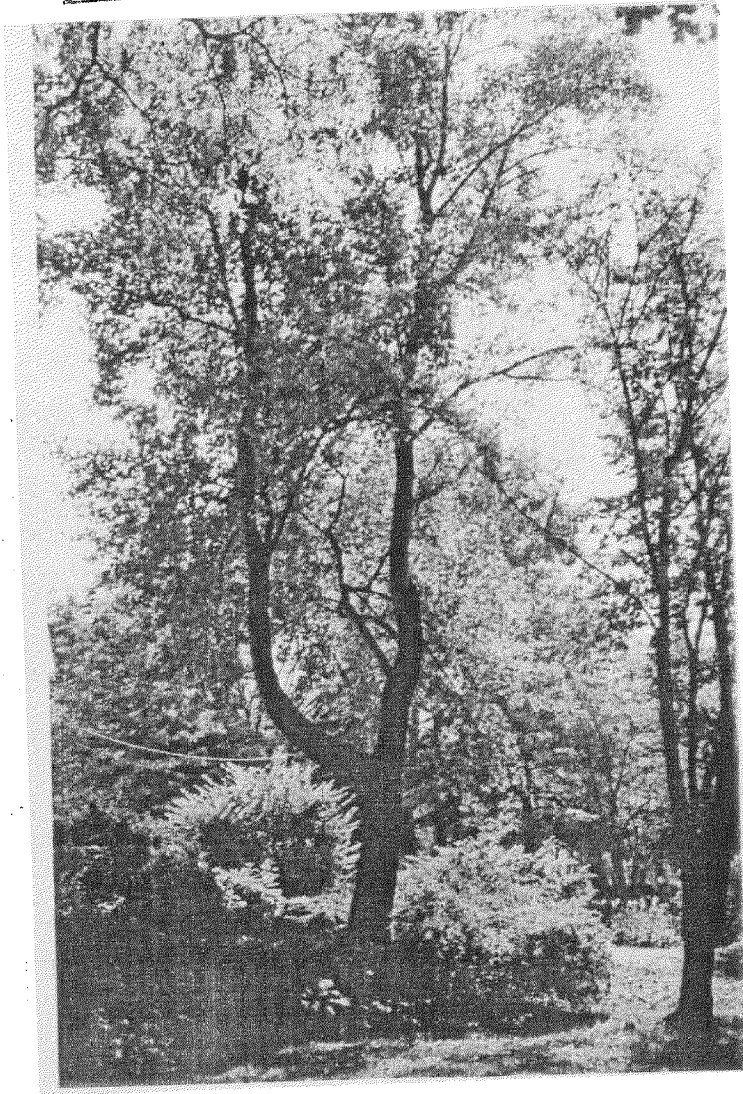
existing back corner garden installed 1999 - no changes except as  
necessary to deal with  
overcrowding





220 Carroll Pl  
views of Tulip poplar proposed for removal

Tulip Poplar proposed  
for removal.



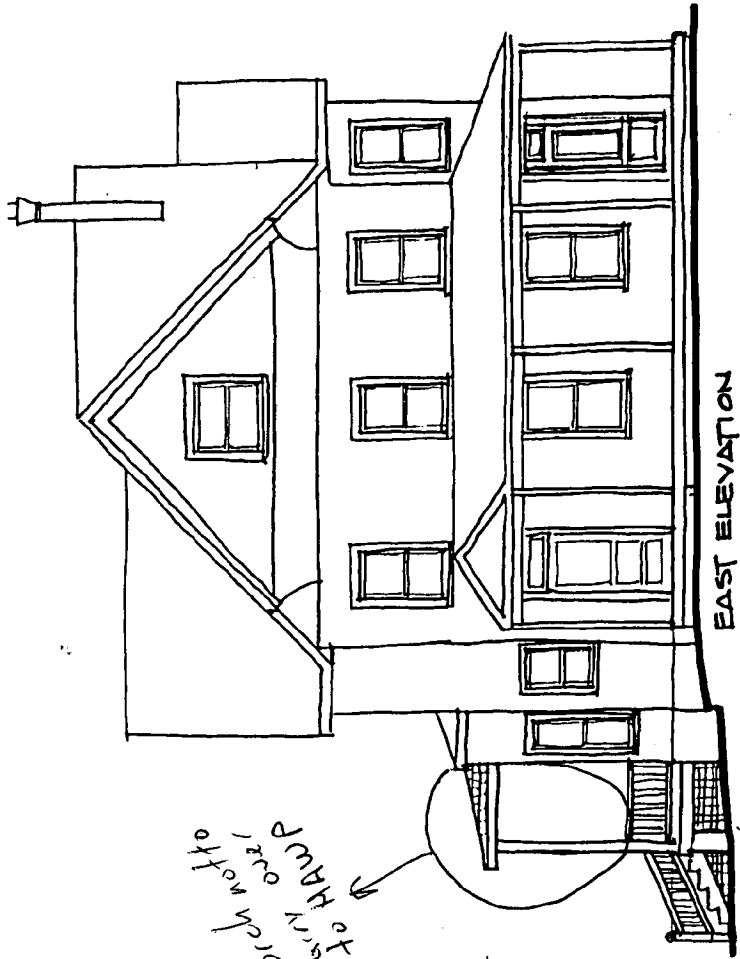
10220 Carroll Place, Kensington, MD 20895  
Confronting and adjacent property owners

Owner of Record

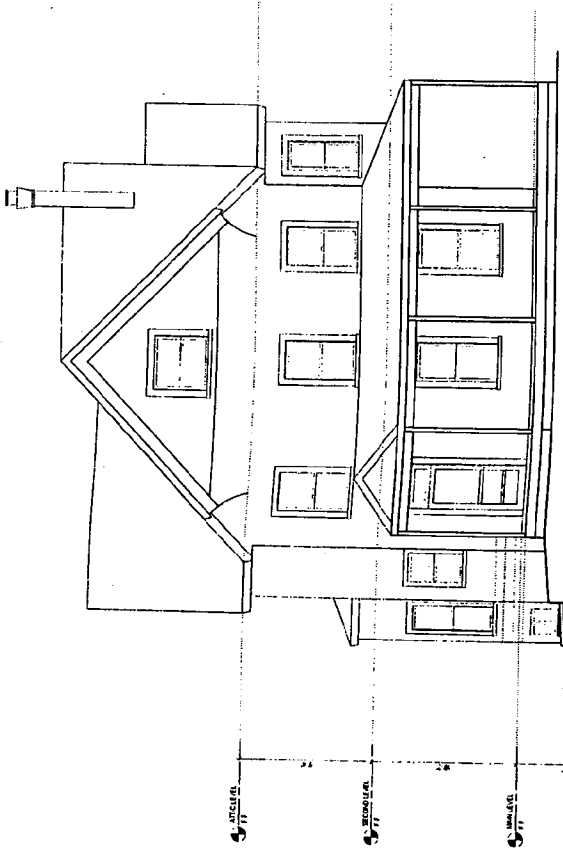
Duane Thompson  
Henry M. Lowden, Jr. Trustee  
Glenn & Kathy Cowan  
Bret & Cathy Gates  
Todd & Lauren Holtzapple  
Ed & Page Castle

Address

10216 Carroll Place  
10231 Carroll Place (Circle Manor)  
10300 Fawcett St.  
3806 Baltimore St.  
3807 Baltimore St.  
10211 Armory Ave.



Proposed



FRONT EAST ELEVATION  
1:1

Existing

East Elevation

PRELIM





2 NORTH SIDE ELEVATION  
A1 Scale 1/4" = 1'-0"

Existing



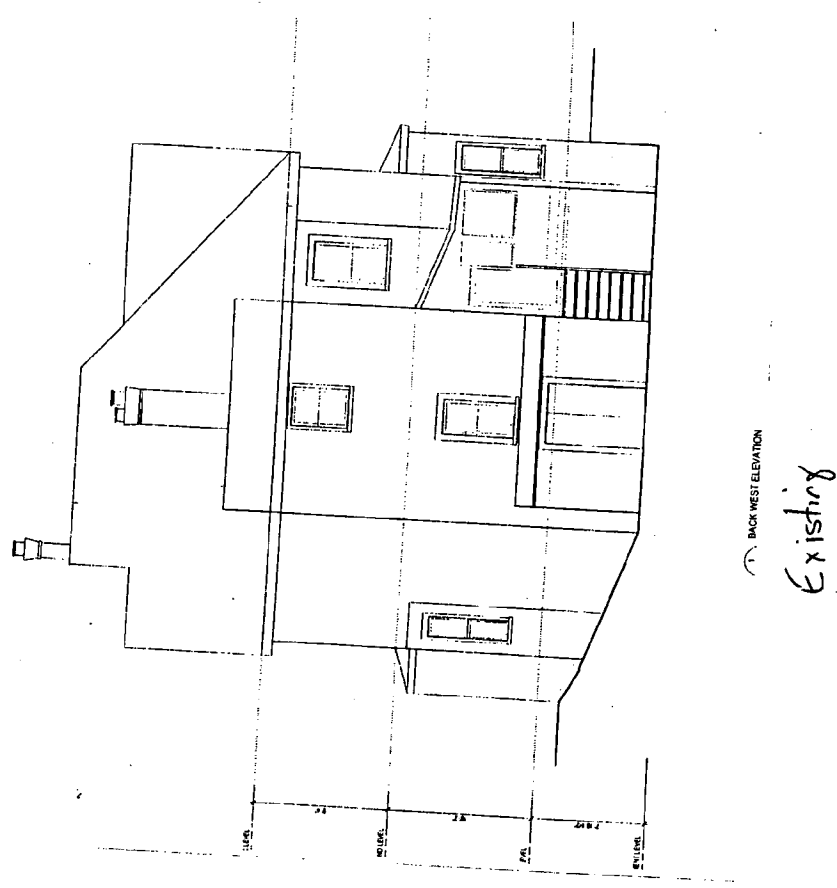
NORTH ELEVATION

Steps  
nicht 90  
to War 4190  
↗

Proposed

PRELIM

43



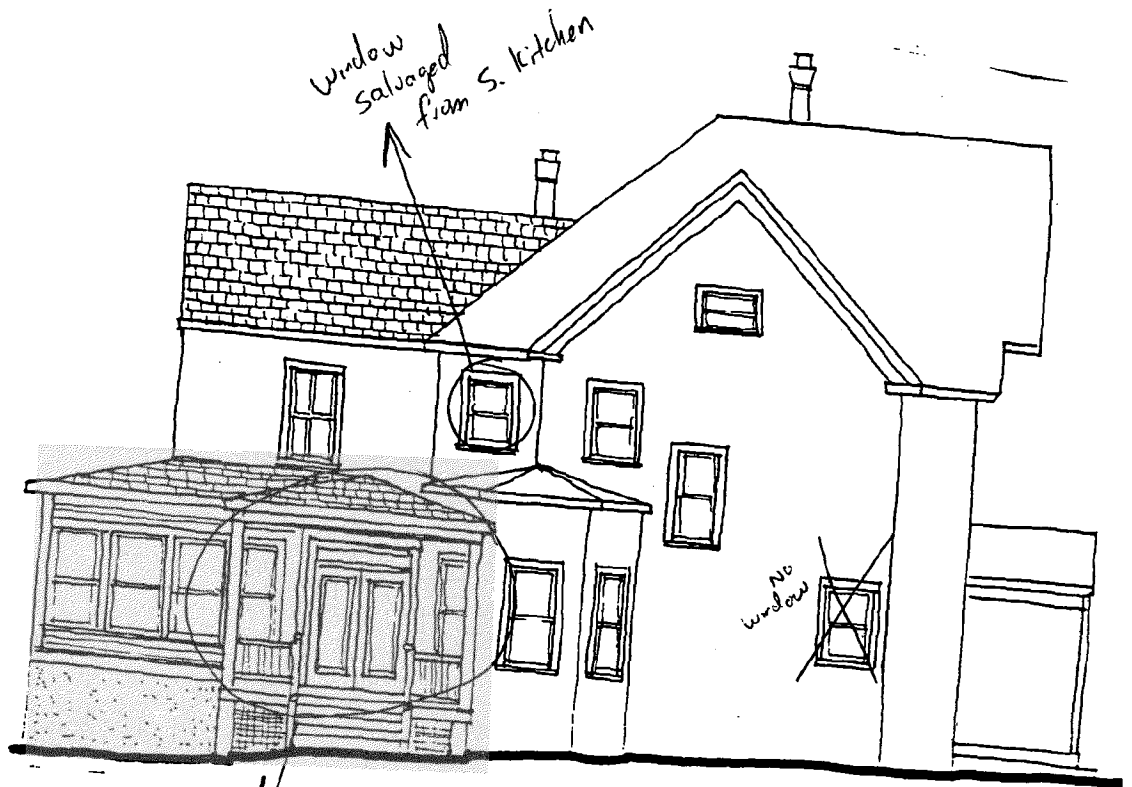
PRELIM





Existing

2 SOUTH SIDE ELEVATION  
14



Porch not carried over to HAWP.

Proposed

South elevation

PRELIM

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HISTORIC PRESERVATION COMMISSION  
MONTGOMERY COUNTY, MARYLAND

-----	X
	:
	:
IN THE MATTER OF	:
JANUARY 26 MEETING	:
	:
-----	X

19

1

MS. O'MALLEY: We will hear Case A, preliminary consultation for 10220 Carroll Place.

1

2

MS. WRIGHT: I have a few visuals and – okay. This is a preliminary consultation. And,

3

it's for a primary resource in the Kensington Historic District at 10220 Carroll Place in Kensington. I'll

4

just quickly go through the images of the building and then very briefly describe the project and then the

5

applicant's here if you have any questions, comments or suggestions.

6

The property dates from about 1897. It has had a few alterations and additions over the

7

years, but is still an important Victorian vernacular building within the Kensington District. This is the

8

front facing Carroll Place. An oblique view, another view. You can see the wrap around porch. One

9

portion of this project proposes to remove this enclosed area and restore the wrap around porch to its

10

original appearance.

11

This is the side of the property and again, you can see where there will be some

12

changes. The sort of more shed roof form will become a gable roof. Although a gable roof is still lower

13

than the historic gable. Some of these sort of rear additions that have been built over the years will be

14

removed and a new one story rear addition with a back porch that sort of wraps the corner of this larger

15

two story addition will be constructed.

16

This is a view from the other side showing the existing driveway and then the new

17

addition that has wrapped around from the back will be in this general location.

18

The house is on two recorded lots and as part of this overall project, the applicant

19

intends to go to a minor resubdivision to erase that lot line and create one large lot. You can see the

20

property has a big grade change from one lot to another and part of the project is to ultimately regrade

21

so that there is a more gradual slope. Remove some of these retaining walls that had been put in place

22

and restore the landscape to its original sort of rolling appearance.

23

Again, you know, this is the area at the rear that will be removed and where the new one

24

story addition will be located. And there will be a new rear porch. And, I think that's it for visuals.

1            Basically, staff thinks this is an excellent project and certainly is in keeping with the  
2 character of the Kensington Historic District. The erasing of a lot line and sort of combining of two lots is  
3 very important in terms of retention of open space within the district. The addition itself is modest and  
4 compatible with the resource and with the overall district. Some just very minor points is that the roof of  
5 the second story bump out on the southwest corner, the conjunction of this roof and the new roof need  
6 to be looked at a little more clearly because I think that there may be some additional sort of design  
7 work to resolve how those roofs come together.

8            The other thing is that when the historic area work permit is submitted there should  
9 probably be some sort of grading plan, landscape plan that will show how trees will be protected  
10 because removing that retaining wall and regrading to have a more general grade probably will affect  
11 some trees on the site. And that would be important information to include in the historic area work  
12 permit.

13            And one other thing mentioned in the permit application is ultimately putting in a garden  
14 shed. And again I think that's certainly an appropriate thing to move forward on. All and all staff  
15 recommends that the applicant should proceed with the minor resubdivision and then refine the  
16 proposal and come back for a historic area work permit. And should provide at that time a tree survey  
17 and tree protection plan as well as the landscape and grading plan. More information on material  
18 specifications and some perhaps additional perspective drawings of the addition. And that's the end of  
19 the staff report.

20            MS. O'MALLEY: Any questions for staff?

21            MS. WRIGHT: Oh, I should mention we got a letter from the Kensington Local Advisory  
22 Peril supporting the application.

23            MR. ROTENSTEIN: Gwen, I have a couple of questions about the retaining walls. When  
24 were they built? Or is that available?

25            MS. WRIGHT: I don't know the exact date, but I'm guessing they were done by previous

1 owner so it probably was sometime perhaps in the '60s or '70s.

2 MR. ROTENSTEIN: Okay. So they're not historical.

3 MS. WRIGHT: No, they're timber. You know, those sort of landscape timbers.

4 MR. ROTENSTEIN: Uh-huh.

5 MS. WRIGHT: They're definitely not historic retaining walls.

6 MR. ROTENSTEIN: Thanks.

7 MS. O'MALLEY: Would the applicant like to comment on the staff report?

8 UNIDENTIFIED SPEAKER: I just had some questions.

9 MS. O'MALLEY: State your name for the record, please.

10 MR. ENGLE: Oh, I'm sorry, Jim Engle, owner of 10220 Carroll Place. I had some  
11 questions about materials and we up until now have been working with Bob Reinhart. And you know,  
12 we had talked about use of materials on the new construction and he's a big advocate of cement board.  
13 Said it was used at Penn Place and Garrett Park. I tend to be somewhat in favor of it when it involves  
14 new construction that isn't readily visible from the street only because, you know, materials like, you  
15 know, clear plank siding and cedar are becoming more and more expensive and rare and hard to come  
16 by. And I feel almost as though you want to save some of the finer woods for the interior finishes. But, I  
17 was just wondering what the Commission's opinion is as far as use of some of these substitute wood  
18 siding products and things like this.

19 MS. WILLIAMS: I think as a matter of right, typically additions, the rear properties we  
20 have approved like hardy plank siding. I personally am not that familiar with the cement.

21 MR. ENGLE: Well Hardy plank is a brand of cement board. It's --

22 MS. WILLIAMS: Okay.

23 MR. ENGLE: -- you know, synthetic cement based product. That's my understanding  
24 how it's constructed.

25 MS. WILLIAMS: Okay.



1 MR. ENGLE: And in this case, we're not talking about, for example, re-sheeting the areas  
2 where there is already wood siding underneath the aluminum siding which according to the pictures I've  
3 seen there is. We're talking about using the synthetic products in some fairly select areas like the gable  
4 and above the second floor addition back and the few spare areas around facial boards and what not  
5 around the family room addition that will be built off the kitchen.

6 MS. WILLIAMS: I guess since it's being proposed to be used so sparingly, though, I  
7 mean does it really make sense?

8 MR. ENGLE: Yeah.

9 MS. WILLIAMS: I mean if it's not going to be a wholesale end wall or something.

10 MR. ENGLE: Yeah.

11 MS. WILLIAMS: You know, is it really that much more of an economic advantage --

12 MR. ENGLE: Yeah, I don't know.

13 MS. WILLIAMS: -- maintenance advantage. And, you know, and then you begin to  
14 weigh the authentic material versus you know, the money --

15 MR. ENGLE: Yeah.

16 MS. WILLIAMS: -- differential or whatever. I mean I would tend to think that in special  
17 places like the gable end, that's where you would least want to use it because, you know, that is quite  
18 visible actually and it will, I think your eye will be drawn to it. It's a huge improvement over the existing  
19 rear addition and that shed roof. But, I think it is going to be somewhat visible. I mean there is  
20 something about that property that is kind of a three dimensional object. It's more than just a frontal  
21 building --

22 MR. ENGLE: Right.

23 MS. WILLIAMS: -- in that it faces an urban street scape, you know. And there's no  
24 attention given to the side elevations. But, I mean I'm not sure. Certainly we have approved it in other  
25 conditions, additions on historic buildings, so.

1 MR. FULLER: The preference would be wood.

2 MS. WILLIAMS: Yeah.

3 MR. FULLER: But same time on additions we've approved synthetic materials, so.

4 MR. ENGLE: I don't know anything about the cost. I know the maintenance cost of this  
5 synthetic wood is supposedly less than real wood. But, in this instance, you're right. We're going to be,  
6 once we take that aluminum siding off we're going to be on that, you know, paint a side a year program  
7 that you get into with these old houses, so.

8 The other thing that's interesting to note is that where we have looked underneath the  
9 aluminum siding and I think I mentioned it in my sort of over the top discussion of what happened to the  
10 house over the years. It's, we believe that at least the first story was originally sheathed in wrap siding  
11 and then it was covered with some sort of a stain shingle. And hopefully we can get down to the original  
12 siding and there's enough of the original detailing left that it's not going to create a major salvage  
13 situation.

14 MS. WILLIAMS: Are some of the stain shingles still there?

15 MR. ENGLE: Everything that has been put on the house is still there as far as I know  
16 underneath the aluminum siding. It doesn't look like they went to any great extent to try to pull things off.  
17 You know, we may find as we pull off some of the aluminum around the windows that they sawed off  
18 the sills or that the corner boards have been removed. But, you know, there were a couple of  
19 remodelings. There's one in the '20s and then there was one in the '60s, so. You know, the previous  
20 owner told me that when he took delivery of the house in '66 it was as though nothing had been done to  
21 the house from the last time it was messed up which was sometime in the 1920s. So, we'll see.

22 I think the first thing we're going to want to do is take, you know, once we go through the  
23 HAWP is to take the siding off and see exactly what we're dealing with before we start, you know, doing  
24 all the other stuff. Just, I mean the big thing for us is to try to get the exterior and the landscaping to the  
25 point where it's in better state and then, you know, and remove that half bath off the front porch. We're

1 probably going to end up, what's probably going to end up happening is we're going to deal with the first  
2 floor, interior improvements and see if we've got anything left over from the second floor.

3 MR. FULLER: And basically you're here to hear our comments. I support the staff report  
4 completely. I think it's great to see somebody coming in and trying to erase a lot line rather than trying  
5 to subdivide a property and to see somebody who's looking to try to restore to a modest addition as  
6 opposed to something that makes the original house. What you're proposing looks like it makes a lot of  
7 sense. There's some details that need to be worked out. Look forward to seeing your final plans when  
8 you get them together.

9 MS. WILLIAMS: I agree. One thing I was going to mention is I'm not exactly sure what  
10 the status is of the state tax credit, but I think your project would certainly be eligible in terms of the  
11 rehabilitation that you're doing. And, you might want to look into that because it is a 20 percent state tax  
12 credit. So, you could talk to Tania about that.

13 MS. WRIGHT: Yeah, and it's real important to apply for that credit before you start doing  
14 any work. It's different than the County tax credit. You need to, which you apply for after the work's  
15 done. You need to apply, start the application process before you start the work. So, again, if you give  
16 Tania a call, she can guide you to the right folks.

17 MS. WILLIAMS: But I think it's a great project and look forward to seeing it.

18 MR. ENGLE: I recognize that we have a lot of details still to work out. I'm going to try to  
19 get with Judy Hankston who has a house on Carroll Place and work with her on the landscaping. We  
20 want to finish up with Reinhart on the exterior elevation drawings. And hopefully we can, hopefully we'll  
21 have enough money.

22 MS. O'MALLEY: So, are you, some of the drawings have porches. Are you doing the  
23 porches or --

24 MR. ENGLE: Which porch would you be referring to because there's a side porch. I think  
25 it's page 9 where I circled porch not to carry over to HAWP. There's going to be probably some sort of

1 a, not a deck per se, but you know, something with a railing. I guess you call it a deck.

2 MS. O'MALLEY: A different design?

3 MR. ENGLE: There's not going to be a porch sticking out from that elevation. It doesn't  
4 work because of the grade changes. As far as, and the roof line there is going to be much simpler. And  
5 thanks to Tania for pointing out the error the as built drawings on that roof line. I get overwhelmed here.

We want to keep that sort of modest porch in the back. You know, at one point we were talking about trying to squeeze a – into this and we thought the porch sort of a service type porch. Sort of emulates sort of the thinking behind what had originally probably been on the back of the house, sort of fit that requirement for us. But in any event, though, I don't want either that rear porch or the rear family room addition to stick out any further than the existing, that fiberglass arch that is sitting back there. The reason is the property still has its original well. And it's in a brick wall that's just beyond sort of the footprint or site line, if you will, that fiberglass shed. And if we're sinking foundations and footings back there, we don't want to compromise that well wall. It's something we want to incorporate into the garden when we take down the retaining wall that is at the back of that slope there, the brick wall will be exposed and it should create like a nice well back there. Not that we will ever be able to get the well working again, but it is sort of an interesting perk I guess is the term.

MS. O'MALLEY: Are there any other questions? Of course we've got plenty of time to talk about this. It looks like a great project. Kensington can't wait.



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**I. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached

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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached

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**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of wells, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the crown of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**Existing structures, environmental setting, historic features, significance:**

c. 1897 Victorian-era home, having 2.5 stories with irregular gable height, prominent front gable feature, and wrap around front porch. Home is a Primary 1 resource in the Historic Core of the Kensington Historic District facing the west side of the front lawn of the former summer residence of the town's developer BH Warner.

Alterations by previous owners include the following:

- Bay window on southern exposure, c. 1920
- Kitchen addition on western exposure and relocation/construction of service porch to southwest exposure, c. 1920
- Shingle siding over lap siding on first floor, c. 1920
- Enlargement of service porch, c. 1950
- 2<sup>nd</sup> floor addition on top of kitchen, c. 1966
- Conversion of service porch into sunroom, c. 1966
- Changed grading of yard and constructed railroad tie retaining walls between upper and lower yard, c. 1966
- Powder room built onto wrap around front porch, c. 1970
- Replacement of front/wrap around porch posts, c. 1970
- Replacement of tongue and groove front porch floor with plank floor, c. 1970
- Construction of Fiberglas shed on western elevation, c. 1970
- Aluminum siding, c. 1975
- Aluminum triple track storm windows, c. 1975
- Aluminum/vinyl replacement windows on north and south gables, c. 1975/1980.

**General description of project, effect on historic resource(s), environmental setting, and historic district:**

**Changes to House:**

- Minor subdivision of Lots 1 & 2 into single platted lot
- Demolish rear porch on southwestern corner and Fiberglas shed on western elevation. Replace with an enlarged one story room on southwestern elevation of kitchen and small mudroom and porch on the western elevation with the following features:
  - Double wood French doors on southern elevation in set-back facing Lot 2 opening to balcony, with stairs leading down to ground level.
  - Block foundation with parging to match rest of house.
  - 1/1 windows, minimal separation between openings to maximize light.
  - Shed roof on new first floor construction, copper-lined wells beneath existing windows on southern exposure of c. 1966 rear bedroom and western exposure of c. 1897 house.
  - Hardiplank lap siding in a different width than what is found on original house.
  - Wood trim on windows, doors, cornerboards, etc. will be similar to original house.



- Wood posts and railings on balcony and rear porch will be typical for the 1890-1910 period.
- Southern wall of existing kitchen and western wall of dining room will be opened up into the new room. Historic window and hardware will not be discarded and will be retained for possible future use.
- Doorway from porch into kitchen to be cut into western wall of kitchen. Window on western wall of kitchen to be filled in. Historic window will not be discarded and will be retained for possible future use.

The demolition of the existing rear porch mainly involves post 1950/1966 construction. Changes to the first floor, western elevation of the kitchen, including the new door, window fill-in and new rear porch involve the c. 1920 kitchen addition. The new rear porch will replace the lost “service porch,” which is a feature common to Victorian era homes. These features will be reversible, if desired, by future owners.

- Remove shed roof on c 1966 second floor bedroom above kitchen and replace with hipped roof that will be shorter in elevation than the other gables found on the original house. This will provide some visual balance with the rest of the house. Hipped roof feature over kitchen is shown in similar house plan originally published in c. 1885, *Shoppell's Modern Houses*.
- Demolish first floor powder room on wrap around front porch north elevation and relocate powder room to interior of first floor. Retain opening onto wrap around porch as a new exterior door. Door-type to be consistent with styles used between 1890-1910. Door and trim will be wood, and any exterior siding will be replaced with wood lap closely matching existing house's original first floor lap siding.

Although the doorway onto the front porch was not original to this house, such doorways were common in the late 1800's. Removal of the c. 1966 powder room will restore the bay feature on the north elevation and the full depth of the wrap around front porch.

- Replace gutters on the house with “half-moon” gutters.
- Remove c. 1920 shingle siding on first floor and remove c. 1975 aluminum siding on rest of house. If necessary, replace missing trim with wood in styles consistent with other examples of this house in the Historic District.

### **Changes to Landscaping:**

Landscape plan was commissioned with the goals of integrating the two lots into a single yard, creating usable entertainment spaces immediately adjacent to the house, and dealing in a cost-effective, aesthetically pleasing, and permanent way with the 17-foot grade change from the front to the back corner of the property. It was prepared by Harvard-trained landscape architect Judy Hanks-Henn, also a resident of the Kensington Historic District, who has a unique appreciation for the Victorian mind, style, and sensibility.

Overall concept is a series of garden rooms, experienced sequentially and incorporating several axes, focal points, and vistas, following the Classic Style. The front room will be a Cottage Garden, entered from the driveway and using colorful flowers, herbs and vegetables to provide color in spring and summer. It will feature a circular crushed stone path surrounding a round bed with a visual focal point in the center. To one side of the path is a rose bower, which will be chosen according to the salvage style. A line of boxwoods (transplanted from along the existing retaining wall) will form a visual barrier along the back edge of the Cottage Garden, with an arched trellis in the center through which a glimpse of the next room will be visible.

After passing beneath the arch, a visitor will enter into the White Formal Garden room. This area will be visible from the house and the terraces above and will be the main lawn area for games and activities. The prominent location lends itself to evening entertaining space. Because white colored flowers come forward at night, the monochrome white palette was chosen, allowing for highly visible arrangements to be seen from the distance of the upper terraces. A focal point will be placed on the far side of the Formal Garden where it is visible from the house.

Entering from the Cottage Garden, characterized by wild, abundant and colorful plantings, the Formal Garden will provide stark contrast with its calming, serene style and palette. Structure again will be provided by transplanting existing boxwoods and making use of existing Leyland cypresses to define the boundaries of this room. These evergreens will help define the space even in winter.

Continuing down the slope, the Bottom Garden room will be entered by passing between two larger urns or other similar planting containers. This room features a new garden shed, which will be visible from the front and rear terraces, the rear gate, and the house, but will provide a "surprise" feature to the new visitor as it remains just out of view from the first two rooms. The shed will be placed on an angle to offer the most pleasing vistas, with three new dogwoods planted behind and to the side. This garden is at the lowest, shadiest point of the yard and will feature woodland flowers and bulbs.

Next to the Bottom Garden is the Grotto Garden, defined by the exterior brick wall of the original well house, stone steps descending from the rear terrace above, and a new line of evergreens to enclose the space. The plan suggests the Grotto Garden may feature a paved surface suitable for basketball or dancing space, but at least initially we expect to plant grass or some other low groundcover.

Completing the tour of the gardens, a visitor can climb the steps leading to the rear gate on Baltimore Street. This hill will be regraded to make it more accessible and safer for stairs. Existing plantings in the corner, which were installed in 1999, will remain, though some may need to be moved because of overcrowding.

Two circular terraces will provide entertaining space and ease the transition from house to gardens. Both circular in design, the concept involves a front "ladies sitting circle," surrounded by vined trellises for privacy. This terrace will offer a place for children to play and people to gather. The front terrace is connected by a long pathway to the back terrace, organized around a central fire pit and stone stairs descending to the Grotto Garden. The stairs will surround an interior terraced planting area to soften the surrounding hardscape. The back terrace will provide space for outdoor cooking and will offer a "men's" gathering place.

Beside the path that connects the two terraces, a major elevation change separates the upper areas from the gardens below. At its maximum, the elevation change is nine feet. This slope will need to be managed through the use of fill, retaining walls, and stairs. This regrading will be the main focus of the first phase of landscaping, as the existing railroad tie retaining walls have begun to rot.

Landscaping will be phased, depending upon cost.

The Front Garden at the corner of Baltimore St. and Carroll Pl. will remain unchanged. This garden is currently a Wild Garden filled with flowering shrubs, perennials, bulbs, and annuals. Azaleas lining the front porch and filling the side yard along Baltimore St. will also be largely retained, though some azaleas may be relocated to fill in hillsides, particularly in the back where a large stand of overgrown forsythia now grows. We anticipate removing the forsythia, as it does not currently receive enough sunlight to flower properly.

**Initial phases:**

- Demolish c. 1966 multiple railroad tie retaining walls separating upper/lower yards.
- Replace retaining walls with single run of retaining wall constructed of stacked stone, halfway between the elevation of the lower yard and upper yard. Regrade as necessary, including to create flat terrace areas next to existing driveway and walkway around southwestern corner of house.
- Regrading the steep slope on the south side of the house will require removal of c. 1966 tulip poplar to allow construction of stacked stone retaining wall. The landscape architect considered several options for keeping this tree, including building a retaining wall around it, but was unable to incorporate it in the plan without sacrificing the original goals of integrating the two lots, creating usable entertaining spaces next to the house, and permanently addressing the slope issue. Reforestation will be accomplished with the planting of four crape myrtles or other similarly “human-scaled” trees equally spaced along the top of the retaining wall.
- Terraces and walkways to be either crushed stone or slate pavers on crushed stone. Edges of walkways to be constructed of block paver stone.
- Relocate/re-use existing boxwoods, if possible, along top edge of new retaining wall and to create definition between garden rooms.
- Wood trellis screens around front terrace will be planted with wisteria, trumpet vine, clematis, and other flowering vines.
- Reduce size of existing driveway.
- Expose brick exterior wall of well vault as a garden feature. Requires removal of c. 1966 wild cherry on western exposure of house, which grows only a few feet from the railroad tie retaining wall that surrounds the well vault. Reforestation will be accomplished through three dogwoods

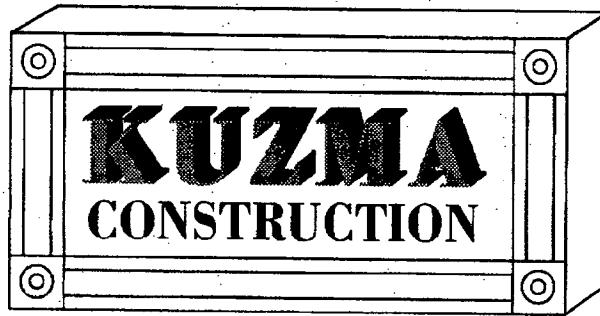
10220 Carroll Place, Lots 1 & 2, Block 8, Kensington Park  
Corner of Baltimore St. and Carroll Place  
Kensington Historic District  
Page 5 of 5

planted alongside garden shed, plus four crape myrtles, dogwood, three Leyland cypresses, and southern magnolia planted in rear yard in 1999.

- Install garden shed.

**Later phases:**

- Replace/add fences, gates per landscape plan.
- Install crushed stone walkway, rose bower, arched trellis in Cottage Garden.
- Future relocation of driveway and apron to northwest side of house on Baltimore Street.



Thursday, September 01, 2005

Mr. Jim Engel & Ms. Maureen Conley  
10220 Carroll Place  
Kensington, MD 20895

#### PROPOSAL/AGREEMENT

Kuzma Construction will provide all permit drawings, permits, labor and material to complete the scope of work as per final preliminary drawings and the following specifications and description:

**Demolition.** Take apart and remove the following existing areas: Powder room down to floor framing; Wall and adjacent area between current family and dining rooms, entire existing rear sunroom, attached rear shed, kitchen down to framing and sub floor (see note in finishes about kitchen floor), and siding on exterior walls where new walls and roof planes are to connect. Provide a total of four 30-yard dumpsters for the removal of all associated debris from the premises, dumpster to be located in driveway for the duration of the job.

**Foundation.** Excavate for and pour 18" x 12" concrete footings with two #4 re-bars 30" below grade. Build 8" block foundation with parged exterior to level of floor framing. Note: Area of existing well to be built around, no modification or repairs to that well are included in this scope of work. Interior of crawl space to have access door, include 6-mil poly vapor barrier and leveling and tamping of crawl area. Also pour concrete landing area and three concrete piers for the Baltimore St. side porch steps, and concrete piers for other porch steps.

**Framing.** All foundation walls to have pressure treated 2x8 mudsills bolted to the foundations with 1/2" anchor bolts 6'-0" on center. Floor framing to be 9 1/2" Truss Joist type with 1 7/8" microlam beam at mid span of longer living area. Floor sheathing to be 3/4" tongue and groove OSB (Oriented Strand Board), glued and nailed. All exterior and interior walls to be framed with single 2x4 bottom plate, double 2x4 top plates, and 2x4 studs 16" on center. For exterior walls include double 2x10 headers over window and door openings. Install drop wood beam between kitchen and new family room to carry load when opened up.

All roofs to be framed with double hip jacks and common 2x10rafters, 16" on center, and 5/8" OSB sheathing. Hip jacks may be engineered as micro lam beams. Ceiling framing to be either 2x8 or 2x6 16" on center. Ceiling of family room to be approximately 9'-6", kitchen ceiling height to remain the same, ceiling height in powder room to be approximately 8'-0". Include venting of exhaust fan in powder room to the exterior of house.

The existing bay window in the new breakfast room is to have a new roof integrated with the family room roof as per plans. This will necessitate a dropped ceiling over that area in the breakfast room, to be finished with sheetrock. If during the course of construction this area can be simplified in construction there may be a price reduction commensurate with change in the scope of work.

**Roofing.** Provide Ice and Watershield over the entire roof area. Provide and install 30-year asphalt shingles with caps at hips and Flashvent venting at sidewall tie-ins for attic ventilation. Install custom copper window wells at two windows. Install white half round aluminum gutters and downspouts on entire addition.



ENGEL/CONLEY PROPOSAL/AGREEMENT- PAGE TWO

New windows and exterior doors to be Weathershield with low-e, argon glazing, primed exteriors, oil-rubbed bronze hardware, and insect screens for the windows and center hinged door unit only. Note: The total allowance for exterior door and window units is \$6,995 at contractor's cost. Change in manufacturer or specifications may result in cost increase or decrease.

Exterior finishes. All new eaves, fascia, soffit, and rake trim to be All-trim grade, pre-primed. Include aluminum vents for new soffits. All outside corners to be All-trim 5/4, siding to be 7" exposure smooth clapboard type Hardy plank, window and door trim to be All-trim. Include cap flashing for all windows and doors. Note: Assume 1'-0" overhangs at roof.

Front porch. Patch flooring with 5/4 x 6 pressure treated decking boards, ceiling with 1x4 double pattern beadboard, and posts and header framing and trim to match existing. Also include new trim/siding on that short gable end.

Rear porch. Same as above with traditional porch railing, 6x6 columns, and stairs to grade with closed risers. Include lattice to close off under porch with one removable panel. Side landing and stairs: Frame with pressure treated lumber and install pressure treated 5/4x 6 decking and painted risers and side lattice work. Include graded gravel or leave existing concrete if graded properly, on 6-mil poly under these areas.

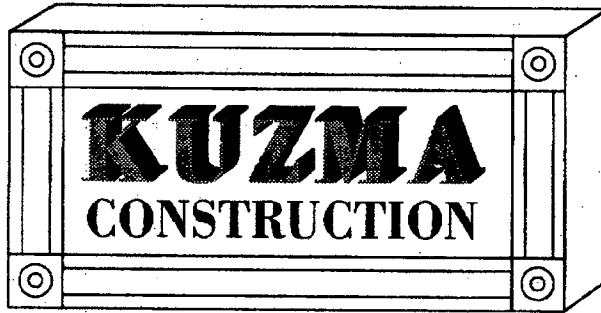
Insulation. Provide R-30 batt insulation for the new floor areas, R-38 for the ceiling areas, and R-13 for the exterior walls. Also include Tyvek house wrap on new and re-sided walls.

HVAC. Remove and dispose of indicated radiators. HEATING. Provide and install cast iron baseboard as follows: (2) 24" units in breakfast room bay, (1) 18" on family room angled wall, (2) 36" units on family room walls, (1) 18" in mudroom, (1) 18" in foyer area of family room. The family room and mudroom area will be on it's own thermostat. The kitchen will have two power kick plate heating units located in toe space of cabinets. COOLING. Demo existing vents as required by new layout and install the following new floor vents: (2) in family room, (2) in kitchen, (1) in mudroom. Also install two new high air returns in dining room and breakfast room.

Plumbing. Demo and cap existing powder room and kitchen. Provide all new waste, vent, water piping, and gas line for new kitchen layout, and new powder room location. Kitchen. Set and connect faucet disposal, dishwasher, icemaker for refrigerator, and gas range. Powder room. Provide, set, and connect toilet and pedestal sink with faucet. Relocate/install one new exterior hose bib on the rear of house @ allowance of \$220. The following are allowances for items provided at cost: Kitchen faucet- \$260, disposal- \$250, toilet-\$175, pedestal sink-\$250, ped. faucet-\$225, Note: Kitchen sink to be purchased by owner and installed by countertop fabricators.

Electrical. As per attached two sheets from Bill's Electric Co. Include installation of and 3-way switching for owner supplied ceiling fixture for new dining room. Exclude replacement of old work in other parts of the house this scope and budget.

Interior finishes. Provide and install 1/2" sheetrock in new areas including taping, spackling, and sanding. Include point up between priming and finish coats of paint. Also include plaster patch if needed in dining room area of old chimney chase.



### ENGEL/CONLEY SCOPE AND BUDGET- PAGE THREE

Install baseboard and casing to match existing as closely as possible from stock trims. Assume all trims to be painted this scope. Doors to pantry, mudroom closet, and powder room to be provided with hardware by owner and installed by Kuzma at allowance of \$840, labor and materials, which includes cost of new doors for pantry and mudroom closet if old ones not used. There will be one shelf and one pole in the mudroom closet this scope of work. Exclude pantry shelving, which will be done by homeowner.

Provide labor for the installation of owner-supplied butler's area cabinetry, solid surface countertop to be installed by fabricator.

Floors. Provide and install new 2 1/2" tongue and groove salvaged antique pine flooring throughout kitchen, family room, and mudroom. Provide sanding and application of four topcoats of stain/urethane to this new flooring and the flooring in the new dining room, breakfast room and powder room. Include new shoe molding from stock trims. This scope of work may change if original flooring under kitchen is salvageable. Allowance for material is \$6/square foot, contractor's cost.

Kitchen. Provide setting, leveling and connection of all owner provided appliances and cabinets, fillers, and associated trims. Allow two men five days to set these items, not including solid surface countertops and sink which are to be set by fabricator and purchased by the client directly. Exclude any tile backsplash this scope.

Painting. Prep, prime, and apply two coats of Duron paint to all new interior surfaces and breakfast room, dining room, and powder room. Exterior surfaces to be painted include all new siding and trim. Pressure treated decking to be unfinished. Note: The total budget for interior painting is \$3,500. This allows for eggshell finish and all prep work.

General. Provide final cleaning of all new surfaces and proper grading from new structures. Note: This assumes finished landscaping by others. Exclude bar sink, work related to possible new water service, any other re-roofing or siding work, cost of kitchen cabinets, countertops, sink, and appliances, and cabinets and counter for butlers area.

The above scope of work should be substantially complete within twenty four weeks not allowing for weather delays and possible added work. Any material changes or modifications to the as specified project or this proposal (including total job cost) will be agreed to and acknowledged using written additional work authorization or change order forms, signed by both parties and payable in full upon completion of that work. Include all manufacturers' warranties on materials provided and two-year warranty on all labor.

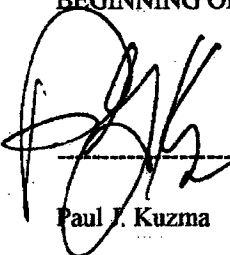


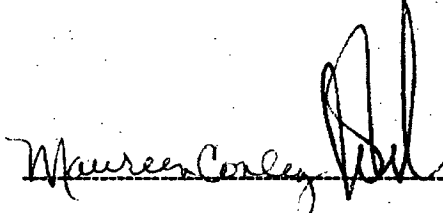


ENGEL/CONLEY PROPOSAL/AGREEMENT- PAGE FOUR

All such work orders will add to the projected job schedule to push back the date of substantial completion. The homeowner being able to live in the new space defines substantial completion. Kuzma will provide the homeowner a written job schedule within the first two weeks of construction. In the event of a dispute Kuzma Construction agrees to the selection of a third party, agreeable to both the client and Kuzma, to help settle the dispute.

TOTAL FOR THE ABOVE SCOPE OF WORK	\$218,029
DEPOSIT	\$20,000
BALANCE DUE AS PER DRAW SCHEDULE TO BE DEVELOPED BY THE BEGINNING OF CONSTRUCTION	\$198,029

 9/01/05  
Paul J. Kuzma date

 9/5/05  
Mr. Jim Engel and/or Ms. Maureen Conley date

10220 Carroll Place, Kensington, MD 20895  
Confronting and adjacent property owners

Owner of Record

Address

Duane Thompson

10216 Carroll Place

Henry M. Lowden, Jr. Trustee

10231 Carroll Place (Circle Manor)

Glenn & Kathy Cowan

10300 Fawcett St.

Bret & Cathy Gates

3806 Baltimore St.

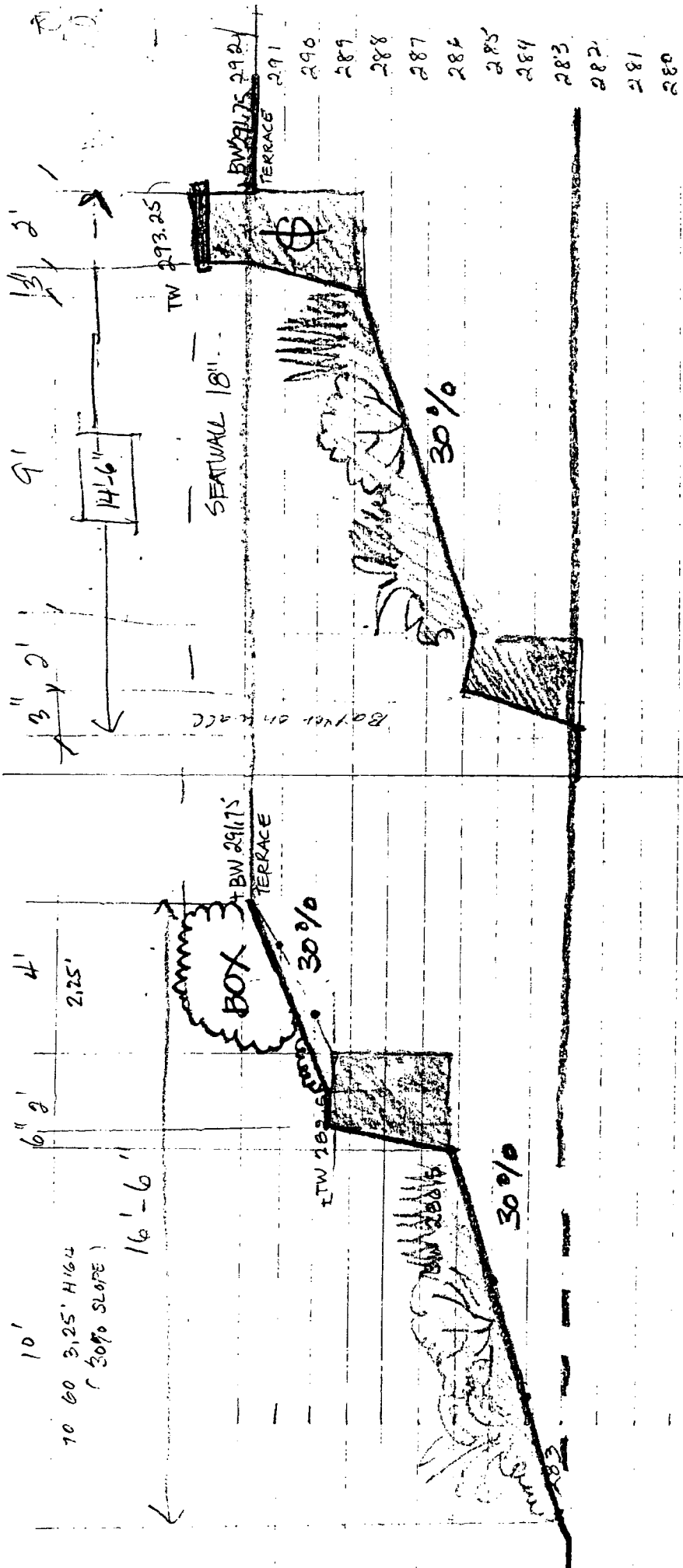
Todd & Lauren Holtzapple

3807 Baltimore St.

Ed & Page Castle

10211 Armory Ave.





NOT THIS,

IDEAL CONFIG.

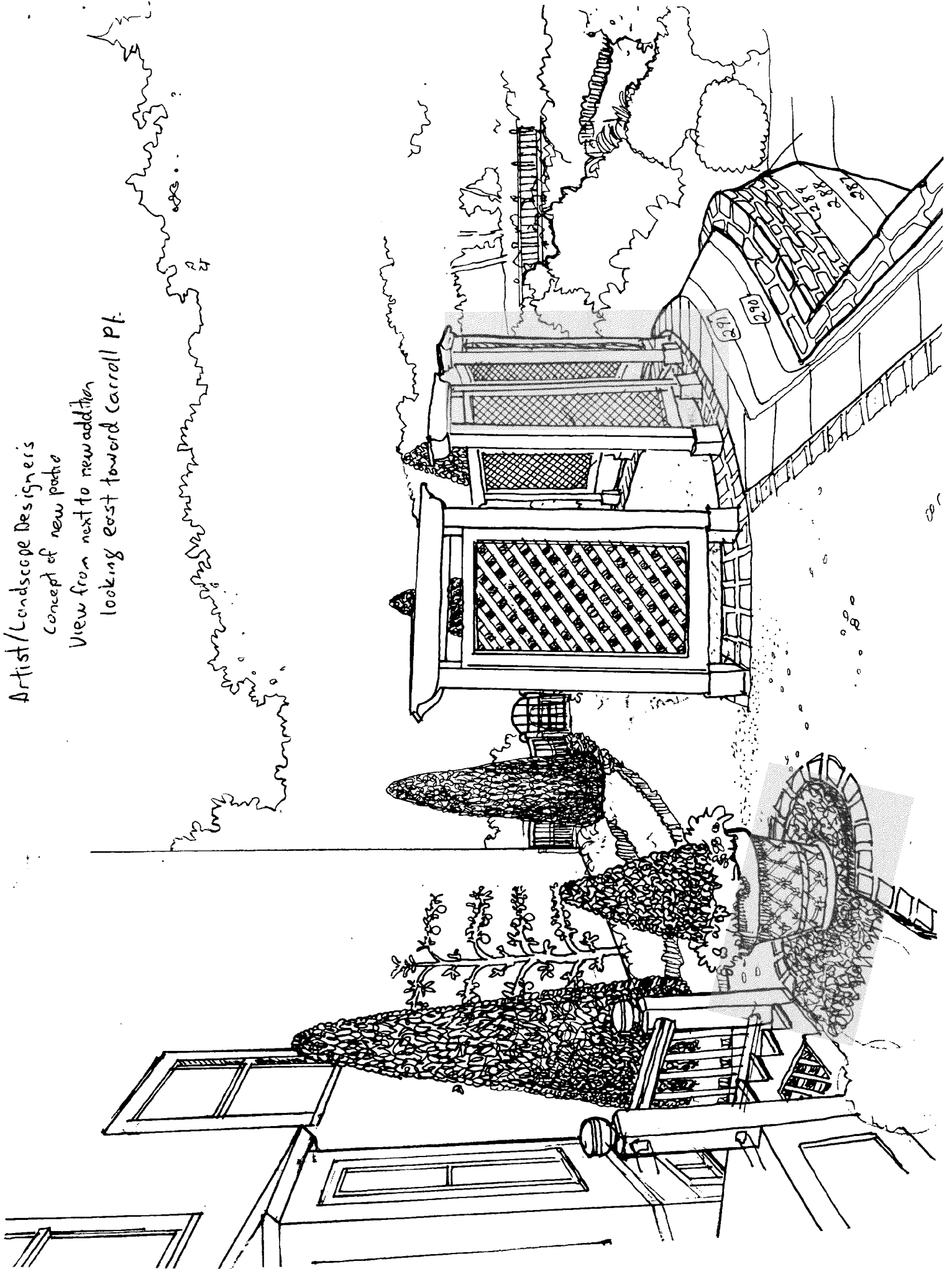
THIS,

Do a Scale version

SOLUTIONS USING 2'-3' GRAVITY WALL

Classic slope  
wall  
Drainage (flow)

Artist/Landscape Designer's  
concept of new patio  
View from next to new addition  
looking east toward Carroll Pt.





**8' X 12' with 4' Lean-To**

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[| design A](#) | [design B](#) | [design C](#) | [design D](#) | [design E](#) |  
[| Williamsburg](#) | [Greenhouse](#) | [custom](#) | [construction](#) | [foundation & delivery](#)  
[| interiors](#) | [options](#) | [prices & order form](#) | [home](#) |

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For portfolio send \$8.00 to  
**Gardensheds Web, 651 Millcross Road,  
Lancaster, PA 17601  
(717) 397-5430**

**For Immediate Response to question  
please fax. (717) 397-0217**

Everything in the portfolio is on this site  
If you plan to visit, please call for an appointment.

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**8' X 12' with 4' Lean-To**

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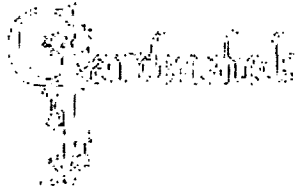
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please fax. (717) 397-0217**

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... ..

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## Garden Sheds Designs

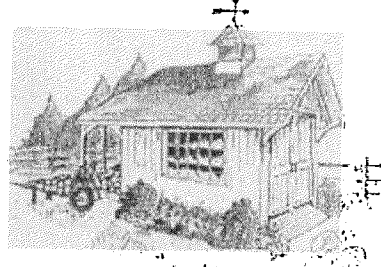
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### Design A (click for photos)

8' x 12' x 10 1/2' high  
Woodshed lean-to 4' long x 8' wide

This roomy garden shed will house a multitude of garden tools and equipment. A six foot wide door provides easy access. The window has true divided lights and can be opened for ventilation. The optional cupola also provides ventilation. The wood shed at the back holds an ample cord of wood. It is also an option. A very attractive and functional out building.

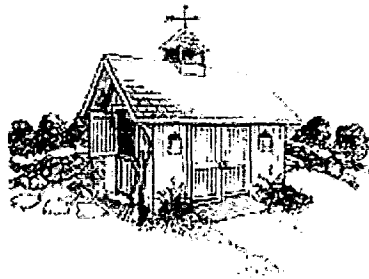


### Design B (click for photos)

8' x 12' x 10 1/2' high

Sturdy and practical, this storage shed can have an optional dutch door on one end. The six foot wide double doors on the side makes it easy storage for lawn

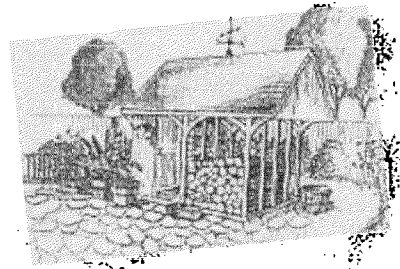
mowers, bikes, sleds, and prams. If you would rather park your car in the garage, this garden shed is perfect!



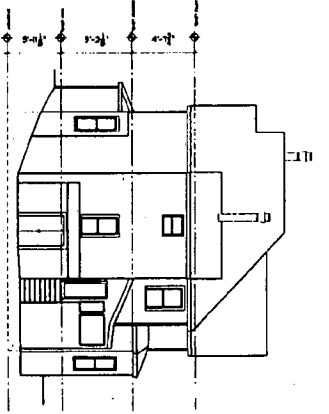
### Design C (click for larger view)

8' x 10' x 10 1/2' high

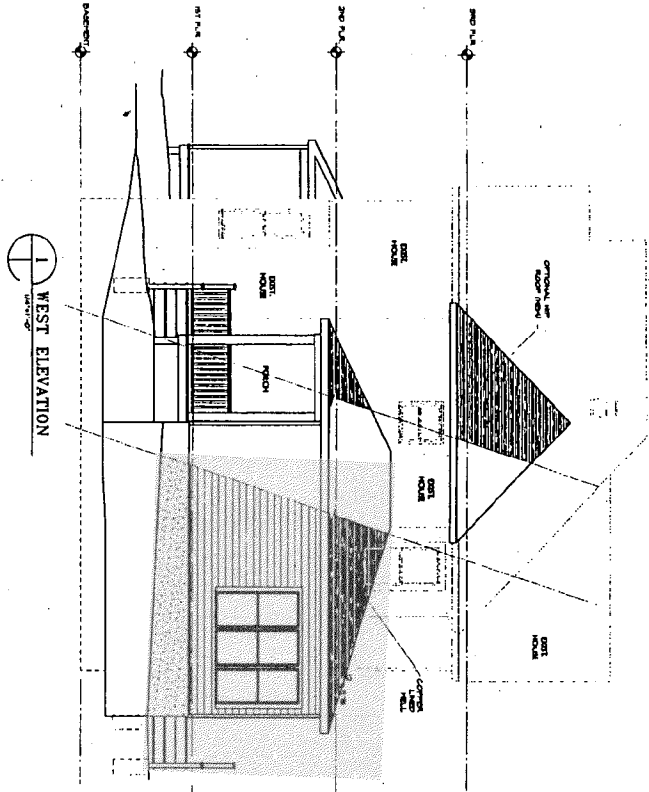
This is a very versatile potting shed combining a wood shed, tool storage and shelves for potting plants. The ladder provides easy access to a roomy storage loft overhead. This wood shed, potting shed holds 1 1/2 cords of wood.







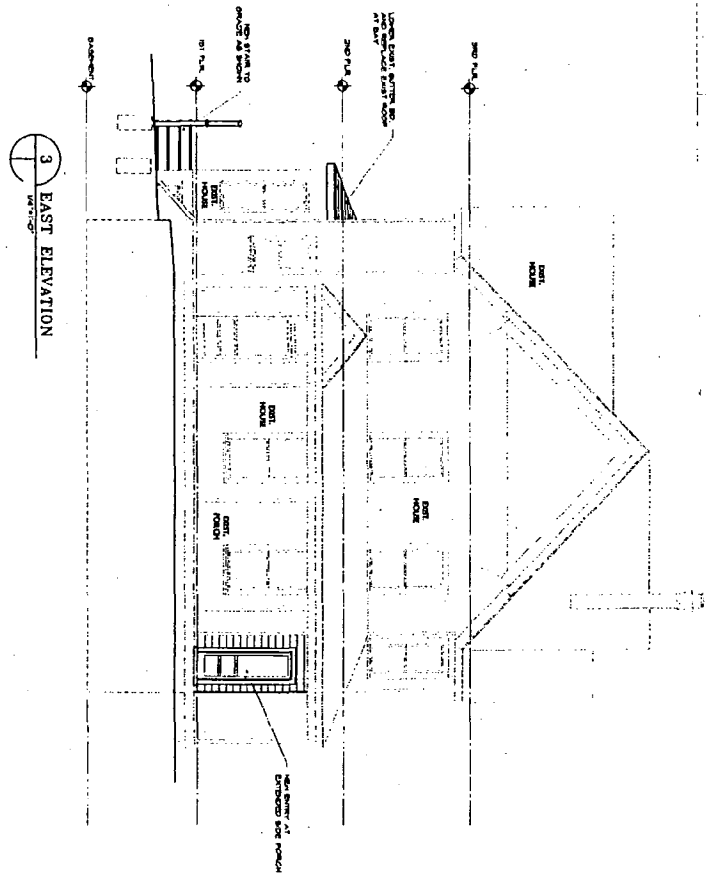
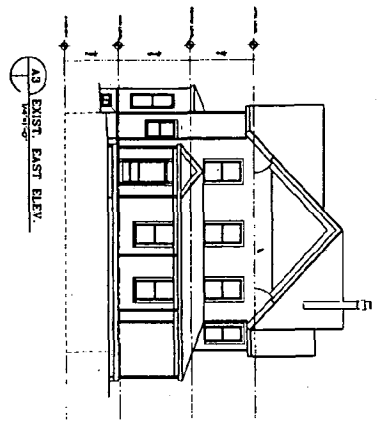
⊕ A1 EXIST. WEST ELEV.



⊕ WEST ELEVATION

A-2	ELEVATION	KUZMA CONSTRUCTION DESIGN-BUILD/ CONSTRUCTION 10139 CEDAR LANE KENSINGTON, MD. 20895 PH. (301) 571-5550	CONLEY/ENGEL RES. 10220 CARROLL PLACE KENSINGTON, MD. 20895
	DATE: 08/07/05 SCALE: 1/4"=1'-0"		





**CONLEY/ENGEL RES.**

10220 CARROLL PLACE  
KENSINGTON, MD. 20895

**KUZMA CONSTRUCTION**

DESIGN-BUILD/ CONSTRUCTION

10139 CEDAR LANE  
KENSINGTON, MD. 20895  
PH. (301) 571-5550

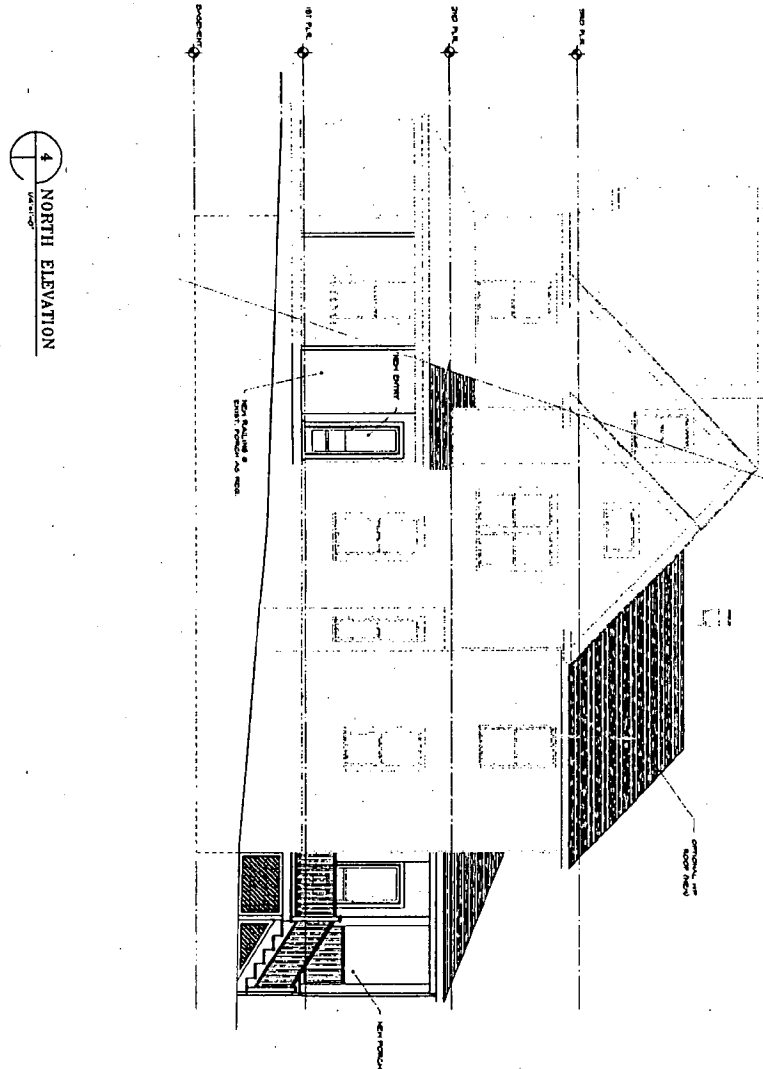
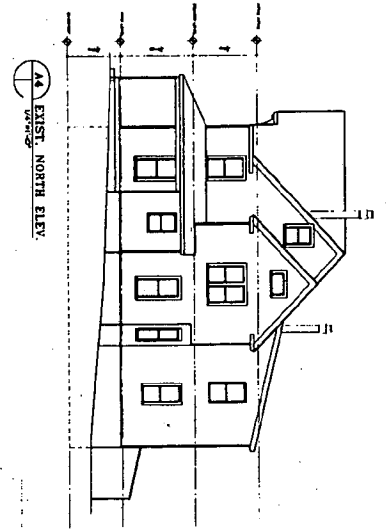
ELEVATION

08/07/05

1/4" = 1'-0"

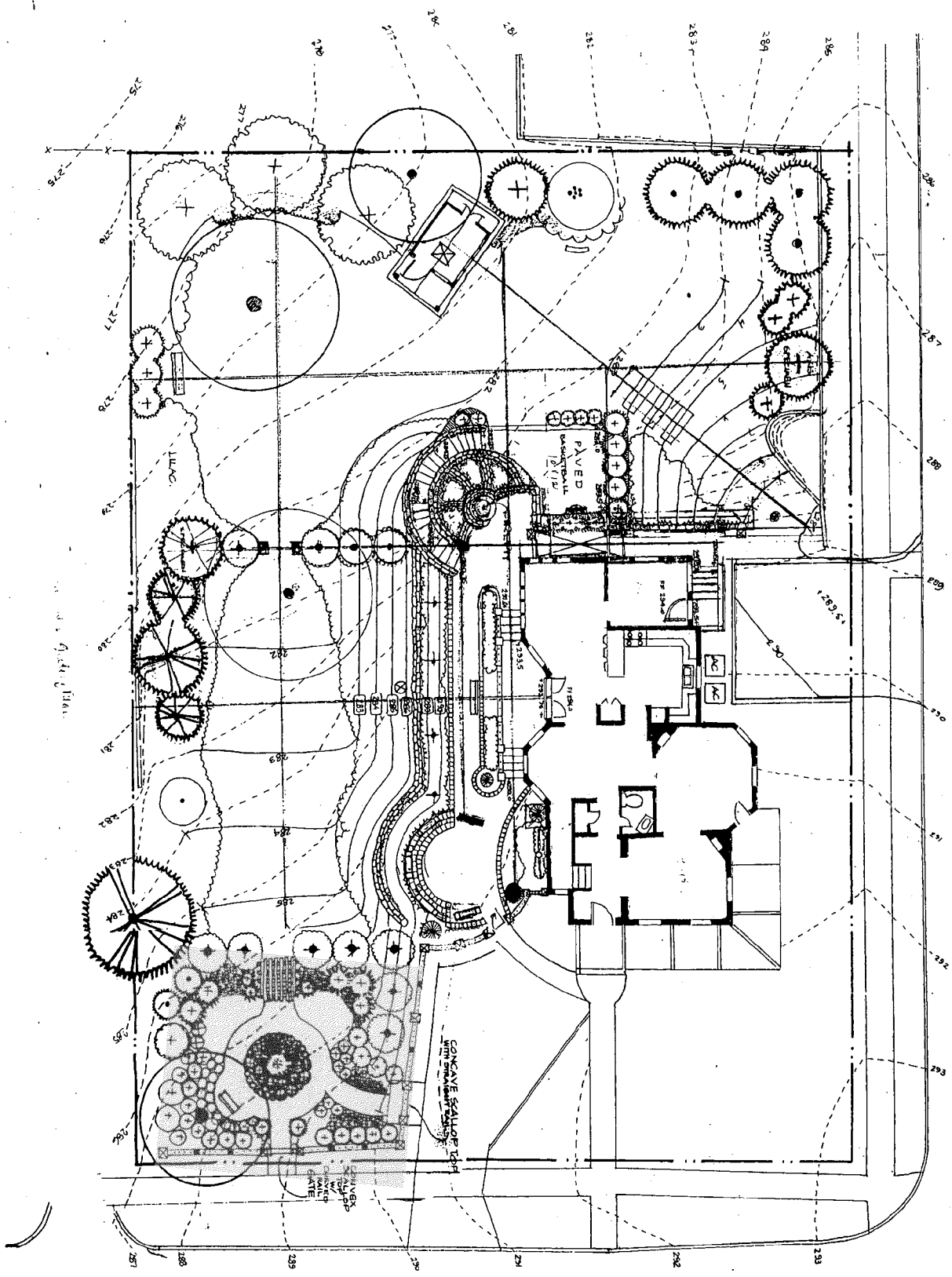
A-4



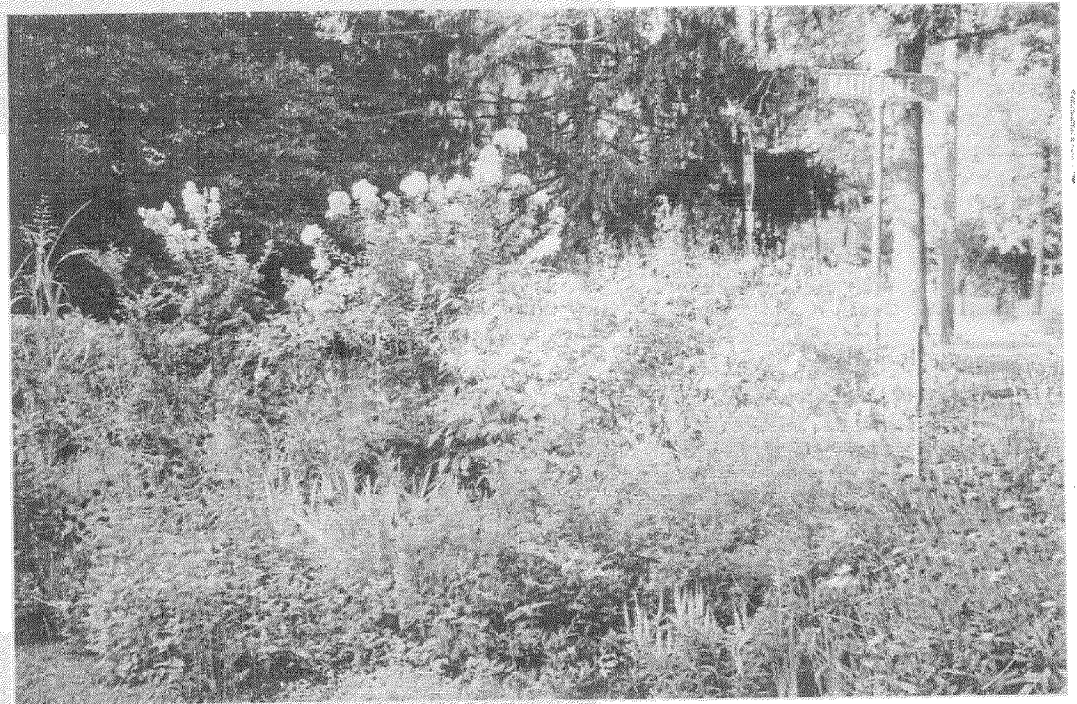
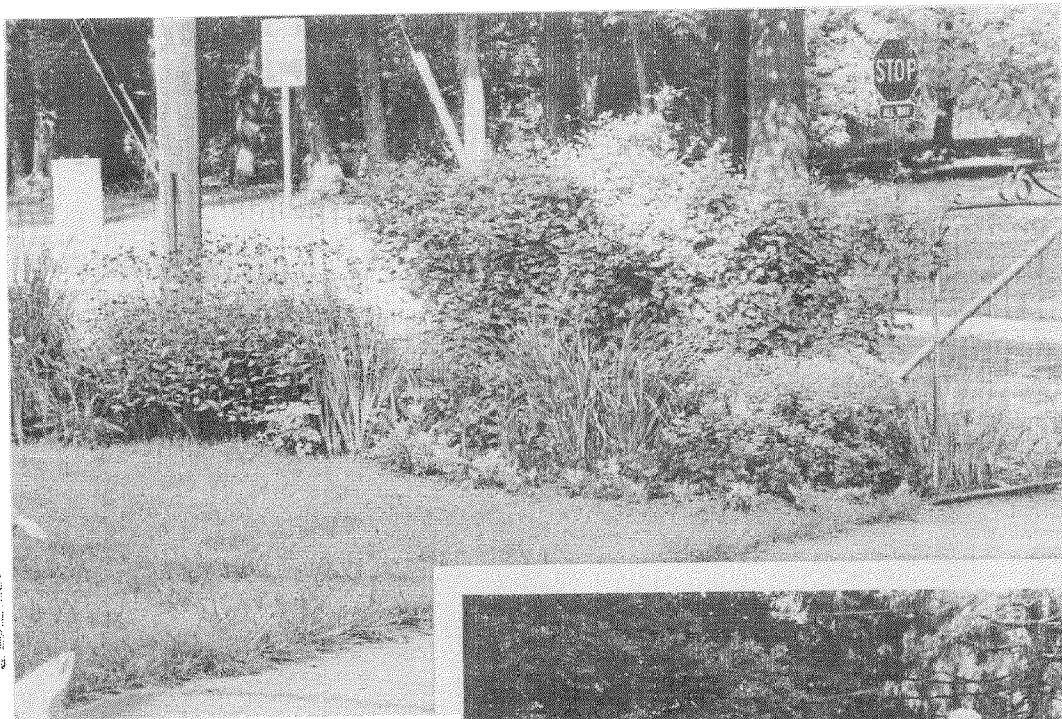


A-5	ELEVATION	KUZMA CONSTRUCTION DESIGN-BUILD/ CONSTRUCTION 10139 CEDAR LANE KENSINGTON, MD. 20895 PH. (301) 571-5550	CONLEY/ENGEL RES. 10220 CARROLL PLACE KENSINGTON, MD. 20895
	DATE: 1/4-11-8 BY: 08/07/05		





10226 Carroll Pl.  
existing Wild Garden, corner of Baltimore St. & Carroll Pl. - no changes

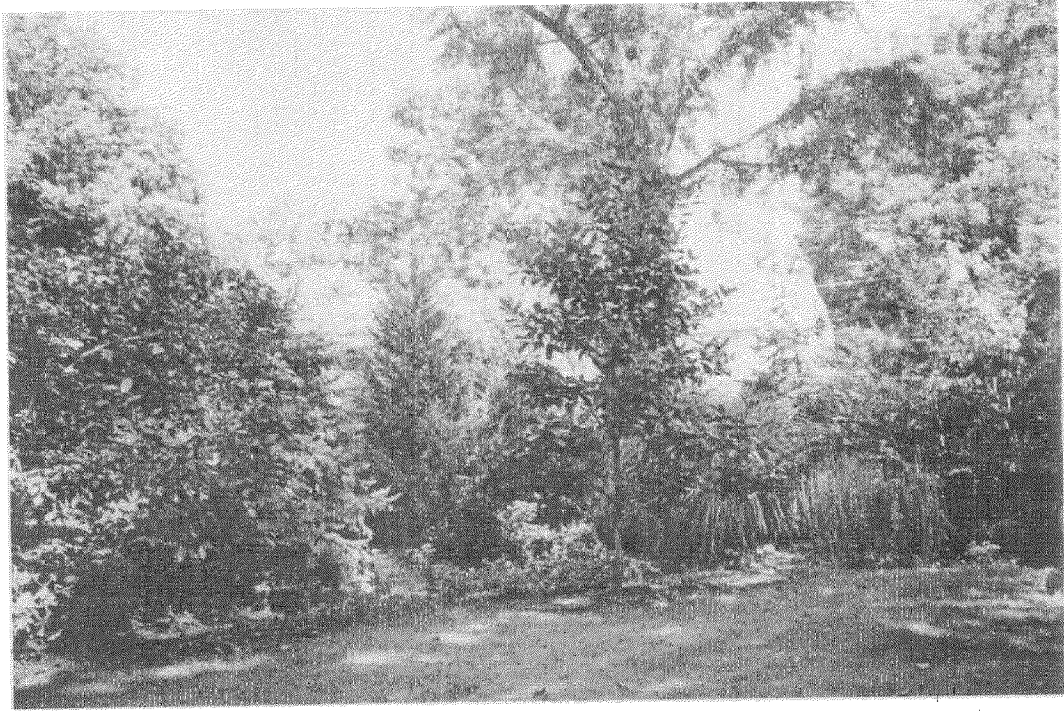


10220 Carroll Pl. i

existing back corner garden installed

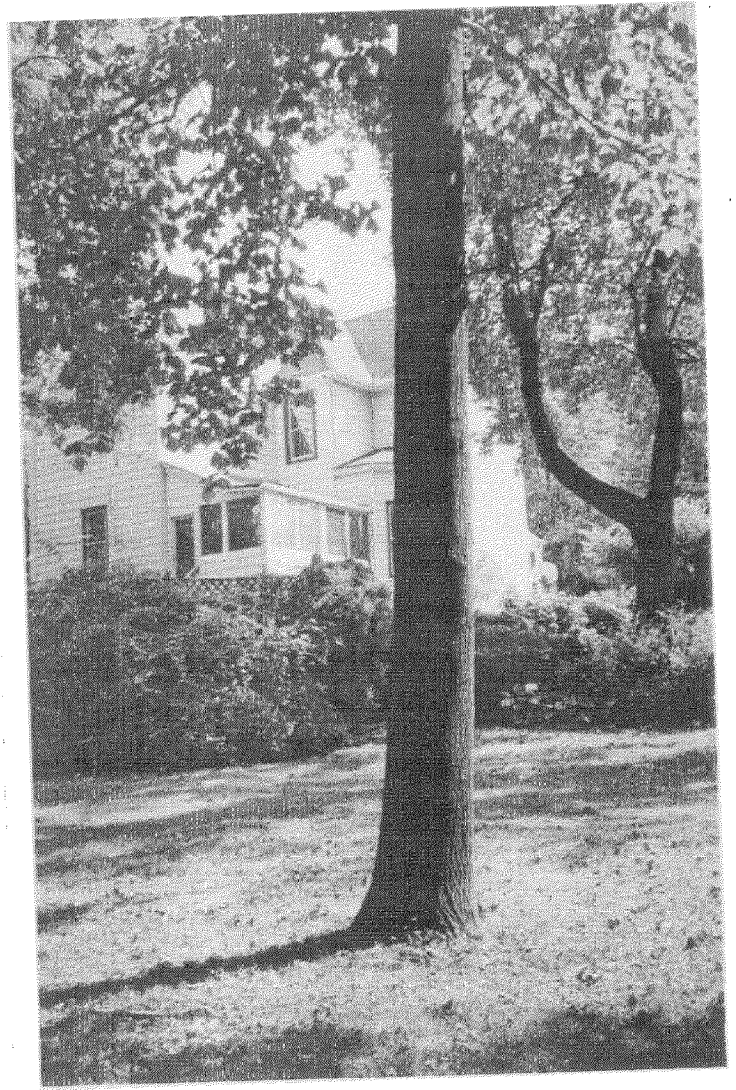
1999

- no changes except as necessary to deal with overcrowding



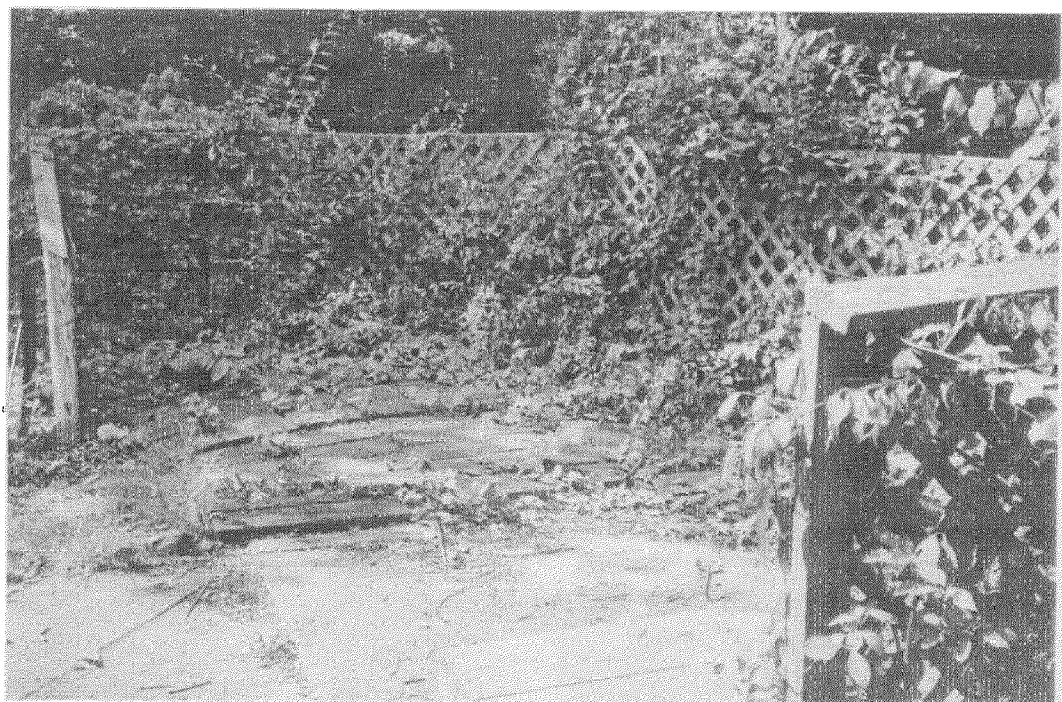
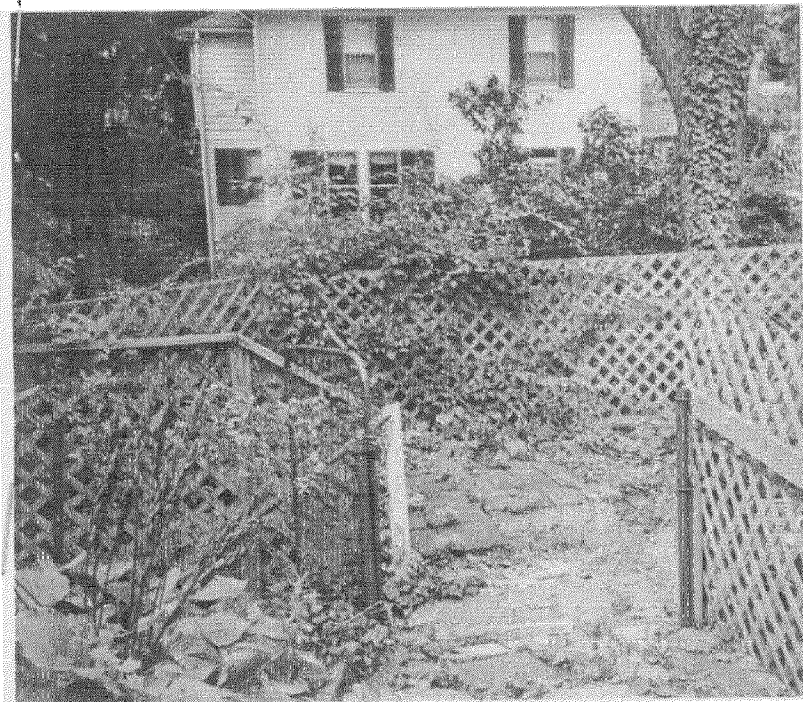


10220 Carroll Pl.  
view from lowest point toward house

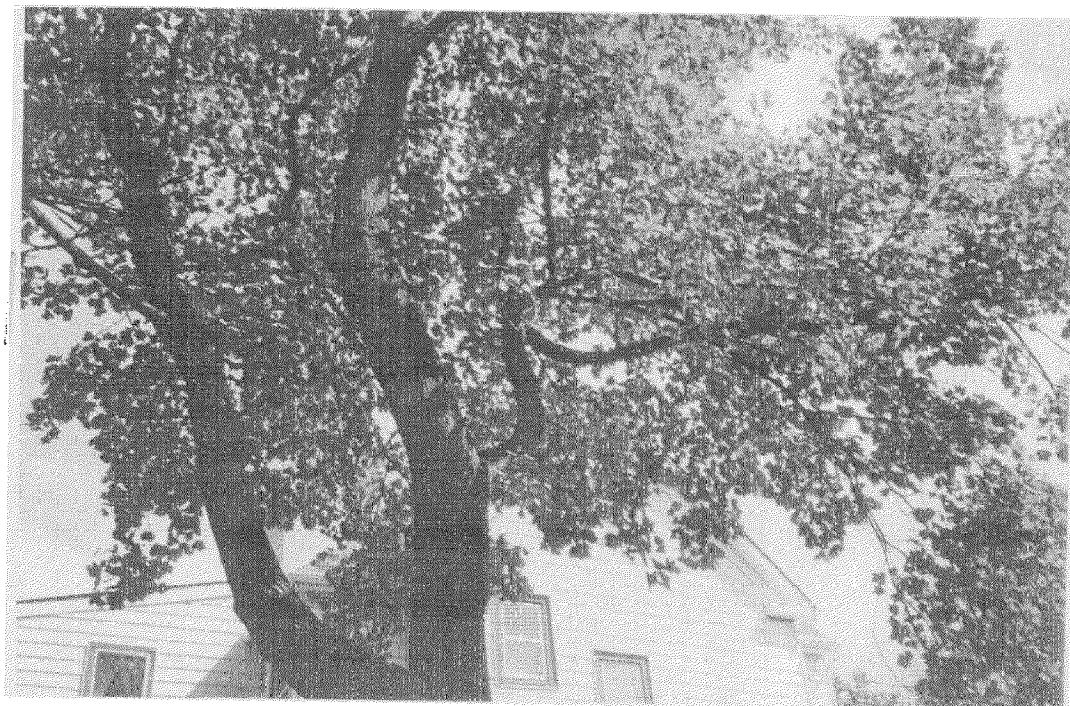
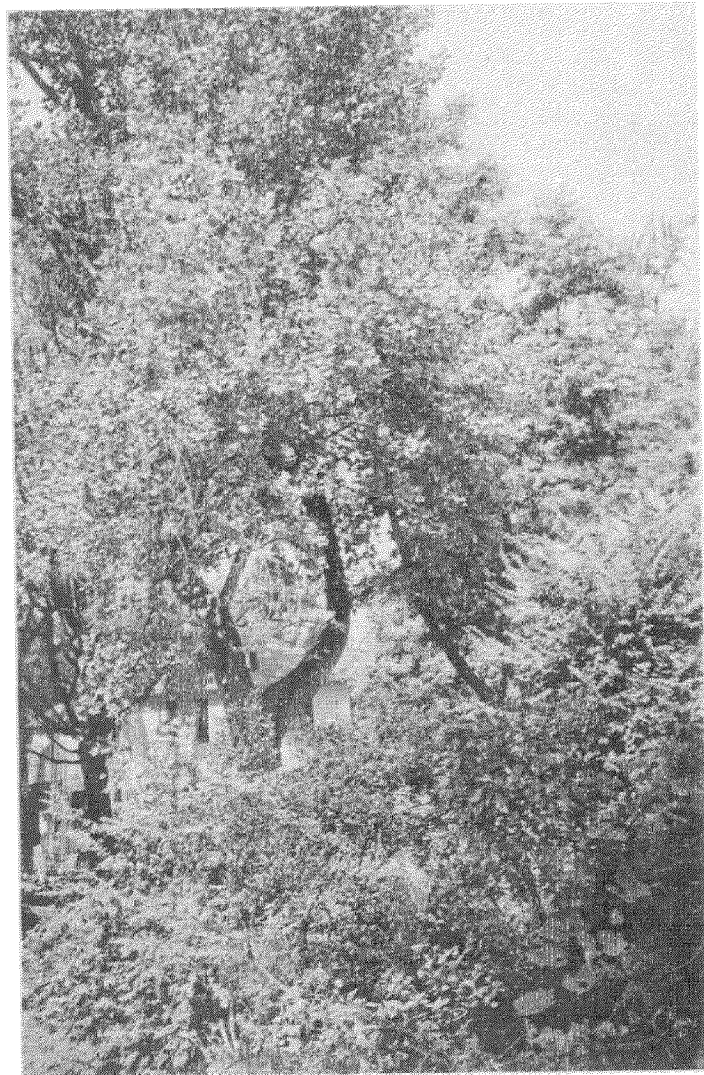
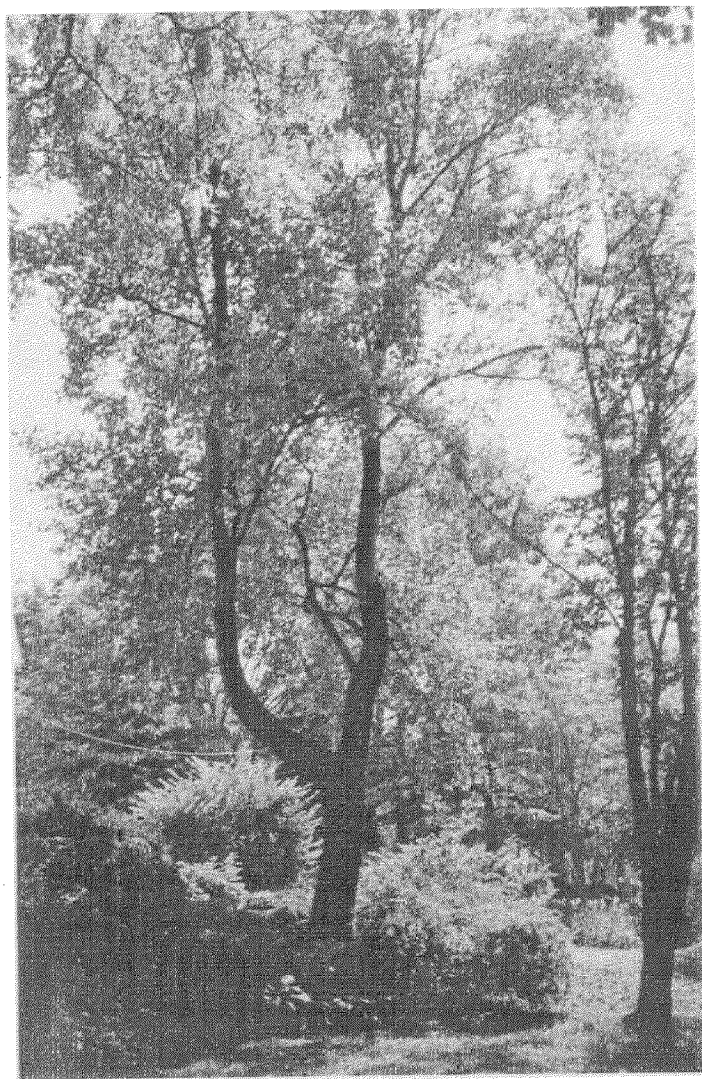




10220 Carroll Pl.  
existing back terrace and stairs



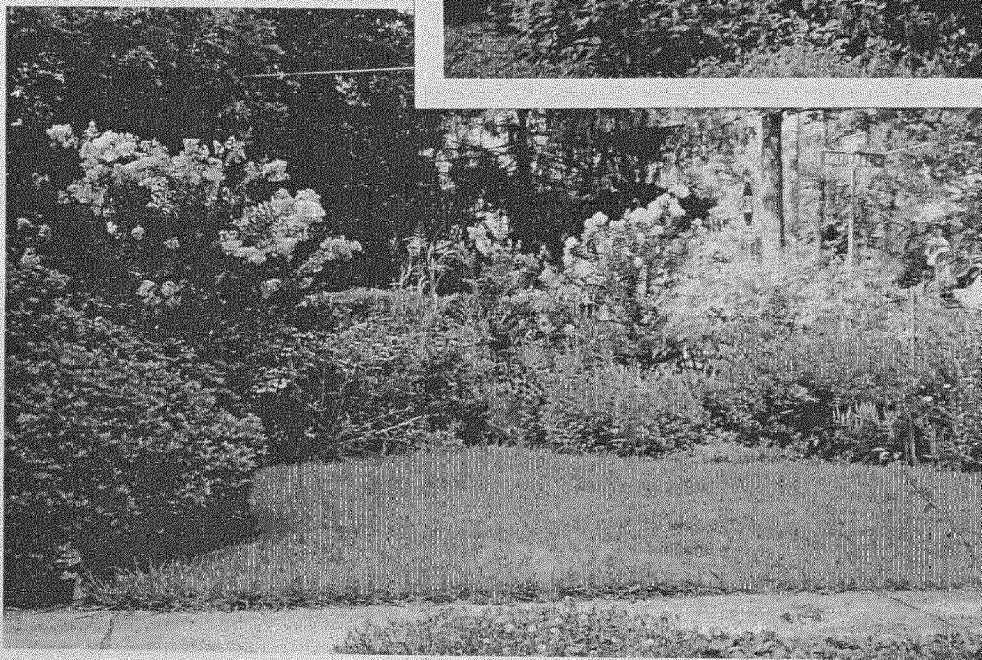
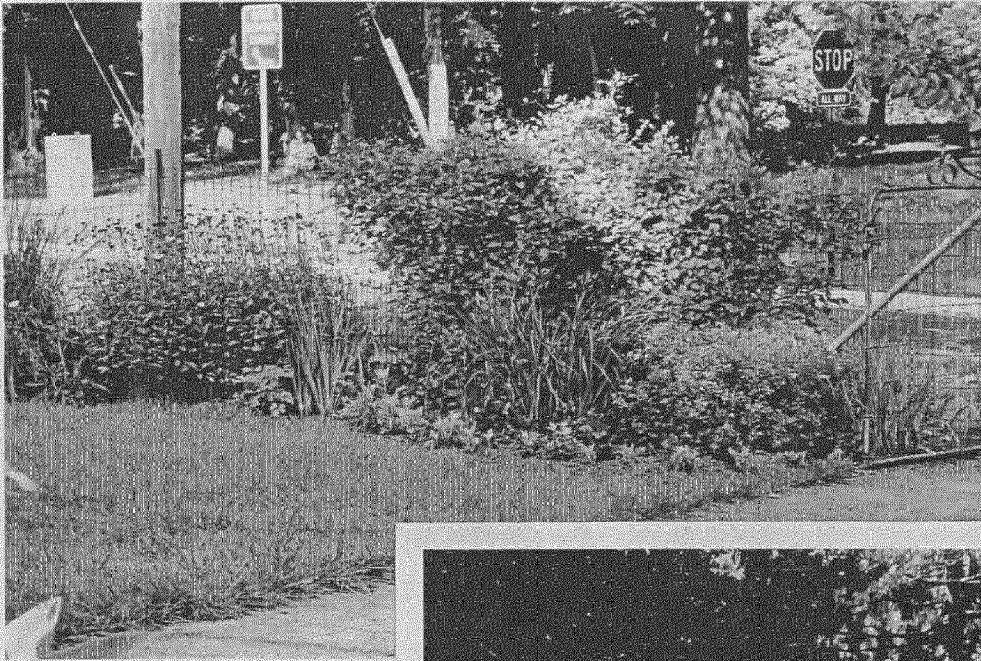
10220 Carroll Pl.  
views of Tulip poplar proposed for removal





10220 Carroll Pl.

existing Wild Garden, corner of Baltimore St. & Carroll Pl. - no changes



10220 Carroll Pl.

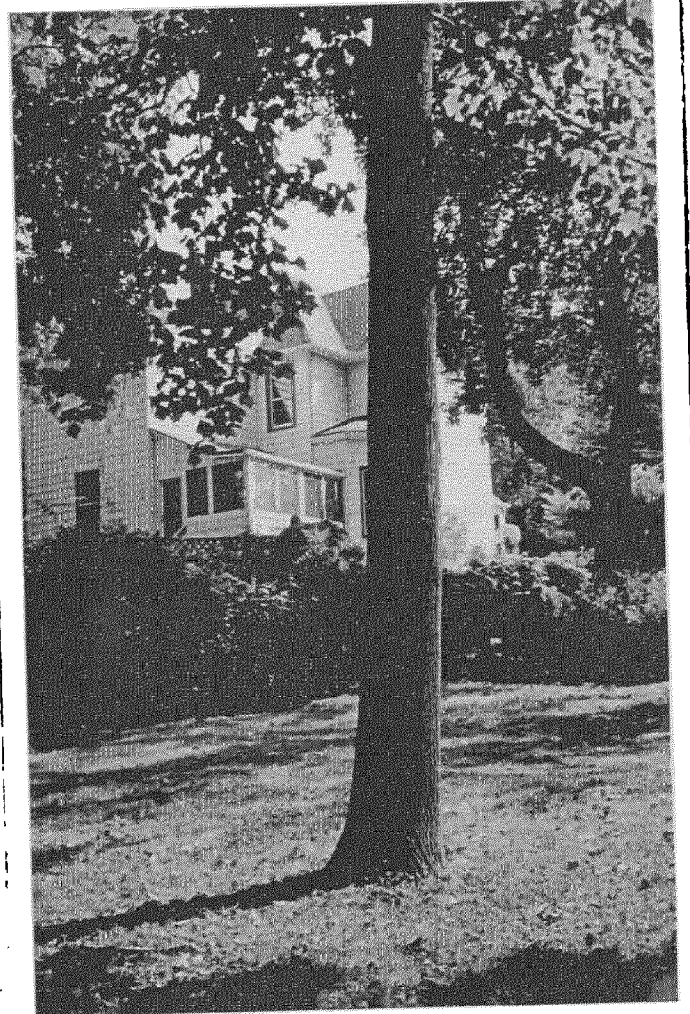
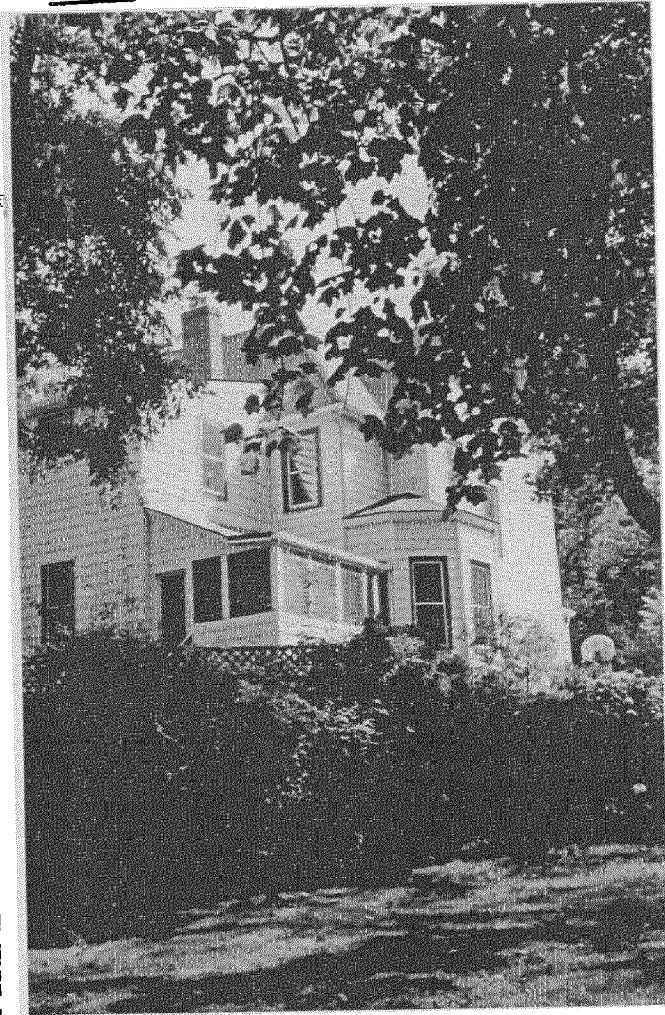
existing back corner garden installed

1999 - no changes except as  
necessary to deal with  
overcrowding

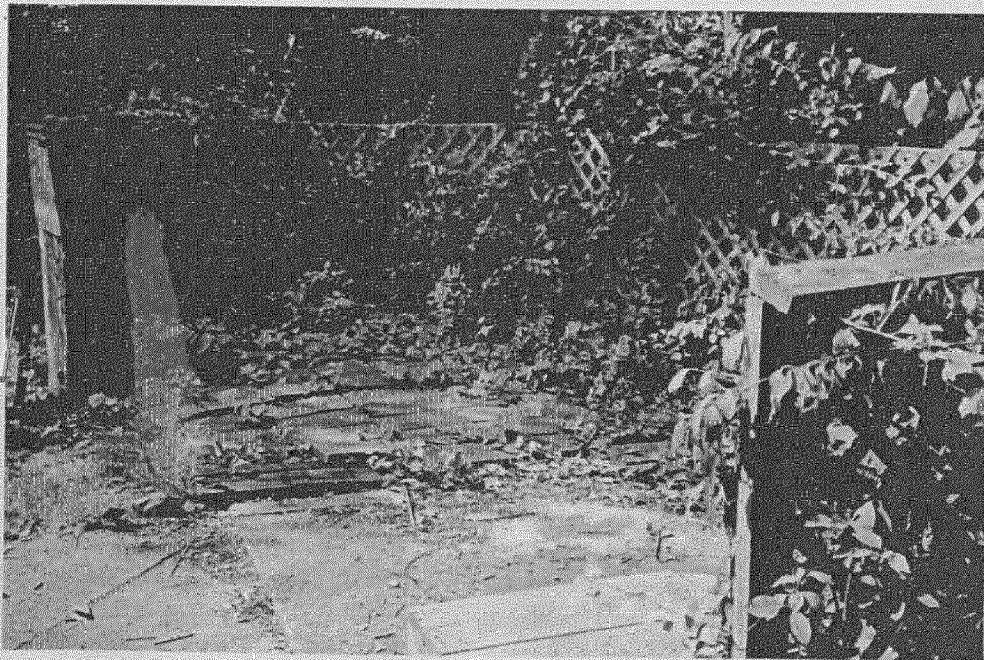
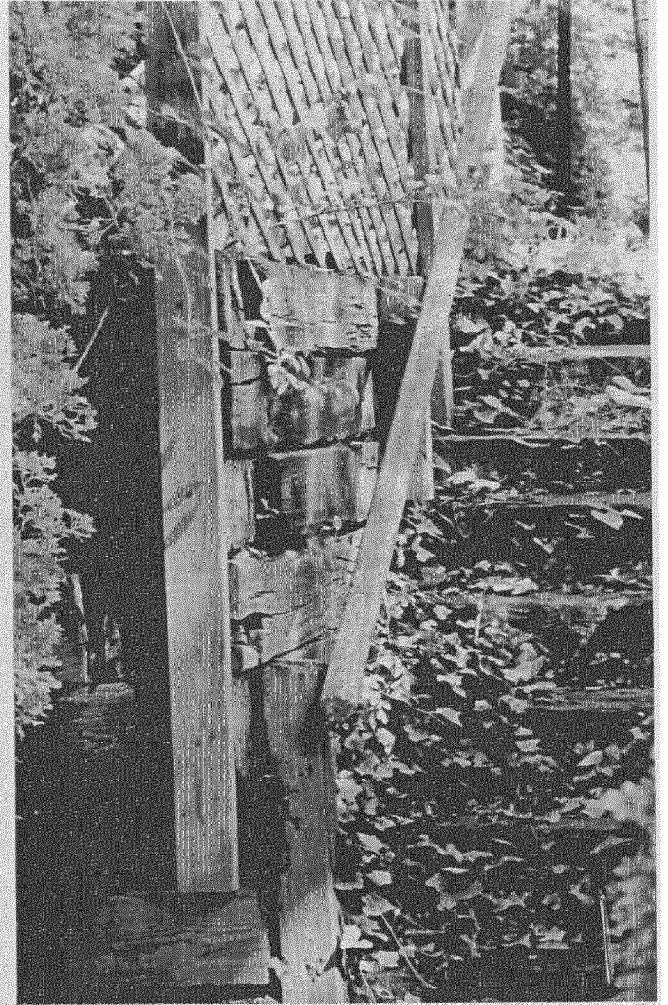
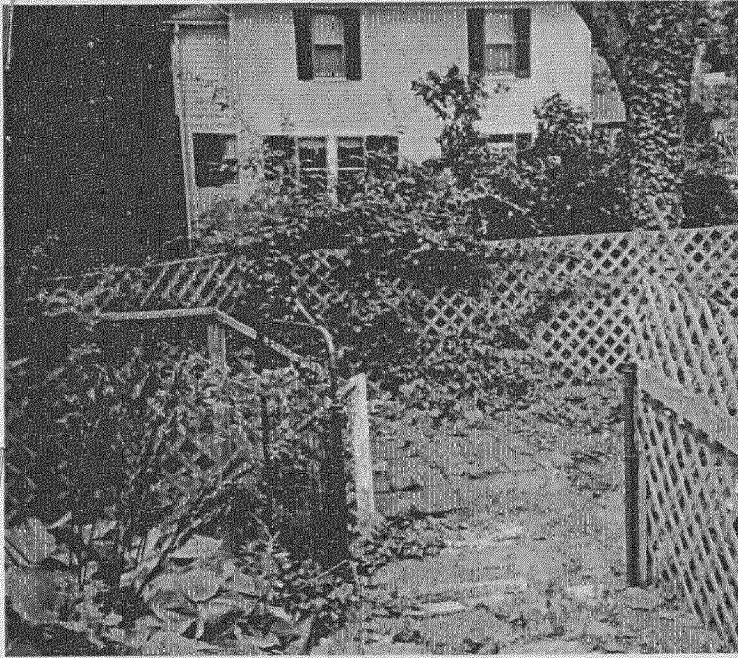




10220 Carroll Pl.  
view from lowest point toward house



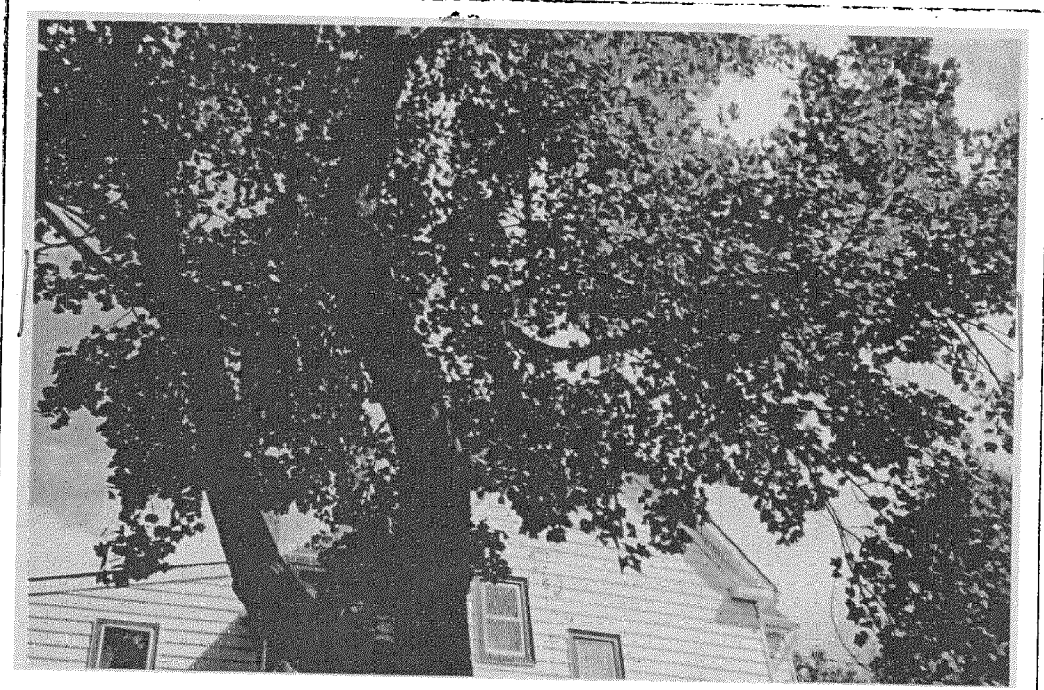
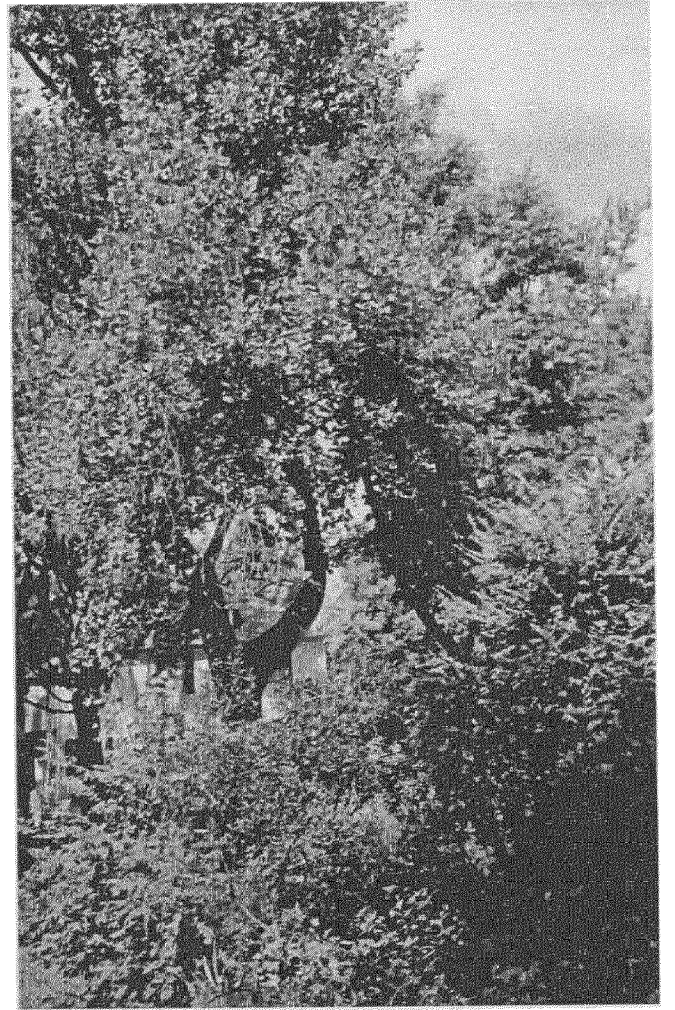
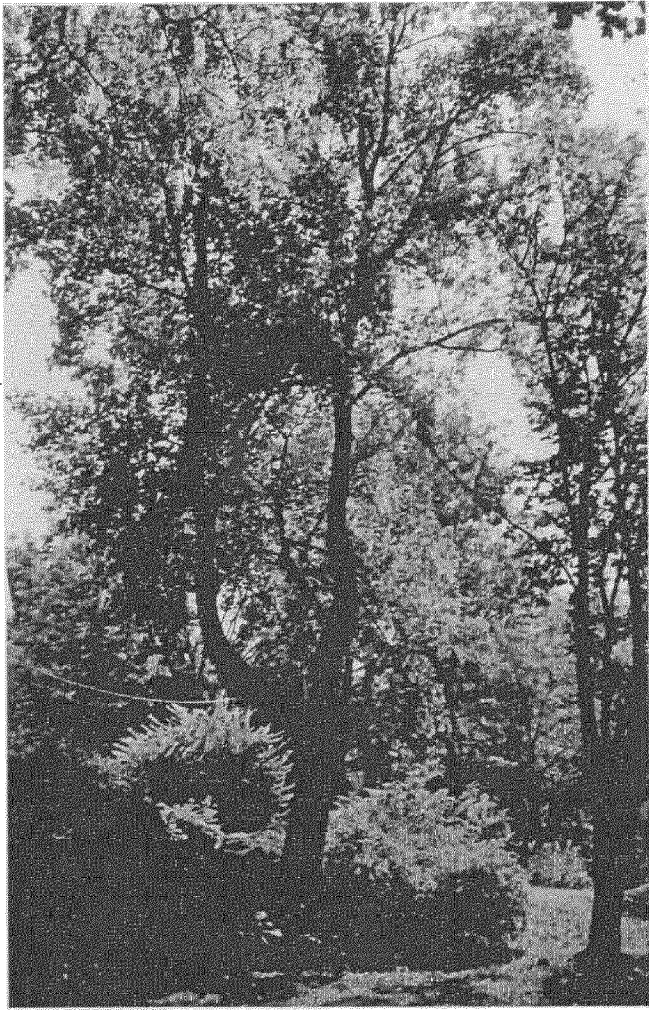
10220 Carroll Pl.  
existing back terrace and stairs

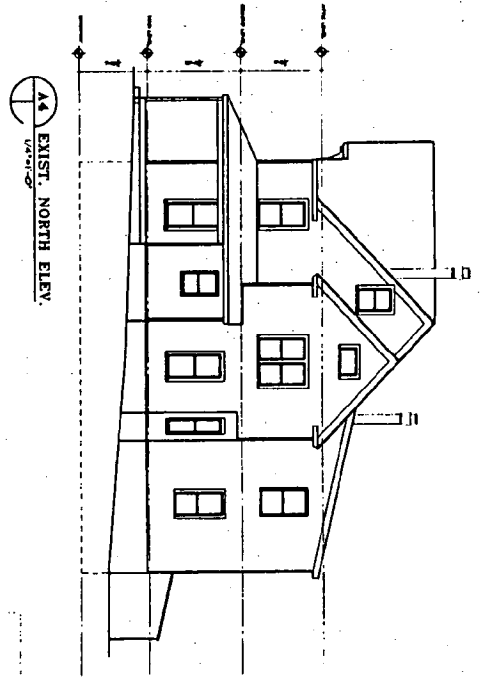




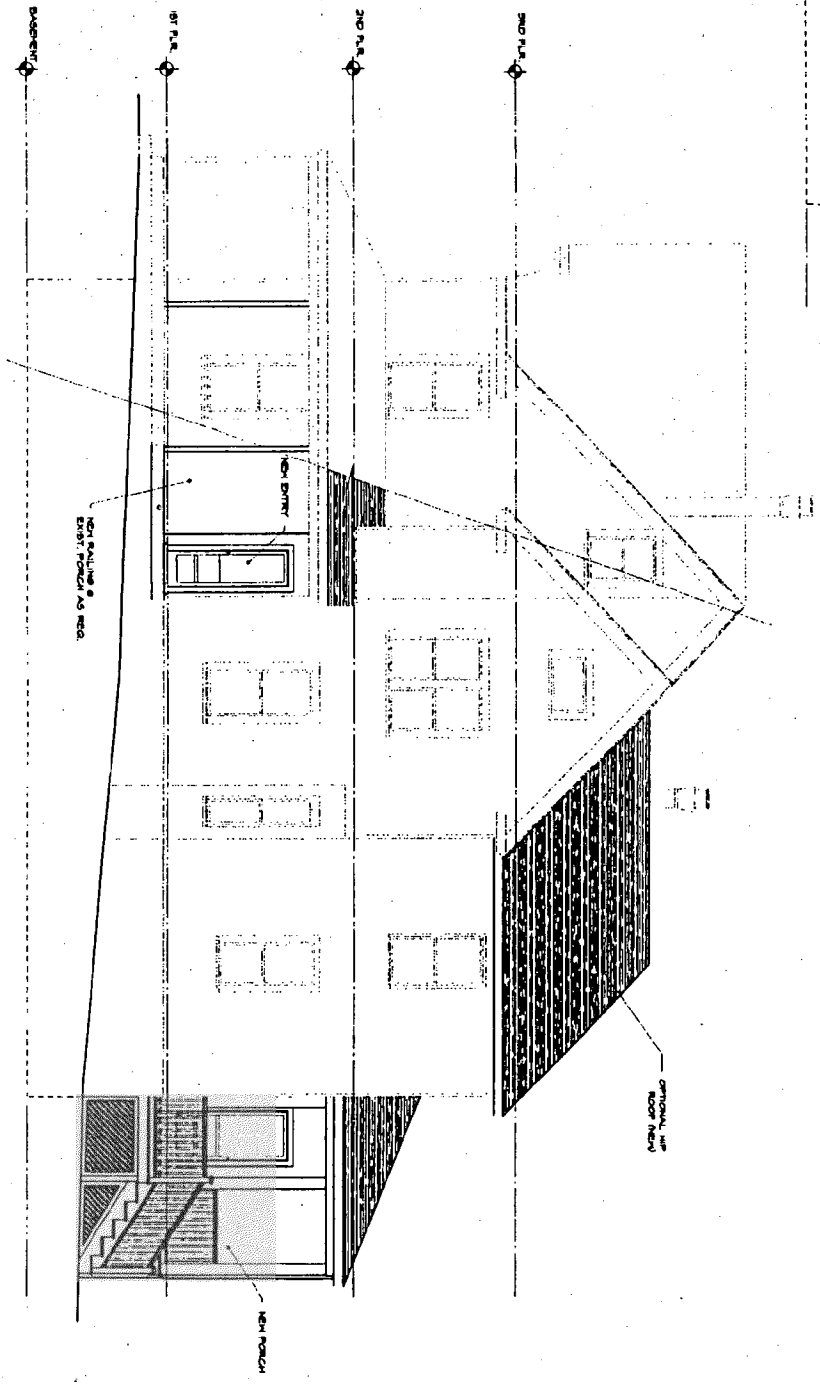
10220 Carroll Pl.

views of Tulip poplar proposed for removal





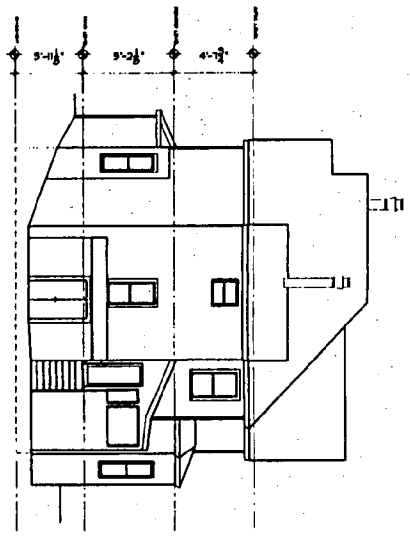
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1/8"=1'-0"



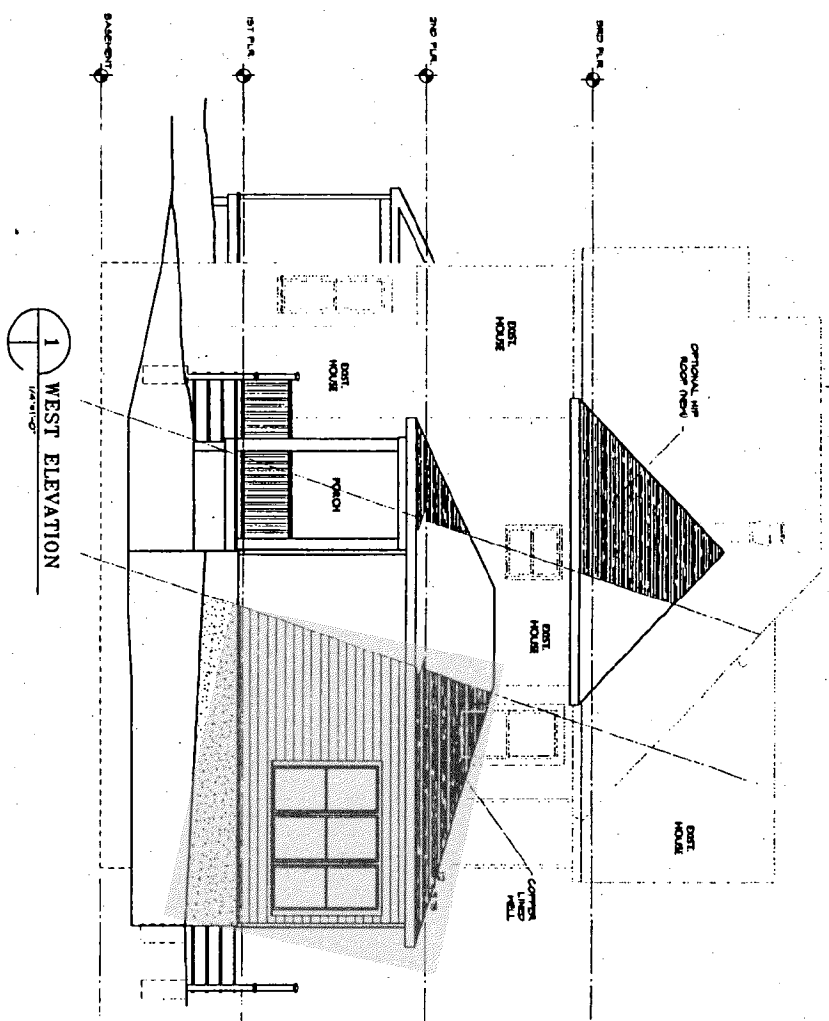
4 NORTH ELEVATION  
1/8"=1'-0"

A-5	ELEVATION	KUZMA CONSTRUCTION DESIGN-BUILD/ CONSTRUCTION 10139 CEDAR LANE KENSINGTON, MD. 20895 PH. (301) 571-5550	CONLEY/ENGEL RES.  10220 CARROLL PLACE KENSINGTON, MD. 20895
	SHEET TITLE DATE SCALE		



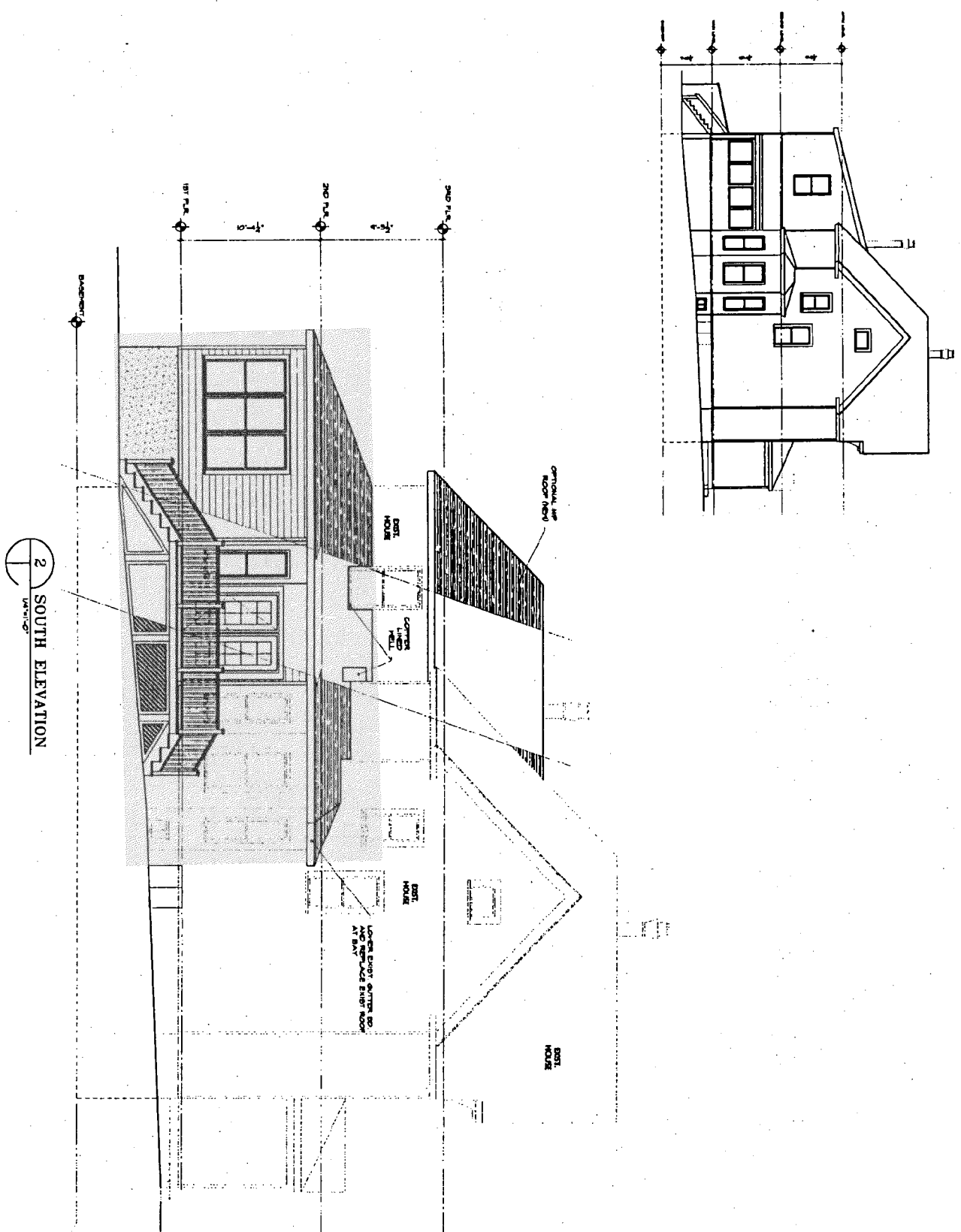


⊕ A1 EXIST. WEST ELEV.  
1/8" = 1'-0"



⊕ 1 WEST ELEVATION  
1/8" = 1'-0"

SHEET TRG	DATE 1/4" = 1'-0" 08/07/05	<b>KUZMA CONSTRUCTION</b> DESIGN-BUILD/ CONSTRUCTION 10139 CEDAR LANE KENSINGTON, MD. 20895 PH. (301) 571-5550	<b>CONLEY/ENGEL RES.</b> 10220 CARROLL PLACE KENSINGTON, MD. 20895
<b>A-2</b>			

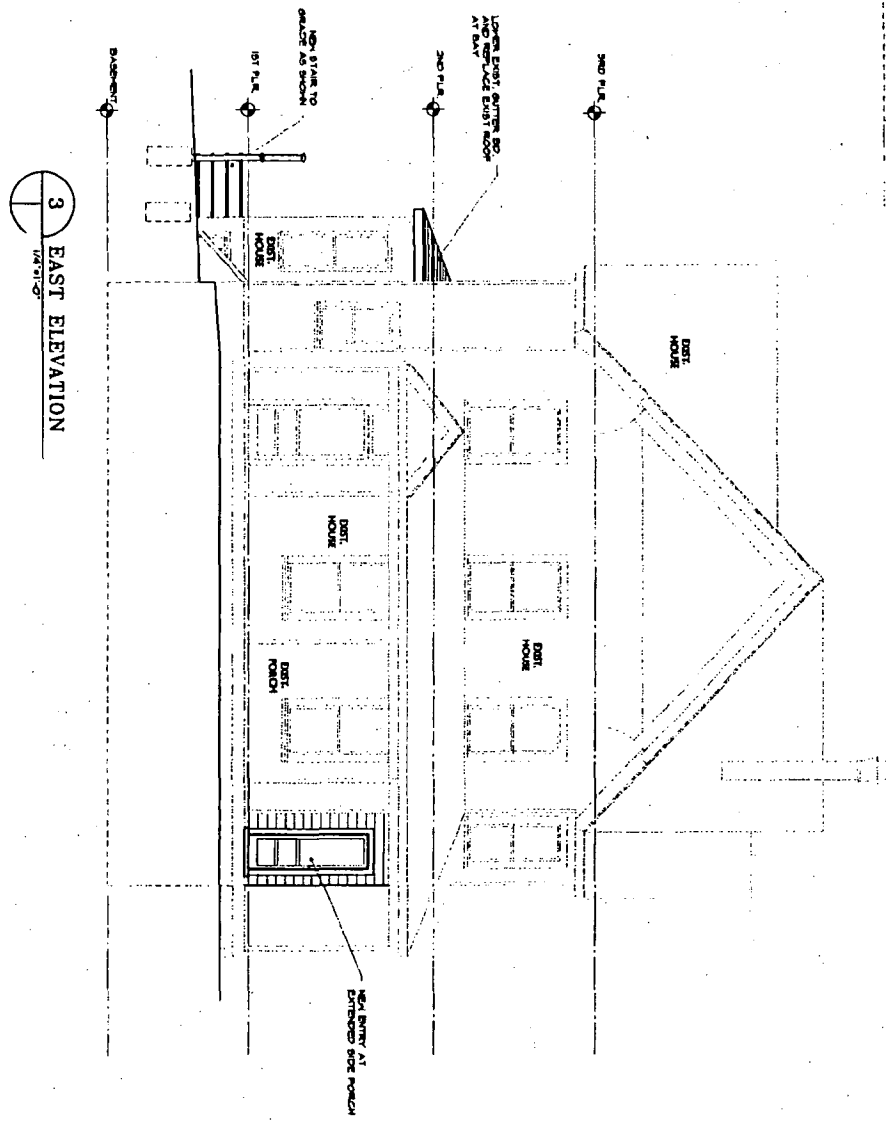
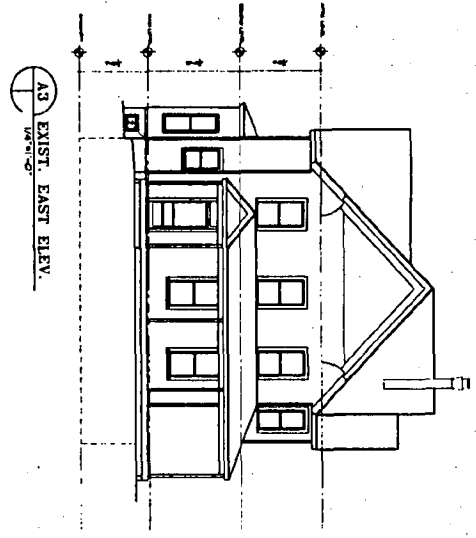


2 SOUTH ELEVATION

**KUZMA CONSTRUCTION**  
 DESIGN-BUILD/ CONSTRUCTION  
 10139 CEDAR LANE  
 KENSINGTON, MD. 20895  
 PH. (301) 571-5550

**CONLEY/ENGEL RES.**  
 10220 CARROLL PLACE  
 KENSINGTON, MD. 20895

A-3	ELEVATION	Scale	1/4" = 1'-0"
		Date	08/07/05



**CONLEY/ENGEL RES.**

10220 CARROLL PLACE  
KENSINGTON, MD. 20895

**KUZMA CONSTRUCTION**

DESIGN-BUILD/ CONSTRUCTION

10139 CEDAR LANE  
KENSINGTON, MD. 20895  
PH. (301) 571-5550

ELEVATION

SCALE 1/4" = 1'-0"  
DATE 08/07/05

A-4





## Garden Sheds Designs

Preferred

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Interiors

Options

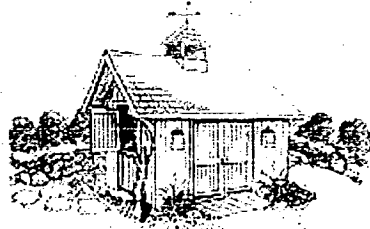
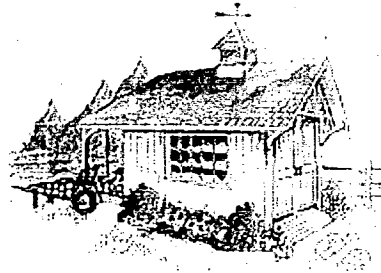
Prices & Order Form

Back to Home

### Design A (click for photos)

8' x 12' x 10 1/2' high  
Woodshed lean-to 4' long x 8' wide

This roomy garden shed will house a multitude of garden tools and equipment. A six foot wide door provides easy access. The window has true divided lights and can be opened for ventilation. The optional cupola also provides ventilation. The wood shed at the back holds an ample cord of wood. It is also an option. A very attractive and functional out building.



### Design B (click for photos)

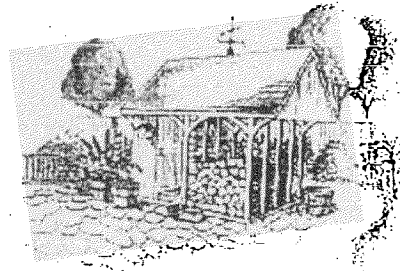
8' x 12' x 10 1/2' high

Sturdy and practical, this storage shed can have an optional dutch door on one end. The six foot wide double doors on the side makes it easy storage for lawn mowers, bikes, sleds, and prams. If you would rather park your car in the garage, this garden shed is perfect!

### Design C (click for larger view)

8' x 10' x 10 1/2' high

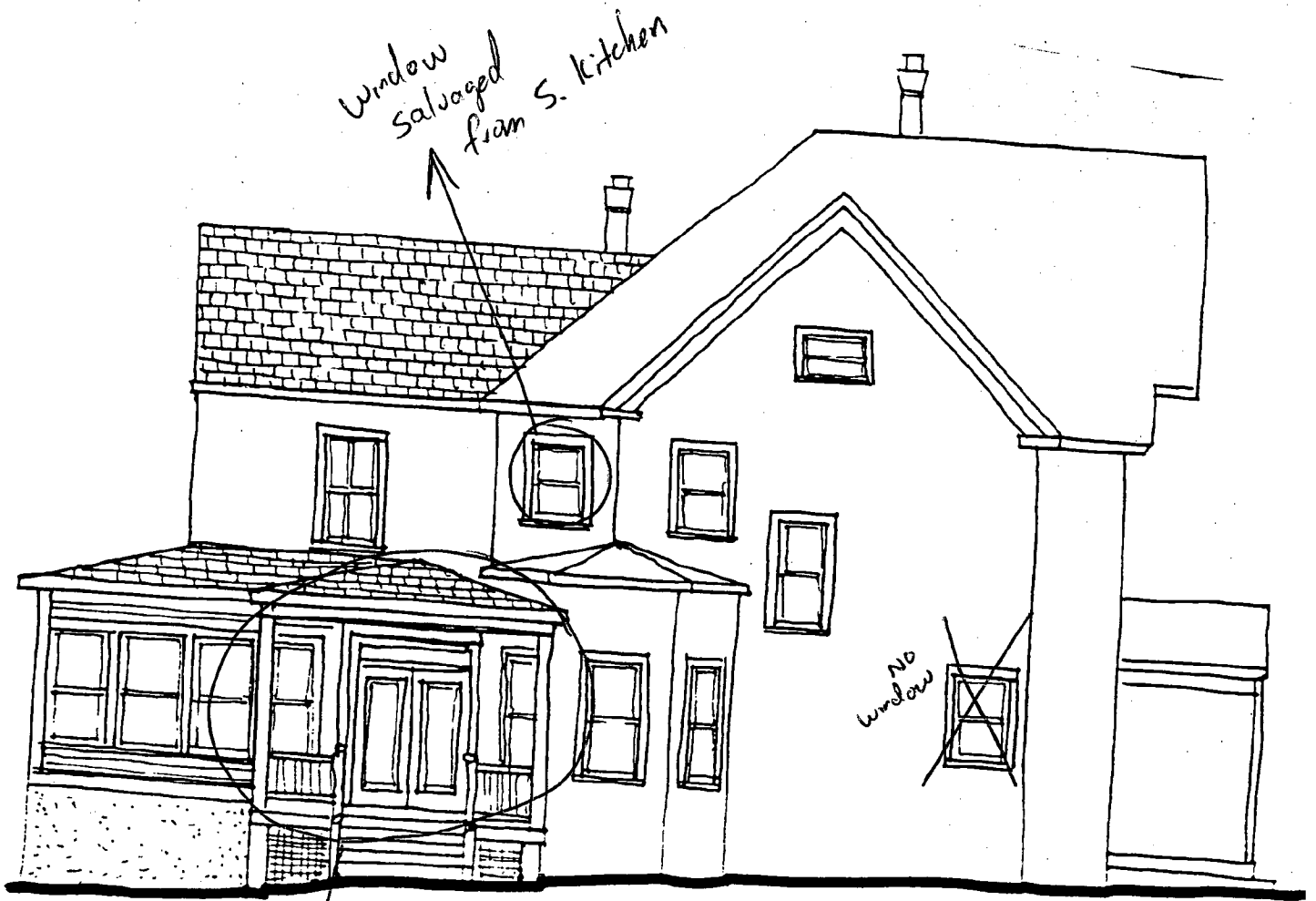
This is a very versatile potting shed combining a wood shed, tool storage and shelves for potting plants. The ladder provides easy access to a roomy storage loft overhead. This wood shed, potting shed holds 1 1/2 cords of wood.





Existing

2 SOUTH SIDE ELEVATION  
A4



South elevation

Porch not carried over to HAWP.

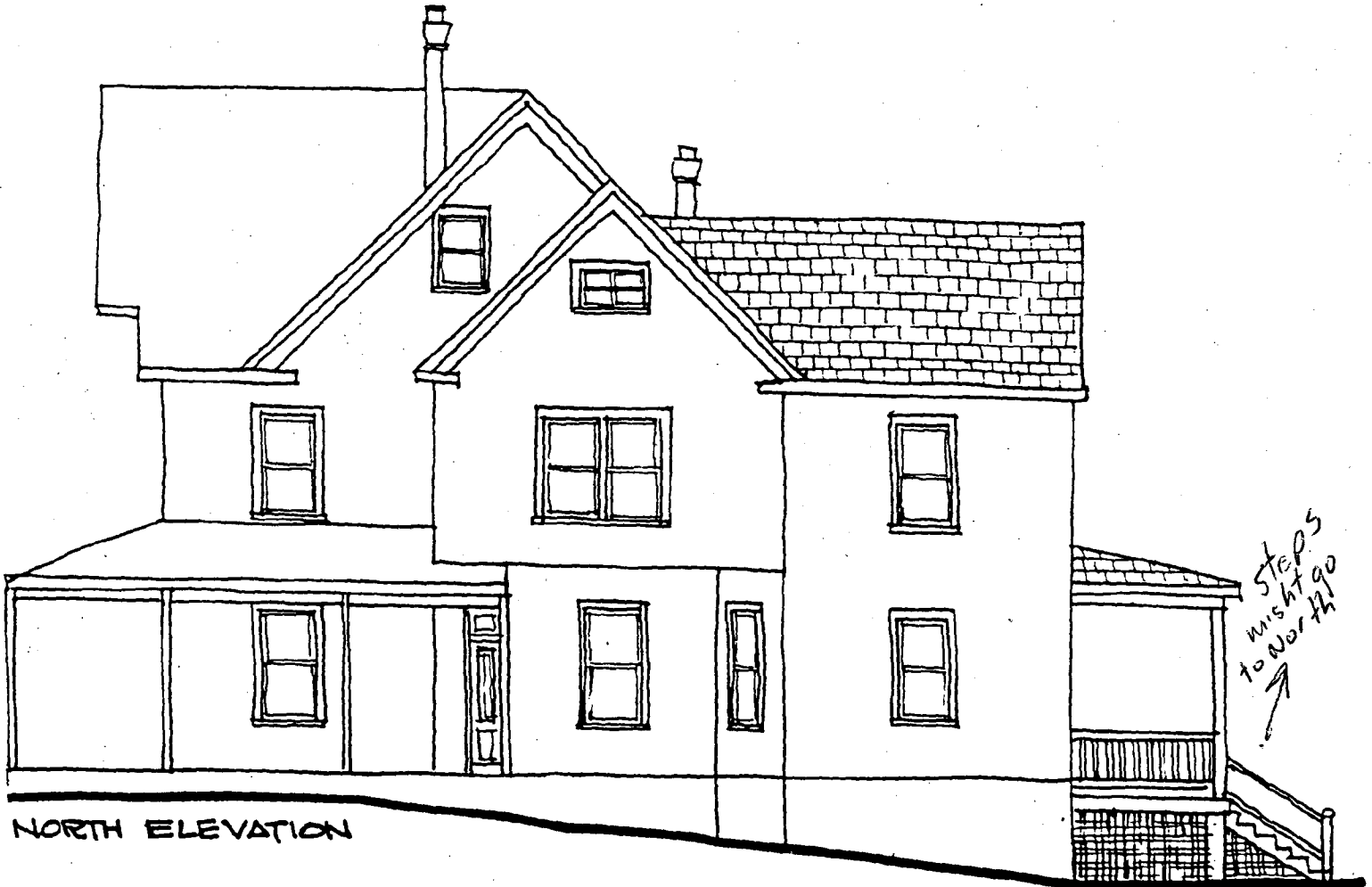
Proposed

PRELIMS



2 NORTH SIDE ELEVATION  
A3 Scale: 1/4" = 1'-0"

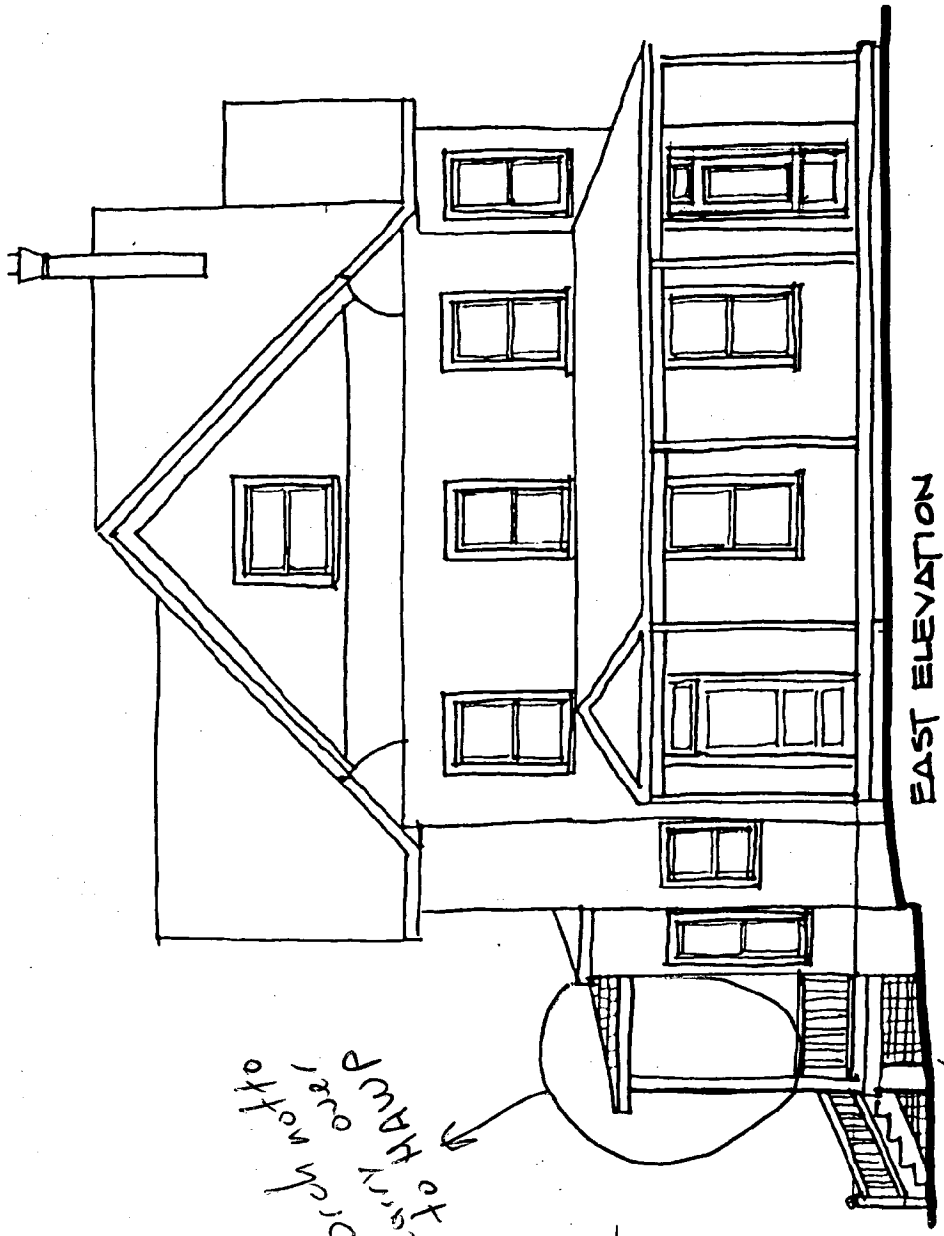
Existing



NORTH ELEVATION

Steps  
might go  
to North  
↑

Proposed

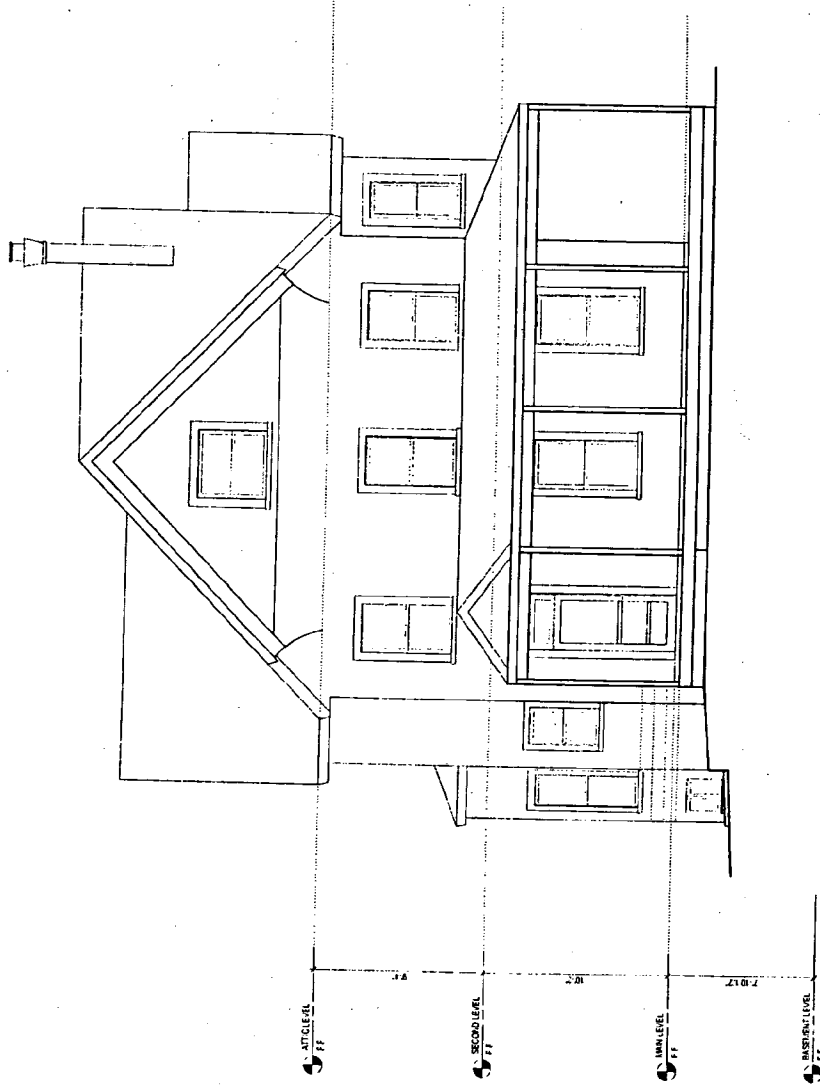


EAST ELEVATION

Proposed

Steps to Patio

Porch over,  
carry over  
to HAWP



FRONT EAST ELEVATION

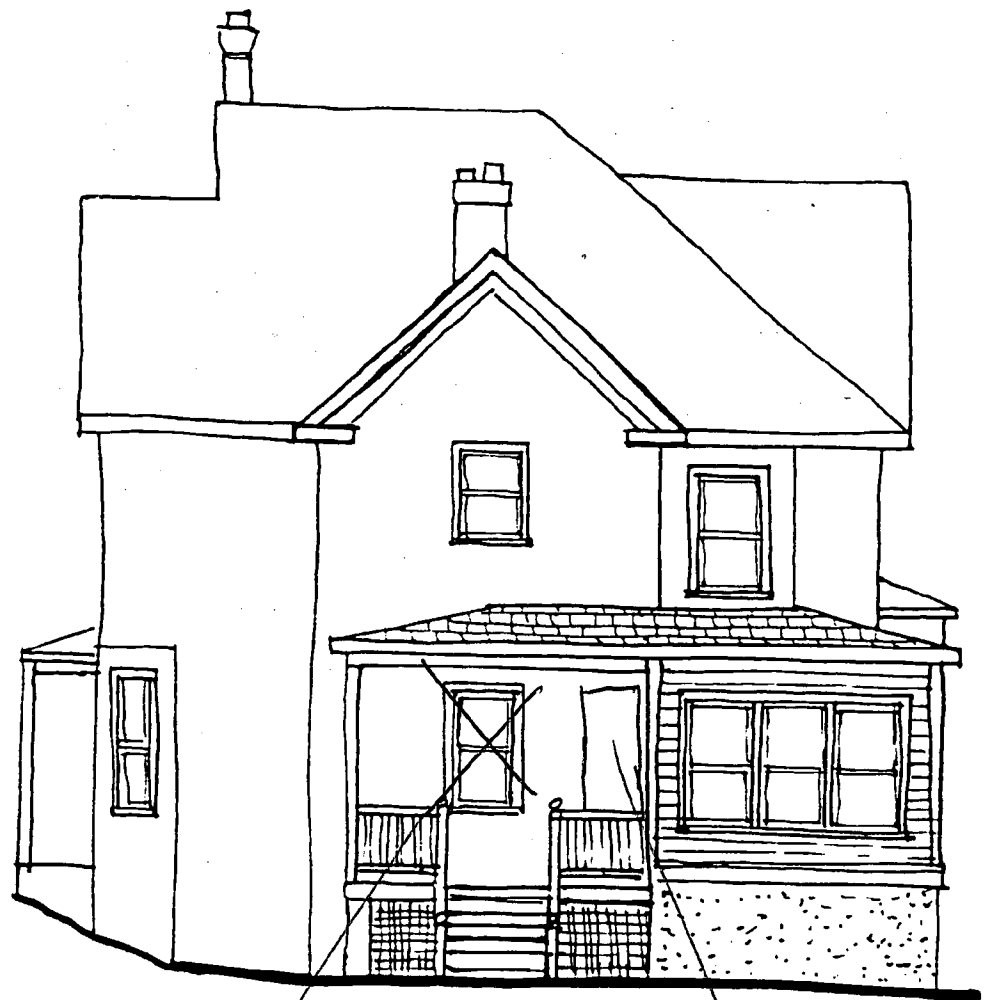
Existing

East Elevation



1 BACK WEST ELEVATION

Existing



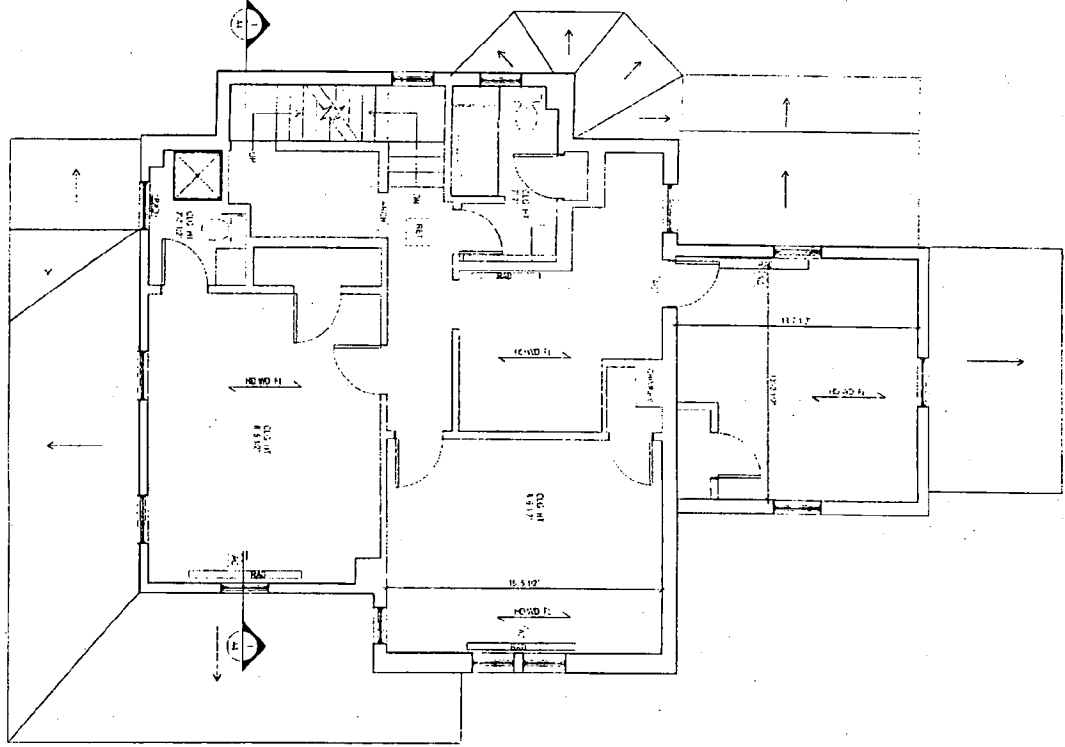
WEST ELEVATION

Window fill-in Proposed. door cut in



1 SECOND LEVEL  
A1 SCALE 1/8" = 1'-0"

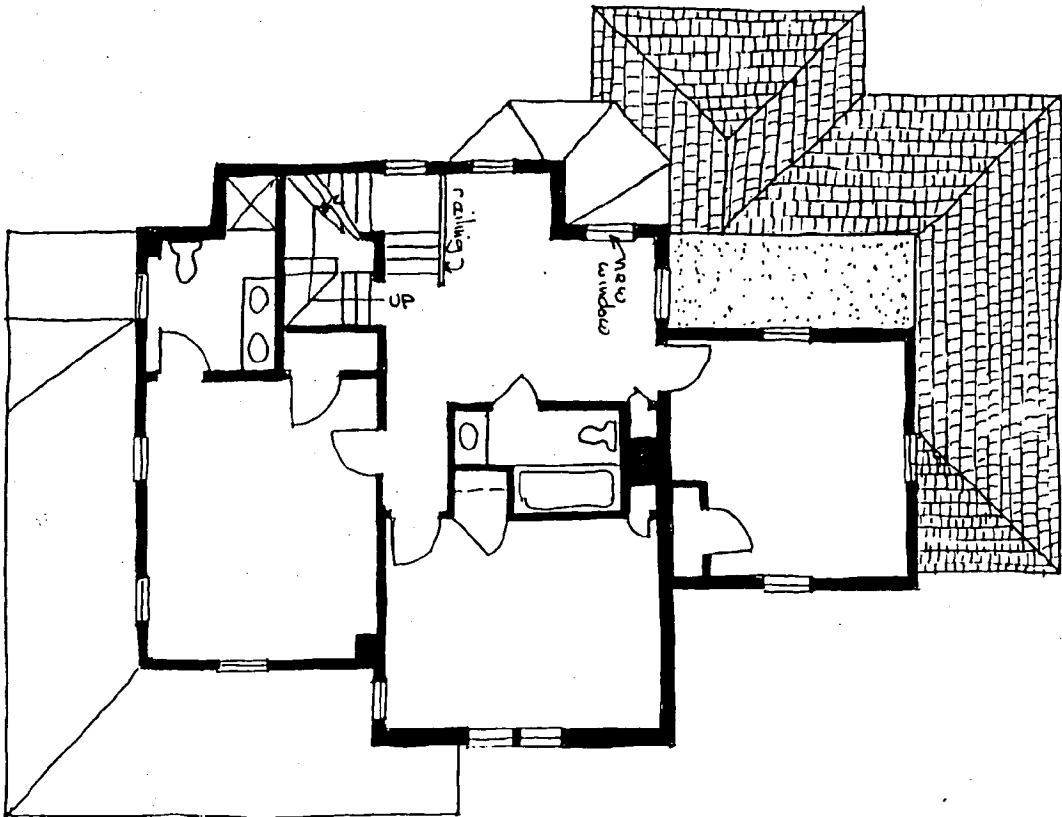
Existing



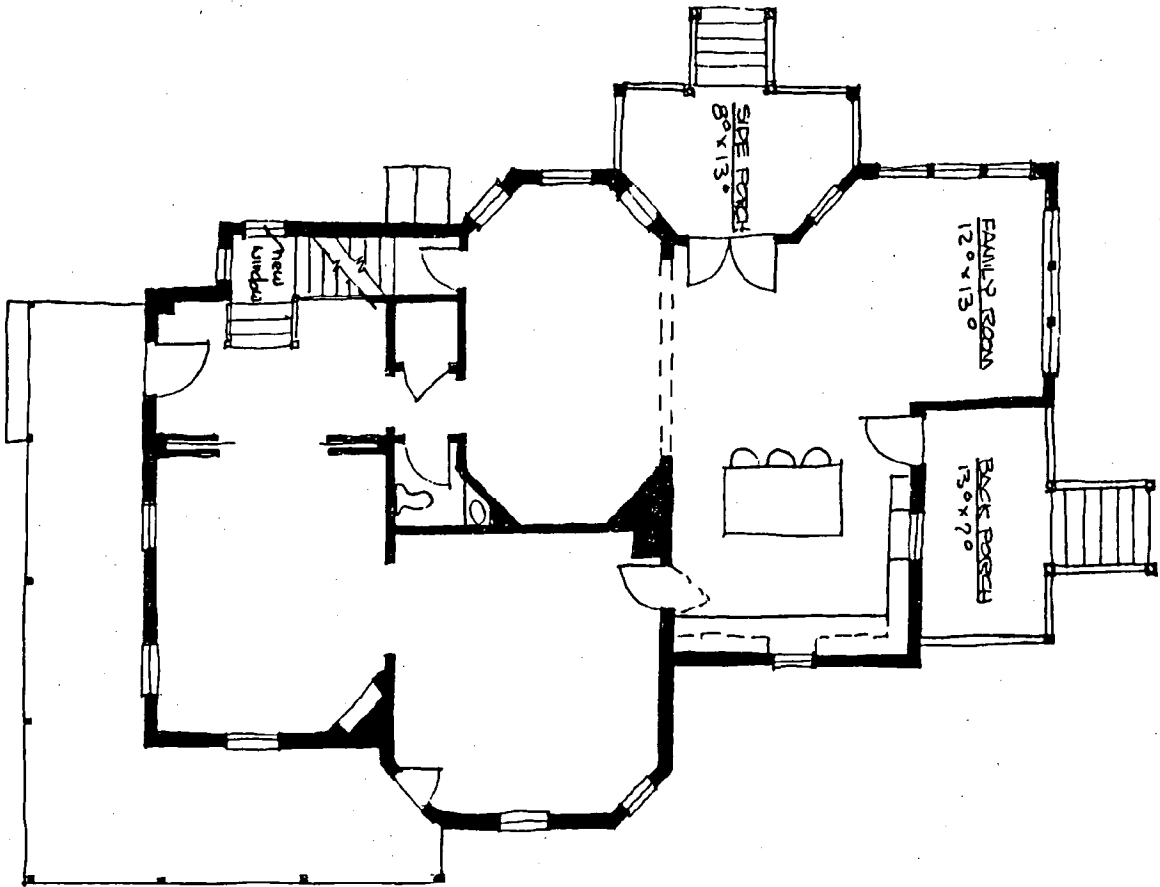
AE 4

SECOND FLOOR PLAN

Proposed

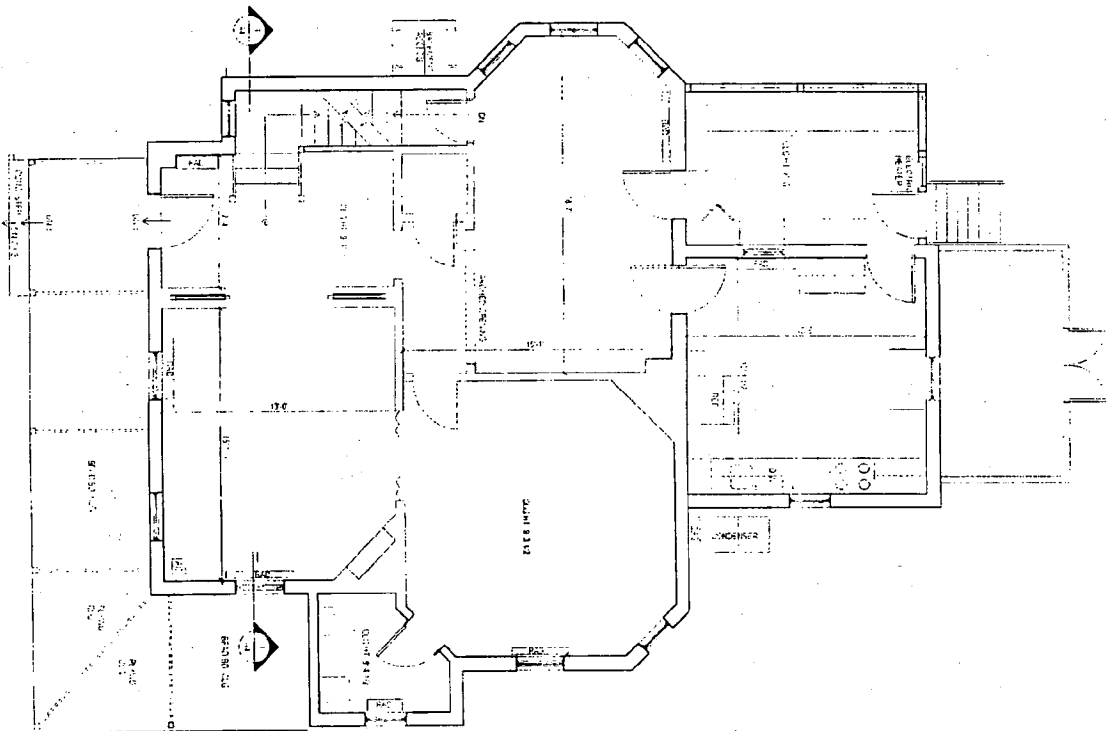


1/8" = 1'-0"  
NOV. 30, 2004



*Proposed*

FIRST FLOOR PLAN  
 THE CONLEY/ENGEL RESIDENCE  
 REINHARDT ARCHITECTS © 2004 SCHEM

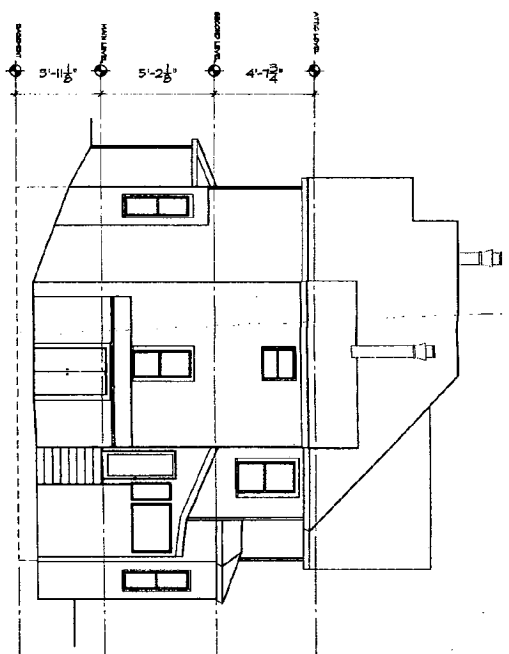


1st FLOOR  
 Scale: 1/8" = 1'-0"

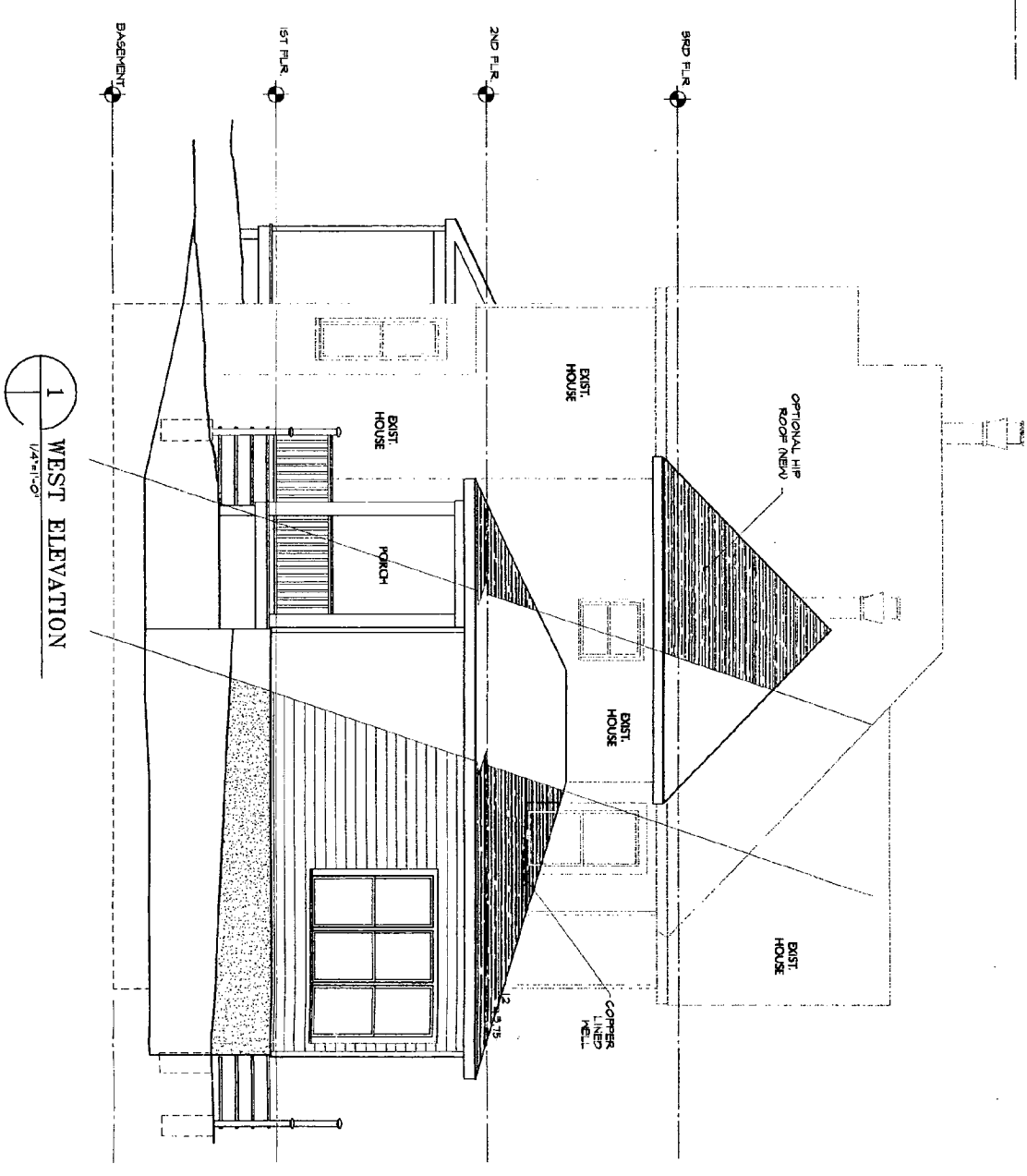
*Existing*







A1 EXIST. WEST ELEV.  
1/4"=1'-0"



1 WEST ELEVATION  
1/4"=1'-0"

SHEET NUMBER	A-2
SHEET TITLE	ELEVATION
SCALE	1/4"=1'-0"
DATE	08/07/05

**KUZMA CONSTRUCTION**  
 DESIGN-BUILD/ CONSTRUCTION  
 10139 CEDAR LANE  
 KENSINGTON, MD. 20895  
 PH. (301) 571-5550

**CONLEY/ENGEL RES.**  
 10220 CARROLL PLACE  
 KENSINGTON, MD. 20895

**Tully, Tania**

---

**From:** Engel, James D [jdengel@firsthorizon.com]  
**Sent:** Tuesday, September 13, 2005 10:31 AM  
**To:** Tully, Tania  
**Cc:** moconley@yahoo.com  
**Subject:** RE: Sept 24th meeting - Questions

See responses below. We are still trying to coordinate the time to meet.

Jim Engel  
(703) 394-2545  
[JDEngel@FirstHorizon.com](mailto:JDEngel@FirstHorizon.com)

-----Original Message-----

**From:** Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]  
**Sent:** Monday, September 12, 2005 2:20 PM  
**To:** Engel, James D  
**Cc:** moconley@yahoo.com  
**Subject:** Sept 24th meeting - Questions

Hello-

I have a few of questions/comments:

- Are you still planning on removing the aluminum siding? Yes, cost permitting in this phase. We estimate another \$30,000 for exterior work on the c. 1890 parts of the house, which is not included in Kuzma's contract. This would have to be a separate contract based on time and materials and we want to see what is going on when they tear off the aluminum siding on the exterior walls that will be integrated into the new construction.
- Do you have a site plan that clearly shows which trees are to be removed? We can notate on the topographical survey, which I recall included trees over 6" caliper. There are 3 trees that are problematic for the landscape plan: the tulip poplar and sour cherry that sit below the southern elevation of the house (below the bay window) would be impacted by the retaining wall that we feel is essential for dealing with the grade change and the integration of the garden rooms. A choke cherry that sits in front of the well vault in the western "back" yard might interfere with that space.
- Could you annotate one of the landscape plans with the room names as describe in the text? Yes.
- Has a tree protection plan been prepared yet? No. If you don't have one at the meeting, it will be a condition of the HAWP approval.
- The window is missing in the front gable. Oops! Forwarded this comment to Paul Kuzma and Bob Arthur.
- Is there a 2nd floor plan? It would show the roof plan of the 1st floor. See window comment. There is no design work contemplated for the living spaces on the 2<sup>nd</sup> floor but it seems appropriate that HPC and DPS will need to see what the roof will look like from above.
- Do you have a preferred garden shed? Same as the preliminary discussion: Nellie Ahl design, [www.Gardensheds.com](http://www.Gardensheds.com). Design "A", probably W=8 X L=12 X H=10.5

I'd like to set up a brief meeting with you. You can come here, or I can meet you at your house, whichever is more convenient.

I'll available Wednesday at 1:30, Thursday between 1 and 4:30, and Friday between 9 and noon.  
Earlier is better.

Thanks,  
Tania

---

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**Tully, Tania**

---

**From:** Engel, James D [jdengel@firsthorizon.com]  
**Sent:** Friday, September 16, 2005 10:06 AM  
**To:** moconley@yahoo.com  
**Cc:** Tully, Tania  
**Subject:** Fw: Minor subdivision Submittal

Speak of the devil!

-----  
Jim Engel  
Vice President, Commercial Banking  
First Horizon Bank - Mid Atlantic Region  
Office Phone 703 394 2545  
Cell Phone 571 218 0621  
JDEngel@Firsthorizon.com

-----Original Message-----  
From: Phil Wilk <aeswilk@erols.com>  
To: Engel, James D <jdengel@firsthorizon.com>  
Sent: Fri Sep 16 09:02:23 2005  
Subject: Minor subdivision Submittal

Jim

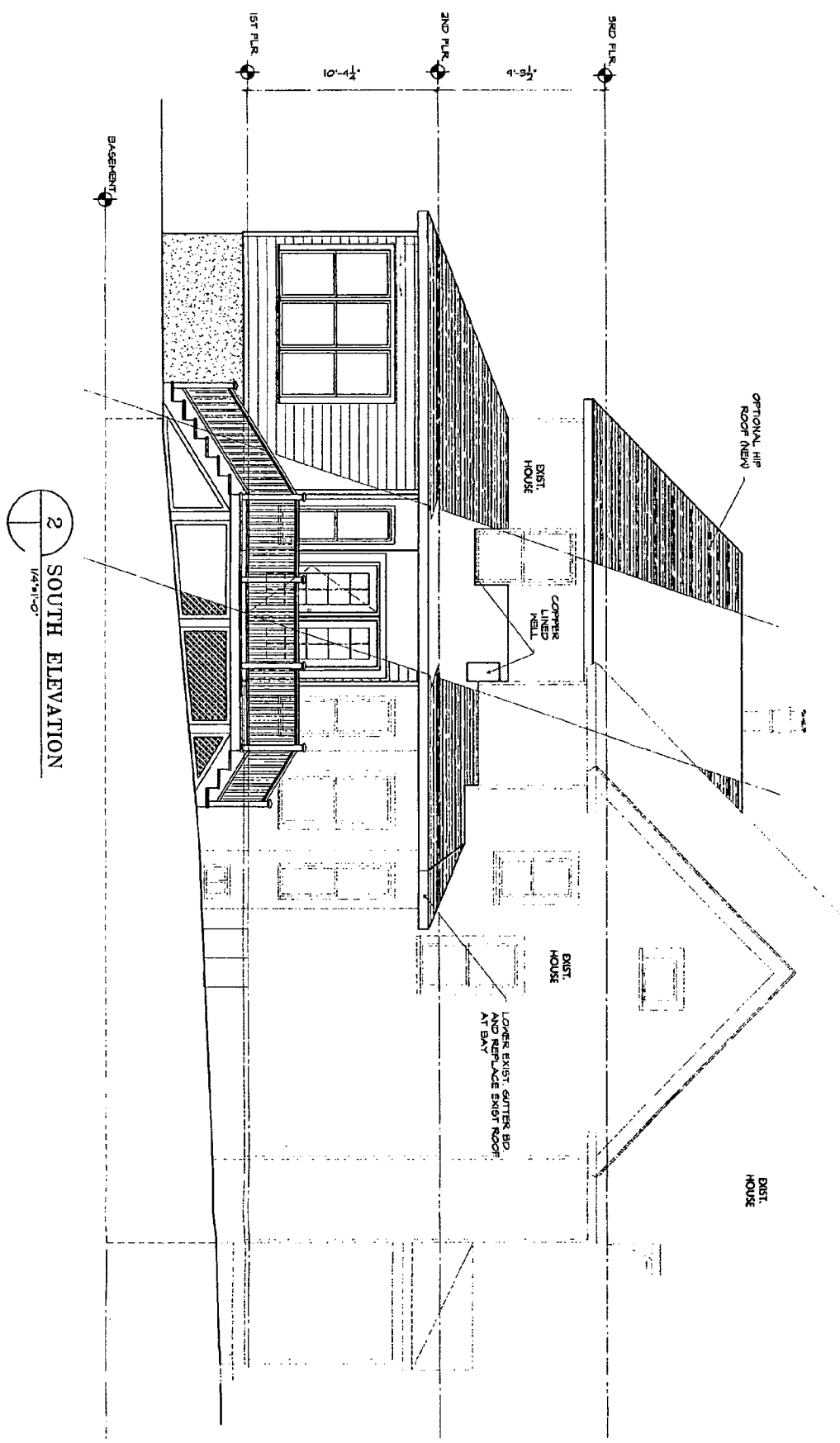
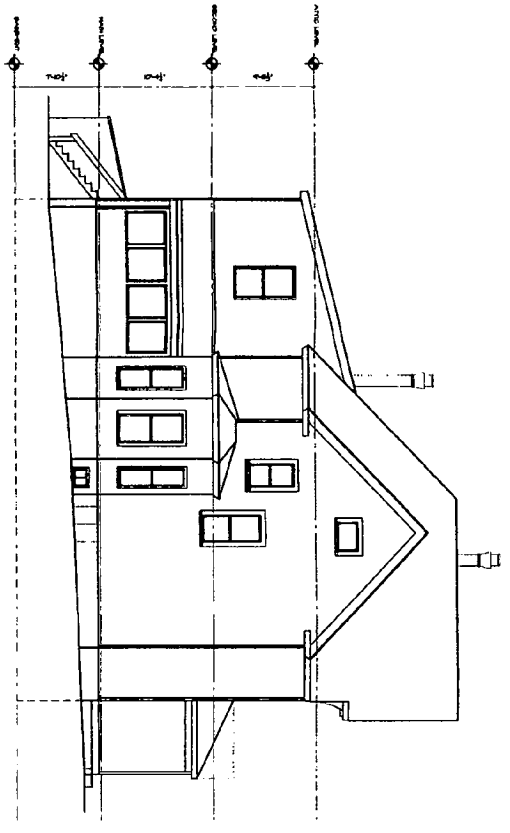
Park & Planning Commission would like you and Maureen to sign the plat,  
and the Town before they sign it.

Can I bring it over this weekend and get your signatures on it? Then  
can you please get the Town's signature?

Phil

-----  
Confidentiality notice:  
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confidential information. If you are not the intended recipient(s), or the employee or agent  
responsible for delivery of this message to the intended recipient(s), you are hereby notified that any  
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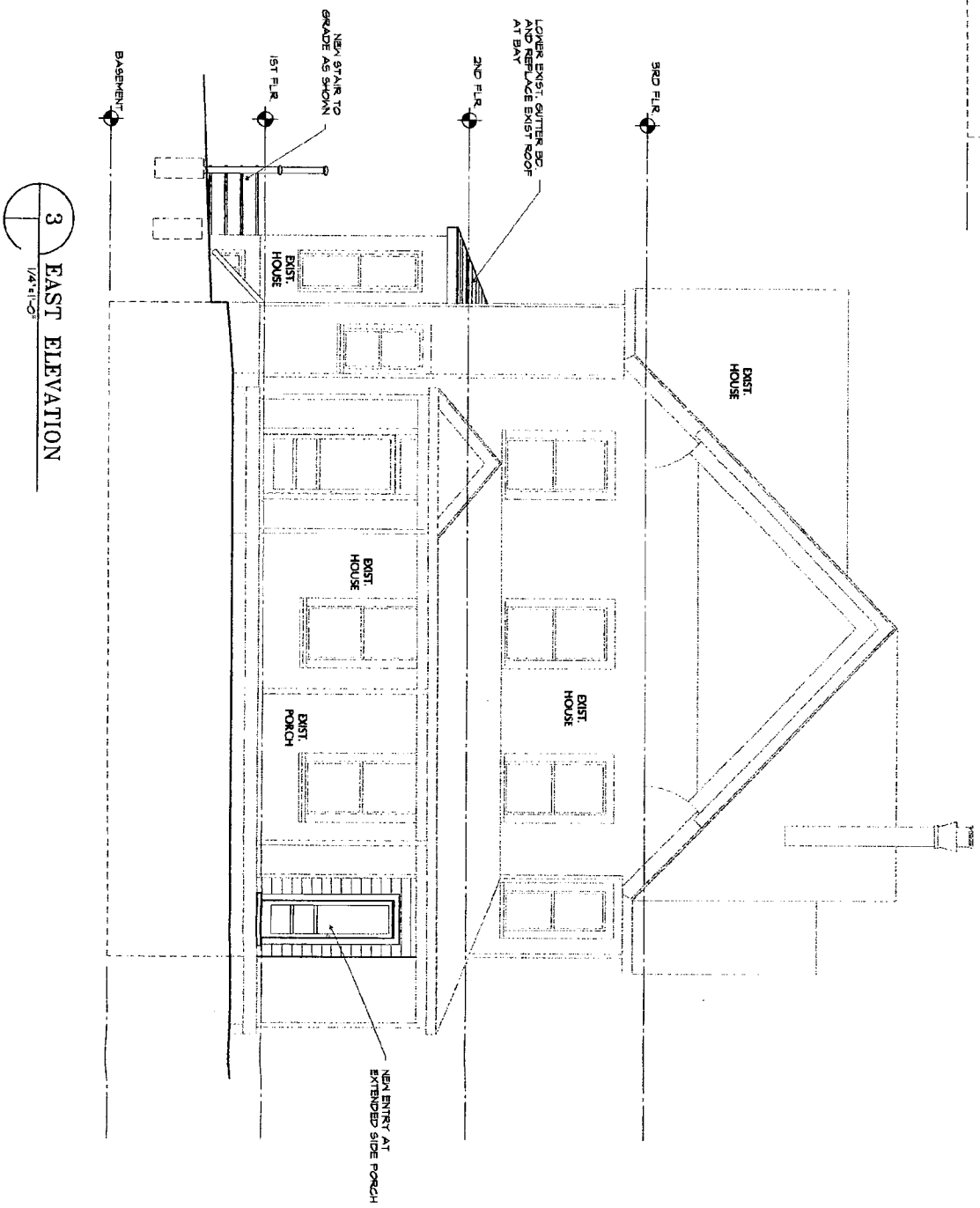
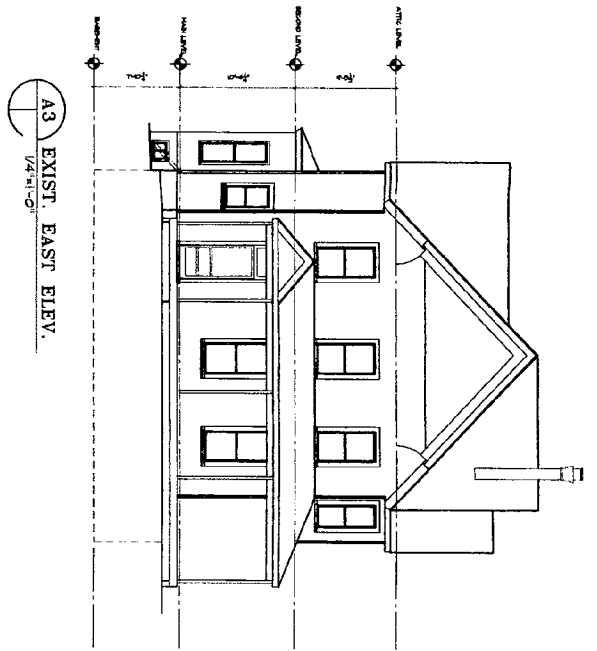


2 SOUTH ELEVATION  
1/4" = 1'-0"

SHEET NUMBER	A-3
SHEET TITLE	ELEVATION
SCALE	1/4" = 1'-0"
DATE	08/07/05

**KUZMA CONSTRUCTION**  
 DESIGN-BUILD/ CONSTRUCTION  
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**CONLEY/ENGEL RES.**  
 10220 CARROLL PLACE  
 KENSINGTON, MD. 20895



**CONLEY/ENGEL RES.**

10220 CARROLL PLACE  
KENSINGTON, MD. 20895

**KUZMA CONSTRUCTION**

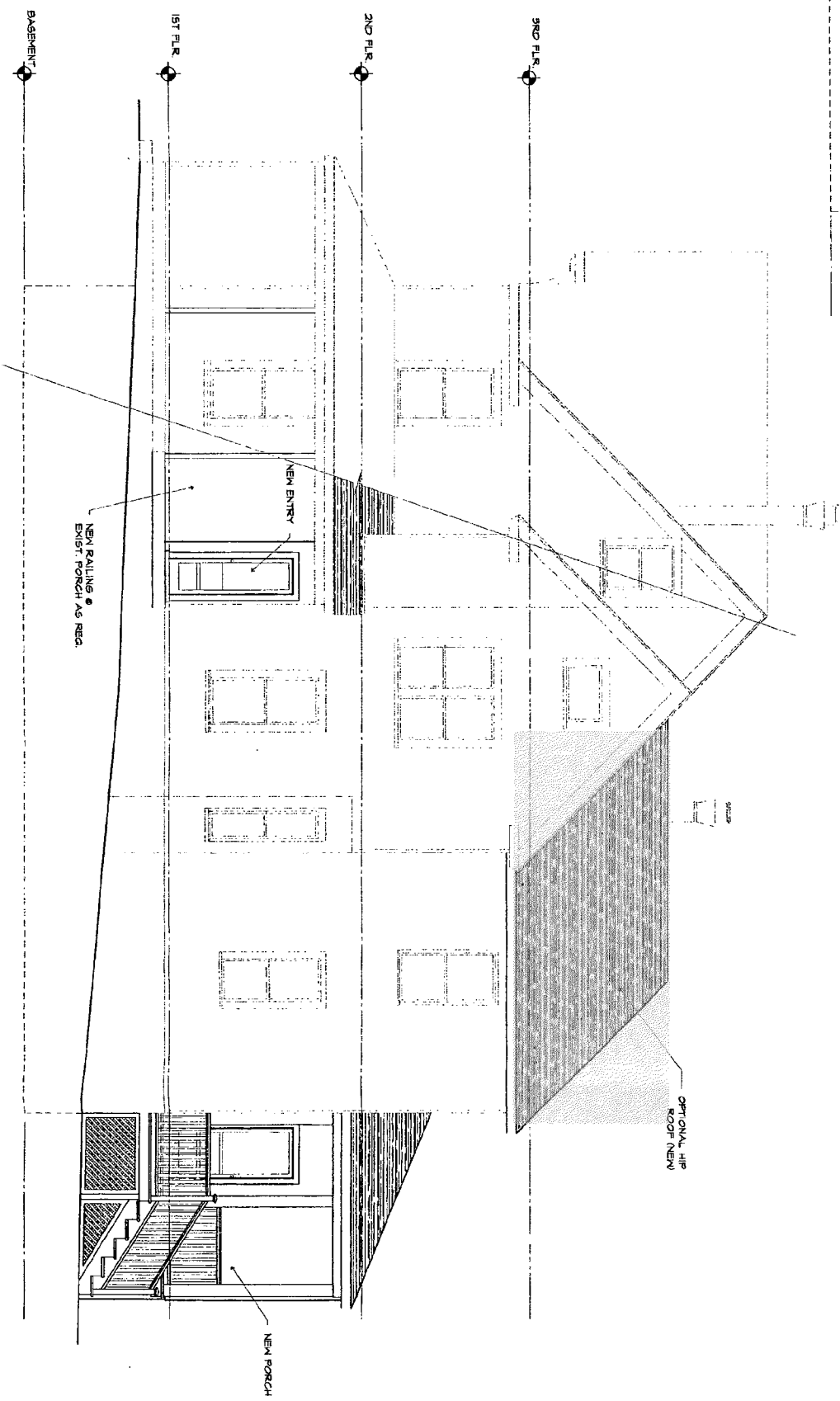
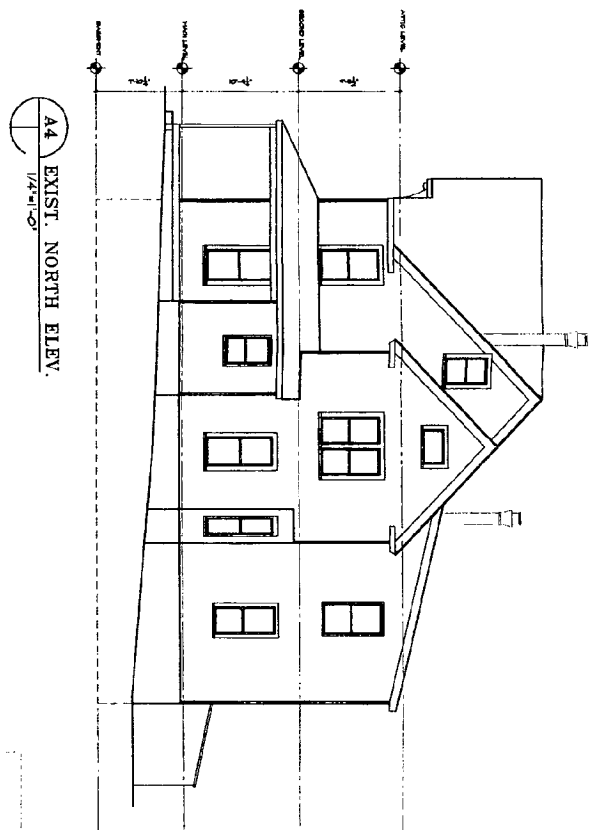
DESIGN-BUILD/ CONSTRUCTION

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ELEVATION

SCALE 1/4"=1'-0"  
DATE 08/07/05

A-4



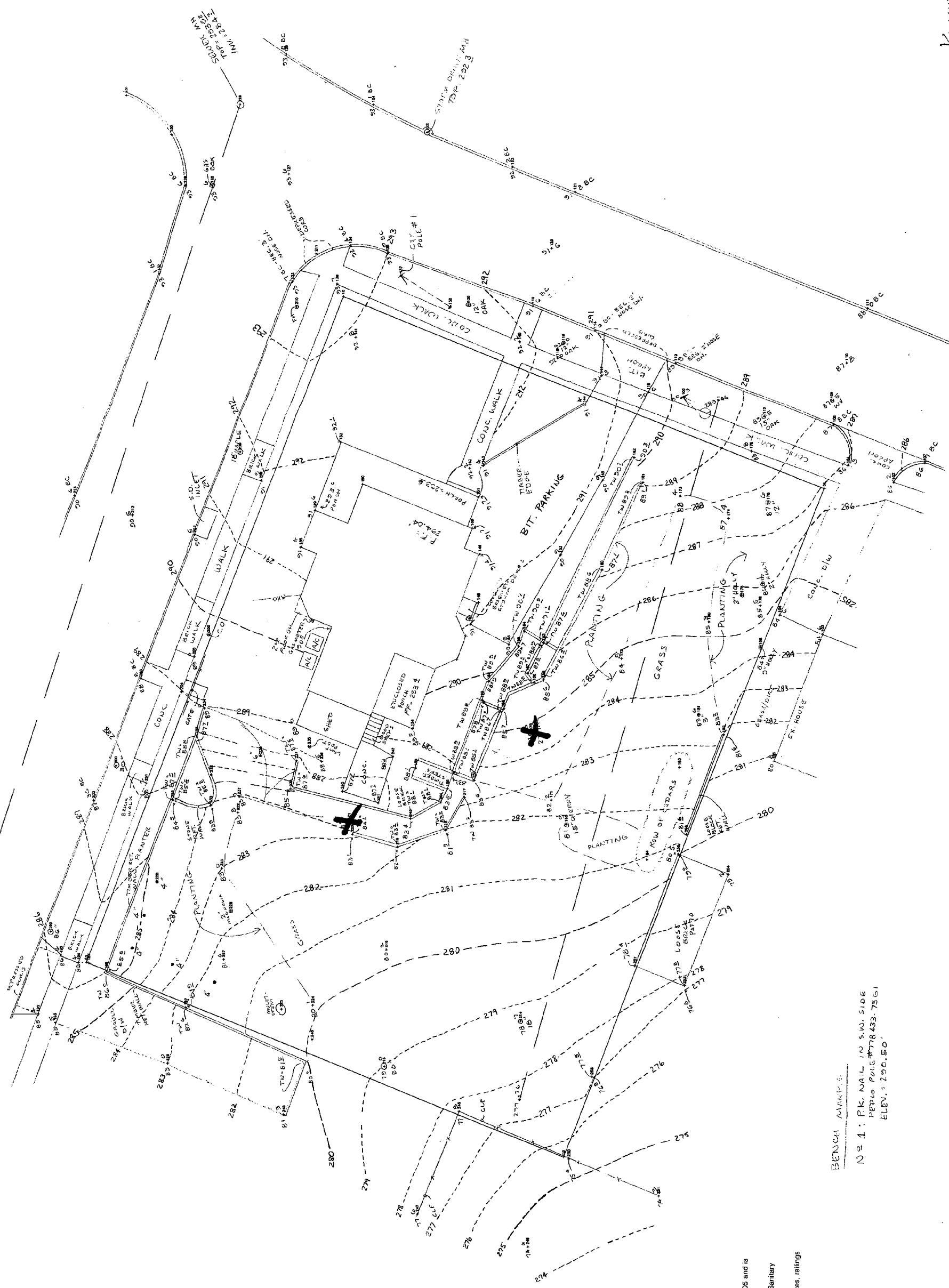
4 NORTH ELEVATION  
1/4"=1'-0"

**KUZMA CONSTRUCTION**  
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**CONLEY/ENGEL RES.**  
10220 CARROLL PLACE  
KENSINGTON, MD. 20895

SCALE: 1/4"=1'-0"  
DATE: 08/07/05  
ELEVATION

A-5



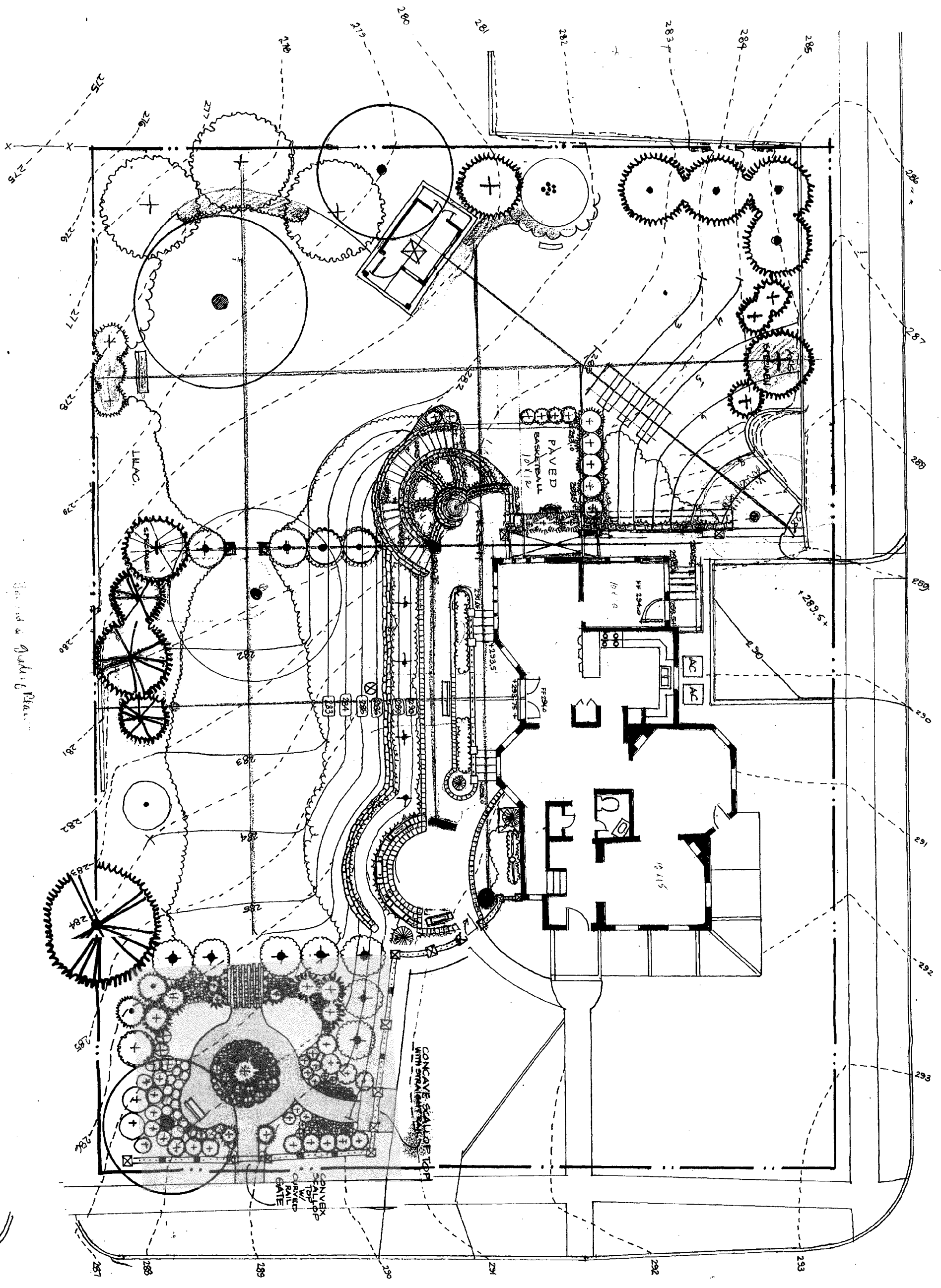
- LEGEND:**
- A/C = AIR CONDITIONER
  - B.C. = BACK, TOP of CURB
  - BIT. = BITUMINOUS
  - C.C. & G. = CONC. CURB & GUTTER
  - CLF. = CHAIN LINK FENCE
  - CONC. = CONCRETE
  - D/W = DRIVEWAY
  - EX. = EXISTING
  - F.F. = FIRST FLOOR ELEVATION
  - F.H. = FIRE HYDRANT
  - INV. = INVERT of PIPE
  - M.H. = MANHOLE
  - OH = OVERHEAD
  - OHW = OVERHEAD WIRES
  - (P) = PLAT or PLANS
  - P.B.-P. No. = PLAT BOOK-PLAT No.
  - P/C = PIPE & C/P
  - PROP. = PROPOSED
  - RET. = RETAINING
  - R/W = RIGHT-OF-WAY
  - S.D. = STORM DRAIN
  - SHC = SEWER HOUSE CONNECTION
  - SMH = SEWER MANHOLE
  - T.P. = TULIP POPLAR
  - W. = WITH
  - WHC = WATER HOUSE CONNECTION
  - WV = WATER VALVE

BENCH MARK:  
N 4.1: P.K. NAIL IN S.W. SIDE  
PEPPER POLLS #78433-7561  
ELEV. = 290.50

**GENERAL NOTES:**

1. Boundary was performed by this office and dated April 2005 and is in the datum of Plat Book B, Plat No. 4.
2. Vertical datum is established from Washington Suburban Sanitary Commission sewer inverts shown on Contract No. A-6-27.
3. Not Shown: Street Signs, Small bushes & trees, wire fences, railings





Hand-drawn & Grading Plan

*David Firman, Council Member  
Traffic & Safety*



*Al Carr, Council Member  
Finance & Land Use Planning*

*Leanne Pfautz, Council Member  
Parks & Infrastructure*

*Ken Goldsmith, Council Member  
Revitalization & Strategic Planning*

*Kitty L. Raufaste, Mayor*

September 27, 2005

Historic Preservation Commission  
1109 Spring Street  
Silver Spring, MD 20910

RE: Case Number 31/06-050 10220 Carroll Place

Dear Commissioners:

The Mayor and Town Council of Kensington have reviewed the HAWP to be considered on September 28, 2005 for 10220 Carroll Place. The Council unanimously approved a motion to support the applicant's plans with the condition that removed trees are replaced.

Sincerely,

Kitty L. Raufaste  
Mayor

**KENSINGTON LAP  
KENSINGTON, MARYLAND**

TO: Montgomery County Historic Preservation Commission  
FROM: Kensington LAP  
RE: Proposed HAWP for 10220 Carroll Place, Kensington  
DATE: September 25, 2005

The Kensington LAP strongly recommends approval of the HAWP sought for 10220 Carroll Place (HPC Case No. 31/060-050) in the Kensington Historic District.

This project would preserve and significantly improve a primary historic resource in a way that enhances the District's special character. It is the sort of project that should be encouraged. The LAP hopes the Commission does not throw up unnecessary obstacles that could become disincentives.

As the Commission may be aware, the District remains under the major threat of possible infill development which could erode the District's unique nature. By contrast, as the HPC staff notes in its discussion, the property owners in this case are working to consolidate lots in a manner likely to preclude infill development. As the staff further notes, this project will increase the architectural integrity of the house.

The LAP agrees with the generally positive tone expressed by HPC staff. The LAP does not, however, share the academic concern raised over the South elevation roof. In the LAP's view, the project complies with the spirit of the Secretary of Interior's Standards for Rehabilitation. The conditions outlined in staff recommendation #4 appear excessive.

Thank you for the opportunity to comment on this project.

**Tully, Tania**

---

**From:** KUZCON@aol.com  
**Sent:** Wednesday, September 28, 2005 1:34 PM  
**To:** Tully, Tania  
**Subject:** (no subject)

Tania,

I am the contractor for Jim Engel and Maureen Conley, whose project goes up before the review board this evening. I will not be able to be there but wanted to try to clarify why the roof of the bay window has been lowered and incorporated into our design. To get an appropriate pitch and interior ceiling height for our shingled roof adjacent to the bay window it needed to be configured as is. If the bay roof were left as is, there would be a sidewall condition back where the bay roof met the side "gable wall" of the new roof and a possible water trap area. If we were to extend the plane of the new roof all the way to the corner and have it extend down it would lap over the bay roof and part of the bay roof would be overbuilt, necessarily concealing that part. A third element is the fact that the fascia of the bay would not line up with the new fascia and also at this point the bay roof would drain into the side of that overhang area creating another potential water problem.

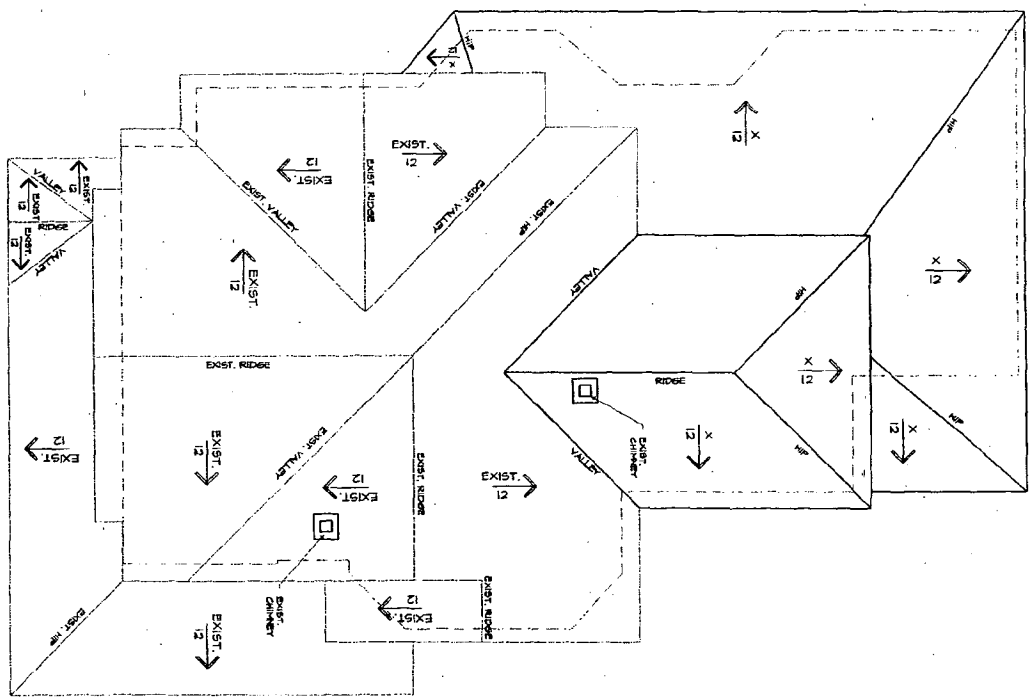
I hope this helps to explain our design.

Thank You,

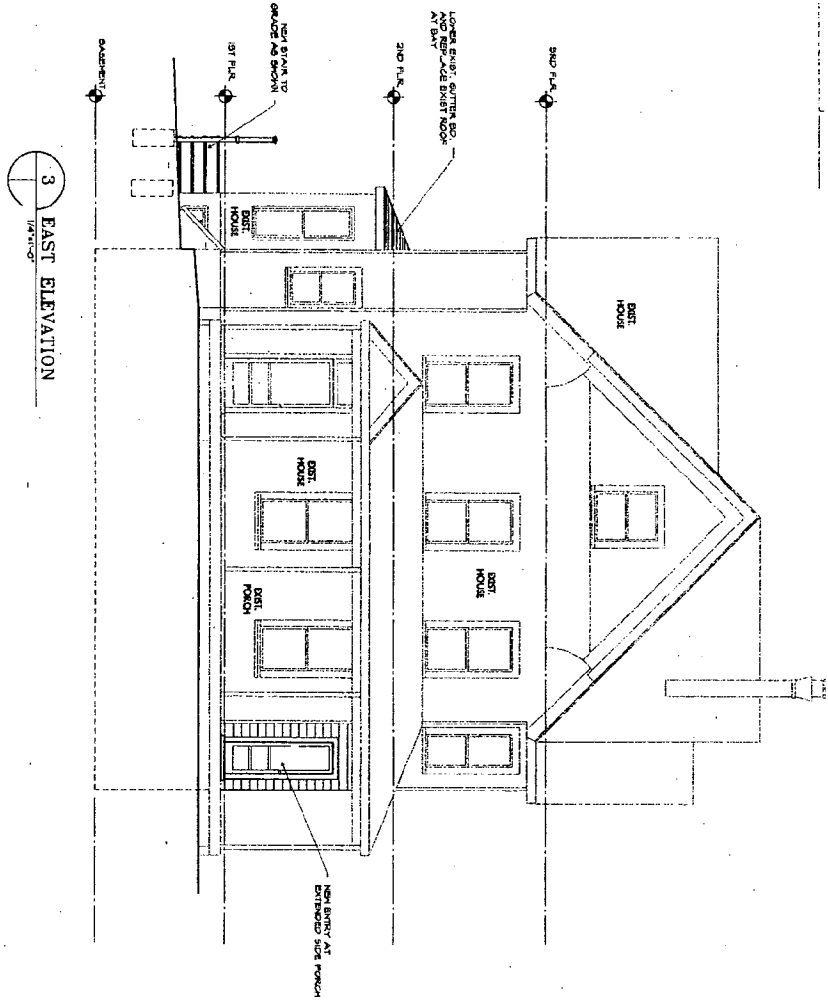
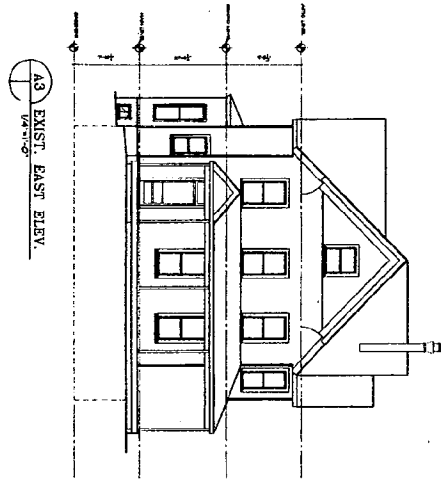
Paul Kuzma

Owner, Kuzma Construction

5 ROOF PLAN  
1/4"=1'-0"



SHEET NUMBER	DATE	SCALE	DRAWN	CHECKED	PROJECT	OWNER	<p><b>KUZMA CONSTRUCTION</b> DESIGN-BUILD/ CONSTRUCTION 10139 CEDAR LANE KENSINGTON, MD. 20895 PH. (301) 571-5550</p>	<p><b>CONLEY/ENGEL RES.</b> 10220 CARROLL PLACE KENSINGTON, MD. 20895</p>



CONLEY/ENGEL RES.

10220 CARROLL PLACE  
KENSINGTON, MD. 20895

KUZMA CONSTRUCTION

DESIGN-BUILD/ CONSTRUCTION  
10139 CEDAR LANE  
KENSINGTON, MD. 20895  
PH. (301) 571-5550

ELEVATION

Scale: 1/4" = 1'-0"  
Date: 08/07/05

A-4