

31/06-06D 3944 Baltimore Ave
Kensington Historic District, 31/06



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: May 11, 2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #417185, rear alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the May 10, 2006 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Mary & Stephen Hash

Address: 3944 Baltimore Street, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Mary Hash
Daytime Phone No.: 301-942-6855

Tax Account No.: _____

Name of Property Owner: Mary + Stephen Hash Daytime Phone No.: 301-942-6855

Address: 3944 Baltimore St. Kens. MD 20895
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Dwner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 3944 Baltimore St. Street: Baltimore St.

Town/City: Kensington Nearest Cross Street: Corn Ave

Lot: 17 Block: 11 Subdivision: Historic Kensington

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 25,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

3/21/06
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 11/27/07

Application Number: 417175 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is not repairable. The new design will provide better drainage for "roof runoff" and the windows will be vertical instead of the existing angle @ 25° trapping water (i.e. "skylight" roof). No changes to foot print / structure is on rear of house. No changes to siding or roofing materials. Currently, water drains from ^{determined point of} ~~undersiding of house~~ origin through undersiding of house, rotting the structure from inside-out.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Not visible from the street
No change of impact on environmental setting
No change of roof line.
Improvement design is more traditional, i.e. bay roofing is changed from skylight to traditional roofing.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owners of lots or parcels which directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 53 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

Man's Copy

Master Bath Renovation

Hash Residence
3944 Baltimore Street
Kensington, MD 20895



Owner x Man's Copy
Builder x David [Signature]
Date 1-2-07

CEM Design
520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682

Date: 10/20/05
Sheet 1 of 12

GENERAL REQUIREMENTS:

1. Work performed shall comply with the 2003 IRC, and all applicable local and state codes, ordinances and regulations, and F.H.A. minimum standards.
2. On site verification of all dimensions and conditions shall be the responsibility of the General Contractor and his sub-contractors. Noted dimensions take precedence over scale.
3. In areas where the drawings do not address methodology, the Contractor shall perform in strict compliance with the manufacturer's specifications and/or recommendations.
4. Dimensions for doors and windows are nominal. General Contractor and manufacturers are to coordinate all dimensions concerning doors and door openings, and windows and window openings prior to construction and fabrication.
5. The Contractor shall compare and coordinate all drawings. When, in the opinion of the Contractor, a discrepancy exists he shall promptly report it to the Architect for proper adjustment before proceeding with the work.
6. The Contractor shall be responsible for compliance with the orders of any public authority bearing on the performance of the work.
7. All work shall be completed by the General Contractor unless noted. All references to the "Contractor" include the General Contractor and the Sub-contractors. The Contractor shall be responsible for and have control over all construction means, techniques, sequences and procedures, and for coordinating all portions of the work required by the Contract Documents. The Contractor shall be responsible for acts and omissions of the Contractor's employees, Sub-contractors and their agents and employees, and any other persons performing any of the work under a contract with the Contractor. Work damaged during the construction or not conforming to specified standards, tolerances or manufacturer's instructions for installation shall be replaced by the Contractor at no additional cost to the Owner.
8. The Contractor shall warrant to the Owner that all materials and equipment furnished and installed under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, free from faults and defects, and conforms with the Contract Documents. For a period of one year beginning at the date of Substantial Completion, the Contractor shall promptly correct work found not to be in accordance with the Contract Documents. The Contractor shall bear all costs of the corrections.
9. The Architect accepts no responsibility for changes or deviations from these plans unless made by prior signed letter or change order.
10. The Contract Documents are solely for bidding and construction of this project. Copyright 2005, Craig E. Moloney, A.I.A. All rights reserved.

DEMOLITION

1. On site verification of all existing conditions shall be the responsibility of the Contractor.
2. The Contractor assumes all responsibility and liability for shoring, framing and barriers required for demolition and building integrity.
3. Damage to the building which occurs during the demolition process, or demolition not called for in the drawings or specifications, shall be replaced or repaired by the Contractor at no additional cost to the Owner.

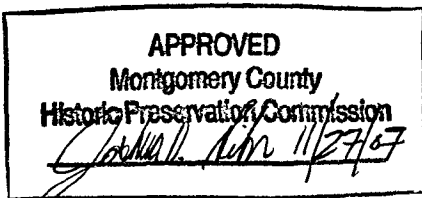
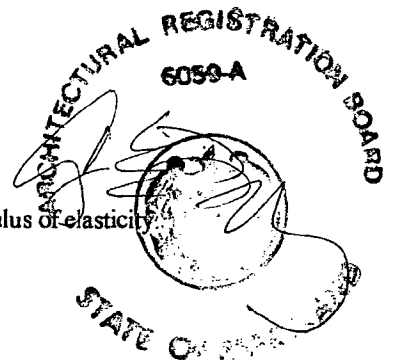
CARPENTRY

	<u>Live loads</u>	<u>Dead loads</u>	<u>Total loads</u>
Third floor load -	30# PSF	+ 10# PSF	= 40# PSF
Roof load -	30# PSF	+ 15# PSF	= 45# PSF

LUMBER GRADE

1. All lumber shall No. 2 HEM-FIR with the following minimum allowable stresses and modulus of elasticity:

Extreme fiber stress in bending -	850 PSI
Compression parallel to grain -	1300 PSI
Compression perpendicular to grain -	405 PSI
Modulus of elasticity -	1,300,000 PSI
2. Stress grade of lumber shall be clearly stamped with the Lumber Inspection Association seal showing the stress grade. All fabrication, erection, and other procedures shall conform to the current "National Design Specifications for stress-grade lumber and its fastenings".
3. All lumber 6" and deeper shall have a moisture content not greater than 19%. Air or kiln dried lumber may be used.



Master Bath Renovation

Hash Residence

10/20/05

Sheet 2 of 12

CELESTIAL DESIGN
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ALTERING STRUCTURAL MEMBERS

1. No structural member shall be omitted, notched, cut, blocked out or relocated without prior approval by the Architect.
2. Do not alter sizes of members without approval of the Architect.

BUILT-UP BEAMS

1. Built up beams or joists formed by a multiple of 2x members 9-1/4" and less in depth shall be internailed w/ (2) rows of 20d nails at 32" o.c. staggered.

CUTTING OF BEAMS, JOISTS AND RAFTERS

1. Cutting of beams, joists and rafters shall be limited to cuts and bored holes not deeper than 1/6th the depth of the member and shall not be located in the middle 1/3rd of the span. Notches located closer to supports than three times the depth of the member shall not exceed 1/5th the depth. Holes bored or cut into joist shall not be closer than 2" to the top or bottom of the joists and the diameter of the hole shall not exceed 1/3rd the depth of the joist.

PIPES IN STUD BEARING WALLS OR SHEAR WALLS

1. Notches or holes in studs of bearing walls or partitions shall not be more than 1/3rd the depth of the stud. Reinforce studs cut or bored in excess of the above to a loading capacity of a stud notched not more than 1/3rd its depth.

PLYWOOD

1. All plywood shall be Douglas fir and shall be manufactured and graded in accordance with "Product Standard P-1-6" for soft plywood, construction and industrial.
2. All new floors shall be glued and nailed with ring shanked nails.
3. Roof sheathing shall be standard INT-DFPA, Group 2 or 3.

NAILING

1. All nailing shall comply with 2003 IRC code, and all State and local building codes.

INSULATION

1. Ceilings under roof and floors over crawl spaces shall be insulated per requirements of State and local building codes.
2. All exterior stud walls shall receive insulation for full height of wall per requirements of State and local codes.
3. Provide sound insulation around bathroom and around plumbing risers adjacent to inhabited spaces.
4. Caulk and seal all floor and top plates, joints in sheathing, etc. prior to installation of batt insulation. Fill all shim spaces around doors and windows with loose fiberglass batt insulation.

ROOFING

1. Roofing shall be self-sealing fiber-glass reinforced asphalt shingles to match existing over one layer of 15# asphalt saturated felt underlay.

FLASHING

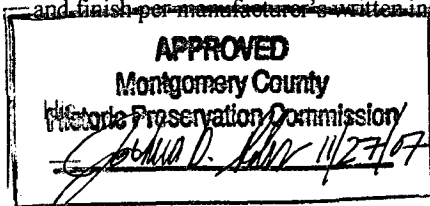
1. All metal flashing, counter-flashing and coping shall be of not less than 26 ga. corrosion resistant metal.
2. Flash exterior openings and building corners with waterproof building paper to extend min. 4" behind wall covering.
3. Flash and counter-flash at all roof to wall conditions. Flash and caulk wood beams and other projections through exterior walls or roof surfaces.

GUTTERS AND DOWNSPOUTS

1. All gutters are to be white aluminum half-round to match existing, mounted 30" o.c.

SIDING AND TRIM

1. Siding to be pre-primed beaded cement board by Hardi-plank, or equal. Profile and exposure is to match existing. Install and finish per manufacturer's written instructions. Color to match existing.
2. Window trim, rakes, corner boards, soffits etc. are also pre-primed cement board by James Hardie, or equal. Install and finish per manufacturer's written instructions. Color to match existing.



Master Bath Renovation
Hash Residence
10/20/05 Sheet 3 of 12

OLIVIA DESIGN
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DOORS AND WINDOWS

1. Door and window sizes and locations are shown on the drawings.
2. Windows are aluminum clad wood by Marvin, with insulated low-E double glazing. Provide aluminum framed fiberglass screens on operable windows to match.
3. Interior doors are to match existing.
4. All new door hardware is to be bright finished brass by Schlage or equal.
5. Skylights are to be venting aluminum clad by Velux, to match existing. Provide tempered, insulated low-E argon filled glazing, and screens.

GYPSUM WALLBOARD

1. All gypsum wallboard shall be screw attached and installed in accordance with the 2003 IRC, and State and local codes.
2. Provide 1/2" cement board (Durock) full height around shower.
3. Provide moisture resistant gyp. bd. in bathrooms.

PAINTING AND FINISHING

1. All paint, stain, varnish, etc. is to be by Benjamin Moore. Colors are to be selected by Owner.
2. All gypsum board is to receive one coat latex primer, and two coats satin latex.
3. All interior wood trim is to receive one coat latex primer, and two coats semi-gloss latex.
4. Exterior siding, trim, etc. to be back-primed, cut edges are to be primed, and finished per manufacturer's written specifications.

CASEWORK

1. Casework and counter top sizes, configuration and locations are shown on the drawings.
2. Casework and countertop shall be selected by Owner, installed by Contractor.
3. Field verify all dimensions prior to ordering or fabrication.

HEATING, VENTILATION AND AIR-CONDITIONING

1. Existing heating, ventilation, and air-conditioning system is to remain.

PLUMBING

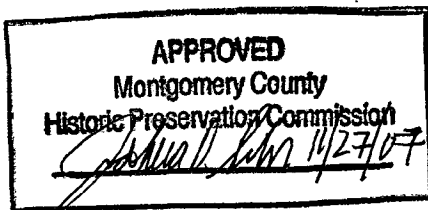
1. All work shall be in accordance with all applicable codes, rules and regulations of governing agencies and shall comply with the requirements of the WSSC.
2. All new plumbing fixtures, faucets, and fittings are to be Kohler, or equal. Color and style as selected by Owner.
3. Provide 1/2" foam insulation around all hot water supply plumbing accessible during construction.

ELECTRICAL

1. All work shall be in accordance with all codes, rules and regulations of governing agencies and shall comply with the requirements of the serving power and telephone companies.
2. Receptacles in bathrooms shall be installed above work-top where noted. All other receptacles shall be installed vertically at 16" above the sub-floor.
3. Wall switches are to be 48" above the sub-floor.
4. Existing smoke detectors are to remain.

MISCELLANEOUS

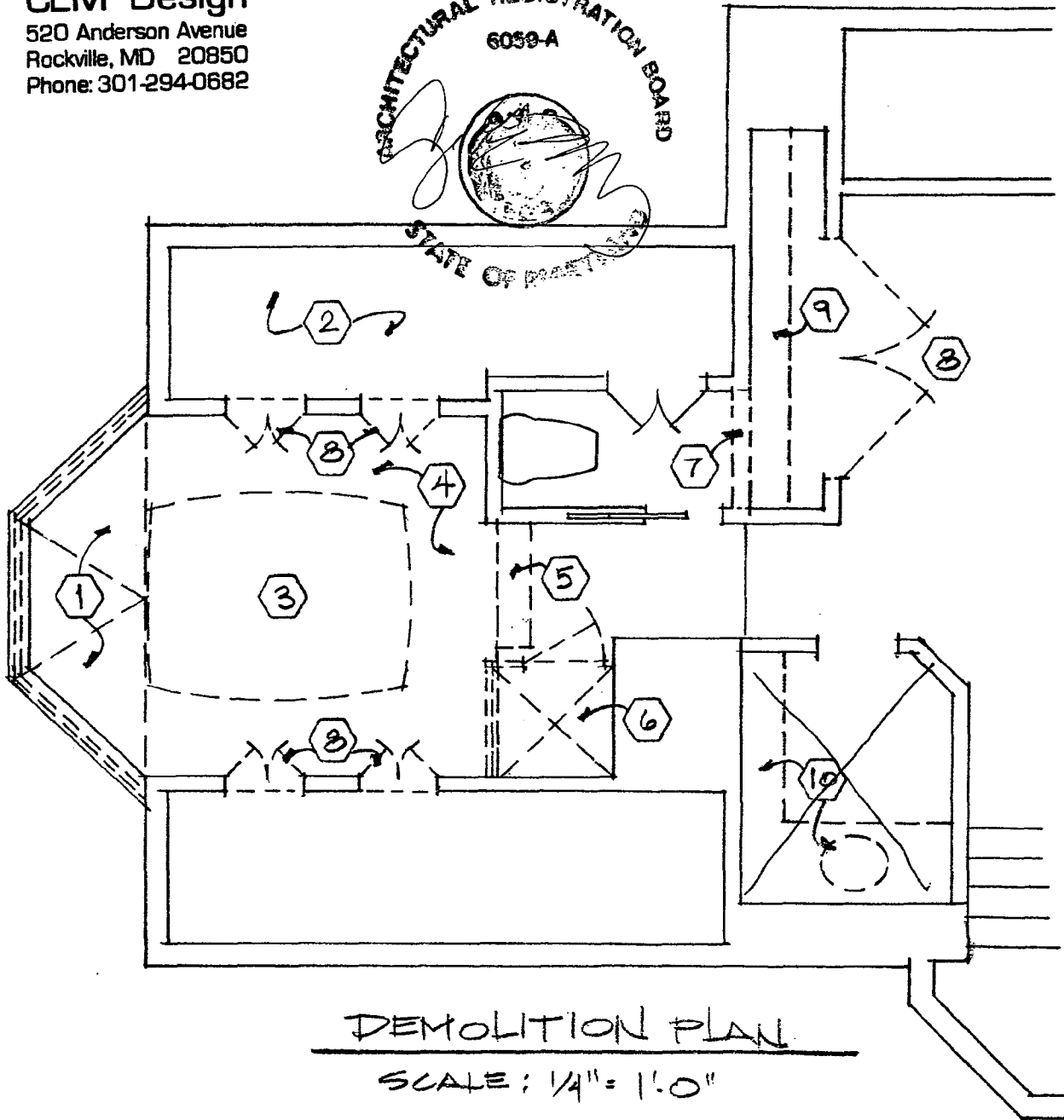
1. Provide tempered glass in bath/shower glass doors and enclosures, and in glazed panels adjacent to showers and bathtubs.



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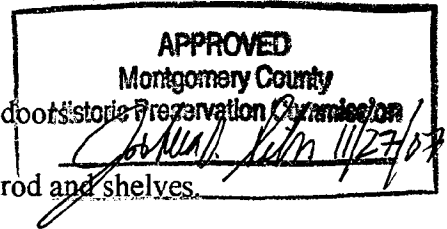
DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION PLAN NOTES:

- ① - Remove angled glass/frame/sill.
- ② - Remove raised floor this area.
- ③ - Remove tub/fitings.
- ④ - Remove tub deck/frame to bedroom subfl.
- ⑤ - Remove steps.
- ⑥ - Remove shower/enclosure/fitings.
- ⑦ - Remove wall this area.

- ⑧ - Remove doors
- ⑨ - Remove rod and shelves.
- ~~⑩ - Remove vanity/lavatory/fitings.~~



Master Bath Renovation

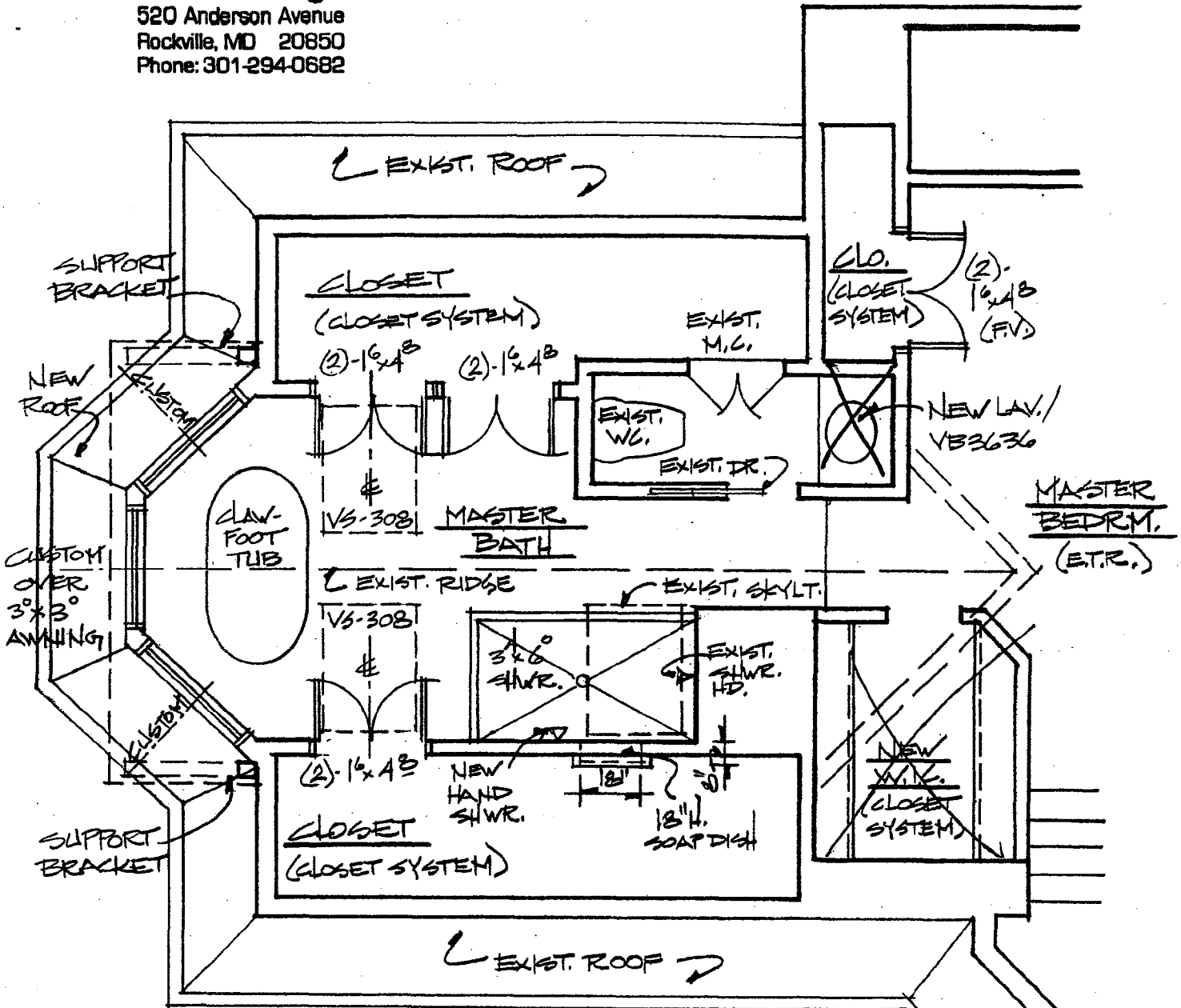
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Rockville, MD 20850

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NEW MASTER BATH FLOOR PLAN

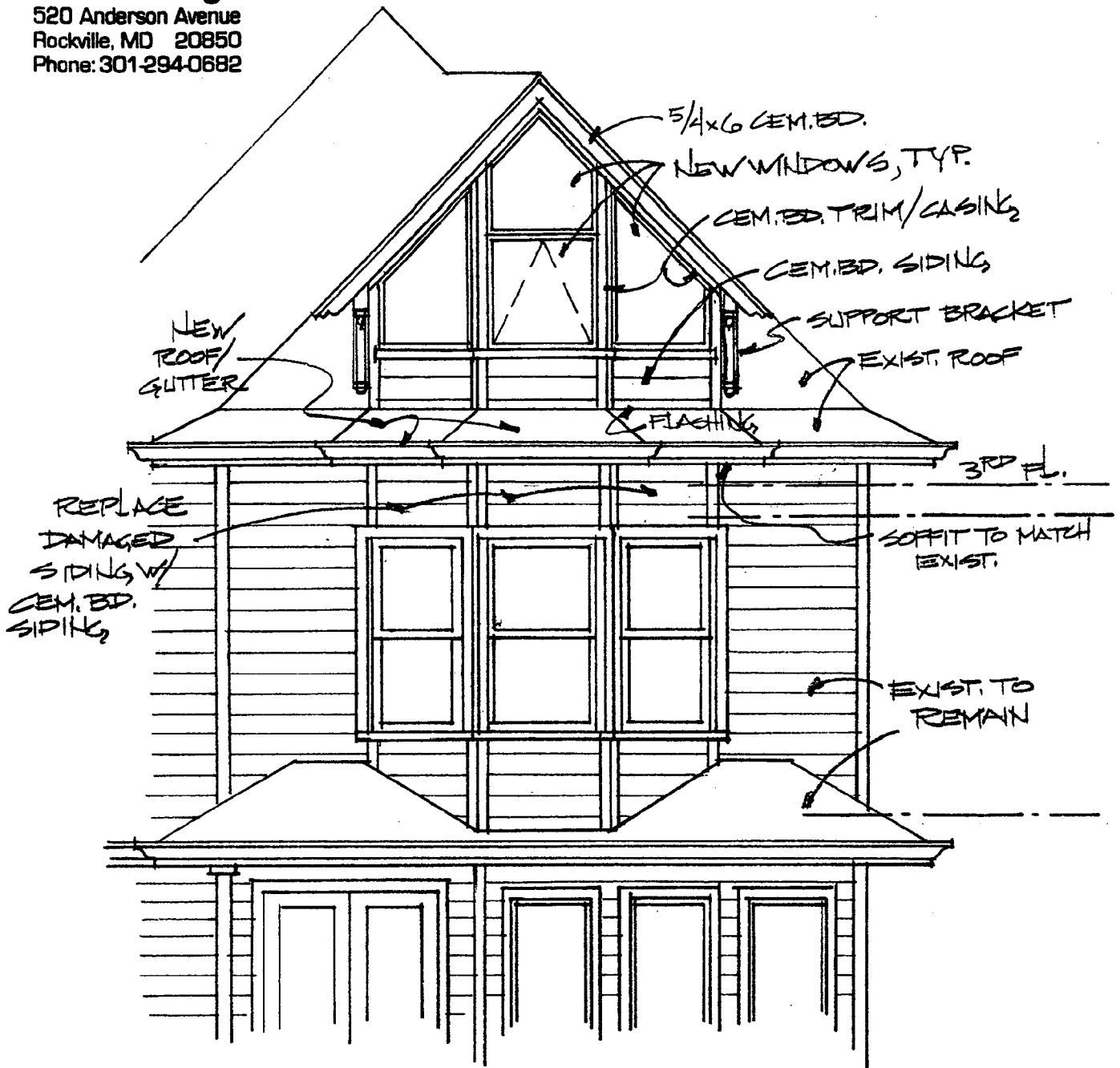
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 11/27/07

STRUCTURAL REGISTRATION BOARD
6059-A

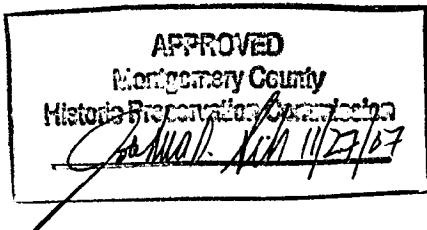
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PARTIAL REAR ELEVATION

SCALE: 1/4" = 1'-0"

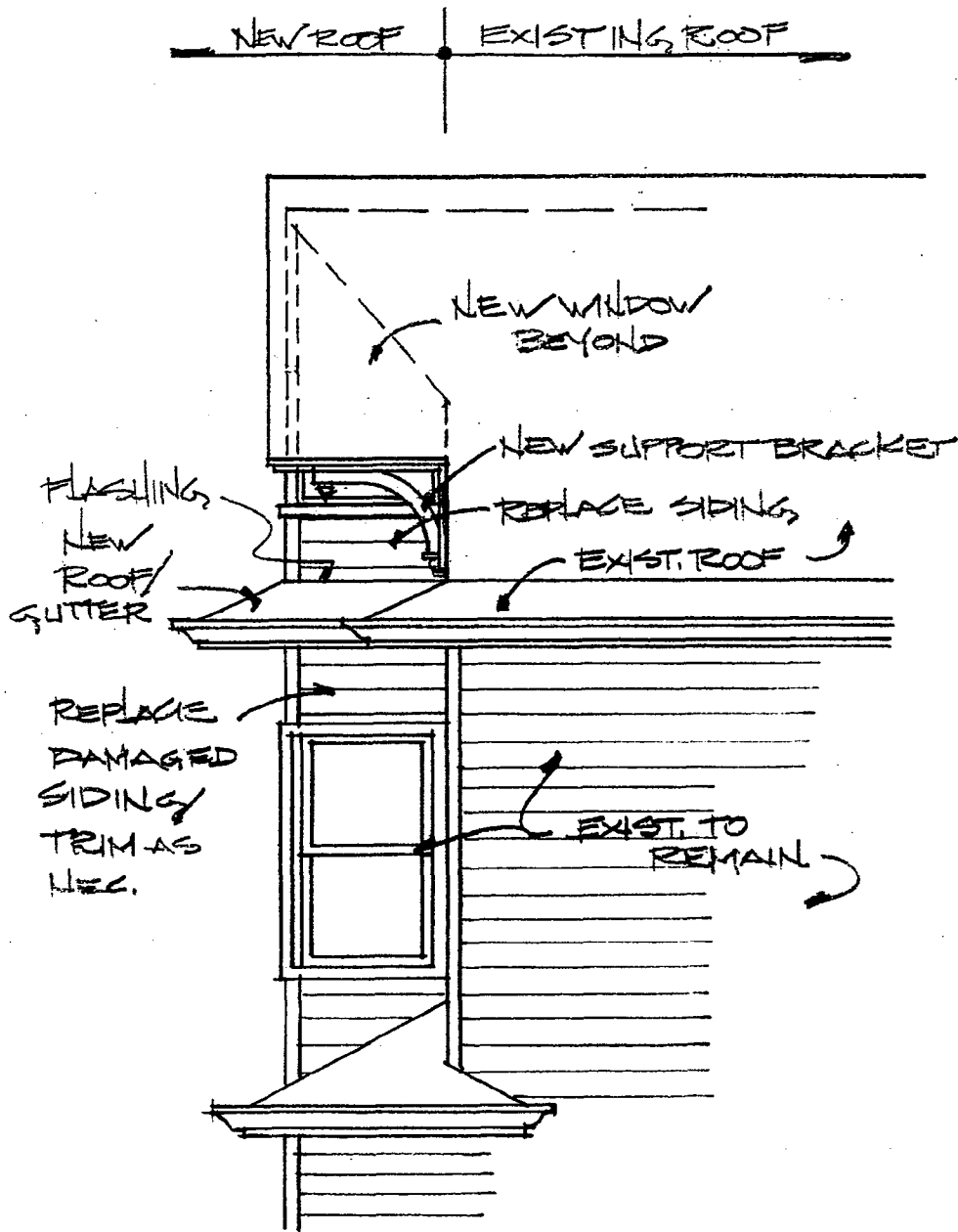


Master Bath Renovation

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Kensington, MD 20895
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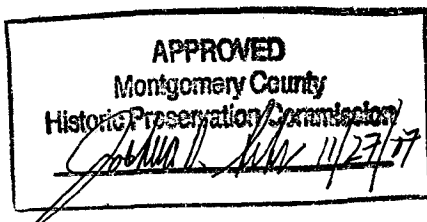
CEM Design

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PARTIAL SIDE ELEVATION

SCALE: 1/4" = 1'-0"



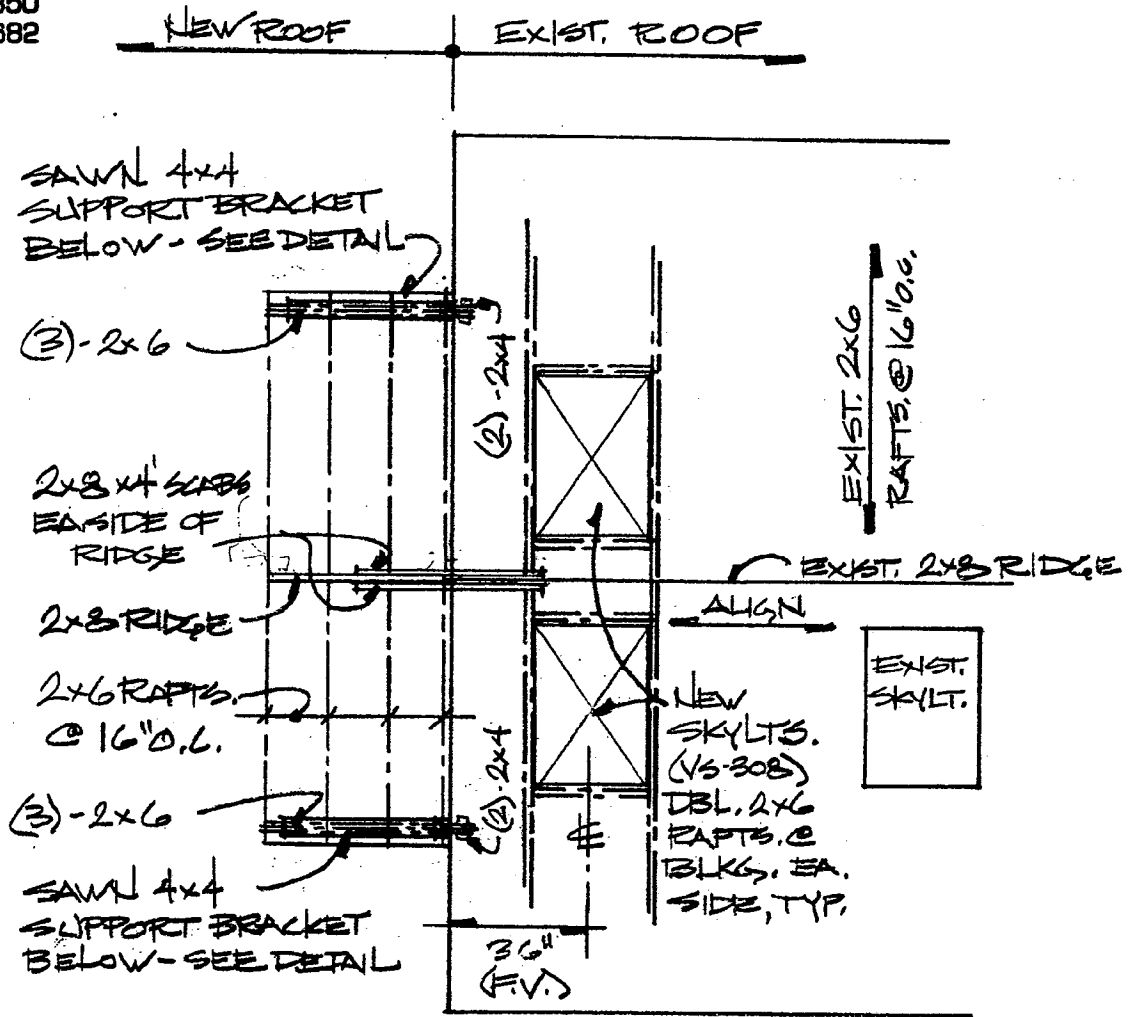
Master Bath Renovation

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UPPER ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

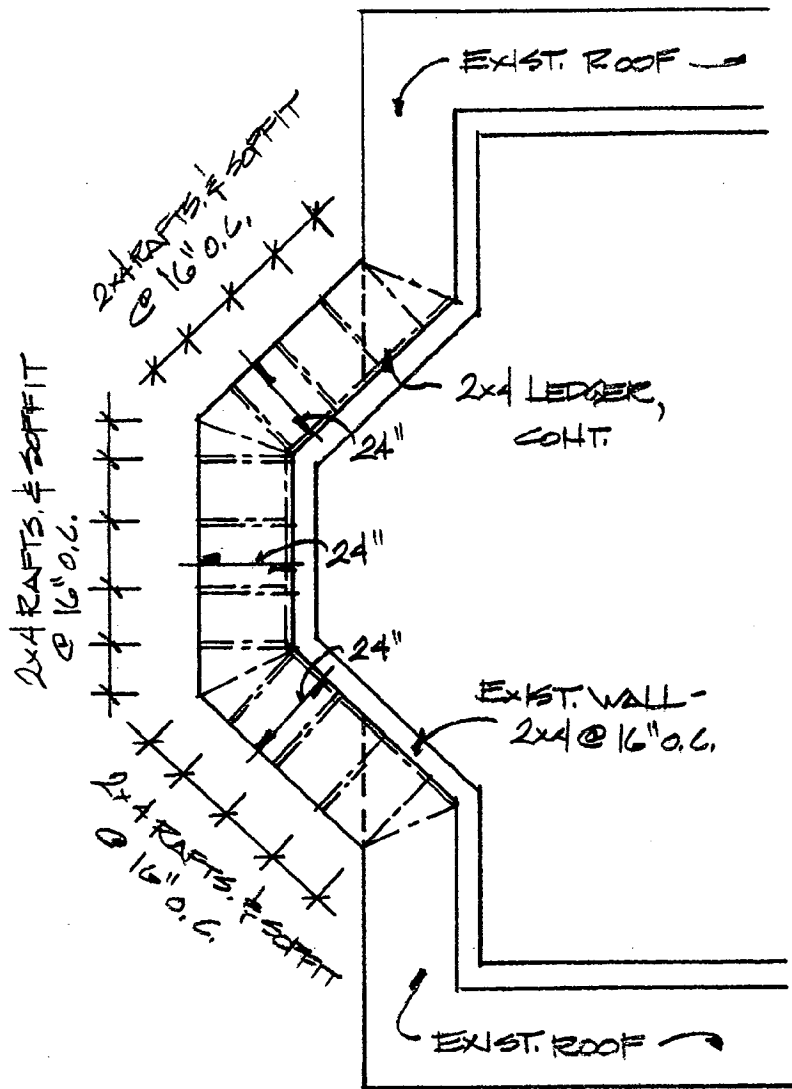
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Montgomery County
Historic Preservation Commission
[Signature] 11/27/07



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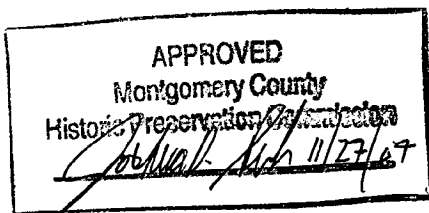
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LOWER ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



Master Bath Renovation

Hash Residence

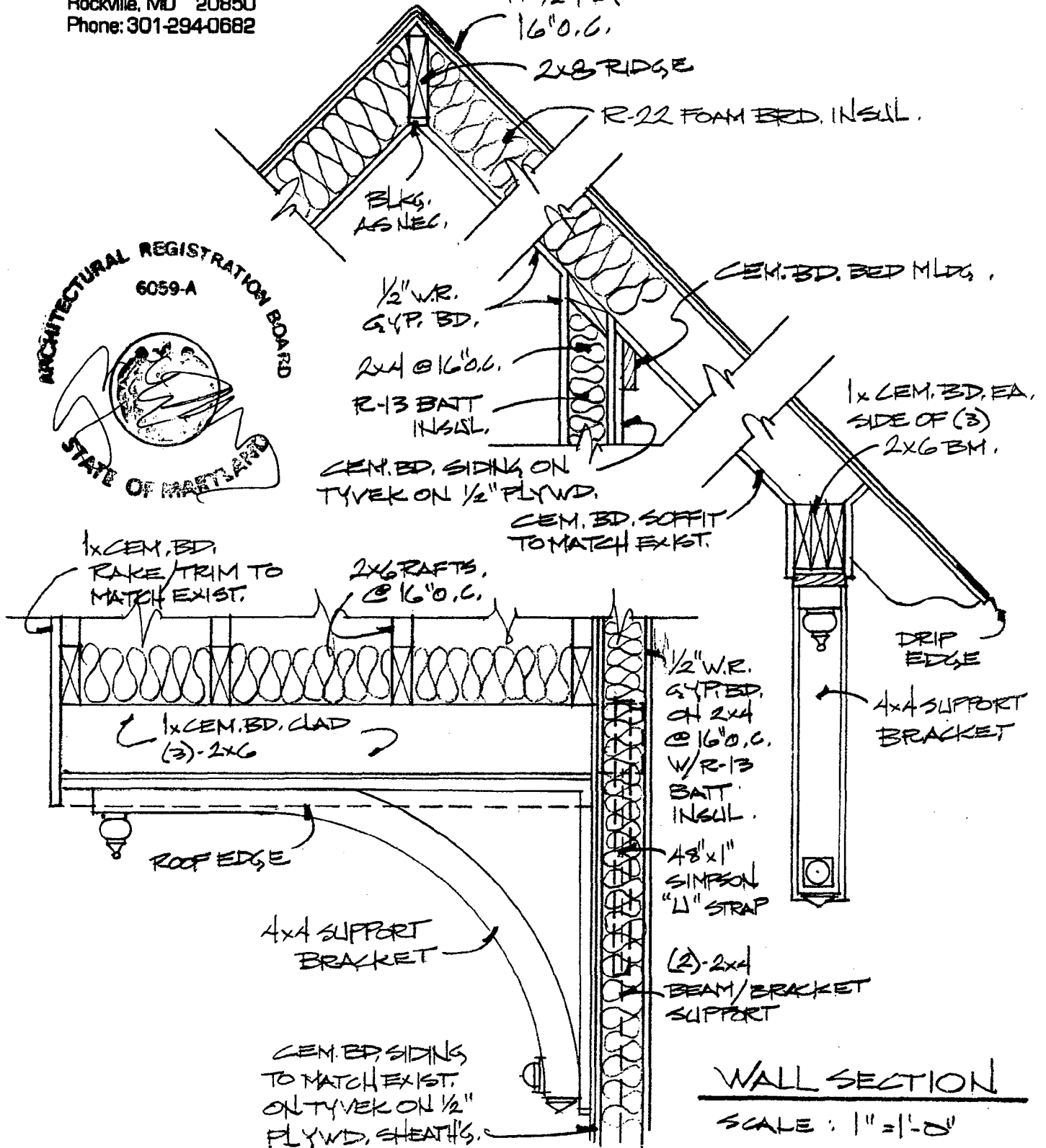
3944 Baltimore Street
Kensington, MD 20895

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ASPHALT SHINGLES ON 15# FELT
 ON 1/2" FLYWD. ON 2x6 RAFTS @



WALL SECTION
 SCALE: 1" = 1'-0"

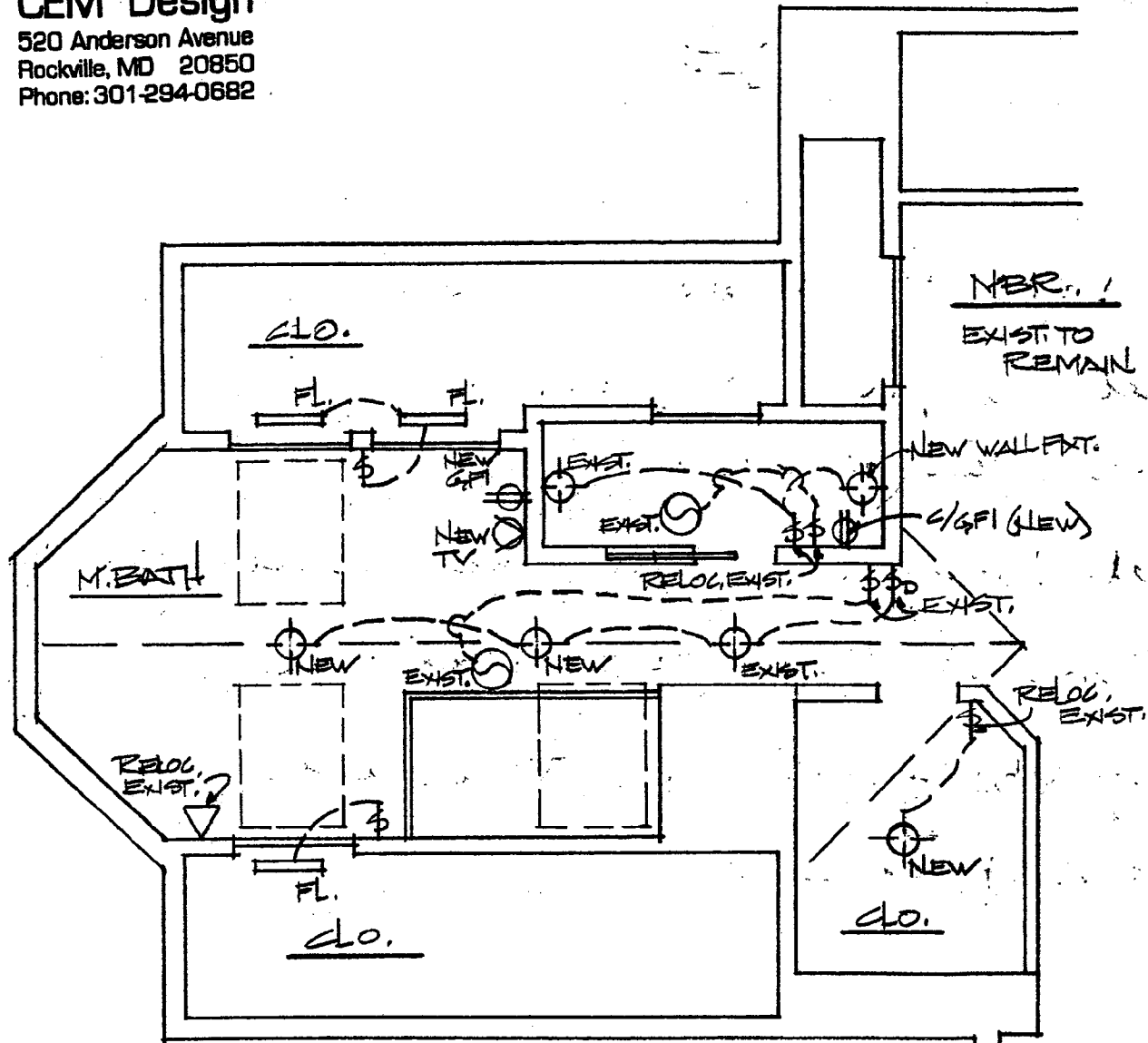
SUPPORT BRACKET DETAIL

SCALE: 1" = 1'-0"
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 Montgomery County
 Historic Preservation Commission
 [Signature] 11/27/07

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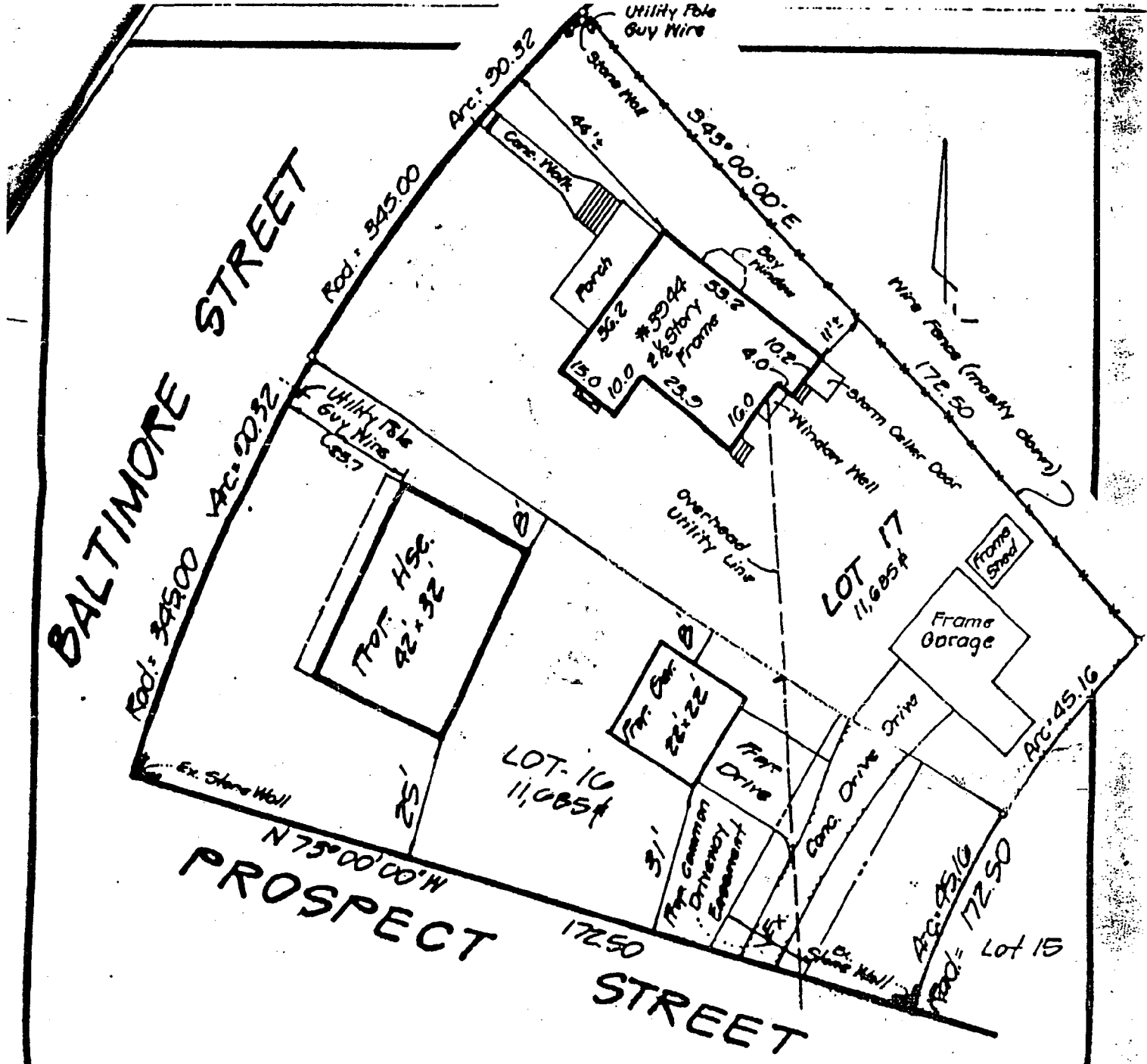
APPROVED
POWER/LIGHTING PLAN
 Historic Preservation Commission
 3944 Baltimore Street
 Kensington, MD 20895
 10/20/05



FIXTURE SCHEDULE

- | | | | |
|------------------|-------------------------------------|-----|--------------------------------------|
| ⊕ | - Surface mounted incandescent. | D ⚡ | - Wall switch with dimmer. |
| ⊗ | - Exhaust fan - existing to remain. | FL | - Wall/ceiling fluorescent, 18" T-5. |
| ⊕ | - Duplex receptacle. | ⚡ | - Wall switch. |
| ⊕ _{GFI} | - Ground fault receptacle. | Ⓣ | - Television. |
| ⊕ _C | - Counter height receptacle. | ▽ | - Phone. |

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BALTIMORE STREET

PROSPECT STREET

KENSINGTON PARK

PLAN
1" = 30'

Zone: R-60
 Setbacks: Front - 25'
 Side - 8 min.
 Total - 25'
 Rear - 20'

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 11/27/07

5/27/86

Maoris, Hendricks and Witmer P.A.
 Engineers • Planners • Surveyors
 Suite 220
 8220 Wightman Road
 Gaithersburg, Maryland
 20879
 (301) 870-0840

SITE PLAN
 LOT-10 BLOCK-11
KENSINGTON PARK
 F.B. 5 F. 9
 MONTGOMERY CO. MARYLAND



H. Depot for marble pick up

Need time, tub 3-4 wks. in

Dave can pick up

Let Dave know models has access to discount

Know if stock or special order

groche - available thru Dave

Haus-groche also

Joyce Say 508-420-316 fax

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3944 Baltimore Ave, Kensington	Meeting Date:	5/10/2006
Resource:	Primary 1 Resource Kensington Historic District	Report Date:	5/3/2006
Applicant:	Mary & Stephen Hash	Public Notice:	4/26/2006
Review:	HAWP	Tax Credit:	
Case Number:	31/06-06D	Staff:	Tania Tully
PROPOSAL:	Rear alterations		
RECOMMENDATION:	Approve		

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary 1 Resource within the **Kensington Historic District**
STYLE: Vernacular
DATE: 1880-1910

HISTORIC CONTEXT

Excerpted from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

The Kensington Historic District is a well-preserved, turn-of-the-century garden suburb with Victorian era residences, curvilinear streets, and a vital commercial district. The community has its origins in a railroad stop known as Knowles Station, named after the major land holding family in the area. Beginning in 1890, Washington developer Brainard Warner purchased and subdivided property along the Metropolitan Branch, transforming the community from a small passenger stop to a park-like suburban community. He named his subdivision Kensington Park, after a London suburb, and established a library, town hall, and Presbyterian church. Under Warner's persuasion, the Knowles Station depot and post office eventually changed to the Kensington moniker.

Noted Baltimore architect E. Francis Baldwin designed the Kensington Railroad Station in 1891. The station is similar in design to Baldwin's Germantown and Dickerson stations. A polygonal ticket window bay faces the tracks. The east end, now enclosed, served as an outdoor waiting area.

Warner founded a library for Kensington residents, donating the land and constructing the building. Noyes Library is named for Crosby Noyes, editor and publisher of the Washington Evening Star, who assembled its book

collection. With its opening in 1893, Noyes Library became a social and educational hub of Kensington. Today, Noyes is the only children's library in the Montgomery County Library System.

Inviting friends to join him in the country, away from the heat and congestion of Washington, Warner established his own summer residence on a large, circular parcel of land at the heart of the community. The Warner Residence, also historically known as Hadley Hall, is sited at the southern end of the historic district, at 10231 Carroll Place. The substantial structure is now the Carroll Manor Nursing Home. Kensington residences are designed in a variety of architectural styles popular during the Victorian period, including Queen Anne, Shingle, and Colonial Revival. These houses, built in the late 1800s and early 1900s, are clustered around the railroad station.

Residents of the growing community incorporated the Town of Kensington in 1894, with its own governing body. The suburb's appeal strengthened when Warner and others organized a trolley line along Kensington Parkway to Chevy Chase, to connect with the Capital Traction Line to Washington. Supplementing train service, the streetcar, operating from 1895-1933, made Kensington even more accessible in the pre-automobile era.

The National Guard built the Kensington Armory in 1927. The Armory is one of the few remaining unaltered National Guard Armories of which several were built throughout the state. With its castellated parapets and drill-hall section buttresses, the fortress-like structure remains today a Kensington landmark, today in use as the Kensington Town Hall and Community Center.

PROPOSAL:

Reconstruct non-historic 3rd story rear bay (Circles 11-15)
Hardi-plank siding to match profile & exposure of existing.
Window trim etc...also Hardi
Aluminum clad wood windows
Aluminum clad skylights

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6

"In regard to the properties identified as secondary resources--that is visually contributing, but non-historic structures or vacant land within the Kensington District--the Ordinance requires the Preservation Commission to be lenient in its judgment of plans for contemporary structures or for plans involving new construction unless such plans would seriously impair the historic or architectural value of surrounding resources or impair the character of the district."

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC,

their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation (Circle 4)

STAFF DISCUSSION

The entirety of this proposal occurs on the third level, at the rear of the house, on a non-historic addition. The alterations will remedy a failing system of cone of skylights that leak and renovate the bathroom. The alterations will nor be visible from the public right-of-way, will not damage the historic or architectural integrity of the house, or negatively impact the historic district. Staff recommends approval.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



File

HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 5/11/2006

MEMORANDUM

TO: Mary Hash & Stephen
3944 Baltimore Ave, Kensington

FROM: Tania Tully, Senior Planner ^{TGT}
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #417185

Your Historic Area Work Permit application for Rear alterations was **Approved** by the Historic Preservation Commission at its 5/10/2006 meeting.

Prior to applying for a county building permit, if applicable, from the Montgomery County Department of Permitting Services, you must contact your assigned staff person to arrange for your three (3) sets of final permit drawings to be stamped at the Historic Preservation Office at 1109 Spring Street. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another town government agency before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and the official approval memo (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in **any way** from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!



Kensington LAP
May 10, 2006
Page 2 of 2

RE: 31/06-06D, Hash Residence

Expedited approval is recommended for this HAWP. The applicants are addressing problems associated with a non-historic addition that are not visible from the street.

III - K

Jim Engel
Chairman
May 10, 2006

MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
MONTGOMERY COUNTY

LOCAL ADVISOR PANEL FOR
KENSINGTON HISTORIC DISTRICT

RE: 31/06-06E, Beach-Uhlman Residence

LAP members were provided with the HAWP during the week of May 1, 2006 and asked to provide comment. The LAP Chairman contacted the applicant on May 10, 2006 to discuss issues regarding the HAWP such as:

III - M

- Replacement of the single 2/2 window on the east elevation with paired 2/2 windows. The applicant indicated that this part of the structure was originally an open sleeping porch which was enclosed (date unknown.) In addition, the paired 2/2 window feature is found elsewhere on the house. In any event, it was felt that this was not a "character defining feature" of the house, such as the prominent gables or the wrap-around porch.
- Design of the turret. The applicant would consider minor changes to design to reduce its prominence relative to the historic structure.

LAP members agreed that the proposal is compatible with the garden character of the Kensington Historic District, as characterized in the *Visions of Kensington*. LAP members further agreed that the proposal is compatible with the Secretary of the Interior's Standards for Rehabilitation.

RE: 31/06-06A, Klotz Residence

III - D

LAP members were provided with the HAWP during the week of May 1, 2006 and asked to provide comment. This is an existing in-fill house built several years before the purchase by the current owner. The house has many features that are currently discouraged (large massing, vinyl siding, etc.). As such, it was felt that the use of vinyl siding on the new construction would be of little impact given that the rest of the house is already clad in vinyl. Accordingly, we see no pressing need to require wood or cement board siding on the new construction.

The issue of the Kensington setback requirement was raised by one LAP member. The applicants will need to address this issue, if applicable, with the Town of Kensington.

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is not repairable. The new design will provide better drainage for "roof runoff" and the windows will be vertical instead of the existing angle @ 25° trapping water (i.e. "skylight" roof). No changes to footprint / structure is on rear of house. No changes to siding or roofing materials. Currently, water drains from ~~undersiding of house~~ ^{determined point of} origin through undersiding of house, rotting the structure from inside-out.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Not visible from the street
No change of impact on environmental setting
No change of roof line.
Improvement design is more traditional, i.e. bay roofing is changed from skylight to traditional roofing.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

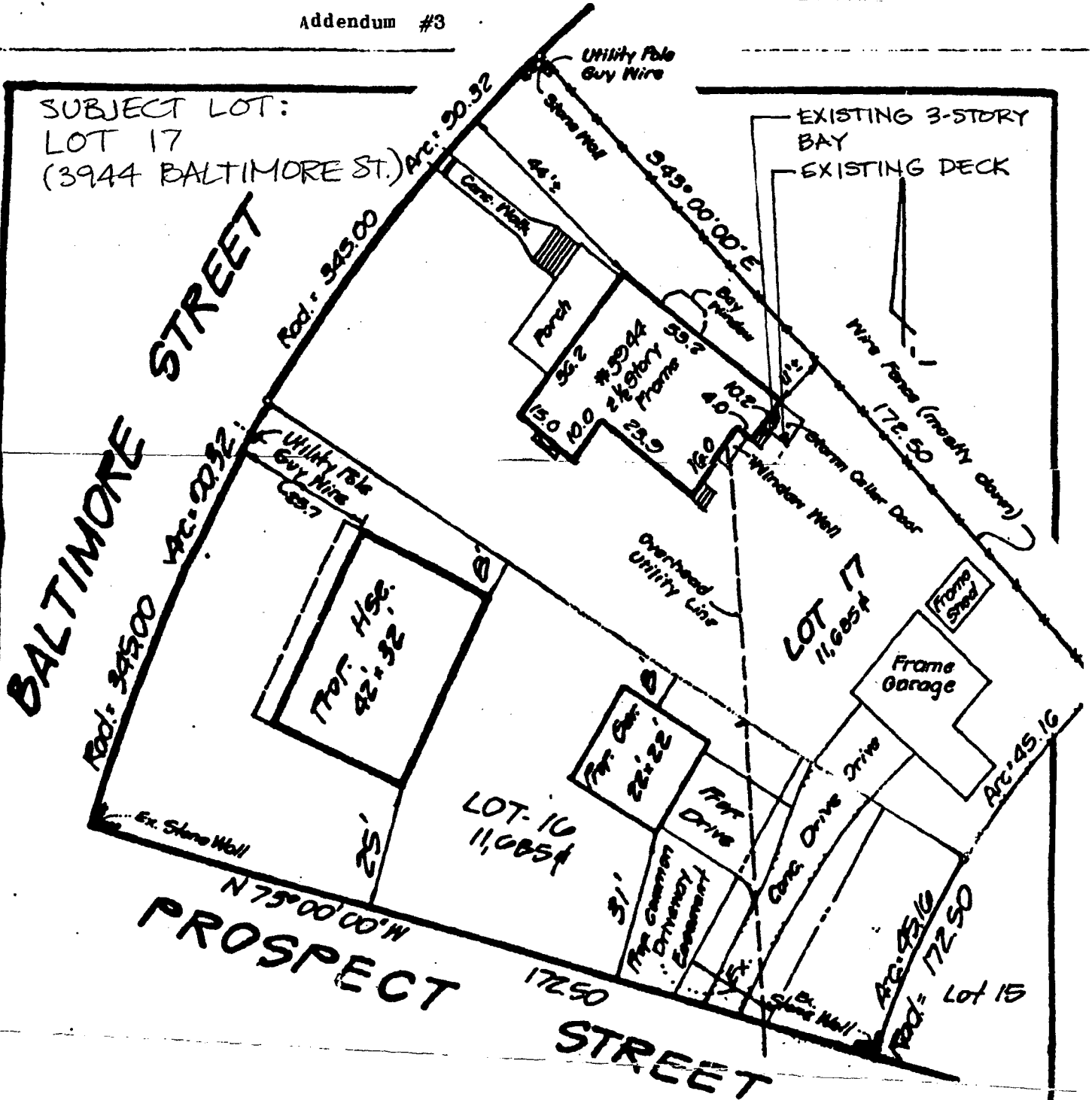
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

SUBJECT LOT:
LOT 17
(3944 BALTIMORE ST.)



PLAN

1" = 30'

Zone: R-60
Setbacks: Front - 25'
Side - 8 min.
Total - 25'
Rear - 20'

5/27/80

Maoris, Hendricks and Witmer P.A.
Engineers • Planners • Surveyors

(301) 670-0840

Suite 220
8220 Wightman Road
Gaithersburg, Maryland
20879

SITE PLAN
LOT-10 BLOCK-11
KENSINGTON PARK
F.S. 5 F. 4
MONTGOMERY CO. MARYLAND

8/2/145

APP Inc

[Signature]

Stall

[Signature]

Secretary of the Interior's Standards for Rehabilitation

1. A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that has acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Mary Hash
Daytime Phone No.: 301-942-6855

Tax Account No.: _____

Name of Property Owner: Mary + Stephen Hash Daytime Phone No.: 301-942-6855
Address: 3944 Baltimore St. Kens. MD 20895
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 3944 Baltimore St. Street Baltimore St.
Town/City: Kensington Nearest Cross Street: Cornwell
Lot: 17 Block: 11 Subdivision: Historic Kensington
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revoicable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 25,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

3/21/06
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disseminated: _____ Signature: _____ Date: _____

Application Permit No. 417125 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



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REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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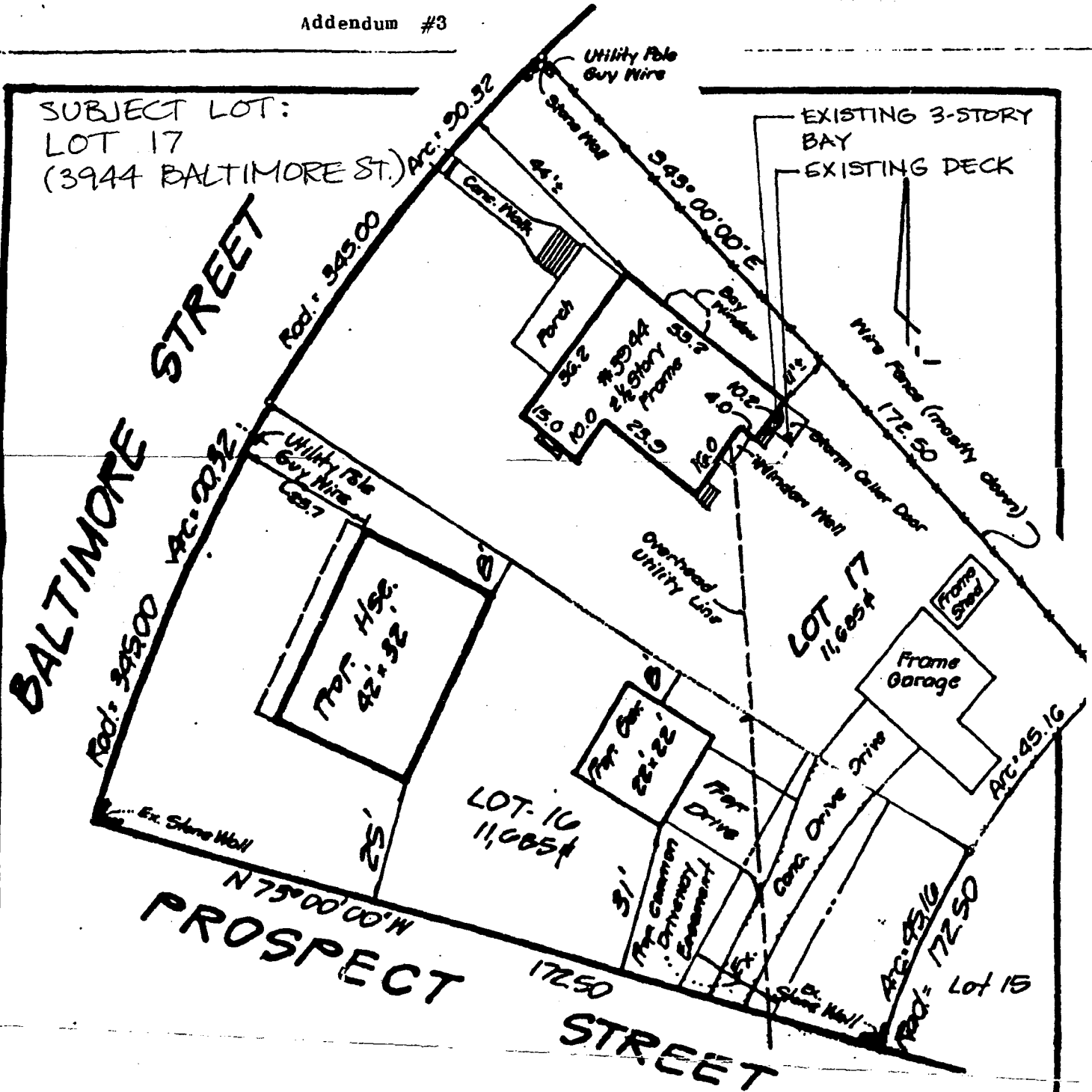
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6

SUBJECT LOT:
LOT 17
(3944 BALTIMORE ST.)



PLAN
1" = 30'

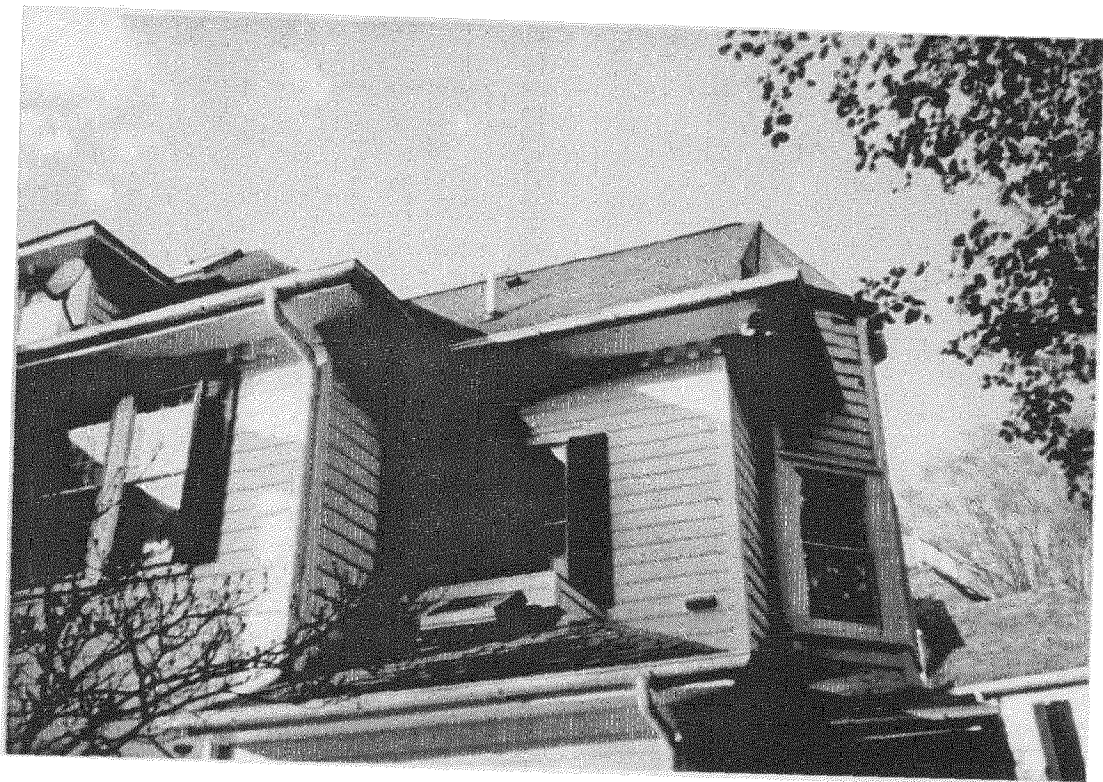
Zone: R-60
Setbacks: Front - 25'
Side - 8 min.
Total - 25'
Rear - 20'

(7)

5/27/86

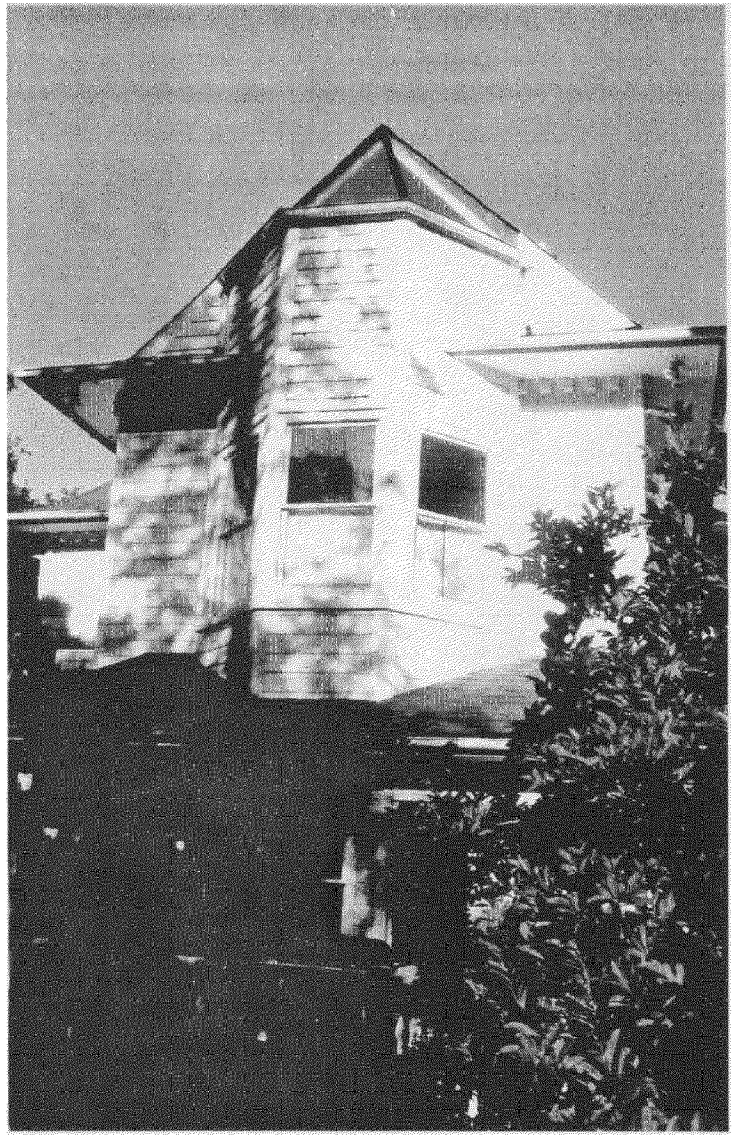
Macris, Hendricks and Witmer P.A.
Engineers • Planners • Surveyors

SITE PLAN
LOT-10 BLOCK-11
KENSINGTON PARK

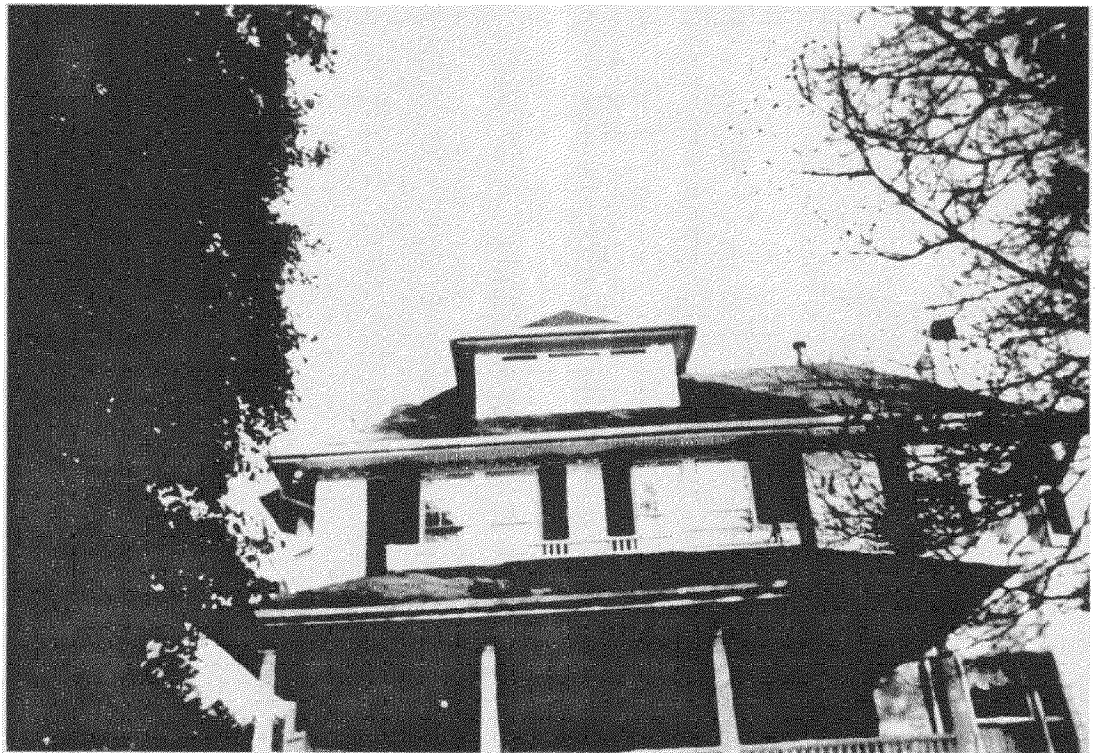


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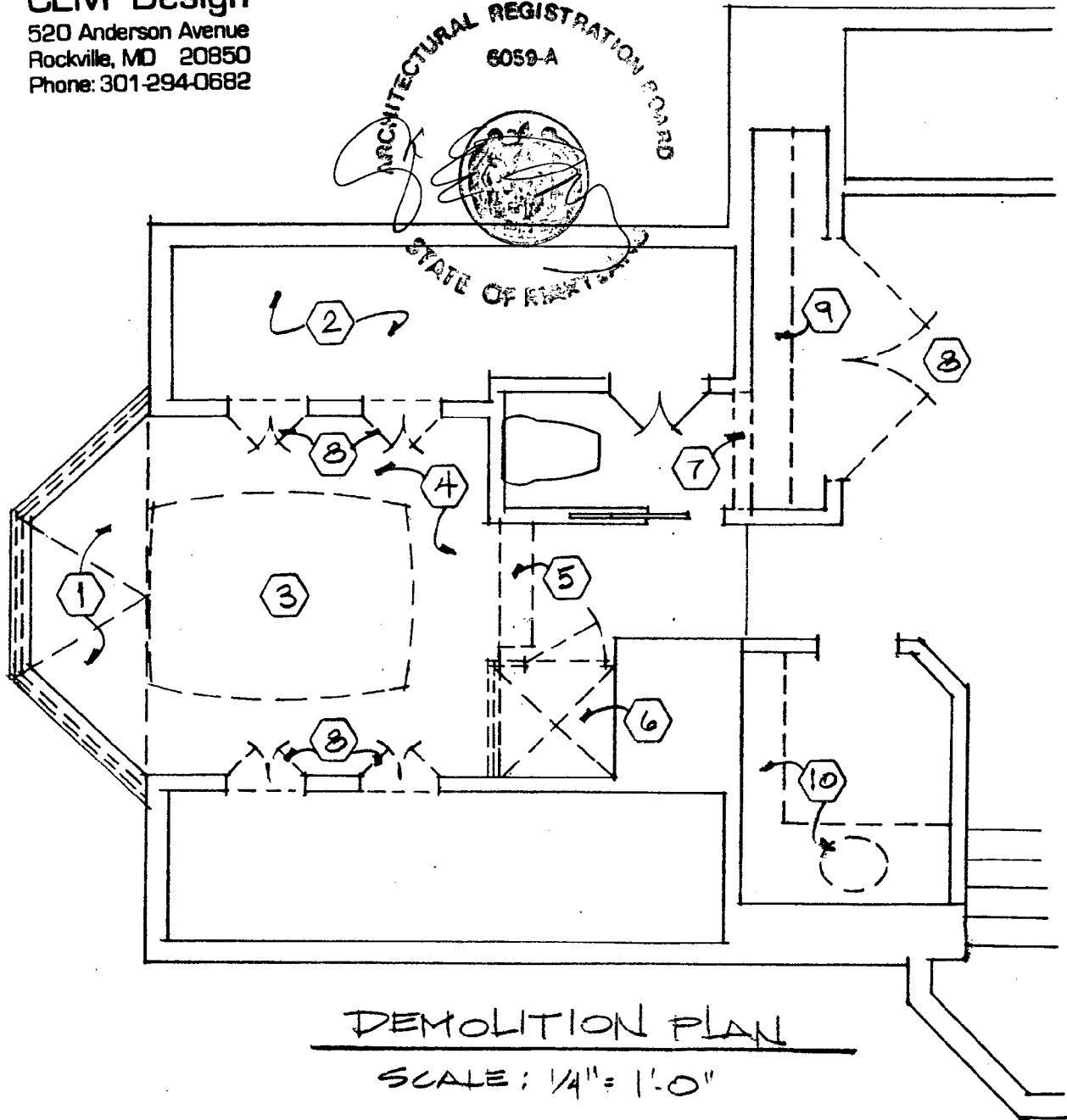
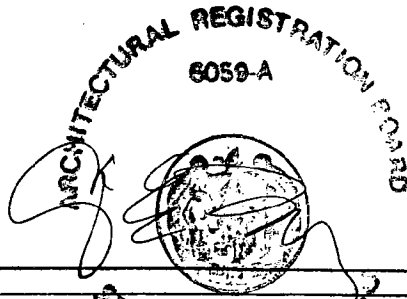
7



10

CEM Design

520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682



DEMOLITION PLAN NOTES:

- | | |
|---|--------------------------------------|
| ① - Remove angled glass/frame/sill. | ⑧ - Remove doors. |
| ② - Remove raised floor this area. | ⑨ - Remove rod and shelves. |
| ③ - Remove tub/fittings. | ⑩ - Remove vanity/lavatory/fittings. |
| ④ - Remove tub deck/frame to bedroom subfl. | |
| ⑤ - Remove steps. | |
| ⑥ - Remove shower/enclosure/fittings. | |
| ⑦ - Remove wall this area. | |

Master Bath Renovation

Hash Residence

3944 Baltimore Street

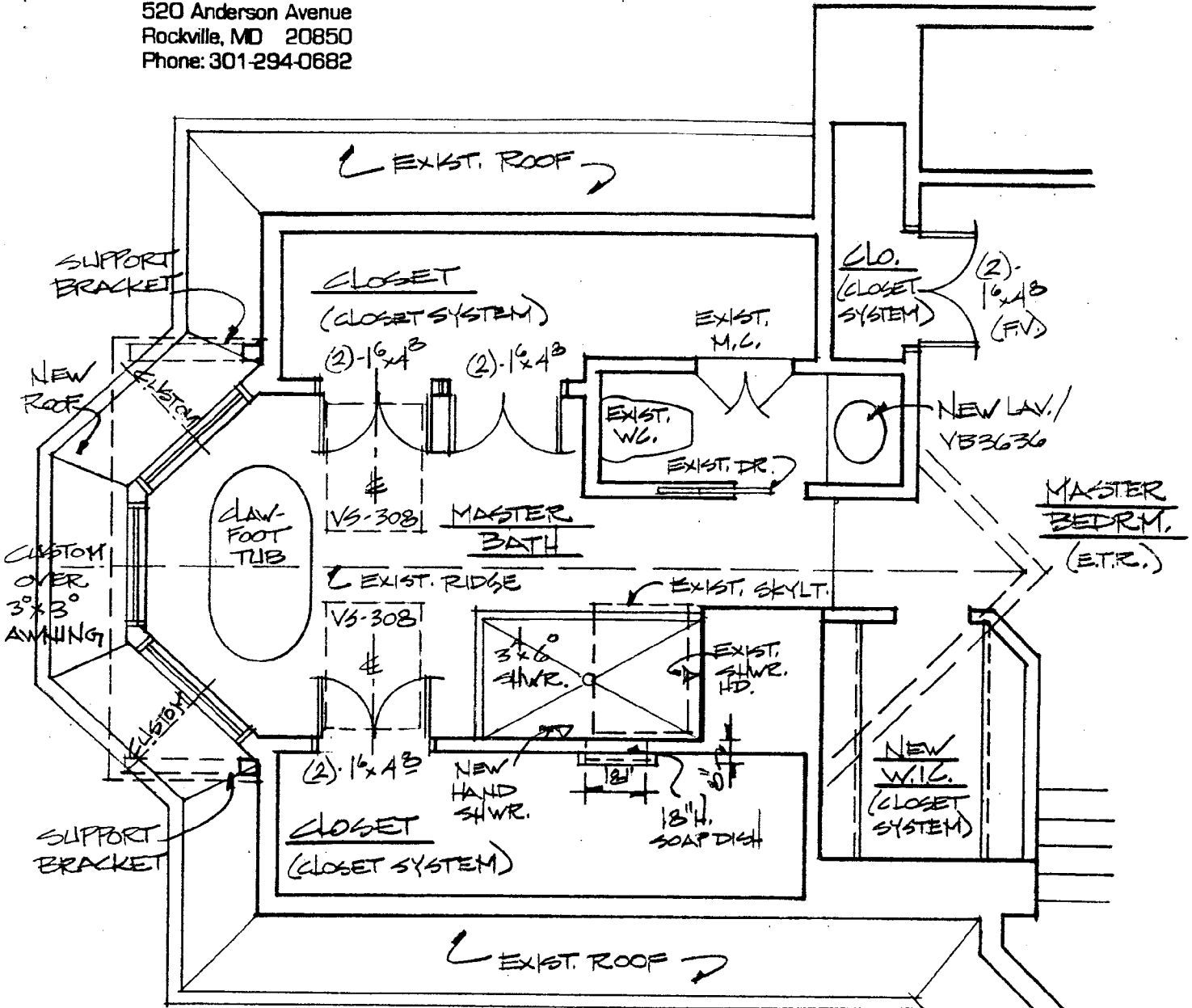
Kensington, MD 20895

10/20/05 Sheet 5 of 12



CEM Design

520 Anderson Avenue
 Rockville, MD 20850
 Phone: 301-294-0682

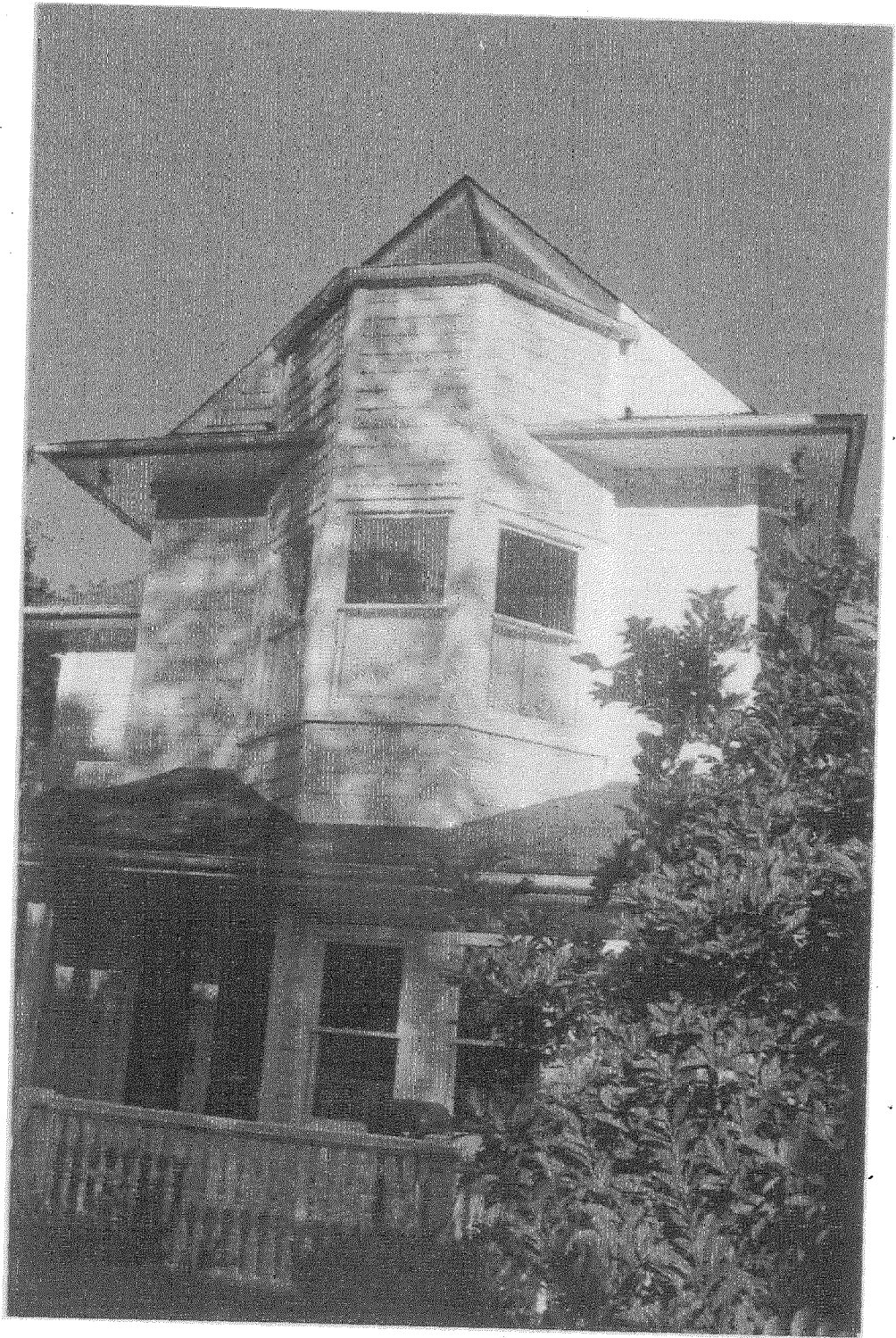


NEW MASTER BATH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



Master Bath Renovation
 Hash Residence
 3944 Baltimore Street
 Kensington, MD 20895
 10/20/05 Sheet 6 of 12

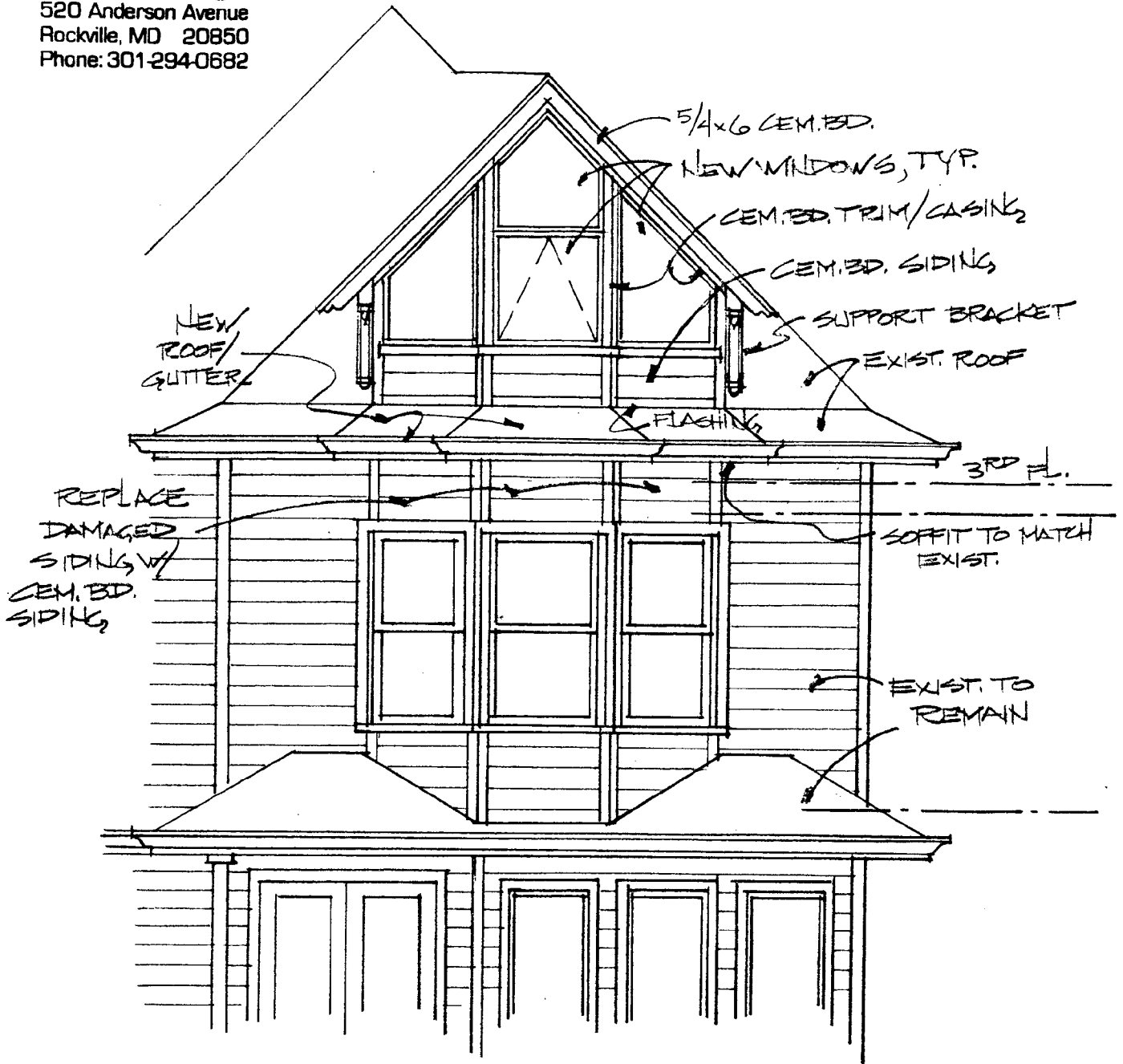
(12)



13

CEM Design

520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682



PARTIAL REAR ELEVATION

SCALE: 1/4" = 1'-0"



Master Bath Renovation

Hash Residence

3944 Baltimore Street

Kensington, MD 20895

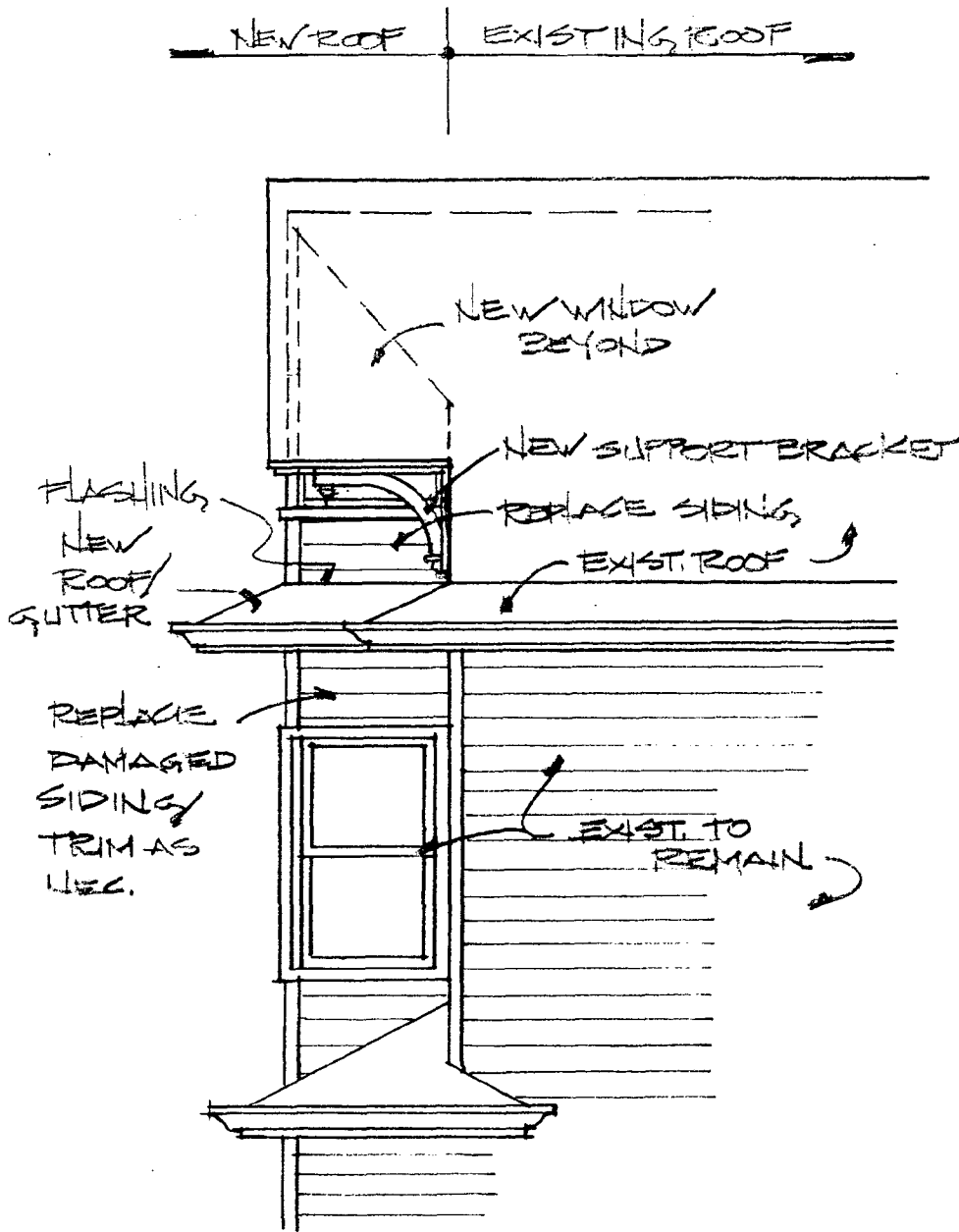
10/20/05

Sheet 7 of 12



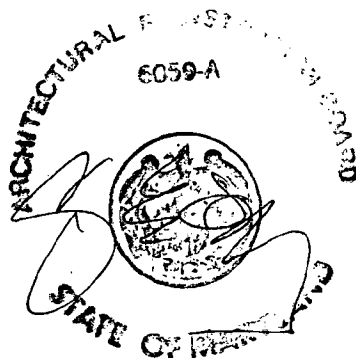
CEM Design

520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682



PARTIAL SIDE ELEVATION

SCALE: 1/4" = 1'-0"



Master Bath Renovation

Hash Residence

3944 Baltimore Street

Kensington, MD 20895

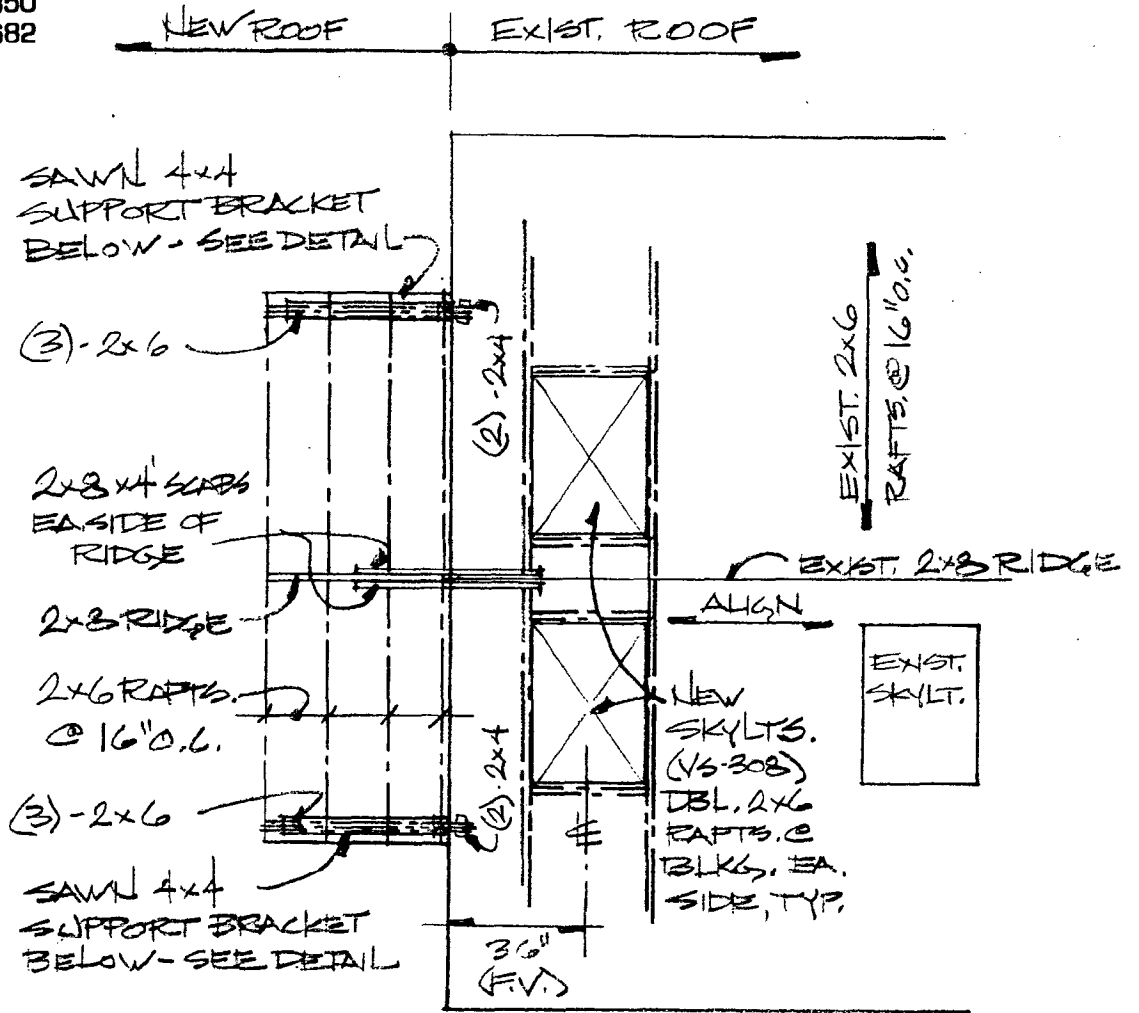
10/20/05

Sheet 3 of 12

15

CEM Design

520 Anderson Avenue
 Rockville, MD 20850
 Phone: 301-294-0682



UPPER ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



Master Bath Renovation

Hash Residence

3944 Baltimore Street

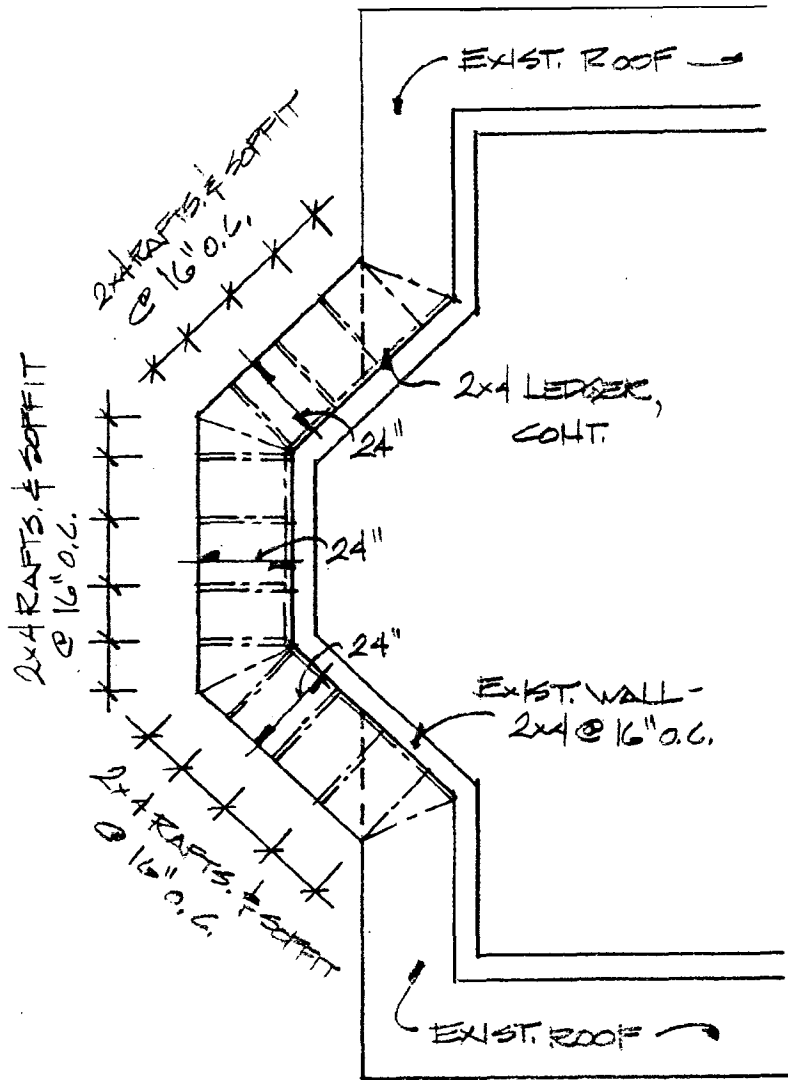
Kensington, MD 20895

10/20/05 Sheet 9 of 12

16

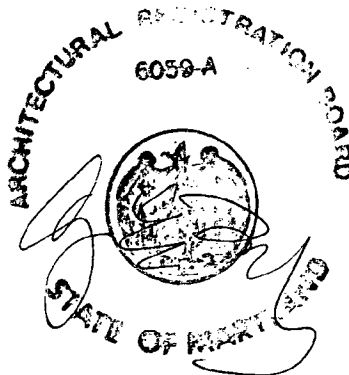
CEM Design

520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682



LOWER ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



Master Bath Renovation

Hash Residence

3944 Baltimore Street

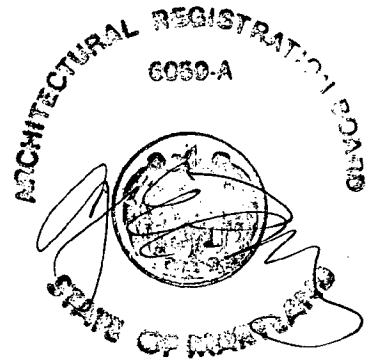
Kensington, MD 20895

10/20/05 Sheet 10 of 12

17

Master Bath Renovation

Hash Residence
3944 Baltimore Street
Kensington, MD 20895



CEM Design
520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682

Date: 10/20/05
Sheet 1 of 12

GENERAL REQUIREMENTS:

1. Work performed shall comply with the 2003 IRC, and all applicable local and state codes, ordinances and regulations, and F.H.A. minimum standards.
2. On site verification of all dimensions and conditions shall be the responsibility of the General Contractor and his sub-contractors. Noted dimensions take precedence over scale.
3. In areas where the drawings do not address methodology, the Contractor shall perform in strict compliance with the manufacturer's specifications and/or recommendations.
4. Dimensions for doors and windows are nominal. General Contractor and manufacturers are to coordinate all dimensions concerning doors and door openings, and windows and window openings prior to construction and fabrication.
5. The Contractor shall compare and coordinate all drawings. When, in the opinion of the Contractor, a discrepancy exists he shall promptly report it to the Architect for proper adjustment before proceeding with the work.
6. The Contractor shall be responsible for compliance with the orders of any public authority bearing on the performance of the work.
7. All work shall be completed by the General Contractor unless noted. All references to the "Contractor" include the General Contractor and the Sub-contractors. The Contractor shall be responsible for and have control over all construction means, techniques, sequences and procedures, and for coordinating all portions of the work required by the Contract Documents. The Contractor shall be responsible for acts and omissions of the Contractor's employees, Sub-contractors and their agents and employees, and any other persons performing any of the work under a contract with the Contractor. Work damaged during the construction or not conforming to specified standards, tolerances or manufacturer's instructions for installation shall be replaced by the Contractor at no additional cost to the Owner.
8. The Contractor shall warrant to the Owner that all materials and equipment furnished and installed under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, free from faults and defects, and conforms with the Contract Documents. For a period of one year beginning at the date of Substantial Completion, the Contractor shall promptly correct work found not to be in accordance with the Contract Documents. The Contractor shall bear all costs of the corrections.
9. The Architect accepts no responsibility for changes or deviations from these plans unless made by prior signed letter or change order.
10. The Contract Documents are solely for bidding and construction of this project. Copyright 2005, Craig E. Moloney, A.I.A. All rights reserved.

DEMOLITION

1. On site verification of all existing conditions shall be the responsibility of the Contractor.
2. The Contractor assumes all responsibility and liability for shoring, framing and barriers required for demolition and building integrity.
3. Damage to the building which occurs during the demolition process, or demolition not called for in the drawings or specifications, shall be replaced or repaired by the Contractor at no additional cost to the Owner.

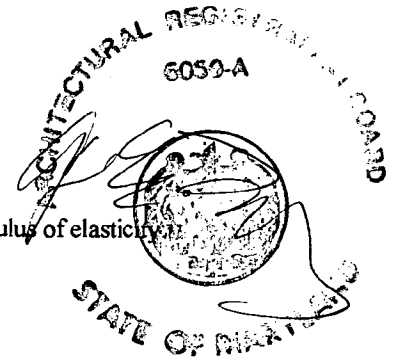
CARPENTRY

	<u>Live loads</u>	<u>Dead loads</u>	<u>Total loads</u>
Third floor load -	30# PSF	+ 10# PSF	= 40# PSF
Roof load -	30# PSF	+ 15# PSF	= 45# PSF

LUMBER GRADE

1. All lumber shall No. 2 HEM-FIR with the following minimum allowable stresses and modulus of elasticity:

Extreme fiber stress in bending -	850 PSI
Compression parallel to grain -	1300 PSI
Compression perpendicular to grain -	405 PSI
Modulus of elasticity -	1,300,000 PSI
2. Stress grade of lumber shall be clearly stamped with the Lumber Inspection Association seal showing the stress grade. All fabrication, erection, and other procedures shall conform to the current "National Design Specifications for stress-grade lumber and its fastenings".
3. All lumber 6" and deeper shall have a moisture content not greater than 19%. Air or kiln dried lumber may be used.



Master Bath Renovation

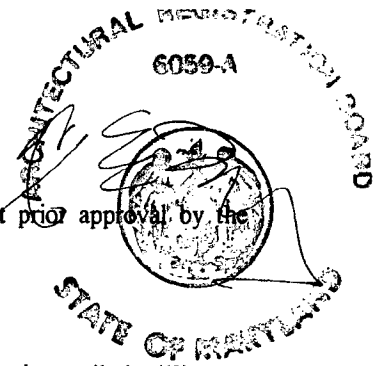
Hash Residence

10/20/05

Sheet 2 of 12

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LEVI DESIGN
520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682



ALTERING STRUCTURAL MEMBERS

1. No structural member shall be omitted, notched, cut, blocked out or relocated without prior approval by the Architect.
2. Do not alter sizes of members without approval of the Architect.

BUILT-UP BEAMS

1. Built up beams or joists formed by a multiple of 2x members 9-1/4" and less in depth shall be internally nailed w/(2) rows of 20d nails at 32" o.c. staggered.

CUTTING OF BEAMS, JOISTS AND RAFTERS

1. Cutting of beams, joists and rafters shall be limited to cuts and bored holes not deeper than 1/6th the depth of the member and shall not be located in the middle 1/3rd of the span. Notches located closer to supports than three times the depth of the member shall not exceed 1/5th the depth. Holes bored or cut into joist shall not be closer than 2" to the top or bottom of the joists and the diameter of the hole shall not exceed 1/3rd the depth of the joist.

PIPES IN STUD BEARING WALLS OR SHEAR WALLS

1. Notches or holes in studs of bearing walls or partitions shall not be more than 1/3rd the depth of the stud. Reinforce studs cut or bored in excess of the above to a loading capacity of a stud notched not more than 1/3rd its depth.

PLYWOOD

1. All plywood shall be Douglas fir and shall be manufactured and graded in accordance with "Product Standard P-1-6" for soft plywood, construction and industrial.
2. All new floors shall be glued and nailed with ring shanked nails.
3. Roof sheathing shall be standard INT-DFPA, Group 2 or 3.

NAILING

1. All nailing shall comply with 2003 IRC code, and all State and local building codes.

INSULATION

1. Ceilings under roof and floors over crawl spaces shall be insulated per requirements of State and local building codes.
2. All exterior stud walls shall receive insulation for full height of wall per requirements of State and local codes.
3. Provide sound insulation around bathroom and around plumbing risers adjacent to inhabited spaces.
4. Caulk and seal all floor and top plates, joints in sheathing, etc. prior to installation of batt insulation. Fill all shim spaces around doors and windows with loose fiberglass batt insulation.

ROOFING

1. Roofing shall be self-sealing fiber-glass reinforced asphalt shingles to match existing over one layer of 15# asphalt saturated felt underlay.

FLASHING

1. All metal flashing, counter-flashing and coping shall be of not less than 26 ga. corrosion resistant metal.
2. Flash exterior openings and building corners with waterproof building paper to extend min. 4" behind wall covering.
3. Flash and counter-flash at all roof to wall conditions. Flash and caulk wood beams and other projections through exterior walls or roof surfaces.

GUTTERS AND DOWNSPOUTS

1. All gutters are to be white aluminum half-round to match existing, mounted 30" o.c.

SIDING AND TRIM

1. Siding to be pre-primed beaded cement board by Hardi-plank, or equal. Profile and exposure is to match existing. Install and finish per manufacturer's written instructions. Color to match existing.
2. Window trim, rakes, corner boards, soffits etc. are also pre-primed cement board by James Hardie, or equal. Install and finish per manufacturer's written instructions. Color to match existing.

Master Bath Renovation

Hash Residence

10/20/05 Sheet 3 of 12

29

LEVI Design

520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682

DOORS AND WINDOWS

1. Door and window sizes and locations are shown on the drawings.
2. Windows are aluminum clad wood by Marvin, with insulated low-E double glazing. Provide aluminum framed fiberglass screens on operable windows to match.
3. Interior doors are to match existing.
4. All new door hardware is to be bright finished brass by Schlage or equal.
5. Skylights are to be venting aluminum clad by Velux, to match existing. Provide tempered, insulated low-E argon filled glazing, and screens.

GYPSUM WALLBOARD

1. All gypsum wallboard shall be screw attached and installed in accordance with the 2003 IRC, and State and local codes.
2. Provide 1/2" cement board (Durock) full height around shower.
3. Provide moisture resistant gyp. bd. in bathrooms.

PAINTING AND FINISHING

1. All paint, stain, varnish, etc. is to be by Benjamin Moore. Colors are to be selected by Owner.
2. All gypsum board is to receive one coat latex primer, and two coats satin latex.
3. All interior wood trim is to receive one coat latex primer, and two coats semi-gloss latex.
4. Exterior siding, trim, etc. to be back-primed, cut edges are to be primed, and finished per manufacturer's written specifications.

CASEWORK

1. Casework and counter top sizes, configuration and locations are shown on the drawings.
2. Casework and countertop shall be selected by Owner, installed by Contractor.
3. Field verify all dimensions prior to ordering or fabrication.

HEATING, VENTILATION AND AIR-CONDITIONING

1. Existing heating, ventilation, and air-conditioning system is to remain.

PLUMBING

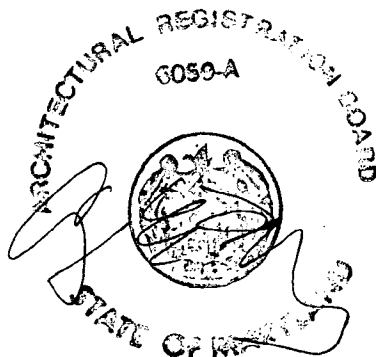
1. All work shall be in accordance with all applicable codes, rules and regulations of governing agencies and shall comply with the requirements of the WSSC.
2. All new plumbing fixtures, faucets, and fittings are to be Kohler, or equal. Color and style as selected by Owner.
3. Provide 1/2" foam insulation around all hot water supply plumbing accessible during construction.

ELECTRICAL

1. All work shall be in accordance with all codes, rules and regulations of governing agencies and shall comply with the requirements of the serving power and telephone companies.
2. Receptacles in bathrooms shall be installed above work-top where noted. All other receptacles shall be installed vertically at 16" above the sub-floor.
3. Wall switches are to be 48" above the sub-floor.
4. Existing smoke detectors are to remain.

MISCELLANEOUS

1. Provide tempered glass in bath/shower glass doors and enclosures, and in glazed panels adjacent to showers and bathtubs.



Master Bath Renovation

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3944 Baltimore Street

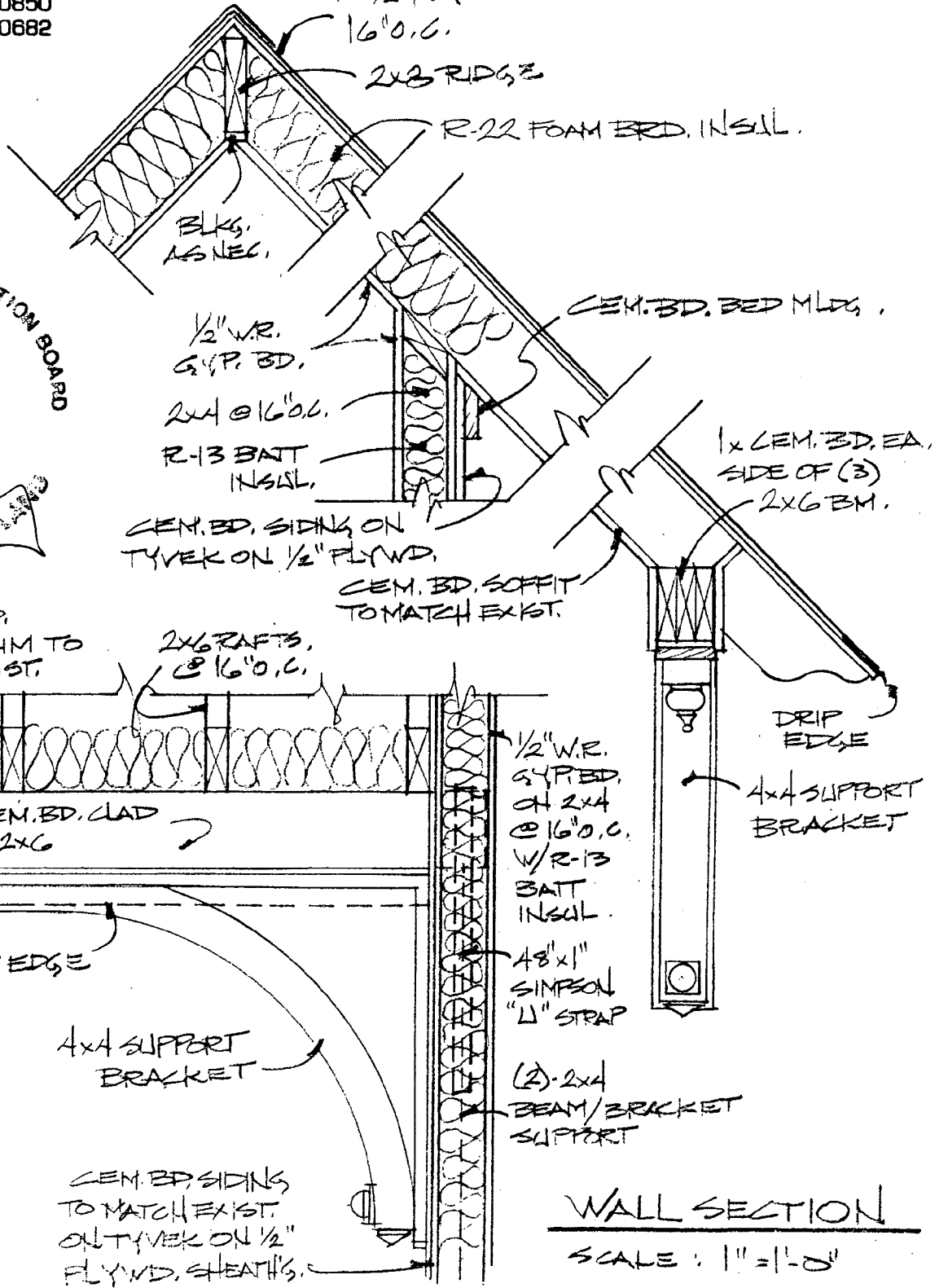
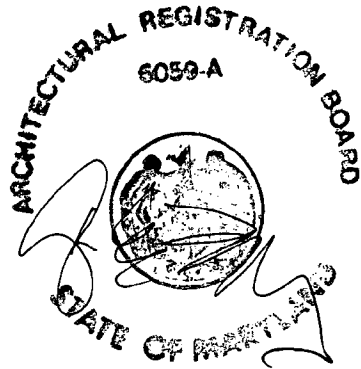
Kensington, MD 20895

10/20/05 Sheet 4 of 12



CEM Design
 520 Anderson Avenue
 Rockville, MD 20850
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ASPHALT SHINGLES ON 15# FELT
 ON 1/2" PLYWD. ON 2x6 RAFTS @



SUPPORT BRACKET DETAIL

SCALE: 1" = 1'-0"

WALL SECTION

SCALE: 1" = 1'-0"

Master Bath Renovation

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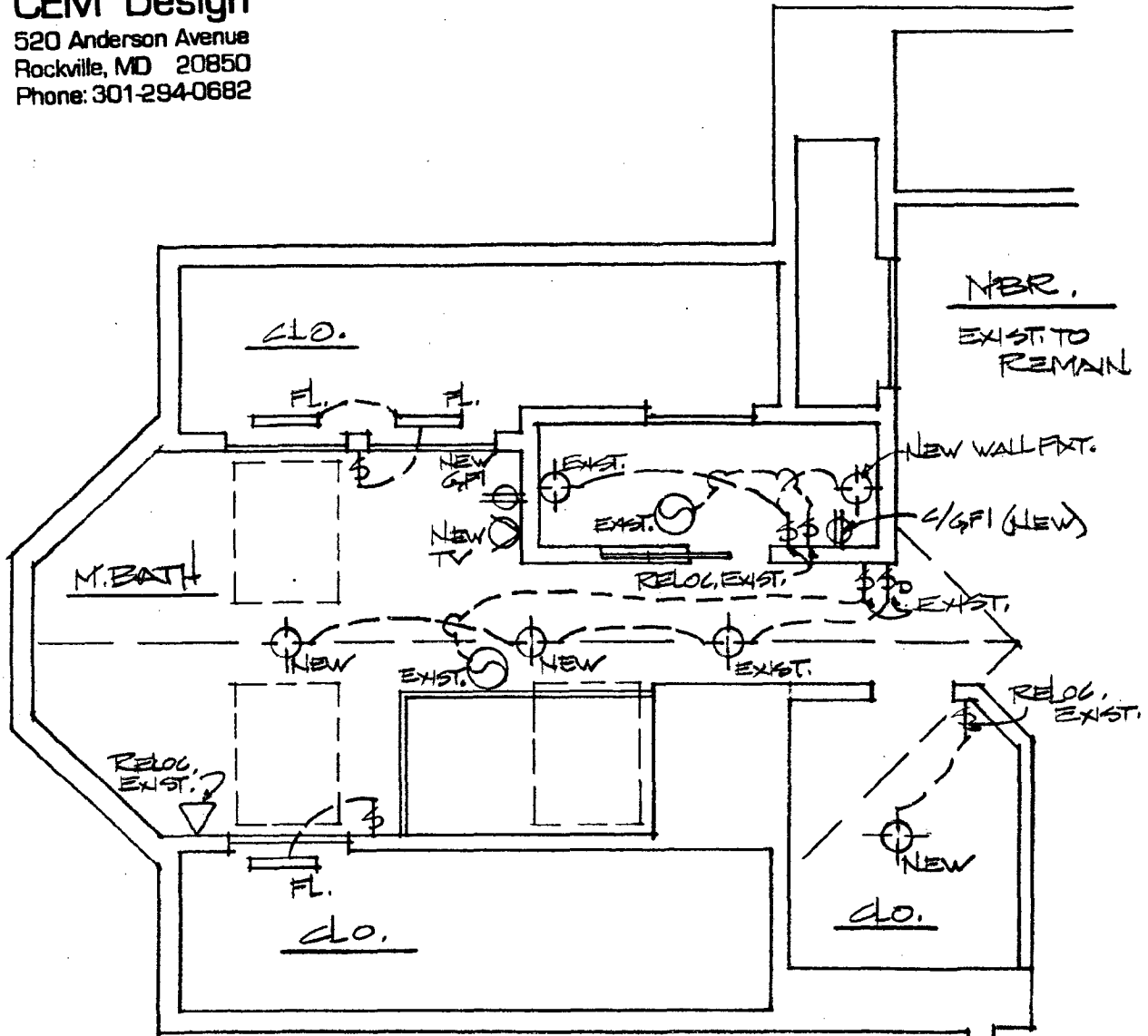
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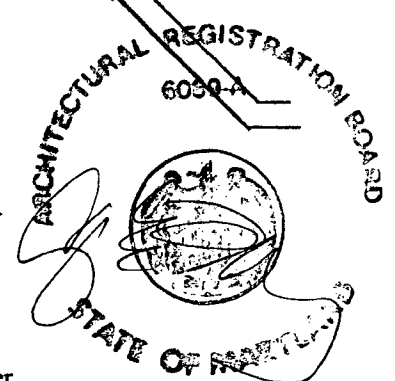


POWER/LIGHTING PLAN

SCALE: 1/4" = 1'-0"

FIXTURE SCHEDULE

- | | | | |
|--|-------------------------------------|--|--------------------------------------|
| | - Surface mounted incandescent. | | - Wall switch with dimmer. |
| | - Exhaust fan - existing to remain. | | - Wall/ceiling fluorescent, 18" T-5. |
| | - Duplex receptacle. | | - Wall switch. |
| | - Ground fault receptacle. | | - Television. |
| | - Counter height receptacle. | | - Phone. |



Master Bath Renovation

Hash Residence

3944 Baltimore Street

Kensington, MD 20895

10/20/05

Sheet 2 of 2



Kristine & Nathan Oleson
3948 Baltimore St.
Kensington, MD 20895

(adj.)

Donna & Alan Spealman
3940 Baltimore St.

(adj.)

Maureen & Peter Cappadona
3929 Prospect St.

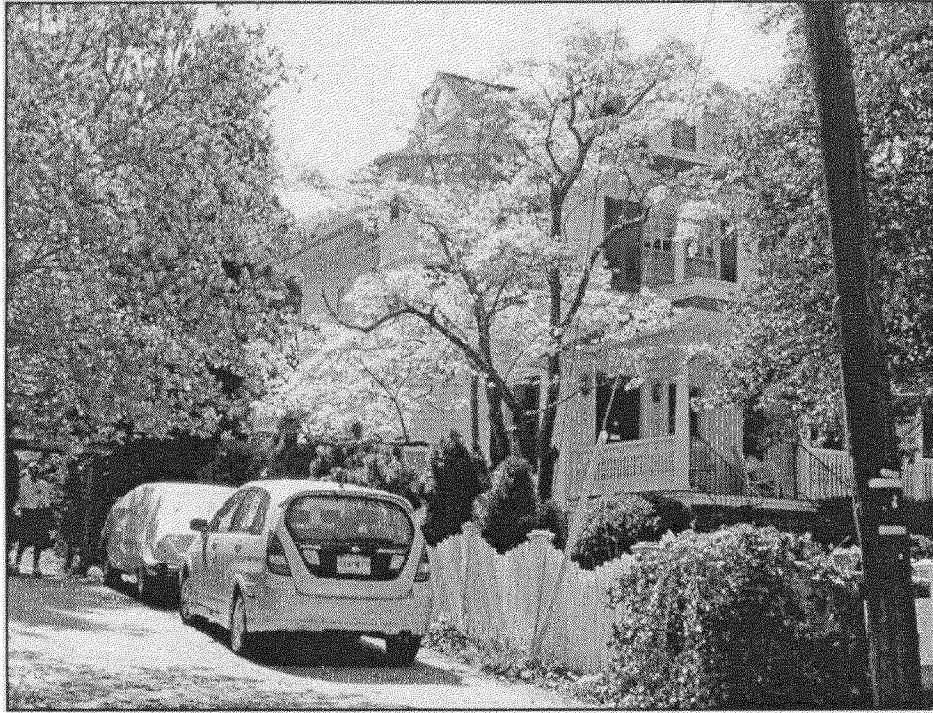
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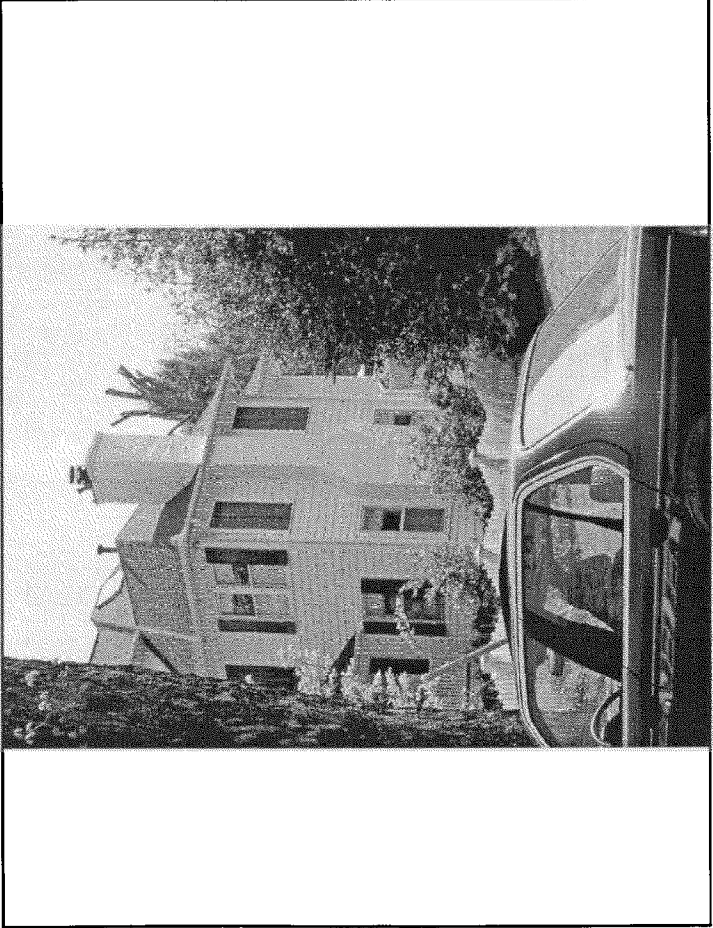
J. Edward, Edward C., & Sue Rall
3947 Baltimore St.

(confr.)

Cindy & Joe Mesmer
3941 Baltimore St.

(confr.)







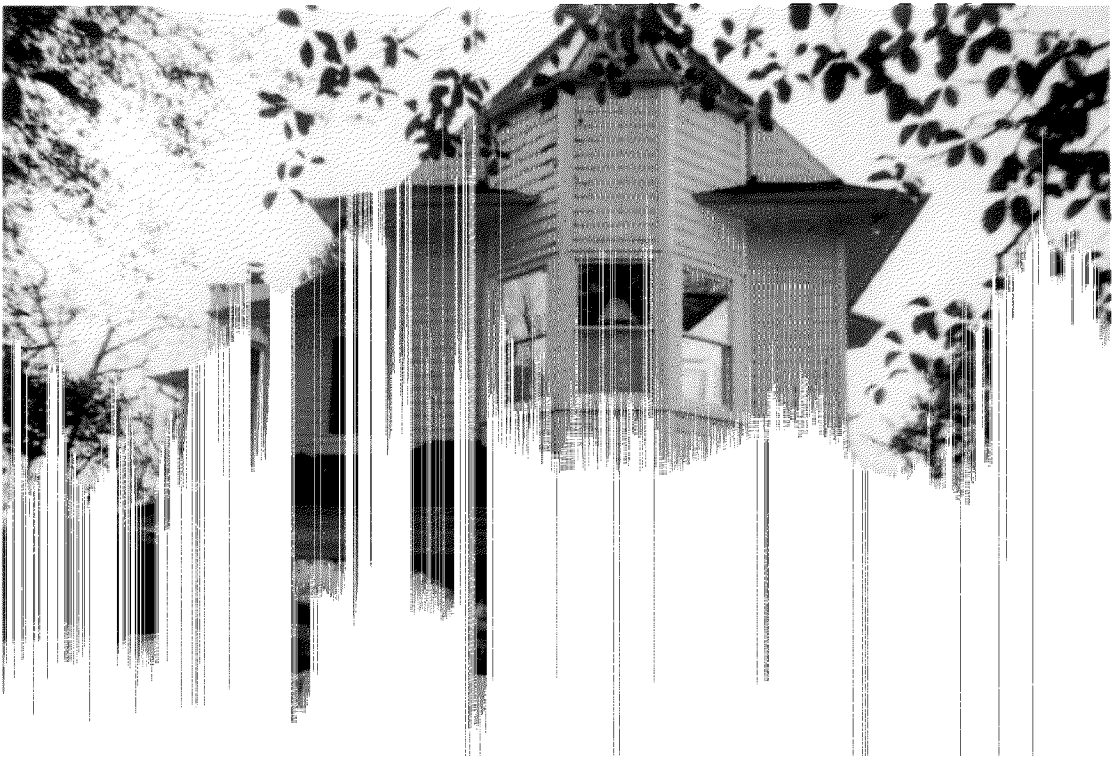


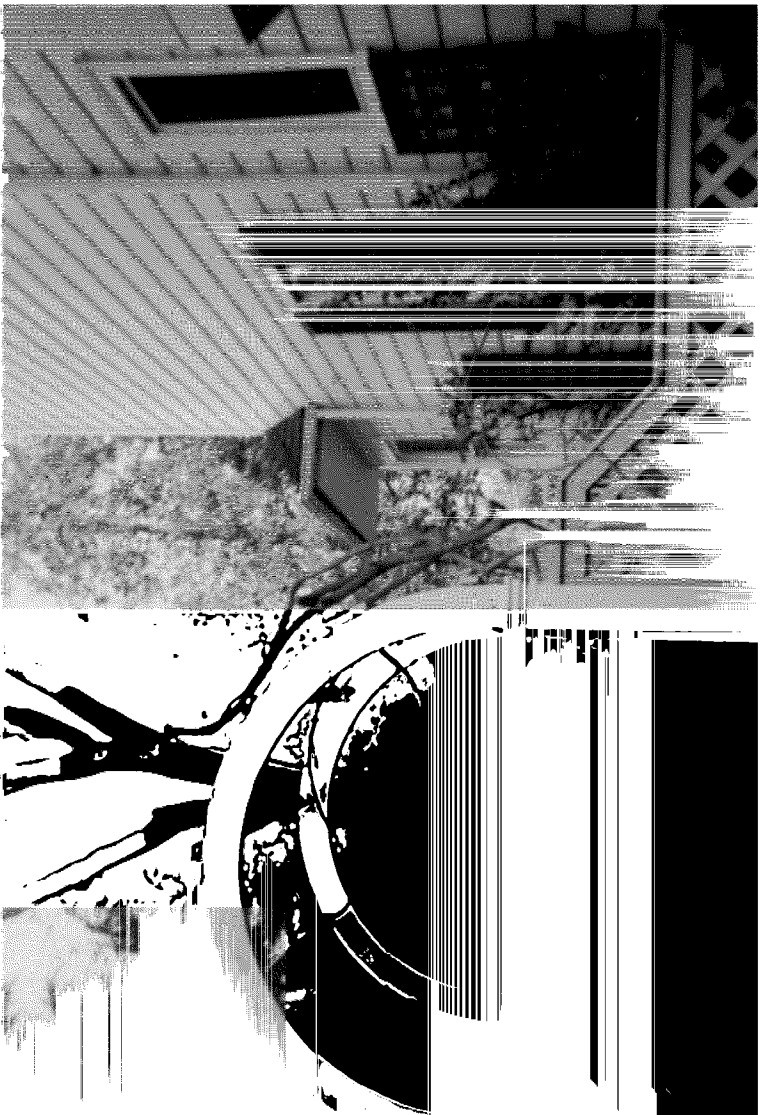
HASH RESIDENCE
3944 BALTIMORE ST.
KENSINGTON

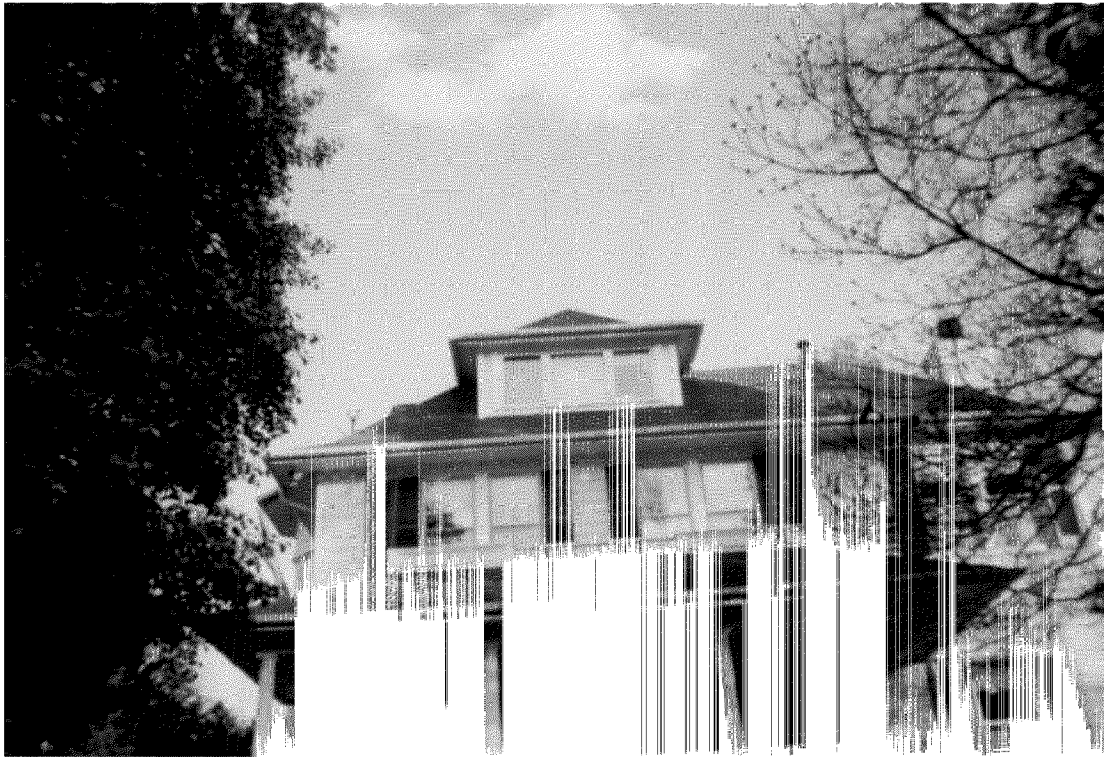
EXISTING CONDITION@
REAR BAY











Kristine & Nathan Oleson
3948 Baltimore St,
Kensington, MD 20895

(adj.)

Donna & Alan Spealman
3940 Baltimore St.

(adj.)

Maureen & Peter Cappadona
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(adj.)

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(confr.)

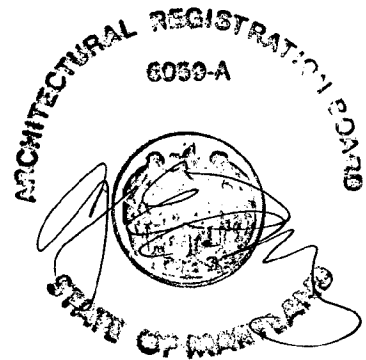
Cindy & Joe Mesmer
3941 Baltimore St.

(confr.)

Master Bath Renovation

Hash Residence

3944 Baltimore Street
Kensington, MD 20895



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Date: 10/20/05
Sheet 1 of 12

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Phone: 301-294-0682

GENERAL REQUIREMENTS:

1. Work performed shall comply with the 2003 IRC, and all applicable local and state codes, ordinances and regulations, and F.H.A. minimum standards.
2. On site verification of all dimensions and conditions shall be the responsibility of the General Contractor and his sub-contractors. Noted dimensions take precedence over scale.
3. In areas where the drawings do not address methodology, the Contractor shall perform in strict compliance with the manufacturer's specifications and/or recommendations.
4. Dimensions for doors and windows are nominal. General Contractor and manufacturers are to coordinate all dimensions concerning doors and door openings, and windows and window openings prior to construction and fabrication.
5. The Contractor shall compare and coordinate all drawings. When, in the opinion of the Contractor, a discrepancy exists he shall promptly report it to the Architect for proper adjustment before proceeding with the work.
6. The Contractor shall be responsible for compliance with the orders of any public authority bearing on the performance of the work.
7. All work shall be completed by the General Contractor unless noted. All references to the "Contractor" include the General Contractor and the Sub-contractors. The Contractor shall be responsible for and have control over all construction means, techniques, sequences and procedures, and for coordinating all portions of the work required by the Contract Documents. The Contractor shall be responsible for acts and omissions of the Contractor's employees, Sub-contractors and their agents and employees, and any other persons performing any of the work under a contract with the Contractor. Work damaged during the construction or not conforming to specified standards, tolerances or manufacturer's instructions for installation shall be replaced by the Contractor at no additional cost to the Owner.
8. The Contractor shall warrant to the Owner that all materials and equipment furnished and installed under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, free from faults and defects, and conforms with the Contract Documents. For a period of one year beginning at the date of Substantial Completion, the Contractor shall promptly correct work found not to be in accordance with the Contract Documents. The Contractor shall bear all costs of the corrections.
9. The Architect accepts no responsibility for changes or deviations from these plans unless made by prior signed letter or change order.
10. The Contract Documents are solely for bidding and construction of this project. Copyright 2005, Craig E. Moloney, A.I.A. All rights reserved.

DEMOLITION

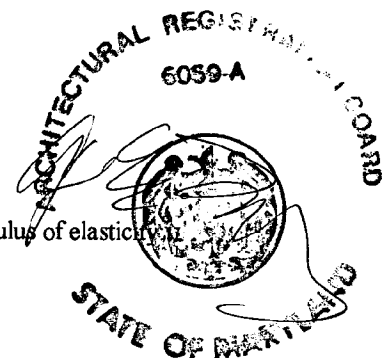
1. On site verification of all existing conditions shall be the responsibility of the Contractor.
2. The Contractor assumes all responsibility and liability for shoring, framing and barriers required for demolition and building integrity.
3. Damage to the building which occurs during the demolition process, or demolition not called for in the drawings or specifications, shall be replaced or repaired by the Contractor at no additional cost to the Owner.

CARPENTRY

	<u>Live loads</u>	<u>Dead loads</u>	<u>Total loads</u>
Third floor load -	30# PSF	+ 10# PSF	= 40# PSF
Roof load -	30# PSF	+ 15# PSF	= 45# PSF

LUMBER GRADE

1. All lumber shall No. 2 HEM-FIR with the following minimum allowable stresses and modulus of elasticity:
 - Extreme fiber stress in bending - 850 PSI
 - Compression parallel to grain - 1300 PSI
 - Compression perpendicular to grain - 405 PSI
 - Modulus of elasticity - 1,300,000 PSI
2. Stress grade of lumber shall be clearly stamped with the Lumber Inspection Association seal showing the stress grade. All fabrication, erection, and other procedures shall conform to the current "National Design Specifications for stress-grade lumber and its fastenings".
3. All lumber 6" and deeper shall have a moisture content not greater than 19%. Air or kiln dried lumber may be used.



Master Bath Renovation

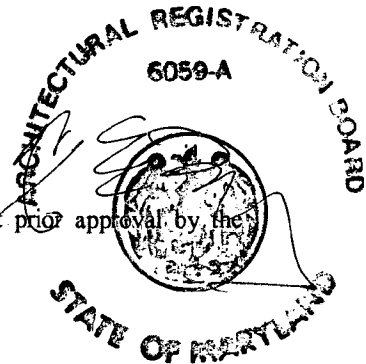
Hash Residence

10/20/05

Sheet 2 of 12

CEM Design

520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682



ALTERING STRUCTURAL MEMBERS

1. No structural member shall be omitted, notched, cut, blocked out or relocated without prior approval by the Architect.
2. Do not alter sizes of members without approval of the Architect.

BUILT-UP BEAMS

1. Built up beams or joists formed by a multiple of 2x members 9-1/4" and less in depth shall be internailed w/(2) rows of 20d nails at 32" o.c. staggered.

CUTTING OF BEAMS, JOISTS AND RAFTERS

1. Cutting of beams, joists and rafters shall be limited to cuts and bored holes not deeper than 1/6th the depth of the member and shall not be located in the middle 1/3rd of the span. Notches located closer to supports than three times the depth of the member shall not exceed 1/5th the depth. Holes bored or cut into joist shall not be closer than 2" to the top or bottom of the joists and the diameter of the hole shall not exceed 1/3rd the depth of the joist.

PIPES IN STUD BEARING WALLS OR SHEAR WALLS

1. Notches or holes in studs of bearing walls or partitions shall not be more than 1/3rd the depth of the stud. Reinforce studs cut or bored in excess of the above to a loading capacity of a stud notched not more than 1/3rd its depth.

PLYWOOD

1. All plywood shall be Douglas fir and shall be manufactured and graded in accordance with "Product Standard P-1-6" for soft plywood, construction and industrial.
2. All new floors shall be glued and nailed with ring shanked nails.
3. Roof sheathing shall be standard INT-DFPA, Group 2 or 3.

NAILING

1. All nailing shall comply with 2003 IRC code, and all State and local building codes.

INSULATION

1. Ceilings under roof and floors over crawl spaces shall be insulated per requirements of State and local building codes.
2. All exterior stud walls shall receive insulation for full height of wall per requirements of State and local codes.
3. Provide sound insulation around bathroom and around plumbing risers adjacent to inhabited spaces.
4. Caulk and seal all floor and top plates, joints in sheathing, etc. prior to installation of batt insulation. Fill all shim spaces around doors and windows with loose fiberglass batt insulation.

ROOFING

1. Roofing shall be self-sealing fiber-glass reinforced asphalt shingles to match existing over one layer of 15# asphalt saturated felt underlay.

FLASHING

1. All metal flashing, counter-flashing and coping shall be of not less than 26 ga. corrosion resistant metal.
2. Flash exterior openings and building corners with waterproof building paper to extend min. 4" behind wall covering.
3. Flash and counter-flash at all roof to wall conditions. Flash and caulk wood beams and other projections through exterior walls or roof surfaces.

GUTTERS AND DOWNSPOUTS

1. All gutters are to be white aluminum half-round to match existing, mounted 30" o.c.

SIDING AND TRIM

1. Siding to be pre-primed beaded cement board by Hardi-plank, or equal. Profile and exposure is to match existing. Install and finish per manufacturer's written instructions. Color to match existing.
2. Window trim, rakes, corner boards, soffits etc. are also pre-primed cement board by James Hardie, or equal. Install and finish per manufacturer's written instructions. Color to match existing.

Master Bath Renovation

Hash Residence

10/20/05 Sheet 3 of 12

CEM Design

520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682

DOORS AND WINDOWS

1. Door and window sizes and locations are shown on the drawings.
2. Windows are aluminum clad wood by Marvin, with insulated low-E double glazing. Provide aluminum framed fiberglass screens on operable windows to match.
3. Interior doors are to match existing.
4. All new door hardware is to be bright finished brass by Schlage or equal.
5. Skylights are to be venting aluminum clad by Velux, to match existing. Provide tempered, insulated low-E argon filled glazing, and screens.

GYPSUM WALLBOARD

1. All gypsum wallboard shall be screw attached and installed in accordance with the 2003 IRC, and State and local codes.
2. Provide 1/2" cement board (Durock) full height around shower.
3. Provide moisture resistant gyp. bd. in bathrooms.

PAINTING AND FINISHING

1. All paint, stain, varnish, etc. is to be by Benjamin Moore. Colors are to be selected by Owner.
2. All gypsum board is to receive one coat latex primer, and two coats satin latex.
3. All interior wood trim is to receive one coat latex primer, and two coats semi-gloss latex.
4. Exterior siding, trim, etc. to be back-primed, cut edges are to be primed, and finished per manufacturer's written specifications.

CASEWORK

1. Casework and counter top sizes, configuration and locations are shown on the drawings.
2. Casework and countertop shall be selected by Owner, installed by Contractor.
3. Field verify all dimensions prior to ordering or fabrication.

HEATING, VENTILATION AND AIR-CONDITIONING

1. Existing heating, ventilation, and air-conditioning system is to remain.

PLUMBING

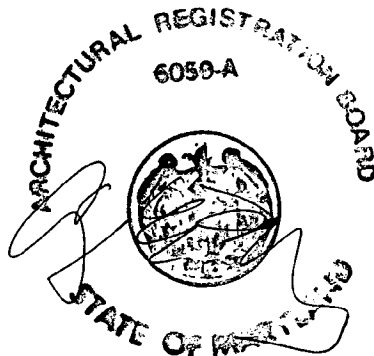
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2. All new plumbing fixtures, faucets, and fittings are to be Kohler, or equal. Color and style as selected by Owner.
3. Provide 1/2" foam insulation around all hot water supply plumbing accessible during construction.

ELECTRICAL

1. All work shall be in accordance with all codes, rules and regulations of governing agencies and shall comply with the requirements of the serving power and telephone companies.
2. Receptacles in bathrooms shall be installed above work-top where noted. All other receptacles shall be installed vertically at 16" above the sub-floor.
3. Wall switches are to be 48" above the sub-floor.
4. Existing smoke detectors are to remain.

MISCELLANEOUS

1. Provide tempered glass in bath/shower glass doors and enclosures, and in glazed panels adjacent to showers and bathtubs.



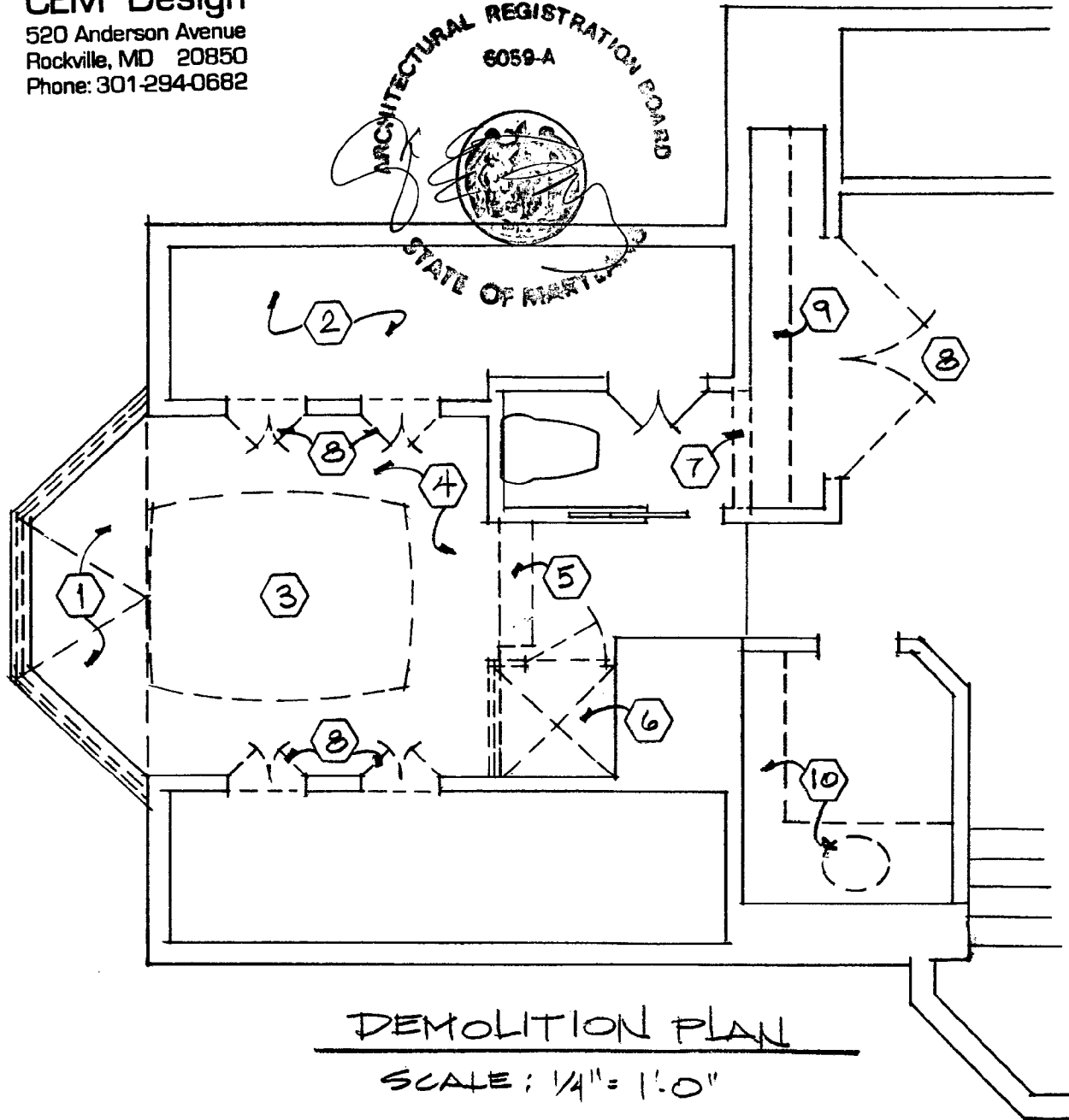
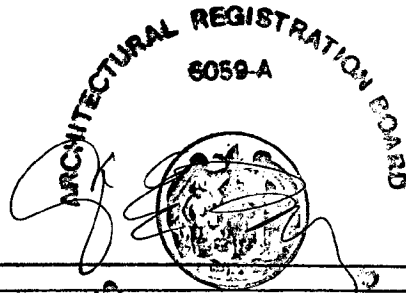
Master Bath Renovation

Hash Residence
3944 Baltimore Street
Kensington, MD 20895

10/20/05 Sheet 4 of 12

CEM Design

520 Anderson Avenue
Rockville, MD 20850
Phone: 301-294-0682



DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION PLAN NOTES:

- | | |
|---|--------------------------------------|
| ① - Remove angled glass/frame/sill. | ⑧ - Remove doors. |
| ② - Remove raised floor this area. | ⑨ - Remove rod and shelves. |
| ③ - Remove tub/fittings. | ⑩ - Remove vanity/lavatory/fittings. |
| ④ - Remove tub deck/frame to bedroom subfl. | |
| ⑤ - Remove steps. | |
| ⑥ - Remove shower/enclosure/fittings. | |
| ⑦ - Remove wall this area. | |

Master Bath Renovation

Hash Residence

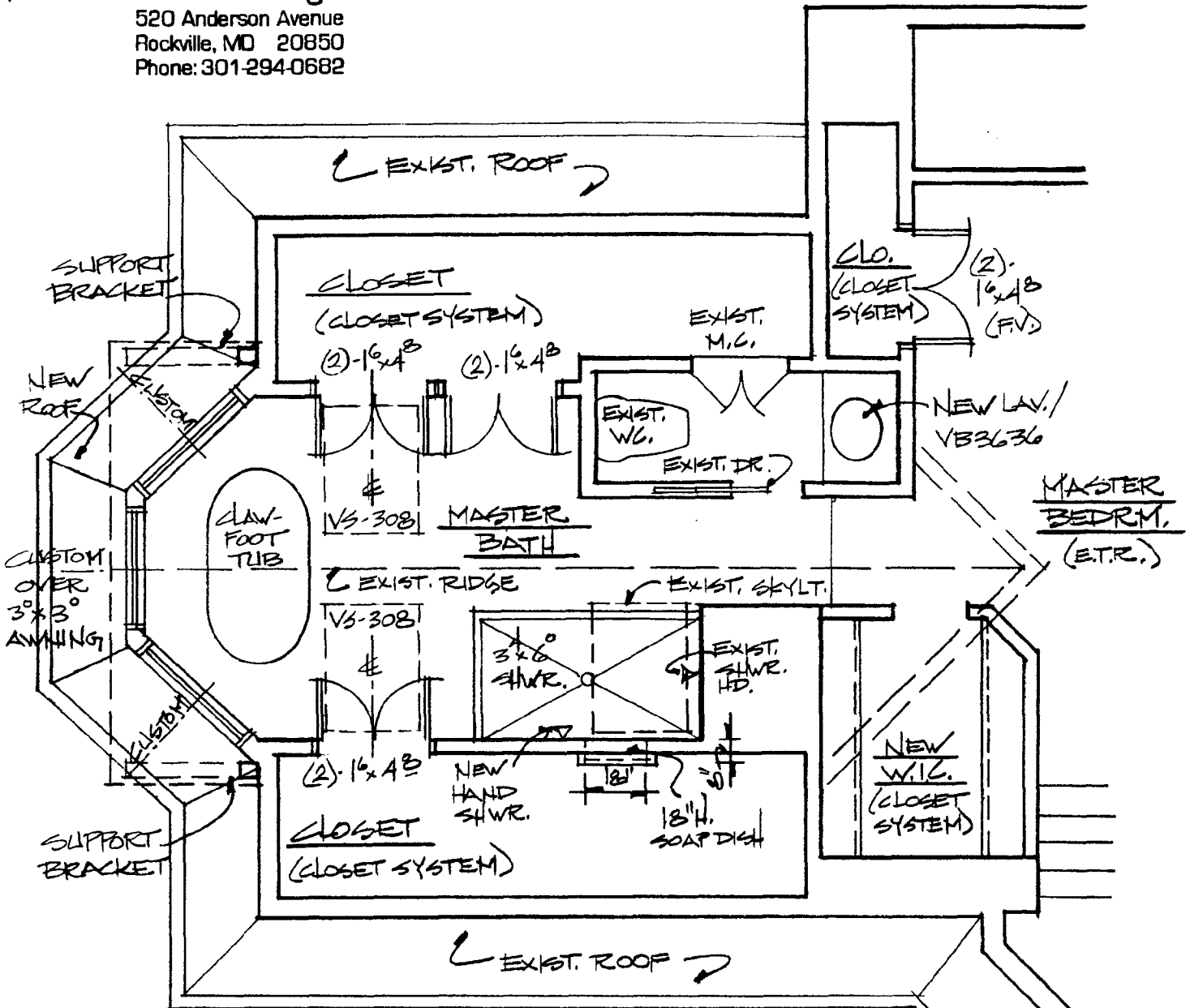
3944 Baltimore Street

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NEW MASTER BATH FLOOR PLAN

SCALE: 1/4" = 1'-0"



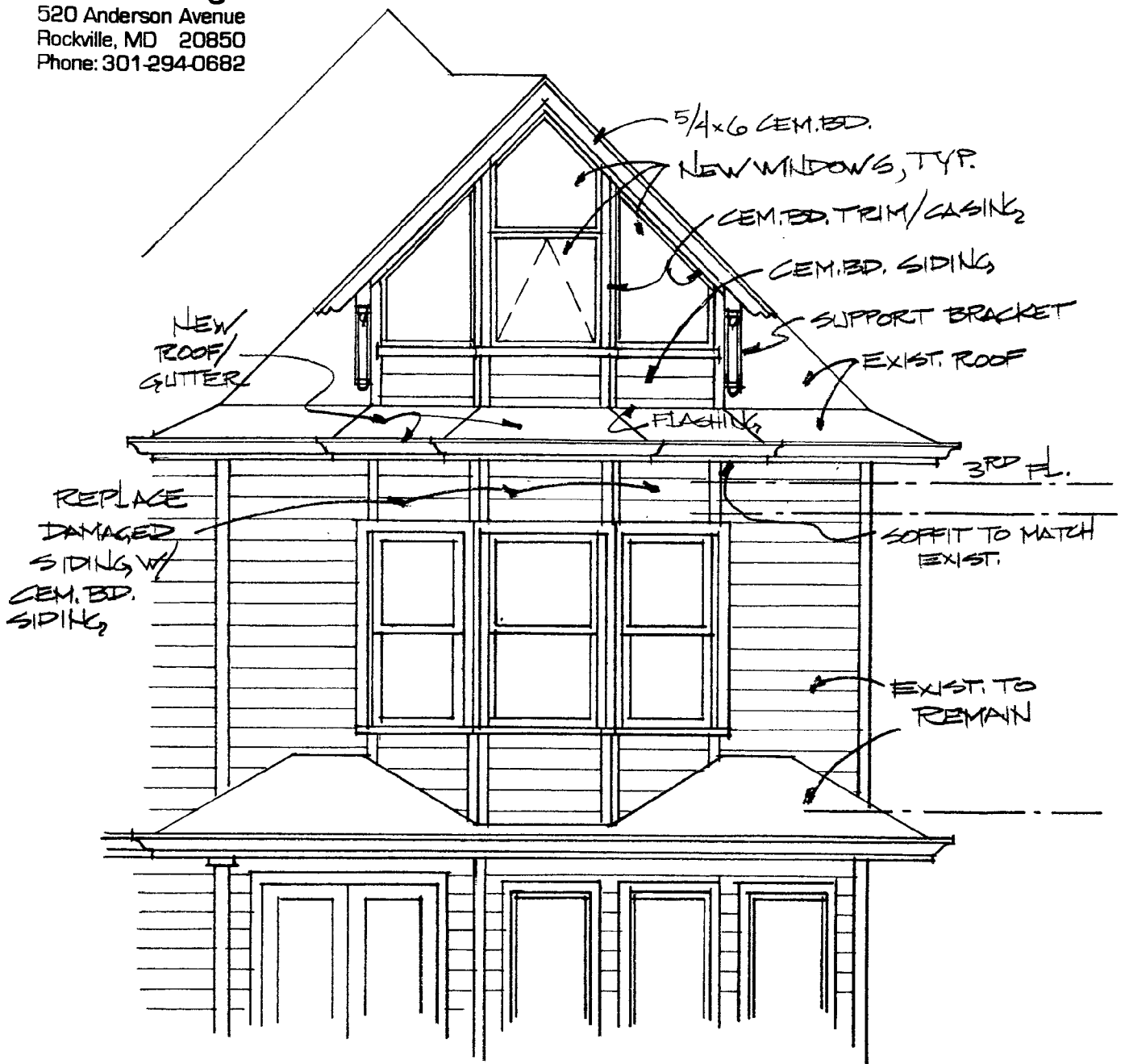
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 3944 Baltimore Street
 Kensington, MD 20895

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Rockville, MD 20850
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PARTIAL REAR ELEVATION

SCALE: 1/4" = 1'-0"



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3944 Baltimore Street

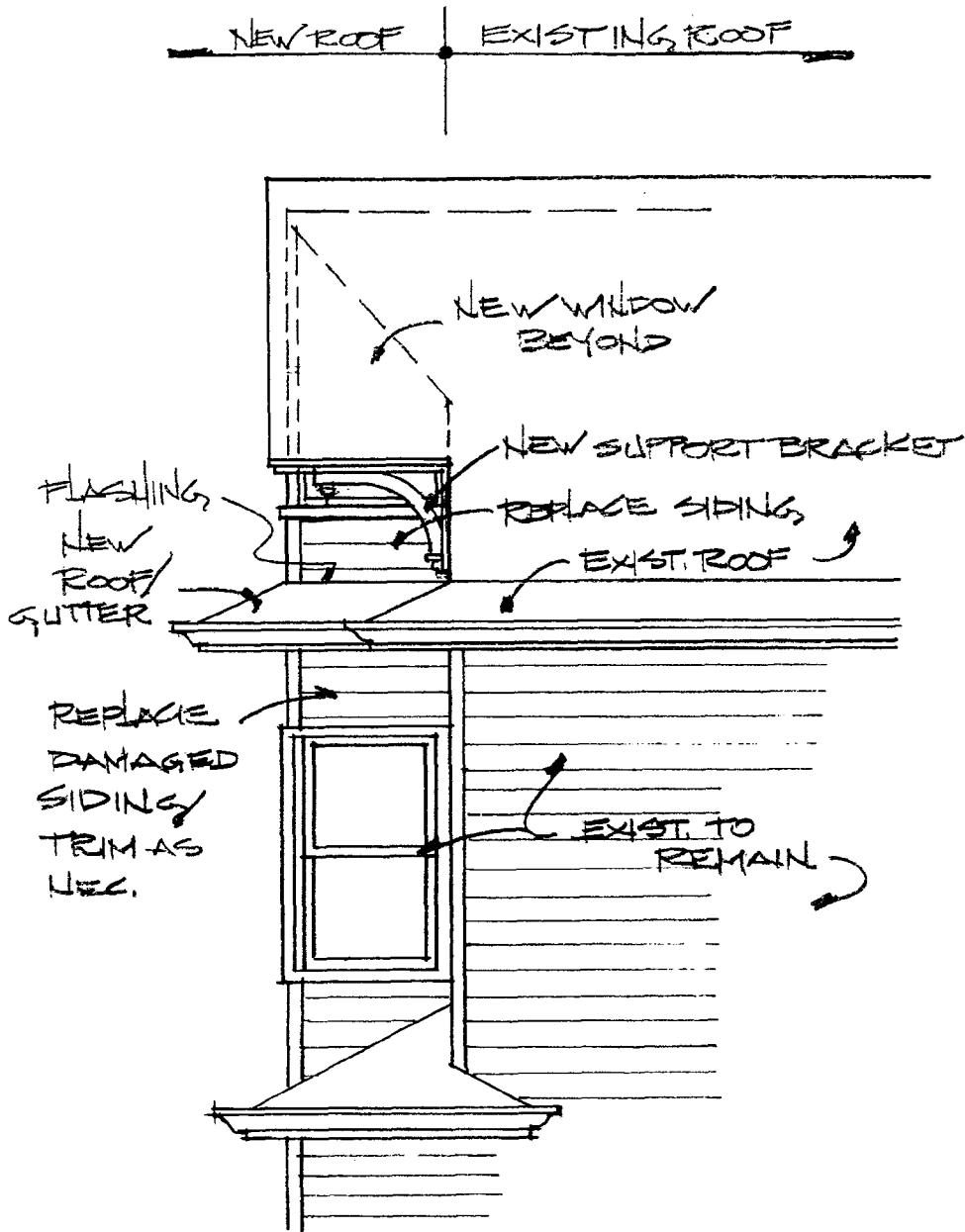
Kensington, MD 20895

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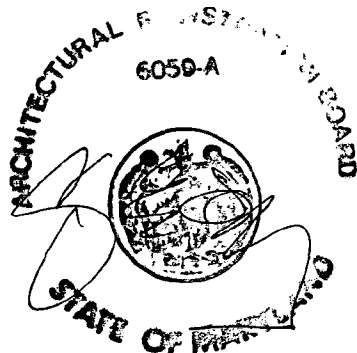
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Phone: 301-294-0682



PARTIAL SIDE ELEVATION

SCALE: 1/4" = 1'-0"



Master Bath Renovation

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3944 Baltimore Street

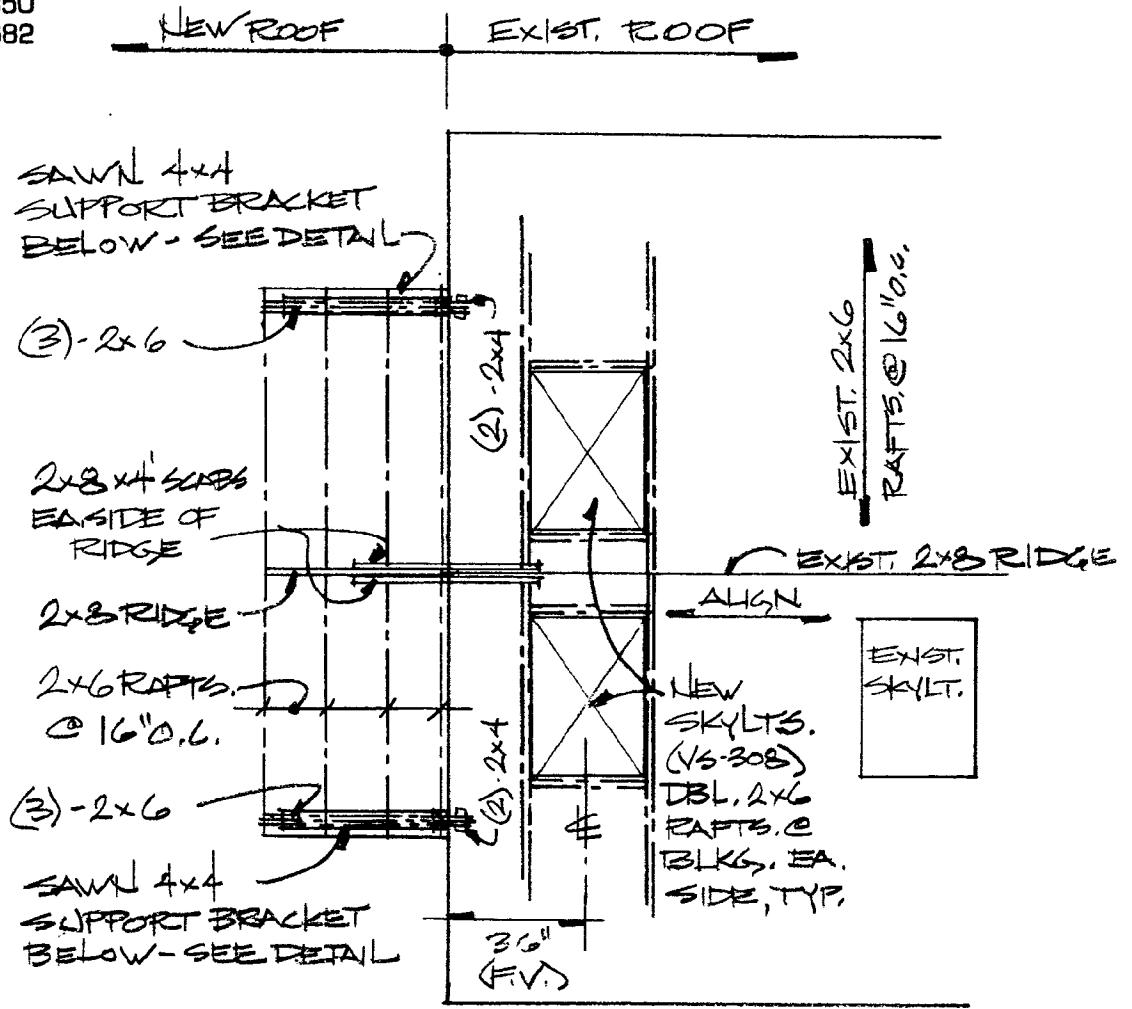
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UPPER ROOF FRAMING PLAN

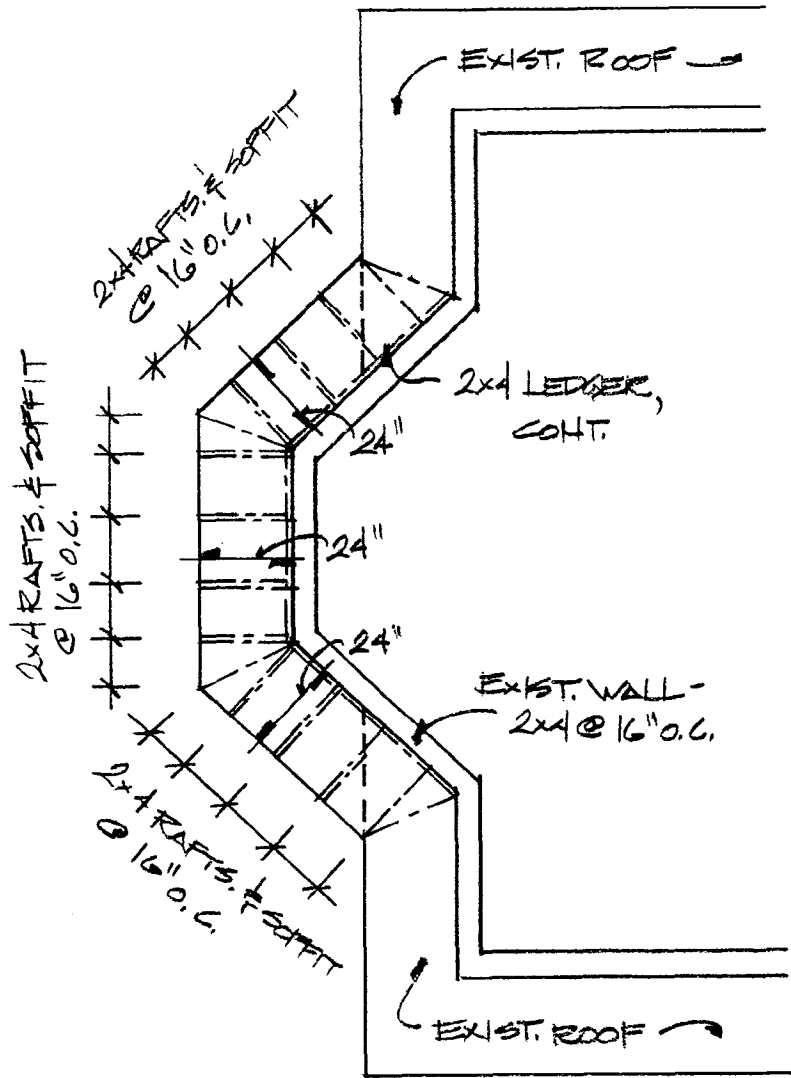
SCALE: 1/4" = 1'-0"



Master Bath Renovation
Hash Residence
3944 Baltimore Street
Kensington, MD 20895
10/20/05 Sheet 9 of 12

CEM Design

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Rockville, MD 20850
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LOWER ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



Master Bath Renovation

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Kensington, MD 20895

10/20/05 Sheet 10 of 12

CEM Design

520 Anderson Avenue
 Rockville, MD 20850
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ASPHALT SHINGLES ON 15# FELT
 ON 1/2" FLYWD. ON 2x6 RAFTS @

16" O.C.

2x8 RIDGE

R-22 FOAM BED. INSUL.

BLKG.
 AS NEC.

1/2" W.R.
 GYP. BD.

2x4 @ 16" O.C.

R-13 BATT
 INSUL.

CEN. BD. SIDING ON
 TYVEK ON 1/2" FLYWD.

CEN. BD. SOFFIT
 TO MATCH EXIST.

CEN. BD. BED MLDG.

1x CEN. BD. EA.
 SIDE OF (3)
 2x6 BM.

DRIP
 EDGE

4x4 SUPPORT
 BRACKET

1/2" W.R.
 GYP. BD.
 ON 2x4
 @ 16" O.C.
 W/R-13
 BATT
 INSUL.

48"x1"
 SIMPSON
 "L" STRAP

(2)-2x4
 BEAM/BRACKET
 SUPPORT

1x CEN. BD.
 RAKE/TRIM TO
 MATCH EXIST.

2x6 RAFTS,
 @ 16" O.C.

1x CEN. BD. CLAD
 (3)-2x6

ROOF EDGE

4x4 SUPPORT
 BRACKET

CEN. BD. SIDING
 TO MATCH EXIST.
 ON TYVEK ON 1/2"
 FLYWD. SHEATH'G.

WALL SECTION

SCALE: 1" = 1'-0"

SUPPORT BRACKET DETAIL

SCALE: 1" = 1'-0"

Master Bath Renovation

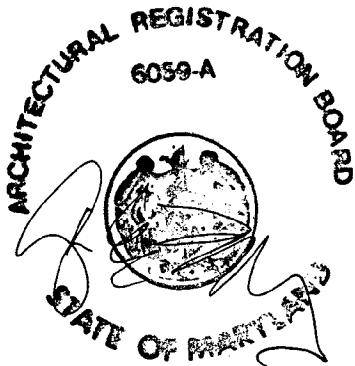
Hash Residence

3944 Baltimore Street

Kensington, MD 20895

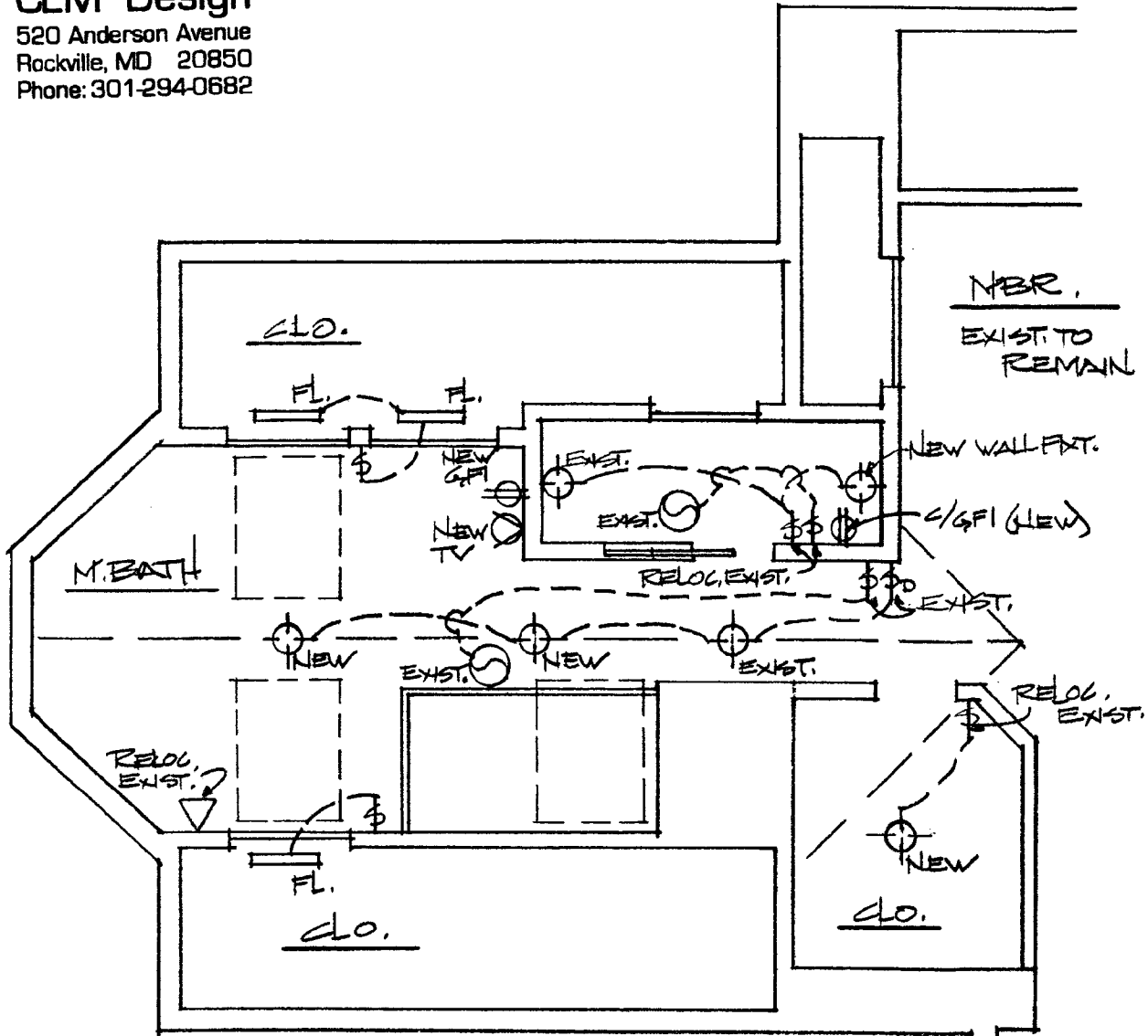
10/20/05

Sheet 11 of 12



CEM Design

520 Anderson Avenue
 Rockville, MD 20850
 Phone: 301-294-0682

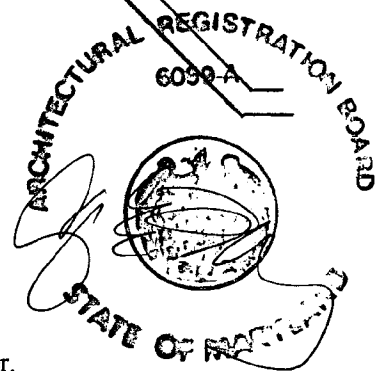


POWER/LIGHTING PLAN

SCALE: 1/4" = 1'-0"

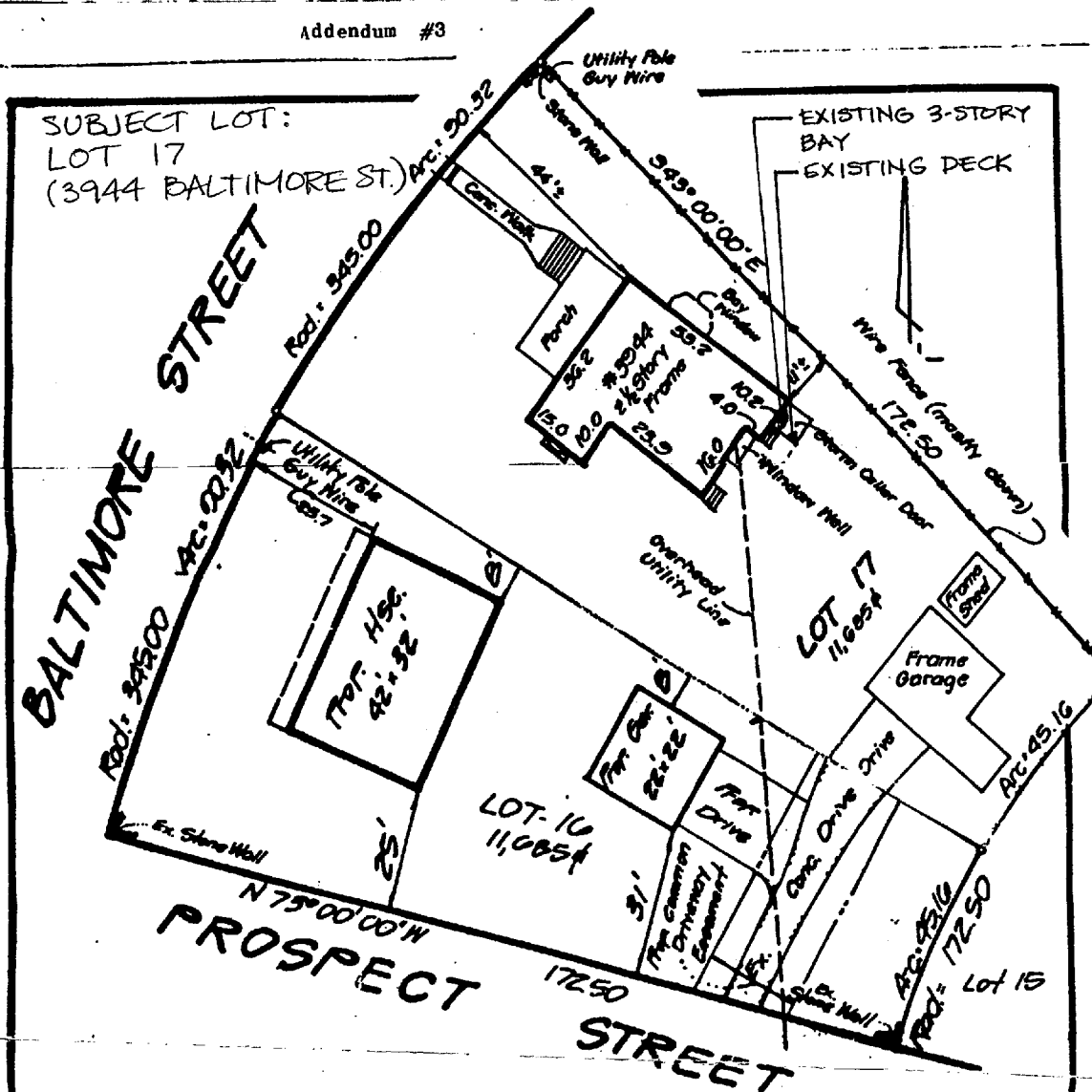
FIXTURE SCHEDULE

- | | | | |
|--|-------------------------------------|--|--------------------------------------|
| | - Surface mounted incandescent. | | - Wall switch with dimmer. |
| | - Exhaust fan - existing to remain. | | - Wall/ceiling fluorescent, 18" T-5. |
| | - Duplex receptacle. | | - Wall switch. |
| | - Ground fault receptacle. | | - Television. |
| | - Ounter height receptacle. | | - Phone. |



Master Bath Renovation

Hash Residence
 3944 Baltimore Street
 Kensington, MD 20895



SUBJECT LOT:
 LOT 17
 (3944 BALTIMORE ST.)

PLAN
 1" = 30'

Zone: R-60
 Setbacks: Front - 25'
 Side - 8 min.
 Total - 25'
 Rear - 20'

5/27/80

Macris, Hendricks and Witmer P.A.
 Engineers • Planners • Surveyors
 Suite 220
 6220 Whittman Road
 Gaithersburg, Maryland
 20879
 (301) 670-0840

SITE PLAN
 LOT-10 BLOCK - 11
KENSINGTON PARK
 F. 5 F. 4
 MONTGOMERY CO. MARYLAND

BK 145

APP Inc
 H

SPILL
 [Signature]