

31/06-06F 3913 Baltimore St  
Kensington Historic District 31/06



File Copy

## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

Date: 5/26/2006

### MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Tania Tully, Senior Planner *TCT*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #418903, fence construction

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the 5/24/2006 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Adam Rice & Kerry

Address: 3913 Baltimore St, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





**RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
 155 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
 240/777-6370**

DPS - #8

**HISTORIC PRESERVATION COMMISSION  
 301/563-3400**

**APPLICATION FOR  
 HISTORIC AREA WORK PERMIT**

4187 (3)

Contact Person: Ann Rine  
 Daytime Phone No.: (240) 470-0045

Tax Account No.: \_\_\_\_\_  
 Name of Property Owner: Ann Rine Daytime Phone No.: (240) 557-0050  
 Address: 3913 Baltimore St. Kensington MD 20895  
Street Number City State Zip Code  
 Contractor: Calico Fence Phone No.: 301 349-4441  
 Contractor Registration No.: 31726  
 Agent for Owner: Calico Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 3913 Street: BALTIMORE ST.  
 Town/City: KENSINGTON Nearest Cross Street: CONNECTICUT AVE.  
 Lot: 10 Block: 10 Subdivision: \_\_\_\_\_  
 Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 2000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC. 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC. 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height 6 feet 6 inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: \_\_\_\_\_ Date: 17 APR 06

Approved:  Signature: Julia O'Malley Date: 5/24/06  
For Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_  
 Application/Permit No.: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance: 1912 DEER  
HOUSE BUILT IN 1928 BETWEEN TWO HISTORICAL HOUSES.  
FENCES EXIST ALONG LEFT AND REAR OF PROPERTY.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:  
FENCE WILL BE CONSTRUCTED ON PROPERTY LINES AND  
WILL BLOCK VIEW AND NOISE OF CONNOR STREET AVE.  
FENCE WILL FACE OUT FOR SECURITY.

**2. SITE PLAN      SEE PLAT**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS      WOODEN FENCE, BOARD + BATTEN, STEPPED TOP**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY      24" MAPLE**

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**LANDTECH ASSOCIATES, II.**

7307 Baltimore Avenue Suite 214  
 College Park, MD 20740  
 Ph: (301) 277-8878 Fax: (301) 277-5846  
 landtechdc@verizon.net

FENCE WILL MATCH  
 STEPPED TOP OF THIS  
 NEIGHBOR'S FENCE



Approximate depiction  
 of fences

LOCATION OF  
 FENCE (75' LONG)

**Lot 6**  
 9523.5 Sq. Ft.  
 (record plot)



Property Line Survey recommended to  
 determine exact configuration of property,  
 exact location of improvements, and extent  
 of encroachments, if any.

Note: This drawing is not to be  
 used for permit applications

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Handwritten signature and date: 5/26/06*

BALTIMORE STREET

Location Drawing of:	LOT: 6	BLOCK: 10
#3913 Baltimore Street	PLAT BK: "B"	PLAT#: 4
<b>Kensington Park</b> Montgomery Co., MD	DATE: 8-31-05	SCALE: 1"=30'
	CASE NUMBER: 05-101160-ML	
	FILE NUMBER: LT-2052456	

NOTES:

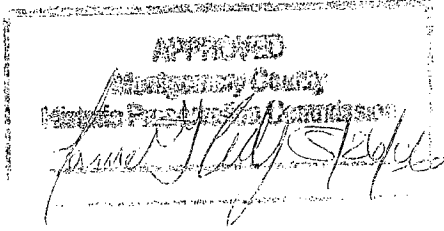
1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

NO TITLE REPORT  
 FURNISHED

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

*Handwritten signature: Graden A. Rogers*  
 GRADEN A. ROGERS - Prop. L.S. LIC. NO. 119

# ELEVATION OF FENCE



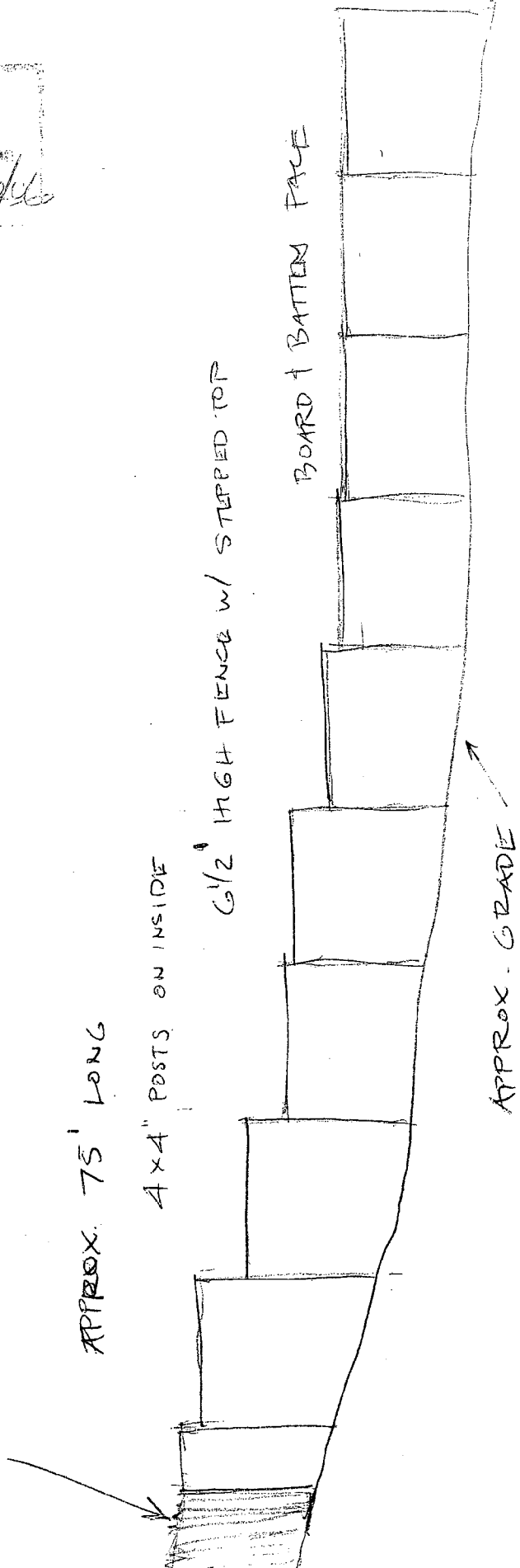
NEIGHBOR'S STOCKADE FENCE

APPROX. 75' LONG

4x4" POSTS ON INSIDE

6 1/2' HIGH FENCE W/ STEPPED TOP

BOARD + BATTERY FACE



APPROX. GRADE

SCALE: 1/8" = 1'-0"

LOOKING WEST

**EXPEDITED**  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	3913 Baltimore Street, Kensington	<b>Meeting Date:</b>	05/24/2006
<b>Resource:</b>	Non-Contributing Resource Kensington Historic District	<b>Report Date:</b>	05/17/2006
<b>Applicant:</b>	Adam and Kerry Rice	<b>Public Notice:</b>	05/10/2006
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	31/06-06F	<b>Staff:</b>	Tania G. Tully

**PROPOSAL:** Rear fence construction

**RECOMMENDATION:** Approval ✓

*On Consent Calendar*  
*① Jef*  
*② Caroline > unanimous*

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource within the **Kensington Historic District**  
**STYLE:** Neo-Victorian  
**DATE:** 1988

**PROPOSAL:**

Construct a 75' long, 6.5' high wood board & batten wood privacy fence running along the east property line.  
See Circle 10 for photo of existing fence to be matched.

**STAFF RECOMMENDATION:**

- Approval
- Approval with conditions

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the

purposes of this chapter; or

- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



## Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacement has not changed, that is, all replacement of exterior features with exactly matching materials may be done without a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The expedited Staff Report format may be used on the following type of cases:
  1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
  2. Modifications to a property, which do not significantly alter its visual character. These include, but are not limited to:
    - A. Repair or replacement of masonry foundations with new materials that match the original closely.
    - B. Installation of vents, venting pipes, and exterior grills.
    - C. New installation of gutters.
  3. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and where necessary, replaced in kind.
  4. Removal of accessory buildings that are not original to the site or otherwise historically significant.
  5. Replacement of missing architectural details, providing that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
  6. Signs that are in conformance with all other County sign regulations.
  7. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-Contributing.
  8. Replacement of roofs on non-contributing or out-of-period buildings, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings.
  9. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
  10. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
  11. Construction or replacement of walkways, parking areas, patios, driveways, or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
  12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
  13. Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.
  14. Landscaping, or the removal or modification of existing planting, that is compatible with the visual character of the historic site or district.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
355 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

7

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

418903

Contact Person: ADAM RICE  
Daytime Phone No.: (240) 472-0685

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: ADAM & KERRY RICE Daytime Phone No.: (202) 633-2256  
Address: 3913 BALTIMORE ST. KENSINGTON, MD 20895  
Street Number City Street Zip Code  
Contractor: CALCO FENCE Phone No.: (301) 349-4441  
Contractor Registration No.: 31726  
Agent for Owner: CRAIG Daytime Phone No.: \_\_\_\_\_

### LOCATION OF BUILDING/PREMISE

House Number: 3913 Street: BALTIMORE ST.  
Town/City: KENSINGTON Nearest Cross Street: CONNECTICUT AVE.  
Lot: 6 Block: 10 Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 2000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 6 inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized representative

17 APR 06  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance: OLDER HOUSE BUILT IN 1988 BETWEEN TWO HISTORICAL HOUSES. FENCES EXIST ALONG LEFT AND REAR OF PROPERTY.
- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district: FENCE WILL BE CONSTRUCTED ON PROPERTY LINES AND WILL BLOCK VIEW AND NOISE OF CONNECTICUT AVE. FENCE WILL FACE OUT FOR SECURITY.

**2. SITE PLAN**

SEE PLAT

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

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WOODEN FENCE, BOARD + BATTEN, STEPPED TOP

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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24" MAPLE

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

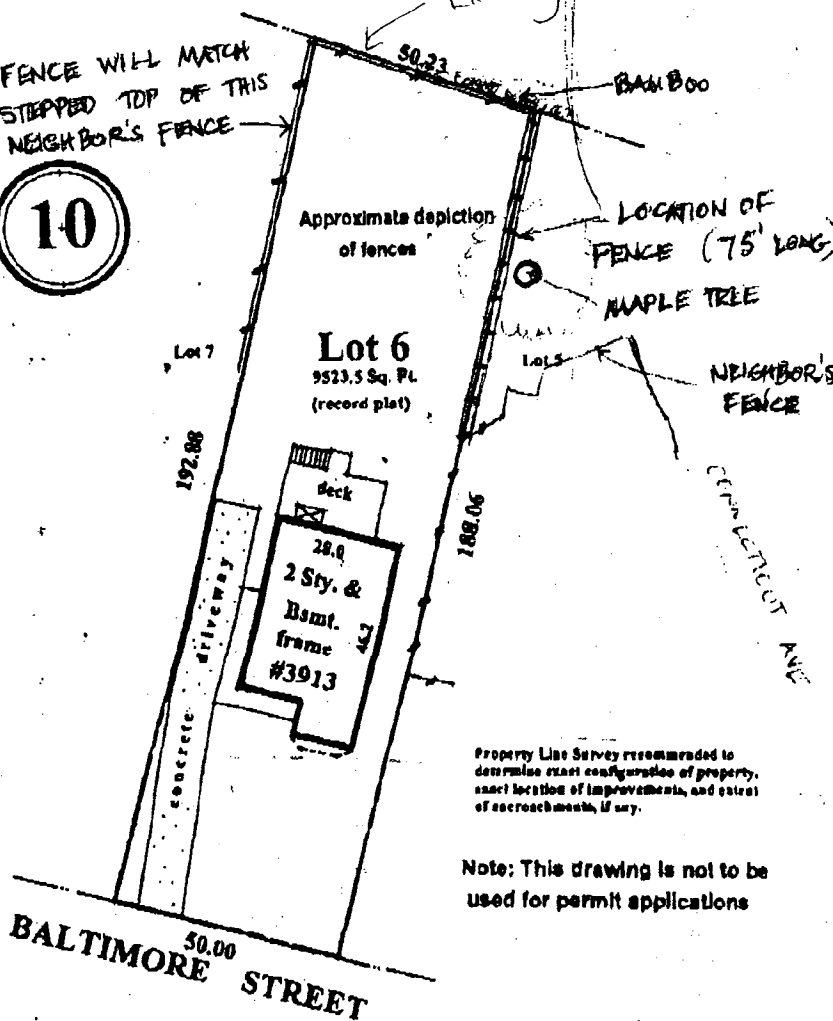
5

**LANDTECH ASSOCIATES, II.,**

7307 Baltimore Avenue Suite 214  
 College Park, MD 20740  
 Ph: (301)277-8878 Fax: (301)277-5866  
 landtechdc@verizon.net

FENCE WILL MATCH  
 STEPPED TOP OF THIS  
 NEIGHBOR'S FENCE

10



Property Line Survey recommended to determine exact configuration of property, exact location of improvements, and extent of encroachments, if any.

Note: This drawing is not to be used for permit applications

Location Drawing of:	LOT: 6	BLOCK: 10
#3913 Baltimore Street	PLAT BK: "B"	PLAT#: 4
<b>Kensington Park</b> Montgomery Co., MD	DATE: 8-31-05	SCALE: 1"=30'
	CASE NUMBER: 05-101160-ML	
	FILE NUMBER: LT-2052456	

**NOTES:**

1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.



NO TITLE REPORT  
 FURNISHED

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

*Graden A. Rogers*  
 GRADEN A. ROGERS -- Prop. L.S. LIC. NO. 119

6

# ELEVATION OF FENCE

NEIGHBOR'S STOCKADE FENCE

APPROX. 75' LONG

4x4 POSTS ON INSIDE

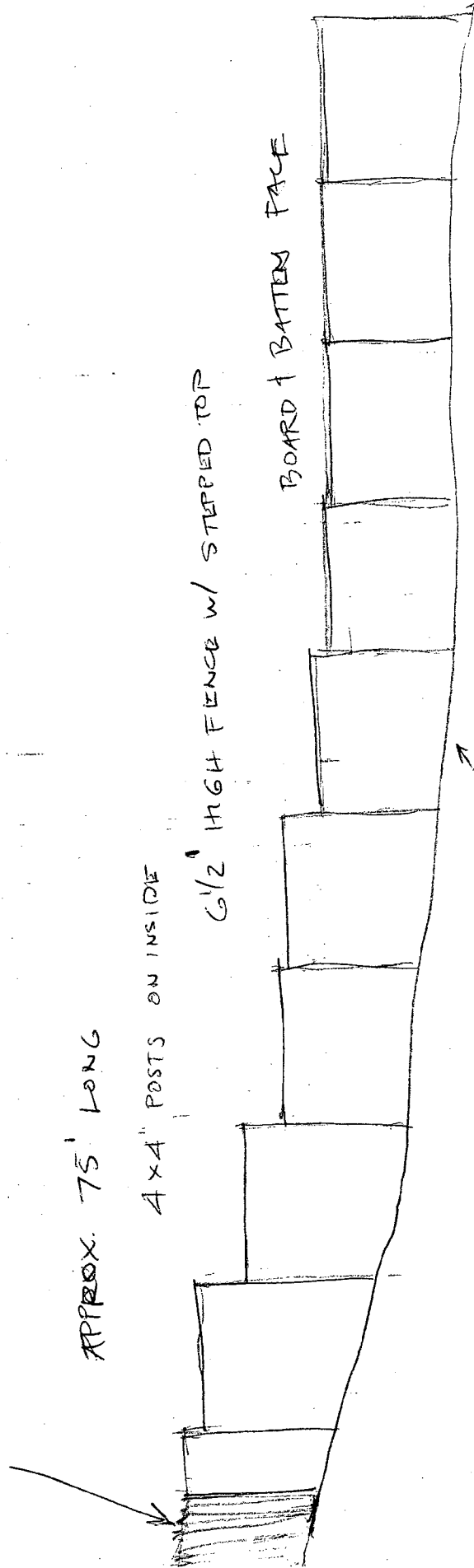
6 1/2' HIGH FENCE W/ STEPPED TOP

BOARD + BATTERY FACE

APPROX. GRADE

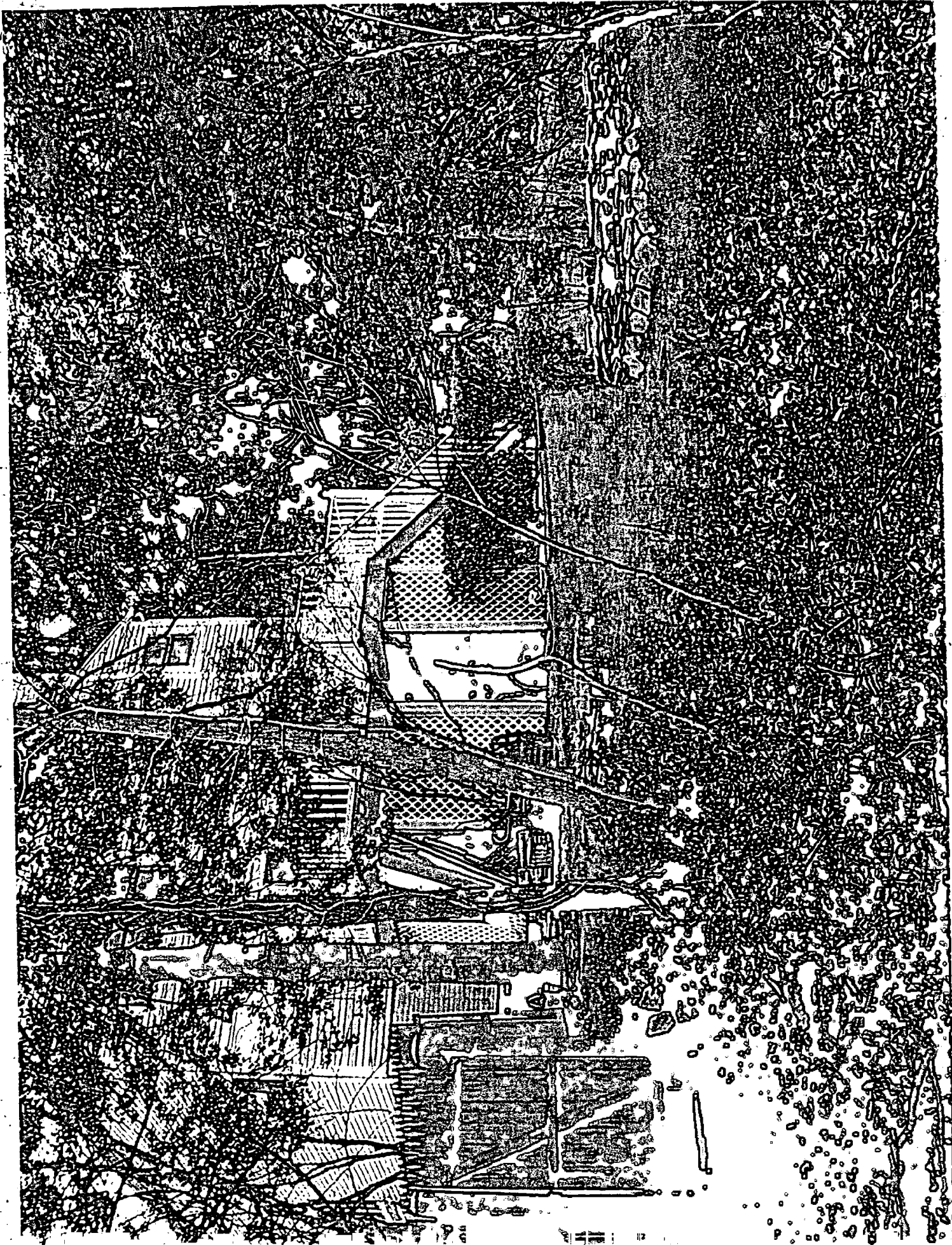
SCALE: 1/8" = 1'-0"

LOOKING WEST





VIEW FROM STREET OF 3913 BALTIMORE ST. FENCE WILL BE ON RIGHT SIDE OF PROPERTY

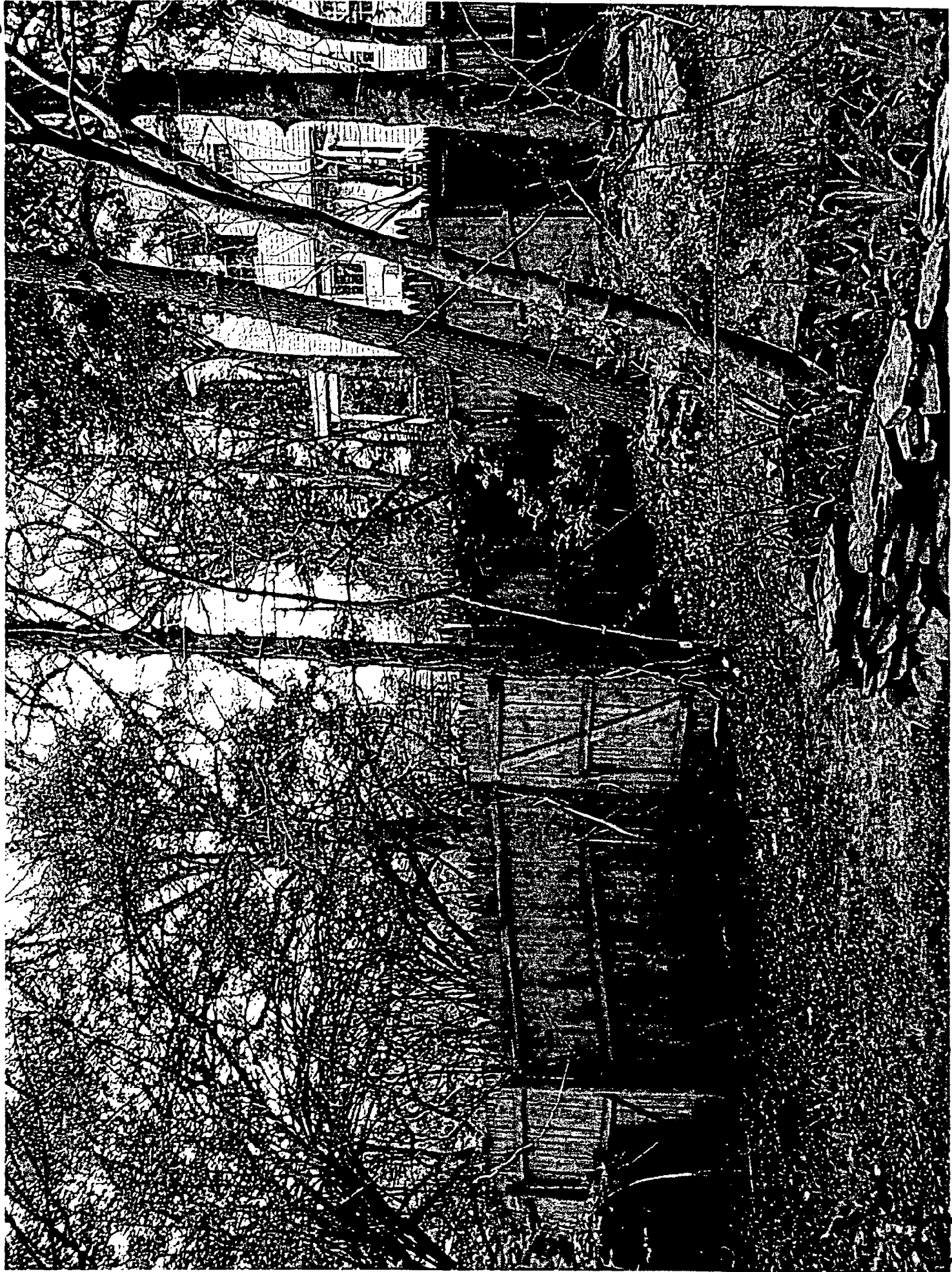


PHOTOGRAPH OF THE PROPERTY SHOWING PART OF THE HOUSE.



at... unimpaired readability. Fence will match the one beyond.





VIEW OF NEIGHBORS FENCE



WORTHLEAST CORNER, OF PROPERTY, SOME BAMBOO WILDS, NEAR TO BIR, CUT BACK.

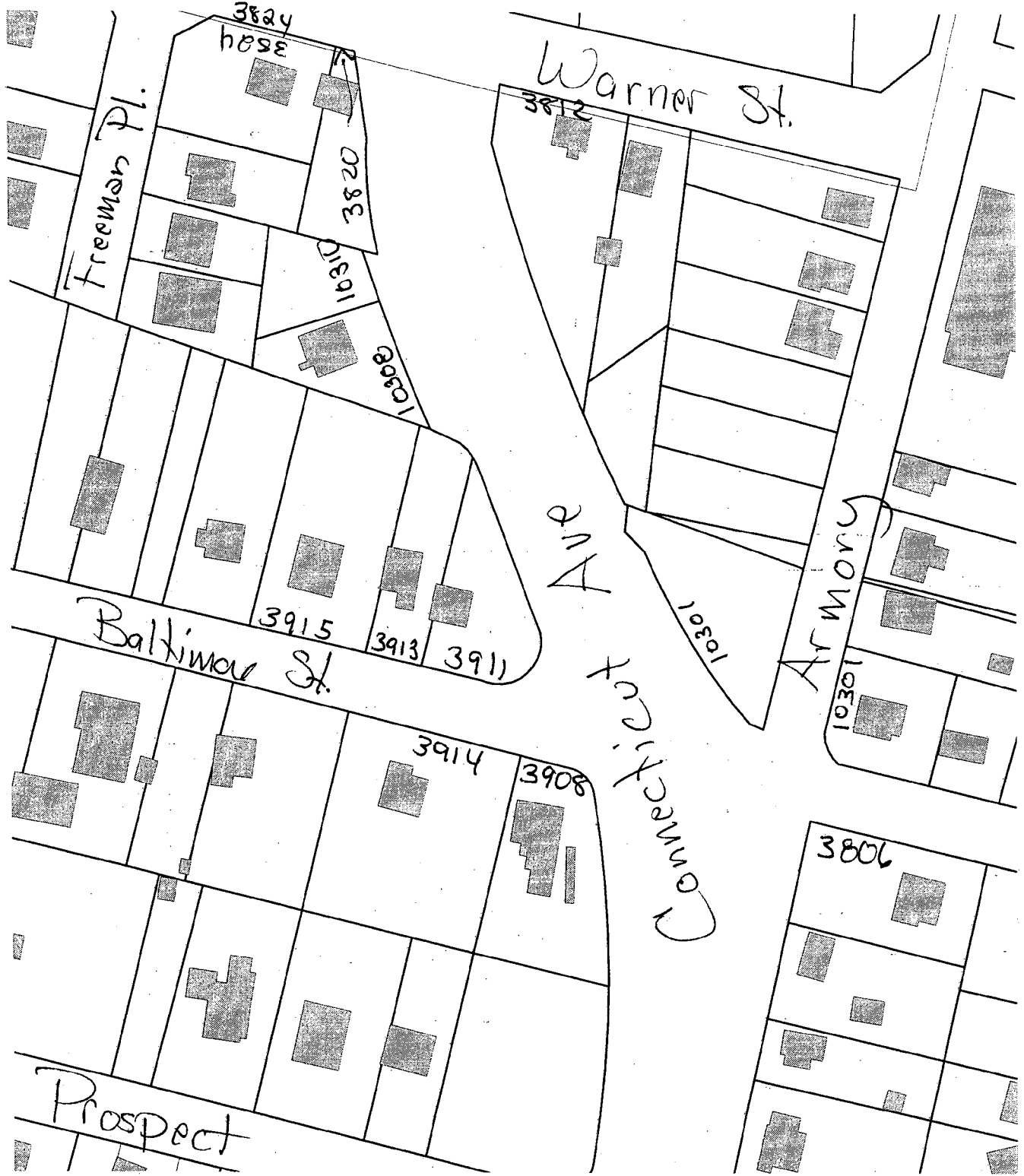


THICK WALLS. RE IN FRONT OF THIS MAPLE. IT WILL BLOCK VIEW AND NOISE FROM CONNIBET AVENUE.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
ADAM AND KERRY RICE 3913 BALTIMORE ST. KENSINGTON, MD 20895	
Adjacent and confronting Property Owners mailing addresses	
DAN + TAMMY MURPHY 3911 BALTIMORE ST. KENSINGTON, MD 20895	
NICHOLAS + TONI DEODES 3915 BALTIMORE ST. KENSINGTON, MD 20895	
CRAG REYNOLDS 3914 BALTIMORE ST. KENSINGTON, MD 20895	

# 3913 BALTIMORE STREET, KENSINGTON



Casual User Application

Notice:  
 The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without permission from M-NCPPC. Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods. This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended.  
 Copyright ©1998



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
 8787 Georgia Avenue - Silver Spring, Maryland 20910-3760

***EXPEDITED***  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	3913 Baltimore Street, Kensington	<b>Meeting Date:</b>	05/24/2006
<b>Resource:</b>	Non-Contributing Resource <b>Kensington Historic District</b>	<b>Report Date:</b>	05/17/2006
<b>Applicant:</b>	Adam and Kerry Rice	<b>Public Notice:</b>	05/10/2006
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	31/06-06F	<b>Staff:</b>	Tania G. Tully
<b>PROPOSAL:</b>	Rear fence construction		
<b>RECOMMENDATION:</b>	Approval		

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource within the **Kensington Historic District**  
**STYLE:** Neo-Victorian  
**DATE:** 1988

**PROPOSAL:**

Construct a 75' long, 6.5' high wood board & batten wood privacy fence running along the east property line.

See Circle 10 for photo of existing fence to be matched.

**STAFF RECOMMENDATION:**

- Approval**  
 Approval with conditions

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the

purposes of this chapter; or

- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.

## Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacement has not changed, that is, all replacement of exterior features with exactly matching materials may be done with out a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The expedited Staff Report format may be used on the following type of cases:
  1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
  2. Modifications to a property, which do not significantly alter its visual character. These include, but are not limited to:
    - A. Repair or replacement of masonry foundations with new materials that match the original closely.
    - B. Installation of vents, venting pipes, and exterior grills.
    - C. New installation of gutters.
  3. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and where necessary, replaced in kind.
  4. Removal of accessory buildings that are not original to the site or otherwise historically significant.
  5. Replacement of missing architectural details, providing that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
  6. Signs that are in conformance with all other County sign regulations.
  7. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-Contributing.
  8. Replacement of roofs on non-contributing or out-of-period buildings, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings.
  9. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
  10. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
  11. Construction or replacement of walkways, parking areas, patios, driveways, or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
  12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
  13. Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.
  14. Landscaping, or the removal or modification of existing planting, that is compatible with the visual character of the historic site or district.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

RECEIVED  
DPS - #8

T

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APR 19 2006

DIV. OF CASE WORK MGT

# APPLICATION FOR HISTORIC AREA WORK PERMIT

418903

Contact Person: ADAM RICE  
Daytime Phone No.: (240) 472-0685

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: ADAM & KERRY RICE Daytime Phone No.: (202) 633-2256  
Address: 3913 BALTIMORE ST. KENSINGTON, MD 20895  
Street Number City State Zip Code  
Contractor: CALCO FENCE Phone No.: (301) 349-4441  
Contractor Registration No.: 31726  
Agent for Owner: CRAIG Daytime Phone No.: \_\_\_\_\_

### LOCATION OF BUILDING/PREMISE

House Number: 3913 Street: BALTIMORE ST.  
Town/City: KENSINGTON Nearest Cross Street: CONNECTICUT AVE.  
Lot: 6 Block: 10 Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 2000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: 6 feet 6 inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 17 APR 06  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edit 6/21/99 **SEE REVERSE SIDE FOR INSTRUCTIONS**

4

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance: OLDER HOUSE BUILT IN 1988 BETWEEN TWO HISTORICAL HOUSES. FENCES EXIST ALONG LEFT AND REAR OF PROPERTY.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district: FENCE WILL BE CONSTRUCTED ON PROPERTY LINES AND WILL BLOCK VIEW AND NOISE OF CONNOR STREET AVE. FENCE WILL FACE OUT FOR SECURITY.

**2. SITE PLAN      SKE PLAT**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS      WOODEN FENCE, BOARD + BATTEN, STEPPED TOP**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY      24" MAPLE**

If you are proposing construction adjacent to or within the sphere of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

# ELEVATION OF FENCE

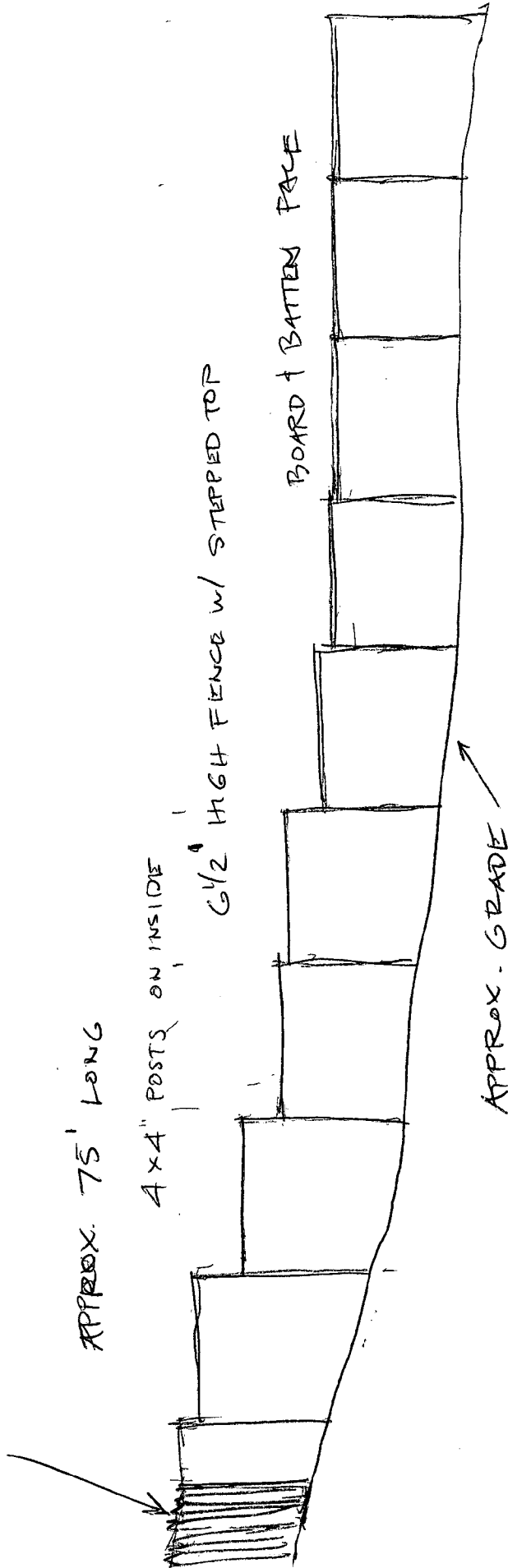
NEIGHBOR'S STOCKADE FENCE

APPROX. 75' LONG

4x4" POSTS ON INSIDE

6 1/2' HIGH FENCE w/ STEPPED TOP

BOARD + BATTEN FACE



APPROX. GRADE

SCALE: 1/8" = 1'-0"

LOOKING WEST

application de novo (that is, starting fresh with a new hearing) and render its own decision.

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*		*
Demolition	*	*			*		*
Deck/Porch	*	*	*	*	*		*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Major Landscaping/Grading	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

PLEASE SEE INSTRUCTIONS ON DPS' HAWP APPLICATION FOR FURTHER DETAILS REGARDING APPLICATION REQUIREMENTS.

NOTE: Historic Area Work Permits are not required for ordinary maintenance projects, such as painting, gutter repair, roof repair with duplicate materials, and window repairs. All replacement materials must match the original exactly and be of the same dimensions.

**ALL HAWPS MUST BE FILED AT DPS:  
255 ROCKVILLE PIKE,  
ROCKVILLE, MARYLAND, 20850.**



VIEW FROM STREET OF 3913 BALTIMORE ST. FENCE WILL BE ON RIGHT SIDE OF PROPERTY.



VIEW FROM NEIGHBORS PROPERTY; SHOWS BACK OF OUR HOUSE.

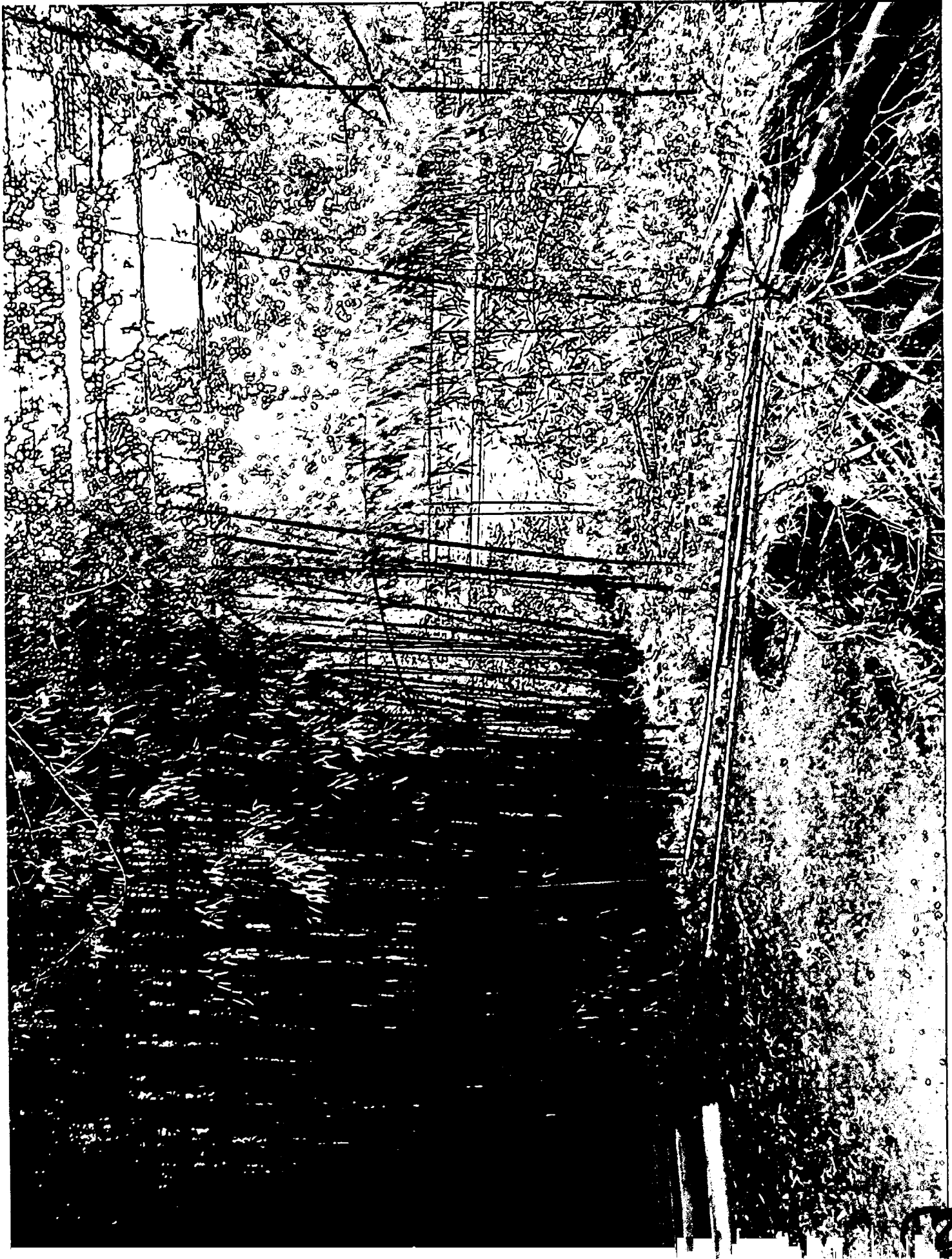


FROM NEIGHBORS PROPERTY, FENCE WILL MATCH THE ONE BEYOND.



VIEW OF NEIGHBOR'S FENCE





NORTHEAST CORNER OF PROPERTY - SOME BAMBOO WOULD NEED TO BE CUT BACK.

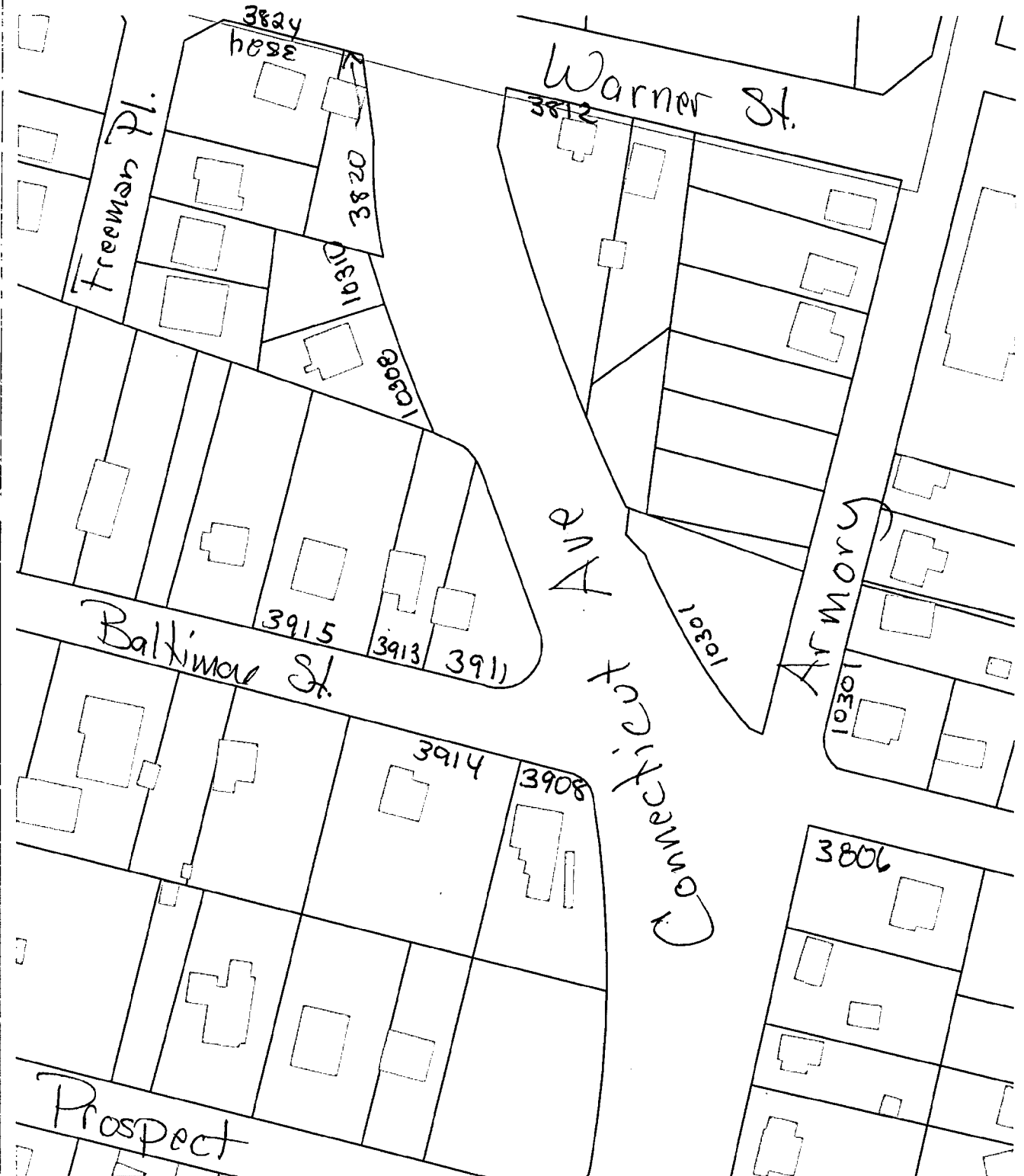


FENCE WILL BE IN FRONT OF THIS MAPLE. IT WILL BLOCK VIEW AND NOISE FROM CONNERTCOT AVE.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

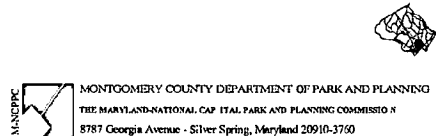
Owner's mailing address	Owner's Agent's mailing address
ADAM AND KERRY RICE 3913 BALTIMORE ST. KENSINGTON, MD 20895	
Adjacent and confronting Property Owners mailing addresses	
DAN + TAMMY MURPHY 3911 BALTIMORE ST. KENSINGTON, MD 20895	
NICHOLAS + TONI DEODES 3915 BALTIMORE ST. KENSINGTON, MD 20895	
CRAIG REYNOLDS 3914 BALTIMORE ST. KENSINGTON, MD 20895	

# 3913 BALTIMORE STREET, KENSINGTON



Notice:  
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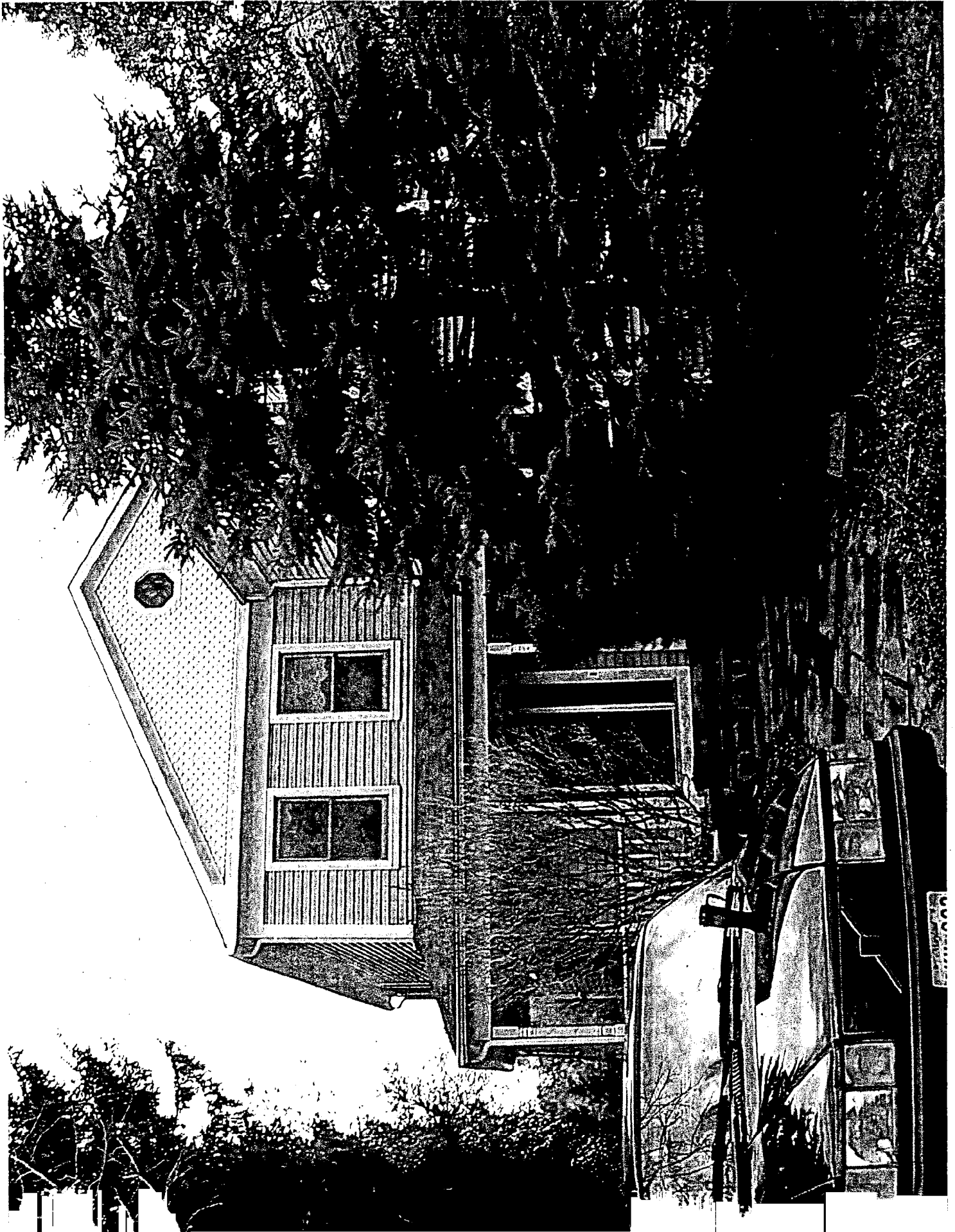
Casual User Application



(15)

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
ADAM AND KERRY RICE 3913 BALTIMORE ST. KENSINGTON, MD 20895	
Adjacent and confronting Property Owners mailing addresses	
DAN + TAMMY MURPHY 3911 BALTIMORE ST. KENSINGTON, MD 20895	
NICHOLAS + TONI DEODES 3915 BALTIMORE ST. KENSINGTON, MD 20895	
CRAIG REYNOLDS 3914 BALTIMORE ST. KENSINGTON, MD 20895	



VIEW FROM STREET OF 3913 BALTIMORE ST. FENCE WILL BE ON RIGHT SIDE OF PROPERTY



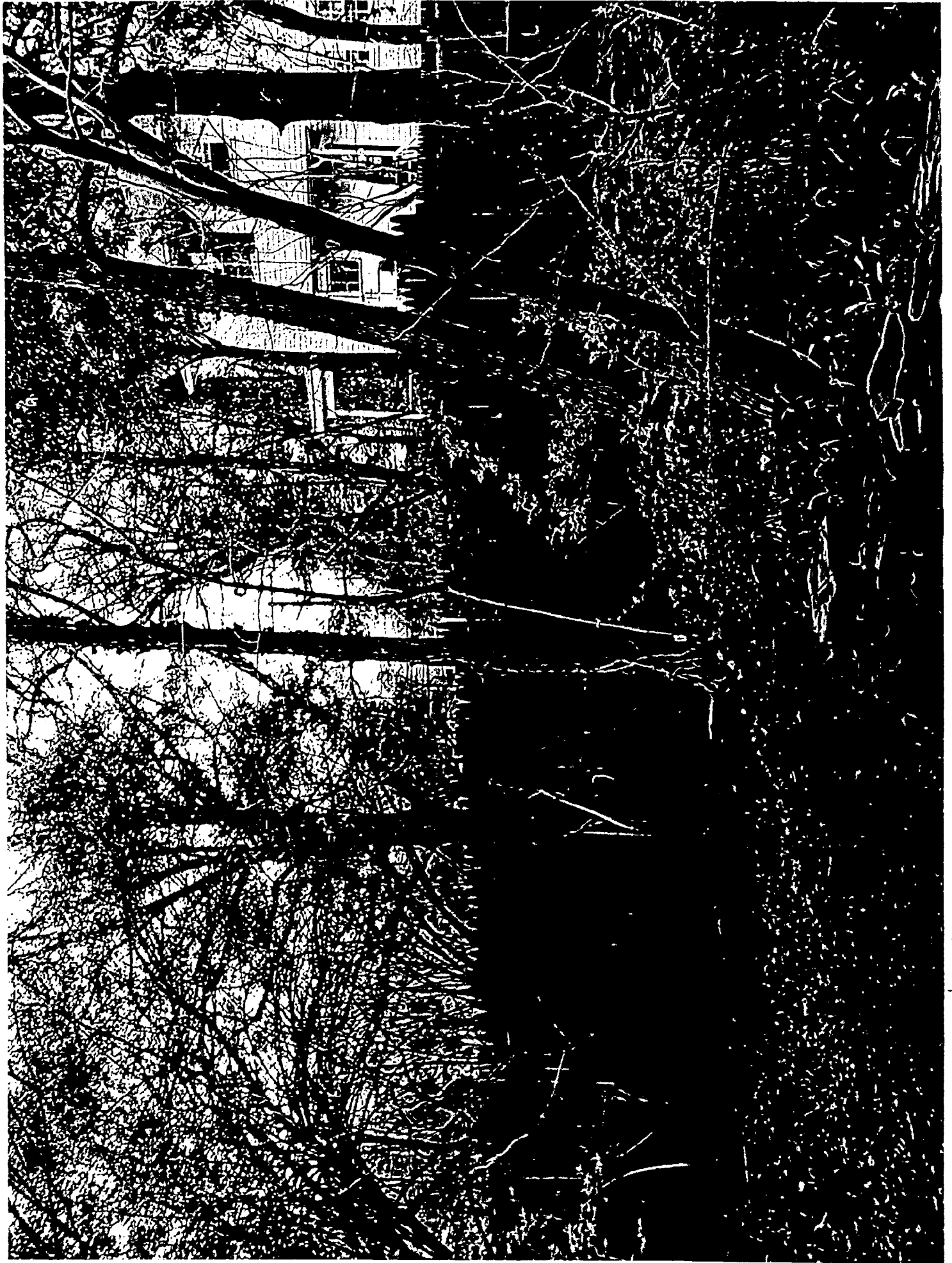


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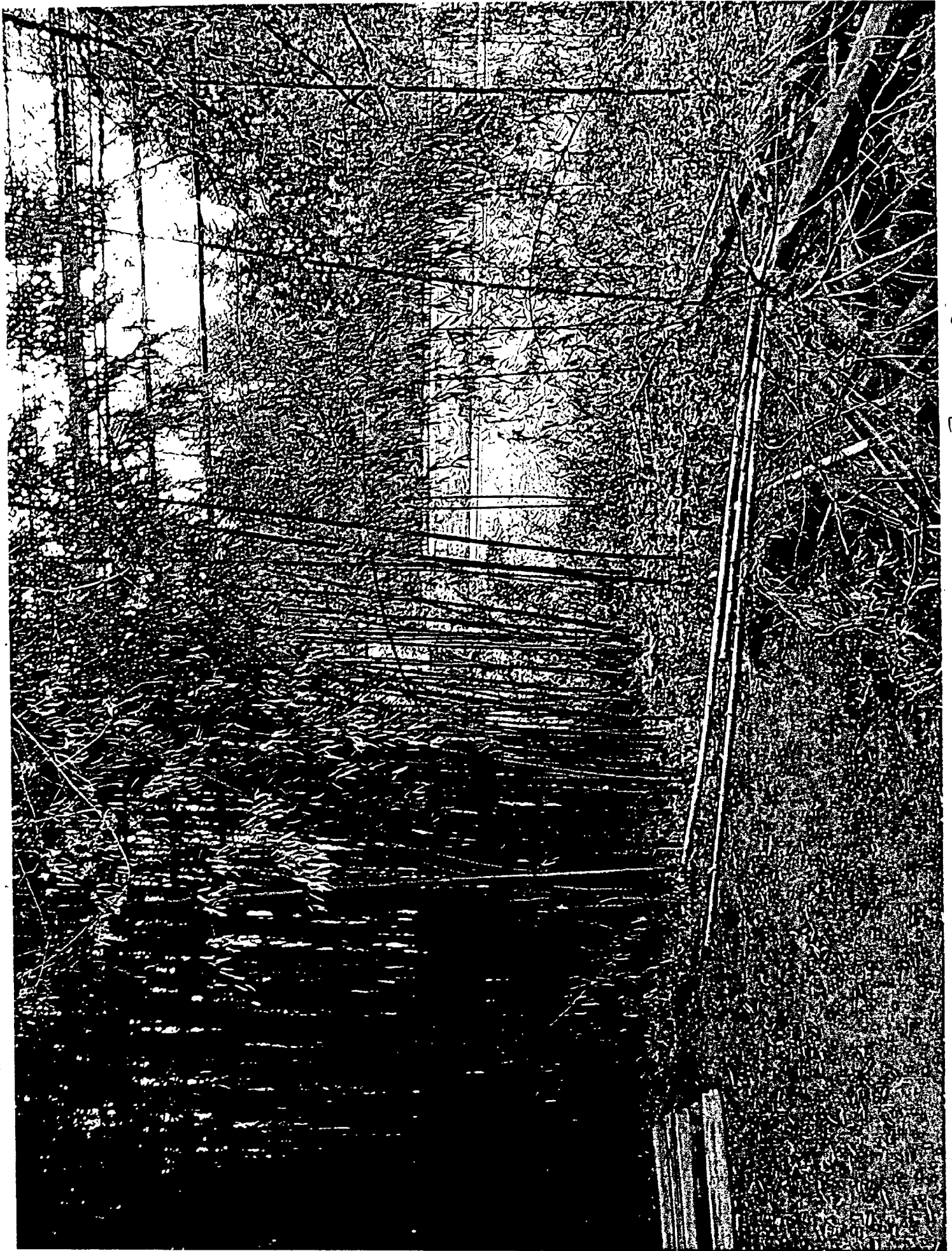


... THE ONE BEYOND.





VIEW OF NEIGHBORS FENCE



1. NORTH EAST CORNER, NE PROPERTY. SOME BLENDED WITH AREA TO BE CONT. B.M.



THICK WITH BUSHES AND THIS MAPLE IT WILL BECOME WITH A C. NORTON FROM C. UNIVERSITY OF ARIZ.