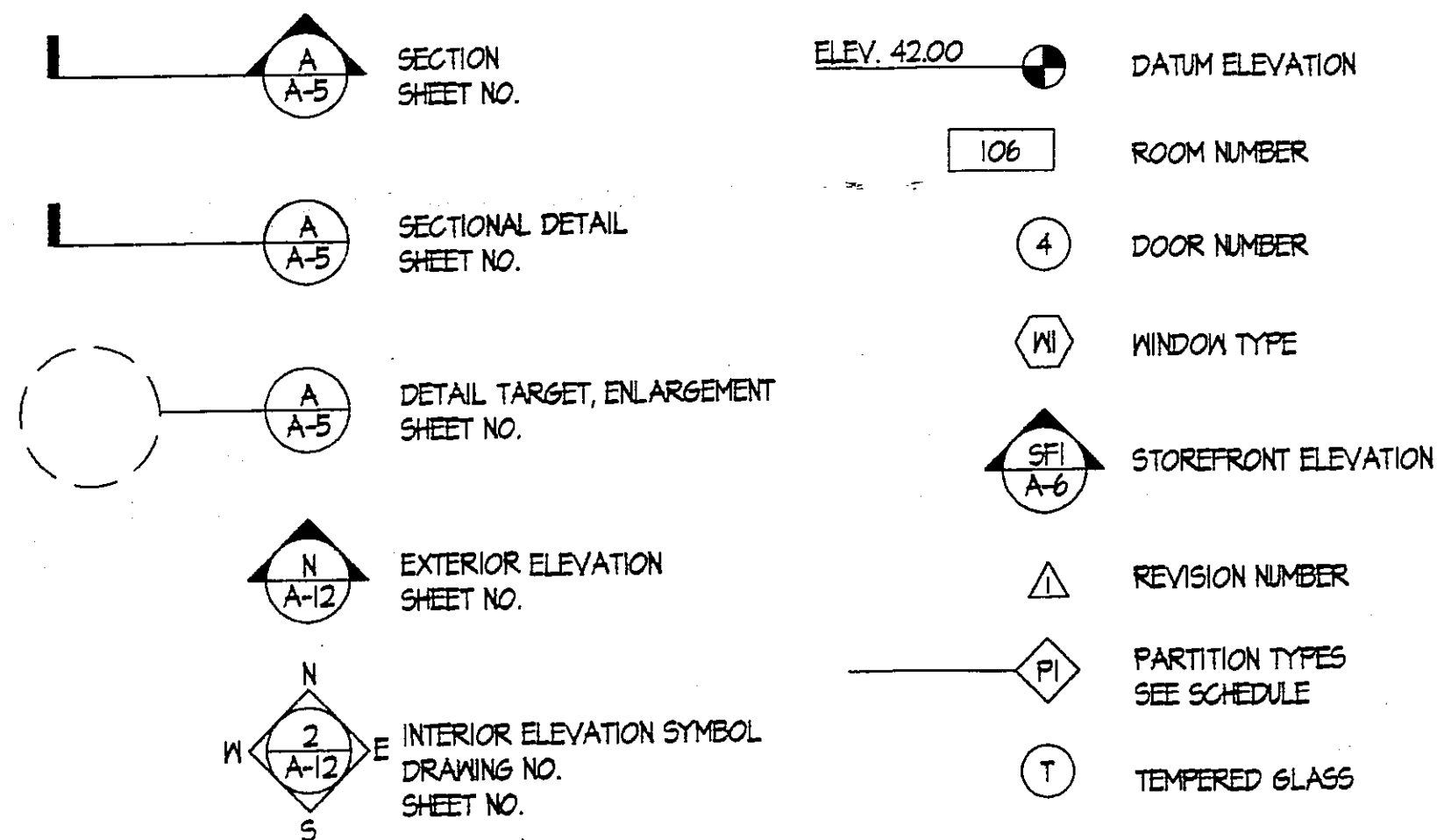


31/6-01C 10312 Armory Avenue
(Kensington Historic District)

OPPENHEIM RESIDENCE

10312 ARMORY AVE. KENSINGTON, MD 20895

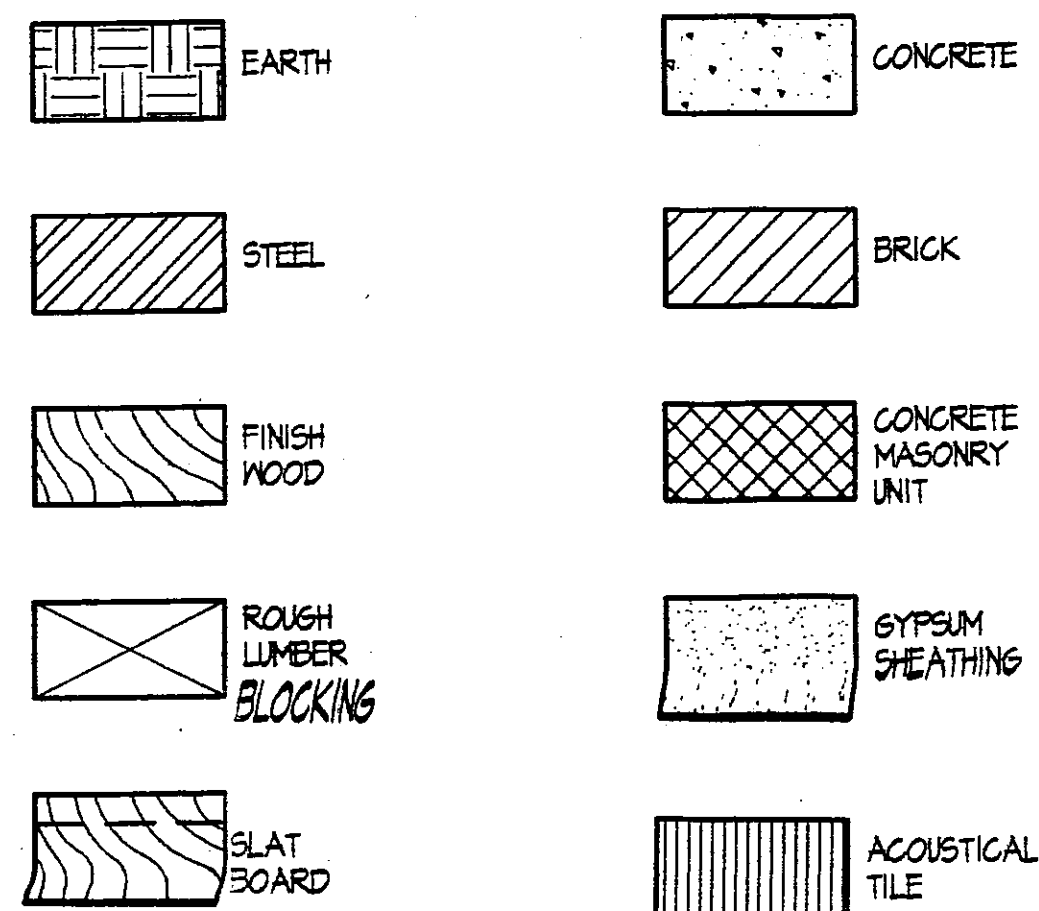
GRAPHIC SYMBOLS



LIST OF DRAWINGS

- CS COVER SHEET
- SP SPECIFICATIONS
- A1.0 BASEMENT/FIRST FLOOR PLAN/ FRAMING PLAN/ ROOF FRAMING PLAN
- A2.0 ELEVATIONS
- A3.0 BUILDING SECTION/DETAILS

MATERIAL SYMBOLS



ABBREVIATIONS

ABOVE FINISH FLOOR	AC51	EAST	EA	INTERIOR	INT	PLATE	PL	VEE' BLE	VEE'
ACoustic	ADJ	ELECTRIC, ELECTRICAL	ELEC	JANTORS CLOSET	JC	PLYWOOD	PLY	VTC COMPOSITE TILE	VCT
ADJUSTABLE	AH	ELEVATION	ELEV	JOIST	JO	POLYVINYL CHLORIDE	PVC	VCT	V
AIR CONDITIONING	AH	ELEVATOR	ELV	JUNCTION BOX	JB	POUND	POUN	WALL BOARD	WB
AIR HANDLING UNIT	ALT	EMERGENCY POWER	EM	LAMINATED	LAM	POUNDS PER SQUARE INCH	PSI	WALLED WIRE FABRIC	WWF
ALTERNATE CURRENT	AL	EMPTY CONDUIT	EC	LAVATORY	LAV	PREPARED	PREP	WATER	W
ALUMINUM	AL	ENGINEER	ENR	LEFT HAND	LH	PREPARED	PREP	WATER	W
AMPERE	AMP	ELECTRIC WATER COO. ES	EW	LENGTH	LEN	PRELIMINARY	PRELIM	WATER	W
ANCHOR BOLT	AB	DIAUGST	DA	LIBRARY	LIB	QUARRY TILE	QT	WATER	W
ARCHITECT	ARCH	EXPANSION	EXP	LINEAR FEET	LF	RADIUS	RAD	WATER	W
AV	AVG	EXPANSION JOINT	EJ	LONG LESS HORIZONTAL	LH	REFRIGERATOR	REF	WATER	W
AVERAGE	AVG	EXTERIOR	EXT	LONG LESS VERTICAL	LV	REINFORCING	REIN	WATER	W
BEAM	BM	FAHRENHEIT	F	MANITANCE	MAINT	REQUIRE	REQ	WATER	W
BOARD	BO	FEET PER MINUTE	FPM	MANUFACTURER	MFR	REVISION	REV	WATER	W
CABINET	CAB	FEET FOOT	FT	MASONRY	MAS	RIGHT HAND	RH	WATER	W
CATALOG	CAT	FIRE EXTINGUISHER CAB	FE	MASONRY OPENING	MO	ROUGH OPENING	RO	WATER	W
CEILING	CLB	FLOOR	FL	MEDIA	ME	SCHEDULE	SCHD	WATER	W
CENTRALINE	CL	FLOURESCENT	FLOR	MEDIA	ME	SECTION	SECT	WATER	W
CERAMIC TILE	CLD	FIRE RATED	FR	MEDIA	ME	SERVICE SINK	SS	WATER	W
CLOSET	COL	GAUGE	GA	MEDIA	ME	SIMILAR	SM	WATER	W
COLUMN	CO	GALLONS PER MINUTE	GPM	MEDIA	ME	SOUND TRANSMISSION	ST	WATER	W
COMPANY	CO	GALLON	GA	MEDIA	ME	SPECIFICATION	SP	WATER	W
CONCRETE	CONC	GALLONS PER MINUTE	GPM	MEDIA	ME	SQUARE	SQ	WATER	W
CONCRETE MASONRY UNITS	CMU	GALVANIZED	GV	MEDIA	ME	STANDARD	STD	WATER	W
CONFERENCE	CONF	GENERAL CONTRACTOR	GC	MEDIA	ME	STAND PIPE	STP	WATER	W
CONTINGENT	CONT	GENERAL CONTRACTOR	GC	MEDIA	ME	STAINLESS STEEL	SS	WATER	W
CONTROL JOINT	CJ	GYPSUM	GY	MEDIA	ME	STATION	STA	WATER	W
COORDINATE	COORD	GYPSUM WALLBOARD	GW	MEDIA	ME	STEEL	STL	WATER	W
CORRIDOR	CO	HANDICAPPED	HCP	MEDIA	ME	STORAGE	STOR	WATER	W
CUBIC FEET	CF	HARDWARE	HW	MEDIA	ME	STRUCT	STR	WATER	W
CUBIC FEET PER MINUTE	CFM	HARDWOOD	HW	MEDIA	ME	STRUCT	STR	WATER	W
DEDICATED	DED	HERTZ	HERTZ	MEDIA	ME	STRUCT	STR	WATER	W
DEPARTMENT	DEPT	HOLLOW METAL	HMT	MEDIA	ME	STRUCT	STR	WATER	W
DEPTH	DEPT	HORIZONTAL	HOR	MEDIA	ME	STRUCT	STR	WATER	W
DETAIL	DET	HORIZONTAL	HOR	MEDIA	ME	STRUCT	STR	WATER	W
DIAGONAL	DIAS	HORSE POWER	HP	MEDIA	ME	STRUCT	STR	WATER	W
DIAMETER	DIAM	HOT WATER HEATER	HWH	MEDIA	ME	STRUCT	STR	WATER	W
DIMENSION	DM	HOUR	HR	MEDIA	ME	STRUCT	STR	WATER	W
DISHWASHER	DR	INCH	IN	MEDIA	ME	STRUCT	STR	WATER	W
DOOR	DR	INFORMATION	IN	MEDIA	ME	STRUCT	STR	WATER	W
DOWN	DN	INSIDE DIAMETER	ID	MEDIA	ME	STRUCT	STR	WATER	W
DRAWING	DWG	INSULATED INSULATION	INSUL	MEDIA	ME	STRUCT	STR	WATER	W
DRINKING FOUNTAIN	DF			MEDIA	ME	STRUCT	STR	WATER	W

OPPENHEIM
RESIDENCE

REVISIONS:

SEAL:



DRAWN BY:

DER

CHECKED BY:

GTM

SCALE:

AS NOTED

DATE:

PROJECT NO.

01031

DRAWING NO.

CS

SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION

The purpose of the following specifications is to establish the level of quality required for both materials and workmanship. These notes are intended as a general outline, specific and additional requirements are indicated on the drawings. The contractor should also note that not all of the items mentioned below may apply to this project.

GENERAL REQUIREMENTS

- 1. All work shall conform to the applicable sections of the Montgomery County code for single family construction and all applicable building codes.
2. The General Contractor shall stake off area of new construction and designate trees and shrubs for removal as required.
3. Electrical contractor shall review the drawings and propose service required.
4. Mechanical contractor shall design and install a new system. Unit locations and ductwork to be approved by Owner and Architect prior to installation.
5. The General Contractor shall coordinate phasing and time limits for new construction with the owner so as to establish an acceptable payment schedule related to the status of the project.
6. Any permits required for the project shall be obtained by the General Contractor, unless informed otherwise by the Architect that the permit has been obtained.
7. The General Contractor shall store materials and equipment in a safe and suitable place during the construction process. The Owner is not responsible for any losses of material.
8. All debris shall be periodically removed from the site so as not to create a physical or visual hazard to the Owner.
9. The General Contractor shall be licensed in Montgomery County, Maryland, and shall guarantee the project, labor, and materials for a period of one year after the punch list is completed by the Architect and/or Owner, as per county laws.
10. The General Contractor shall provide competent daily supervision of the project.
11. The General Contractor shall notify the related authorities for inspection of the work as related to the specific areas required by the county.
12. The General Contractor shall carry Workmen's Compensation insurance for every person employed by him on the premises and shall maintain such insurance in full force during the entire time of the contract. The General Contractor shall carry Comprehensive General and Automobile Liability insurance of \$25,000 to \$50,000 minimum. These requirements can be amended by the Owner if specified on the contract.
13. All drawings, specifications, and copies furnished by the Architect are the documents for the construction of this project only and shall not be used in any other circumstance.
14. The General Contractor shall carefully study the contract documents and report to the architect any error, omission or inconsistency he may discover.
15. The General Contractor shall provide and pay for all labor, materials, equipment, tools, machinery and other facilities and services necessary for the proper execution and completion of the work, and shall guarantee no mechanic liens against the project at completion.
16. The Contract Sum is stated in the agreement and is the total amount payable by the Owner to the General Contractor for the performance of the work under the contract documents. A Change Order is a written order by the General Contractor, signed by the Owner, which designates the addition, deletion, or revision to the contract. The Change Order must also designate the change in the original contract sum.
17. At least seven days before the date of each progress payment established by the agreement, the General Contractor shall submit to the Architect and Owner an itemized application designating which portion of the work has been completed.

GENERAL STRUCTURAL NOTES

- 1. Work shall be done in accordance with the CABO one and two family dwelling code, 1995 Edition.
2. The design gravity live loads are as follows:
Roof Load (snow) 30 LL + 15 DL = 45 PSF
Living Spaces (1st Floor) 40 LL + 15 DL = 55 PSF
Sleeping Spaces (2nd Floor) 30 LL + 15 DL = 45 PSF
Exterior Decks 60 LL + 15 DL = 75 PSF
Live Load Deflection Limitation for floors shall be L/360
Live Load Deflection Limitation for roofs shall be L/240

FOUNDATIONS

- 1. The foundation for the structure has been designed for the assumed bearing pressure of 2000 PSF. This is to be verified by the contractor prior to footings being poured. It is also assumed that there is no water condition present.
2. Basement walls have been designed for an assumed equivalent fluid pressure of 55 PSF.
3. Excavations for spread footings and continuous footings shall be cleaned and hand tamped to a uniform surface.
4. Slabs on grade shall be underlaid by a minimum of 4" of granular material having a maximum aggregate size of 1/2 inches and no more than 2% fines. Prior to placing the granular material, the floor subgrade shall be properly compacted, roofed/free of standing water, mud, and frozen soil. Before placement of concrete, a vapor barrier shall be placed on top of the granular fill.
5. Bottoms of all exterior footings shall be 2'-6" below finished grade. Footings shall project a minimum of 12" into undisturbed existing natural ground having allowable bearing capacity stated. Depths of footings subject to change if soil conditions are other than assumed.

MASONRY

- 1. Brick shall conform to ASTM C-62. Mortar shall conform to Federal specifications 55-C-101E-type II. Lay brick only when outside temperature is 45 degrees (F) and rising. Protect all work from cold and frost and insure that mortar will cure without freezing. Calcium Chloride and antifreeze admixtures will not be acceptable.
2. Bearing steel and wood beams shall be supported or solid masonry piers as indicated. Other structural members (lintels etc.) shall be supported on 8" of solid masonry. All beams and lintels shall have minimum horizontal bearing of 4".
3. Anchor bolts: Set anchor bolts or approved anchor straps as required. Bolts for wood sill plates shall be 1/2" diameter and project 16" into masonry. Set bolts or straps 12" max. from end of any plate.
4. Masonry walls shall have horizontal wire joints reinforcement at least 16" O.C. vertically.
5. Provide 4" solid masonry on all sides of joists or beams entering masonry party walls.
6. Brick Veneer:
A. Secure brick veneer with wall ties 16 GA zinc coated wall ties at 16" O.C. horizontally and vertically.
B. Provide and set flashing at lintels, base courses, sills, spongers/parapets, and as noted on drawings. Provide weep holes at the bottom of veneer and flashings at 24" O.C.

ENERGY CONSERVATION

- 1. The following provisions for thermal resistance meet or exceed the requirements stipulated by the BOCA Basic Energy Conservation Code.
2. Insulation:
Ceiling (of uppermost story) R-19
Vaulted Ceiling R-19
Frame Walls (with storm window or double glazing) R-11
Rim Joists R1m Joists
Floors over heated spaces (including floor overhangs) R-19
Masonry Walls (enclosed heated living areas) R-7
Slab on grade (heated space) 24" perimeter insulation R-5.5
Windows Double-Glazed
Doors Double-Glazed
3. Air Infiltration:
A. Windows: not exceeding five tenths (0.5) CFM of sash crack.
B. Sliding Glass Doors: not exceeding five tenths (0.5) CFM per foot of door area.
C. Swinging Doors: not exceeding one and twenty-five hundredths (1.25) CFM per square foot of door area. Provide 1" fiberglass sill sealer between foundation wall and all sill plates.
d. Fill all construction (electrical and plumbing) holes, cracks, loose joints and spaces in rough framing and rough masonry with approved foam sealer or similar sealant.

CONCRETE

- 1. All concrete construction shall conform to the latest A.C.I. code 318.
2. Concrete shall have natural sand, fine aggregates and normal weight coarse aggregates conforming to ASTM C33, Type I Portland Cement conforming to ASTM 150, and shall have a minimum 28-day compressive strength (F'c) as follows:
F'c = 2500 PSI for footings, interior slabs on grade and fill in concrete blocks.
F'c = 3000 PSI for foundation walls exposed to weather.
F'c = 3500 PSI for drives, porches, walks, steps.
F'c = 4000 PSI for precast concrete units.
3. All poured in place concrete exposed to weather conditions, including the garage floor, shall be air entrained 6% of concrete volume. No calcium chloride or other admixtures shall be used except as approved in writing by the owner.
4. Slabs on grade, except where otherwise noted, shall be min. 4" thick, reinforced with 6x6, 10/10 welded wire mesh, lap mesh 6" in each direction. Slabs shall be laid on a layer of 6 mil polyethylene over a 4" layer of washed gravel. Refer to drawings for location of thermal insulation.
5. Concrete finish: All exposed steps, sills and slabs shall first have a steel trowel finish and then a very light broom finish.
6. Expansion joints: Non-organic, owner approved, expansion joint material shall be cast in place where slabs abut masonry or concrete walls to prevent bonding between the two materials.
7. Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing compound within one hour of the final troweling.
8. Reinforcing steel: Reinforcing steel for the ties shall be intermediate grade deformed billet steel conforming to ASTM spec. A615-40. All other reinforcing steel shall conform to ASTM spec. A615-60. Welded wire fabric to conform to ASTM A-185. Fabric shall be supplied in flat sheets and lapped to mesh at splices. All reinforcing shall be detailed, fabricated and installed in accordance with the latest detailing manual A.C.I. 315.
9. Reinforcement designated as "continuous" shall lap 36 bar diameters at splices unless noted otherwise.
10. Horizontal footing reinforcement shall be continuous and shall have 90 degree bends and extensions, or corner bars of equivalent size lapped 36 bar diameters, at corners and intersections.
11. Footings:
A. Bottom of footings shall extend a minimum of 2'-6" below any surface subject to freezing; footings shall extend at least 12" into undisturbed soil or set on controlled compacted fill. Depth of footing subject to change if soil conditions are other than assumed. Bearing value of soil is assumed to be 2000 PSF with no water condition present. Minimum bearing value of controlled fill shall be certified by a licensed geotechnical engineer.
12. Anchor bolts: set anchor bolts or approved straps as required. Bolts for wood sill plates shall be 1/2" in diameter and project 16" into concrete; set straps or bolts 2" max. from end of any plate and 4'-0" max O.C. spacing.

WOOD & CARPENTRY

- 1. Unless otherwise noted on drawings, all structural wood members shall be #2 Southern Pine or equal, with the following combination of unit stresses:
Extreme Fiber stress in bending 2000 psi
Compression parallel to the grain 1000 psi
Compression perpendicular to the grain 565 psi
Modulus of Elasticity Shear Stress 1,800,000 psi
2. Manufactured roof and floor joists and trusses (if shown on drawings) must be designed and certified by a licensed engineer and submitted to the Architect and local building department for approval. Submit three (3) stamped/sealed shop drawings to the Architect for review.
3. Roof rafters and/or trusses shall be connected at each bearing point with one prefab-40 psi ribbed galvanized rafter tie (hurricane clip) by Simpson or equal. Similarly floor joists and trusses shall be connected with one pre-fabricated joist hanger. Each anchor shall be 10 GA minimum thick.
4. Provide double joists under all parallel partitions, at joists that support headers, and at headers that support joists. Use joist hangers where applicable.
5. All joists and rafters shall be rigidly braced at intervals not exceeding 8'-0".
6. Double studs at header bearing, double joists and rafters at all openings according to schedule below (unless noted otherwise on drawings):
Double 2 x 4 up to 3'-0"
Double 2 x 6 up to 4'-0"
Double 2 x 8 up to 5'-0"
Double 2 x 10 up to 7'-0"
Double 2 x 12 up to 8'-0"
All double headers and joists shall be fastened together with a minimum of two rows of 16 d nails 12" on center.
7. Provide blocking, banding, crush blocks, stiffeners, or rim joists, as required, at joist ends.
8. Floor joists shall have a minimum bearing of 2" on framed walls. All beams shall have minimum bearing of 4" bearing on all supports. Provide moisture protection to end of beams pocketed into masonry walls.
9. Wood joists, studs, and beams shall not be cut or notched unless authorized by the architect. Drilled holes shall be centered at mid-depth of the member and the hole diameter shall not exceed 1/3 the actual depth of the member. No holes shall be drilled within 2" from the ends or within the middle 1/3 of the span. Provide 4" clear between holes.
11. Provide 2x4 intermediate blocking at all bearing and non-bearing partitions.
12. All plywood shall be APA span rated. Use exterior grade plywood wherever edge of face will be exposed to weather. Interior plyform exposed to weather during construction shall be Exposure 1 minimum.
A. Exterior wall sheathing shall be 1/2" plywood unless noted otherwise.
B. Subflooring shall be 3/4" tongue & groove plywood, glued and screwed to the floor joists as per APA recommendations.
C. Roof sheathing shall be 1/2" plywood. Provide "H" clips at butt joints of roof sheathing.
13. MICRO-LAM L.V.L. (laminated veneer lumber) beams shall be manufactured by the Trus Joist Corporation or approved equal. Beams shall be made a minimum of two rows of 16d nails 12" on center. When fastening two or more beams together, provide Joist Corporation or approved equal.
14. Tilt Floor Joists are to be manufactured by the T.

- 15. Install as per manufacturer's recommendations.
The following wood elements are to be pressure treated with preservative:
A. Sill plates resting on concrete or masonry walls.
B. Sill plates resting on concrete slabs on grade.
C. Ends of joists which enter concrete or masonry walls and have less than 1/2" clearance on tops, sides, and ends.
D. Sleepers resting directly on concrete slabs.
E. Exterior porch and deck framing, decking, and stairs.
16. Exterior Trim:
A. All exterior trim shall be clear pine or redwood.
B. All trim shall be primed on both sides prior to installation.
C. All outside corners shall be mitered. No butt joints will be accepted.
17. Siding:
A. Refer to drawings for siding material.
B. Prime siding front & back prior to installation.
18. Coordinate all floor and wall framing with ductwork. Refer to mechanical notes.

STEEL

- 1. Structural steel shall conform to ASTM A36.
2. All steel angles, lintels, beams, columns, etc. are to be shop primed with red lead or red oxide primer or approved equal. Structural steel at or below grade shall be painted with two coats of an asphaltic base paint and protected with a minimum of 2" solid masonry or concrete.
3. For all openings or recesses in brick or brick-faced masonry walls not specifically detailed, provide one steel angle for each 4' of wall thickness. Provide lintels according to the schedule below:
Lintel Masonry Opening Min. Bearing
L 3-1/2 x 3-1/2 x 1/4 up to 3'-0" 4"
L 3-1/2 x 3-1/2 x 5/16 3'-1" to 4'-0" 6"
L 4 x 3-1/2 x 1/4 4'-1" to 5'-0" 6"
L 4 x 3-1/2 x 5/16 5'-1" to 6'-0" 6"
L 5 x 3-1/2 x 5/16 6'-1" to 7'-0" 8"
L 6 x 4 x 3/8 7'-1" to 8'-0" 8"

Note: For openings greater than 8'-0", consult with architect and engineer.

RADON DETECTION AND TREATMENT

- 1. The contractor shall provide a venting system consisting of a minimum of 3" Schedule 40, or equivalent, PVC pipe inserted 1" into the sub-slab gravel base (at all radon concrete slabs) and terminated at least 6" above the high side of the roof penetration to serve as a sub-slab ventilation rough-in. Contractor shall coordinate location of pipe with architect prior to installing the pipe.
2. The contractor shall provide any other measures as required by local codes.

VENTILATION

- 1. Attic spaces are to be vented in one of the following ways (refer to drawings for specifics):
A. Continuous ridge venting and continuous soffit venting. Ridge vent shall be by Convair or approved equal. Continuous screened soffit vents shall be a minimum of 2" wide. Circular louver vents between each rafter may be used at the soffits if shown on the drawings.
B. Screened louvers or vents with an open area equal to one square foot for every 500 square feet of attic space.
2. Provide foundation vents for all crawl spaces. Refer to drawings for location.
3. Venting for appliances and exhaust fans:
A. Provide venting to the exterior as per manufacturer's recommendations for all appliances. Location of ductwork and vent to exterior shall be approved by architect prior to installation.
B. Provide exhaust fans for bathrooms, etc., as shown on drawings. Location of ductwork and vent to exterior shall be approved by architect prior to installation.

DRAINAGE, SEALANTS, & MOISTUREPROOFING

- 1. Appropriate sealants shall be selected for each substrate depending upon location (interior or exterior), humidity, moisture conditions, and traffic conditions. Use primers as required.
2. Color of caulking shall be coordinated with adjacent materials.
3. Joint fillers shall be used:
A. To control the depth of sealants in joints.
B. To meet the requirements for resilient separations in horizontal joints in floor, pavements, patios, sidewalks and other light traffic areas.
4. Bond breakers shall be used to prevent adhesion to more than two surfaces.
5. Masonry foundations shall be parged to a thickness of 3/4" minimum.
6. Apply a waterproof membrane to all foundation walls.
7. Footing drains shall be a min. 4" in diameter and installed on the exterior of all foundations.
8. All flashings shall be installed according to the building code. An eave flashing strip of mineral surfaced roll roofing shall be applied to extend from the edge of the roof to a point 12" min. inside the interior wall line of the structure.
9. All membrane roofing to be approved by architect prior to installation.
10. All roof shingles to be approved by architect prior to installation.

FINISHES

GYPHUM WALL BOARD:

- 1. Gypsum wallboard shall be ASTM C-36 as follows:
A. Regular (1/2") except where noted.
B. Water resistant (1/2") at bathroom ceilings and walls that are not tiled.
C. Durock interior tile backer board (1/2") at all surfaces that have tile.
2. Gypsum boards shall have tapered edges to accommodate joint reinforcement.
3. Provide edge corner beads, trim, taping, and joint compounds as required for the proper completion of the job. Materials shall be by U.S. Gypsum or approved equal.
4. Required finish:
A. At all joints and interior angles, apply tape embedded in joint compound, and apply three separate coats of joint compound over all joints, angles, fastener heads, and accessories.
B. Apply a thin skim coat of joint compound over the entire surface.
C. Qualify surfaces smooth and free of tool marks and ridges.

HARDWOOD FLOORING:

- 1. Provide wood strip flooring where shown on the drawings.
2. Wood strip flooring to be oak and be "prime" grade in accordance with the National Oak Flooring Manufacturers Association.
3. Install flooring in strict accordance with the recommendation of the National Oak Flooring Manufacturer's Association.

CERAMIC TILE:

- 1. Provide ceramic tile and accessories in accordance with the Tile Council of America Specifications (TCI). In colors and patterns to be specified by the owner.
2. Setting materials: comply with pertinent recommendations contained in the Tile Council of America Handbook for Ceramic Tile Installation.
3. Installation: comply with ANSI A108.1, ANSI A108.2, and the Handbook for Ceramic Tile Installation of the Tile Council of America.
A. Extend tile into recesses and under equipment and fixtures to form a complete covering without interruptions.
B. Terminate tile neatly at obstruction, edges, or pattern or joint alignment.
C. Align joints when adjoining tiles or floor, base trim, and walls are the same size.
D. Layout tile work and center the tile fields in it.
4. Replacement: Reserve: Contractor shall furnish, in each space or on each wall area, additional tile for future repairs and maintenance. Owner with one unopened box of

MARBLE TILE:

- 1. All marble shall be cut, polished, and set according to the Italian Marble Industry Standards.
2. Marble faces and all exposed edges shall be polished. All corners shall be fully mitered with eased edges to prevent edge failure. All mitered and butt joints shall fit tight and require no filling. Tiles shall be set with minimal grout joints max. 3/32".
3. Refer to finish schedule for marble type and style.
4. The shall be set according to the drawings with approved thin set method.
5. Replacement reserve: The contractor shall furnish to the Owner one unopened box of additional tiles for future repairs and maintenance work.

CARPET:

- 1. Provide carpeting as shown on the drawings.
2. Contractor to provide an allowance of \$25.00/SY for providing and installing all carpet and padding. Contractor's lump sum to be adjusted up or down to reflect actual installed cost of carpeting to contractor, supported by invoices from supplier.

VINYL TILE:

- 1. Installation of all vinyl composition tile (VCT) shall be done in a manner which conforms with the following standards:
A. ASTM E 648
B. ASTM E 34
C. ASTM E 662
2. Replacement reserve: Contractor to furnish owner with one unopened box of additional tile for future repairs and maintenance.
PAINT:
1. All paint and primers to be Benjamin Moore or approved equal. Consult with owner for colors and types.
2. All surfaces to be painted shall receive one primer coat and two finish coats.
3. All paint shall be applied according to manufacturer's recommendations.

ARCHITECTURAL WOODWORK AND TRIM:

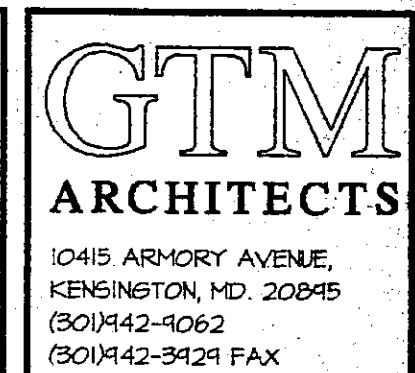
- 1. All millwork, trim, and molding shall be installed according to the quality standards of the Architectural Woodwork Institute.
2. All interior trim and millwork shall conform to AWI "custom standards".
3. Flat trim shall be clear pine or approved equal.
4. All corners of 1" in and siding are to be mitered. Exposed end grains will not be accepted.
5. All millwork and trim shall be installed by craftsmen with experience in work of this type. All work shall be "first class" in every regard and consistent with the best practices of the trade.

FIRE AND LIFE SAFETY

- 1. Guards:
A. 3/4" max rise
B. 10" min treads
C. 6'-8" min head room
D. Height of handrails shall be continuous 30" (min) to 34" (max) above finished stair treads. Handrails required at stairs with 3 or more risers.
E. Guardrails shall be 36" (min) to 42" above finished floor.
2. Provide a clear window opening of 5.7 square feet with no less than 20" clear wide and 24" clear high for sleeping area. The sill of this window shall be no more than 44" above the finished floor.
3. Provide safety glass in all exterior doors, storm doors, sliding glass doors, shower doors and tub enclosures where the glass is closer than 18" to the floor and exceeds 6 sq. ft. in area.
4. Ground metal siding.
5. Smoke detectors shall be provided on every floor and in every bedroom, and integrated with electrical system.
6. Flues shall be class B except solid fuel flues which shall be class A.
7. Top of flue shall be 2'-0" minimum above any part of structure within 10'-0" of flue.
8. Interior finish of walls and ceiling shall have a flame spread rating not greater than class 1. Carpeting shall meet federal regulation DOC FF-1.
9. Prefab fireplaces shall be (UL) rated and installed according to manufacturer's specifications.

ELECTRICAL & LIGHTING NOTES

- 1. Electrical contractor shall size and arrange all circuits in accordance with the National Electric Code as well as all local codes.
2. Non outlets are to be mounted 1'-6" above finished floor unless noted otherwise.
3. Switches are to be mounted 4'-0" above finished floor unless noted otherwise.
4. Mounting heights are to the vertical center of the equipment to the finished elevation of the floor.
5. All new switch & outlet styles are to be approved by owner prior to installation.
6. Provide hardwired smoke detectors on 3rd floors, located as per Montgomery County Code.
7. Electrician to locate all fixtures, switches, outlets, etc. prior to running wiring. Owner, Architect, and Electrician to meet at a mutually agree upon time to review locations.
8. Owner is allowed to add or an additional ten (10) items: switches, cable phone, outlets, etc., or any combination at no additional charge to the owner.



10312 ARMORY AVE. KENSINGTON, MD 20895 SPECIFICATIONS

OPPENHEIM RESIDENCE

Table with 2 columns: REVISIONS, and empty rows for revision notes.

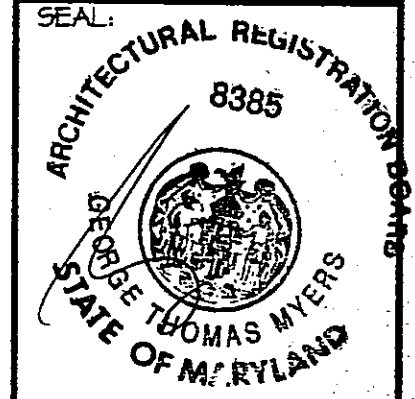
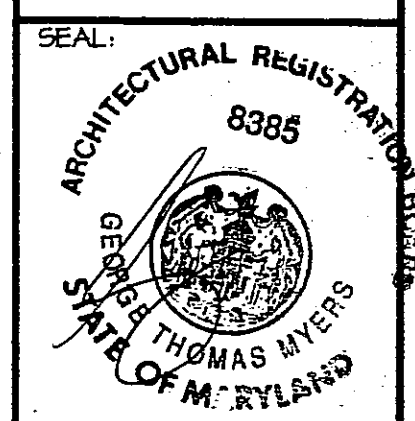


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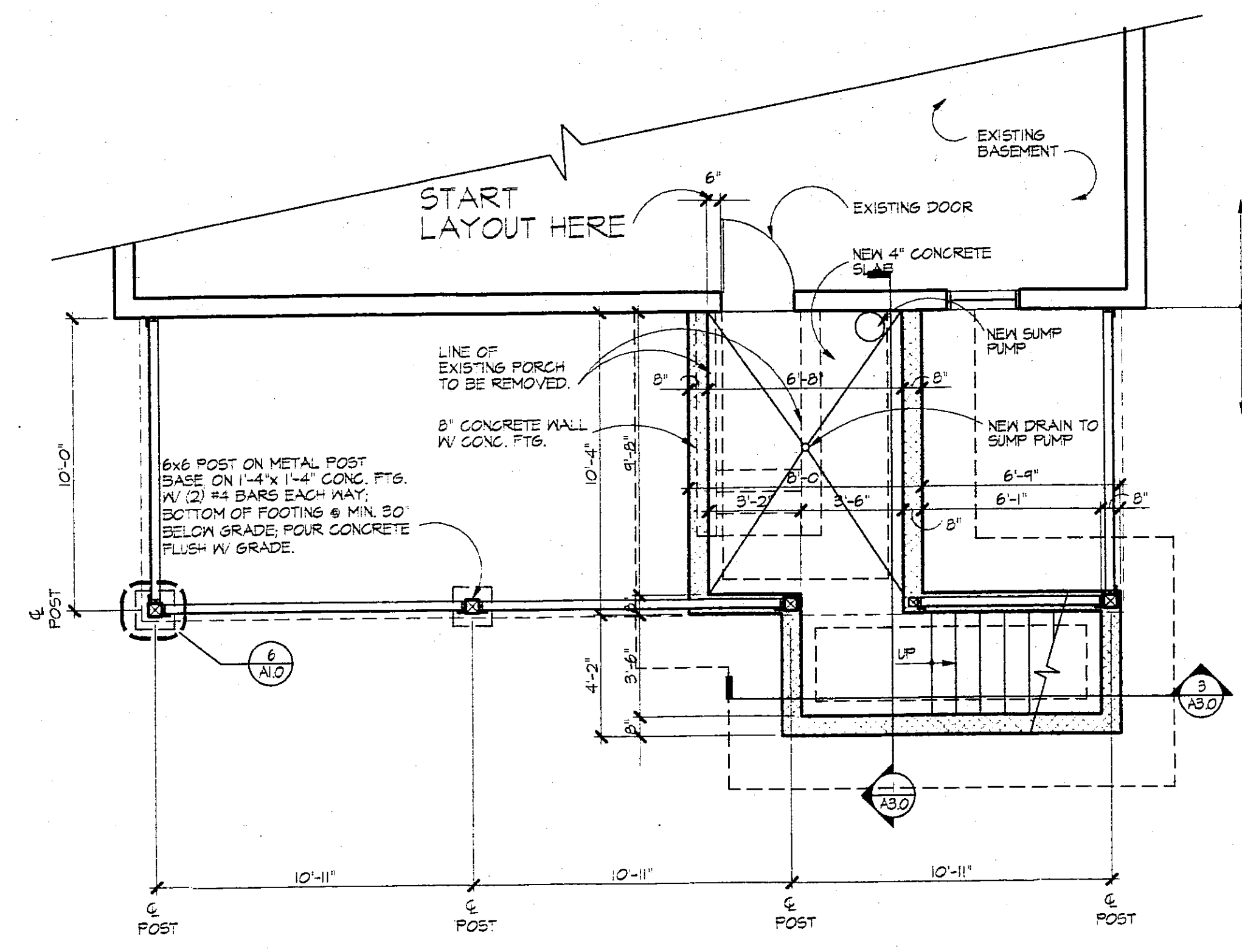


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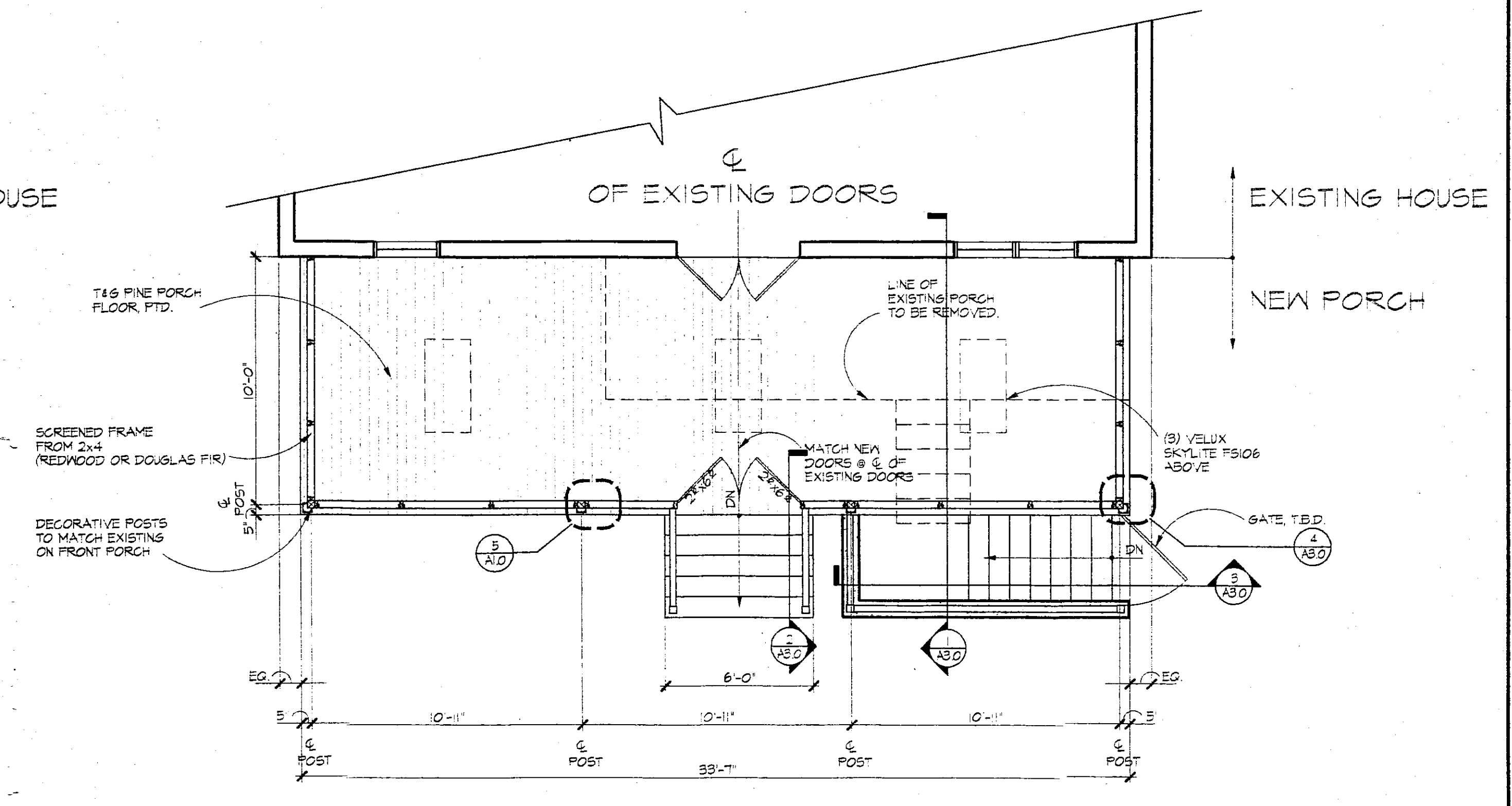


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CHECKED BY: GTM
SCALE: AS NOTED
DATE:
PROJECT NO. 01031
DRAWING NO.

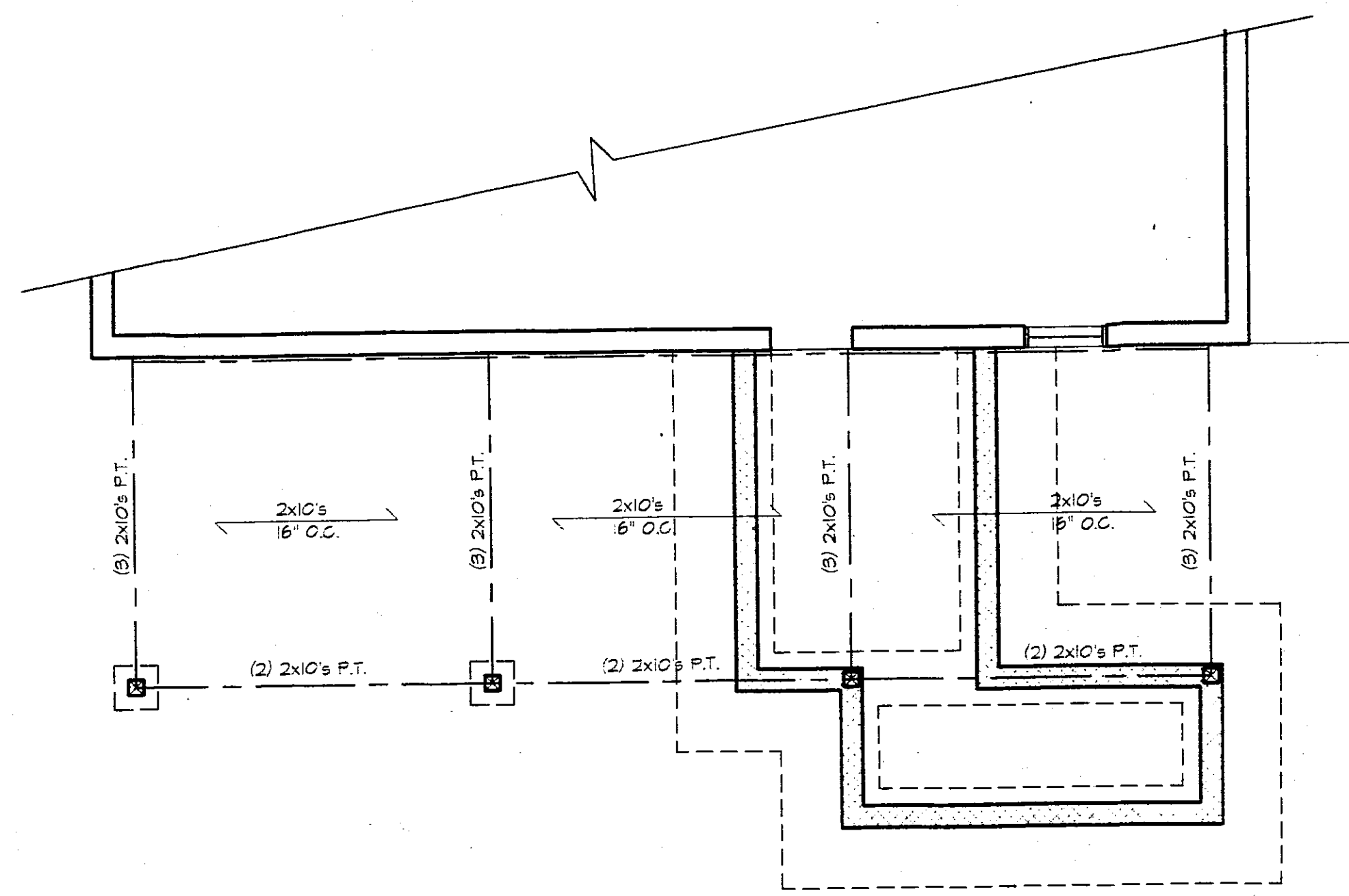
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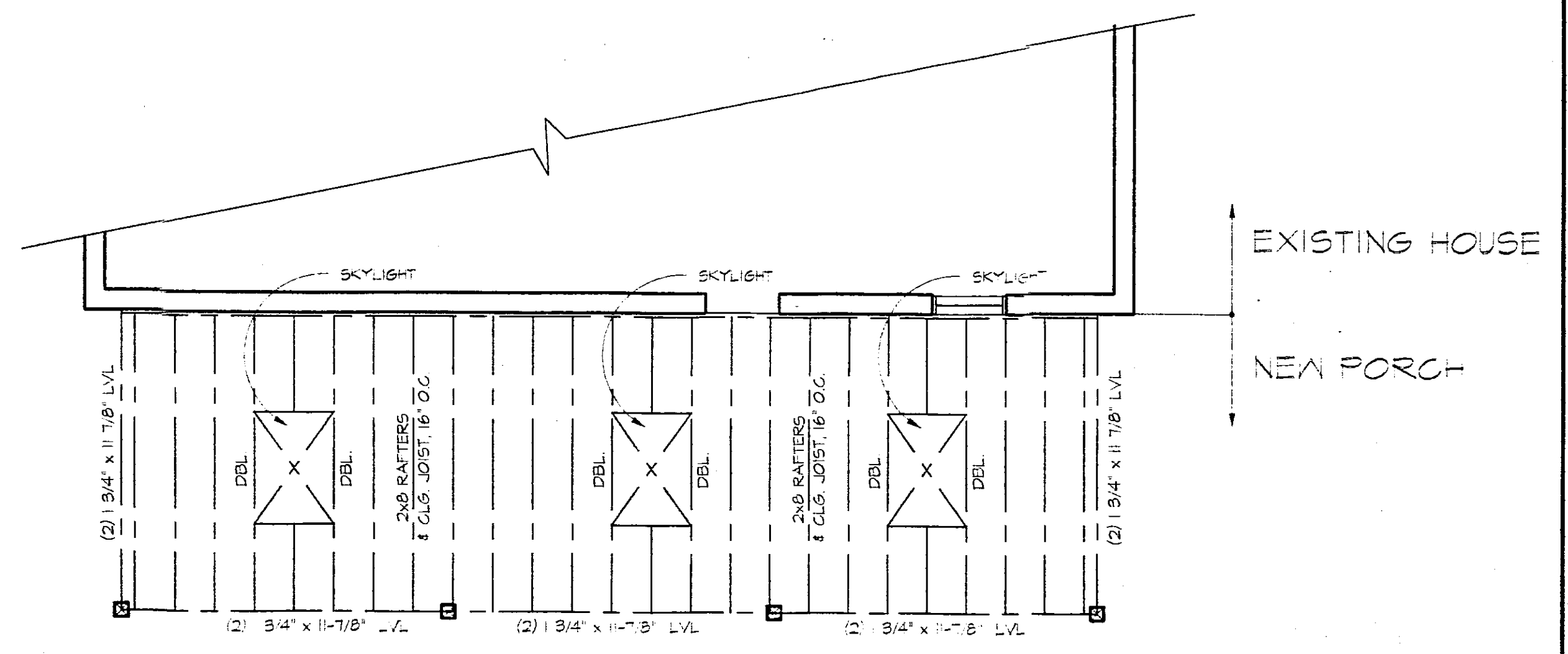
1 BASEMENT PLAN
SCALE: 1/4"=1'-0"



2 DECK PLAN
SCALE: 1/4"=1'-0"



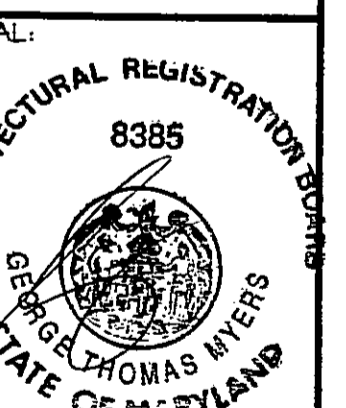
3 PORCH FRAMING PLAN
SCALE: 1/4"=1'-0"



4 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

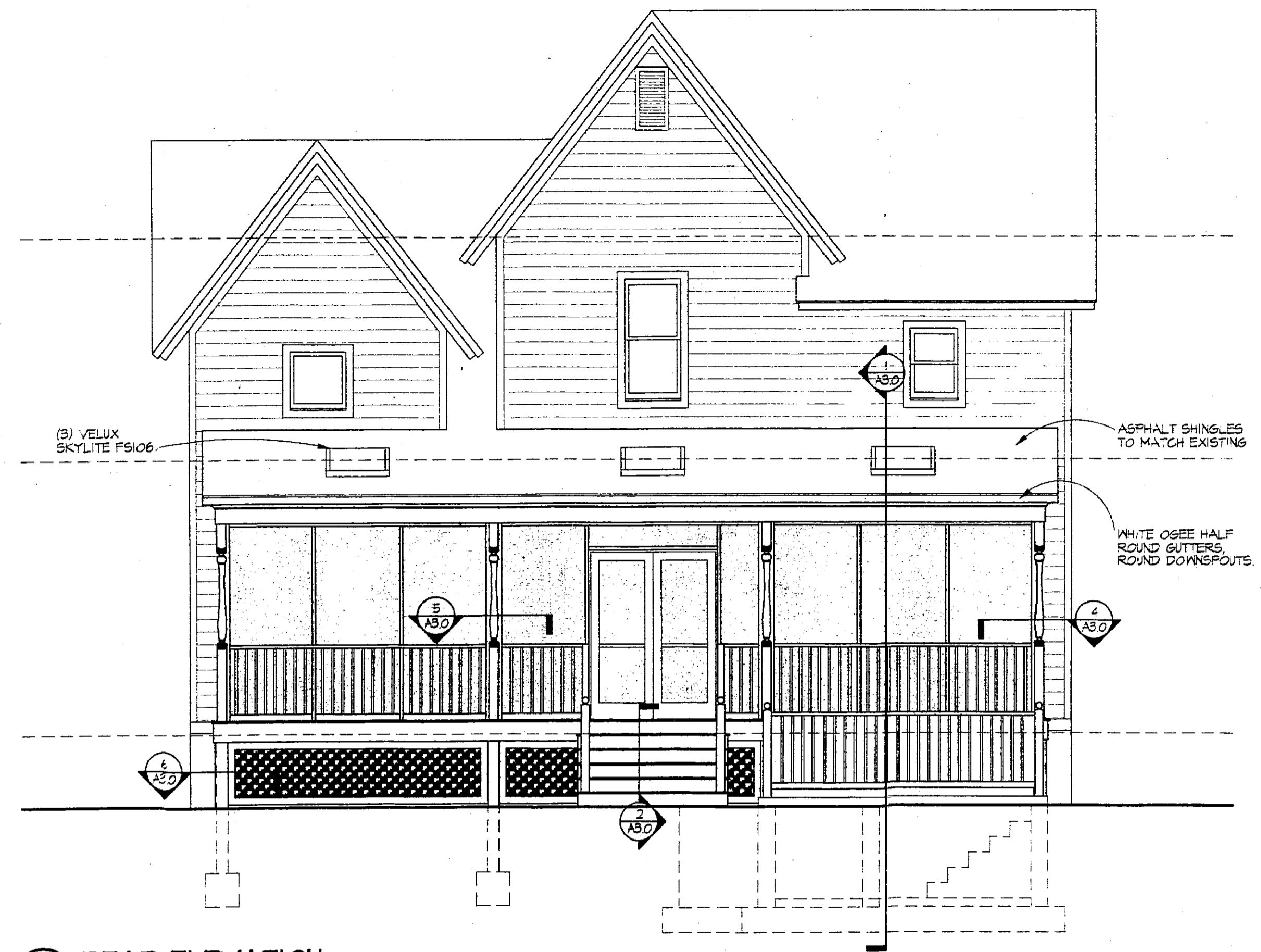
FILE NAME: 01031A1.0

REVISIONS:



ARCHITECTURAL REGISTRATION BOARD
8385
GREG THOMAS MYERS
STATE OF MARYLAND
DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE:
PROJECT NO. 01031
DRAWING NO.

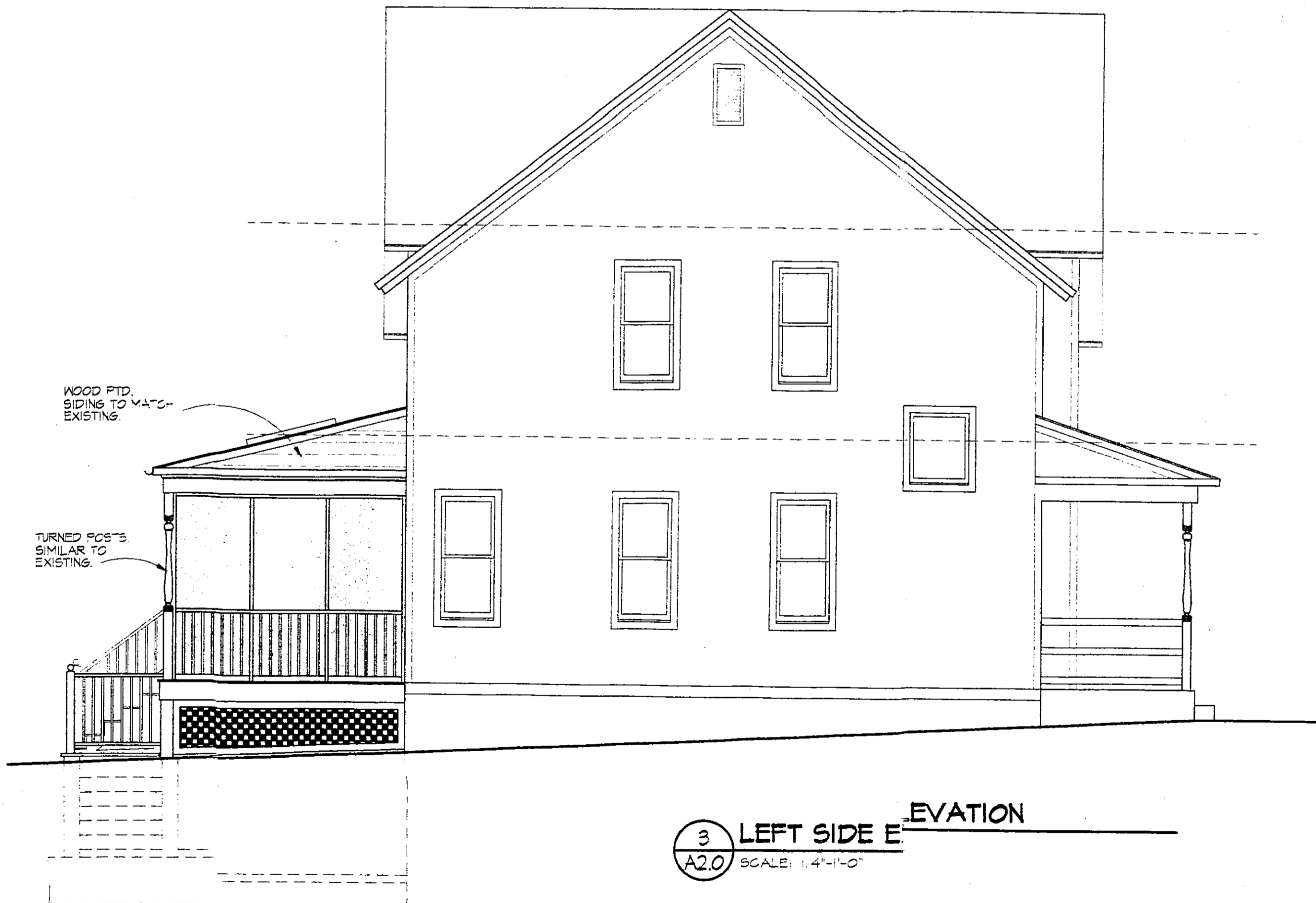
A2.0



1 REAR ELEVATION
A2.0 SCALE: 1/4"=1'-0"

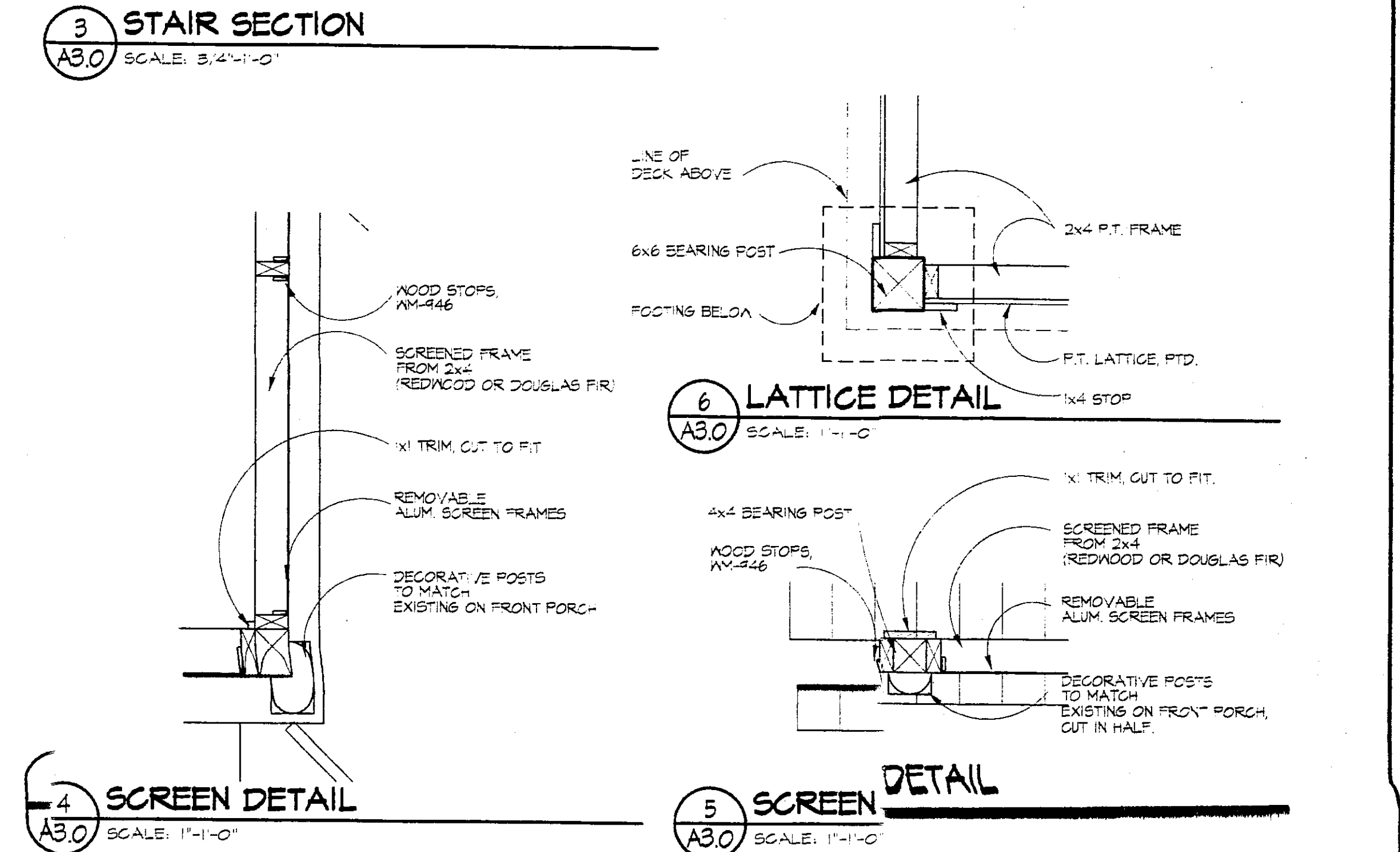
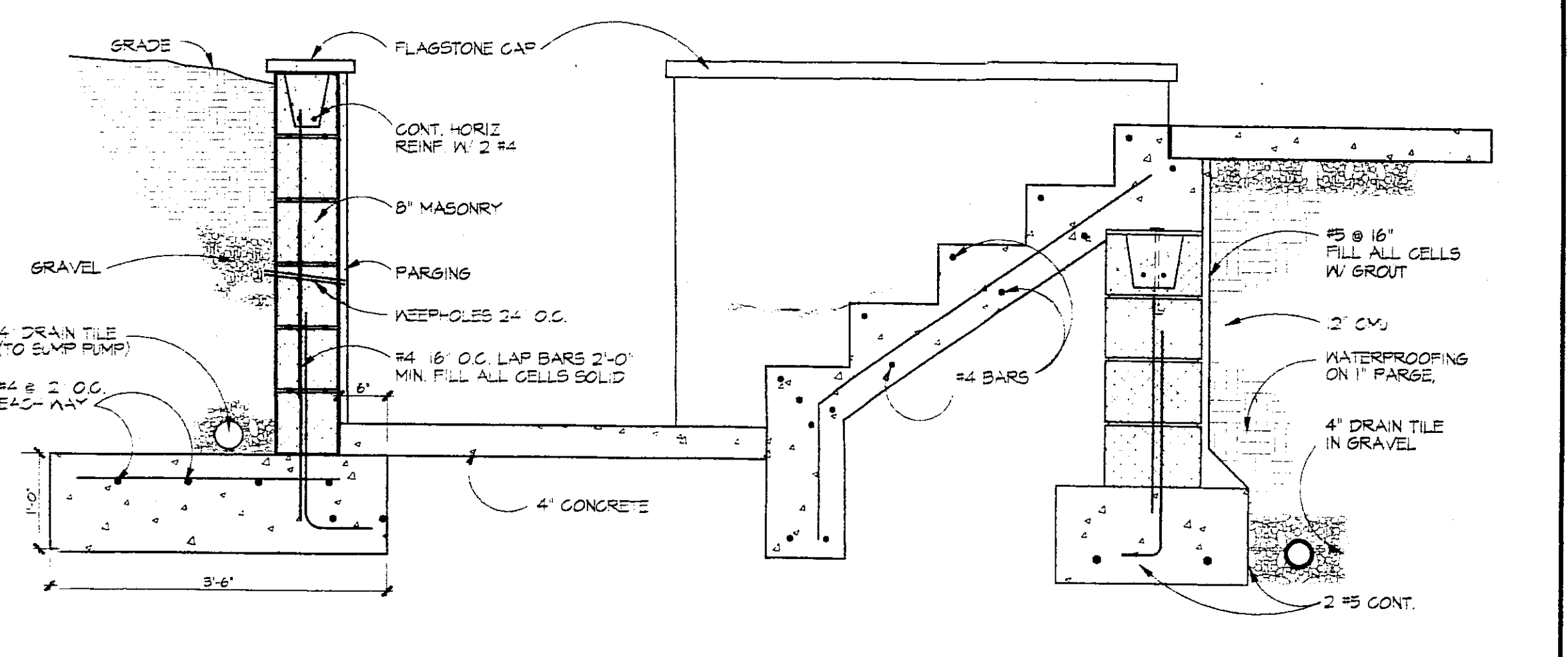
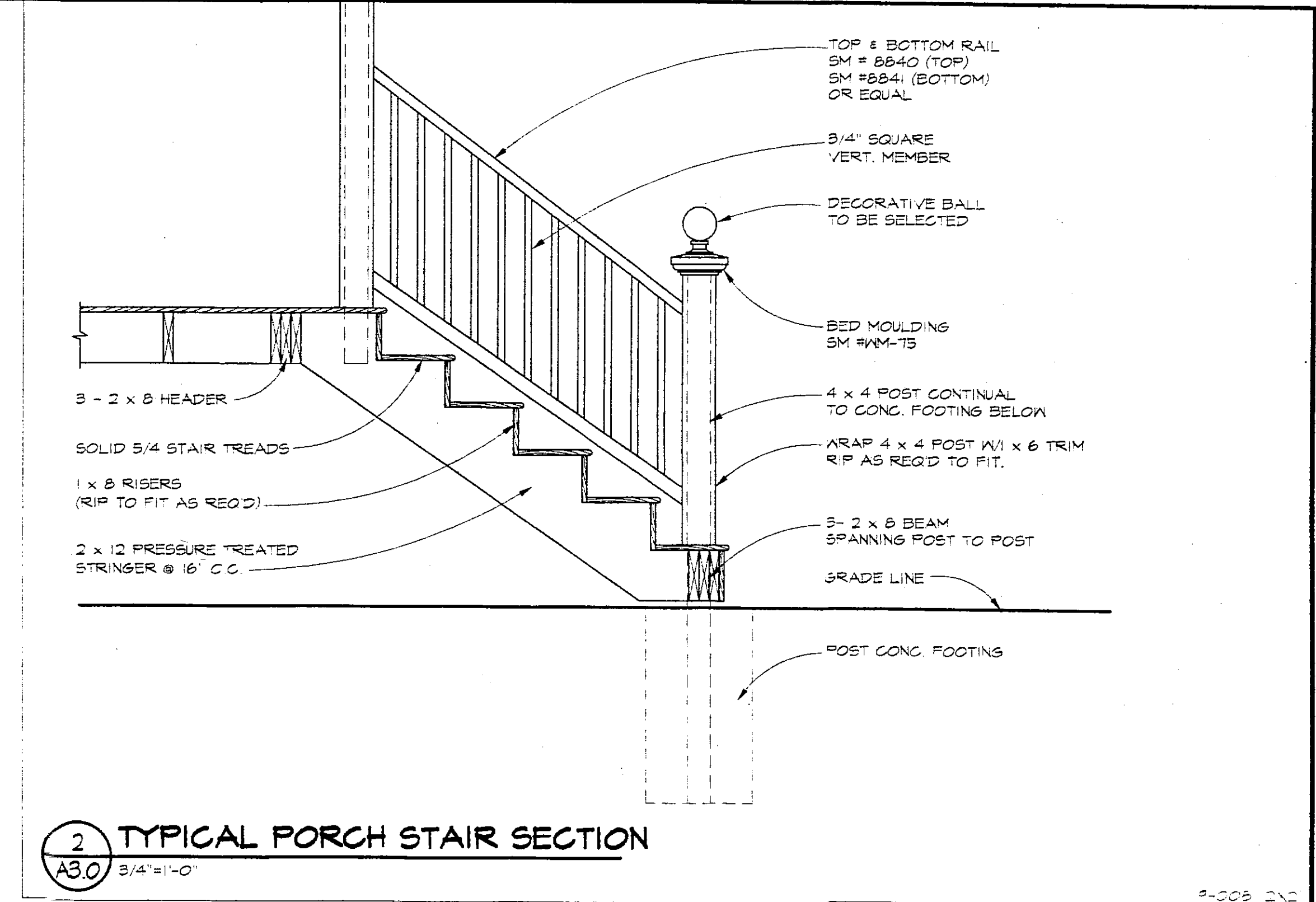
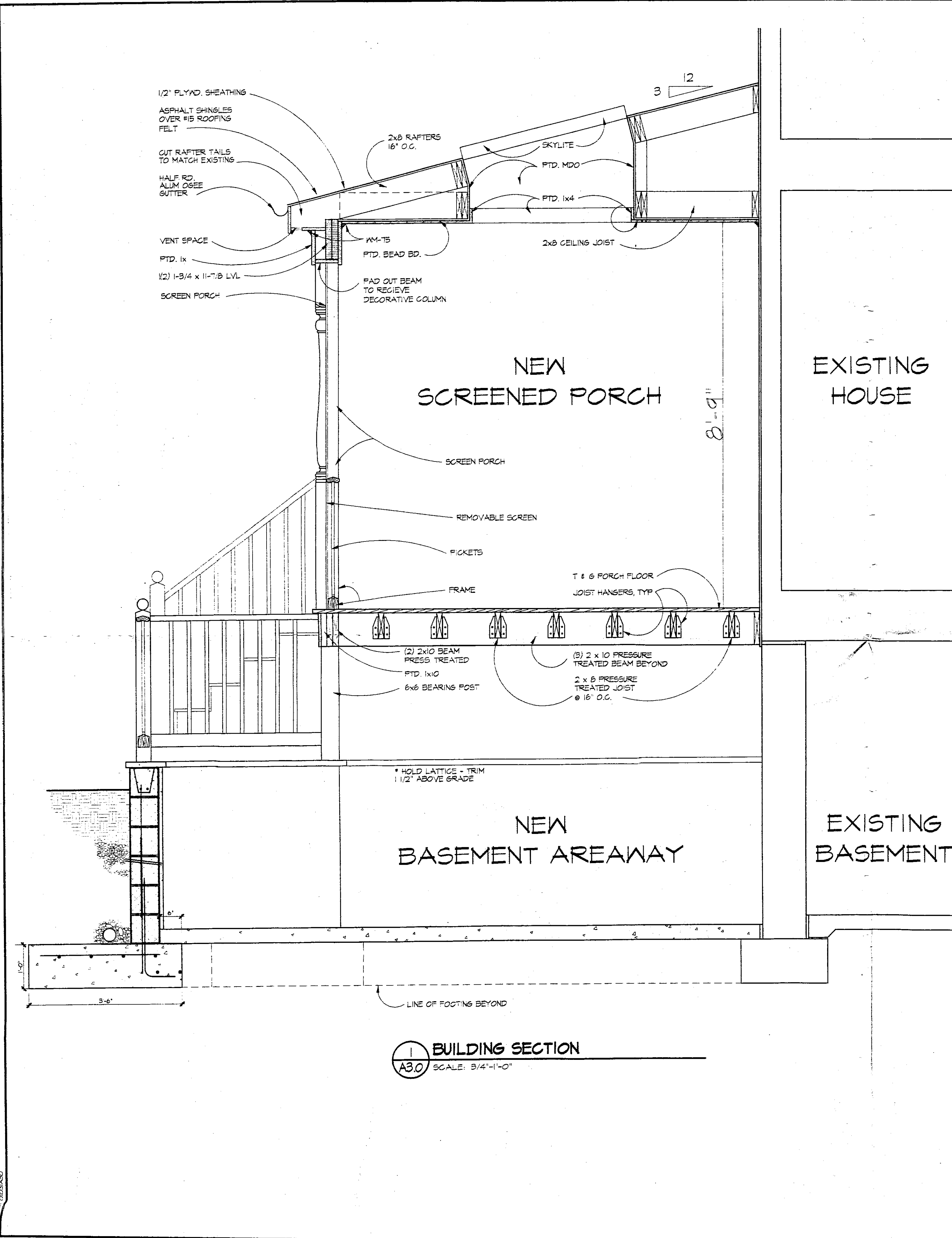


2 RIGHT SIDE ELEVATION
A2.0 SCALE: 1/4"=1'-0"



3 LEFT SIDE ELEVATION
A2.0 SCALE: 1/4"=1'-0"

FILE NAME: 01031A2.0



GTM ARCHITECTS
10415 ARMORY AVENUE, KENSINGTON, MD. 20845
(301)442-4062
(301)442-9424 FAX

10302 ARMORY AVE. KENSINGTON, MD 20815
BUILDING SECTION

OPPENHEIMER RESIDENCE

REVISIONS:

SEAL: ARCHITECTURAL REGISTRATION BOARD 8385
THOMAS HAYES
STATE OF MARYLAND

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE:
PROJECT NO. 01031
DRAWING NO. **A3.0**



RE TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: ALLISON OPPENHEIM
Daytime Phone No.: 301-933-5329

Tax Account No.: _____

Name of Property Owner: ALLISON & JOHN OPPENHEIM Daytime Phone No.: 301-933-5329

Address: 10312 ARMORY AVE KENSINGTON, MD 20895
Street Number City Street Zip Code

Contractor: TBO Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: GEORGE T. MYERS, ARCHITECT Daytime Phone No.: 301-942-9062 EXT. 13

LOCATION OF BUILDING/PREMISE

House Number: 10312 Street: ARMORY AVE.

Town/City: KENSINGTON, MD Nearest Cross Street: BALTIMORE

Lot: 3 Block: 4 Subdivision: R. B. DETRICK'S

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ TO BE DETERMINED

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Approved: X

Disapproved: _____

Signature: _____

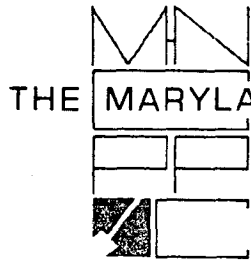
For Chairperson, Historic Preservation Commission

Date: 2-15-01

Application/Permit No.: 239295

Date Filed: 1-26-01

Date Issued: _____



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 02-15-01

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

HPC # 31/06-01C DPS# 239295

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ permits.emontgomery.org of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

C:\hawapr.wpd

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 02-15-01

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner
Michele Naru, Historic Preservation Planner (M)

SUBJECT: Historic Area Work Permit Application - HPC Decision

HPC # 31/06-01C Dps# 239295

The Historic Preservation Commission reviewed this project on 02-14-01.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	10312 Armory Ave, Kensington	Meeting Date:	02/14/01
Resource:	Primary Resource - #1 Kensington Historic District	Report Date:	02/07/01
Review:	HAWP	Public Notice:	01/31/01
Case Number:	31/06- 001 ^{OIC}	Tax Credit:	None
Applicant:	Allison and John Oppenheim	Staff:	Michele Naru
PROPOSAL:	Rear Porch Additions/Alterations	RECOMMEND:	Approval

PROJECT DESCRIPTION:

SIGNIFICANCE: Primary Resource - #1 in Kensington Historic District.
STYLE: Folk Victorian
DATE: E 1900

PROPOSAL:

There is an existing full-width covered porch located at the rear of house (5'9" wide x 23' long). The proposal is to convert this porch into a 10' wide x 33'7" long screened porch (Circle 5 7+8). The turned post detail will be compatible to the existing posts on the front porch. A new slab and retaining wall will be constructed under the deck for easier access to the basement level.

STAFF DISCUSSION

The *Vision of Kensington*, which was adopted in 1992, states that the average percentage of lot coverage within the Kensington Historic District is 15%. This percentage is used as a guide by the HPC to determine sizes of new additions onto existing houses within the historic district boundaries. The percentage of existing lot coverage for this particular lot is 10%.

The existing rear covered porch on this primary resource measures 5'9" wide x 23' long. The footprint of the new-screened porch will measure 10' wide x 33'7" long. The percentage of lot coverage will be increased from 10% to 13%, which is within the average percentage of lot coverage the *Vision* illustrates.

Staff feels that the proposed alterations would not negatively impact the Kensington Historic

District. Modest rear additions to primary resources that are not visible from the public right-of-way and do not negatively impact the historic landscape are generally approved in the Kensington Historic District. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the general condition that **the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits**, and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: ALLISON OPPENHEIM
Daytime Phone No.: 301-933-5329

Tax Account No.: _____
Name of Property Owner: ALLISON & JOHN OPPENHEIM Daytime Phone No.: 301-933-5329
Address: 10312 ARMORY AVE. KENSINGTON, MD 20895
Street Number City Street Zip Code
Contractor: T.B.O. Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: GEORGE T. MYERS, ARCHITECT Daytime Phone No.: 301-942-9062 EXT. 13

LOCATION OF BUILDING/PREMISE

House Number: 10312 Street: ARMORY AVE.
Town/City: KENSINGTON, MD Nearest Cross Street: BALTIMORE
Lot: 3 Block: 4 Subdivision: R. B. DETRICK'S
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ TO BE DETERMINED

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 239295 Date Filed: 1-26-01 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING STRUCTURE IS A 5'-4" X 23'-0"
COVERED DECK W/ RAILING. UNDERNEATH THE DECK
IS A BASEMENT PASSAGE WHICH IS A SLAB
AND 3'-5" RETAINING WALLS ON EITHER SIDE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED DECK WILL BE 10'-0" X 33'-7" IN SIZE.
THE DECK WILL BE SCREENED AND POSTS ARE TO
MATCH EXISTING POSTS ON FRONT PORCH. A NEW SLAB
AND RETAINING WALL WILL BE CONSTRUCTED UNDER
DECK FOR EASIER ACCESS.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Huson & John Oppenheim
10312 Armony Av. Kensington,
MD 20895

7. Addresses of Adjacent & Confronting Property Owners.

(a) next door on the north side:

Stephen & Anna McHale

10314 Armony Avenue,

Kensington Maryland, 20895

(b) next door on the south side: (Ernest Park)

Town of Kensington

3710 Mitchell St.,

Kensington, Maryland, 20895

(c) bottom of yard (west side):

Spencer & Barbara Harrill

3810 Warner Street

Kensington, Maryland, 20895

(d) Across the street - Kensington Armory:

Town of Kensington

(address is (b) above)

Across the street:

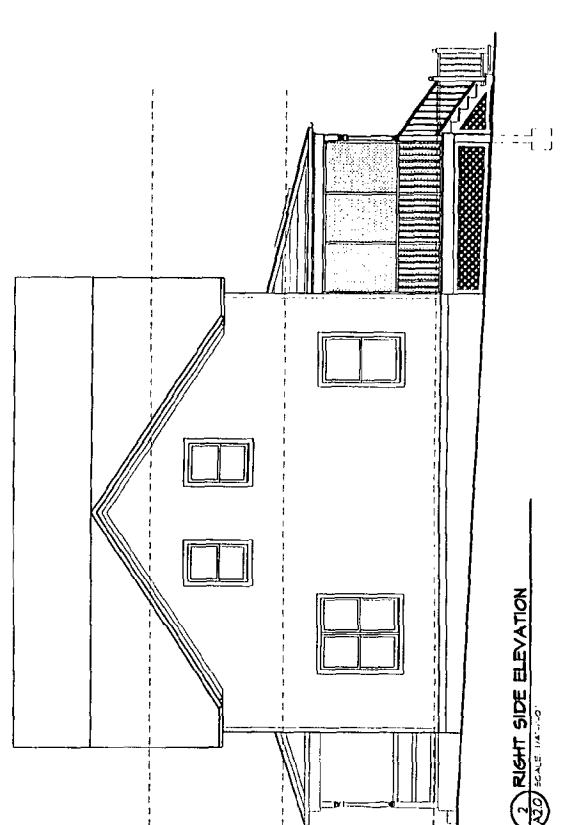
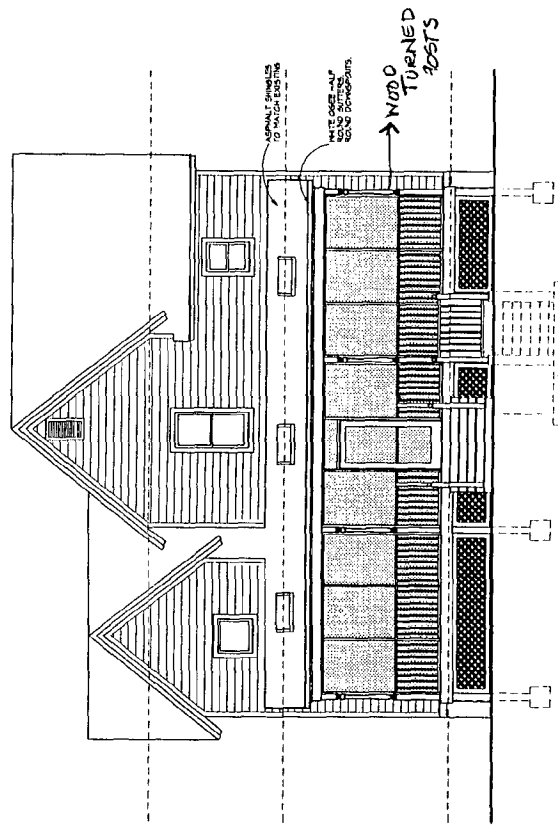
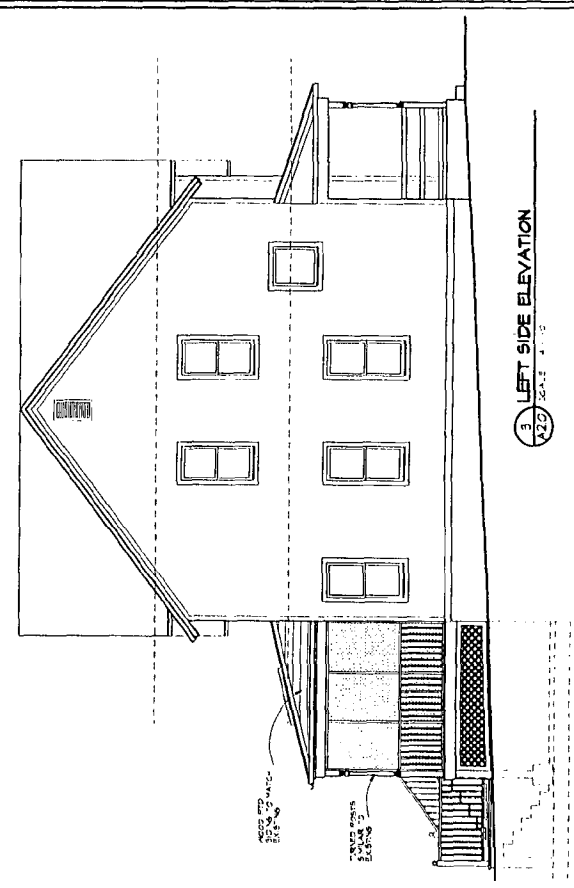
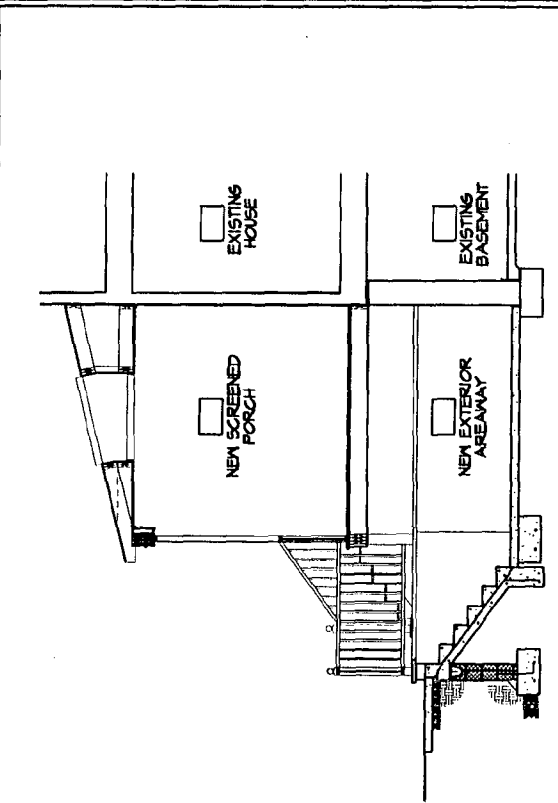
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10309 Armony Avenue

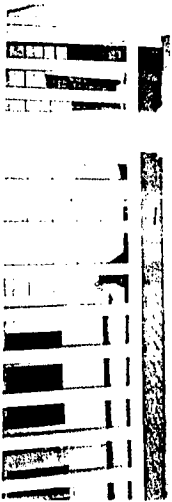
Kensington Maryland 20895

(7)

(5)



8



Huson, John Oppenheim
10312 Armory Av. Kensington,
MD 20895

7. Addresses of Adjacent & Confronting Property Owners:

(a) next door on the north side:

Stephen + Anna McHale

10314 Armory Avenue,

Kensington Maryland, 20895

(b) next door on the south side: (Ernest Park)

Town of Kensington

3710 Mitchell St.,

Kensington, Maryland, 20895

(c) bottom of yard (west side):

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(address in (b) above)

Across the street:

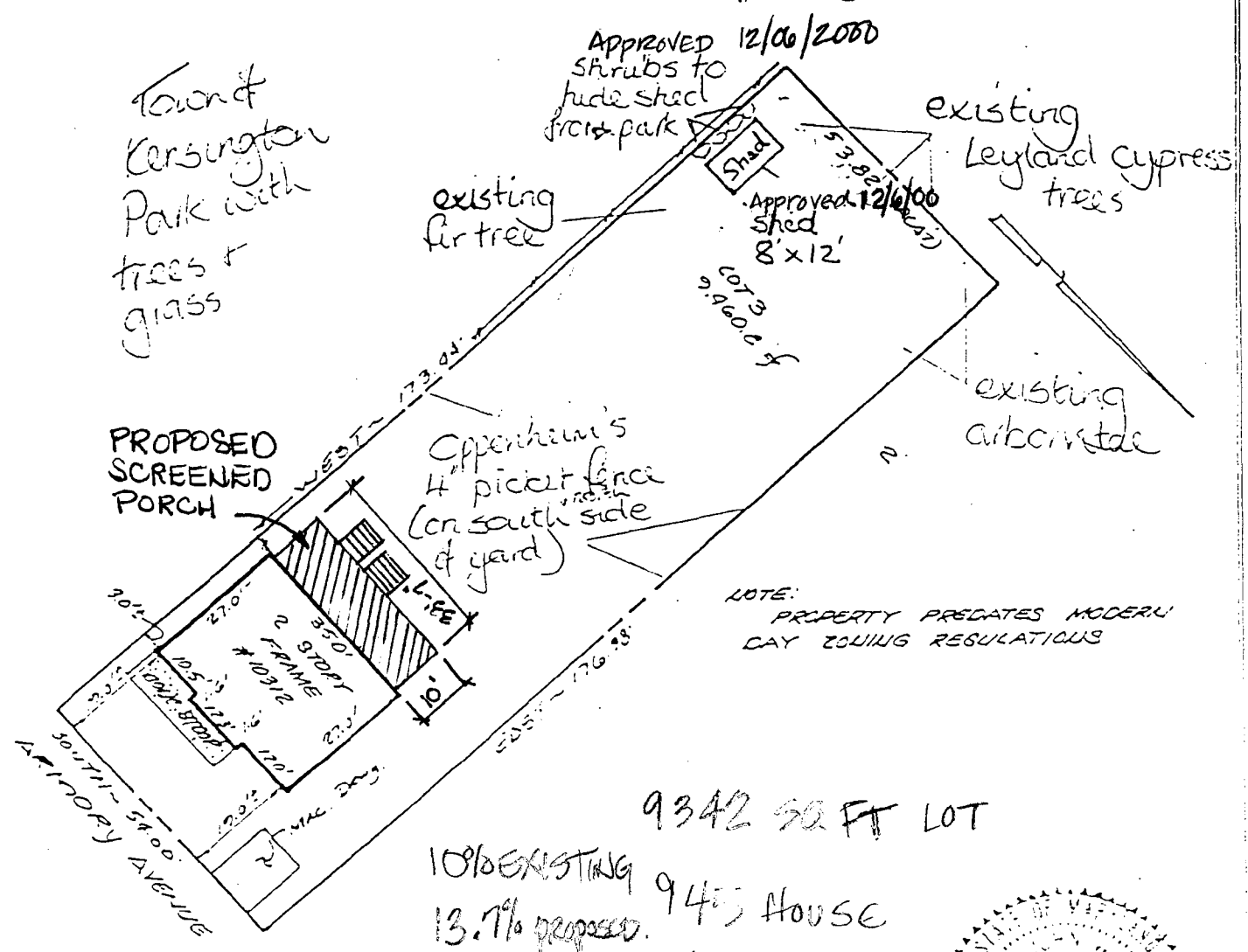
(e) Cindy + Carleton Grant

10309 Armory Avenue

Kensington Maryland 20895

(7)

2. Site Plan



NOTE: PROPERTY PREDATES MODERN DAY ZONING REGULATIONS

9342 SQ FT LOT

10% EXISTING
13.7% PROPOSED
945 HOUSE
340 NEW PORCH

Lot 3 Block 4
R. B. DETRICK'S SUBDIVISION

Election District #13
Montgomery County, Maryland



Surveyor's Certification

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie within a 100 year flood plain according to HUD-FIA insurance maps.

Stephen J. Wendtold

Stephen J. Wendtold
Maryland RLS Reg. No. 10767

May 13, 1992
Date

NO TITLE REPORT FURNISHED

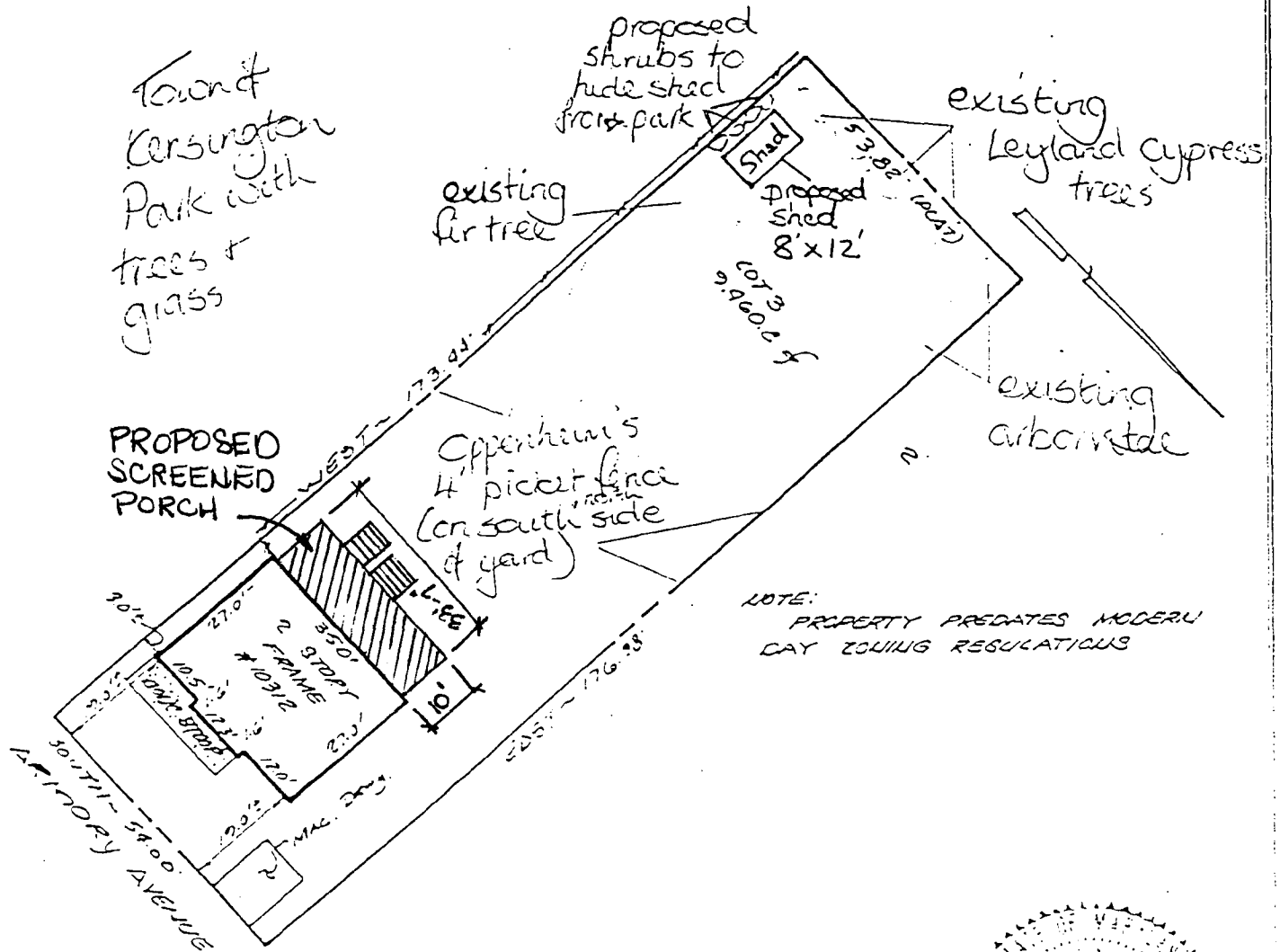
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Montgomery County
Tax Book: 3
Tax No.: 50
Work Order: 22-1934

BRL information shown as per current zoning regulations unless otherwise noted.
Scale: 1" = 30'
Property Address: 10312 Terrace Avenue

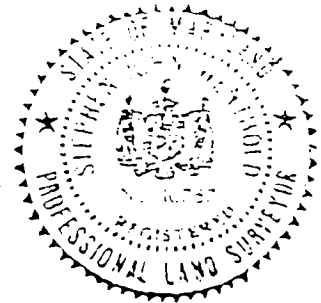
Meridian Surveys, Inc.
3713 Cathedral Way
Cathetersburg, MD 20879
301-340-9025

2. Site Plan



Lot 3 Block 4 R. B. DETRICK'S SUBDIVISION

Election District #13
Montgomery County, Maryland



Surveyor's Certification

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie within a 100 year flood plain according to HUD-FIA insurance maps.

May 13, 1992
Date

Stephen J. Wendhold

Stephen J. Wendhold
Maryland RLS Reg. No. 10767

NO TITLE REPORT FURNISHED

§

Montgomery County

BRL information shown as per current zoning regulations unless otherwise noted.

Scale: 1" = 30'

Map Book: 3

Map No.: 31

Work Order: 22-1934

Property

Address: 10312 Arborvite Avenue

Meridian Surveys, Inc.

3703 Cathedral Way

Gaithersburg, MD 20878

301.330-1025

10312 Armory Av. Kensington,
MD 20895

7. Addresses of Adjacent & Confronting Property Owners.

(a) next door on the north side:

Stephen + Anna McHale

10314 Armory Avenue,

Kensington Maryland, 20895

(b) next door on the south side: (Ernest Park)

Town of Kensington

3710 Mitchell St.,

Kensington, Maryland, 20895

(c) bottom of yard (west side):

Spencer + Barbara Harrill

3810 Warner Street

Kensington, Maryland, 20895

(d) Across the street - Kensington Armory:

Town of Kensington

(address is (b) above)

Across the street:

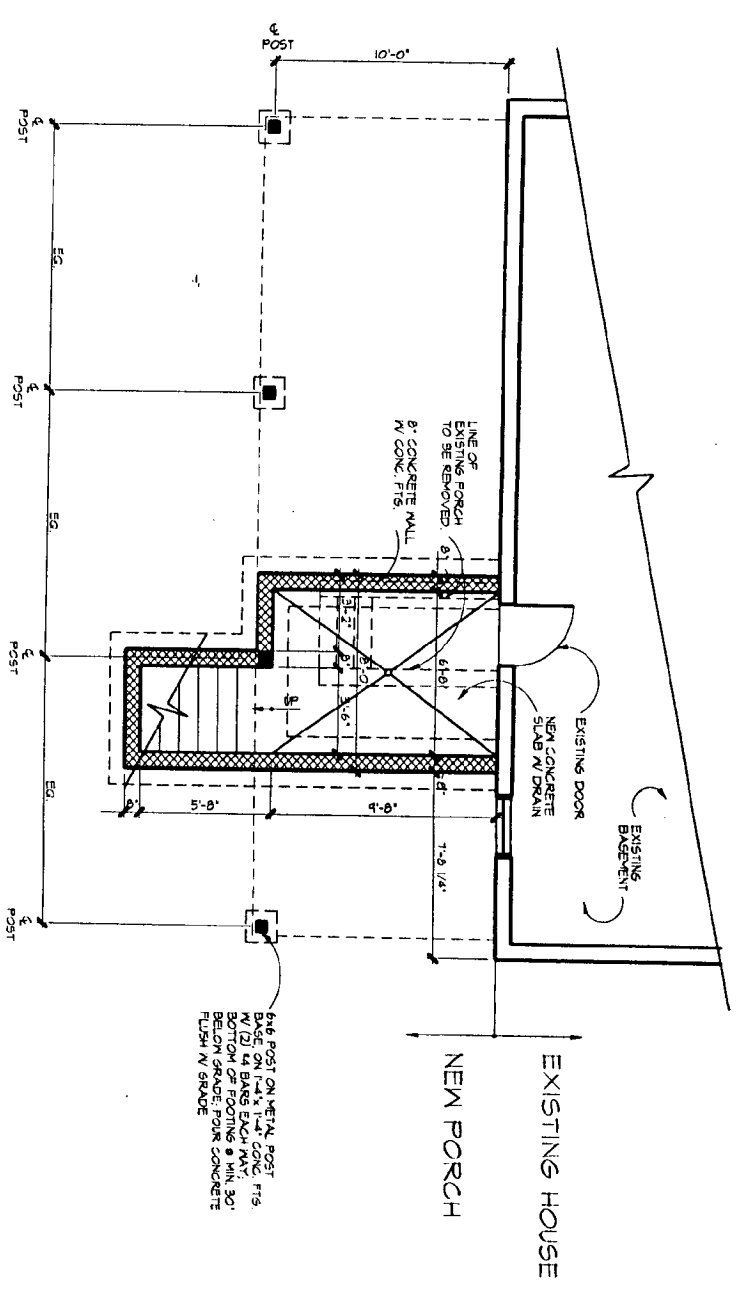
(e) Cindy + Carleton Conant

10309 Armory Avenue

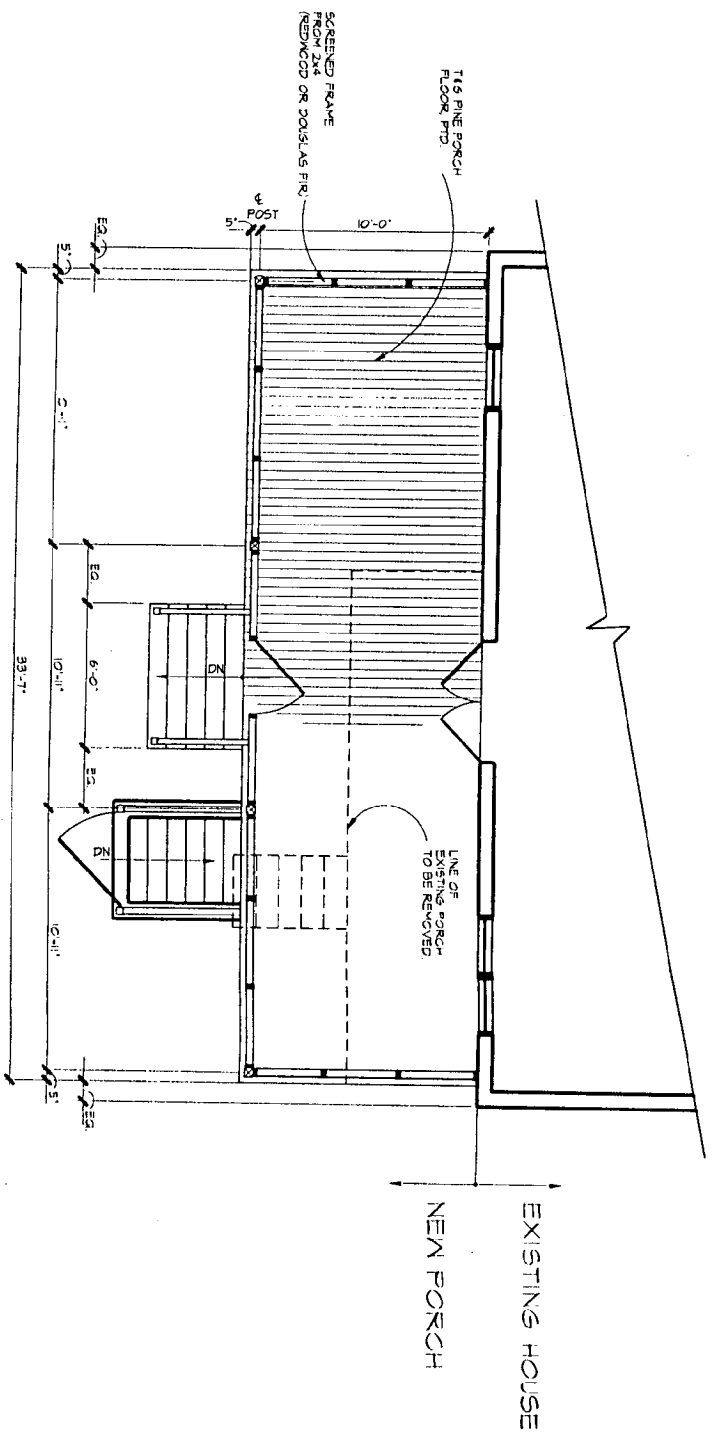
Kensington Maryland 20895

(7)

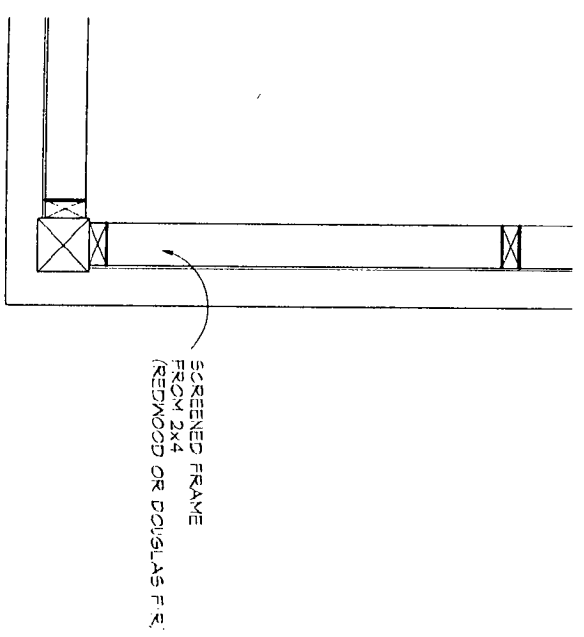
with SL / Cond. Day



1 NEW BASEMENT ENTRANCE
SCALE: 1/4"=1'-0"



2 NEW REAR DECK
SCALE: 1/4"=1'-0"



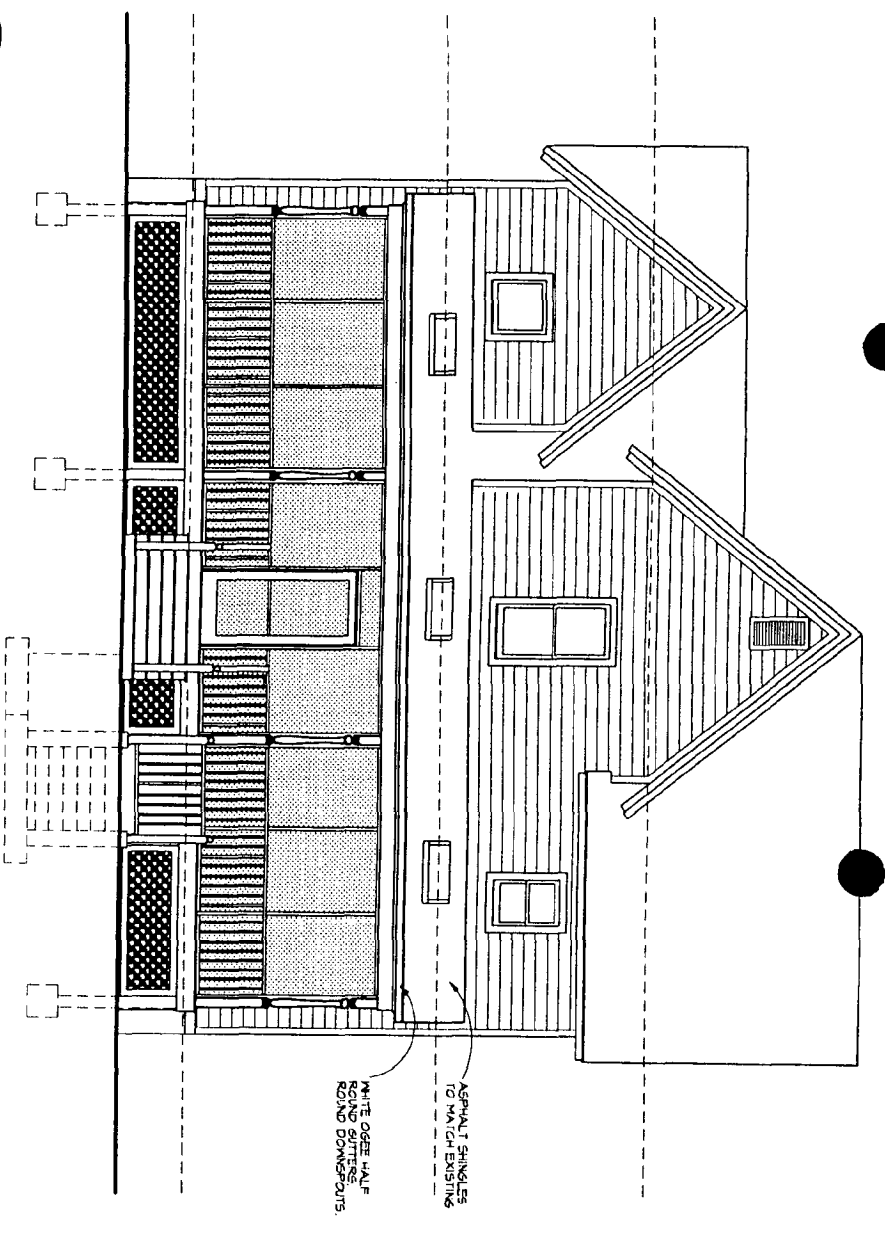
3 DETAIL
SCALE: 1"=1'-0"

GTM
ARCHITECTS
1045 ARMORY AVENUE
KENSINGTON, MD 20895
(301)442-4092
(301)442-3924 FAX

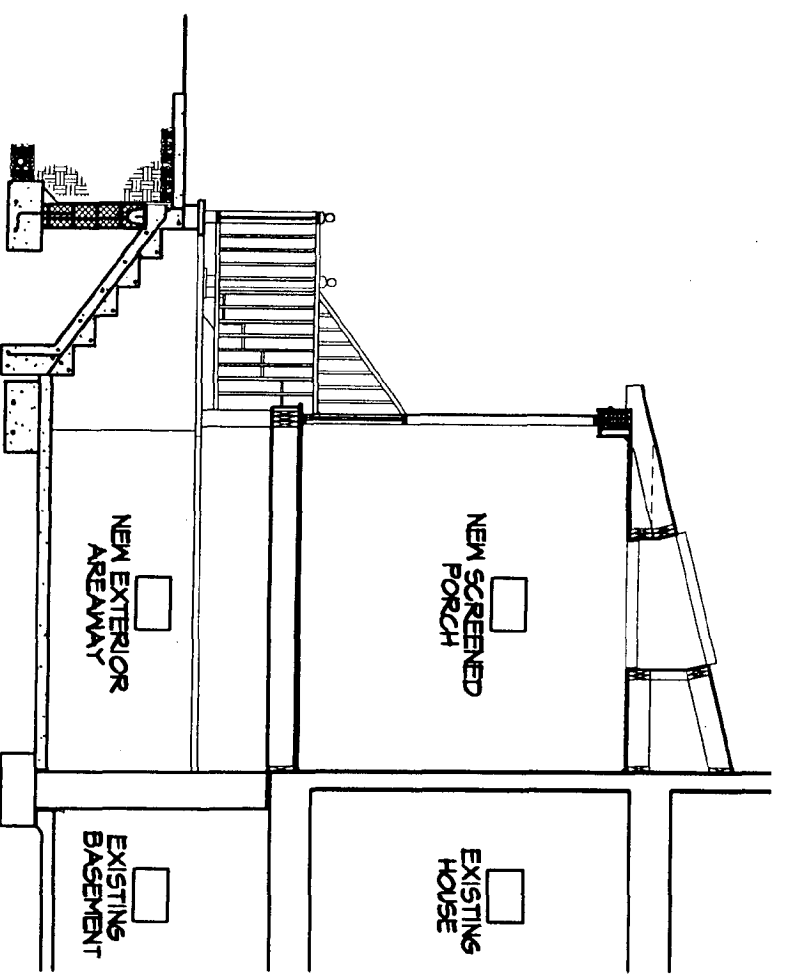
10312 ARMORY AVE.
KENSINGTON, MD 20815
DECK PLANS

**OPPENHEIM
RESIDENCE**

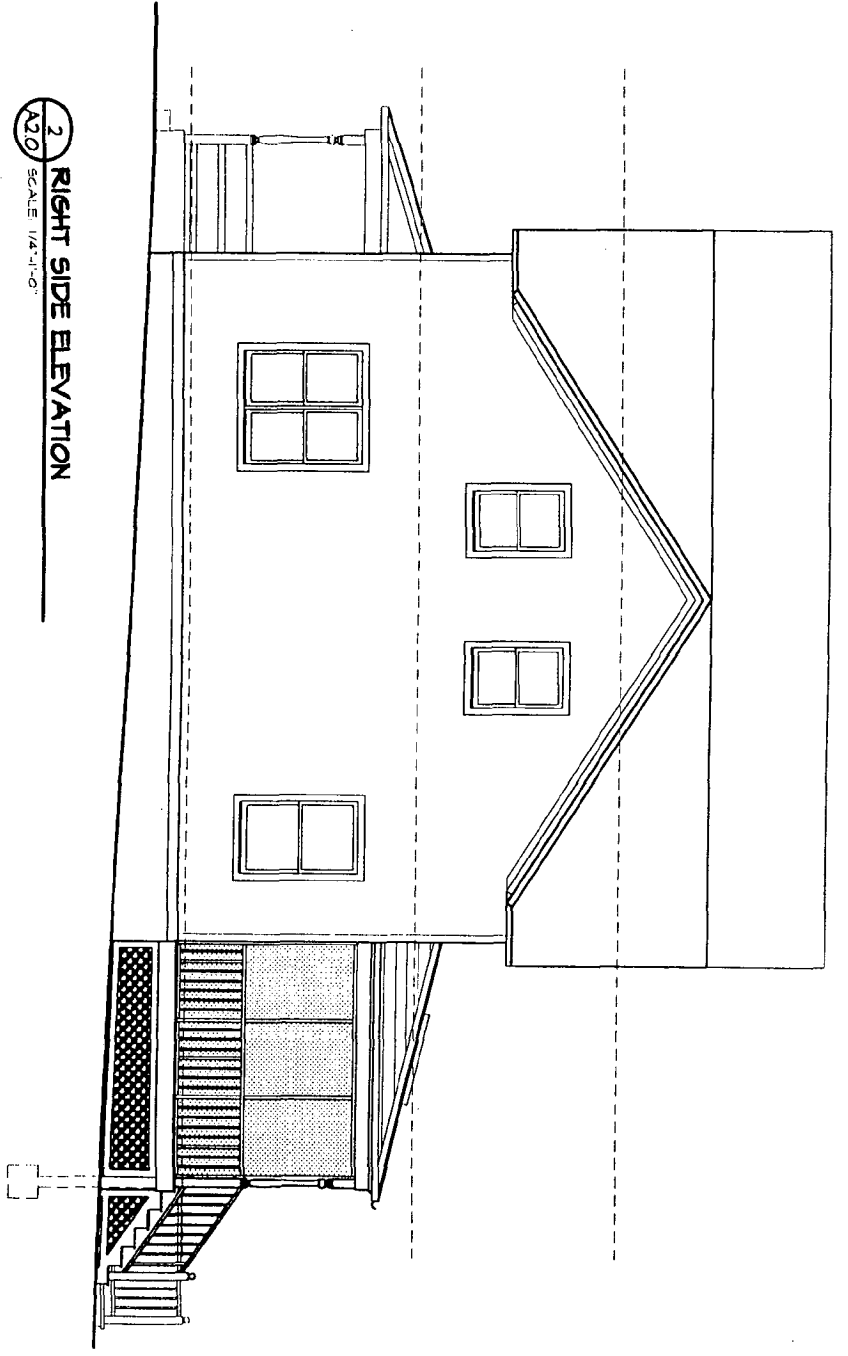
REVISIONS:	
SEAL:	
DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	
PROJECT NO.:	01031
DRAWING NO.:	A10



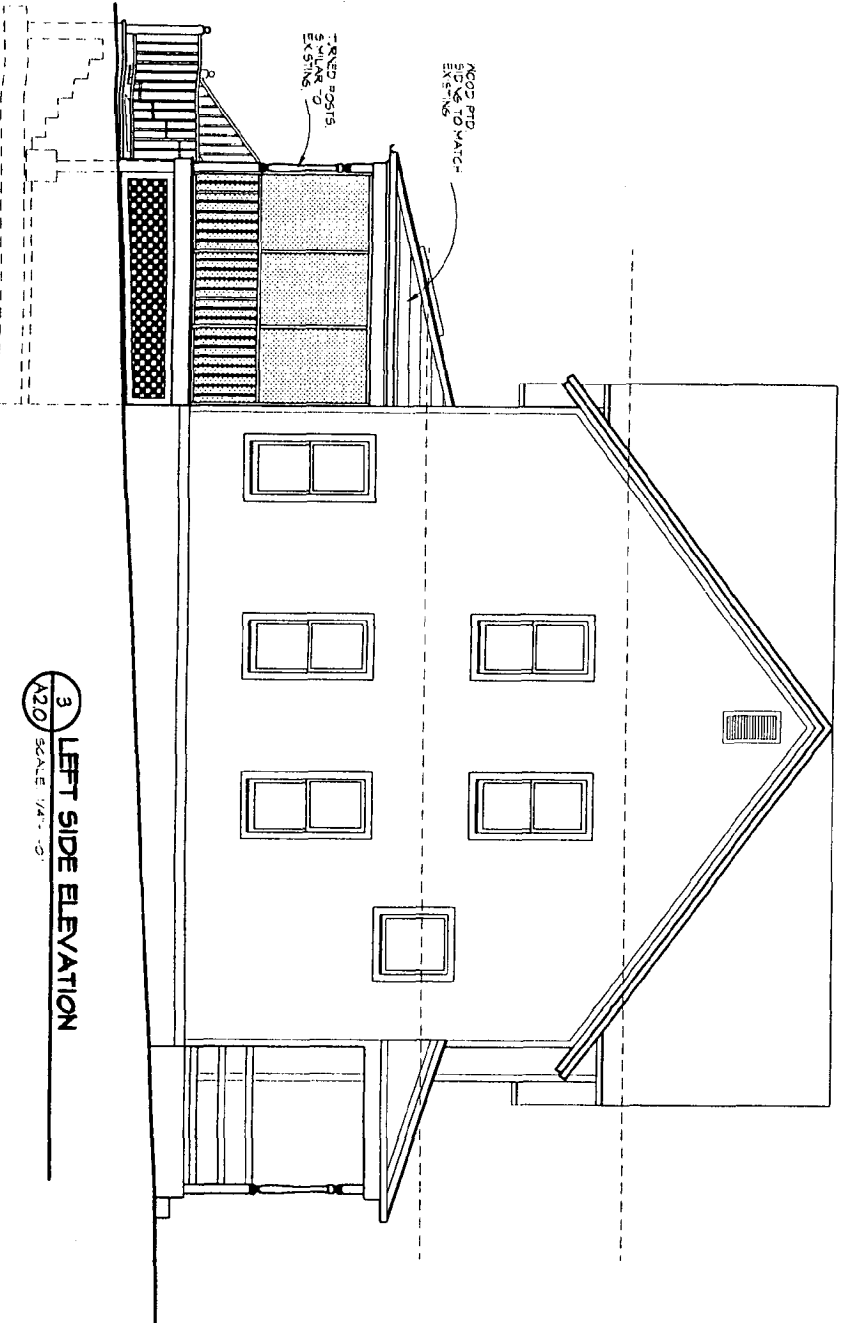
1 REAR ELEVATION
A2.0 SCALE: 1/4"=1'-0"



4 PORCH DETAIL
A2.0 SCALE: 3/8"=1'-0"



2 RIGHT SIDE ELEVATION
A2.0 SCALE: 1/4"=1'-0"



3 LEFT SIDE ELEVATION
A2.0 SCALE: 1/4"=1'-0"

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KENSINGTON, MD 20815
ELEVATIONS

**OPPENHEIMER
RESIDENCE**

REVISIONS

SCALE

DRAWN BY: DER

CHECKED BY: GTM

SCALE: AS NOTED

DATE:

PROJECT NO: 01031

DRAWING NO:

A2.0

